

ROBERT LAGA
Chairman

NICHOLAS FANNIN
Vice Chairman

RICHARD FRANZETTI, P.E.
Wetland Inspector

ROSE TROMBETTA
Secretary

TOWN OF CARMEL
ENVIRONMENTAL CONSERVATION BOARD



60 McAlpin Avenue
Mahopac, New York 10541
Tel. (845) 628-1500 - Ext. 190
www.ci.carmel.ny.us

BOARD MEMBERS

Edward Barnett
Anthony Federice
Nicole Sedran

ENVIRONMENTAL CONSERVATION BOARD AGENDA

SEPTEMBER 15, 2022 – 7:30 P.M.

ELIGIBLE FOR A PERMIT

<u>APPLICANT</u>	<u>ADDRESS</u>	<u>TAX MAP #</u>	<u>COMMENTS</u>
1. Molfetta, Robert	218 East Lake Blvd	65.17-1-9	Install 900 sq. ft. Patio & Rain Garden

EXTENSION OF WETLAND PERMIT

2. G&F Subdivision, Gateway & The Fairways	2054 Route 6, Carmel	55.-2-24.5, 55.-2-24.6-1 55.-2-24.7-2 & 55.-2-24.8-2	Disturbance Associated With Grading and Stormwater Management & Assoc. Activities
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SUBMISSION OF AN APPLICATION OR LETTER OF PERMISSION

3. White Sail Condominiums c/o Lions Gate Property Mgmt	4 Marina Drive	76.5-1-52	Replace Existing Retaining Wall, Boardwalk & Pier
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MISCELLANEOUS

4. Cioffi, Frank	436 Austin Road	64.5-1-48	Revision to Wetland Permit #983
5. Minutes – 06/02/22 & 08/04/22			



September 12, 2022

Town of Carmel Environmental Conservation Board
60 McAlpin Avenue
Mahopac, NY 10541

RE: G&F Subdivision Road,
Gateway Summit and The Fairways
US Route 6, Town of Carmel, Putnam County, New York

Dear Chairman and Members of the Board:

This letter has been prepared to request an approval extension of Wetland Permit #972 for the G&F Subdivision Road, Gateway Summit and The Fairways projects. Earlier this year, trees were felled at the site in accordance with the approved plans for the Subdivision Road. Since that time, there has been no substantial change in the condition of the site and/or its environs. Our office continues to conduct regular SWPPP inspections at the site in accordance with the NYSDEC requirements. Approval Lists for each of the projects will be provided under separate cover for the Board's reference.

Please place this item on the Board's September 15, 2022 meeting agenda for consideration of an extension of approval.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By: 
Dawn Lewis McKenzie, RLA
Associate Landscape Architect

JJC/dlm

cc: Paul Camarda with enclosures

Insite File No. 04232.100 / 04232.106 / 05140.100



**G&F Subdivision
APPROVAL LIST
September 12, 2022**

AGENCY	APPROVAL	EXPIRATION DATE
Carmel Planning Board	Subdivision	Subdivision Approval obtained on April 25, 2007. (No Expiration Date)
Carmel Environmental Conservation Board	Wetland Permit	October 10, 2022
Putnam County Department of Health	Water	Approved September 7, 2007 (No Expiration Date)
Putnam County Department of Health	Sewer	February 20, 2024
New York City Department of Environmental Protection	Sewer	September 14, 2024
New York City Department of Environmental Protection	Stormwater Pollution Prevention Plan	January 25, 2027
New York State Department of Environmental Conservation	Freshwater Wetland Permit	September 9, 2025
New York State Department of Environmental Conservation	Stormwater Pollution Prevention Plan Coverage	General Permit Coverage obtained May 4, 2007. (No Expiration Date)



**Gateway Senior Housing (Lot 6A)
APPROVAL LIST
September 12, 2022**

AGENCY	APPROVAL	EXPIRATION DATE
Carmel Planning Board	Site Plan	February 8, 2023
Carmel Environmental Conservation Board	Wetland Permit	October 10, 2022
Putnam County Department of Health	Sewer	October 23, 2022
New York City Department of Environmental Protection	Sewer	October 30, 2024
New York City Department of Environmental Protection	Stormwater Pollution Prevention Plan	August 28, 2022 (Extension requested)
New York State Department of Environmental Conservation	Freshwater Wetland Permit	September 9, 2025
New York State Department of Environmental Conservation	Stormwater Pollution Prevention Plan Coverage	General Permit Coverage obtained September 13, 2007. (No Expiration Date)
New York State Department of Health	Water	Water Approval obtained December 10, 2007. (No Expiration Date)



**Fairways Senior Housing (Lot 7)
APPROVAL LIST
September 12, 2022**

AGENCY	APPROVAL	EXPIRATION DATE
Carmel Planning Board	Site Plan	February 8, 2023
Carmel Environmental Conservation Board	Wetland Permit	October 10, 2022
Putnam County Department of Health	Sewer	October 12, 2022
New York City Department of Environmental Protection	Sewer	November 7, 2024
New York City Department of Environmental Protection	Stormwater Pollution Prevention Plan	August 21, 2022 (Extension requested)
New York State Department of Environmental Conservation	Freshwater Wetland Permit	September 9, 2025
New York State Department of Environmental Conservation	Stormwater Pollution Prevention Plan Coverage	General Permit Coverage obtained September 13, 2007. (No Expiration Date)
New York State Department of Health	Water	Water Approval obtained December 10, 2007. (No Expirations Date)



REVANS DESIGN, PE PC
60 SOMERSTON RD
YORKTOWN HEIGHTS, NY 10598
rdpepc@gmail.com

TOWN OF CARMEL
ENVIRONMENTAL CONSERVATION BOARD
60 MCALPIN AVE
MAHOPAC, NY 10541

RE: SEQUENCE OF CONSTRUCTION

TAX MAP # 76.5-1-52

LOC: 4 MARINA DRIVE

MAHOPAC, NY

SCOPE OF WORK: REPLACE NEW RETAINING WALL ALONG SWAN COVE AND PART OF LAKE MAHOPAC

Sequence of Construction:

1. Place floating boom in water connected to both ends of work site
2. Place spill kit, silt fencing, construction fence and 6 mil plastic where equipment will be placed
3. Notify town wetlands inspector and wait for inspection before commencing work
4. Remove existing boardwalk, retaining wall, boat slips, and pier and store in a safe location. Removal will take place in stages. New components to be installed simultaneous to demolition.
5. Use excavator with claw to remove sections of existing wall
6. Debris to be placed on 6 mil plastic until carted away.
7. Machinery to be stored on 6 mil plastic a minimum of 100' from the water every night.
8. No fueling of machinery within 125' of shoreline.
9. New components to be installed simultaneous to demolition.
10. Lay new blocks with geo textile.
11. Install new drain stone and backfill.
12. Install new fencing.
13. Remove debris from site.
14. Provide the following to town inspector:
 - a. certificate of clean fill for soils and drain stone
 - b. SDS (formerly MSDS) for
 - i. Manufactured stones
 - ii. Fabrics
 - iii. Any epoxies/construction adhesives used during construction

15. Grade planted area and seed

16. Notify town wetlands inspector and wait for inspection

17. After inspection, remove floating boom, spill kit, silt fencing and construction fencing.

If you have any further questions or comments, please feel free to contact us. Thank you.

Respectfully submitted,

Paul Revans, PE



The image shows a handwritten signature in black ink that reads "Paul Revans". The signature is written over a circular blue ink seal. The seal contains the text "STATE OF NEW YORK" at the top, "PAUL REVANS" in the center, and "PROFESSIONAL ENGINEER" at the bottom. The seal also includes the number "22107" and a small star.

WHITE SAIL CONDOMINIUMS
C/o Lions Gate Property Management
37 Fair Street
Carmel, NY 10598

May 19, 2020

From: White Sail Condominiums
4 Marina Drive
Mahopac, NY 10541

Re: Letter of Authorization

To: Authority Having Jurisdiction

We hereby authorize Paul Revans, PE to file on behalf of White Sail Condominiums.

Thank you,



Justine Broderick
As Managing Agent for
White Sail Condominiums
845-306-7604

ROBERT LAGA
Chairman

NICHOLAS FANNIN
Vice Chairman

RICHARD FRANZETTI
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APPLICATION FOR WETLAND PERMIT OR LETTER OF PERMISSION

Name of Applicant: JUSTINE BRODERICK c/o LIONS GATE PROP MGMT

Address of Applicant: 7 FAIR ST, CARMEL, NY 10512 Email: JUSTINE@LIONSGATEMGT.COM

Telephone# 845-306-7604 Name and Address of Owner if different from Applicant:
WHITE SAIL CONDOMINIUMS

Property Address: 4 MARINA DR Tax Map # 76.5-1-52

Agency Submitting Application if Applicable: _____

Location of Wetland: _____

Size of Work Section & Specific Location: NORTH SIDE OF PROPERTY

Will Project Utilize State Owned Lands? If Yes, Specify: NO

Type and extent of work (feet of new channel, yards of material to be removed, draining, dredging, filling, etc). A brief description of the regulated activity (attach supporting details).

REPLACE EXISTING WOOD/TIMBER RETAINING WALL, BOARDWALK, & PIER WITH PRE-CAST & CAST-IN-PLACE CONCRETE COMPONENTS

Proposed Start Date: 10/2022 Anticipated Completion Date: 6/2023 Fee Paid \$ 1,000.00

CERTIFICATION

I hereby affirm under penalty of perjury that information provided on this form is true to the best of my knowledge and belief, false statements made herein are punishable as a Class A misdemeanor pursuant to Section 210.45 of the Penal Law. As a condition to the issuance of a permit, the applicant accepts full legal responsibility for all damage, direct or indirect, or whatever nature, and by whomever suffered, arising out of the project described here-in and agrees to indemnify and save harmless the Town of Carmel from suits, actions, damages and costs of every name and description resulting from the said project.

Justine Broderick
SIGNATURE

9-1-2022
DATE

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: NORTH RETAINING WALL, BOARDWALK, PIER, AND DOCKS/SLIPS REPLACEMENT			
Project Location (describe, and attach a location map): 4 MARINA DR, MAHOPAC, NY 10541			
Brief Description of Proposed Action: REPLACE EXISTING WOOD/TIMBER RETAINING WALL, BOARDWALK, PIER, & DOCKS/SLIPS WITH A COMBINATION OF PRE-CAST CONCRETE COMPONENTS AND CAST-IN-PLACE CONCRETE COMPONENTS ON THE NORTH SIDE OF THE PROPERTY AS SHOWN ON PLANS.			
Name of Applicant or Sponsor: PAUL REVANS, PE		Telephone: 914-222-0397 E-Mail: RDPEPC@GMAIL.COM	
Address: 60 SOMERSTON RD			
City/PO: YORKTOWN		State: NY	Zip Code: 10598
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		_____ N/A acres	
b. Total acreage to be physically disturbed?		_____ N/A acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ N/A acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input checked="" type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

"WHITE SAIL CONDOMINIUMS BOARDWALK & PIER RESTORATION PROJECT"



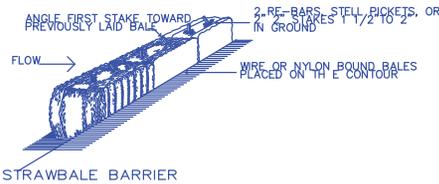
PLAN NOTE
 "THIS PLAN IS APPROVED ONLY FOR THE WORK INDICATED ON THE APPLICATION SPECIFICATION SHEET. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON OR TO BE CONSIDERED AS EITHER BEING APPROVED OR IN ACCORDANCE WITH APPLICABLE CODES."

TENANT PROTECTION PLAN

- 1> **EGRESS.** AT ALL TIMES IN THE COURSE OF CONSTRUCTION PROVISION SHALL BE MADE FOR ADEQUATE EGRESS AS REQUIRED BY THIS CODE AND THE TENANT PROTECTION PLAN SHALL IDENTIFY THE EGRESS THAT WILL BE PROVIDED. REQUIRED EGRESS SHALL NOT BE OBSTRUCTED AT ANY TIME EXCEPT WHERE APPROVED BY THE COMMISSIONER.
- 2> **FIRE SAFETY.** ALL NECESSARY LAWS AND CONTROLS, INCLUDING THOSE WITH RESPECT TO OCCUPIED DWELLINGS, AS WELL AS ADDITIONAL SAFETY MEASURES NECESSITATED BY THE CONSTRUCTION SHALL BE STRICTLY OBSERVED.
- 3> **HEALTH REQUIREMENTS.** SPECIFICATION OF METHODS TO BE USED FOR CONTROL OF DUST, DISPOSAL OF CONSTRUCTION DEBRIS, PEST CONTROL AND MAINTENANCE OF SANITARY FACILITIES, AND LIMITATION OF NOISE TO ACCEPTABLE LEVELS SHALL BE INCLUDED. 3.1. THERE SHALL BE INCLUDED A STATEMENT OF COMPLIANCE WITH APPLICABLE PROVISIONS OF LAW RELATING TO LEAD AND ASBESTOS.
- 4> **COMPLIANCE WITH HOUSING STANDARDS.** THE REQUIREMENTS OF THE NEW YORK CITY HOUSING MAINTENANCE CODE, AND, WHERE APPLICABLE, THE NEW YORK STATE MULTIPLE DWELLING LAW SHALL BE STRICTLY OBSERVED.
- 5> **STRUCTURAL SAFETY.** NO STRUCTURAL WORK SHALL BE DONE THAT MAY ENDANGER THE OCCUPANTS.
- 6> **NOISE RESTRICTIONS.** WHERE HOURS OF THE DAY OR THE DAYS OF THE WEEK IN WHICH CONSTRUCTION WORK MAY BE UNDERTAKEN ARE LIMITED PURSUANT TO THE AGENCY HAVING JURISDICTION NOISE CONTROL CODE, SUCH LIMITATIONS SHALL BE STATED.
- 7> **MAINTAINING ESSENTIAL SERVICES.** DESCRIBE THE MEANS AND METHODS TO BE USED FOR MAINTAINING HEAT, HOT WATER, COLD WATER, GAS, ELECTRICITY, OR OTHER UTILITY SERVICES IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW YORK STATE HOUSING MAINTENANCE CODE. SPECIFY IF A DISRUPTION OF ANY SUCH SERVICE IS ANTICIPATED DURING THE WORK, INCLUDING ANTICIPATED DURATION OF SUCH DISRUPTION AND THE MEANS AND METHODS TO BE EMPLOYED TO MINIMIZE SUCH DISRUPTION, INCLUDING THE PROVISION OF SUFFICIENT ALTERNATIVES FOR SUCH SERVICE DURING SUCH DISRUPTION.

SATELLITE IMAGE
 NOT TO SCALE

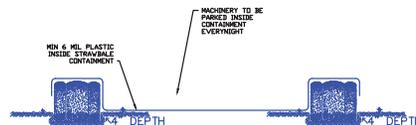
SECTION : 76.5
 BLOCK : 1
 LOT : 52



STRAWBALE BARRIER

INSTALLATION NOTES:

- 1) BALES SHALL BE PLACED ON A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
- 2) EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 4".
- 3) BALES SHALL BE SECURELY ANCHORED IN PLACE BY STAKES OR RE-BAR DRIVEN THROUGH THE BALES, THE FIRST STAKE IN EACH BALE SHALL BE ANGLED TOWARD PREVIOUSLY LAID BALE TO FORCE BALES TOGETHER.



EMBEDDING DETAIL

MACHINERY PARKING PLAN
 NOT TO SCALE

WARNING - IT IS A VIOLATION OF STATE EDUCATION LAW FOR ANY REASON, UNLESS HE IS ACTING UNDER THE DIRECTION OF LICENSED PROFESSIONAL ENGINEER, TO ALTER ANY ITEM IN ANY WAY ON THESE PLANS.



DESCRIPTION:
 DEMOLISH EXISTING TIMBER RETAINING WALL, BOARDWALK, PIER AND DOCKS/SLIPS AND REPLACE WITH PRE-CAST CONCRETE AND CAST-IN-PLACE CONCRETE COMPONENTS IN SAME PLACE AS PREVIOUSLY EXISTING

CONTRACTOR: TBD
DIVNER: WHITE SAIL CONDOMINIUMS
 C/O LIONS GATE PROPERTY MANAGEMENT
 7 FAIR STREET
 CARREL, NY 10598

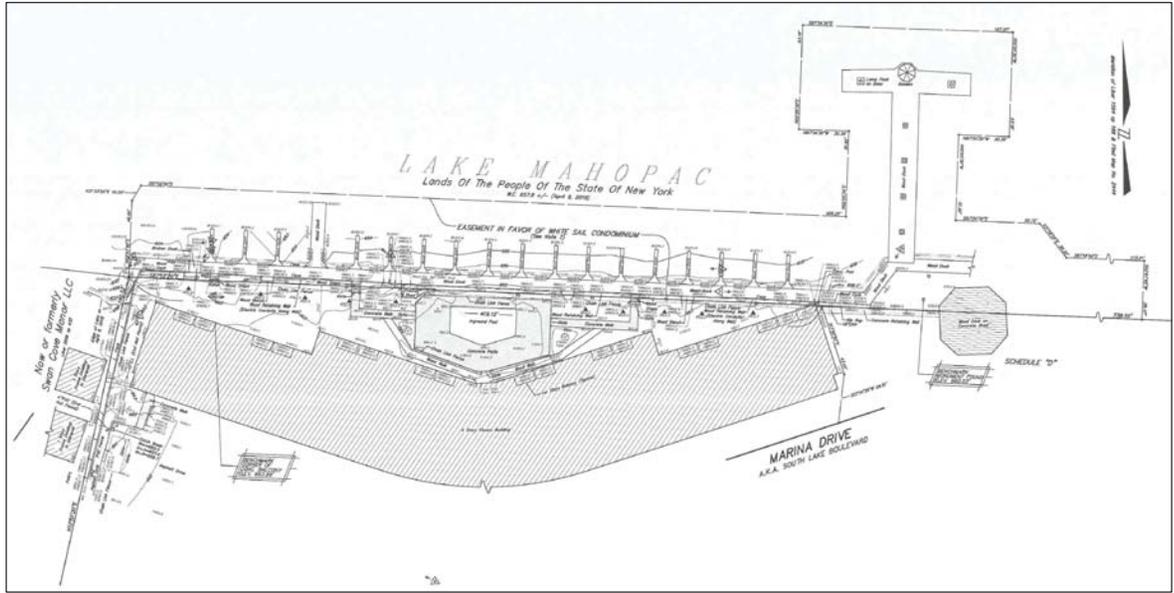
PROJECT LOCATION:
 4 MARINA DRIVE
 MAHOPAC, NY 10541

NOTES/SATELLITE VIEW

DATE : 8/12/2022
PROJECT REF#
DRAWN BY: P.R.
CHECKED BY: R.C.
N = 001.00

INDEX		
SHEET	NAME	DESCRIPTION
1	N-001.00	NOTES & SATELLITE VIEW
2	N-002.00	TAX MAP & SITE PLAN
3	N-003.00	EROSION CONTROL NOTES
4	DM-001.00	DEMOLITION PLAN
5	DM-002.00	DEMOLITION PLAN
6	S-001.00	NEW WALL PLAN
7	S-002.00	NEW WALL PLAN
8	S-003.00	DETAILS

SHEET
 1 OF 8



SITE PLAN/LOT DIAGRAM
NOT TO SCALE



E-PARCEL TAX MAP
NOT TO SCALE

WARNING - IT IS A VIOLATION OF STATE EDUCATION LAW FOR ANY REASON, UNLESS HE IS ACTING UNDER THE DIRECTION OF LICENSED PROFESSIONAL ENGINEER, TO ALTER ANY ITEM IN ANY WAY ON THESE PLANS.

REVANS DESIGN PE PC
100-0086765-001
FORENSIC ENGINEER BY CHES

DESCRIPTION:
DEMOLISH EXISTING TIMBER RETAINING WALL, BOARDWALK, PIER AND DOCK/OLDS AND REPLACE WITH PRE-CAST CONCRETE AND CAST-IN-PLACE CONCRETE COMPONENTS IN SAME PLACE AS PREVIOUSLY EXISTING

CONTRACTOR: TBD

OWNER: WHITE SAIL CONDOMINIUMS
C/O LEANS GATE PROPERTY MANAGEMENT
7 FAIR STREET
CARROLL, NY 10598

PROJECT LOCATION:
4 MARINA DRIVE
MAHOPAC, NY 10541

SITE PLAN/TAX MAP

DATE: 8/12/2022

PROJECT REF#

DRAWN BY: P.R.

CHECKED BY: R.C.

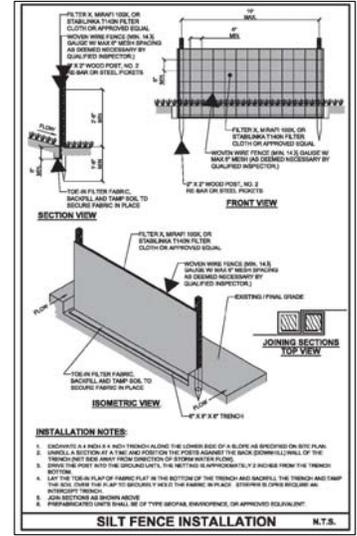
N-002.00

SHEET
2 OF 8

EROSION CONTROL NOTES/TOWN WETLANDS NOTES

- The Applicant must obtain inspection and approval by the Carmel Environmental Control Board at the following points:
 - At the required preconstruction meetings.
 - Following installation of sediment control measures and prior to any other land disturbing activity.
 - Following installation of any booms and/or turbidity curtains.
 - Prior to removal or modification of any sediment control devices.
 - Prior to removal of any booms and/or turbidity curtains.
 - Prior to final acceptance.
- All erosion control measures are to be constructed and maintained in accordance with applicable published standards and specifications and the most current Standards and Specifications For Soil Erosion and Sediment Control.
- The Contractor shall construct all erosion and sediment control measures per the approved plan and construction sequence, shall have them inspected and approved by engineer prior to beginning any other land disturbances, shall ensure that all runoff from disturbed areas is directed to the sediment control devices and shall not remove any erosion or sediment control measures without prior permission from Town of Carmel ECB.
- Any request for changes to the approved sediment control plan or sequence of construction must be submitted to the town Wetlands Inspector and approved before implementing changes.
- Major changes will require a plan revision.
- The Contractor shall mark the limits of disturbance on-site with orange construction fence. Silt fence must be installed on-contour and shall not be used to delineate the limit of contract or property line.
- The Contractor shall protect all points of construction ingress and egress to prevent the deposition of materials onto traversed public thoroughfares(s). All materials deposited onto public thoroughfares(s) shall be removed immediately.
- The Contractor shall inspect daily and maintain continuously in effective operating condition all erosion and sediment control measures until such time as they are removed with prior permission from the town Wetlands Inspector.
- Mass clearings and grading must be avoided. Clear and grub only what is necessary for immediate construction activity.
- Wherever possible/feasible, natural vegetation is to be protected by limiting the clearing and grubbing operation, as well as restricting construction equipment to the work area. Large trees to be preserved shall be fenced off such that the root system and overhanging branches are protected from construction equipment.
- All sediment basins, trap embankments, swales, perimeter dikes and permanent slopes steeper or equal to 3H:1V shall be stabilized with sod, seed and anchored straw mulch or other approved stabilization measures, within seven calendar days of establishment. All areas disturbed outside of the perimeter sediment control shall be stabilized immediately. Maintenance must be performed as necessary to ensure continued stabilization. Restoration or overseeding will be required, if necessary.
- The Contractor shall apply sod, seed and anchored straw mulch, or other approved stabilization measures to all disturbed areas within seven (7) calendar days after stripping and grading activities have ceased on that area. Maintenance shall be performed as necessary to ensure continued stabilization. Other active construction areas that are not being actively graded (i.e. routes for construction vehicles within a site) may be required to be stabilized at the direction of the inspector. Stockpiles, which have not been used for seven (7) calendar days, shall be stabilized through the application of sod, seed and anchored straw mulch, or other approved stabilization methods.
- Prior to removal of sediment control measures, the Applicant shall stabilize all contributory disturbed areas using sod or an approved permanent seed mixture with required soil amendments and an approved anchored mulch. Wood fiber mulch may only be used in seeding season to promote sheet flow drainage. Areas brought to finished grade during the seeding season shall be permanently stabilized within seven (7) calendar days of establishment. When property is brought to finished grade during the months of November through February, and permanent stabilization is found to be impractical, approved temporary seed and straw anchored mulch shall be applied to disturbed areas. The final permanent stabilization of such property shall be completed prior to the following April 15.
- Exposed soils anticipated to remain idle for more than fourteen (14) days shall be immediately stabilized with temporary seed and mulch.
- Off-site runoff should be diverted from highly erodible soils and steep slopes to stable areas with temporary dikes and/or swales.
- Permanent seeding should optimally be undertaken in the spring from March through May, and in late summer and early fall from September to October 15. Permanent seeding may be undertaken during the summer, providing an adequate watering schedule is maintained.
- During the peak summer months and in the fall after October 15, when seeding is otherwise found to be impracticable, an appropriate temporary mulch shall be applied. Temporary seeding with rye can be utilized through November.
- Seeding for temporary stabilization or in preparation of winter shutdown shall be applied at the following rate and schedule:
 - spring or summer or early fall: use rye grass at 30 lbs per acre
 - late fall or early winter: use winter rye at 100 lbs per acre
- Permanent seeding for final stabilization should be applied either from spring-thaw to mid-May or mid-August to early October with a 65/20/15 mix of Kentucky Bluegrass/perennial rye grass/Fine Fescue at 160 lbs per acre. If seeding is done between mid-May and mid-August, irrigation may be required to achieve final stabilization.
- Hay or straw mulch shall be applied to all seeded areas, temporary or permanent, at a rate of 2 tons per acre (or 3 bales per 1,000 sq ft).
- Areas where permanent vegetation is to be established shall be dressed with a minimum of 4" of top soil. Compacted sub-soils shall be tilled prior to placement of top soil. Surface shall be raked smooth, removing foreign matter and stones over 1" in diameter.
- Top soil shall have at least 6% by weight of fine textured stable organic material, and no greater than 20%. It shall have not less than 20% of material, passing the #200 sieve, and not more than 15% clay. It shall be relatively free of stones over 1-1/2" in diameter, trash, noxious weeds, and shall have less than 10% gravel.
- When specified, rolled erosion control blanket shall be straw bio-degradable double-net blanket and shall be provided on grades steeper than 3H:1V.
- When specified, inlet protection shall be installed concurrently with catch basin installation. In the same manner, rock outlet protection shall be installed concurrently with pipe discharge installation.
- In areas where soil disturbance activity has temporarily or permanently ceased, the application of soil stabilization measures must be initiated by the end of the next business day and completed within fourteen (14) days from the date the current soil disturbance activity ceases.
- Erosion and sediment control measures within the active work area shall be inspected daily to ensure that they are being maintained in effective operating condition at all times.
- Maintenance shall be performed as necessary to ensure continued stabilization. Areas outside of the perimeter sediment control system shall not be disturbed.
- The site work, materials, approved Sediment Control and Stormwater Management Plans, and any required test reports shall be available, at the site for inspection by duly authorized officials of the town of Carmel.
- Surface drainage flows over unstabilized cut and fill slopes shall be controlled by either preventing drainage flows from traversing the slopes or by installing mechanical devices to lower the water downspout without causing erosion. Dikes shall be installed and maintained at the top of cut or fill slopes until the slope and drainage area to it are fully stabilized, at which time they must be removed and final grading done to promote sheet flow drainage. Mechanical devices must be provided at points of concentrated flow where erosion is likely to occur.

- Permanent swales or other points of concentrated water flow shall be stabilized with sod or seed with approved erosion control matting or by other approved stabilization measures.
- Temporary sediment control devices shall be removed, with permission of town of Carmel, within 30 calendar days following establishment of permanent stabilization in all contributory drainage areas. If establishment is not full and uniform as determined by the town of Carmel Inspector, overseeding will be required. Stormwater management structures used temporarily for sediment control shall be converted to the permanent configuration within this time period as well.
- No permanent cut or fill slope with gradient steeper than 3:1 will be permitted in lawn maintenance areas. A slope gradient of up to 2:1 will be permitted in areas that are not to be maintained provided that those areas are indicated on the erosion and sediment control plan with a low-maintenance ground cover specified for permanent stabilization. Slope gradient steeper than 2:1 will not be permitted with vegetative stabilization.
- The Contractor shall install a splash block at the bottom of each downspout unless the downspout is connected by a drain line to an acceptable outlet.
- All water pumped from an excavation during construction shall be pumped either to sediment tanks and/or sediment traps. No water will be pumped to the storm drain system or swale. De-watering shall be performed in accordance with the most current Standards and Specifications for Soil Erosion and Sediment Control.
- Stabilized construction entrance(s) shall be maintained so as to prevent the tracking of sediment off-site.
- For finished grading, the Contractor shall provide adequate gradients so as to (1) prevent water from standing on the surface of lawns more than 24 hours after the end of a rainfall, except in designated drainage courses and swale flow areas which may drain as long as 48 hours after the end of a rainfall, and (2) provide positive drainage away from all building foundations or openings.
- Sediment traps or basins are not permitted within 20-feet of a building, which exists or is under construction. No building may be constructed within 20-feet of a sediment trap or basin.
- All inlets in non-sump areas shall have asphalt berms installed at the time of base paving to direct runoff to inlets.
- The town Wetlands Inspector has the option of requiring additional sediment control measures, if deemed necessary.
- All trap elevations are relative to the outlet elevation, which must be on existing undisturbed ground.
- Vegetative stabilization shall be performed in accordance with the most current Standards and Specifications For Soil Erosion and Sediment Control.
- Temporary sediment trap(s) shall be cleaned out and restored to the original dimensions when sediment has accumulated to a point one-half the depth between the outlet crest and the bottom of the trap.
- Sediment removed from traps shall be placed and stabilized in approved areas in such a manner that it does not foul existing or proposed storm drainage systems or areas already stabilized. Sediment shall not be placed within a flood plain or wetland.
- All sediment basins and traps must be surrounded with a welded wire safety fence. The fence must be at least 42-inches high, have posts spaced no further apart than eight-feet, have mesh openings no greater than two-inches in width and four-inches in height with a minimum of 14 gauge wire. Safety fence must be maintained in good condition at all times.
- Off-site spoil or borrow areas must have approved sediment control plans.
- Protect all trees to be preserved during construction in accordance with the approved Forest Conservation Plan.
- The Applicant is responsible for all actions of contractor and subcontractors, including repairing damage to sediment control devices and existing infrastructure.



Simplex™ Boom
 BOM107 For Strong Current, 100' x 10" 12" Draft Dimensions

Main: grade aluminum connectors and a galvanized steel chain make this 3,000 lb. breaking strength non-absorbent floating boom great for containing oil spills and debris in strong currents.

- Round, closed-cell polyethylene foam flotation cylinders control liquids and debris up to 6" above water line.
- Sliding barrier hangs 12" below the water line to keep pollutants from creeping under.
- Galvanized steel chain runs the length of the boom to add weight and rigidity.
- Heavy duty, 22-gauge vinyl-coated polyester is UV resistant for regular outdoor use; welded, reinforced seams help ensure long life.
- Main: grade aluminum universal slide connectors and attached toggle pins permit linking of multiple units.
- Quality construction provides 5,000-lb. actual breaking strength.
- Polystyrene handle/anchor joint eases handling and securing for easy deployment.
- High-visibility yellow for instant recognition in emergencies.
- Comforms to OPA-90 specifications.
- Clears easily using detergent, steam or power washing.
- Light-weight and easy to move: ideal in marinas, inland waterways or along shorelines.
- Add PIG Oil-Only Booms to absorb petroleum-based pollutants! Call 1-800-HOT-HOGS (453-4547).

Specifications	Non-Absorbent Boom
Style	Yellow
Dimensions	100' x 10" x 12"
Current Type	Strong Current
Intended Use	Oil Spill
Material	1 inch
Weight	155 lbs
Compatible	Boom: PIG Chain: Galvanized Steel

BOOM DETAIL



PIG® Oil-Only Spill Kit in 95-Gallon Overpack Salvage Drum

KIT432 Absorbents up to 52 gal., Absorbents Gels, Pumps, Other Oil-Based Liquids Only, UNH32X25G

Strong enough to earn a UN rating for shipping spill cleanup waste.

- Comply with Spill Plan regs, avoid fines and be ready to respond with the #1 kit for oil-based spills.
- Overpack drum container is UN-rated for shipping spill cleanup waste off of spill cleanup.
- Light, prepackaged basins speed access and guard contents from UV.
- PIG Oil-Only Booms stop spreading spills; PIG Silt-Mat absorbs quickly.
- Absorbents meet NTPA 99 standards for static safety to allow use with fuels and flammables.
- Overpack is 6-inches in Packing Groups 1, 2 and III for shipping spill cleanup waste by land, sea or air.
- Lightweight, polyethylene container resists chemicals and keeps contents clean and dry.
- Lightweight, built-in lid is needed for easy removal or lashing with a 2x4 post.
- Built "Spill Kit" lettering for quick identification.
- Lidges molded into container make it easy to move by hand.
- Tearproof seals help prevent leaking of spill response supplies.
- Note: A PIG Overpack Protection Cover (available separately) is suggested for outdoor storage to protect container from UV degradation and weathering.
- Only PIG Spill Kits feature PIG Absorbents - the world's #1 selling brand.
- For information on custom spill kits, just call 1-800-HOT-HOGS (453-4547).
- Spill kit dimensions are approximate.

Specifications	Non-Absorbent Boom
Weights Included	No
Container Type	Overpack
Fluid Absorbed	Gas, Fuel, Other Oil-Based Liquids Only

SPILL KIT DETAIL

REVANS DESIGN PE PC
 600 WASHINGTON ST
 CROTONHEATS NY 10500

DESCRIPTION
 DEMOLISH EXISTING TIMBER RETAINING WALL, BOARDWALK, PIER AND DOCK/SLOPS AND REPLACE WITH PRE-CAST CONCRETE AND CAST-IN-PLACE CONCRETE COMPONENTS IN SAME PLACE AS PREVIOUSLY EXISTING

CONTRACTOR: TBD

OWNER: WHITE SAIL CONDOMINIUMS
 C/O LENS GAGE PROPERTY MANAGEMENT
 7 FAIR STREET
 CARMEL, NY 10596

PROJECT LOCATION
 4 MARINA DRIVE
 MAHOPAC, NY 10541

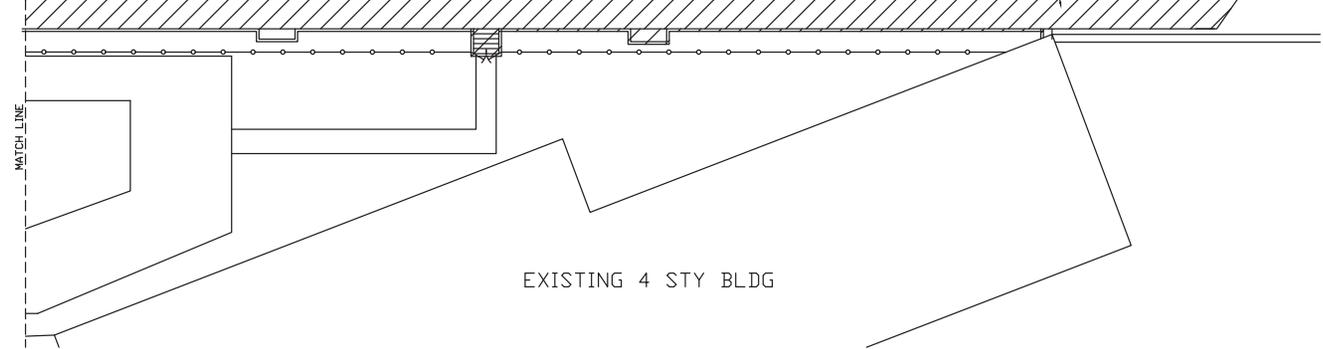
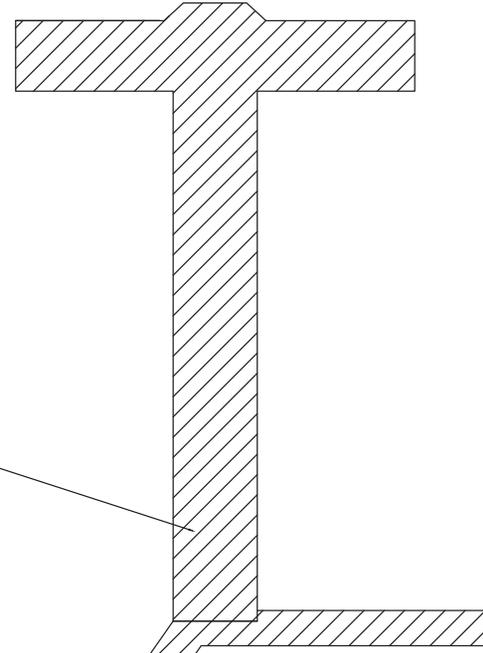
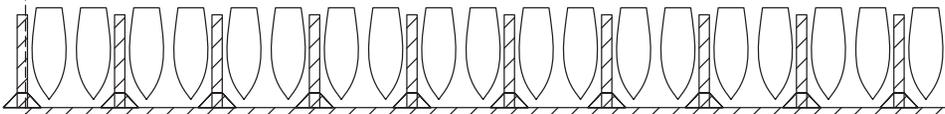
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DATE:	8/12/2022
PROJECT REF#	
DRAWN BY:	P.R.
CHECKED BY:	R.C.
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SHEET	3 OF 8

LAKE MAHOPAC

TEMPORARY BOOM IN LAKE
TO BE PLACED BEFORE
COMMENCEMENT OF WORK
AND REMOVED AFTER
ALL WORK IS COMPLETE.
BOOM TO BE PROPERLY SECURED
IN PLACE.

EXISTING REAR RETAINING WALL, BOARDWALK, PIER
AND BOAT DOCKS/SLIPS TO BE DEMOLISHED



EXISTING 4 STY BLDG

CONTRACTOR TO RESTORE
ASPHALT, CURBING, AND
PLANTER BOXES DISTURBED
DURING EXCAVATION.

ALL PARKING LOT DRAINS IN
THE WORK AREA TO BE
PROTECTED.

WARNING - IT IS A VIOLATION OF
STATE EDUCATION LAW FOR ANY REASON,
UNLESS HE IS ACTING UNDER THE DIRECTION
OF LICENSED PROFESSIONAL ENGINEER, TO
ALTER ANY ITEM IN ANY WAY ON THESE PLANS.



DESCRIPTION:
DEMOLISH EXISTING TIMBER RETAINING WALL, BOARDWALK,
PIER AND DOCK/SLIPS AND REPLACE
WITH PRE-CAST CONCRETE AND CAST-IN-PLACE CONCRETE
COMPONENTS IN SAME PLACE AS PREVIOUSLY EXISTING

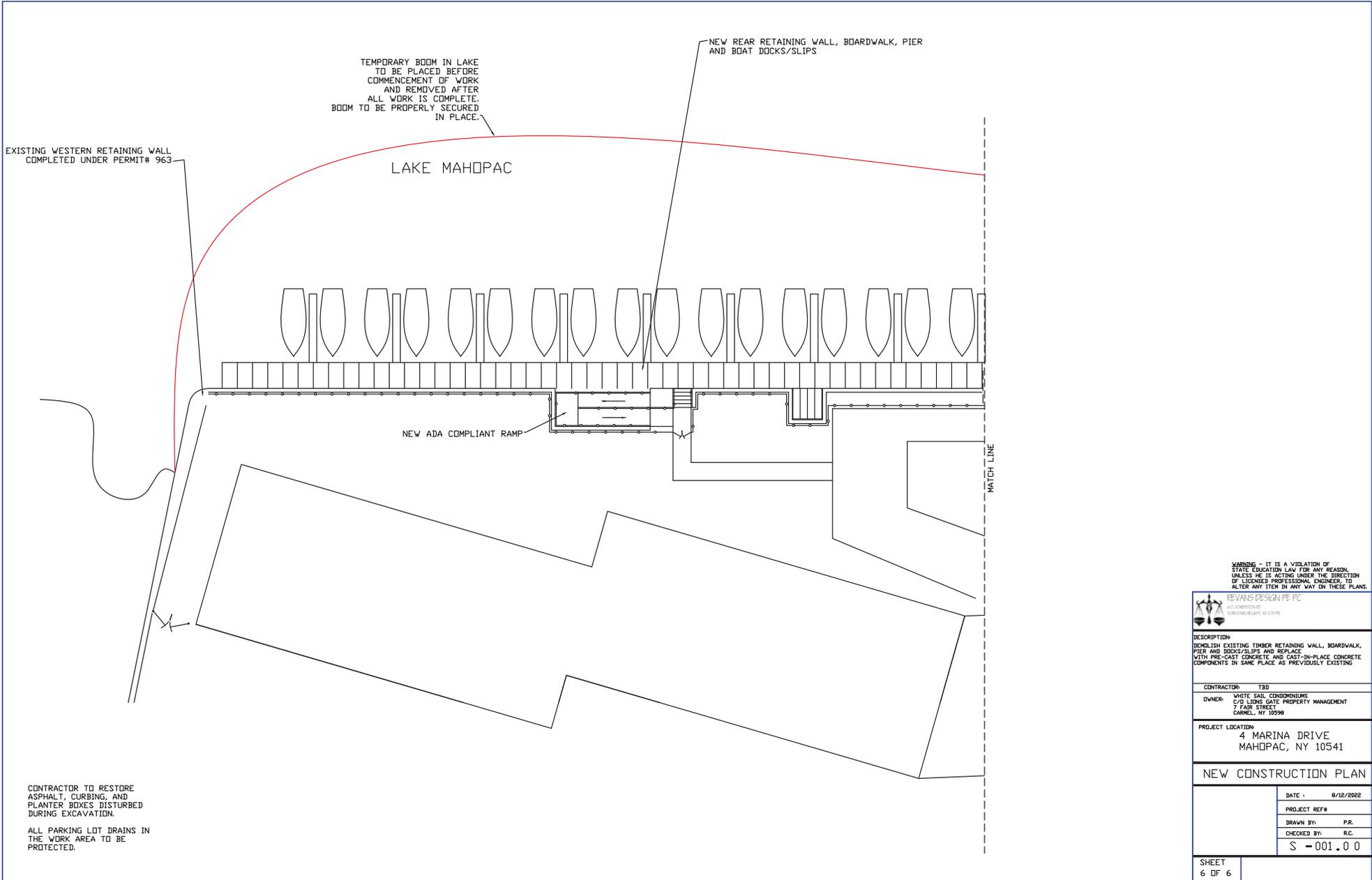
CONTRACTOR: TBD
OWNER: WHITE SAIL CONDOMINIUMS
C/O LEONS GATE PROPERTY MANAGEMENT
7 FAIR STREET
CARREL, NY 10598

PROJECT LOCATION:
4 MARINA DRIVE
MAHOPAC, NY 10541

DEMOLITION PLAN

DATE:	8/12/2022
PROJECT REF#	
DRAWN BY:	P.R.
CHECKED BY:	R.C.
	DM-002.00

SHEET
5 OF 8



WARNING - IT IS A VIOLATION OF STATE EDUCATION LAW FOR ANY REASON, UNLESS HE IS ACTING UNDER THE DIRECTION OF LICENSED PROFESSIONAL ENGINEER, TO ALTER ANY ITEM IN ANY WAY ON THESE PLANS.



DESCRIPTION
 DEMOLISH EXISTING TIMBER RETAINING WALL, BOARDWALK, PIER AND DOCK/SLIPS AND REPLACE WITH PRE-CAST CONCRETE AND CAST-IN-PLACE CONCRETE COMPONENTS IN SAME PLACE AS PREVIOUSLY EXISTING

CONTRACTOR: TBD
OWNER: WHITE SAIL CONDOMINIUMS
 C/O LEONS GATE PROPERTY MANAGEMENT
 7 FAIR STREET
 CARMEL, NY 10596

PROJECT LOCATION:
 4 MARINA DRIVE
 MAHOPAC, NY 10541

NEW CONSTRUCTION PLAN

DATE:	8/12/2022
PROJECT REF#	
DRAWN BY:	P.R.
CHECKED BY:	R.C.
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SHEET
 6 OF 6

LAKE MAHOPAC

TEMPORARY BOOM IN LAKE
TO BE PLACED BEFORE
COMMENCEMENT OF WORK
AND REMOVED AFTER
ALL WORK IS COMPLETE.
BOOM TO BE PROPERLY SECURED
IN PLACE.

EXISTING REAR RETAINING WALL, BOARDWALK, PIER
AND BOAT DOCKS/SLIPS TO BE DEMOLISHED

EXISTING 4 STY BLDG

NEW WORK PLAN VIEW

CONTRACTOR TO RESTORE
ASPHALT, CURBING, AND
PLANTER BOXES DISTURBED
DURING EXCAVATION.

ALL PARKING LOT DRAINS IN
THE WORK AREA TO BE
PROTECTED.

WARNING - IT IS A VIOLATION OF
STATE EDUCATION LAW FOR ANY REASON,
UNLESS HE IS ACTING UNDER THE DIRECTION
OF LICENSED PROFESSIONAL ENGINEER, TO
ALTER ANY ITEM IN ANY WAY ON THESE PLANS.



DESCRIPTION:
DEMOLISH EXISTING TIMBER RETAINING WALL, BOARDWALK,
PIER AND DOCK/SLIPS AND REPLACE
WITH PRE-CAST CONCRETE AND CAST-IN-PLACE CONCRETE
COMPONENTS IN SAME PLACE AS PREVIOUSLY EXISTING

CONTRACTOR: TBD
OWNER: WHITE SAIL CONDOMINIUMS
C/O LEONS GATE PROPERTY MANAGEMENT
7 FAIR STREET
CARROLL, NY 10598

PROJECT LOCATION:
4 MARINA DRIVE
MAHOPAC, NY 10541

NEW CONSTRUCTION PLAN

DATE:	8/12/2022
PROJECT REF#	
DRAWN BY:	P.R.
CHECKED BY:	R.C.
SHEET	002.00

SHEET
7 OF 8

MATCH LINE

Frank A. Cioffi
436 Austin Rd.
Mahopac, NY 10541

Sept. 15, 2022

Robert Laga, Chairman Environmental Conservation Board and Members

Town of Carmel
60 McAlpin Ave.
Mahopac, NY 1541

Re: ECB Permit # 983

Regarding Wetlands permit revision/changes for 436 Austin Rd, Tax map # 64.5-1-48

After realizing that the budget for the previously approved project is much higher than I expected it to be, coupled with my property having been just been reassessed resulting in my school taxes increased by over two thousand dollars, plus another assessment for the new building, I have decided to not go forward with the plan.

Instead I would like to have a prefabricated shed delivered with a separate greenhouse side by side, located next to where the original structure was planned. I will still be removing two trees on the south side of the structure that would block sunlight to the greenhouse. Two other trees to the north will be saved.

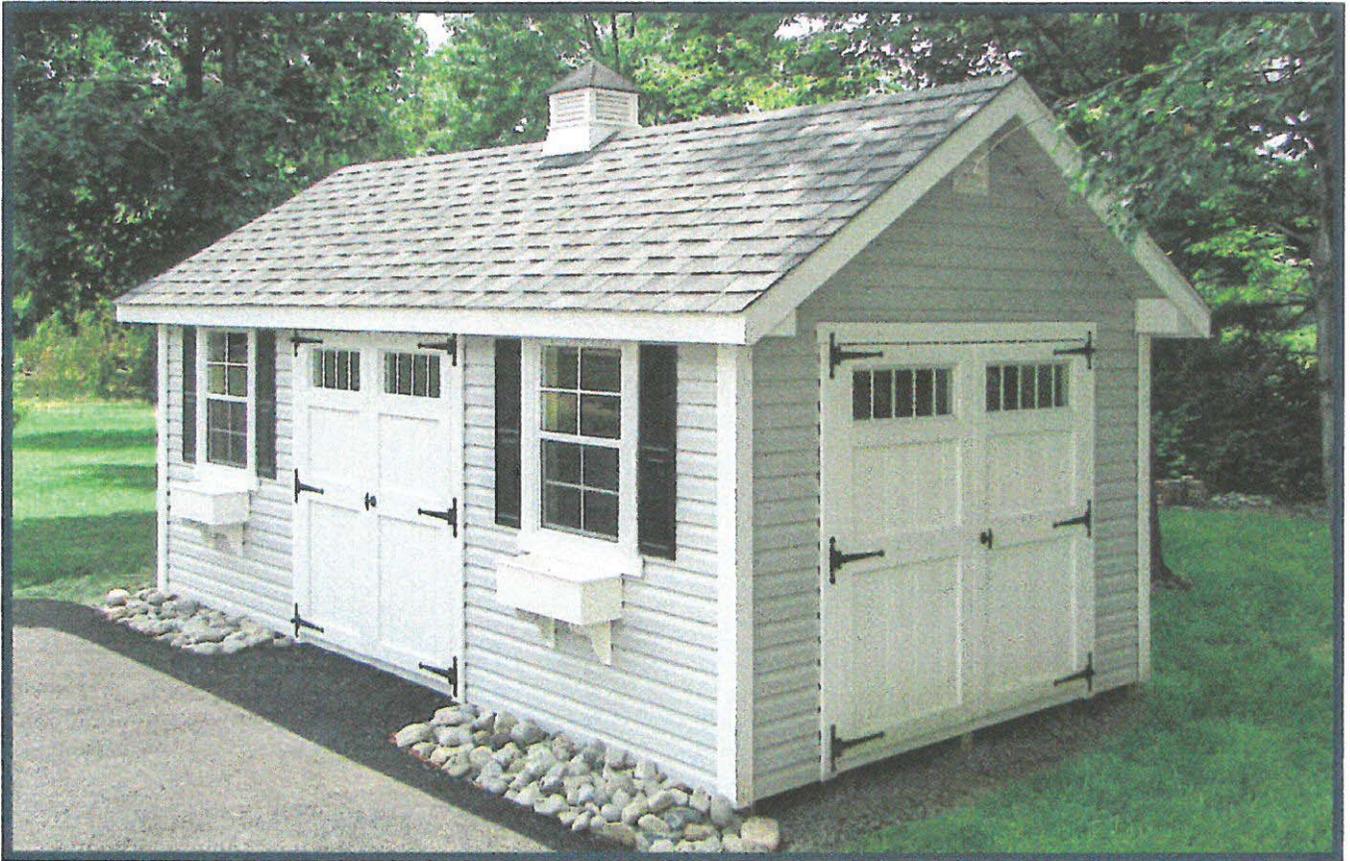
A silt fence will be installed between the excavated area and the stream to the east of the work zone. Excavation of existing blacktop and leveling of substrate will be done by hand. A leveled perimeter of 6x6 pressure treated timbers, into which tamped crushed stone will be installed. The two structures will then be delivered and installed, sitting on the gravel base. All work zone debris will be contained and removed as required.

The rain water runoff of the combined structures is 20% percent less than the original plan, yet the rain garden will remain the original size.

Thank you for your consideration.

Frank A. Cioffi





Vinyl Elite A-Frame: 10x16, Gray Vinyl, Dual Gray Shingles, White Trim, White Doors

Options Shown: Wood Trim Pkg, Wood Doors, Garden Vents, Cupola, Flower Boxes Not Available




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GM10 - Grow More 10' x 13' Greenhouse Kit

