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TOWN OF CARMEL
ENVIRONMENTAL CONSERVATION BOARD



60 McAlpin Avenue
Mahopac, New York 10541
Tel. (845) 628-1500 - Ext. 190
www.ci.carmel.ny.us

BOARD MEMBERS

Edward Barnett
Anthony Federice
Nicole Sedran

ENVIRONMENTAL CONSERVATION BOARD AGENDA

FEBRUARY 17, 2022 – 7:30 P.M.

EXTENSION OF WETLAND PERMIT

<u>APPLICANT</u>	<u>ADDRESS</u>	<u>TAX MAP #</u>	<u>COMMENTS</u>
1. Freda, Jeffrey	420 North Lake Blvd	64.12-2-47	Construct Dock
2. Schoenbeck, Uwe	252 West Lake Blvd	64.16-1-31	Proposed Addition, Deck, Above Ground Pool

SUBMISSION OF AN APPLICATION OR LETTER OF PERMISSION

3. Pasato, Luis	24 Wood Street	85.15-1-10	Proposed Addition
4. Osmanaj, Fatmir	441 Barrett Hill Rd	53.-1-63	Construction of a Single Family House

MISCELLANEOUS

5. Minutes – 01/06/22

Trombetta, Rose

From: Stephanie Akel Freda <akelfreda@gmail.com>
Sent: Tuesday, February 1, 2022 9:55 PM
To: Trombetta, Rose
Cc: Jeff Freda
Subject: Extension request for FREDA WETLANDS PERMIT.pdf
Attachments: FREDA WETLANDS PERMIT.pdf

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi, Rose -

Thanks for your assistance over the phone last week. I'm forwarding the initial permit, along with our request for an extension, due to the pandemic.

There are no changes whatsoever to the plans, so the work is exactly as described in the initial application.

I would like to ask you to please forward this to Chairman Laga, along with our request to be added to the ECB meeting agenda on Thursday, February 17th.

As discussed, I am sending a check for the \$200 permit extension fee to your attention.

Please let me know if there are any questions or if anything else is required.

Again, thanks so much for your help!

Best regards,
Stephanie Akel Freda
973.818.0182



February 14, 2022

Re: Schoenbeck
252 West Lake Blvd
Mahopac, NY 10541
Tax Map #: 6416-1-31

Robert Laga PE, Chairman & members of the ECB,

We are requesting an extension of the Current ECB Permit that will be expiring on March 3, 2022.

There will be some minor revisions to the Pool Deck shape and Front Addition for a total of 417 SF additional.

Rain Garden # 1 has been divided into Two Rain Gardens 1A & 1 B, to allow a pathway to the Lake.

The Site Plan and Calculations have been revised to show that we still meet the Rain Garden Requirements for the additional 417 SF.

Calculations are shown below and on Drawing Sheet AS-101.

If there are any further questions, please let me know.

Sincerely,

A handwritten signature in black ink that reads "Joel Greenberg". The signature is fluid and cursive, with the first and last names being the most prominent.

Joel Greenberg, AIA, NCARB



Here is the breakdown of the Revised Square Footages of the three areas as previously indicated, (House, Porch, Pool & Pool Deck, and the Wood Decks).

PREVIOUS: 2/5/2021

House:	5539 SF (Front Portion 1628 SF as indicated below, remainder 3911 SF)
Porch, Pool & Pool Deck:	2184 SF
Wood Deck:	1020 SF
TOTAL:	<u>8743 SF</u>

REVISED: 2/10/2022

House:	5682 SF (Front Portion 1628 SF as indicated below, remainder 4054 SF)
Porch, Pool & Pool Deck:	2010 SF
Stone Steps, Wall & Walk:	689 SF
Wood Deck:	683 SF
Wood Deck:	96 SF
TOTAL:	<u>9160 SF</u> 417 SF more than Previous Layout.

PREVIOUS: 2/05/2021

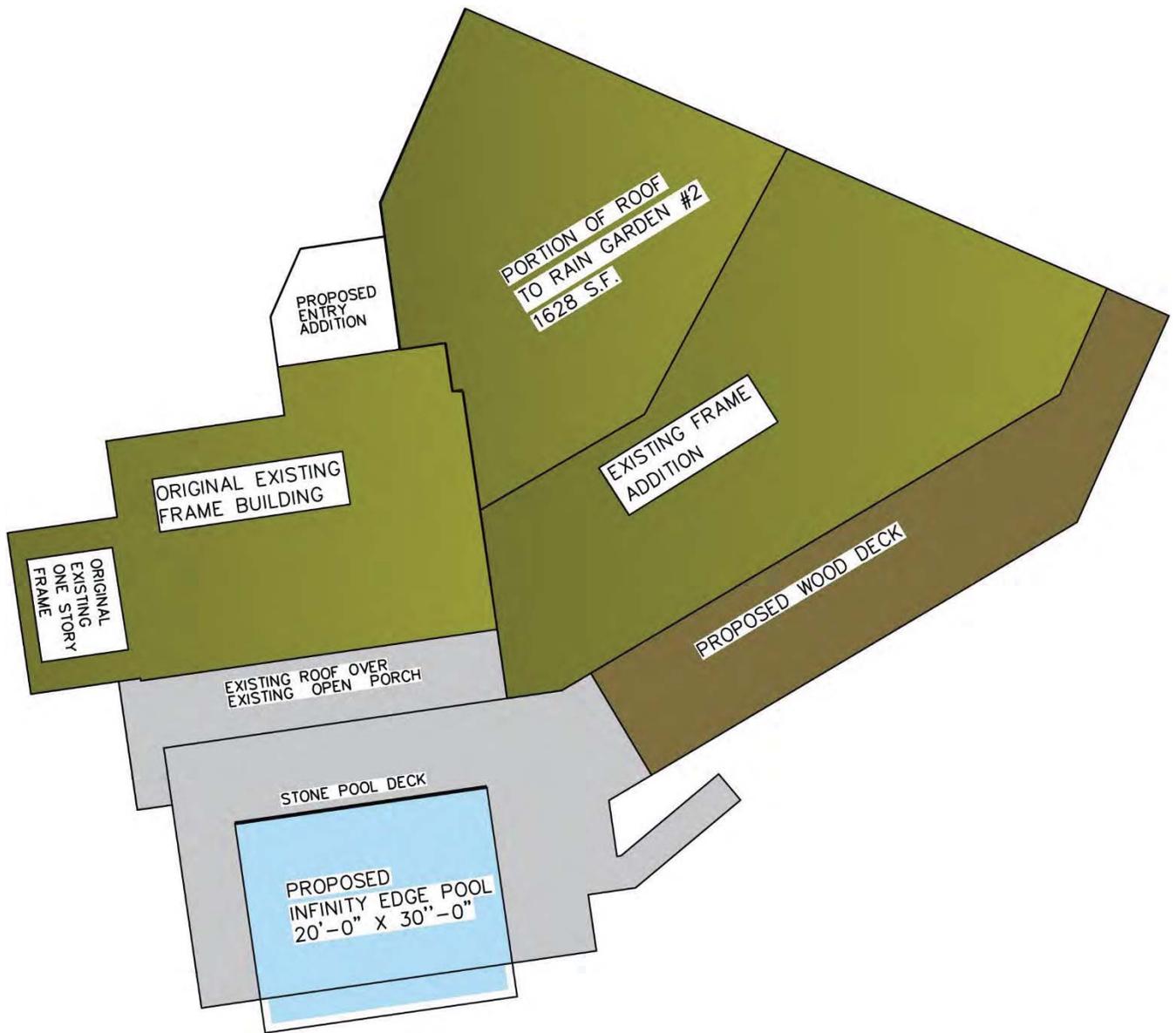
Total Drainage Area	= 8743 SF	
Rain Garden #1 Drainage Area	= 7115 SF	(Remainder of diagram)
Rain Garden #2 Drainage Area	= 1628 SF	(Front Portion of House as indicated in diagram)

REVISED: 2/10/2022

Total Drainage Area	= 9160 SF	
Rain Garden #1A Drainage Area	= 2393 SF	
Rain Garden #1B Drainage Area	= 5139 SF	
Rain Garden #2 Drainage Area	= 1628 SF	(Front Portion of House as indicated in diagram)

PREVIOUS: 2/05/2021

Rain Garden Calculations. (Attached here for clarity)



PREVIOUS: 2/05/2021:

RAIN GARDEN CALCULATIONS:

- TOTAL DRAINAGE AREA:
- DRAINAGE AREA RAIN GARDEN #1
- SOIL TYPE:
- GARDEN DEPTH:

8743 SF.
7115 SF.
PAXTON COMPLEX PnB
12"

- CALCULATION: (RAIN GARDEN #1)

$$P = 3.1 \text{ [RAINFALL \# @ 90\%]}$$

$$RV = 0.05 + 0.009(100) = .95$$

$$A = 7,115 \text{ SQFT [AREA OF DRAINAGE]}$$

WQV= WATER QUALITY VOLUME

$$WQV = \frac{(P)(RV)(A)}{12} = \frac{(3.1)(.95)(7115)}{12} = 1,746 \text{ CFT}$$

$$\mathbf{ARG = 1514 \text{ SQFT [RAIN GARDEN AREA \#1]}}$$

$$DSM = 1.5 \text{ FT [SOIL MEDIA DEPTH]}$$

$$PSM = 0.20 \text{ [SOIL MEDIA POROSITY]}$$

VSM = SOIL MEDIA VOLUME

$$VSM = (ARG)(DSM)(PSM) = (1514 \text{ SQFT})(1.5 \text{ FT})(0.20) = 454$$

$$DDL = 1.0 \text{ FT [DRAINAGE LAYER DEPTH]}$$

$$PDL = 0.40 \text{ [DRAINAGE LAYER POROSITY]}$$

VDL = DRAINAGE LAYER VOLUME

$$VDL = (ARG)(DDL)(PDL) = (1514)(1.0)(0.4) = 606$$

$$PD = 1.0 \text{ FT [PONDING DEPTH]}$$

$$WQV < VSM + VDL + (PD \times ARG)$$

$$1,746 < 454 + 606 + 1514$$

$$1,746 < 2,574$$

THEREFORE, THE RAIN GARDEN #1 AREA OF 1514 SF. IS SUFFICIENT.
ALL UNDERGROUND PIPING WILL BE 6" PVC.

PREVIOUS: 2/05/2021:

RAIN GARDEN CALCULATIONS:

- TOTAL DRAINAGE AREA:
- DRAINAGE AREA RAIN GARDEN #2
- SOIL TYPE:
- GARDEN DEPTH:

8,743 SF.
1628 SF.
PAXTON COMPLEX PnB

12"

- CALCULATION: (RAIN GARDEN #2)

$$P = 3.1 \text{ [RAINFALL \# @ 90\%]}$$

$$RV = 0.05 + 0.009(100) = .95$$

$$A = 1,628 \text{ SQFT [AREA OF DRAINAGE]}$$

WQV= WATER QUALITY VOLUME

$$WQV = \frac{(P)(RV)(A)}{12} = \frac{(3.1)(.95)(1628)}{12} = 399.5 \text{ CFT}$$

$$\text{ARG} = 348 \text{ SQFT [RAIN GARDEN AREA \#2]}$$

$$DSM = 1.5 \text{ FT [SOIL MEDIA DEPTH]}$$

$$PSM = 0.20 \text{ [SOIL MEDIA POROSITY]}$$

VSM = SOIL MEDIA VOLUME

$$VSM = (ARG)(DSM)(PSM) = (348 \text{ SQFT})(1.5 \text{ FT})(0.20) = 104.4$$

$$DDL = 1.0 \text{ FT [DRAINAGE LAYER DEPTH]}$$

$$PDL = 0.40 \text{ [DRAINAGE LAYER POROSITY]}$$

VDL = DRAINAGE LAYER VOLUME

$$VDL = (ARG)(DDL)(PDL) = (348)(1.0)(0.4) = 139.2$$

$$PD = 1.0 \text{ FT [PONDING DEPTH]}$$

$$WQV < VSM + VDL + (PD \times ARG)$$

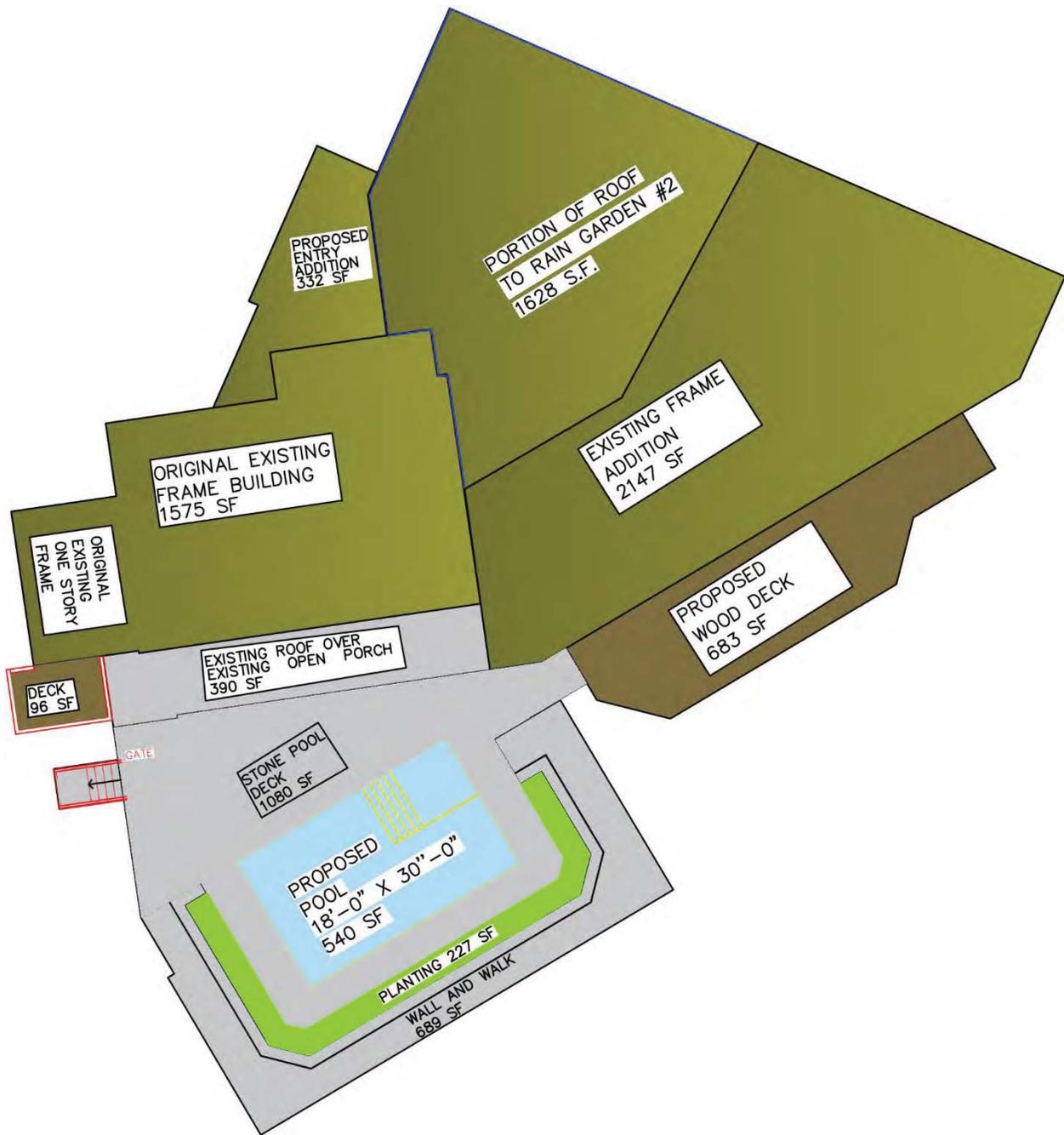
$$399.5 < 104.4 + 139.2 + 348$$

$$399.5 < 591.6$$

THEREFORE, THE RAIN GARDEN #2 AREA OF 348 SF. IS SUFFICIENT.
ALL UNDERGROUND PIPING WILL BE 6" PVC.

REVISED: 2/10/2022

Rain Garden Calculations. (Attached here for clarity)



REVISED: 2/10/2022:

RAIN GARDEN CALCULATIONS:

- TOTAL DRAINAGE AREA:
- DRAINAGE AREA RAIN GARDEN #1A
- SOIL TYPE:
- GARDEN DEPTH:

9160 SF.
2393 SF.
PAXTON COMPLEX PnB
12"

- CALCULATION: (RAIN GARDEN #1A)

$$P = 3.1 \text{ [RAINFALL \# @ 90\%]}$$

$$RV = 0.05 + 0.009(100) = .95$$

$$A = 2,393 \text{ SQFT [AREA OF DRAINAGE]}$$

WQV= WATER QUALITY VOLUME

$$WQV = \frac{(P)(RV)(A)}{12} = \frac{(3.1)(.95)(2393)}{12} = 587 \text{ CFT}$$

$$\mathbf{ARG = 605 \text{ SQFT [RAIN GARDEN AREA \#1A]}}$$

$$DSM = 1.5 \text{ FT [SOIL MEDIA DEPTH]}$$

$$PSM = 0.20 \text{ [SOIL MEDIA POROSITY]}$$

VSM = SOIL MEDIA VOLUME

$$VSM = (ARG)(DSM)(PSM) = (605 \text{ SQFT})(1.5 \text{ FT})(0.20) = 181.5$$

$$DDL = 1.0 \text{ FT [DRAINAGE LAYER DEPTH]}$$

$$PDL = 0.40 \text{ [DRAINAGE LAYER POROSITY]}$$

VDL = DRAINAGE LAYER VOLUME

$$VDL = (ARG)(DDL)(PDL) = (605)(1.0)(0.4) = 242$$

$$PD = 1.0 \text{ FT [PONDING DEPTH]}$$

$$WQV < VSM + VDL + (PD \times ARG)$$

$$587 < 181.5 + 242 + 605$$

$$587 < 1,028.5$$

THEREFORE, THE RAIN GARDEN #1A AREA OF 605 SF. IS SUFFICIENT.

ALL UNDERGROUND PIPING WILL BE 6" PVC.

REVISED: 2/10/2022:

RAIN GARDEN CALCULATIONS:

- TOTAL DRAINAGE AREA:
- DRAINAGE AREA RAIN GARDEN #1B
- SOIL TYPE:
- GARDEN DEPTH:

9160 SF.
5139 SF.
PAXTON COMPLEX PnB
12"

- CALCULATION: (RAIN GARDEN #1B)

$$P = 3.1 \text{ [RAINFALL \# @ 90\%]}$$

$$RV = 0.05 + 0.009(100) = .95$$

$$A = 5,139 \text{ SQFT [AREA OF DRAINAGE]}$$

WQV= WATER QUALITY VOLUME

$$WQV = \frac{(P)(RV)(A)}{12} = \frac{(3.1)(.95)(5139)}{12} = 1,261 \text{ CFT}$$

$$\mathbf{ARG = 920 \text{ SQFT [RAIN GARDEN AREA \#1B]}}$$

$$DSM = 1.5 \text{ FT [SOIL MEDIA DEPTH]}$$

$$PSM = 0.20 \text{ [SOIL MEDIA POROSITY]}$$

$$VSM = \text{SOIL MEDIA VOLUME}$$

$$VSM = (ARG)(DSM)(PSM) = (920 \text{ SQFT})(1.5 \text{ FT})(0.20) = 276$$

$$DDL = 1.0 \text{ FT [DRAINAGE LAYER DEPTH]}$$

$$PDL = 0.40 \text{ [DRAINAGE LAYER POROSITY]}$$

$$VDL = \text{DRAINAGE LAYER VOLUME}$$

$$VDL = (ARG)(DDL)(PDL) = (920)(1.0)(0.4) = 368$$

$$PD = 1.0 \text{ FT [PONDING DEPTH]}$$

$$WQV < VSM + VDL + (PD \times ARG)$$

$$1,261 < 276 + 368 + 920$$

$$1,261 < 1564$$

THEREFORE, THE RAIN GARDEN #1B AREA OF 920 SF. IS SUFFICIENT.

ALL UNDERGROUND PIPING WILL BE 6" PVC.

REVISED: 2/10/2022: (NO CHANGE TO RAIN GARDEN #2)

RAIN GARDEN CALCULATIONS:

- TOTAL DRAINAGE AREA:
- DRAINAGE AREA RAIN GARDEN #2
- SOIL TYPE:
- GARDEN DEPTH:
- **CALCULATION: (RAIN GARDEN #2)**

9160 SF.
1628 SF.
PAXTON COMPLEX PnB
12"

$$P = 3.1 \text{ [RAINFALL \# @ 90\%]}$$

$$RV = 0.05 + 0.009(100) = .95$$

$$A = 1,628 \text{ SQFT [AREA OF DRAINAGE]}$$

WQV= WATER QUALITY VOLUME

$$WQV = \frac{(P)(RV)(A)}{12} = \frac{(3.1)(.95)(1628)}{12} = 399.5 \text{ CFT}$$

$$\text{ARG} = 348 \text{ SQFT [RAIN GARDEN AREA \#2]}$$

$$DSM = 1.5 \text{ FT [SOIL MEDIA DEPTH]}$$

$$PSM = 0.20 \text{ [SOIL MEDIA POROSITY]}$$

VSM = SOIL MEDIA VOLUME

$$VSM = (ARG)(DSM)(PSM) = (348 \text{ SQFT})(1.5 \text{ FT})(0.20) = 104.4$$

$$DDL = 1.0 \text{ FT [DRAINAGE LAYER DEPTH]}$$

$$PDL = 0.40 \text{ [DRAINAGE LAYER POROSITY]}$$

VDL = DRAINAGE LAYER VOLUME

$$VDL = (ARG)(DDL)(PDL) = (348)(1.0)(0.4) = 139.2$$

$$PD = 1.0 \text{ FT [PONDING DEPTH]}$$

$$WQV < VSM + VDL + (PD \times ARG)$$

$$399.5 < 104.4 + 139.2 + 348$$

$$399.5 < 591.6$$

THEREFORE, THE RAIN GARDEN #2 AREA OF 348 SF. IS SUFFICIENT.

ALL UNDERGROUND PIPING WILL BE 6" PVC.



SEQUENCE OF CONSTRUCTION

1. INSTALL DOUBLE ROW OF SILT FENCING & TURBIDITY CURTAIN AS SHOWN ON SITE PLAN, NOTIFY WETLAND INSPECTOR UPON INSTALLATION COMPLETION.
2. INSTALL SPILL KIT.
3. CREATE STOCKPILE LOCATION.
4. CREATE STORAGE AREA.
5. CREATE CONCRETE WASHOUT AREA.
6. CLEAR AREA WHERE CONSTRUCTION IS PROPOSED.
7. CONSTRUCT RAIN GARDEN AND BERM.
8. CONSTRUCT RAISED POOL & POOL DECK.
9. REMOVE OLD WOOD RETAINING WALL NEAR LAKE. INSTALL NEW LARGE BOULDERS TO MATCH EXISTING AT WATER'S EDGE.
10. REPAIR EXISTING BOATHOUSE, NEW SIDING, REMOVE STAIRS TO ROOF, INSTALL NEW PITCHED ROOF.
11. INSTALL NEW 40' X 11' STORAGE SHED AT BACK OF BOATHOUSE.
12. INSTALL WOOD DECK AT HOUSE.
13. INSTALL RAIN GARDEN PLANTINGS.
14. CONNECT ROOF DRAINS TO RAIN GARDEN.
15. CLEAN SITE OF ALL MATERIALS AND SEED LAWN AS NECESSARY.
16. REMOVE SILT FENCE.
17. REMOVE TURBIDITY CURTAIN.
18. GET FINAL INSPECTION FROM TOWN OF CARMEL.

GENERAL NOTES:

1. WETLAND INSPECTOR TO BE NOTIFIED UPON COMPLETION OF RAIN GARDEN AND SILT FENCE INSTALLATION IN ORDER TO PERFORM INSPECTION.
2. PROVIDE SPILL KIT.
3. ALL EQUIPMENT FUELING IS TO BE DONE OFF SITE.

PROVIDE 20 GAL MAINTENANCE SPILL KIT, REFUELING AND EQUIPMENT STAGING AREA FOR ALL MACHINERY TO BE OFFSITE CONCRETE WASHOUT (SEE DETAIL AS-101)

ACCESS AROUND BUILDING TO BUILD POOL AND POOL DECK, RAIN GARDEN, AND THEN HOUSE WOOD DECK LAST. SEE SEQUENCE OF CONSTRUCTION.

ITEM	REQUIRED	PROVIDED	VARIANCES
FRONT YARD (MIN)	40 FT.	206.5 FT.	
REAR YARD (MIN)	40 FT.	41.00 FT.	
SIDE YARD WEST (MIN)	25 FT.	47.4 FT.	
SIDE YARD EAST (MIN)	25 FT.	25.50 FT.	
HEIGHT (MAX)	35 FT.	35 FT.	
LOT AREA	120,000 SF.	64,346 SF. (1,4772 acres)	NONE, PRE-EXISTING, NON-CONFORMING
BUILDING COVERAGE (MAX)	15% = 9,652 SF (15' x 64,346)	8,246 SF.	



SITE DATA NOTES:

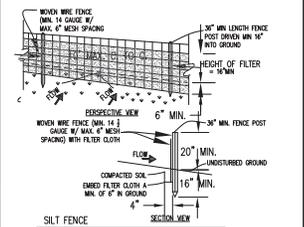
1. CONTRACT VENUE UWE SCHOENBECK 12 STONEWALL LANE RIDGEFIELD, CT 06877
2. ZONE: R-120
3. PROPOSED PROJECT USE: COMPLETION OF RESIDENTIAL ADDITION AND NEW EXTERIOR WOOD DECK
4. TAX MAP NO. SECTION 64.16 BLOCK 1 LOT 31
5. WATER/SEWER: WELLS/SSTS
6. ZONING REQUIREMENTS

STRUCTURAL DESIGN LOADS

- DESIGN LOADS
FLOOR LIVE LOAD: 40 psf
SNOW LOADING
GROUND SNOW LOAD: 50 psf
WIND LOADING
BASIC WIND SPEED: 110 mph
WIND EXPOSURE CATEGORY: C
SEISMIC DESIGN
SEISMIC DESIGN CATEGORY: D1
SITE CLASS: 1
SEISMIC USE GROUP: I

DRAWING SCHEDULE

AS-100 PROJECT INFORMATION SITE PLAN
AS-101 SITE DETAILS



SILT FENCE CONSTRUCTION SPECIFICATIONS:

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE WITH WIRE TIES OR STAPLES. POSTS SHALL BE SET, EITHER 1' OR 2' TYPE OR HARDWOOD.
2. WIRE FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 2' AT TOP AND MID SECTION, FENCE SHALL BE WOVEN WIRE, IF MAXIMUM WIND OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY BRANCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER #1 (MIRAF 1000), STABILINKA THIN, OR APPROVED EQUIVALENT.
4. PREPARED UNITS SHALL BE GEOTEX, ENVIRONMENT, OR APPROVED EQUIVALENT. SHALL BE REMOVED AS NEEDED AND MATERIAL REMOVED WHEN 'BUDGET' DEVELOP IN THE SILT FENCE.

SITE PLAN

SCALE: 1" = 20'

BASED ON A SURVEY BY LINK LAND SURVEYING.

NOTE: ALL WORK NEAR LAKEFRONT FOR SEA WALL WORK TO BE DONE BY HAND, NO FUELED EQUIPMENT.

ABBREVIATIONS:

- W. --- WIRE
- CL --- CITY WIRE
- RM --- ROOF RAISING
- PA --- POOL
- BOTTOM OF WALL
- TOP OF WALL
- TOP OF DECK
- UTILITY POLE

- RAIN GARDEN 1A = 665 SF. LEFT SIDE OF HOUSE, NEW ADDITION, DECK AND ORIGINAL HOUSE.
- RAIN GARDEN 1B = 815 SF. FOR WEST OF HOUSE, POOL, POOL DECK AND WOOD DECK.



IT IS A VIOLATION OF STATE LAW AND FEDERAL LAWS TO REPRODUCE OR TRANSMIT THE CONTENTS OF THIS PLAN OR ANY PART THEREOF WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT OR ENGINEER. THE ARCHITECT OR ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THIS PLAN AND THE INFORMATION CONTAINED HEREIN IS FOR INFORMATION ONLY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE OF ANY KIND. THE ARCHITECT OR ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THIS PLAN AND THE INFORMATION CONTAINED HEREIN IS FOR INFORMATION ONLY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE OF ANY KIND.

ARCHITECTURAL VISIONS
2 MILSCOOT ROAD NORTH MAHOPAC NY, 10541
P: 845-629-6613 F: 845-629-2807
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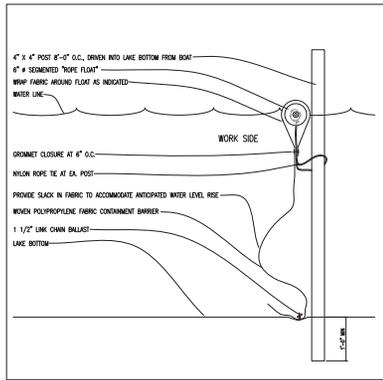
PROJECT: UWE & HEIKE SCHOENBECK
PROJECT ADDRESS: 252 WEST LAKE BLVD MAHOPAC, NY 10541
TAX MAP NO. 64.16-31

SITE DEVELOPMENT PLAN

REVISION	DATE	DESCRIPTION

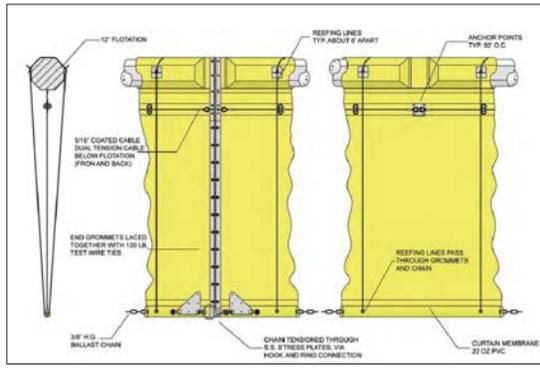
SCALE: AS NOTED
DRAWN BY: JZC
PROJECT NO. 1100-01

AS-100



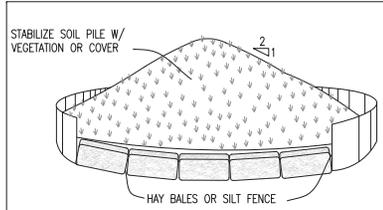
TURBIDITY CURTAIN SECTION DETAIL

SCALE: N.T.S.



TURBIDITY CURTAIN SECTION DETAIL

SCALE: N.T.S.



SOIL STOCKPILING DETAIL

NOT TO SCALE

NOTES:

1. AREA CHOSEN FOR STOCKPILE OPERATIONS SHALL BE SAFE AND STABLE
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2
3. UPON COMPLETION OF SOIL STOCKPILE, EACH PILE SHALL BE STABILIZED WITH EITHER SILT FENCE OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED

Ultra-Concrete Washout Berms®

Economical and portable containment for concrete washout

Cleaning your asphalt pavement property after a project is a lot easier with the "Ultra-Concrete Washout Berm" a light-weight portable way to collect "washout". Ultra-Concrete Washout Berms are made from 100% recycled 10 mil polyethylene construction material for use for various uses.

Additional Details:

- Helps maintain EPA compliance
- Available for simple and 5' x 6' set .5 in seconds.
- Equipped with misters, pump handle, and spray lance
- Built-in tie-downs allow berms to be secured to standard wooden decks (not included, for easier handling and transport).
- Dispose of after evaporation and job completion.

Ultra-Ten 150 gal Concrete Washout Berm

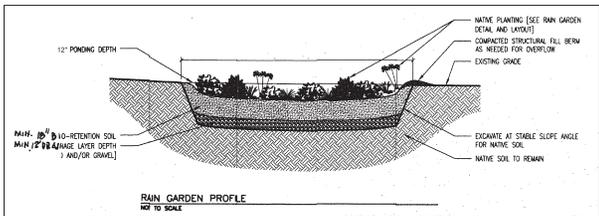
Part #	Dimensions in.	Containment Capacity gal.
3512	49" x 48" x 14"	135



RAIN GARDEN PLANTS:

SYMBOL	SPECIES NAME	COMMON NAME	NO. PLANTS	RG#2
Aa	Atropa atropurpurea	Jack-in-the-pulpit	18	7
Aj	Asar canadense	Snake flowering asar	42	10
Ca	Carax americana	Tall waterwort	20	4
Cd	Carax dioica	Star waterwort	20	4
Cd	Carax lupulina	Map waterwort	18	5
Ev	Elymus virginicus	Virginia wild rye	27	7
Ep	Eupatorium purpureum	Purple Joe-Pye weed	9	3
Ir	Iris virginica	White flag Iris	17	4
Lc	Lobelia cardinalis	Cardinal flower	42	7
Mv	Mercurialis virginica	Virginia bluebells	30	7
Oc	Onocrotium dioica	Interrupted fern	30	7
Pd	Phlox divaricata	Woodland phlox	40	8
Sf	Solidago canadensis	Zig zag goldenrod	26	8
Za	Zizia aurea	Golden Alexander	36	8
TOTAL FOR EACH RAIN GARDEN			375	87

TOTAL PLANTS NEEDED: 462



RAIN GARDEN CALCULATIONS:

- TOTAL DRAINAGE AREA: 9,160 SF.
- DRAINAGE AREA RAIN GARDEN #1A: 2,390 SF.
- SOIL TYPE: PAXTON COMPLEX PhB
- GARDEN DEPTH: 12"
- CALCULATION: (RAIN GARDEN #1A) = 2,390 SF

P = 3.1 (RAINFALL # @ 90%)
 RV = 0.025 x 0.029(100) = .05
 A = 2,390 SQFT (AREA OF DRAINAGE)
 WQV = WATER QUALITY VOLUME

WQV = (P)(RV)(A) = (3.1)(.05)(2,390) = 369.7 FT

ARG = 600 SQFT (RAIN GARDEN AREA #1A)
 DSM = 1.5 FT (SOIL MEDIA DEPTH)
 PSM = 0.20 (SOIL MEDIA POROSITY)
 VSM = SOIL MEDIA VOLUME

VSM = (ARG)(DSM)(PSM) = (600)(1.5)(.20) = 180.0

DDL = 1.0 FT (DRAINAGE LAYER DEPTH)
 PDL = 0.40 (DRAINAGE LAYER POROSITY)
 VDL = DRAINAGE LAYER VOLUME

VDL = (ARG)(DDL)(PDL) = (600)(1.0)(.4) = 240.0

WQV ≤ VSM + VDL + (PDLARG) = 180.0 + 240.0 = 420.0

587 ≤ 420.0 + 240.0 + 800 = 1,627

587 ≤ 1,627

THEFORE, THE RAIN GARDEN #1A AREA OF 600 SF. IS SUFFICIENT.

ALL UNDERGROUND PIPING WILL BE 6\"/>

RAIN GARDEN CALCULATIONS:

- TOTAL DRAINAGE AREA: 9,160 SF.
- DRAINAGE AREA RAIN GARDEN #1B: 2,390 SF.
- SOIL TYPE: PAXTON COMPLEX PhB
- GARDEN DEPTH: 12"
- CALCULATION: (RAIN GARDEN #1B) = 2,390 SF

P = 3.1 (RAINFALL # @ 90%)
 RV = 0.025 x 0.029(100) = .05
 A = 2,390 SQFT (AREA OF DRAINAGE)
 WQV = WATER QUALITY VOLUME

WQV = (P)(RV)(A) = (3.1)(.05)(2,390) = 369.7 FT

ARG = 600 SQFT (RAIN GARDEN AREA #1B)
 DSM = 1.5 FT (SOIL MEDIA DEPTH)
 PSM = 0.20 (SOIL MEDIA POROSITY)
 VSM = SOIL MEDIA VOLUME

VSM = (ARG)(DSM)(PSM) = (600)(1.5)(.20) = 180.0

DDL = 1.0 FT (DRAINAGE LAYER DEPTH)
 PDL = 0.40 (DRAINAGE LAYER POROSITY)
 VDL = DRAINAGE LAYER VOLUME

VDL = (ARG)(DDL)(PDL) = (600)(1.0)(.4) = 240.0

WQV ≤ VSM + VDL + (PDLARG) = 180.0 + 240.0 = 420.0

587 ≤ 420.0 + 240.0 + 800 = 1,627

587 ≤ 1,627

THEFORE, THE RAIN GARDEN #1B AREA OF 600 SF. IS SUFFICIENT.

ALL UNDERGROUND PIPING WILL BE 6\"/>

RAIN GARDEN CALCULATIONS:

- TOTAL DRAINAGE AREA: 9,160 SF.
- DRAINAGE AREA RAIN GARDEN #2: 348 SF.
- SOIL TYPE: PAXTON COMPLEX PhB
- GARDEN DEPTH: 12"
- CALCULATION: (RAIN GARDEN #2) = 348 SF

P = 3.1 (RAINFALL # @ 90%)
 RV = 0.025 x 0.029(100) = .05
 A = 348 SQFT (AREA OF DRAINAGE)
 WQV = WATER QUALITY VOLUME

WQV = (P)(RV)(A) = (3.1)(.05)(348) = 58.7 FT

ARG = 348 SQFT (RAIN GARDEN AREA #2)
 DSM = 1.5 FT (SOIL MEDIA DEPTH)
 PSM = 0.20 (SOIL MEDIA POROSITY)
 VSM = SOIL MEDIA VOLUME

VSM = (ARG)(DSM)(PSM) = (348)(1.5)(.20) = 104.4

DDL = 1.0 FT (DRAINAGE LAYER DEPTH)
 PDL = 0.40 (DRAINAGE LAYER POROSITY)
 VDL = DRAINAGE LAYER VOLUME

VDL = (ARG)(DDL)(PDL) = (348)(1.0)(.4) = 139.2

WQV ≤ VSM + VDL + (PDLARG) = 104.4 + 139.2 = 243.6

399.5 ≤ 243.6 + 139.2 + 348 = 730.8

399.5 ≤ 730.8

THEFORE, THE RAIN GARDEN #2 AREA OF 348 SF. IS SUFFICIENT.

ALL UNDERGROUND PIPING WILL BE 6\"/>



PHOTOS OF BOATHOUSE – REMOVE STAIRS & ROOF DECK. REMOVE OCTAGON SHED



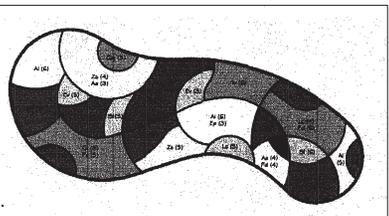
REMOVE EXISTING WOOD RETAINING WALL (APPROXIMATELY 16-17 IN LENGTH) INSTALL NEW LARGE BOULDERS TO MATCH EXISTING.



PHOTOS OF EXISTING WOOD RETAINING WALL TO BE REMOVED & EXISTING BOULDERS



PHOTOS OF EXISTING WOOD RETAINING WALL TO BE REMOVED & EXISTING BOULDERS



ARCHITECTURAL VISIONS

2 MILSCOOT ROAD NORTH MAHOPAC NY, 10541
 914.629.2807

PROJECT: UWIE & HEIKE SCHOENBECK
 PROJECT ADDRESS: 252 WEST LANE BLVD MAHOPAC, NY 10541
 TAX MAP NO. 64.161-37

SITE DETAILS, TURBIDITY CURTAIN, SOIL STOCKPILE, CONC. WASHOUT

SCALE AS NOTED
 DRAWN BY: JCH
 PROJECT NO. 11-001-101

AS-101

IF A SOLUTION OF STATE LAW OR FEDERAL CASES DIRECTS THE OPPOSITE OF A LICENSED ARCHITECT, TO ALTER OR OBTAIN THESE PLANS AND DOCUMENTS FOR ANY OTHER STATE LAW, IT IS HEREBY ORDERED THAT THE SEAL OF AN ARCHITECT BE ALTERED. THE ALTERING ARCHITECT SHALL AFFIX TO THESE PLANS THE SEAL AND THE INITIALS. THE SEAL OF A LICENSED ARCHITECT SHALL BE THE SEAL OF THE ARCHITECT FOR THE STATE OF NEW YORK. THE ARCHITECT SHALL BE RESPONSIBLE FOR ALTERING THESE PLANS AND DOCUMENTS TO COMPLY WITH THE REQUIREMENTS OF THE STATE OF NEW YORK. THE ARCHITECT SHALL BE RESPONSIBLE FOR ALTERING THESE PLANS AND DOCUMENTS TO COMPLY WITH THE REQUIREMENTS OF THE STATE OF NEW YORK.

ROBERT ROSELLI, PE

PO Box 837
Mahwah, NJ 07430

213 Route 100
Katonah, NY 10536

Phone: 201-993-0781
Email: info@upstatedevelopment.com

February 8, 2022

Town of Carmel
Environmental Conservation Board
60 McAlpin Avenue
Mahopac, NY 10541
Attn.: Robert Laga, Chairman

Re: Pasato Residence, 24 Wood Street Mahopac

Mr. Laga:

Please find enclosed four copies of the proposed site plan and one copy of rain garden sizing calculations for a wetland permit for an addition to a single-family home in accordance with the ECB's comments:

- Notes have been added in regard to motorized equipment including the need for an emergency spill kit, fueling and parking area on the asphalt driveway, 6 mil poly sheet for equipment parking
- A rain garden design and detail are provided
- A note requiring silt fence inspection prior to construction has been added to the construction sequence
- The soil stockpile detail has been updated with haybales in lieu of silt fence

If you have any questions regarding the above, please feel free to contact me. Thank you.

Very truly yours,



Robert Roselli, PE

**RAIN GARDEN CALCULATIONS
PASATO RESIDENCE
24 WOOD STREET, MAHOPAC
FEBRUARY 7, 2022**



RR.

**ROBERT ROSELLI, PE
NY LIC. NO. 078664**

PROJECT 24 WOOD ST. ADDITION
SUBJECT RAIN GARDEN SIZING

PAGE NO. 1 OF 1
JOB NO. _____
MADE BY MR DATE 2-7-22
CHKD BY _____ DATE _____

ROOF AREA = 830 FT²
RAIN GARDEN AREA = 50 FT² (ARG)
DEPTH SOIL MEDIA = 18 IN. = 1.5 FT (DSM)
DRAINAGE LAYER DEPTH = 12 IN. = 1.0 FT (DOL)
PONDING DEPTH = 6 IN. (DP)

1. SOLVE FOR $WQV = \frac{(P)(R_v)(A)}{12}$

$P = 90\% \text{ RAINFALL} = 0.9 \text{ IN.}$

$R_v = 0.05 + 0.009(I) = 0.05 + 0.009(100) = 0.95$

$A = \text{ROOF AREA} = 830 \text{ FT}^2$

$\therefore WQV = \frac{(0.9)(0.95)(830)}{12} = 59 \text{ FT}^3$

2. SOLVE FOR STORAGE VOLUME =

VOLUME SOIL MEDIA (VSM) = ARG × DSM × PSM

POROSITY SOIL MEDIA (PSM) = 0.2

$\therefore VSM = 50 \text{ FT}^2 \times 1.5 \text{ FT} \times 0.2 = \underline{15 \text{ FT}^3}$

VOLUME DRAINAGE LAYER VOL = ARG × DOL × PDL

POROSITY DRAINAGE LAYER (PDL) = 0.4

$\therefore \text{VOL} = 50 \text{ FT}^2 \times 1.0 \text{ FT} \times 0.4 = \underline{20 \text{ FT}^3}$

VOLUME PONDING = DP × ARG = 0.5 FT × 50 FT² = 25 FT³

TOTAL STORAGE = 15 + 20 + 25 = 60 FT³ > 59 FT³ WQV

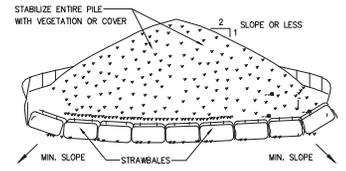
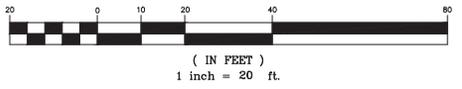


LEGEND

PROPOSED ADDITION SITE PLAN

- 87.65 EXISTING SPOT ELEVATION
- 300 EXISTING CONTOUR
- 300 PROPOSED CONTOUR
- T/W TOP OF WALL
- B/W BOTTOM OF WALL
- EXISTING TREE
- WETLAND FLAG

GRAPHIC SCALE



INSTALLATION NOTES

1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.

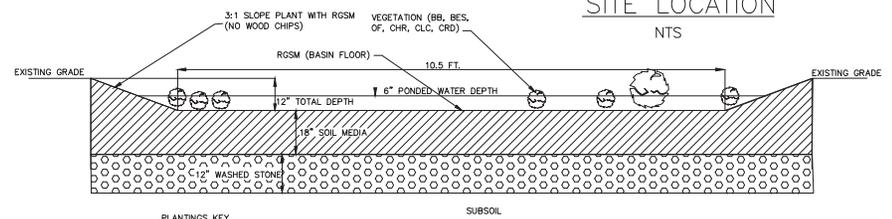
SOIL STOCKPILING

NTS



SITE LOCATION

NTS



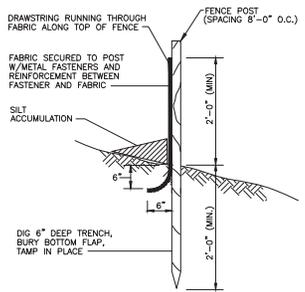
RAIN GARDEN CROSS SECTION AA

NTS

- PLANTING KEY**
- RGSM RAIN GARDEN SEED MIX APPLICATION RATE 1 LB. PER 900 SF COMPOSED OF:
 - CANADA WILD RYE 30%
 - CREeping BENT RYE 30%
 - ANNUAL RYE GRASS 40%
 - BB - SCARLET BEE-BALM 3
 - BES - BLACK EYED SUSAN 3
 - CF - CANNONBALL FERN 3
 - CHR - CHRISTMAS FEEN 3
 - CLC - CUTLEAF CONEFLOWER 3
 - CRD - CARDINAL FLOWER 3

NOTES:

1. ALL CONSTRUCTION TO BE IN CONFORMANCE WITH THE NY STATE STORMWATER MANAGEMENT DESIGN MANUAL LATEST EDITION.



SILT FENCE DETAIL

N.T.S.

REQUIREMENTS FOR SILT FENCE:

1. FENCE POSTS SHALL BE SPACED 8 FT. CENTER-TO-CENTER OR CLOSER. THEY SHALL EXTEND AT LEAST 2 FEET INTO THE GROUND AND EXTEND AT LEAST 2 FEET ABOVE GROUND. POSTS SHALL BE CONSTRUCTED OF HARDWOOD WITH A MINIMUM DIAMETER THICKNESS OF 1 1/2 INCHES.
2. A METAL FENCE WITH 6 INCH OR SMALLER OPENINGS AND AT LEAST 2 FEET HIGH MAY BE UTILIZED, FASTENED TO THE FENCE POSTS, TO PROVIDE REINFORCEMENT AND SUPPORT TO THE GEOTEXTILE FABRIC WHERE SPACE FOR OTHER PRACTICES IS LIMITED AND HEAVY SEDIMENT LOADING IS EXPECTED.
3. A GEOTEXTILE FABRIC, RECOMMENDED FOR SUCH USE BY THE MANUFACTURER, SHALL BE BURIED AT LEAST 6 INCHES DEEP IN THE GROUND. THE FABRIC SHALL EXTEND AT LEAST 2 FEET ABOVE THE GROUND. THE FABRIC MUST BE SECURELY FASTENED TO THE POSTS USING A SYSTEM CONSISTING OF METAL FASTENERS (NAILS OR STAPLES) AND A HIGH STRENGTH REINFORCEMENT MATERIAL (NYLON WEBBING, GROMMETS, WASHERS ETC.) PLACED BETWEEN THE FASTENER AND THE GEOTEXTILE FABRIC. THE FASTENING SYSTEM SHALL RESIST TEARING AWAY FROM THE POST. THE FABRIC SHALL INCORPORATE A DRAWSTRING IN THE PORTION OF THE FENCE FOR ADDED STRENGTH.

SEQUENCE OF CONSTRUCTION:

1. INSTALL AND SECURE ALL SILT FENCING AS SHOWN ON THE SITE PLAN. CALL TOWN WETLANDS INSPECTOR FOR SILT FENCE INSPECTION PRIOR TO ANY CONSTRUCTION.
2. EXCAVATE AND CONSTRUCT FOR NEW FOOTINGS.
3. FRAME WALLS AND ROOF.
4. REMOVE SILT FENCE UPON COMPLETION AND INSPECTIONS OF NEW ADDITION.

MOTORIZED EQUIPMENT NOTES:

1. EMERGENCY SPILL KIT TO BE KEPT ON SITE DURING ALL CONSTRUCTION.
2. ANY FUELING TO TAKE PLACE ON THE ASPHALT DRIVEWAY.
3. ANY VEHICLE TO BE PARKED ON THE DRIVEWAY OVERNIGHT.
4. PROVIDE A 6 MIL POLY SHEET UNDERNEATH VEHICLE WHEN PARKING AND FUELING.

NOTES:

1. EXISTING SURVEY AND WETLAND FLAG LOCATIONS PREPARED BY ROWAN LAND SURVEYING, LLC DATED 01.20.22
2. WETLANDS DELINEATED BY PAUL J. JAEHNIG WETLANDS AND SOIL CONSULTING 01.14.22.
3. OWNER OR CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SHOULD ACTUAL CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN WHICH MAY AFFECT THE VERTICAL AND/OR HORIZONTAL POSITION OF THE ADDITION.
4. CONTRACTOR IS RESPONSIBLE FOR THE PLACEMENT OF THE ADDITION BOTH VERTICALLY AND HORIZONTALLY.
5. NO TREES ARE PROPOSED TO BE REMOVED, IF ANY TREES OR ROOT STRUCTURES ARE DAMAGED DURING CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE HOMEOWNER/CONTRACTOR TO CONTACT AN ARBORIST TO ASSESS THE DAMAGE TO THE TREES.
6. DRIVEWAY TO BE UTILIZED FOR CONSTRUCTION ACCESS.
7. CONTRACTOR TO CALL FOR UTILITY MARK OUT AT LEAST 3 BUSINESS DAYS PRIOR TO CONSTRUCTION.
8. ALL EXCESS EXCAVATED MATERIAL NOT USED FOR BACKFILL SHALL BE REMOVED FROM THE SITE AND DISPOSED IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND STATE REGULATIONS.
9. THERE IS NO FLOODPLAIN ON THIS PROPERTY PER FEMA FLOOD PANEL 3607900206C DATED 03.04.2013

THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR USE ONLY BY THE PARTY FOR WHOM THE WORK WAS CONTRACTED OR TO WHOM IT IS CERTIFIED.
THIS DRAWING MAY NOT BE COPIED, REUSED, DISCLOSED, DISTRIBUTED OR RELIED UPON FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN ROBERT ROSSELLI, PE

REVISION	DATE	APPROVED	DESIGNER: RR
UPDATE PER COMMENTS OF THE ECB	02.07.22	RR	DRAWN BY: RR
			CHECK BY: RR
			DATE: 01.24.22
			SCALE: 1"=20'
			PROJECT NO.: pasoto



ROBERT ROSELLI, P.E.
N.Y. LIC. NO. 078664

ROBERT ROSELLI, PE

PO BOX 837, MAHWAH, NJ 07430
213 ROUTE 100, KATONAH, NY 10536
TEL: (201) 993-0781 email: info@upstatedevelopment.com

PROPOSED ADDITION SITE PLAN

FOR THE PASATO RESIDENCE

24 WOOD STREET
TM 85.15-1-10
MAHOPAC, TOWN OF CARMEL, NY

DRAWING NO:

1
SHEET 1 OF 1

JOHN KARELL, JR., P.E.
121 CUSHMAN ROAD
PATTERSON, NEW YORK, 12563
845-878-7894 FAX 845 878 4939
jack4911@yahoo.com

February 13, 2022

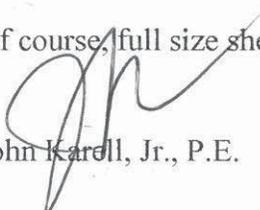
Re: Response to comments Town of Carmel ECB from the January 6, 2022 Meeting
Fatmir Osmanaj
441 Barrett Hill Road, Carmel (T), Mahopac

Please be advised that plans and documents have been revised as follows:

1. Notes have been added regarding placement of signs every 50 feet both sides of buffer along with a detail.
2. Buildings to be removed are indicated and square footage provided. These building locations were shown on the plans approved by the DEC.
3. Wetland flagging and silt fencing are shown along with the 100 foot wetland buffer.
4. The DEC approved their permit based upon their original inspection of the flagging that was reflected on the DEC permit. In that regard Ted Kozlowski has been contracted to inspect the wetlands to determine if the boundary has changed. The report of his inspection is attached and indicates that the boundary in fact has not changed.
5. See item # 2 above. Both barns are to be removed along with the existing house. As aforesated these buildings included in the area of disturbance reflected on the plans and included in the DEC permit.
6. A copy of the DEC permit has been submitted to the Town previously.

Plan sheets 1 of 5 and 2 of 5 are attached herewith. These two sheets were revised to address the comments of the Board. Sheet 3 of 5 has not been revised therefore it has not been submitted. Sheets 4 of 5 and 5 of 5 are pre and post drainage plans which were submitted as part of the SWPPP but were not include in the previous submission to the ECB. 11 x 17 copies of these two sheets are attached.

Of course, full size sheets of all final plays will be submitted to the ECB for final approval.


John Karell, Jr., P.E.

TED KOZLOWSKI
136 BIG ELM ROAD
BREWSTER, NEW YORK 10509
(845) 278-6169
TKOZLOW@AOL.COM

January 31, 2022

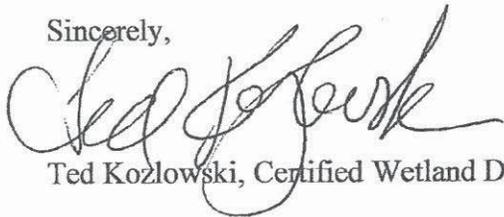
Mr. Jack Karell
Cushman Road
Patterson, NY 10524

RE: Wetland Delineation Certification
Fatmir Osmanaj, 441 Baret Hill Road, Mahopac, NY

Dear Mr. Karell:

On December 13, 2021, I inspected the above site and found no change in the wetland and determined that a re-delineation is unnecessary.

Sincerely,

A handwritten signature in black ink, appearing to read 'Ted Kozlowski', written in a cursive style.

Ted Kozlowski, Certified Wetland Delineator

NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Division of Environmental Permits, Region 3

21 South Putt Corners Road, New Paltz, NY 12561-1620

P: (845) 256-3054 | F: (845) 255-4659

www.dec.ny.gov



**Department of
Environmental
Conservation**

IMPORTANT NOTICE TO ALL PERMITTEES

The permit you requested is enclosed. Please read it carefully and note the conditions that are included in it. The permit is valid for only that activity expressly authorized therein; work beyond the scope of the permit may be considered a violation of law and be subject to appropriate enforcement action. Granting of this permit does not relieve the permittee of the responsibility of obtaining any other permission, consent or approval from any other federal, state, or local government which may be required.

Please note the expiration date of the permit. Applications for permit renewal should be made well in advance of the expiration date (minimum of 30 days) and submitted to the Regional Permit Administrator at the above address. For SPDES, Solid Waste and Hazardous Waste Permits, renewals must be made at least 180 days prior to the expiration date.

The DEC permit number & program ID number noted on page 1 under "Permit Authorization" of the permit are important and should be retained for your records. These numbers should be referenced on all correspondence related to the permit, and on any future applications for permits associated with this facility/project area.

If a permit notice sign is enclosed, it must be posted at the work site with appropriate weather protection, per General Condition 1 and any other applicable permit conditions.

If you have any questions on the extent of work authorized or your obligations under the permit, please contact the staff person indicated below or the Division of Environmental Permits at the above address.

Chris Lang

Chris Lang
Division of Environmental Permits, Region 3
Telephone (845) 256-3096



**Department of
Environmental
Conservation**



PERMIT
Under the Environmental Conservation Law (ECL)

Permittee and Facility Information

Permit Issued To:

FATMIR OSMANAJ
120 ANDERSON AVE
MOUNT VERNON, NY 10550
(646) 546-4673

Facility:

OSMANAJ PROPERTY - BARRETT HILL RD
441 BARRETT HILL RD
MAHOPAC, NY 10541

Facility Location: in CARMEL in PUTNAM COUNTY

Facility Principal Reference Point: NYTM-E: 603.70406153382 NYTM-N:
4586.016730620821

Latitude: 41°25'08.5" Longitude: 73°45'32.5"

Authorized Activity: This permit authorizes disturbance to the 100-foot adjacent area of Freshwater Wetland OL-70 (Class II) associated with the construction of a driveway for a new single-family residence.

Permit Authorizations

Freshwater Wetlands - Under Article 24

Permit ID 3-3720-00461/00001

New Permit

Effective Date: 1/28/2022

Expiration Date: 12/31/2026

Water Quality Certification - Under Section 401 - Clean Water Act

Permit ID 3-3720-00461/00002

New Permit

Effective Date: 1/28/2022

Expiration Date: 12/31/2026

NYSDEC Approval

By acceptance of this permit, the permittee agrees that the permit is contingent upon strict compliance with the ECL, all applicable regulations, and all conditions included as part of this permit.

Permit Administrator: CHRISTOPHER LANG, Deputy Regional Permit Administrator

Address: NYSDEC Region 3 Headquarters
21 S Putt Corners Rd
New Paltz, NY 12561

Authorized Signature: _____

Date 01 / 28 / 2022



Distribution List

Sarah Pawliczak-Vacek, DEC Bureau of Ecosystem Health
Brian Orzel, US Army Corps of Engineers
Town of Carmel
Jack Karell
Kevin Desharnais, KGD Designs

Permit Components

NATURAL RESOURCE PERMIT CONDITIONS

WATER QUALITY CERTIFICATION SPECIFIC CONDITION

GENERAL CONDITIONS, APPLY TO ALL AUTHORIZED PERMITS

NOTIFICATION OF OTHER PERMITTEE OBLIGATIONS

NATURAL RESOURCE PERMIT CONDITIONS - Apply to the Following Permits: FRESHWATER WETLANDS; WATER QUALITY CERTIFICATION

- 1. Conformance With Plans** All activities authorized by this permit must be in strict conformance with the approved plans submitted by the applicant or applicant's agent as part of the permit application. Such approved plans were prepared by the applicant or applicant's agent, as referenced in Natural Resource Permit Condition 2.
- 2. Conformance with Plans - Addenda** In addition to plans referenced in the Condition titled "Conformance with Plans," the activities authorized by this permit must be in strict conformance with the following approved plans and/or submissions made as part of the permit application:
 - a. Drawing numbered "SWPPP 1 of 5" for "New Residence: Osmanaj 441 Barrett Hill Rd Mahopac NY", last revised November 11, 2021, received by DEC December 22, 2021;
 - b. Drawings numbered "SWPPP 2 of 5" and "SWPPP 3 of 5" for "New Residence: Osmanaj 441 Barrett Hill Rd Mahopac NY", dated November 24, 2020, received by DEC December 22, 2021;
 - c. Narrative, and attached unnamed undated plan, regarding wetland mitigation planting, prepared by Ted Kozlowski, dated December 13, 2021, received by DEC December 22, 2022.
- 3. Notice of Intent to Commence Work** The permittee or their representative must notify Sarah Pawliczak-Vacek of the DEC Bureau of Ecosystem Health via email (sarah.pawliczak@dec.ny.gov) no less than 48 hours prior to the commencement of work.



4. Post Permit Sign The permit sign enclosed with this permit shall be posted in a conspicuous location on the worksite and adequately protected from the weather.

5. Install Controls as Shown on Plans Prior to commencement of the activities authorized herein, the permittee shall install securely anchored silt fencing and/or continuous staked straw bales as shown on the plans or drawings referenced in this permit.

6. Maintain Erosion Controls These erosion control devices shall be maintained until all disturbed land is fully vegetated to prevent any silt or sediment from entering the freshwater wetland or its adjacent area. Silt fencing, hay bales and any accumulated silt or sediment shall be completely removed for disposal at an appropriate upland site.

7. No Wetland Disturbance No disturbance to the wetland is authorized.

8. Work Within Area Depicted on Plans All construction activity, including operation of machinery, excavation, filling, grading, clearing of vegetation, disposal of waste, street paving and stockpiling of material must take place within the project site as depicted on the project plans referenced by this permit. Construction activity is prohibited within areas to be left in a natural condition or areas not designated by the subject permit.

9. No Equipment in Wetland Heavy equipment, including bulldozers, backhoes, payloaders, etc., shall not be operated in the wetland.

10. No Herbicides, Pesticides in Wetland or Buffer Use of herbicides and other pesticides in the wetland and the 100 foot regulated adjacent area is expressly prohibited. Chemical applications are regulated activities and may only be conducted pursuant to a valid Article 33 and Article 24 permit from this Department.

11. Concrete Leachate During construction, no wet or fresh concrete or leachate shall be allowed to escape into any wetlands or waters of New York State, nor shall washings from ready-mixed concrete trucks, mixers, or other devices be allowed to enter any wetland or waters. Only watertight or waterproof forms shall be used. Wet concrete shall not be poured to displace water within the forms.

12. Clean Fill Only All fill shall consist of clean soil, sand and/or gravel that is free of the following substances: asphalt, slag, flyash, broken concrete, demolition debris, garbage, household refuse, tires, woody materials including tree or landscape debris, and metal objects. The introduction of materials toxic to aquatic life is expressly prohibited.

13. Precautions Against Contamination of Waters All necessary precautions shall be taken to preclude contamination of any wetland or waterway by suspended solids, sediments, fuels, solvents, lubricants, epoxy coatings, paints, concrete, leachate or any other environmentally deleterious materials associated with the project.

14. Stockpile Areas Excavated materials and/or fill materials shall be stockpiled more than 100 feet landward of the wetland or water body and shall be contained by straw bales or silt fencing to prevent erosion.

15. Invasive Species (Non-native Vegetation) To prevent the unintentional introduction or spread of invasive species, the permittee must ensure that all construction equipment be cleaned of mud, seeds,



vegetation and other debris before entering any approved construction areas within the state regulated freshwater wetland or its 100 foot adjacent area.

16. Long Term Survival of Wetland/Adjacent Area Plantings The permittee is responsible for replacement of lost wetland and/or wetland adjacent area plantings if the survival rate of the initial plantings is less than 85% within one year after planting. During the subsequent years of monitoring the success of these plantings as required by this permit, if the survival rate of these plantings remains less than 85% or invasive species are noted at levels greater than 10-15%, the permittee must evaluate the reasons for these results and develop and implement a remediation plan approved by the Department to ensure a successful plantings mitigation.

17. Wetland Mitigation Monitoring The success of the wetland/adjacent area plantings mitigation area(s) shall be monitored for a minimum of five years after completion. Annual reports discussing the status of vegetation established, and problems that have occurred and containing representative photographs, shall be provided to Sarah Pawliczak-Vacek of the DEC Bureau of Ecosystem Health via email (sarah.pawliczak@dec.ny.gov) by December 31 of each year for the duration of this permit, with the first report due no later than December 31 of the calendar year in which this work commenced.

18. Disposal of Material Any demolition debris, excess construction materials, and/or excess excavated materials shall be immediately and completely disposed of on an approved upland site more than 100 feet from any regulated waterbody or wetland. These materials shall be suitably stabilized so as not to re-enter any water body, wetland, or wetland adjacent area; and must be disposed of in accordance with all local, state, and federal statutes, regulations, or ordinances.

19. Seed, Mulch Disturbed Areas All areas of soil disturbance resulting from this project shall be seeded with an appropriate perennial grass, and mulched with straw immediately upon completion of the project, within two days of final grading, or by the expiration of the permit, whichever is first.

20. Prior Approval of Changes If the permittee desires to make any minor changes to the scope of work shown in the approved plans referenced in Natural Resource Permit Condition 2, the permittee shall submit a request via email to Sarah Pawliczak-Vacek of the DEC Bureau of Ecosystem Health (sarah.pawliczak@dec.ny.gov) to make such proposed changes. The proposed changes shall not be implemented unless authorized in writing by the Department. Issuance of such approval without modification of the permit is at the Department's discretion.

21. State May Order Removal or Alteration of Work If future operations by the State of New York require an alteration in the position of the structure or work herein authorized, or if, in the opinion of the Department of Environmental Conservation it shall cause unreasonable obstruction to the free navigation of said waters or flood flows or endanger the health, safety or welfare of the people of the State, or cause loss or destruction of the natural resources of the State, the owner may be ordered by the Department to remove or alter the structural work, obstructions, or hazards caused thereby without expense to the State, and if, upon the expiration or revocation of this permit, the structure, fill, excavation, or other modification of the watercourse hereby authorized shall not be completed, the owners, shall, without expense to the State, and to such extent and in such time and manner as the Department of Environmental Conservation may require, remove all or any portion of the uncompleted structure or fill and restore to its former condition the navigable and flood capacity of the watercourse. No claim shall be made against the State of New York on account of any such removal or alteration.



22. State May Require Site Restoration If upon the expiration or revocation of this permit, the project hereby authorized has not been completed, the applicant shall, without expense to the State, and to such extent and in such time and manner as the Department of Environmental Conservation may lawfully require, remove all or any portion of the uncompleted structure or fill and restore the site to its former condition. No claim shall be made against the State of New York on account of any such removal or alteration.

23. State Not Liable for Damage The State of New York shall in no case be liable for any damage or injury to the structure or work herein authorized which may be caused by or result from future operations undertaken by the State for the conservation or improvement of navigation, or for other purposes, and no claim or right to compensation shall accrue from any such damage.

WATER QUALITY CERTIFICATION SPECIFIC CONDITIONS

1. Water Quality Certification The authorized project, as conditioned pursuant to the Certificate, complies with Section 301, 302, 303, 306, and 307 of the Federal Water Pollution Control Act, as amended and as implemented by the limitations, standards, and criteria of state statutory and regulatory requirements set forth in 6 NYCRR Section 608.9(a). The authorized project, as conditioned, will also comply with applicable New York State water quality standards, including but not limited to effluent limitations, best usages and thermal discharge criteria, as applicable, as set forth in 6 NYCRR Parts 701, 702, 703, and 704.

GENERAL CONDITIONS - Apply to ALL Authorized Permits:

1. Facility Inspection by The Department The permitted site or facility, including relevant records, is subject to inspection at reasonable hours and intervals by an authorized representative of the Department of Environmental Conservation (the Department) to determine whether the permittee is complying with this permit and the ECL. Such representative may order the work suspended pursuant to ECL 71- 0301 and SAPA 401(3).

The permittee shall provide a person to accompany the Department's representative during an inspection to the permit area when requested by the Department.

A copy of this permit, including all referenced maps, drawings and special conditions, must be available for inspection by the Department at all times at the project site or facility. Failure to produce a copy of the permit upon request by a Department representative is a violation of this permit.

2. Relationship of this Permit to Other Department Orders and Determinations Unless expressly provided for by the Department, issuance of this permit does not modify, supersede or rescind any order or determination previously issued by the Department or any of the terms, conditions or requirements contained in such order or determination.

3. Applications For Permit Renewals, Modifications or Transfers The permittee must submit a separate written application to the Department for permit renewal, modification or transfer of this



permit. Such application must include any forms or supplemental information the Department requires. Any renewal, modification or transfer granted by the Department must be in writing. Submission of applications for permit renewal, modification or transfer are to be submitted to:

Regional Permit Administrator
NYSDEC Region 3 Headquarters
21 S Putt Corners Rd
New Paltz, NY12561

4. Submission of Renewal Application The permittee must submit a renewal application at least 30 days before permit expiration for the following permit authorizations: Freshwater Wetlands, Water Quality Certification.

5. Permit Modifications, Suspensions and Revocations by the Department The Department reserves the right to exercise all available authority to modify, suspend or revoke this permit. The grounds for modification, suspension or revocation include:

- a. materially false or inaccurate statements in the permit application or supporting papers;
- b. failure by the permittee to comply with any terms or conditions of the permit;
- c. exceeding the scope of the project as described in the permit application;
- d. newly discovered material information or a material change in environmental conditions, relevant technology or applicable law or regulations since the issuance of the existing permit;
- e. noncompliance with previously issued permit conditions, orders of the commissioner, any provisions of the Environmental Conservation Law or regulations of the Department related to the permitted activity.

6. Permit Transfer Permits are transferrable unless specifically prohibited by statute, regulation or another permit condition. Applications for permit transfer should be submitted prior to actual transfer of ownership.

NOTIFICATION OF OTHER PERMITTEE OBLIGATIONS

Item A: Permittee Accepts Legal Responsibility and Agrees to Indemnification

The permittee, excepting state or federal agencies, expressly agrees to indemnify and hold harmless the Department of Environmental Conservation of the State of New York, its representatives, employees, and agents ("DEC") for all claims, suits, actions, and damages, to the extent attributable to the permittee's acts or omissions in connection with the permittee's undertaking of activities in connection with, or operation and maintenance of, the facility or facilities authorized by the permit whether in compliance or not in compliance with the terms and conditions of the permit. This indemnification does not extend to any claims, suits, actions, or damages to the extent attributable to DEC's own negligent or intentional acts or omissions, or to any claims, suits, or actions naming the DEC and arising under Article 78 of the New York Civil Practice Laws and Rules or any citizen suit or civil rights provision



under federal or state laws.

Item B: Permittee's Contractors to Comply with Permit

The permittee is responsible for informing its independent contractors, employees, agents and assigns of their responsibility to comply with this permit, including all special conditions while acting as the permittee's agent with respect to the permitted activities, and such persons shall be subject to the same sanctions for violations of the Environmental Conservation Law as those prescribed for the permittee.

Item C: Permittee Responsible for Obtaining Other Required Permits

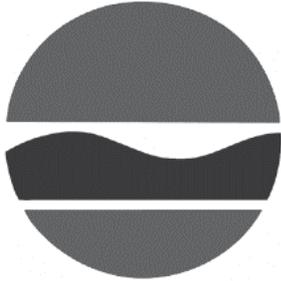
The permittee is responsible for obtaining any other permits, approvals, lands, easements and rights-of-way that may be required to carry out the activities that are authorized by this permit.

Item D: No Right to Trespass or Interfere with Riparian Rights

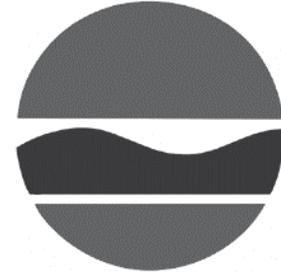
This permit does not convey to the permittee any right to trespass upon the lands or interfere with the riparian rights of others in order to perform the permitted work nor does it authorize the impairment of any rights, title, or interest in real or personal property held or vested in a person not a party to the permit.

Item E: SEQR Type II Action Under the State Environmental Quality Review Act (SEQR), this project has been determined to be a Type II Action and therefore is not subject to further procedures under this law.

New York State
Department of Environmental Conservation



NOTICE



The Department of Environmental Conservation (DEC) has issued permit(s) pursuant to the Environmental Conservation Law for work being conducted at this site. For further information regarding the nature and extent of work approved and any Department condition on it, contact the DEC at 845-256-3054. Please refer to the permit number shown when contacting the DEC.

Permittee: Fatmir Osmanaj

Permit No. 3-3720-00461/00001

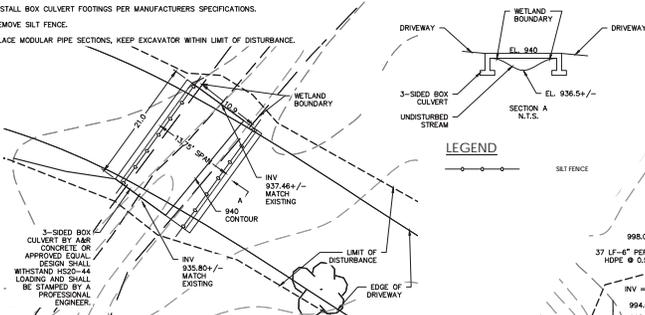
Effective Date: January 28, 2022

Expiration Date: December 31, 2026

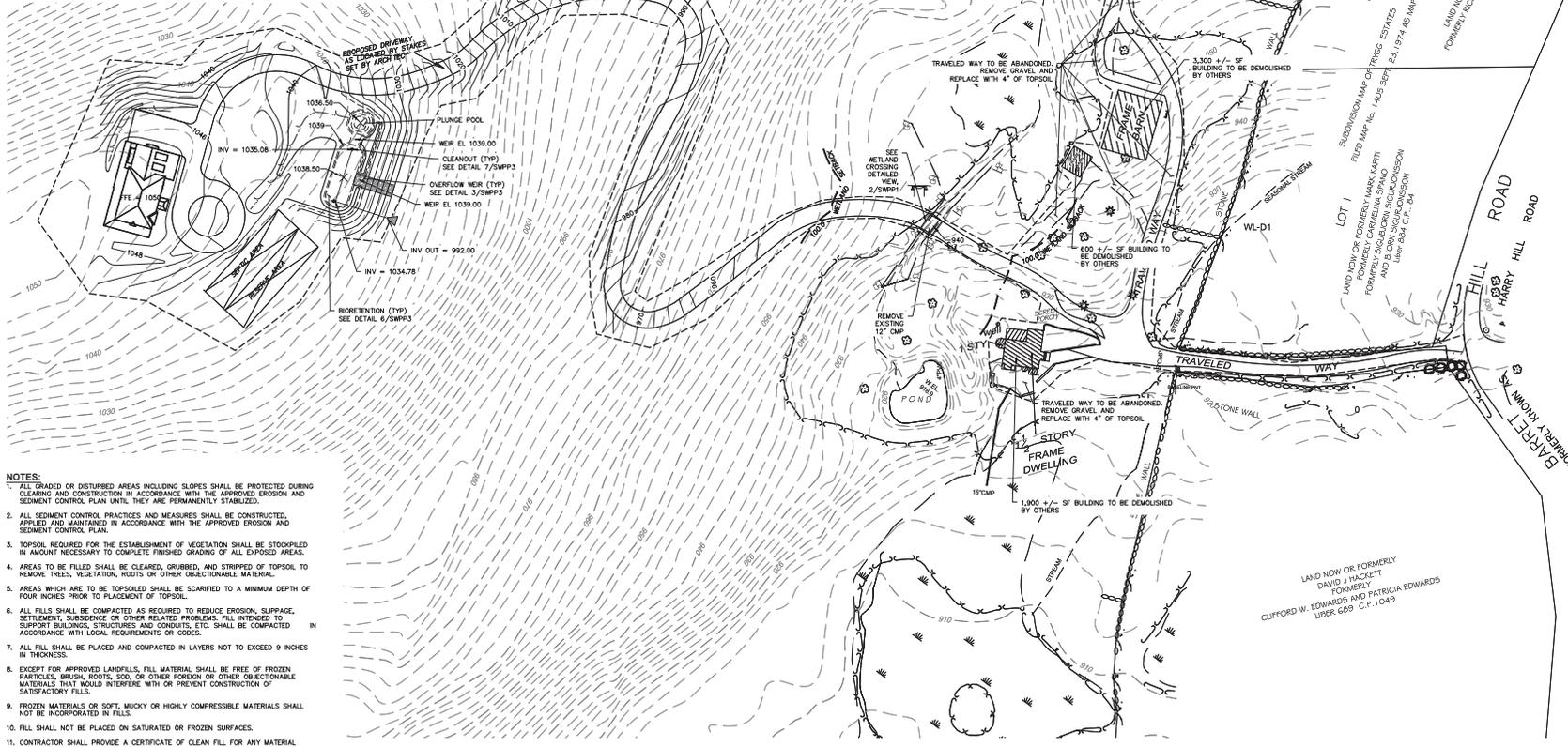
Applicable if checked. No instream work allowed between October 1 & April 30

NOTE: This notice is NOT a permit.

- 3-SIDED BOX CULVERT EROSION CONTROL SEQUENCING NOTES:**
1. INSTALL SILT FENCE FOR LENGTH OF 3-SIDED BOX CULVERT ALONG WETLAND EDGE.
 2. INSTALL BOX CULVERT FOOTINGS PER MANUFACTURERS SPECIFICATIONS.
 3. REMOVE SILT FENCE.
 4. PLACE MODULAR PIPE SECTIONS, KEEP EXCAVATOR WITHIN LIMIT OF DISTURBANCE.



2 WETLAND CROSSING DETAILED VIEW
SCALE 1"=10'



- LEGEND**
- MAJOR CONTOUR
 - MINOR CONTOUR
 - MINOR CONTOUR INTERMEDIATE
 - DRAINAGE DITCH
 - WORK LIMIT LINE

- NOTES:**
1. ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHALL BE PROTECTED DURING CLEANING AND CONSTRUCTION IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN UNTIL THEY ARE PERMANENTLY STABILIZED.
 2. ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
 3. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNT NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS.
 4. AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
 5. AREAS WHICH ARE TO BE DISPOSAL SHALL BE SCARIFIED TO A MINIMUM DEPTH OF FOUR INCHES PRIOR TO PLACEMENT OF TOPSOIL.
 6. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES, AND CONDUITS, ETC. SHALL BE COMPACTED ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
 7. ALL FILL SHALL BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
 8. EXCEPT FOR APPROVED LANDFILLS, FILL MATERIAL SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOIL, OR OTHER FOREIGN OR OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
 9. FROZEN MATERIALS OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED IN FILLS.
 10. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
 11. CONTRACTOR SHALL PROVIDE A CERTIFICATE OF CLEAN FILL FOR ANY MATERIAL IMPORTED.
 12. ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
 13. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
 14. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISHED GRADING.

1 GRADING & DRAINAGE PLAN
SCALE 1"=60'

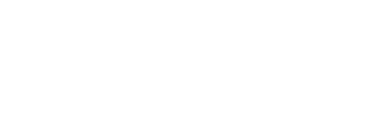
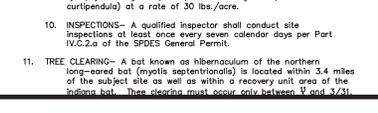
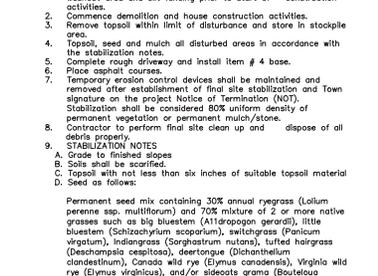
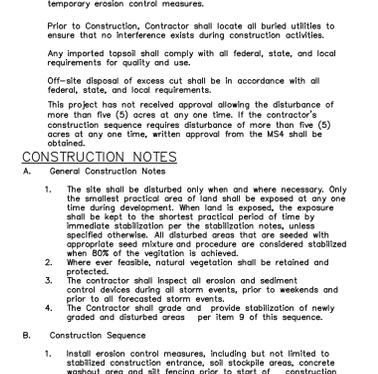
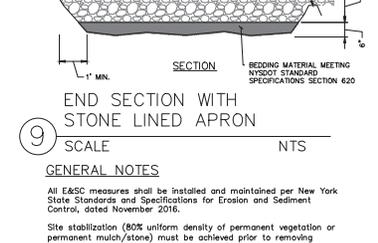
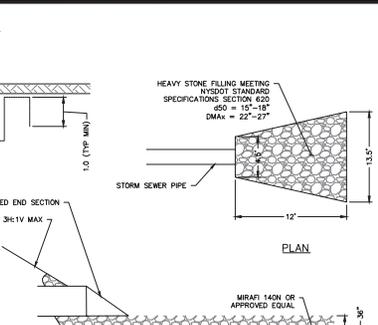
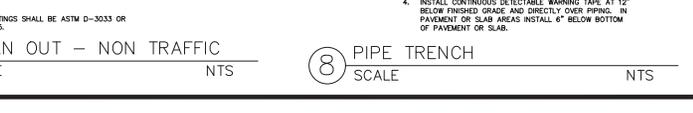
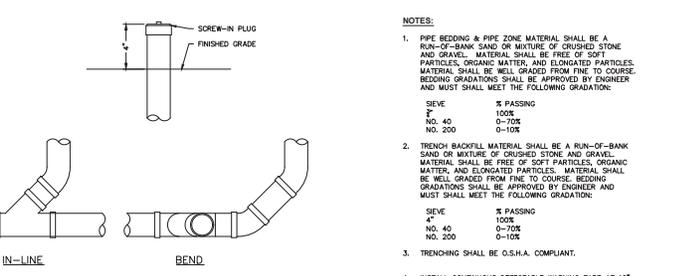
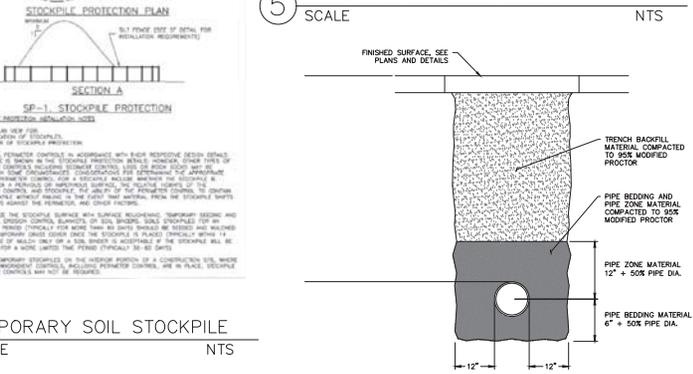
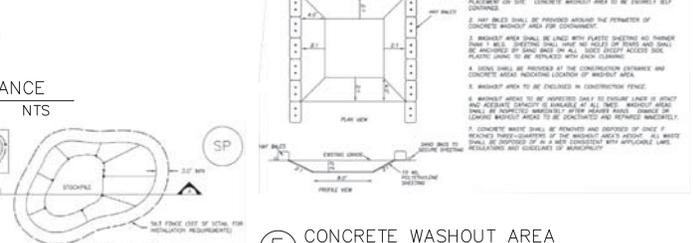
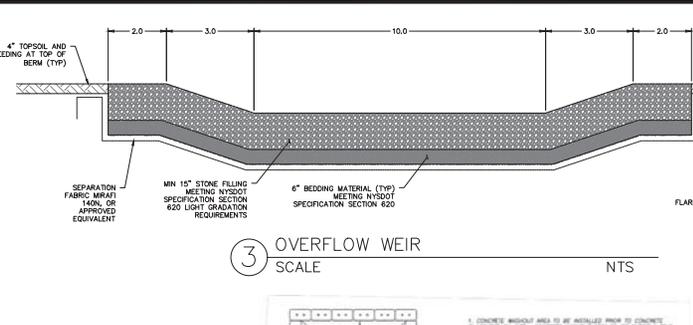
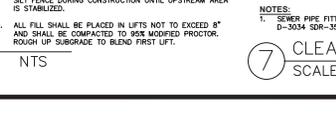
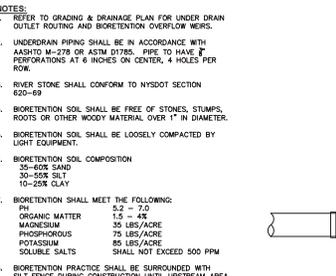
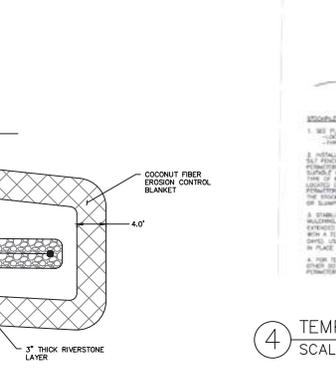
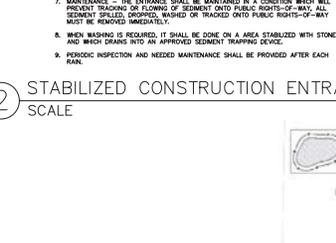
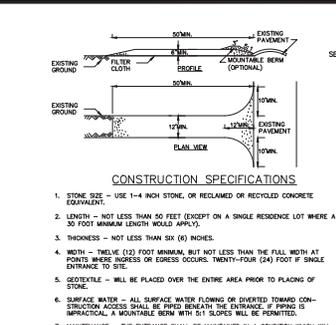
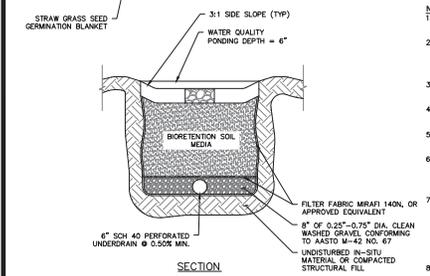
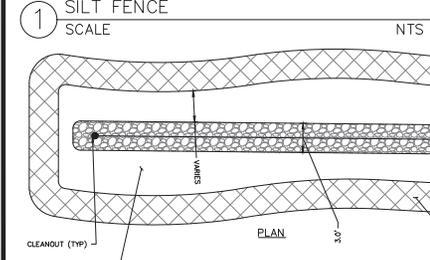
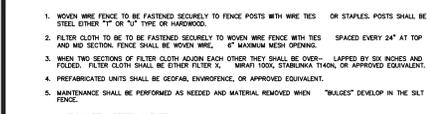
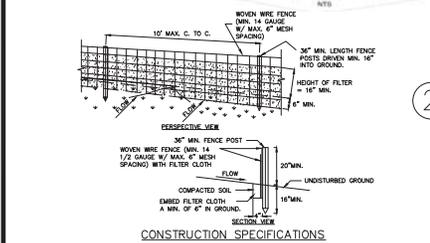
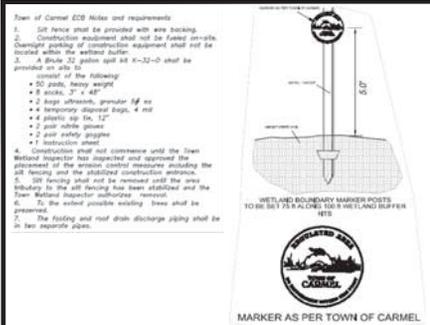
ENGINEER:
JOHN KARELL, JR., P.E.
121 CUSHMAN ROAD
PATTERSON, NEW YORK 12563
94.8378.7044

DESIGN CONSULTANT:
KGD DESIGNS, INC.
30 BARRETT HILL ROAD
SUMMIT, NEW YORK 10589
914.887.6232

New Residence for:
OSMAN AJ BARRETT HILL ROAD MAHOPAC, NY
GRADING & DRAINAGE PLAN

3	02/08/22	RSP TO COMMENT
2	11/11/21	WL CROSSING
1	9/14/21	WL CROSSING
REV	DATE	DESCRIPTION
	DATE	11.24.20
SCALE AS NOTED		
PROJECT NO. 441BAR		
DRAWN STAFF		

DWG. NO.
SWPP
1 OF 5



ENGINEER:
JOHN KARELL, JR., P.E.
121 CUSHMAN ROAD
PATTERSON, NEW YORK 12563
845.878.7044

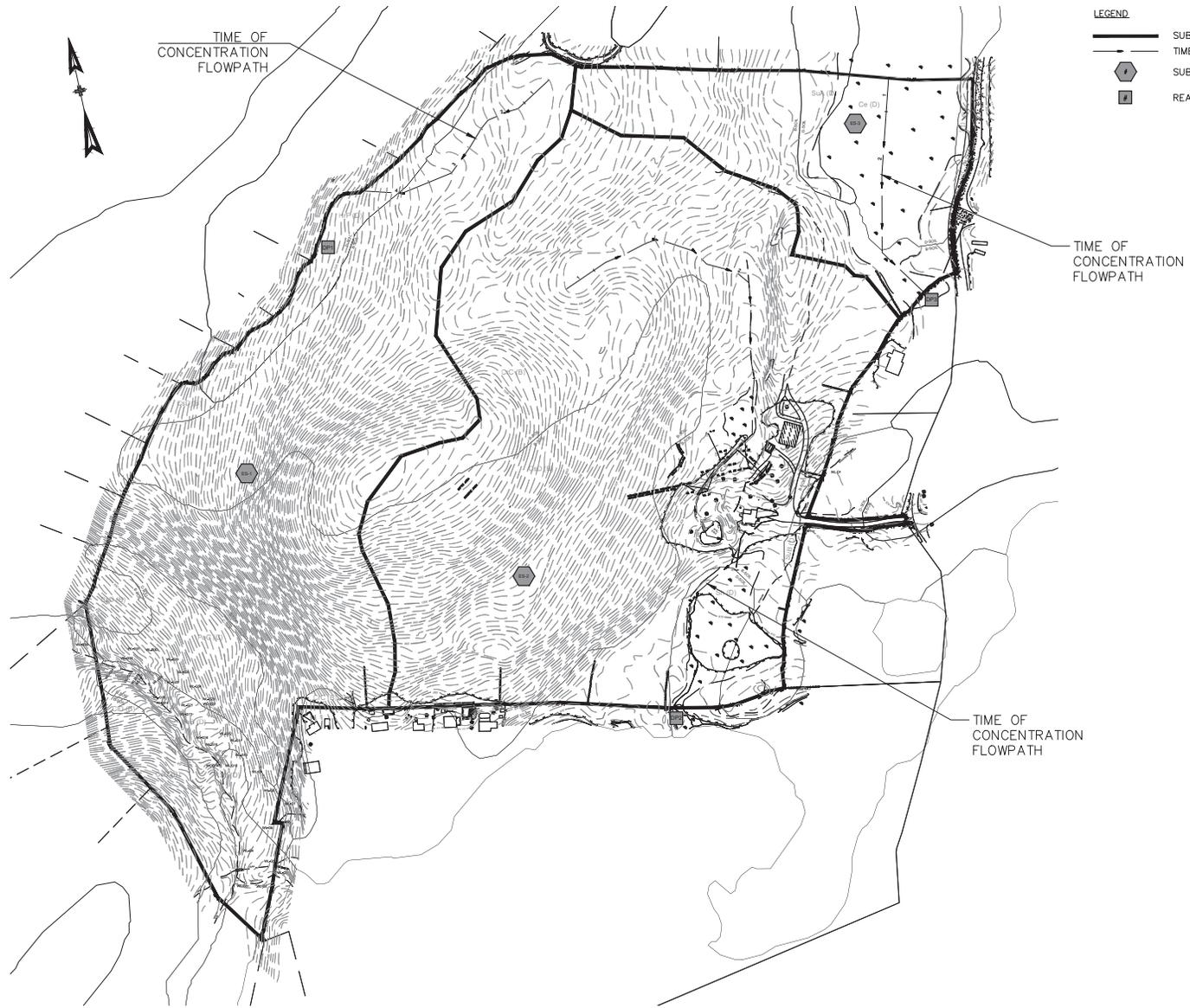
DESIGN CONSULTANT:
KGD DESIGNS, INC.
30 BARRETT HILL ROAD
SUMMIT, NEW YORK 10589
914.827.6223

NEW RESIDENCE FOR:
OSMAN AJ
441 BARRETT HILL ROAD
MAHOPAC, NY

CONTROL DETAILS
STORM AND EROSION & SEDIMENT

REV	DATE	DESCRIPTION
DATE	11.24.20	

SCALE AS NOTED
PROJECT NO. 441BAR
DRAWN DATE
DWG. NO. **SWPP 3 OF 5**



① PRE-DEVELOPMENT WATERSHED MAP
SCALE 1"=150'

ENGINEER:
JOHN KARELL, JR., P.E.
121 CUSHMAN ROAD
PATERSON, NEW YORK 12563
84.8378.7094

DESIGN CONSULTANT:
KCD DESIGNS, INC.
20 Butler Hill Road
Somers, New York 10589
914.482.7622

New Residence for:
OSMANAJ
441 BARRETT HILL ROAD
MAHOPAC, NY
PRE-DEVELOPMENT WATERSHED
MAP

REV	DATE	DESCRIPTION

DWG. NO.
SWPP
4 OF 5



① POST-DEVELOPMENT WATERSHED MAP
SCALE 1"=150'

ENGINEER:
JOHN KARELL, JR., P.E.
121 CUSHMAN ROAD
PATERSON, NEW YORK 12563
84.8378.7094

DESIGN CONSULTANT:
KCD DESIGNS, INC.
20 Butler Hill Road
Somerset, New York 10889
914.482.7622

New Residence for:
**OSMAN AJ
441 BARRETT HILL ROAD
MAHOPAC, NY**

POST-DEVELOPMENT WATERSHED
MAP

REV	DATE	DESCRIPTION

DWG. NO.
**SWPP
5 OF 5**