

ROBERT LAGA  
*Chairman*

NICHOLAS FANNIN  
*Vice Chairman*

RICHARD FRANZETTI, P.E.  
*Wetland Inspector*

ROSE TROMBETTA  
*Secretary*

**TOWN OF CARMEL**  
**ENVIRONMENTAL CONSERVATION BOARD**



60 McAlpin Avenue  
Mahopac, New York 10541  
Tel. (845) 628-1500 - Ext. 190  
www.ci.carmel.ny.us

**BOARD MEMBERS**

Edward Barnett  
Anthony Federice  
Nicole Sedran

**ENVIRONMENTAL CONSERVATION BOARD AGENDA**

**JANUARY 6, 2022 – 7:30 P.M.**

**ELIGIBLE FOR A PERMIT**

<b><u>APPLICANT</u></b>	<b><u>ADDRESS</u></b>	<b><u>TAX MAP #</u></b>	<b><u>COMMENTS</u></b>
1. Inzano, Anna	188 Bullet Hole Road	63.-1-16.2	Install Two Utility Poles Within Buffer
2. 12 Baldwin Ln LLC	12 Baldwin Lane	65.10-2-16	Addition and Expansion Of Existing Septic System

**SUBMISSION OF AN APPLICATION OR LETTER OF PERMISSION**

3. Osmanaj, Fatmir	441 Barrett Hill Rd	53.-1-63	Construction of a Single Family House
4. Loewenberg, Diana	260 West Lake Blvd	64.16-1-30	Construction of Garage, 2 <sup>nd</sup> fl. Addition to Existing Boathouse & Repair Dock

**MISCELLANEOUS**

5. Minutes – 12/02/21

**JOHN KARELL, JR., P.E.**  
**121 CUSHMAN ROAD**  
**PATTERSON, NEW YORK, 12563**  
845-878-7894 FAX 845 878 4939  
[jack4911@yahoo.com](mailto:jack4911@yahoo.com)

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December 27, 2021

Town of Carmel ECB  
Town Hall  
Mahopac, NY, 10541

**Re: ECB Wetlands Permit Fatmir Osmanaj**  
**441 Barrett Hill Road,**  
**Carmel (T), Mahopac Hamlet**

Attached herewith are copies of the SWPPP and Plans for the captioned project revised in accordance with the comments from the NYSDEC. We have been advised by the DEC that barring any significant adverse comments from the public notice, the DEC will be issuing the permit shortly.

A copy of the DEC comments and our response is attached.

Thank you for your consideration. It is requested that this project be placed on the next available agenda.

John Karell, Jr., P.E.

1. How much fill is proposed in the wetland and adjacent area (in cubic yards)? How much disturbance to the wetland and adjacent area (in square feet)?

**Response: The proposed fill in the wetland and adjacent area is approximately 18 cy. The disturbance to the wetland and adjacent area is approximately 10,780 sf.**

2. The application discusses the installation of stormwater features however, they are not shown on the plans. The plans must show proposed stormwater treatment. Has a SWPPP been prepared for this application.

**Response: A SWPPP has been prepared and is included in this submittal.**

3. The plans do not show the width of the driveway through the regulated area. The driveway should be the minimum width necessary. Please provide the town or emergency access road width requirements. Will the road be made of gravel or paved?

**Response: The 18 ft wide driveway is the minimum width to allow for two vehicles to safely pass each other. The driveway will be paved.**

4. Maintaining stream and wetland continuity is essential to protecting these valuable resources and allowing unrestricted movement of fish and wildlife. The Department recommends a crossing be sized with the appropriate diameter culvert, or preferable, a bottomless culvert or bridge spanning the stream/wetland. What is the proposed justification for proposing one, 12-inch HDPE pipe at this location? Is the proposed 12-inch pipe adequately sized for this area?

**Response: The pipe has been upsized to 18". A streamstats report has been attached and shows that this location has a peak flow of 21.8 cfs for the 100-year storm. Using the manning's equation, an 18" pipe at 5% has the capacity to convey 25.44 cfs.**

5. Please provide a detail of the proposed HDPE pipe. What is the size of the existing CMP?

**Response: A detail for the proposed HDPE pipe and trench is provided. The existing 12" CMP is labeled to be removed on Sheet SWPP 1.**

6. The plans must show erosion and sediment controls, and staging and stockpile areas.

**Response: Erosion control plans and details have been provided.**

7. The Joint Application Form does not provide an alternatives analysis. Please provide an alternatives analysis and why such alternatives were not chosen. Has the applicant considered demolishing the existing residence and building a new residence within the existing footprint thereby avoiding most disturbance within regulated areas?

**Response: The owner wishes to construct a house at the top of the hill for privacy and aesthetics. The stream is presently crossed at several locations which are immediately adjacent to a large wetland. The chosen crossing point will result in the least impact on the stream, wetland and setback.**

As for rebuilding the house in the location of the existing house, that alternative was considered but rejected for the following reasons:

- a. The septic system would need to be rebuilt to today's standards per the Health Department. There is no location in the vicinity of the existing house to construct a Code compliant septic system.
  - b. Construction of a house in the area of the existing house will result in normal activity when using the house in the area and thereby result in impacts to the wetland and buffer.
  - c. The owner has adopted your suggestion and will remove the existing house and barn, topsoil and seed to revegetate the area. Other than vehicles utilizing the driveway, no impacts to the wetland, stream or wetland setback will result.
8. It appears the existing residence is within the 100-foot adjacent area. Please provide erosion and sediment controls for demolition activities.

**Response: Erosion control plans and details have been provided.**

9. The Joint Application Form references a Construction Sequence, yet this cannot be located in the PDFs which were sent. Please submit. Moving forward, please note it is helpful for our review to contain an application to one combined PDF document.

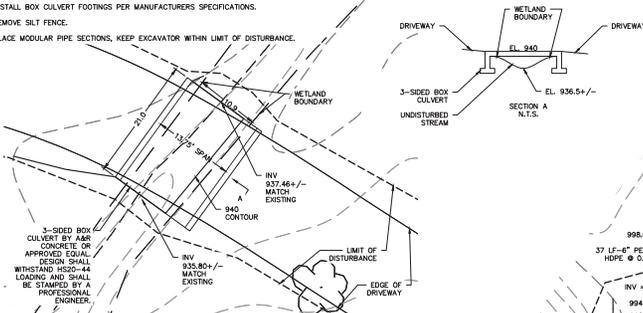
**Response: Comment noted. Construction Sequence Notes are provided on Sheet SWPP 3 of 5.**

10. The project area is located within screening distance of a known occurrence of the State-listed threatened northern long-eared bat. While the Joint Application Form submitted said that tree cutting is not occurring, the project area looks forested and tree clearing appears needed to facilitate the proposed residence/driveway. Please both clarify the amount of tree clearing taking place, and please note that all tree removal for this project should occur within the acceptable window, November 1 to March 31, to avoid potential impacts to this species. This would be stipulated as a condition of any permit issued for this property. If any tree removal is proposed outside this window, further review from DEC Wildlife staff would be required. Please confirm whether tree clearing would take place during this window. The construction sequence referenced should be revised, if necessary, to reflect tree cutting and the time of year which it would take place.

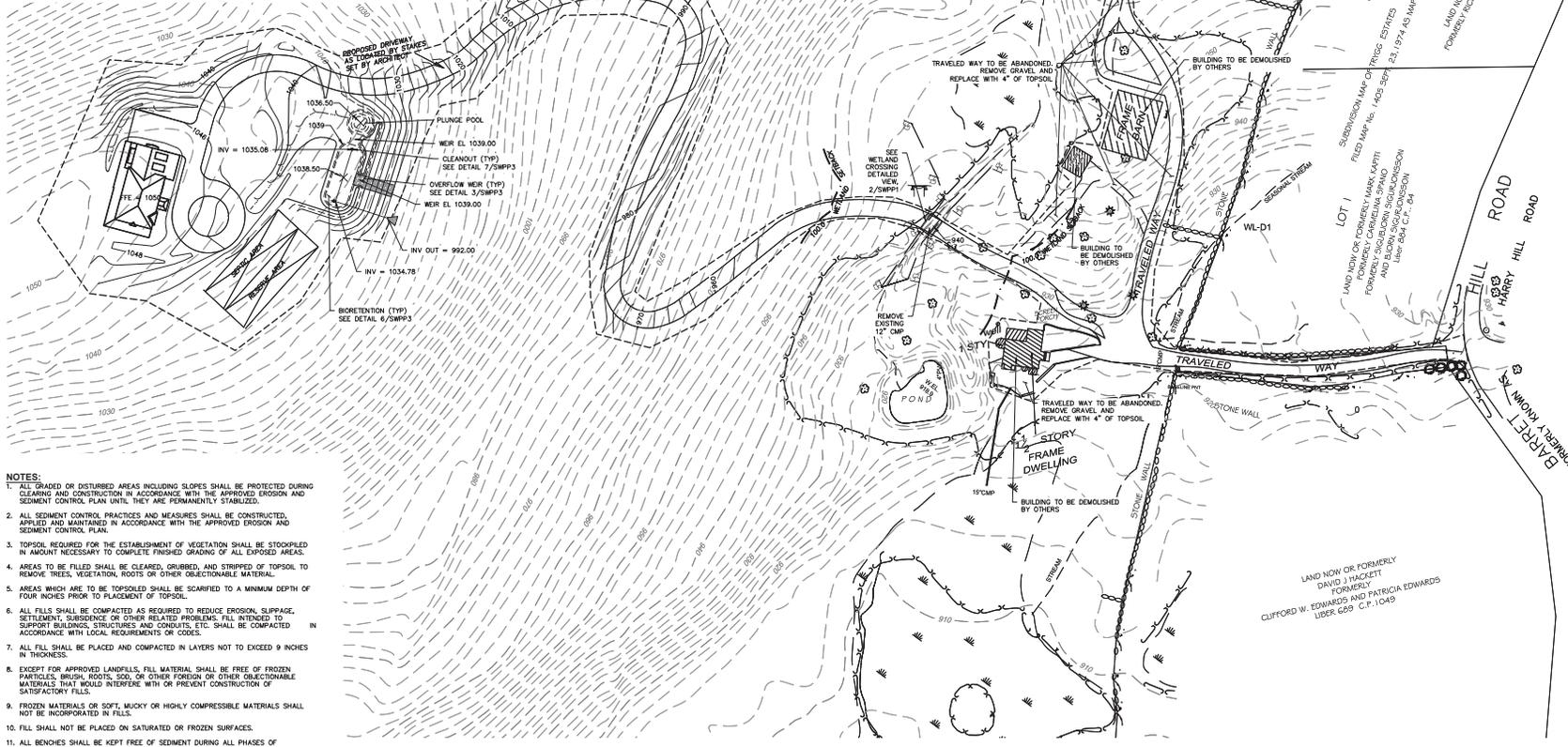
**Response: Tree clearing will be minimal as the driveway follows an existing path. The construction sequencing notes on Sheet SWPP 3 specify the allowable tree clearing window.**

**John Karell, Jr., P.E.**

- 3-SIDED BOX CULVERT EROSION CONTROL SEQUENCING NOTES:**
1. INSTALL SILT FENCE FOR LENGTH OF 3-SIDED BOX CULVERT ALONG WETLAND EDGE.
  2. INSTALL BOX CULVERT FOOTINGS PER MANUFACTURERS SPECIFICATIONS.
  3. REMOVE SILT FENCE.
  4. PLACE MODULAR PIPE SECTIONS, KEEP EXCAVATOR WITHIN LIMIT OF DISTURBANCE.

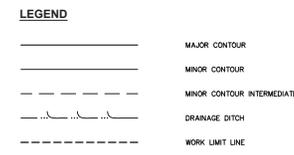


**2 WETLAND CROSSING DETAILED VIEW**  
SCALE 1"=10'



- NOTES:**
1. ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHALL BE PROTECTED DURING CLEARING AND CONSTRUCTION IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN UNTIL THEY ARE PERMANENTLY STABILIZED.
  2. ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
  3. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNT NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS.
  4. AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
  5. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF FOUR INCHES PRIOR TO PLACEMENT OF TOPSOIL.
  6. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SURSINKAGE OR OTHER RELATED PROBLEMS. FILL INTRODUCED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
  7. ALL FILL SHALL BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
  8. EXCEPT FOR APPROVED LANDFILLS, FILL MATERIAL SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOIL, OR OTHER FOREIGN OR OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
  9. FROZEN MATERIALS OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED IN FILLS.
  10. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
  11. ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
  12. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
  13. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISHED GRADING.

**1 GRADING & DRAINAGE PLAN**  
SCALE 1"=60'



**ENGINEER:**  
JOHN KARELL, JR., P.E.  
121 CUSHMAN ROAD  
PATTERSON, NEW YORK 12563  
94.8378.7044

**DESIGN CONSULTANT:**  
KGD DESIGNS, INC.  
20 BARRY HILL ROAD  
Somers, New York 10589  
914.882.6222

New Residence for:  
**OSMAN AJ BARRETT HILL ROAD**  
MAHOPAC, NY  
**GRADING & DRAINAGE PLAN**

REV	DATE	DESCRIPTION
2	11/11/21	WL CROSSING
1	9/14/21	WL CROSSING
DATE 11.24.20		
SCALE AS NOTED		
PROJECT NO. 441BAR		
DRAWN STAFF		

DWG. NO.  
**SWPP**  
**1 OF 5**



① EROSION & SEDIMENT CONTROL PLAN  
SCALE 1"=60'

- NOTE:**
- CONTRACTOR SHALL PLACE CONCRETE WASHOUT AREA IN PROXIMITY TO CONCRETE WORK AREA.
- TOWN OF CARMEL ECB NOTES AND REQUIREMENTS:**
- SILT FENCE SHALL BE PROVIDED WITH WIRE BACKING.
  - CONSTRUCTION EQUIPMENT SHALL NOT BE FUELED ON-SITE, OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT BE LOCATED WITHIN THE WETLAND BUFFER.
  - A BRUTE 32 GALLON SPILL KIT K-32-O SHALL BE PROVIDED ON SITE TO CONSIST OF THE FOLLOWING:
    - 50 PAILS, HEAVY WEIGHT
    - 8 SOCKS, 3' X 48"
    - 2 BAGS ULTRABORN, GRANULAR 5# EA
    - 4 TEMPORARY DISPOSAL BAGS, 4 M#
    - 4 PLASTIC 50P TIE, 12"
    - 2 PAIR NITRILE GLOVES
    - 2 PAIR SAFETY GOGGLES
    - 1 INSTRUCTION SHEET
  - CONSTRUCTION SHALL NOT COMMENCE UNTIL THE TOWN WETLAND INSPECTOR HAS INSPECTED AND APPROVED THE PLACEMENT OF THE EROSION CONTROL MEASURES INCLUDING THE SILT FENCING AND THE STABILIZED CONSTRUCTION ENTRANCE.
  - SILT FENCING SHALL NOT BE REMOVED UNTIL THE AREA TRIBUTARY TO THE SILT FENCING HAS BEEN STABILIZED AND THE TOWN WETLAND INSPECTOR AUTHORIZES REMOVAL.
  - TO THE EXTENT POSSIBLE EXISTING TREES SHALL BE PRESERVED.
  - THE FOOTING AND ROOF DRAIN DISCHARGE PIPING SHALL BE IN TWO SEPARATE PIPES.

New Residence for:  
**OSMAN AJ BARRETT HILL ROAD MAHOPAC, NY**

**DESIGN CONSULTANT:**  
KCD DESIGNS, INC.  
20 Barrett Hill Road  
Somers, New York 10589  
914.882.623

**ENGINEER:**  
JOHN KARELL, JR., P.E.  
121 CUSHMAN ROAD  
PATTERSON, NEW YORK 12563  
845.878.7094

**EROSION & SEDIMENT CONTROL PLAN**

REV	DATE	DESCRIPTION

SCALE AS NOTED

PROJECT NO. 4418AR

DRAWN STAFF

DWG. NO.  
**SWPP  
2 OF 5**

Plan of Carmel EOB Holes and requirements

- Silt fence shall be provided with one backing.
- Construction equipment shall not be allowed to operate within the silt fence buffer.
- A 3/4" x 3/4" silt post shall be installed at 10' max. c. to c.

consist of the following:

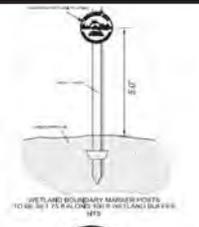
- 1 post every 100'.
- 2 posts, 2" x 4".
- 1 post every 100'.
- 1 temporary disposal bag, 4 mil.
- 1 post every 100'.
- 1 post every 100'.
- 1 post every 100'.

Without engineer's approval, the silt fence shall not be removed until the silt fence and the stabilizing construction are removed.

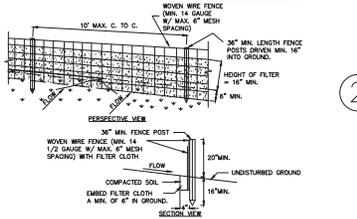
1. Silt fence shall be removed only after the silt fence has been stabilized and the Town Engineer's approval is received.

2. To the extent possible, silt fence shall be removed in one piece.

3. The filling and silt drain discharge piping shall be in one separate drain.



MARKER AS PER TOWN OF CARMEL



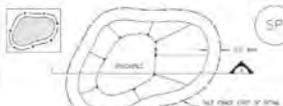
CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES STEEL EITHER 1" OR 1 1/2" THICK OR HARDWOOD.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER #1 MIRAFI 140N, STABILAKMA 1140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOTAP, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "MUDGULLS" DEVELOP IN THE SILT TRAP.

CONSTRUCTION SPECIFICATIONS

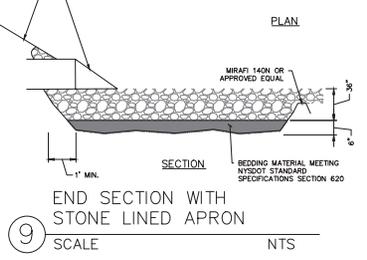
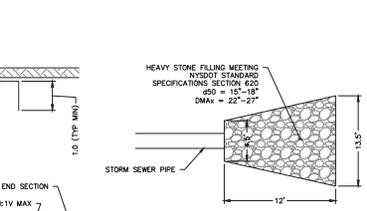
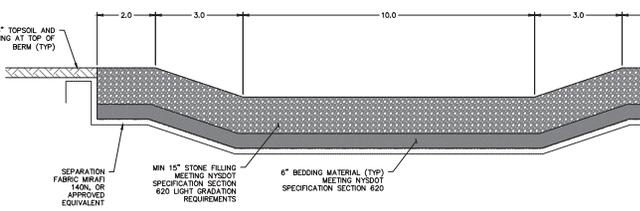
- STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE ADDRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ACCESS SHALL BE FLEED BENEATH THE ENTRANCE. IF FLEED IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF FLOES OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT GRILLED, CRUSHED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

2 STABILIZED CONSTRUCTION ENTRANCE SCALE



SECTION A  
STOCKPILE PROTECTION

3 OVERFLOW WEIR SCALE



END SECTION WITH STONE LINED APRON

SCALE

NTS

GENERAL NOTES

All E&S measures shall be installed and maintained per New York State Standards and Specifications for Erosion and Sediment Control, dated November 2016.

Site stabilization (80% uniform density of permanent vegetation or permanent mulch/stone) must be achieved prior to removing temporary erosion control measures.

Any imported topsoil shall comply with all federal, state, and local requirements for quality and use.

Off-site disposal of excess cut shall be in accordance with all federal, state, and local requirements.

This project has not received approval allowing the disturbance of more than five (5) acres at any one time. If the contractor's construction sequence requires disturbance of more than five (5) acres at any one time, written approval from the DEC shall be obtained.

CONSTRUCTION NOTES

A. General Construction Notes

- The site shall be disturbed only when and where necessary. Only the smallest practical area of land shall be exposed at any one time during development. When land is exposed, the exposure shall be kept to the shortest practical period of time by immediate stabilization per the stabilization notes, unless specified otherwise. All disturbed areas that are seeded with appropriate seed mixture and procedure are considered stabilized when 80% of the vegetation is achieved.
- Where ever feasible, natural vegetation shall be retained and protected.
- The contractor shall inspect all erosion and sediment control devices during all storm events, prior to weekends and prior to all forecasted storm events.
- The Contractor shall grade and provide stabilization of newly graded and disturbed areas per item 9 of this sequence.

B. Construction Sequence

- Install erosion control measures, including but not limited to stabilized construction entrance, soil stockpile areas, concrete washout area and all fencing prior to start of construction activities.
- Commence demolition and house construction activities.
- Remove topsoil within limit of disturbance and store in stockpile area.
- Topsoil, seed and mulch all disturbed areas in accordance with the stabilization notes.
- Complete rough driveway and install item # 4 base.
- Place asphalt courses.
- Temporary erosion control devices shall be maintained and removed after establishment of final site stabilization and Town signature on the project Notice of Termination (NOT). Stabilization shall be considered 80% uniform density of permanent vegetation or permanent mulch/stone.
- Contractor to perform final site clean up and dispose of all debris properly.

9. STABILIZATION NOTES

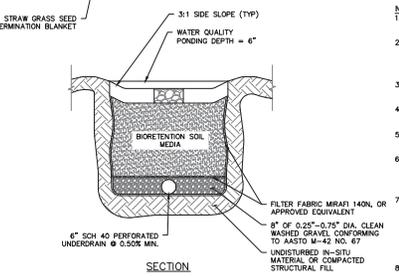
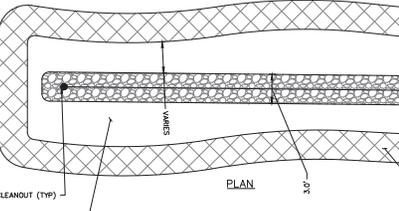
- Grade to finished slopes.
- Soils shall be scarified.
- Topsoil with not less than six inches of suitable topsoil material.
- Seed as follows:

Perman seed mix containing 30% annual ryegrass (Lolium perenne ssp. multiflorum) and 70% mixture of 2 or more native grasses such as big bluestem (Aristida purpurascens), little bluestem (Schizachyrium scoparium), switchgrass (Panicum virgatum), Indiangrass (Sorghastrum nutans), tufted hairgrass (Deschampsia cespitosa), deergrass (Dichanthium clandestinum), Canada wild rye (Elymus canadensis), Virginia wild rye (Elymus virginicus), and/or sideoats grama (Boutelou curtipendula) at a rate of 30 lbs./acre.

10. INSPECTIONS- A qualified inspector shall conduct site inspections at least once every seven calendar days per Part IV.6.2.2 of the SPECIFICATIONS.

11. TREE CLEARING- A bat known as hibernation of the northern long-eared bat (Myotis septentrionalis) is located within 3.4 miles of the subject site as well as within a recovery unit area of the Indiana bat. Tree clearing must occur only between 2 and 3/31.

1 SILT FENCE SCALE

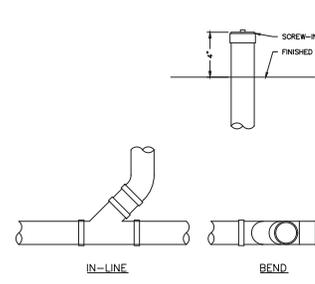


6 TYPICAL BIORETENTION AREA SCALE

NTS

- NOTES:
- REFER TO GRADING & DRAINAGE PLAN FOR UNDER DRAIN OUTLET ROUTING AND BIORETENTION OVERFLOW WEIRS.
  - UNDERDRAIN PIPING SHALL BE IN ACCORDANCE WITH AASHTO M-278 OR ASTM D1785. PIPE TO HAVE 8 PERFORATIONS AT 8 INCHES ON CENTER, 4 HOLES PER ROW.
  - RIVER STONE SHALL CONFORM TO NYSDOT SECTION 601-69.
  - BIORETENTION SOIL SHALL BE FREE OF STONES, STUMPS, ROOTS OR OTHER WOODY MATERIAL OVER 1" IN DIAMETER.
  - BIORETENTION SOIL SHALL BE LOOSELY COMPACTED BY LIGHT EQUIPMENT.
  - BIORETENTION SOIL COMPOSITION: 35-60% SAND, 30-55% SILT, 10-25% CLAY.
  - BIORETENTION SHALL MEET THE FOLLOWING: pH: 5.2 - 7.0; ORGANIC MATTER: 1.5 - 4%; NITROGEN: 35 LBS/ACRE; PHOSPHORUS: 75 LBS/ACRE; POTASSIUM: 85 LBS/ACRE; SOLUBLE SALTS: SHALL NOT EXCEED 500 PPM.
  - BIORETENTION PRACTICE SHALL BE SURROUNDED WITH SILT FENCE DURING CONSTRUCTION UNTIL UPSTREAM AREA IS STABILIZED.
  - ALL FILL SHALL BE PLACED IN LIFTS NOT TO EXCEED 8" AND SHALL BE COMPACTED TO 95% MODIFIED PROCTOR. ROUGH UP SURFACE TO BLEND FIRST LIFT.

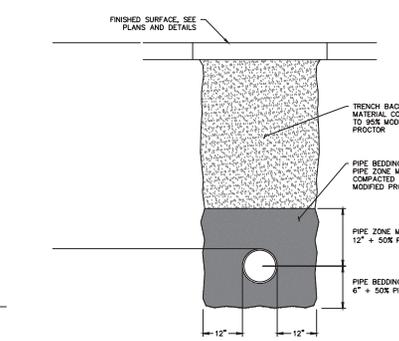
4 TEMPORARY SOIL STOCKPILE SCALE



7 CLEAN OUT - NON TRAFFIC SCALE

NTS

5 CONCRETE WASHOUT AREA SCALE



NOTES:

- PIPE BEDDING & PIPE ZONE MATERIAL SHALL BE A RUN-OF-BANK SAND OR MIXTURE OF CRUSHED STONE AND GRAVEL. MATERIAL SHALL BE FREE OF SOFT PARTICLES, ORGANIC MATTER, AND ELONGATED PARTICLES. MATERIAL SHALL BE WELL GRADED FROM FINE TO COURSE. SEDDING GRADATIONS SHALL BE APPROVED BY ENGINEER AND MUST SHALL MEET THE FOLLOWING GRADATION:

SEIVE	% PASSING
NO. 4	0-70%
NO. 200	0-10%

- TRENCH BACKFILL MATERIAL SHALL BE A RUN-OF-BANK SAND OR MIXTURE OF CRUSHED STONE AND GRAVEL. MATERIAL SHALL BE FREE OF SOFT PARTICLES, ORGANIC MATTER, AND ELONGATED PARTICLES. MATERIAL SHALL BE WELL GRADED FROM FINE TO COURSE. SEDDING GRADATIONS SHALL BE APPROVED BY ENGINEER AND MUST SHALL MEET THE FOLLOWING GRADATION:

SEIVE	% PASSING
NO. 4	100%
NO. 40	0-70%
NO. 200	0-10%

- TRENCHING SHALL BE O.S.H.A. COMPLIANT.
- INSTALL CONTINUOUS DETECTABLE WARNING TAPE AT 12" BELOW FINISHED GRADE AND DIRECTLY OVER PIPING. IN PAVEMENT OR SLAB AREAS INSTALL 6" BELOW BOTTOM OF PAVEMENT OR SLAB.

NOTES:

- SEWER PIPE FITTINGS SHALL BE ASTM D-3033 OR D-3034 50#-35.

8 PIPE TRENCH SCALE

NTS

ENGINEER:  
JOHN KARELL, JR., P.E.  
121 CUSHMAN ROAD  
PATTERSON, NEW YORK 12563  
845.878.7094

DESIGN CONSULTANT:  
KCD DESIGNS, INC.  
30 BARRETT HILL ROAD  
SUMMIT, NEW YORK 10889  
914.827.623

New Residence for:  
OSMAN AJ  
441 BARRETT HILL ROAD  
MAHOPAC, NY  
STORM AND EROSION & SEDIMENT CONTROL DETAILS

REV	DATE	DESCRIPTION

DATE: 11.24.20

SCALE: AS NOTED

PROJECT NO. 441BAR

DRAWN: STAFF

DWG. NO.

SWPP  
3 OF 5

ROBERT LAGA  
Chairman

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**BOARD MEMBERS**

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**APPLICATION FOR WETLAND PERMIT OR LETTER OF PERMISSION**

Name of Applicant: Diana Loewenberg  
Address of Applicant: 260 West Lake Blvd, Mahopac, NY, 10541 Email: \_\_\_\_\_  
Telephone# 917-689-0504 Name and Address of Owner if different from Applicant: N/A

Property Address: 260 West Lake Blvd, Mahopac, NY 10549 Tax Map # 64.16-1-30  
Agency Submitting Application if Applicable: \_\_\_\_\_  
Location of Wetland: Lake Mahopac  
Size of Work Section & Specific Location: 940 SF boathouse; 1740 SF garage  
Will Project Utilize State Owned Lands? If Yes, Specify: No

Type and extent of work (feet of new channel, yards of material to be removed, draining, dredging, filling, etc). A brief description of the regulated activity (attach supporting details).  
Repair dock with new slate, new second floor on boathouse, new garage, garage outside of 100 FT buffer to Lake Mahopac, landscaping, no dredging  
utility curtain barrier will be installed  
Proposed Start Date: 3/1/22 Anticipated Completion Date: 9/1/22 Fee Paid \$ 225.00

**CERTIFICATION**

I hereby affirm under penalty of perjury that information provided on this form is true to the best of my knowledge and belief, false statements made herein are punishable as a Class A misdemeanor pursuant to Section 210.45 of the Penal Law. As a condition to the issuance of a permit, the applicant accepts full legal responsibility for all damage, direct or indirect, or whatever nature, and by whomever suffered, arising out of the project described here-in and agrees to indemnify and save harmless the Town of Carmel from suits, actions, damages and costs of every name and description resulting from the said project.

Diana Loewenberg  
SIGNATURE

12/21/2021  
DATE

## Short Environmental Assessment Form

### Part 1 - Project Information

#### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

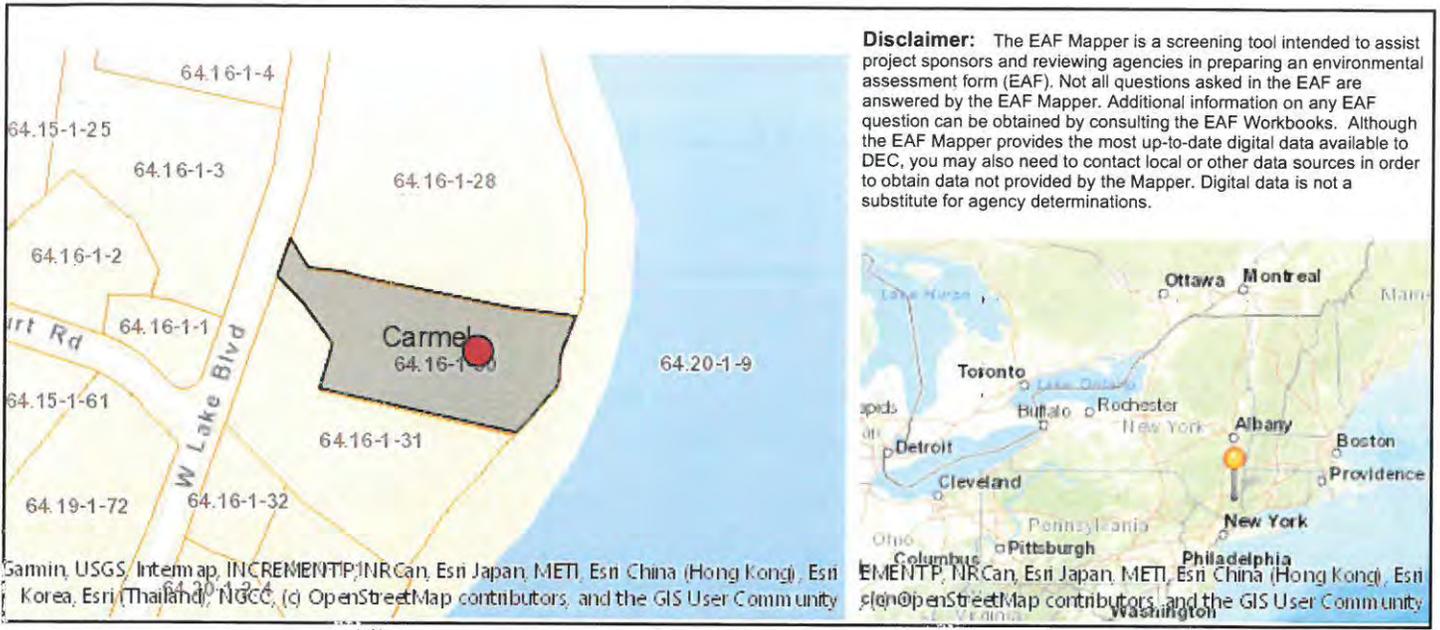
<b>Part 1 – Project and Sponsor Information</b>			
Name of Action or Project: LOEWENBERG BOATHOUSE SECOND FLOOR CONSTRUCTION AND GARAGE			
Project Location (describe, and attach a location map): 260 WEST LAKE BOULEVARD, MAHOPAC, NY			
Brief Description of Proposed Action: CONSTRUCTION OF A GARAGE AND ADDITION OF A SECOND FLOOR TO THE EXISTING BOATHOUSE.			
Name of Applicant or Sponsor: DIANA LOEWENBERG		Telephone:	
		E-Mail:	
Address: 260 WEST LAKE BOULEVARD			
City/PO: MAHOPAC		State: NY	Zip Code: 10541
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ 1.54 acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 1.54 acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>  <input type="checkbox"/>	<input checked="" type="checkbox"/>  <input checked="" type="checkbox"/>	<input type="checkbox"/>  <input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	NO YES
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	NO YES
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	NO YES YES YES YES YES
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	NO YES
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ EXISTING WELL _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	NO YES
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ EXISTING SEPTIC SYSTEM _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	NO YES
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>  <input type="checkbox"/>	<input type="checkbox"/>  <input checked="" type="checkbox"/>	NO YES YES YES YES YES
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?  b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	<input type="checkbox"/>  <input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>  <input type="checkbox"/>	NO YES YES YES YES YES



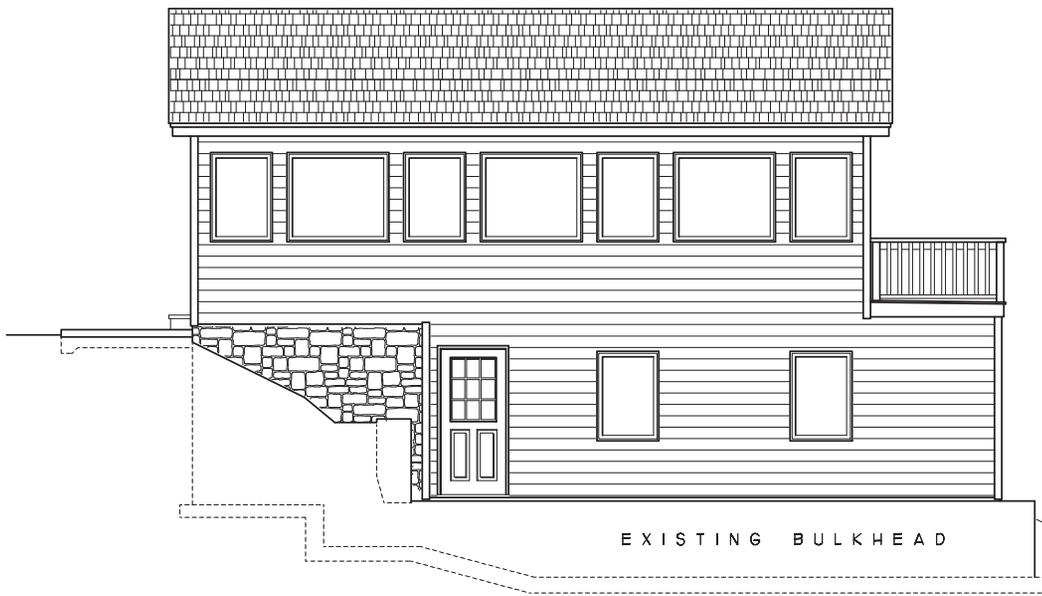
# EAF Mapper Summary Report

Thursday, December 16, 2021 10:31 AM

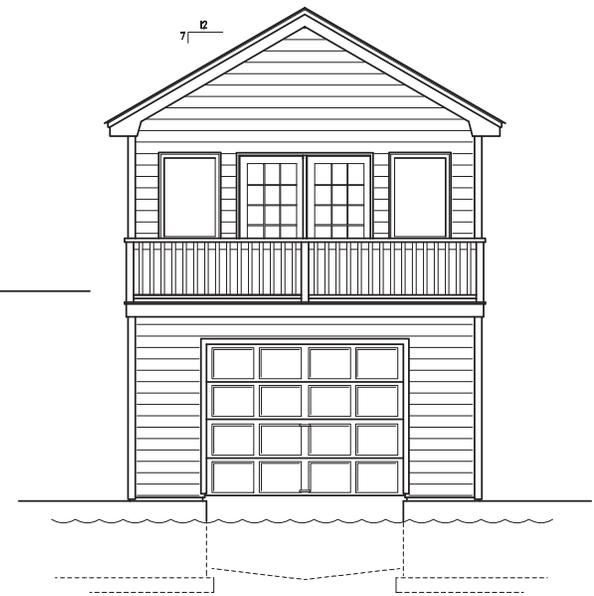


Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Northern Long-eared Bat
Part 1 / Question 16 [100 Year Flood Plain]	Yes
Part 1 / Question 20 [Remediation Site]	No





ELEVATION - SOUTH



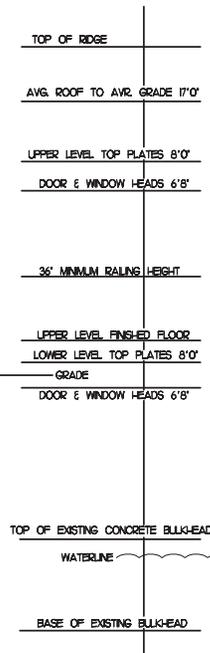
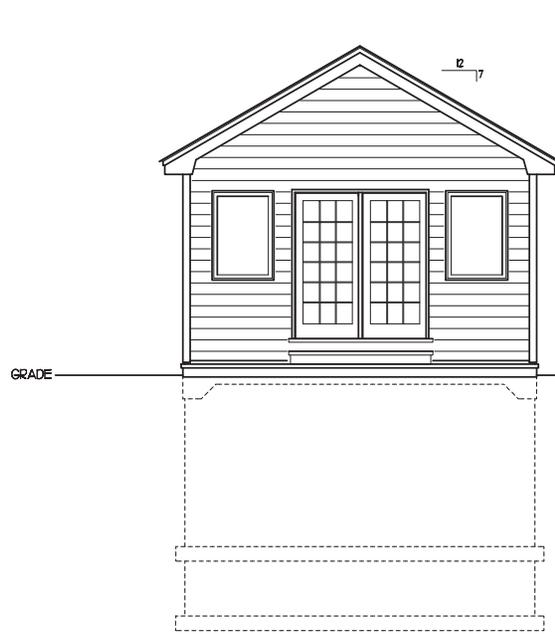
ELEVATION - EAST

BOAT HOUSE RESTORATION / ADDITION  
 LOEWENBERG RESIDENCE  
 260 WEST LAKE BOULEVARD  
 MAHOPAC, NEW YORK

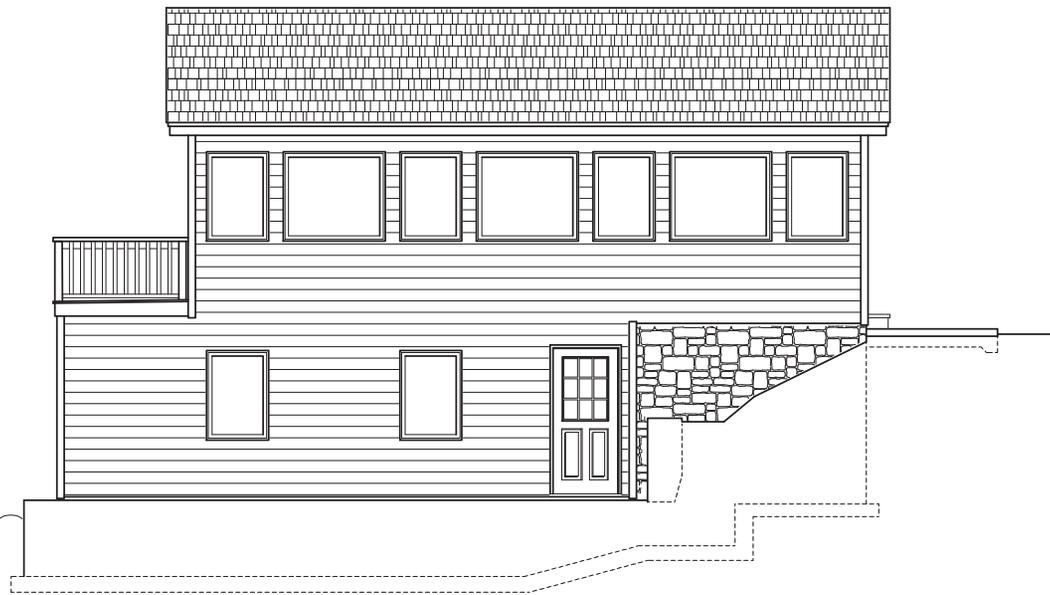


NOTE  
 THESE PLANS ARE NOT VALID FOR BUILDING PERMITS OR CONSTRUCTION  
 UNLESS STAMPED AND SIGNED BY A STATE LICENSED ARCHITECT OR ENGINEER.

BOB STROHM DESIGN & CONSTRUCTION, INC. NORTH LAKE BOULEVARD MAHOPAC, NEW YORK 848-628-1423	BOAT HOUSE RESTORATION / ADDITION LOEWENBERG RESIDENCE 260 WEST LAKE BOULEVARD MAHOPAC, NEW YORK JUNE 28, 2021 JOB NO. 2476	ENGINEER OF RECORD JOHN KARELL JR., P.E. CUSHMAN ROAD PATTERSON, NEW YORK (845) 878-7894	ELEVATIONS <b>A1</b> SCALE 1/4" = 1'-0"
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ELEVATION - WEST



ELEVATION - NORTH



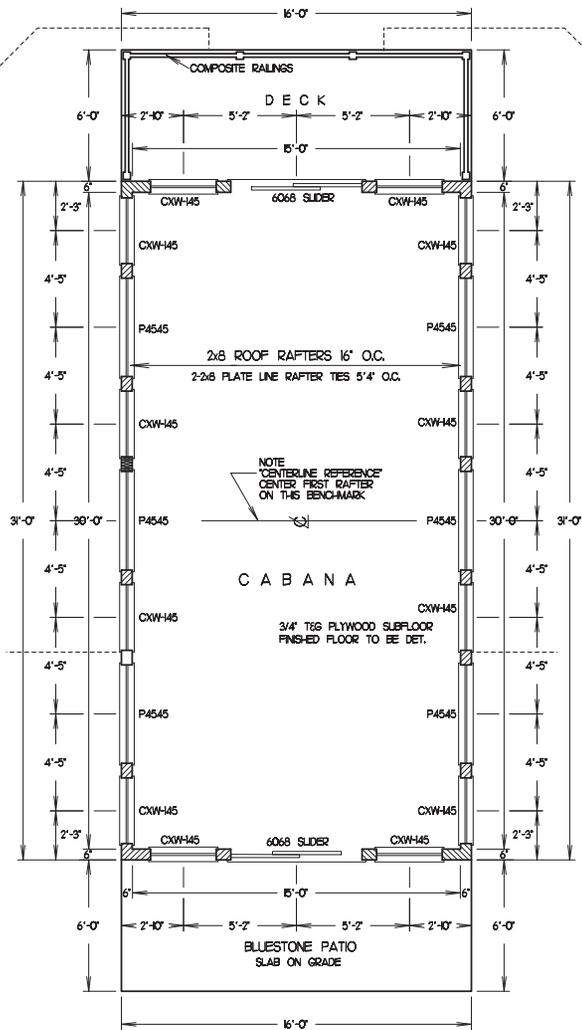
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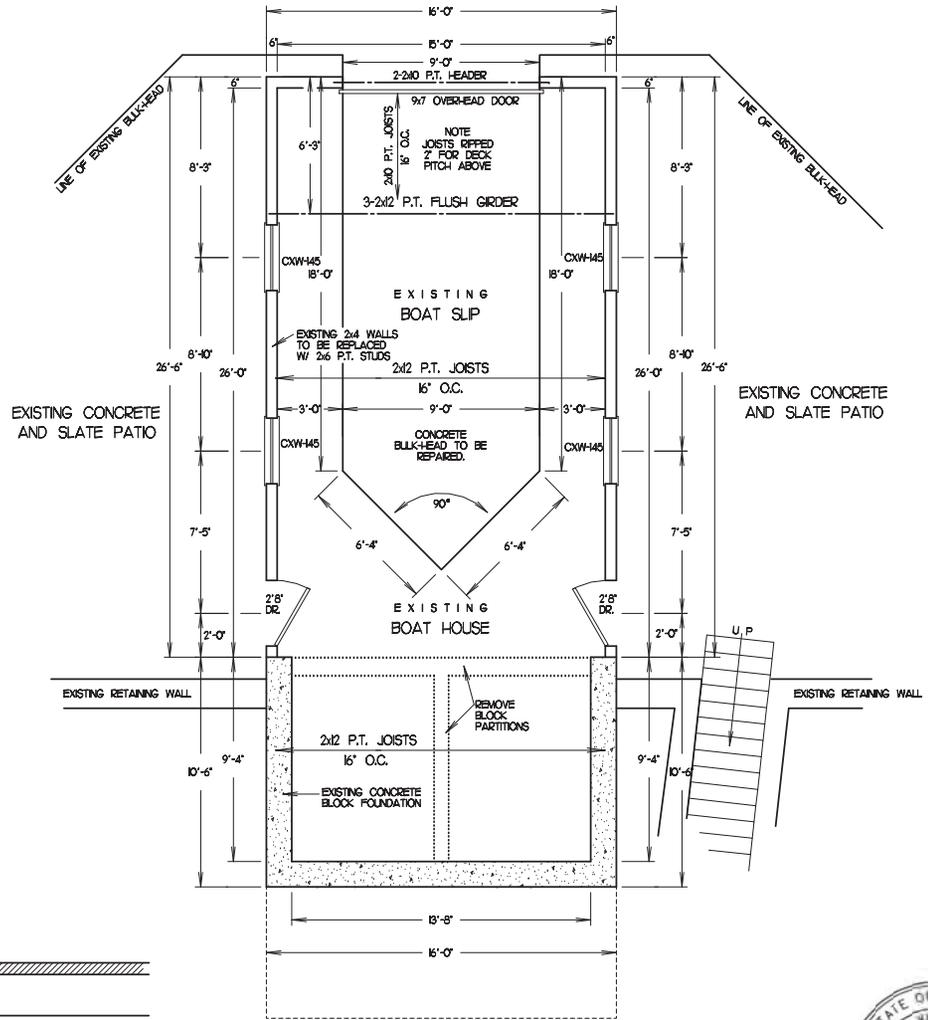
BOAT HOUSE RESTORATION / ADDITION  
 LOEWENBERG RESIDENCE  
 260 WEST LAKE BOULEVARD  
 MAHOPAC, NEW YORK  
 JUNE 28, 2021 JOB NO. 2476

ENGINEER OF RECORD  
 JOHN KARELL JR., P.E.  
 CUSHMAN ROAD  
 PATTERSON, NEW YORK  
 (845) 878-7894

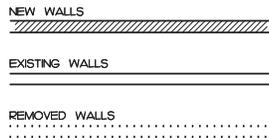
ELEVATIONS  
**A2**  
 SCALE 1/4" = 1'0"



UPPER LEVEL



LOWER LEVEL



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BOAT HOUSE RESTORATION / ADDITION  
LOEWENBERG RESIDENCE  
260 WEST LAKE BOULEVARD  
MAHOPAC, NEW YORK

JUNE 28, 2021 JOB NO. 2476

ENGINEER OF RECORD

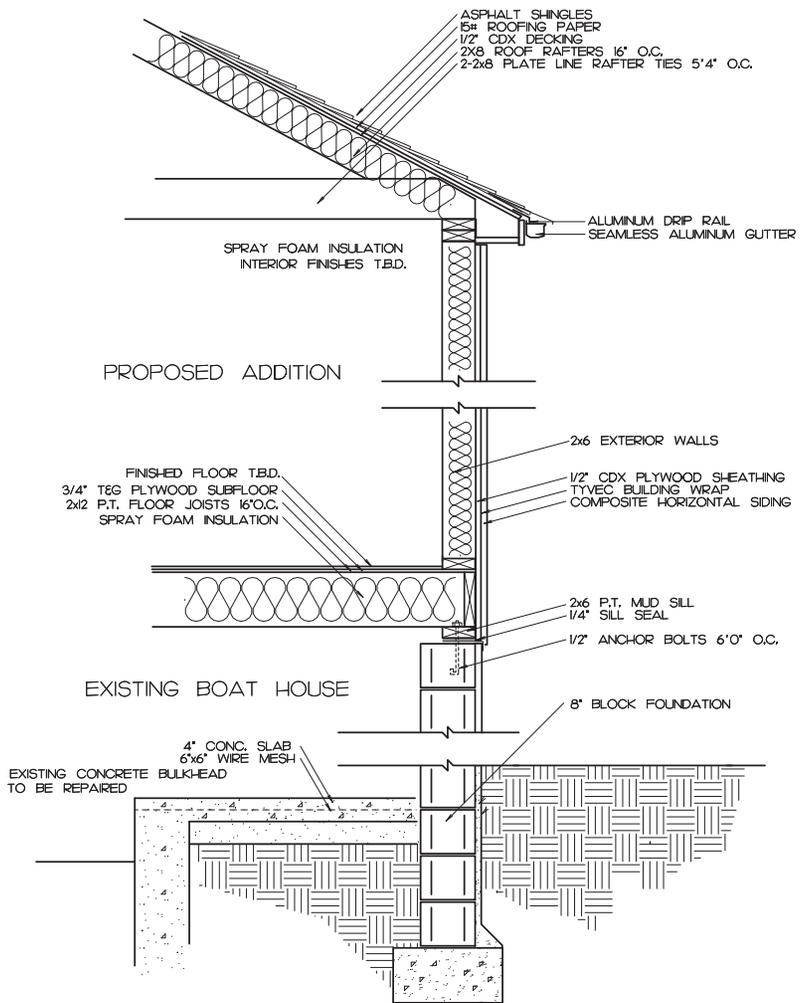
JOHN KARELL JR. P.E.  
CUSHMAN ROAD  
PATTERSON, NEW YORK

(845) 878-7894

FLOOR PLANS

A3

SCALE 1/4" = 1'0"



WALL SECTION TYPICAL SCALE 3/4" = 1'0"

GENERAL CONDITIONS

PLANS: These plans are an instrument of service. They are and shall, remain the property of the designer. These documents are not to be used for any other projects or purposes, or by any other parties, than those properly authorized.

SPECIFICATIONS: These specifications are specifically for this building. The homeowner in applying these specifications, assumes complete responsibility for their use, changes or omissions. Contractors shall verify all field conditions and dimensions and be responsible for field fit and quality of workmanship. No allowances shall be made on behalf of the contractor for any error or neglect on his part.

SCOPE OF WORK: The Contractor shall provide all labor, materials, appliances and equipment required to complete all work, etc., as shown on the drawings, necessary for a complete job, unless otherwise specified. All materials and workmanship shall be of good quality.

CODES: All work and materials must conform to the 2020 New York State Residential Building Code. These plans have been drawn in compliance with the 2020 New York State Residential Building Code. All construction must conform to the current version of the Energy Conservation Construction Code of New York State.

MATERIALS: Shall be installed according to the manufacturer's specifications.

EXCAVATION

FOUNDATION: Excavate all earth, boulders, loose and soft rock to the depths indicated on the drawings. All footings to bear on solid undisturbed earth of 4000 psf capacity.

FINISH GRADING: Finished grade shall be established to provide surface drainage in all directions away from the building.

MASONRY AND CONCRETE

CONCRETE FLOORS: Shall have a smooth dense steel trowel finish (and a power troweled) over gravel base. Concrete floors in living areas shall have poly film vapor barrier. Pitch all garage and porch floors for drainage.

DESIGN CRITERIA

GROUND SNOW LOAD	45 LBS.	TERMITE	MODERATE TO HEAVY
WIND SPEED	16 MPH	DECAY	SLIGHT TO MODERATE
SEISMIC DESIGN CAT.	C	WINTER DESIGN TEMP.	7 DEGREES F
WEATHERING	SEVERE	WATER & ICE SHIELD	REQUIRED
FOOTING DEPTH	42 INCHES		

CONCRETE BLOCK: If any, shall be laid level, plumb and straight in a full bed of mortar with galvanized steel "Dura-Wall" horizontal wire re-inforcement, every second course. All joints to be well tooled.

CONCRETE FOUNDATION WALLS: 8" Walls not to exceed 4'0" below adjacent grade. 10" Walls not to exceed 6'0" below adjacent grade.

DAMP-PROOFING: Foundation walls shall be damp-proofed with 2 coats of asphalt waterproofing and a 6mil poly barrier. Provide 4" perforated pvc footing drain per code

CARPENTRY

LUMBER: All framing lumber to have a Minimum Bending Stress of 1250 psi, or Douglas Fir construction grade #2

STEEL: All structural steel to have a Minimum Yield Strength of 36,000 psi, (ASTM A-36).

FRAMING: Framing of the entire building shall be erected plumb, level and true. Joists, studs and rafters shall be doubled around all openings. All flush joist headers and girders shall be connected with metal joist hangers. Double joist members under all partitions parallel to framing. Size of joists, sheathing and rafters as shown in plans.

INSULATION: Shall comply with current code and prevail over these general notes.

CEILING:	R-49
EXTERIOR STUD WALLS:	R-21
FLOOR OVER UN-HEATED SPACES:	R-30

Provide insulation as per NYS Energy Conservation Construction Code

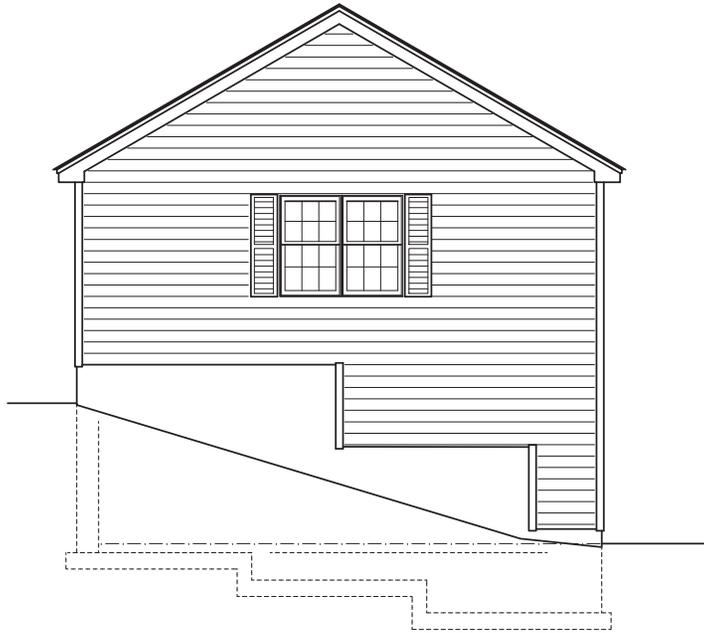
ROOF VENTILATION: Ventilate all attic and rafter spaces with proper sized screened ridge and soffit vents or louvers.

These plans have been produced under the supervision of a state licensed P.E. as per New York State Education Law.



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<p>BOB STROHM DESIGN &amp; CONSTRUCTION, INC. NORTH LAKE BOULEVARD MAHOPAC, NEW YORK 845-628-1423</p>	<p>BOAT HOUSE RESTORATION / ADDITION LOEWENBERG RESIDENCE 260 WEST LAKE BOULEVARD MAHOPAC, NEW YORK JUNE 28, 2021 JOB NO. 2476</p>	<p>ENGINEER OF RECORD JOHN KARELL JR. P.E. CUSHMAN ROAD PATTERSON, NEW YORK (645) 878-7894</p>	<p>DETAILS <b>A4</b> SCALE 1/4" = 1'0"</p>
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LEFT SIDE ELEVATION



FRONT ELEVATION

DETACHED GARAGE - LOEWENBERG RESIDENCE  
 260 WEST LAKE BOULEVARD  
 MAHOPAC, NEW YORK



DESIGN CRITERIA  
 GROUND SNOW LOAD 45 LBS.  
 WIND SPEED 15 MPH  
 SEISMIC DESIGN CAT. C  
 WEATHERING SEVERE  
 FOOTING DEPTH 42 INCHES

TERMITE MODERATE TO HEAVY  
 DECAY SLIGHT TO MODERATE  
 WINTER DESIGN TEMP. 7 DEGREES F  
 WATER & ICE SHIELD REQUIRED

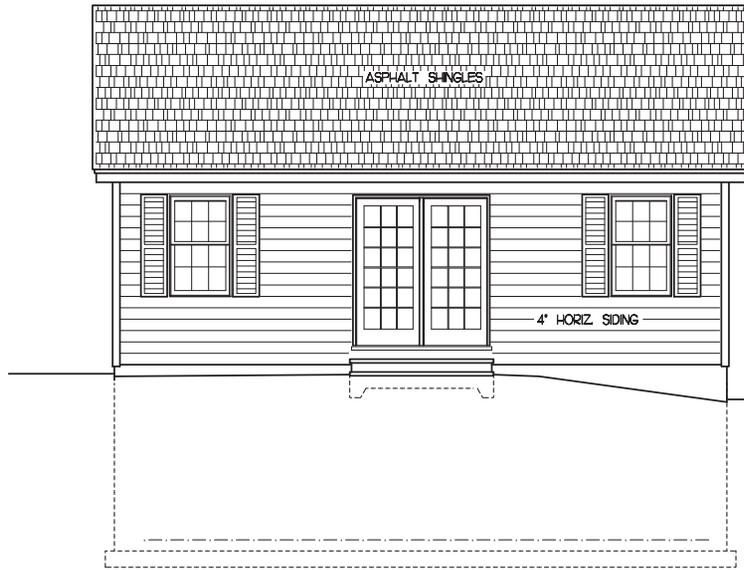
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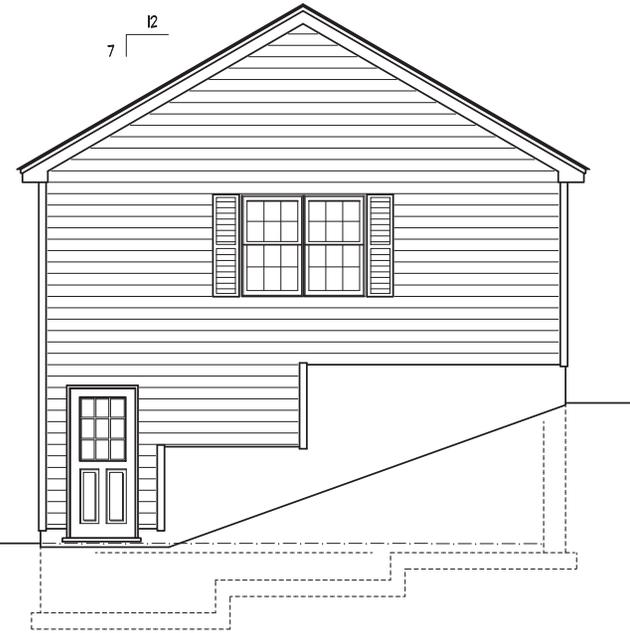
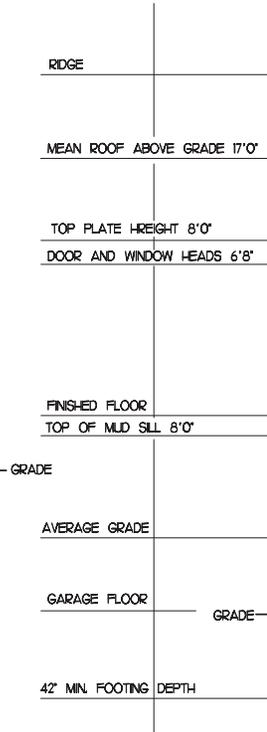
DETACHED GARAGE  
 LOEWENBERG RESIDENCE  
 260 WEST LAKE BOULEVARD  
 MAHOPAC, NEW YORK  
 JUNE 25, 2021 JOB NO. 2475

ENGINEER OF RECORD  
 JOHN KARELL JR. P.E.  
 CUSHMAN ROAD  
 PATTERSON, NEW YORK  
 (845) 878-7894

ELEVATIONS  
**A1**  
 SCALE 1/4" = 1'0"



REAR ELEVATION



RIGHT SIDE ELEVATION



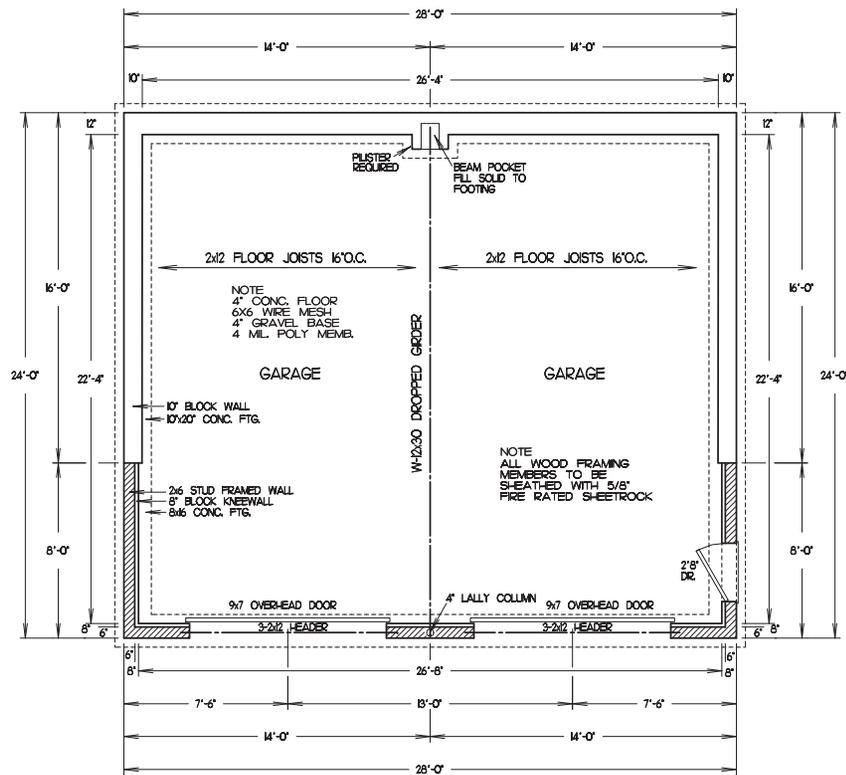
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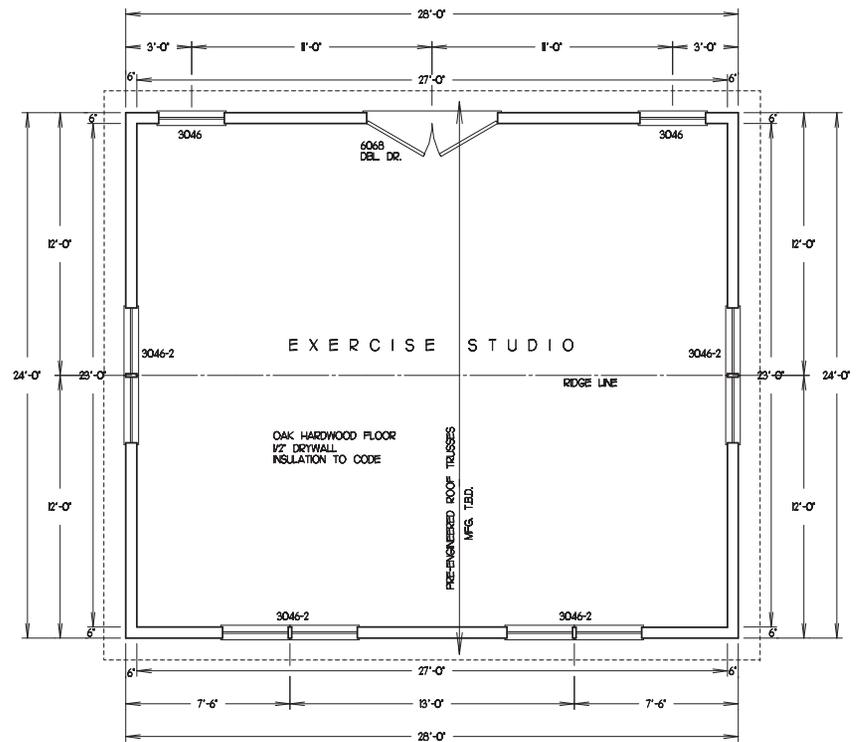
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 JUNE 25, 2021 JOB NO. 2475

ENGINEER OF RECORD  
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ELEVATIONS  
**A2**  
 SCALE 1/4" = 1'0"



FOUNDATION PLAN



UPPER LEVEL



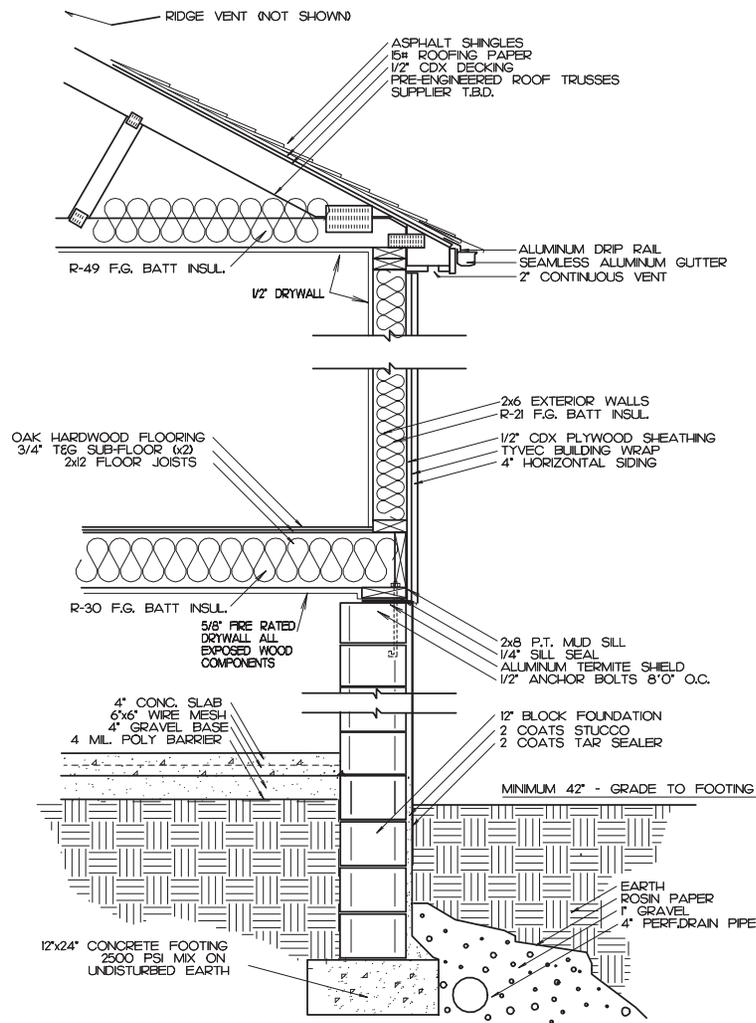
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DETACHED GARAGE  
 LOEWENBERG RESIDENCE  
 260 WEST LAKE BOULEVARD  
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ENGINEER OF RECORD  
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FLOOR PLAN  
**A3**  
 SCALE 1/4" = 1'-0"



WALL SECTION TYPICAL SCALE 3/4" = 1'0"

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NORTH LAKE BOULEVARD  
MAHOPAC, NEW YORK  
845-628-1423

**DETACHED GARAGE**  
LOEWENBERG RESIDENCE  
260 WEST LAKE BOULEVARD  
MAHOPAC, NEW YORK  
JUNE 25, 2021 JOB NO. 2475

**ENGINEER OF RECORD**  
JOHN KARELL JR., P.E.  
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**DETAILS**  
**A4**  
SCALE AS NOTED