

CRAIG PAEPRER
Chairman

ANTHONY GIANNICO
Vice Chairman

BOARD MEMBERS
KIM KUGLER
RAYMOND COTE
ROBERT FRENKEL
MARK PORCELLI
VICTORIA CAUSA

**TOWN OF CARMEL
PLANNING BOARD**



60 McAlpin Avenue
Mahopac, New York 10541
Tel. (845) 628-1500 – Ext.190
www.ci.carmel.ny.us

MICHAEL CARNAZZA
*Director of Code
Enforcement*

RICHARD FRANZETTI, P.E.
Town Engineer

PATRICK CLEARY,
AICP, CEP, PP, LEED AP
Town Planner

**PLANNING BOARD AGENDA
AUGUST 19, 2020 – 7:00 P.M.**

TAX MAP # PUB. HEARING MAP DATE COMMENTS

PUBLIC HEARING

1. Carmel Fire Department – 94 Gleneida Ave	44.14-1-24	08/19/20	8/7/20	Amended Site Plan
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SITE PLAN

2. Stillwater Business Park – 105 Stillwater Road	75.17-1-53 86.5-1-25 & 26		8/7/20	Site Plan
3. The Teal Door Counseling Center – 18 Miller Road	86.11-1-15		8/3/20	Site Plan (Addition)
4. Mahoven LLC (Kaneti) – 737 South Lake Blvd	75.42-1-13		8/11/20	Special Site Plan
5. Rudovic Bridal Shop – 1707 Route 6	55.6-1-12		8/10/20	Site Plan
6. 14 Nicole Way LLC (Zakon) – 14 Nicole Way	65.6-1-22		8/6/20	Site Plan

TOWN BOARD REFERRAL

7. Centennial Golf Club of New York, LLC – Fair St	44.-2-2,3,4			Amendment to Zoning Ordinance (Discussion)
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MISCELLANEOUS

8. Yankee Development – Piggott Road	76.15-1-12			Extension of Preliminary Subdivision Approval
9. Minutes – 06/17/20				



August 10, 2020

Town of Carmel Planning Board
60 McAlpin Avenue
Mahopac, New York 10541

RE: Carmel Fire Department
94 Gleneida Avenue
Town of Carmel
TM# 44.14-1-24

Dear Chairman Paepre and Members of the Board:

Please find enclosed five (5) copies of the following letter in support of a site plan application for the above referenced project:

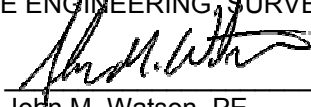
- Letter from Michael Liguori at Hogan & Rossi dated August 7, 2020.

We respectfully request this project be placed on the August 19, 2020 Planning Board meeting for the discussion of the attached material and a Public Hearing. Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:



John M. Watson, PE
Principal Engineer

JMW:ams

Enclosures

Cc: Michael Hengel / Carmel Fire Department
Michael T. Liguori / Hogan & Rossi, Esqs.
Eric Neiler, H2M Architects

HOGAN & ROSSI

Attorneys At Law
3 Starr Ridge Road - Suite 200
Brewster, New York 10509

John J. Hogan
Donald M. Rossi
Michael T. Liguori*
Jamie Spillane**
Courtney J. Day**
* Also Admitted in CT
** Also Admitted in NJ

Telephone: (845) 279-2986
Facsimile: (845) 279-6425
(845) 278-6135

Of Counsel
Nancy Tagliafierro*
Mary Jane MacCrae
Scott J. Steiner
Bonnie N. Fienzig

August 7, 2020

Craig Paepre, Chairman
Town of Carmel Planning Board
60 McAlpin Avenue
Mahopac, NY 10541

Re: Carmel Fire Department Site Plan

Dear Chairman Paepre:

We co-represent Carmel Fire Department, Inc. together with Insite Engineering, Surveying and Landscape Architecture, P.C. on its application for site plan approval and lot line adjustment.

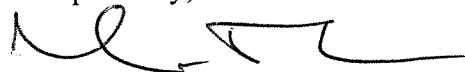
Following the recent Planning Board meeting, we were advised by TD Bank that it would require a traffic study before it commits to giving up two-way access to its parcel. Specifically, the pandemic has put great pressure on the drive-thru and TD is seeking to gather information on the its use and separately how often side driveway to Vink Drive is used for ingress and egress. It requested that data be collected on a Friday, which is the bank's day of highest use.

Insite has arranged to have the traffic study conducted on Friday, August 14 and it is anticipated that the report will be completed by August 25. The study is being prepared by Frank A. Filiciotto, P.E. of Creighton Manning.

From a timing perspective, it is critical for Carmel Fire Department to move forward with its public hearing and we are proposing to move forward with the public hearing with the two-way traffic issue as presently unresolved. While not ideal, we believe that we will have the issue resolved prior to when the Board would normally close a public hearing.

Thank you in advance for your consideration.

Respectfully,



Michael T. Liguori



August 7, 2020

Town of Carmel Planning Board
60 McAlpin Avenue
Mahopac, New York 10541

RE: Carmel Fire Department
94 Gleneida Avenue
Town of Carmel
TM# 44.14-1-24

Dear Chairman Paepre and Members of the Board:

Please find enclosed five (5) copies of the following plans and documents in support of an application for a site plan application for the above referenced project:

- Site Plans prepared by Insite Engineering, Surveying, and Landscape Architecture P.C. dated May 20, 2020 revised August 7, 2020.
- Elevations prepared by H2M Architects + Engineers dated August 7, 2020.

In addition to the architectural information, we'd like to highlight the following items which have been revised in the attached submission:

- 1) The Applicant has procured an estimate for the project from an outside estimator. Based on this information, the applicant may phase the project in two phases. Phase 1 would include the building addition and all exterior building and site work. Phase 2 would include the existing apparatus bay interior renovations. All the proposed exterior architectural work would be part of Phase 1. We are seeking site plan approval for both Phases at this time even though it may be constructed in two separate phases.
- 2) Additional information, as it relates to the size of the generator and transformer have been updated on Drawing SP-2. Additional screening has been added near the transformer and generator as shown on Drawing SP-2.
- 3) As part of the architectural elevations, additional information has been provided for the aesthetics of the fuel tank. The tank shall be beige surrounded by red bollards. As previously discussed, the fuel pump is located to allow fire trucks to easily pull up to the tank, fill up, and exit the site in an efficient and timely manner. In addition, it was placed to avoid any potential traffic conflicts with the TD Bank circulation along the northern driveway.


Adjacent to the fuel tank is a drive aisle and a row of angled parking spaces. Additional screening, such as a fence, is not proposed around the fuel tank as it will impede the ease of accessibility to the tanks. With the proposed building addition, available parking shown is limited but sufficient for the current and future needs. Therefore, parking in this area should be maintained. The location of the fence and use of a gate would require the elimination of those spaces to provide enough space and clearance to fuel the fire apparatus. The applicant understands the importance of aesthetics at this location and has chosen colors that blend in with the surrounding material while still protecting the fuel tank. The attached Architectural Drawings includes the proposed fuel tank in the renderings.

We respectfully request this project be placed on the August 19, 2020 Planning Board meeting for the discussion of the attached material and a Public Hearing. Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:



John M. Watson, PE
Principal Engineer

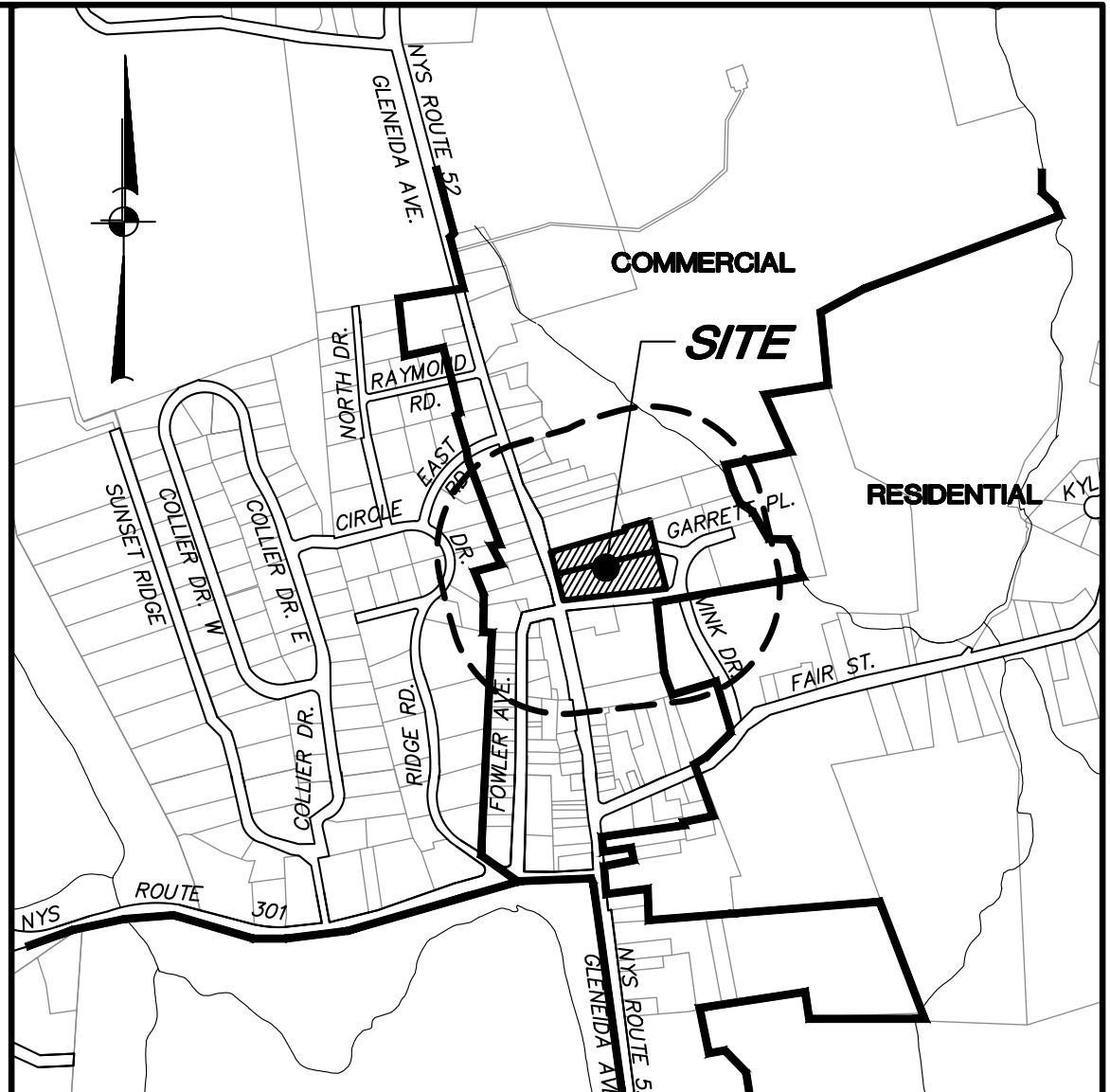
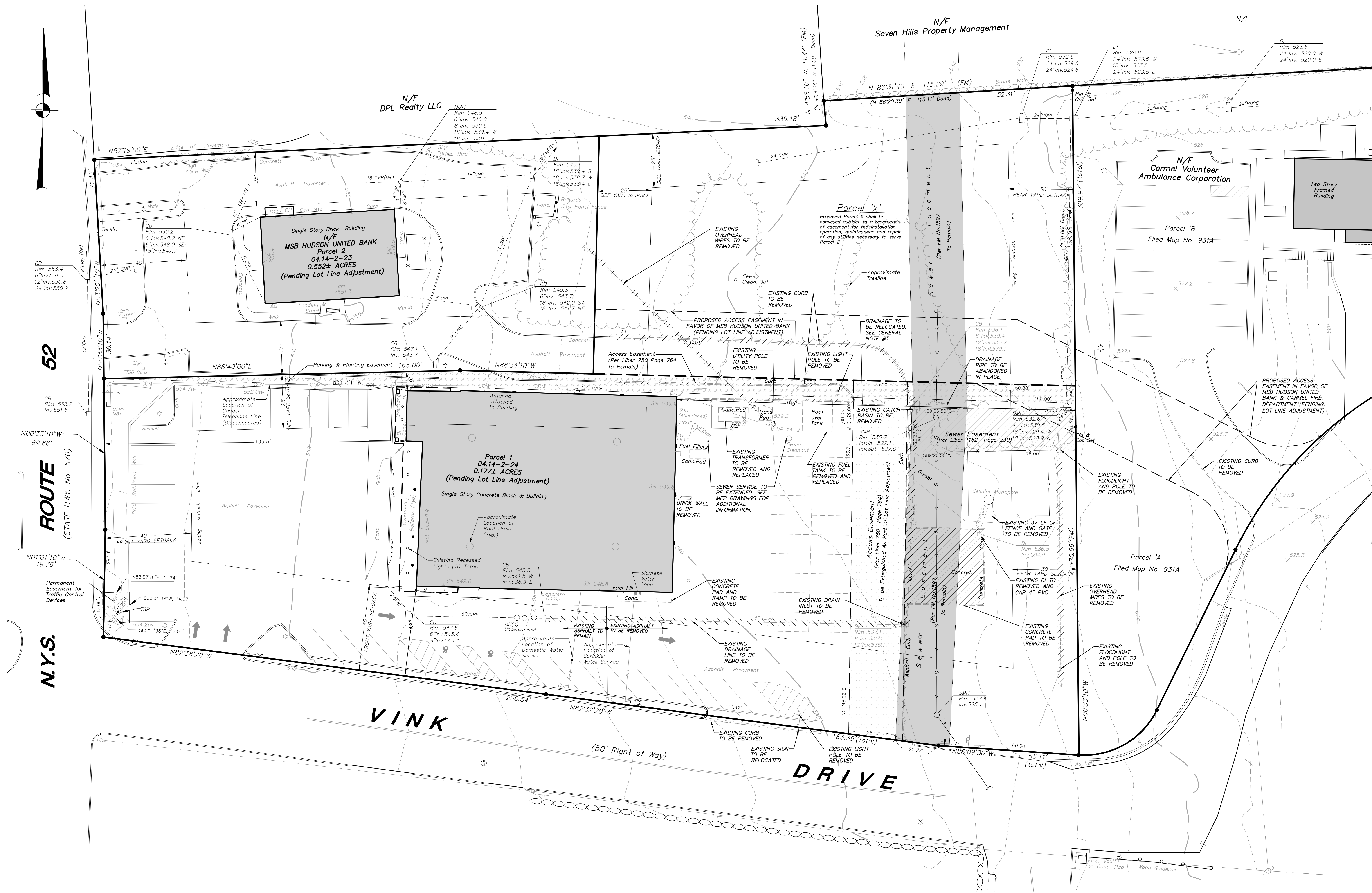
JMW/kins

Enclosures

Cc: Michael Hengel / Carmel Fire Department

Michael T. Liguori / Hogan & Rossi, Esqs.

Eric Neiler, H2M Architects

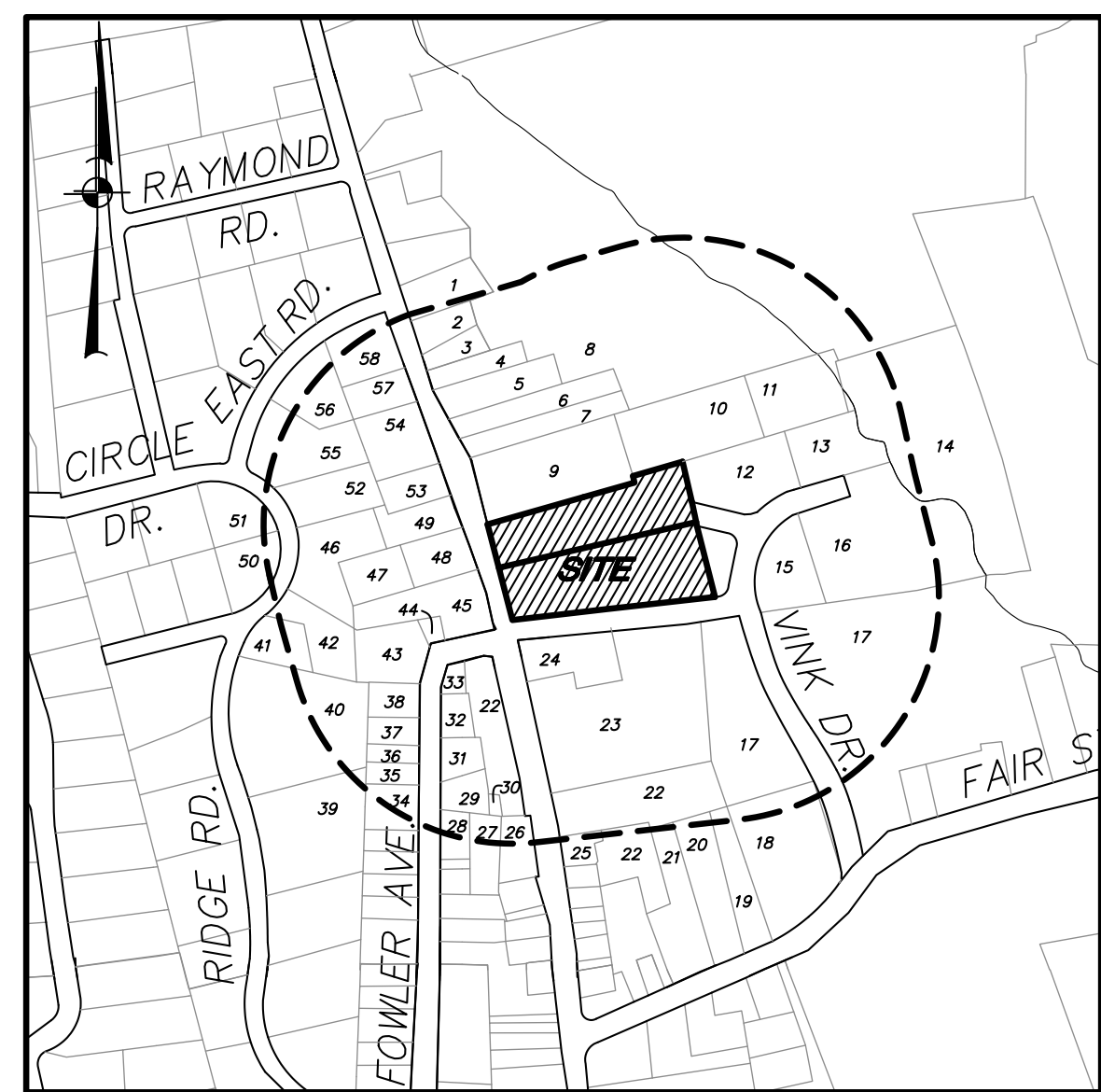
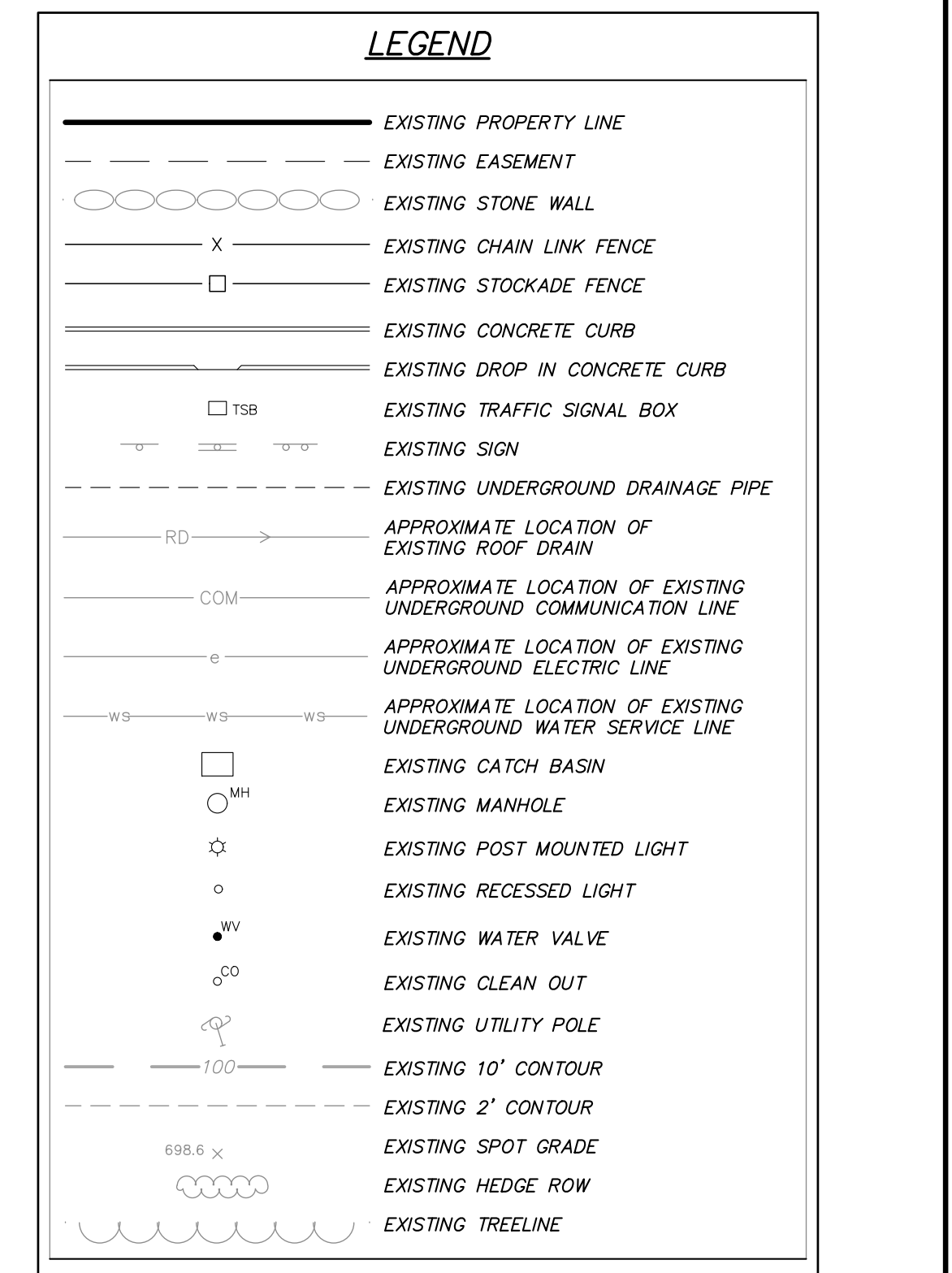


LOCATION MAP SCALE: 1" = 800'±

OWNER/APPLICANT:
CARMEL FIRE DEPARTMENT, INC.
94 GLENDA AVE
CARMEL, NY 12032

SITE DATA:
Zone: Commercial
Total Acreage: 2.2 AC
Tax Map No.: 44.14-1-24

- GENERAL NOTES:**
- Location map boundary information shown hereon is taken from the Putnam County Tax Map.
 - Property boundary, site features and existing topography shown hereon is based upon fieldwork performed by Insite Engineering, Surveying & Landscape Architecture, P.C. completed December 13, 2019. Elevations shown hereon are in NAVD83. The contour interval is 2'.
 - Contractor to determine roof drain and footing drain locations and relocate as required.

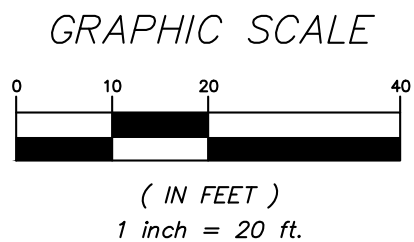


ADJOINER MAP SCALE: 1" = 400'±

500' ADJOINERS:

TOWN OF CARMEL

- | | |
|--------------------------------------|-------------------------------------|
| 1. Rodolfo A. Roque | 30. Carmel Board of Fire Commission |
| 2. Susan P. Alm | 31. Longview Realty Corp |
| 3. Marcello Carillo | 32. Maria J. Casti |
| 4. Louis Scifani | 33. Mary T. Kipp |
| 5. Joyce McGlasson | 34. Augusto Sacchetti |
| 6. Rick Montes | 35. Marlon Ramlogan |
| 7. Edward M. Schaffer | 36. Kevin D. O'Donnell |
| 8. RI 52 Housing Development Fund Co | 37. RPP Associates LLC |
| 9. DPL Realty, LLC | 38. Ernest Fernandez |
| 10. Seven Hills Property Mgmt | 39. David Chau |
| 11. Michael Yodanis | 40. Yocasta Doss |
| 12. Carmel Vol. Ambulance Corp | 41. Allan J. Eyring |
| 13. John Mitchell | 42. Michelle Hicks |
| 14. Hugo Hayes LLC | 43. BND Fowler Property, LLC |
| 15. Harmon Holdings Ltd | 44. David Radovich |
| 16. Harmon Holdings Ltd | 45. Fowler Ave. Corp |
| 17. Main Woodland Trail | 46. William Rippey |
| 18. United States Postal Service | 47. Richard McGlasson |
| 19. Rancic Enterprises Corp | 48. 91 Glenelco LLC |
| 20. 17 Fair St. LLC | 49. 91 Glenelco LLC |
| 21. Wenco Properties Corp | 50. Josephine Alessi |
| 22. Mt. Carmel Baptist Church | 51. Eleanor Vitalis |
| 23. Kelly Cemetery Inc. | 52. James P. McGuire |
| 24. 90 Glenelco Ave. Corp | 53. P & R Estate Corp |
| 25. Mt. Carmel Baptist Church | 54. 99 Glenelco Avenue LLC |
| 26. Wayne Ryder | 55. Carla D. Taylor |
| 27. Robert A. Hall | 56. Philip F. Ford |
| 28. Peter Falgout | 57. Wayne Ryder |
| 29. Robert Hall | 58. 105 Glenelco Ave. Corp. |



2	8-7-20	PLANNING BOARD SUBMISSION	KMG
1	7-17-20	PLANNING BOARD SUBMISSION	E.R.A.
NO.	DATE	REVISION	BY
INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C. 3 Garrett Place Carmel, NY 12032 (845) 225-9690 (845) 225-9717 fax www.insite-eng.com			
PROJECT: CARMEL FIRE DEPARTMENT 94 GLENDA AVENUE, CARMEL, PUTNAM COUNTY, NEW YORK			
DRAWING: EXISTING CONDITIONS & REMOVALS PLAN			
PROJECT NUMBER	19135.100	PROJECT MANAGER	J.M.W.
DATE	5-20-20	DRAWN BY	C.B.Z.
SCALE	1" = 20'	CHECKED BY	K.M.G.
DRAWING NO.	EX-1	SHEET	1/10

PLANT LIST				
QUANTITY	KEY	BOTANICAL/COMMON NAME	SIZE	ROOT/SPACING
23	TO	Thuja occidentalis 'Emerald Green' / Emerald Green Arborvitae	6'-7'	8&8
11	IN	Ilex 'Nellie R. Stevens' / Nellie R. Stevens' Holly	5'-6'	#25

LEGEND	
	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	EXISTING STONE WALL
	EXISTING CHAIN LINK FENCE
	EXISTING STOCKADE FENCE
	EXISTING CONCRETE CURB
	EXISTING DROP IN CONCRETE CURB
	EXISTING SIGN
	EXISTING HEDGE ROW
	EXISTING TREELINE
	EXISTING POST MOUNTED LIGHT
	EXISTING RECESSED LIGHT
	EXISTING UTILITY POLE
	PROPOSED # OF STALLS TO BE STRIPED
	PROPOSED CONCRETE CURB
	PROPOSED PAINTED HANDICAP PARKING SYMBOL
	PROPOSED STRIPED ISLAND
	PROPOSED SINGLE POLE SIGN
	PROPOSED POLE MOUNTED LIGHT
	PROPOSED BUILDING MOUNTED LIGHT

SIGN DATA TABLE				
LOCATION NO.	TEXT	M.U.T.C.D. NUMBER	SIZE OF SIGN (S.F.)	DESCRIPTION
1		NY R7-8*	12" x 18"	Green on White Blue Symbol
		R7-8P	12" x 6"	Green on White
2		R7-1	12" x 18"	Red on White
3		R5-1C	30" x 30"	White on Red
4		R6-1C	12" x 36"	Black Background White Arrow Black Letters
5		R6-1C	12" x 36"	Black Background White Arrow Black Letters

C ZONE REQUIREMENTS:

	Required/Permitted:	Existing:	Proposed:
Minimum Lot Area:	40,000 SF	94,830 SF	94,830 SF
Minimum Lot Width:	200'	261'±	261'±
Minimum Lot Depth:	200'	450'±	450'±
Minimum Road Frontage:	100'	574.7'±	574.7'±
Minimum Yard Setbacks:			
Front:	40'	42'±	41'±
Side:	25'	8.9'±*	8.9'±*
Rear:	30'	185'±	78'±
Maximum Building Height:	35'	Less Than 35'	Less Than 35'
Minimum Building Floor Area:	5,000 SF	>5,000 SF±	26,900 SF±
Maximum Building Coverage:	30%	14%±**	22%±**

* Pre-existing nonconforming condition
** Includes a 775 of allocation for structures within the cellular tower facility.

PARKING SUMMARY

REQUIRED:	
FIRE DEPARTMENT SPACES (CALCULATED AS WHOLESALE, WAREHOUSE, STORAGE, HEAVY COMMERCIAL ESTABLISHMENTS)	13 REQUIRED
12,524 S.F. @ 1 SPACE/1,000 S.F.	13 REQUIRED
6,978 S.F. OF OFFICE SPACE @ 1 SPACE/200 S.F.	35 REQUIRED
7,400 S.F. OF APPARATUS BAYS ARE NOTE INCLUDED PARKING CALCULATIONS	
TOTAL PARKING SPACE REQUIRED	= 48 REQUIRED
TOTAL PARKING SPACE PROVIDED	= 48 PROVIDED

OUTDOOR TRAINING NOTES:

- Outdoor training will occur offsite at the county fire training center. If outdoor training does occur on site, it will occur nights and weekends when possible, and training area will be closed off to preserve necessary vehicular circulation.

GENERAL PLANTING NOTES:

- All proposed planting beds to receive a 12" min. depth of topsoil. Soil amendments and fertilizer application rates shall be determined based on specific testing of topsoil material.
- Any new soils added will be amended as required by results of soil testing and placed using a method that will not cause compaction.
- All plant material to be nursery grown.
- Plants shall conform with ANSI Z60.1 American Standard for Nursery Stock in all ways including dimensions.
- Plant material shall be taken from healthy nursery stock.
- All plants shall be grown under climate conditions similar to those in the locality of the project.
- Plants shall be planted in all locations designed on the plan or as staked in the field by the Landscape Architect.
- The location and layout of landscape plants shown on the site plan shall take precedence in any discrepancies between the quantities of plants shown on the plans and the quantity of plants in the Plant List.
- Provide a 3" layer of shredded pine bark mulch (or as specified) over entire watering saucer at all tree pits or over entire planting bed. Do not place mulch within 3" of tree or shrub trunks.
- All landscape plantings shall be maintained in a healthy condition at all times. Any dead or diseased plants shall immediately be replaced "in kind" by the contractor (during warranty period) or project owner.
- All plantings shall be installed per § 142 of the Town of Carmel Town Code. In addition, plantings shall be verified by the Town of Carmel Wetland Inspector.

2	8-7-20	PLANNING BOARD SUBMITTION	KMG
1	7-17-20	PLANNING BOARD SUBMISSION	E.R.A.
NO.	DATE	REVISION	BY

INSITE
ENGINEERING, SURVEYING &
LANDSCAPE ARCHITECTURE, P.C.

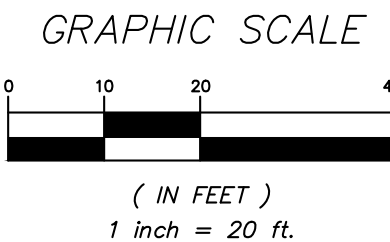
PROJECT: **CARMEL FIRE DEPARTMENT**
94 GLENEDA AVENUE, CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING: **LAYOUT AND LANDSCAPE PLAN**

PROJECT NUMBER	19135.100	PROJECT MANAGER	J.M.W.	DRAWING NO.	SHEET
DATE	5-20-20	DRAWN BY	C.B.Z.		
SCALE	1" = 20'	CHECKED BY	K.M.G.		



SP-1
2
10



ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 1209 OF ARTICLE 145 OF THE EDUCATION LAW.

EARTHWORK SUMMARY:

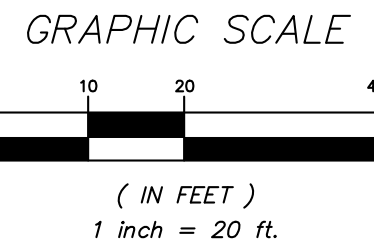
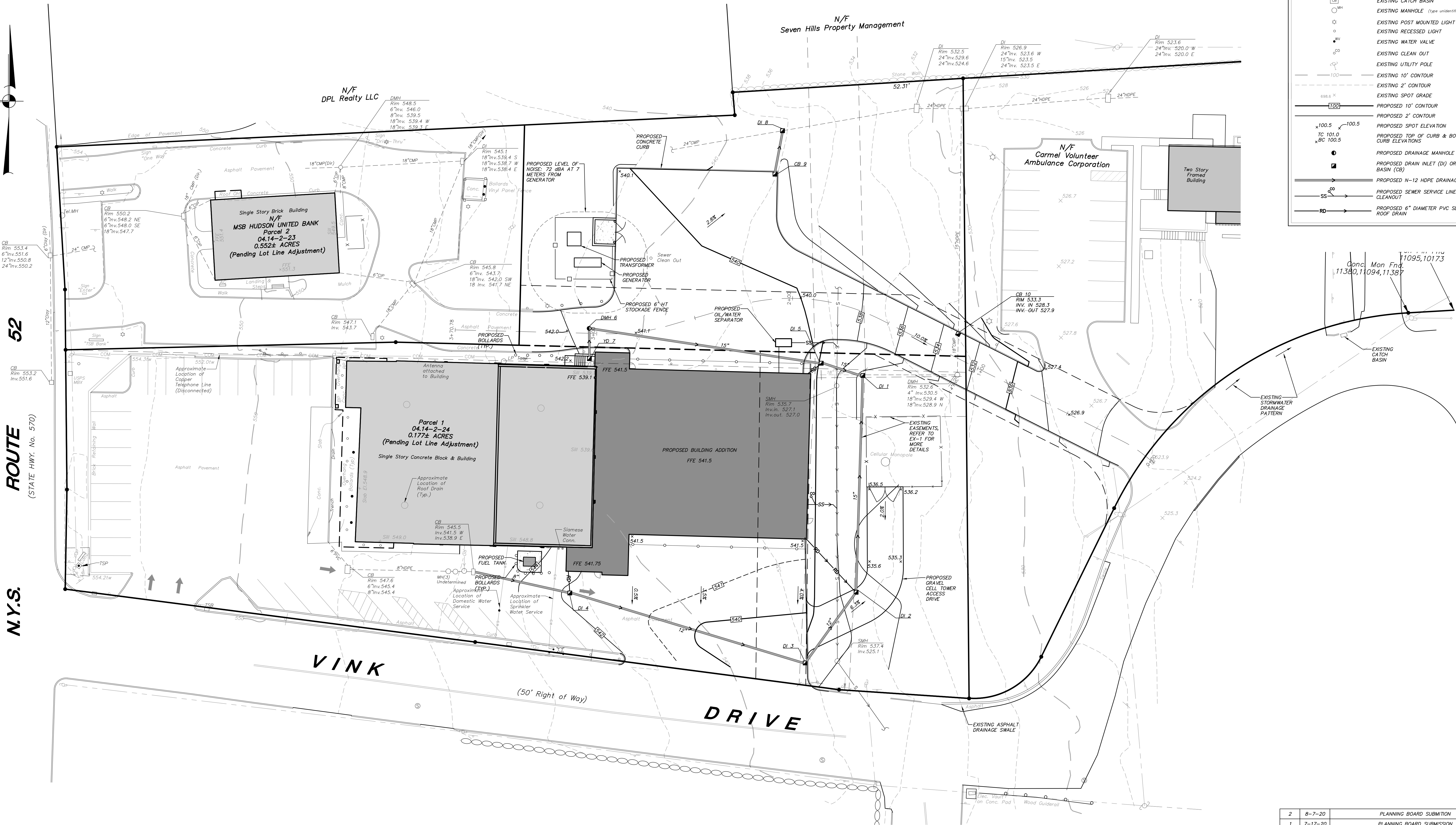
CUT: 280 C.Y.
FILL: 1,760 C.Y.
TOTAL: 1,480 C.Y. (FILL)

EARTHWORK NOTES:

1. THE EARTHWORK CALCULATIONS ILLUSTRATES THE CUTS AND FILLS BASED ON THE DIFFERENCE BETWEEN THE EXISTING AND PROPOSED FINISHED GRADES.
2. ALL VOLUMES WERE ROUNDED TO THE NEAREST 10 CUBIC YARDS.
3. FACTORS FOR SWELL OR COMPACTION WERE NOT APPLIED IN THIS ANALYSIS.
4. THIS ANALYSIS IS PRELIMINARY AND PROVIDED FOR PERMITTING ONLY. THESE NUMBERS SHOULD NOT BE USED BY A CONTRACTOR FOR BIDDING PURPOSES. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THEIR OWN EARTHWORK ANALYSIS.

LEGEND

	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	EXISTING STONE WALL
	EXISTING CHAIN LINK FENCE
	EXISTING STOCKADE FENCE
	EXISTING CONCRETE CURB
	EXISTING DROP IN CONCRETE CURB
	EXISTING TRAFFIC SIGNAL BOX
	EXISTING SIGN
	EXISTING UNDERGROUND DRAINAGE PIPE
	EXISTING CATCH BASIN
	EXISTING MANHOLE (Type unidentified)
	EXISTING POST MOUNTED LIGHT
	EXISTING RECESSED LIGHT
	EXISTING WATER VALVE
	EXISTING CLEAN OUT
	EXISTING UTILITY POLE
	EXISTING 10' CONTOUR
	EXISTING 2' CONTOUR
	EXISTING SPOT GRADE
	PROPOSED 10' CONTOUR
	PROPOSED 2' CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED TOP OF CURB & BOTTOM OF CURB ELEVATIONS
	PROPOSED DRAINAGE MANHOLE
	PROPOSED DRAIN INLET (DI) OR CATCH BASIN (CB)
	PROPOSED N-12 HDPE DRAINAGE PIPE
	PROPOSED SEWER SERVICE LINE WITH CLEANOUT
	PROPOSED 6" DIAMETER PVC SDR 35 ROOF DRAIN



2	8-7-20	PLANNING BOARD SUBMISSION	KMG
1	7-17-20	PLANNING BOARD SUBMISSION	E.R.A.
NO.	DATE	REVISION	BY
INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.			
PROJECT: CARMEL FIRE DEPARTMENT 94 GLENDA AVENUE, CARMEL, PUTNAM COUNTY, NEW YORK			
DRAWING: GRADING AND UTILITIES PLAN			
PROJECT NUMBER	19135.100	PROJECT MANAGER	J.M.W.
DATE	5-20-20	DRAWN BY	C.B.Z.
SCALE	1" = 20'	CHECKED BY	K.M.G.
DRAWING NO.	SP-2		
SHEET	3		

EROSION AND SEDIMENT CONTROL MAINTENANCE SCHEDULE

MONITORING REQUIREMENTS				MAINTENANCE REQUIREMENTS	
PRACTICE	DAILY	WEEKLY	AFTER RAINFALL	DURING CONSTRUCTION	AFTER CONSTRUCTION
SILT FENCE BARRIER	—	Inspect	Inspect	Clean/Replace	Remove
STABILIZED CONSTRUCTION ENTRANCE	Inspect	—	Inspect	Clean/Replace Stone and Fabric	Remove
INLET PROTECTION	—	Inspect	Inspect	Clean/Repair/Replace	Remove
DUST CONTROL	Inspect	—	Inspect	Mulching/Spraying Water	N/A
*VEGETATIVE ESTABLISHMENT	—	Inspect	Inspect	Water/Reseed/Remulch	Reseed to 80% Coverage
SOIL STOCKPILES	—	Inspect	Inspect	Mulching/Silt Fence Repair	Remove
CONCRETE DRAINAGE STRUCTURES	—	Inspect	Inspect	Clean Sumps/Remove Debris/Repair/Replace	See Permanent Stormwater Facilities Maintenance Schedule on Drawing D-10
DRAINAGE PIPES	—	Inspect	Inspect	Clean/Repair	—
ACCESS ROAD / PAVEMENT	—	Inspect	Inspect	Clean	Clean

* Permanent vegetation is considered stabilized when 80% of the plant density is established. Erosion control measures shall remain in place until all disturbed areas are permanently stabilized.

CONSTRUCTION SEQUENCE:

(Total Area of Disturbance = 43,267 SF±)

- Schedule Pre-Construction meeting with Site Engineer / Town.
- Install silt fence and stabilized construction entrance as shown on plans in accordance with the plan and detail. Install orange construction fence in locations shown on the plan.
- Begin clearing and grubbing operations associated with the site work improvements.
- Begin building addition, stormwater system and sewer connection construction.
- Upon completion of stormwater system, connect roof leader drains.
- Install subbase and pavement for parking lot and driveway areas.
- Upon completion of all work, stabilize disturbed areas in accordance with the Sediment and Erosion Control Notes. Permanent stabilization is achieved when 80% of the plant/grass density is established.
- Once the site has received final stabilization, remove all temporary sediment and erosion control facilities.

LEGEND

—	EXISTING PROPERTY LINE
—	EXISTING EASEMENT
—	EXISTING STONE WALL
X	EXISTING CHAIN LINK FENCE
□	EXISTING STOCKADE FENCE
—	EXISTING CONCRETE CURB
—	EXISTING DROP IN CONCRETE CURB
□	EXISTING TRAFFIC SIGNAL BOX
—	EXISTING SIGN
—	EXISTING UNDERGROUND DRAINAGE PIPE
—	EXISTING CATCH BASIN
—	EXISTING MANHOLE (Type unidentified)
—	EXISTING POST MOUNTED LIGHT
—	EXISTING RECESSED LIGHT
—	EXISTING WATER VALVE
—	EXISTING CLEAN OUT
—	EXISTING UTILITY POLE
—	EXISTING 10' CONTOUR
—	EXISTING 2' CONTOUR
—	EXISTING SPOT GRADE
—	PROPOSED 10' CONTOUR
—	PROPOSED 2' CONTOUR
—	PROPOSED SPOT ELEVATION
—	PROPOSED TOP OF CURB & BOTTOM OF CURB ELEVATIONS
—	PROPOSED DRAIN INLET (DI) OR CATCH BASIN (CB) WITH INLET PROTECTION
—	PROPOSED SILT FENCE
—	PROPOSED CONSTRUCTION FENCE
—	PROPOSED TEMPORARY SOIL STOCKPILE
—	PROPOSED STABILIZED CONSTRUCTION ENTRANCE

EROSION & SEDIMENT CONTROL NOTES:

- The owner's field representative (O.F.R.) will be responsible for the implementation and maintenance of erosion and sediment control measures on this site prior to and during construction.
- All construction activities involving the removal or disposition of soil are to be provided with appropriate protective measures to minimize erosion and contain sediment disposition within. Minimum soil erosion and sediment control measures shall be implemented as shown on the plans and shall be installed in accordance with "New York Standards and Specifications For Erosion and Sediment Control," latest edition.
- Wherever feasible, natural vegetation should be retained and protected. Disturbance shall be minimized in the areas required to perform construction. No more than 5 acres of unprotected soil shall be exposed at any one time.
- When land is exposed during development, the exposure shall be kept to the shortest practical period of time. In the areas where soil disturbance activity has temporarily or permanently ceased, the application of soil stabilization measures must be initiated by the end of the next business day and completed within seven (7) days from the date the current soil disturbance activity ceased. Disturbance shall be minimized to the areas required to perform construction.
- Silt fence shall be installed as shown on the plans prior to beginning any clearing, grubbing or earthwork.
- All topsoil to be stripped from the area being developed shall be stockpiled and immediately seeded for temporary stabilization. Ryegrass (annual or perennial) at a rate of 30 lbs. per acre shall be used for temporary seeding in spring, summer or early fall. "Aristocrat" Winter Rye (cereal rye) shall be used for temporary seeding in late fall and winter.
- Any disturbed areas not subject to further disturbance or construction traffic, permanent or temporary, shall have soil stabilization measures initiated immediately after final grading. All seeded areas to receive a minimum 4" topsoil (from stockpile area) and be seeded and mulched as follows:
 - Seed mixture to be planted between March 21 and May 20, or between August 15 and October 15 or as directed by project representative at a rate of 100 pounds per acre in the following proportions:
 - 20% Kentucky Bluegrass
 - 40% Creeping Red Fescue
 - 20% Annual Ryegrass
 - 20% Perennial Ryegrass
 - Mulch: Salt hay or small grain straw applied at a rate of 90 lbs./1000 S.F. or 2 tons/acre, to be applied and anchored according to "New York Standards and Specification For Erosion and Sediment Control," latest edition.
- Grass seed mix may be applied by either mechanical or hydroseeding methods. Seeding shall be performed in accordance with the current edition of the "NYSDOT Standard Specification, Construction and Materials, Section 610-3.02, Method No. 1". Hydroseeding shall be performed using materials and methods as approved by the site engineer.
- Cut or fill slopes steeper than 3:1 shall be stabilized immediately after grading with Curlex / Single Net Erosion Control Blanket, or approved equal.
- Paved roadways shall be kept clean at all times.
- The site shall at all times be graded and maintained such that all stormwater runoff is diverted to soil erosion and sediment control facilities.
- All storm drainage outlets shall be stabilized, as required, before the discharge points become operational.
- Stormwater from disturbed areas must be passed through erosion control barriers before discharge beyond disturbed areas or discharged into other drainage systems.
- Erosion and sediment control measures shall be inspected and maintained on a daily basis by the O.F.R. to insure that channels, temporary and permanent ditches and pipes are clear of debris, that embankments and berms have not been breached and that all straw bales and silt fences are intact. Any failure of erosion and sediment control measures shall be immediately repaired by the contractor and inspected for approval by the O.F.R. and/or site engineer.
- Dust shall be controlled by sprinkling or other approved methods as necessary, or as directed by the O.F.R.
- Cut and fills shall not endanger adjoining property, nor divert water onto the property of others.
- All fills shall be placed and compacted in 6" lifts to provide stability of material and to prevent settlement.
- The O.F.R. shall inspect downstream conditions for evidence of sedimentation on a weekly basis and after rainstorms.
- As warranted by field conditions, special additional erosion and sediment control measures, as specified by the site engineer and/or the Town Engineer shall be installed by the contractor.
- Erosion and sediment control measures shall remain in place until all disturbed areas are suitably stabilized.

REQUIRED SWPPP CONTENTS PER GP-0-20-001:

1. Pursuant to the NYSDC "SPDES General Permit for Stormwater Discharges from Construction Activity" (GP-0-20-001), all Stormwater Pollution Prevention Plans (SWPPP) shall include erosion and sediment control practices designed in conformance with the most current version of the technical standard, "New York Standards and Specifications for Erosion and Sediment Control." Where erosion and sediment control practices are not designed in conformance with this technical standard, the owner or operator must demonstrate equivalence to the technical standard. The following list of required SWPPP components is provided in accordance with Part III.B.1a-1 of General Permit GP-0-20-001:

a. Background Information: The proposed project includes a building addition which consists of a new apparatus bay space, support spaces for equipment, storage and training as well as the addition of a new driveway, relocation of utilities and site amenities. The existing building will be repurposed to include office, meeting and display spaces.

b. Site map / construction drawing: These plans serve to satisfy this SWPPP requirement.

c. Description of the soils present at the site: Onsite soils located within the proposed limits of disturbance consist of Urban Land-Chariton complex (Uhb), as identified on the Soil Conservation Service Web Soil Survey. These soil types belong to the Hydrologic Soil Group "D".

d. Construction phasing plan / sequence of operations: The Construction Sequence and phasing found on these plans provide the required phasing. A Construction Sequence and Erosion and Sediment Control Maintenance Schedule has been provided. The Sedimentation and Erosion Control Notes contained herein outline a general sequence of operations for the proposed project. In general all erosion and sediment control facilities shall be installed prior to commencement with land disturbing activities, and areas of disturbance shall be limited to the shortest period of time as practicable.

e. Description of erosion and sediment control practices: This plan, and details / notes shown herein serve to satisfy this SWPPP requirement.

f. Temporary and permanent soil stabilization plan: The Sedimentation and Erosion Control Notes and Details provided herein identify temporary and permanent stabilization measures to be employed with respect to specific elements of the project, and at the various stages of development.

g. Site map / construction drawing showing the specific locations, sizes, and lengths of each erosion and sediment control practice: This plan serves to satisfy this SWPPP requirement.

h. The dimensions, material specifications, installation details, and operation and maintenance requirements for all erosion and sediment control practices. The details, Erosion and Sediment Control Notes, and Erosion and Sediment Control Maintenance Schedule serve to satisfy this SWPPP requirement.

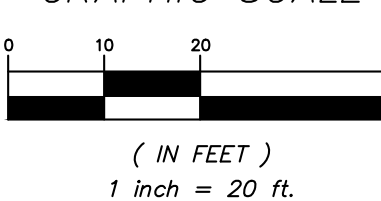
i. An inspection schedule: Inspections are to be performed daily by a NYSDC Trained Contractor as cited in the Erosion and Sediment Control Notes.

j. A description of pollution prevention measures that will be used to control litter, construction chemicals and construction debris: In general, all construction litter and debris shall be collected and removed from the site. The general contractor shall supply either waste barrels or dumpster for proper waste disposal. Any construction chemicals utilized during construction shall either be removed from site daily by the contractor or stored in a structurally sound and weatherproof building. No hazardous waste shall be disposed of onsite, and shall ultimately be disposed of in accordance with all federal, state and local regulations. Material Safety Data Sheets (MSDS), material inventory, and emergency contact numbers shall be maintained by the general contractor for all construction chemicals utilized onsite. Finally, temporary sanitary facilities (portable toilets) shall be provided onsite during the entire length of construction, and inspected weekly for evidence of leaking holding tanks.

k. A description and location of any stormwater discharges associated with industrial activity other than construction at the site: There are no known industrial stormwater discharges present or proposed at the site.

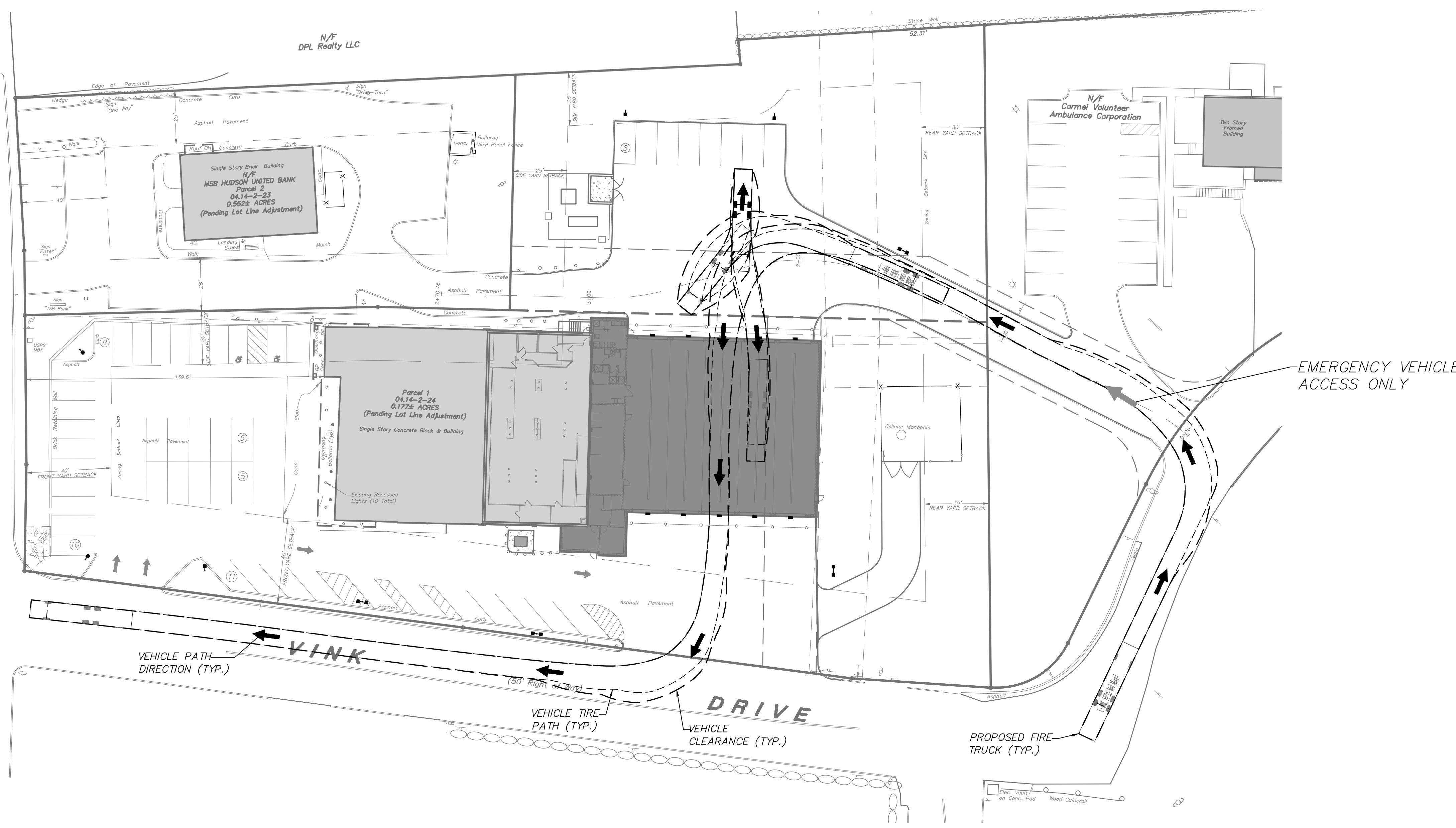
l. Identification of any elements of the design that are not in conformance with the technical standard, "New York Standards and Specifications for Erosion and Sediment Control." All proposed elements of this SWPPP have been designed in accordance with the "New York Standards and Specifications for Erosion and Sediment Control."

GRAPHIC SCALE



2	8-7-20	PLANNING BOARD SUBMISSION	KMG
1	7-17-20	PLANNING BOARD SUBMISSION	E.R.A.
NO.	DATE	REVISION	BY
INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C. PROJECT: CARMEL FIRE DEPARTMENT 94 GLENDALE AVENUE, CARMEL, PUTNAM COUNTY, NEW YORK DRAWING: EROSION AND SEDIMENT CONTROL PLAN PROJECT NUMBER 19135.100 PROJECT MANAGER J.M.W. DATE 5-20-20 DRAWN C.B.Z. SCALE 1" = 20' CHECKED BY K.M.G.			
DRAWING NO. SP-3			SHEET 4
			10

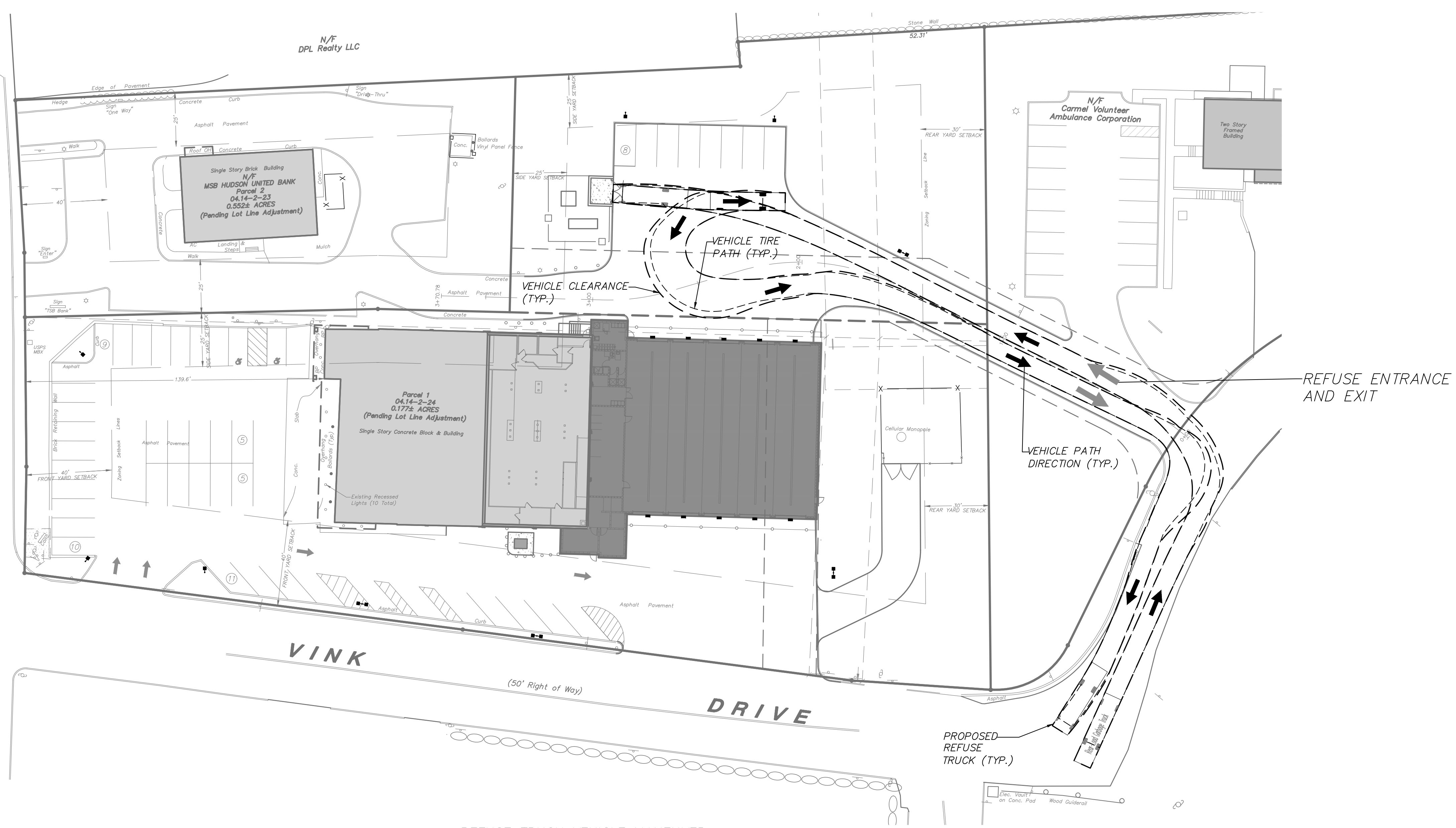
52
ROUTE
(STATE HWY. No. 570)
N.Y.S.



FIRE TRUCK VEHICLE MANEUVER

SCALE: 1" = 30'
NOTE: The fire truck used for vehicle maneuvering is an "E-ONE HP95 Mid Mount". The overall length is 47'-9" and width is 8'-4". The dimensions show that a fire truck of this size, or similar, will be able to maneuver through the property.

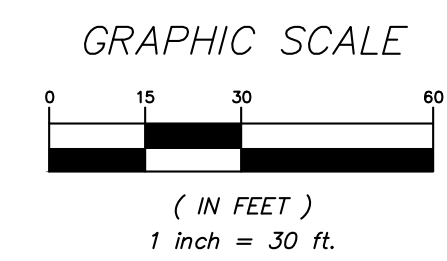
52
ROUTE
(STATE HWY. No. 570)
N.Y.S.



REFUSE TRUCK VEHICLE MANEUVER

SCALE: 1" = 30'
NOTE: The refuse truck used for vehicle maneuvering is a standard truck with an overall length of 35'-0" and width of 8'-4". These standard dimensions show that a garbage truck of this size, or similar, will be able to maneuver through the property.

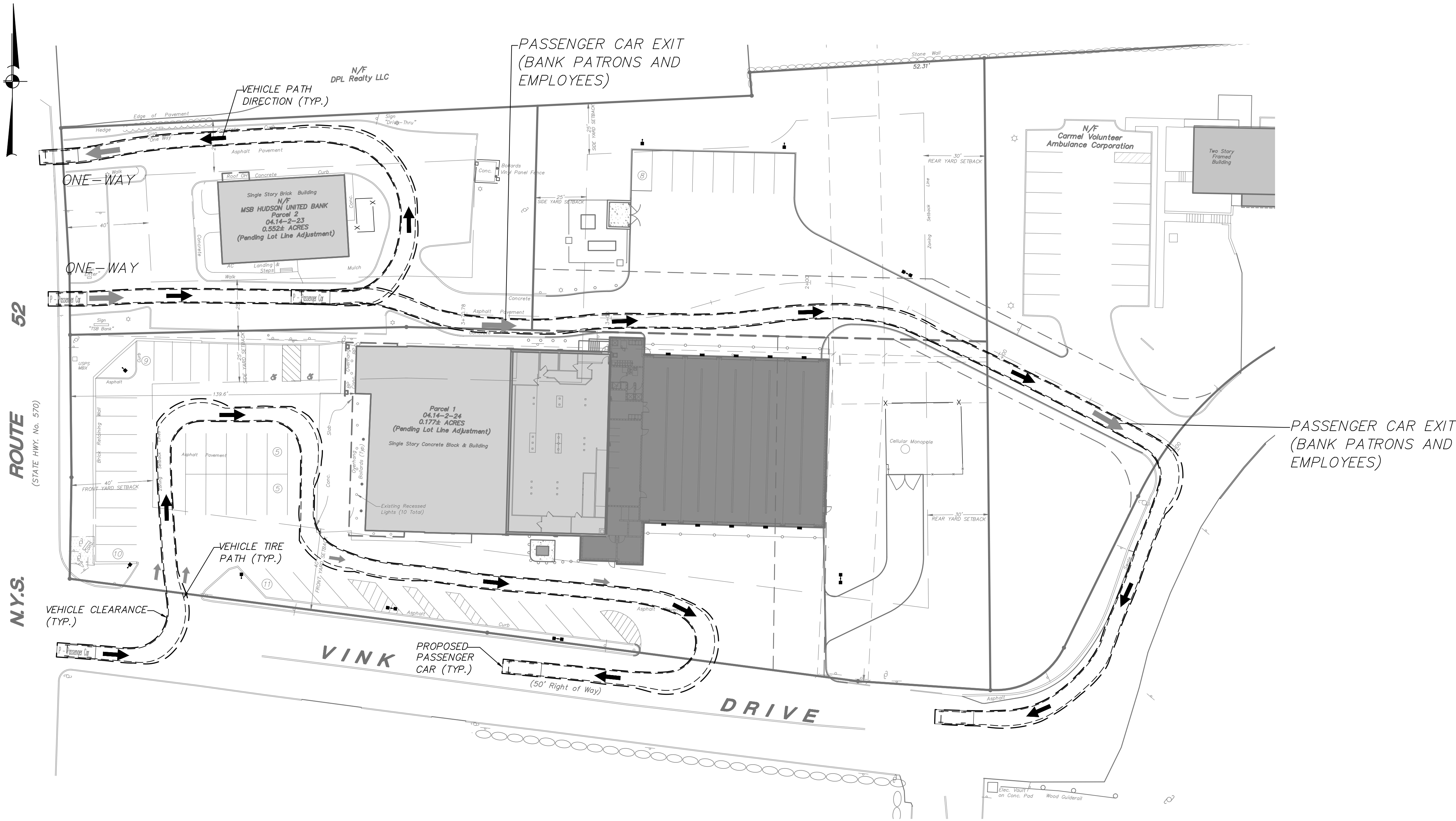
LEGEND	
	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	EXISTING STONE WALL
	EXISTING CHAIN LINK FENCE
	EXISTING STOCKADE FENCE
	EXISTING CONCRETE CURB
	EXISTING DROP IN CONCRETE CURB
	EXISTING SIGN
	EXISTING POST MOUNTED LIGHT
	EXISTING RECESSED LIGHT
	EXISTING UTILITY POLE
	PROPOSED # OF STALLS TO BE STRIPED
	PROPOSED CONCRETE CURB
	PROPOSED PAINTED HANDICAP PARKING SYMBOL
	PROPOSED STRIPED ISLAND
	PROPOSED SINGLE POLE SIGN
	PROPOSED POLE MOUNTED LIGHT
	PROPOSED BUILDING MOUNTED LIGHT



1	8-7-20	PLANNING BOARD SUBMITTAL	KMG
NO.	DATE	REVISION	BY
INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.			
PROJECT: CARMEL FIRE DEPARTMENT 94 GLENEDA AVENUE, CARMEL, PUTNAM COUNTY, NEW YORK			
DRAWING: VEHICLE MANEUVERING PLAN			
PROJECT NUMBER	19135.100	PROJECT MANAGER	J.M.W.
DATE	7-17-20	DRAWN BY	J.F.R.
SCALE	1" = 30'	CHECKED BY	K.M.G.
DRAWING NO.	SP-4		
SHEET	5		
	10		

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2209 OF ARTICLE 145 OF THE EDUCATION LAW.

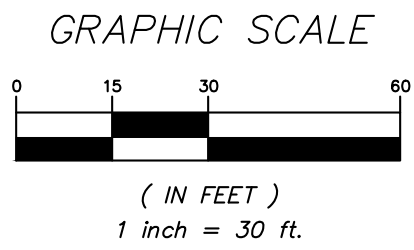
LEGEND	
	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	EXISTING STONE WALL
	EXISTING CHAIN LINK FENCE
	EXISTING STOCKADE FENCE
	EXISTING CONCRETE CURB
	EXISTING DROP IN CONCRETE CURB
	EXISTING SIGN
	EXISTING POST MOUNTED LIGHT
	EXISTING RECESSED LIGHT
	EXISTING UTILITY POLE
	PROPOSED # OF STALLS TO BE STRIPED
	PROPOSED CONCRETE CURB
	PROPOSED PAINTED HANDICAP PARKING SYMBOL
	PROPOSED STRIPED ISLAND
	PROPOSED SINGLE POLE SIGN
	PROPOSED POLE MOUNTED LIGHT
	PROPOSED BUILDING MOUNTED LIGHT




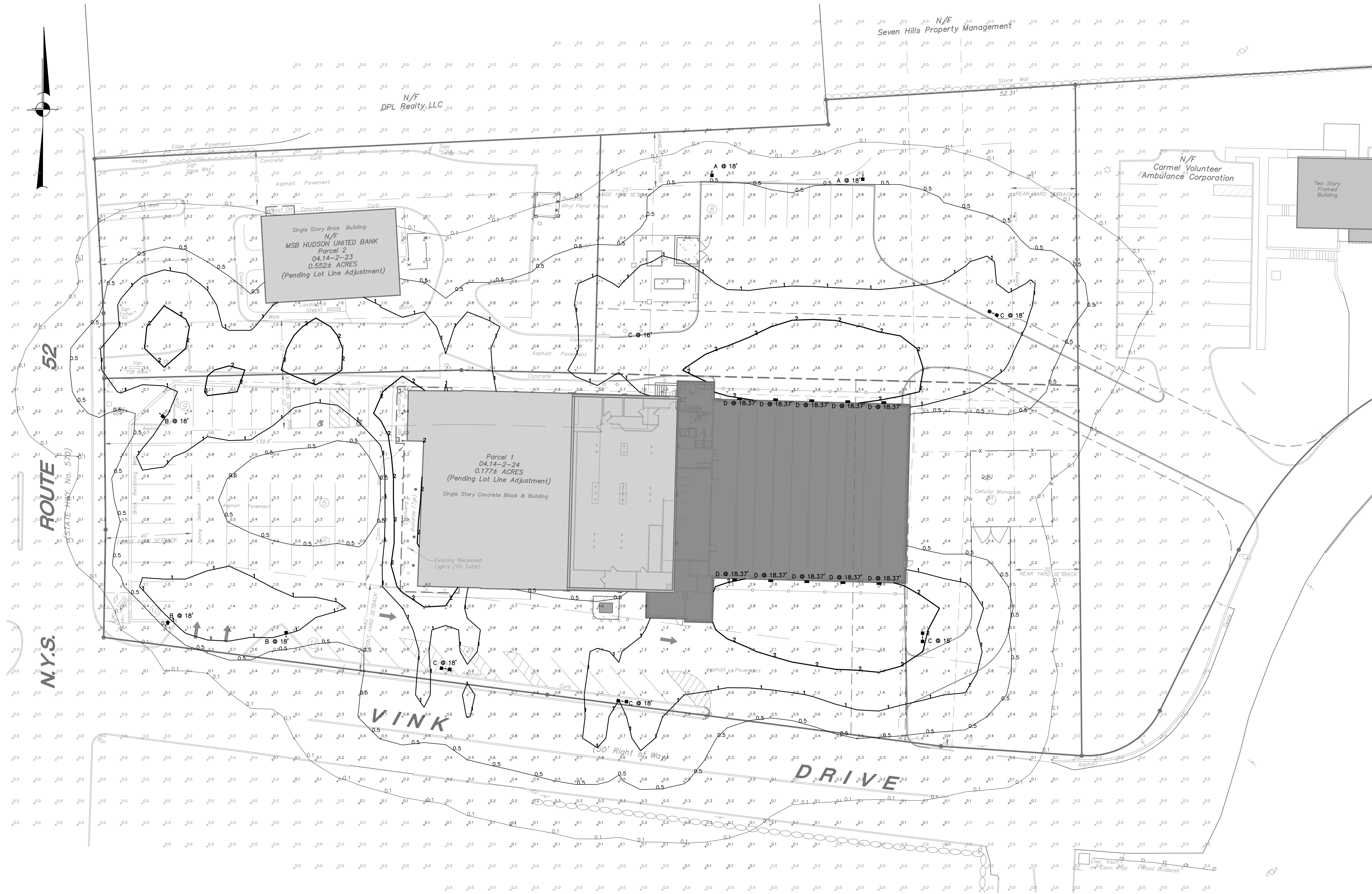
PASSENGER CAR VEHICLE MANEUVER

SCALE: 1" = 30'

NOTE: The passenger car used for vehicle maneuvering is a standard vehicle with an overall length of 19'-0" and width of 7'-0". These standard dimensions show that a passenger car of this size, or similar, will be able to maneuver through the property.



1	8-7-20	PLANNING BOARD SUBMITTION	KMG
NO.	DATE	REVISION	BY
			
PROJECT: CARMEL FIRE DEPARTMENT			
94 GLENEDA AVENUE, CARMEL, PUTNAM COUNTY, NEW YORK			
DRAWING: VEHICLE MANEUVERING PLAN			
PROJECT NUMBER	19135.100	PROJECT MANAGER	J.M.W.
DATE	7-17-20	DRAWN BY	J.F.R.
SCALE	1" = 30'	CHECKED BY	K.M.G.
DRAWING NO.	SP-5		
SHEET	6		
	10		



LEGEND	
	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	EXISTING STONE WALL
	EXISTING CHAIN LINK FENCE
	EXISTING STOCKADE FENCE
	EXISTING CONCRETE CURB
	EXISTING DROP IN CONCRETE CURB
	EXISTING SIGN
	EXISTING HEDGE ROW
	EXISTING TREELINE
	EXISTING POST MOUNTED LIGHT
	EXISTING RECESSED LIGHT
	EXISTING UTILITY POLE
	PROPOSED # OF STALLS TO BE STRIPED
	PROPOSED CONCRETE CURB
	PROPOSED PAINTED HANDICAP PARKING SYMBOL
	PROPOSED STRIPED ISLAND
	PROPOSED SINGLE POLE SIGN
	PROPOSED POLE MOUNTED LIGHT
	PROPOSED BUILDING MOUNTED LIGHT

LIGHTING NOTES:

- All lighting shall be as noted on the plan or approved equal.
- Style and finish of all luminaires to be selected by owner.
- Calculation values shown in this plan are taken on a horizontal plane at ground level using a 0.90 light loss factor for LED's. Topographical information and landscaping have not been accounted for in these calculations.
- Photometric modeling based on similar or specified fixtures.
- Lighting plan assumes that certain light fixtures will utilize existing foundations. Contractor verify prior to ordering fixtures and shall notify Project Landscape Architect if bolt pattern differs.
- Light levels generated from lighting on adjacent properties are approximate and shown for informational purposes only.

LUMINAIRE SCHEDULE					
Symbol	Qty	Catalog Number	Description	Lamp	Mounting Height
A	2	UCM2-ANG-36L-260-3K7-4W-10	ARCHITECTURAL AREA LIGHTING, UNIVERSE COLLECTION, MEDIUM 2.0, HOUSE-SIDE SHIELD	LED	18' - 0"
B	8	UCM2-ANG-36L-260-3K7-4W	ARCHITECTURAL AREA LIGHTING, UNIVERSE COLLECTION, MEDIUM 2.0	LED	AS NOTED
C	10	UCM2-ANG-36L-260-3K7-4W	ARCHITECTURAL AREA LIGHTING, UNIVERSE COLLECTION, MEDIUM 2.0	LED	18' - 4 1/2"
D	3	N/A	EXISTING RECESSED BUILDING MOUNTED LIGHTING, MODELED FOR REFERENCE ONLY.	LED	N/A
	3	N/A	EXISTING FIXTURES LOCATED ON NEIGHBORING PARCEL, MODELED FOR REFERENCE ONLY.	LED	N/A

STATISTICS					
DESCRIPTION	SYMBOL	AVG	MAX	MIN	AVG/MAX
Project Area		0.5 fc	5.4 fc	0.0 fc	N/A

LIGHT CONTOUR LEGEND			
0.1	0.10 Foot Candles		
0.5	0.50 Foot Candles		
1	1.00 Foot Candles		
2	2.00 Foot Candles		

* Photometric calculations shown on plan are in foot candles.

UCM2
ARCHITECTURAL AREA/SPOTLIGHT

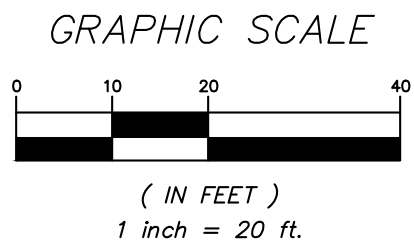
FEATURES

- Reliable, uniform, glare free illumination
- Types II, III, IV, V and custom distributions
- 3000K, 4000K, 5000K CCT
- 0-10V dimming ready
- Integral surge suppression
- 15 standard powder coat finishes
- Upgrade Kits

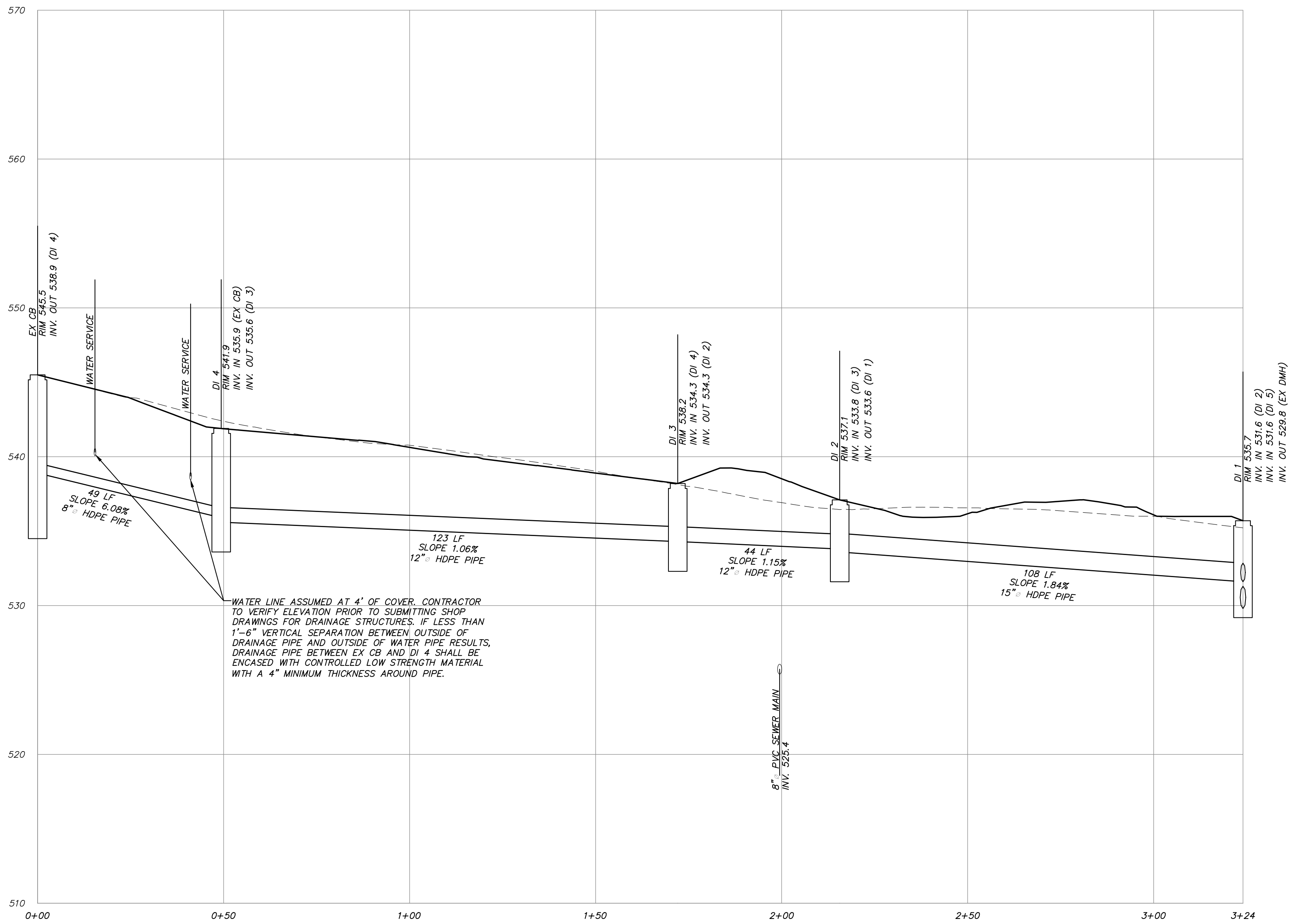
CONTROL TECHNOLOGY

wISCAPE **HUBBELL** **HUBBELL Lighting**

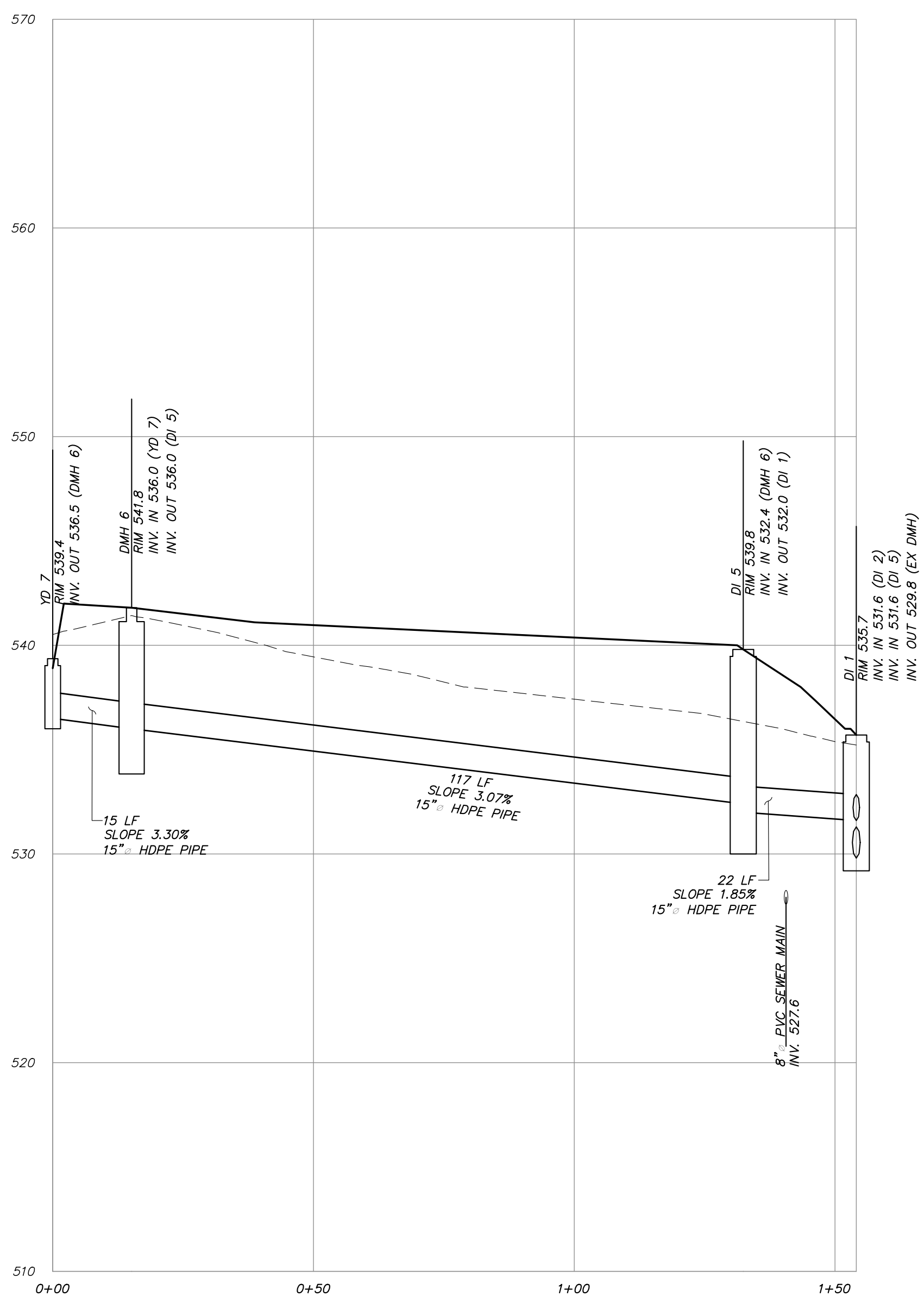
Universe Medium



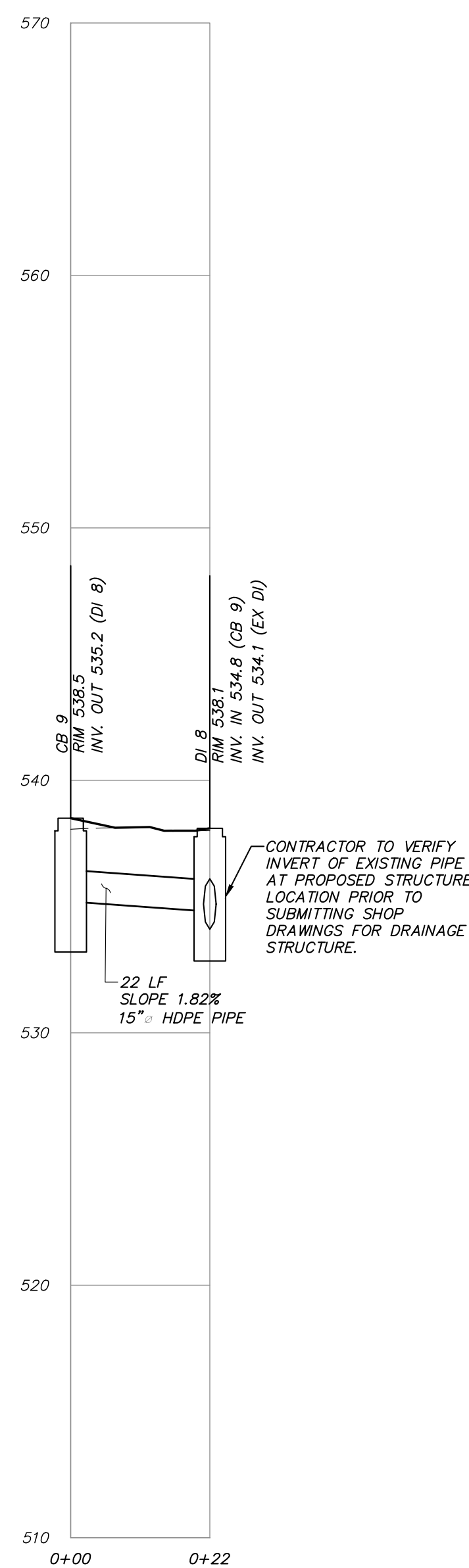
1	6-7-20	PLANNING BOARD SUBMITTAL	KMG
NO.	DATE	REVISION	BY
INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C. 3 Garrett Place Carmel, NY 12012 (845) 225-9690 (845) 225-9717 fax www.insite-eng.com			
PROJECT: CARMEL FIRE DEPARTMENT 94 GLENDA AVENUE, CARMEL, PUTNAM COUNTY, NEW YORK			
DRAWING: LIGHTING PLAN			
PROJECT NUMBER	19135.100	PROJECT MANAGER	J.M.W.
DATE	7-17-20	DRAWN BY	J.F.R.
SCALE	1" = 20'	CHECKED BY	K.M.G.
DRAWING NO.	LP-1	SHEET	7
			10



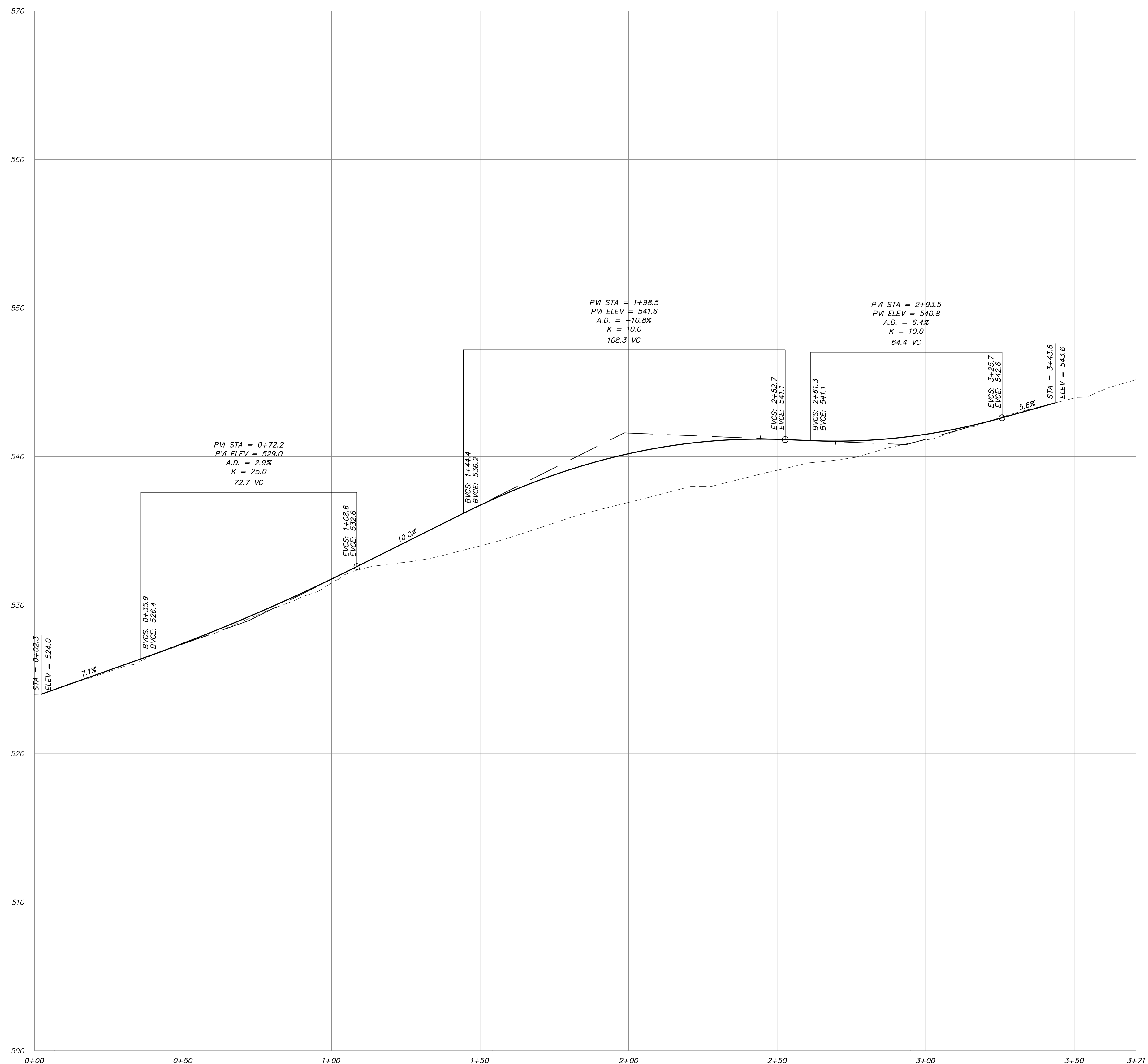
EX CB TO DI 1
SCALE: HORIZ. 1" = 20'
VER. 1" = 5'



YD 7 TO DI 1
SCALE: HORIZ. 1" = 20'
VER. 1" = 5'

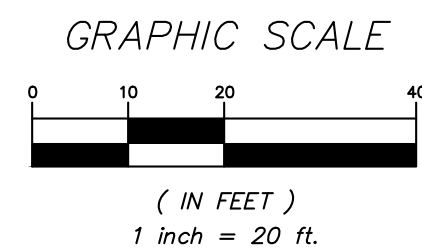


CB 9 TO DI 8
SCALE: HORIZ. 1" = 20'
VER. 1" = 5'



PROPOSED DRIVEWAY PROFILE

SCALE: HORIZ. 1" = 20'
VER. 1" = 4'



1	8-7-20	PLANNING BOARD SUBMITION	KMG
NO.	DATE	REVISION	BY

ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

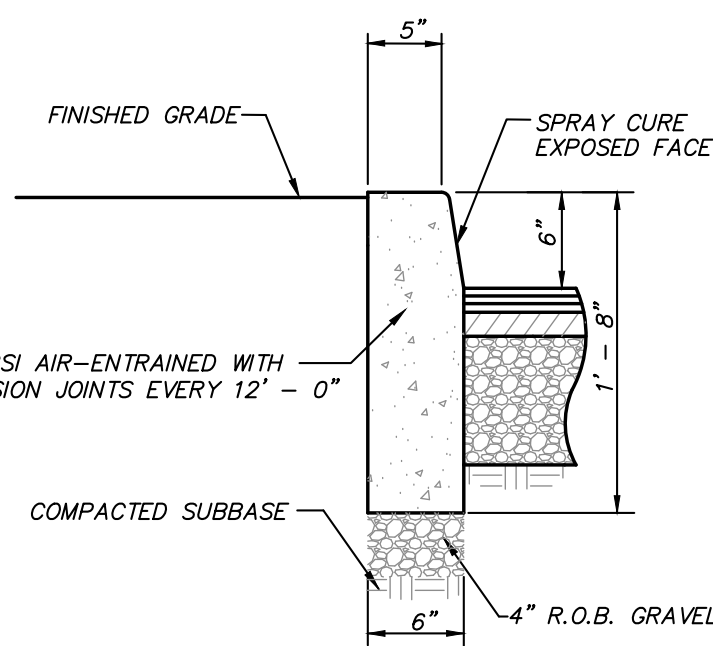
3 Garrett Place
Carmel, NY 10512
(845) 225-9690
(845) 225-9717 fax
www.insite-eng.com

PROJECT: **CARMEL FIRE DEPARTMENT**
94 GLENEDA AVENUE, CARMEL, PUTNAM COUNTY, NEW YORK

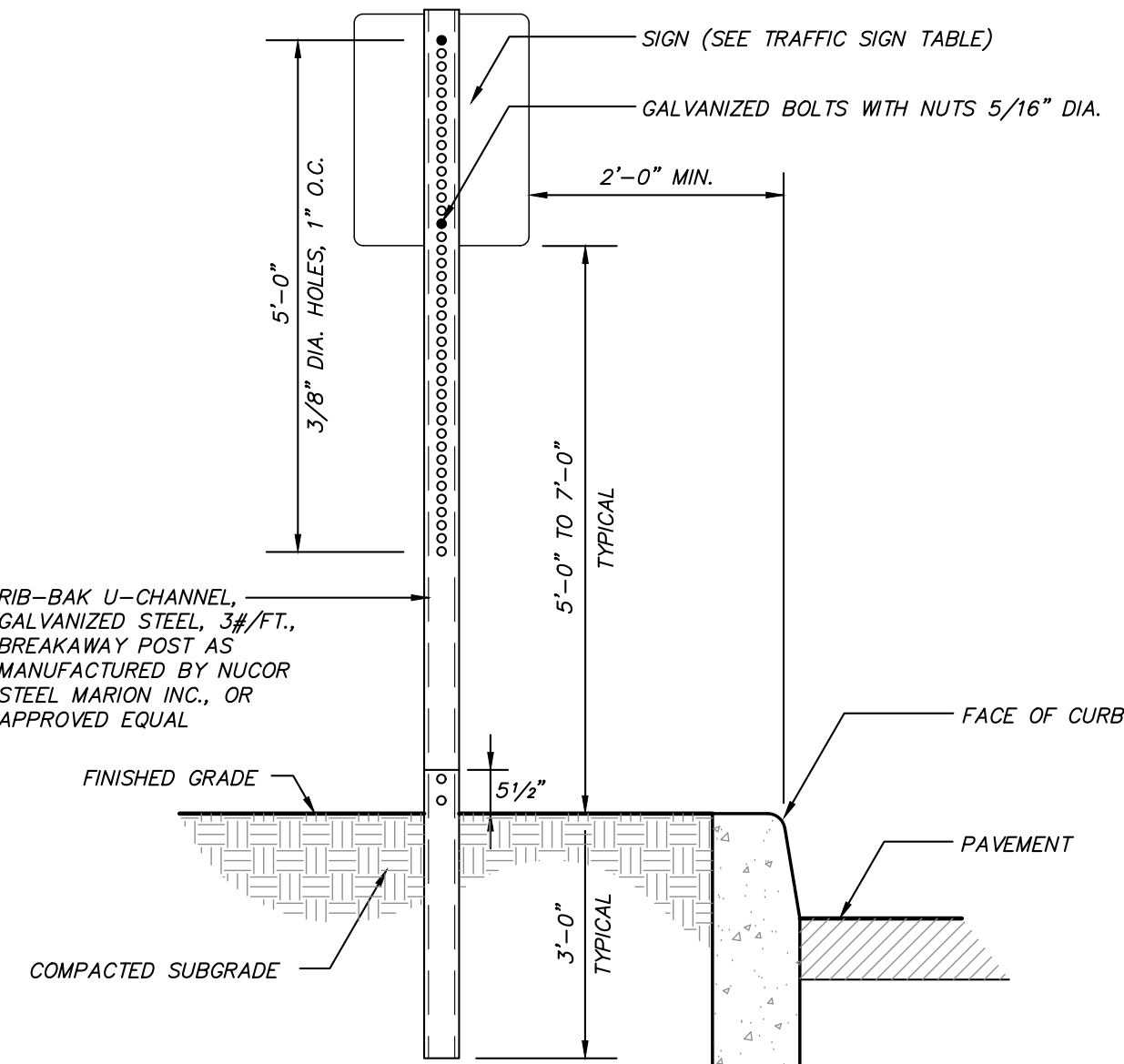
DRAWING: **PROFILES**

PROJECT NUMBER	19135.100	PROJECT MANAGER	J.M.W.	DRAWING NO.	SHEET
DATE	7-17-20	DRAWN BY	C.B.Z.	PR-1	8
SCALE	AS SHOWN	CHECKED BY	K.M.G.		

10

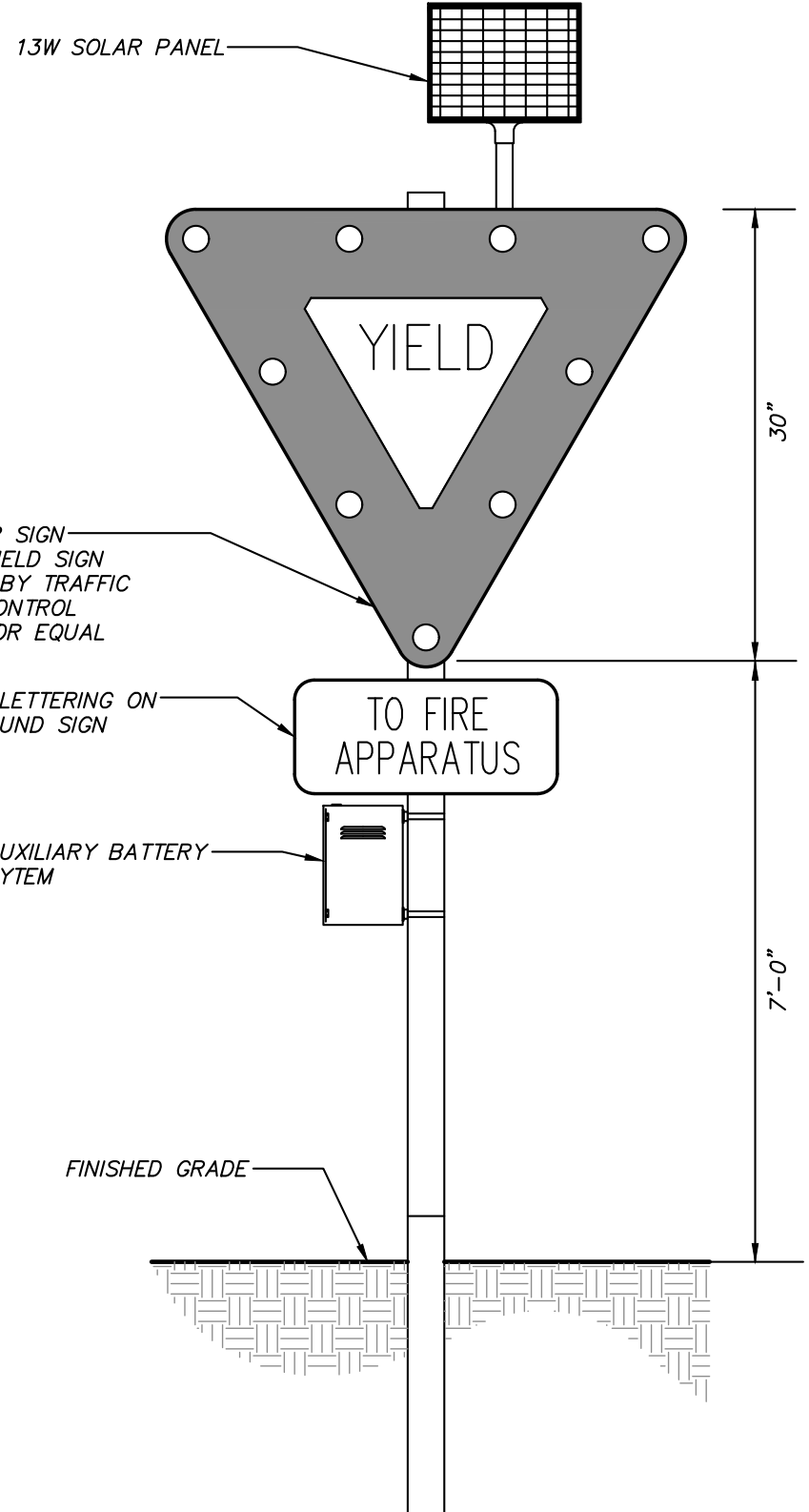


CONCRETE CURB DETAIL
(N.T.S.)

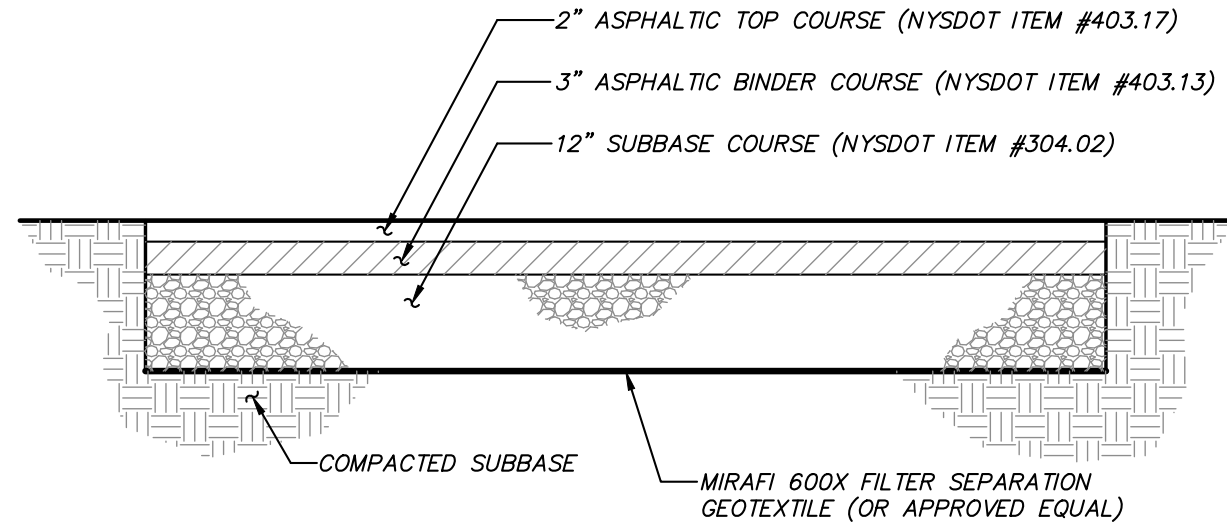


NOTE: FOR HANDICAP PARKING SIGNAGE, SIGNS SHALL BE INSTALLED AT A CLEAR HEIGHT OF BETWEEN 5'-0" AND 7'-0" ABOVE GRADE OF PARKING GRADE AND SUCH THAT SIGNS SHALL NOT BE OBSCURED BY A VEHICLE PARKED IN THE SPACE.

TRAFFIC SIGN DETAIL
(N.T.S.)

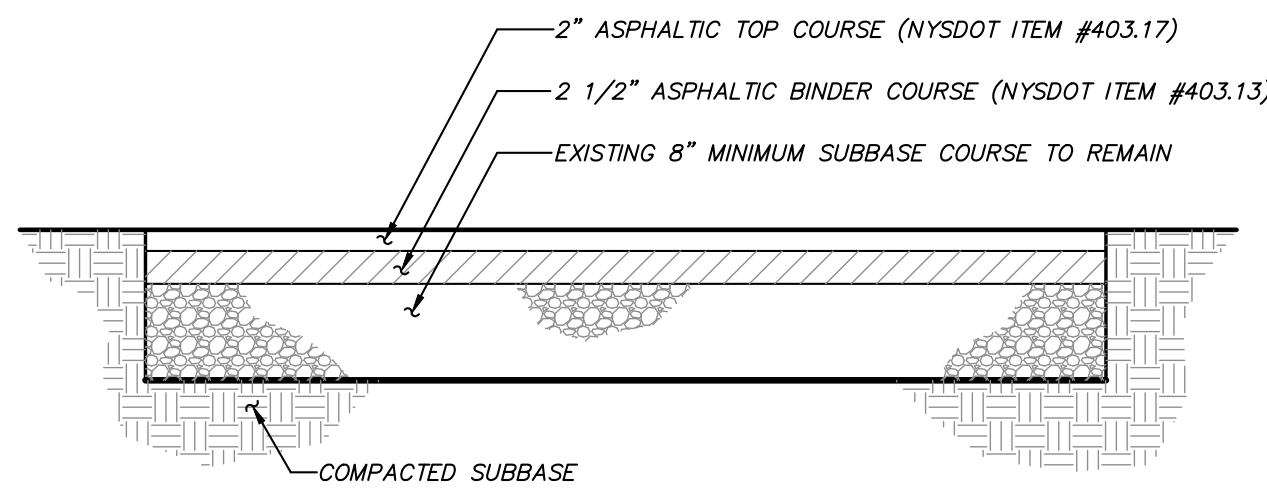


FLASHING YIELD SIGN DETAIL
(N.T.S.)

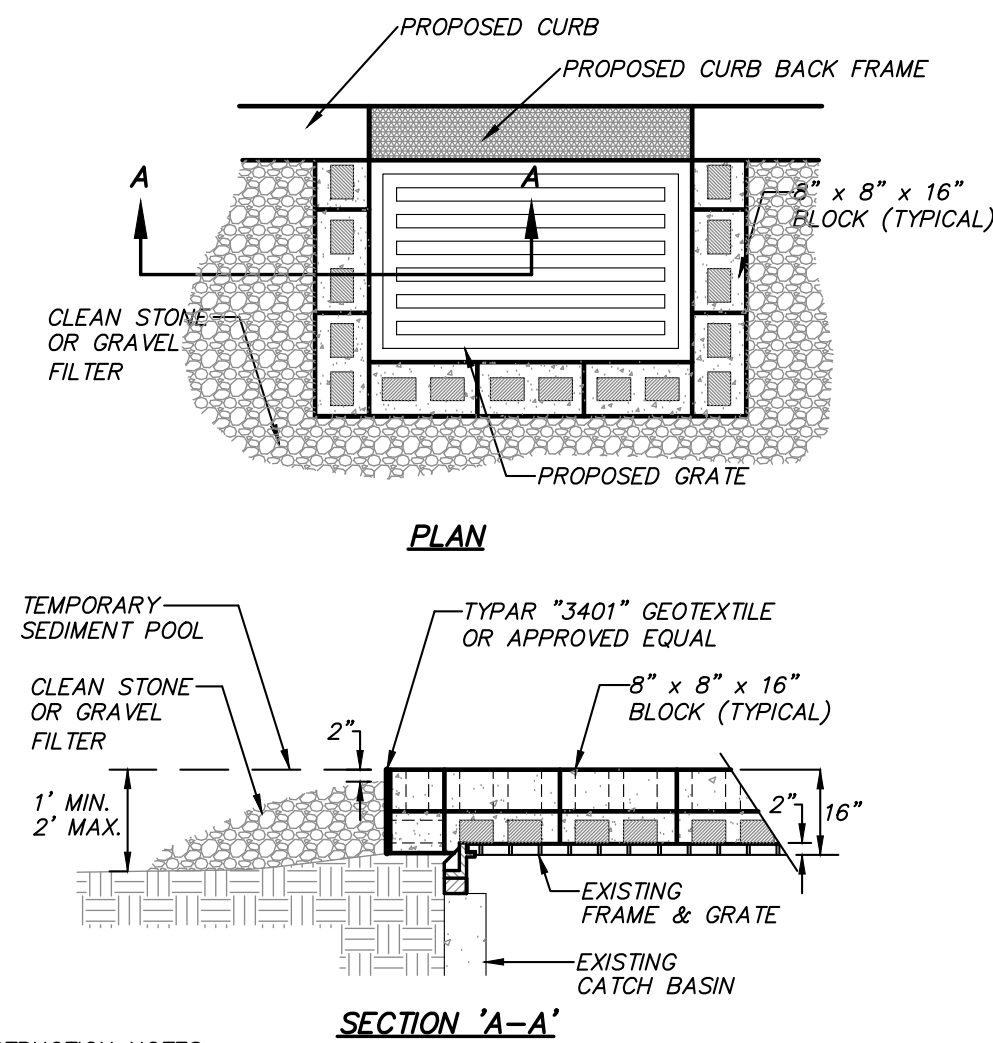


ASPHALT PAVEMENT DETAIL
(N.T.S.)

NOTE: DRIVEWAYS SHALL MEET CONSTRUCTION REQUIREMENTS AS OUTLINED IN THE TOWN OF CARMEL CODE §128 STREETS AND SIDEWALKS.



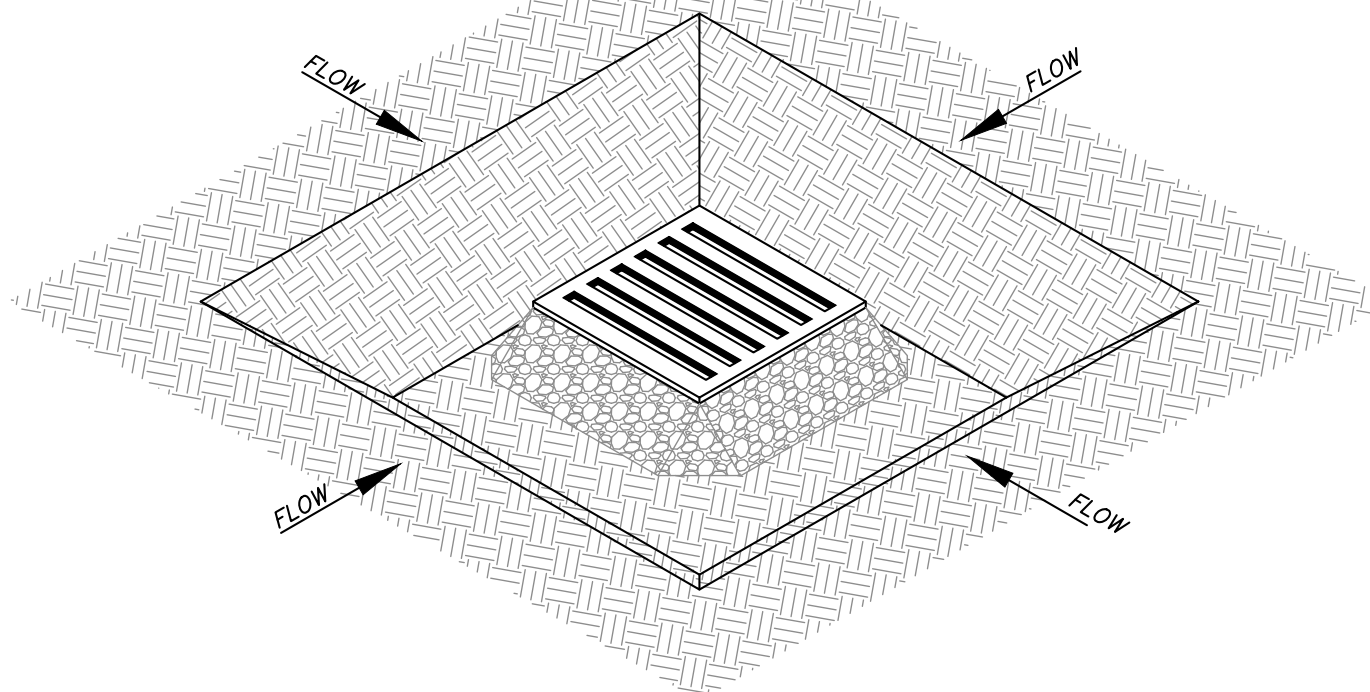
REPLACEMENT ASPHALT PAVEMENT DETAIL
(N.T.S.)



CONSTRUCTION NOTES:

- LAY ONE LAYER OF BLOCKS ON EACH SIDE OF THE STRUCTURE ON THEIR SIDES FOR DEMATERING. EDGES OF BLOCK SHALL BE 2 INCHES MINIMUM BELOW THE GRATE. BLOCKS SHALL BE PLACED AGAINST THE INLET FOR SUPPORT. PLACE A SECOND LAYER OF BLOCKS ON TOP OF THE FIRST LAYER WITH HOLE FACE UP.
- GEOTEXTILE SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONE.
- USE CLEAN STONE OR GRAVEL 1/2 TO 3/4 INCH IN DIAMETER PLACED ON A 3:1 V. SLOPE OR FLATTER, TO WITHIN 2 INCHES OF THE TOP OF THE BLOCKS.

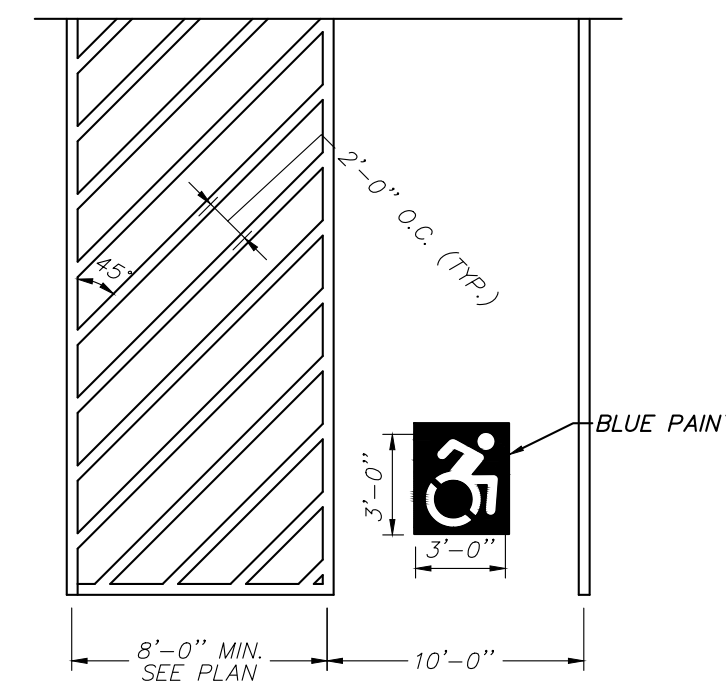
CATCH BASIN IN EXISTING PAVEMENT STONE AND BLOCK DROP INLET PROTECTION DETAIL
(N.T.S.)



GRAVEL SUPPORTED BY HARDWARE CLOTH TO ALLOW DRAINAGE AND RESTRICT SEDIMENT MOVEMENT

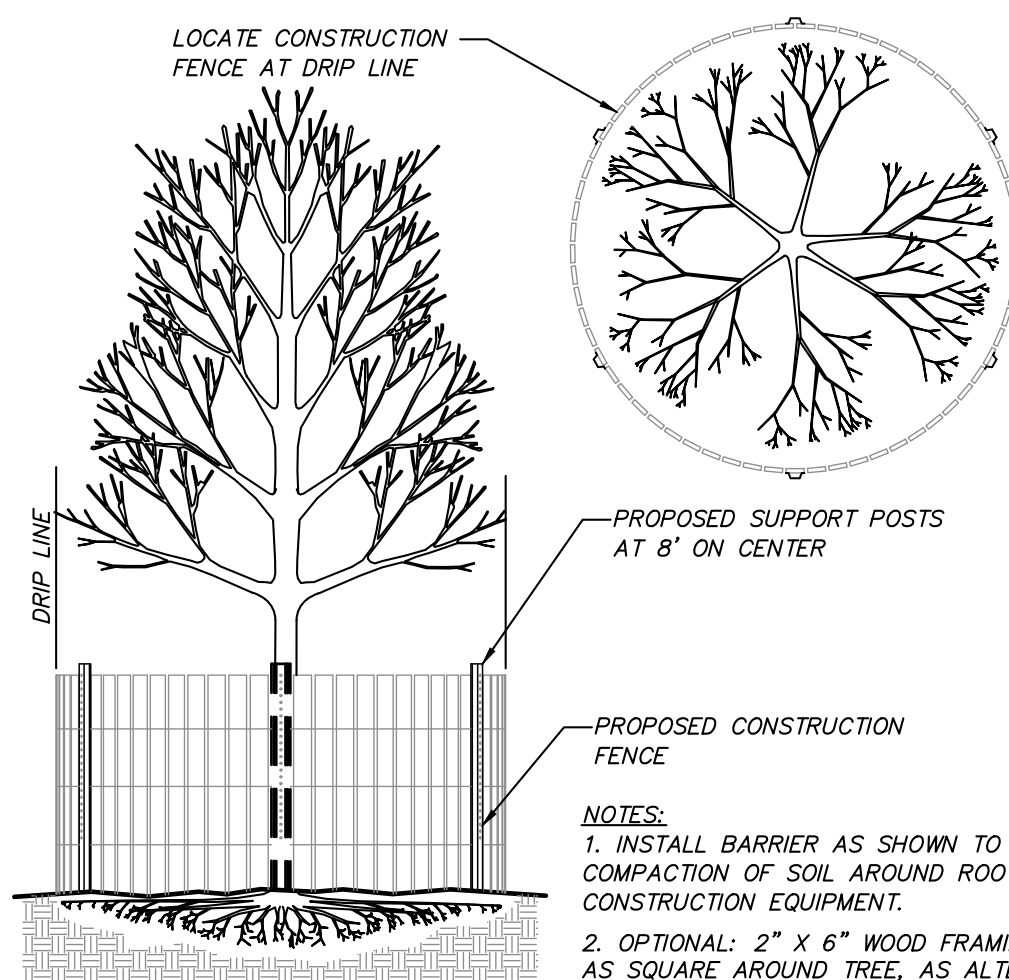
- CLEAR THE AREA OF ALL DEBRIS THAT WILL HINDER EXCAVATION
- GRADE APPROACH TO THE INLET UNIFORMLY AROUND THE BASIN
- WEED HOLES SHALL BE PROTECTED BY GRAVEL
- UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA, SEAL WEED HOLES, FILL EXCAVATION WITH STABLE SOIL TO FINAL GRADE, COMPACT IT PROPERLY, AND STABILIZE WITH PERMANENT SEEDING
- MAXIMUM DRAINAGE AREA = 1 ACRE

EXCAVATED DROP INLET PROTECTION DETAIL
(N.T.S.)

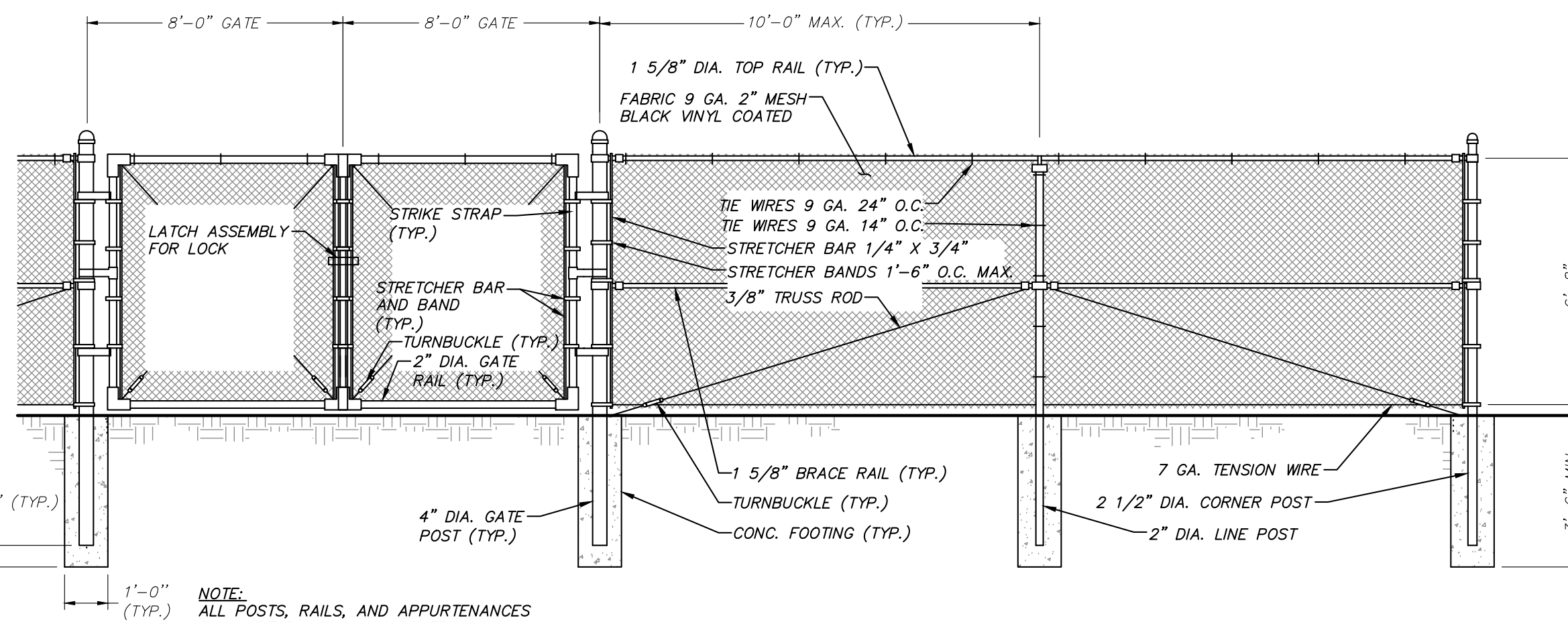


NOTE: ALL HANDICAP STRIPING SHALL BE 4" WIDE BLUE PAINT.

PAINTED NYS ACCESSIBLE PARKING DETAIL
(N.T.S.)

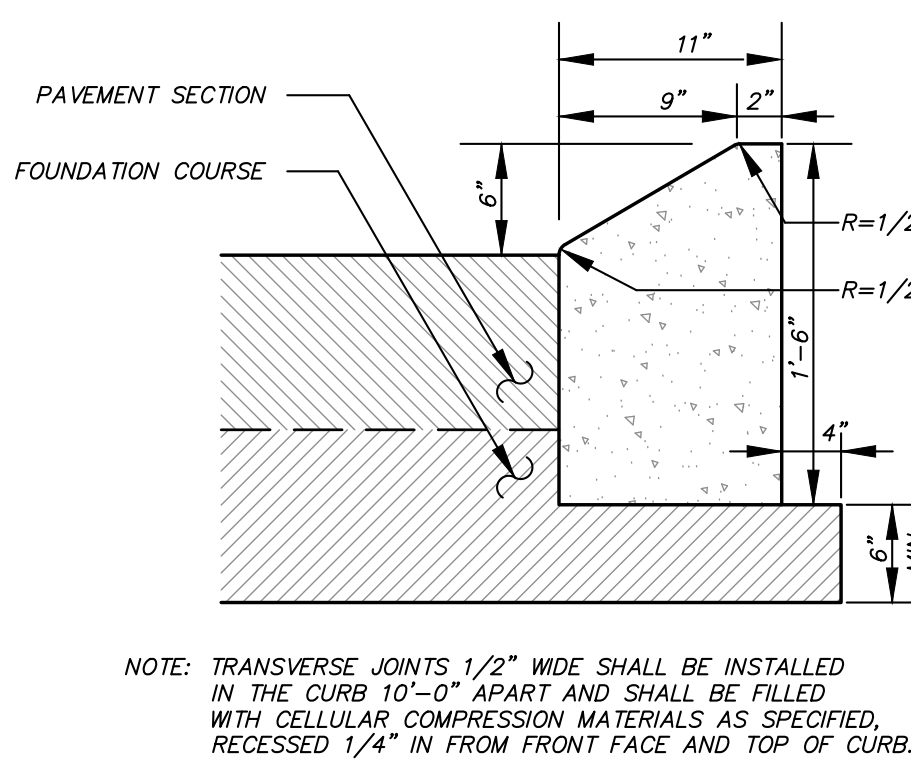


TREE PROTECTION DETAIL
(N.T.S.)



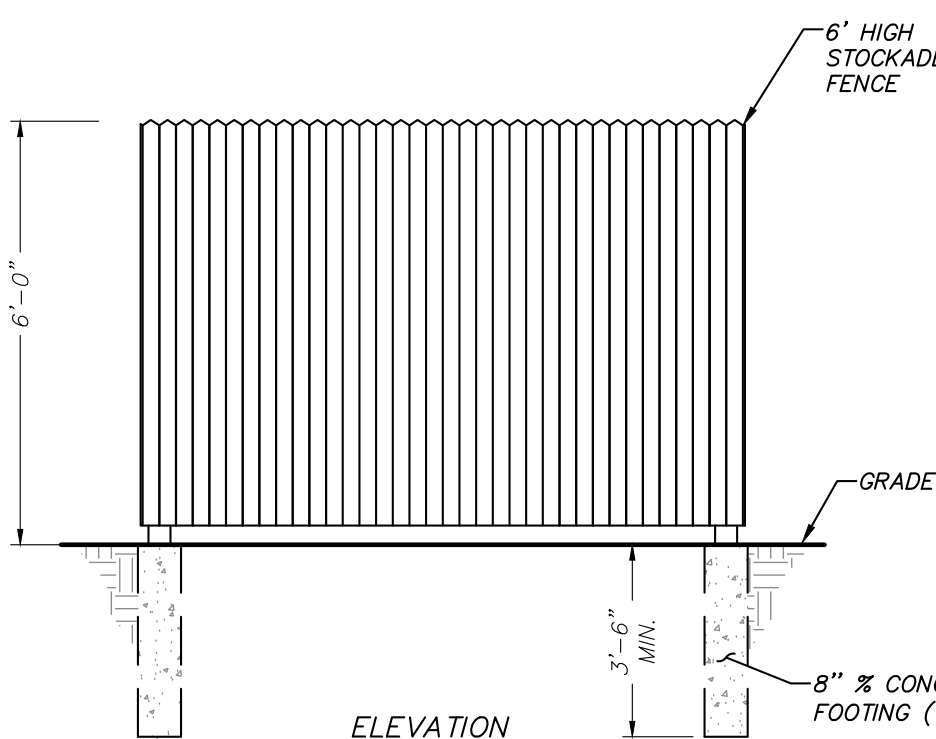
NOTE: ALL POSTS, RAILS, AND APPURTENANCES SHALL BE BLACK VINYL COATED.

CHAIN LINK FENCE DETAIL
(N.T.S.)

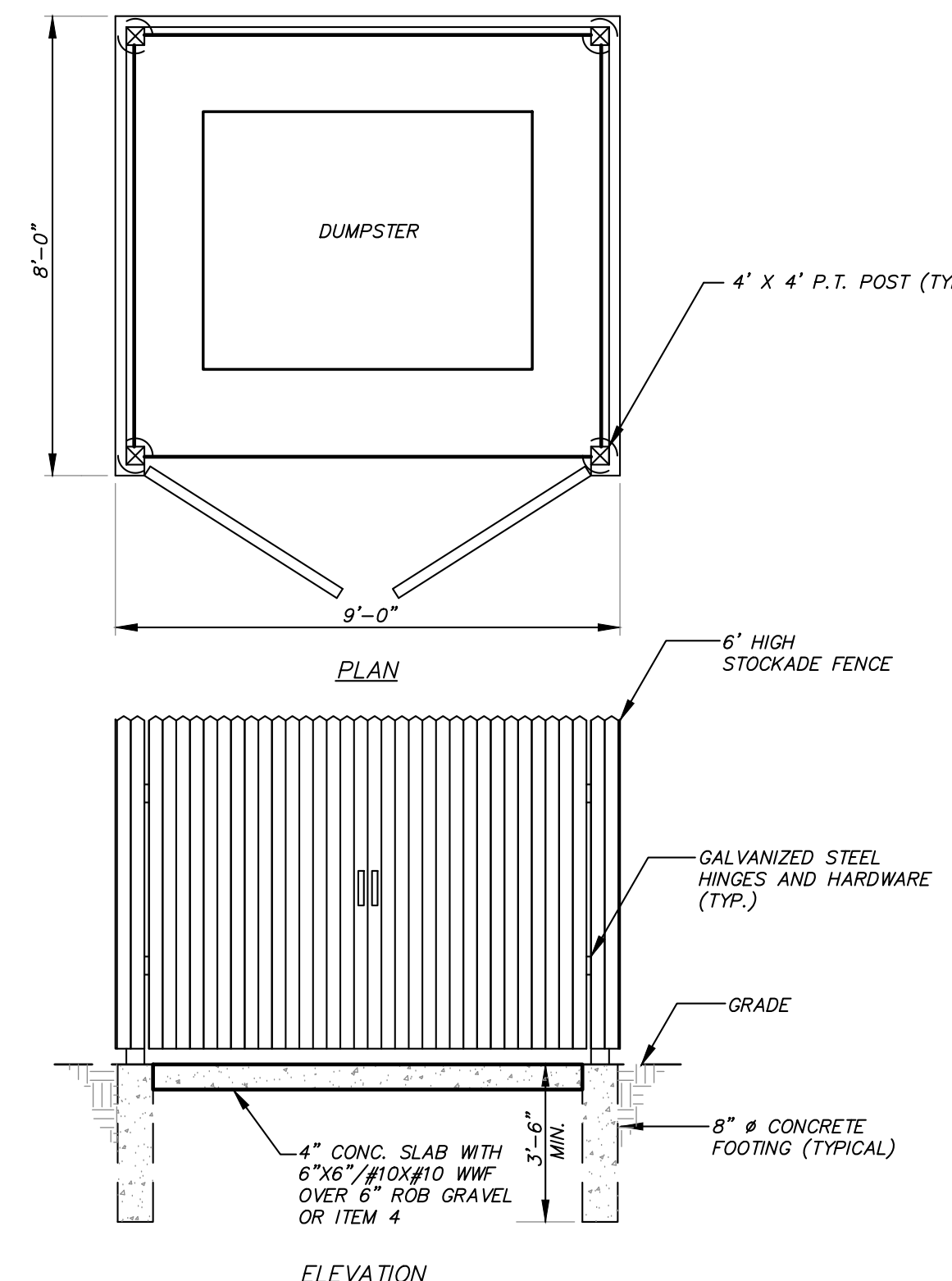


NOTE: TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 10'-0" APART AND SHALL BE FILLED WITH CELLULAR COMPRESSION MATERIALS AS SPECIFIED. RECESSED 1/4" IN FROM FRONT FACE AND TOP OF CURB.

MOUNTABLE CONCRETE CURB DETAIL
(N.T.S.)

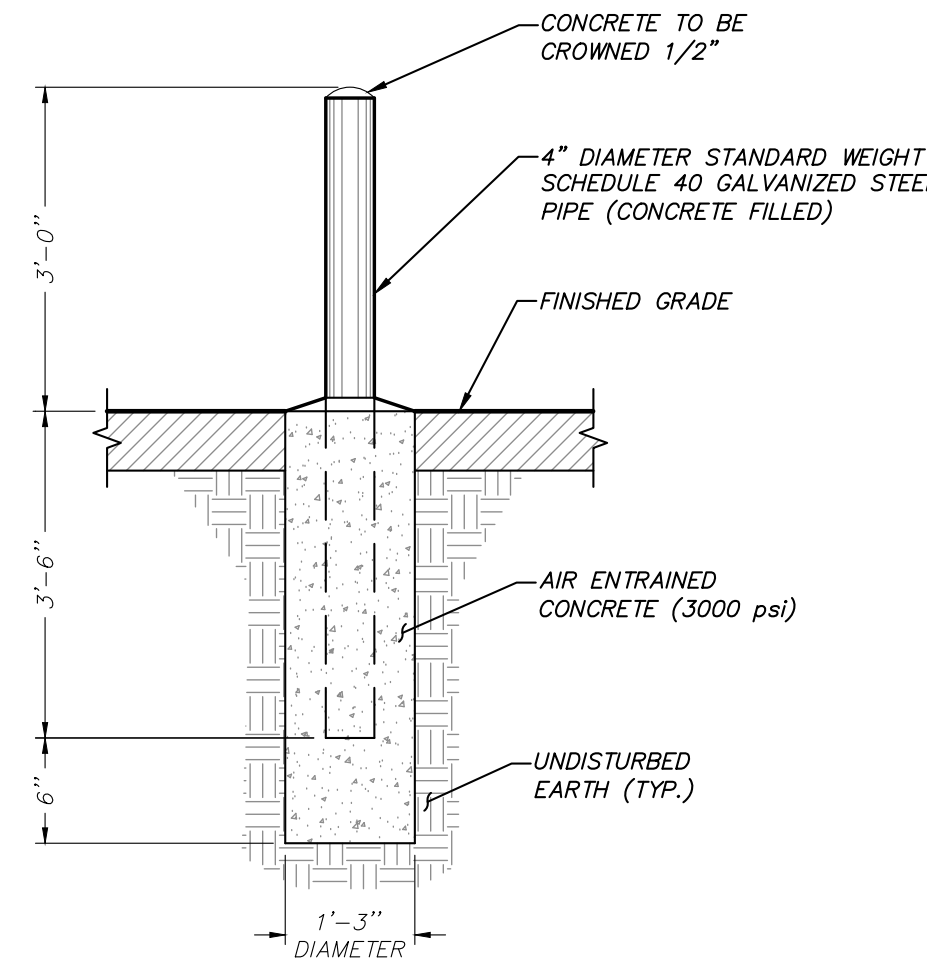


STOCKADE FENCE DETAIL
(N.T.S.)



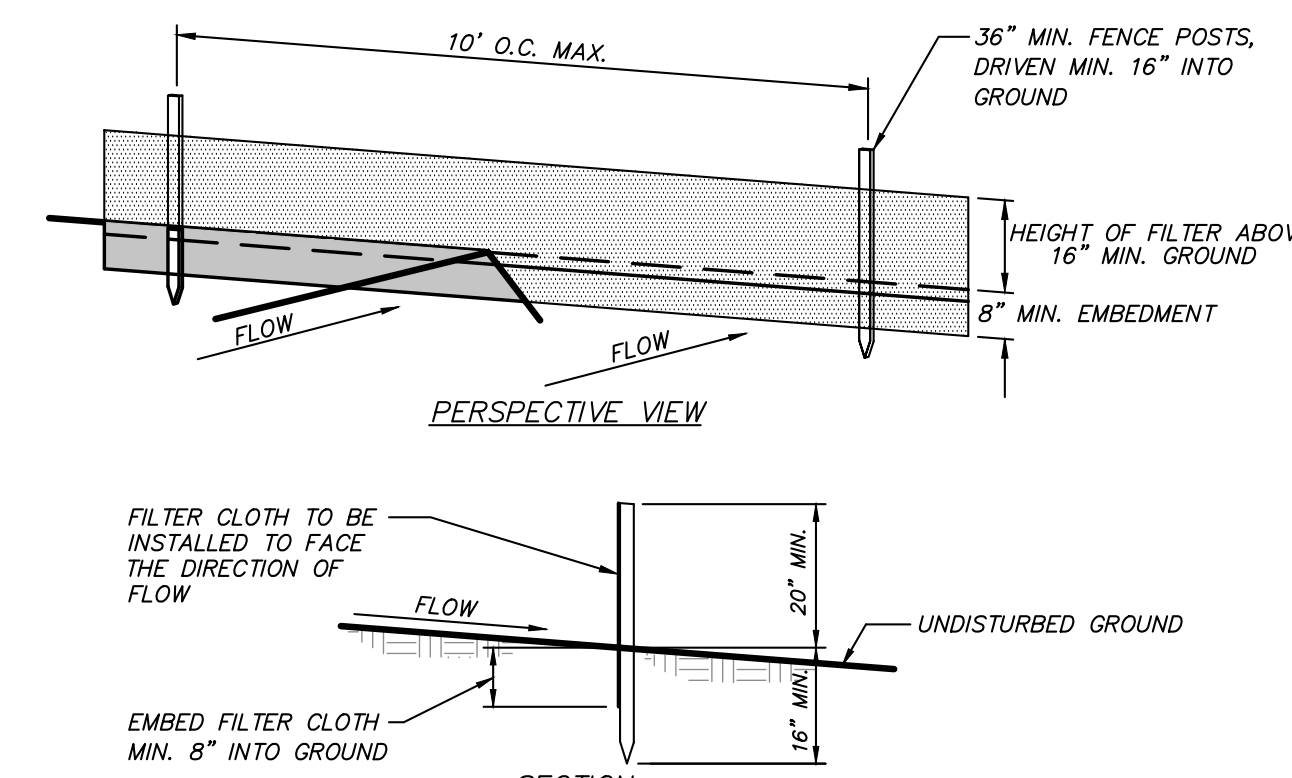
NOTE: CHECK WITH REFUSE HAULER PRIOR TO INSTALLATION OF REFUSE ENCLOSURE FOR DIMENSIONS.

DUMPSTER ENCLOSURE DETAIL
(N.T.S.)



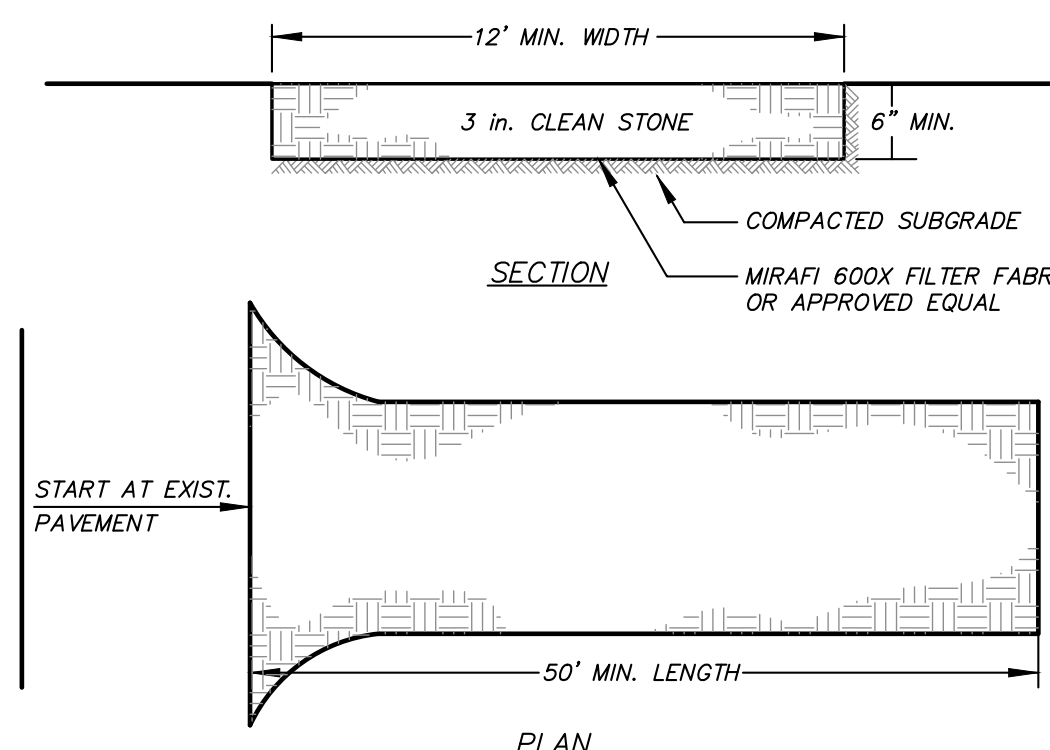
NOTES:
1. WHEN BOLLARDS ARE TO BE USED FOR PROTECTION OF COMBUSTIBLE OBJECTS, POSTS SHALL BE OFFSET A MINIMUM OF THREE (3) FEET FROM THE OBJECT BEING PROTECTED.
2. BOLLARDS (WHEN MORE THAN ONE IS REQUIRED) SHALL BE SPACED NOT MORE THAN FOUR (4) FEET ON CENTER WHEN PROTECTING COMBUSTIBLE OBJECTS.

STEEL BOLLARD DETAIL
(N.T.S.)



CONSTRUCTION NOTES FOR FABRICATED SILT FENCE:
1. FILTER CLOTH TO BE FASTENED SECURELY TO POSTS AT TOP AND MID SECTION.
2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
3. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
POSTS: STEEL EITHER T OR U TYPE OR 2" HARDWOOD
FILTER CLOTH: FILTER X, MIRAFIX 100X, STABILINKA T140N, OR APPROVED EQUAL
PREFABRICATED UNIT: GEOPAB, ENVIROFENCE, OR APPROVED EQUAL

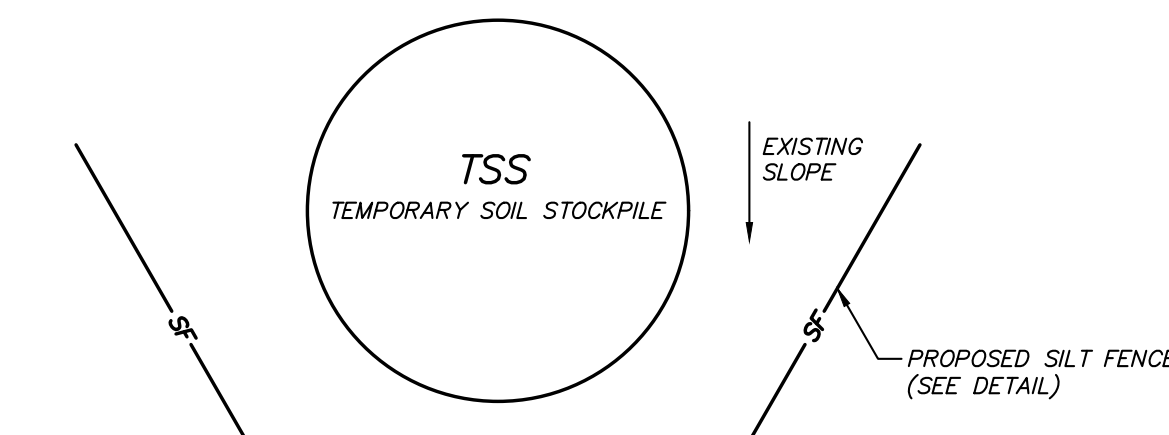
SILT FENCE DETAIL
(N.T.S.)



INSTALLATION NOTES:

- STONE SIZE - USE 3" STONE
- LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.)
- THICKNESS - NOT LESS THAN SIX (6) INCHES
- WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
- WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE DETAIL
(N.T.S.)

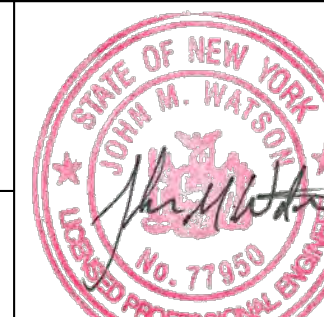


- NOTES:
- AREA CHOSEN FOR STOCKPILE LOCATION SHALL BE DRY AND STABLE.
 - MAXIMUM SLOPE OF STOCKPILE SHALL BE 2:1.
 - UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE IMMEDIATELY SEEDED WITH K31 PERENNIAL TALL FESCUE.
 - ALL STOCKPILES SHALL BE PROTECTED WITH SILT FENCING INSTALLED ON THE DOWNGRADIENT SIDE.

TEMPORARY SOIL STOCKPILE DETAIL
(N.T.S.)

NO.	DATE	REVISION	BY
2	8-7-20	PLANNING BOARD SUBMISSION	KMG
1	7-17-20	PLANNING BOARD SUBMISSION	E.R.A.
PROJECT:			
CARMEL FIRE DEPARTMENT			
DRAWING:			
DETAILS			
PROJECT NUMBER	19135.100	PROJECT MANAGER	J.M.W.
DATE	5-20-20	DRAWN BY	J.F.R.
SCALE	AS NOTED	CHECKED BY	K.M.G.
DRAWING NO.		SHEET	9
			10

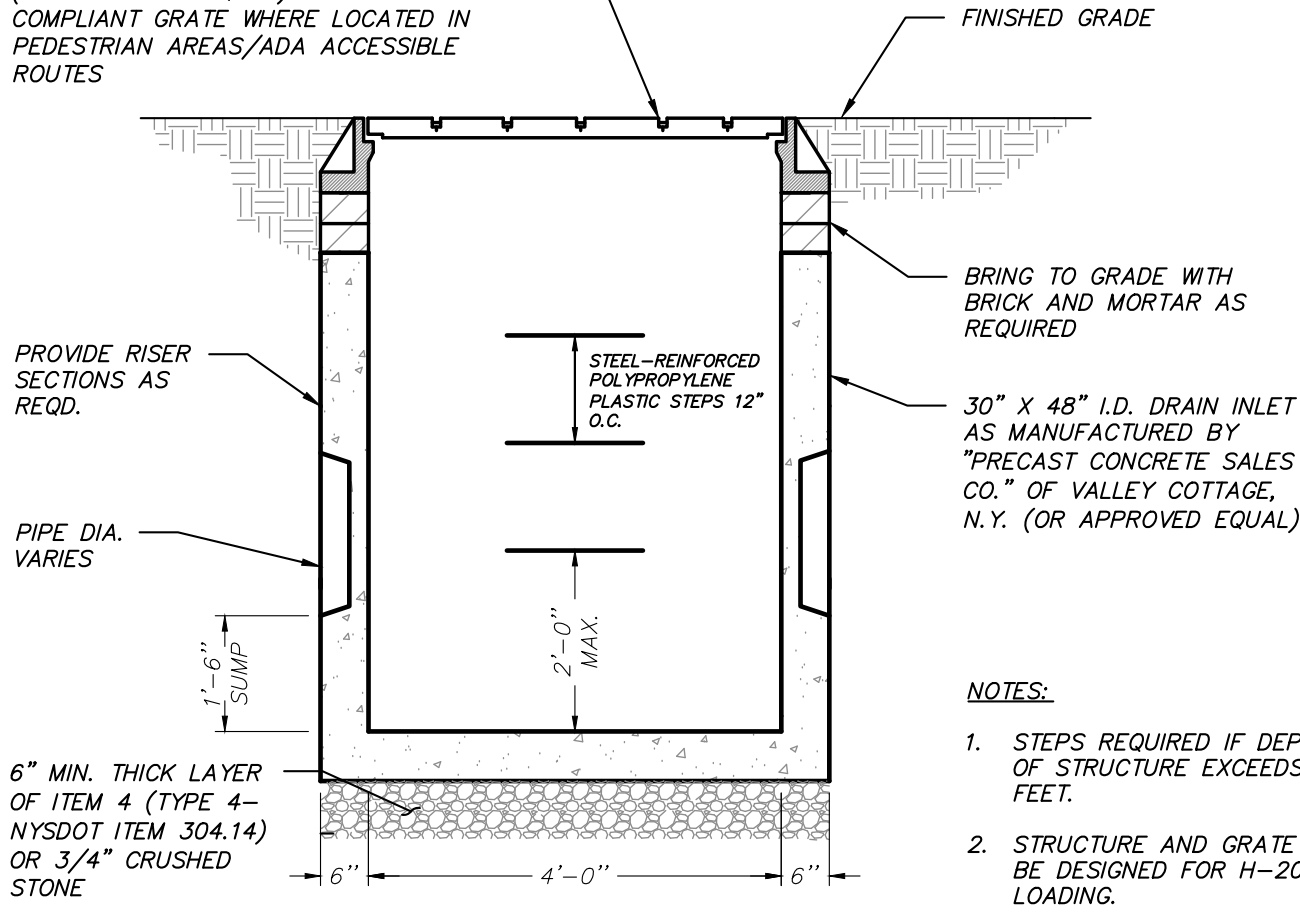
3 Garrett Place
Carmel, NY 12012
(845) 225-9690
(845) 225-9717 fax
www.insite-eng.com



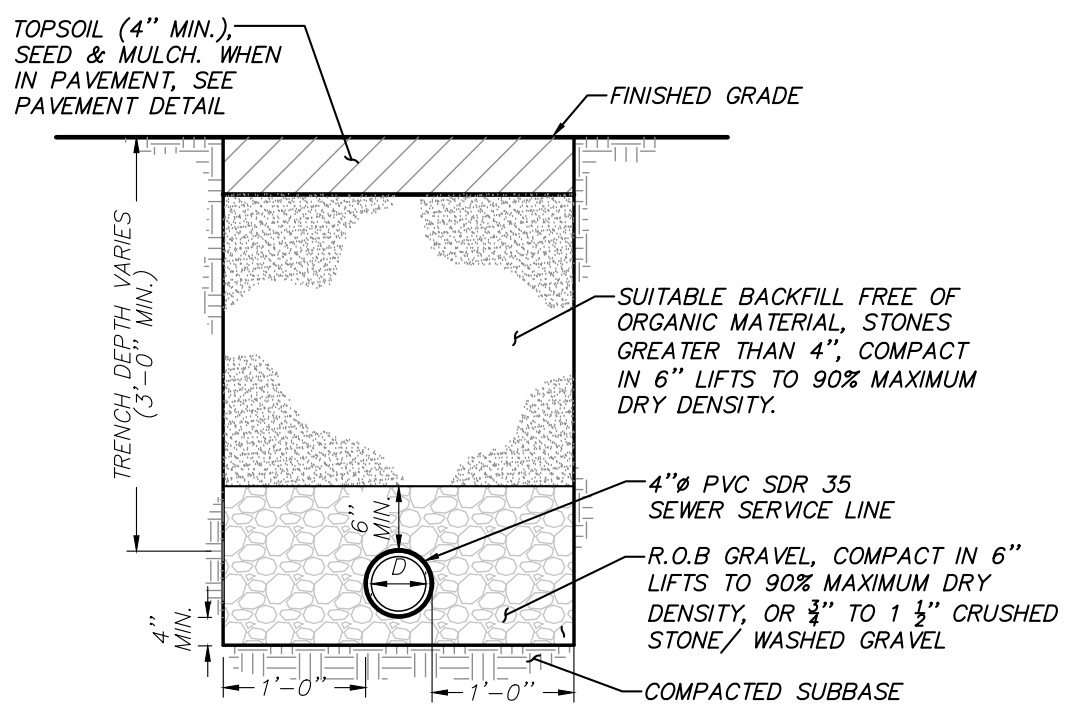
SEWER SERVICE NOTES

- All sewer services shown on these plans shall be polyvinyl chloride (PVC) SDR 35 with factory installed push on gaskets.
- Sanitary Sewers shall be laid at least 10 feet horizontally from any existing or proposed water main. The distance shall be measured edge to edge. In cases where it is not practical to maintain a 10 foot horizontal separation, the Design Engineer and the Town of Carmel may allow deviation with prior approval on a case-by-case basis, if supported by data from the Design Engineer prior to sewer line installation. The horizontal separation also applies to service connections.
- Sewers crossing water mains shall be laid to provide a minimum vertical separation of 18 inches between the outside of the sewer main and the water main. The crossing shall be arranged so that the sewer joints will be equidistant and as far as possible from the water main joints. Where a water main crosses under a sewer, adequate structural support shall be provided for the sewer to maintain line and grade. In cases where it is not practical to maintain a 18" vertical separation, the Design Engineer and the Town of Carmel may allow deviation with prior approval on a case-by-case basis, if supported by data from the Design Engineer prior to the sewer line installation. The vertical separation also applies to service connections.

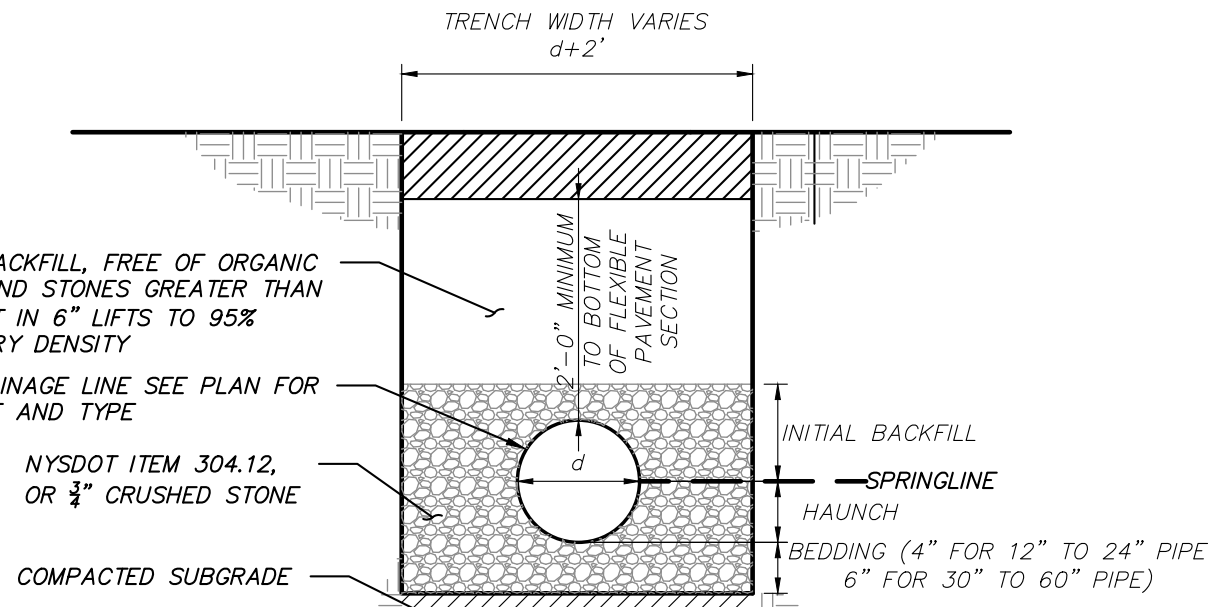
HEAVY DUTY CAST IRON FRAME & GRATE MODEL 3408 (BIKE SAFE) AS MANUFACTURED BY CAMPBELL FOUNDRY (OR APPROVED EQUAL). PROVIDE ADA COMPLIANT GRATE WHERE LOCATED IN PEDESTRIAN AREAS/ADA ACCESSIBLE ROUTES



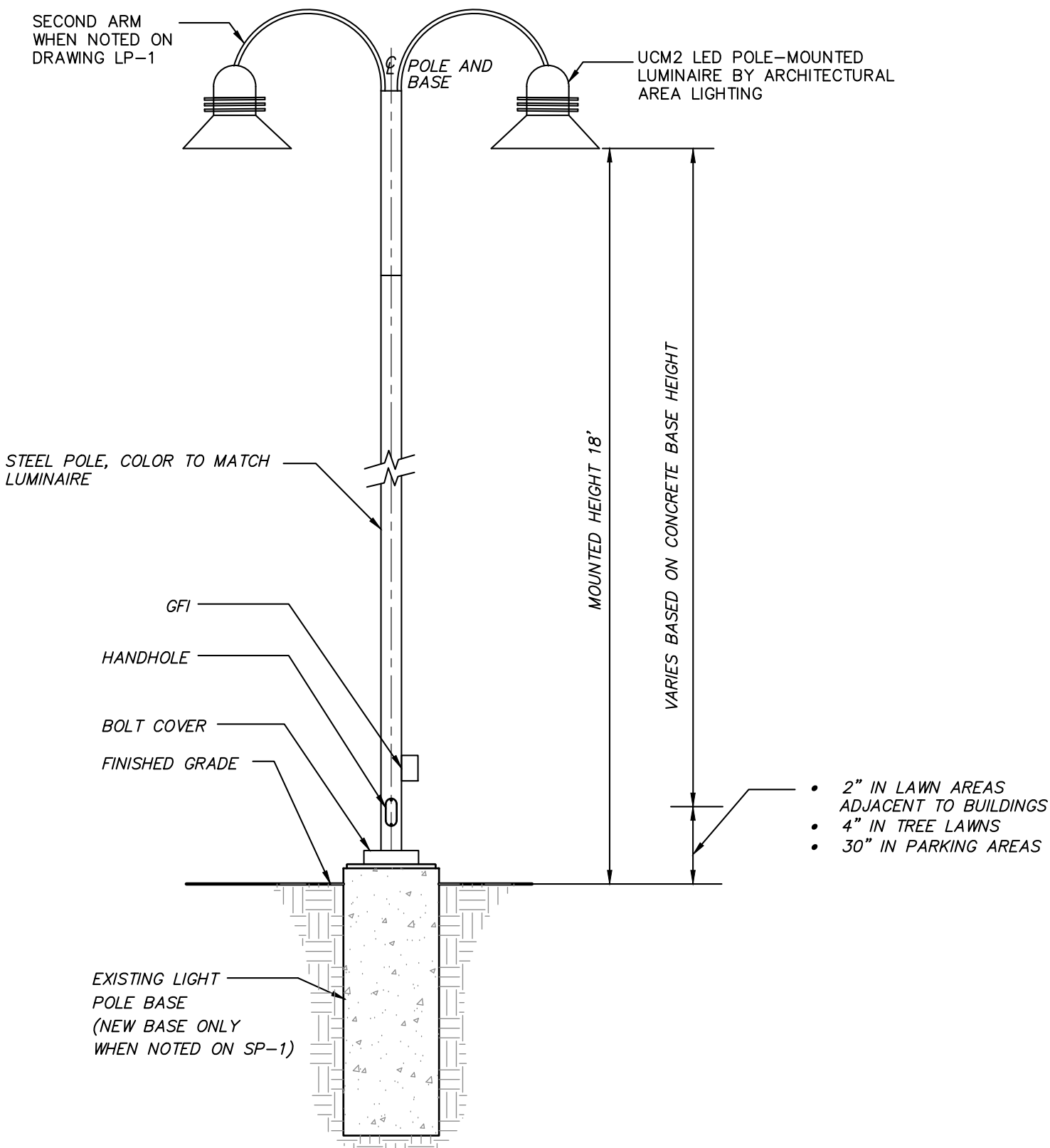
30" X 48" DRAIN INLET DETAIL (N.T.S.)



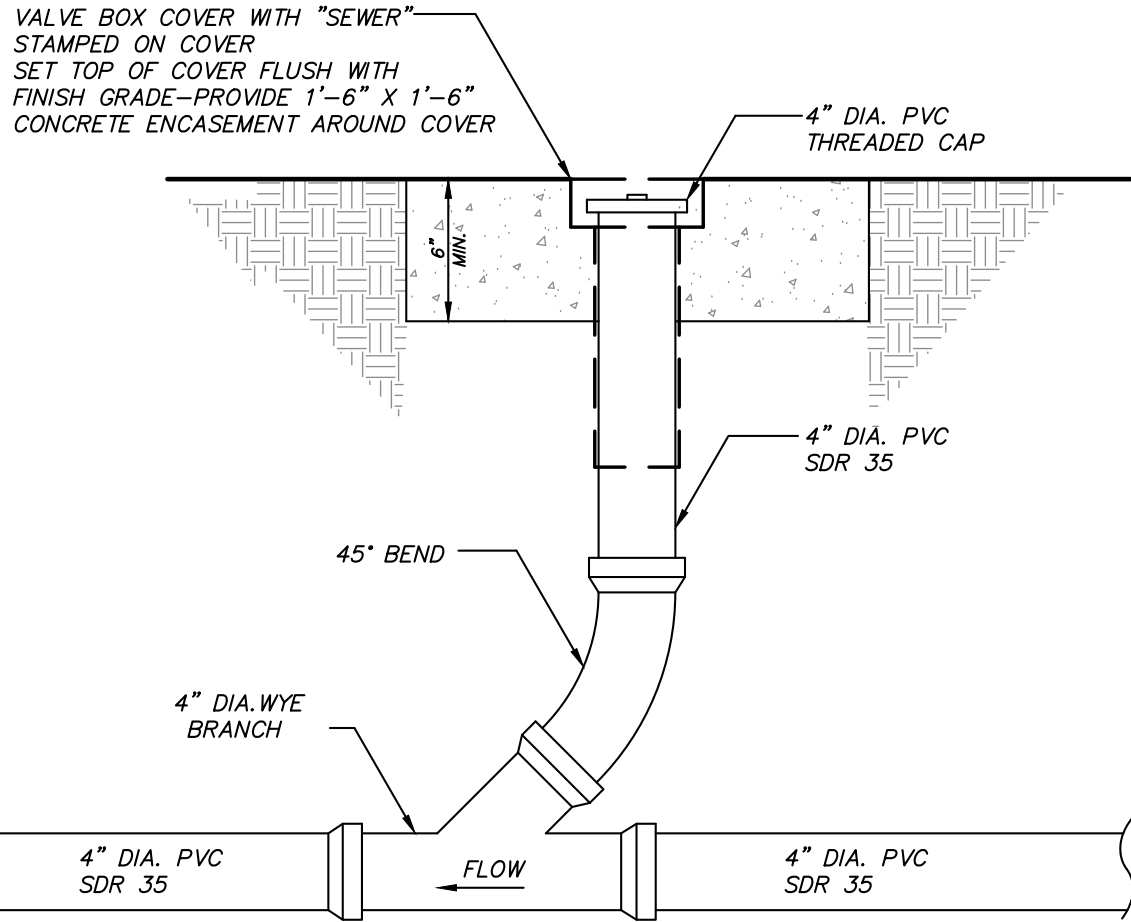
SEWER SERVICE LINE TRENCH DETAIL (N.T.S.)



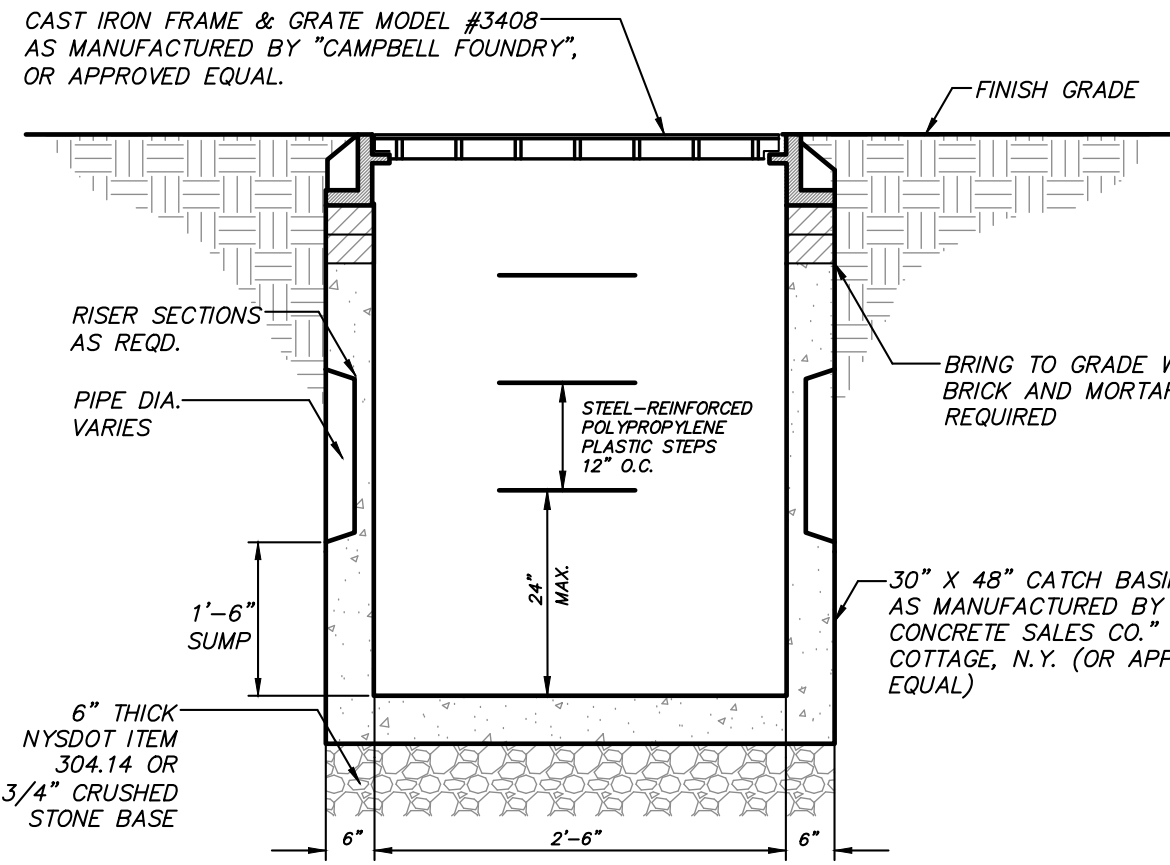
DRAINAGE LINE TRENCH DETAIL (N.T.S.)



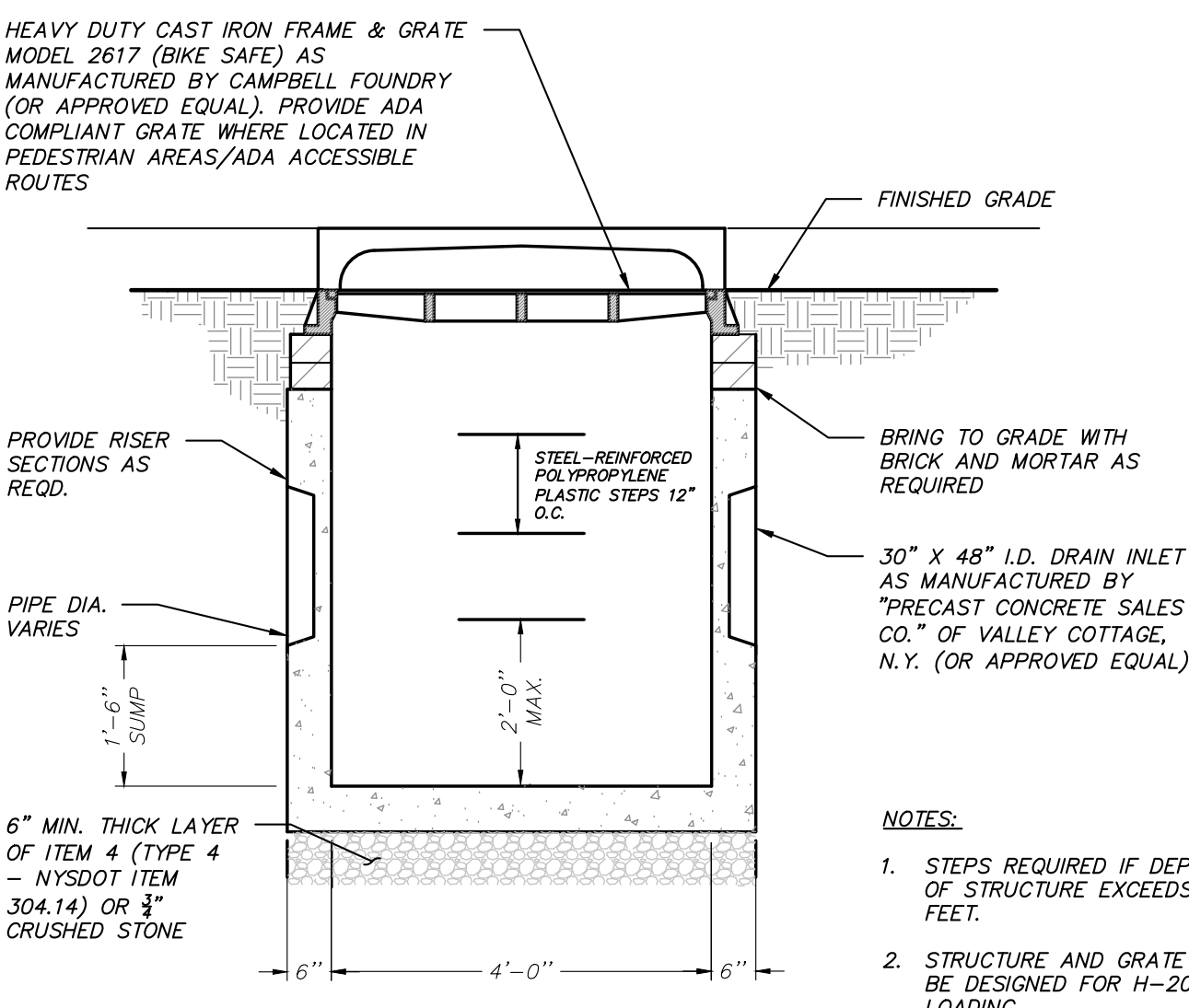
POLE-MOUNTED AREA LIGHT DETAIL (N.T.S.)



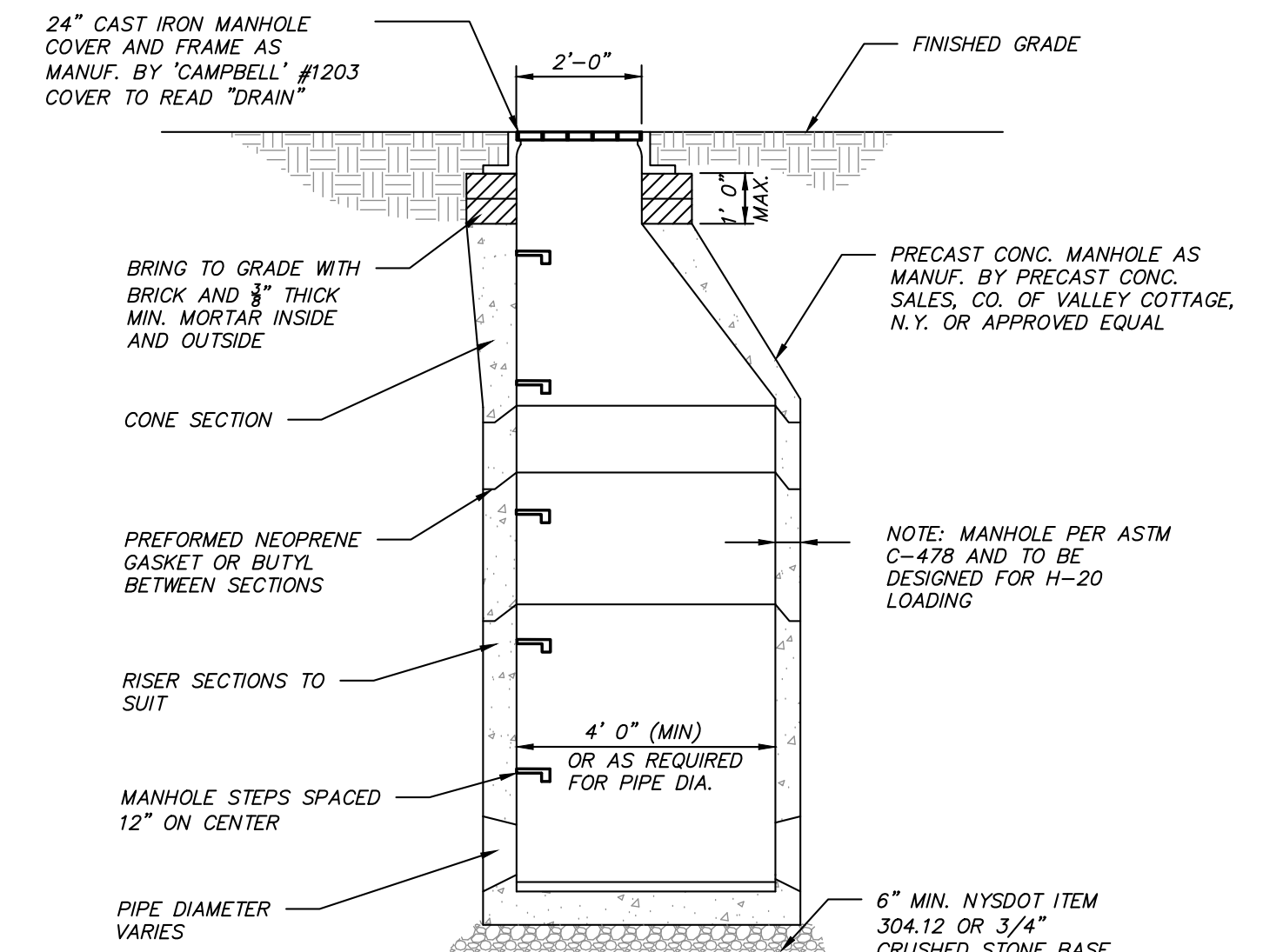
SEWER LINE CLEANOUT DETAIL (N.T.S.)



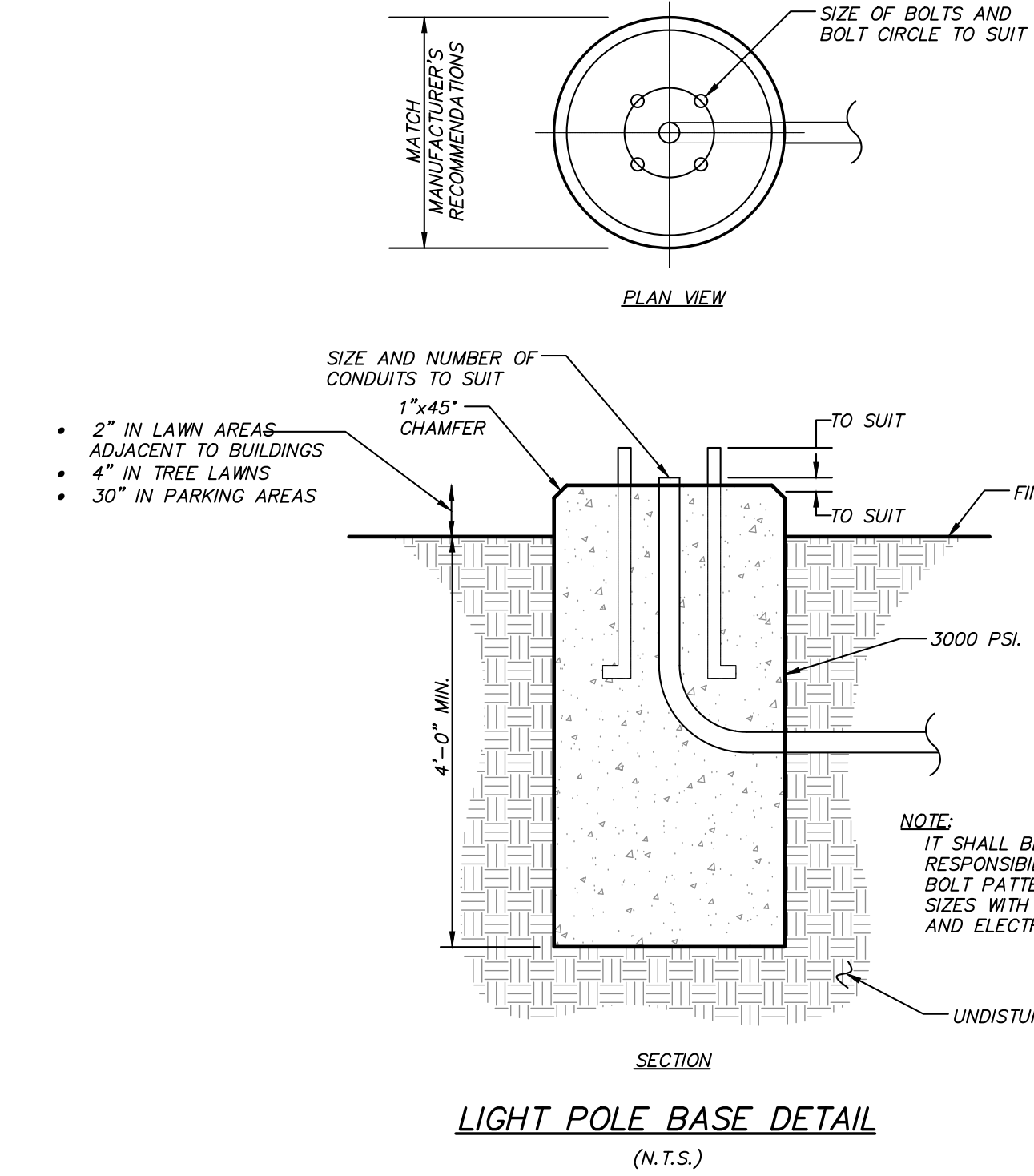
DRAIN INLET (DI) DETAIL (N.T.S.)



30" X 48" CATCH BASIN DETAIL (N.T.S.)

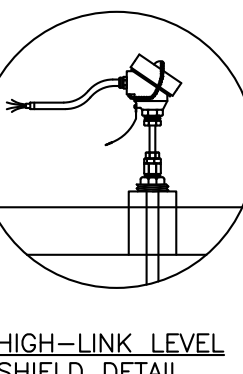
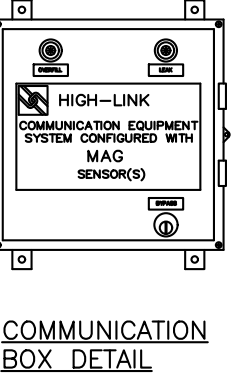


DRAINAGE MANHOLE (DMH) DETAIL (N.T.S.)



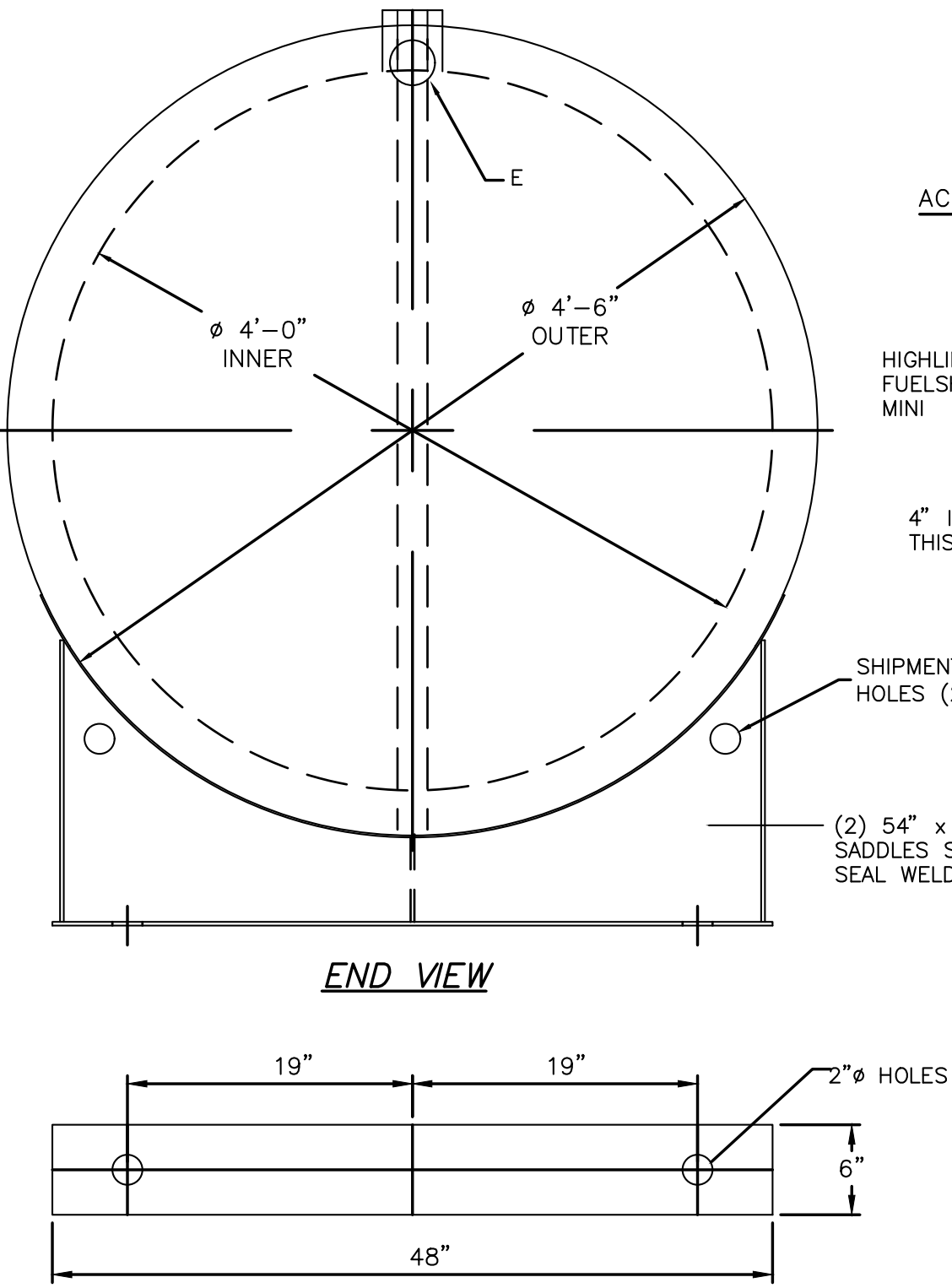
LIGHT POLE BASE DETAIL (N.T.S.)

SEWER SERVICE CONNECTION DETAIL (N.T.S.)

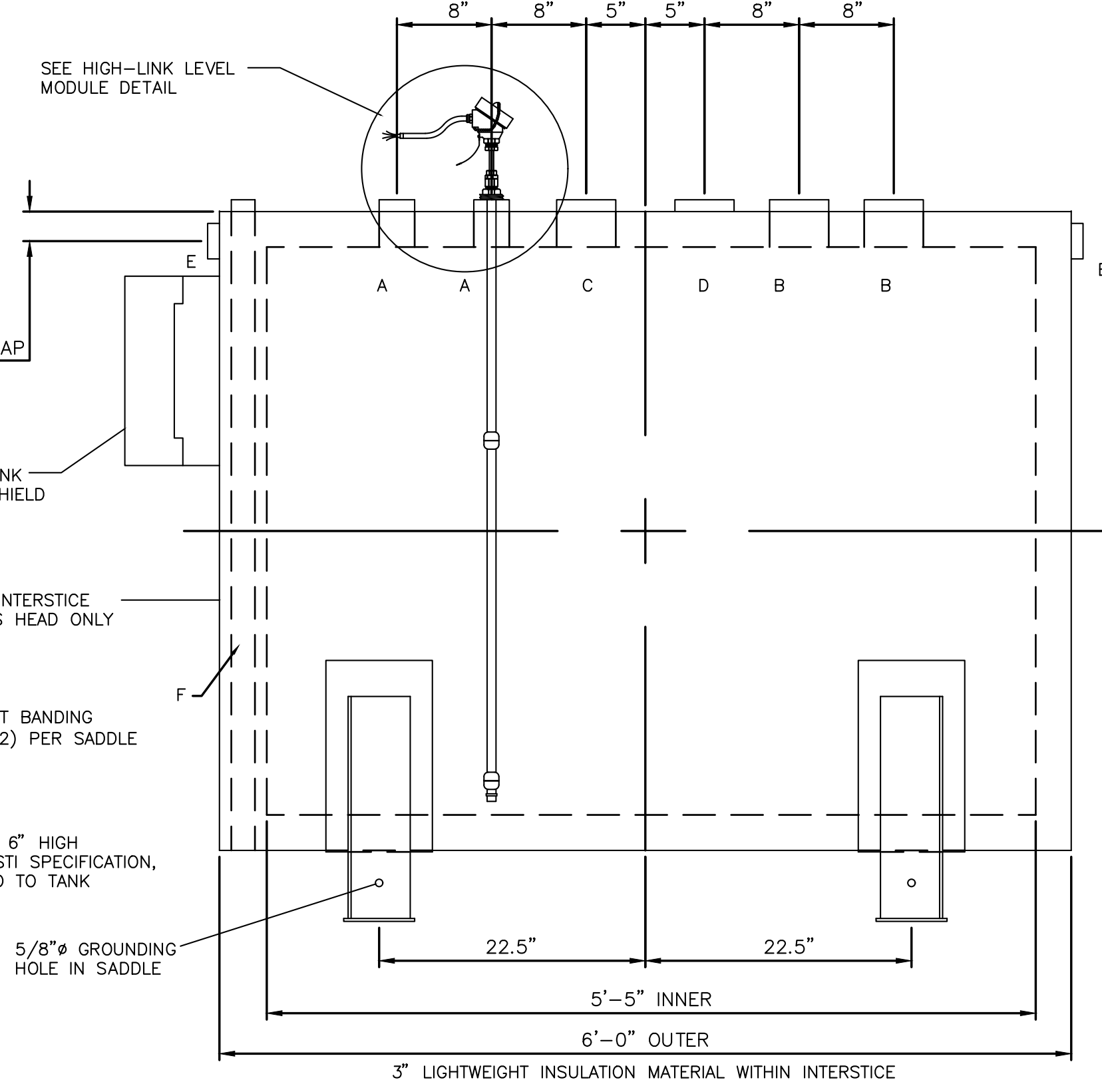


FUEL TANK INSTALLATION REQUIREMENTS:

- FUEL TANK SHALL BE INSTALLED WITH THE FOLLOWING:
 - FILLRITE FUEL DISPENSER PUMP AND METER (MP FR701V) OR EQUIVALENT METER TO BE PLUMED INLINE HORIZONTALLY WITH PUMP.
 - REMOTE FILL CONTAINMENT CHAMBER
 - TWO 4" EMERGENCY VENTS
 - 48" SCULLY GOLDEN GALLON GAUGE (MFG 03158)
 - LEAK DETECTION GAUGE
 - VENT PIPE WITH CAP
 - OVERFILL PROTECTION VALVE 90955 (AUTOMATIC SHUT OFF) ON FILL PORT
 - LABEL TANK AS PER NYSDEC PES
 - ALL TANK APPURTENANCES TO BE LOCATED PER DIRECTION OF CARMEL FIRE DEPARTMENT
 - TANK SHOULD BE GROUNDED AS PER FEDERAL AND/OR STATE REGULATIONS
 - HIGH-LINK FUEL SHIELD-MINI FUEL MANAGEMENT SYSTEM.



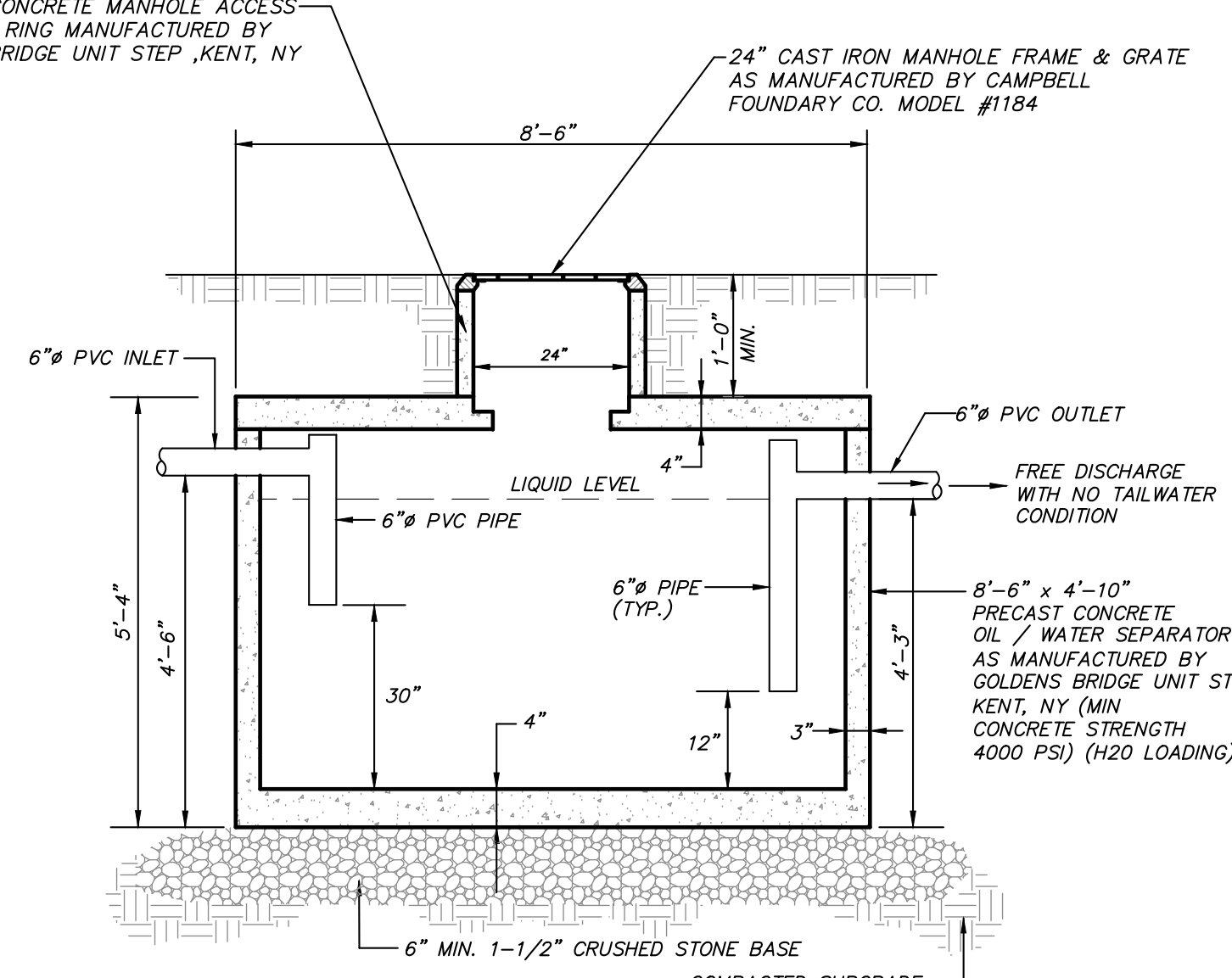
500 GAL 48" DIAMETER FIREGUARD TANK (N.T.S.)



SIDE VIEW

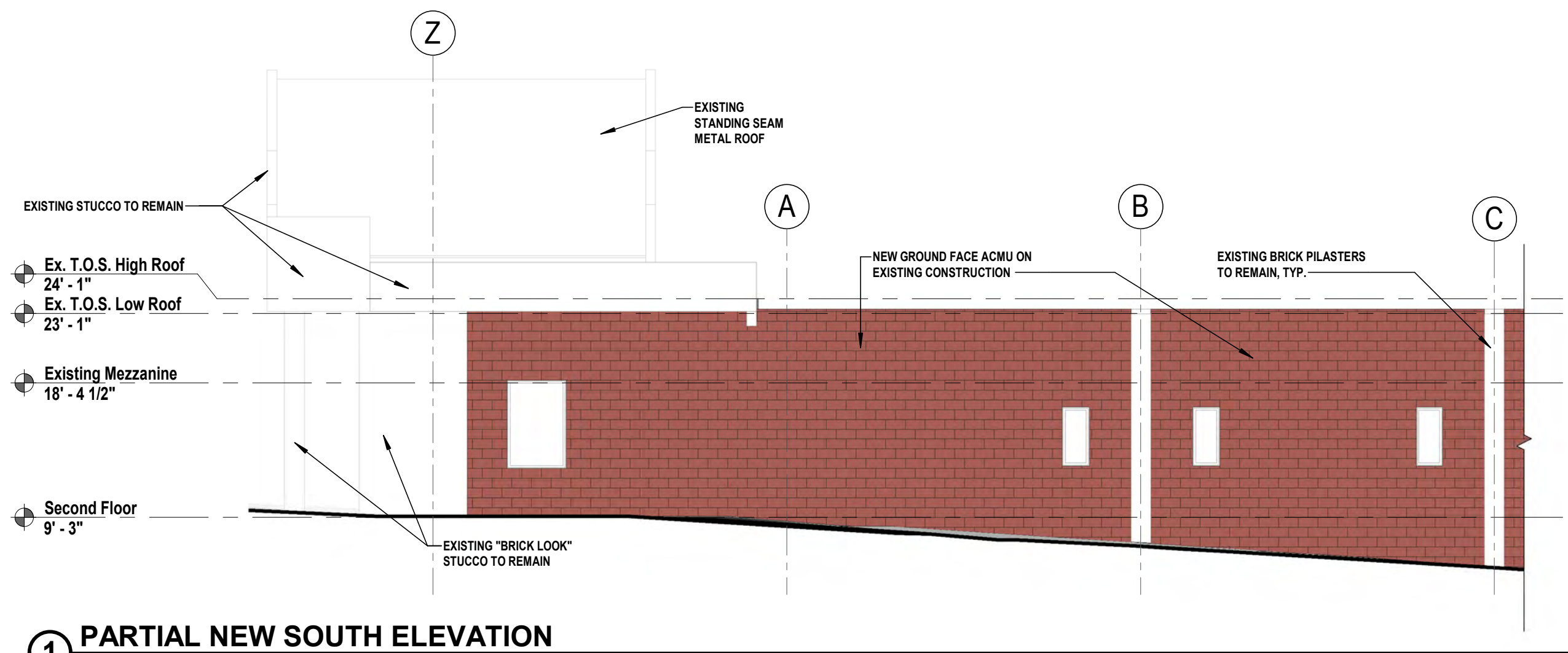
DESIGN DATA	
CAPACITY :	500 GALLONS
TYPE:	FIREGUARD® CYLINDRICAL
FIREGUARD® IS A TRADEMARK OF THE STEEL TANK INSTITUTE.	
NO. REQ. -	-
OPERATING PRESSURE -	ATMOSPHERIC
SPECIFIC GRAVITY =	1.0
TANK MATERIAL -	MILD CARBON STEEL
THICKNESS - INNER -	7 GAUGE
THICKNESS - OUTER -	7 GAUGE
MIN. GAUGE OR THICKNESS (PER U.L. 2085)	
CONSTRUCTION - INNER -	LAP WELD OUTSIDE ONLY
CONSTRUCTION - OUTER -	LAP WELD OUTSIDE ONLY
TANK TEST - PER UL 2085	
INT. FINISH -	NONE
EXT. FINISH -	SP-6 BLAST, FINISH PAINT WHITE
LABEL- UL 2085 AND FIREGUARD® PER stl	

LEGEND	
A	2" FEMALE FIREGUARD COUPLING
B	4" FEMALE FIREGUARD COUPLING
C	4" FEMALE FIREGUARD COUPLING - FOR PRIMARY EMERGENCY VENT USE
D	4" FITTING THROUGH OUTER SHELL ONLY, INTERSTITIAL EMERGENCY VENT USE ONLY
E	2" FITTING THROUGH OUTER SHELL ONLY
F	2" INTERSTITIAL MONITOR PIPE - MALE NPT END

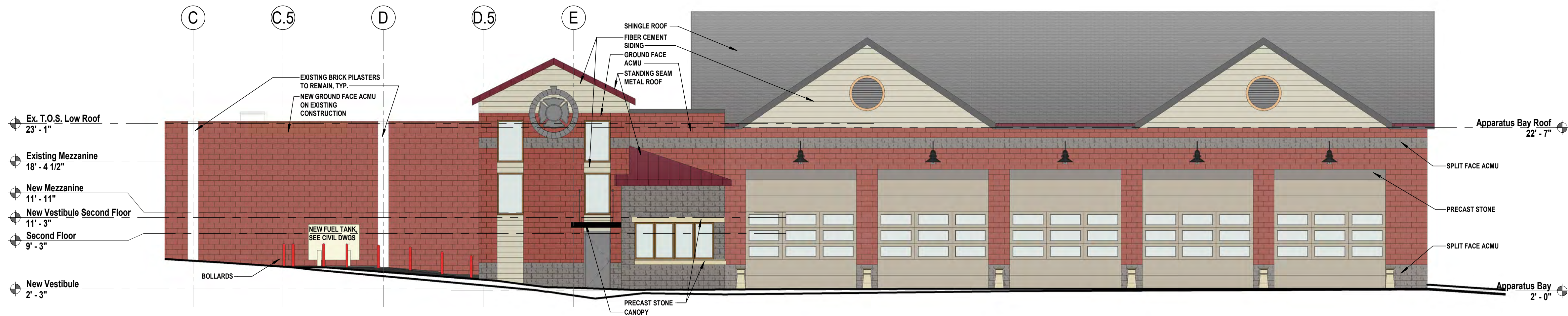


1,000 GALLON OIL/WATER SEPARATOR DETAIL (N.T.S.)

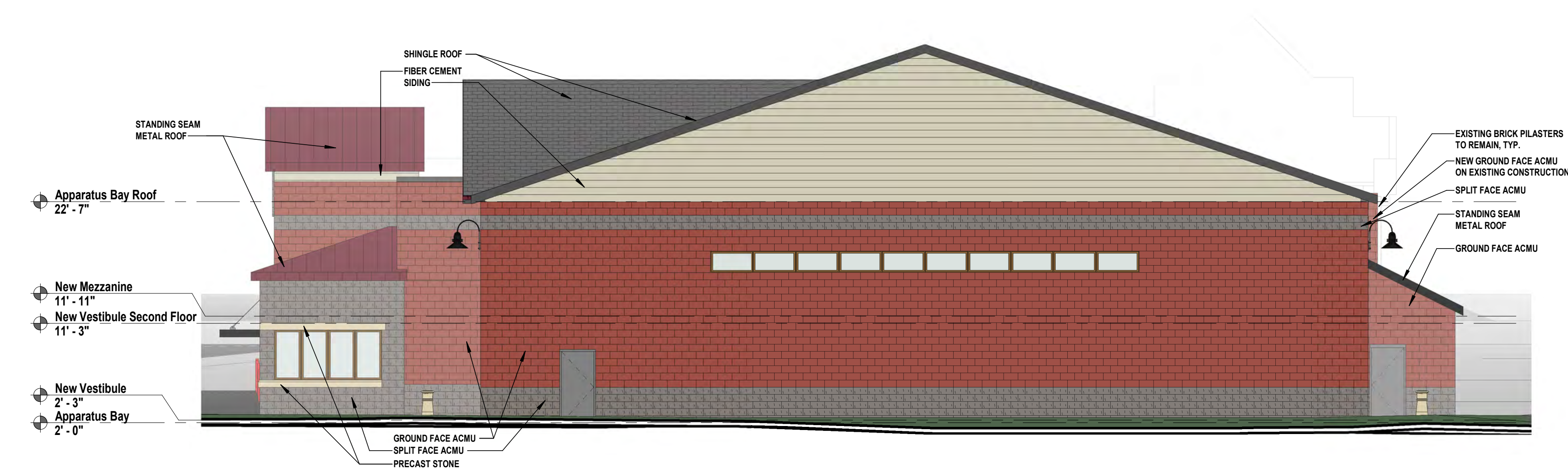
2	8-7-20	PLANNING BOARD SUBMISSION	KMG
1	7-17-20	PLANNING BOARD SUBMISSION	E.R.A.
NO.	DATE	REVISION	BY
INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.			
PROJECT: CARMEL FIRE DEPARTMENT			
94 GLENEDA AVENUE, CARMEL, PUTNAM COUNTY, NEW YORK			
DRAWING: DETAILS			
PROJECT NUMBER	19135.100	PROJECT MANAGER	J.M.W.
DATE	5-20-20	DRAWN BY	J.F.R.
SCALE	AS NOTED	CHECKED BY	K.M.G.
DRAWING NO.	D-2	SHEET	10



1 PARTIAL NEW SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 PARTIAL NEW SOUTH ELEVATION cont.
SCALE: 1/8" = 1'-0"



3 NEW EAST ELEVATION
SCALE: 1/8" = 1'-0"

CONSULTANTS:


MARK	DATE	DESCRIPTION

DESIGNED BY: Designer	DRAWN BY: Author	CHECKED BY:	REVIEWED BY:
PROJECT No: CARM1902	DATE: 08/07/2020	SCALE: AS SHOWN	

CLIENT

**CARMEL FIRE
DEPARTMENT INC.**

PROPOSED
ADDITION/RENOVATION



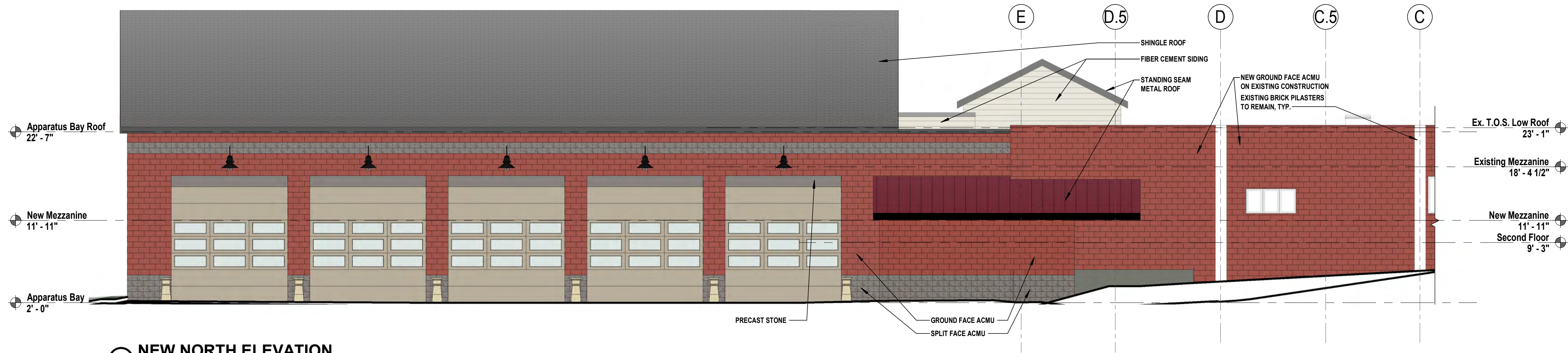
94 GLENEIDA AVE, CARMEL
HAMLET NY, 10512

CONTRACT	CONTRACT G GENERAL CONSTRUCTION
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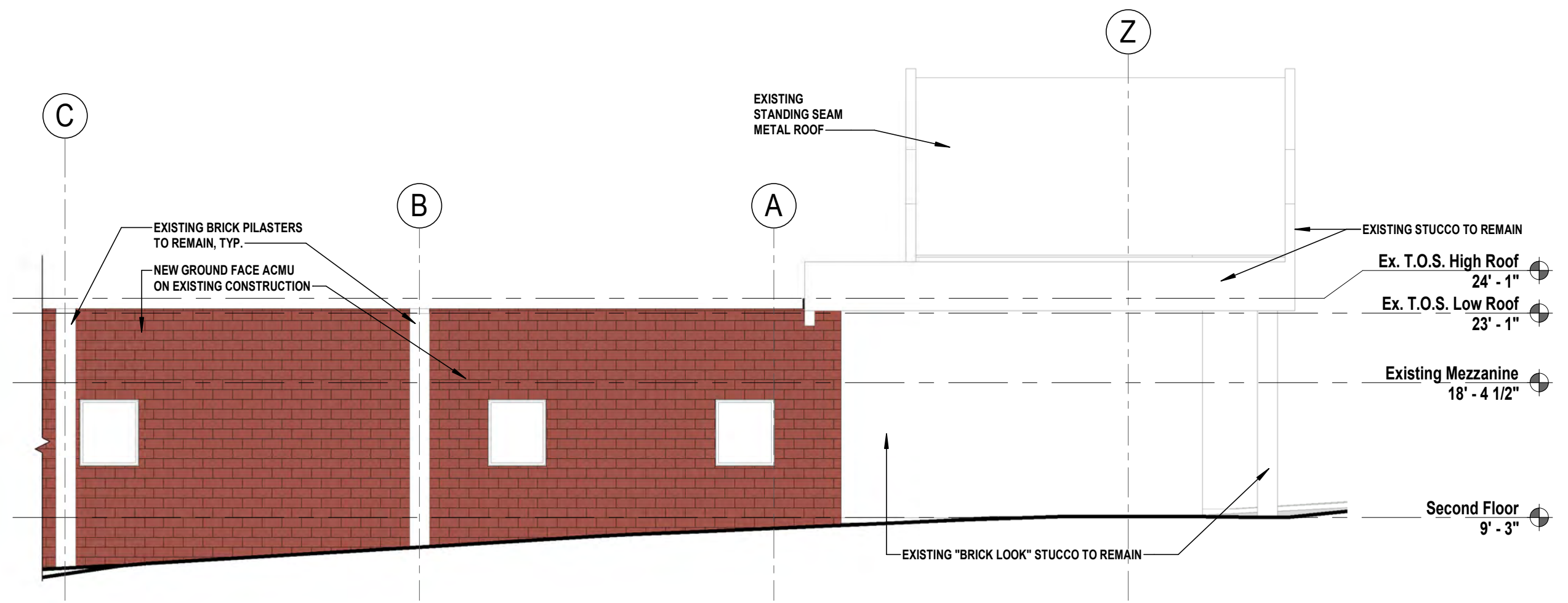
STATUS	SD April/May 2020
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SHEET TITLE	EXTERIOR ELEVATIONS AND DETAILS
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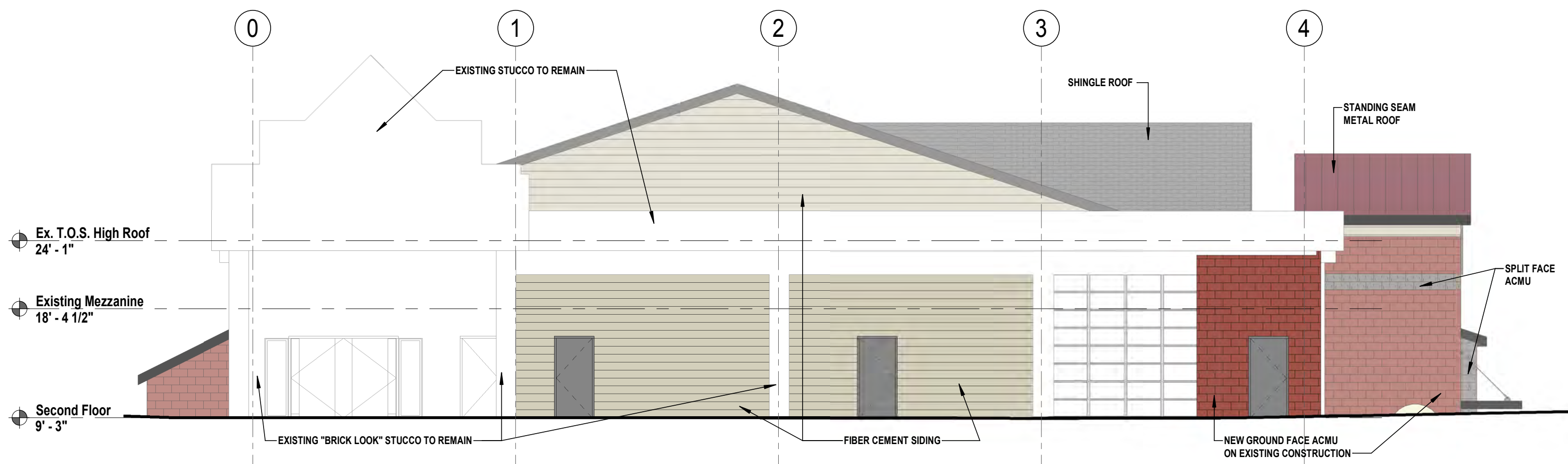
DRAWING No. A2.0	SHEET No. OF
----------------------------	-----------------



1 NEW NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 NEW NORTH ELEVATION cont.
SCALE: 1/8" = 1'-0"



3 NEW WEST ELEVATION
SCALE: 1/8" = 1'-0"

CONSULTANTS:


MARK	DATE	DESCRIPTION

"ALTERATION OF THIS DOCUMENT EXCEPT BY A LICENSED PROFESSIONAL IS ILLEGAL."			
DESIGNED BY:	DRAWN BY:	CHECKED BY:	REVIEWED BY:
Designer	Author		
PROJECT No:	DATE:	SCALE:	
CARM1902	08/07/2020	AS SHOWN	

CLIENT

CARMEL FIRE DEPARTMENT INC.

PROPOSED
ADDITION/RENOVATION



94 GLENEIDA AVE, CARMEL
HAMLET NY, 10512

CONTRACT

**CONTRACT G
GENERAL CONSTRUCTION**

STATUS

SD April/May 2020

SHEET TITLE

**EXTERIOR ELEVATIONS
AND DETAILS**

DRAWING No.

A2.1

SHEET No.

OF

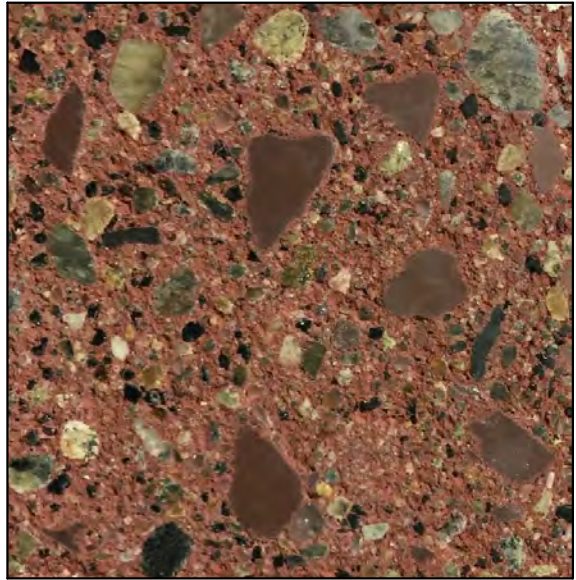


PROPOSED SOUTH ELEVATION

PROPOSED MATERIALS:



EXISTING BRICK



GROUND FACE ACMU -
REDWOOD BRAND



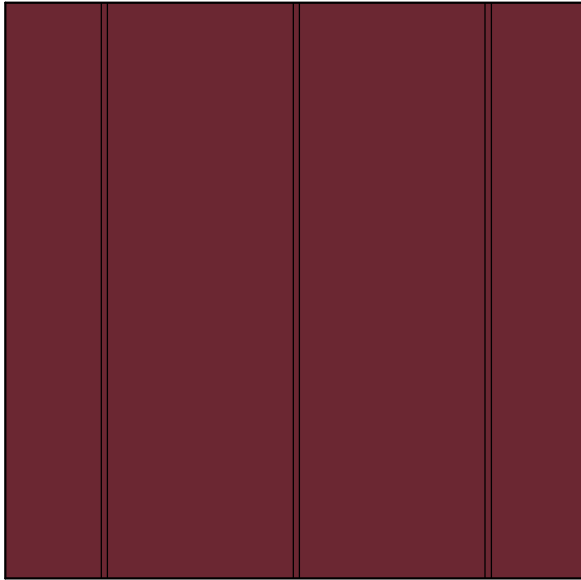
SPLIT FACE ACMU -
LIGHT CHARCOAL



FIBER CEMENT SIDING -
COBBLE STONE



OVERHEAD DOOR -
CLAYTONE



STANDING SEAM METAL ROOF-
REDWOOD



ASPHALT SHINGLES -
ONYX BLACK

H2

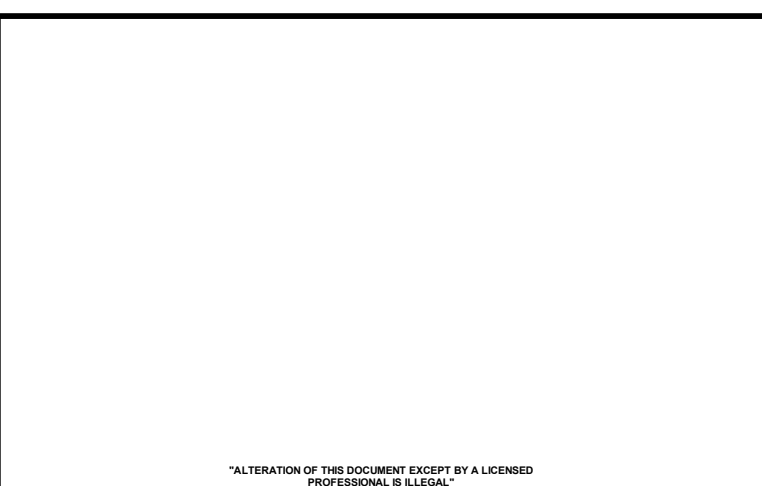
M

architects
+
engineers

2700 Westchester Ave., Suite 415
Purchase, NY 10577
914.358.5623 • www.h2m.com

CONSULTANTS:		

MARK	DATE	DESCRIPTION



DESIGNED BY: Designer	DRAWN BY: Author	CHECKED BY:	REVIEWED BY:
PROJECT No: CARM1902	DATE: 08/07/2020	SCALE: AS SHOWN	

CLIENT

CARMEL FIRE
DEPARTMENT INC.

PROPOSED
ADDITION/RENOVATION



94 GLENEIDA AVE, CARMEL
HAMLET NY, 10512

CONTRACT
ALL CONTRACTS

STATUS
SD April/May 2020

SHEET TITLE
PROPOSED SOUTH RENDERING AND PRELIMINARY MATERIALS

DRAWING No. AP1.0	SHEET No. OF
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August 7, 2020

Town of Carmel Planning Board
60 McAlpin Avenue
Mahopac, New York 10541

RE: Stillwater Business Park
105 Stillwater Road
Town of Carmel
TM#s 75.17-1-53, 86.5-1-25, & 86.5-1-26

Dear Chairman Paepre and Members of the Board:

Please find enclosed the following plans and documents in support of an application for site plan approval for the above referenced project:

- Seven (7) sheet revised Site Plan Set, dated August 7, 2020. (5 copies)
- Architectural Plans for the proposed 60,000sf storage building, dated August 7, 2020.
- Use Summary, dated August 7, 2020.

The plans have been revised based on discussions with Board and its consultants at the July meeting and a subsequent field visit.

In response to comments provided by Michael Carnazza, dated July 2, 2020, we offer the following:

1. The project description is accurate and reflects the proposal indicated on the plans.
2. Both the first and second floor of the building, totaling 60,000sf, are to be used for private storage.
3. The proposed square footage of the building has been clarified.
4. As previously noted, a rear yard setback variance will be required. We would like to be referred to the Zoning Board of Appeals (ZBA) for their September meeting.
5. The existing tree buffer has been included with the drawings, as well as additional plantings to screen the lot from the neighboring residential properties.
6. The proposed locations of storage containers and vehicle loading zones are shown on the plans.
7. Though there is a NYSDEC wetland on the adjacent lot to the west, there is no proposed disturbance within the adjacent area of the wetland.

In response to the comments provided by Patrick Cleary of Cleary Consulting, dated July 15, 2020, we offer the following:

Property Merger

1. All existing and proposed easements have been shown on the plans. There is an existing Drainage Easement on tax map number 86.5-1-23 per Filed Map 1377. An access easement is proposed on the adjacent lot to the east, tax map number 86.5-1-23, which would permit the lessee of storage space on the proposed combined lot to access the site by way of the driveway on the adjacent lot.

3 Garrett Place, Carmel, New York 10512 (845) 225-9690 Fax (845) 225-9717
www.insite-eng.com

2. All items to be extinguished or modified have been identified on the plans.
3. A note has been added indicating that the properties must be merged prior to the signing of the site plan.

Site Plan Review

1. Proposed Use

- (1) The description of the zoning, and storage as a permissible use is accurate.
- (2) The subject property is in the C-Commercial zone, so the residence on the property is nonconforming. The removal of the residential building will eliminate this now nonconforming use.
- (3) The type of storage will be private, under the control of the operating moving and storage company. The building will not be open to the public, though some customers will have controlled access to the building.
- (4) The truck scale is still in use. Some of the fees charged to customers of the site lessee, Liffey Van Lines (Liffey), are tied to weight. Trucks requiring weighing access the site by way of the gated entrance before the scale.

2. Dimensional Compliance

- (1) The provided bulk table reflects the required provisions as applied to the parcels having been merged as proposed.
- (2) The front yard setback has been corrected.
- (3) A rear yard variance is required for the existing 12,012 SF building in the southern end of the property. We would like to be referred to the Zoning Board of Appeals (ZBA) for their September meeting.

3. Site Access & Circulation:

- (1) The description of the existing and proposed driveways is accurate.
- (2) Sight distance has been further analyzed and the distances on the plan have been revised. The distance to the west requires some selective clearing of shrub and vine vegetation on and around the chain link fence in that area. Sight distance to the east is based on cutting the existing grade in front of the existing residence, per the Grading Plan on sheet SP-2.
- (3) Liffey has their office on the adjacent property to the east, but will continue to be a lessee of space on the subject property. A proposed access easement through the adjacent property has been indicated on the plan.
- (4) A Vehicle Maneuvering Plan has been included on sheet SP-4. The plans indicate several maneuvers of a standard WB-62 tractor trailer through the site.
- (5) Additional doors have been added to the building as the design has advanced. Updated Architectural plans have been provided.

4. Off-Street Parking

- (1) The description of the total proposed square footage of storage space is accurate.
- (2) The total number of required parking spaces for this use, based on our interpretation of the code is 78. The revised site plan now provides 78.
- (3) Truck loading spaces and container storage areas have been depicted in the plan.

5. Site Grading

- (1) Top and bottom of wall elevations have been provided.

- (2) The drainage pattern of the site will remain generally unchanged. Infiltration systems are envisioned to accommodate runoff from the proposed buildings, and to address NYSDEC Stormwater redevelopment requirements.
- (3) The proposed driveway has a running slope of below 4% for the first 40'+- and then a slope of 6.5%+- from there into the site.

6. Utilities

- (1) The proposed 60,000sf building and the relocated building will be used for dry storage, and will not require water or wastewater facilities.
- (2) Schematic electrical and gas underground services have been added to sheet SP-2.
- (3) No new utility poles are proposed. New electrical service will be provided underground.

7. Building Architecture

- (1) The proposed buildings are to match the general appearance and color scheme of the other buildings on the site, beige with red trim.
- (2) The appearance of the proposed building will generally match the existing buildings.
- (3) The reassembled building will maintain its current appearance and will be softened and screened by addition to the existing landscape buffer along the frontage.
- (4) The primary objectives of the proposed site plan is to bring the site into conformance with Town zoning code, and to provide the increased storage capacity sought by the applicant, while organizing and unifying the site in a manner that improves internal operations, as well as the site's appearance from Stillwater Road and adjacent properties.

8. Landscaping

- (1) The landscape buffer has been enlarged and the existing evergreen trees along the frontage have been added to the plan.
- (2) The white pines have been removed from the plan.
- (3) The landscape buffer has been enlarged and the existing evergreen trees along the frontage have been added to the plan.
- (4) Additional plantings have been added to supplement the existing vegetation.

9. NYSDEC Wetland

- (1) There is no proposed disturbance within the Adjacent Area of NYSDEC Wetland ML-10.

10. Site Lighting

- (1) Photometrics have been added to the Lighting Plan on SP-4. All lighting is downward facing and night-sky compliant.
- (2) The lighting shown on the plans will only operate during regular business hours as needed. After hours, the lights will run on a motion sensor for security purposes.
- (3) The lighting shown on the plans will only operate during regular business hours as needed. After hours, the lights will run on a motion sensor for security purposes.

11. Signage

- (1) No new site signage is proposed.

12. Refuse & Recycling

- (1) A proposed refuse enclosure has been added to the plans.

SEQRA Review

The Planning Board has declared itself lead agency under SEQRA. For clarity, there is no proposed disturbance into the NYSDEC Wetland Adjacent Area, so no NYSDEC permitting will be required.

Based on the relatively small amount of total disturbance, general conformity of the site plan to Town Zoning Code, with the exception of one required area variance, and a clear path to permitting, it would appear that the determination of a Negative Declaration of environmental significance would be appropriate.

In regard to the comments provided by Richard Franzetti, P.E., dated July 13, 2020, we offer the following:

General Comments

1. We acknowledge the potential for referrals to other agencies. However, as there are no proposed water or wastewater connections for the proposed action, no referral to Putnam County Department of Health will be required. It is also unclear as to whether a referral to the Environmental Conservation Board (ECB) will be required as there is no proposed disturbance within a wetland buffer.
2. We acknowledge the requirement of a Town of Carmel Highway Driveway Permit and the requirement for coverage under NYSDEC General Permit GP-0-20-001. However, NYCDEP and ECB permits will not be required as there is no disturbance proposed within the Wetland Adjacent Area.
3. The project will require coverage under the NYSDEC General Permit GP-0-20-0001. A SWPPP will be provided with a future submission.
4. The proposed grading and limit of disturbance for the site has been refined.
5. A Vehicle Maneuvering Plan has been included on sheet SP-4.
 - a. The plan indicates how a typical WB-62 truck will maneuver through the site.
 - b. A turning radius diagram is provided for the WB-62 on sheet SP-4.
 - c. Sight distance has been further analyzed and the distances on the plan have been revised. The distance to the west requires some selective clearing of shrub and vine vegetation on and around the chain link fence on the adjacent property. Sight distance to the east is based on cutting the existing grade in front of the existing residence, per the Grading Plan.
 - d. The proposed driveway has a running slope of below 4% for the first 40'+- and then a slope of 6.5%+- from there into the site.
6. A lighting plan with photometrics has been provided on sheet SP-4.
7. All existing and proposed easements have been provided on the plans. There is an existing Drainage Easement on tax map number 86.5-1-23 per Filed Map 1377. An access easement is proposed on the adjacent lot to the east, tax map number 86.5-1-23, which would permit the lessee of storage space on the proposed combined lot to access the site by way of the driveway on the adjacent lot.
8. We acknowledge the potential requirement of a stormwater maintenance agreement with the Town of Carmel.
9. Other than the new driveway, the installation of gas and electrical services, and some modest grading in front of the existing dwelling for improved sight distance, there are no proposed improvements in the public right of way.

Detailed Comments

1. Layout & Landscape Plan Sheet SP-1

- a. A note has been added to the sheet indicating that the Wetland Inspector shall verify all plantings. However, it should be noted once again that there is no proposed disturbance within the wetland buffer/adjacent area.
 - b. The landscape buffer has been enlarged and the existing evergreen trees along the frontage have been added to the plan.
2. Grading and Utilities Plan Sheet SP-2
 - a. Top and bottom of wall elevations have been provided.
 - b. Drainage profiles will be included with a future submission.
3. Erosion and Sediment Control Sheet SP-3
 - a. A SWPPP will be provided with a future submission, which will contain all design parameters.
 - b. A SWPPP will be provided with a future submission, which will contain all design parameters.
 - c. Protection of the infiltration areas will be illustrated in plans in a future submission.
 - d. Planting areas have been included in the limit of disturbance.
4. Details D-1 and D-2
 - a. Notes have been added to the curb and asphalt details that they shall meet the requirements set forth in §128 of the town code. There are no proposed sidewalks on the site.
 - b. A note has been added to the guiderail detail that they shall meet the requirements set forth in §128 of the town code. There are no proposed sidewalks or manholes on the site.
 - c. The asphalt detail has been modified as requested.

Please place the project on the agenda for the August 19, 2020 Planning Board meeting for a discussion with the Board.

Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:



Jeffrey J. Contelmo, PE
Senior Principal Engineer

JJC/adT

Enclosures

Cc: Dan Moloney / 1841 Park Ave Realty Corp
Seamus Burke / Shamrock Building Systems



Stillwater Business Park

Use Summary

105 Stillwater Road, Town of Carmel, New York

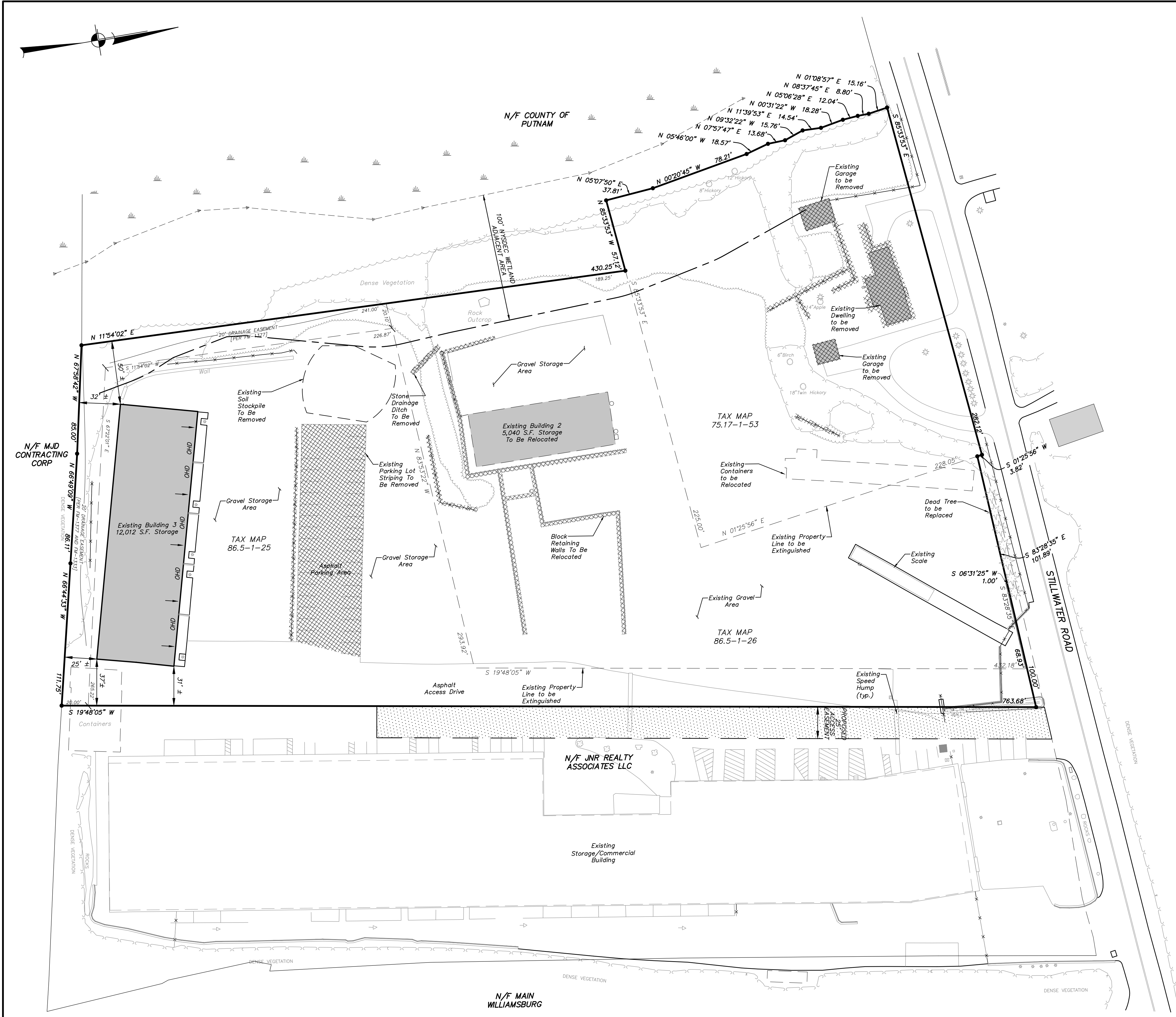
Tax Map #'s 75.17-1-53, 86.5-1-25, & 86.5-1-26

August 7, 2020

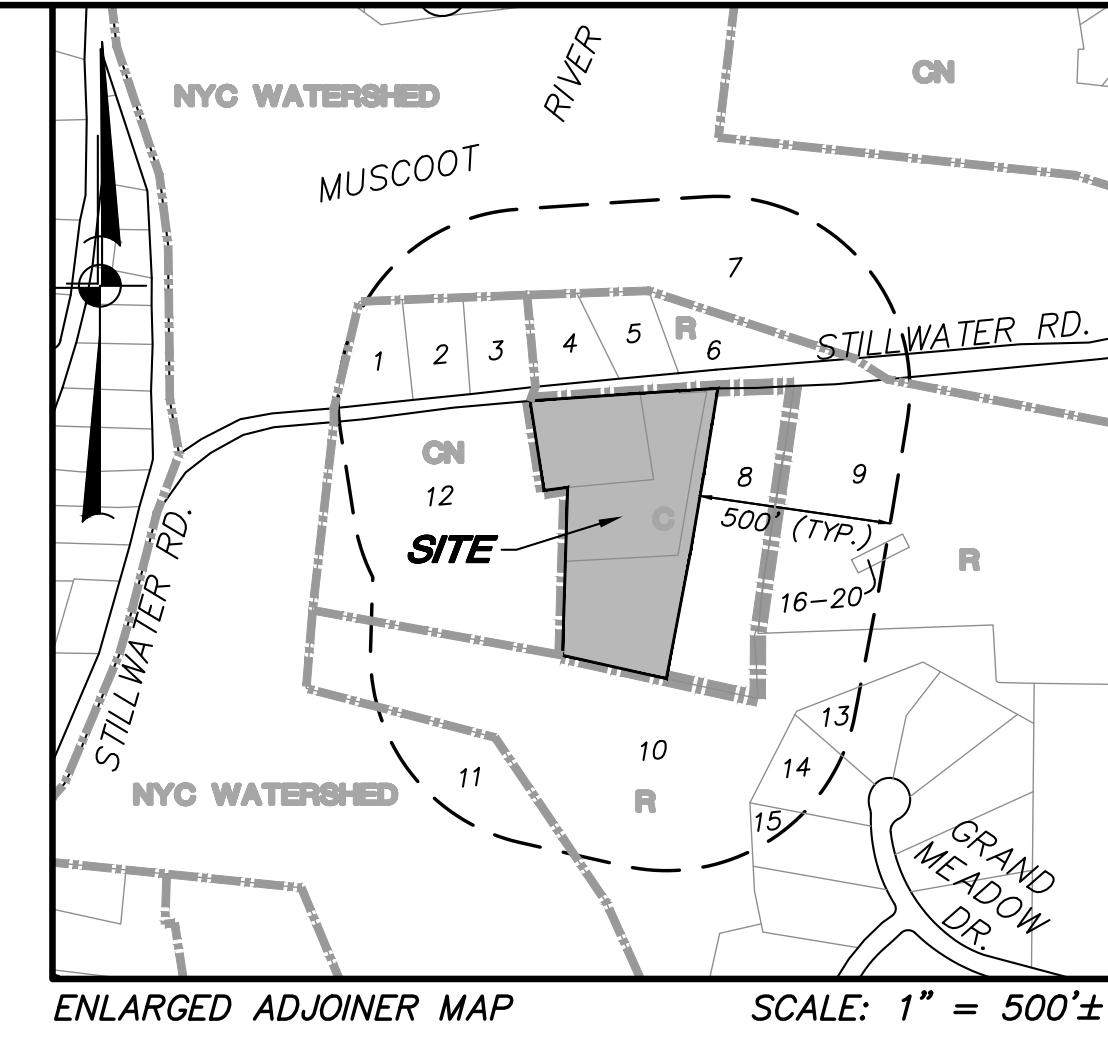
The three subject lots are a combined 5.82 acres. The proposed use is storage, which is a permitted use in the C zone. The storage business will be operated by Liffey Van Lines (Liffey).

The applicant proposes to extinguish the property lines between the three subject lots, and seeks site plan approval to remove an existing dwelling, relocate an existing 5,040 sf storage building, and to construct a new 60,000sf storage building (2 story, 30,000sf per story) on the combined lot. As a result of the proposed action the site would be operated in the following manner:

- The residential building on lot 75.17-1-53, is to be removed, which will eliminate the remaining nonconforming use on the site.
- The subject property will be privately controlled and will not be open to the general public.
- Liffey will continue to lease space on the adjacent property to the east, for their office and primary operations, and will lease the buildings on the subject property for storage.
- No new employees are proposed. Operations will be intermittent and overseen by Liffey employees from the adjacent facility.
- The proposed 60,000sf building and the relocated building will be used for dry storage, and will not require water or wastewater facilities.
- The proposed building and relocated building will require additional electrical and gas services which will be run underground.
- There will be three points of access to the site:
 - The two driveways associated with the existing residence will be eliminated in favor of a widened two-way entrance in the location of the westernmost existing driveway.
 - An access easement is proposed from the adjacent property to the east to accommodate access to Liffey, the subject property's primary lessee.
 - The gated scale entrance will continue to be used as part of Liffey's moving and delivery operations.
- The site as proposed meets all bulk requirements with the exception of a storage building in the southern end of the property, which requires a rear yard setback variance.
- Refuse will continue to be collected from a designated collection area on site.
- No new signage is proposed.



- 500' ADJOINERS:**
1. N/F PETER & MARIE EGAN
 2. N/F MATTHEW R. WANNER
 3. N/F ROBERT C. BOHLMANN
 4. N/F MARIE FARISELLI
 5. N/F DEBRA GIAMPIA
 6. N/F COUNTY OF PUTNAM
 7. N/F CITY OF NEW YORK
 8. N/F AKASS STILLWATER AUTO BODY
 9. N/F MAIN WILLIAMSBURG
 10. N/F MJD CONTRACTING CORP.
 11. N/F CITY OF NEW YORK
 12. N/F COUNTY OF PUTNAM
 13. N/F THOMAS J. FORGIONE
 14. N/F MICHAEL FERRARA
 15. N/F JOSEPH LEONE
 16. N/F MATTHEW G. CASCIOLI
 17. N/F SALVATORE RUSSO
 18. N/F ANDREA BERNARDI
 19. N/F LAURA HULL
 20. N/F JULIANNE VAUPEN



OWNER/APPLICANT: TM: 75.17-1-53 Topcat Realty
TM: 86.5-1-25 1841 Park Ave. Realty Corp.
TM: 86.5-1-26 1841 Park Ave. Realty Corp.

SITE DATA: Zone: C — COMMERCIAL
Total Acreage: 5.82 AC

- GENERAL NOTES:**
1. Property line as shown hereon are based on survey prepared by Insite Engineering, Surveying & Landscape Architecture, P.C.
 2. Topographic information and contours shown hereon are based on aerial mapping by Geomaps International, dated July 20, 2018.
 3. Updated existing conditions based on field visits performed by Insite Engineering, Surveying & Landscape Architecture, P.C.
 4. Wetland flag locations shown hereon flagged by NYSDEC on July 2020 and survey located by Insite Engineering, Surveying & Landscape Architecture, P.C.
 5. The proposed number of employees, general operation and types of machinery on site are to remain as existing.
 6. The lots must be merged as shown prior to the Planning Board's signing of the site plans.

LEGEND	
	EXISTING PROPERTY LINE
	EXISTING LOT LINE TO BE EXTINGUISHED
	EXISTING WALL
	EXISTING EDGE OF PAVEMENT
	EXISTING FENCE
	EXISTING WETLAND FLAG AND BOUNDARY
	EXISTING WETLAND BUFFER
	EXISTING HEDGE ROW
	EXISTING EVERGREEN TREE
	EXISTING DECIDUOUS TREE
	EXISTING ITEM TO BE REMOVED

LIST OF DRAWINGS		
DRAWING NO.	DRAWING NAME	SHEET
EX-1	EXISTING CONDITIONS & REMOVALS PLAN	1
SP-1	LAYOUT & LANDSCAPE PLAN	2
SP-2	GRADING & UTILITIES PLAN	3
SP-3	EROSION & SEDIMENT CONTROL PLAN	4
SP-4	LIGHTING & LANDSCAPE PLAN	5
D-1	DETAILS	6
D-2	DETAILS	7

NO.	DATE	REVISION	REVISOR	E.R.A.
1	8-7-20	REVISED PER PLANNING BOARD COMMENTS		BY

ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

3 Garrett Place
Carmel, NY 10512
(845) 225-9690
(845) 225-9717 fax
www.insite-eng.com

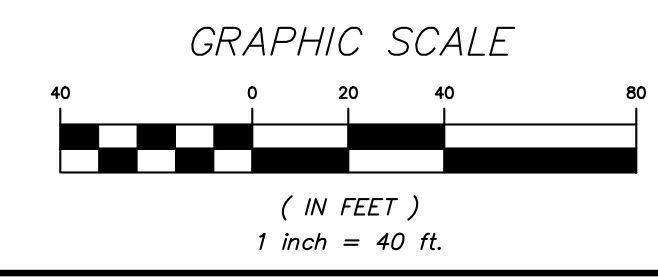
PROJECT:
STILLWATER BUSINESS PARK

STILLWATER ROAD, TOWN OF CARMEL, COUNTY OF PUTNAM, NEW YORK

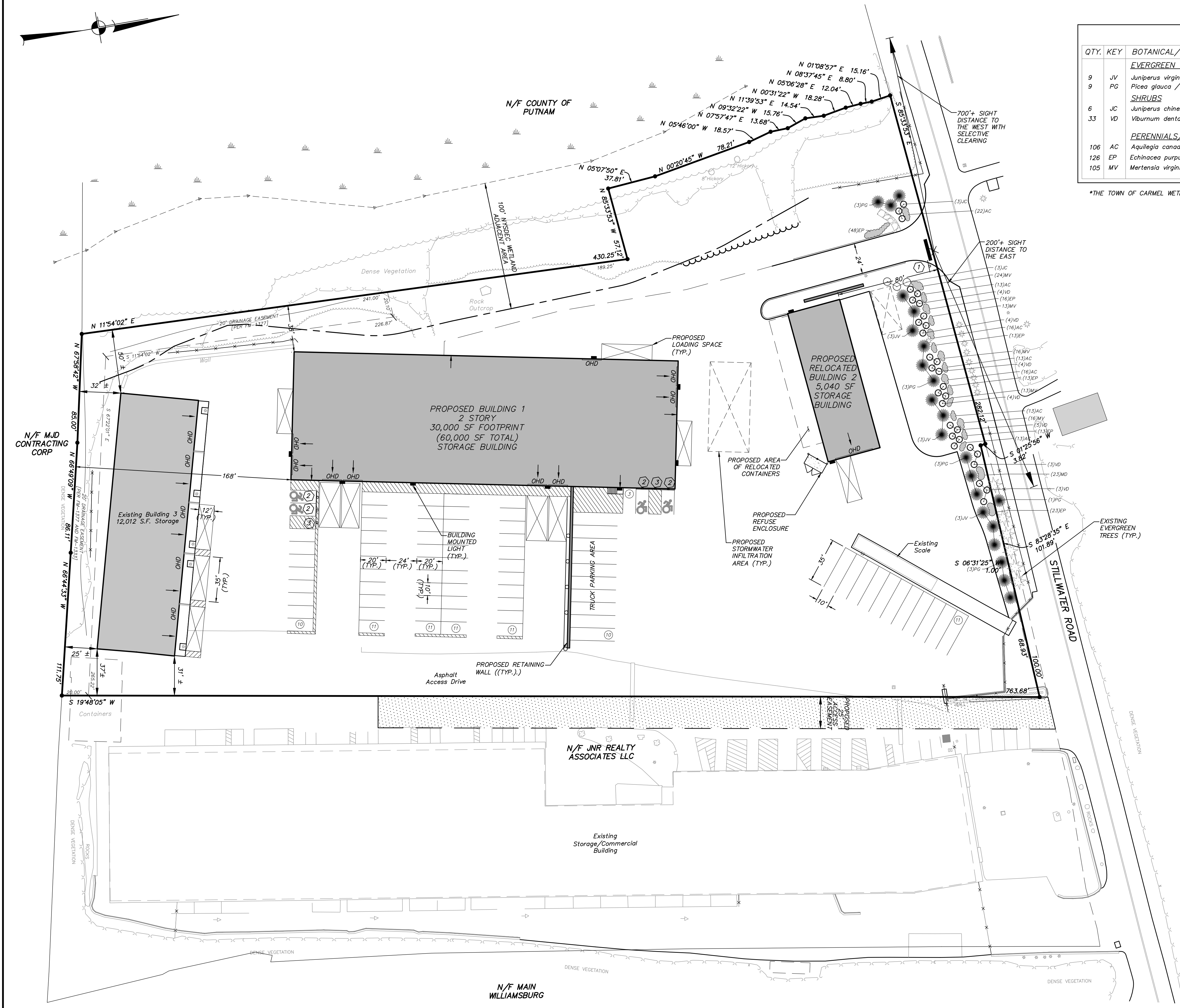
DRAWING:
EXISTING CONDITIONS PLAN

PROJECT NUMBER	18189.100	PROJECT MANAGER	J.J.C.	DRAWING NO.	EX-1	SHEET	1
DATE	6-26-20	DRAWN BY	C.B.Z.				7
SCALE	1" = 40'	CHECKED BY	A.D.T.				

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.



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PLANT LIST				
QTY.	KEY	BOTANICAL/COMMON NAME	SIZE	ROOT
EVERGREEN TREES				
9	JV	Juniperus virginia / Eastern Redcedar	8'-10' HT.	B&B
9	PG	Picea glauca / White Spruce	8'-10' HT.	B&B
SHRUBS				
6	JC	Juniperus chinensis "Sea Green" / Sea Green Juniper		#3 CONT./6" O.C.
33	VD	Viburnum dentatum / Leatherleaf Viburnum		#3 CONT./6" O.C.
PERENNIALS/GROUND COVERS				
106	AC	Aquilegia canadensis / Columbine		#1 CONT./18" O.C.
126	EP	Echinacea purpurea / Purple Coneflower		#1 CONT./18" O.C.
105	MV	Mertensia virginica / Virginia Bluebells		#1 CONT./18" O.C.

*THE TOWN OF CARMEL WETLAND INSPECTOR TO APPROVE ALL PLANTINGS

PARKING SUMMARY	
REQUIRED:	
WHOLESALE, WAREHOUSE, STORAGE, HEAVY COMMERCIAL ESTABLISHMENTS	
77,042 S.F. @ 1 SPACE/1,000 S.F.	= 78 REQUIRED
TOTAL PARKING SPACES PROVIDED	= 78
77,042 S.F. @ 1 LOADING SPACE FOR 1st 10,000sf	= 5 REQUIRED
1 ADDL. FOR EACH ADDL. 20,000SF	
TOTAL LOADING SPACE PROVIDED	= 11

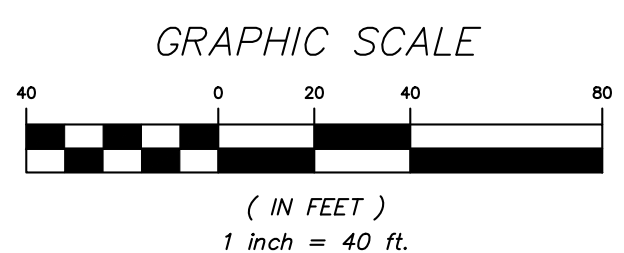
SIGN DATA TABLE				
NO.	TEXT	M.U.T.C.D. NUMBER	SIZE OF SIGN (S.F.)	DESCRIPTION
1	STOP	R1-1C	30" x 30"	White on Red
2	RESERVED PARKING	NY R7-B*	12" x 18"	Green on White
	VEH. ACCESSIBLE	R7-8P	12" x 6"	Green on White
3	NO PARKING ANY TIME	R7-1	12" x 18"	Red on White

LEGEND	
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	EXISTING WALL
	EXISTING EDGE OF PAVEMENT
	EXISTING FENCE
	EXISTING WETLAND FLAG AND BOUNDARY
	EXISTING WETLAND BUFFER
	EXISTING HEDGE ROW
	EXISTING EVERGREEN TREE
	EXISTING DECIDUOUS TREE
	PROPOSED CONCRETE CURB
	PROPOSED RETAINING WALL
	PROPOSED GUIDE RAIL
	PROPOSED EDGE OF SIDEWALK
	PROPOSED STRIPED ISLAND
	PROPOSED LANDSCAPING
	PROPOSED BUILDING MOUNTED LIGHT
	PROPOSED PAINTED STOPBAR
	PROPOSED SINGLE POLE SIGN

PROPOSED C ZONE REQUIREMENTS:		
	REQUIRED	PROPOSED COMBINED LOTS
Minimum Lot Area:	40,000 sf	253,084 sf ±
Minimum Lot Depth:	200'	704' ±
Minimum Lot Width:	200'	330' ±
Minimum Road Frontage:	100'	484'
Minimum Principal Building Setbacks:		
Front Yard:	40'	80' ±
Side Yard:	25'	31' ±
Rear Yard:	30'	25' ±*
Maximum Building Height:	35'	Less Than 35'
Minimum Building Floor Area:	5,000 sf	77,042 sf
Maximum Lot Building Coverage:	30%	18.6% ±

* Variance required

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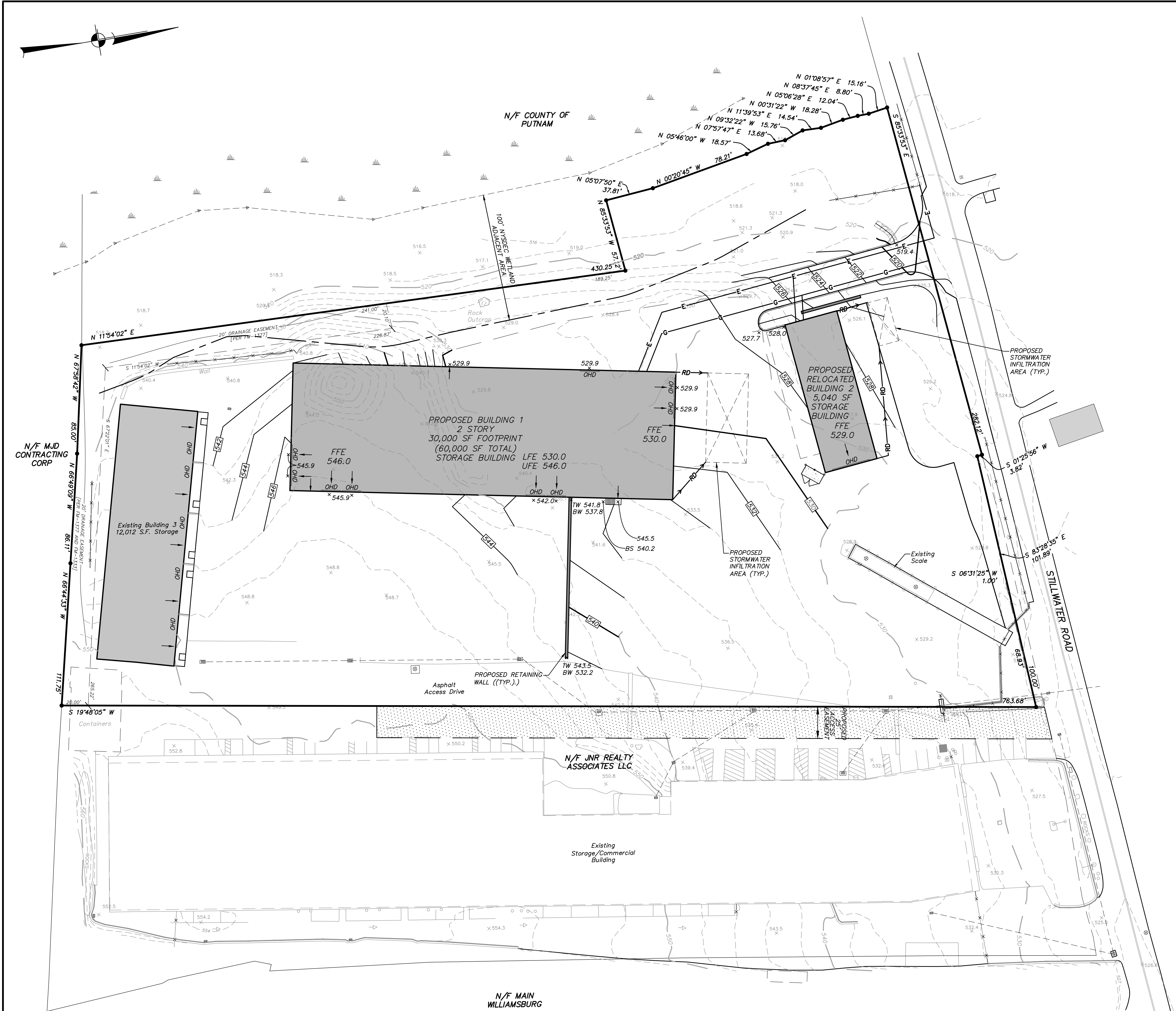
1	8-7-20	REVISED PER PLANNING BOARD COMMENTS	E.R.A.
NO.	DATE	REVISION	BY

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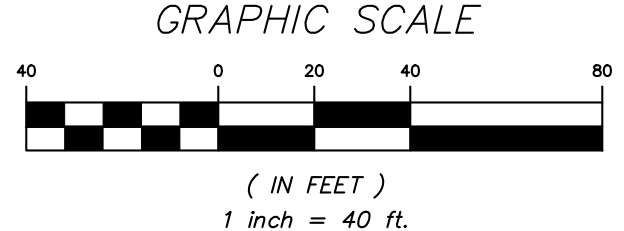
PROJECT: STILLWATER BUSINESS PARK			
STILLWATER ROAD, TOWN OF CARMEL, COUNTY OF PUTNAM, NEW YORK			
DRAWING: LAYOUT AND LANDSCAPE PLAN			
PROJECT NUMBER 18189.100	PROJECT MANAGER J.J.C.	DRAWING NO. SP-1	SHEET 2
DATE 6-26-20	DRAWN BY C.B.Z.	CHECKED BY A.D.T.	7
SCALE 1" = 40'			

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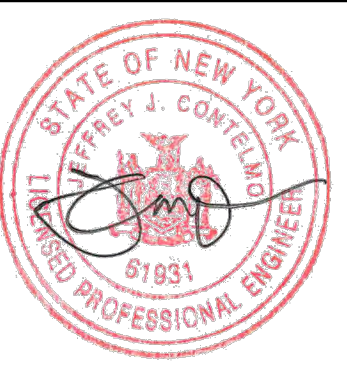


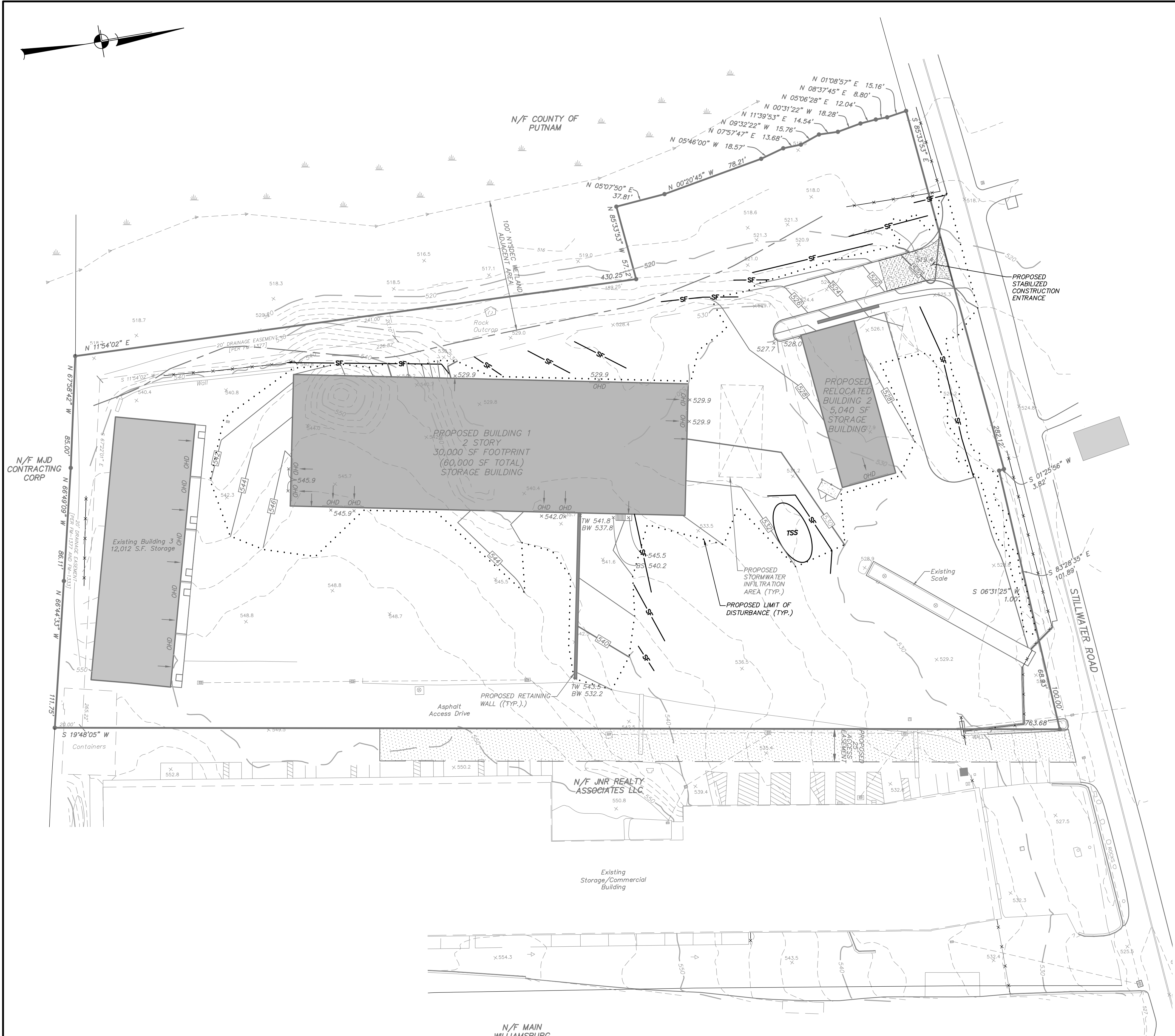
LEGEND	
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	EXISTING WALL
	EXISTING EDGE OF PAVEMENT
	EXISTING FENCE
	EXISTING WETLAND FLAG AND BOUNDARY
	EXISTING WETLAND BUFFER
	EXISTING DRAINAGE INLET
	EXISTING DRAINAGE PIPE
	PROPOSED CONCRETE CURB
	PROPOSED RETAINING WALL
	PROPOSED EDGE OF SIDEWALK
	PROPOSED ROOF DRAIN
	PROPOSED 10' CONTOUR
	PROPOSED 2' CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED TOP OF CURB & BOTTOM OF CURB ELEVATIONS
	PROPOSED TOP OF WALL & BOTTOM OF WALL ELEVATIONS
	PROPOSED SEWER MANHOLE
	PROPOSED DRAINAGE MANHOLE
	PROPOSED CATCH BASIN
	PROPOSED UNDERGROUND ELECTRICAL SERVICE
	PROPOSED UNDERGROUND NATURAL GAS SERVICE

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 ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C. 3 Garrett Place Carmel, NY 10512 (845) 225-9690 (845) 225-9717 fax www.insite-eng.com			
PROJECT: STILLWATER BUSINESS PARK STILLWATER ROAD, TOWN OF CARMEL, COUNTY OF PUTNAM, NEW YORK			
DRAWING: GRADING AND DRAINAGE PLAN			
PROJECT NUMBER	18189.100	PROJECT MANAGER	J.J.C.
DATE	6-26-20	DRAWN BY	C.B.Z.
SCALE	1" = 40'	CHECKED BY	A.D.T.
DRAWING NO.	SP-2		SHEET 3
			7





LEGEND	
	EXISTING PROPERTY LINE
	EXISTING LOT LINE TO BE EXTINGUISHED
	EXISTING WALL
	EXISTING EDGE OF PAVEMENT
	EXISTING FENCE
	EXISTING WETLAND FLAG AND BOUNDARY
	EXISTING WETLAND BUFFER
	PROPOSED 10' CONTOUR
	PROPOSED 2' CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED TOP OF CURB & BOTTOM OF CURB ELEVATIONS
	PROPOSED TOP OF WALL & BOTTOM OF WALL ELEVATIONS
	PROPOSED SILT FENCE
	PROPOSED TEMPORARY SOIL STOCKPILE
	PROPOSED STABILIZED CONSTRUCTION ENTRANCE

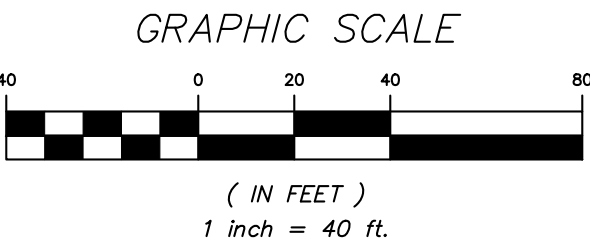
EROSION AND SEDIMENT CONTROL MAINTENANCE SCHEDULE

MONITORING REQUIREMENTS				MAINTENANCE REQUIREMENTS	
PRACTICE	DAILY	WEEKLY	AFTER RAINFALL	DURING CONSTRUCTION	AFTER CONSTRUCTION
SILT FENCE BARRIER	—	Inspect	Inspect	Clean/Replace	Remove
STABILIZED CONSTRUCTION ENTRANCE	Inspect	—	Inspect	Clean/Replace Stone and Fabric	Remove
DUST CONTROL	Inspect	—	Inspect	Mulching/Spraying Water	N/A
*VEGETATIVE ESTABLISHMENT	—	Inspect	Inspect	Water/Reseed/Renulch	Reseed to 80% Coverage
SOIL STOCKPILES	—	Inspect	Inspect	Mulching/Silt Fence Repair	Remove
SWALES	—	Inspect	Inspect	Clean/Mulch/Repair	Mow Permanent Grass/Replace/Repair Rip Rap
ROAD & PAVEMENT	—	Inspect	Inspect	Clean	Clean

* Permanent vegetation is considered stabilized when 80% of the plant density is established. Erosion control measures shall remain in place until all disturbed areas are permanently stabilized.
Note: The party responsible for implementation of the maintenance schedule during and after construction is:
1841 Park Avenue Realty Corp
121 Stillwater Road
Mahopac, NY 10541
and/or the current owner(s) of the subject property.

CONSTRUCTION SEQUENCE:

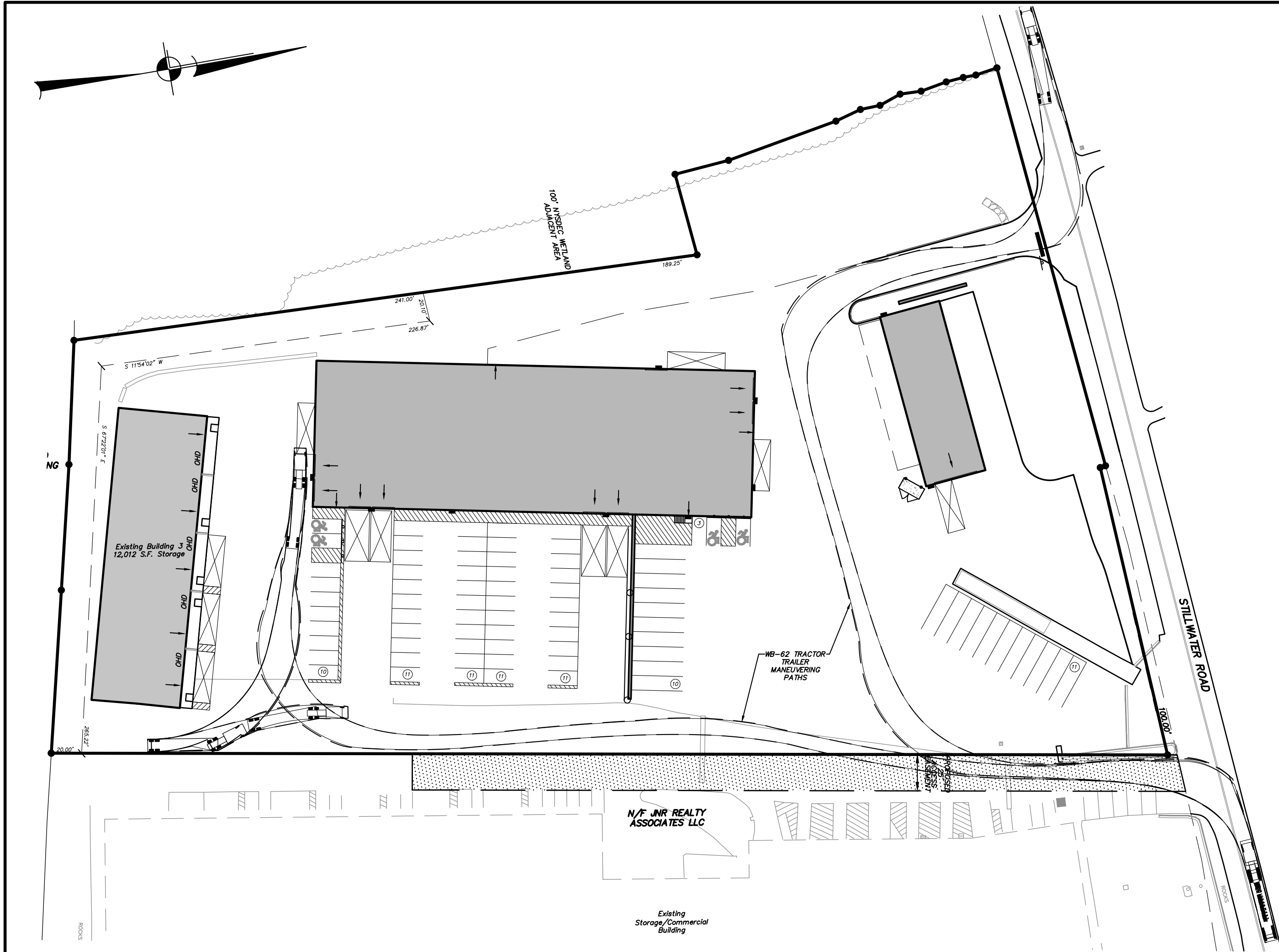
1. Install stabilized construction entrance/anti-tracking pad at driveway entrance.
2. Install silt fence in general locations indicated on the plan.
3. Begin demolition of the existing dwelling and out buildings.
4. Remove demolition debris from the site.
5. Begin excavation for foundations, and surrounding grading for the relocated and new proposed buildings.
6. Disassemble existing 5,040sf storage building.
7. Begin construction of the new proposed storage building and reassembly of the existing structure in its new location.
8. Install infiltration Areas and connect Roof Leader Drains.
9. Upon completion of grading operations, install finished driveway surfaces.
10. Topsoil, seed, and mulch all disturbed areas as soon as practical in accordance with the Erosion and Sediment Control Notes contained on this page.



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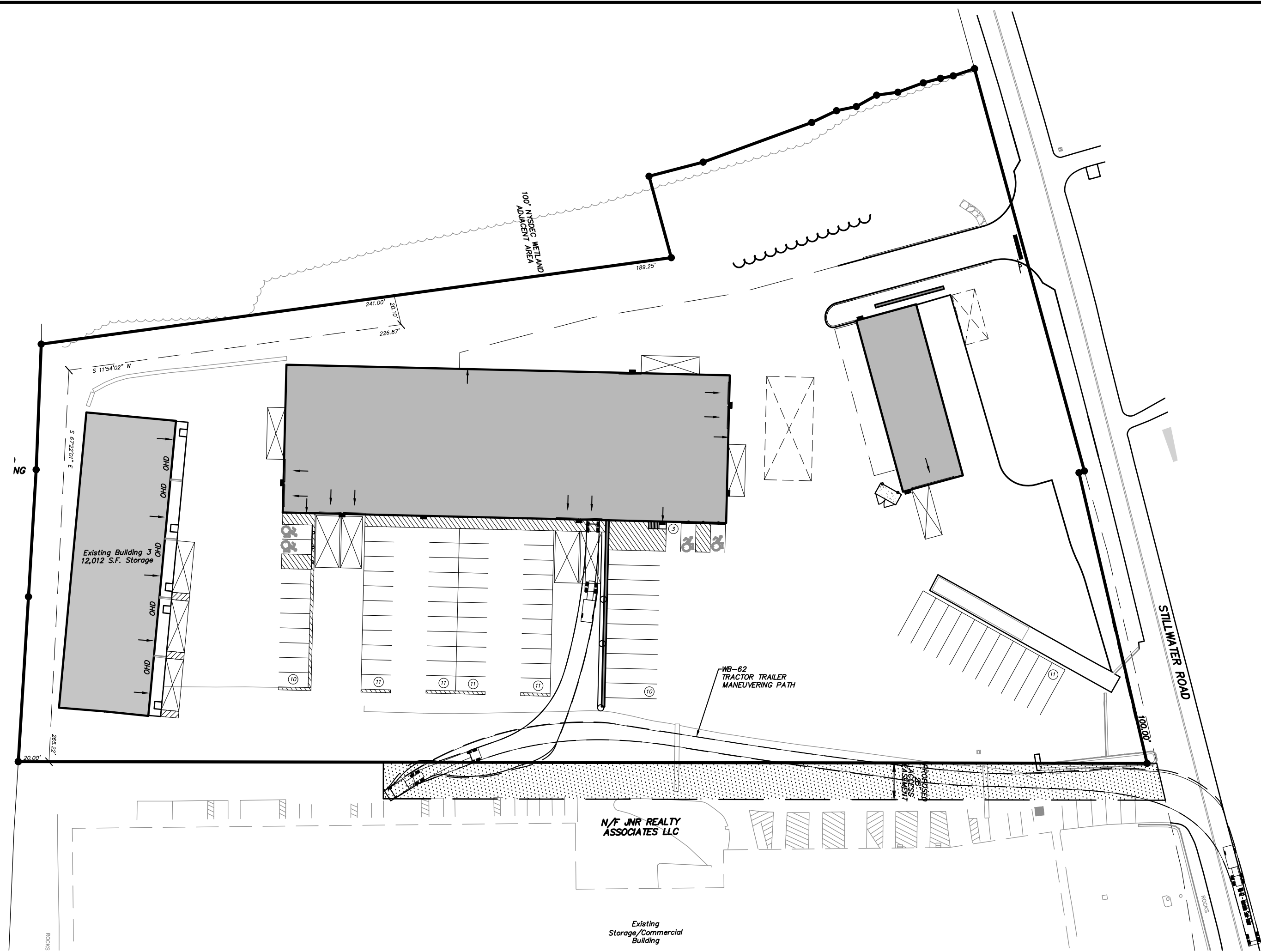
1	8-7-20	REVISED PER PLANNING BOARD COMMENTS	E.R.A.
NO.	DATE	REVISION	BY
 ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C. 3 Garrett Place Carmel, NY 10512 (845) 225-9690 (845) 225-9717 fax www.insite-eng.com			
PROJECT: STILLWATER BUSINESS PARK STILLWATER ROAD, TOWN OF CARMEL, COUNTY OF PUTNAM, NEW YORK			
DRAWING: EROSION AND SEDIMENT CONTROL PLAN			
PROJECT NUMBER	18189.100	PROJECT MANAGER	J.J.C.
DATE	6-26-20	DRAWN BY	C.B.Z.
SCALE	1" = 40'	CHECKED BY	A.D.T.
DRAWING NO.			SHEET
SP-3			4
			7

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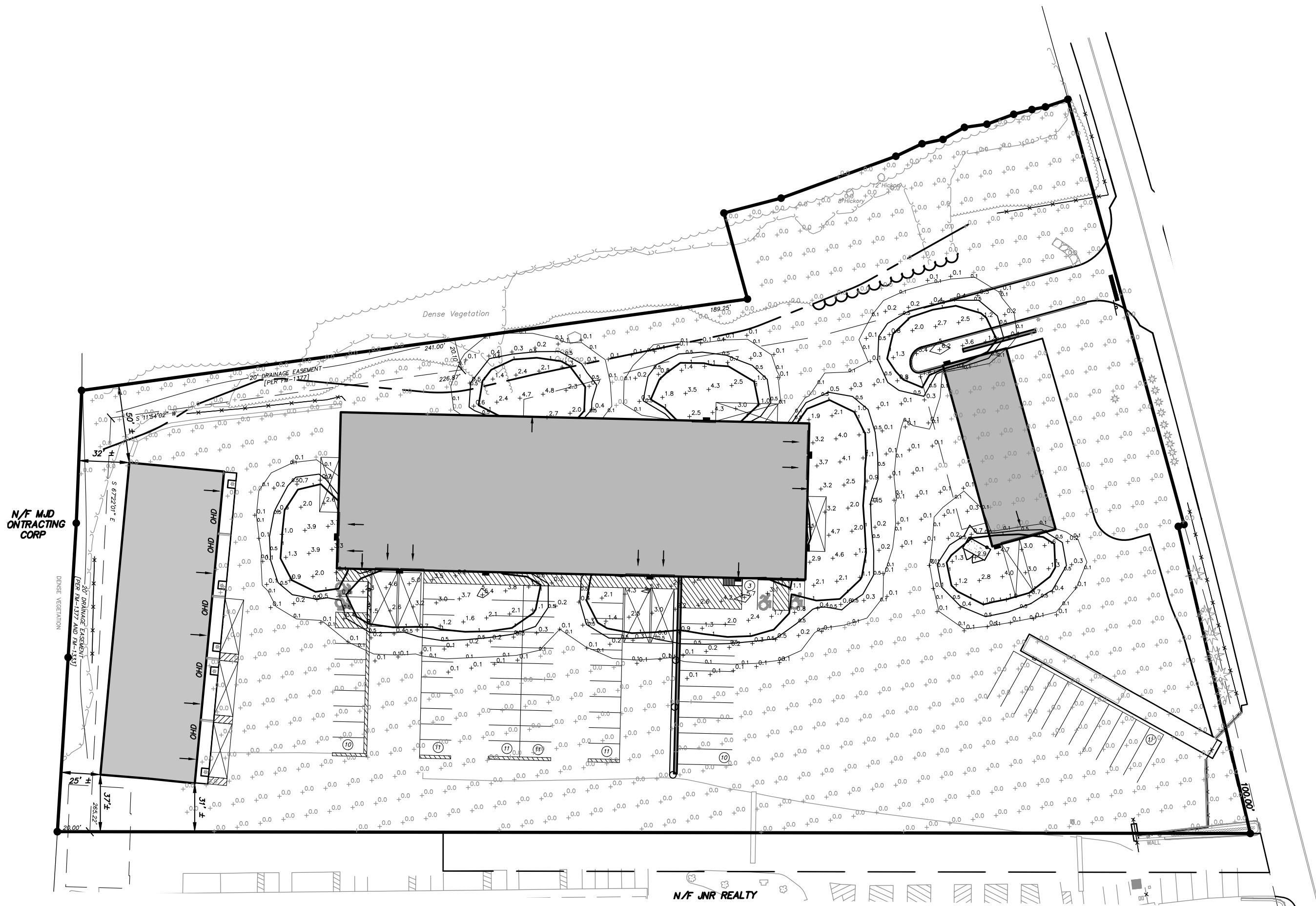
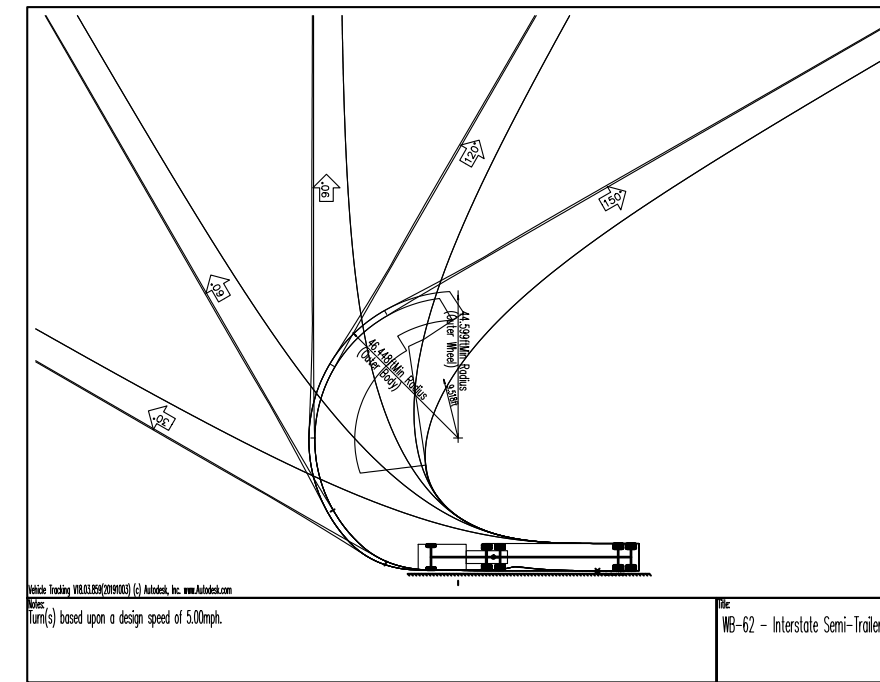
VEHICLE MANEUVERING PLAN WB-62

1" = 60'



VEHICLE MANEUVERING PLAN WB-62

1" = 60'



LIGHTING PLAN

1" = 60'

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LIGHT CONTOUR LEGEND

0.1	0.10 Foot Candles
0.5	0.50 Foot Candles
1	1.00 Foot Candles

* Photometric calculations shown on plan are in foot candles.

LUMINAIRE SCHEDULE

Sym	Qty	Catalog Number	Description	Lamp	Mounting Height	Watts
■	11	ASW1 LED 42C 700 40K SR3 MVOLT	LITHONIA LIGHTING LED WALL LUMINAIRE TYPE 3 DISTRIBUTION	LED	16'-0"	98



ASW1 LED LED Wall Luminaire

AEKI

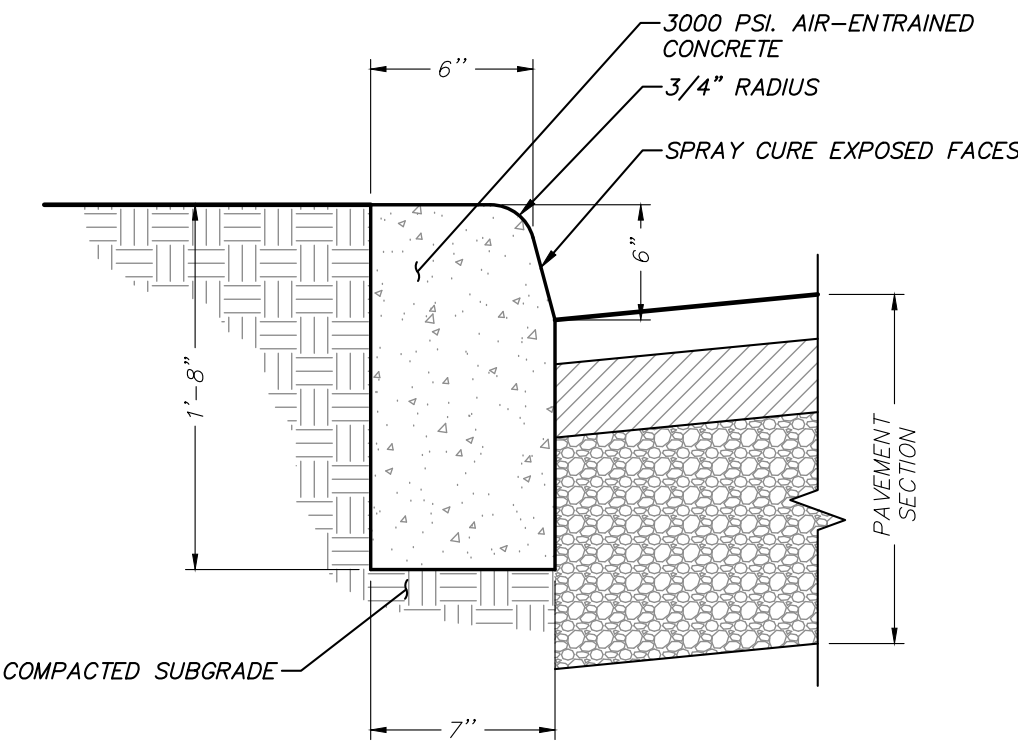
Specifications
Width: 13"
Depth: 13-3/4"
Height: 12-1/2"
Weight (max): 48 lbs

Outgoing Information

Item ID	Qty
42C 700 40K SR3 MVOLT	11

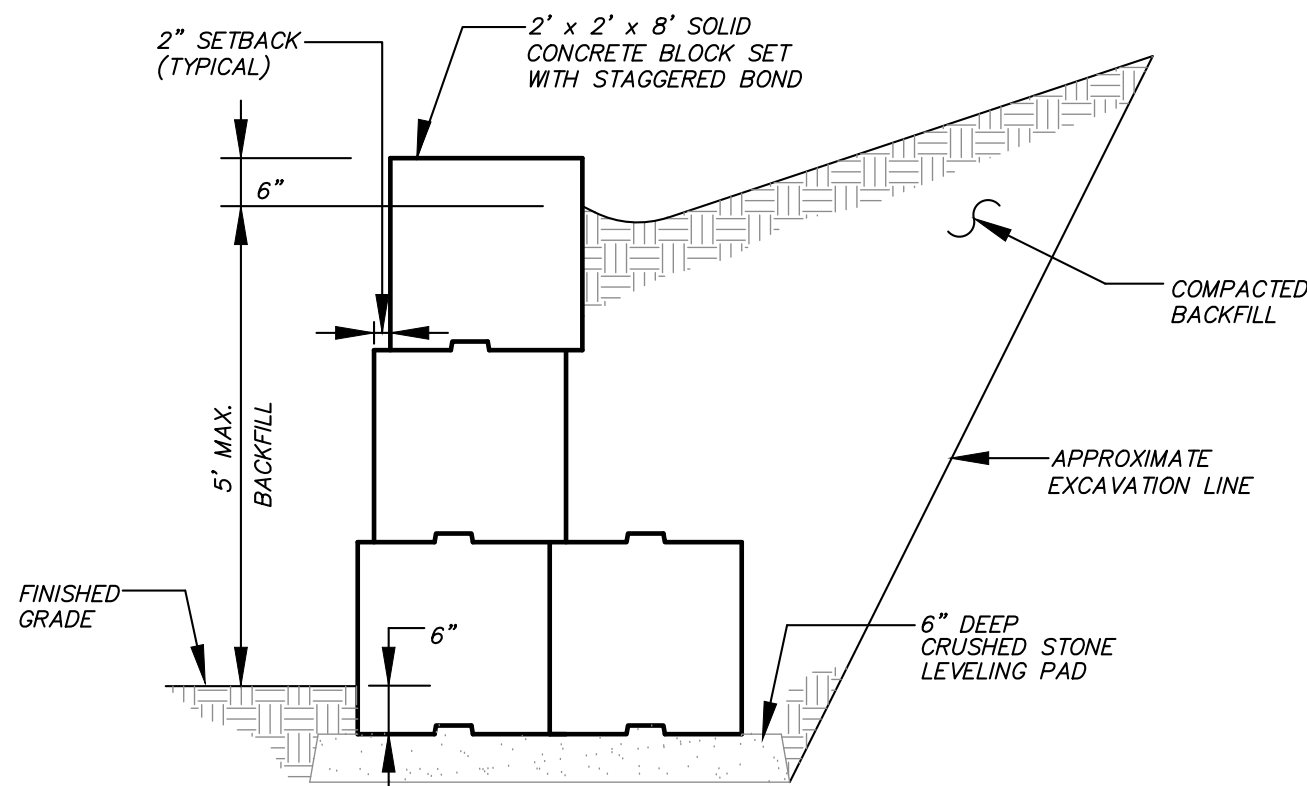
Introduction
The Aerie™ family combines sleek, fluid forms and crisp edges into a striking architectural aesthetic that can be echoed throughout entire sites. The ASW1 LED integrates the latest LED technology with the design aesthetics of the Aerie™ family for stylish, high-performance illumination that lasts. The ASW1 LED is ideal for replacing 100-400W metal halide in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

NO.	DATE	REVISION	BY
 ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.			
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DRAWING: LAYOUT AND LANDSCAPE PLAN			
PROJECT NUMBER	18189.100	PROJECT MANAGER	J.J.C.
DATE	8-7-20	DRAWN BY	A.D.T.
SCALE	AS SHOWN	CHECKED BY	J.C.C.
DRAWING NO.		SHEET	
SP-4		5	

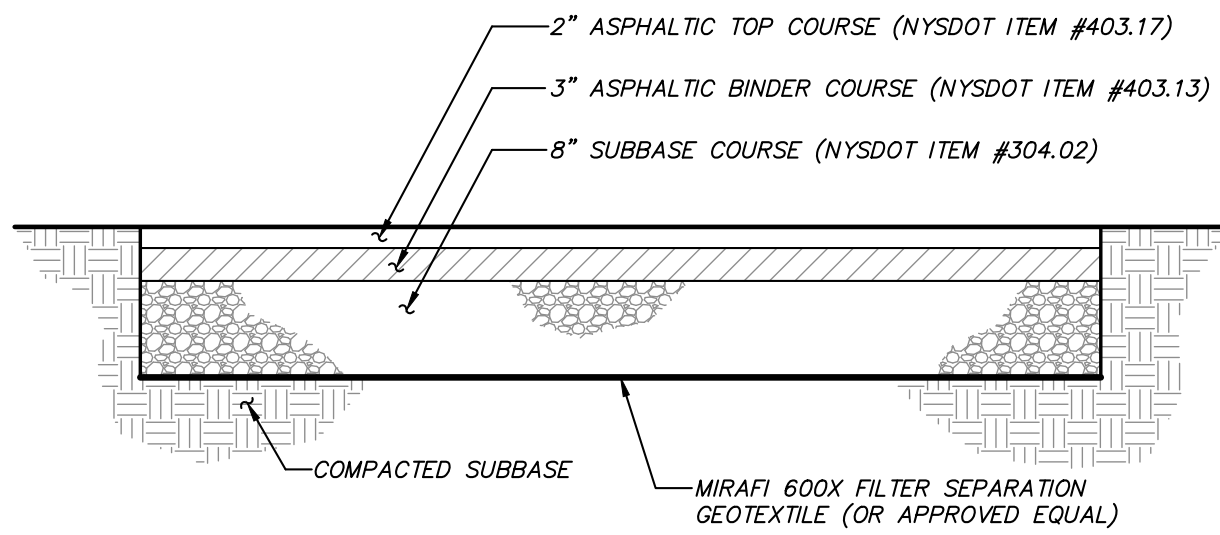


- NOTE:
- ISOLATION JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20'-0" APART AND SHALL BE FILLED WITH CELLULAR COMPRESSION MATERIALS RECESSED 1/4" IN FROM FRONT FACE AND TOP OF CURB.
 - ALL CURBING WILL MEET THE STANDARDS §128 OF THE TOWN OF THE CARMEL CODE.

CONCRETE CURB DETAIL
(N.T.S.)

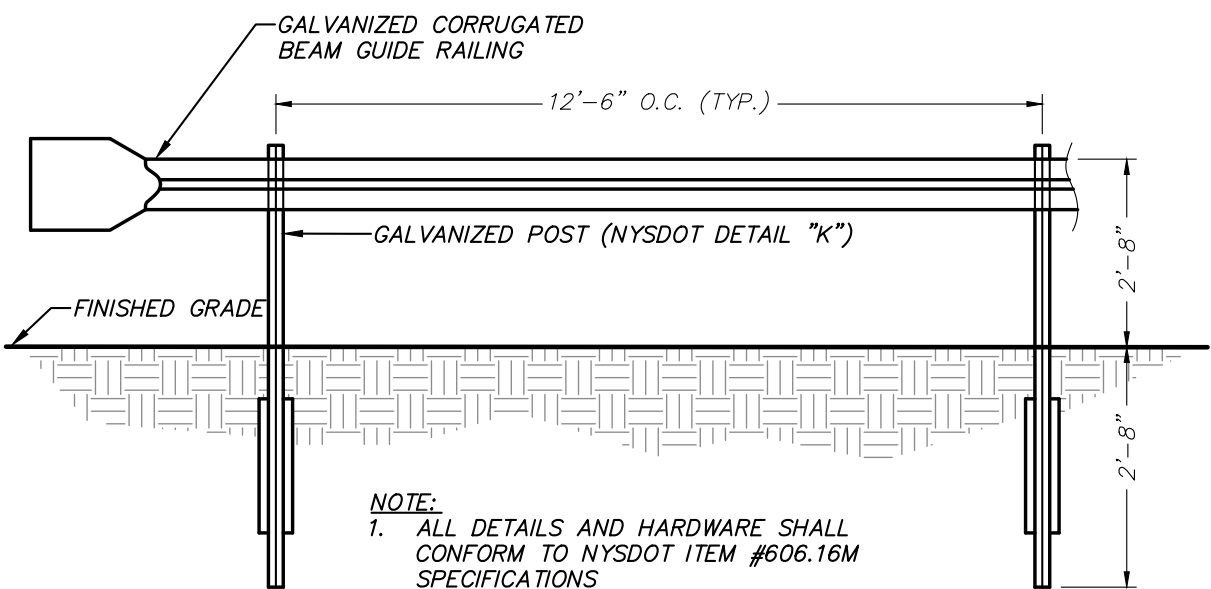


CONCRETE BLOCK WALL DETAIL
(N.T.S.)



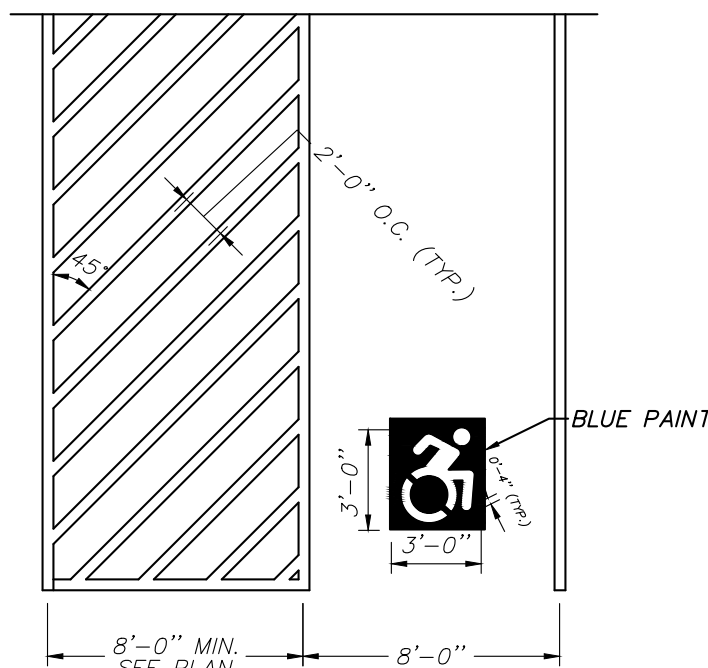
ASPHALT PAVEMENT DETAIL
(N.T.S.)

- NOTE:
- ALL ASPHALT INSTALLATION WILL MEET THE STANDARDS OF § 128 OF THE TOWN OF CARMEL CODE.



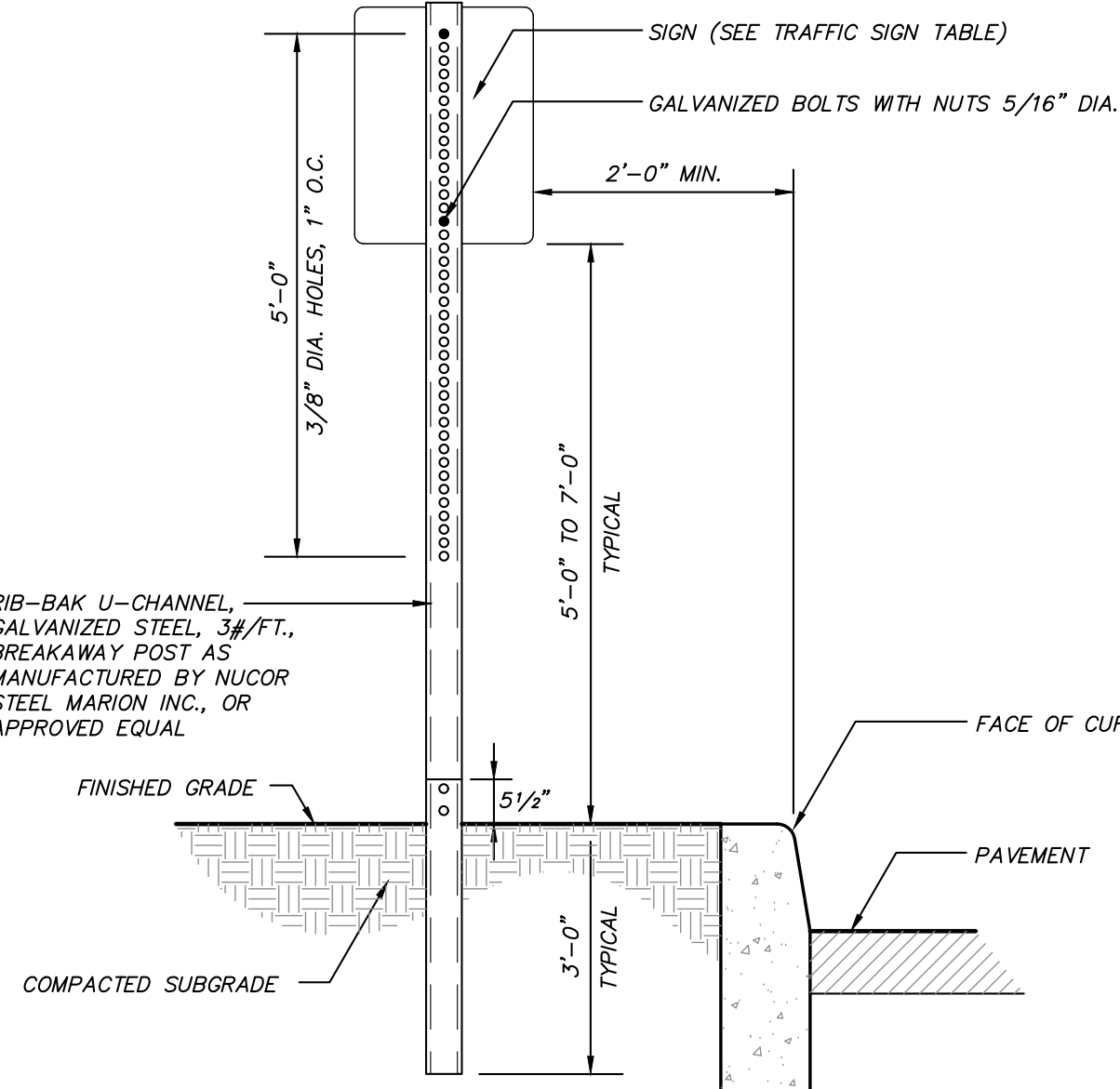
- NOTE:
- ALL DETAILS AND HARDWARE SHALL CONFORM TO NYSDOT ITEM #606.16M SPECIFICATIONS
 - ALL GUIDERAILS WILL MEET THE STANDARD OF §128 OF THE TOWN OF CARMEL CODE

GUIDERAIL DETAIL
(N.T.S.)



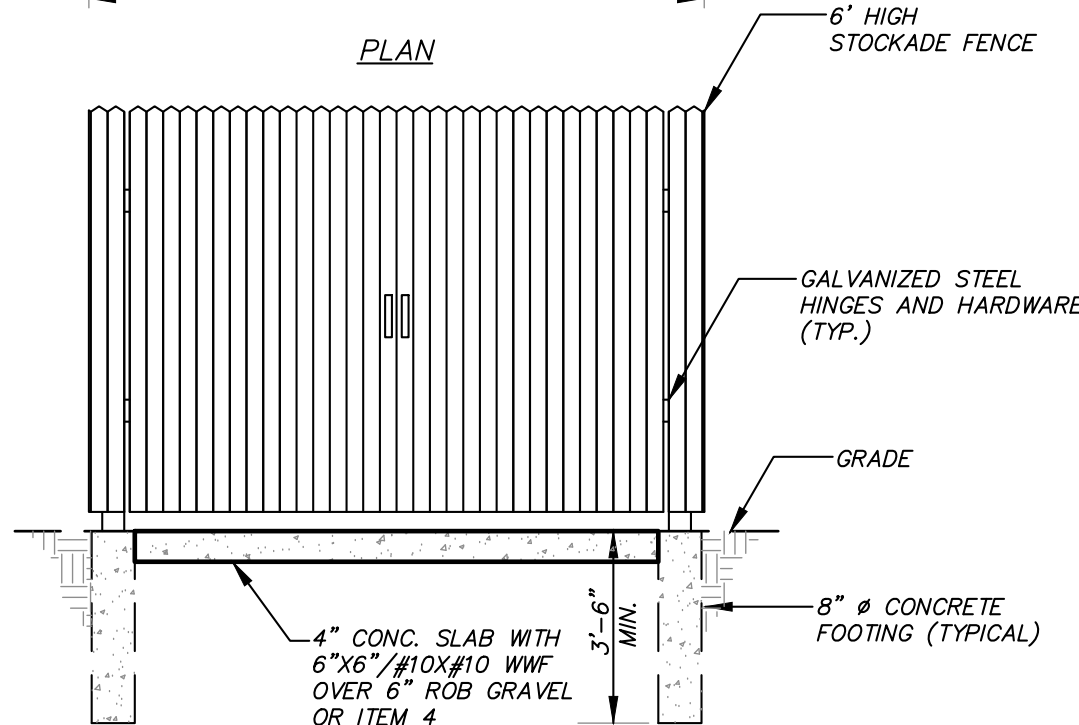
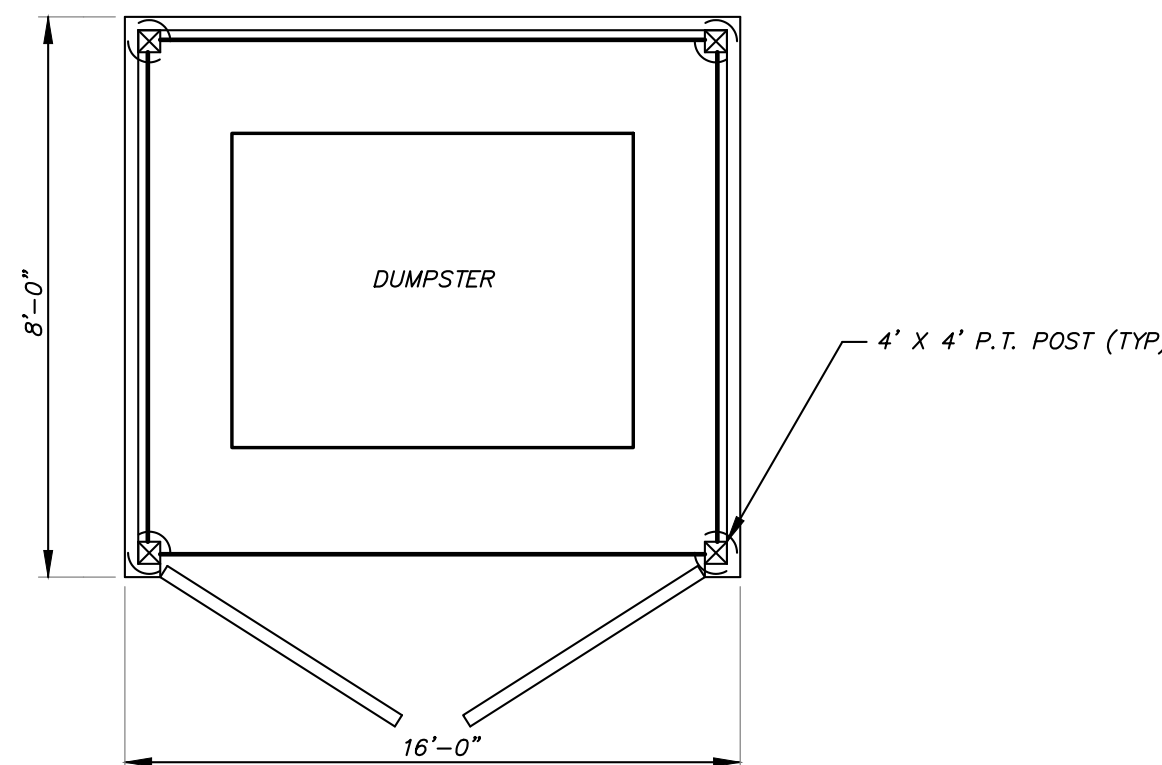
NOTE:
ALL HANDICAP STRIPING SHALL BE 4" WIDE BLUE PAINT.

PAINTED NYS ACCESSIBLE PARKING DETAIL
(N.T.S.)



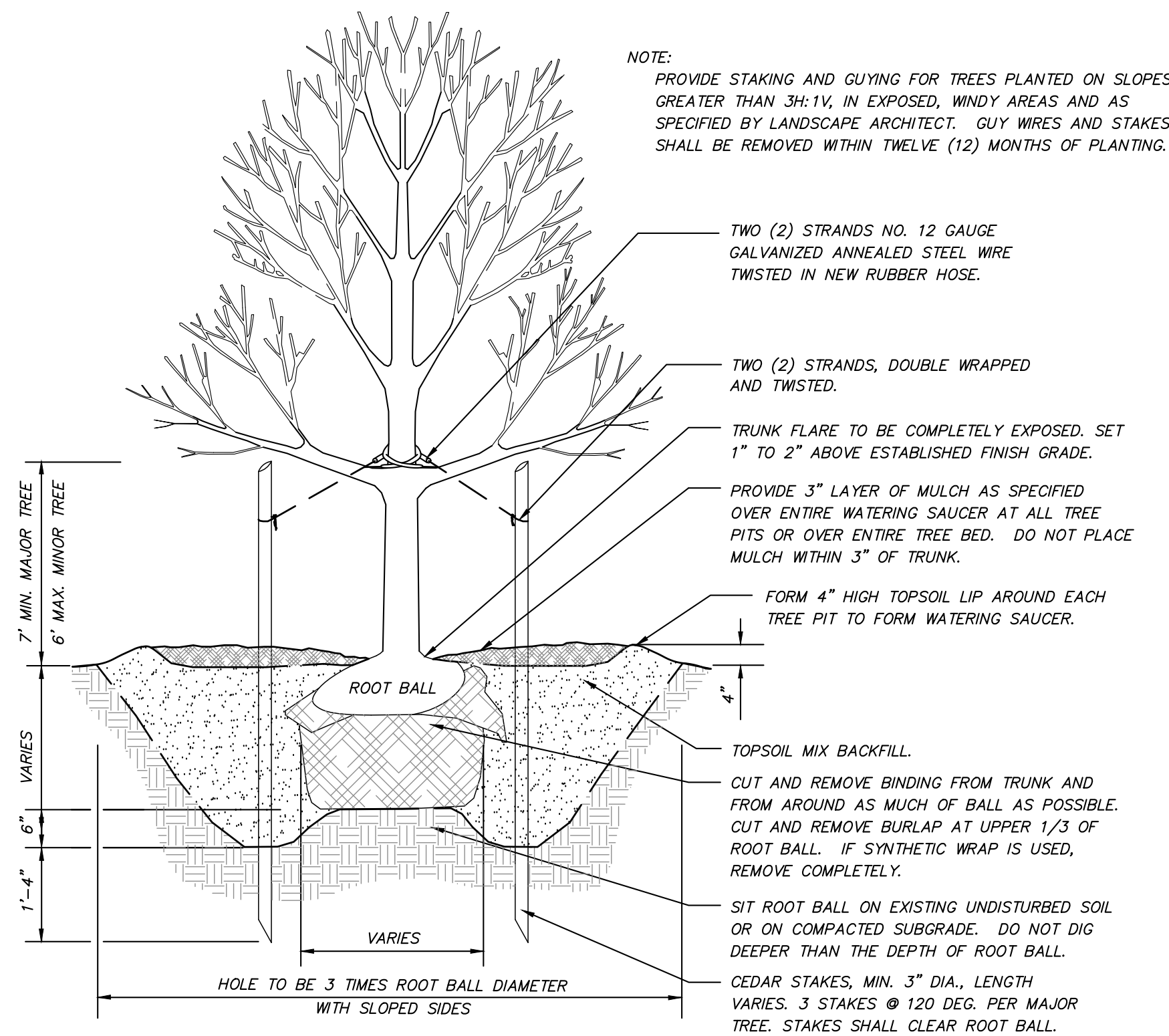
NOTE: FOR HANDICAP PARKING SIGNAGE, SIGNS SHALL BE INSTALLED AT A CLEAR HEIGHT OF BETWEEN 5'-0" AND 7'-0" ABOVE GRADE OF PARKING SPACE AND SUCH THAT SIGNS SHALL NOT BE OBSCURED BY A VEHICLE PARKED IN THE SPACE.

TRAFFIC SIGN DETAIL
(N.T.S.)



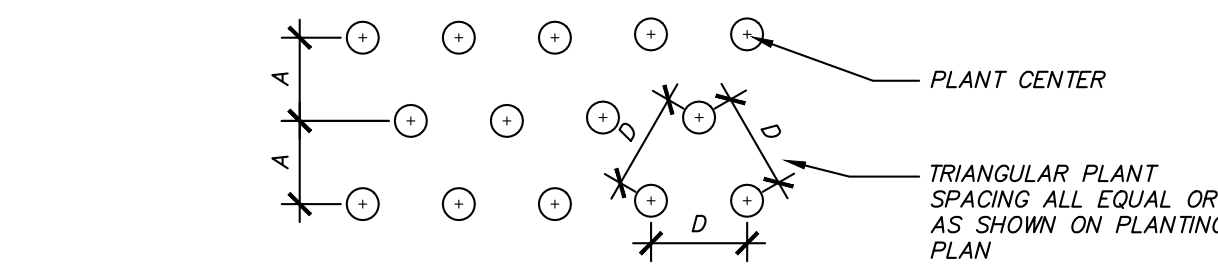
NOTE: CHECK WITH REFUSE HAULER PRIOR TO INSTALLATION OF REFUSE ENCLOSURE FOR DIMENSIONS.

DUMPSTER ENCLOSURE DETAIL
(N.T.S.)



NOTE:
PROVIDE STAKING AND GUYING FOR TREES PLANTED ON SLOPES GREATER THAN 3H:1V, IN EXPOSED, WINDY AREAS AND AS SPECIFIED BY LANDSCAPE ARCHITECT. GUY WIRES AND STAKES SHALL BE REMOVED WITHIN TWELVE (12) MONTHS OF PLANTING.

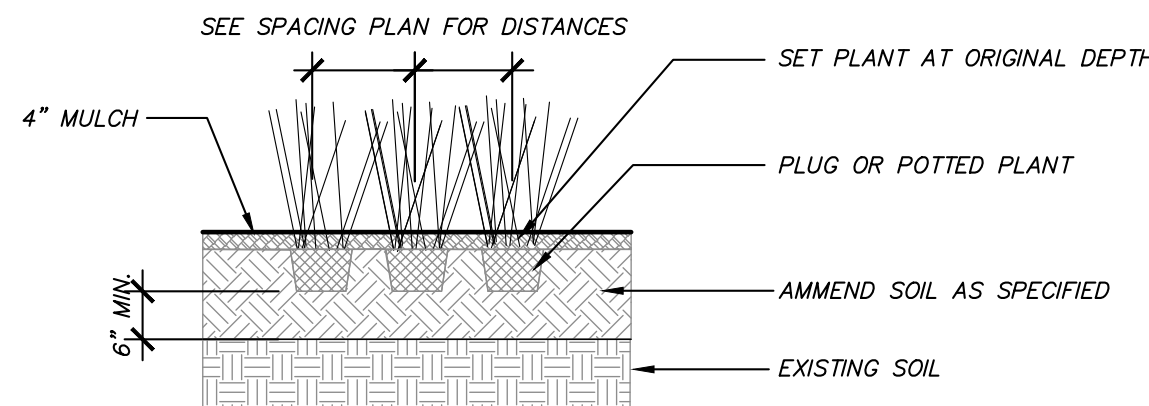
TREE PLANTING DETAIL
(N.T.S.)



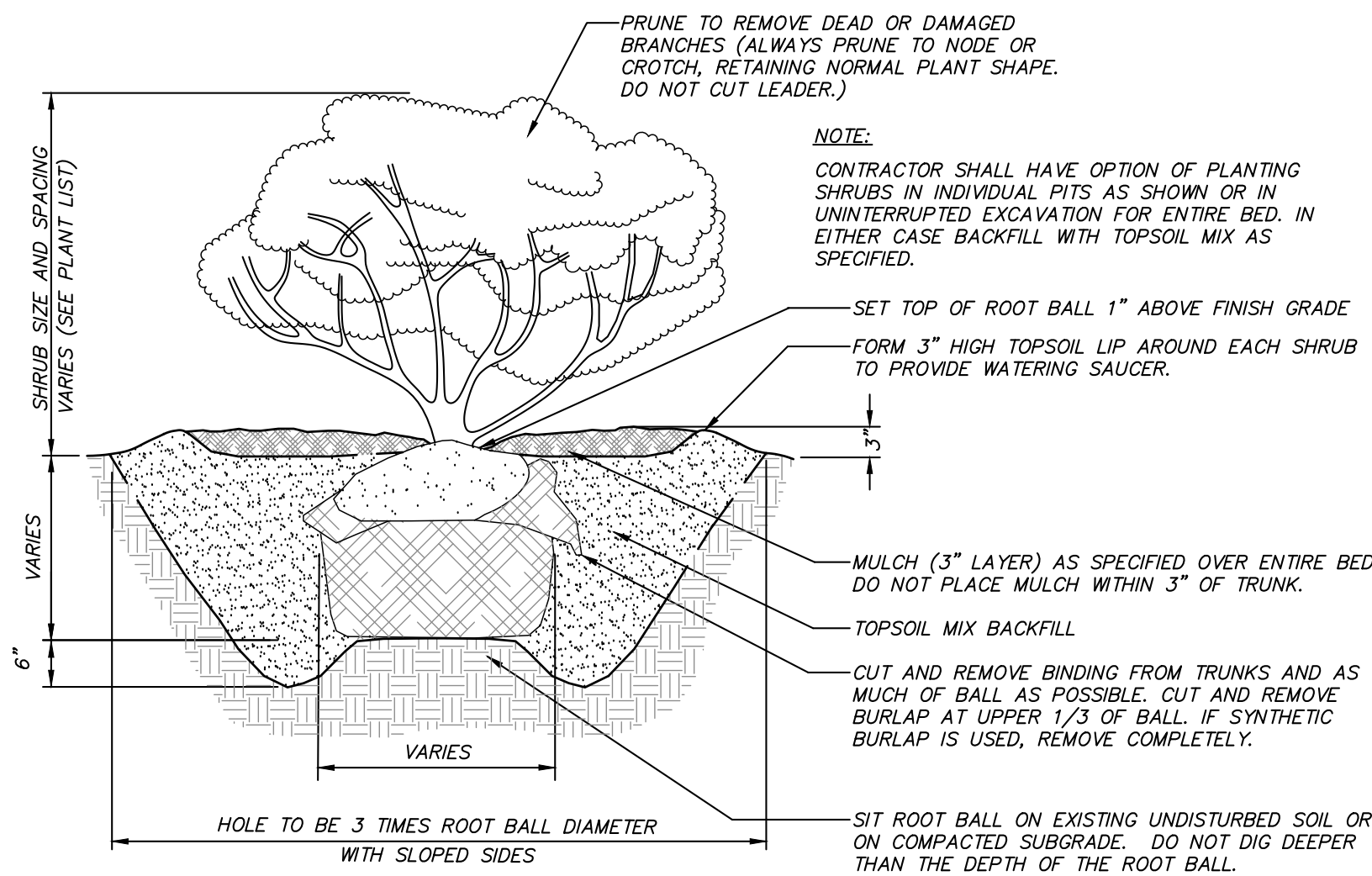
PLANT SPACING PLAN

SPACING "D"	ROW "A"	PLANTS PER SQ. FT.	NOTES:
18" O.C.	15.6"	0.50	PLANT QUANTITIES WERE DETERMINED BY MULTIPLYING AREA (SQ. FT.) BY NUMBER OF PLANTS PER SQ. FT. FOR REQUIRED SPACING

QUANTITY OF PLANTS AND SPACING AS NOTED IN PLANTING SCHEDULE



PERENNIAL / ORNAMENTAL GRASS PLANTING DETAIL
(N.T.S.)




SHRUB PLANTING DETAIL
(N.T.S.)

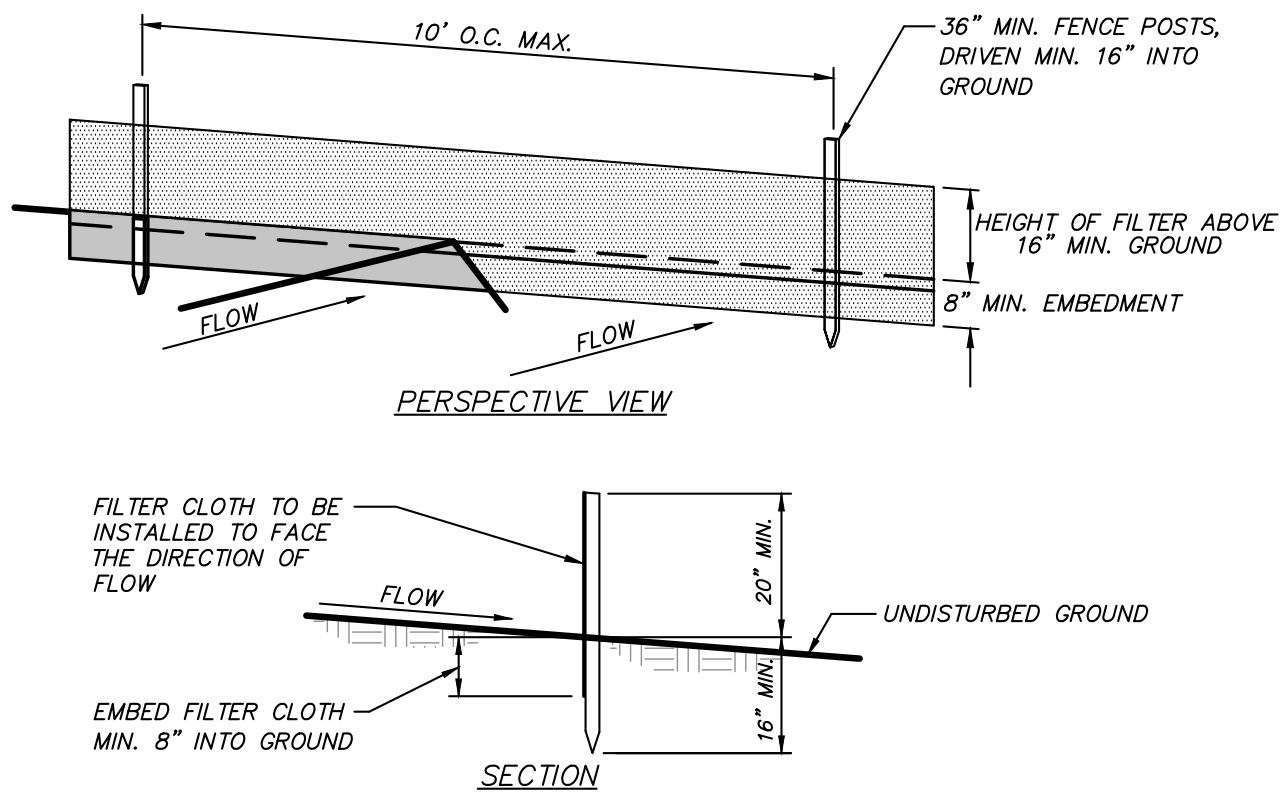
GENERAL SITE SEEDING NOTES:

- All proposed seeded areas to receive 4" min. depth of topsoil. Soil amendments and fertilizer application rates shall be determined based on specific testing of topsoil material.
- Upon final grading and placement of topsoil and any required soil amendments, areas to receive permanent vegetation cover in combination with suitable mulch as follows:
 - select seed mixture per drawings and seeding notes.
 - fertilizer applied at the manufacturer's recommended rate using Lesco 10-0-18 (no phosphorus) fertilizer or equivalent.
 - mulch: salt hay or small grain straw applied at a rate of 90 lbs./1000s.f. or 2 tons/acre, to be applied and anchored according to New York State Standards and Specifications for Erosion and Sediment Control, August 2005.
 - If the season prevents the establishment of a permanent vegetation cover, the disturbed areas will be mulched with straw or equivalent.
- Seed Mix #1 for all other disturbed areas. Primarily for lawn areas and mow strip along roads at a rate of 100 lbs. per acre:
 - Kentucky Bluegrass 20%
 - Creeping Red Fescue 40%
 - Perennial Ryegrass 20%
 - Annual Ryegrass 20%
- Seed mixes to be planted between March 21 and May 20, or between August 15 and October 15 or as directed by project representative.
- Mulch: Salt hay or small grain straw applied at a rate of 90 lbs./1000 S.F. or 2 tons/acre, to be applied and anchored according to New York State Standards and Specification For Erosion and Sediment Control, latest edition.
- Grass seed mix may be applied by either mechanical or hydroseeding methods. Seeding shall be performed in accordance with the current edition of the "NYSOT Standard Specification, Construction and Materials, Section 610-3.02, Method No. 1". Hydroseeding shall be performed using materials and methods as approved by the site engineer.

GENERAL PLANTING NOTES:

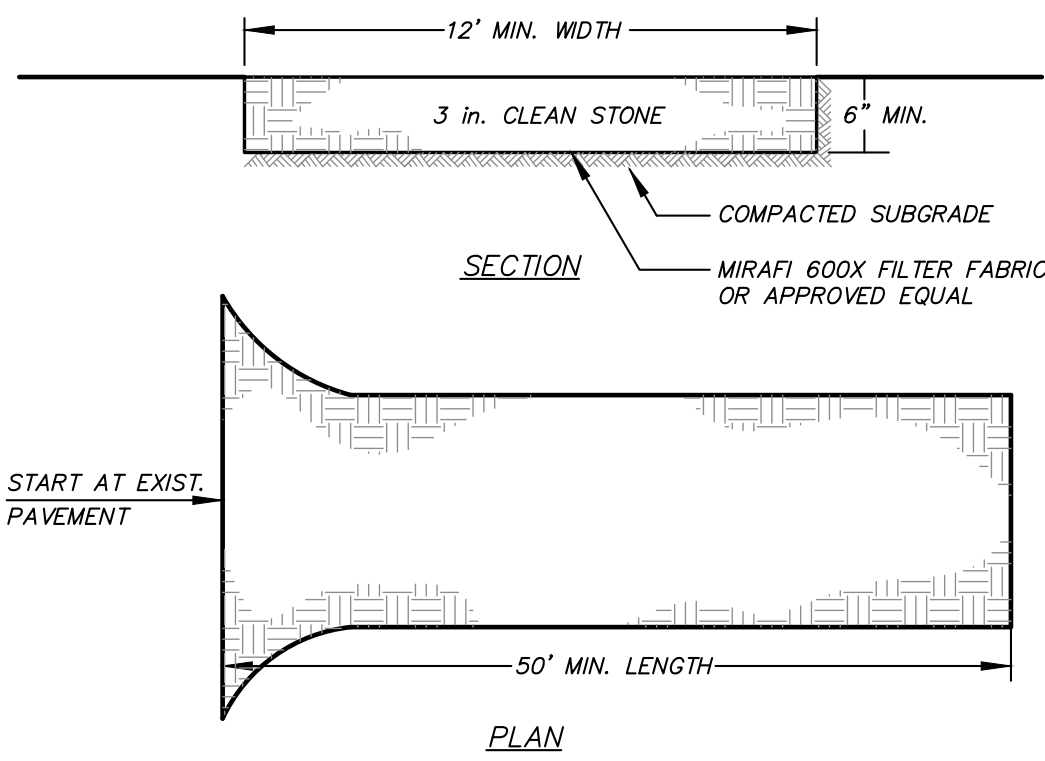
- Tree removal, protection and planting shall be in accordance with Chapter 142 of the Town Code
- All proposed planting beds to receive a 12" min. depth of topsoil. Soil amendments and fertilizer application rates shall be determined based on specific testing of topsoil material.
- Any new soils added will be amended as required by results of soil testing and placed using a method that will not cause compaction.
- No fertilizer shall be added in stormwater basin plantings. Nutrient requirements to be met by incorporation of acceptable organic matter.
- All plant material to be nursery grown.
- Plants shall conform with ANSI Z60.1 American Standard for Nursery Stock in all ways including dimensions.
- Plant material shall be taken from healthy nursery stock.
- All plants shall be grown under climate conditions similar to those in the locality of the project.
- Plants shall be planted in all locations designed on the plan or as staked in the field by the Landscape Architect.
- The location and layout of landscape plants shown on the site plan shall take precedence in any discrepancies between the quantities of plants shown on the plans and the quantity of plants in the Plant List.
- Provide a 3" layer of shredded pine bark mulch (or as specified) over entire watering saucer, at all tree pits or over entire planting bed. Do not place mulch within 3" of tree or shrub trunks.
- All landscape plantings shall be maintained in a healthy condition at all times. Any dead or diseased plants shall immediately be replaced "in kind" by the contractor (during warranty period) or project owner.

1	8-7-20	REVISED PER PLANNING BOARD COMMENTS	E.R.A.
NO.	DATE	REVISION	BY
<div><div><div>ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.</div></div><div>3 Garrett Place Carmel, NY 10512 (845) 225-9690 (845) 225-9717 fax www.insite-eng.com</div></div>			
PROJECT: STILLWATER BUSINESS PARK			
STILLWATER ROAD, TOWN OF CARMEL, COUNTY OF PUTNAM, NEW YORK			
DRAWING: DETAILS			
PROJECT NUMBER	18189.100	PROJECT MANAGER	J.J.C.
DATE	6-26-20	DRAWN BY	C.B.Z.
SCALE	AS SHOWN	CHECKED BY	A.D.T.
		DRAWING NO.	SHEET
		D-1	6
			7



- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**
1. FILTER CLOTH TO BE FASTENED SECURELY TO POSTS AT TOP AND MID SECTION.
 2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
 3. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- POSTS: STEEL EITHER T OR U TYPE OR 2" HARDWOOD
- FILTER CLOTH: FILTER Y, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUAL
- PREFABRICATED UNIT: GEOFAB, ENVROFENCE, OR APPROVED EQUAL

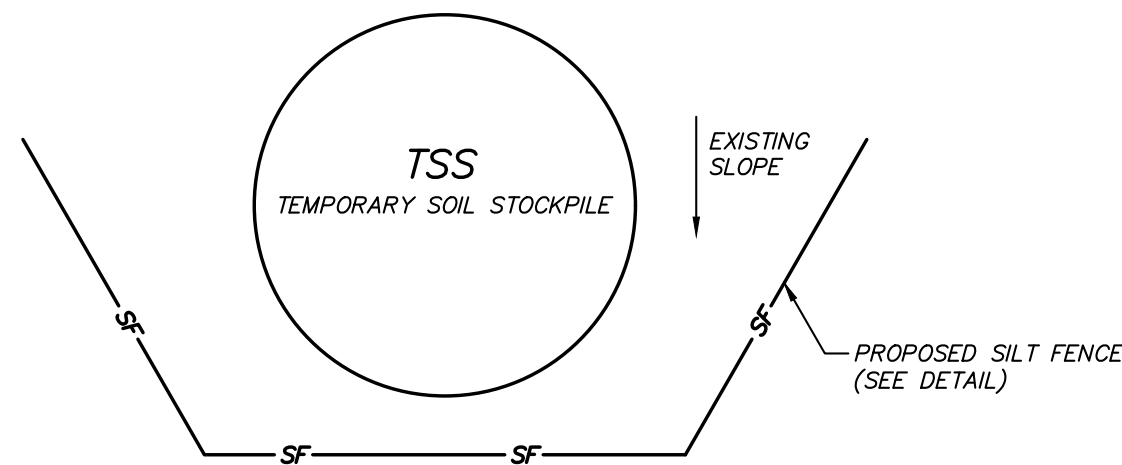
SILT FENCE DETAIL
(N.T.S.)



INSTALLATION NOTES

1. STONE SIZE - USE 3" STONE
2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.)
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 3:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

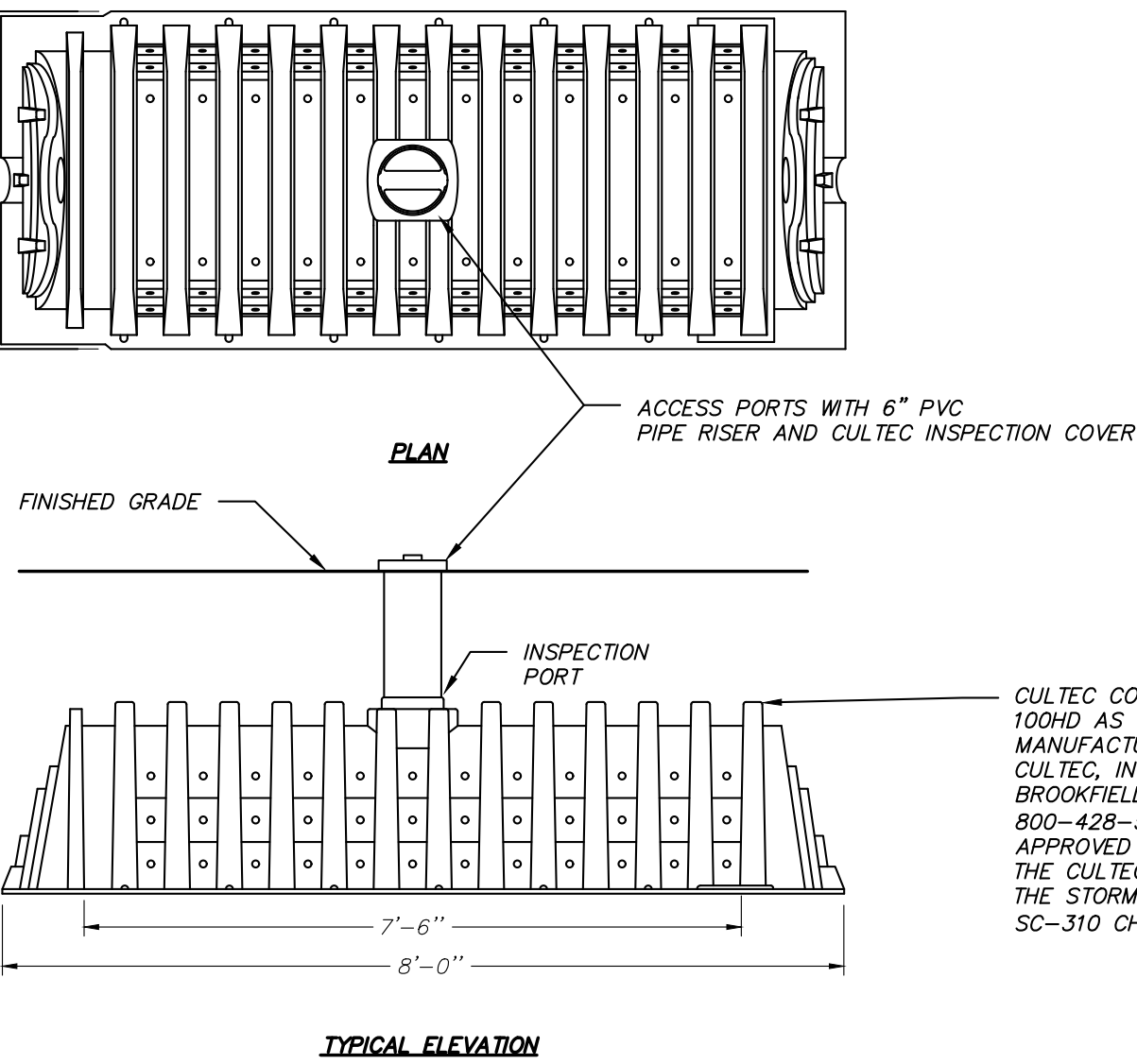
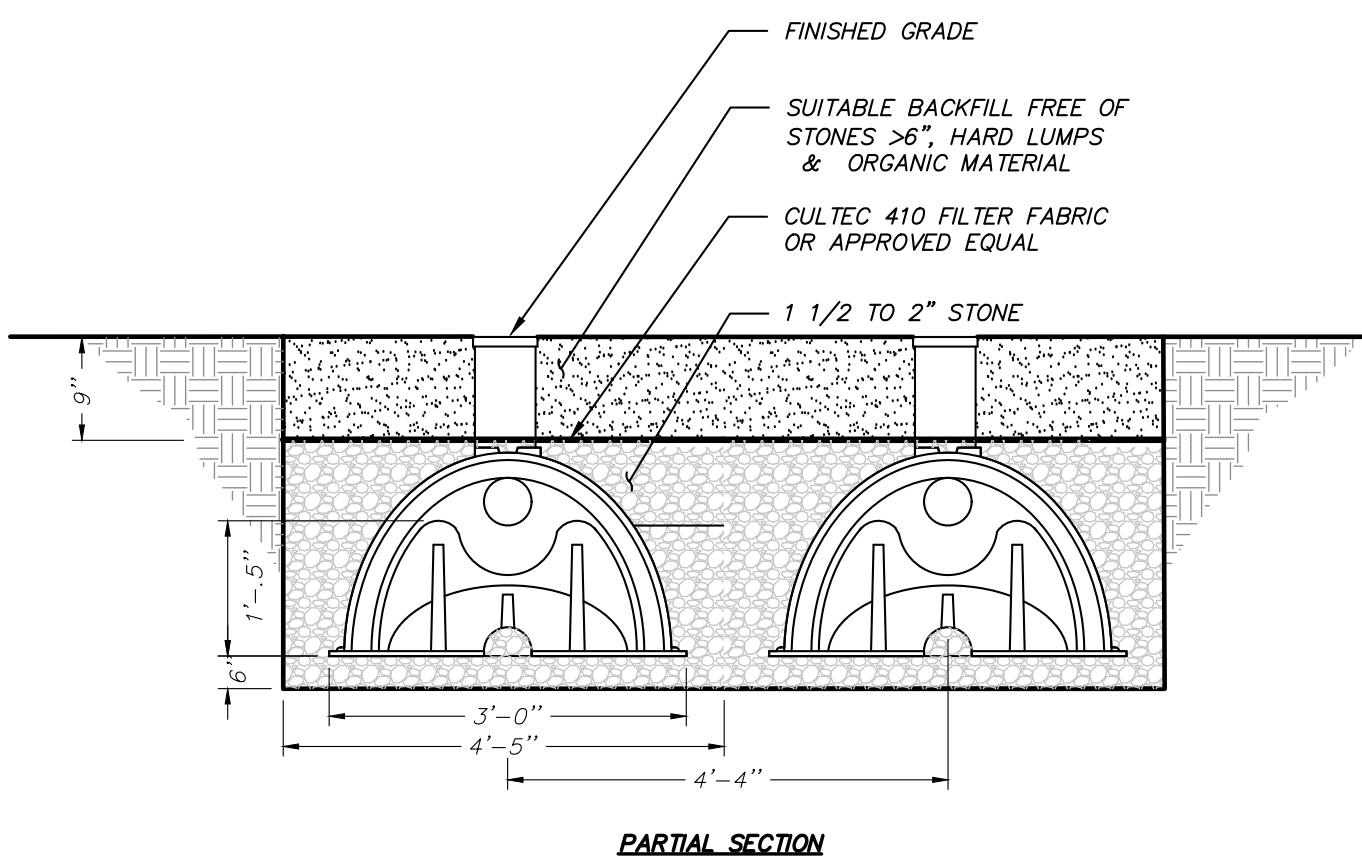
STABILIZED CONSTRUCTION ENTRANCE DETAIL
(N.T.S.)



NOTES:

1. AREA CHOSEN FOR STOCKPILE LOCATION SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 2:1.
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE IMMEDIATELY SEEDED WITH K31 PERENNIAL TALL FESCUE.
4. ALL STOCKPILES SHALL BE PROTECTED WITH SILT FENCING INSTALLED ON THE DOWNGRADIENT SIDE.

TEMPORARY SOIL STOCKPILE DETAIL
(N.T.S.)




STORMWATER INFILTRATION SYSTEM DETAIL
(N.T.S.)

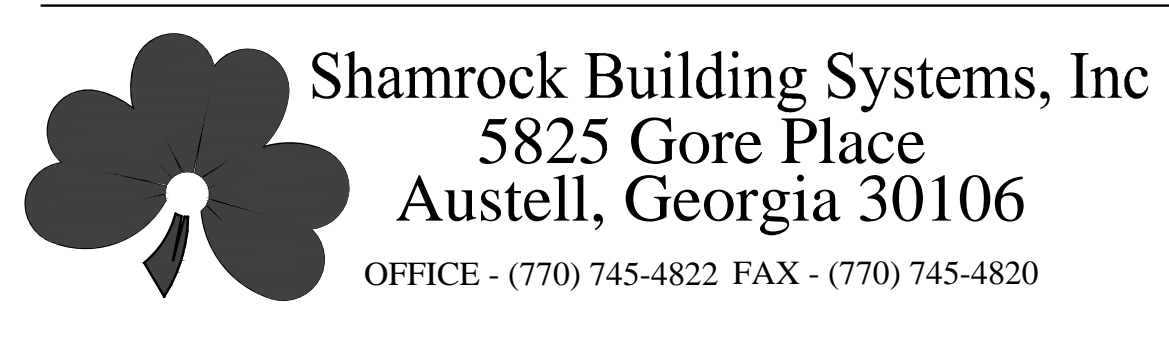
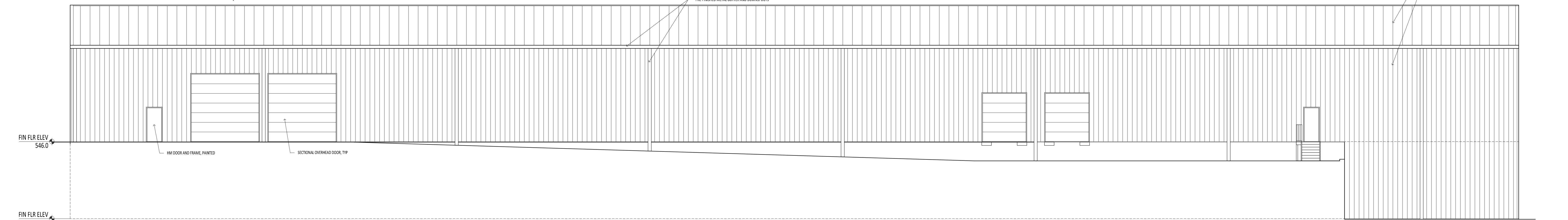
EROSION & SEDIMENT CONTROL NOTES:

1. The owner's field representative (O.F.R.) will be responsible for the implementation and maintenance of erosion and sediment control measures on this site prior to and during construction.
2. All construction activities involving the removal or disposition of soil are to be provided with appropriate protective measures to minimize erosion and contain sediment disposition within. Minimum soil erosion and sediment control measures shall be implemented as shown on the plans and shall be installed in accordance with "New York Standards and Specifications For Erosion and Sediment Control," latest edition.
3. Wherever feasible, natural vegetation should be retained and protected. Disturbance shall be minimized in the areas required to perform construction. No more than 5 acres of unprotected soil shall be exposed at any one time.
4. When land is exposed during development, the exposure shall be kept to the shortest practical period of time. In the areas where soil disturbance activity has temporarily or permanently ceased, the application of soil stabilization measures must be initiated by the end of the next business day and completed within seven (7) days from the date the current soil disturbance activity ceased. Disturbance shall be minimized to the areas required to perform construction.
5. Silt fence shall be installed as shown on the plans prior to beginning any clearing, grubbing or earthwork.
6. All topsoil to be stripped from the area being developed shall be stockpiled and immediately seeded for temporary stabilization. Ryegrass (annual or perennial) at a rate of 30 lbs. per acre shall be used for temporary seeding in spring, summer or early fall. 'Aristook' Winter Rye (cereal rye) shall be used for temporary seeding in late fall and winter.
7. Any disturbed areas not subject to further disturbance or construction traffic, permanent or temporary, shall have soil stabilization measures initiated for permanent vegetation cover in combination with a suitable mulch within 1 business day of final grading. All seeded areas to receive a minimum 4" screened topsoil from stockpile area. Seed mixes as noted in General Site Seeding Notes on drawing SP-1 are to be planted between March 21 and May 20, or between August 15 and October 15 or as directed by project representative.
8. Cut or fill slopes 3:1 and steeper shall be stabilized immediately after grading with Culxex I Single Net Erosion Control Blanket, or approved equal.
9. Paved roadways shall be kept clean at all times.
10. The site shall at all times be graded and maintained such that all stormwater runoff is diverted to soil erosion and sediment control facilities.
11. All storm drainage outlets shall be stabilized, as required, before the discharge points become operational.
12. Stormwater from disturbed areas must be passed through erosion control barriers before discharge beyond disturbed areas or discharged into other drainage systems.
13. Erosion and sediment control measures shall be inspected and maintained on a daily basis by the O.F.R. to insure that channels, temporary and permanent ditches and pipes are clear of debris, that embankments and berms have not been breached and that all straw bales and silt fences are intact. Any failure of erosion and sediment control measures shall be immediately repaired by the contractor and inspected for approval by the O.F.R. and/or site engineer.
14. Dust shall be controlled by sprinkling or other approved methods as necessary, or as directed by the O.F.R.
15. Cut and fills shall not endanger adjoining property, nor divert water onto the property of others.
16. All fills shall be placed and compacted in 6" lifts to provide stability of material and to prevent settlement.
17. The O.F.R. shall inspect downstream conditions for evidence of sedimentation on a weekly basis and after rainstorms.
18. As warranted by field conditions, special additional erosion and sediment control measures, as specified by the site engineer and/or the Town Engineer shall be installed by the contractor.
19. Erosion and sediment control measures shall remain in place until all disturbed areas are suitably stabilized.

REQUIRED SWPPP CONTENTS PER GP-0-20-001:

- Pursuant to the NYSDEC "SPDES General Permit for Stormwater Discharges from Construction Activity" (GP-0-20-001), all Stormwater Pollution Prevention Plan's (SWPPP) shall include erosion and sediment control practices designed in conformance with the most current version of the technical standard, "New York Standards and Specifications for Erosion and Sediment Control." Where erosion and sediment control practices are not designed in conformance with this technical standard, the owner or operator must demonstrate equivalence to the technical standard. The following list of required SWPPP components is provided in accordance with Part III.B.1a-1 of General Permit GP-0-20-001:
- a. Background Information: The subject project consists of the demolition of an existing building, the relocation of an existing storage building, and the construction of a new 30,000sf footprint storage building. To accommodate these actions there will be some site grading, new pavement, and stormwater infiltration areas.
 - b. Site map / construction drawing: These plans serve to satisfy this SWPPP requirement.
 - c. Description of the soils present at the site: Onsite soils located within the proposed limits of disturbance consist of Woodbridge Loam (WdB), and Paxton fine sandy loam (PnCL) as identified on the Soil Conservation Service Web Soil Survey. These soil types belong to the Hydrologic Soil Group "C".
 - d. Construction phasing plan / sequence of operations: The Construction Sequence and phasing found on these plans provide the required phasing. A Construction Sequence and Erosion and Sediment Control Maintenance Schedule has been provided. The Erosion and Sediment Control Notes contained hereon outline a general sequence of operations for the proposed project. In general all erosion and sediment control facilities shall be installed prior to commencement with land stabilizing activities, and areas of disturbance shall be limited to the shortest period of time as practicable.
 - e. Description of erosion and sediment control practices: This plan, and details / notes shown hereon serve to satisfy this SWPPP requirement.
 - f. Temporary and permanent soil stabilization plan: The Sedimentation and Erosion Control Notes and Details provided hereon identify temporary and permanent stabilization measures to be employed with respect to specific elements of the project, and at the various stages of development.
 - g. Site map / construction drawing: This plan serves to satisfy this SWPPP requirement.
 - h. The dimensions, material specifications, installation details, and operation and maintenance requirements for all erosion and sediment control practices: The details, Erosion and Sediment Control Notes, and Erosion and Sediment Control Maintenance Schedule serve to satisfy this SWPPP requirement.
 - i. An inspection schedule: Inspections are to be performed twice weekly and by a qualified professional as required by the General Permit GP-0-20-001. In addition the NYSDEC Trained Contractor shall perform additional inspections as cited in the Sedimentation and Erosion Control Notes.
 - j. A description of pollution prevention measures that will be used to control litter, construction chemicals and construction debris: In general, all construction litter / debris shall be collected and removed from the site. The general contractor shall supply either waste barrels or dumpsters for proper waste disposal. Any construction chemicals utilized during construction shall either be removed from site daily by the contractor or stored in a structurally sound and weatherproof building. No hazardous waste shall be disposed of onsite, and shall ultimately be disposed of in accordance with all federal, state and local regulations. Material Safety Data Sheets (MSDS), material inventory, and emergency contact numbers shall be maintained by the general contractor for all construction chemicals utilized onsite. Finally, temporary sanitary facilities (portable toilets) shall be provided onsite during the entire length of construction, and inspected weekly for evidence of leaking holding tanks.
 - k. A description and location of any stormwater discharges associated with industrial activity other than construction at the site: There are no known industrial stormwater discharges present or proposed at the site.
 - l. Identification of any elements of the design that are not in conformance with the technical standard, "New York Standards and Specifications for Erosion and Sediment Control." All proposed elements of this SWPPP have been designed in accordance with the "New York Standards and Specifications for Erosion and Sediment Control."
2. Pursuant to the NYSDEC "SPDES General Permit for Stormwater Discharges from Construction Activity" (GP-0-20-001), all construction projects needing post-construction stormwater management practices shall prepare a SWPPP that also includes practices designed in conformance with the most current version of the technical standard, New York State Stormwater Management Design Manual ("Design Manual"). Where post-construction stormwater management practices are not designed in conformance with this technical standard, the owner or operator must demonstrate equivalence to the technical standard. The following list of SWPPP components is provided in accordance with Part III.B.2a-f and III.B.3:
- a. Identification of all post-construction stormwater management practices to be constructed as part of the project; This plan, and details/notes shown hereon serve to satisfy this SWPPP requirement.
 - b. A site map/construction drawing(s) showing the specific location and size of each post-construction stormwater management practice; This plan, and details/notes shown hereon serve to satisfy this SWPPP requirement.
 - c. A Stormwater Modeling and Analysis Report including pre-development conditions, post-development conditions, the results of the stormwater modeling, a summary table demonstrating that each practice has been designed in conformance with the sizing criteria, identification of and justification for any deviations from the Design Manual, and identification of any design criteria that are not required. The required analysis is provided in the report titled Amended Stormwater Pollution Prevention Plan for Stillwater Business Park.
 - d. Soil testing results and locations. This SWPPP requirement is provided in the report titled Amended Stormwater Pollution Prevention Plan for Stillwater Business Park.
 - e. Infiltration testing results. This SWPPP requirement is provided in the report titled Amended Stormwater Pollution Prevention Plan for Stillwater Business Park.
 - f. An operations and maintenance plan that includes inspection and maintenance schedules and actions to ensure continuous and effective operation of each post-construction stormwater management practice. The plan shall identify the entity that will be responsible for the long term operation and maintenance of each practice. The Permanent Stormwater Facilities Maintenance Schedule provided on these plans serves to satisfy this requirement.
3. Enhanced Phosphorus Removal Standards - Beginning on September 30, 2008, all construction projects identified in Table 2 of Appendix B that are located in the watersheds identified in Appendix C shall prepare a SWPPP that includes post-construction stormwater management practices designed in conformance with the Enhanced Phosphorus Removal Standards included in the most current version of the technical standard, New York Stormwater Management Design Manual. At a minimum, the post-construction stormwater management practice component of the SWPPP shall include items 2.a - 2.f above. The permanent stormwater practices for this project have been sized according to chapter 10 of the Design Manual Enhanced Phosphorus Removal Standards. Please see 2.a - 2.f above.

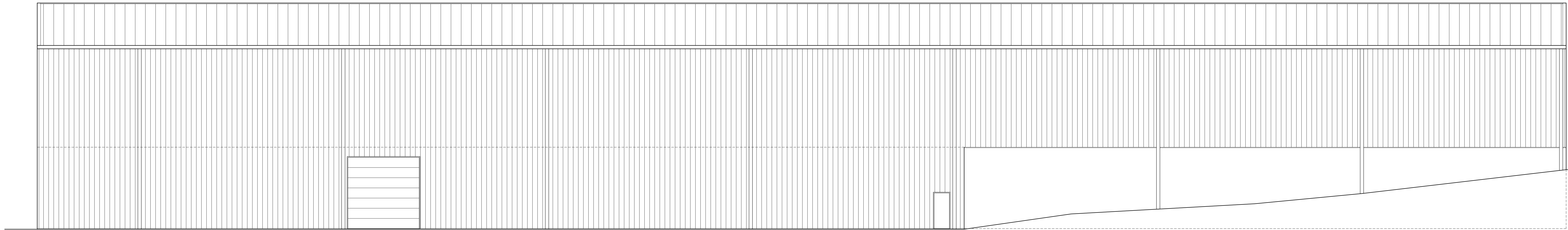
1	8-7-20	REVISED PER PLANNING BOARD COMMENTS	E.R.A.
NO.	DATE	REVISION	BY
 <div>3 Garrett Place Carmel, NY 10512 (845) 225-9690 (845) 225-9717 fax www.insite-eng.com</div>			
PROJECT: STILLWATER BUSINESS PARK			
STILLWATER ROAD, TOWN OF CARMEL, COUNTY OF PUTNAM, NEW YORK			
DRAWING: DETAILS			
PROJECT NUMBER	18189.100	PROJECT MANAGER	J.J.C.
DATE	6-26-20	DRAWN BY	C.B.Z.
SCALE	AS SHOWN	CHECKED BY	A.D.T.
DRAWING NO.	D-2		
SHEET	7		



Drawing Title:
FIRST FLOOR PLAN / ELEVATIONS

Released for Construction Date: 30/11/2017





GMF Architecture & Design, PC

G. Michael Finelli, Reg. Architect

97 Baldwin Lane
Mahopac, NY 10541

(914) 438-5665 *Phone*

www.gmfad.com

gmfinelli@gmfad.com

8/3/2020

Mr. Craig Paepre and Members of the Town of Carmel Planning Board
Town of Carmel
60 McAlpin Avenue
Mahopac, NY 10541

Re: Consultants memo's, comments addressed

Applicant: The Teal Door
Kristen Caroprese, Owner
18 Miller Road
Mahopac, NY 10541
TM#86.11-1-15

Dear Sir;

I will outline the corrections made to the Architectural drawings for the above mentioned application. Comments are from Mr. Michael Canrazza, Director of Code Enforcement, dated June 30, 2020., Mr. Richard Franzetti P.E., Town Engineer, Dated July 7, 2020 and Cleary Consulting, Mr. Partick Cleary, AICP, CEP, PP, LEED AP dated July 15, 2020.

I have enclosed sets of drawings with the corrections bubbled and plans dated 8-3-2020.

If there are any questions, please do not hesitate to call me to review.

Respectfully submitted,

G. Michael Finelli, RA
GMF Architecture & Design, PC
914-438-5665

GMF Architecture & Design, PC

G. Michael Finelli, Reg. Architect

97 Baldwin Lane
Mahopac, NY 10541

(914) 438-5665 *Phone*

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gmfinelli@gmfad.com

Architect's response to comments from Mr. Michael Canrazza, Director of Code Enforcement, dated June 30, 2020

1. Code Analysis chart on A101.1 has been clarified and expanded per request.
2. Site Plan and Zoning chart have been updated as requested.
3. Past Zoning variance have been added to Site Plan based on Email from Planning Dept. 7-20-2020.
4. The parking space for Handicap use was approved by the Town of Carmel 3-14-1990. Note added to drawing & bubbled.
5. Site location has been clearly defined on area map.
6. There is no existing or proposed trash enclosure. Office use only, (1) trash can & (1) Recycling can stored under deck rear of building, out of site of public or neighbor view.
7. No site improvements proposed. Existing Site and Landscaping not to be touched. Proposed addition is at rear of site.
8. Parking calculations have been clarified sheet A101.0 and bubbled.

Architect's response to comments from Mr. Richard Franzetti P.E., Town Engineer, Dated July 7, 2020

1. Plans will be filed and reviewed by Fire Dept. as requested.
2. If any public improvement is required we will secure necessary bonds and pay all Fee's as required for work to be completed.
3. Site Plan sheet A101.1 and Sheet A103.1/ Dwg. #2 call out 100w exterior light fixture to be added over new exterior exit door. No other lighting to be proposed, all lighting exists and will remain.
4. Sheet 6 was a general construction notes sheet and was not provided originally. All follow up sets will include all drawings.
5. No site improvements proposed.

GMF Architecture & Design, PC

G. Michael Finelli, Reg. Architect

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Mahopac, NY 10541

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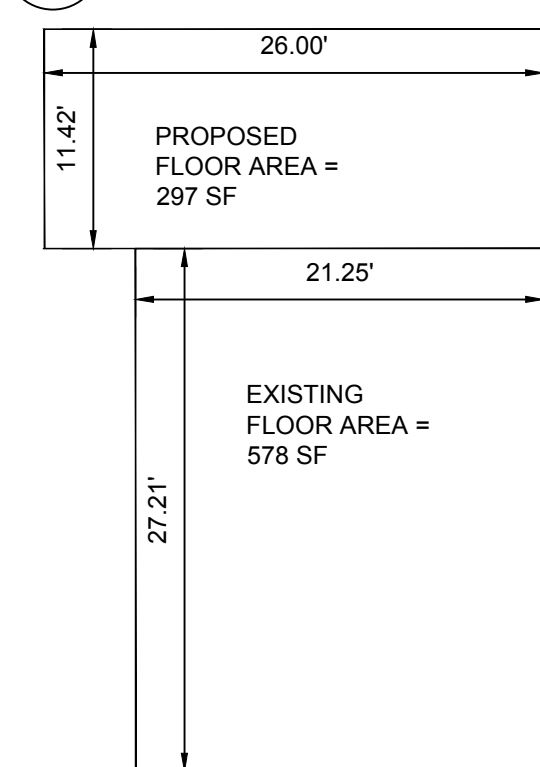
gminelli@gmfad.com

Architect's response to comments from Cleary Consulting, Mr. Partick Cleary, AICP, CEP, PP, LEED AP dated July 15, 2020

1. The parking space for Handicap use was approved by the Town of Carmel 3-14-1990. Note added to drawing & bubbled. All stripping and signage to be returned to that approved by Town of Carmel.
2. The Existing deck was verified by myself and found to be structurally adequate to carry the load of the proposed use and function. Additional ties and bracing will be added to bring the existing deck into conformance with the NEW 2020 NYS codes. We do not foresee the need to replace the footings at this time although a test pit to verify depth will be performed for conformance. Any deficiencies will be addressed with all Boards and agencies as required.
3. No additional services will be required or provided based on the proposed addition.
4. The current deck is not a necessary element to the services provided. The owner purchased the property with the deck already installed. It is currently not used and no deck will be required or sought.



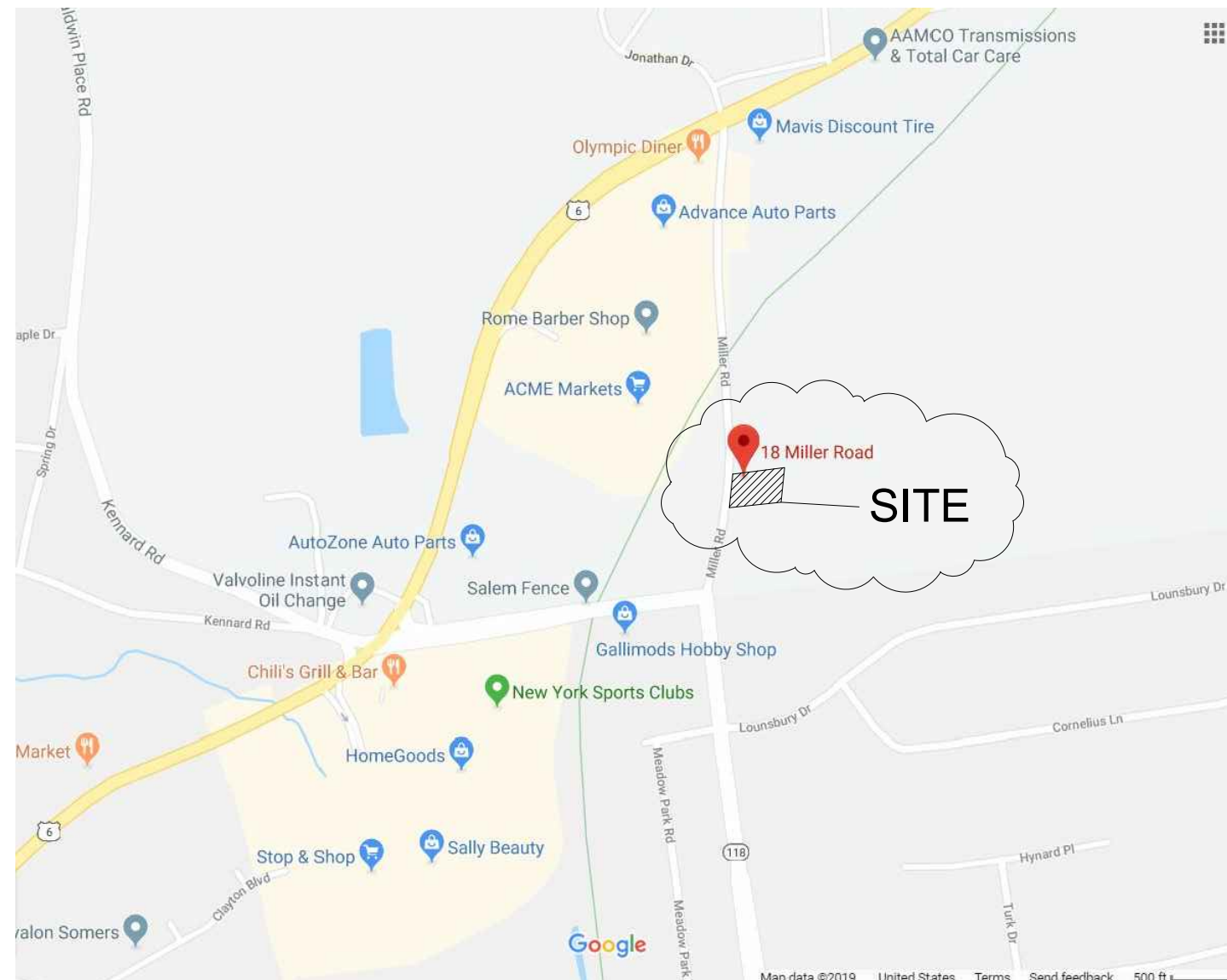
3 TAX MAP



4 FLOOR PLAN SF DIA.

SITE PLAN NOTES:

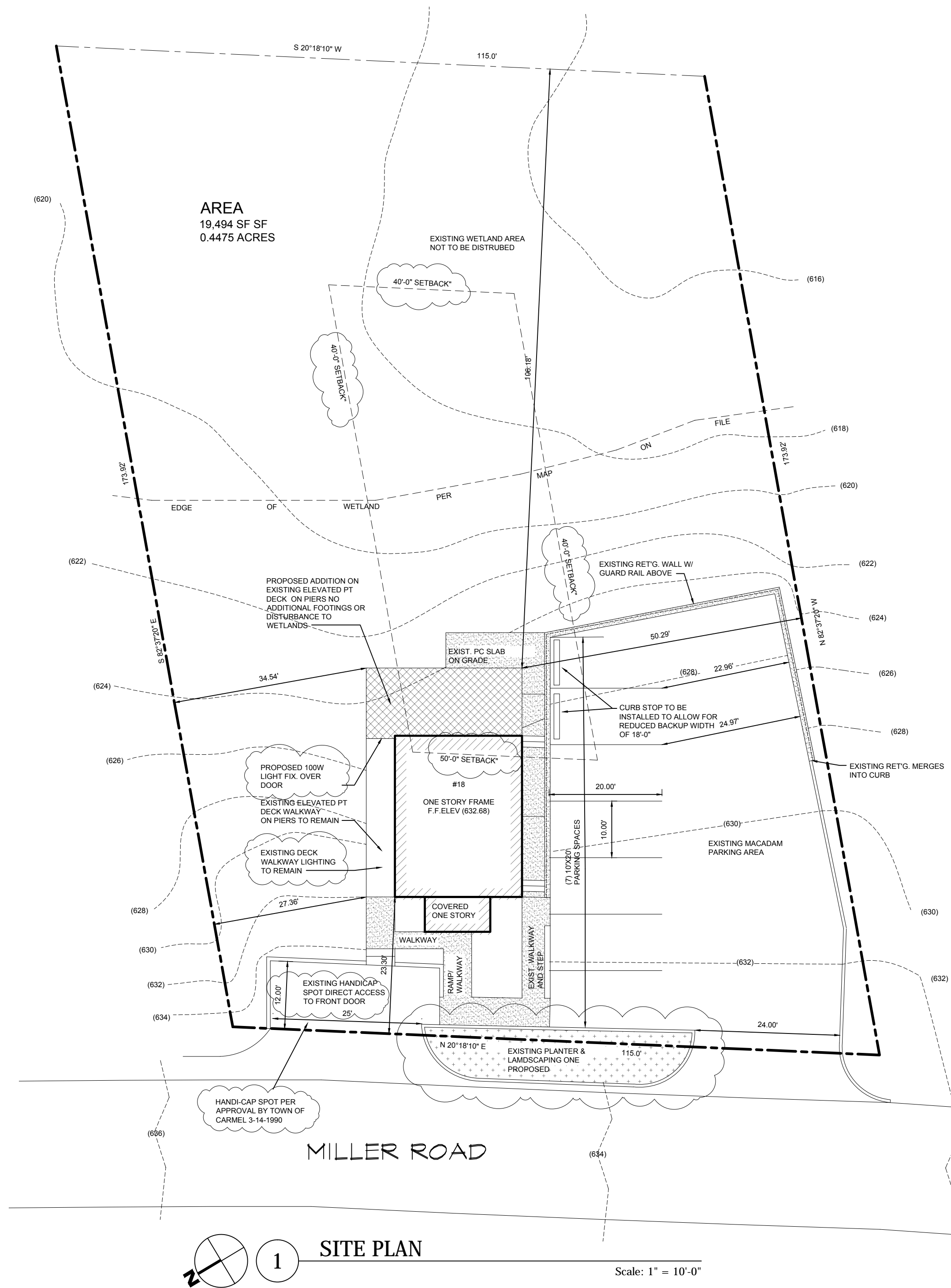
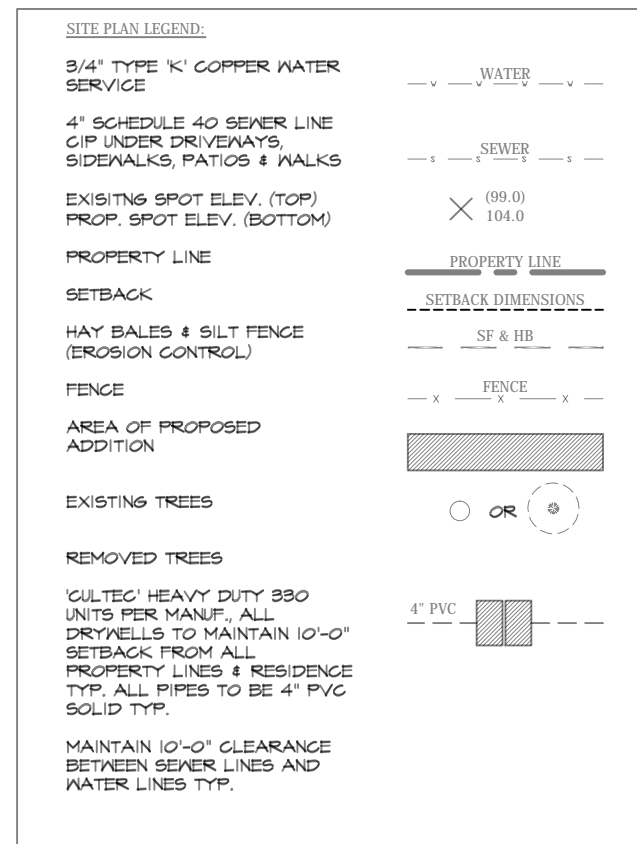
- 297 SF (1) STORY ADDITION TO BE BUILT ON EXIST. RAISED DECK AND FOOTING STRUCTURE.
- NO INCREASE IN IMPERVIOUS SURFACE
- NO INCREASE IN SETBACKS TO PROPERTY LINES
- NO INCREASE IN SETBACK TO EXIST. WETLANDS BUFFER
- NO SITE WORK TO BE DONE
- NO HEAVY MACHINERY TO BE UTILIZED
- NO SITE DISTURBANCE TO BE PROPOSED
- NO LANDSCAPING OR PAVING TO BE PROPOSED
- THIS APPLICATION
- PRE-FABRICATED WHEEL STOPS TO BE INSTALLED AT PARKING AREA TO INCREASE PARKING CONFORMITY (2) SPOTS
- NO TRASH ENCLOSURE EXIST. NONE PROVIDE (OFFICE USE ONLY) - (1) GARBAGE CAN AND (1) RECYCLE CAN STORED UNDER EXIST. DECK @ REAR OF BUILDING
- ALL EXTERIOR LIGHTING TO REMAIN AS-IS, (1) NEW 100W LIGHT TO BE ADDED OVER NEW EXIT DOOR TO DECK WALKWAY TYP. UNIT PER OWNER



2 LOCATION MAP

ZONING VARIANCES GRANTED:

- NOV. 27, 1989
AREA VARIANCE OF 2.5525 ACRES
WIDTH VARIANCE OF 88'
DEPTH VARIANCE OF 26.08'
SIDE YARD VARIANCE OF 13.5'
FLOOR AREA VARIANCE OF 4,000 SF
- NOV. 22, 1988
CONSTRUCT A 22'X12' DECK



ZONING INFORMATION: 18 MILLER ROAD, MAHOPAC, NY 10541 ZONE - CBP		
REQUIRED:	EXISTING:	PROPOSED: ADDITION 297 SF
AREA: 3 ACRES	AREA: 0.4475 AC (19,494 SF)	AREA: 0.4475 AC (19,494 SF) - NO CHANGE
WIDTH: 200 FT	WIDTH: 112.0 FT	WIDTH: 112.0 FT - NO CHANGE
DEPTH: 200 FT	DEPTH: 173.92 FT	DEPTH: 173.92 FT - NO CHANGE
FRONT YARD: 50 FT	FRONT YARD: 23.30 FT	FRONT YARD: 23.30 FT - NO CHANGE
SIDE YARD: 40 FT (EACH)	SIDE YARD: 26.5 FT & 51 FT	SIDE YARD: 26.5 FT & 51 FT - NO CHANGE
REAR YARD: 40 FT	REAR YARD: OVER 100 FT	REAR YARD: OVER 100 FT - NO CHANGE
BLDG. HT.: 60 FT OFFICE 40 FT OTHERS	BLDG. HT.: 25.5 FT	BLDG. HT.: 25.5 FT - NO CHANGE
LOT COVERAGE: 40%	LOT COVERAGE: 5.1%	LOT COVERAGE: 5.1% - NO CHANGE
FLOOR AREA: 5,000 SF MIN.	FLOOR AREA: 578 SF	FLOOR AREA: 875 SF
OFF STREET PARKING: 1 SPACE PER 200 SF FOR OFFICE USE	OFF STREET PARKING: 578 SF EXIST. / 200 = 2.89 OR 3 SPACES REQ'D PER TOWN CODE PARKING SPACES EXISTING: (7) 10' X 20' SPACES EXIST (1) 25' X 12' HANDI-CAP SPOT EXIST	OFF STREET PARKING: 875 SF TOTAL PROPS'D / 200 = 4.375 OR 5 SPACES REQUIRED PARKING SPACES PROVIDED: (7) 10'X20' EXIST (NO CHANGE) & (1) HANDI-CAP SPOT EXIST. (NO CHANGE)

SITE PLAN CERTIFICATION:

THIS IS NOT A SURVEY. THIS DRAWING TO BE USED FOR ARCHITECTURAL AND ZONING REFERENCE ONLY. ALL EXISTING INFORMATION ON THIS SITE PLAN WAS TAKEN FROM SITE PLAN DATED -12/5/89 BY: VINCENT ETTARI, CONSULTING ENGINEER 1065 SPILLWAY RD SHRUB OAK, NY 10588

THE PROFESSIONAL SEALING THESE DRAWINGS WILL RELY ON THE ACCURACY OF THE SURVEY REFERENCED ABOVE, AND EXCEPTS NO RESPONSIBILITY FOR ACCURACY THEROF.

DRAWING LIST:

- A101.1 - SITE PLAN, ZONING, CODE CALCS, & SF DIAGRAMS
- A102.1 - EXISTING CONDITION / DEMOLITION DRAWINGS
- A103.1 - PLANS, NOTES & LEGENDS
- A104.1 - STRUCTURAL PLANS & DETAILS
- A105.1 - PROPOSED ELEVATIONS & SECTION
- A106.1 - GENERAL NOTES



G. MICHAEL FINELLI

LIC. ARCHITECT

97 BALDWIN LANE
MAHOPAC, NY 10541
P: 914.438.5665
GMFINELLI@GMAIL.COM

CONSULTANTS

PROJECT:
PROPOSED SINGLE STORY ADDITION

OWNER:
THE TEAL DOOR COUNSELING CENTER

ADDRESS:
18 MILLER ROAD
MAHOPAC, NY
10541

S/B/L/ZONE:
SECTION: 86.11
BLOCK: 1
LOT: 15
ZONE: CBP

ISSUE	DATE	DESCRIPTION
08-3-20		CONSULTANTS COMMENTS
06-25-20		PLANNING BD SUBMISSION #2
11-26-19		PLANNING BD SUBMISSION #1

PROJECT NO: 19011
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SHEET TITLE
SITE PLAN, ZONING, CODE
CALCS, & SF DIAGRAMS



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OWNER:
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10541

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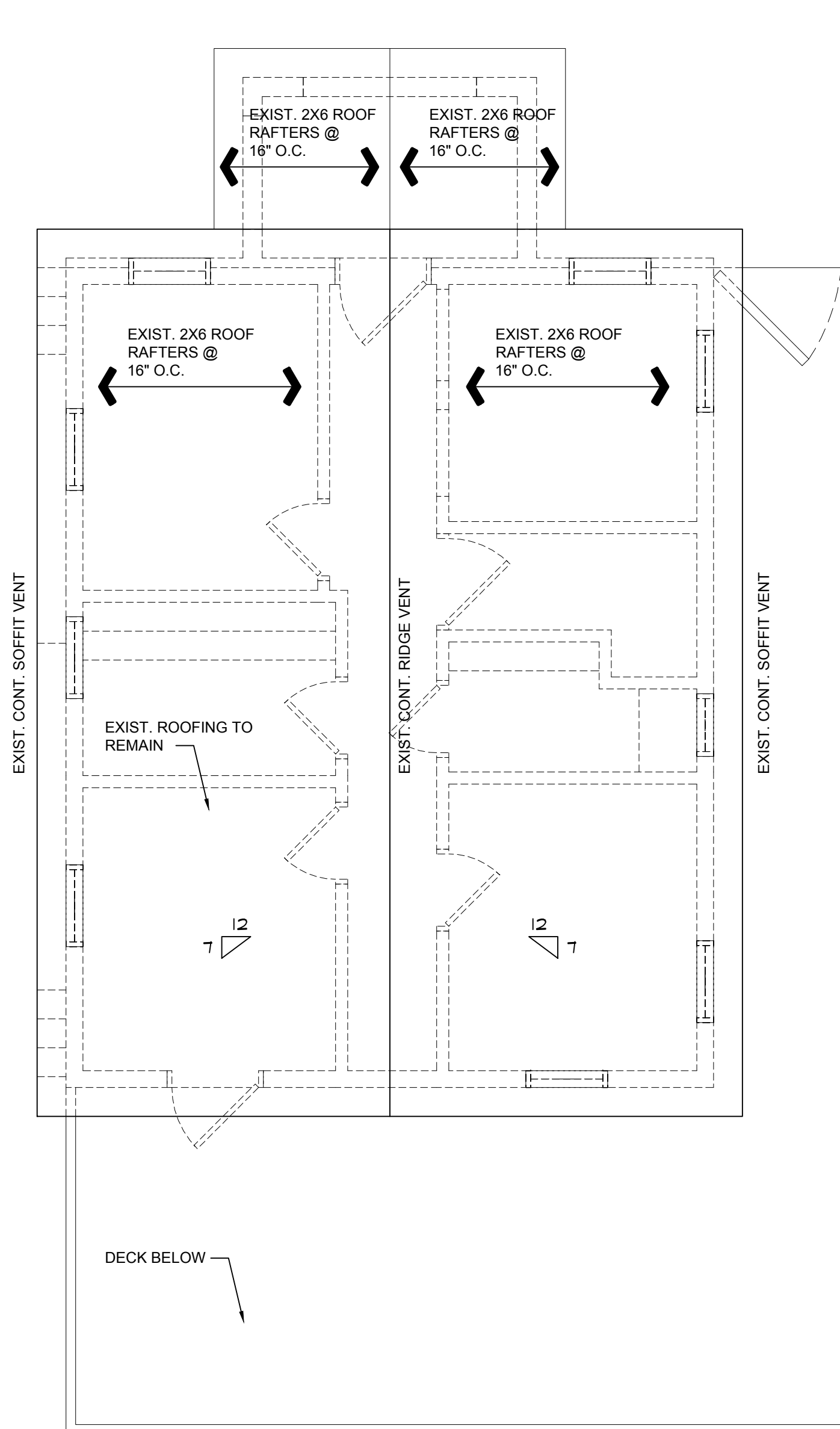
SHEET TITLE

EXISTING CONDITION /
DEMOLITION DRAWINGS

A - 102.1

SHEET 2

OF 6



3 EXISTING ROOF PLAN

Scale: 1/8" = 1'-0"

REMOVE ALL INTERIOR FINISHES AS NEEDED TO MAKE WAY FOR NEW WORK ONLY VIF

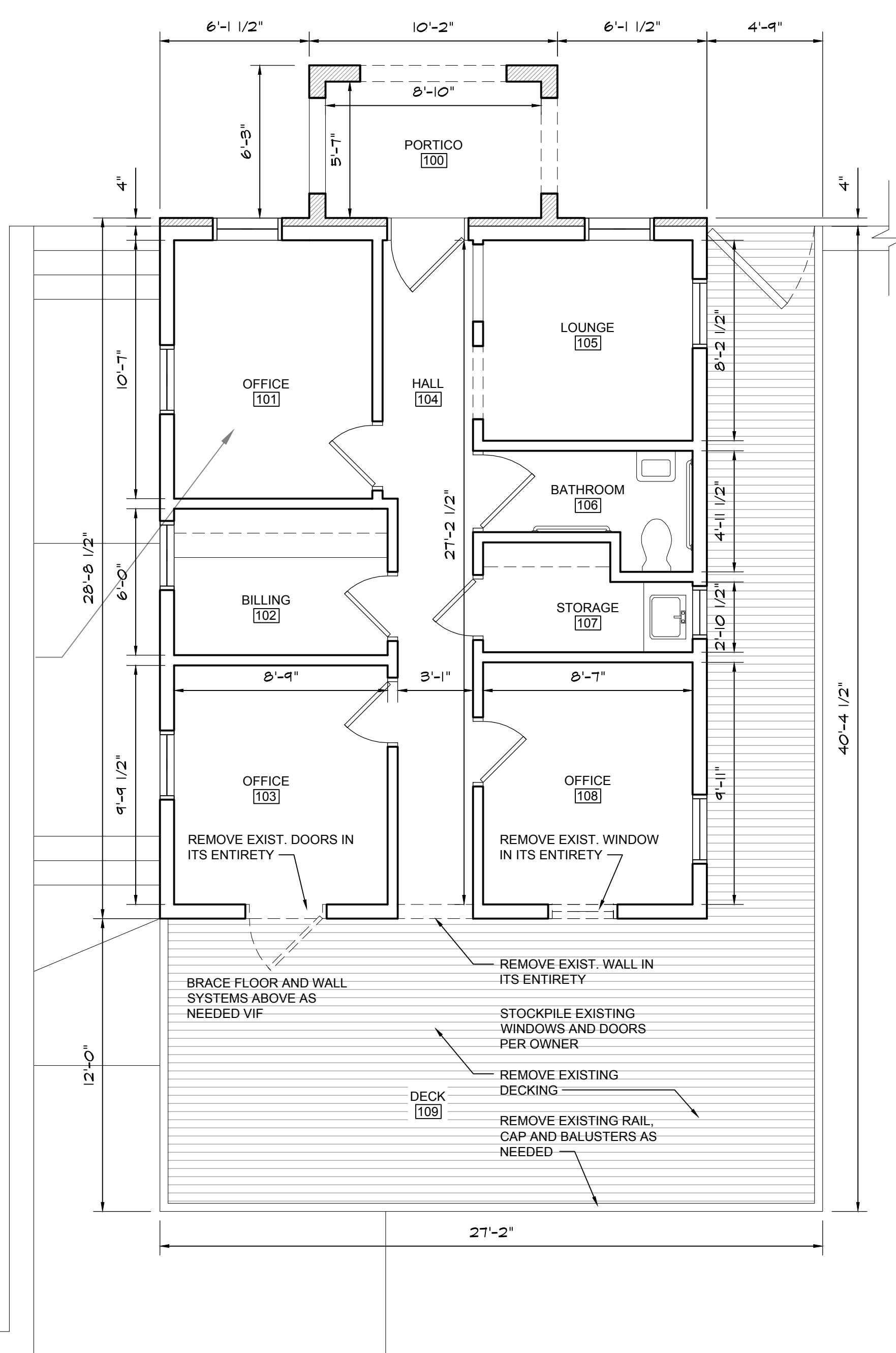
EXIST. AREA TO BE PROTECTED FROM PROPOSED WORK VIF

EXISTING WALLS TO REMAIN TO BE VERIFIED WITH CONSTRUCTION DRAWINGS VIF

EXISTING EXTERIOR WALLS TO REMAIN, OPENINGS FOR NEW WORK TO VERIFIED AND COORDINATED WITH CONSTRUCTION PLANS

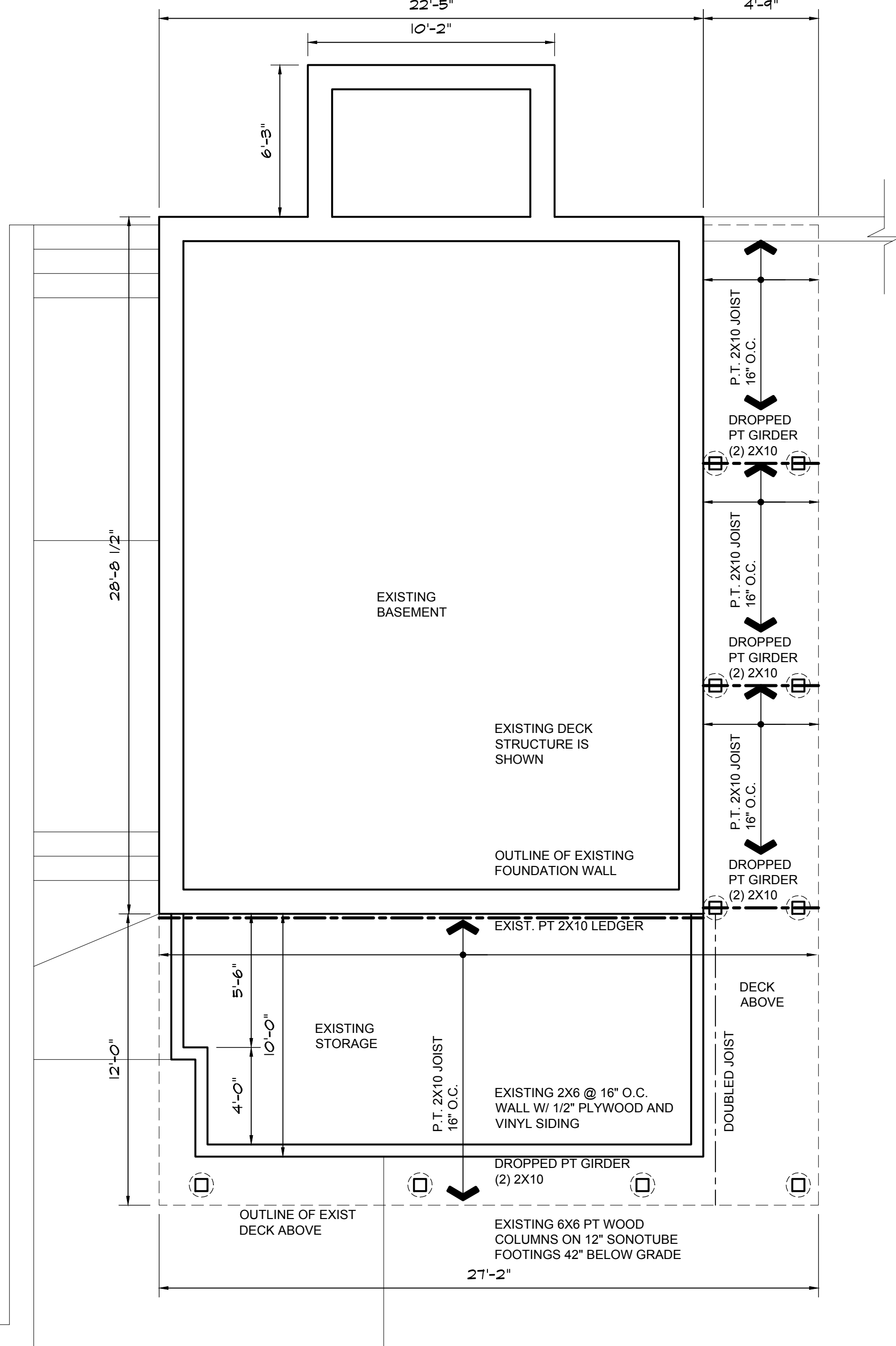
IF CONDITIONS ARE DIFFERENT FROM ASSUMPTIONS IN ANY WAY CONTRACTOR TO STOP WORK AND CALL ARCHITECT FOR REVIEW

BRACE STRUCTURE AS WALLS AND STRUCTURAL COMPONENTS ARE REMOVED TYP.



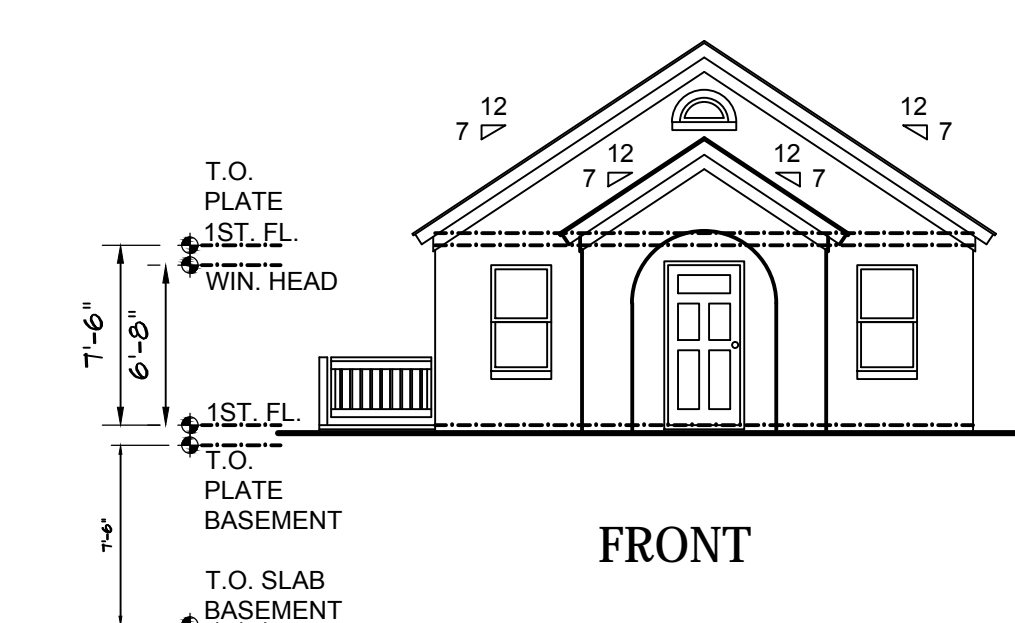
2 EXISTING FIRST FLOOR PLAN

Scale: 1/8" = 1'-0"

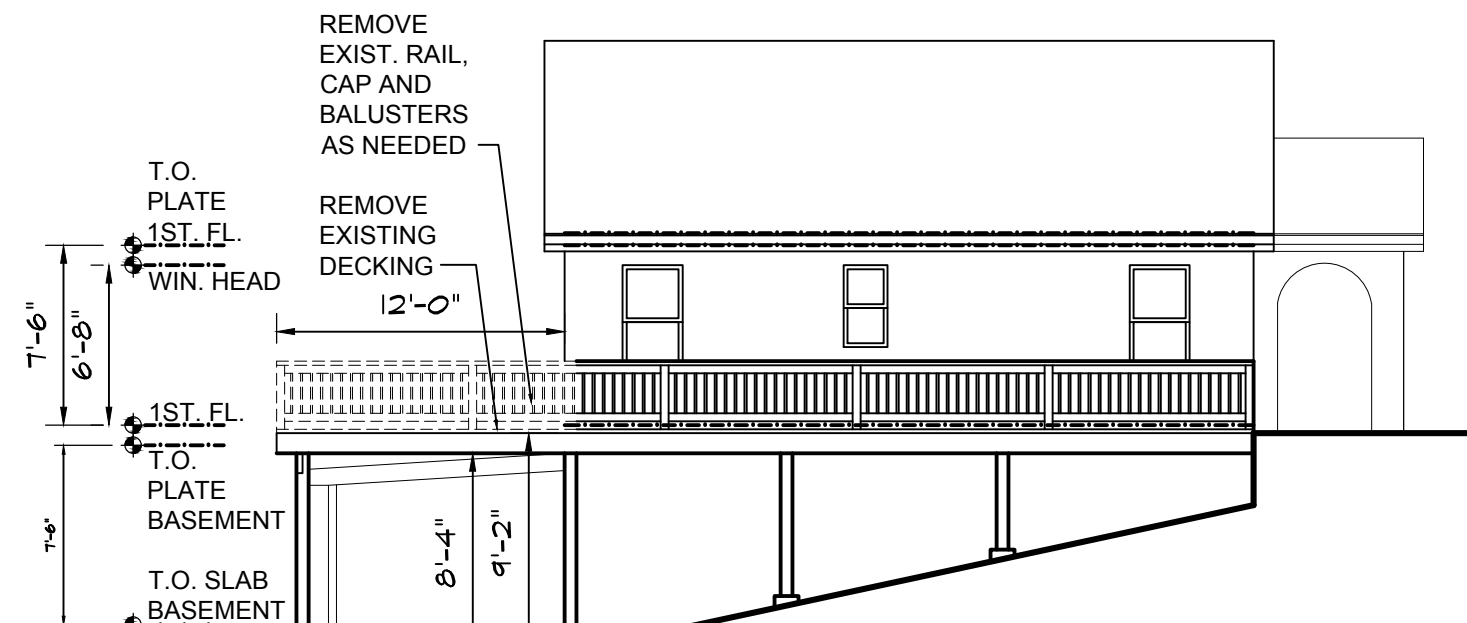


1 EXISTING BASEMENT PLAN

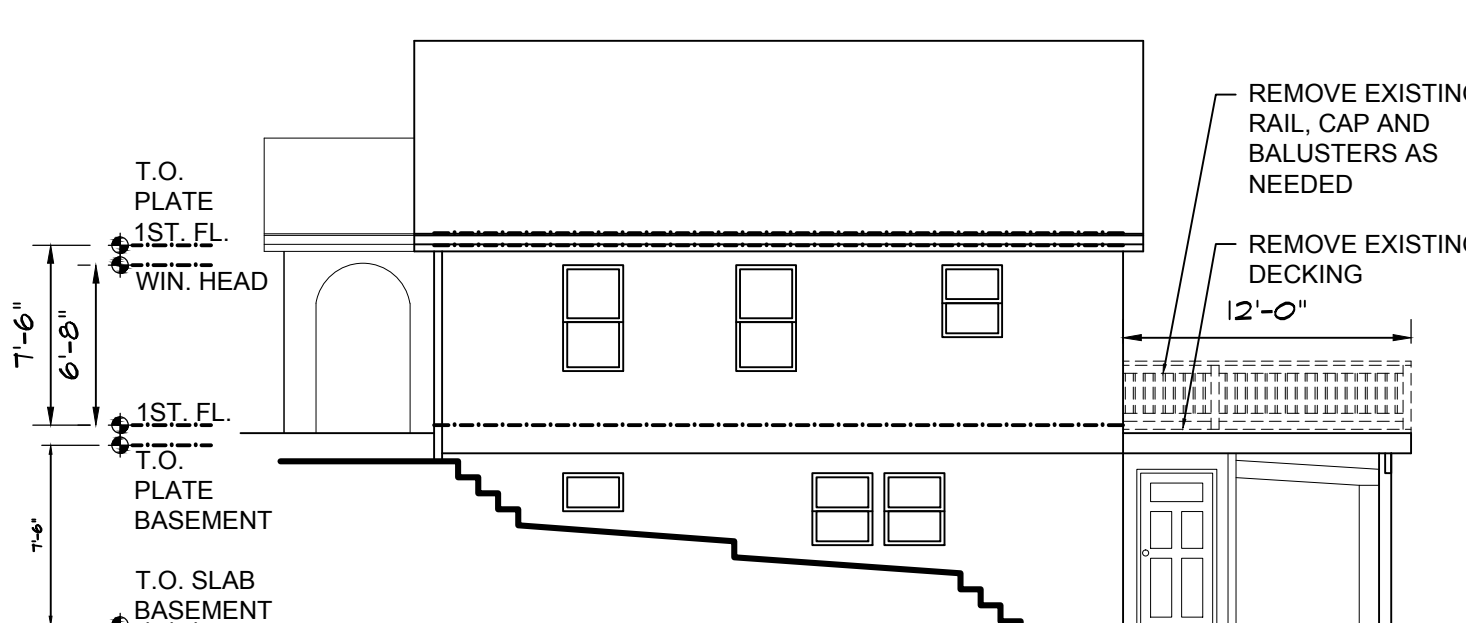
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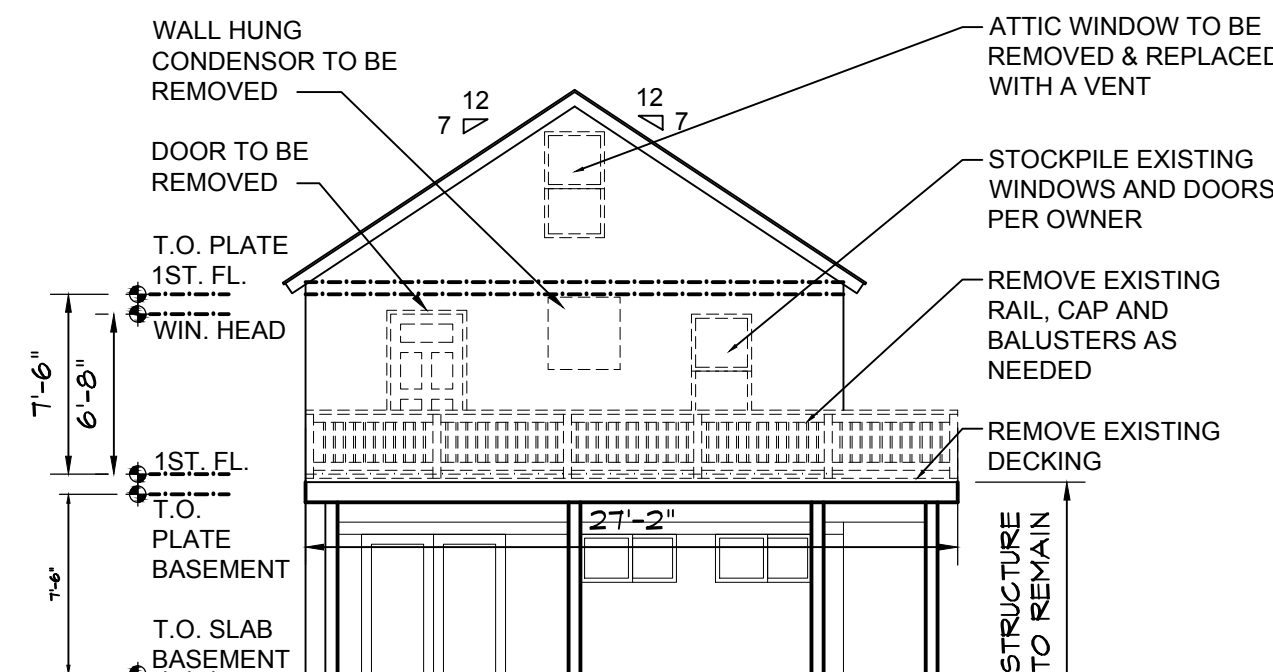
FRONT



LEFT SIDE



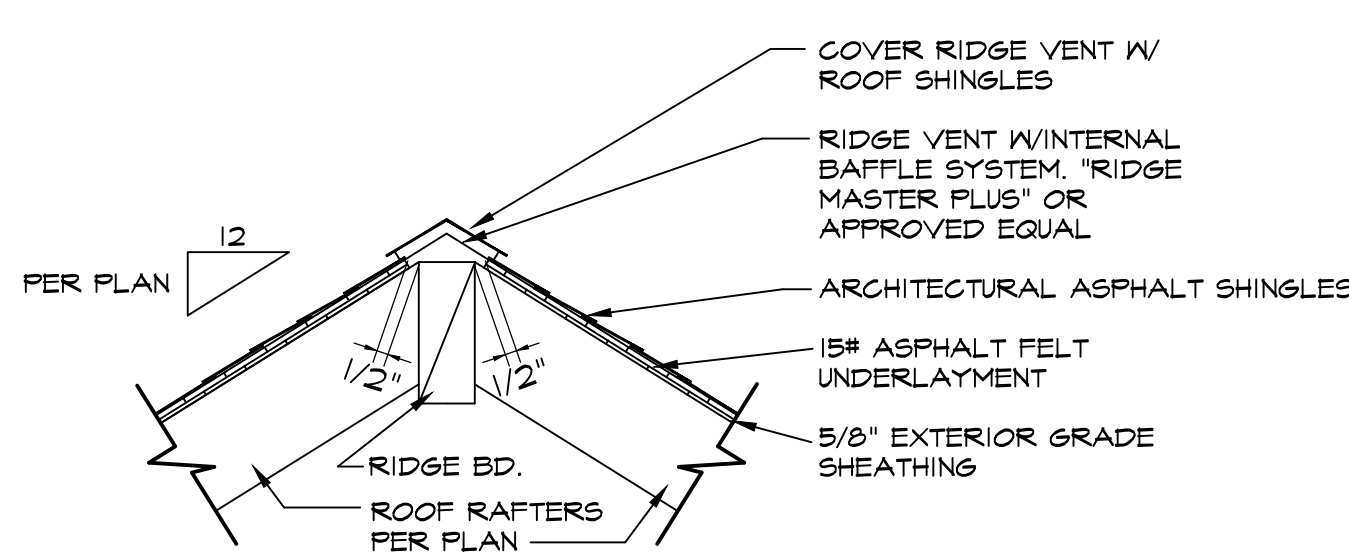
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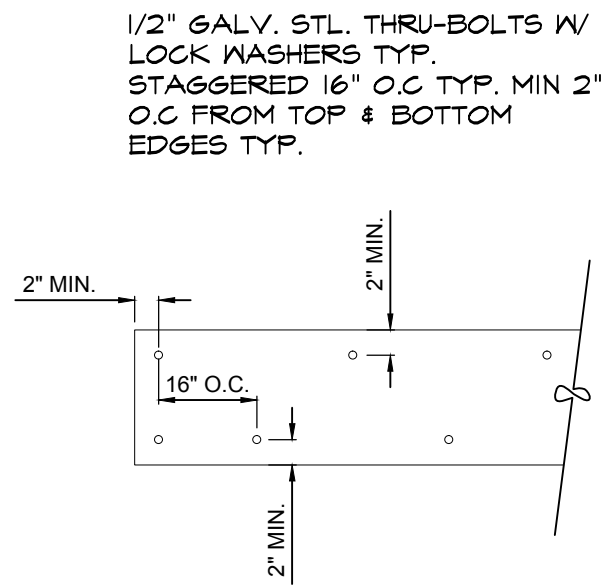
REAR

4 EXISTING/ DEMO. ELEVATIONS

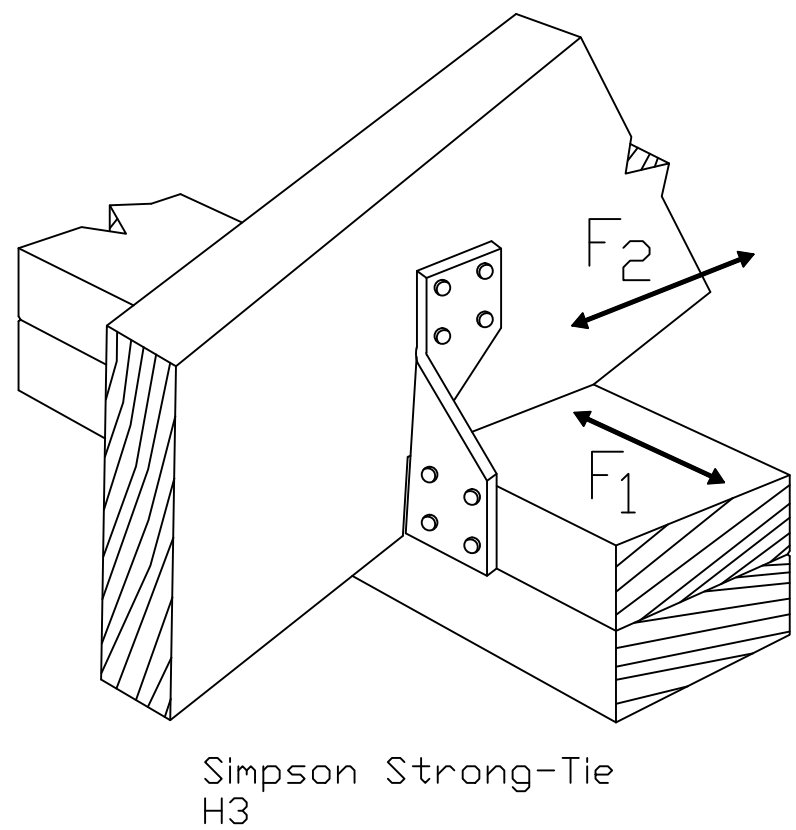
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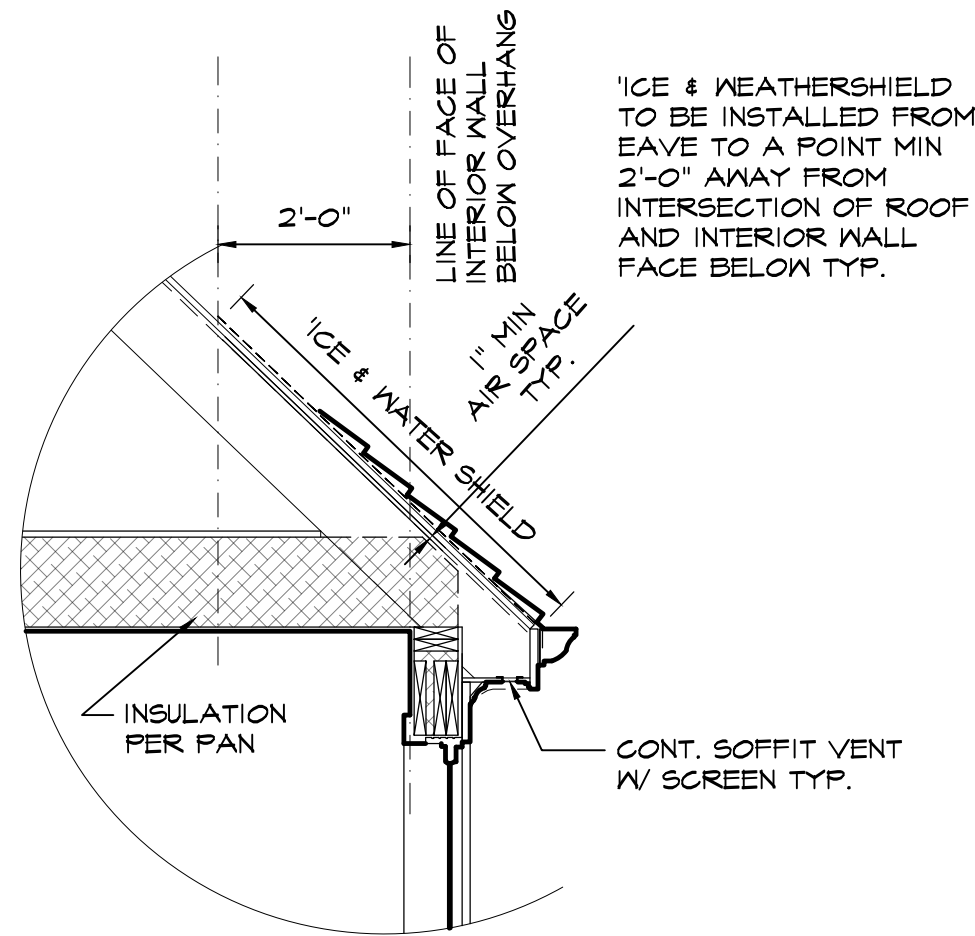
A RIDGE VENT DETAIL
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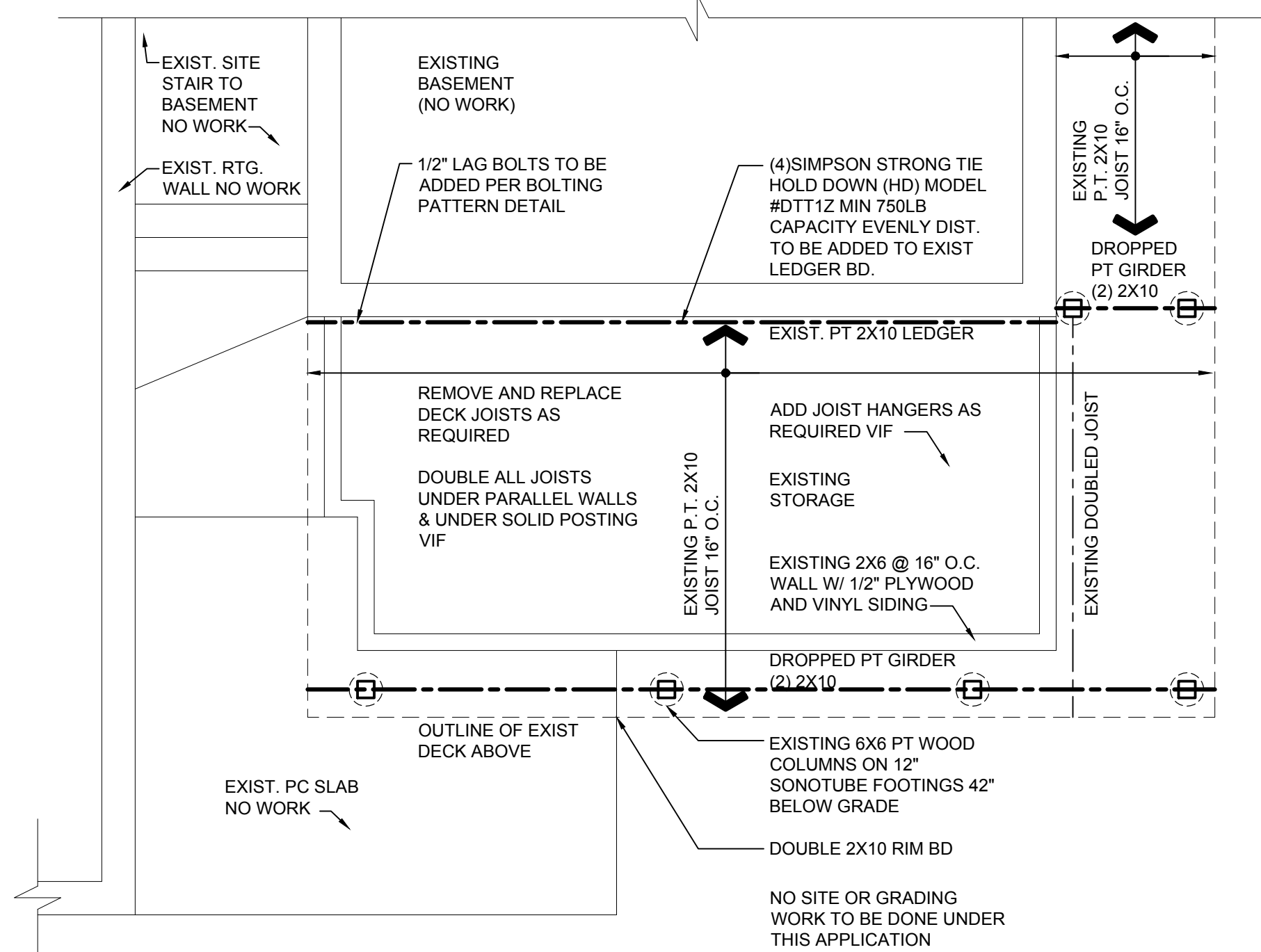
C BOLTING DETAIL
Scale: 1/4" = 1'-0"



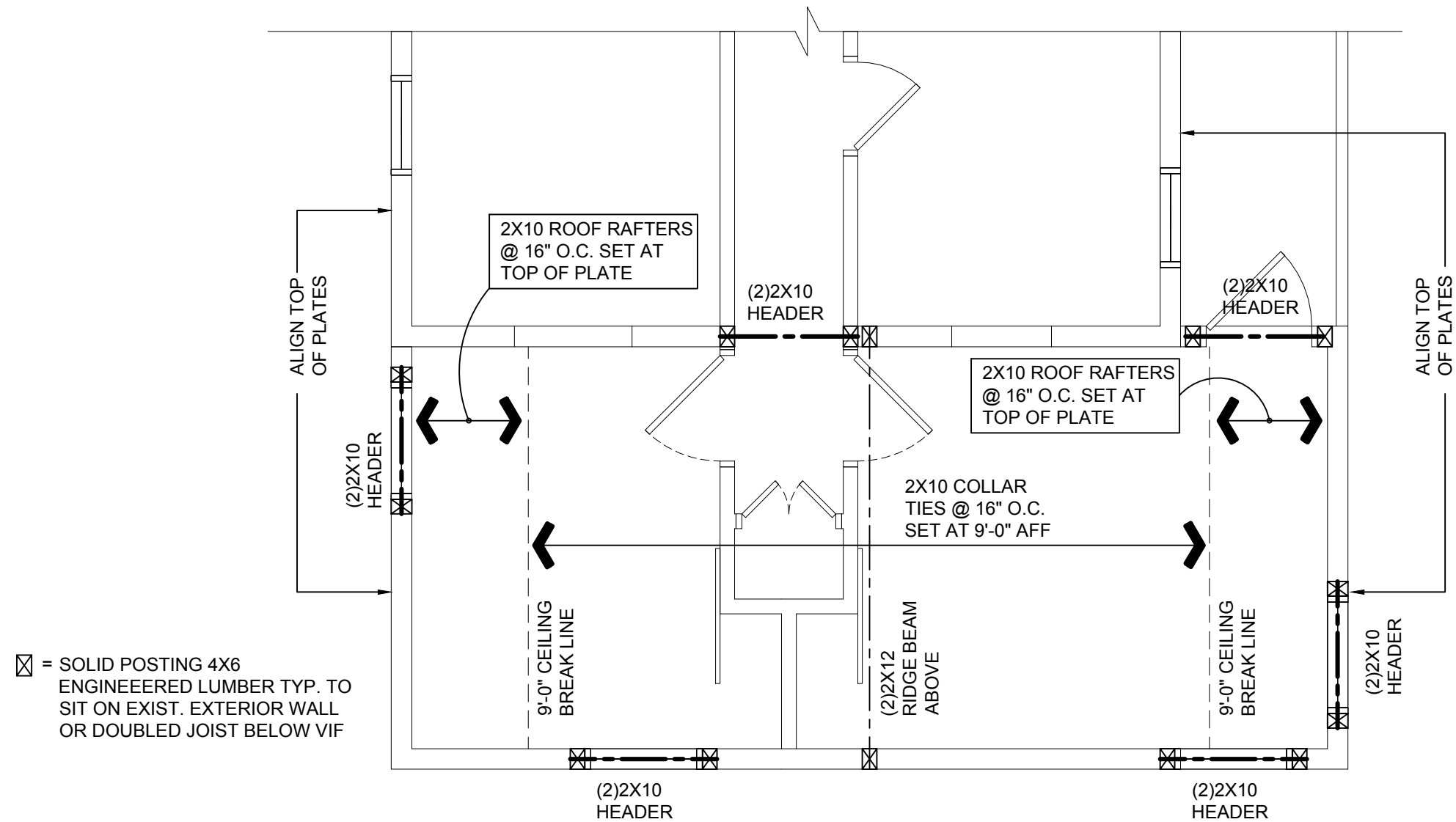
B HURRICANE CLIP DETAIL
Scale: 1/4" = 1'-0"



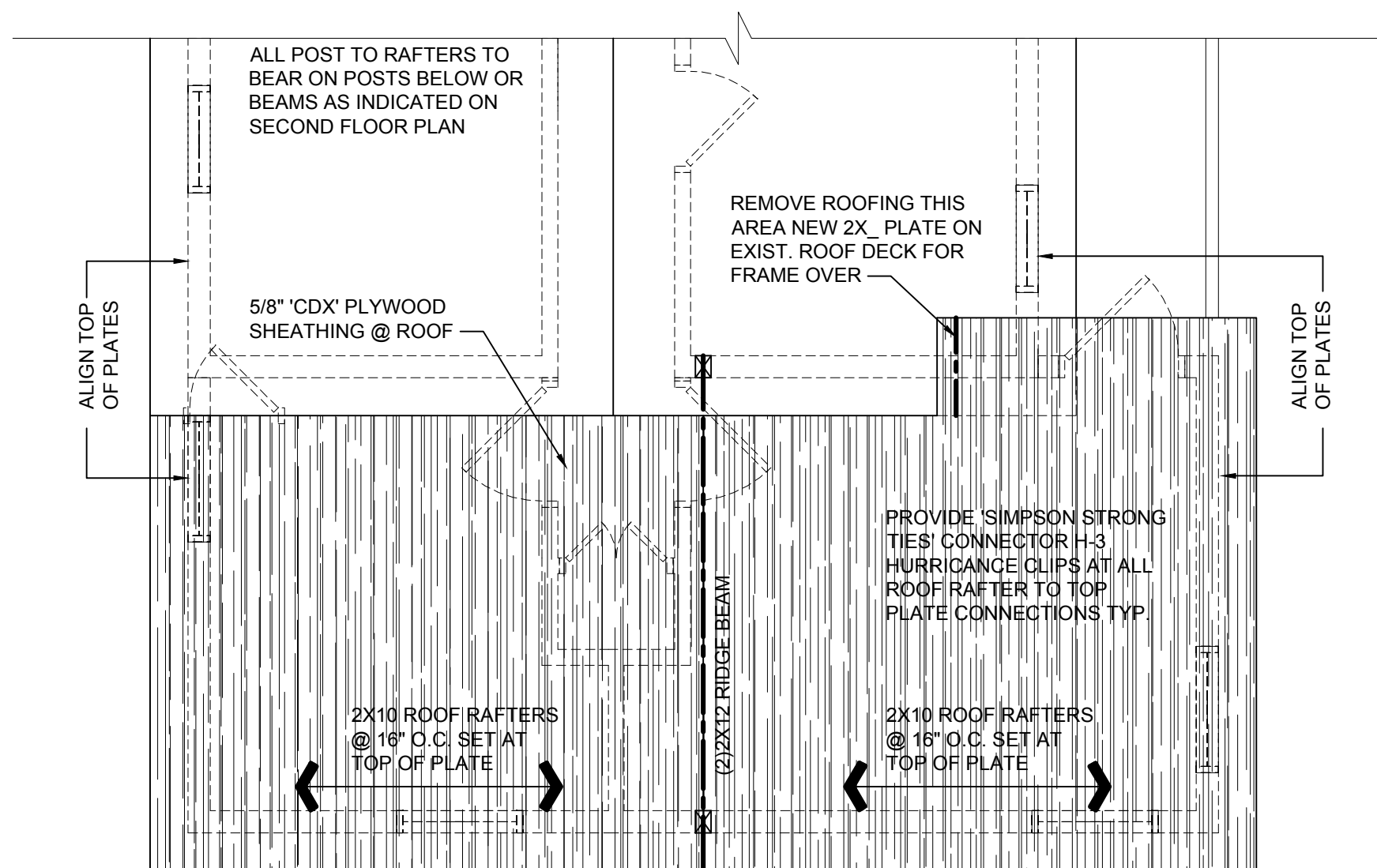
D ICE & WATERSHIELD DETAIL
Scale: 1/4" = 1'-0"



1 PART BASEMENT PLAN
Scale: 1/4" = 1'-0"



2 PART FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"



3 PART ROOF PLAN
Scale: 1/4" = 1'-0"



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SHEET TITLE
STRUCTURAL PLANS &
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GENERAL NOTES:

1) THE CONTRACTOR USING THESE DRAWINGS SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE 2020 NEW YORK STATE CODES (BUILDING, RESIDENTIAL, FIRE, ENERGY CONSERVATION, MECHANICAL, PLUMBING, FUEL GAS & EXISTING BUILDING CODES) AND LOCAL BUILDING CODES HAVING JURISDICTION. THIS SHALL NOT BE CONSTRUED TO MEAN THAT ANY REQUIREMENTS SET FORTH ON THE DRAWINGS MAY BE MODIFIED BECAUSE THEY ARE MORE STRINGENT THAN THE CODE REQUIREMENTS OR BECAUSE THEY ARE NOT SPECIFICALLY REQUIRED BY CODE. IF THE CONTRACTOR(S) DOES NOT HAVE ACCESS TO THE DOCUMENTS, HE OR SHE SHOULD CONTACT THE PROFESSIONAL OF RECORD FOR DIRECTIONS TO SOURCES. THESE SPECIFICATIONS ARE IN GENERAL AND NOT SPECIFICALLY FOR ONE BUILDING. THE OWNER IN APPLYING THESE SPECIFICATIONS ASSUMES COMPLETE RESPONSIBILITY FOR THEIR USE, CHANGE OR OMISSIONS.

2) CONTRACTOR SHALL VERIFY ALL CONDITIONS PRIOR TO THE START OF WORK AND THEY SHALL FAMILIARIZE THEMSELVES WITH THE INTENT OF THE DRAWINGS AND SPECIFICATIONS AND MAKE THE WORK AGREE WITH THE SAME BEFORE ORDERING ANY MATERIAL, OR DOING ANY WORK.. THE CONTRACTOR IS RESPONSIBLE FOR ALL DIMENSION AND CONDITIONS ON THE JOB. THE PROFESSIONAL OF RECORD OR ENGINEER OF RECORD MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. THE CONTRACTOR SHALL NOT SCALE -OFF DRAWINGS. ALL WRITTEN DIMENSION SHALL HAVE PRECEDENCE OVER GRAPHIC SCALE DIMENSIONS. SHOULD THE CONTRACTOR FAIL TO NOTIFY THE DESIGNER OF ERRORS OR DISCREPANCIES WITHIN A REASONABLE TIME, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF RECTIFYING SUCH ERRORS.

3) SHOULD ANY CONTRADICTION OR AMBIGUITY OCCUR IN OR BETWEEN THE DRAWINGS AND SPECIFICATIONS, THE INTERPRETATION AND DECISION OF THE PROFESSIONAL OF RECORD WITH RESPECT THERETO SHALL BE FINAL AND BINDING ON BOTH PARTIES.

4) THE CONTRACTOR PERFORMING THE WORK SHALL OBTAIN ALL BUILDING DEPARTMENT APPROVALS AND REQUIRED PERMITS BEFORE COMMENCEMENT OF WORK. CONTRACTORS ARE TO FILE INSURANCE CERTIFICATE. AT THE COMPLETION OF WORK, THEY SHALL HAVE ALL THE MATERIALS INSPECTED BY THE BUILDING DEPARTMENT AND SHALL FILE AND OBTAIN A CERTIFICATE OF COMPLETION.

5) A PERMIT CARD, BEARING THE PERMIT NUMBER, APPLICATION NUMBER, AND LOCATION OF THE PREMISES FOR WHICH THE PERMIT IS ISSUED SHALL BE POSTED OR DISPLAYED AT THE JOB SITE.

6) WHENEVER THE TERM "APPROVAL," "APPROVED," "ACCEPTABLE," "SATISFACTORY," "PROPER" OR OTHER GENERAL QUALIFYING TERMS ARE USED IN THE CONTRACT DOCUMENTS, IT SHALL BE THE PROFESSIONAL OF RECORD, THE TERMS "APPROVED" OR "APPROVAL" MEAN WRITTEN APPROVAL OF THE WORD "PROVIDE" INCLUDES FURNISHING, INSTALLING AND CONNECTING THE ITEMS CITED; THE WORD "FURNISH" MEANS DELIVERY TO THE BUILDING; THE WORD "INSTALL" MEANS FUNCTION INCLUDING HOOKING-UP IF REQUIRED.

7) ALL MATERIALS AND CONSTRUCTION TO BE INCORPORATED INTO THE WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE ASTM SPECIFICATION, APPLICABLE, AND CONFORM TO THE STANDARDS AND RECOMMENDATIONS OF THE VARIOUS TRADE INSTITUTES WHERE APPLICABLE. ALL MATERIALS INCORPORATED INTO THE WORK SHALL BE NEW. ALL MATERIALS SHALL BE INSTALLED IN STRICT CONFORMANCE WITH THE MANUFACTURER'S SPECIFICATIONS. ALL ITEMS N.I.C. (NOT IN CONTRACT) SHALL BE FURNISHED BY OTHERS.

8) PROPRIETARY NAMES IDENTIFYING ITEMS OF WORK ARE USED TO DESIGNATE THE STANDARD OF CONSTRUCTION. ITEMS OF EQUAL QUALITY MAY BE SUBMITTED FOR THE PROFESSIONAL OF RECORD'S REVIEW FOR APPROVAL.

9) THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE SUPERVISION OF CONSTRUCTION OR THE CONSTRUCTION SITE. THE ARCHITECT IS NOT BEING RETAINED AS PROJECT MANAGERS TYP. ANY AND ALL VIOLATIONS FOR THE PROPOSED SITE TO BE IDENTIFIED TO THE PROFESSIONAL SEALING THESE DRAWINGS BY THE CONTRACTOR, THE PROFESSIONAL ACCEPTS NO RESPONSIBILITY FOR ANY VIOLATIONS IN THE GIVEN AREA OF WORK ON THE PROJECT SITE.

10) CONTRACTOR SHALL FURNISH PROOF AND MAINTAIN ALL THE REQUIRED WORKER'S COMPENSATION INSURANCE, AS WELL AS GENERAL LIABILITY AND ANY OTHER REQUIRED INSURANCES. CONTRACTOR SHALL PROVIDE ALL SAFEGUARDS AS REQUIRED TO PRECLUDE INJURY TO OWNERS AND CONTRACTORS PERSONNEL. OWNER SHALL BE NAMED ON ALL INSURANCE POLICIES BY CONTRACTOR FOR THIS JOB.

11) CONTRACTOR SHALL REROUTE AS REQUIRED EXISTING PLUMBING, ELECTRICAL SERVICE / WIRING, AND HEATING LINES OR DUCTS WHICH INTERFERE WITH THE NEW CONSTRUCTION. PLUMBING WORK SHALL BE INSTALLED, BY A LICENSED PLUMBER AND IS IN ACCORDANCE WITH NEW YORK STATE AND NATIONAL PLUMBING CODES.

12) PRIOR TO BEGINNING THE WORK, CONTRACTOR SHALL VERIFY IF EXISTING ELECTRICAL SERVICE, HEATING, AND AIR CONDITIONING SYSTEMS ARE ADEQUATE FOR THE NEW WORK. IF NOT, THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY. ELECTRICAL WORK SHALL BE INSTALLED BY AN LICENSED ELECTRICIAN AND IN ACCORDANCE WITH NEW YORK AND NATIONAL ELECTRICAL CODES. A FIRE UNDERWRITER'S LABORATORY CERTIFICATE SHALL BE OBTAINED FOR ALL ELECTRICAL WORK, AND SUPPLIED TO THE OWNER AND THE PROFESSIONAL OF RECORD.

13) THE DRAWINGS DO NOT PURPORT TO SHOW ALL REMOVALS. THE CONTRACTOR SHALL REMOVE ANY AND ALL MATERIALS NECESSARY FOR THE COMPLETION OF THE NEW WORK.

14) ACCESS PANELS: ALL EQUIPMENT SWITCHES, AND VALVES THAT ARE CONCEALED MUST BE PROVIDED WITH ACCESS PANELS.

15) DURING DEMOLITION WORK, PROPERLY PROTECT ALL EXISTING WORK SCHEDULED TO REMAIN. PROVIDE ANY SHORING, BRACING AND TEMPORARY PARTITIONS AS REQUIRED TO PROTECT ADJOINING EXISTING AREAS SO THAT THE OWNER CAN CONTINUE DAILY OPERATIONS WITH MINIMAL INTERRUPTIONS.

16) ALL ITEMS REMOVED IN THE WORK SHALL REMAIN THE OWNERS PROPERTY WITH THE EXCEPTION OF DEBRIS & ANY REMAINING ITEMS THAT THE OWING SLATES FOR DISPOSAL SHALL BE CARTED OFF SITE & LEGALLY DISPOSED OF. THE COST OF THE DEBRIS REMOVAL/DUMPSTER IS THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE INDICATED IN THE CONTRACT. AT THE COMPLETION OF EACH WORKDAY, EACH TRADE SHALL BE RESPONSIBLE FOR CLEANING UP THEIR WORK. RUBBISH REMOVAL SHALL BE DONE IN A DUST-FREE MANNER, AND THE JOB SITE BE FREE OF ALL DEBRIS AND BROOM CLEANED UPON COMPLETION.

17) THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, APPLIANCES AND EQUIPMENT REQUIRED TO COMPLETE ALL WORK, ETC., AS SHOWN ON DRAWINGS, NECESSARY FOR A COMPLETE JOB, UNLESS OTHERWISE SPECIFIED. ALL MATERIALS AND WORKMANSHIP SHALL BE OF GOOD QUALITY.

18) MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY, FOR PROPER AND ACCEPTABLE CONSTRUCTION, INSTALLATION, OR OPERATION OF ANY PART OF THE WORK, AS DETERMINED BY THE DESIGNER, SHALL BE INCLUDED IN THE WORK THE SAME AS IF HEREIN SPECIFIED OR INDICATED.

19) ALTERATION TO EXISTING WORK SHALL BE PATCHED AND FINISHED, AS NECESSARY, TO MATCH EXISTING CONTIGUOUS SURFACES OR NEW FINISHES SHOWN.

20) EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ADJOINING REMAINING AREAS AS A RESULT OF HIS WORK, AND SHALL REPAIR DAMAGED SURFACES TO THEIR PRE-EXISTING CONDITIONS OR AS MAY BE REQUIRED TO COMPLETE THE ENTIRE SCOPE OF WORK.

21) SHOP DRAWINGS FROM ALL OTHER TRADES ARE SUPPLEMENTARY TO THE PROFESSIONAL OF RECORD DRAWINGS AND MUST BE APPROVED BY THE PROFESSIONAL OF RECORD AND WITH HIS CONSULTANT(S) VIA WRITTEN CORRESPONDENCE THRU THE PROFESSIONAL OF RECORD FOR HIS CONSULTANT(S). THE CONTRACTOR SHALL CHECK AND COORDINATE ALL THE DRAWINGS BEFORE FABRICATION AND/OR INSTALLATION OF ANY WORK. CONTRACTOR SHALL IMMEDIATELY NOTIFY PROFESSIONAL OF RECORD OF ANY DISCREPANCIES OR ERRORS. CONTRACTOR SHALL COORDINATE ALL WORK ON THESE DRAWINGS WITH WORK OF ALL OTHER TRADES.

22) ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS ANY QUESTIONS REGARDING THE SAME OR THEIR EXACT MEANING, PROFESSIONAL OF RECORD SHALL BE NOTIFIED FOR CLARIFICATION.

23) CONTRACTOR SHALL EXERCISE SUFFICIENT CARE TO MINIMIZE DAMAGE TO EXISTING AREAS (INCLUDING LAWNS AND SHRUBS), AREA DAMAGED DUE TO THE NEW CONSTRUCTION SHALL BE RESTORED TO ITS ORIGINAL CONDITION

24) GRADING AROUND NEW CONSTRUCTION SHALL SLOPE AWAY FROM NEW STRUCTURE AND BLEND INTO EXISTING

25) CONNECT AND/OR RECONNECT ALL DOWN SPOUTS TO DRY WELLS IF REQUIRED BY CODE.

26) THE CONTRACTOR SHALL DELIVER TO THE PROFESSIONAL OF RECORD, UPON COMPLETION OF ALL WORK UNDER THE CONTRACT, AND BEFORE FINAL PAYMENT IS MADE, HIS WRITTEN GUARANTEE MADE OUT TO THE DESIGNER, IN FORM SATISFACTORY TO THE PROFESSIONAL OF RECORD, GUARANTEEING ALL THE WORK, MATERIALS, EQUIPMENT, ETC., PROVIDED UNDER THE CONTRACT TO FREE FROM DEFECTIVE MATERIALS AND/OR FAULTY WORKMANSHIP, AND TO BE WATERIGHT AND LEAK PROOF. THE CONTRACTOR AGREES TO REPLACE OR RE-EXECUTE IN A MANNER SATISFACTORY TO THE PROFESSIONAL OF RECORD, WITHOUT COST TO OWNER OR THE PROFESSIONAL OF RECORD, SUCH WORK AS MAY BE FOUND TO BE DEFECTIVE AND/OR FAULTY, IN THE OPINION OF THE PROFESSIONAL OF RECORD, AND PAY FOR ALL DAMAGE AND/OR MATERIALS REQUIRED FOR SUCH REPLACEMENT OR RE-EXECUTION.

27) THE CONTRACTORS OVERALL GUARANTEE SHALL COVER A MINIMUM PERIOD OF (1)ONE YEAR FROM THE POINT OF SUBSTANTIAL COMPLETION* EXCEPT FOR ROOFING AND FLASHING AS CALLED FOR IN THE PRODUCT SPECIFICATIONS FOR PERIODS OF TIME AS INDICATED.

*SUBSTANTIALLY COMPLETE MEANS THAT THE STRUCTURE OR PROJECT IS BEING USED FOR THE PURPOSE IT WAS DESIGNED FOR IN PART OR IN WHOLE.

28) INDEMNIFICATION AGREEMENT OR HOLD HARMLESS CLAUSE, INSURED BY CONTRACTUAL LIABILITY, SHALL BE IDENTIFIED AND ITS LANGUAGE TO THE EFFECT THAT THE CONTRACTOR AGREES TO INDEMNIFY AND SAVE HARMLESS THE OWNER AND THE PROFESSIONAL OF RECORD AGAINST LOSS OR EXPENSE, BY REASON OF THE LIABILITY IMPOSED BY LAW UPON THE OWNER AND THE PROFESSIONAL OF RECORD, FOR DAMAGE BECAUSE OF BODILY INJURIES, INCLUDING DEATH, AT ANY TIME, RESULTING THEREFROM ACCIDENTALLY SUSTAINED BY ANY PERSON OR PERSONS OR ON ACCOUNT OF DAMAGE TO PROPERTY ARISING OUT OF OR IN CONSEQUENCE OF THE PERFORMANCE OF THE CONTRACT, WHETHER SUCH INJURIES TO PERSONS OR DAMAGE TO PROPERTY ARE DUE TO OR CLAIMED TO BE DUE TO ANY NEGLIGENCE OF THE OWNER AND/OR THE PROFESSIONAL OF RECORD, HIS EMPLOYEES, OR AGENTS OR ANY OTHER PERSON. THIS AGREEMENT SHALL NOT APPLY, IF THE INSURED, INDEMNITIES IS AN PROFESSIONAL OF RECORD, ENGINEER, OR SURVEYOR, TO ANY LIABILITY ARISING OUT OF DEFECTS IN MAPS, PLANS, DESIGNS OR SPECIFICATIONS PREPARED OR USED BY SUCH PROFESSIONAL OF RECORD, ENGINEER, OR THEIR DESIGNATED AGENTS.

29) THE GENERAL CONTRACTOR TO MAINTAIN A FULL SET OF COMPLETE, UP-TO-DATE PLANS AVAILABLE AT THE JOB SITE. CONTRACTOR TO PROVIDE MARKED UP AS BUILTS PRIOR TO FINAL PAYMENT.

FOUNDATIONS & CAST-IN-PLACE CONCRETE:

1) PRIOR TO BEGINNING ANY WORK, THE CONTRACTOR SHALL CHECK AND VERIFY THE CONDITION OF ALL EXISTING FOUNDATION WALLS AND FOOTINGS WHICH MAY EFFECT THE NEW WORK. STRUCTURAL INTEGRITY, THICKNESS AND DEPTH BELOW GRADE MUST BE VERIFIED.

2) PRIOR TO EXCAVATION, THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL PROPERTY LINES AND SETBACK LINES AS WELL AS ALL UNDERGROUND UTILITIES (WATER, SANITARY, ELECTRIC, OIL, GAS, PHONE, ETC.) ALL CONCRETE SHALL BE IN ACCORDANCE WITH ACI BUILDING CODE EXTERIOR FOUNDATIONS TO BEAR A MINIMUM OF 3'-0" INTO UNDISTURBED SOIL WITH A MINIMUM ALLOWABLE BEARING CAPACITY OF 3000 PSF MINIMUM. EXTERIOR FOOTINGS SHALL RECEIVE 2X4 KEY WITH REINFORCING BARS PER DRAWING DETAILS AND NOTED BELOW. ALL IN ACCORDANCE WITH NY STATE BUILDING CODE.

3) ALL CONCRETE SHALL BE STONE CONCRETE AND SHALL DEVELOP A MINIMUM ULTIMATE COMPRESSIVE STRENGTH AT 28 DAYS OF 3,000 PSI. SLAB ON GRADE TO BE STONE CONCRETE WITH A MINIMUM ULTIMATE COMPRESSIVE STRENGTH AT 28 DAYS OF 3,500 PSI. CONCRETE EXPOSED TO WEATHER SHALL BE AIR ENTRAINED. READY MIX OR JOB MIXED CONCRETE MAY BE USED AT CONTRACTOR OPTION MUST MEET COMPRESSIVE STRENGTH.

4) NO ADMIXTURE ALLOWED UNLESS APPROVE BY DESIGN PROFESSIONAL IN WRITING.

5) SET AND BUILD INTO CONCRETE WORK ALL ANCHORS, SLEEVES AND ANY OTHER EMBEDDED ITEMS.

6) PREPARATION OF SUBGRADE: THE SUBGRADE FOR ALL CONCRETE WORK SHALL BE PROPERLY PREPARED BY REMOVAL OF ANY UNDESIRABLE MATERIAL AND REPLACED WITH SUITABLE GRANULAR MATERIAL, THOROUGHLY TAMPED. THE SUBGRADE SURFACE SHALL BE FINE GRADED AND THOROUGHLY COMPACTED PRIOR TO PLACEMENT OF ANY CONCRETE.

7) REMOVE TOPSOIL AND OTHER SURFACE MATERIALS IN PREPARATION FOR POURING CONCRETE SLABS. INTERIOR SLABS ON GRADE TO BE POURED ON COMPACTED 95% POROUS FILL OR SUITABLE ON-SITE MATERIAL. A 4 MIL THICK POLYETHYLENE VAPOR BARRIER SHEET TO BE LAID UNDER SLAB. SLAB TO BE STEEL TROWELED. SLAB TO BE REINFORCED WITH W.W.F. 6 X 8/10/10.

8) CONCRETE FORMS MUST USE AN APPROVED RELEASE AGENT. FORM WORK MAY NOT BE REMOVED FOR A MINIMUM OF (2)TWO DAYS AND BELOW FREEZING FOR A MINIMUM OF (4)FOUR DAYS.

9) FOUNDATION WALLS SHALL BE DAMP PROOFED FROM BOTTOM OF FOOTING TO WITHIN 1" OF GRADE WITH TROWEL COAT OF BITUMINOUS MASTIC. SEPARATED BY A LAYER OF ASPHALT SATURATED MESH.

10) CONTRACTOR MAY BACK FILL, AGAINST FOUNDATION WALLS, ONLY AFTER SEVEN (7) DAYS OF CONCRETE CURE TIME USING PROPER CONSTRUCTION METHODS, AND EQUIPMENT, TO AVOID DAMAGE TO THE WALLS. WALLS ARE TO BE BRACED ADJACETLY WITH FIRST FLOOR JOIST AND PLYWOOD DECK. ALL GRADING TO BE BACK PITCHED FROM ALL NEW AND EXISTING STRUCTURES

11) STEP FOOTINGS, WHERE ELEVATION CHANGES, 1 VERTICAL TO 2 HORIZONTAL.

12) PROVIDE REBAR DOWELS FROM FOOTINGS INTO P.C. FOUNDATION WALL DOWELS TO HAVE MIN 6" HOOK END EMBEDDED INTO FOOTINGS AND MIN 24" INTO FOUNDATION WALL TYP.

13) ROD REINFORCEMENT SHALL BE INTERMEDIATE GRADE DEFORMED BARS, CONFORMING TO ASTM A615-60; REINFORCEMENT SHALL CONFORM TO ASTM A185 AND A82.

14) DETAILS AND GENERAL PROVISIONS, FOR CONCRETE CONSTRUCTION, SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST ACI BUILDINGS CODE, ACI 318, AND MANUAL ACI 315.

15) COORDINATION OF ALL THROUGH WALL UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR

16) UPON BACKFILLING FOUNDATION, CHEMICALLY TREAT SOIL FOR PROTECTION FROM TERMITES AS PER AGENCIES HAVING JURISDICTION.

17) WHERE NEW FOUNDATION WALLS ABUT EXISTING FOUNDATION WALLS, PROVIDE DIAMETER X 12" LONG STEEL DOWELS EMBEDDED INTO NEW CONCRETE AND DRILLED AND GROUTED INTO EXISTING FOUNDATION WALLS AT A MAXIMUM OF 2'-0" O.C VERTICALLY.

18) PORTLAND CEMENT COMPLYING WITH ASTM C-150.

19) AGGREGATE COMPLYING WITH ASTM C-33.

20) REINFORCING SHALL COMPLY WITH ASTM A-615, GARDE 60, FOR BARS AND ASTM A-185 FOR WELDED WIRE MESH.

21) UNLESS OTHERWISE INDICATED, ALL CONCRETE SHALL BE 3,000 PSI AND SHALL COMPLY WITH ASTM C-34 IF TRANSIT MIX.

22) ALL EXPOSED EXTERIOR CONCRETE SHALL BE AIR ENTRAINED.

23) FORMS: FORMS SHALL BE METAL OR PLYWOOD, FORMS SHALL BE CAREFULLY SET TO LINE AND GRADE.

24) IMMEDIATELY PRIOR TO PLACING THE CONCRETE, THE SUBGRADE SHALL BE THOROUGHLY DAMPENED SO THAT IT IS MOIST THROUGHOUT, BUT WITHOUT PUDDLES OF WATER.

MASONRY STEPS, PLATFORMS AND RAMPS

1) TOP SURFACE OF STEPS SHALL BE PITCHED TOWARD THE NOSING. RISERS SHALL SLANT OUT TOWARDS NOSING. NOSING SHALL BE FINISHED WITH A BULL-NOSE.

2) AFTER TROWELLING, TOP SURFACES OF PLATFORMS, STEPS AND OR RAMPS SHALL BE LIGHTLY BROOMED. RAMPS SHALL BE BROOMED AT RIGHT ANGLES TO THE DIRECTION OF PITCH.

3) RAMPS SHALL BE CONSTRUCTED TO THE DIMENSIONS INDICATED. MAXIMUM SLOPE SHALL BE 1 INCH IN 12 INCHES. MAX RISE TO BE 30" WITHOUT INTERMEDIATE PLATFORM TO CODE MIN 5'-0"x5'-0".

4) CONCRETE SHALL CONFORM TO ACI 301 & ACI 308 WITH SPECIAL ATTENTION TO COLD WEATHER INSTALLATION AND REMOVALS OF FORMS

CARPENTRY

1) ALL CARPENTRY WORK SHALL BE PERFORMED IN CONCORDANCE WITH GOOD TRADE PRACTICE, RECOMMENDATIONS OF MANUFACTURERS' AND IN CONFORMANCE WITH THE NEW YORK STATE BUILDING CODE, AND THESE SPECIFICATIONS.

A. PROVIDE, AT LEAST, DOUBLE JOISTS AND HEADERS, AT SKYLIGHTS, STAIRWAYS, PARALLEL WALLS, MISCELLANEOUS OPENINGS, WATER CLOSET DRAIN BENDS, AND AT ALL VENT AND MECHANICAL OPENINGS 2' OR MORE IN WIDTH, UNLESS OTHERWISE SHOWN ON THE DRAWINGS. PROVIDE SOLID BEARING FOR FULL WIDTH OF RAFTERS, GIRDERS, ETC.

B. ROOF SHEATHING, SHALL BE LAID WITH FACE GRAIN AT RIGHT ANGLES TO SUPPORTS; LOCATE END JOINTS OVER SUPPORTS; STAGGER JOINTS

2) ALL DIMENSIONS SHOWN ARE TO ROUGH FRAMING. PRIOR TO FRAMING, CONTRACTOR SHALL VERIFY LOCATIONS OF ALL PROPOSED LIGHT FIXTURES, FANS, AND OTHER ELECTRICAL AND MECHANICAL APPURTENANCE, AS PER REFLECTED CEILING PLANS. CONTRACTOR SHALL RELOCATE ANY EXISTING FRAMING WHICH INTERFERES WITH PROPOSED LOCATIONS OF NEW LIGHT FIXTURES, FANS, ETC

4) ALL WOOD POSTS, RESTING ON TOP OF CONCRETE WALLS, SHALL HAVE CLIP ANGLE ANCHORAGE TO CONCRETE BASE. ALL POSTS, RESTING ON TOP OF STEEL BEAM, SHALL HAVE CLIP ANGLES BOLTED OR WELDED TO THE FLANGES OF THE STEEL BEAM.

4) ALL STRUCTURAL FRAMING LUMBER SHALL BE #2 OR BETTER DOUG-FIR, FB=1200 P.S.I. & E =1,400,000 P.S.I. UNLESS OTHERWISE INDICATED, WITH SPT UTILITY SHOES AND PLATES. STUD GRADE FPF: ALL LINTELS SHALL BE DOUG-FIR WITH FB = 1200 P.S.I. NO HEM FIR, AT ALL FREESTANDING 90° CORNERS PROVIDE INSET 1"x6" ANGLED WIND BRACING.

5) STRUCTURAL HEADERS OVER DOORS AND WINDOWS SHALL BE (2) 2X8 (UNLESS OTHERWISE NOTED).

6) FLITCH PLATE BEAMS AS NOTED SHALL BE THROUGH BOLTED AT 16" O.C. STAGGERED TOP AND BOTTOM MIN. 2" CLEAR OF BEAM EDGE.

7) BELOW EACH END OF ALL WOOD BEAMS AND HEADERS, WOOD WITH STEEL FLITCH PLATE BEAMS OR STEEL BEAMS, THE CONTRACTOR SHALL PROVIDE THE APPROPRIATE COLUMN OR POST SUPPORT. BELOW WOOD BEAMS PROVIDE MINIMUM OF (2) 2X4 OR (2) 2X6 WOOD POSTS. BELOW WOOD WITH STEEL FLITCH BEAMS, PROVIDE MIN. 4X4 DOUGLAS FIR POSTS. BELOW STEEL BEAMS PROVIDE 4" DIA. STANDARD WEIGHT STEEL PIPE COLUMNS (UNLESS OTHERWISE NOTED). BLOCK ALL WOOD POSTS SOLID TO CONCRETE OR STEEL BELOW.

8) ALL FLUSH CONNECTIONS SHALL BE MADE WITH HEAVY DUTY JOIST HANGERS.

9) WHERE RAFTERS AND JOISTS FRAME, INTO OTHER WOOD BEAMS, PROVIDE TECO U-GRIP, 18 GAGE GALVANIZED STEEL JOIST AND BEAM HANGERS.

10) ALL RAFTERS AT CATHEDRAL OR VAULTED CEILINGS SHALL HAVE HURRICANE CLIPS INSTALLED WHERE THE RAFTERS AND WALL MEET.

11) ALL ROOF OVERHANGS, EXTERIOR COLUMNS, ETC., SHALL BE SECURELY FASTENED BY MECHANICAL MEANS TO PREVENT UPLIFT OR MOVEMENT DUE TO WIND LOADS.

12) PROVIDE HORIZONTAL 'CATS' AT ALL BAYS IN ALL BEARING WALLS, AS WELL AS STRONG BACKS FOR WOOD JOISTS (FACTORY MANUFACTURED)

13) PROVIDE FIRE STOPPING AS PER CODE.

14) MAINTAIN 2" CLEARANCE BETWEEN FACE OF CHIMNEY AND WOOD CONSTRUCTION AT ALL SIDES OF ROOF, CEILING, WALLS AND FLOOR.

15) ALL ROOF AND WALL PLYWOOD PANELS SHALL BE EXTERIOR CDX GRADE, WITH EXTERIOR GLUE, SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE U.S. PRODUCTS STANDARD PS-1, AND SHALL BE IDENTIFIED WITH THE APPROPRIATE GRADE TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION. ALL PLYWOOD SUB-FLOOR PANELS SHALL BE OF SAME AS ABOVE, AND SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE U.S. PRODUCT STANDARD PS-1, AND SHALL BE IDENTIFIED WITH THE APPROPRIATE GRADE TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION.

16) WOOD MEMBERS IN CONTACT WITH MASONRY, OR CONCRETE, MUST BE PRESERVATIVE TREATED TO DEFINITE RETENTIONS AND PENETRATIONS IN ACCORDANCE WITH THE AWPA STANDARDS C-1 AND C-2.

17) LUMBER IS TO BE FURNISHED AND INSTALLED, COMPLETE WITH ALL FASTENINGS, ANCHORS, BLOCKING, BRIDGING, SADDLES, HANGERS, ETC. REQUIRED TO COMPLETE THE JOB. WHERE FASTENERS ARE NOT SPECIFICALLY INDICATED OR SPECIFIED THEY SHALL BE FURNISHED IN ADEQUATE NUMBER AND SIZE.

18) PROVIDE WOOD BRIDGING (8'-0" ON CENTER MAXIMUM SPACING) FOR ALL WOOD JOISTS AND SOLID BRIDGING BETWEEN JOISTS AT BEARING ON WOOD STUD BEARING WALLS. SECURE BOTTOM OF BRIDGING AFTER SUB-FLOOR HAS BEEN NEEDED.

19) ALL EXTERIOR WALL CORNERS TO BE FILLED WITH INSULATION DURING THE FRAMING PROCESS PRIOR TO CLOSING THE CORNER.

20) WOOD STAIRS AND RAILING; PER NYS RES. SUPPLEMENT: STAIRS SHALL HAVE AT LEAST 1 HANDRAIL - 34" MIN./ 38" MAX. W/ BALUSTER TO BE SPACED LESS THAN 4" O.C. TYP. RISERS SHALL NOT EXCEED 8 1/4". NOSING 3/4" MIN./1 1/4" MAX., TREAD MIN. 9". TREADS SHALL BE CAPABLE OF WITHSTANDING A LOAD OF 200 POUNDS APPLIED IN ANY DIRECTION AT ANY POINT OF RAIL AND 50 POUNDS PER FOOT THRUST HORIZONTALLY OR VERTICALLY. SHOP DRAWINGS BY OTHERS TO BE PROVIDED FOR REVIEW TYP.

21) ALL FLOORS UNLESS OTHERWISE NOTED SHALL RECEIVE 1 LAYER OF 3/4" T&G EXTERIOR PLYWOOD SUB-FLOORING. SUB-FLOORING SHALL BE INSTALLED WITH FACE GRAIN ACROSS SUPPORTS; GLUED AND NAILED (OR SCREWED 1-3/4") WITH 60 COMMON NAILS 6 INCHES O.C. ALONG SUPPORTED EDGES AND 10 INCHES O.C. AT INTERMEDIATE SUPPORTS; BREAK JOINTS IN ADJACENT COURSES; LOCATE END JOINTS OVER SUPPORTS AND DRIVE NAILS FLUSH OR SLIGHTLY BELOW SURFACE. UNDERLAYMENT, WHERE REQUIRED, SHALL BE SIMILARLY INSTALLED. ALL FLOORS COVERED WITH CARPET SHALL HAVE (1) LAYER 3/4" PLYWOOD UNDERLAYMENT OR APPROVED EQUAL OVER SUB-FLOOR.

22) ALL LUMBER SHALL BE PROTECTED FROM THE WEATHER WITH A TARPAULIN OR HEAVY GAUGE PLASTIC. ALL WOOD MATERIAL SHALL BE STOCK PILED ON WOOD DUNNAGE, IN A RELATIVELY FLAT DRY AREA. LUMBER RECEIVED AT THE JOB SHALL BE MOLD AND MILDEW FREE. PROFESSIONAL OF RECORD RESERVES RIGHT TO REJECT ANY MATERIAL STOCKPILED OR INSTALLED WITH VISUAL MOLD OR MILDEW.

23) BLIND STEP FLASH WITH METAL FLASHING, ALL JUNCTIONS WHERE VERTICAL MEETS HORIZONTAL (ROOF, CHIMNEYS, WINDOWS, DOORS, ETC.)

24) ALL EXTERIOR TRIM, UNLESS OTHERWISE NOTED CORNER BOARDS, FASCIAS, RAKE BOARDS, ETC. SHALL BE CLEAR PINE, BACK PRIMED ONE COAT MINIMUM BEFORE INSTALLATION, UNLESS OTHERWISE DIRECTED.

25) ANY OR ALL COMPOSITE, "GLULAM", "MICROLAM" OR JOISTS ETC. MUST BE APPROVED PRIOR TO INSTALLATION BY PROFESSIONAL OF RECORD AND SHOP DRAWINGS BEAR THE SEAL OF THE MANUFACTURERS' PE OR RA ON ITS SHOP DRAWINGS PRIOR TO APPROVAL FOR FABRICATION.

FINISHES:

1) ALL GLAZING AT GLASS DOORS, ENTRANCE SIDELIGHTS, TUB AND SHOWER ENCLOSURES SHALL BE FULLY TEMPERED AS PER A-207-A. GLASS TO BE IDENTIFIED.

2) ALL PARTITIONS, EXTERIOR WALLS AND CEILINGS, WILL BE COVERED WITH 1/2" GYPSUM WALL BOARD TYPE "X" WHERE NOTED, UNLESS NOTED OTHERWISE. MOISTURE RESISTANT GYPSUM WALL BOARD TO BE USED AT BATHROOMS AND OTHER "WET" AREAS WITH CEMENTIOUS BACKER BOARD, (WONDERBOARD) OR APPROVED EQUAL, UNDER ALL TILE.

3) DENS-SHIELD UNDERLAYMENT REINFORCEMENT MAT TO BE USED AT ALL TILE FLOOR AREAS TYP.

4) LAITCRETE UNDERLAYMENT REINFORCEMENT MAT TO BE USED AT ALL WALL AND CEILING AREAS TO BE FINISHED W/ TILE TYP.

5) ALL GYPSUM WALL BOARD SHALL RECEIVE 3 COATS TAPE AND SPACKLE; SANDED BETWEEN COATS.

6) PROVIDE COMBUSTION AIR & CLOSEABLE TIGHT FITTING DAMPERS FOR ALL FIREPLACES AS WELL AS TEMPERED GLASS ENCLOSURES.

THERMAL & MOISTURE PROTECTION(PERIECC 2020)

1) FOUNDATION WALL: ON PROPERLY PREPARED AND PRIMED SURFACES APPLY 2 COATS OF HOT ASPHALT DAMP PROOFING. EACH COAT TO BE APPLIED AT A RATE OF 2 GALLONS PER 100 SQ. MIN. APPLY EACH COAT FROM BASE OF FOOTING TO FINISH GRADE. IF FOUNDATIONS ARE CONCRETE BLOCK, APPLY A COAT OF PORTLAND CEMENT PARGING PRIOR TO ASPHALT APPLICATION. CONCRETE TO BE PRIMED W/ BITUMEN MANUFACTURER APPROVED PRIMER. COVER BITUMEN W/ A LAYER OF 4 MIL POLY VAPOR BARRIER AND A RIGID DRAINAGE BD. DIMPLES TO THE BITUMEN SIDE.

2) INSULATION: PROVIDE TYPE 11 NON-REFLECTIVE VAPOR BARRIER ON ONE SIDE MINERAL FIBER INSULATION BATTS W/ INTEGRATED NAILING FLANGE IN THE R-VALUE BELOW FOR ZONE 4A: (ZONE 5A IN PARENTHESSES) TABLE N1102.1.2 (R402.1.2)

FENESTRATION - 'U' FACTOR: .35 (.32)
SKYLIGHT - 'U' FACTOR: .55 (SAME)
GLAZED FENESTRATION - SHGC: .40 (NR)
CEILING: R-49 (SAME)
WOOD FRAME WALL: R-20 OR R-13+5 (SAME)
MASS WALL: R-8/13 (R-13/17) CONTINUOUS / CAVITY FLOOR: R-19 (R-30)
BASEMENT WALL: R-10/13 (R-15/19) CONTINUOUS / CAVITY SLAB PERIMETER: R-10, 2 FEET (SAME)
CRAWL SPACE: R-10/13 (R-15/19)

3) PER N1102.2 (R402.2.1) CEILINGS W/ ATTICS - INSTALLING UNCOMPRESSED R-38 INSULATION OVER 100 PERCENT OF THE CEILING AREA REQUIRING INSULATION AND EXTENDING OVER THE WALL TOP PLATE AT THE EAVES SHALL BE DEEMED TO SATISFY THE REQUIREMENTS FOR R-49 INSULATION.

4) PER N1102.2.1 (R402.2.2) CEILINGS W/OUT ATTIC SPACES - WHERE INSULATION VALUES ABOVE R-30 ARE REQUIRED AND CEILING ASSEMBLY DOES NOT ALLOW SUFFICIENT SPACE THE MIN. SHALL BE R-30. THIS REDUCTION IS LIMITED TO 500 SF OR 20% OF THE TOTAL INSULATED CEILING AREA, WHICHEVER IS LESS.

5) PER N1102.2.4 (R402.2.4) ACCESS HATCHES AND DOORS TO BE WEATHERSTRIPPED AND INSULATED TO MATCH ADJACENT R-VALUES TYP.

6) CAULKING AND SEALANTS TO BE SELECTED BY CONTRACTOR TO SUIT APPLICATION AND MATERIAL.

7) SHINGLES TO BE 3- DIMENSIONAL LAMINATED STRIP 'UL' CLASS 'A' MINERAL SURFACE, SELF SEALING, LAMINATED MULTIPLY CONSTRUCTION WEIGHING NOT LESS THAN 245 LBS PER SQUARE. INSTALL IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

8) INSTALL METAL FLASHING AND STEP FLASHING AS REQUIRED. PROVIDE SELF ADHESIVE FLASHING OVER NEW METAL FLASHING TO SUB-SYSTEM INTERSECTION

9) INSTALL (2) BEADS OF SEALANT AT ALL EXTERIOR DOOR SADDLES, AND (1) BEAD MIN. AT ALL WINDOW NAILING FLANGE PERIMETERS PRIOR TO INSTALLING WINDOWS.

10) PROVIDE ROOF DRAINAGE AS REQUIRED. PROVIDE A COMPLETE GUTTER AND LEADER SYSTEM TO INCLUDE ALL GUTTERS, LEADERS, FASTENERS, ETC.

11) ICE & WATERSHIELD TO BE INSTALLED PER CODE AT ALL ROOF, ROOFS WITH PITCH OF 5 ON 12 OR LESS TO BE COMPLETELY COVERED WITH ICE & WATERSHIELD TYP.

METALS

1) STEEL PLATES, SHAPES AND BARS TO CONFORM TO ASTM A36

2) STEEL PIPE TO CONFORM TO ASTM A55, TYPE 'E' OR 'S' GRADE 'B'.

3) FASTENERS - UNFINISHED BOLTS AND NUTS CONFORM TO ASTM A307, GRADE 'A'

4) ALL STEEL DESIGN SHALL CONFORM TO THE LATEST EDITION OF AISC, CONTRACTOR TO BE RESPONSIBLE FOR ERECTION OF STEEL AND SEQUENCING OF INSTALLATION.

5) PROVIDE ALL NECESSARY BEARING PLATES, COLUMN BASES AND CAPS, AND FASTENERS AS REQUIRED.

6) ALL VENTING TO FRESH AIR TYP. MECH'L ROOM VENTS TO BE LOCATED 12" FROM CEILING FOR INTAKE AND 12" FROM FLOOR FOR OUTPUT.

7) (1) SQUARE INCH OF VENT FOR EVERY 4,000 BTU/S OF INPUT FOR BOILER AND HOT WATER HEATER TYP.

MECHANICAL:

1) PRIOR TO BIDDING WORK, THE CONTRACTOR SHALL VERIFY THAT THE EXISTING HEATING AND AIR CONDITIONING SYSTEMS ARE ADEQUATE FOR THE NEW WORK, AND NOTIFY THE OWNER IMMEDIATELY IF DEFICIENT

2) UNLESS OTHERWISE NOTED IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SUBMIT THE SIZE, DESIGN AND TYPE OF MECHANICAL SYSTEMS WHICH WILL BE USED, IN SUFFICIENT DETAIL TO THE OWNER AT TIME OF BID.

3) HEATING SYSTEM SHALL BE CAPABLE OF MAINTAINING A 70 DEG. F INTERIOR TEMPERATURE @ 0 DEG. OUTDOOR TEMPERATURE WITH A 15MPH WIND FOR A PERIOD OF 24 HR.

4) RELOCATE ALL HVAC DIFFUSERS, RETURNS, AND RELATED DUCTWORK AS REQUIRED TO CLEAR NEW CONSTRUCTION.

5) PROVIDE MINIMUM 80 C.F.M. FAN CONTROLLED WITH A SWITCH, AT BATHROOMS AND UTILITY ROOMS UNLESS OTHERWISE NOTED, & EXHAUST FANS AT ALL KITCHEN DRYER VENTS TYP. ALL SHALL BE SEALED PER 2020 NYSMC OR NYSRBC.

ELECTRICAL:

1) PRIOR TO BIDDING WORK, THE CONTRACTOR SHALL VERIFY THAT THE EXISTING ELECTRICAL SERVICE IS ADEQUATE FOR THE NEW WORK, AND NOTIFY THE OWNER IMMEDIATELY IF DEFICIENT

2) RELOCATE EXISTING ELECTRICAL SERVICE AND METER, IF REQUIRED BY NEW WORK, TO NEAREST OR ADJACENT ACCEPTABLE WALL LOCATION.

3) ALL ELECTRICAL WORK, MATERIALS & METHODS OF INSTALLATION ARE TO BE IN CONFORMANCE WITH ALL APPLICABLE LOCAL CODES AND NEC LATEST EDITION.

4) ALL WIRING IS TO BE AS PER CODE.

5) ALL ELECTRICAL DEVICES (I.E. SWITCHES, DIMMERS, ETC.) TO BE "DECORA" TYPE, UNLESS OTHERWISE NOTED.

6) PROVIDE CLOSED CELL NEOPRENE GASKETS AT ALL ELECTRICAL DEVICES LOCATED IN EXTERIOR WALLS

7) PROVIDE ELECTRICAL CONNECTIONS (AS REQUIRED) FOR ALL KITCHEN APPLIANCES, LAUNDRY APPLIANCES, BATHROOM SPECIALTIES (SAUNA, STEAM UNIT, WHIRLPOOL BATH, ETC.), CENTRAL VACUUM SYSTEM, H.V.A.C. EQUIPMENT AND ALL OTHER (TELEPHONE, VIDEO, AUDIO, ETC.) REQUIRED CONNECTIONS.



TOWN OF CARMEL SITE PLAN APPLICATION INSTRUCTIONS



The Town of Carmel Planning Board meetings are held twice a month, on the second and fourth Wednesday's, at 7:00 PM at Carmel Town Hall, 60 McAlpin Avenue, Carmel

The submission deadline is 10 days prior to the Planning Board meeting. New site plan applications that have been deemed complete will be placed on the agenda in the order they are received.

No application will be placed on the agenda that is incomplete

Pre-Submission:

Prior to the formal submission of the site plan, a pre-submission conference may be requested by the applicant to be conducted with representatives from the Town, which may include the Town Planner, Town Engineer, Director of Code Enforcement and/or the Planning Board Attorney. This conference will serve to educate the applicant on the process he/she must follow, clarify the information required to submit a complete site plan application, and to highlight any specific areas of concern. You may arrange a pre-submission conference through the Planning Board Secretary at (845) 628-1500 extension 190.

Submission Requirements:

At least 10 days prior to the Planning Board meeting, the site plan application shall be submitted to the Planning Board Secretary as follows:

All site plans shall be signed, sealed and folded with the title box legible. The application package shall include:

- ☒ 11 copies of the Site Plan Application Form, signed and notarized.
- ☒ 11 copies of the SEQR Environmental Assessment Form (use of short form or long form shall be determined at pre-submission conference).
- ☒ 5 full size sets of the Site Plan (including floor plans and elevations)
- ☒ 1 CD (in pdf. format) containing an electronic version of the Site Plan
- ☒ 2 copies of the Disclosure Statement
- ☒ 11 copies of the Site Plan Completeness Certification Form
- ☒ All supplemental studies, reports, plans and renderings.
- ☒ 2 copies of the current deed.
- ☒ *1/A* 2 copies of all easements, covenants and restrictions.
- ☒ The appropriate fee, determined from the attached fee schedule. Make checks payable to the *Town of Carmel*.

Rose Lombetta 8/5/20
Planning Board Secretary; Date

[Signature] 8/5/2020
Town Engineer; Date



TOWN OF CARMEL SITE PLAN APPLICATION



Per Town of Carmel Code - Section 156 - Zoning

SITE IDENTIFICATION INFORMATION			
Application Name: Mahoven LLC.		Application # 20-0009	Date Submitted: 8/5/2020
Site Address: No. 737 Street: South Lake Blvd Hamlet: Mahopac			
Property Location: (Identify landmarks, distance from intersections, etc.) 500' South of Baldwin Place Road			
Town of Carmel Tax Map Designation: Section 75.42 Block 1 Lot(s) 13		Zoning Designation of Site: R-120	
Property Deed Recorded in County Clerk's Office Date Liber Page		Liens, Mortgages or other Encumbrances Yes <input checked="" type="radio"/> No	
Existing Easements Relating to the Site <input checked="" type="radio"/> No Yes Describe and attach copies:		Are Easements Proposed? <input checked="" type="radio"/> No Yes Describe and attach copies:	
Have Property Owners within a 500' Radius of the Site Been Identified? Yes No Attached List to this Application Form			
APPLICANT/OWNER INFORMATION			
Property Owner: Mahoven LLC		Phone #: 914-924-9007 Fax#:	Email: lubo.kaneti@gmail.com
Owners Address: No. 405 Street: Grant Terrace		Town: Mamaroneck	State: NY Zip: 10543
Applicant (if different than owner): N/A		Phone #: Fax#:	Email:
Applicant Address (if different than owner): No. Street:		Town:	State: Zip:
Individual/ Firm Responsible for Preparing Site Plan: Architectural Visions PLLC		Phone #: 845-628-6613 Fax#: 845-628-2807	Email: joel.greenberg@arch-visions.com
Address: No. 2 Street: Muscoot Road North		Town: Mahopac	State: NY Zip: 10541
Other Representatives: N/A		Phone #: Fax#:	Email:
Owners Address: No. Street:		Town:	State: Zip:
PROJECT DESCRIPTION			
Describe the project, proposed use and operation thereof: Extend Existing Dock, Construct Pergola & Storage Building			

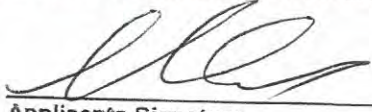

TOWN OF CARMEL SITE PLAN APPLICATION

PROJECT INFORMATION			
Lot size: Acres: 0.022 Square Feet: 961.0		Square footage of all existing structures (by floor): NONE	
# of existing parking spaces: 1		# of proposed parking spaces: 0	
# of existing dwelling units: 0		# of proposed dwelling units: 0	
Is the site served by the following public utility infrastructure:			
<div style="display: flex; justify-content: space-between;"> <div> <ul style="list-style-type: none"> ▪ Is project in sewer district or will private septic system(s) be installed? <u>NO</u> ▪ If yes to Sanitary Sewer answer the following: </div> <div style="text-align: right;"> <p>Does approval exist to connect to sewer main? Yes: <input type="checkbox"/> No: <input type="checkbox"/></p> <p>Is this an in-district connection? _____ Out-of district connection? <u>NOT APPLICABLE</u></p> <p>What is the total sewer capacity at time of application? _____</p> <p>What is your anticipated average and maximum daily flow _____</p> <p>What is the sewer capacity <u>NA ROP 2/5/2020</u></p> </div> </div>			
For Town of Carmel Town Engineer			
<ul style="list-style-type: none"> ▪ Water Supply Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> 		<ul style="list-style-type: none"> ▪ If Yes: <ul style="list-style-type: none"> ▸ Does approval exist to connect to water main? Yes: <input type="checkbox"/> No: <input type="checkbox"/> ▸ What is the total water capacity at time of application? _____ ▸ What is your anticipated average and maximum daily demand _____ 	
<ul style="list-style-type: none"> ▪ Storm Sewer Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> 			
<ul style="list-style-type: none"> ▪ Electric Service Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> 			
<ul style="list-style-type: none"> ▪ Gas Service Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> 			
<ul style="list-style-type: none"> ▪ Telephone/Cable Lines Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> 			
For Town of Carmel Town Engineer			
Water Flows <u>NA</u>		Sewer Flows <u>NA</u>	
Town Engineer; Date <u>2/5/2020</u>			
What is the predominant soil type(s) on the site? <u>N/A</u>		What is the approximate depth to water table? <u>N/A</u>	
Site slope categories: 15-25% <u>100%</u> 25-35% _____ % >35% _____ %		Estimated quantity of excavation: Cut (C.Y.) <u>0</u> Fill (C.Y.) <u>0</u>	
Is Blasting Proposed Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> Unknown: <input type="checkbox"/>		Is the site located in a designated Critical Environmental Area? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Does a curb cut exist on the site? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>		Are new curb cuts proposed? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Is the site located within 500' of:		What is the sight distance? Left <u>200 FT</u> Right <u>200 FT</u>	
<ul style="list-style-type: none"> • The boundary of an adjoining city, town or village Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> • The boundary of a state or county park, recreation area or road right-of-way Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> • A county drainage channel line. Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> • The boundary of state or county owned land on which a building is located Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> 			

TOWN OF CARMEL SITE PLAN APPLICATION

Is the site listed on the State or Federal Register of Historic Place (or substantially contiguous) Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Is the site located in a designated floodplain? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>			
Will the project require coverage under the Current NYSDEC Stormwater Regulations <div style="text-align: right;">Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/></div>			
Will the project require coverage under the Current NYCDEP Stormwater Regulations <div style="text-align: right;">Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/></div>			
Does the site disturb more than 5,000 sq ft		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Does the site disturb more than 1 acre		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Does the site contain freshwater wetlands? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>			
Jurisdiction: NYSDEC: <input type="checkbox"/> Town of Carmel: <input checked="" type="checkbox"/>			
<i>If present, the wetlands must be delineated in the field by a Wetland Professional, and survey located on the Site Plan.</i>			
Are encroachments in regulated wetlands or wetland buffers proposed?		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
Does this application require a referral to the Environmental Conservation Board?		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
Does the site contain waterbodies, streams or watercourses? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>			
Are any encroachments, crossings or alterations proposed? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Is the site located adjacent to New York City watershed lands? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Is the project funded, partially or in total, by grants or loans from a public source? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Will municipal or private solid waste disposal be utilized? Public: <input type="checkbox"/> Private: <input type="checkbox"/> N/A			
Has this application been referred to the Fire Department? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>			
What is the estimated time of construction for the project? <div style="text-align: center;">6 Months</div>			
ZONING COMPLIANCE INFORMATION			
Zoning Provision	Required	Existing	Proposed
Lot Area	3,000 SF	961 SF	961 SF
Lot Coverage	N/A		
Lot Width @ Lake	50 FT	15 FT	15 FT
Lot Depth	30 FT	68.35 FT	68.35 FT
Front Yard	15 FT	0	16 FT
Side Yard	15 FT & 20 FT	0	0 FT & 0 FT
Rear Yard	20 FT	0	10 FT
Minimum Required Floor Area	N/A		
Floor Area Ratio	N/A		
Height	10 FT	0	10 FT
Off-Street Parking	2	1	1
Off-Street Loading	N/A		

TOWN OF CARMEL SITE PLAN APPLICATION

Will variances be required? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>		If yes, identify variances: Lot Area, Lot Width Front, Rear, & Side Yards, (1) Parking Space	
PROPOSED BUILDING MATERIALS			
Foundation	Railroad Ties		
Structural System	Wood		
Roof	Wood		
Exterior Walls	Wood		
APPLICANTS ACKNOWLEDGEMENT			
I hereby depose and certify that all the above statements and information, and all statements and information contained in the supporting documents and drawings attached hereto are true and correct.			
<u>Lubomir Konecni</u> Managing Member of MAHOVEN LLC Applicants Name		 Applicants Signature	
Sworn before me this <u>21</u> day of <u>July</u> 20 <u>20</u>			
 Notary Public		<div style="border: 1px solid black; padding: 5px; text-align: center;"> GINA M FRANZEL Notary Public - State of New York NO. 01FR6325118 Qualified in Putnam County My Commission Expires May 18, 2023 </div>	



TOWN OF CARMEL
**SITE PLAN COMPLETENESS
CERTIFICATION FORM**



All Site Plans submitted to the Planning Board for review shall include the following information and details, as set forth in Section 156-61 B of the Town of Carmel Zoning Ordinance.

This form shall be included with the site plan submission

	Requirement Data	To Be Completed by the Applicant	Waived by the Town
1	Name and title of person preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2	Name of the applicant and owner (if different from applicant)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3	Original drawing date, revision dates, scale and north arrow	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4	Tax map, block and lot number(s), zoning district	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5	All existing property lines, name of owner of each property within a 500' radius of the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6	Contour lines at two-foot intervals, grades of all roads, driveways, sanitary and storm sewers	N/A <input type="checkbox"/>	<input type="checkbox"/>
7	The location of all water bodies, streams, watercourses, wetland areas, wooded areas, rights-of-way, streets, roads, highways, railroads, buildings, structures	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8	The location of all existing and proposed easements	N/A <input type="checkbox"/>	<input type="checkbox"/>
9	The location of all existing and proposed structures, their use, setback dimensions, floor plans, front, side and rear elevations, buildable area.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10	On site circulation systems, access, egress ways and service roads, emergency service access and traffic mitigation measures	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11	Sidewalks, paths and other means of pedestrian circulation	N/A <input type="checkbox"/>	<input type="checkbox"/>
12	On-site parking and loading spaces and travel aisles with dimensions	<input checked="" type="checkbox"/>	<input type="checkbox"/>
13	The location, height and type of exterior lighting fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>
14	Proposed signage	N/A <input type="checkbox"/>	<input type="checkbox"/>
15	For non-residential uses, an estimate of the number of employees who will be using the site, description of the operation, types of products sold, types of machinery and equipment used	N/A <input type="checkbox"/>	<input type="checkbox"/>



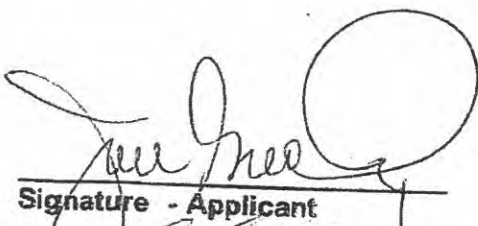

TOWN OF CARMEL
SITE PLAN COMPLETENESS
CERTIFICATION FORM



Requirement Data		To Be Completed by the Applicant	Waived by the Town
16	The location of clubhouses, swimming pools, open spaces, parks or other recreational areas, and identification of who is responsible for maintenance	<input checked="" type="checkbox"/> N/A	<input type="checkbox"/>
17	The location and design of buffer areas, screening or other landscaping, including grading and water management. A comprehensive landscaping plan in accordance with the Tree Conservation Law	<input checked="" type="checkbox"/> N/A	<input type="checkbox"/>
18	The location of public and private utilities, maintenance responsibilities, trash and garbage areas	<input checked="" type="checkbox"/> N/A	<input type="checkbox"/>
19	A list, certified by the Town Assessor, of all property owners within 500 feet of the site boundary	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20	Any other information required by the Planning Board which is reasonably necessary to ascertain compliance with this chapter	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Applicants Certification (to be completed by the licensed professional preparing the site plan:

I JOEL GREENBERG hereby certify that the site plan to which I have attached my seal and signature, meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:


Signature - Applicant

Signature - Owner

7/20/2020
Date
7/20/2020
Date





TOWN OF CARMEL
SITE PLAN COMPLETENESS
CERTIFICATION FORM



Town Certification (to be completed by the Town)

I, _____ hereby confirm that the site plan meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:

Rose Gronlunda
Signature - Planning Board Secretary

8/5/2020
Date

[Signature]
Signature - Town Engineer

8/5/2020
Date

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Mahoven LLC			
Project Location (describe, and attach a location map): 737 South Lake BLVD., Mahopac, NY 10541			
Brief Description of Proposed Action: Extend Existing Deck and Construct Pergola & Storage Building			
Name of Applicant or Sponsor: Lubomir Kaneti		Telephone: 914-924-9007 E-Mail:	
Address: 405 Grant Terrace			
City/PO: Mamaroneck		State: NY	Zip Code: 10543
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Carmel Zoning Board & Building Department		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		0.002 acres	
b. Total acreage to be physically disturbed?		0.001 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.002 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Not To Be Provided			
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Porta Potty			
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____			
Lake Mahopac			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	<input type="checkbox"/>	<input type="checkbox"/>
<hr/> <hr/>		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
<hr/> <hr/>		
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
<hr/> <hr/>		
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
<hr/> <hr/>		
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: <u>Lubomir Kaneti</u> Date: <u>08/04/2020</u> Signature: _____ Title: _____		



Department of Transportation

ANDREW M. CUOMO
Governor

MARIE THERESE DOMINGUEZ
Commissioner

LANCE MacMILLAN, P.E.
Regional Director

July 13, 2020

Mahoven, LLC
405 Grant Terrace
Mamaroneck, New York 10543

Via Certified Mail/Return Receipt

RE: Unpermitted Driveway: 737 South Lake Boulevard (Route 6N) Carmel, NY

Dear Sir or Madam,

The New York State Department of Transportation has recently learned that an unauthorized driveway access has been constructed at your property on NY Route 6N at 737 South Lake Boulevard. This driveway was constructed without a Highway Work Permit as required by New York State Law. Specifically, Highway Law § 52 as well as Vehicle and Traffic Law § 1220-c require that such work be conducted with a valid Highway Work Permit and allows for penalties when a permit has not been obtained. Furthermore, the driveway access at this location constitutes a hazardous roadway condition and must be immediately addressed.

We have received several complaints of safety concerns due to the use of this driveway access. The Department's field review indicates the driveway access does not meet the minimum standards for residential driveways as outlined in the Department's *"Policy for the Design of Entrances to State Highways,"* including, but not limited to, issues with sight lines, the turning radius, apron paving and offsets to adjacent property lines.

Therefore, use of the driveway for vehicular traffic must immediately cease. Additionally, you need to either:

- 1) Acquire a Highway Work Permit and perform necessary improvements to the highway access to bring it into conformance with the State's driveway standards; or
- 2) Close off the vehicular access in a manner acceptable to the Department. If this option requires work within the highway right of way, a Highway Work Permit must be acquired before the work is commenced.

Please contact our office at 845-878-6361 within seven (7) days of receipt of this letter to discuss the resolution of this matter.

Very Truly Yours,

A handwritten signature in black ink, reading "Gregory V. Bentley". The signature is written in a cursive style with a large, stylized "V" in the middle.

Gregory V. Bentley, Sr. P.E.
Resident Engineer, Res. 8-3

CC/Via Certified Mail/Return Receipt:

Lubomir Kaneti
405 Grant Terrace
Mamaroneck NY 10543

PROPERTIES

WITH IN

500'

75.11-2-12
Daniel J Fitzpatrick
564 West 52nd St Apt 4F
New York, NY 10019

75.11-2-12
Heliodoro R Santacolomo
12 Cherry Ln
Putnam Valley, NY 10579

75.11-2-19
Sarah Kaplan
11 Dorset Dr
Mahopac, NY 10541

75.42-1-11
Charles Melchner
722 South Lake Blvd
Mahopac, NY 10541

75.42-1-12
Bert M Melchner
31 Highridge
Mahopac, NY 10541

75.42-1-68
Real Holding Corp.
740 South Lake Blvd
Mahopac, NY 10541

75.42-1-61
James R OHalloran
15 Colonial Ter
Mahopac, NY 10541

75.11-2-7
Richard Doyle
15 Pine Cone Rd
Mahopac, NY 10541

75.11-2-3
Johnna Sanzi
17 Pine Cone Rd
Mahopac, NY 10541

75.42-1-68
Real Management Corp. of NY
610 Broadway
Newburgh, NY 12550

75.42-1-13
Charles J Melchner
417 Seminary Hill Rd
Carmel, NY 10512

75.42-1-14
Christopher Steckle
12 Bianca Ct
Carmel, NY 10512

75.11-2-3
Peter Lesley
PO BOX 1000
Baldwin Place, NY 10505

75.11-1-30
Stanley Gurewitsch
18 Clara Ln
Mahopac, NY 10541

75.11-2-2
Ved Parkash
911 1/2 State St
Santa Barbara, CA 93101

75.42-1-14
Peter Lesley
PO BOX 1000
Baldwin Place, NY 10505

75.42-1-67
Vincent Cappelletti
740 South Lake Blvd
Mahopac, NY 10541

75.42-1-15
Daniel Andron
Apt 26E
27110 Grand Central Pkwy
Floral Park, NY 110051226

75.11-2-1
Joseph McKay
PO BOX 458
Mahopac Falls, NY 10542

75.11-2-17
Long & Tony Guo
3 Dorset Drive
Mahopac, NY 10541

75.11-2-16
Robert Schiera
452 Baldwin Place Rd
Mahopac, NY 10541

75.42-1-16
Daniel Andron
Apt 26E
27110 Grand Central Pkwy
Floral Park, NY 110051226

75.42-1-17
Daniel Andron
Apt 26E
27110 Grand Central Pkwy
Floral Park, NY 110051226

75.42-1-66
Christopher Sobieski
746 South Lake Blvd
Mahopac, NY 10541

75.11-2-18
Harry Hess
7 Dorset Dr
Mahopac, NY 10541

75.11-1-7
Manuel Inga
15 Trolley Rd
Cortlandt Manor, NY 10567

75.11-1-31
Richard S Dudyshyn
703 Rt 6N
Mahopac, NY 10541

75.42-1-18
RJK Contracting Corp.
25 Hill St
Mahopac, NY 10541

75.42-1-18
RJK Contracting Corp.
751 South Lake Blvd
Mahopac, NY 10541

75.42-1-18
Ronald J Topal
Apt 11A/G
New York, NY 10024

75.11-1-34
Cathleen B Fullan
20 Cypress Ln
Yorktown Heights, NY 10598

75.11-2-15
Oscar Chavez
710 South Lake Blvd
Mahopac, NY 10541

75.42-1-1
Mahopac Gardens Inc
Attn: Karen Piccin, President
11 Canopus Rd
Mahopac, NY 10541

75.42-1-19
RJK Contracting Corp.
25 Hill St
Mahopac, NY 10541

75.42-1-19
RJK Contracting Corp.
751 South Lake Blvd
Mahopac, NY 10541

75.42-1-19
Ronald Topal
Apt 11A/G
New York, NY 10024

75.42-1-2
Robert Beck
c/o Annemarie Catania
21 Deer Run
Mahopac, NY 10541

75.11-2-13
Ahmad Hussein
716 South Lake Blvd
Mahopac, NY 10541

75.11-2-13
June Fredriksen
716 South Lake Blvd
Mahopac, NY 10541

75.42-1-20
RJK Contracting Corp.
25 Hill St
Mahopac, NY 10541

75.42-1-20
RJK Contracting Corp.
751 South Lake Blvd
Mahopac, NY 10541

75.42-1-20
Ronald J Topal
Apt 11A/G
New York, NY 10024

75.42-1-3
Gerald D Weis
277 Cook Ave
Yonkers, NY 10701

75.42-1-4
Robert Stevens
245 Lakeshore Dr
Mahopac, NY 10541

75.42-1-5
Claudia Stevens
245 Lakeshore Dr
Mahopac, NY 10541

75.42-1-21
Robert Knapp
60 Dahlia Dr
Mahopac, NY 10541

75.42-1-22
Ronald J Topal
Apt 11A/G
New York, NY 10024

75.42-1-23
Ronald J Topal
Apt 11A/G
New York, NY 10024

75.11-2-4
Charles G Melchner
722 South Lake Blvd
Mahopac, NY 10541

75.42-1-6
Robert Stevens
245 Lakeshore Dr
Mahopac, NY 10541

75.42-1-7
725 Lake Property LLC
24 Lake Rd
Mahopac, NY 10541

75.42-1-24
Ronald J Topal
Apt 11A/G
New York, NY 10024

75.42-1-25
Real Holding Corp.
740 South Lake Blvd
Mahopac, NY 10541

75.42-1-25
Real Management Corp. of NY
610 Broadway
Newburgh, NY 12550

75.42-1-7
Benedetto Savino
PO BOX 490
Jefferson Valley, NY 10535

75.42-1-9
Claudia Stevens
245 Lakeshore Dr
Mahopac, NY 10541

75.42-1-10
Jack Nathan
PO BOX 500
Cooper Station, NY 10276

75.42-1-26
Vincent Cappelletti
740 South Lake Blvd
Mahopac, NY 10541

75.42-1-27
Cesar Budiuck
PO BOX 4686
Sunnyside, NY 11104

75.42-1-28
John Buttacavoli
13 Cook Dr
Mahopac, NY 10541

75.11-2-6
Susan Hayes
9 Pine Cone Rd
Mahopac, NY 10541

64.20-1-9
State Of New York
40 Gleneida Ave
Carmel, NY 10512

75.11-2-14
Robert Schiera
452 Baldwin Place Rd
Mahopac, NY 10541

75.11-1-37
Kenneth Rose
60 East 96th St Unit 9B
New York, NY 10128

75.11-1-35
Jane (aka Ethel) Benjamin
24 Mediterranean Ct
Barnegat, NJ 08005

75.11-1-35
Millicker Family Trust
PO BOX 130
Mahopac Falls, NY 10542

75.11-1-36
William Boyar
PO BOX 444
Mahopac Falls, NY 10542

75.11-1-33
Christopher Steckle
403 Baldwin Place Rd
Mahopac, NY 10541

75.11-1-32
Delzio's Playa Para Los Ninos
11 Otha Dr
Katonah, NY 10536



AREA MAP
NTS


**ARCHITECTURAL
VISIONS LLC**

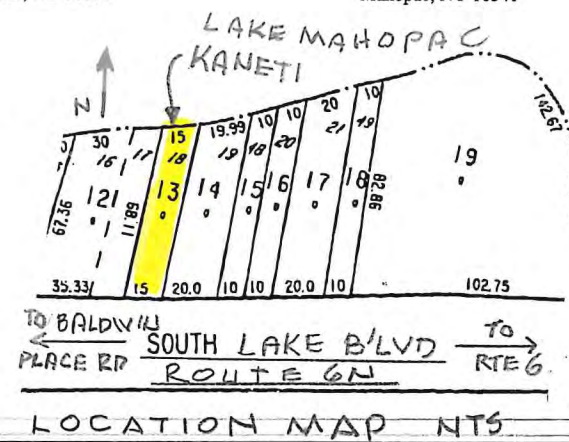
2 MUSCOOT ROAD NORTH
MAHOPAC NY, 10541
JOEL.GREENBERG@ARCH-VISIONS.COM
P: 845-628-6613
F: 845-628-2807

PROJECT: PERGOLA & SHED FOR:
LUBOMIR KANETI

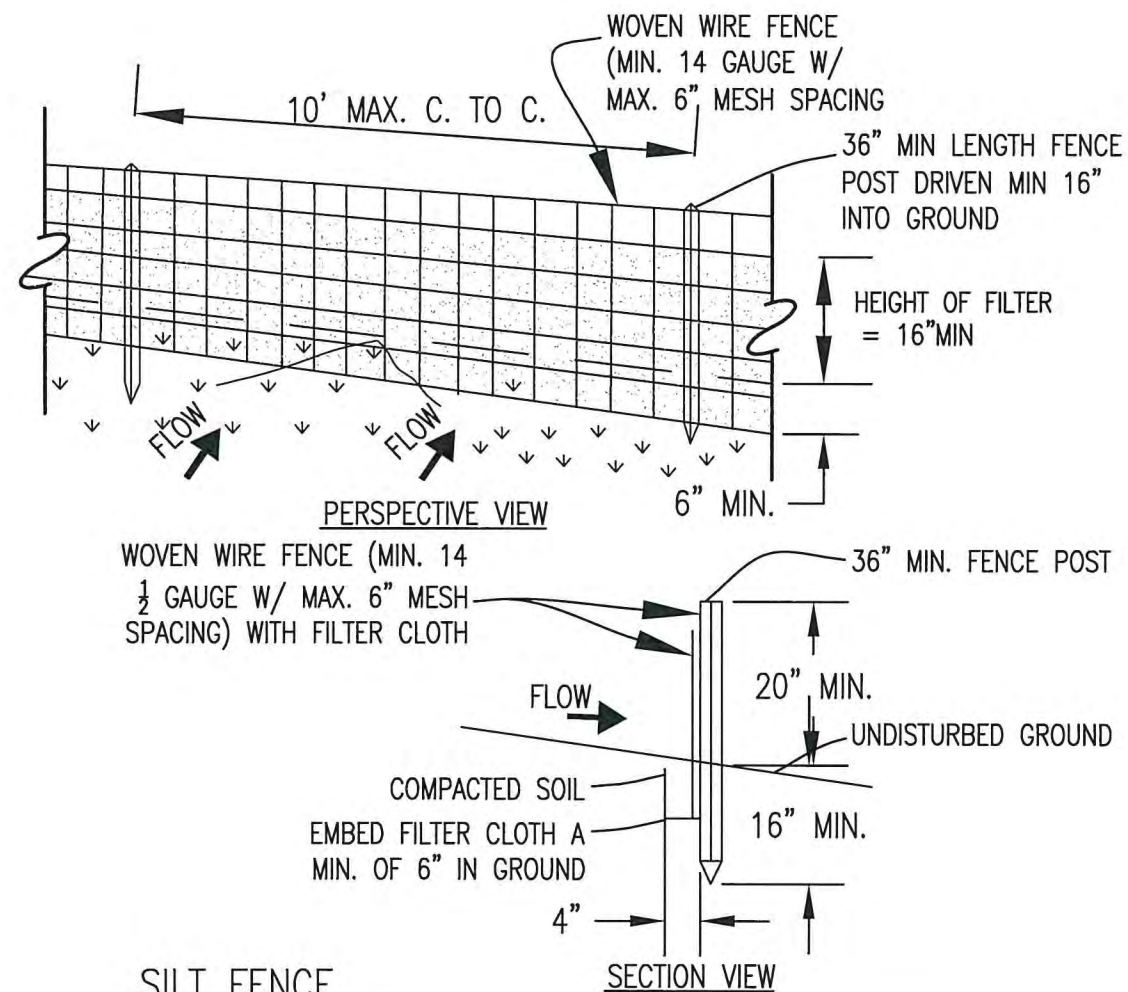
PROJECT ADDRESS: 737 S. LAKE BLVD, MAHOPAC, NY 10541
MAILING ADDRESS: 405 GRANT TERRACE, MAHOPAC, NY 10541
TAX MAP NO.: 75.42-1-13

AREA MAP, LOCATION
MAP & PROP. WITHIN 500'

ISSUANCE 6-8-2020 7-21-2020	
SCALE - AS NOTED	
DRAWN BY/CHKD BY JILIG	
PROJECT NO. 05-20-250	



LOCATION MAP NTS



SILT FENCE

NOT TO SCALE

CONSTRUCTION SPECIFICATIONS:

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

ARCHITECTURAL
VISIONS PLLC

A GREENBERG DESIGN GROUP

2 MUSCOOT ROAD NORTH P: 845-628-6613
MAHOPAC NY, 10541 F: 845-628-2807
JOEL.GREENBERG@ARCH-VISIONS.COM

PROJECT: PERGOLA & SHED FOR LUBOMIR KANETI

PROJECT ADDRESS MAILING ADDRESS
737 SOUTH LANE BLVD LUBOMIR KANETI
MAHOPAC, NY 10541 405 GRANT TERRACE
TAX MAP NO. 75.42-1-13 MAMARONECK, NY 10543

SILT FENCE DETAILS

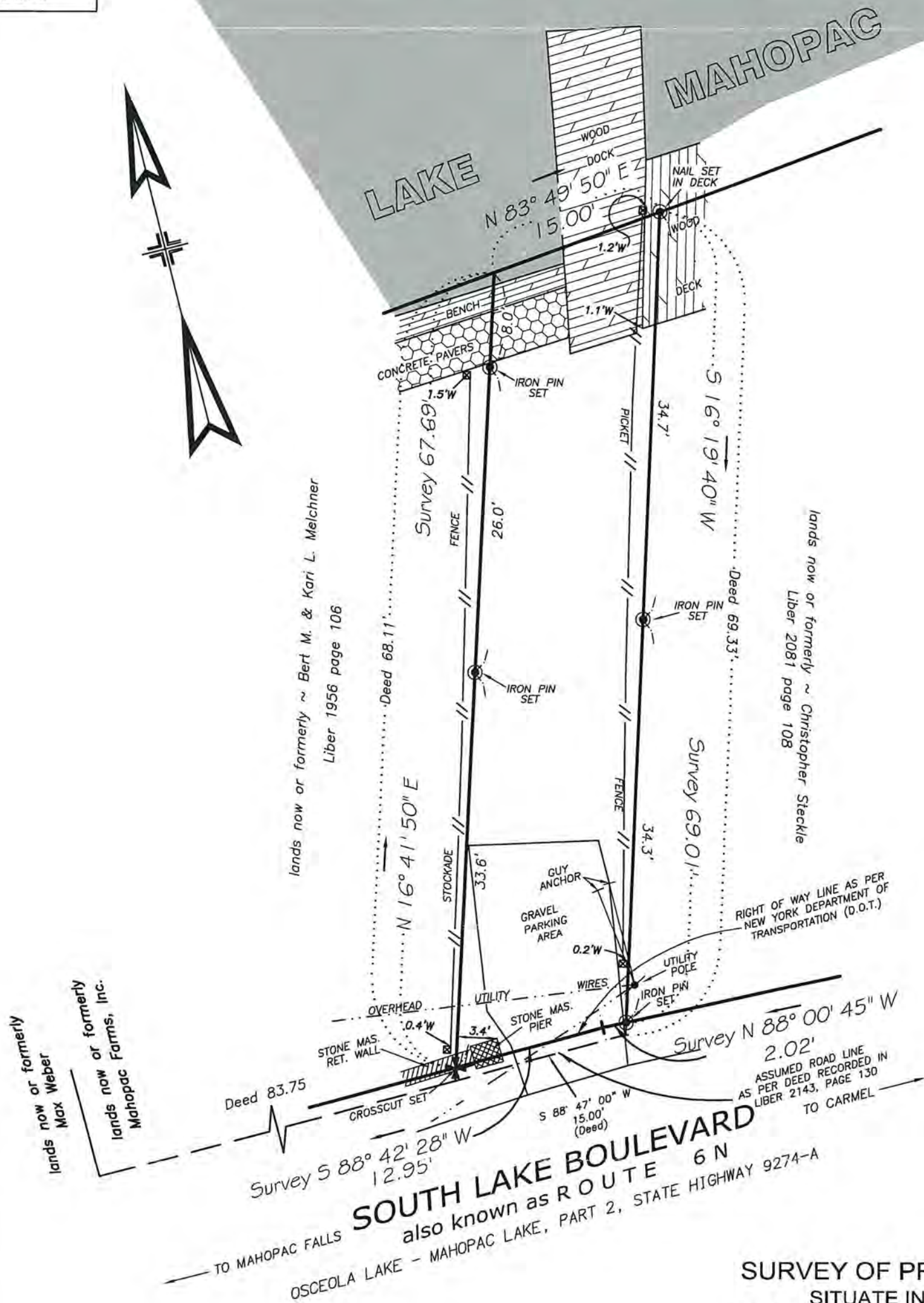
ISSUANCE
ISSUANCE DATE
FOR REVIEW 8-18-2020

SCALE

DRAWN BY/CHKD BY
MLS / JLG

PROJECT NO.
05-20-050

S-102



**SURVEY OF PROPERTY
SITUATE IN THE
TOWN OF CARMEL
PUTNAM COUNTY
NEW YORK**

SCALE : 1" = 10'
SURVEYED: FEBRUARY 5, 2020

Link
Land Surveyors P.C.
21 Clark Place, Suite 1-B Phone 845-628-5857
Mahopac N.Y. 10541 Fax 845-621-0013

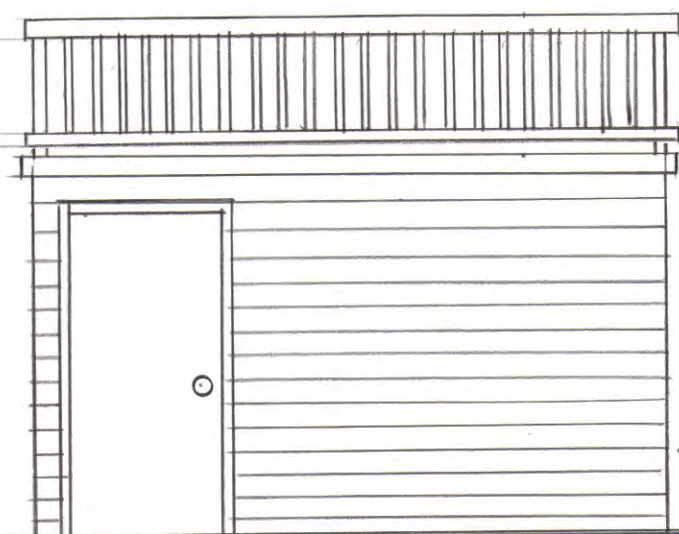
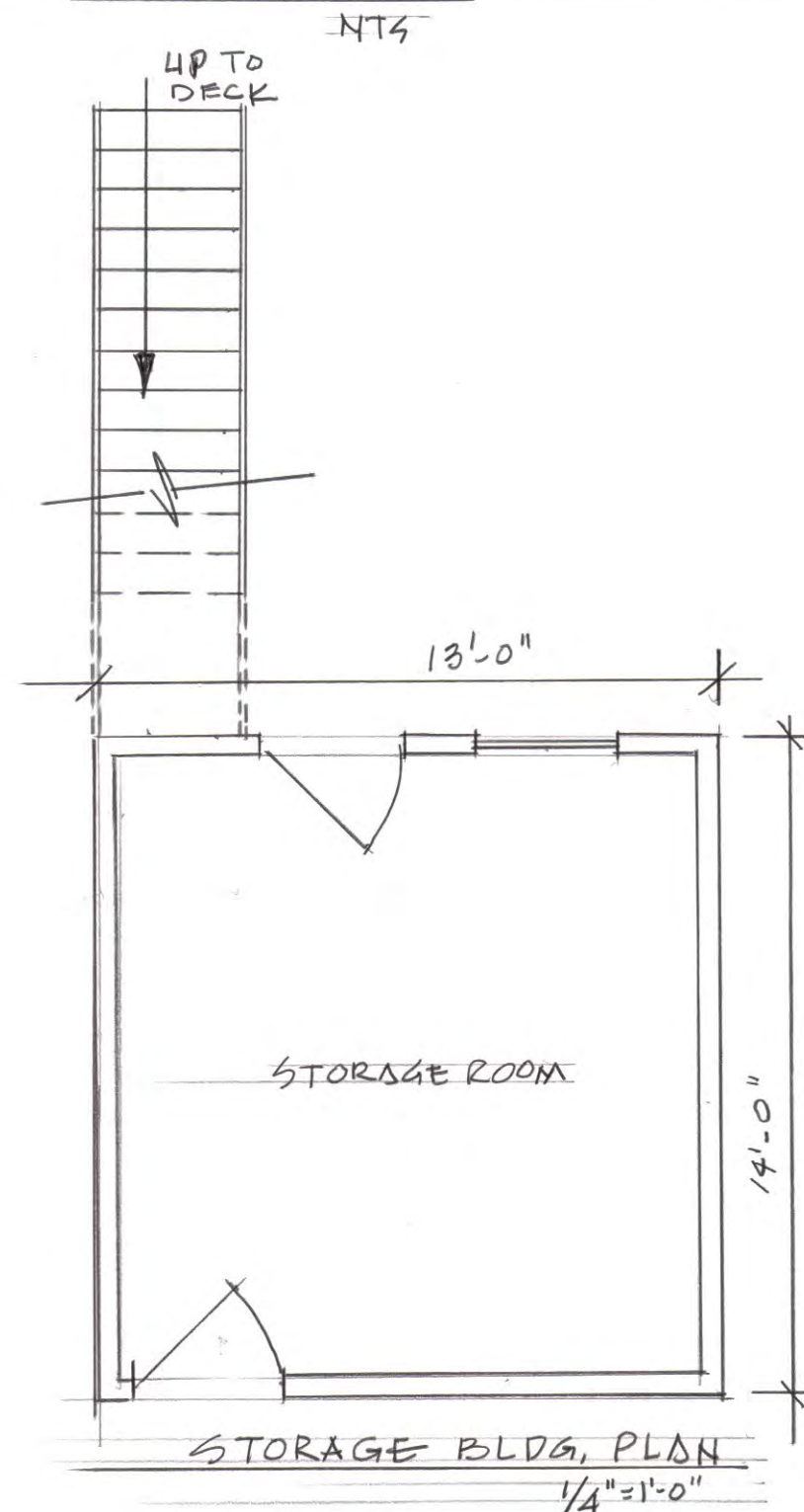
ERIK J. LINK
NEW YORK STATE LICENSED
LAND SURVEYOR NO. 050542

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LINK LAND SURVEYOR P.C. ALL RIGHTS RESERVED. THE UNAUTHORIZED
REPRODUCTION AND OR DISTRIBUTION OF THIS DOCUMENT IS ILLEGAL, AND
IS A VIOLATION UNDER UNITED STATES COPYRIGHT LAWS.

- PREMISES ARE DESIGNATED ON THE TAX MAPS FOR THE TOWN OF CARMEL
SECTION 75.42: BLOCK 1: LOT 13:
STREET ADDRESS: 737 SOUTH LAKE BOULAVARD
PROPERTY AREA: 961 SQ. FT. / 0.0221 AC.
- THE PREMISES SHOWN HEREON DESIGNATED AS A CERTAIN LOT DESCRIBED IN DEED RECORDED IN THE PUTNAM COUNTY CLERK'S OFFICE UNDER LIBER 2143 PAGE 130.
- THIS MAP IS BASED UPON THE INFORMATION SUPPLIED BY THE CLIENT AND/OR HIS REPRESENTATIVE AND SUBJECT TO THE FINDINGS THAT A COMPLETE ABSTRACT OF TITLE MAY UNCOVER
- THE OFFSETS SHOWN HEREON ARE NOT INTENDED TO ESTABLISH PROPERTY LINES FOR THE ERECTION OF FENCES, STRUCTURES OR ANY OTHER IMPROVEMENTS.
- ENCROACHMENTS BELOW GRADE AND/OR SUBSURFACE FEATURES, IF ANY, NOT LOCATED OR SHOWN HEREON.
- UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAWS.
- THE INFORMATION DEPICTED HEREON IS BASED UPON AN ACTUAL FIELD SURVEY AND IS AN OPINION BASED UPON SAID SURVEY. VARIATIONS IN OFFSETS FROM THAT OF THE OTHERS CAN AND MAY EXIST.
- ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S SEAL SHALL BE CONSIDERED TO BE TRUE VALID COPIES.
- THIS MAP WAS PREPARED FROM AN ACTUAL FIELD SURVEY CONDUCTED ON THE DATE SHOWN AND THAT SAID SURVEY WAS PERFORMED IN ACCORDANCE WITH THE EXISTING " CODE OF PRACTICE FOR LAND SURVEYS " ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.

PREPARED FOR: MAHOVEN, LLC

PERGOLA



SOUTH ELEVATION
1/4" = 1'-0"

General Notes:

Re: 156-27 Private Water Related Facilities

A private beach, wharf, dock, boathouse or







bathhouse shall be permitted, provided that:

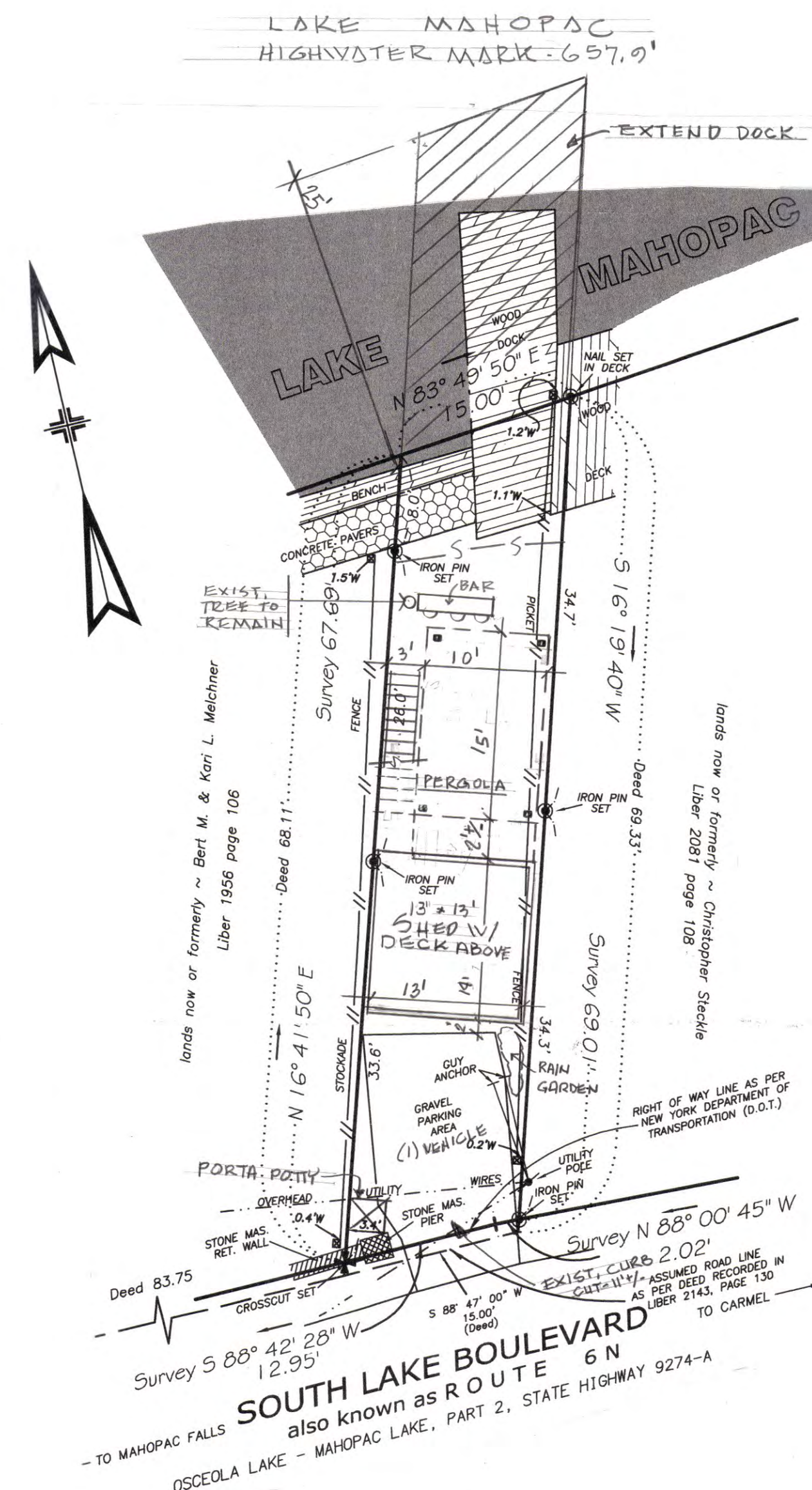
1. The use of the site shall be limited to the owner or lessee and the immediate family or bona fide guests of such owner or lessee of the parcel.
2. No boathouse, wharf or dock may extend into or over the surface of any lake for a distance of more than 25 feet from the high-water mark.
3. No bathhouse shall be designed and/or used for cooking, sleeping or other functions generally occurring in a dwelling and is erected at least 15 feet from any property line. Such bathhouse shall be no more than 10 feet in height. Pergola setbacks are 20 feet.
4. One off street parking space shall be provided for each 750 square feet of lot area or major portion thereof.
5. Fencing or Screening of any such parcel shall not exceed four feet in height.
6. Area of disturbance is 182 square feet.

Sequence of Construction

1. Install Silt Fence
2. Extend Dock
3. Install Pergola
4. Install Bar
5. Construct Shed
and Rain Garden
6. Remove Silt Fence

Legend

1.  – Shed
2.  – Rain Garden
3.  – Dock
4.  – Stair to Deck
5.  – Pergola
6.  – Silt Fence



SITE PLAN

1" = 10.00'

BASED ON SURVEY BY LINK SUR. PC
DATED 2/5/2020

Town of Carmel Zoning Requirements			
Basic Data: Owner: Mahoven PLLC (Lubomir Kaneti) Address: 737 South Lake Blvd., Mahopac, N.Y. 10541 T.M. #: 75.42-1-13 Zoning District: R-120 Proposed Use: Pergola & Shed & Extend Existing Dock			
Bulk Regulations:	Required/Allowable:	Existing/Proposed:	Variance Required:
Lot Area:	3,000 SF	961 SF	2,039 SF
Lot Width: Lake Frontage	50 LF	15 LF	35 LF
Lot Depth:	30 FT	68.51 FT	NONE
Parking: 1 PS/750 SF	961/750 = 1.3 = 2PS	1 PS	1PS
Front Yard:	15 FT	16 FT	NONE
Side Yard: Shed	15 FT	.5 FT	14.5 FT
Side Yard: Pergola	20 FT	.5 FT	19.5 FT
Rear Yard:	20 FT	14 FT	6 FT

PER STATE LAW, IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO HIS/HER ITEM THE SEAL AND THE NOTATION RESPONSIBILITY FOR ALTERATIONS OF THESE PLANS AND DOCUMENTS BY OTHERS AND EXPRESSLY DENIES PERMISSION TO OTHERS TO ALTER THESE PLANS AND DOCUMENTS.

**ARCHITECTURAL
VISIONS^{PLLC}**

2 MUSCOOT ROAD NORTH
MAHOPAC NY, 10541
JOEL.GREENBERG@ARCHVISIONS.COM

PROJECT: PERGOLA + SHED FOR:
LUBOMIR KALNIT

PROJECT ADDRESS	MAILING ADDRESS
737 S. LAKE BLVD	405 GRANT TERRACE
MAHOPAC, NY 10541	MAMARONECK, NY 10543
TAX MAP NO. 75.42 - 1-13	

SITE PLAN

ISSUANCE

6-8-2020

$$7-31=7.20$$

815-7070

8/11-7070

© 111-2070

SCALE - AS NOTED

DRAWN BY/CHKD BY

51176
PROJECT NO.

PROJECT NO.
05-20-050

ALL AFFIX TO HIS/HER ITEM THE

IN TO OTHERS TO ALTER THESE



TOWN OF CARMEL SITE PLAN APPLICATION INSTRUCTIONS



The Town of Carmel Planning Board meetings are held twice a month, on the second and fourth Wednesday's, at 7:00 PM at Carmel Town Hall, 60 McAlpin Avenue, Carmel

The submission deadline is 10 days prior to the Planning Board meeting. New site plan applications that have been deemed complete will be placed on the agenda in the order they are received.

No application will be placed on the agenda that is incomplete

Pre-Submission:

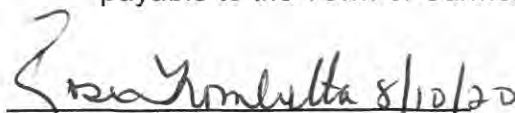
Prior to the formal submission of the site plan, a pre-submission conference may be requested by the applicant to be conducted with representatives from the Town, which may include the Town Planner, Town Engineer, Director of Code Enforcement and/or the Planning Board Attorney. This conference will serve to educate the applicant on the process he/she must follow, clarify the information required to submit a complete site plan application, and to highlight any specific areas of concern. You may arrange a pre-submission conference through the Planning Board Secretary at (845) 628-1500 extension 190.

Submission Requirements:

At least 10 days prior to the Planning Board meeting, the site plan application shall be submitted to the Planning Board Secretary as follows:

All site plans shall be signed, sealed and folded with the title box legible. The application package shall include:

- ☒ 11 copies of the Site Plan Application Form, signed and notarized.
- ☒ 11 copies of the SEQR Environmental Assessment Form (use of short form or long form shall be determined at pre-submission conference).
- ☒ 5 full size sets of the Site Plan (including floor plans and elevations)
- ☒ 1 CD (in pdf. format) containing an electronic version of the Site Plan
- ☒ 2 copies of the Disclosure Statement
- ☒ 11 copies of the Site Plan Completeness Certification Form
- ☒ All supplemental studies, reports, plans and renderings.
- ☒ 2 copies of the current deed.
- ☒ 2 copies of all easements, covenants and restrictions.
- ☒ The appropriate fee, determined from the attached fee schedule. Make checks payable to the *Town of Carmel*.


Planning Board Secretary; Date


Town Engineer; Date



TOWN OF CARMEL SITE PLAN APPLICATION



Per Town of Carmel Code – Section 156 - Zoning

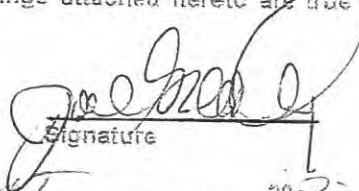
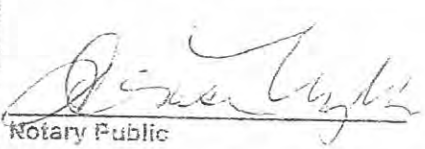
SITE IDENTIFICATION INFORMATION		
Application Name: Laura Rudovic	Application # 20-0010	Date Submitted: 08/06/20
Site Address: No. 1707 Street: Route 6 Hamlet: Carmel, NY 10512		
Property Location: (Identify landmarks, distance from intersections, etc.) Corners of Route, Church Street & Seminary Hill Road		
Town of Carmel Tax Map Designation: Section 55.6 Block 1 Lot(s) 12	Zoning Designation of Site: C	
Property Deed Recorded in County Clerk's Office Date Liber Page	Liens, Mortgages or other Encumbrances Yes No	
Existing Easements Relating to the Site No X Yes Describe and attach copies:	Are Easements Proposed? No X Yes Describe and attach copies:	
Have Property Owners within a 500' Radius of the Site Been Identified? Yes X No Attached List to this Application Form		
APPLICANT/OWNER INFORMATION		
Property Owner:	Phone #: Fax#:	Email:
Owners Address: No. 229 Street: Route 52 Town: Carmel State: NY Zip: 10512		
Applicant (if different than owner): N/A	Phone #: Fax#:	Email:
Applicant Address (if different than owner): No. Street: Town: State: Zip:		
Individual/ Firm Responsible for Preparing Site Plan: Architectural Visions PLLC - Joel Greenberg	Phone #: 845-628-6613 Fax#: 845-628-2807	Email: joel.greenberg@arch-visions.com
Address: No. 2 Street: Muscoot Road North Town: Mahopac State: NY Zip: 10541		
Other Representatives: N/A	Phone #: Fax#:	Email:
Owners Address: No. Street: Town: State: Zip:		
PROJECT DESCRIPTION		
Describe the project, proposed use and operation thereof: Convert Existing Building to Bridal Salon - No Additions Proposed		

TOWN OF CARMEL SITE PLAN APPLICATION

PROJECT INFORMATION			
Lot size: Acres: 0.199		Square Feet: 8675	Square footage of all existing structures (by floor): Lower Floor - 2,880 SF, Upper Floor - 3,408 SF
# of existing parking spaces: 7		# of proposed parking spaces: 7	
# of existing dwelling units:		# of proposed dwelling units:	
Is the site served by the following public utility infrastructure:			
<ul style="list-style-type: none"> Is project in sewer district or will private septic system(s) be installed? YES If yes to Sanitary Sewer answer the following: <ul style="list-style-type: none"> Does approval exist to connect to sewer main? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> Existing Is this an in-district connection? <input checked="" type="checkbox"/> Out-of district connection? <input type="checkbox"/> What is the total sewer capacity at time of application? 150 GPD What is your anticipated average and maximum daily flow 150 GPD 			
For Town of Carmel Town Engineer What is the sewer capacity <u>Existing 150 GPD 8/10/2020</u>			
Water Supply		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
If Yes:		<ul style="list-style-type: none"> Does approval exist to connect to water main? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> Existing What is the total water capacity at time of application? 75 GPD What is your anticipated average and maximum daily demand 75 GPD 	
Storm Sewer		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
Electric Service		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
Gas Service		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
Telephone/Cable Lines		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
For Town of Carmel Town Engineer			
Water Flows <u>Existing to</u>			
Sewer Flows <u>Mr 8/10/2020</u>			
Town Engineer; Date			
What is the predominant soil type(s) on the site? N/A		What is the approximate depth to water table? N/A	
Site slope categories:		15-25% 100 % 25-35% % >35% %	
Estimated quantity of excavation:		Cut (C.Y.) 0 Fill (C.Y.) 0	
Is Blasting Proposed		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> Unknown: <input type="checkbox"/>	
Is the site located in a designated Critical Environmental Area?		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Does a curb cut exist on the site? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>		Are new curb cuts proposed? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
		What is the sight distance? Left 200 FT Right 200 FT	
Is the site located within 500' of:			
The boundary of an adjoining city, town or village		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
The boundary of a state or county park, recreation area or road right-of-way		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
A county drainage channel line.		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
The boundary of state or county owned land on which a building is located		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	

TOWN OF CARMEI SITE PLAN APPLICATION

Is the site listed on the State or Federal Register of Historic Place (or substantially contiguous) Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Is the site located in a designated floodplain? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Will the project require coverage under the Current NYSDEC Stormwater Regulations Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Will the project require coverage under the Current NYCDEP Stormwater Regulations Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Does the site disturb more than 5,000 sq ft		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Does the site disturb more than 1 acre		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Does the site contain freshwater wetlands? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Jurisdiction: NYSDEC: <input type="checkbox"/> Town of Carmei: <input type="checkbox"/>			
<i>If present, the wetlands must be delineated in the field by a Wetland Professional, and survey located on the Site Plan.</i>			
Are encroachments in regulated wetlands or wetland buffers proposed? N/A Yes: <input type="checkbox"/> No: <input type="checkbox"/>			
Does this application require a referral to the Environmental Conservation Board?		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Does the site contain waterbodies, streams or watercourses? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Are any encroachments, crossings or alterations proposed? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Is the site located adjacent to New York City watershed lands? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>			
Is the project funded, partially or in total, by grants or loans from a public source? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Will municipal or private solid waste disposal be utilized? Public: <input type="checkbox"/> Private: <input checked="" type="checkbox"/>			
Has this application been referred to the Fire Department?		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
What is the estimated time of construction for the project? 3 Months			
ZONING COMPLIANCE INFORMATION			
Zoning Provision	Required	Existing	Proposed
Lot Area	40,000 SF	8,675 SF	8,675 SF
Lot Coverage			
Lot Width			
Lot Depth			
Front Yard			
Side Yard			
Rear Yard			
Minimum Required Floor Area	N/A		
Floor Area Ratio	N/A		
Height	35 FT	24 FT	24 FT
Off-Street Parking	16 PS	16 PS	16 PS
Off-Street Loading	0	0	0

Will variances be required? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	If yes, identify variances: Parking Spaces
PROPOSED BUILDING MATERIALS	
Foundation	N/A
Structural System	N/A
Roof	N/A
Exterior Walls	N/A
APPLICANTS ACKNOWLEDGEMENT	
I hereby depose and certify that all the above statements and information, and all statements and information contained in the supporting documents and drawings attached hereto are true and correct.	
<u>Dee Greenberg</u> Applicants Name	 Signature
Sworn before me this <u>6th</u> day of <u>August</u> 20 <u>22</u>	Denise Nizolek Notary Public, State of New York Registration No. 04016218947 Qualified in Putnam County Commission Expires March 15, 20 <u>27</u>
 Notary Public	



TOWN OF CARMEL
SITE PLAN COMPLETENESS
CERTIFICATION FORM



All Site Plans submitted to the Planning Board for review shall include the following information and details, as set forth in Section 156-61 B of the Town of Carmel Zoning Ordinance.

This form shall be included with the site plan submission

	Requirement Data	To Be Completed by the Applicant	Waived by the Town
1	Name and title of person preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2	Name of the applicant and owner (if different from applicant)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3	Original drawing date, revision dates, scale and north arrow	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4	Tax map, block and lot number(s), zoning district	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5	All existing property lines, name of owner of each property within a 500' radius of the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6	Contour lines at two-foot intervals, grades of all roads, driveways, sanitary and storm sewers	N/A <input type="checkbox"/>	<input type="checkbox"/>
7	The location of all water bodies, streams, watercourses, wetland areas, wooded areas, rights-of-way, streets, roads, highways, railroads, buildings, structures	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8	The location of all existing and proposed easements	N/A <input type="checkbox"/>	<input type="checkbox"/>
9	The location of all existing and proposed structures, their use, setback dimensions, floor plans, front, side and rear elevations, buildable area.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10	On site circulation systems, access, egress ways and service roads, emergency service access and traffic mitigation measures	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11	Sidewalks, paths and other means of pedestrian circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12	On-site parking and loading spaces and travel aisles with dimensions	<input checked="" type="checkbox"/>	<input type="checkbox"/>
13	The location, height and type of exterior lighting fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>
14	Proposed signage	<input checked="" type="checkbox"/>	<input type="checkbox"/>
15	For non-residential uses, an estimate of the number of employees who will be using the site, description of the operation, types of products sold, types of machinery and equipment used	<input checked="" type="checkbox"/>	<input type="checkbox"/>




TOWN OF CARMEL
SITE PLAN COMPLETENESS
CERTIFICATION FORM



Requirement Data		To Be Completed by the Applicant	Waived by the Town
16	The location of clubhouses, swimming pools, open spaces, parks or other recreational areas, and identification of who is responsible for maintenance	<input type="checkbox"/> N/A ✓	<input type="checkbox"/>
17	The location and design of buffer areas, screening or other landscaping, including grading and water management. A comprehensive landscaping plan in accordance with the Tree Conservation Law	<input type="checkbox"/> N/A	<input type="checkbox"/>
18	The location of public and private utilities, maintenance responsibilities, trash and garbage areas	<input checked="" type="checkbox"/>	<input type="checkbox"/> ? ✓
19	A list, certified by the Town Assessor, of all property owners within 500 feet of the site boundary	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20	Any other information required by the Planning Board which is reasonably necessary to ascertain compliance with this chapter	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Applicants Certification (to be completed by the licensed professional preparing the site plan:

I Joel Greenberg hereby certify that the site plan to which I have attached my seal and signature, meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:


Signature - Applicant

8/4/2020
Date

Signature - Owner

8/5/2020
Date





TOWN OF CARMEL
SITE PLAN COMPLETENESS
CERTIFICATION FORM



Town Certification (to be completed by the Town)

I _____ hereby confirm that the site plan meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:

Rose Monnelly
Signature - Planning Board Secretary

8/10/2020
Date

[Signature]
Signature - Town Engineer

8/10/2020
Date

Short Environmental Assessment Form

Part 1 - Project Information

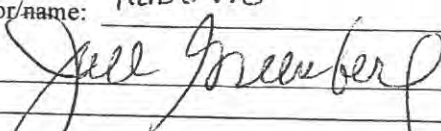
Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

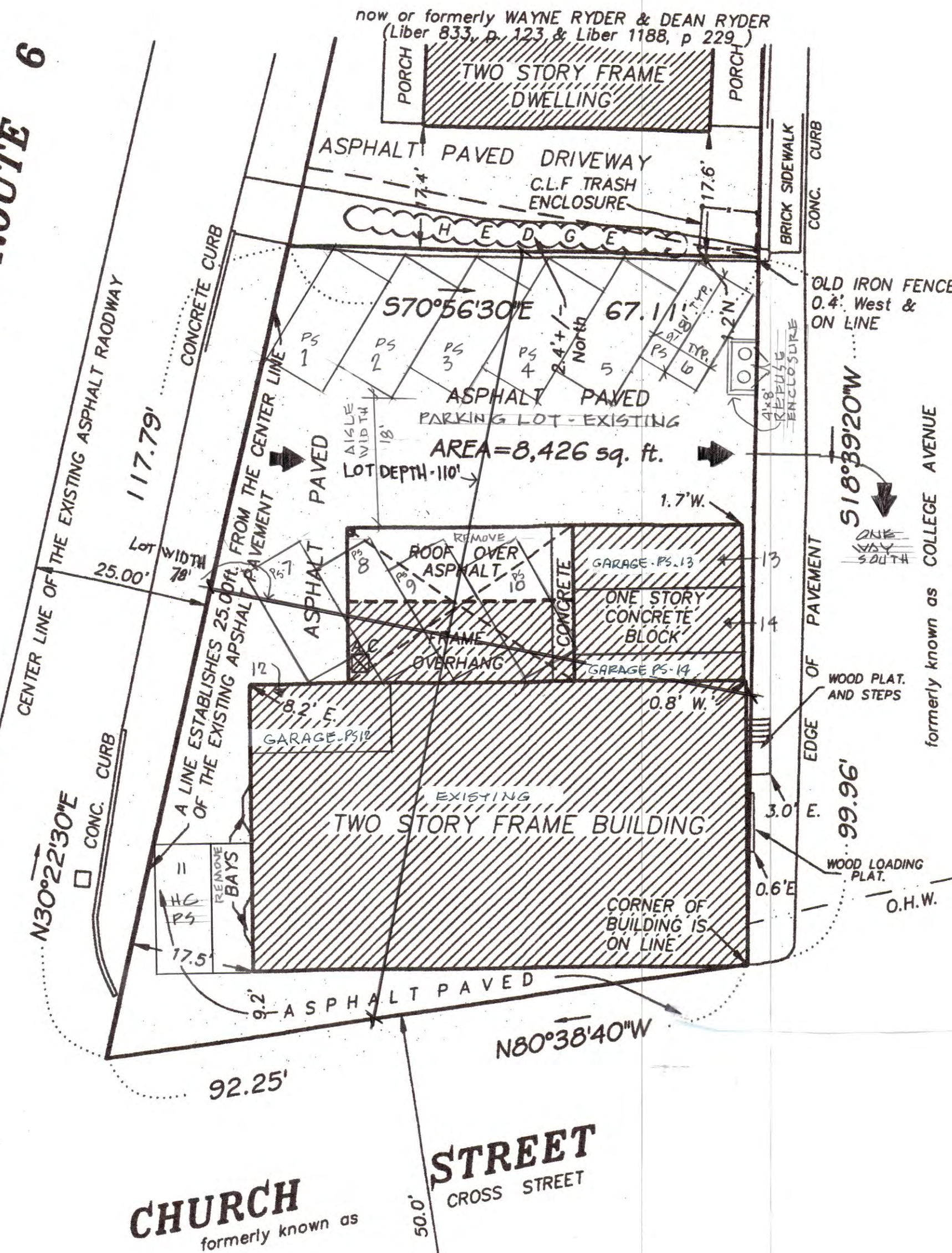
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Rudovic Bridal Salon			
Project Location (describe, and attach a location map): 1707 Route 6, Carmel, NY 10512			
Brief Description of Proposed Action: Current Existing Building To Bridal Shop			
Name of Applicant or Sponsor: Laura & John Rudovic		Telephone: 914-998-5407	
		E-Mail:	
Address: 229 Route 52			
City/PO: Carmel		State: NY	Zip Code: 10512
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Zoning Board & Building Department			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ 0.19 acres			
b. Total acreage to be physically disturbed? _____ 0 acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 0.19 acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? Exists	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? Exists	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe: _____ _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>RUDOVIC</u> Date: <u>08/04/2020</u>		
Signature: <u></u> Title: <u>Project Architect</u>		

GLENEIDA AVENUE - U.S. ROUTE 6



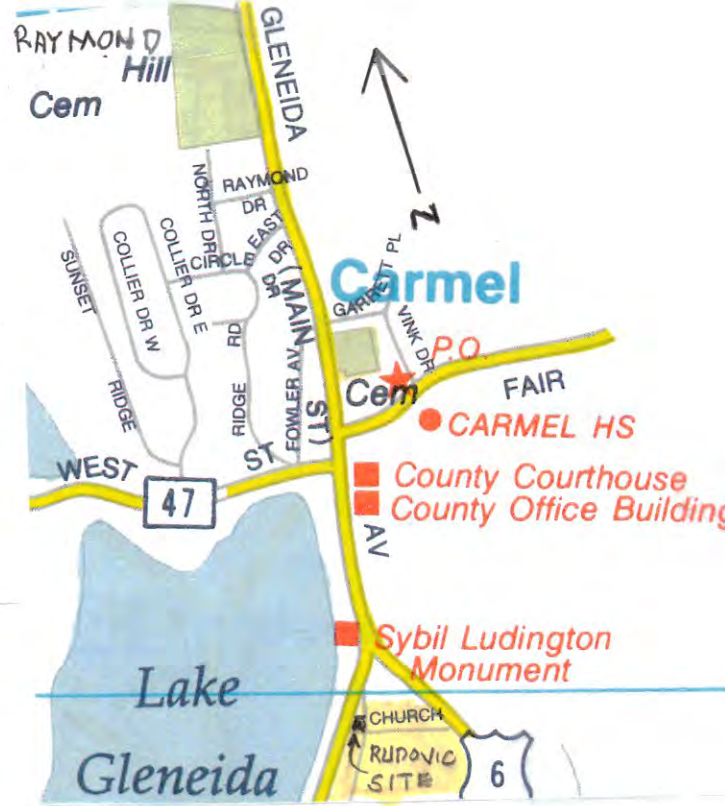
CHURCH STREET
formerly known as

SITE PLAN - 1" = 15.00'
BASED ON SURVEY BY LINK SURVEYORS
DATED 3/11/2020

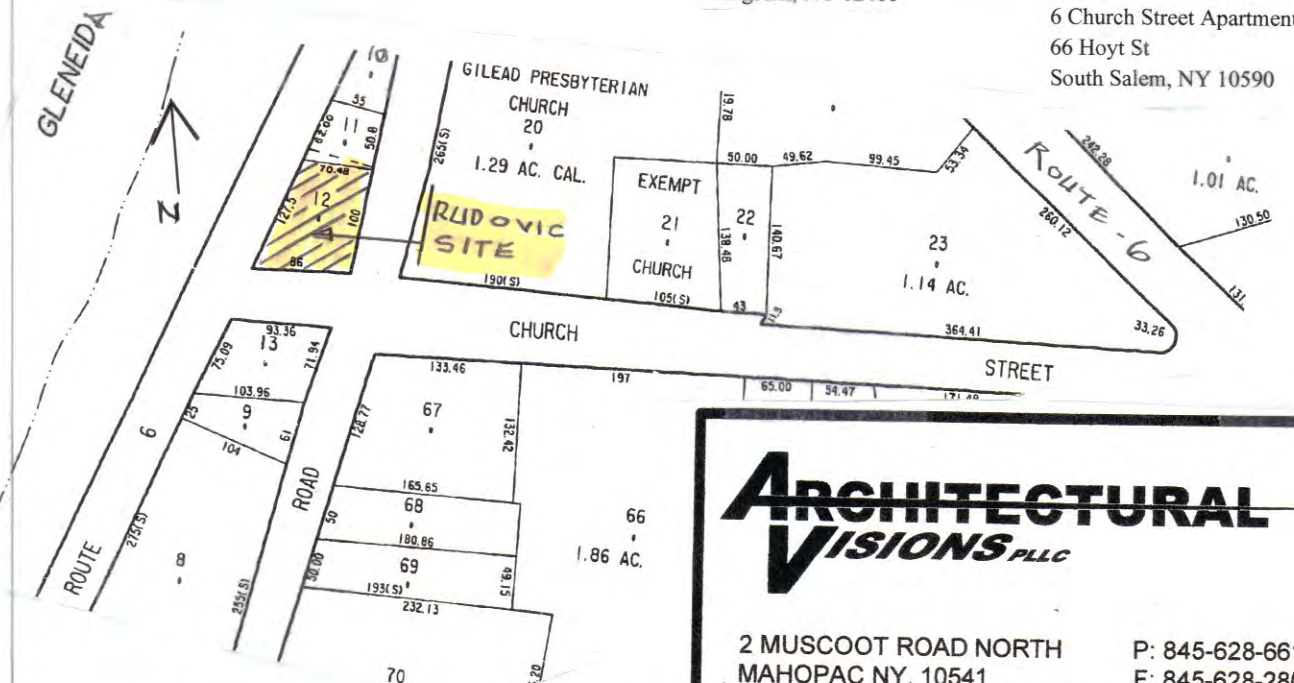
General Notes:

1. Change of use from Party Rentals to Bridal Shop.
2. The majority of the variances are to legalize existing conditions, since this is not an Amended Site Plan.
3. All parking spaces are 9 FT. X 18 FT. Except for garage spaces which are 10 FT. X 18 FT. and the handicap spot which is 8 FT. X 20 FT. Parking spaces 1-10 are angled at 60°.
4. 18 FT. aisle width required for angle parking at 60°.
5. Trash enclosure adjacent to parking space 6.
6. Easements will be provided for the steps and platform in the Seminary Hill Road R.O.W. and the traveled way on Rudovic property on the north side of Church Street.

SEMINARY HILL ROAD



AREA MAP
NTS



LOCATION MAP
NTS

Town of Carmel Zoning Requirements			
Basic Data:			
Owner: Rudovic			
Address: 1707 Route 6, Carmel, NY 10512			
TM #: 55.6-1-12			
Zoning District: Proposed Use: Bridal Shop			
Bulk Regulations:	Required/Allowable:	Existing/Proposed:	Variance Required:
Lot Area:	40,000 SF	8,426 SF (EXIST)	31,574 SF
Lot Width:	200 FT.	78 FT. (EXIST)	122 FT
Lot Depth:	200 FT.	110 FT. (EXIST)	90 FT.
Front Yard:	40 FT.		
South:		0 FT. (EXIST)	40 FT.
East:		0 FT. (EXIST)	40 FT.
West:		8 FT. (EXIST)	24 FT.
Rear Yard:	30 FT.	38 FT. (EXIST)	NONE
Height:	35 FT.	35 FT.	NONE
Lot Coverage:	30%	48% Exist. -43.4% Prop.	13.4%
Off Street Parking: 2,800 SF / 200=14	14	14 (EXIST)	NONE
All P.S.	10' x 20'	9' x 18' Proposed	1 FT. Width 2" Depth
ADA Parking:	1 Required	1 Provided	NONE
Loading Space	1	0	1

PROPERTIES WITHIN 500'

55.6-1-73.2 Gleneida Housing Dev Fund 7 Seminary Hill Rd Carmel, NY 10512	55.6-1-22 Masonic Charities of Carmel 11 Church St Carmel, NY 10512	55.6-1-65 William C Schnaudigel 10 Church St Carmel, NY 10512	55.6-1-69 Lamot Enterprises, LLC 39B Mill Plain Rd Danbury, CT 06811
55.6-1-64 Church Street Associates LLC 100 Executive Blvd Ste 201 Ossining, NY 10562	55.6-1-23 15 Church St LLC 15 Church St Carmel, NY 10512	55.6-1-19 Putnam County Housing Corp 11 Seminary Hill Rd Carmel, NY 10512	55.6-1-7 Eric Ragnauth 28 Seminary Hill Rd Carmel, NY 10512
55.6-1-8 Wayne Ryder PO BOX 10 Carmel, NY 10512	55.6-1-12 Gleneida Realty Corp 1707 Rt 6 Carmel, NY 10512	55.6-1-9 Elisa Quattrucci 90 Seminary Hill Rd Carmel, NY 10512	55.6-1-21 Gilead United Presbyterian 9 Church St Carmel, NY 10512
55.6-1-10 Sybil Property LLC 1717 Route 6 Carmel, NY 10512	55.6-1-10 Sybil Property, LLC 1717 Rt 6 Carmel, NY 10512	55.6-1-11 Wayne Ryder PO BOX 10 Carmel, NY 10512	55.6-1-68 Francis Giordano 23 Seminary Hill Rd Carmel, NY 10512
55.6-1-18 Sayed A El Shakry Attn: Elshakry Realty 75 Cranbury Neck Rd Cranbury, NJ 08512	44.18-1-40 EMTK Realty Corp. 1736 Route 6 Carmel, NY 10512	55.6-1-17 Reed Memorial Library 1733 Rt 6 Carmel, NY 10512	55.6-1-7 Eric Ragnauth 28 Seminary Hill Rd Carmel, New York 10512
55.6-1-27 Norberto Davila 1740-1742 Rt 6 Carmel, NY 10512	55.6-1-28 Brewster Avenue Corp 584 Ackert Hook Rd Rhinebeck, NY 12572	55.6-1-26 M&P Enterprises of Carmel LLC PO BOX 943 Carmel, NY 10512	55.6-1-20 Gilead United Presbyterian 9 Church St Carmel, NY 10512
55.6-1-67 Rosemarie & Gabriel Scavello 19 Seminary Hill & 4 Church Carmel, NY 10512	55.6-1-13 HDS, LLC 29 Nashville Rd Unit 2 Bethel, CT 06801	55.6-1-24 John Regan PO BOX 67 Carmel, NY 10512	55.6-1-68 Antonino Grioli 23 Seminary Hill Rd Carmel, NY 10512
			55.6-1-70 Lamote Enterprises, LLC 39B Mill Plain Rd Danbury, CT 06811
		55-2-5 City of New York Bureau of Water Supply, Taxes 71 Smith Ave Kingston, NY 12401	55.6-1-66 6 Church Street Apartments LLC 66 Hoyt St South Salem, NY 10590

ARCHITECTURAL
VISIONS LLC

2 MUSCOOT ROAD NORTH
MAHOPAC NY, 10541
JOEL.GREENBERG@ARCH-VISIONS.COM

P: 845-628-6613
F: 845-628-2807

PROJECT:
RUDOVIC - BRIDAL SHOP

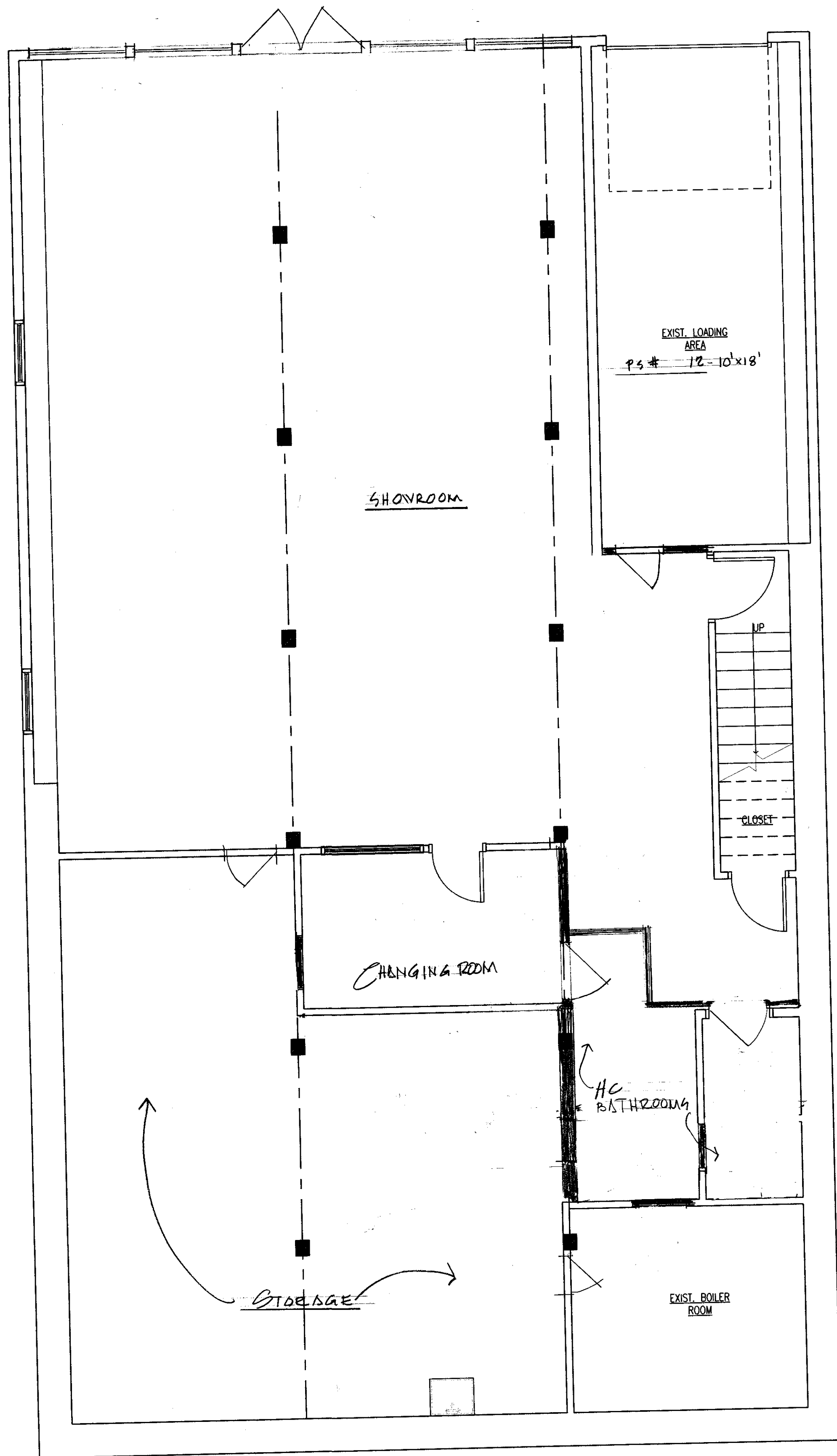
PROJECT ADDRESS: 1707 ROUTE 6
CARMEL, NY 10512
MAILING ADDRESS: 222 ROUTE 6
CARMEL, NY 10912
TAX MAP NO. 55.6-1-12

SITE PLAN

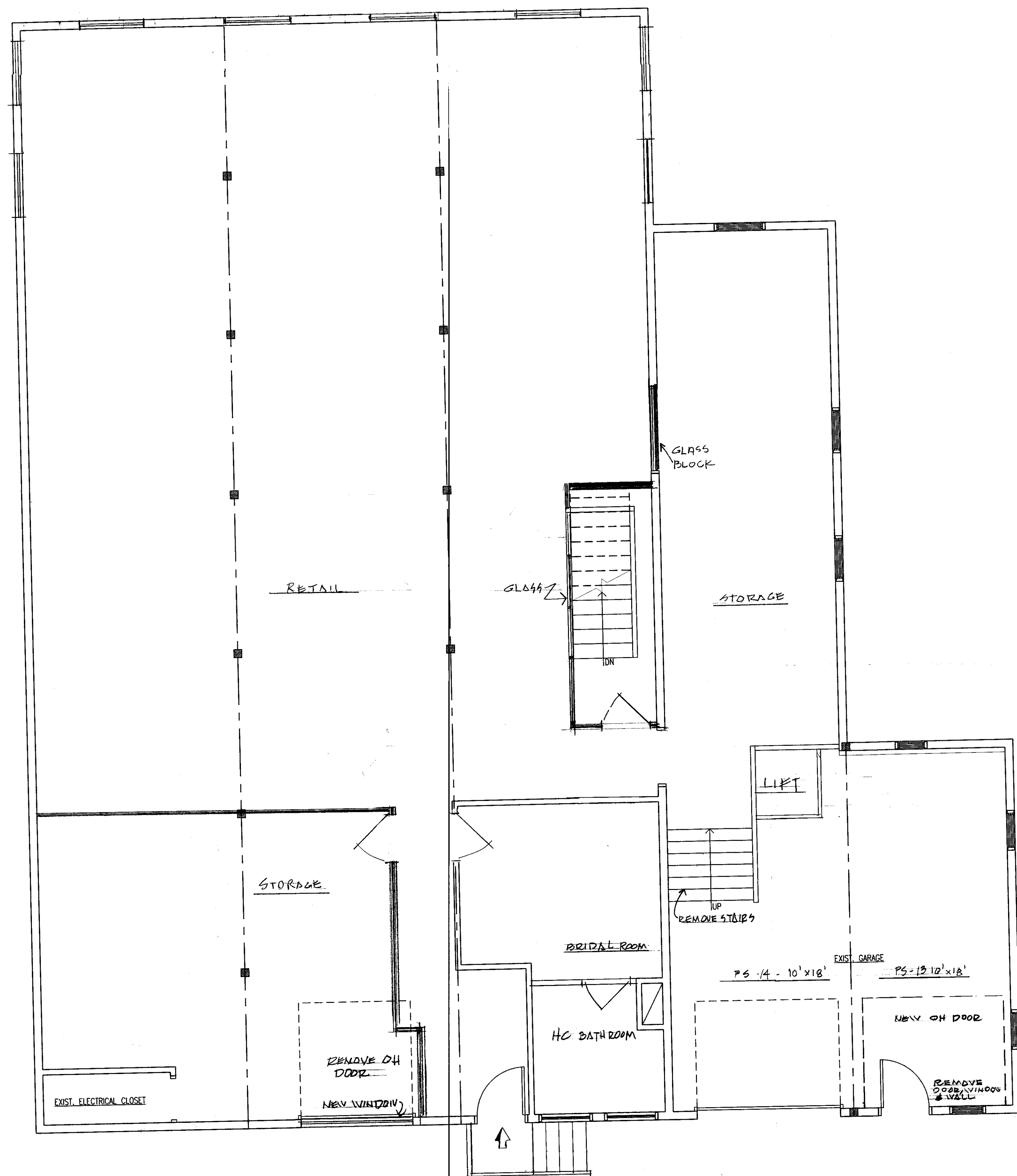
ISSUANCE
FOR REVIEW
7/31/2020
8/10/2020
Joel Greenberg

SCALE
AS NOTED
DRAWN BY/CHKD BY
TBC / JLG
PROJECT NO.
02-20-27

S-100



1 FIRST FL. PLAN
1/4"=1'-0"



2 SECOND FLOOR PLAN
1/4"=1'-0"

ARCHITECTURAL VISIONS
A GREENBERG DESIGN GROUP

2 MUSCOT ROAD NORTH
MAHOPAC, NY 10541
JOEL.GREENBERG@ARCHVISIONS.COM

P: 845-628-6613
F: 845-628-2807

PROJECT: RUDOVIC BRIDAL SHOP

PROJECT ADDRESS: 1707 ROUTE 6, CARMEL, NY 10512
MAILING ADDRESS: 179 ROUTE 92, CARMEL, NY 10512
TAX MAP NO. 55.6-1-12

FLOOR PLANS

ISSUANCE
PS-1/15/2020
PS-1/15/2020

SCALE: AS NOTED
DRAWN BY: CHKD BY: TBC / JLG
PROJECT NO. 02-20-27

A-100

**ALFRED A. CAPPELLI, JR.
ARCHITECT
1136 ROUTE 9
WAPPINGERS FALLS, NY 12590**

**Telephone: 845-632-6500
Fax: 845-632-6499
Email: acappe2102@aol.com**

August 7, 2020

Town of Carmel Planning Board
60 McAlpin Ave.
Mahopac, NY

Re: Re-Submittal to Planning Board
Zakon Property
14 Nicole Way (Corner NYS Rt. 6)
TM #65.6-1-22

Dear Ms. Trombetta,

Attached please find five copies of a revised site plan for the above referenced project.

After working with our traffic consultant, Phil Grealey from Maser Consulting, the NYSDOT has conceptually agreed to an entrance to the site off NYS Rt. 6 nearer to Nicole Way than previously considered.

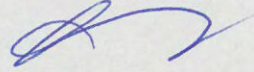
Mr. Zakon has further decided to reduce the size of the building and move the building closer to Rt. 6 and farther away from Nicole Way.

We would like to be placed on the next available Planning Board Agenda for discussion purposes only to review this latest concept with the Planning Board.

We understand that the plan submitted is basic and does not include the requisite plans (i.e. lighting, landscaping, drainage) that would normally be submitted with the full application, but Mr. Zakon does not wish to have his design professionals prepare these documents if the Board will not consider this latest concept. Therefore, there is no need for the Board's consultant and engineer to provide a detailed listing of omissions for a complete application. We would, however, appreciate a constructive critique of this latest submission.

Thank you for your help and consideration. If there is anything else you need, please do not hesitate to reach out to me.

Very truly yours,

A handwritten signature in blue ink, appearing to be 'A. Cappelli, Jr.', with a stylized flourish at the end.

Alfred A. Cappelli, Jr.
Architect

AAC/dc
Enc.

65.10-2-11
Nicandro Realty Co., Inc.
Att: J. Prisco
11 Birch Grove Dr.
Armonk, NY 10504

65.6-1-10
Synod of Bishops
75 E. 93rd St.
New York, NY 10128

65.6-1-21
Chad Collesian
1085 Rt. 6
Mahopac, NY 10541

65.6-1-20
City of New York
Bureau of Water Supply, Taxes
71 Smith Ave.
Kingston, NY 12401

65.6-1-33
Joseph Minnix
19 Katie Ct.
Mahopac, NY 10541

65.6-1-23
Butter Bean Properties, LLC
PO Box 97
Holmes, NY 12531

65.6-1-32
William DeBrocky
37 Katie Ct.
Mahopac, NY 10541

65.6-1-25
Lisa Giordano
44 Nicole Way
Mahopac, NY 10541

65.6-1-9
Synod of Bishops
75 E. 93rd St.
New York, NY 10128

65.6-1-11
Christopher Perrone
1076 Rt. 6
Mahopac, NY 10541

65.6-1-13
Carpac, LLC
1090 Rt. 6
Mahopac, NY 10541

65.6-1-22
14 Nicole Way, Inc.
49 Salem Ridge Rd.
Carmel, NY 10512

65.6-1-34
William Silkowski
21 Nicole Way
Mahopac, NY 10541

65.6-1-31
Mary Lou DeSiervi
31 Nicole Way
Mahopac, NY 10541

65.6-1-30
Patricia Simone
41 Nicole Way
Mahopac, NY 10541

65.6-1-35
Church of the Holy Communion
1055 Rt. 6
Mahopac, NY 10541

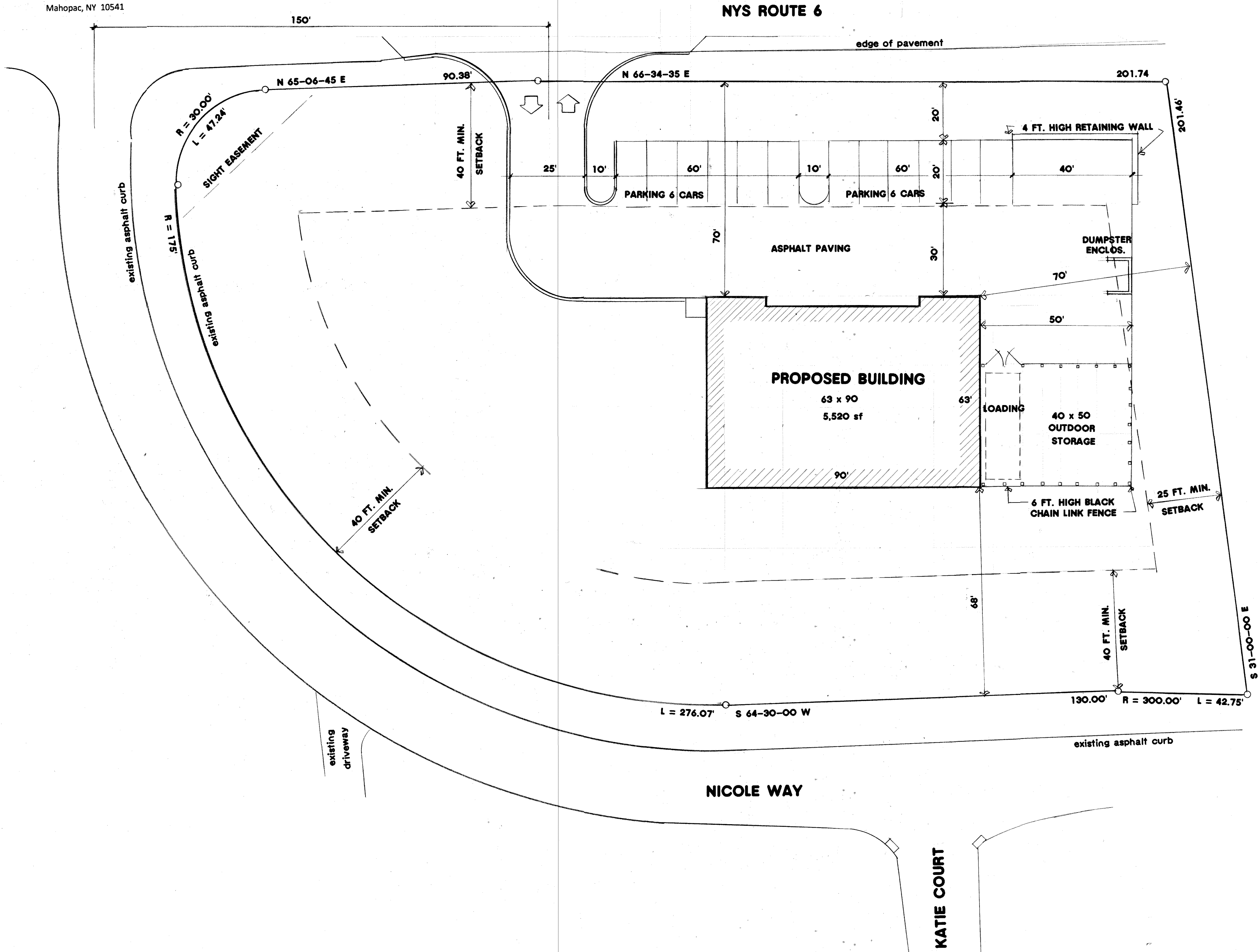
65.6-1-12
Synod of Bishops
75 E. 93rd St.
New York, NY 10128

65.6-1-22
Trust, Joan & Howard Stockfield
49 West Lake Blvd.
Mahopac, NY 10541

65.10-2-10
Nunzio Terlizzi
23 Katie Ct.
Mahopac, NY 10541

65.6-1-24
Kyung O. Park Chenet
34 Nicole Way
Mahopac, NY 10541

65.6-1-25
Andrew Marchetta
44 Nicole Way
Mahopac, NY 10541



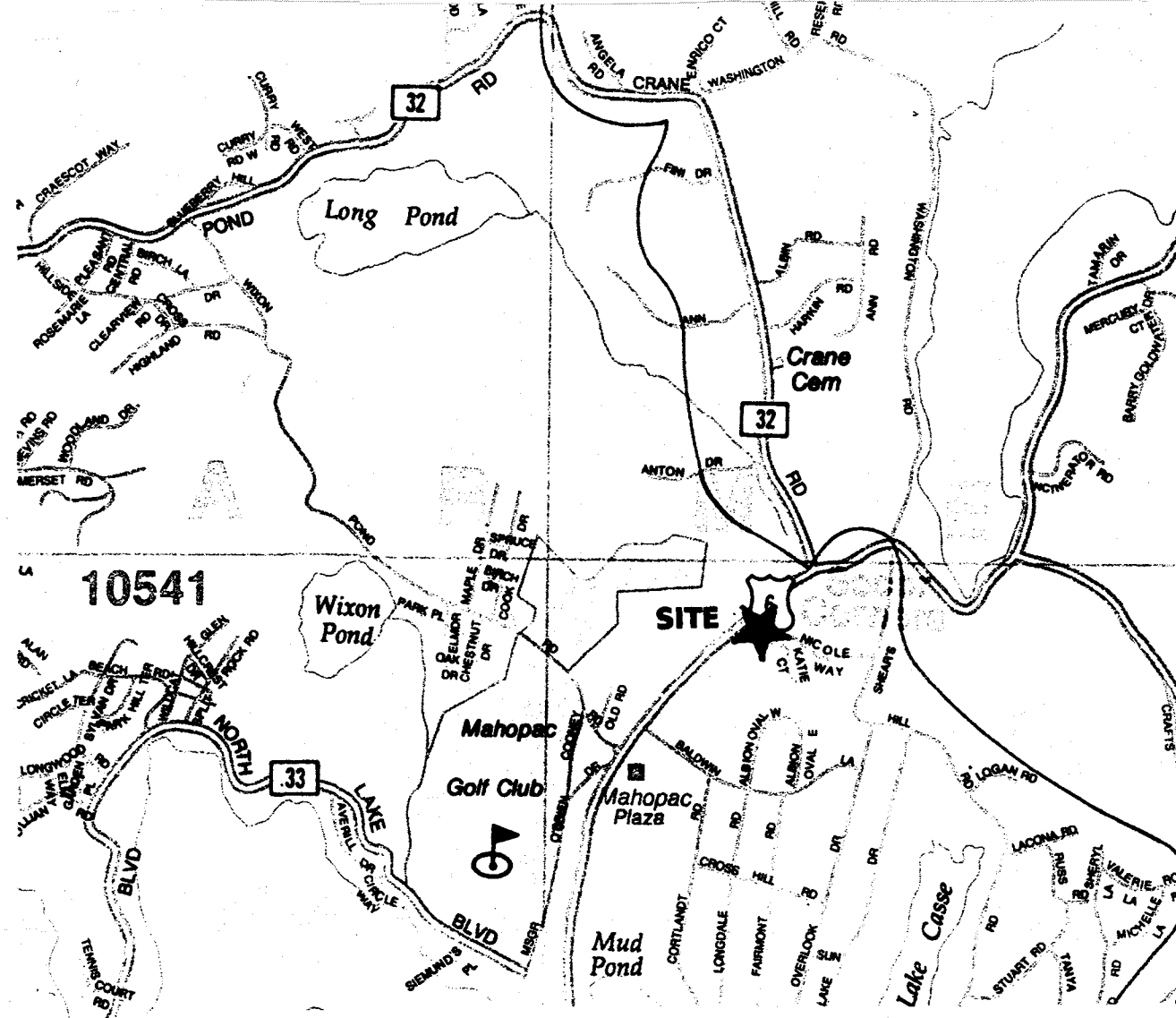
PARKING

Parking
Warehouse, 1/1,000 sf gross
4,320 sf
5 spaces req'd.

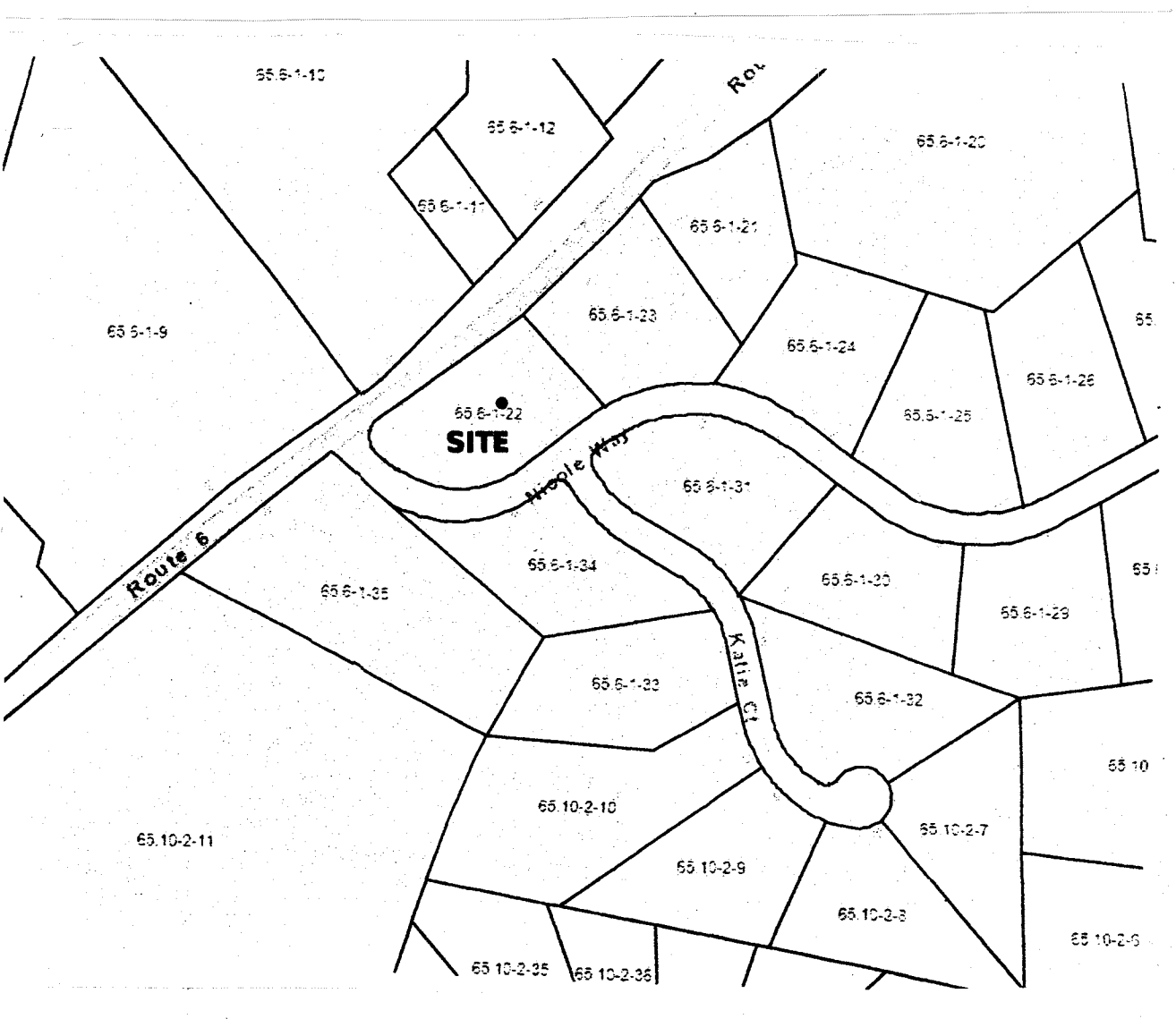
Office Area
1,200 sf
6 spaces req'd.

Office Area
Total spaces req'd. = 11
Total spaces provided = 12
Number of employees: 7 including owner

LOCATION MAP



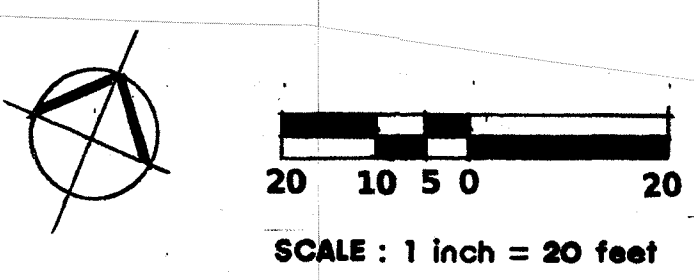
AREA MAP



PROJECT DATA

	Req'd./Allowed	Provided
Min. lot size	40,000 sf	61,752 sf (1.417 AC)
Min. lot size Width Depth	200 ft. 200 ft.	± 300 ft. ± 200 ft. (irreg.)
Setbacks		
Front	40 ft.	70 ft. to Rt. 6
Rear	40 ft.	68 ft.
Sides	25 ft.	70 ft.
Max. bldg. cover	30% (18,525 sf)	5,520 sf (8.93%)
Bldg. area proposed		5,520 sf
Paved area (parking & walk)		13,400 sf (25.5%)
Total impervious (bldg. & paved)		18,920sf (30.6%)
Open space		42,832 sf (69.4%)
Bldg. height	35 ft.	25 ft.

NORTH ARROW & SCALE



OWNER CERTIFICATION

The undersigned, Joe Zakon, owner of the property hereon states that he is familiar with the map, its contents and legends, and hereby consents to all said terms and conditions as stated hereon.

Owner _____ Date _____

OWNER & APPLICANT

Joe Zakon
14 Nicole Way, Inc.
PO Box 14
Mahopac, NY 10541

SITE DATA

Location 14 Nicole Way Corner of Rt. 6 & Nicole Way Town of Carmel Putnam County, NY	Lot Area 1.417 AC (61,752 sf)
Tax Map No. 65.6-1-22	Proposed Use Vehicle Storage
	Zoning Commercial (C)

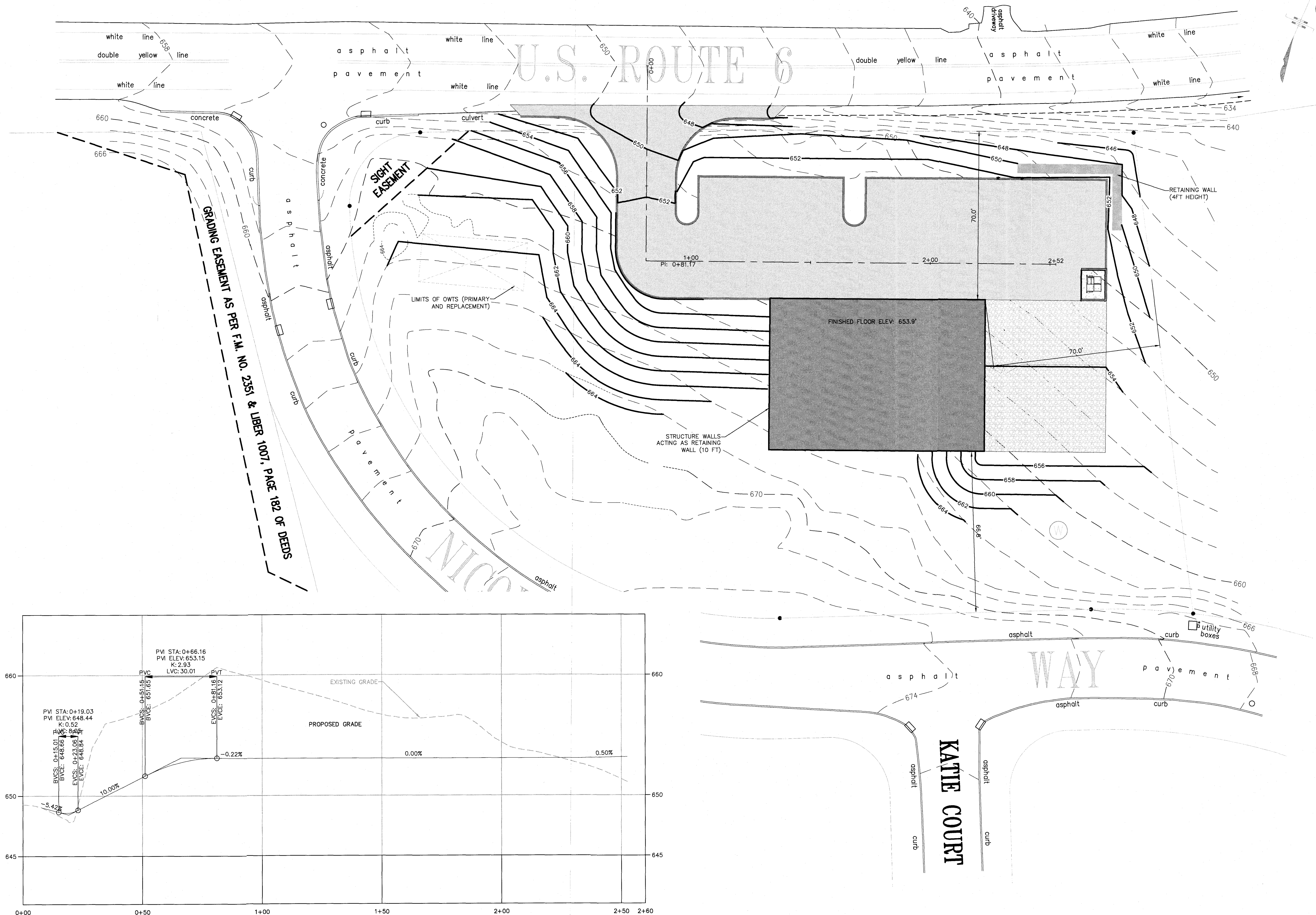
REVISIONS	BY

ALFRED A. CAPPELLI Jr., AIA
ARCHITECT
1136 ROUTE 9 WAPPINGERS FALLS, N.Y. 12590
Phone: (845) 632-6500 acappe2102@aol.com

PROPOSED NEW STORAGE BUILDINGS FOR
JOE ZAKON dba 14 NICOLE WAY LLC
CORNER OF ROUTE 6 & NICOLE WAY TOWN OF CARMEL, NY

SITE PLAN

DATE	AUG. 6, 2020
SCALE	1" = 20'
DRAWN	AC
JOB	18-010
SHEET	S-1
OF	SHEETS



Profile View: Proposed Driveway

- PRE-CONSTRUCTION SEQUENCE:
1. SUBMIT NOTICE OF INTENT (N.O.I.) TO NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYS DEC) BUREAU OF WATER PERMITS, ALBANY NY.
 2. RECEIVE ACKNOWLEDGMENT OF N.O.I. FROM NYS DEC.
 3. HOLD A PRE-CONSTRUCTION MEETING WITH THE OWNER/OPERATOR, SITE ENGINEER, TOWN ENGINEER, TRAINED CONTRACTOR, QUALIFIED EROSION CONTROL INSPECTOR AND THE BUILDING INSPECTOR. PLACE A COPY OF THE SWPPP REPORT IN SITE MAILBOX ALONG WITH A COPY OF THE INSPECTOR'S LOG BOOK CONTAINING COPIES OF THE WEEKLY INSPECTIONS (APPLICANT'S EROSION & SEDIMENT CONTROL INSPECTION AGENT SHALL CONDUCT AN INSPECTION ON A WEEKLY BASIS)

- CONSTRUCTION SEQUENCE:
1. PRIOR TO CONSTRUCTION, THE ANTI-TRACKING PAD SHALL BE INSTALLED.
 2. INSTALL SEDIMENT AND EROSION CONTROL MEASURE AS SHOWN ON THE SEDIMENT & EROSION CONTROL PLAN.
 3. COMMENCE INITIAL CLEARING AND GRUB OF THE SITE.
 4. BEGIN SITE GRADING AND EXCAVATION, ROUGH CUT PARKING AREAS TO SUB-GRADE
 5. AREAS WHERE INFILTRATION MEASURES (E.G. SEPTIC AND INFILTRATORS) ARE PROPOSED SHALL BE CORDONED OFF AFTER COMPLETION OF ROUGH GRADING WITH CONSTRUCTION FENCE TO MINIMIZE COMPACTION DURING THE REMAINDER OF CONSTRUCTION TO EVERY EXTENT POSSIBLE
 6. INSTALL RETAINING WALLS AND GRADE REMAINDER OF THE SITE.
 7. INSTALL SITE UTILITIES AND/OR INFRASTRUCTURE
 8. PLACE CONCRETE FOOTINGS AND FOUNDATIONS FOR THE PROPOSED BUILDING AND OTHER STRUCTURES.
 9. ONCE ALL MAJOR SITE WORK HAS BEEN COMPLETED, INSTALL THE UNDERGROUND INFILTRATION SYSTEM AND SEPTIC SYSTEMS.
 10. INSTALL BINDER COURSE, SIDEWALKS AND CURBING ONCE ALL MAJOR SITE WORK IS COMPLETE.
 11. TOPSOIL, SEED AND MULCH ALL DISTURBED AREAS THAT HAVE OBTAINED FINISHED GRADE ELEVATIONS.
 12. SEED AND MULCH ALL DISTURBED AREAS THAT WILL NOT BE RE-DISTURBED FOR AT LEAST 14 DAYS.
 13. FINALIZE BUILDING CONSTRUCTION.
 14. INSPECT INFILTRATION SYSTEM FOR ANY SEDIMENT ACCUMULATION AND/OR DAMAGE.
 15. PAVE PARKING AREA AND DRIVES WITH FINAL TOP-COAT OF ASPHALT.
 16. ONCE ALL MAJOR SITE DISTURBANCE ACTIVITIES HAVE CEASED AND THE SITE HAS ACHIEVED FINAL STABILIZATION, COORDINATE WITH THE LOCAL MS4 STORM WATER OFFICER TO FACILITATE TERMINATION OF EROSION CONTROL INSPECTIONS.
 17. ONCE THE SITE IS STABILIZED (I.E. THE GRASS HAS BEEN STABILIZED), THE EROSION CONTROL MEASURES CAN BE REMOVED.
 18. FILE A NOTICE OF TERMINATION WITH THE NYS DEC.

SITE NOTES

1. PROPERTY BOUNDARY, TOPOGRAPHY AND EXISTING UTILITY SHOWN HEREON ARE BASED ON A SURVEY ENTITLED "TOPOGRAPHIC SURVEY PREPARED FOR 14 NICOLE WAY", INC. DATED MAY 4, 2018.
2. ESTIMATED AMOUNT OF MATERIAL EXPORTED - 2,300YD³
ESTIMATED TRUCK TRIPS - 165

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

Mark A. Day, PE	
08-05-2020	
07-23-2020	
04-08-2020	
03-16-2020	
03-03-2020	
Revised	02-19-2020
Project No.	2018-419
License No. 069646	
DAY STOKOSA ENGINEERING P.C.	
3 Van Wyck Lane Suite 2 Wappingers Falls, New York 12590 (845) 223-3202	
PROJECT 14 Nicole Way Tax Map 65.01-1-22 Town of Caramel Putnam County, New York	
DRAWING Grading Plan	
SCALE 1" = 20'	DRAWN BY BJW
DATE 01-25-20	CHECKED BY MAD
C-1 1 of 10	

William A. Shilling, Jr., P.C.

Attorney at Law

122 Old Route 6

Carmel, New York 10512

E-Mail: waslaw@shillinglegal.com

Frank J. Smith III

**Also Admitted in CT*

Phone (845) 225-7500

Fax (845) 225-5692

August 7, 2020

Town of Carmel Planning Board

Attn: Rose Trombetta

60 McAlpin Avenue

Mahopac, New York 10541

RE: Centennial Golf Course

Dear Ms Trombetta,

Please find enclosed ten (10) copies of a transmittal letter and ten (10) copies of an amended text amendment related to the Centennial Golf Club application. If you could please forward a copy of the letter and text amendment to the Members of the Board as well as the Board's Consultants it would be greatly appreciated.

Our office, along with our Project Engineer's office, lost power in this week's storm. We are both now fully functional with phones and electricity. Upon your review of these materials, please do not hesitate to contact me to discuss. I may be reached by email at frank@shillinglegal.com or by phone at (845) 225-7500.

Very truly yours,



Frank J. Smith III, Esq.

William A. Shilling, Jr., P.C.

Attorney at Law

122 Old Route 6

Carmel, New York 10512

E-Mail: waslaw@shillinglegal.com

Frank J. Smith III

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Very truly yours,



Frank J. Smith III, Esq.

Proposed New Zoning Text

**PROPOSED TEXT AMENDMENT TO
SECTION 156-24 "CLUBS"**

SECTION 156-24. CLUBS

A. Clubs, including country, golf, swim, tennis and other court games, shall be permitted, provided that:

(1) The minimum site size for a nine-hole golf course shall be 75 acres and for an eighteen hole golf course shall be 150 acres. The minimum site size for clubs other than golf clubs shall be five acres.

(2) Where a swimming pool is provided, such pool shall contain 1.7 square feet of water surface area for each member household expected to use such facilities. A twenty-five meter pool shall have a minimum width of 45 feet, and a fifty-meter pool shall have a minimum width of 60 feet. A paved sitting area contiguous to all sides of such pool and having an area two times the water surface of the pool shall be provided.

(3) Where any active sport area of said membership club site abuts a residential district, a landscaped buffer having a height of at least four feet and a depth of at least 10 feet shall be provided.

(4) On-site paved parking spaces shall be provided at a ratio of two for each member household, plus one space for each full-time employee.

(5) Where a restaurant and/or bar is provided for nonmember as well as member use, on-site paved parking shall be provided at a ratio of one space for each three seats, including barstools, or one space for each 40 square feet of floor area devoted to patron use where the capacity is not determined by the number of fixed seats provided.

B. RESIDENTIAL REDEVELOPMENT OF EXISTING GOLF COURSES

To preserve golf course and related facilities existing at the time of the adoption of this amendment for the greater good of the Town, redevelopment of existing golf courses with residential development shall be permitted, provided that:

(1) The Applicant establishes a purpose and need for the redevelopment of land currently developed as a golf course with residential development to fulfill the objective of preserving some golf course and related facilities for the greater good of the Town; and

(2) The minimum lot size for residential development shall be at least twenty (20) acres; and

(3) The residential density shall not exceed four (4) dwelling units per acre. The residential density shall be calculated based on the total residential development acreage minus 10% for roads and utilities. No residential redevelopment of an existing golf course shall exceed 100 dwelling units; and

(4) The residential development must have its primary access driveway directly off a State, County, or Town Road located in the Town of Carmel; and

(5) Residential development exceeding 40 or more units shall be served by municipal or community water and municipal or community sewer or septic; and

(6) Residential development may be comprised of Dwelling, Attached²; Dwelling, Semidetached; Dwelling, Single-family and/or Dwelling, Two-Family units³; and

(7) For Dwelling, Attached, Dwelling, Semidetached and Dwelling, Single-family and/or Dwelling, Two-Family units, there shall be provided a minimum of two (2) on-site parking spaces per unit. An additional 20 percent of the total required parking shall be provided for visitor parking. Visitor parking shall include recreation parking; and

(8) The building height for dwelling units shall not exceed 40 feet or two and one-half stories above an enclosed or semi-enclosed garage area; and

(9) Building lot coverage⁴ shall not exceed 35%; and

(10) In order to encourage and enable a residential development of desirable and imaginative design, and excluding the foregoing bulk and dimensional requirements, the specific controls contained in Chapter 156, Schedule of District Regulations, Attachment 1 are hereby replaced by a design approved by the Planning Board.

(11) A building setback of 30 feet off public roads shall be provided, which shall be furnished with landscaping per a landscaping plan to be determined by the Planning Board; and

(12) A total of not less than 200 square feet per dwelling unit shall be improved with recreational facilities, such as swimming pools, playground and other recreational equipment for use by site residents and their guests; and

(13) Permanent Open Space will be provided on the adjoining golf course. The open space area will not be less than a ratio of 1:1 to that of the total area of the residential lot (for

² Suggested new definition: Dwelling, Attached: A row of abutting buildings with no more than four-family units in a row as permitted by special permit only in accordance with 156-24(B) only.

³ Section 156-8 defines Dwelling, Semidetached as, "a building with one or two dwelling units beside the other, completely separated therefrom by a party or common wall with no openings therein"; Dwelling, Single-Family as, "a detached building designed for occupancy as one dwelling unit for one family"; and Dwelling, Two-Family as, "a detached building designed for occupancy as two dwelling units for two separate families."

⁴ Section 156-8 defines Coverage as, "The percentage of the lot area covered by the combined area of all buildings or structures on the lot, including the area of any floor space projecting beyond the outer limits of the first floor of all buildings on the lot, and excluding paved areas and underground fuel, drainage and water and sewer systems."

example, 40 acres of total residential lot area will equal 40 acres of open space) and cannot be comprised of golf course uses and wetlands (wetlands at the time of the adoption of this amendment).

(14) Existing golf courses redeveloped with residential development as approved under this section are not required to comply with Section 156-24(A)(1).

July 17, 2020

Town of Carmel Planning Board
60 McAlpin Avenue
Mahopac, NY 10541-2340

Attn: Mr. Craig Paepreer, Chairman

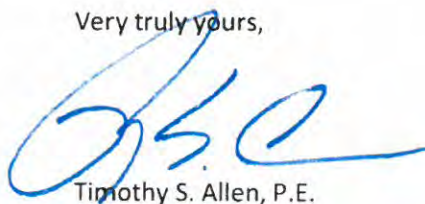
Re: Proposed 14-Lot Subdivision
Yankee Development, Piggott Road
TM # 76.15-1-12

Dear Chairman and Members of the Board:

On behalf of the owners of the above captioned property we are hereby requesting an additional 180-day extension of Preliminary Subdivision Approval. This project was granted a 180 day extension until August 15, 2020. Our client is proceeding with the DEP review process and will ultimately subdivide the property if the residential real estate market continues on its positive trend. A check in the amount of \$ 1,000 for the renewal fee is enclosed.

We respectfully request to be placed on your earliest available agenda. Should you require any additional information, please feel free to contact me.

Very truly yours,



Timothy S. Allen, P.E.

TSA/mme
Enclosure

cc: Angelo Luppino
Michael Sirignano
File