

ROBERT LAGA  
*Chairman*

ANTHONY DUSOVIC  
*Vice-Chair*

ROSE TROMBETTA  
*Secretary*

DAVID KLOTZLE  
*Wetland Inspector*

**TOWN OF CARMEL**  
**ENVIRONMENTAL CONSERVATION BOARD**



60 McAlpin Avenue  
Mahopac, New York 10541  
Tel. (845) 628-1500 - Ext. 190  
www.ci.carmel.ny.us

**BOARD MEMBERS**

Edward Barnett  
Marc Pekowsky  
Vincent Turano  
Nicholas Fannin  
John Starace

**ENVIRONMENTAL CONSERVATION BOARD AGENDA**

**JANUARY 21, 2016 – 7:30 P.M.**

**ELIGIBLE FOR A PERMIT**

<b><u>APPLICANT</u></b>	<b><u>ADDRESS</u></b>	<b><u>TAX MAP #</u></b>	<b><u>COMMENTS</u></b>
1. Thimm, Karl & Janis	232 East Lake Blvd	65.17-1-15	Planning Board Referral (Construct Bathhouse, Deck & Dock)

**EXTENSION OF WETLAND PERMIT**

2. Mazzola, Joseph & Concetta	39 Carmine Drive	75.14-1-25	Installation of New Storm Drain Piping
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**PLANNING BOARD REFERRAL**

3. New York SMSA Limited Partnership- d/b/a Verizon Wireless	361 Route 6	75.19-1-12	Co-locate a Public Utility Wireless Communications Facility
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**SUBMISSION OF AN APPLICATION OR LETTER OR PERMISSION**

4. Tartaglione, Nicholas	1 Rodcris Drive	53.15-1-4	Retain Existing Wood Deck
5. Hoffman, Ronald	290 West Lake Blvd	64.16-1-21	Convert Existing Deck into Sunroom
6. Moskowitz, Jay	47 Tyler Court	64.15-1-65	Construct Dock

**ESCROW RETURN**

7. Tepper, Alex	36 Kirk Lake Drive	64.11-1-17	Replace Damaged Bulkhead
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**MISCELLANEOUS**

8. Minutes – 12/17/15 & 01/07/16

LAW OFFICES OF  
**SNYDER & SNYDER, LLP**

94 WHITE PLAINS ROAD  
TARRYTOWN, NEW YORK 10591

(914) 333-0700

FAX (914) 333-0743

WRITER'S E-MAIL ADDRESS

cteyber@snyderlaw.net

DAVID L. SNYDER  
(1956-2012)

LESLIE J. SNYDER  
ROBERT D. GAUDIOSO

Westchester Office

January 19, 2016

Honorable Chairman Robert Laga  
and Members of the Environmental Conservation Board  
Town of Carmel Town Hall  
60 McAlpin Avenue  
Mahopac, New York 10541

RE: Application of New York SMSA Limited Partnership d/b/a Verizon Wireless to  
Co-locate a Public Utility Wireless Communications Facility on the Roof of the  
Building Located at 631 Route 6, Mahopac, New York


Dear Honorable Chairman Laga  
and Members of the Environmental Conservation Board:

We are the attorneys for New York SMSA Limited Partnership d/b/a Verizon Wireless ("Verizon Wireless") in connection with Verizon Wireless' request to co-locate a public utility wireless communications facility ("Facility") on the roof of the building ("Building") located at the captioned property. As required by Section 156-37E of Zoning Code, on January 13, 2016, the Town of Carmel Planning Board referred Verizon Wireless' application to this Board for review.

The proposed Facility consists of antennas and related equipment to be installed on the roof of the Building. The Facility will enable Verizon Wireless to enhance its wireless services to the area surrounding the Property.

Thank you for your consideration. We look forward to discussing this matter at the Environmental Control Board's meeting on January 21, 2016. If you have any questions, please do not hesitate to contact me at (914) 333-0700.

Very respectfully submitted,  
SNYDER & SNYDER LLP

By:   
Edward Teyber, Esq.

cc: Planning Board  
Verizon Wireless

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**APPLICATION FOR WETLAND PERMIT OR LETTER OF PERMISSION**

Name of Applicant: TARTAGLIONE - NEMERJ DESIGN GROUP

Address of Applicant: 1 RODCRIS DR. Email: \_\_\_\_\_

Telephone# \_\_\_\_\_ Name and Address of Owner if different from Applicant: \_\_\_\_\_

Property Address: 1 RODCRIS DR. Tax Map # 53.15-1-4

Agency Submitting Application if Applicable: \_\_\_\_\_

Location of Wetland: 73 FT. FROM SONO TUBES

Size of Work Section & Specific Location: 2,558 S/F. OF OPEN DECK

Will Project Utilize State Owned Lands? If Yes, Specify: NO

Type and extent of work (feet of new channel, yards of material to be removed, draining, dredging, filling, etc). A brief description of the regulated activity (attach supporting details).

WOOD DECK ON POSTS & SONO TUBES FILED WITH CONCRETE, EXISTING.

Proposed Start Date: EXISTING Anticipated Completion Date: \_\_\_\_\_ Fee Paid \$ 100.00

\*\*\*\*\*

**CERTIFICATION**

I hereby affirm under penalty of perjury that information provided on this form is true to the best of my knowledge and belief, false statements made herein are punishable as a Class A misdemeanor pursuant to Section 210.45 of the Penal Law. As a condition to the issuance of a permit, the applicant accepts full legal responsibility for all damage, direct or indirect, or whatever nature, and by whomever suffered, arising out of the project described here-in and agrees to indemnify and save harmless the Town of Carmel from suits, actions, damages and costs of every name and description resulting from the said project.

[Signature]  
SIGNATURE

12-8-15  
DATE



# CONSTRUCTION NOTES FOR BACK WIRE SILT FENCE

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

POSTS: STEEL "I" POSTS

FENCE: WOVEN WIRE 14.5 GA. 6" MAX. OPENING

FILTER CLOTH: MANUFACTURED BY MIRAFI, EXXON CHEMICAL CO OR APPROVED EQUAL.

## DRAINAGE NOTES:

1. ALL DRAINAGE PIPES TO BE CONNECTED TO EXISTING LEADER DRAIN PIPE.
2. DRAINAGE PIPE, COLLECTING ROOF DRAINS SHALL BE 6" DIAMETER PVC SOLID PIPE.
3. DRAINAGE PVC PIPING SHALL BE A MINIMUM OF 18" DEEP, HAVING A MINIMUM SLOPE OF 1.00%, TERMINATING TO THE DRAIN MANHOLE AS SHOWN. DIRECT DISCHARGE FROM THE ROOF LEADERS TO THE FINISHED GRADE IS NOT ACCEPTABLE.

## RAIN GARDEN SIZING AND DESIGN GUIDANCE

$N_{GV} = V_{in} + V_{d} - (D_{p} \times A_{rg})$

$V_{in} = A_{rg} \times D_{in} \times N_{p}$

$V_{d} = (Optional) = A_{rg} \times D_{d} \times N_{d}$

where:

$V_{in}$  = volume of the soil media (cubic feet)

$V_{d}$  = volume of the drainage layer (cubic feet)

$A_{rg}$  = rain garden surface area (square feet)

$D_{in}$  = depth of the soil media, typically 10 to 15 feet (feet)

$D_{d}$  = depth of the drainage layer, typically 18 to 24 inches (feet)

$D_{p}$  = depth of ponding above surface, minimum 0.25 feet (feet)

## RAIN GARDEN SIZING CALCULATIONS

605 sq ft impervious drainage area (e.g., rooftop), a rain garden

PROPOSED GARDEN SIZING

design has been proposed with a 121 sq ft surface area, a soil layer depth of 12 inches, a drainage layer depth of 6 inches, and an allowable ponding depth of 3 inches.

Design to satisfy site NPS requirements.

$N_{GV} = \frac{(1.15)(605)}{12}$

where:

$N_{GV}$  = 40% rainfall number + 3 in

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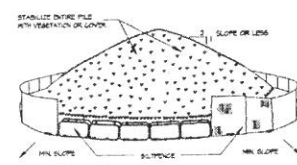
$N_{GV} = 0.084(605) + 0.95$

## SUGGESTED PLANT LIST

SHRUBS	Qty	HERBACEOUS PLANTS	Qty
Nickel Hotel	2	Cinnamon Fern	5
Hamamelis virginiana	2	Onoclea sensibilis	5
Antennaria	2	Caulophyllum thalictroides	5
Heuchera	2	Rubus odoratus	5
Arundo donax	2	Phlox	5
Yucca filamentosa	2	Scilla maritima	5
Dracaena fragrans	2	New England Aster	5
Aster novae-angliae	2	Aster novae-angliae	5
Heuchera	2	Red Sage	5
Cornus stolonifera	2	Cornus stolonifera	5
Sweet Pepperbush	2	Spotted Juncus	5
Ceanothus	2	Epilobium	5

## SITE PLAN

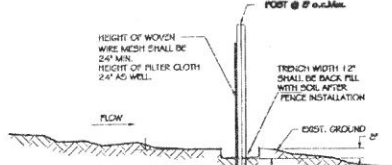
SCALE: 1" = 30'



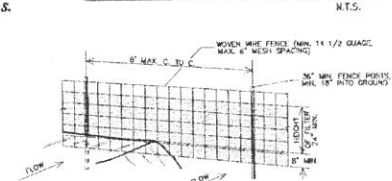
## INSTALLATION NOTES

1. AREA CHURN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
3. UPON COMPLETION OF SOIL STOCKPILING, END FILL SHALL BE SURROUNDED WITH EITHER SILT FENCE OR FENCELESS. THIS SHALL BE DONE WITH VEGETATION OR COVERED.

## SOIL STOCKPILING DETAIL n.s.



## WIRE REINFORCED SILT FENCE DETAIL R.T.S.



## PERSPECTIVE VIEW n.s.

NOTES: AT REMOVAL OF SILT FENCE THE CONTRACTOR SHALL REVERSE THE SLOPE TO THE INTENDED CONDITION.

## SEDIMENTATION & EROSION CONTROL NOTES

1. THE EROSION CONTROL PLAN IS ONLY TO BE REFERRED TO FOR THE INSTALLATION OF SEDIMENTATION AND EROSION CONTROL MEASURES. FOR ALL OTHER CONSTRUCTION RELATED ACTIVITIES, INCLUDING BUT NOT LIMITED TO, GRADING AND UTILITIES, REFER TO THE APPROPRIATE DRAWINGS.
2. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED IN ACCORDANCE WITH NEW YORK REGULATIONS FOR URBAN DESIGN & SEDIMENT CONTROL, LATEST EDITION.
3. WHEREVER FEASIBLE, NATURAL VEGETATION SHOULD BE RETAINED AND PROTECTED.
4. ALL TOPSOIL TO BE STOCKPILED FROM THE AREA BEING DEVELOPED SHALL BE STOCKPILED AND IMMEDIATELY SEEDING WITH 1-3-1 PERMANENT TALL FESCUE.
5. ANY GRADED AREAS NOT SUBJECT TO FURTHER DISTURBANCE OR CONSTRUCTION TRAFFIC SHALL WITHIN 10 DAYS OF FINAL GRADING, RECEIVE PERMANENT VEGETATION COVER IN CONJUNCTION WITH A SUITABLE MULCH. ALL SEEDING AREAS TO RECEIVE A MINIMUM 4" TOPSOIL FROM STOCKPILE AREA AND BE SEEDING AND MULCHED AS FOLLOWS:  
SEED MIXTURE TO BE PLANTED BETWEEN APRIL 1 AND MAY 15, OR BETWEEN AUGUST 15 AND OCTOBER 15 OR AS DIRECTED BY PROJECT REPRESENTATIVE AT A RATE OF 50 POUNDS PER ACRE IN THE FOLLOWING PROPORTIONS:  
KENTUCKY BLUEGRASS 20 %  
CRACKING RED PEGOLE 40 %  
PERENNIAL PEGOLE 20 %  
ANNUAL PEGOLE 20 %  
MULCH SHALL BE APPLIED OR SHALL GRASS STRAW APPLIED AT A RATE OF 30 LBS/1000 S.F. OR 2 TON/ACRE, TO BE APPLIED AND ANCHORED ACCORDING TO NEW YORK REGULATIONS FOR URBAN DESIGN & SEDIMENT CONTROL, LATEST EDITION.
6. GRASS SEED MAY BE APPLIED BY EITHER MECHANICAL OR HYDROSEEDING METHODS. HYDROSEEDING SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE NEW YORK STANDARD SPECIFICATIONS, CONSTRUCTION AND MATERIALS, SECTION 6-10.02, METHOD F.
7. ALL CONTROL MEASURES FOR EROSION AND SEDIMENTATION SHALL COMPLY WITH THE FOLLOWING INSPECTION SCHEDULE:  
A) WEEKLY INSPECTIONS OF ALL CONTROL MEASURES.  
B) WEEKLY INSPECTIONS OF IN-STREAM CONTROL MEASURES.  
C) INSPECTIONS OF ALL CONTROL MEASURES BEFORE FORECASTED AND AFTER PERIODS OF HEAVY OR PROLONGED RAIN.  
D) WEEKLY INSPECTIONS OF ON AND OFF-SITE AREAS DOWNSTREAM FROM CONSTRUCTION ACTIVITIES.
8. THE INSPECTIONS SHALL BE CONDUCTED BY THE APPLICANT AND/OR ITS REPRESENTATIVE, I.E. THE SITE ENGINEER, OR THE CONTRACTOR, TO DETERMINE THE FOLLOWING:  
A) THE CONDITIONS OF THE CONTROL MEASURES AND THE NEED FOR REPAIR OR REPAIR.  
B) THE NEED FOR MAINTENANCE, E.G. REMOVAL OF SEDIMENT FROM CHANNELS, TRAPS, AND BARRIERS.  
C) THE NEED FOR ADDITIONAL CONTROL MEASURES.  
D) THE NEED FOR REINFORCEMENT OF SEEDING, NETTING AND/OR MULCHING.  
E) THE OVERALL EFFECTIVENESS OF THE CONTROL PLAN.
9. ALL TEMPORARY AND PERMANENT CONTROL DEVICES MUST BE MAINTAINED AND REPAIRED AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. ALL NECESSARY REPAIRS SHALL BE PERFORMED IMMEDIATELY.
10. THESE PLANS INDICATE THE CONTROL MEASURES TO BE PUT IN PLACE. ADDITIONAL CONTROL MEASURES SHALL BE IMPLEMENTED AS SITE CONDITIONS CHANGE AND UNFORESEEN PROBLEMS OCCUR. IMPLEMENTATION OF THE ADDITIONAL CONTROL MEASURES SHALL BE AT THE DISCRETION OF THE CONTRACTOR, THE SITE ENGINEER OR THE TOWN.
11. DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE O.E.R.
12. CUT AND FILL SHALL NOT EXHAUST ADJOINING PROPERTY, NOR DRIVE WATER INTO THE PROPERTY OF OTHERS.
13. ALL FILL SHALL BE COMPACTED TO PROVIDE STABILITY OF MATERIAL AND TO PREVENT SETTLEMENT OF OTHERS.
14. EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL ALL DISTURBED AREAS ARE SUITABLY STABILIZED.



DESIGN: 6/6/04  
PROJECT: EXISTING DECK RECONSTRUCTION  
DATE: 6/6/04  
DRAWN BY: N. TARTAGLIONE  
CHECKED BY: N. TARTAGLIONE  
APPROVED BY: N. TARTAGLIONE  
SCALE: AS SHOWN  
SHEET NO. 1 OF 1

DATE	FILE
1.2.14	DECK RECON.
1.2.14	DECK RECON.

NICHOLAS TARTAGLIONE  
1 ROCKY DRIVE  
MAHOPAC, NY 10541

Client: 10541  
Date: 12-20-05  
Sheet: A-1

ROBERT LAGA  
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**APPLICATION FOR WETLAND PERMIT OR LETTER OF PERMISSION**

Name of Applicant: DR. RONALD HOFFMAN

Address of Applicant: 290 WEST LAKE Email: \_\_\_\_\_  
MAHOPAC N.Y. 10541

Telephone# \_\_\_\_\_ Name and Address of Owner if different from Applicant:

WORK

Property Address: 290 WEST LAKE BLVD. Tax Map # 64.16-1-21

Agency Submitting Application if Applicable: \_\_\_\_\_

Location of Wetland: LAKE MAHOPAC

Size of Work Section & Specific Location: 10' x 14', REAR CORNER OF HOUSE

Will Project Utilize State Owned Lands? If Yes, Specify: No

Type and extent of work (feet of new channel, yards of material to be removed, draining, dredging, filling, etc). A brief description of the regulated activity (attach supporting details).

CONVERTING DECK INTO SUNROOM SITTING OF  
2 SONOTUBE FOOTINGS.

Proposed Start Date: ASAP Anticipated Completion Date: \_\_\_\_\_ Fee Paid \$ 225.00

**CERTIFICATION**

I hereby affirm under penalty of perjury that information provided on this form is true to the best of my knowledge and belief, false statements made herein are punishable as a Class A misdemeanor pursuant to Section 210.45 of the Penal Law. As a condition to the issuance of a permit, the applicant accepts full legal responsibility for all damage, direct or indirect, or whatever nature, and by whomever suffered, arising out of the project described here-in and agrees to indemnify and save harmless the Town of Carmel from suits, actions, damages and costs of every name and description resulting from the said project.

[Signature]  
SIGNATURE

12.15.15  
DATE

617.20  
Appendix B  
Short Environmental Assessment Form

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project: <b>DR RONALD HOFFMAN</b>			
Project Location (describe, and attach a location map): <b>290 WEST LAKE BLVD. MANTOLAK N.Y. 10541</b>			
Brief Description of Proposed Action: <b>CONVERTING EXISTING 10' x 14' DECK INTO SUNROOM SITTING ON 2- SONOTUBE FOOTINGS.</b>			
Name of Applicant or Sponsor: <b>PETER R. GEYER</b>		Telephone: <b>9</b> E-Mail: _____	
Address: <b>69 CAROLAN RD EAST.</b>			
City/PO: <b>CARHEL N.Y. 10512</b>		State:	Zip Code:
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO ✓	YES
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:		NO ✓	YES
3.a. Total acreage of the site of the proposed action? <b>.75</b> acres			
b. Total acreage to be physically disturbed? <b>140 SF.</b> <del>acres</del>			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO ✓	YES	N/A
b. Consistent with the adopted comprehensive plan?	✓		
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO /	YES	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO /	YES	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
b. Are public transportation service(s) available at or near the site of the proposed action?	/		
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	/		
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES /	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO /	YES	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: <u>SUNROOM ONLY</u>	NO /	YES	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
b. Is the proposed action located in an archeological sensitive area?	/		
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES /	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	/		
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO /	YES	
16. Is the project site located in the 100 year flood plain?	NO	YES /	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES If Yes, briefly describe: <u>TIE INTO EXISTING LEADER DRAINS.</u>	NO	YES /	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b> Applicant/sponsor name: <u>PETER K. GEYER</u> Date: <u>12-15-15</u> Signature: <u>[Signature]</u>		

**Part 2 - Impact Assessment.** The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		



REAR ELEVATION  
 HOFFMAN RESIDENCE - 290 WEST LAKE BOULEVARD  
 LAKE MAHOPAC, NEW YORK

NOTE  
 THESE PLANS ARE NOT VALID FOR BUILDING PERMITS OR CONSTRUCTION  
 UNLESS STAMPED AND SIGNED BY A STATE LICENSED ARCHITECT OR ENGINEER.

BOB STROHM DESIGN & CONSTRUCTION, INC.  
 845-628-1423



NORTH LAKE BOULEVARD  
 MAHOPAC, NEW YORK

ADDITION TO RESIDENCE

DR. RONALD HOFFMAN  
 290 WEST LAKE BLVD.  
 MAHOPAC, NEW YORK

DEC. 4, 2015 JOB NO. 2284

ENGINEER OF RECORD

JOHN KARELL JR. P.E.  
 CUSHMAN ROAD  
 PATTERSON, NEW YORK

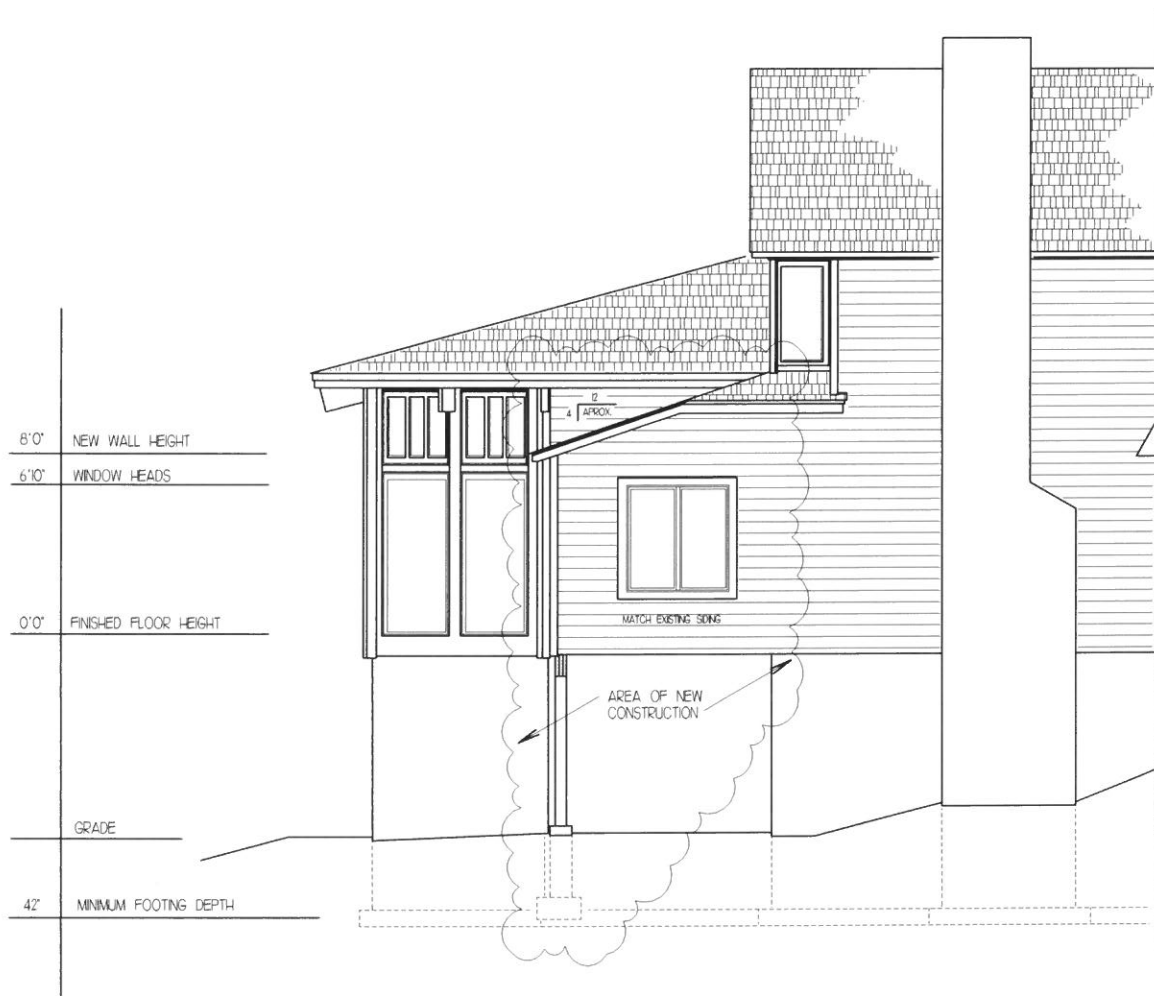
(845) 878-7894

ELEVATION

A1

SCALE 1/4" = 1'0"





# LEFT SIDE ELEVATION

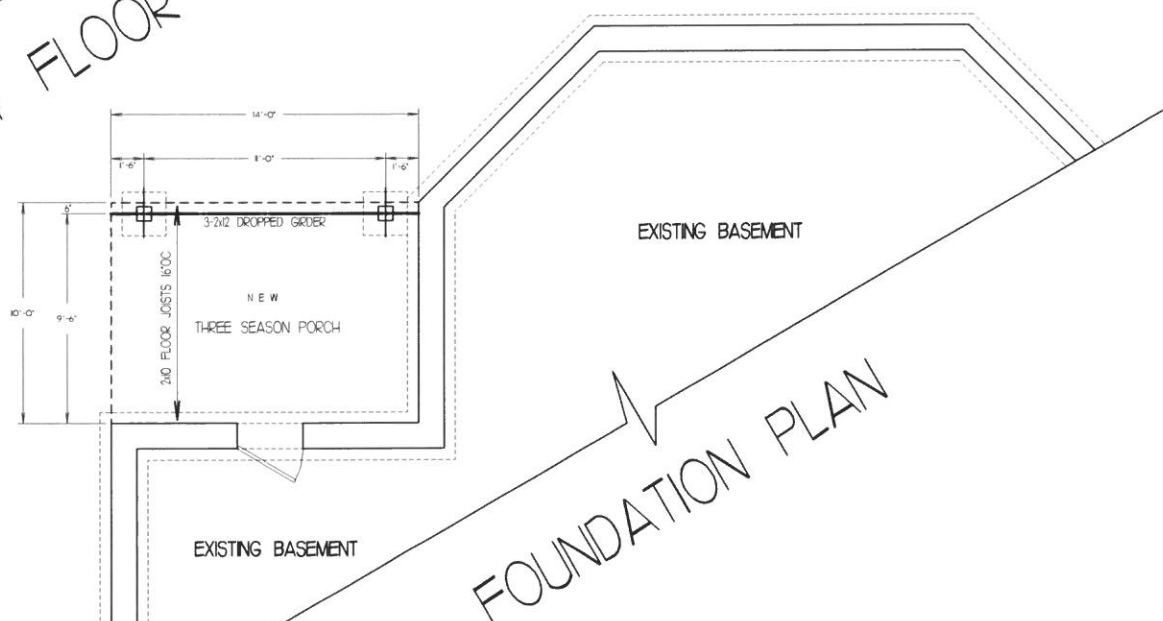
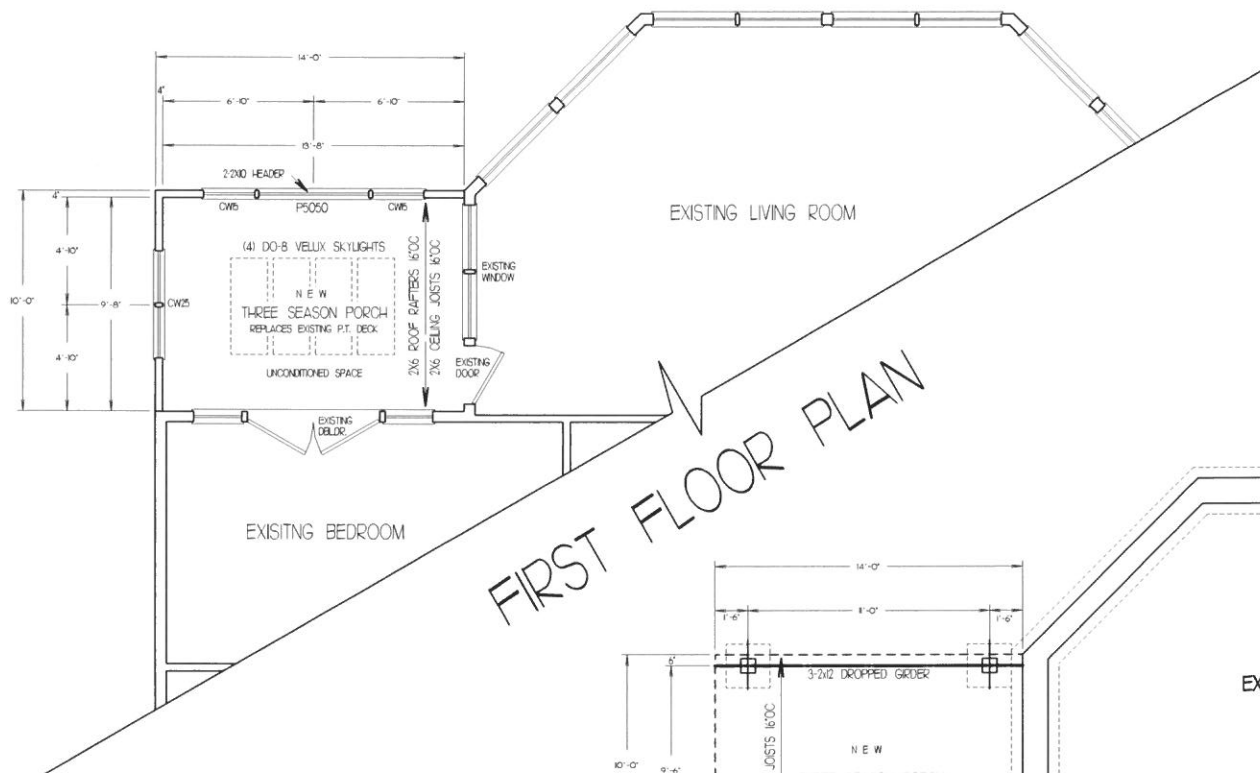
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ELEVATION  
**A2**  
SCALE 1/4" = 1'0"



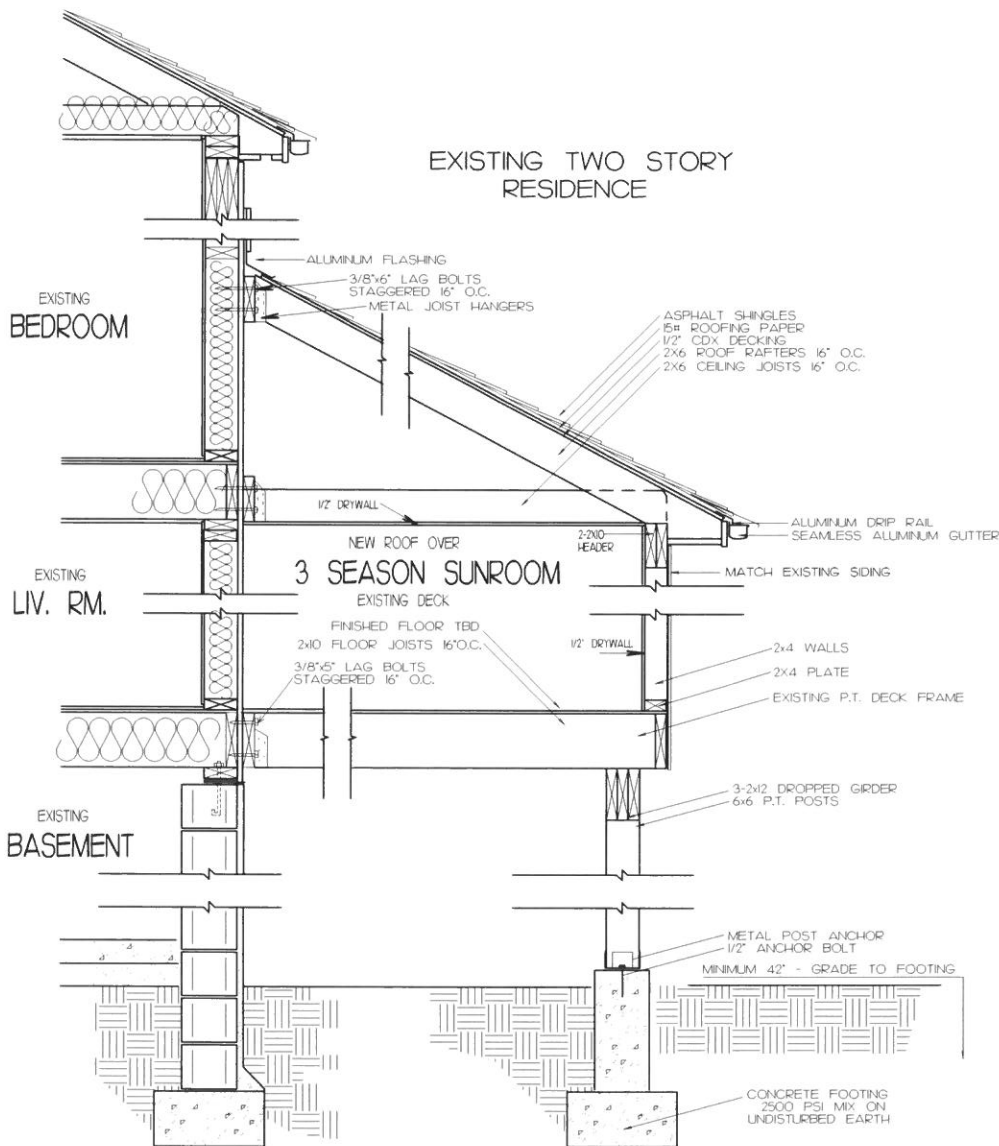
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FLOOR PLAN  
**A3**  
SCALE 1/4" = 1'-0"



WALL SECTION TYPICAL SCALE 3/4" = 1'0"

#### GENERAL CONDITIONS

**PLANS:** These plans are an instrument of service. They are and shall remain the property of the designer. These documents are not to be used for any other projects or purposes, or by any other parties, than those properly authorized.

**SPECIFICATIONS:** These specifications are made in general form only and not specifically for any one building. The Homeowner in applying these specifications, assumes complete responsibility for their use, changes or omissions. Contractors shall verify all field conditions and dimensions and be responsible for field fit and quality of workmanship. No allowances shall be made on behalf of the contractor for any error or neglect on his part.

**SCOPE OF WORK:** The Contractor shall provide all labor, materials, appliances and equipment required to complete all work, etc., as shown on the drawings, necessary for a complete job, unless otherwise specified. All materials and workmanship shall be of good quality.

**CODES:** All work and materials must conform to the local building codes, National Board of Fire Underwriters, U.L., NYS Energy Conservation Code and requirements of the Board of Health.

**MATERIALS:** Shall be installed according to the manufacturer's specifications.

#### EXCAVATION

**FOUNDATION:** Excavate all earth, boulders, loose and soft rock to the depths indicated on the drawings. All footings to bear on solid undisturbed earth of 4000 psi capacity.

**FINISH GRADING:** Finished grade shall be established to provide surface drainage in all directions away from the building.

#### MASONRY AND CONCRETE

**CONCRETE FLOORS:** Shall have a smooth dense steel trowel finish (hand or power troweled) over gravel base. Concrete floors in living areas shall have poly film vapor barrier. Pitch all garage and porch floors for drainage.

**CONCRETE BLOCK:** Shall be laid level, plumb and straight in a full bed of mortar with galvanized steel "Dura-Wall" horizontal wire re-inforcement, every second course. All joints to be well tooled.

**MASONRY FOUNDATION WALLS:** 8" Hollow Masonry Units not to exceed 4'0" below adjacent grade, 10" Hollow Masonry

**DAMP-PROOFING:** Foundation walls shall be damp-proofed with 2 coats of asphalt waterproofing over 2 coats of stucco or plaster. Provide 4" perforated pvc footing drain as specified in plan sections.

#### CARPENTRY

**LUMBER:** All framing lumber to have a Minimum Bending Stress of 1250 psi, or Douglas Fir construction grade #2

**STEEL:** All structural steel to have a Minimum Yield Strength of 36,000 psi, (ASTM A-36).

**FRAMING:** Framing of the entire building shall be erected plumb, level and true. Joists, studs and rafters shall be doubled around all openings. All flush joist headers and girders shall be connected with metal joist hangers. Double joist members under all partitions parallel to framing. Size of joists, sheathing and rafters as shown in plans.

**INSULATION:** Shall be fiberglass batt type.

**CEILINGS:** R-38

**EXTERIOR STUD WALLS:** R-19

**FLOOR OVER UNHEATED SPACES:** R-30

Provide insulation as required by NYS Energy Conservation Code

**ROOF VENTILATION:** Ventilate all attic and rafter spaces with proper sized screened ridge and soffit vents or louvers.

These plans have been produced under the supervision of a state licensed P.E. as per New York State Education Law.

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CUSHMAN ROAD  
PATTERSON, NEW YORK

(845) 878-7894

#### DETAILS

**A4**

SCALE AS NOTED

## **GEYER Construction Inc.**

*General & Home Improvement Contracting*

69 Carolan Road East

Carmel, NY 10512

p. (914) 879-8384

[peter@Geyer-Construction.com](mailto:peter@Geyer-Construction.com)

December 15, 2015

Dr. Ronald Hoffman  
290 West Lake Blvd.  
Mahopac, New York 10541

### Re: Construction Sequence

- Install silt fence as indicated near construction area
- All cement products to be covered with tarp nightly
- Both construction areas and staging area to be kept orderly
- All construction debris to be put immediately into debris trailer and not on ground
- Two (2) Sono Tube footings to be hand dug
- Frame structure in an orderly fashion, framing material to be blocked off grade
- Gutters to be installed tying into existing leader drains.
- Restore all disturbed areas. Reseed and hay as required
- Silt fence to be removed six (6) weeks after completion of project

RE AG FILL CURVE  
PREPARED FOR M. OH  
TRANSFORMED BY RICHARD  
H. S. REE & ASSOCIATES  
DATE: AUGUST 4, 1967

SILT FENCE

STAGING AREA

LAKE  
MAHOPAC  
505° 53' 04" E  
9' 44'

500° 53' 04" E  
500'

587° 42' 30" E  
9030'

110'

231 AC TOTAL

584° 35' 08" E  
110' 14'

2100° 33' 32" E  
2030  
NAT BLOOMBERG

NO 25 78 V

WEST LAKE

RET

MAG

BY 34 02 03



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Granite Environmental

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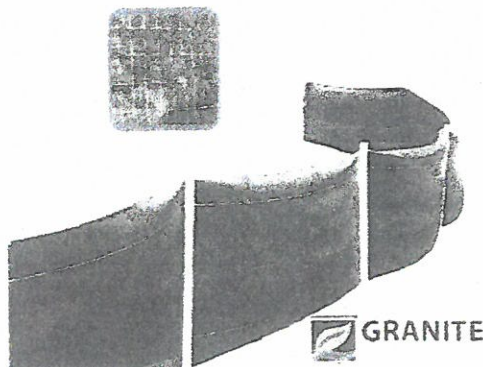
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- » [\\$1000 - \\$2499.99](#)
- » [more than \\$2500 Dollars](#)


[Home](#) > [Erosion Control](#) > [Silt Fence](#) > [Wire Back Silt Fence](#)

Wire Back Silt Fence - 100 gram - 14.5 AWG Welded Wire - 3' x 100' (qty: 5)

Part Number 1654-0100A32

[Email a friend](#)[Review this item](#)

Price

Your Price: \$290.25

Like Share 0

Quantity 1

[Add to Cart](#)

## Description

Heavy duty silt fence with wire backing is the ideal choice for locations that require extra strength and stability on their site. Due to their reinforced wire backing, this type of fencing has become a favorite for areas with high levels of sediment, silt or storm water runoff. Each wired silt fence features a standard 70 gram or 100 gram material that has been backed with your choice of mesh field or welded wire. The model shown here features a 100 gram fabric with 14.5 AWG field wire for increased support in your location. For additional wire backing options, please check out our [Wire Back Silt Fence Page](#).

Wired silt fence comes in Skid quantities of 5 rolls. For information on different quantities or additional information on our products feel free to contact us at 772-646-0597 or toll free at 888-703-9889.

- Fabric Weight: 100 gram
- Fabric Material: Woven Polypropylene Geotextile
- Fabric Color: Black with White Stripe
- Wire: 14.5 AWG
- Size: 100'L x 3"W
- Quantity: 5 Rolls

Top Sel

1


[Ultra D](#)  
[and Sedi](#)  
 1-3

2.

3.



(77

(88





STAGING AREA

The image shows a paved asphalt area in the foreground, which appears to be a staging area. The asphalt is dark and has some lighter patches, possibly from snow or ice. In the background, there is a low stone wall made of irregular stones. Behind the wall, there is a hillside covered with green bushes and trees. A wooden fence or barrier is visible on the right side of the stone wall. The overall scene is outdoors, likely in a park or a similar natural setting.





REPAIR EXISTING  
DECK WITH SUN ROOM







Att:  
Town of Carmel  
Environmental Conservation Board

February 5, 2015

To Whom this May Concern:

Enclosed please find the requested items for completion of our application for permit to build a dock at 47 Tyler Court:

Site plan with North arrow

Silt fencing location on map

Silt fencing standard detail as marked in pink (pages 1, 1a, 2)

Construction sequence- no heavy equipment, no hay bales (page 3)

Sincerely,  
Janet Silverstein Moskowitz.

CARL STONE  
Chairman

ROBERT LAGA  
Vice Chair

ROSE TROMBETTA  
Secretary

DAVID KLOTZLE  
Wetland Inspector

**TOWN OF CARMEL**  
**ENVIRONMENTAL CONSERVATION BOARD**



60 McAlpin Avenue  
Mahopac, New York 10541  
Tel. (845) 628-1500 - Ext. 190  
[www.carmelny.org](http://www.carmelny.org)

BOARD MEMBERS

Edward Barnett  
Anthony Dusovic  
Marc Pekowsky  
Vincent Turano  
Nicholas Fannin

**APPLICATION FOR WETLAND PERMIT OR LETTER OF PERMISSION**

Name of Applicant: Jay Moskowitz

Address of Applicant: 13 Tennis Ct Rd. Mahopac Email: \_\_\_\_\_

Telephone# \_\_\_\_\_ Name and Address of Owner if different from Applicant: \_\_\_\_\_

S/A/A

Property Address: 47 Tyler Ct. Mahopac Tax Map # 64.15.1.65

Agency Submitting Application if Applicable: N/A

Location of Wetland: Kirk Lake

Size of Work Section & Specific Location: 400 sq Ft. 16'x25'

Will Project Utilize State Owned Lands? If Yes, Specify: project (dock) to be built entirely on land under water. No state permit required docks < 4000 sq Ft.

Type and extent of work (feet of new channel, yards of material to be removed, draining, dredging, filling, etc). A brief description of the regulated activity (attach supporting details).

Construct 16' x 25' Dock

Proposed Start Date: 2/19/15 Anticipated Completion Date: 4/1/15 Fee Paid \$ 225.00

**CERTIFICATION**

I hereby affirm under penalty of perjury that information provided on this form is true to the best of my knowledge and belief, false statements made herein are punishable as a Class A misdemeanor pursuant to Section 210.45 of the Penal Law. As a condition to the issuance of a permit, the applicant accepts full legal responsibility for all damage, direct or indirect, or whatever nature, and by whomever suffered, arising out of the project described here-in and agrees to indemnify and save harmless the Town of Carmel from suits, actions, damages and costs of every name and description resulting from the said project.

Jay Moskowitz  
SIGNATURE

2/13/15  
DATE

617.20  
Appendix B  
Short Environmental Assessment Form

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>							
Name of Action or Project: <div style="text-align: center; font-size: 1.2em;">Dock</div>							
Project Location (describe, and attach a location map): <div style="text-align: center; font-size: 1.2em;">On Kirk Lake, approximately 85' From property line closest to Pt.</div>							
Brief Description of Proposed Action: <div style="text-align: center; font-size: 1.2em;">an approximately 16' x 25' dock will be constructed using Pressure Treated Framing. Decking material will be Trex.</div>							
Name of Applicant or Sponsor: <div style="text-align: center; font-size: 1.2em;">Jay Moskowitz</div>		Telephone: <div style="text-align: center; font-size: 1.2em;">[blank]</div>					
Address: <div style="text-align: center; font-size: 1.2em;">13 Tennis Ct Rd.</div>		E-Mail: <div style="text-align: center; font-size: 1.2em;">[blank]</div>					
City/PO: <div style="text-align: center; font-size: 1.2em;">Mahopac</div>		State: <div style="text-align: center; font-size: 1.2em;">NY</div>	Zip Code: <div style="text-align: center; font-size: 1.2em;">10541</div>				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%;"><tr><td style="width: 50%;">NO</td><td style="width: 50%;">YES</td></tr><tr><td style="text-align: center;">X</td><td></td></tr></table>	NO	YES	X	
NO	YES						
X							
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<table border="1" style="width: 100%;"><tr><td style="width: 50%;">NO</td><td style="width: 50%;">YES</td></tr><tr><td style="text-align: center;">X</td><td></td></tr></table>	NO	YES	X	
NO	YES						
X							
3. a. Total acreage of the site of the proposed action?		9.9 acres					
b. Total acreage to be physically disturbed?		0 acres					
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		9.9 acres					
4. Check all land uses that occur on, adjoining and near the proposed action. <div style="display: flex; flex-wrap: wrap;"><div style="width: 50%;"><input type="checkbox"/> Urban    <input type="checkbox"/> Rural (non-agriculture)    <input type="checkbox"/> Industrial    <input type="checkbox"/> Commercial</div><div style="width: 50%;"><input checked="" type="checkbox"/> Residential (suburban)    <input checked="" type="checkbox"/> Aquatic    <input type="checkbox"/> Other (specify): _____</div><div style="width: 50%;"><input type="checkbox"/> Forest    <input type="checkbox"/> Agriculture</div><div style="width: 50%;"><input type="checkbox"/> Parkland</div></div>							



5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
b. Consistent with the adopted comprehensive plan?		✓	
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	✓
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	✓
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	✓
b. Are public transportation service(s) available at or near the site of the proposed action?	NO	YES	✓
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	NO	YES	✓
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	✓
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO	YES	N/A
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO	YES	N/A
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	✓
b. Is the proposed action located in an archeological sensitive area?	NO	YES	✓
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	✓
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	NO	YES	✓
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input checked="" type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	✓
16. Is the project site located in the 100 year flood plain?	NO	YES	✓
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <input type="checkbox"/> NO <input type="checkbox"/> YES	NO	YES	✓

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES

**I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE**

Applicant/sponsor name: Jay Moskowitz Date: 1/13/15

Signature: Jay Moskowitz

**Part 2 - Impact Assessment.** The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

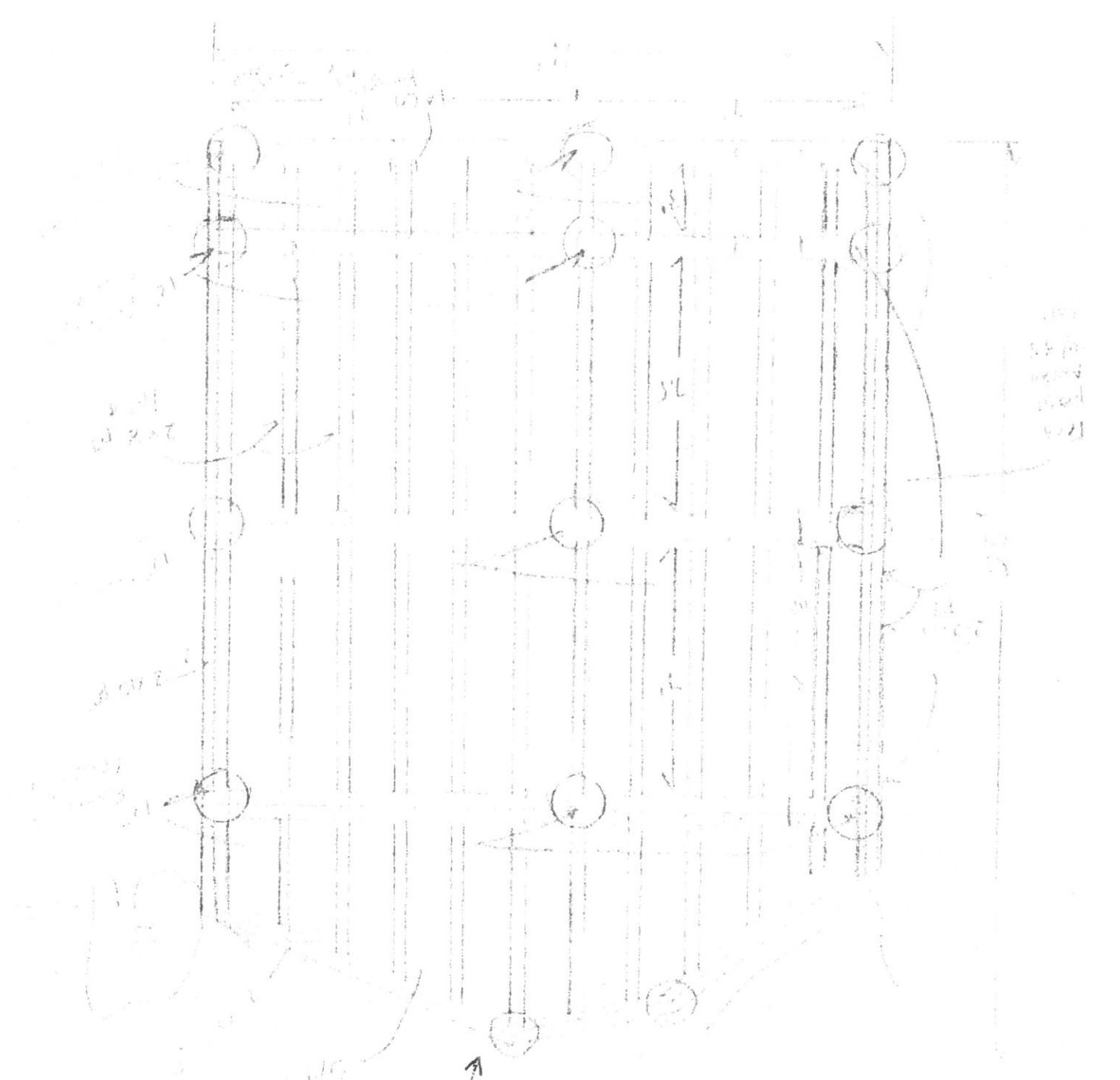
**Part 3 - Determination of significance.** The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
_____ Name of Lead Agency	_____ Date
_____ Print or Type Name of Responsible Officer in Lead Agency	_____ Title of Responsible Officer
_____ Signature of Responsible Officer in Lead Agency	_____ Signature of Preparer (if different from Responsible Officer)

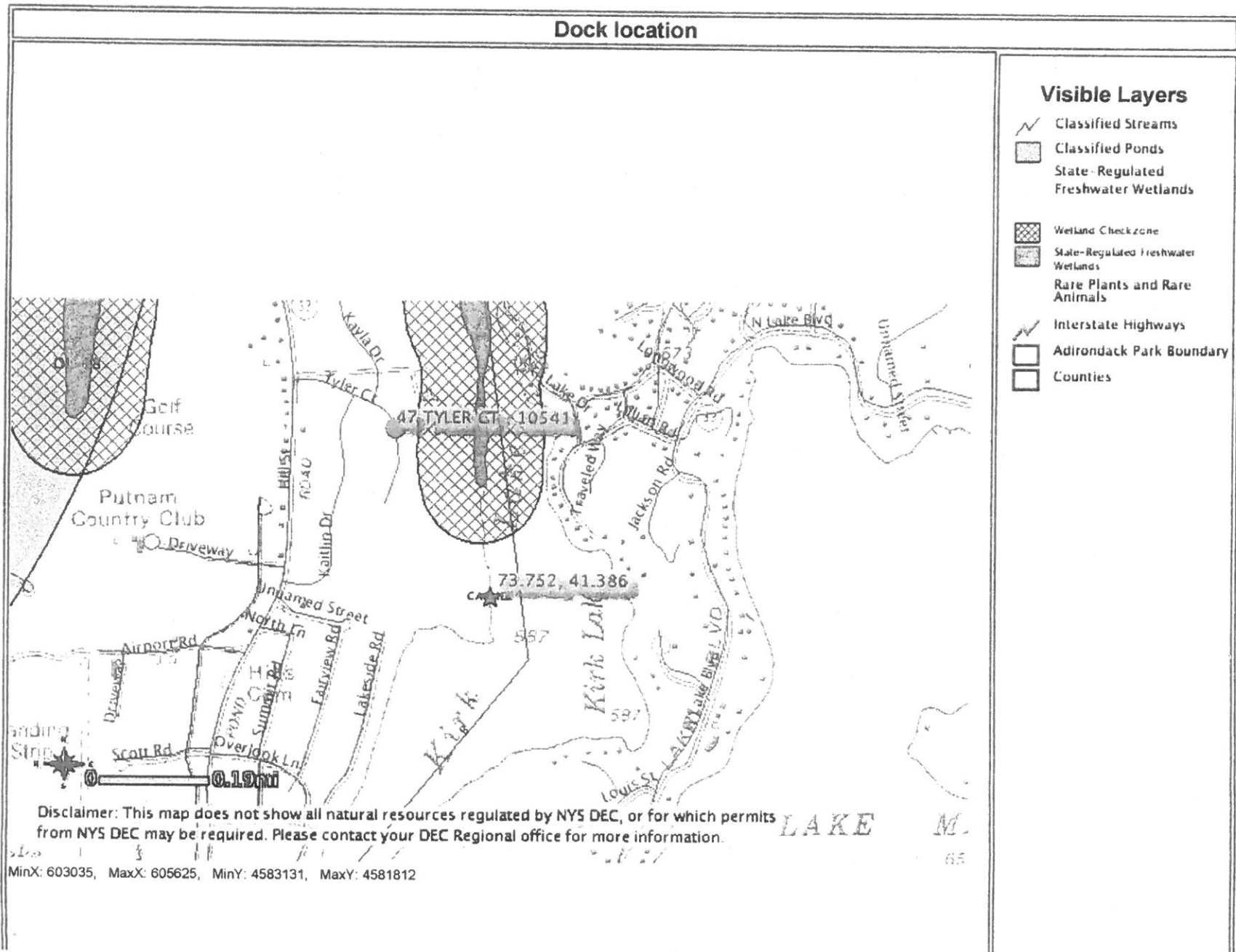
## Material List:

- 20- 8' 2x10 Pressure treated
- 8- 10' 2x10 PT
- 4- 12' 2x10 PT
- 1- 16' 2x 10 PT
- 35- 8' 2x8 PT
- 400 sqft -Trex Decking
- 80- 2x8 Teco joist hangers
- 14- Teco post anchors
- 14- Hilti stainless steel 1/2" epoxy studs and adhesive
- 14- 12' Sono tubes
- 200 - 80 lbs bags concrete mix
- 6- Teco corner braces
- 55- 1/2 galvanized carriage bolts, nuts and washers
- 2 buckets- Trex hidden fasteners
- 5lbs- Teco nails
- 1 box- Stainless steel framing nails
- 1 box- Stainless steel screws
- 1 box-contractor garbage bags
- 1 bundle- furring strips
- 1 roll- mason line
- 4- galvanized boat cleats

Shore line



Please set your printer orientation to "Landscape".





2/5/15

①

## STANDARD AND SPECIFICATIONS FOR SILT FENCE



### Definition

A temporary barrier of geotextile fabric installed on the contours across a slope used to intercept sediment laden runoff from small drainage areas of disturbed soil.

### Purpose

The purpose of a silt fence is to reduce runoff velocity and effect deposition of transported sediment load. Limits imposed by ultraviolet stability of the fabric will dictate the maximum period the silt fence may be used (approximately one year).

### Conditions Where Practice Applies

A silt fence may be used subject to the following conditions:

1. Maximum allowable slope lengths contributing runoff to a silt fence placed on a slope are:

Slope Steepness	Maximum Length (ft.)
2:1	25
3:1	50
4:1	75
5:1 or flatter	100

2. Maximum drainage area for overland flow to a silt fence shall not exceed  $\frac{1}{4}$  acre per 100 feet of fence, with maximum ponding depth of 1.5 feet behind the fence; and
3. Erosion would occur in the form of sheet erosion; and
4. There is no concentration of water flowing to the barrier.

### Design Criteria

Design computations are not required for installations of 1 month or less. Longer installation periods should be designed for expected runoff. All silt fences shall be placed as close to the areas as possible, but at least 10 feet from the toe of a slope to allow for maintenance and roll down. The area beyond the fence must be undisturbed or stabilized.

Sensitive areas to be protected by silt fence may need to be reinforced by using heavy wire fencing for added support to prevent collapse.

Where ends of filter cloth come together, they shall be overlapped, folded and stapled to prevent sediment bypass. A detail of the silt fence shall be shown on the plan. See Figure 5A.8 on page 5A.21 for details.

### Criteria for Silt Fence Materials

1. Silt Fence Fabric: The fabric shall meet the following specifications unless otherwise approved by the appropriate erosion and sediment control plan approval authority. Such approval shall not constitute statewide acceptance.

Fabric Properties	Minimum Acceptable Value	Test Method
Grab Tensile Strength (lbs)	90	ASTM D1682
Elongation at Failure (%)	50	ASTM D1682

A

Mullen Burst Strength (PSI)	190	ASTM D3786
Puncture Strength (lbs)	40	ASTM D751 (modified)
Slurry Flow Rate (gal/min/sf)	0.3	
Equivalent Opening Size	40-80	US Std Sieve CW-02215
Ultraviolet Radiation Stability (%)	90	ASTM G-26

2. Fence Posts (for fabricated units): The length shall be a minimum of 36 inches long. Wood posts will be of sound quality hardwood with a minimum cross sectional area of 3.0 square inches. Steel posts will be standard T and U section weighing not less than 1.00 pound per linear foot.

3. Wire Fence (for fabricated units): Wire fencing shall be a minimum 14 gage with a maximum 6 in. mesh opening, or as approved.

4. Prefabricated Units: Envirofence, Geofab, or approved equal, may be used in lieu of the above method providing the unit is installed per details shown in Figure 5A.8.

No Hay Bales will Be Used

2/5/15

Figure 5A.8  
Silt Fence

