

CRAIG PAEPRER
Chairman

ANTHONY GIANNICO
Vice Chairman

BOARD MEMBERS
KIM KUGLER
RAYMOND COTE
ROBERT FRENKEL
MARK PORCELLI
VICTORIA CAUSA

**TOWN OF CARMEL
PLANNING BOARD**



60 McAlpin Avenue
Mahopac, New York 10541
Tel. (845) 628-1500 – Ext.190
www.ci.carmel.ny.us

MICHAEL CARNAZZA
*Director of Code
Enforcement*

RICHARD FRANZETTI, P.E.
Town Engineer

PATRICK CLEARY,
AICP, CEP, PP, LEED AP
Town Planner

**PLANNING BOARD AGENDA
NOVEMBER 12, 2020 – 7:00 P.M.**

REVISION #2

TAX MAP # PUB. HEARING MAP DATE COMMENTS

PUBLIC HEARING

- | | | | | |
|--|---------------|----------|---------|---------------------|
| 1. Old Forge Estates – Baldwin Place Road | 75.15-1-19-40 | 11/12/20 | 8/20/20 | Cluster Subdivision |
| 2. Itzla Subdivision – 9 Mechanic Street | 55.14-1-6 | 11/12/20 | 12/5/19 | 2 Lot Subdivision |
| 3. 14 Nicole Way LLC (Zakon) – 14 Nicole Way | 65.6-1-22 | 11/12/20 | 9/29/20 | Site Plan |

RESOLUTION

- | | | | | |
|---|------------|--|--------|-------------------|
| 4. Carmel Fire Department – 94 Gleneida Ave | 44.14-1-24 | | 9/8/20 | Amended Site Plan |
|---|------------|--|--------|-------------------|

SITE PLAN

- | | | | | |
|---|----------------------------|--|----------|-------------------|
| 5. Stillwater Business Park – 105 Stillwater Road | 75.17-1-53
86.5-1-25,26 | | 11/2/20 | Site Plan |
| 6. Rudovic Bridal Shop – 1707 Route 6 | 55.6-1-12 | | 10/23/20 | Site Plan |
| 7. Mahoven LLC (Kaneti) – 737 South Lake Blvd | 75.42-1-13 | | 10/29/20 | Special Site Plan |

MISCELLANEOUS

- | | | | | |
|---|------------------------------|--|--|---|
| 8. Downtown Mahopac Properties – 559 Route 6 | 75.12-2-26 | | | Extension of Final Amended Site Plan Approval |
| 9. Gateway Summit Senior Housing – Lot 6
Gateway Drive | 55.-2-24.6-1
55.-2-24.6-2 | | | Re-Approval of Final Amended Site Plan |
| 10. The Fairways Senior Housing – Lot 7
Gateway Drive | 55.-2-24.8-1
55.-2-24.8-2 | | | Re-Approval of Final Amended Site Plan |
| 11. The Hamlet at Carmel – Stoneleigh Ave | 66.-2-58 | | | Extension of Final Amended Site Plan Approval |
| 12. Minutes – 09/16/20 & 10/21/20 | | | | |

ALFRED A. CAPPELLI, JR.
ARCHITECT
1136 ROUTE 9
WAPPINGERS FALLS, NY 12590

Telephone: 845-632-6500
Fax: 845-632-6499
Email: acappe2102@aol.com

November 2, 2020

Town of Carmel Planning Board
60 McAlpin Ave.
Mahopac, NY 10541

Att: Chairman Paepre & Planning Board

Re: Zakon Site Plan
Mike Carnazza 10/21/20 Comments

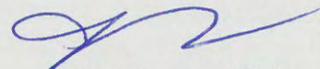
Chairman Paepre & Planning Board,

We have reviewed the October 21, 2020 memo from Mike Carnazza to the Planning Board re: the above referenced project and offer the following in response:

1. The retaining wall heights are now noted on all of the plans although the heights were and are on Sheet D-1.
2. Although floor plans and elevations were presented at the last Planning Board meeting, we have attached, as part of our submission, floor plans and elevations.
3. The lot depth and lot width lines are now shown on the plan.

If you have any questions or need additional information, please do not hesitate to reach out to us.

Very truly yours,



Alfred A. Cappelli, Jr.
Architect

AAC/dc
Enc.

**ALFRED A. CAPPELLI, JR.
ARCHITECT
1136 ROUTE 9
WAPPINGERS FALLS, NY 12590**

**Telephone: 845-632-6500
Fax: 845-632-6499
Email: acappe2102@aol.com**

November 2, 2020

Town of Carmel Planning Board
60 McAlpin Ave.
Mahopac, NY 10541

Att: Chairman Paepreer & Planning Board

Re: Zakon Site Plan
Rich Franzetti 10/17/20 Comments

Chairman Paepreer & Planning board

We have reviewed the Oct. 13, 2020 memo from Rich Franzetti to the Planning re: the above referenced project and offer the following in response:

- I. General Comments:
 1. Referrals:
 - a. Putnam County Dept. of Health is in the process with our Engineers, Day & Stokosa.
 - b. Carmel Fire Dept.: Attached is a memo from Chief James Stasiak.
 - c. Town of Carmel Highway Dept.: I do not believe the Town Highway Dept. has any purview as we are no longer entering/exiting onto Nicole Way, but if they have any questions or concerns, we would be glad to address them.
 - d. NYSDOT: Our traffic consultant, Phil Grealey from Maser Consulting, has been in contact with NYSDOT and is handling the permitting process.
 - e. Putnam County Dept. of Planning: We are awaiting their review comments.
 2. Permits Required:
 - a. NYSDOT: Being worked on by our consultants, Maser.
 - b. Putnam County Dept. of Health: Being worked on by our consultants, Day & Stokosa.
 - c. Town of Carmel Highway: Not required.
 - d. NYSDOT: As per 'a' above, covered under our application for ingress & egress coupled w/work along Rt. 6 both east & west of our site.
 - e. NYSDEC: General permit GP-0.20.001. Comment noted. This office will submit the NOI to the NYSDEC through their online portal once all MS4 documents are returned and signed. It is anticipated that upon submission, we will be issued a permit number from the NYSDEC within 10 business days.

3. A permit from the NYCDEP is not required:
 - a. The location and scale of the project do not meet any of the threshold requirements contained in Appendix C of the "New York City Dept. of Environmental Protection Bureau of Water Supply Applicant's Guide to Stormwater Pollution Prevention Plans", Sept. 2011, specifically we are not creating an impervious surface totaling over 40,000 sf. Even including pervious asphalt and gravel, the current site plan offers less than 25,000 sf total cover.
 - b. A SWPPP has been submitted that addresses erosion and sediment control.
4. Legends have been added to the drawings.
5. All drawings submitted hereinafter will be signed/sealed by the respective design professional.
6. Vehicle movement plan (C-4):
 - a. We have added to the vehicle movement plan (C-4) sight distance referencing, as well as on Sheet S-1).
 - b. Pavement markings are now shown on this plan.
7. Our Engineers (Day & Stokosa) are working on the site costs, to be submitted to your office, but will not be part of this submission at this time.

II. Detailed Comments:

1. Site distances are shown on Sheet S-1. Maser Consulting is currently working w/NYS DOT & the exact amount of clearing that there needs to be to assure appropriate sight distance.
2. Sheet S-4:
 - a. A note has been added that all curbs, sidewalks & asphalt shall meet the T/O Carmel Town code.
 - b. We have increased the thickness of paving as noted.
3. Sheet C-1:

There is currently one retaining wall that is 6 ft. height & will be designed & stamped by a NYSPE prior to construction.
4. Sheet C-2:
 - a. The area for porous pavement has been indicated along with protective measures during construction.
 - b. The limits of disturbances are now shown on all sheets & should correspond with one another.
5. Sheet C-4: Oil/propane tank movement templates have been added to the drawing.
6. Sheets C-5, D-4:
 - a. Porous pavement now indicated on the plan.
 - b. Details for protection of the porous pavement is now indicated on the plans.
 - c. The proposed pavement is in general conformance with Chapter 5.3.11 of the NYSDEC Stormwater design manual. The primary function of the asphalt will be to act as a collection and detention structure to maintain water discharge from the finished site to pre-construction level with infiltration being a desirable secondary benefit. The depths of stone and location of underdrain reflect this.
7. SWPPP:
 - a. The need for MS4 acceptance has been added as requested to the grading plan.
 - b. The NOI will be signed as part of the electronic submission to the NYSDEC. The owner and SWPP preparer signature forms are different for the electronic submission than the paper copy and I generally have them signed after I begin the

NOI submission as the forms make reference to the electronic "submission number" that is issued.

- c. The area of porous pavement has been revised to depict the intended location with a construction fence around the perimeter.
- d. The SWPPP referenced the use of the pavement in Section 4 of the report for the purposes of water quantity controls. Beyond what is outlined in the plan set for construction, there are no other requirements pertinent to the SWPPP as the SWPPP in this case was limited to erosion and sediment controls required for permitting.

If you have any questions, please do not hesitate to reach out to us.

Very truly yours,

A handwritten signature in blue ink, consisting of a large, stylized 'A' followed by a horizontal line that tapers to the right.

Alfred A. Cappelli, Jr.
Architect

AAC/dc



MAHOPAC VOLUNTEER FIRE DEPARTMENT
OFFICE OF THE CHIEF



Chief
James Stasiak

First Assistant Chief
Andrew Roberto

Second Assistant Chief
Gabriel Rivera

Post Office Box 267
Mahopac, NY 10541

Fire Headquarters
741 Route Six

Emergency Dial 911
Phone: (845) 628-3160
Fax: (845)628-2174

October 20, 2020

Joe Zako
14 Nicole Way Inc.
PO Box 14
Mahopac, NY 10541

Dear Sir,

The Mahopac Fire Department has reviewed the plans for your project which is planned for the corner of Route 6 & Nicole Way. The fire department had no issues with the plans provided All proper Federal, State and Local codes are met to the acceptance of the Town of Carmel Building and Planning Department.

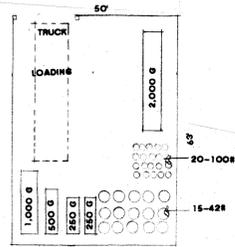
The Mahopac Fire Department would like to know if the Town of Carmel Building inspector could provide us with the information as to if the building size and occupancy will require the building to have a sprinkler system and if so the location of the fire department connection.

Sincerely,

Chief James Stasiak
Mahopac Volunteer Fire Department
PO Box 267 741 Route 6
Mahopac, NY 10541
(845)628-3160 Ext 121
James.stasiak@mahopacvfd.com

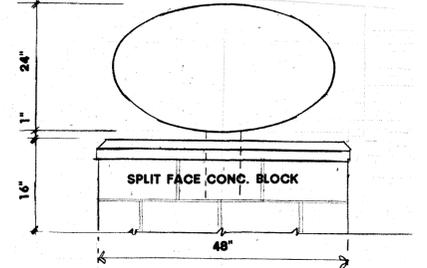
- 65.10-2-11
Nicandro Realty Co., Inc.
Att: J. Prisco
11 Birch Grove Dr.
Armonk, NY 10504
- 65.6-1-10
Synod of Bishops
75 E. 93rd St.
New York, NY 10128
- 65.6-1-21
Chad Collesian
1085 Rt. 6
Mahopac, NY 10541
- 65.6-1-20
City of New York
Bureau of Water Supply, Taxes
71 Smith Ave.
Kingston, NY 12401
- 65.6-1-33
Joseph Minnix
19 Katie Ct.
Mahopac, NY 10541
- 65.6-1-23
Butter Bean Properties, LLC
PO Box 97
Holmes, NY 12531
- 65.6-1-32
William DeBrocky
37 Katie Ct.
Mahopac, NY 10541
- 65.6-1-25
Lisa Giordano
44 Nicole Way
Mahopac, NY 10541
- 65.6-1-9
Synod of Bishops
75 E. 93rd St.
New York, NY 10128
- 65.6-1-11
Christopher Perrone
1076 Rt. 6
Mahopac, NY 10541
- 65.6-1-13
Carpac, LLC
1090 Rt. 6
Mahopac, NY 10541
- 65.6-1-22
14 Nicole Way, Inc.
49 Salem Ridge Rd.
Carmel, NY 10512
- 65.6-1-34
William Silkowski
21 Nicole Way
Mahopac, NY 10541
- 65.6-1-31
Mary Lou DeSiervi
31 Nicole Way
Mahopac, NY 10541
- 65.6-1-30
Patricia Simone
41 Nicole Way
Mahopac, NY 10541
- 65.6-1-35
Church of the Holy Communion
1055 Rt. 6
Mahopac, NY 10541
- 65.6-1-12
Synod of Bishops
75 E. 93rd St.
New York, NY 10128
- 65.6-1-22
Trust, Joan & Howard Stockfield
49 West Lake Blvd.
Mahopac, NY 10541
- 65.10-2-10
Nunzio Terlizzi
23 Katie Ct.
Mahopac, NY 10541
- 65.6-1-24
Kyung O. Park Chenet
34 Nicole Way
Mahopac, NY 10541
- 65.6-1-25
Andrew Marchetta
44 Nicole Way
Mahopac, NY 10541

OUTDOOR STORAGE



STORAGE SHOWN IS AN APPROXIMATE ARRANGEMENT & QUANTITY OF CYLINDERS STORED AT ANY ONE TIME ALL CYLINDERS ARE NOT FULL 2,000 GAL. TANK IS USED FOR RETAIL TANK FILLOPS

FREESTANDING SIGN



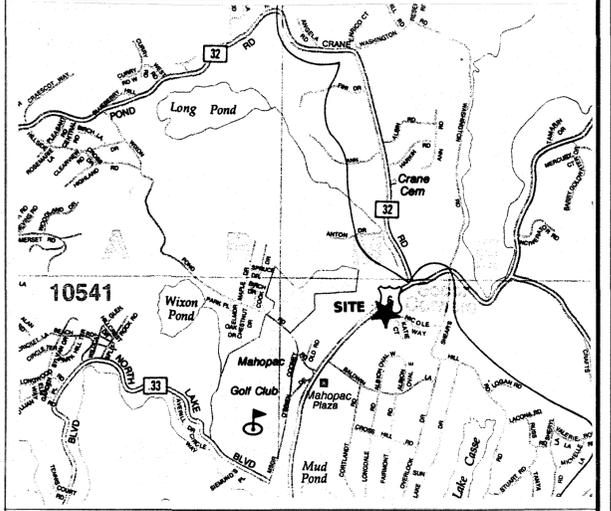
PARKING

Warehouse: 1/1,000 sf gross
4,000 sf
4 spaces req'd.

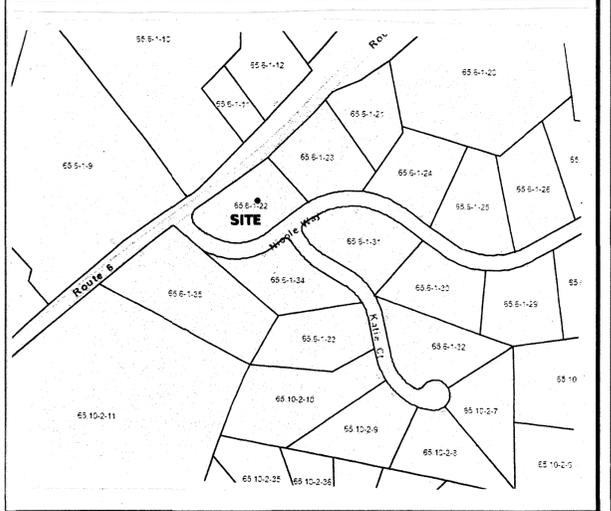
Office Area:
2,400 sf
12 spaces req'd.

Office Area:
Total spaces req'd. = 16
Total spaces provided = 16
Number employees: 7 including owner

LOCATION MAP

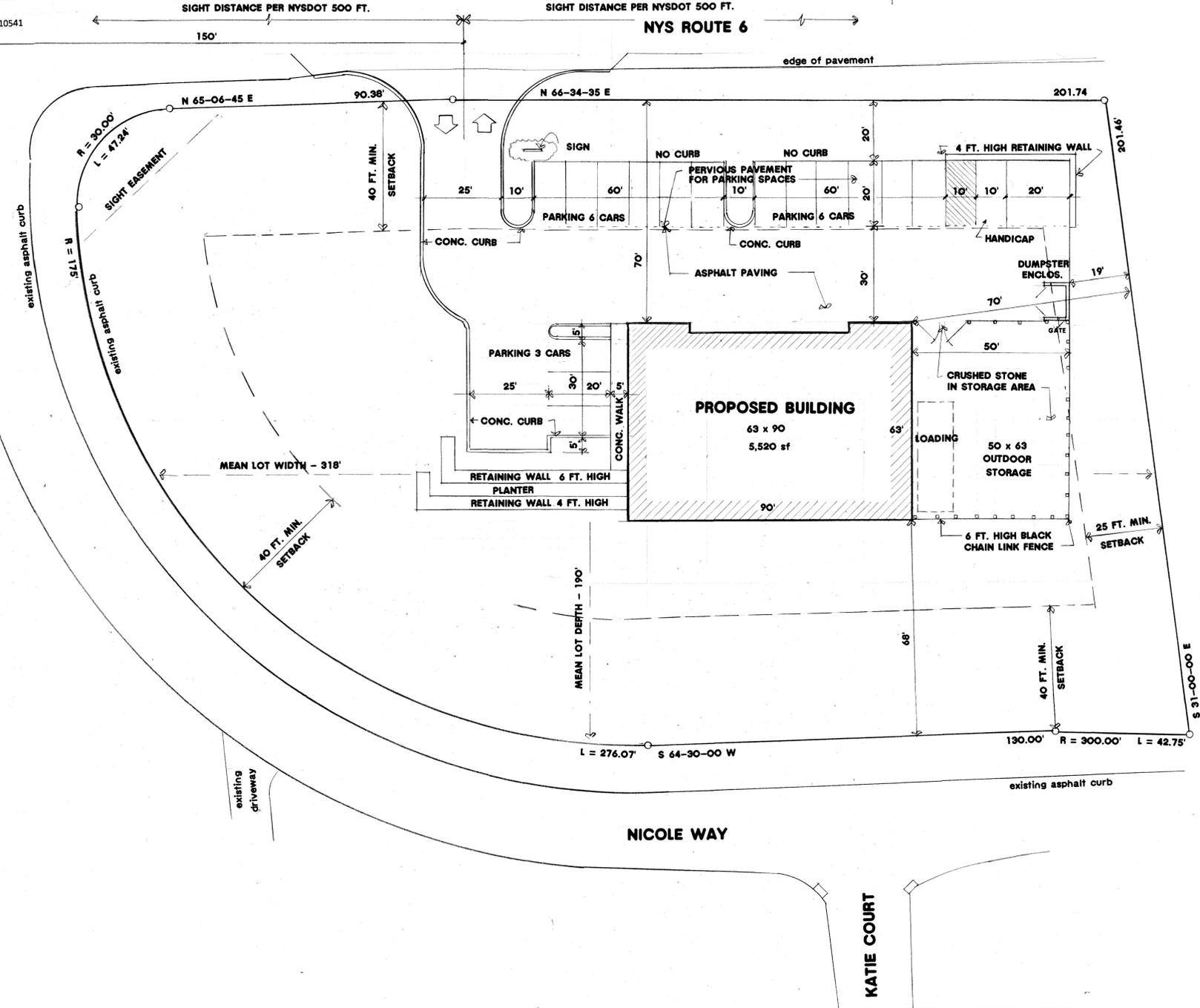


AREA MAP

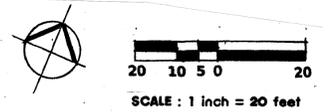


PROJECT DATA

	Req'd./Allowed	Provided
Min. lot size	40,000 sf	61,752 sf (1.417 AC)
Min. lot size Width	200 ft.	± 330 ft at bldg. line
Min. lot size Depth	200 ft.	± 200 ft. (irreg.)
Setbacks		
Front	40 ft.	70 ft. to Rt. 6
Rear	40 ft.	68 ft.
Sides	25 ft.	70 ft.
Max. bldg. cover	30% (18,525 sf)	5,520 sf (8.93%)
Bldg. area proposed		5,520 sf
Paved area (parking & walk)		15,800 sf, 25.6%
Total impervious (bldg. & paved)		21,320 sf, 34.5%
Open space		40,432 sf, 65.5%
Bldg. height	35 ft.	25 ft.



NORTH ARROW & SCALE



OWNER CERTIFICATION

The undersigned, Joe Zakon, owner of the property hereon states that he is familiar with the map, its contents and legends, and hereby consents to all said terms and conditions as stated hereon.

Owner _____ Date _____

OWNER & APPLICANT

Joe Zakon
14 Nicole Way, Inc.
PO Box 14
Mahopac, NY 10541

SITE DATA

Location 14 Nicole Way Corner of Rt. 6 & Nicole Way Town of Carmel Putnam County, NY	Lot Area 1.417 AC (61,752 sf)
Tax Map No. 65.6-1-22	Zoning Commercial (C)
	Proposed Use Vehicle Storage

REVISIONS	BY

ALFRED A. CAPPELLI Jr., AIA
ARCHITECT
1136 ROUTE 9 WAPPINGERS FALLS, N.Y. 12590
Phone: (845) 632-6500
acappe210@aol.com

PROPOSED NEW STORAGE BUILDINGS FOR
JOE ZAKON dba 14 NICOLE WAY LLC
CORNER OF ROUTE 6 & NICOLE WAY TOWN OF CARMEL, NY

SITE PLAN

OCT. 29, 2020
DATE
AUG. 6, 2020

SCALE 1" = 20'
DRAWN AC
JOB 18-010
SHEET
S-1
OF SHEETS

LANDSCAPING NOTES

- The work of furnishing and planting trees, shrubs and vines as shown on the plans and as approved by the Planning Board will be accomplished in accordance with accepted, established horticultural practices. Any change in plan type, etc., or location requires the written approval of the Planning Board.
- Plants: Common and scientific names of plants shall be in conformity with SPN (Standardized Plant Names). Plants including root spread and ball size shall be accordance with the current edition of "American Standard for Nursery Stock".
- Plants shall have a normal habit of growth and be typically characteristic of their respective kinds.
- Plants shall be free from injury, insect damage, and disease.
- Container grown plants shall have been grown long enough for new fibrous roots to have developed. Shrubs and vines shall have good fibrous root systems.
- No planting will be done when there are unsatisfactory conditions as determined by the Architect.
- Rock or other underground obstructions shall be removed to a depth as directed by the Architect.
- All plants shall be protected from drying out.
- Locations of plantings shall be marked out on the ground by the contractor to the satisfaction of the Architect.
- All plants will be set in accordance with good established horticultural practice.
- All plants shall be set plumb at such a level that after settlement they bear the same relationship to the level of the surrounding ground as they bore to the ground from which they were dug unless otherwise directed by the Architect.
- Backfill shall be thoroughly settled by tamping. Backfill is to be placed into plant pits in layers not to exceed 4" and tamped.
- Thorough watering should accompany backfill unless otherwise directed by the Architect. A saucer capable of holding water to a depth as shown on the plans shall be formed about each plant pit. All plants shall be watered to provide not less than five gallons of water per square yard of plant pit or bed areas.
- All cloth ropes, etc. shall be removed from the tops of balls, but not pulled out from under the balls.
- All trunks of deciduous trees shall be wrapped with a material as approved by the Architect immediately after planting.
- All trees shall be firmly guyed, staked, or anchored unless otherwise approved.
- Pruning shall be done in accordance with accepted good horticultural practice as directed by the Architect.
- Mulching shall cover the plant pit or planting bed to a depth as specified on the plans.
- The area disturbed by the planting operation shall be restored to an orderly condition as approved by the Architect.
- Anti-desiccants shall be applied to all plantings according to the manufacturer's directions. This material shall be applied to evergreens within two weeks of planting and to deciduous plantings placed in the fall when air temperature is above 40 degrees F or in the spring when leaves have reached 75% of mature size.
- All dead, unhealthy or badly impaired plants, as determined by the Architect, shall be promptly removed from the project.
- In the event of the threat of serious damage from insects, disease or rodents, the plants will be treated in accordance with good horticultural practice as approved by the Architect.
- All vegetation shown on this plan shall be maintained in a healthy and vigorous growing condition throughout the duration of the proposed use. All vegetation not so maintained shall be replaced with new comparable vegetation at the beginning of the next growing season.
- All planted areas where trees and/or shrubs are indicated, to have beds of whitewashed stone or pine bark chips as noted on plans.
- All remaining and disturbed areas not paved or being planted with trees or shrubs shall be seeded and mulched.
- Contractor to be responsible for bringing topsoil to site as necessary for proper seeding and planting.
- All planting shall be guaranteed by contractor a minimum of one year and be replaced as necessary.
- Fertilize and/or feed all plantings as recommended.
- After seeding germinates, contractor to be responsible for raking, mulching, re-seeding as necessary and cutting and maintaining lawn for a period of one month after germination and to the Architect's satisfaction.

- ADDITIONAL NOTES**
- ALL PLANTINGS SHALL BE INSTALLED PER SECTION 142 OF THE TOWN OF CARMEL CODE.
 - ALL PLANTINGS SHALL BE VERIFIED BY THE TOWN OF CARMEL WETLANDS INSPECTOR

PLANTING SCHEDULE

Mark	Quantity	Botanical Name	Common Name	Size
Dkr	12	Diervilla Kodiak Red	Kodiak Red Honeysuckle	2 gal.
Ha	10	Hydrangea Arborescans	Invincible Spirit Hydrangea	2 gal.
Jhp	13	Juniperus Horizontalis Plumosa	Andarra Juniper	2 gal.
Pcb	5	Pyrus Calleryana	Bradford Pear	1 1/2" c
Ps	3	Pinus Strobus	White Pine	6' ht.

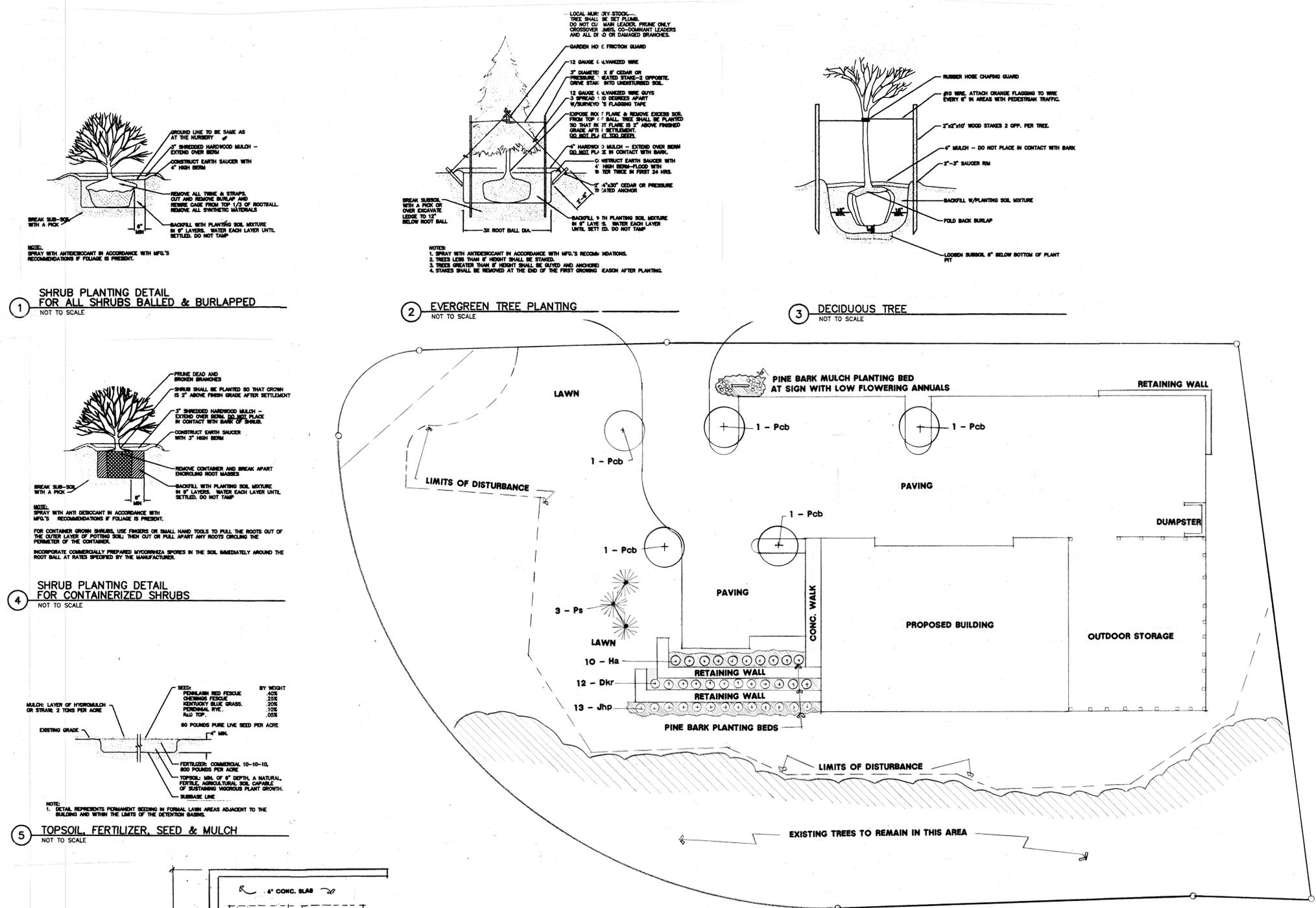
REVISIONS	BY

ALFRED A. CAPPELLI JR., AIA
ARCHITECT
 1136 ROUTE 9 WAPPINGERS FALLS, N.Y. 12590
 Phone: (845) 632-6500
 acapape210@aol.com

PROPOSED NEW STORAGE BUILDINGS FOR
JOE ZAKON dba 14 NICOLE WAY LLC
 CORNER OF ROUTE 6 & NICOLE WAY TOWN OF CARMEL, NY

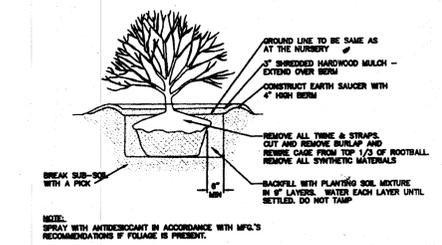
LANDSCAPING PLAN, DETAILS & NOTES

DATE: OCT. 29, 2020
SCALE: 1" = 20'
DRAWN: AC
JOB: 18-010
SHEET: S-3
 OF SHEETS

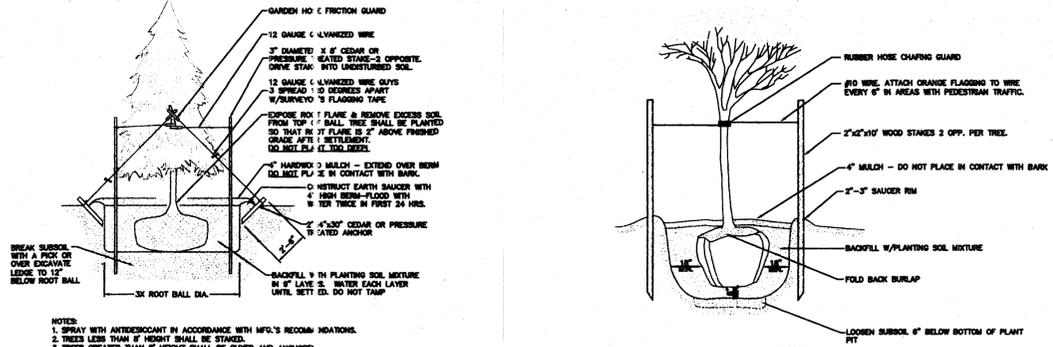


LANDSCAPING PLAN

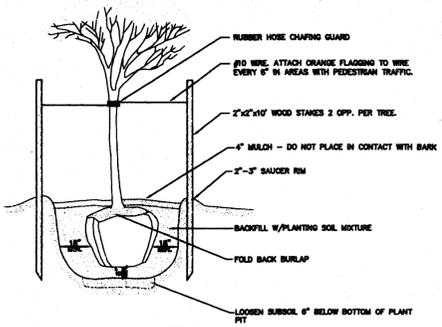
SCALE: 1 inch = 20 feet



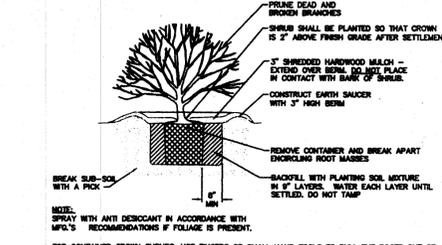
1 SHRUB PLANTING DETAIL FOR ALL SHRUBS BALLED & BURLAPPED
 NOT TO SCALE



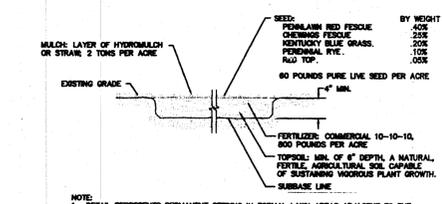
2 EVERGREEN TREE PLANTING
 NOT TO SCALE



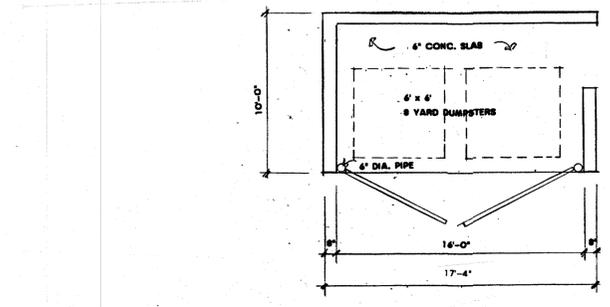
3 DECIDUOUS TREE
 NOT TO SCALE



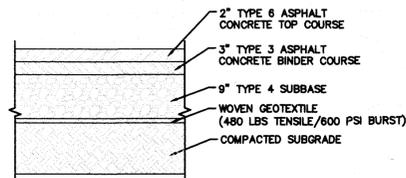
4 SHRUB PLANTING DETAIL FOR CONTAINERIZED SHRUBS
 NOT TO SCALE



5 TOPSOIL, FERTILIZER, SEED & MULCH
 NOT TO SCALE



DUMPSTER ENCLOSURE DETAIL

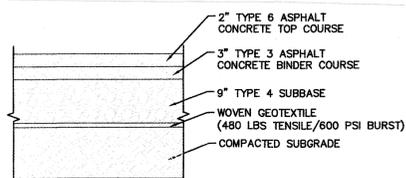


NOTES:

1. MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYSDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, DATED JANUARY 2, 2008, AND ALL ADDENDA THERETO, THE ONLY EXCEPTION BEING THAT THE WORK OF THIS CONTRACT SHALL BE MEASURED IN ENGLISH UNITS.
2. SUBBASE MATERIAL SHALL CONFORM WITH SECTION 304 - SUBBASE COURSE OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS AND THE TYPE CALLED OUT IN THESE DRAWINGS.
3. TACK COAT WHEN SPECIFIED OR CALLED OUT IN THESE DRAWINGS OR REQUIRED BY THE REFERENCED SPECIFICATIONS SHALL CONFORM WITH SECTION 407-TACK COAT OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.
4. WHERE IT IS NECESSARY TO PLACE FILL FOR PURPOSES OF BRINGING THE SUBGRADE ELEVATION UP TO A SPECIFIED GRADE, THE FILL MATERIAL PLACED SHALL BE IN CONFORMANCE WITH SECTION 203-EXCAVATION AND EMBANKMENT OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.

PAVING DETAIL @ SITE ENTRANCE

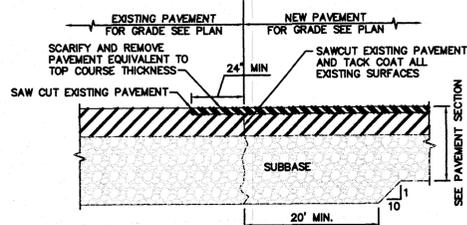
FOR 20 FT. ON TO THE PROPERTY FROM THE PROPERTY LINE



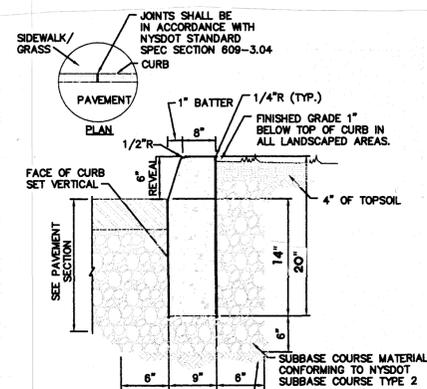
NOTES:

1. MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYSDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, DATED JANUARY 2, 2008, AND ALL ADDENDA THERETO, THE ONLY EXCEPTION BEING THAT THE WORK OF THIS CONTRACT SHALL BE MEASURED IN ENGLISH UNITS.
2. SUBBASE MATERIAL SHALL CONFORM WITH SECTION 304 - SUBBASE COURSE OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS AND THE TYPE CALLED OUT IN THESE DRAWINGS.
3. TACK COAT WHEN SPECIFIED OR CALLED OUT IN THESE DRAWINGS OR REQUIRED BY THE REFERENCED SPECIFICATIONS SHALL CONFORM WITH SECTION 407-TACK COAT OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.
4. WHERE IT IS NECESSARY TO PLACE FILL FOR PURPOSES OF BRINGING THE SUBGRADE ELEVATION UP TO A SPECIFIED GRADE, THE FILL MATERIAL PLACED SHALL BE IN CONFORMANCE WITH SECTION 203-EXCAVATION AND EMBANKMENT OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.

PAVING DETAIL @ LOT INTERIOR

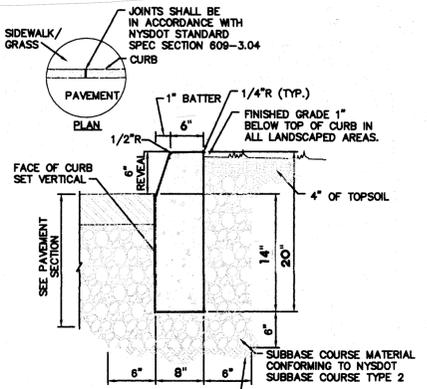


PAVEMENT TRANSITION @ SITE ENTRANCE



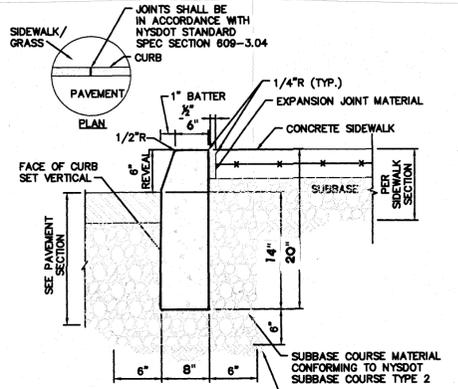
- NOTES:**
1. CONCRETE CURB SHALL BE IN ACCORDANCE WITH NYSDOT STANDARD SPECIFICATION SECTION 609.
 2. PRECAST CONCRETE CURB MAY BE SUBSTITUTED WHEN ALTERNATE CONSTRUCTION DETAILS ARE SUBMITTED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER.

CONCRETE CURB @ SITE ENTRY



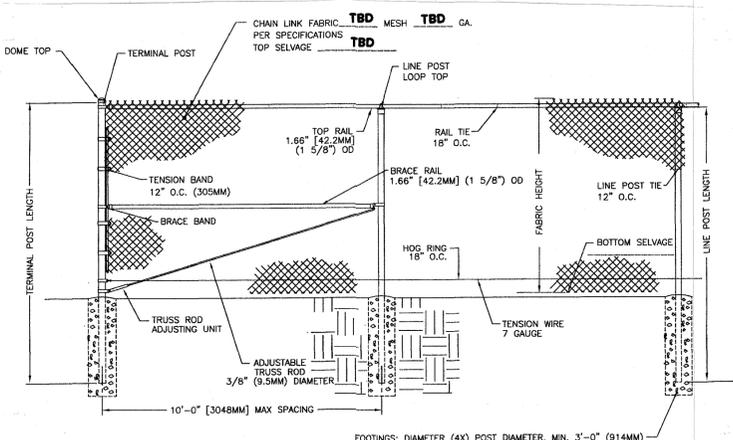
- NOTES:**
1. CONCRETE CURB SHALL BE IN ACCORDANCE WITH NYSDOT STANDARD SPECIFICATION SECTION 609.
 2. PRECAST CONCRETE CURB MAY BE SUBSTITUTED WHEN ALTERNATE CONSTRUCTION DETAILS ARE SUBMITTED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER.

CONCRETE CURB @ SITE INTERIOR



- NOTES:**
1. CONCRETE CURB SHALL BE IN ACCORDANCE WITH NYSDOT STANDARD SPECIFICATION SECTION 609.
 2. PRECAST CONCRETE CURB MAY BE SUBSTITUTED WHEN ALTERNATE CONSTRUCTION DETAILS ARE SUBMITTED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER.

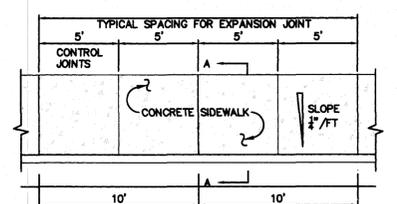
CONCRETE CURB @ SIDEWALK



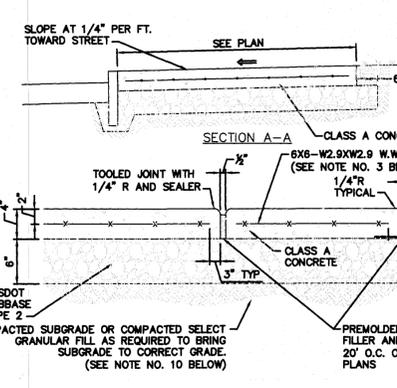
BLACK CHAIN LINK FENCE DETAIL

SEE PLAN FOR HEIGHT

ALL CURBS, SIDEWALKS AND ASPHALT PAVING (NON-POROUS) SHALL MEET THE SPECIFICATIONS IN THE TOWN OF CARMEL CODE EXCEPT AT SITE ENTRY WHICH SHALL BE THE PURVIEW OF THE NYSDOT

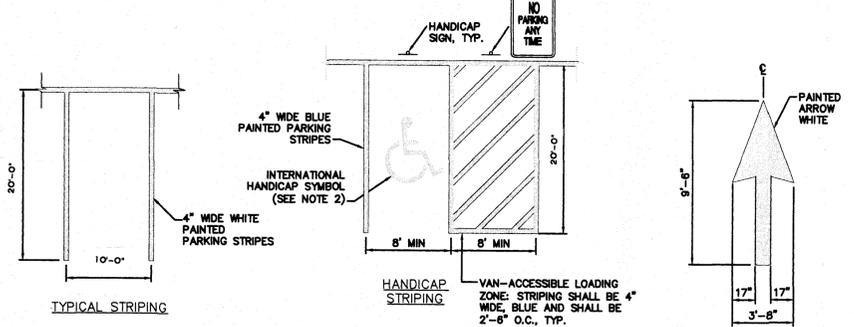


- NOTES:**
1. 10' SPACING OF CONTROL JOINTS SHALL BE USED FOR CAST IN PLACE CONCRETE CURBS.



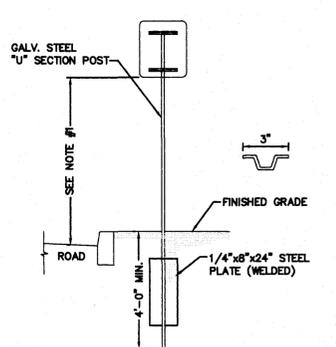
CONCRETE SIDEWALK DETAIL

- NOTES:**
1. MATERIAL AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE 2008 NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYSDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS AND ALL ADDENDA THERETO, THE ONLY EXCEPTION BEING THAT THE WORK OF THIS CONTRACT SHALL BE MEASURED IN ENGLISH UNITS.
 2. ALL CONCRETE SHALL BE 4000 PSI CLASS A CONCRETE. CONCRETE MATERIALS, PLACEMENT, AND CONSTRUCTION SHALL CONFORM WITH SECTION 500 OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.
 3. REINFORCING STEEL FOR CONCRETE SHALL CONFORM WITH SECTION 506-REINFORCING STEEL FOR CONCRETE STRUCTURES OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS AND AS SPECIFICALLY CALLED OUT IN THE DRAWINGS.
 4. ALL EXPOSED SURFACES SHALL HAVE A BROOM TEXTURED FINISH.
 5. EXPANSION JOINTS SHALL BE LOCATED A MAXIMUM OF 20'-0" ON CENTER, OR AS INDICATED ON PLANS.
 6. JOINTS SHALL NOT BE SAW CUT.
 7. EXPOSED CONCRETE SURFACES SHALL BE TREATED WITH "SUREBOND"/"SAFESEAL" SB-7000 INTENSIFIER BRIGHT PROTECTOR AND SIDEWALK SEALER, OR EQUAL, AT THE RATE AND METHOD OF APPLICATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 8. SUBBASE MATERIAL SHALL CONFORM WITH SECTION 304 OF THE ABOVE REFERENCED NYSDOT STANDARD.
 9. WHERE IT IS NECESSARY TO PLACE FILL FOR PURPOSES OF BRINGING THE SUBGRADE ELEVATION UP TO A SPECIFIED GRADE, THE FILL MATERIAL PLACED SHALL BE IN CONFORMANCE WITH SECTION 203-EXCAVATION AND EMBANKMENT OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.
 10. ALL WORK SHALL CONFORM WITH SECTION 609-SIDEWALK DRIVEWAYS, AND BICYCLE PATHS OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.



- NOTES:**
1. ALL DISTANCES SUBJECT TO CURRENT ZONING AND SITE REGULATIONS.
 2. PAINTED HANDICAP SYMBOL TO BE IN ACCORDANCE W/ ADA STANDARDS

PAVEMENT MARKING



- NOTES:**
1. SIGN MOUNTING HEIGHT SHALL BE A MINIMUM OF 7'. MINIMUM MOUNTING HEIGHT MAY BE ADJUSTED ONLY IN ACCORDANCE WITH PROVISIONS OUTLINED IN "NYCRR, CHAPTER V-UNIFORM TRAFFIC CONTROL DEVICES."
 2. SIGN POST SHALL BE IN ACCORDANCE W/ NYSDOT STANDARD SPECS SECTION 730.

SINGLE POST SIGN MOUNTING

SIGN SCHEDULE					
SIGN NO.	SIGN FACE	NUMBER	SIZE	COLORS	LEGEND
1		M12-1	24"x24"	BLUE	WHITE
2		P1-1C (NO ARROWS)	12"x18"	WHITE	RED
3		R1-1B	24"x24"	RED	WHITE

- SIGNAGE NOTES:**
1. ALL SIGNS SHALL CONFORM TO THE LATEST EDITION OF THE NYSDOT STANDARD SPECIFICATIONS, SECTION 640 AND THE CODES RULES AND REGULATIONS OF THE STATE OF NEW YORK (NYCRR) TITLE 17-TRANSPORTATION VOLUME B-CHAPTER V "UNIFORM TRAFFIC CONTROL DEVICES."

REVISIONS	BY

ALFRED A. CAPPELLI JR., AIA
ARCHITECT
 1136 ROUTE 9 WAPPINGERS FALLS, N.Y. 12590
 Phone: (845) 632-6500
 aacappe2102@aol.com

PROPOSED NEW STORAGE BUILDINGS FOR
JOE ZAKON dba 14 NICOLE WAY LLC
 CORNER OF ROUTE 6 & NICOLE WAY TOWN OF CARMEL, NY

SITE DETAILS

DATE	10/8/18
SCALE	AS NOTED
DRAWN	AC
JOB	18-010
SHEET	S-4
OF SHEETS	

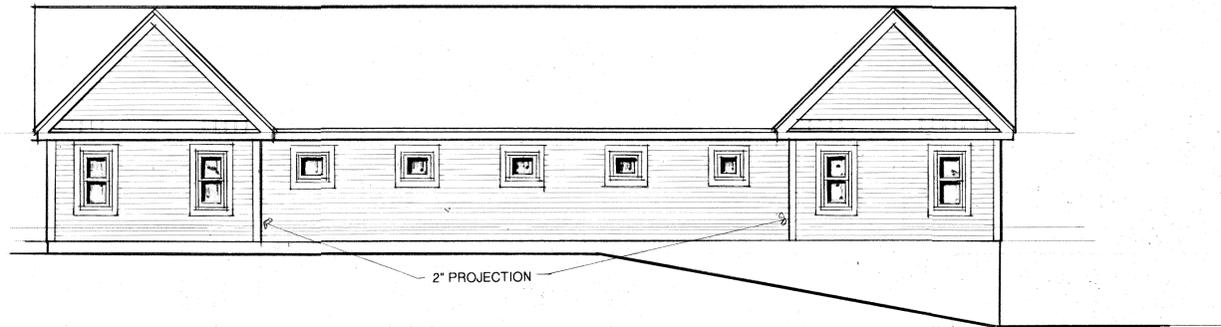
REVISIONS	BY

ALFRED A. CAPPELLI Jr., AIA
ARCHITECT
 1136 ROUTE 9 WAPPINGERS FALLS, N.Y. 12590
 Phone: (845) 632-6500
 acap2102@aol.com

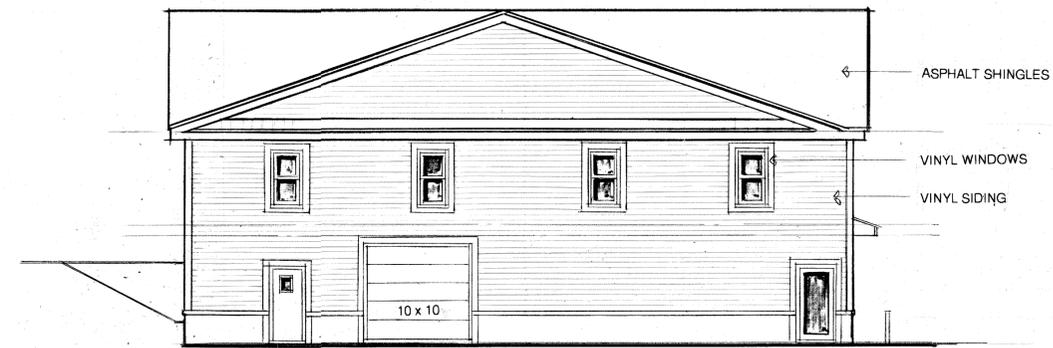
PROPOSED NEW BUILDING FOR
JOE ZAKON dba 14 NICOLE WAY LLC
 CORNER OF NYS ROUTE 6 & NICOLE WAY TOWN OF CARMEL, NY

PRELIMINARY PLANS & ELEVATIONS

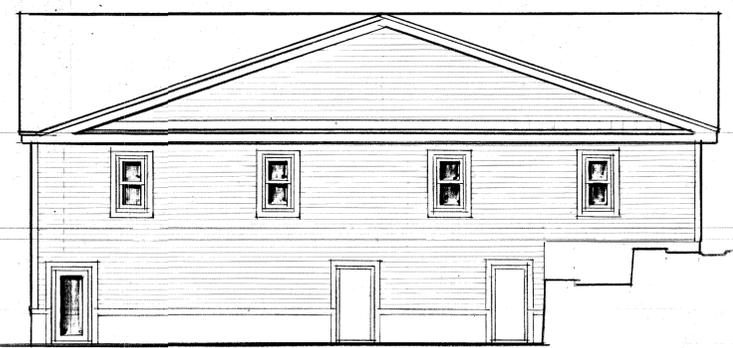
DATE	OCT. 12, 2020
SCALE	1/8" = 1'-0"
DRAWN	AC
JOB	18-010
SHEET	PRE-1
OF	SHEETS



REAR ELEVATION



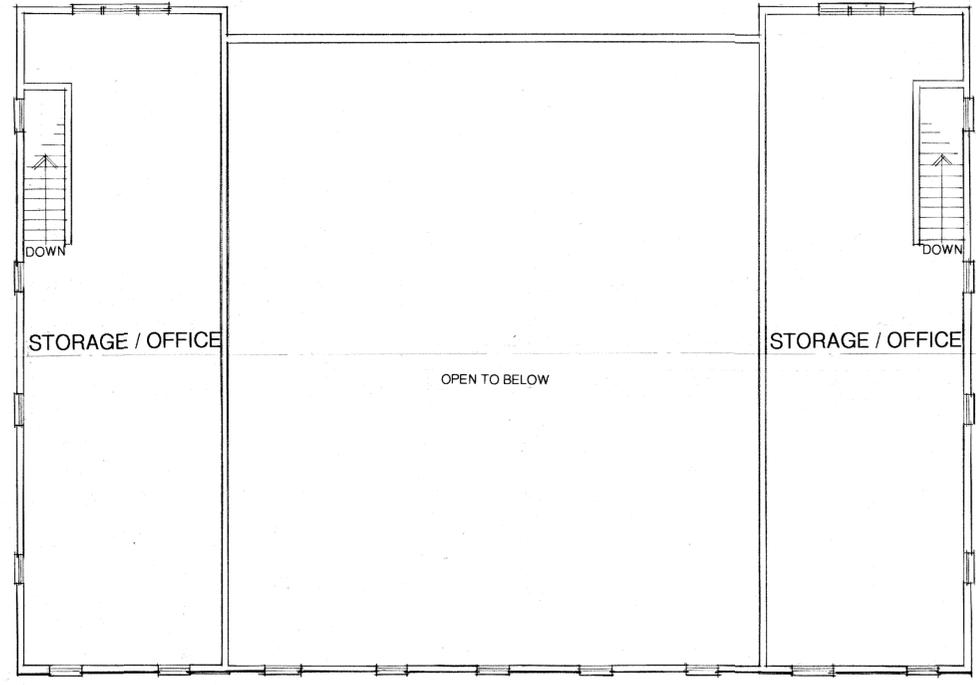
LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

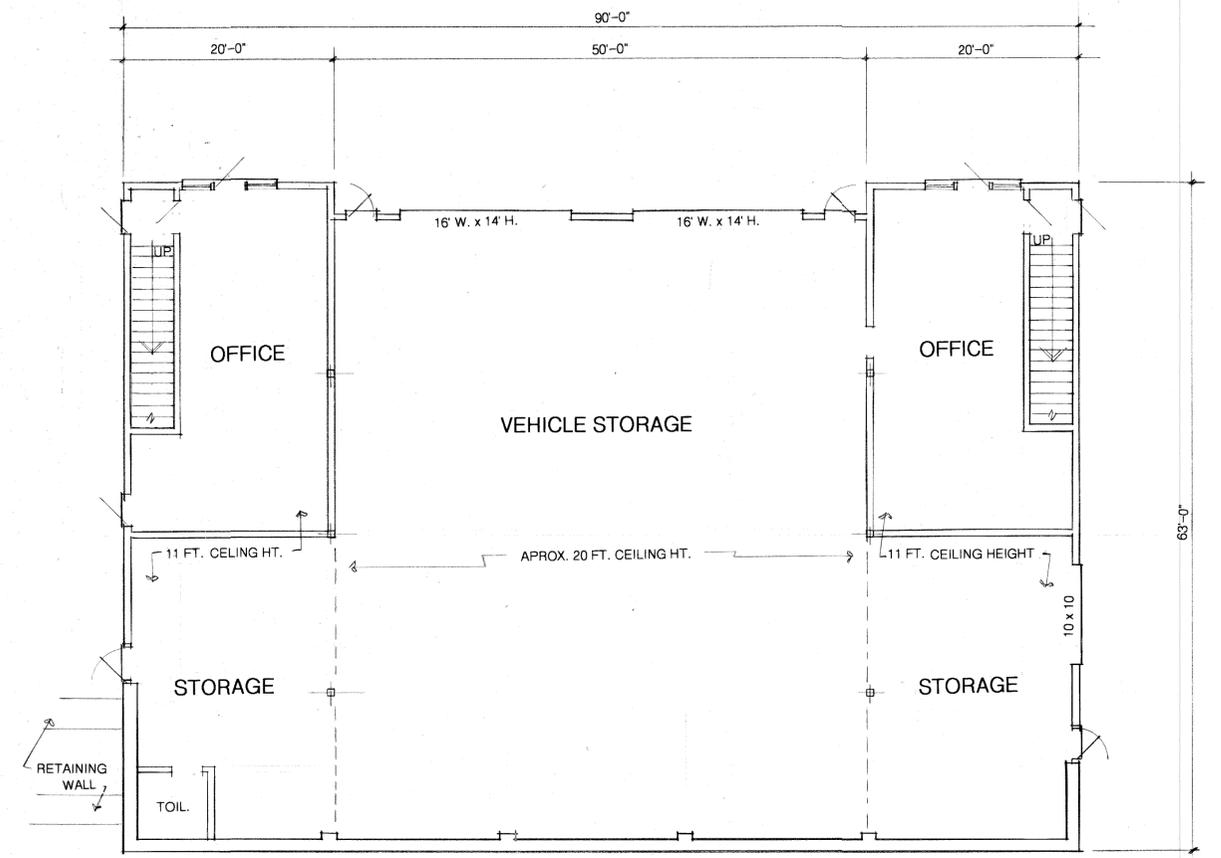


FRONT ELEVATION



MEZZANINE FLOOR PLAN

CUMULATIVE FLOOR AREA OF OFFICE SPACE ON TWO FLOORS NOT TO EXCEED 2,400 SF



MAIN LEVEL FLOOR PLAN

05 DIRECT

- PRE-CONSTRUCTION SEQUENCE:
- MS4 SHALL ISSUE ACCEPTANCE OF THE FINAL SWPPP.
 - SUBMIT NOTICE OF INTENT (N.O.I.) TO NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYS DEC) BUREAU OF WATER PERMITS, ALBANY NY.
 - RECEIVE ACKNOWLEDGMENT OF N.O.I. FROM NYS DEC.
 - HOLD A PRE-CONSTRUCTION MEETING WITH THE OWNER/OPERATOR, SITE ENGINEER, TOWN ENGINEER, TRAINED CONTRACTOR, QUALIFIED EROSION CONTROL INSPECTOR AND THE BUILDING INSPECTOR. PLACE A COPY OF THE SWPPP REPORT IN SITE MAILBOX ALONG WITH A COPY OF THE INSPECTOR'S LOG BOOK CONTAINING COPIES OF THE WEEKLY INSPECTIONS (APPLICANT'S EROSION & SEDIMENT CONTROL INSPECTION AGENT SHALL CONDUCT AN INSPECTION ON A WEEKLY BASIS)

- CONSTRUCTION SEQUENCE:
- PRIOR TO CONSTRUCTION, THE ANTI-TRACKING PAD SHALL BE INSTALLED.
 - INSTALL SEDIMENT AND EROSION CONTROL MEASURE AS SHOWN ON THE SEDIMENT & EROSION CONTROL PLAN.
 - COMMENCE INITIAL CLEARING AND GRUB OF THE SITE.
 - BEGIN SITE GRADING AND EXCAVATION, ROUGH CUT PARKING AREAS TO SUB-GRADE.
 - AREAS WHERE INFILTRATION MEASURES (E.G. SEPTIC AND POROUS PAVEMENT) ARE PROPOSED SHALL BE CORDONED OFF AFTER COMPLETION OF ROUGH GRADING WITH CONSTRUCTION FENCE TO MINIMIZE COMPACTION DURING THE REMAINDER OF CONSTRUCTION TO EVERY EXTENT POSSIBLE.
 - INSTALL RETAINING WALLS AND GRADE REMAINDER OF THE SITE.
 - INSTALL SITE UTILITIES AND/OR INFRASTRUCTURE.
 - PLACE CONCRETE FOOTINGS AND FOUNDATIONS FOR THE PROPOSED BUILDING AND OTHER STRUCTURES.
 - ONCE ALL MAJOR SITE WORK HAS BEEN COMPLETED, INSTALL THE POROUS PAVEMENT STONE BASE AND SEPTIC SYSTEMS.
 - INSTALL BINDER COURSE, SIDEWALKS AND CURBING ONCE ALL MAJOR SITE WORK IS COMPLETE.
 - TOPSOIL, SEED AND MULCH ALL DISTURBED AREAS THAT HAVE OBTAINED FINISHED GRADE ELEVATIONS.
 - SEED AND MULCH ALL DISTURBED AREAS THAT WILL NOT BE RE-DISTURBED FOR AT LEAST 14 DAYS.
 - FINALIZE BUILDING CONSTRUCTION.
 - INSPECT INFILTRATION SYSTEM FOR ANY SEDIMENT ACCUMULATION AND/OR DAMAGE.
 - PAVE PARKING AREA AND DRIVES WITH FINAL TOP-COAT OF ASPHALT.
 - ONCE ALL MAJOR SITE DISTURBANCE ACTIVITIES HAVE CEASED AND THE SITE HAS ACHIEVED FINAL STABILIZATION, COORDINATE WITH THE LOCAL MS4 STORM WATER OFFICER TO FACILITATE TERMINATION OF EROSION CONTROL INSPECTIONS.
 - ONCE THE SITE IS STABILIZED (I.E. THE GRASS HAS BEEN STABILIZED), THE EROSION CONTROL MEASURES CAN BE REMOVED.
 - FILE A NOTICE OF TERMINATION WITH THE NYS DEC.

SITE NOTES

- PROPERTY BOUNDARY, TOPOGRAPHY AND EXISTING UTILITY SHOWN HEREON ARE BASED ON A SURVEY ENTITLED "TOPOGRAPHIC SURVEY PREPARED FOR 14 NICOLE WAY, INC." DATED MAY 4, 2018.
 - ESTIMATED AMOUNT OF MATERIAL EXPORTED - 2,800YD³ ESTIMATED TRUCK TRIPS - 187
- IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

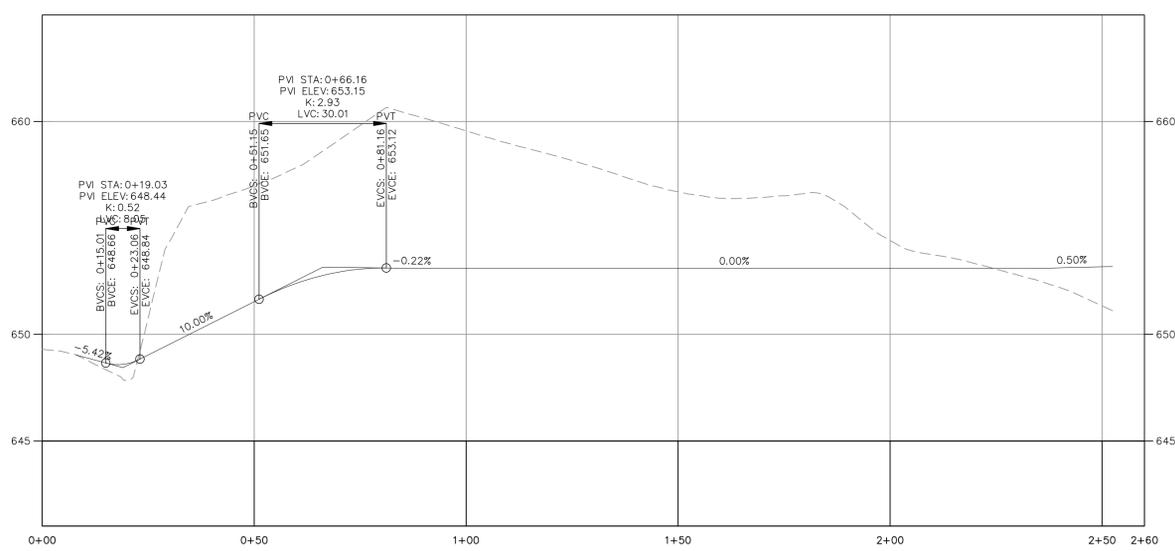
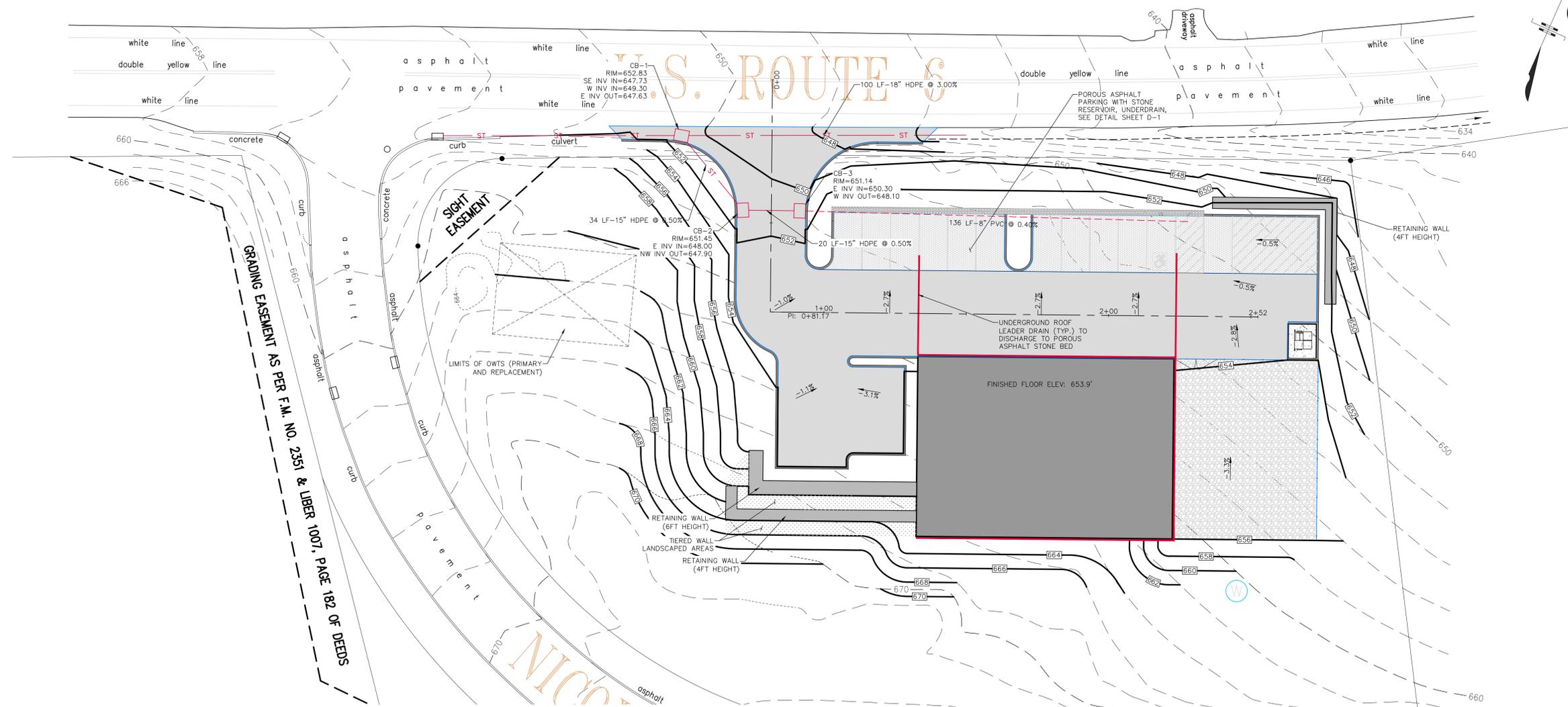
Mark A. Day, PE	
11-02-2020	
09-29-2020	
08-05-2020	
07-23-2020	
04-08-2020	
03-16-2020	
03-03-2020	
02-19-2020	
Project No. 2018.419	License No. 069646

DAY | STOKOSA
ENGINEERING P.C.

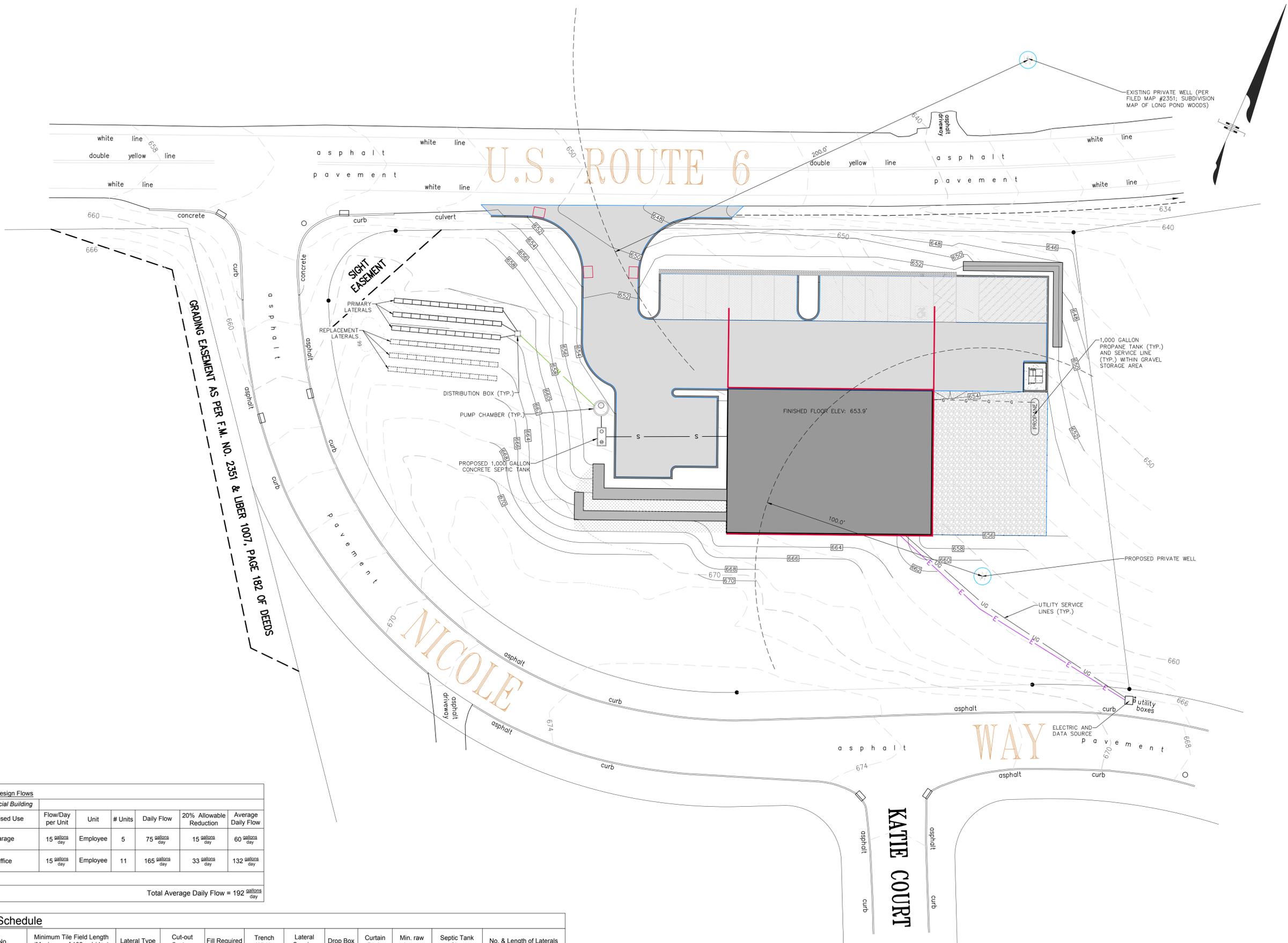
3 Van Wyck Lane
Suite 2
Wappingers Falls, New York 12590
(845) 223-3202

PROJECT 14 Nicole Way
Tax Map 65.01-1-22
Town of Caramel Putnam County, New York

Grading Plan		
SCALE 1" = 20'	DRAWN BY BJW	C-1 1 of 9
DATE 01-25-20	CHECKED BY MAD	



Profile View: Proposed Driveway



IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

11-02-2020	Mark A. Day, PE
09-29-2020	
08-05-2020	
07-23-2020	
04-08-2020	
03-16-2020	
03-03-2020	
02-19-2020	
Project No. 2018.419	License No. 069646



DAY | STOKOSA
ENGINEERING P.C.

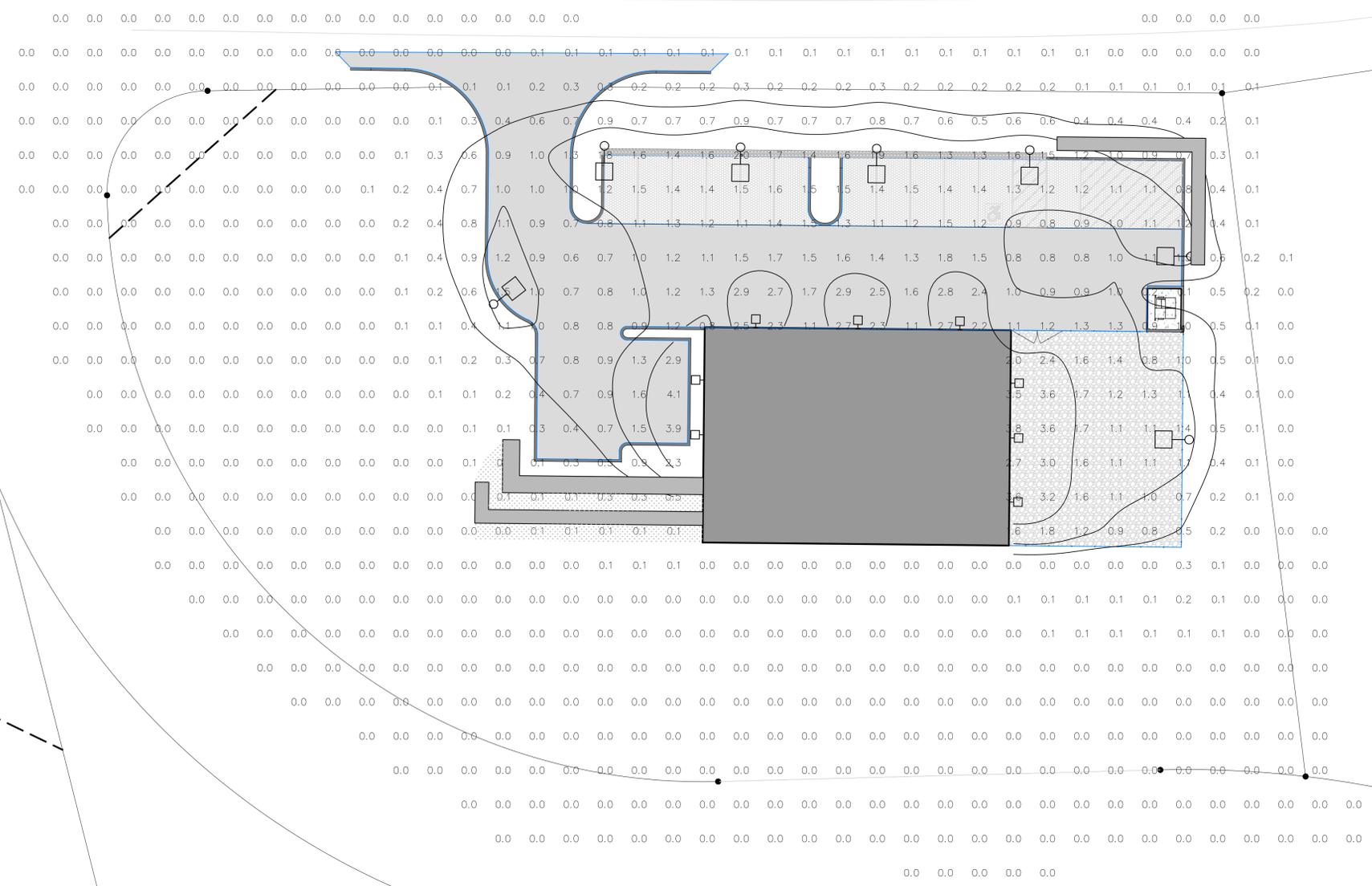
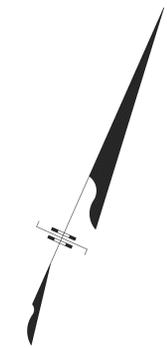
3 Van Wyck Lane
Suite 2
Wappingers Falls, New York 12590
(845) 223-3202

PROJECT: **14 Nicole Way**
Tax Map 65.01-1-22
Town of Caramel Putnam County, New York

DATE: 01-25-20
DRAWING NO.: **C-2**
2 of 9

Proposed Use	Flow/Day per Unit	Unit	# Units	Daily Flow	20% Allowable Reduction	Average Daily Flow
Garage	15 gallons/day	Employee	5	75 gallons/day	15 gallons/day	60 gallons/day
Office	15 gallons/day	Employee	11	165 gallons/day	33 gallons/day	132 gallons/day
				Total Average Daily Flow = 192 gallons/day		

Lot No.	Minimum Tile Field Length (Maximum of 192 gal./day)	Lateral Type	Cut-out System	Fill Required	Trench Width	Lateral Spacing	Drop Box	Curtain Drain	Min. raw Invert	Septic Tank Size	No. & Length of Laterals
Primary	138 Lineal Feet	Infiltrator	No	None	2'-0"	6'-0"	None	None	TBD	1,000	3 Lines @ 48 Feet
Expansion	138 Lineal Feet	Infiltrator	No	None	2'-0"	6'-0"	None	None	TBD	1,000	3 Lines @ 48 Feet



GENERAL PHOTOMETRIC SCHEDULE	
AVERAGE FOOT-CANDLES	0.37
MAXIMUM FOOT-CANDLES	4.1
MINIMUM FOOT-CANDLES	0.0
MINIMUM TO MAXIMUM FC RATIO	0.00
MAXIMUM TO MINIMUM FC RATIO	4.09 / 0.00
AVERAGE TO MINIMUM FC RATIO	0.37 / 0.00
AVERAGE TO MAXIMUM FC RATIO	0.09

LUMINAIRE SCHEDULE									
CALLOUT	SYMBOL	LAMP	DESCRIPTION	LUMENS / LAMP	BALLAST	MOUNTING	MODEL	VOLTS	QUANTITY
Pole Mount		(1) 3,000K LED	Howard Lighting Products L400 Series Street and Area Light	2427	ELECTRONIC	POLE	L401L-25W-40K-T4	120V 1P 2W	7
Wall Mount		(1) 5,000K LED	Howard Lighting Products Medium Wall Pack (MWP)	2360	ELECTRONIC	WALL	MWP-5028R-LED-MV	120V 1P 2W	8

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

11-02-2020	Mark A. Day, PE
09-29-2020	
08-05-2020	
07-23-2020	
04-08-2020	
03-16-2020	
03-03-2020	
02-19-2020	
2018.419	License No. 069646



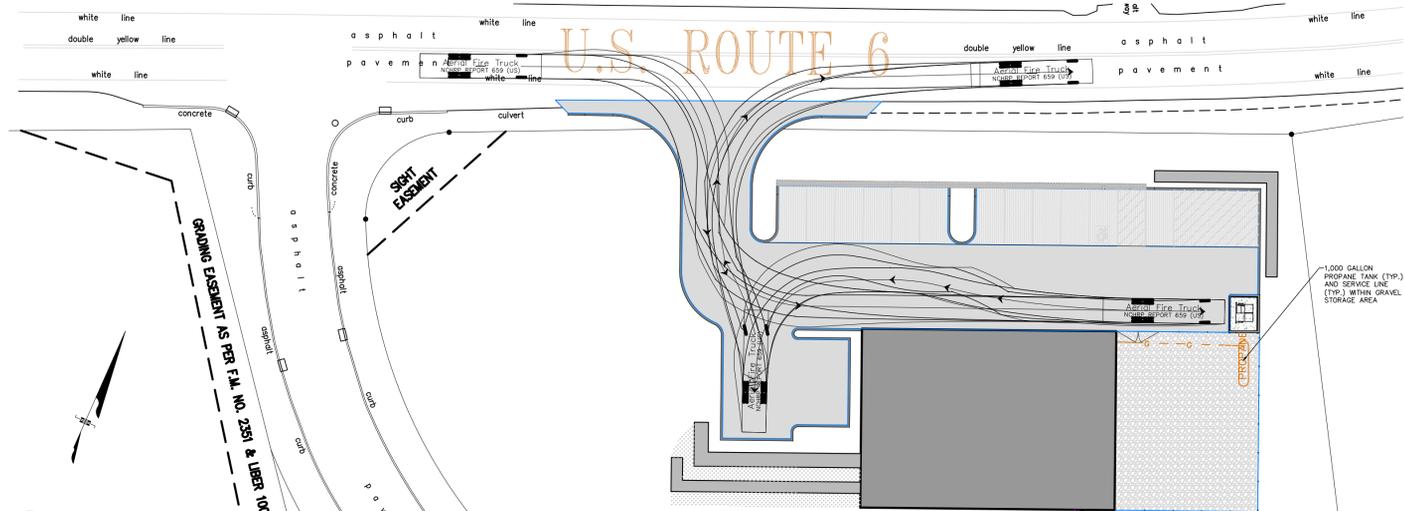
DAY | STOKOSA
ENGINEERING P.C.

3 Van Wyck Lane
Suite 2
Wappingers Falls, New York 12590
(845) 223-3202

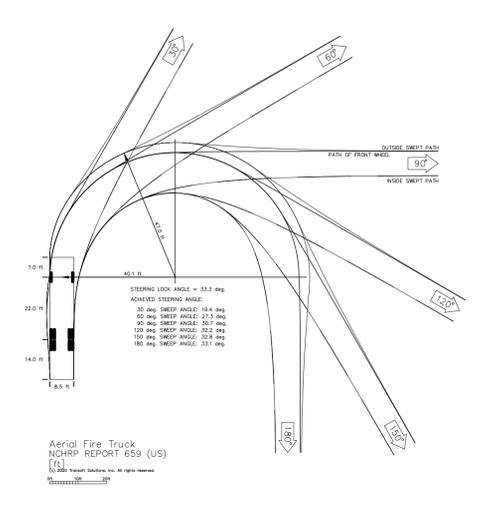
PROJECT: **14 Nicole Way**
Tax Map 65.01-1-22
Town of Caramel Putnam County, New York

DRAWING: **Lighting Plan**

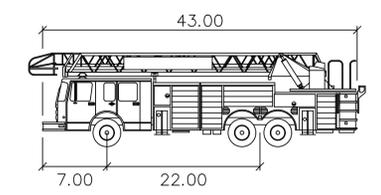
SCALE: 1" = 20'	DRAWN BY: BJW	DRAWING NO.: C-3 3 of 9
DATE: 01-25-20	CHECKED BY: MAD	



1 FIRE APPARATUS MOVEMENT
1" = 30'

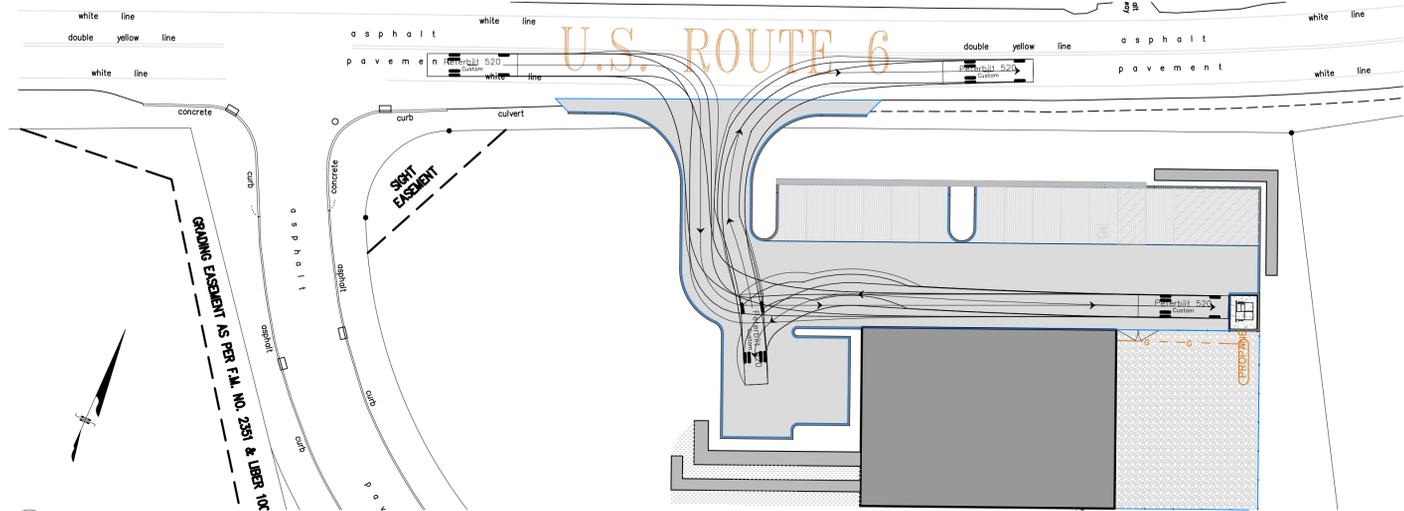


2 FIRE APPARATUS TEMPLATE
1" = 30'

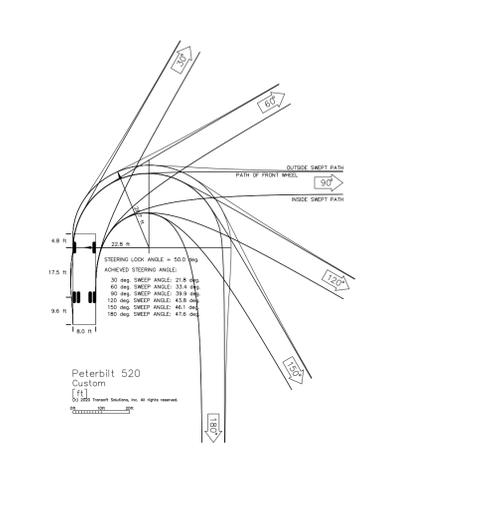


Aerial Fire Truck
feet
Width : 8.50
Track : 8.50
Lock to Lock Time : 6.0
Steering Angle : 33.3

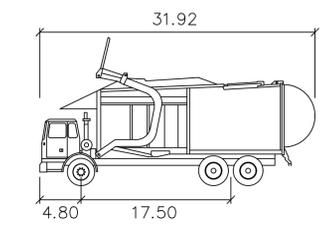
3 FIRE APPARATUS TEMPLATE
N.T.S.



4 REFUSE TRUCK MOVEMENT
1" = 30'

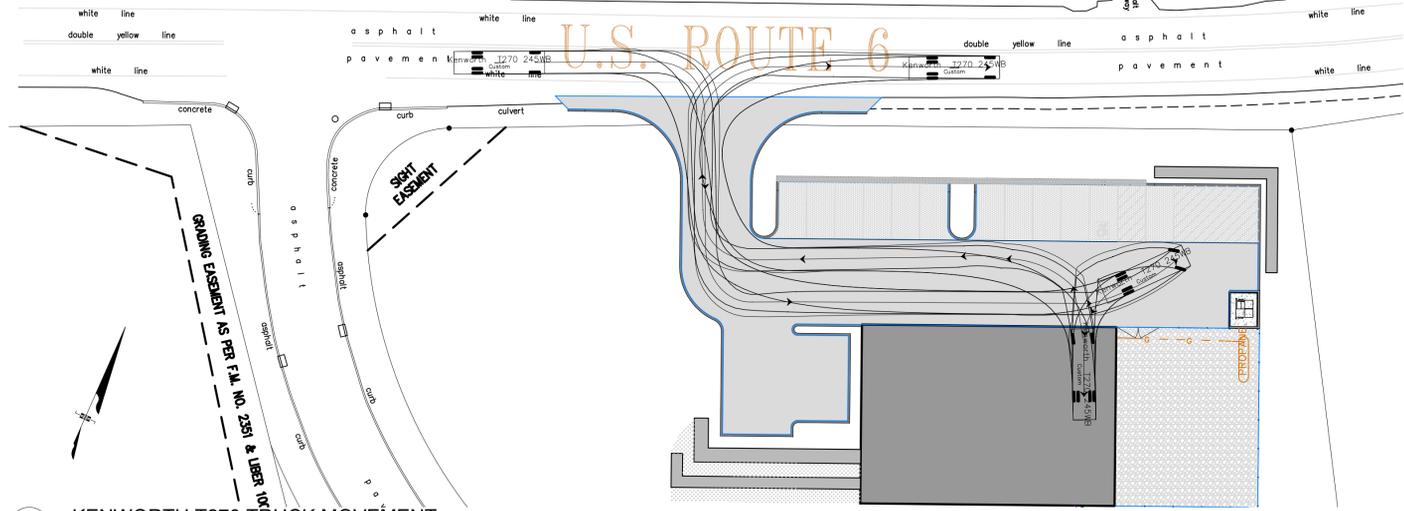


5 REFUSE TRUCK TEMPLATE
1" = 30'

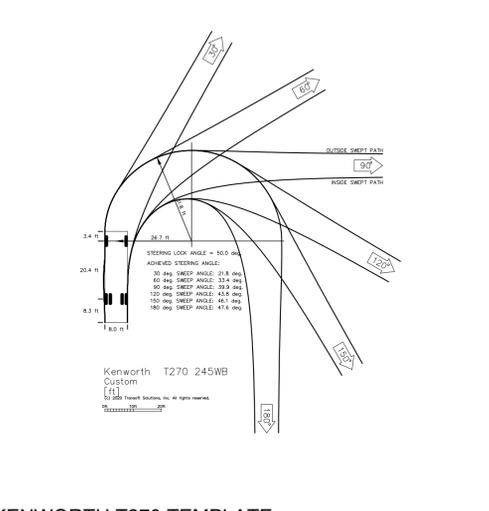


Peterbilt 520
feet
Width : 8.01
Track : 8.00
Lock to Lock Time : 6.0
Steering Angle : 50.0

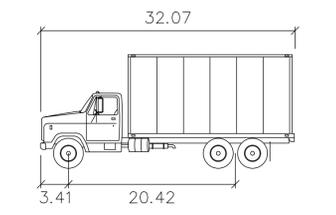
6 REFUSE TRUCK PROFILE
N.T.S.



7 KENWORTH T270 TRUCK MOVEMENT
1" = 30'



8 KENWORTH T270 TEMPLATE
1" = 30'



Kenworth T270 245WB
feet
Width : 8.01
Track : 8.00
Lock to Lock Time : 6.0
Steering Angle : 50.0

9 T270 TRUCK PROFILE
N.T.S.

AASHTO Sight Distance Requirement Summary			
Intersection Sight Distance			
Left Turn From Stop		Right Turn From Stop	
Design Speed (mph)	Min. Sight Distance (ft)	Design Speed (mph)	Min. Sight Distance (ft)
45	500	45	430
Provided: 500ft		Provided: 500ft	

Notes:
1. Sight Distances shown is for a stopped passenger car with the theoretical eye height of 42" and 14.5' from the edge of the major road traveled way.
2. Distances provided as per the office of Maser Consulting as pertinent to the Highway Work Permit required for construction of the improvements herein within the NYSDOT ROW in which they are acquiring.

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

11-02-2020	
09-29-2020	
08-05-2020	
07-23-2020	
04-08-2020	
03-16-2020	
03-03-2020	
02-19-2020	
Project No. 2018-419	License No. 069646

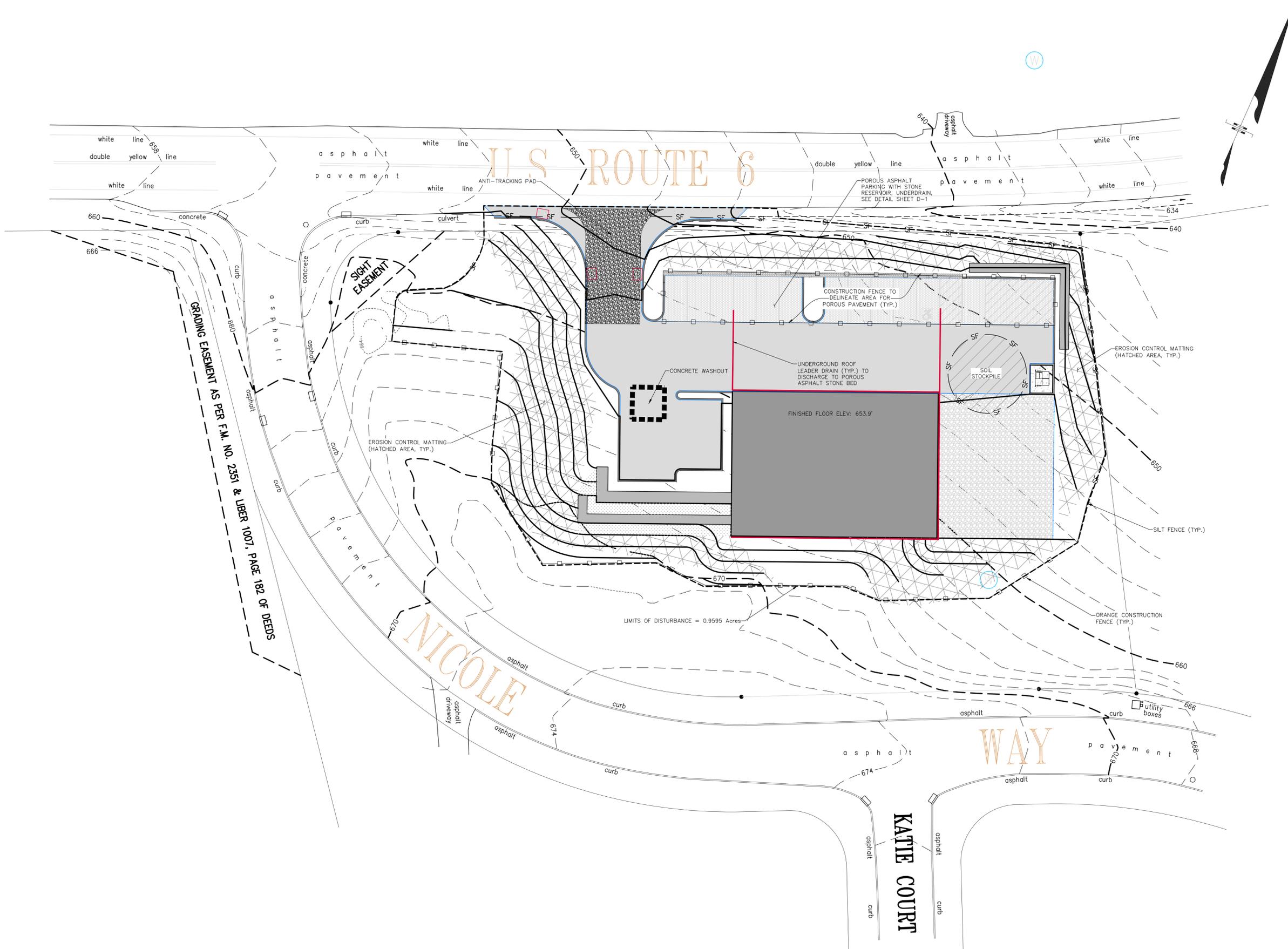
DAY | STOKOSA
ENGINEERING P.C.

3 Van Wyck Lane
Suite 2
Wappingers Falls, New York 12590
(845) 223-3202

PROJECT **14 Nicole Way**
Tax Map 65.01-1-22
Town of Caramel Putnam County, New York

DATE **Vehicle Movement Plan**

SCALE 1" = 30'	DRAWN BY BJW	DRAWING NO. C-4
DATE 01-25-20	CHECKED BY MAD	4 of 9



IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

11-02-2020	Mark A. Day, PE
09-29-2020	
08-05-2020	
07-23-2020	
04-08-2020	
03-16-2020	
03-03-2020	
02-19-2020	
2018.419	License No. 069646



DAY | STOKOSA
ENGINEERING P.C.

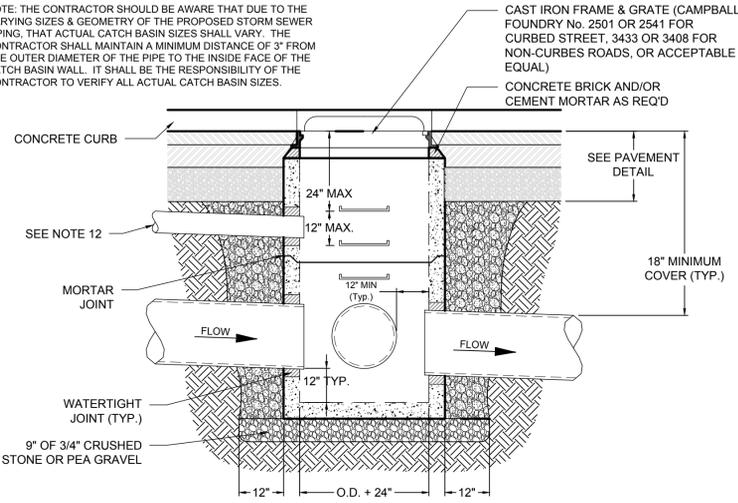
3 Van Wyck Lane
Suite 2
Wappingers Falls, New York 12590
(845) 223-3202

14 Nicole Way
Tax Map 65.01-1-22
Town of Caramel Putnam County, New York

Erosion & Sediment Control Plan

SCALE 1" = 20'	DRAWN BY BJW	DRAWING NO. C-5 5 of 9
DATE 01-25-20	CHECKED BY MAD	

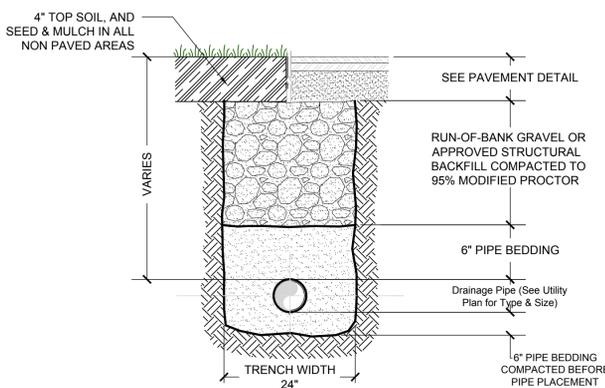
NOTE: THE CONTRACTOR SHOULD BE AWARE THAT DUE TO THE VARYING SIZES & GEOMETRY OF THE PROPOSED STORM SEWER PIPING, THAT ACTUAL CATCH BASIN SIZES SHALL VARY. THE CONTRACTOR SHALL MAINTAIN A MINIMUM DISTANCE OF 3" FROM THE OUTER DIAMETER OF THE PIPE TO THE INSIDE FACE OF THE CATCH BASIN WALL. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL ACTUAL CATCH BASIN SIZES.



CONSTRUCTION NOTES:

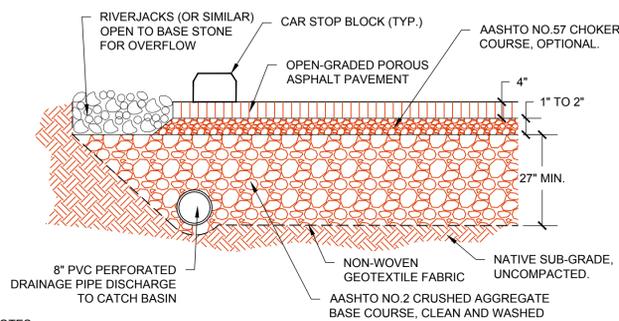
1. THE TOP OF THE PIPES TO BE SET AT EQUAL ELEVATIONS WHEN INLET PIPE IS SMALLER THAN OUTLET PIPE.
2. POLYPROPYLENE STEEL REINFORCED PLASTIC STEPS AS SUPPLIED BY M.A. INDUSTRIES, OR EQUAL, TO BE SET EVERY 12" TO BOTTOM OF CATCH BASIN.
3. FRAME AND GRATE TO MEET OR EXCEED H-20 LOADING.
4. ALL PIPES SHALL BE INSTALLED FLUSH WITH THE INSIDE WALL OF THE CATCH BASIN AND GROUTED IN PLACE ON BOTH THE INSIDE AND OUTSIDE FACE OF THE BASIN.
5. BRICK FRAME AND GRATE TO GRADE MATCH BOTH CROWN OF ROAD AND SLOPE OF ROAD. A MAXIMUM OF TWO TIERS OF CONCRETE BRICKS OR ONE 6" SOLID CONCRETE BLOCK SHALL BE PERMITTED. RISERS SHALL BE PARGED BOTH INSIDE AND OUTSIDE.
6. BASE AND RISER SECTIONS SHALL BE INTEGRALLY CAST.
7. INSIDE DIMENSIONS SHALL REMAIN CONSTANT FROM TOP TO BOTTOM AND SHALL MATCH THE FRAME OPENING OF THE GRATE.
8. THE BASINS SHALL CONFORM TO ASTM C-478 SPECIFICATIONS AND SHALL HAVE A MIN. 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI.
9. PROVIDE PROPER ANCHORING IN CASES OF HIGH GROUNDWATER TO PREVENT FLOATATION.
10. ALL BASINS WITH A TOTAL DEPTH OF GREATER THAN 8'-0" SHALL HAVE A MIN. WALL THICKNESS OF 8".
11. LADDER RUNGS TO BE PROVIDED FOR CATCH BASINS IN EXCESS OF 4'-0" TOTAL DEPTH (TOP TO BOTTOM OF SUMP).
12. DRAINS TO CONNECT TO STORM SEWER SYSTEM WHENEVER POSSIBLE UNLESS OTHERWISE STATED IN THE APPROVED PLANS.
13. SHOP DRAWINGS TO REFLECT KNOCKOUTS OR OPENING SIZES INDICATIVE OF OUTSIDE PIPE DIAMETER FOR VARIOUS PIPE SIZES AND LOCATIONS WHERE PIPE(S) DO NOT MEET BASIN AT RIGHT ANGLES.

1 PRE CAST CONCRETE DROP INLET
NOT TO SCALE



- NOTES:**
1. FILL OR BACKFILL MATERIAL SHALL BE DEPOSITED IN 12" LIFTS. EACH LIFT SHALL BE COMPACTED TO 95% STANDARD PROCTOR PRIOR TO THE PLACEMENT OF THE NEXT LIFT.
 2. BACKFILLING AROUND PIPES SHALL BE DONE UNIFORMLY ON EACH SIDE OF THE PIPE. BACKFILL MATERIAL SHALL BE 1-1/2" MINUS GRADATION.
 3. ALL SITE UTILITIES ARE TO BE INSTALLED BY A QUALIFIED CONTRACTOR & INSPECTED BY THE DESIGN ENGINEER PRIOR TO BACKFILLING.
 4. IN THE EVENT THAT THE CONDUIT IS BEING INSTALLED IN WET CONDITIONS, THE CONTRACTOR SHALL LINE THE TRENCH WITH FILTER FABRIC & BED THE PIPE IN 3/4" CRUSHED STONE INSIDE THE FILTER FABRIC.
 5. BACKFILL MATERIAL SHALL BE FREE FROM ORGANICS, BOULDERS, FROZEN SOILS OR OTHER DELETERIOUS MATERIAL.

3 TRENCHING DETAIL
NOT TO SCALE

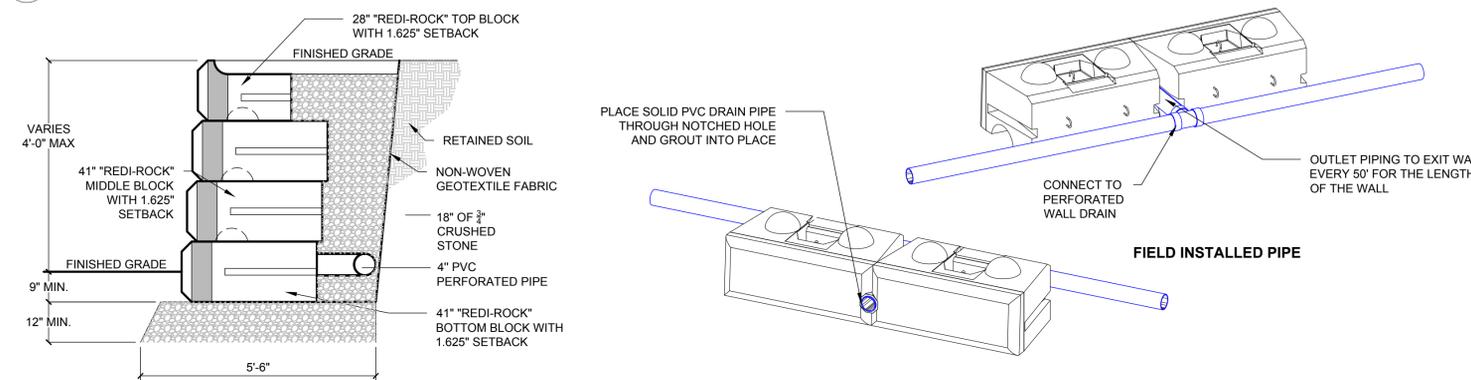


NOTES:

1. SUBGRADE MUST HAVE ADEQUATE BEARING CAPACITY AND BE SUITABLE FOR INFILTRATION, DO NOT COMPACT.
2. IF THE NATIVE SOIL HAS BEEN EXPOSED TO RAINFALL DURING EXCAVATING TO THE BOTTOM OF THE FACILITY, HAND RAKE THE SURFACE TO A DEPTH OF 3" TO RESTORE INFILTRATION CAPACITY.
3. AGGREGATE BASE COURSE SHALL BE DELIVERED CLEAN (2% WASH LOSS) AND WASHED ON-SITE TO REDUCE WASH LOSS TO 0.5%. THIS MAY BE DONE BY HOISING THE ROCK OFF WHILE STILL IN THE DELIVERY TRUCK OR AFTER STOCKPILING. HOSE OFF AS NEEDED AS THE PILE DIMINISHES SINCE FINES WILL MIGRATE TO LOWER LEVELS OF THE PILE.
4. AGGREGATES MUST BE PROPERLY COMPACTED TO PROVIDE A STABLE SURFACE SUCH THAT THE BASE ROCK WILL NOT ROLL AND CAUSE A WAVY APPEARANCE IN FINISHED PAVED SURFACE.
5. CHOKER COURSE IS OPTIONAL AND HELPS TO "LOCK IN" THE LARGER BASE COURSE AND STABILIZE THE SURFACE FOR ROLLING. THIS COURSE MAY BE FIELD DETERMINED IF REQUIRED AND IS TYPICALLY 1-2 INCHES IN DEPTH.
6. NO. 2 STONE MAY BE REPLACED WITH NO. 3 OR NO. 4 STONE FOR THE SUBBASE.
7. POROUS ASPHALT PAVEMENT SHALL BE A BITUMINOUS MIX, 1/2 INCH NOMINAL MAXIMUM AGGREGATE SIZE, 16-20% AIR Voids AND DRAINDOWN LESS THAN 0.3%.

4 POROUS ASPHALT (LOCATION AS PER SITE PLAN)
NOT TO SCALE

2 TIERED GRAVITY RETAINING WALL (TOTAL HEIGHT 10FT)
NOT TO SCALE



NOTES:

1. THE CONTRACTOR SHALL VERIFY WALLS BASED ON ACTUAL FIELD CONDITIONS AND GRADING. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ACTUAL QUANTITIES OF MATERIALS REQUIRED FOR INSTALLATION.
2. UNSUITABLE SOILS IN THE FOUNDATION SHALL BE REMOVED AND REPLACED WITH 3/4" CRUSHED STONE. THIS INCLUDES ANY FROZEN SOILS PRESENT AT THE TIME OF INSTALLATION.
3. THE REDI-ROCK WALL UNITS SHALL HAVE A MIN. 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI.
4. THE BASE STONE SHALL BE A 12" THICK BED OF 3/4" CRUSHED STONE. THE BASE STONE SHALL BE COMPACTED TO 95% OF STANDARD PROCTOR DENSITY (ASTM D698).

5. THE FIRST COURSE OF BOTTOM BLOCK SHALL BE PLACED ON THE STONE BASE AND CHECKED FOR LEVEL AND ALIGNMENT PRIOR TO INSTALLING SUBSEQUENT LAYERS OF BLOCK.
 6. SWEEP ALL EXCESS MATERIAL FROM THE TOP OF THE BLOCK PRIOR TO INSTALLING THE NEXT LAYER OF BLOCK.
 7. THE RETAINED BACKFILL SHALL BE AS FOLLOWS:
- | SIEVE SIZE | % PASSING |
|------------|-----------|
| 2" | 100 |
| 3/4" | 100-75 |
| No. 4 | 0-100 |
| No. 200 | 0-35 |
8. ENSURE THAT EACH COURSE IS COMPLETELY INSTALLED, BACKFILLED AND COMPACTED PRIOR TO INSTALLING SUBSEQUENT LAYERS OF BLOCK.

5 GRAVITY RETAINING WALL (HEIGHT LESS THAN 4FT)
NOT TO SCALE

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

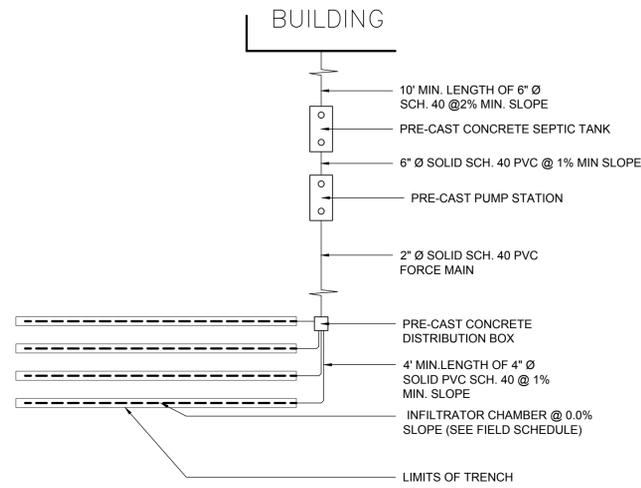
11-02-2020	Mark A. Day, PE
09-29-2020	
08-05-2020	
07-23-2020	
04-08-2020	
03-16-2020	
03-03-2020	
02-19-2020	
2018-419	License No. 069646

DAY STOKOSA
ENGINEERING P.C.

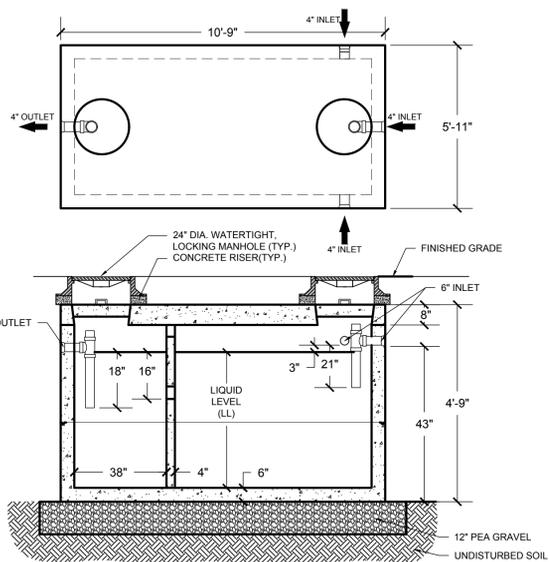
3 Van Wyck Lane
Suite 2
Wappingers Falls, New York 12590
(845) 223-3202

14 Nicole Way
Tax Map 65.01-1-22
Town of Caramel Putnam County, New York

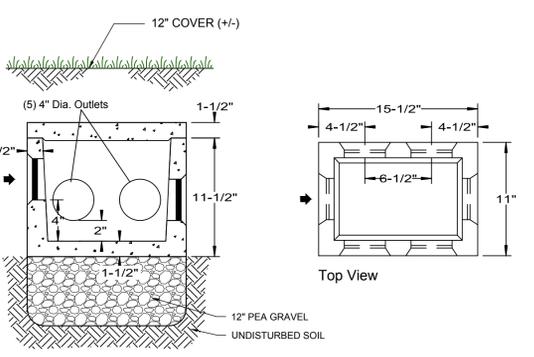
Site Details		
SCALE N.T.S.	DRAWN BY BJW	DRAWING NO. D-1
DATE 01-25-20	CHECKED BY MAD	6 of 9



1 TYPICAL LIFT STATION OWTS
NOT TO SCALE

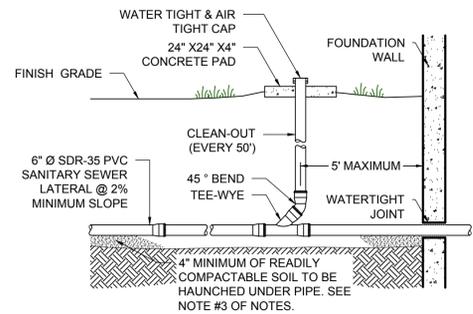


3 TRAFFIC DUTY SEPTIC TANK
NOT TO SCALE



- NOTE:
- A MINIMUM OF 4' OF 4" Ø SOLID PIPE SHALL BE PROVIDED PRIOR TO THE START OF THE TRENCHES.
 - ALL OUTLETS SHALL BE AT THE SAME ELEVATION. ALL UNUSED OUTLETS MUST BE PLUGGED.
 - A PVC 90 TEE SHALL BE PROVIDED ON THE INLET PIPE TO ACT AS A BAFFLE (TYP., NOT PICTURED).
 - A BED OF 12" OF PEA GRAVEL SHALL BE PROVIDED UNDER THE D-BOX.
 - THE INVERT ON THE INLET PIPE SHALL BE A MINIMUM OF 2" HIGHER THAN THE INVERT OF ANY OF THE OUTLETS.

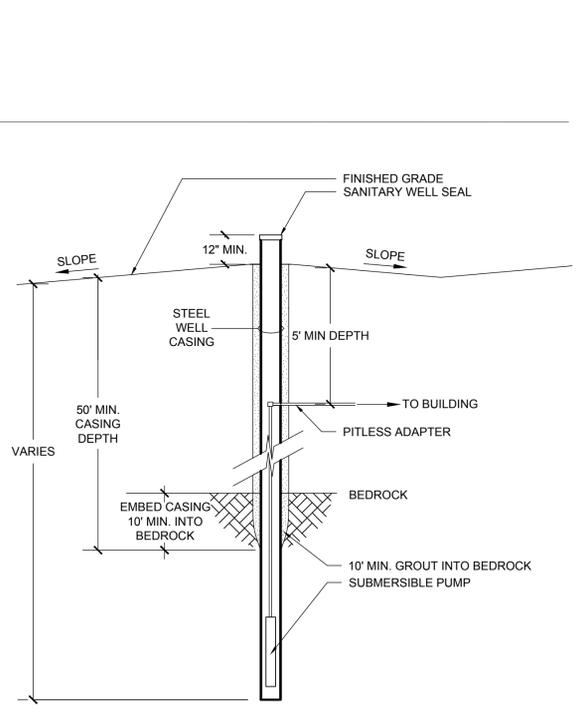
5 5-OUTLET DISTRIBUTION BOX
NOT TO SCALE



- NOTE:
- A 10' MINIMUM SEPARATION DISTANCE SHALL BE MAINTAINED BETWEEN THE SEWER LATERAL AND THE WATER SERVICE LINE.
 - THE SEWER LATERAL PIPING SHALL BE SDR-35 PVC AT 2% MIN. SLOPE. ALL JOINTS TO BE "BELL & SPIGOT" TYPE.
 - THE MATERIAL IMMEDIATELY SURROUNDING THE PIPE TO BE READILY COMPACTABLE SOIL (SAND, LOAMY SAND OR LOAMY CLAY), FREE OF FROZEN LUMPS, DEBRIS, OR STONES LARGER THAN 3/4". THE PIPE SHALL BE BACK-FILLED IN 6" MAXIMUM LIFTS TO A FINAL COMPACTION OF 85%.
 - A METAL DETECTION TAPE SHALL BE INSTALLED OVER THE SEWER LATERAL TO FACILITATE FUTURE LOCATION.
 - ALL SITE SANITARY UTILITIES ARE TO BE INSTALLED BY A TOWN LICENSED PLUMBER OR QUALIFIED CONTRACTOR, IN ACCORDANCE WITH THE TOWN PLUMBING CODE & INSPECTED BY THE SEWER DEPARTMENT PRIOR TO BACKFILLING.
 - CLEAN-OUTS TO BE INSTALLED AT A MAXIMUM DISTANCE OF 50', AND AT ANGLE FITTINGS AND BENDS.
 - EMBEDMENT OF LATERALS SHALL BE THE SAME AS THE MAINS.

2 TYPICAL BUILDING SANITARY SEWER LATERAL DETAIL
NOT TO SCALE

- NOTES:
- THE CONTRACTOR SHALL SEAL PENETRATIONS IN THE TANK SO THAT THE TANK IS WATERTIGHT.
 - THE TANK SHALL BE CONSTRUCTED FROM CONCRETE WHICH SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT A STANDARD 28 DAY COMPRESSIVE TEST.
 - #4 & #5 REBAR SHALL BE USED AS REINFORCEMENT FOR THE TANK.
 - TWO-PIECE TANKS SHALL BE SEALED WITH A BUTYL GASKET OR AS PER THE MANUFACTURER'S RECOMMENDATIONS.
 - THE CONTRACTOR SHALL SEAL THE JOINT BETWEEN THE TOP OF THE TANK & THE CAST IRON FRAME WITH A BUTYL SEALANT.
 - THE CONTRACTOR SHALL SEAL THE CONCRETE MANHOLES WITH A COAT OF BITUMASTIC SEALANT APPLIED TO THE SEAT OF THE MANHOLE.
 - THE FINISHED GRADE AROUND THE MANHOLE OPENINGS SHALL ENSURE THAT WATER WILL FLOW AWAY FROM THE LID.
 - IF TANK IS SEGMENTED, CONTRACTOR SHALL PERFORM A HYDROSTATIC TEST ON THE TANK UPON INSTALLATION AND PRIOR TO BACKFILLING, BY OF FILLING THE TANK TO THE BOTTOM OF THE CONCRETE LID WITH WATER AND VERIFYING THAT NO APPRECIABLE LOSS OCCURS DURING A 24 HOUR PERIOD. A NYS LICENSED PROFESSIONAL ENGINEER SHALL VERIFY IN WRITING TO THE DUTCHESS COUNTY DEPARTMENT OF HEALTH THE RESULTS OF THE HYDROSTATIC TEST.
 - THE FRAME & GRATE SHALL BE LOCKING, VANDAL PROOF WATERTIGHT LID.
 - TANK SHALL BE HS20-44 + 30% / ASTM C857 (H20 TRAFFIC LOADING RATED)



6 WELL DETAIL
NOT TO SCALE

INFILTRATOR
water technologies

The Quick4® Equalizer 36 Chamber

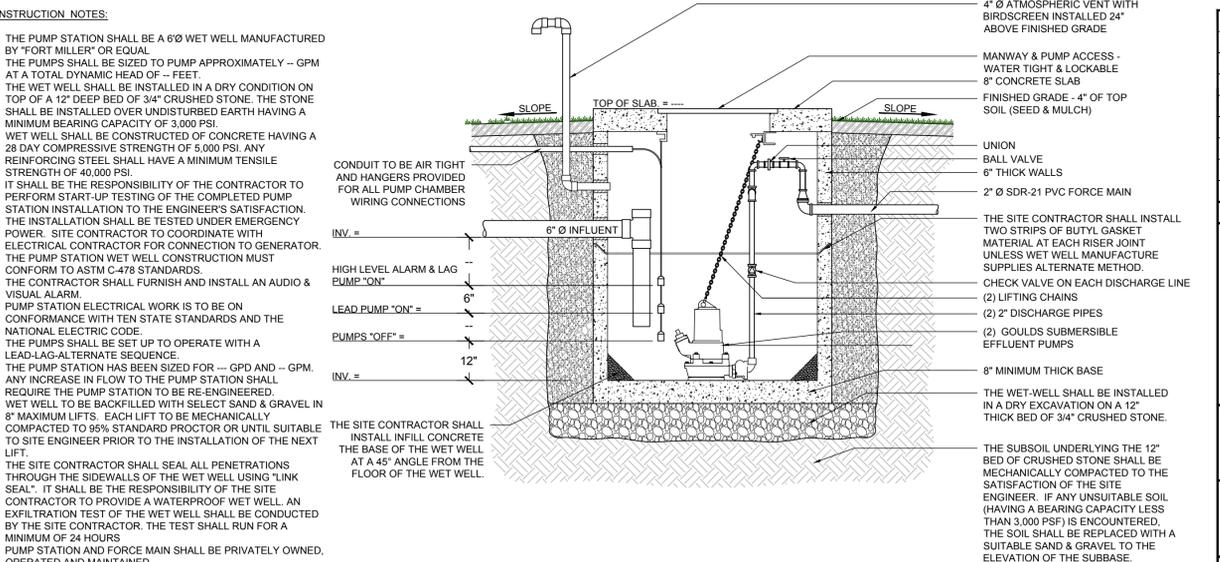


- Chamber Benefits:**
- Advanced contouring connections swivel up to 15°, right or left
 - Latching mechanism allows for quick installation
 - Compact nesting provides more trench length in an equivalent stack height
 - Four-foot chambers are easy to handle and install
 - The Quick4 Equalizer 36 Chamber supports wheel loads of 16,000 lbs/axle with only 12" of cover
 - Certified by the International Association of Plumbing and Mechanical Officials (IAPMO)
- MultiPort Endcap Benefits:**
- Tear-out seals on inlet ports provide a tight fit to the pipe
 - Six molded-in inlets/outlets allow for maximum piping flexibility
 - Fits on either end of the Quick4 Equalizer 36 Chamber

APPROVED in

Quick4® Series
Because installations are faster with Quick4 chambers, you save on heavy equipment operation and labor.

4 INFILTRATOR CHAMBER CROSS SECTION
NOT TO SCALE



7 PUMP STATION DETAIL
NOT TO SCALE

Quick4® Series
Quick4 Equalizer 36 Chamber

MultiPort EndCap

Typical Trench View

INFILTRATOR WATER TECHNOLOGIES, LLC (INFILTRATOR®)
Infiltrator Water Technologies, LLC (INFILTRATOR®) LIMITED WARRANTY
(a) The structural integrity of each chamber, endcap, (2) other specified polyethylene and/or other accessory manufactured by Infiltrator ("Units"), when installed and operated in a household or an available septic system in accordance with Infiltrator's instructions, is warranted to the original purchaser ("Holder") against defective materials and workmanship for one year from the date that the septic permit is issued for the septic system containing the Units, provided, however, that if a septic permit is not required by applicable law, the warranty period will begin upon the date that installation of the septic system commences. To exercise its warranty rights, Holder must notify Infiltrator in writing at its Corporate Headquarters in Old Saybrook, Connecticut within fifteen (15) days of the alleged defect. Infiltrator will supply replacement Units for Units determined by Infiltrator to be covered by this Limited Warranty. Infiltrator's liability specifically excludes the cost of removal and/or installation of the Units.

(b) THE LIMITED WARRANTY AND REMEDIES IN SUPPLEMENTARY (b) ARE EXCLUSIVE. THERE ARE NO OTHER WARRANTIES WITH RESPECT TO THE UNITS, INCLUDING NO IMPLIED WARRANTIES OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE.

(c) This Limited Warranty shall be void if any part of the chamber system is manufactured by any one other than Infiltrator. The Limited Warranty does not extend to incidental, consequential, special or indirect damages. Infiltrator shall not be liable for penalties or liquidated damages, including loss of production and profits, labor and materials, overhead costs, or other losses or expenses incurred by the Holder or any third party. Specifically excluded from this Limited Warranty coverage are damage to the Units due to ordinary wear and tear, alteration, accident, misuse, abuse or neglect of the Units, the Units being subjected to vehicle traffic or other conditions which are not permitted by the installation instructions, the placement of improper materials into the system containing the Units, failure of the Units or the septic system due to improper siting or improper siting, excessive water usage, improper grease disposal, or improper operation, or any other event not caused by Infiltrator. The Limited Warranty shall be void if the Holder fails to comply with all of the terms set forth in this Limited Warranty. Further, in no event shall Infiltrator be responsible for any loss or damage to the Holder, the Units, or any third party resulting from installation or operation, or from any product liability claims of holder or any third party. For this Limited Warranty to apply, the Units must be installed in accordance with all site conditions required by state and local codes, all other applicable laws, and Infiltrator's installation instructions.

(d) No representative of Infiltrator has the authority to change or extend this Limited Warranty. No warranty applies to any party other than the original Holder. The above represents the Standard Limited Warranty offered by Infiltrator. A limited number of states and countries have different warranty requirements. Any purchaser of Units should contact Infiltrator's Corporate Headquarters in Old Saybrook, Connecticut, prior to purchase, to obtain a copy of the applicable warranty, and should carefully read that warranty prior to the purchase of Units.

Quick4® Equalizer 36 Chamber Specifications

Size	22"W x 53"L x 12"H (559 mm x 1346 mm x 305 mm)
Effective Length	48" (1219 mm)
Lower Height	10" (254 mm)
Storage Capacity	32 gal (121 L)
Invert Height	6" (152 mm)

4 Business Park Road
P.O. Box 708
Old Saybrook, CT 06475
860-577-2000 • Fax 860-577-7001
1-800-221-4436
www.infiltratorwater.com

U.S. Patents: 4,799,601; 5,017,241; 5,156,486; 5,336,017; 5,401,116; 5,451,459; 5,511,005; 5,716,163; 5,988,778; 6,089,844 Canadian Patents: 1,329,859; 2,204,264 Other patents pending.
Infiltrator, Equalizer, Quick4, and Submersible are registered trademarks of Infiltrator Water Technologies. Infiltrator is a registered trademark in France. Infiltrator Water Technologies is a registered trademark in Mexico, Ontario, Massachusetts, Poly/Tuff, ChamberSeal, MultiPort, PoolLock, Quick4, QuickPlay, SnapLock and DesignLock are trademarks of Infiltrator Water Technologies.
PolyTuff is a trademark of PolyTuff, Inc. Tuff-Tite is a registered trademark of Tuff-Tite, Inc. Ultra-Flo is a trademark of PEX, Inc.
© 2016 Infiltrator Water Technologies, LLC. All rights reserved. Printed in U.S.A. 009 0816

Contact Infiltrator Water Technologies' Technical Services Department for assistance at 1-800-221-4436

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

11-02-2020	Mark A. Day, PE
09-29-2020	
08-05-2020	
07-23-2020	
04-08-2020	
03-16-2020	
03-03-2020	
02-19-2020	
2018.419	License No. 069646

DAY STOKOSA
ENGINEERING P.C.

3 Van Wyck Lane
Suite 2
Wappingers Falls, New York 12590
(845) 223-3202

14 Nicole Way
Tax Map 65.01-1-22
Town of Caramel Putnam County, New York

Utility Details

SCALE	DATE	DRAWN BY	CHECKED BY	DRAWING NO.
N.T.S.	01-25-20	BJW	MAD	D-2

L400 Series
HOWARD LIGHTING PRODUCTS

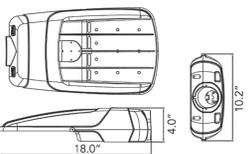
L400 Series
L401/L402 Models
LED Street and Area Light



The L400 Series captures the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. The L400 Series is the better alternative for traditional street and area lighting with quick payback and improved performance.

Applications: Roadway, parking lots, walkways and general area spaces.

Warranty:
• Ten year limited warranty.



EPA: 0.5 ft (0.05m)
Weight: 8.8 lbs (4.0 kg)

Model	Options	Power	Color	Distribution	Control Options	Finish	Input Voltage
L401	LC: No Photocontrol* LC: With Long Life Photocontrol	25W 40W	30K: 3000 K 40K: 4000 K*	T2: Type 2 T3: Type 3 T5: Type 5	10: 0-10V Dimming*	GR: Grey* WH: White BL: Black BR: Brown	M: 120-277VAC*
L402		65W 80W 100W					

*Standard Configuration

Standard Features:

- eULs Listed
- Standard 7-Pin Photocontrol Receptacle (per ANSI C136.41)
- Stand-alone 10KV/10KA Surge Suppression Device (consult factory for 20KV / 20KA option)
- Terminal block accepts 14-6 AWG conductors (Line, Neutral, Ground) (consult factory for 600V, 85A, 14-AWG terminal block)
- Two Bolt Mounting accommodates 1 1/4" NPS to 2" NPS horizontal tenon (pre-configured for 2" NPS)
- Integral Tilt-adjustment Steps ±5°
- Bird-guard
- Tool-Less Entry
- Input Voltage: 120-277V, 50/60Hz
- Power Factor: > 0.9 at full load and Total Harmonic Distortion: < 20% at full load
- Ambient Operating Temperatures -40°C to +50°C

05-25-2018

L400 Series
HOWARD LIGHTING PRODUCTS

L400 Series
L401/L402 Models
LED Street and Area Light

Performance Data

Lumen Output:
Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data are considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Actual performance may differ as a result of end user environment and application. Actual wattage may differ by +/- 10%. Contact factory for performance data on any configurations not shown here.

Model	LEDs	LED Current	System Watts	Dist Type	30K (3000K, 70CRI)				40K (4000K, 70CRI)					
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
L401L	10	0.7 A	25 W	T2	2919	1	0	1	116	2825	1	0	1	113
				T3	2961	1	0	1	118	2866	1	0	1	115
				T4	2964	1	0	1	117	2426	1	0	1	96
				T5	2917	2	0	2	116	2824	2	0	2	113
				T2	5011	1	0	1	123	4852	1	0	1	121
L401L	16	0.7 A	40 W	T3	5083	1	0	1	125	4706	1	0	1	118
				T4	4835	1	0	1	121	3741	1	0	1	96
				T5	5008	3	0	3	123	4744	3	0	3	119
				T2	6760	2	0	2	108	6714	2	0	2	103
				T3	6936	2	0	2	111	6889	2	0	2	106
L402L	28	1.0 A	100W	T4	6807	1	0	1	109	6160	1	0	2	94
				T5	6729	3	0	3	108	6683	3	0	3	103
				T2	9316	2	0	2	116	9274	2	0	2	116
				T3	9450	2	0	2	118	9407	2	0	2	118
				T4	9390	1	0	2	116	7431	1	0	2	94
L402L	28	1.0 A	100W	T5	8990	3	0	3	112	8950	3	0	3	112
				T2	10461	3	0	3	112	10886	3	0	3	109
				T3	10391	2	0	2	111	10813	2	0	2	108
				T4	10548	2	0	2	113	9180	2	0	2	97
				T5	9681	4	0	4	103	10075	4	0	4	101

Electrical Data:

Model	LEDs	LED Drive Current	System Watts	Operating Current (A)
L401L	10	700mA	25W	0.25 0.12 0.11 0.10
L401L	16	750mA	40W	0.35 0.20 0.18 0.16
L401L	16	1150mA	85W	0.55 0.32 0.29 0.26
L402L	28	850mA	80W	0.75 0.40 0.35 0.32
L402L	28	1000mA	100W	0.85 0.50 0.44 0.40

Lumen Ambient Temperature (LAT) Multipliers:

Ambient	Lumen Multiplier
0°C	1.02
10°C	1.01
20°C	1.00
25°C	1.00
30°C	0.99
40°C	0.99

Certifications:

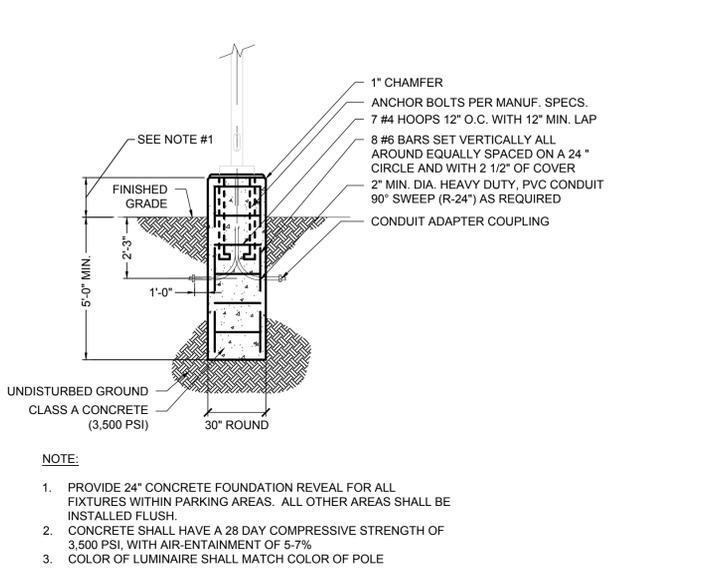
- eULs Listed
- Suitable for wet locations
- Certified to ANSI C136.31-2001, 3G vibration standards.
- Surge suppression protection tested in accordance with IEEE/ANSI C82.41.2
- Precision finished optical assembly tested to IP65
- Meets FCC Part 15 standards for conducted and radiated emissions
- Luminaire finish tested to withstand 3,000 hours (per ASTM Standard B 117)
- RoHS compliant. Consult factory for additional details

Luminaire Lumen Maintenance Factors (LMF)
Data references the extrapolated performance projections for the platforms noted in 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).
To calculate LMF, use the lumen maintenance factor that corresponds to the desired number of operating hours below.
For other lumen maintenance values, contact factory.

Operating Hours	0	25000	50000	75000	100000
Lumen Maintenance Factor	1	0.92	0.85	0.78	0.75
	1	0.91	0.85	0.79	0.73

05-25-2018

1 POLE MOUNTED LIGHT FIXTURE MANUFACTURER CUT SHEET



3 LIGHT POLE BASE DETAIL NOT TO SCALE

L400 Series
HOWARD LIGHTING PRODUCTS

L400 Series
L401/L402 Models
LED Street and Area Light

Performance Data

Lumen Output:
Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data are considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Actual performance may differ as a result of end user environment and application. Actual wattage may differ by +/- 10%. Contact factory for performance data on any configurations not shown here.

Model	LEDs	LED Current	System Watts	Dist Type	30K (3000K, 70CRI)				40K (4000K, 70CRI)					
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
L401L	10	0.7 A	25 W	T2	2919	1	0	1	116	2825	1	0	1	113
				T3	2961	1	0	1	118	2866	1	0	1	115
				T4	2964	1	0	1	117	2426	1	0	1	96
				T5	2917	2	0	2	116	2824	2	0	2	113
				T2	5011	1	0	1	123	4852	1	0	1	121
L401L	16	0.7 A	40 W	T3	5083	1	0	1	125	4706	1	0	1	118
				T4	4835	1	0	1	121	3741	1	0	1	96
				T5	5008	3	0	3	123	4744	3	0	3	119
				T2	6760	2	0	2	108	6714	2	0	2	103
				T3	6936	2	0	2	111	6889	2	0	2	106
L402L	28	1.0 A	100W	T4	6807	1	0	1	109	6160	1	0	2	94
				T5	6729	3	0	3	108	6683	3	0	3	103
				T2	9316	2	0	2	116	9274	2	0	2	116
				T3	9450	2	0	2	118	9407	2	0	2	118
				T4	9390	1	0	2	116	7431	1	0	2	94
L402L	28	1.0 A	100W	T5	8990	3	0	3	112	8950	3	0	3	112
				T2	10461	3	0	3	112	10886	3	0	3	109
				T3	10391	2	0	2	111	10813	2	0	2	108
				T4	10548	2	0	2	113	9180	2	0	2	97
				T5	9681	4	0	4	103	10075	4	0	4	101

Electrical Data:

Model	LEDs	LED Drive Current	System Watts	Operating Current (A)
L401L	10	700mA	25W	0.25 0.12 0.11 0.10
L401L	16	750mA	40W	0.35 0.20 0.18 0.16
L401L	16	1150mA	85W	0.55 0.32 0.29 0.26
L402L	28	850mA	80W	0.75 0.40 0.35 0.32
L402L	28	1000mA	100W	0.85 0.50 0.44 0.40

Lumen Ambient Temperature (LAT) Multipliers:

Ambient	Lumen Multiplier
0°C	1.02
10°C	1.01
20°C	1.00
25°C	1.00
30°C	0.99
40°C	0.99

Certifications:

- eULs Listed
- Suitable for wet locations
- Certified to ANSI C136.31-2001, 3G vibration standards.
- Surge suppression protection tested in accordance with IEEE/ANSI C82.41.2
- Precision finished optical assembly tested to IP65
- Meets FCC Part 15 standards for conducted and radiated emissions
- Luminaire finish tested to withstand 3,000 hours (per ASTM Standard B 117)
- RoHS compliant. Consult factory for additional details

Luminaire Lumen Maintenance Factors (LMF)
Data references the extrapolated performance projections for the platforms noted in 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).
To calculate LMF, use the lumen maintenance factor that corresponds to the desired number of operating hours below.
For other lumen maintenance values, contact factory.

Operating Hours	0	25000	50000	75000	100000
Lumen Maintenance Factor	1	0.92	0.85	0.78	0.75
	1	0.91	0.85	0.79	0.73

05-25-2018

2 WALL MOUNTED LIGHT FIXTURE MANUFACTURER CUT SHEET



3 LIGHT POLE BASE DETAIL NOT TO SCALE

L400 Series
HOWARD LIGHTING PRODUCTS

L400 Series
L401/L402 Models
LED Street and Area Light

Performance Data

Lumen Output:
Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data are considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Actual performance may differ as a result of end user environment and application. Actual wattage may differ by +/- 10%. Contact factory for performance data on any configurations not shown here.

Model	LEDs	LED Current	System Watts	Dist Type	30K (3000K, 70CRI)				40K (4000K, 70CRI)					
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
L401L	10	0.7 A	25 W	T2	2919	1	0	1	116	2825	1	0	1	113
				T3	2961	1	0	1	118	2866	1	0	1	115
				T4	2964	1	0	1	117	2426	1	0	1	96
				T5	2917	2	0	2	116	2824	2	0	2	113
				T2	5011	1	0	1	123	4852	1	0	1	121
L401L	16	0.7 A	40 W	T3	5083	1	0	1	125	4706	1	0	1	118
				T4	4835	1	0	1	121	3741	1	0	1	96
				T5	5008	3	0	3	123	4744	3	0	3	119
				T2	6760	2	0	2	108	6714	2	0	2	103
				T3	6936	2	0	2	111	6889	2	0	2	106
L402L	28	1.0 A	100W	T4	6807	1	0	1	109	6160	1	0	2	94
				T5	6729	3	0	3	108	6683	3	0	3	103
				T2	9316	2	0	2	116	9274	2	0	2	116
				T3	9450	2	0	2	118	9407	2	0	2	118
				T4	9390	1	0	2	116	7431	1	0	2	94
L402L	28	1.0 A	100W	T5	8990	3	0	3	112	8950	3	0	3	112
				T2	10461	3	0	3	112	10886	3	0	3	109
				T3	10391	2	0	2	111	10813	2	0	2	108
				T4	10548	2	0	2	113	9180	2	0	2	97
				T5	9681	4	0	4	103	10075	4	0	4	101

Electrical Data:

Model	LEDs	LED Drive Current	System Watts	Operating Current (A)
L401L	10	700mA	25W	0.25 0.12 0.11 0.10
L401L	16	750mA	40W	0.35 0.20 0.18 0.16
L401L	16	1150mA	85W	0.55 0.32 0.29 0.26
L402L	28	850mA	80W	0.75 0.40 0.35 0.32
L402L	28	1000mA	100W	0.85 0.50 0.44 0.40

Lumen Ambient Temperature (LAT) Multipliers:

Ambient	Lumen Multiplier
0°C	1.02
10°C	1.01
20°C	1.00
25°C	1.00
30°C	0.99
40°C	0.99

Certifications:

- eULs Listed
- Suitable for wet locations
- Certified to ANSI C136.31-2001, 3G vibration standards.
- Surge suppression protection tested in accordance with IEEE/ANSI C82.41.2
- Precision finished optical assembly tested to IP65
- Meets FCC Part 15 standards for conducted and radiated emissions
- Luminaire finish tested to withstand 3,000 hours (per ASTM Standard B 117)
- RoHS compliant. Consult factory for additional details

SPDES GENERAL PERMIT GP-0-15-002 COMPLIANCE NOTES:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH THE FOLLOWING:

- THE CONTRACTOR AND HIS/HER SUBCONTRACTORS SHALL READ AND UNDERSTAND THE CONDITIONS OF THE NYSDEC SPDES GENERAL PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES', GP-0-15-002 FOR THIS PROJECT.
- THE CONTRACTOR AND HIS/HER SUBCONTRACTORS SHALL SIGN A COPY OF THE GENERAL PERMIT, GP-0-15-002, CERTIFICATION STATEMENT AS IDENTIFIED IN THE APPENDICES OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS NECESSARY FOR THE WORK OUTLINED HEREIN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION OF ALL STORMWATER POLLUTION PREVENTION MEASURES OUTLINED IN THE SWPPP AND PROJECT PLANS.
- THE CONTRACTOR SHALL HOLD A PRECONSTRUCTION CONFERENCE WITH THE OWNER'S REPRESENTATIVES AT LEAST ONE WEEK PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR/OWNER SHALL HAVE A QUALIFIED PROFESSIONAL, AS DEFINED WITHIN THE NYSDEC SPDES GENERAL PERMIT GP-0-15-002, CONDUCT AN INITIAL SITE ASSESSMENT PRIOR TO CONSTRUCTION FOLLOWING THE COMMENCEMENT OF CONSTRUCTION AT LEAST EVERY 7 CALENDAR DAYS. REFER TO SWPPP FOR INSPECTION GUIDELINES.
- PRIOR TO COMMENCEMENT OF CONSTRUCTION, A QUALIFIED PROFESSIONAL (HIRED BY CONTRACTOR OR OWNER) SHALL CONDUCT AN ASSESSMENT OF THE SITE AND CERTIFY THAT THE APPROPRIATE EROSION AND SEDIMENT CONTROL STRUCTURES AS DEPICTED ON THE PLANS HAVE BEEN ADEQUATELY INSTALLED AND IMPLEMENTED. CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER ONCE THE EROSION AND SEDIMENT CONTROL STRUCTURES HAVE BEEN INSTALLED. REFER TO SWPPP FOR INSPECTION GUIDELINES.
- THE OWNER/OPERATOR SHALL MAINTAIN A RECORD OF ALL EROSION AND SEDIMENT CONTROL INSPECTION REPORTS AT THE SITE IN A LOG BOOK. THE SITE LOG BOOK SHALL BE MAINTAINED ON-SITE AND BE MADE AVAILABLE TO THE PERMITTING AUTHORITY. THE OWNER/CONTRACTOR SHALL POST AT THE SITE, IN A PUBLICLY ACCESSIBLE LOCATION, A SUMMARY OF THE SITE INSPECTION ACTIVITIES ON A MONTHLY BASIS.
- THE OWNER/OPERATOR SHALL FILE A NOTICE OF INTENT (NOI) WITH THE NYSDEC AND LOCAL GOVERNING AUTHORITY PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES AND A NOTICE OF TERMINATION (NOT) WITH NYSDEC FOLLOWING CONSTRUCTION ACTIVITIES.

1 SPDES GENERAL PERMIT COMPLIANCE NOTES
NOT TO SCALE

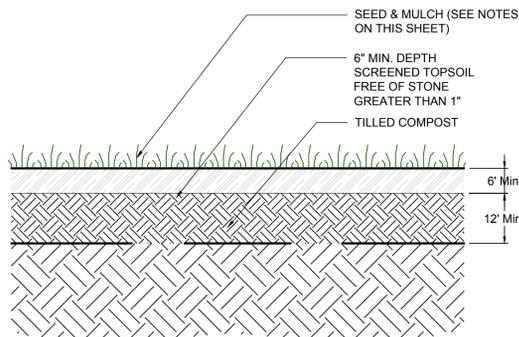
EROSION AND SEDIMENT CONTROL MEASURES:

- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE IN STRICT COMPLIANCE WITH "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL", NOVEMBER 2016
- DAMAGE TO SURFACE WATERS RESULTING FROM EROSION AND SEDIMENTATION SHALL BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE DISCHARGES.
- AS MUCH AS IS PRACTICAL, EXISTING VEGETATION SHALL BE PRESERVED. FOLLOWING THE COMPLETION OF CONSTRUCTION ACTIVITIES IN ANY PORTION OF THE SITE, PERMANENT VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SOILS.
- SITE PREPARATION ACTIVITIES SHALL BE PLANNED TO MINIMIZE THE SCOPE AND DURATION OF SOIL DISRUPTION.
- PERMANENT TRAFFIC CORRIDORS SHALL BE ESTABLISHED AND "ROUTES OF CONVENIENCE" SHALL BE AVOIDED. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL POINTS OF ENTRY ONTO THE PROJECT SITE.
- SEEDED AREAS TO BE MULCHED WITH STRAW OR HAY MULCH IN ACCORDANCE WITH VEGETATIVE COVER SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE COURSE OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST BY SPRINKLING EXPOSED SOIL AREAS PERIODICALLY WITH WATER AS REQUIRED. THE CONTRACTOR IS TO SUPPLY ALL EQUIPMENT AND WATER.
- WHEN ALL DISTURBED AREAS ARE STABLE, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED.

MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES:

- PERMANENT AND TEMPORARY VEGETATION:**
INSPECT ALL AREAS THAT HAVE RECEIVED VEGETATION EVERY SEVEN DAYS. ALL AREAS DAMAGED BY EROSION OR WHERE SEED HAS NOT ESTABLISHED SHALL BE REPAIRED AND RESTABILIZED IMMEDIATELY.
- STABILIZED CONSTRUCTION ENTRANCE:**
INSPECT THE ENTRANCE PAD EVERY SEVEN DAYS. CHECK FOR MUD, SEDIMENT BUILD-UP AND PAD INTEGRITY. MAKE DAILY INSPECTIONS DURING WET WEATHER. RESHAPE PAD AS NEEDED FOR DRAINAGE AND RUNOFF CONTROL. WASH AND REPLACE STONE AS NEEDED. THE STONE IN THE ENTRANCE SHOULD BE WASHED OR REPLACED WHENEVER THE ENTRANCE FAILS TO REDUCE MUD BEING CARRIED OFF-SITE BY VEHICLES. IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROADS BY BRUSHING OR SWEEPING. REMOVE TEMPORARY CONSTRUCTION ENTRANCE AS SOON AS THEY ARE NO LONGER NEEDED TO PROVIDE ACCESS TO THE SITE.
- SILT FENCE:**
INSPECT FOR DAMAGE EVERY SEVEN DAYS. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE FENCE BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO 1/3 THE HEIGHT OF THE FENCE. IF FENCE FABRIC TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF FENCE IMMEDIATELY.
- SOIL STOCKPILE:**
INSPECT SEDIMENT CONTROL BARRIERS (SILT FENCE OR HAY BALE) AND VEGETATION FOR DAMAGE EVERY SEVEN DAYS. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE SEDIMENT CONTROL BARRIER BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO 1/3 THE HEIGHT OF THE SEDIMENT CONTROL BARRIER. IF SEDIMENT CONTROL BARRIER TEARS, BEGINS TO DECOMPOSE, OR IN ANYWAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF SEDIMENT CONTROL BARRIER IMMEDIATELY. REVEGETATE DISTURBED AREA TO STABILIZE SOIL STOCKPILE. REMOVE THE SEDIMENT CONTROL BARRIER WHEN THE SOIL STOCKPILE HAS BEEN REMOVED.
- INLET PROTECTION:**
INSPECT INLET PROTECTION FOR DAMAGE EVERY SEVEN DAYS. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT AS NECESSARY TO PROVIDE FOR ADEQUATE STORAGE VOLUME FOR SUBSEQUENT RAINS.
- DUST CONTROL:**
SCHEDULE CONSTRUCTION OPERATIONS TO MINIMIZE THE AMOUNT OF DISTURBED AREAS AT ANY ONE TIME DURING THE COURSE OF WORK. APPLY TEMPORARY SOIL STABILIZATION
PRACTICES SUCH AS MULCHING, SEEDING, AND SPRAYING (WATER). STRUCTURAL MEASURES (MULCH, SEEDING) SHALL BE INSTALLED IN DISTURBED AREAS BEFORE SIGNIFICANT BLOWING PROBLEMS DEVELOP. WATER SHALL BE SPRAYED AS NEEDED. REPEAT AS NEEDED, BUT AVOID EXCESSIVE SPRAYING, WHICH COULD CREATE RUNOFF AND EROSION PROBLEMS.

5 EROSION & SEDIMENT CONTROL NOTES
NOT TO SCALE



- DURING PERIODS OF RELATIVELY LOW MODERATE SUBSOIL MOISTURE, THE DISTURBED SUBSOILS ARE RETURNED TO ROUGH GRADE AND THE FOLLOWING SOIL RESTORATION STEPS APPLIED:
- APPLY 3 INCHES OF COMPOST OVER SUBSOIL
 - TILL COMPOST INTO SUBSOIL TO A DEPTH OF AT LEAST 12 INCHES USING A CAT-MOUNTED RIPPER, TRACTOR-MOUNTED DISC, OR TILLER, MIXING, AND CIRCULATING AIR AND COMPOST INTO SUBSOILS.
 - ROCK-PICK UNTIL UPLIFTED STONE/ROCK MATERIALS OF FOUR INCHES AND LARGER SIZE ARE CLEANED OF THE SITE.
 - APPLY TOPSOIL TO A DEPTH OF 6 INCHES.
 - VEGETATE AS REQUIRED BY APPROVED PLANS.

9 SOIL RESTORATION DETAIL
NOT TO SCALE

CONSTRUCTION WASTE MANAGEMENT PLAN

CONSTRUCTION WASTE MANAGEMENT PRACTICES ARE DESIGNED TO MAINTAIN A CLEAN AND ORDERLY WORK ENVIRONMENT. THIS WILL REDUCE THE POTENTIAL FOR SIGNIFICANT MATERIALS TO COME INTO CONTACT WITH STORMWATER. A MAINTENANCE SCHEDULE SHALL BE DEVELOPED FOR THESE AREAS. THE GENERAL CONTRACTOR SHALL IMPLEMENT THE FOLLOWING PRACTICES:

- MATERIAL RESULTING FROM THE CLEARING AND GRUBBING OPERATION WILL BE STOCKPILED UP SLOPE FROM ADEQUATE SEDIMENTATION CONTROLS.
- EQUIPMENT CLEANING, MAINTENANCE, AND REPAIR AREAS SHALL BE DESIGNATED AND PROTECTED BY A TEMPORARY PERIMETER BERM.
- THE USE OF DETERGENTS FOR LARGE SCALE WASHING IS PROHIBITED (I.E., VEHICLES, BUILDINGS, PAVEMENT SURFACES, ETC.).
- SPILL PREVENTION AND RESPONSE**
A SPILL PREVENTION AND RESPONSE PLAN SHALL BE DEVELOPED FOR THE SITE BY THE GENERAL CONTRACTOR. THE PLAN SHALL DETAIL THE STEPS NEEDED TO BE FOLLOWED IN THE EVENT OF AN ACCIDENTAL SPILL AND SHALL IDENTIFY CONTACT NAMES AND PHONE NUMBERS OF PEOPLE AND AGENCIES THAT MUST BE NOTIFIED.
THE PLAN SHALL INCLUDE MATERIAL SAFETY DATA SHEETS (MSDS) FOR ALL MATERIALS TO BE STORED ON-SITE. ALL WORKERS ON-SITE WILL BE REQUIRED TO BE TRAINED ON SAFE HANDLING AND SPILL PREVENTION PROCEDURES FOR ALL MATERIALS USED DURING CONSTRUCTION. REGULAR TAILGATE SAFETY MEETINGS SHALL BE HELD AND ALL WORKERS THAT ARE EXPECTED ON THE SITE DURING THE WEEK SHALL BE REQUIRED TO ATTEND.
- MATERIAL STORAGE**
CONSTRUCTION MATERIALS SHALL BE STORED IN A DEDICATED STAGING AREA. THE STAGING AREA SHALL BE LOCATED IN AN AREA THAT MINIMIZES THE IMPACTS OF THE CONSTRUCTION MATERIALS EFFECTING STORMWATER QUALITY.
CHEMICALS, PAINTS, SOLVENTS, FERTILIZERS, AND OTHER TOXIC MATERIAL MUST BE STORED IN WATERPROOF CONTAINERS. EXCEPT DURING APPLICATIONS, THE CONTENTS MUST BE KEPT IN TRUCKS OR WITHIN STORAGE FACILITIES. RUNOFF CONTAINING SUCH MATERIAL MUST BE COLLECTED, REMOVED FROM THE SITE, TREATED AND DISPOSED AT AN APPROVED SOLID WASTE OR CHEMICAL DISPOSAL FACILITY.
- TEMPORARY CONCRETE WASHOUT FACILITY**
TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE LOCATED A MINIMUM OF 50 FT FROM STORM DRAIN INLETS, OPEN DRAINAGE FACILITIES, AND WATERCOURSES. EACH FACILITY SHOULD BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OR ACCESS AREAS TO PREVENT EROSION OR TRACKING. A SIGN SHOULD BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.
WHEN TEMPORARY CONCRETE WASHOUT FACILITIES ARE NO LONGER REQUIRED FOR THE WORK, THE HARDENED CONCRETE SHALL BE REMOVED AND DISPOSED OF. MATERIALS USED TO CONSTRUCT THE TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE REMOVED FROM THE SITE AND DISPOSED OF. HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE BACKFILLED AND/OR REPAIRED AND SEEDED AND MULCHED FOR FINAL STABILIZATION.
- SOLID WASTE DISPOSAL**
NO SOLID MATERIALS, INCLUDING BUILDING MATERIALS, ARE ALLOWED TO BE DISCHARGED FROM THE SITE WITH STORMWATER. ALL SOLID WASTE, INCLUDING DISPOSABLE MATERIALS INCIDENTAL TO THE MAJOR CONSTRUCTION ACTIVITIES, MUST BE COLLECTED AND PLACED IN CONTAINERS. THE CONTAINERS WILL BE EMPTIED PERIODICALLY BY A CONTRACT TRASH DISPOSAL SERVICE AND HAULED AWAY FROM THE SITE.
SUBSTANCES THAT HAVE THE POTENTIAL FOR POLLUTING SURFACE AND/OR GROUNDWATER MUST BE CONTROLLED BY WHATEVER MEANS NECESSARY IN ORDER TO ENSURE THAT THEY DO NOT DISCHARGE FROM THE SITE. AS AN EXAMPLE, SPECIAL CARE MUST BE EXERCISED DURING EQUIPMENT FUELING AND SERVICING OPERATIONS. IF A SPILL OCCURS, IT MUST BE CONTAINED AND DISPOSED SO THAT IT WILL NOT FLOW FROM THE SITE OR ENTER GROUNDWATER, EVEN IF THIS REQUIRES REMOVAL, TREATMENT, AND DISPOSAL OF SOIL. IN THIS REGARD, POTENTIALLY POLLUTING SUBSTANCES SHOULD BE HANDLED IN A MANNER CONSISTENT WITH THE IMPACT THEY REPRESENT.
- WATER SOURCE**
NON-STORMWATER COMPONENTS OF SITE DISCHARGE MUST BE CLEAN WATER. WATER USED FOR CONSTRUCTION, WHICH DISCHARGES FROM THE SITE, MUST ORIGINATE FROM A PUBLIC WATER SUPPLY OR PRIVATE WELL APPROVED BY THE HEALTH DEPARTMENT. WATER USED FOR CONSTRUCTION THAT DOES NOT ORIGINATE FROM AN APPROVED PUBLIC SUPPLY MUST NOT DISCHARGE FROM THE SITE. IT CAN BE RETAINED IN THE PONDS UNTIL IT INFILTRATES AND EVAPORATES.

2 CONSTRUCTION WASTE MANAGEMENT PLAN
NOT TO SCALE

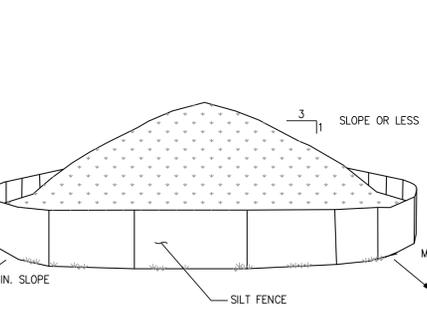
PRE-CONSTRUCTION SEQUENCE:

- NON-DISTURBANCE AREAS SHALL BE MARKED WITH 4-FT ORANGE SNOW FENCING TO TOWN ENGINEER'S SATISFACTION PRIOR TO SITE DISTURBANCE, AND SHALL BE MAINTAINED UNTIL ISSUANCE OF A C.O.
- HOLD A PRE-CONSTRUCTION MEETING WITH THE OWNER/OPERATOR, SITE ENGINEER, TOWN ENGINEER, TRAINED CONTRACTOR, QUALIFIED EROSION CONTROL INSPECTOR AND BUILDING INSPECTOR. PLACE A COPY OF THE SWPPP REPORT ON SITE ALONG WITH A COPY OF THE INSPECTOR'S LOG BOOK CONTAINING COPIES OF THE WEEKLY INSPECTIONS. (APPLICANTS EROSION & SEDIMENT CONTROL INSPECTION AGENT SHALL CONDUCT AN INSPECTION ON A WEEKLY BASIS)

CONSTRUCTION SEQUENCE:

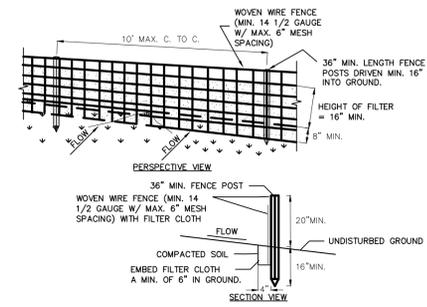
- INSTALL AND STABILIZE TEMPORARY EROSION & SEDIMENT CONTROL MEASURES AS SHOWN ON THE SWPPP PLAN.
- BEGIN DEMOLITION OF EXISTING STRUCTURES
- INSTALL TEMPORARY DIVERSION SWALES AS NECESSARY TO DIVERT RUNOFF AWAY FROM CONSTRUCTION AND CONSTRUCT THE TEMPORARY SEDIMENT BASIN.
- BEGIN REMAINING SITE GRADING, DRIVEWAY GRADE CONSTRUCTION AND FOUNDATION EXCAVATION.
- ROUGH OUT DRIVEWAY AND PARKING AREA TO SUB-GRADE
- POUR CONCRETE FOOTINGS AND FOUNDATIONS FOR PROPOSED BUILDINGS.
- INSTALL REMAINING SITE UTILITIES AND/OR INFRASTRUCTURE.
- INSTALL CURBING ONCE ALL MAJOR WORK ON SITE IS COMPLETE, AS REQUIRED.
- INSTALL INFILTRATION CHAMBERS AS SHOWN ON THE UTILITY PLAN AND AS PER MANUFACTURERS SPECIFICATIONS.
- TOPSOIL, SEED AND MULCH ALL DISTURBED AREAS THAT HAVE OBTAINED FINISH GRADE ELEVATIONS.
- SEED AND MULCH ALL DISTURBED AREAS THAT WILL NOT BE RE-DISTURBED FOR AT LEAST 14 DAYS.
- FINALIZE BUILDING CONSTRUCTION.
- ONCE ALL MAJOR SITE DISTURBANCE ACTIVITIES HAVE CEASED AND THE SITE HAS ACHIEVED FINAL STABILIZATION, FILE AN N.O.T. (NOTICE OF TERMINATION) WITH NYSDEC.
- TERMINATE EROSION CONTROL INSPECTIONS.

6 CONSTRUCTION SEQUENCE
NOT TO SCALE



- NOTES:**
- AREA CHOSEN FOR STOCKPIILING OPERATIONS SHALL BE DRY AND STABLE.
 - MAXIMUM SLOPE OF STOCKPILE SHALL BE 1V:2H.
 - UPON COMPLETION OF SOIL STOCKPIILING, EACH PILE SHALL BE SURROUNDED WITH SILT FENCING, THEN STABILIZED WITH VEGETATION OR COVERED.
 - SEE SPECIFICATIONS FOR INSTALLATION OF SILT FENCE.
 - HAYBALES TO BE USED WHERE STOCKPILES ARE LOCATED ON PAVED AREAS.

10 TEMPORARY SOIL STOCKPILE DETAIL
NOT TO SCALE



- CONSTRUCTION SPECIFICATIONS**
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
 - FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRA1 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
 - PREFABRICATED UNITS SHALL BE GEOFAB, ENVIRONMENT, OR APPROVED EQUIVALENT.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

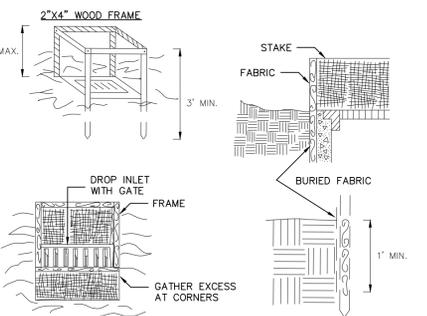
3 SILT FENCE DETAIL
NOT TO SCALE

- ALL SEDIMENT & EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THESE PLANS & DETAILS. CHANGES, OMISSIONS AND/OR OTHER ALTERATIONS CAN NOT BE MADE TO THESE PLANS WITHOUT THE CONSENT OF THE DESIGN ENGINEER.
- SILT FENCE SHALL BE INSTALLED AS SHOWN ON THIS DRAWING PRIOR TO BEGINNING ANY CLEARING, GRUBBING AND EARTHWORK.
- EXPOSED SLOPES AND ALL GRADED AREAS SHALL BE SEEDED WITH THE FOLLOWING GRASS SEED MIX IMMEDIATELY UPON COMPLETION OF ITS CONSTRUCTION, OR IF PLANNED TO BE LEFT UNDISTURBED FOR MORE THAN 21 DAYS, GRASS SEED MIX TO BE APPLIED AT A RATE OF 50 POUNDS PER ACRE IN THE FOLLOWING PROPORTIONS:

KENTUCKY BLUEGRASS	40%
CREeping RED FESCUE	40%
RYE GRASS	20%

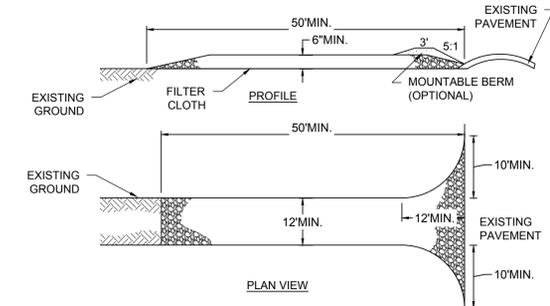
- GRASS SEED MIX MAY BE APPLIED BY EITHER MECHANICAL OR HYDROSEEDING METHODS. HYDROSEEDING SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE NYSDEC STANDARD SPECIFICATIONS, CONSTRUCTION AND MATERIALS, SECTION 6103-3.02, METHOD No. 1.
- SEEDED AREAS SHALL BE MULCHED WITH STRAW AT A RATE OF 2 TONS PER ACRE, OR 90 LBS. PER 1,000 SQUARE FEET, SUCH THAT IT FORMS A CONTINUOUS BLANKET.
- SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS BY THE OWNER'S FIELD REPRESENTATIVE.
- DUST SHALL BE CONTROLLED BY SPRINKLING OF WATER OR OTHER APPROVED METHODS AS NECESSARY DIRECTED BY THE OWNER'S FIELD REPRESENTATIVE.
- CUTS AND FILLS SHALL NOT ENDANGER ADJOINING PROPERTY, NOR DIVERT SURFACE WATER ONTO ADJOINING PROPERTIES.
- ALL FILLS SHALL BE COMPACTED TO PROVIDE STABILITY OF MATERIALS AND TO PREVENT SETTLEMENT.
- EXCAVATIONS AND FILLS TO BE ROLLED, SEALED AND STABILIZED AT COMPLETION OF EACH DAY'S WORK.
- THE OWNER'S FIELD REPRESENTATIVE SHALL INSPECT THE DOWNSIDE CONDITIONS FOR EVIDENCE OF SEDIMENTATION ON A WEEKLY BASIS AND AFTER RAINSTORMS.
- AS WARRANTED BY FIELD CONDITIONS, SPECIAL ADDITIONAL SEDIMENTATION AND EROSION CONTROL MEASURES MAY BE ADDED TO THIS PLAN BY THE SITE ENGINEER, TOWN ENGINEER AND HIGHWAY SUPERINTENDENT. ANY REVISIONS TO THIS PLAN MUST BE SUBMITTED TO THE SITE ENGINEER. ANY CHANGES DEEMED NECESSARY TO THIS PLAN SHALL BE DICTATED BY THE SITE ENGINEER AS NECESSARY TO CARRY OUT THE INTENT OF THIS PLAN.

7 SEEDING & MULCHING NOTES
NOT TO SCALE



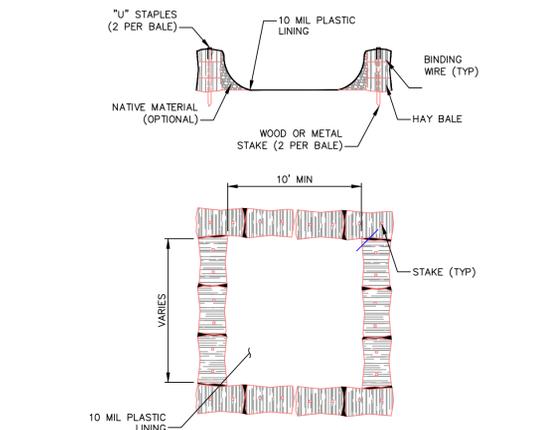
- CONSTRUCTION SPECIFICATIONS**
- FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
 - CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
 - STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
 - SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCH DEEP. SPACES GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
 - FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES & FRAME.
 - A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF FABRIC FOR OVER FLOW STABILITY.
MAXIMUM DRAINAGE AREA 1 ACRE

11 FILTER FABRIC DROP INLET PROTECTION
NOT TO SCALE



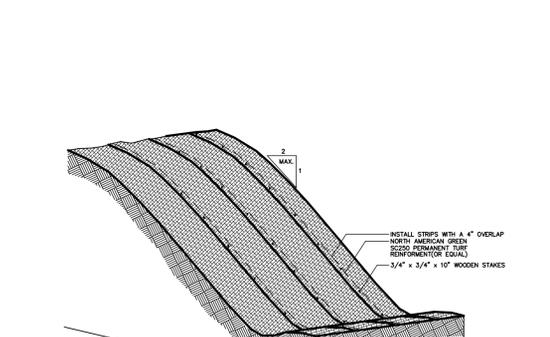
- STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ACCESS SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

4 ANTI-TRACKING PAD DETAIL
NOT TO SCALE



- NOTES:**
- CONCRETE WASHOUT SIGN TO BE INSTALLED WITHIN 30 FEET OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
 - REMOVE HARDEN CONCRETE WHEN WITHIN 4" FROM TOP OF STRUCTURE.
 - CONSTRUCT NEW FACILITIES ONCE CURRENT FACILITIES ARE TWO-THIRDS FULL.
 - LINERS, HAYBALES, ETC SHALL BE INSPECTED FOR DAMAGE. ANY DAMAGE SHALL BE REPAIR PROMPTLY.

8 TEMPORARY CONCRETE WASHOUT DETAIL
NOT TO SCALE



- NOTES:**
- CONTRACTOR TO INSTALL NORTH AMERICAN GREEN PERMANENT TURF REINFORCEMENT (OR EQUAL) PARALLEL TO THE SLOPE.
 - THERE SHALL BE A 4" OVERLAP OVER CONTIGUOUS STRIPS OF MATTING.
 - INSTALL 3/4" x 3/4" WOODEN STAKES @ 6" INTERVALS. LEAVE A 1" RECAL.
 - WATER SHOULD BE APPLIED TO AREA AS SOON AS PRACTICABLE.
 - MAT TO BE APPLIED AS REQUIRED TO GENERATE GRASS SEED.
 - CONTRACTOR TO PERIODICALLY INSPECT MATTING AND MAKE REPAIRS AS NECESSARY.
 - INSTALL EROSION CONTROL MEASURES AS NECESSARY UP-SLOPE OF THE STABILIZED AREA TO ENSURE ANNUAL EROSION THROUGH STABILIZED AREA.
 - CONTRACTOR TO USE 20# OF RYE GRASS IN THE GRASS SEED MIX TO PROMOTE A STABILIZED GRASS MATTURE.

4 EROSION CONTROL MATTING (ECM) DETAIL
NOT TO SCALE

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

Mark A. Day, PE	
11-02-2020	
09-29-2020	
08-05-2020	
07-23-2020	
04-08-2020	
03-16-2020	
03-03-2020	
02-19-2020	
Revision:	
Project No:	2018-419
License No.	069646

DAY STOKOSA ENGINEERING P.C.
3 Van Wyck Lane
Suite 2
Wappingers Falls, New York 12590
(845) 223-3202

14 Nicole Way
Tax Map 65.011-22
Town of Caramel Putnam County, New York

Erosion & Sediment Control Details

SCALE	AS NOTED	DRAWN BY	BJW	DRAWING NO.	D-4
DATE	01-25-20	CHECKED BY	MAD		9 of 9



November 2, 2020

Town of Carmel Planning Board
60 McAlpin Avenue
Mahopac, New York 10541

RE: Stillwater Business Park
105 Stillwater Road
Town of Carmel
TM#s 75.17-1-53, 86.5-1-25, & 86.5-1-26

Dear Chairman Paepre and Members of the Board:

Please find enclosed the following plans and documents in support of an application for site plan approval for the above referenced project:

- Seven (7) sheet revised Site Plan Set, revised November 2, 2020. (5 copies)
- Architectural Plans for the proposed 60,000sf storage building, dated November 2, 2020.
- Stormwater Pollution Prevention Plan (SWPPP), dated October 28, 2020.

Since our last appearance before the Planning Board, the Zoning Board of Appeals has granted the required rear yard variance. The plans have also been revised based adjustments requested by the applicant and discussions with Planning Board and its consultants at the August meeting.

In response to comments provided by Michael Carnazza, dated August 19, 2020, we offer the following:

1. The existing tree buffer has been shown. There is one large spruce that is dead, which is shown to be replaced. The landscape buffer has generally been made more dense. The area to the east of the scale is currently paved and used for access to the scale, so it is preferred not to remove the existing paving in favor of additional planting in that location.
2. An area for relocated storage containers has been identified on the plan behind the 5,040sf relocated building.

In response to the comments provided by Patrick Cleary of Cleary Consulting, dated August 19, 2020, we offer the following:

1. This comment has been satisfied. All easements have been shown.
2. This comment has been satisfied. The note requiring the lots to be merged prior to the signing of the site plan has been added.
3. This description of the general operations of the site is correct and acknowledged.
4. This comment is acknowledged. The truck scale will continue to be used.
5. All zoning references have been updated on the plans. The variance for the rear yard setback was approved by the Town of Carmel Zoning Board of Appeals was approved on October 22, 2020.
6. The proposed driveway on the west end of the property frontage on Stillwater Road has been converted to one way (entry only). While some grading may occur along the frontage near that area it will not be required for sight distance purposes, nor will any removal of vegetation.

3 Garrett Place, Carmel, New York 10512 (845) 225-9690 Fax (845) 225-9717
www.insite-eng.com

7. This comment is acknowledged. In addition to the entrance to west, Liffey Van Lines (Liffey) will use the existing entrance by way of the proposed access easement.
8. This comment has been satisfied. New maneuvers have been shown for the revised layout.
9. This comment is acknowledged. The color scheme, general appearance, and total square footage of the building has not changed, though there has been some modification to the layout.
10. This comment is acknowledged. Loading spaces are shown.
11. This comment is acknowledged. The retaining walls have been modified to accommodate the new building layout. Top and bottom of wall elevations have been provided.
12. This description of the general operations of the proposed 60,000 sf building, and utility connections thereto is correct and acknowledged.
13. This comment is acknowledged. Electric and gas service is shown for the new building layout.
14. This comment is acknowledged. The evergreen screen has been made more dense.
15. This comment is acknowledged. The lighting plan has been revised for the new building layout.
16. This comment is acknowledged. The refuse enclosure is shown on the plan.

In regard to the comments provided by Richard Franzetti, P.E., dated August 11, 2020, we offer the following:

General Comments

1. This comment is acknowledged, related to the referrals noted.
2. This comment is acknowledged, related to re potential permits required.
3. It is acknowledged that the project will require coverage under NYSDEC General Permit GP-0-20-001. A SWPPP has been provided.
4.
 - a. The proposed driveway on the west end of the property frontage on Stillwater Road has been converted to one way (entry only).
 - b. The slopes of the driveway have been shown.
 - c. A driveway profile will be shown on a future submission.
5. This comment is acknowledged. All easements have been shown on the plans.
6. It is acknowledged that a stormwater maintenance agreement may be necessary.
7. It is acknowledged that work within the public right of way will require a performance bond.

Detailed Comments

2. Grading and Utilities Plan
 - a. The retaining walls have been modified to accommodate the new building layout. Top and bottom of wall elevations have been provided.
 - b. Drainage profiles will be provided with a future submission.
3. Erosion and Sediment Control Sheet SP-3
 - a. A SWPPP has been provided.
 - b. Silt fence has been shown around the uphill sides of the infiltrator excavation. A SWPPP has been provided.

November 2, 2020

4. Sheet SP-4
 - a. Photometrics and vehicle maneuvers have been revised around the changes to the building layout.
5. Details Sheets D-1 & D-2
 - a. A note has been added to the general notes stating that all curbs, sidewalks, and asphalt should meet the specifications provided in the Town of Carmel code.
 - b. A note has been added to the general notes stating that all sidewalks, manholes and guiderails should be installed per §128 of the Town of Carmel code.
 - c. The standard duty asphalt detail has been revised as requested.

Please place the project on the agenda for the October 21, 2020 Planning Board meeting for a discussion with the Board.

Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:


Jeffrey J. Contelmo, PE
Senior Principal Engineer

JJC/adt

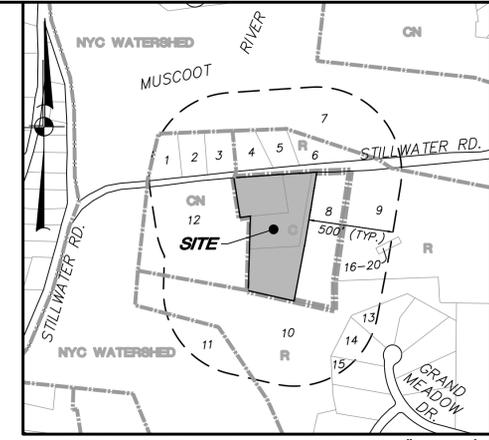
Enclosures

Cc: Dan Moloney / 1841 Park Ave Realty Corp
Seamus Burke / Shamrock Building Systems



500' ADJOINERS:

1. N/F PETER & MARIE EGAN
2. N/F MATTHEW R. WANNER
3. N/F ROBERT C. BOHLMANN
ROSALBA BOHLMANN
4. N/F MARIE FARISELLI
PAUL & CHANEL FARISELLI
5. N/F DEBRA GIAMPIA
6. N/F COUNTY OF PUTNAM
7. N/F CITY OF NEW YORK
8. N/F AKASS STILLWATER AUTO BODY
9. N/F MAIN WILLIAMSBURG
10. N/F M.D. CONTRACTING CORP.
11. N/F CITY OF NEW YORK
12. N/F COUNTY OF PUTNAM
13. N/F THOMAS J. FORGIONE
REBECCA A. FORGIONE
14. N/F MICHAEL FERRARA
ALICIA FERRARA
15. N/F JOSEPH LEONE
ANTOINETTE LEONE
16. N/F MATTHEW G. CASCIOLI
17. N/F SALVATORE RUSSO
18. N/F ANDREA BERNARDI
19. N/F LAURA HULL
20. N/F JULIANNE VAUPEN

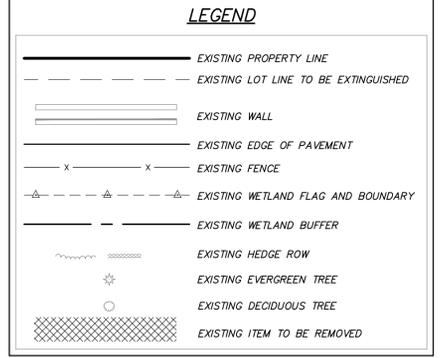


ENLARGED ADJOINER MAP SCALE: 1" = 500'±

OWNER/APPLICANT: TM: 75.17-1-53 Topcat Realty
 TM: 86.5-1-25 1841 Park Ave. Realty Corp.
 TM: 86.5-1-26 1841 Park Ave. Realty Corp.

SITE DATA: Zone: C - COMMERCIAL
 Total Acreage: 5.82 AC

- GENERAL NOTES:**
1. Property line as shown hereon are based on survey prepared by Insite Engineering, Surveying & Landscape Architecture, P.C.
 2. Topographic information and contours shown hereon are based on aerial mapping by Geomaps International, dated July 20, 2018.
 3. Updated existing conditions based on field visits performed by Insite Engineering, Surveying & Landscape Architecture, P.C.
 4. Wetland flag locations shown hereon flagged by NYSDEC on July 26, 2020 and survey located by Insite Engineering, Surveying & Landscape Architecture, P.C.
 5. The proposed number of employees, general operation and types of machinery on site are to remain as existing.
 6. The lots must be merged as shown prior to the Planning Board's signing of the site plans.
 7. Curbs, sidewalks, manholes, guide rails, and drainage shall conform to the requirements of Chapter 128 of the Town Code.



LIST OF DRAWINGS

DRAWING NO.	DRAWING NAME	SHEET
EX-1	EXISTING CONDITIONS & REMOVALS PLAN	1
SP-1	LAYOUT & LANDSCAPE PLAN	2
SP-2	GRADING & UTILITIES PLAN	3
SP-3	EROSION & SEDIMENT CONTROL PLAN	4
SP-4	LIGHTING & LANDSCAPE PLAN	5
D-1	DETAILS	6
D-2	DETAILS	7
D-3	DETAILS	8

NO.	DATE	REVISION	BY
2	11-2-20	GENERAL REVISION	E.R.A.
1	8-7-20	REVISED PER PLANNING BOARD COMMENTS	E.R.A.

INSITE
 ENGINEERING, SURVEYING &
 LANDSCAPE ARCHITECTURE, P.C.

3 Garrett Place
 Carmel, NY 10512
 (845) 225-9690
 (845) 225-9717 fax
 www.insite-eng.com

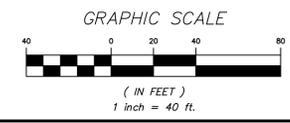
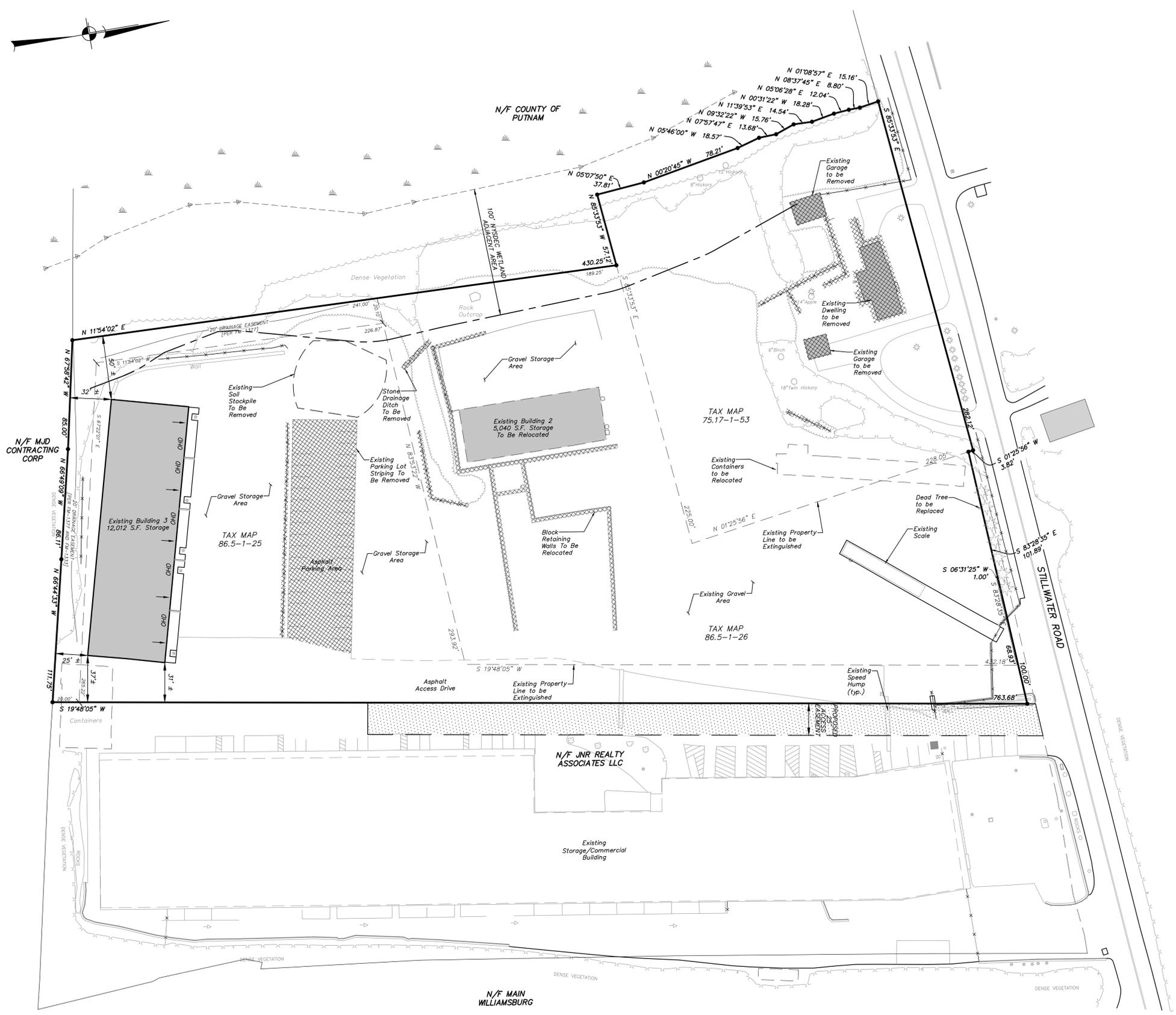
PROJECT: **STILLWATER BUSINESS PARK**

STILLWATER ROAD, TOWN OF CARMEL, COUNTY OF PUTNAM, NEW YORK

DRAWING: **EXISTING CONDITIONS PLAN**

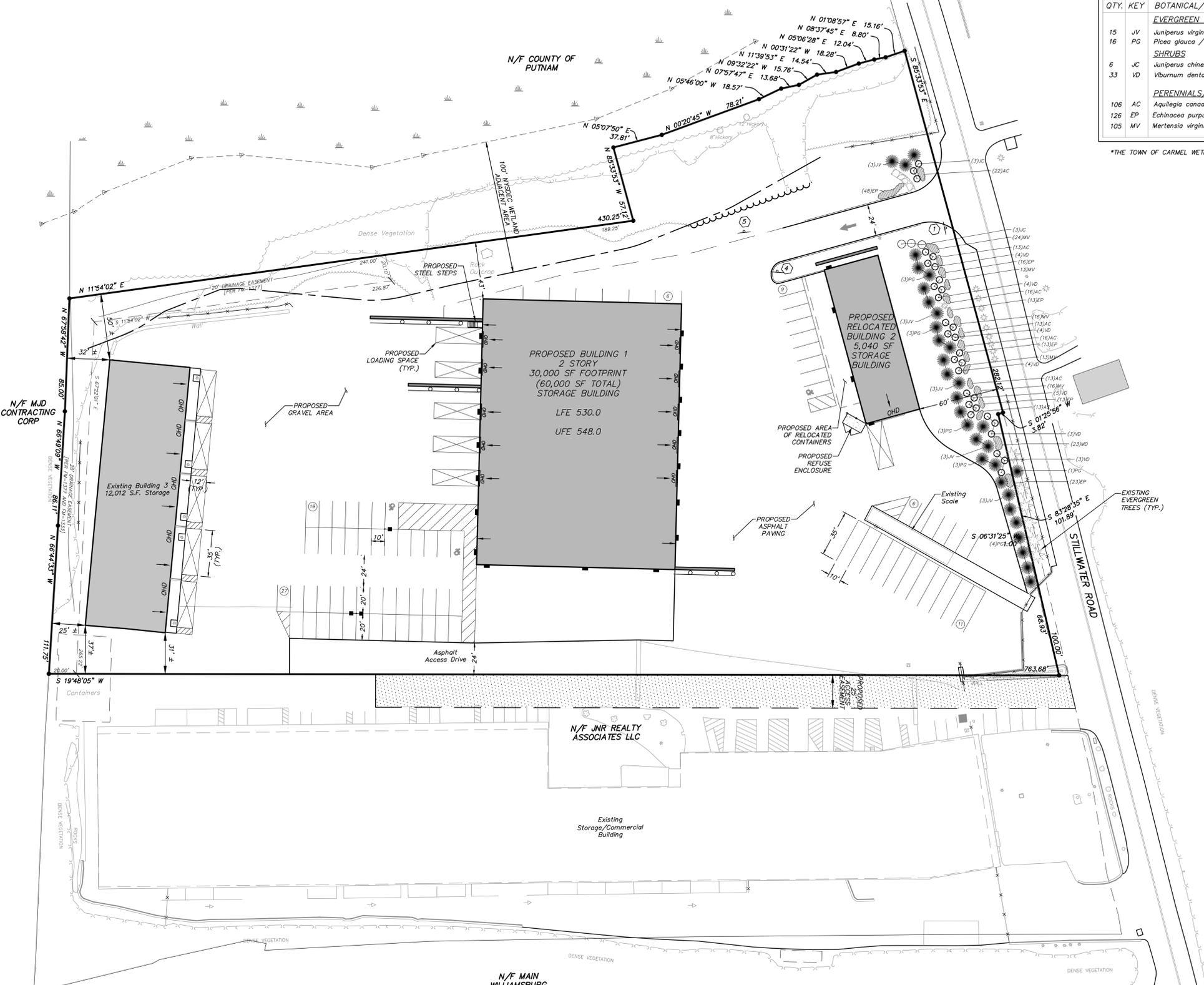
PROJECT NUMBER: 18189.100 PROJECT MANAGER: J.J.C.
 DATE: 6-26-20 DRAWN BY: C.B.Z.
 SCALE: 1" = 40' CHECKED BY: A.D.T.

DRAWING NO. SHEET
 EX-1 1/8



ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

Z:\VIEW\BIDDING\EX-1.dwg 11/7/2020 8:41:02 AM whphg. 11



PLANT LIST			
QTY.	KEY	BOTANICAL/COMMON NAME	ROOT
EVERGREEN TREES			
15	JV	Juniperus virginica / Eastern Redcedar	8'-10' HT. B&B
16	PG	Picea glauca / White Spruce	8'-10' HT. B&B
SHRUBS			
6	JC	Juniperus chinensis "Sea Green" / Sea Green Juniper	#3 CONT./6" O.C.
33	VD	Viburnum dentatum / Leatherleaf Viburnum	#3 CONT./6" O.C.
PERENNIALS/GROUND COVERS			
106	AC	Aquilegia canadensis / Columbine	#1 CONT./18" O.C.
126	EP	Echinacea purpurea / Purple Coneflower	#1 CONT./18" O.C.
105	MV	Mertensia virginica / Virginia Bluebells	#1 CONT./18" O.C.

*THE TOWN OF CARMEL WETLAND INSPECTOR TO APPROVE ALL PLANTINGS

PARKING SUMMARY	
REQUIRED:	
WHOLESALE, WAREHOUSE, STORAGE, HEAVY COMMERCIAL ESTABLISHMENTS	= 78 REQUIRED
77,042 S.F. @ 1 SPACE/1,000 S.F.	= 78
TOTAL PARKING SPACES PROVIDED	= 78
77,042 S.F. @ 1 LOADING SPACE FOR 1st 10,000sf	= 5 REQUIRED
1 ADDL FOR EACH ADDL 20,000SF	= 11
TOTAL LOADING SPACE PROVIDED	= 11

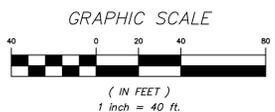
SIGN DATA TABLE				
NO.	TEXT	M.U.T.C.D. NUMBER	SIZE OF SIGN (S.F.)	DESCRIPTION
1	STOP	R1-1C	30" x 30"	White on Red
2	RESERVED PARKING	NY R7-B*	12" x 18"	Green on White
	USE ACCESS	R7-BP	12" x 6"	Green on White
3	NO PARKING ANY TIME	R7-1	12" x 18"	Red on White
4	NO STOPPING	RS-1C	30" x 30"	White on Red
5	NO LEFT TURN	R3-1	30" x 30"	White Background Black Arrow Red Symbol Black Border

LEGEND	
	EXISTING PROPERTY LINE
	EXISTING LOT LINE TO BE EXTINGUISHED
	EXISTING WALL
	EXISTING EDGE OF PAVEMENT
	EXISTING FENCE
	EXISTING WETLAND FLAG AND BOUNDARY
	EXISTING WETLAND BUFFER
	EXISTING HEDGE ROW
	EXISTING EVERGREEN TREE
	EXISTING DECIDUOUS TREE
	PROPOSED CONCRETE CURB
	PROPOSED RETAINING WALL
	PROPOSED GUIDE RAIL
	PROPOSED EDGE OF SIDEWALK
	PROPOSED STRIPED ISLAND
	PROPOSED PAINTED HANDICAP PARKING SYMBOL
	PROPOSED LANDSCAPING
	PROPOSED BUILDING MOUNTED LIGHT
	PROPOSED PAINTED STOPBAR
	PROPOSED SINGLE POLE SIGN

PROPOSED C ZONE REQUIREMENTS:		
	REQUIRED	PROPOSED COMBINED LOTS
Minimum Lot Area:	40,000 sf	253,084 sf ±
Minimum Lot Depth:	200'	704' ±
Minimum Lot Width:	200'	330' ±
Minimum Road Frontage:	100'	484'
Minimum Principal Building Setbacks:		
Front Yard:	40'	60' ±
Side Yard:	25'	31' ±
Rear Yard:	30'	25' ±
Maximum Building Height:	35'	Less Than 35'
Minimum Building Floor Area:	5,000 sf	77,042 sf
Maximum Lot Building Coverage:	30%	18.6% ±

* Variance approved by the Carmel ZBA on 10/22/20

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.



2	11-2-20	GENERAL REVISION	E.R.A.
1	8-7-20	REVISED PER PLANNING BOARD COMMENTS	E.R.A.
NO.	DATE	REVISION	BY

INSITE
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.
3 Garrett Place
Carmel, NY 10512
(845) 225-9690
(845) 225-9717 fax
www.insite-eng.com

PROJECT: **STILLWATER BUSINESS PARK**
STILLWATER ROAD, TOWN OF CARMEL, COUNTY OF PUTNAM, NEW YORK
DRAWING: **LAYOUT AND LANDSCAPE PLAN**

PROJECT NUMBER	18189.100	PROJECT MANAGER	J.J.C.	DRAWING NO.	SP-1	SHEET 2
DATE	6-26-20	DRAWN BY	C.B.Z.			
SCALE	1" = 40'	CHECKED BY	A.D.T.			

Z:\E\18189\18189-SP-1.dwg, 11/7/2020 8:42:39 AM, ehp/eng, 11



PROPOSED DRAINAGE TABLE

STRUCTURE	RIM	INV.	PIPE	LENGTH	SLOPE
DI 8	547.8	540.9	12"	50 L.F.	1.0%
DI 7	543.8	IN 540.4 OUT 529.8	12"	26 L.F.	11.5%
DMH 6	529.0	IN 526.8 OUT 526.6	15"	173 L.F.	1.0%
FS 1	529.0	524.8	10"	20 L.F.	1.0%
HDS 1	528.8	524.6	10"	10 L.F.	1.0%
1.1P	-	IN 524.5 OUT 524.7	8"	86 L.F.	2.6%
ES 5A	-	522.5	-	-	-
FS 1	529.0	524.8	15"	72 L.F.	3.2%
ES 5B	-	522.5	-	-	-
DI 4A	534.0	530.8	12"	143 L.F.	3.6%
DI 4	528.8	IN 526.6 OUT 525.4	15"	116 L.F.	1.0%
CB 3	527.7	524.2	15"	87 L.F.	3.8%
FS 2	524.3	520.9	10"	10 L.F.	1.0%
HDS 2	525.0	520.8	10"	10 L.F.	1.0%
1.2P	-	IN 520.7 OUT 520.9	-	-	-
ES 2A	-	519.5	-	-	-
FS 2	524.3	520.9	15"	62 L.F.	2.3%
ES 2B	-	519.5	-	-	-

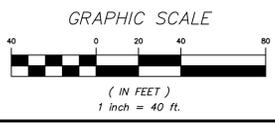
LEGEND

- EXISTING PROPERTY LINE
- EXISTING LOT LINE TO BE EXTINGUISHED
- EXISTING WALL
- EXISTING EDGE OF PAVEMENT
- EXISTING FENCE
- EXISTING WETLAND FLAG AND BOUNDARY
- EXISTING WETLAND BUFFER
- EXISTING DRAINAGE INLET
- EXISTING DRAINAGE PIPE
- PROPOSED CONCRETE CURB
- PROPOSED RETAINING WALL
- PROPOSED EDGE OF SIDEWALK
- PROPOSED ROOF DRAIN
- PROPOSED 10' CONTOUR
- PROPOSED 2' CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED TOP OF CURB & BOTTOM OF CURB ELEVATIONS
- PROPOSED TOP OF WALL & BOTTOM OF WALL ELEVATIONS
- PROPOSED SEWER MANHOLE
- PROPOSED DRAINAGE MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED UNDERGROUND ELECTRICAL SERVICE
- PROPOSED UNDERGROUND NATURAL GAS SERVICE

PERMANENT STORMWATER FACILITIES MAINTENANCE SCHEDULE

PRACTICE/FACILITY	MONTHLY	AFTER MAJOR STORM EVENTS	BI-ANNUALLY	YEARLY	EVERY 5 to 10 YEARS
INFILTRATION UNITS	-	Confirm infiltrators dewater within 40 hours	Inspect & clean	Inspect outlet structures & remove accumulated sediment.	Clean isolator row per manufactures recommendations
SUBSURFACE STORMWATER COLLECTION SYSTEMS	-	-	Inspect & clean	Inspect, clean, repair and/or replace structures. Remove debris.	-

Note: The party responsible for implementation of the maintenance schedule during and after construction is:
 1841 Park Avenue Realty Corp
 121 Stillwater Road
 Mahopac, NY 10541
 and/or the current owner(s) of the subject property.



ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

2	11-2-20	GENERAL REVISION	E.R.A.
1	8-7-20	REVISED PER REVISION BOARD COMMENTS	E.R.A.
NO.	DATE	REVISION	BY

INSITE
 ENGINEERING, SURVEYING &
 LANDSCAPE ARCHITECTURE, P.C.
 3 Garrett Place
 Carmel, NY 10512
 (845) 225-9690
 (845) 225-9717 fax
 www.insite-eng.com

PROJECT:
STILLWATER BUSINESS PARK
 STILLWATER ROAD, TOWN OF CARMEL, COUNTY OF PUTNAM, NEW YORK

DRAWING:
GRADING AND DRAINAGE PLAN

PROJECT NUMBER	18189.100	PROJECT MANAGER	J.J.C.	DRAWING NO.	SP-2	SHEET 3
DATE	6-26-20	DRAWN BY	C.B.Z.			
SCALE	1" = 40'	CHECKED BY	A.D.T.			

Z:\18189\18189.DWG 11/2/2020 8:59:21 AM wjh/eng 11



LEGEND	
	EXISTING PROPERTY LINE
	EXISTING LOT LINE TO BE EXTINGUISHED
	EXISTING WALL
	EXISTING EDGE OF PAVEMENT
	EXISTING FENCE
	EXISTING WETLAND FLAG AND BOUNDARY
	EXISTING WETLAND BUFFER
	PROPOSED 10' CONTOUR
	PROPOSED 2' CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED TOP OF CURB & BOTTOM OF CURB ELEVATIONS
	PROPOSED TOP OF WALL & BOTTOM OF WALL ELEVATIONS
	PROPOSED SILT FENCE
	PROPOSED TEMPORARY SOIL STOCKPILE
	PROPOSED STABILIZED CONSTRUCTION ENTRANCE

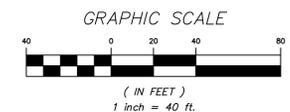
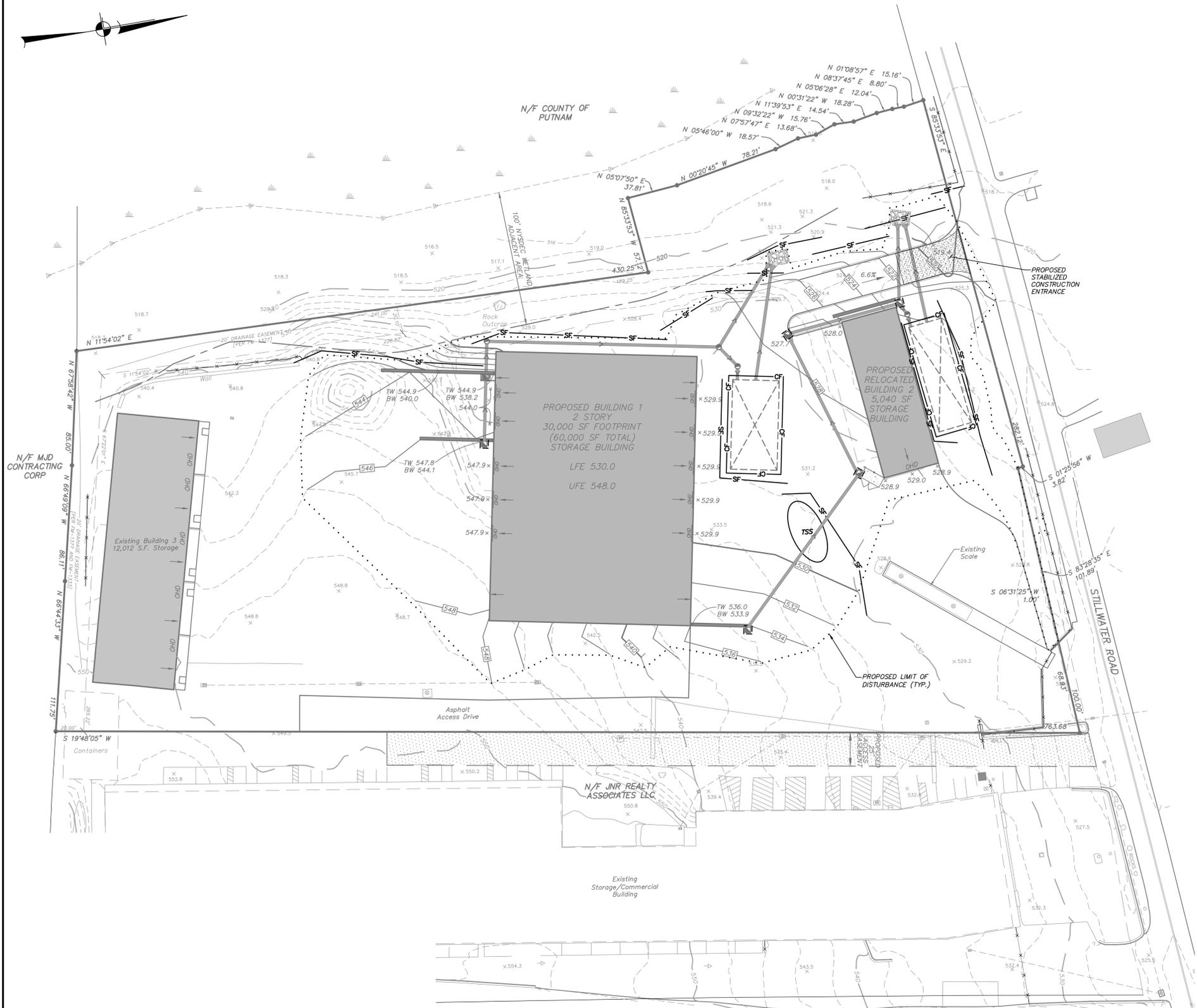
EROSION AND SEDIMENT CONTROL MAINTENANCE SCHEDULE

PRACTICE	MONITORING REQUIREMENTS			MAINTENANCE REQUIREMENTS	
	DAILY	WEEKLY	AFTER RAINFALL	DURING CONSTRUCTION	AFTER CONSTRUCTION
SILT FENCE BARRIER	-	Inspect	Inspect	Clean/Replace	Remove
STABILIZED CONSTRUCTION ENTRANCE	Inspect	-	Inspect	Clean/Replace Stone and Fabric	Remove
DUST CONTROL	Inspect	-	Inspect	Mulching/Spraying Water	N/A
*VEGETATIVE ESTABLISHMENT	-	Inspect	Inspect	Water/Reseed/Remulch	Reseed to 80% Coverage
SOIL STOCKPILES	-	Inspect	Inspect	Mulching/Silt Fence Repair	Remove
SWALES	-	Inspect	Inspect	Clean/Mulch/Repair	Mow Permanent Grass/Replace/Repair Rip Rap
ROAD & PAVEMENT	-	Inspect	Inspect	Clean	Clean

* Permanent vegetation is considered stabilized when 80% of the plant density is established. Erosion control measures shall remain in place until all disturbed areas are permanently stabilized.
 Note: The party responsible for implementation of the maintenance schedule during and after construction is:
 1841 Park Avenue Realty Corp
 121 Stillwater Road
 Mahopac, NY
 10541
 and/or the current owner(s) of the subject property.

CONSTRUCTION SEQUENCE:

1. Install stabilized construction entrance/anti-tracking pad at driveway entrance.
2. Install silt fence in general locations indicated on the plan.
3. Begin demolition of the existing dwelling and out buildings.
4. Remove demolition debris from the site.
5. Begin excavation for foundations, and surrounding grading for the relocated and new proposed buildings.
6. Disassemble existing 5,040sf storage building.
7. Begin construction of the new proposed storage building and reassembly of the existing structure in its new location.
8. Install infiltration Areas and connect Roof Leader Drains.
9. Upon completion of grading operations, install finished driveway surfaces.
10. Topsoil, seed, and mulch all disturbed areas as soon as practical in accordance with the Erosion and Sediment Control Notes contained on this page.



ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

2	11-2-20	GENERAL REVISION	E.R.A.
1	8-7-20	REVISED PER PLANNING BOARD COMMENTS	E.R.A.
NO.	DATE	REVISION	BY

INSITE
 ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.
 3 Garrett Place
 Carmel, NY 10512
 (845) 225-9690
 (845) 225-9717 fax
 www.insite-eng.com

PROJECT:
STILLWATER BUSINESS PARK
 STILLWATER ROAD, TOWN OF CARMEL, COUNTY OF PUTNAM, NEW YORK

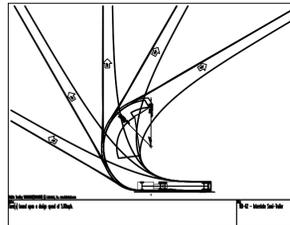
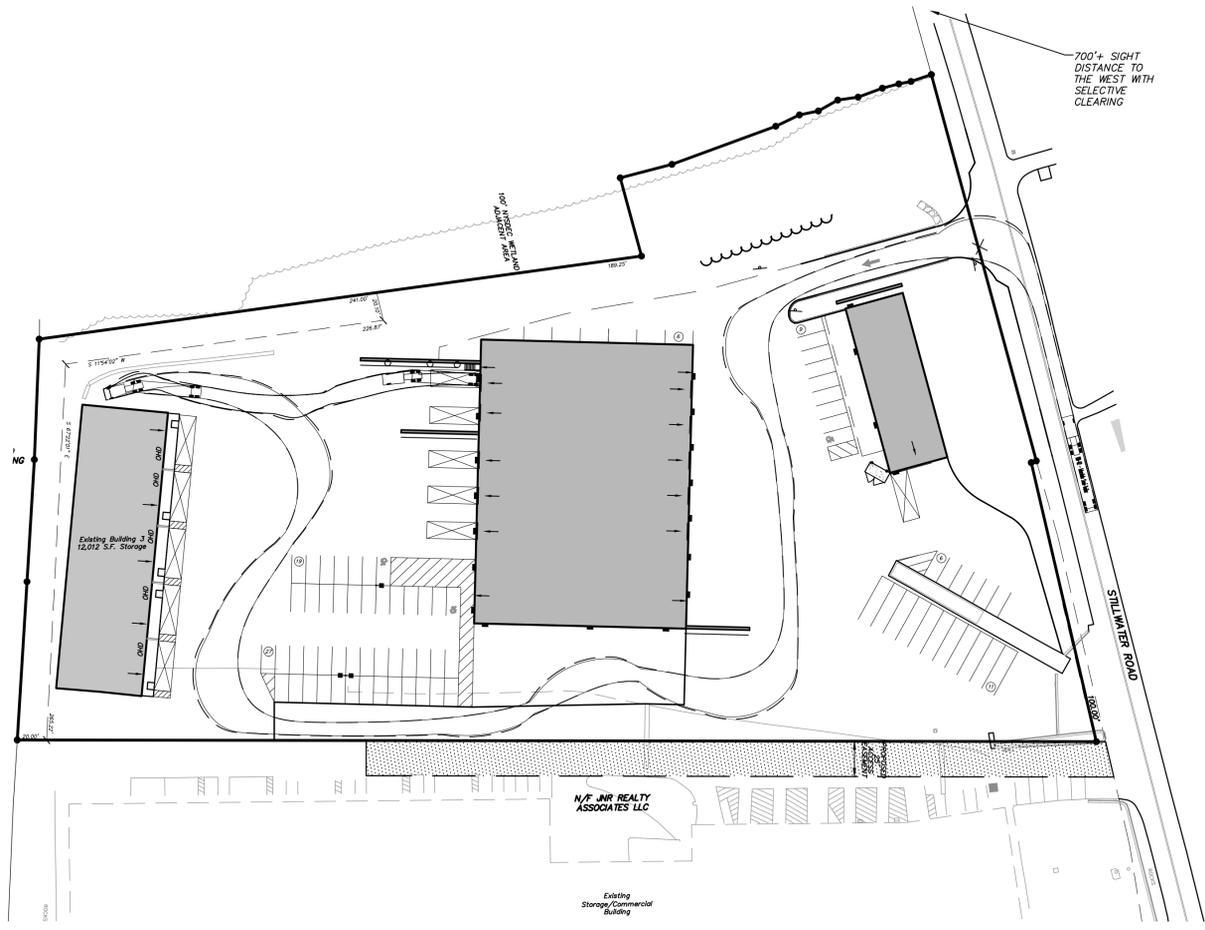
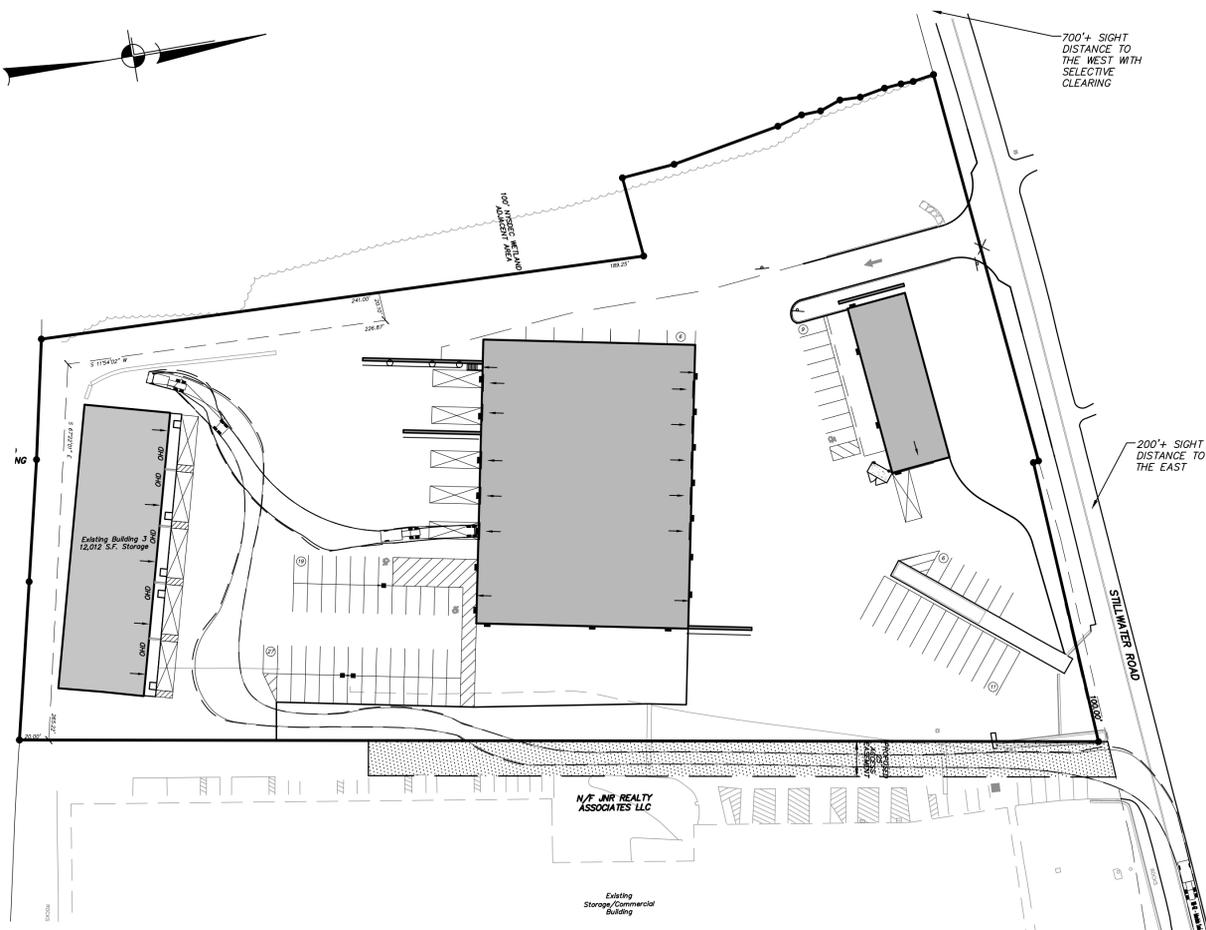
DRAWING:
EROSION AND SEDIMENT CONTROL PLAN

PROJECT NUMBER: 18189.100 PROJECT MANAGER: J.J.C.
 DATE: 6-26-20 DRAWN BY: C.B.Z.
 SCALE: 1" = 40' CHECKED BY: A.D.T.

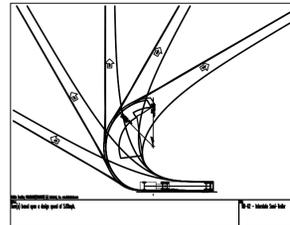
DRAWING NO. SHEET
 SP-3 4
 8



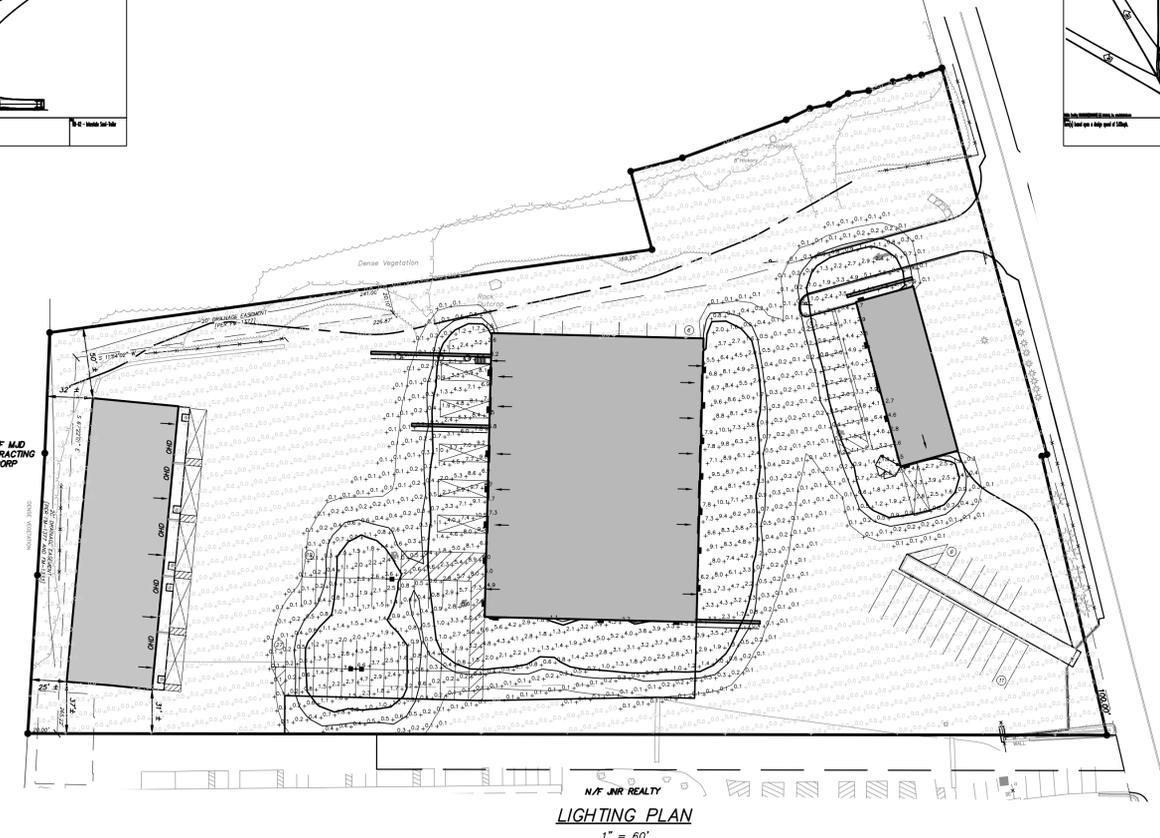
Z:\E\BIBBID04 SP-3.dwg 11/27/2020 8:50:32 AM eth/mrg.11



VEHICLE MANEUVERING PLAN WB-62
1" = 60'



VEHICLE MANEUVERING PLAN WB-62
1" = 60'



N/F JNR REALTY
LIGHTING PLAN
1" = 60'

D-Series Pole Mount LED Area Luminaire

Specifications
 Luminaire
 EPA: 5.8 ft
 Width: 13.5" (343 mm)
 Length: 31.5" (800 mm)
 Height: 100" (2540 mm)
 Weight: 14.0 lb (6.3 kg)

Introduction
 The D-Series Pole Mount Luminaire is a stylish, fully integrated LED solution for area and site applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optional control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 95% in energy savings over comparable 250W metal halide luminaires, the D-Series Pole Mount is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Ordering Information EXAMPLE: DSXWPM LED 20C 1000 40K TSM MVOLT SPUMBA DOBKD

| Item | Qty |
|--------|-----|--------|-----|--------|-----|--------|-----|--------|-----|
| DSXWPM | 100 |

ASW1 LED LED Wall Luminaire

Specifications
 Width: 13.5" (343 mm)
 Depth: 13.5" (343 mm)
 Height: 100" (2540 mm)
 Weight (max): 14.0 lb (6.3 kg)

Introduction
 The Asw1™ family combines sleek, fluid forms and crisp edges into a striking architectural aesthetic that can be echoed throughout entire sites.

The ASW1 LED integrates the latest LED technology with the design aesthetics of the Asw1™ family for stylish, high-performance illumination that lasts. The ASW1 LED is ideal for replacing 100-400W metal halide in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information EXAMPLE: ASW1 LED 42C 700 40K SR4 MVOLT DOBKD

Item	Qty	Item	Qty	Item	Qty	Item	Qty
ASW1	100	ASW1	100	ASW1	100	ASW1	100

LIGHT CONTOUR LEGEND

— 0.1 — 0.10 Foot Candles
 — 0.5 — 0.50 Foot Candles
 — 1 — 1.00 Foot Candles

* Photometric calculations shown on plan are in foot candles.

LUMINAIRE SCHEDULE

Sym	Qty	Catalog Number	Description	Lamp	Mounting Height	Watts
■	11	ASW1 LED 42C 700 40K SR3 MVOLT	LITHONIA LIGHTING LED WALL LUMINAIRE TYPE 3 DISTRIBUTION	LED	16'-0"	98
■	3	DSXWPM LED 20C 1000 30K TSM MVOLT	LITHONIA LIGHTING LED AREA LUMINAIRE TYPE 4 DISTRIBUTION	LED	16'-0"	98

NO.	DATE	GENERAL REVISION	REVISION	E.R.A.	BY
1	11-2-20				

INSITE
 ENGINEERING, SURVEYING &
 LANDSCAPE ARCHITECTURE, P.C.

3 Garrett Place
 Carmel, NY 10512
 (845) 225-9690
 (845) 225-9717 fax
 www.insite-eng.com

PROJECT:
STILLWATER BUSINESS PARK
 STILLWATER ROAD, TOWN OF CARMEL, COUNTY OF PUTNAM, NEW YORK

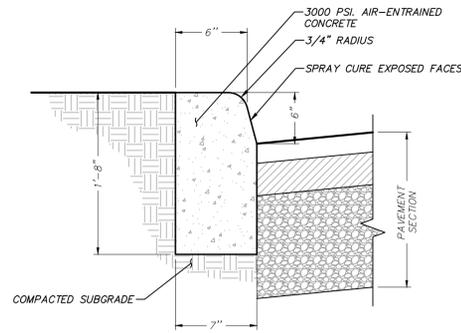
DRAWING:
LAYOUT AND LANDSCAPE PLAN

PROJECT NUMBER: 18189.100 PROJECT MANAGER: J.J.C.
 DATE: 8-7-20 DRAWN BY: A.D.T.
 SCALE: AS SHOWN CHECKED BY: J.C.C.

DRAWING NO. SHEET
SP-4 5
 8

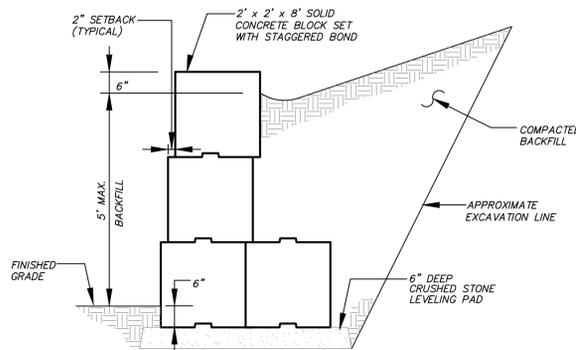
ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.



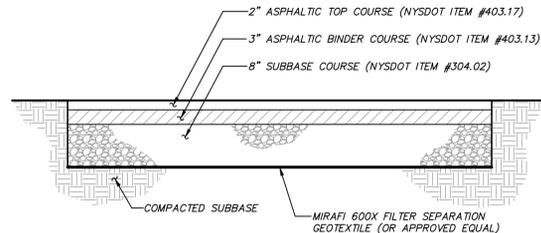


- NOTE:**
- ISOLATION JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20'-0" APART AND SHALL BE FILLED WITH CELLULAR COMPRESSION MATERIALS RECESSED 1/4" IN FROM FRONT FACE AND TOP OF CURB.
 - ALL CURBING WILL MEET THE STANDARDS §128 OF THE TOWN OF THE CARMEL CODE.

CONCRETE CURB DETAIL
(N.T.S.)

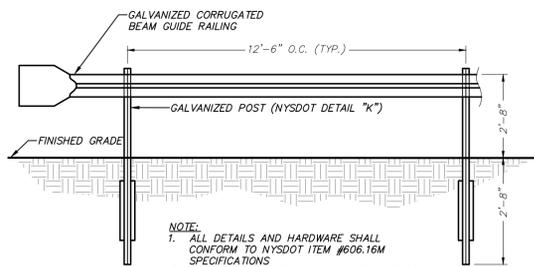


CONCRETE BLOCK WALL DETAIL
(N.T.S.)



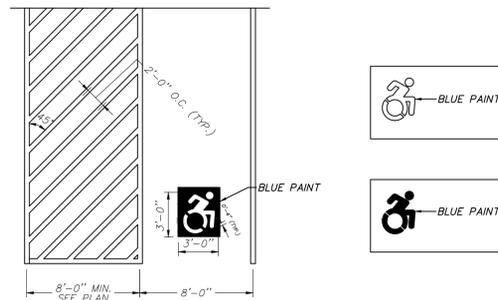
ASPHALT PAVEMENT DETAIL
(N.T.S.)

- NOTE:**
- ALL ASPHALT INSTALLATION WILL MEET THE STANDARDS OF § 128 OF THE TOWN OF CARMEL CODE.



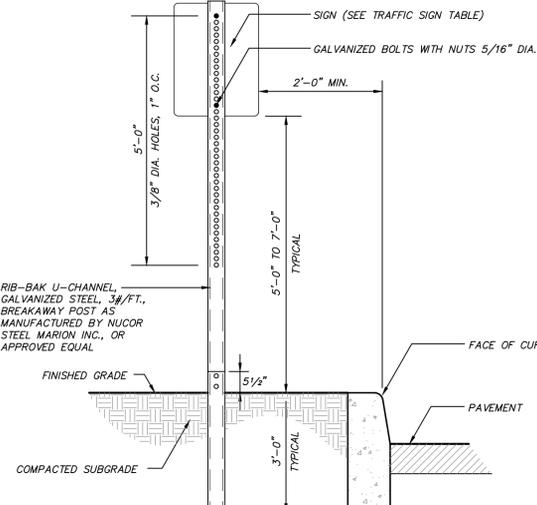
- NOTE:**
- ALL DETAILS AND HARDWARE SHALL CONFORM TO NYSDOT ITEM #606.16M SPECIFICATIONS.
 - ALL GUIDERAILS WILL MEET THE STANDARD OF §128 OF THE TOWN OF CARMEL CODE.

GUIDERAILL DETAIL
(N.T.S.)



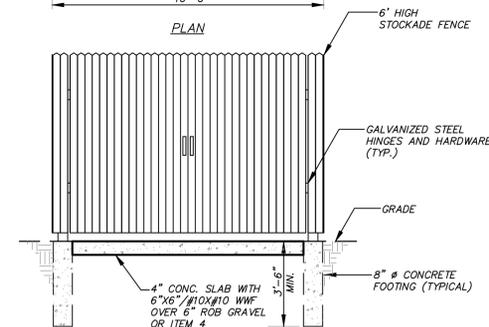
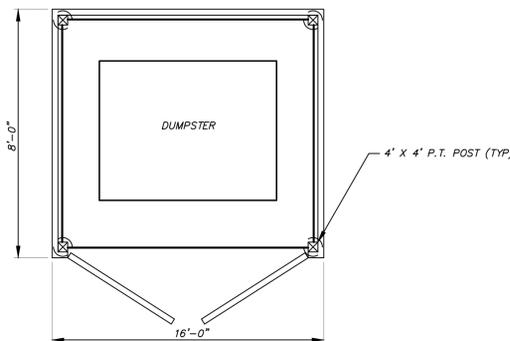
NOTE:
ALL HANDICAP STRIPING SHALL BE 4" WIDE BLUE PAINT.

PAINTED NYS ACCESSIBLE PARKING DETAIL
(N.T.S.)



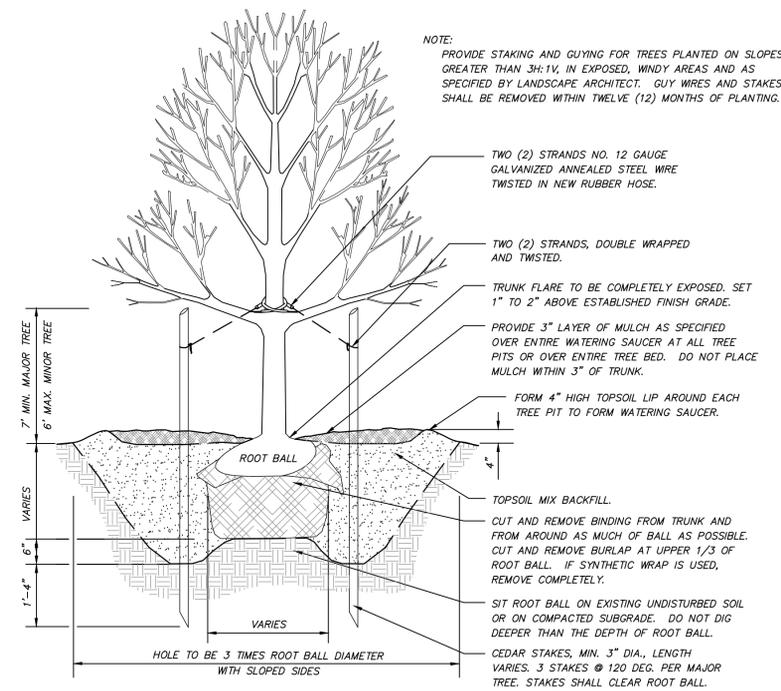
NOTE: FOR HANDICAP PARKING SIGNAGE, SIGNS SHALL BE INSTALLED AT A CLEAR HEIGHT OF BETWEEN 5'-0" AND 7'-0" ABOVE GRADE OF PARKING SPACE AND SUCH THAT SIGNS SHALL NOT BE OBTURED BY A VEHICLE PARKED IN THE SPACE.

TRAFFIC SIGN DETAIL
(N.T.S.)



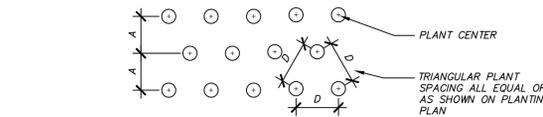
NOTE: CHECK WITH REFUSE HAULER PRIOR TO INSTALLATION OF REFUSE ENCLOSURE FOR DIMENSIONS.

DUMPSTER ENCLOSURE DETAIL
(N.T.S.)



NOTE:
PROVIDE STAKING AND GUYING FOR TREES PLANTED ON SLOPES GREATER THAN 3:1V, IN EXPOSED, WINDY AREAS AND AS SPECIFIED BY LANDSCAPE ARCHITECT. GUY WIRES AND STAKES SHALL BE REMOVED WITHIN TWELVE (12) MONTHS OF PLANTING.

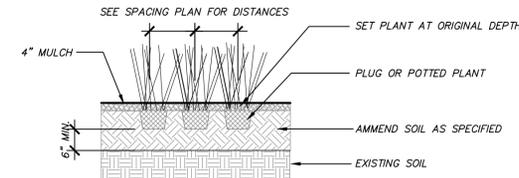
TREE PLANTING DETAIL
(N.T.S.)



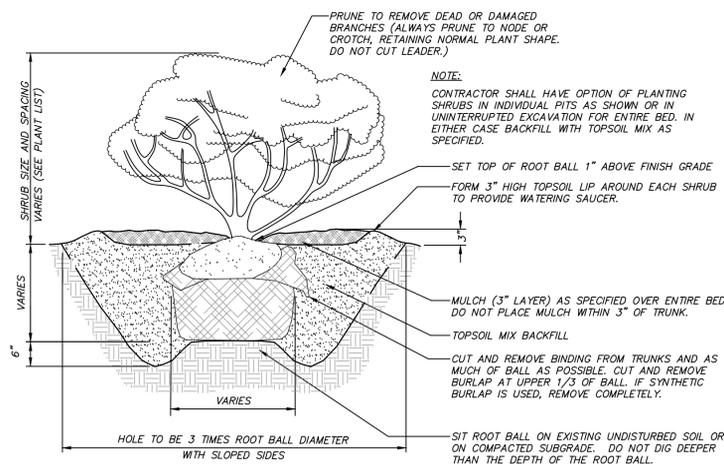
PLANT SPACING PLAN

SPACING "D"	ROW "A"	PLANTS PER SQ. FT.
18" O.C.	15.6"	0.50

NOTES:
PLANT QUANTITIES WERE DETERMINED BY MULTIPLYING AREA (SQ. FT.) BY NUMBER OF PLANTS PER SQ. FT. FOR REQUIRED SPACING.
QUANTITY OF PLANTS AND SPACING AS NOTED IN PLANTING SCHEDULE.



PERENNIAL / ORNAMENTAL GRASS PLANTING DETAIL
(N.T.S.)



SHRUB PLANTING DETAIL
(N.T.S.)

GENERAL SITE SEEDING NOTES:

- All proposed seeded areas to receive 4" min. depth of topsoil. Soil amendments and fertilizer application rates shall be determined based on specific testing of topsoil material.
- Upon final grading and placement of topsoil and any required soil amendments, areas to receive permanent vegetation cover in combination with suitable mulch as follows:
 - select seed mixture per drawings and seeding notes.
 - fertilizer applied at the manufacturer's recommended rate using Lesco 10-0-18 (no phosphorus) fertilizer or equivalent.
 - mulch: salt hay or small grain straw applied at a rate of 90 lbs./1000s.f. or 2 tons/acre, to be applied and anchored according to New York State Standards and Specifications for Erosion and Sediment Control, August 2005.
 - If the season prevents the establishment of a permanent vegetation cover, the disturbed areas will be mulched with straw or equivalent.
- Seed Mix #1 for all other disturbed areas. Primarily for lawn areas and mow strip along roads at a rate of 100 lbs. per acre:
 - Kentucky Bluegrass 20%
 - Creeping Red Fescue 40%
 - Perennial Ryegrass 20%
 - Annual Ryegrass 20%
- Seed mixes to be planted between March 21 and May 20, or between August 15 and October 15 or as directed by project representative.
- Mulch: Salt hay or small grain straw applied at a rate of 90 lbs./1000 S.F. or 2 tons/acre, to be applied and anchored according to "New York Standards and Specification For Erosion and Sediment Control," latest edition.
- Grass seed mix may be applied by either mechanical or hydroseeding methods. Seeding shall be performed in accordance with the current edition of the "NYSDOT Standard Specification, Construction and Materials, Section 610-3.02, Method No. 1". Hydroseeding shall be performed using materials and methods as approved by the site engineer.

GENERAL PLANTING NOTES:

- Tree removal, protection and planting shall be in accordance with Chapter 142 of the Town Code.
- All proposed planting beds to receive a 12" min. depth of topsoil. Soil amendments and fertilizer application rates shall be determined based on specific testing of topsoil material.
- Any new soils added will be amended as required by results of soil testing and placed using a method that will not cause compaction.
- No fertilizer shall be added in stormwater basin plantings. Nutrient requirements to be met by incorporation of acceptable organic matter.
- All plant material to be nursery grown.
- Plants shall conform with ANSI Z60.1 American Standard for Nursery Stock in all ways including dimensions.
- Plant material shall be taken from healthy nursery stock.
- All plants shall be grown under climate conditions similar to those in the locality of the project.
- Plants shall be planted in all locations designed on the plan or as staked in the field by the Landscape Architect.
- The location and layout of landscape plants shown on the site plan shall take precedence in any discrepancies between the quantities of plants shown on the plans and the quantity of plants in the Plant List.
- Provide a 3" layer of shredded pine bark mulch (or as specified) over entire watering saucer at all tree pits or over entire planting bed. Do not place mulch within 3" of tree or shrub trunks.
- All landscape plantings shall be maintained in a healthy condition at all times. Any dead or diseased plants shall immediately be replaced "in kind" by the contractor (during warranty period) or project owner.

2	11-2-20	GENERAL REVISION	E.R.A.
1	8-7-20	REVISED PER PLANNING BOARD COMMENTS	E.R.A.
NO.	DATE	REVISION	BY

INSITE
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.
3 Garrett Place
Carmel, NY 10512
(845) 225-9690
(845) 225-9717 fax
www.insite-eng.com

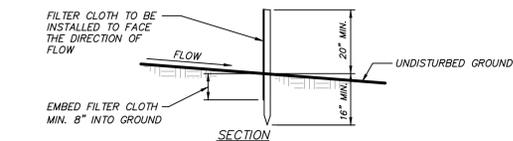
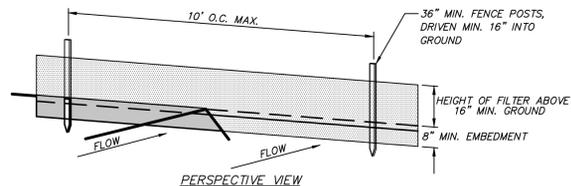
PROJECT: STILLWATER BUSINESS PARK		DRAWING: DETAILS	
PROJECT NUMBER 18189.100	PROJECT MANAGER J.J.C.	DRAWING NO. D-1	SHEET 6
DATE 6-26-20	DRAWN BY C.B.Z.	CHECKED BY A.D.T.	8
SCALE AS SHOWN			

EROSION & SEDIMENT CONTROL NOTES:

- The owner's field representative (O.F.R.) will be responsible for the implementation and maintenance of erosion and sediment control measures on this site prior to and during construction.
- All construction activities involving the removal or disposition of soil are to be provided with appropriate protective measures to minimize erosion and contain sediment disposition within. Minimum soil erosion and sediment control measures shall be implemented as shown on the plans and shall be installed in accordance with "New York Standards and Specifications For Erosion and Sediment Control," latest edition.
- Wherever feasible, natural vegetation should be retained and protected. Disturbance shall be minimized in the areas required to perform construction. No more than 5 acres of unprotected soil shall be exposed at any one time.
- When land is exposed during development, the exposure shall be kept to the shortest practical period of time. In the areas where soil disturbance activity has temporarily or permanently ceased, the application of soil stabilization measures must be initiated by the end of the next business day and completed within seven (7) days from the date the current soil disturbance activity ceased. Disturbance shall be minimized to the areas required to perform construction.
- Silt fence shall be installed as shown on the plans prior to beginning any clearing, grubbing or earthwork.
- All topsoil to be stripped from the area being developed shall be stockpiled and immediately seeded for temporary stabilization. Ryegrass (annual or perennial) at a rate of 30 lbs. per acre shall be used for temporary seeding in spring, summer or early fall. 'Aristook' Winter Rye (cereal rye) shall be used for temporary seeding in late fall and winter.
- Any disturbed areas not subject to further disturbance or construction traffic, permanent or temporary, shall have soil stabilization measures initiated for permanent vegetation cover in combination with a suitable mulch within 1 business day of final grading. All seeded areas to receive a minimum 4" screened topsoil from stockpile area. Seed mixes as noted in General Site Seeding Notes on drawing SP-1 are to be planted between March 21 and May 20, or between August 15 and October 15 or as directed by project representative.
- Cut or fill slopes 3:1 and steeper shall be stabilized immediately after grading with Curlex I Single Net Erosion Control Blanket, or approved equal.
- Paved roadways shall be kept clean at all times.
- The site shall at all times be graded and maintained such that all stormwater runoff is diverted to soil erosion and sediment control facilities.
- All storm drainage outlets shall be stabilized, as required, before the discharge points become operational.
- Stormwater from disturbed areas must be passed through erosion control barriers before discharge beyond disturbed areas or discharged into other drainage systems.
- Erosion and sediment control measures shall be inspected and maintained on a daily basis by the O.F.R. to insure that channels, temporary and permanent ditches and pipes are clear of debris, that embankments and berms have not been breached and that all straw bales and silt fences are intact. Any failure of erosion and sediment control measures shall be immediately repaired by the contractor and inspected for approval by the O.F.R. and/or site engineer.
- Dust shall be controlled by sprinkling or other approved methods as necessary, or as directed by the O.F.R.
- Cut and fills shall not endanger adjoining property, nor divert water onto the property of others.
- All fills shall be placed and compacted in 6" lifts to provide stability of material and to prevent settlement.
- The O.F.R. shall inspect downstream conditions for evidence of sedimentation on a weekly basis and after rainstorms.
- As warranted by field conditions, special additional erosion and sediment control measures, as specified by the site engineer and/or the Town Engineer shall be installed by the contractor.
- Erosion and sediment control measures shall remain in place until all disturbed areas are suitably stabilized.

REQUIRED SWPPP CONTENTS PER GP-0-20-001:

- Pursuant to the NYSDEC "SPDES General Permit for Stormwater Discharges from Construction Activity" (GP-0-20-001), all Stormwater Pollution Prevention Plan's (SWPPP) shall include erosion and sediment control practices designed in conformance with the most current version of the technical standard, "New York Standards and Specifications for Erosion and Sediment Control." Where erosion and sediment control practices are not designed in conformance with this technical standard, the owner or operator must demonstrate equivalence to the technical standard. The following list of required SWPPP components is provided in accordance with Part III.B.1a-1 of General Permit GP-0-20-001:
- Background Information:** The subject project consists of the demolition of an existing building, the relocation of an existing storage building, and the construction of a new 30,000sf footprint storage building. To accommodate these actions there will be some site grading, new pavement, and stormwater infiltration areas.
 - Site map / construction drawing:** These plans serve to satisfy this SWPPP requirement.
 - Description of the soils present at the site:** Onsite soils located within the proposed limits of disturbance consist of Woodbridge loam (WdB), and Paxton fine sandy loam (PnCL), as identified on the Soil Conservation Service Web Soil Survey. These soil types belong to the Hydrologic Soil Group "C" and "D".
 - Construction phasing plan / sequence of operations:** The Construction Sequence and phasing found on these plans provide the required phasing. A Construction Sequence and Erosion and Sediment Control Maintenance Schedule has been provided. The Erosion and Sediment Control Notes contained herein outline a general sequence of operations for the proposed project. In general all erosion and sediment control facilities shall be installed prior to commencement with land disturbing activities, and areas of disturbance shall be limited to the shortest period of time as practicable.
 - Description of erosion and sediment control practices:** This plan, and details / notes shown hereon serve to satisfy this SWPPP requirement.
 - Temporary and permanent soil stabilization plan:** The Sedimentation and Erosion Control Notes and Details provided herein identify temporary and permanent stabilization measures to be employed with respect to specific elements of the project, and at the various stages of development.
 - Site map / construction drawing:** This plan serves to satisfy this SWPPP requirement.
 - The dimensions, material specifications, installation details, and operation and maintenance requirements for all erosion and sediment control practices:** The details, Erosion and Sediment Control Notes, and Erosion and Sediment Control Maintenance Schedule serve to satisfy this SWPPP requirement.
 - An inspection schedule:** Inspections are to be performed twice weekly and by a qualified professional as required by the General Permit GP-0-20-001. In addition the NYSDEC Trained Contractor shall perform additional inspections as cited in the Sedimentation and Erosion Control Notes.
 - A description of pollution prevention measures that will be used to control litter, construction chemicals and construction debris:** In general, all construction litter / debris shall be collected and removed from the site. The general contractor shall supply either waste barrels or dumpsters for proper waste disposal. Any construction chemicals utilized during construction shall either be removed from site daily by the contractor or stored in a structurally sound and weatherproof building. No hazardous waste shall be disposed of onsite, and shall ultimately be disposed of in accordance with all federal, state and local regulations. Material Safety Data Sheets (MSDS), material inventory, and emergency contact numbers shall be maintained by the general contractor for all construction chemicals utilized onsite. Finally, temporary sanitary facilities (portable toilets) shall be provided onsite during the entire length of construction, and inspected weekly for evidence of leaking holding tanks.
 - A description and location of any stormwater discharges associated with industrial activity other than construction at the site:** There are no known industrial stormwater discharges present or proposed at the site.
 - Identification of any elements of the design that are not in conformance with the technical standard, "New York Standards and Specifications for Erosion and Sediment Control.":** All proposed elements of this SWPPP have been designed in accordance with the "New York Standards and Specifications for Erosion and Sediment Control."
2. Pursuant to the NYSDEC "SPDES General Permit for Stormwater Discharges from Construction Activity" (GP-0-20-001), all construction projects needing post-construction stormwater management practices shall prepare a SWPPP that also includes practices designed in conformance with the most current version of the technical standard, New York State Stormwater Management Design Manual ("Design Manual"). Where post-construction stormwater management practices are not designed in conformance with this technical standard, the owner or operator must demonstrate equivalence to the technical standard. The following list of SWPPP components is provided in accordance with Part III.B.2a-f and III.B.3:
- Identification of all post-construction stormwater management practices to be constructed as part of the project:** This plan, and details/notes shown hereon serve to satisfy this SWPPP requirement.
 - A site map/construction drawing(s) showing the specific location and size of each post-construction stormwater management practice:** This plan, and details/notes shown hereon serve to satisfy this SWPPP requirement.
 - A Stormwater Modeling and Analysis Report including pre-development conditions, post-development conditions, the results of the stormwater modeling, a summary table demonstrating that each practice has been designed in conformance with the sizing criteria, identification of and justification for any deviations from the Design Manual, and identification of any design criteria that are not required.** The required analysis is provided in the report titled Stormwater Pollution Prevention Plan for Stillwater Business Park.
 - Soil testing results and locations:** This SWPPP requirement is provided in the report titled Stormwater Pollution Prevention Plan for Stillwater Business Park.
 - Infiltration testing results:** This SWPPP requirement is provided in the report titled Stormwater Pollution Prevention Plan for Stillwater Business Park.
 - An operations and maintenance plan that includes inspection and maintenance schedules and actions to ensure continuous and effective operation of each post-construction stormwater management practice.** The plan shall identify the entity that will be responsible for the long term operation and maintenance of each practice. The Permanent Stormwater Facilities Maintenance Schedule provided on these plans serves to satisfy this requirement.
3. **Enhanced Phosphorus Removal Standards -** Beginning on September 30, 2008, all construction projects identified in Table 2 of Appendix B that are located in the watersheds identified in Appendix C shall prepare a SWPPP that includes post-construction stormwater management practices designed in conformance with the Enhanced Phosphorus Removal Standards included in the most current version of the technical standard, New York Stormwater Management Design Manual. At a minimum, the post-construction stormwater management practice component of the SWPPP shall include items 2.a - 2.f above. The permanent stormwater practices for this project have been sized according to chapter 10 of the Design Manual Enhanced Phosphorus Removal Standards. Please see 2.a - 2.f above.



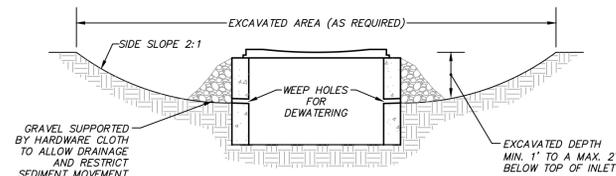
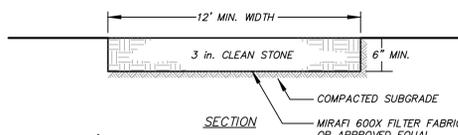
CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

- FILTER CLOTH TO BE FASTENED SECURELY TO POSTS AT TOP AND MID SECTION.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- POSTS: STEEL EITHER T OR U TYPE OR 2\"/>

FILTER CLOTH: FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUAL

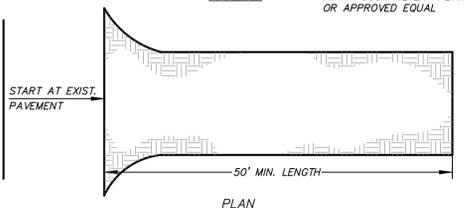
PREFABRICATED UNIT: GEOFAB, ENVIROFENCE, OR APPROVED EQUAL

SILT FENCE DETAIL (N.T.S.)



EXCAVATED DROP INLET PROTECTION DETAIL (N.T.S.)

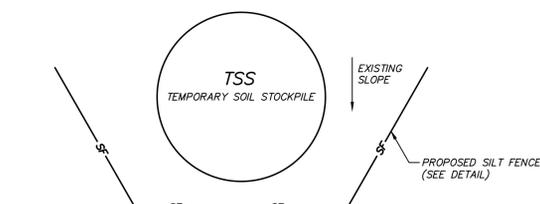
- CLEAR THE AREA OF ALL DEBRIS THAT WILL HINDER EXCAVATION
- GRADE APPROACH TO THE INLET UNIFORMLY AROUND THE BASIN
- WEEP HOLES SHALL BE PROTECTED BY GRAVEL
- UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA, SEAL WEEP HOLES, FILL EXCAVATION WITH STABLE SOIL TO FINAL GRADE, COMPACT IT PROPERLY, AND STABILIZE WITH PERMANENT SEEDING
- MAXIMUM DRAINAGE AREA = 1 ACRE



INSTALLATION NOTES

- STONE SIZE - USE 3" STONE
- LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.)
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 3:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
- WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE DETAIL (N.T.S.)



NOTES:

- AREA CHOSEN FOR STOCKPILE LOCATION SHALL BE DRY AND STABLE.
- MAXIMUM SLOPE OF STOCKPILE SHALL BE 2:1.
- UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE IMMEDIATELY SEEDDED WITH K31 PERENNIAL TALL FESCUE.
- ALL STOCKPILES SHALL BE PROTECTED WITH SILT FENCING INSTALLED ON THE DOWNGRADIENT SIDE.

TEMPORARY SOIL STOCKPILE DETAIL (N.T.S.)

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

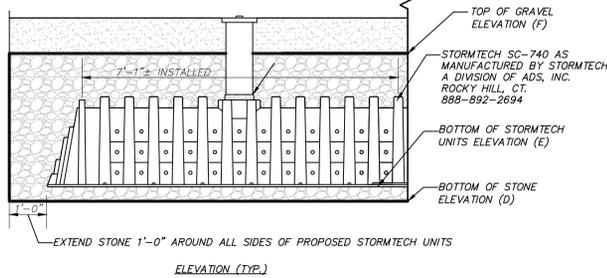
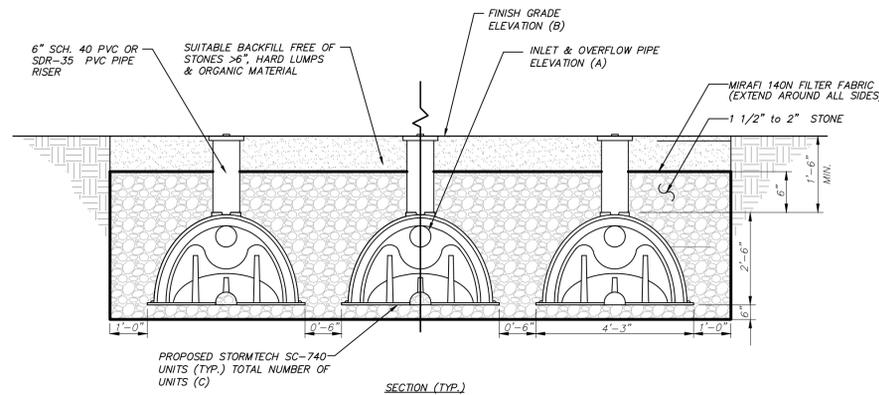
2	11-2-20	GENERAL REVISION	E.R.A.
1	8-7-20	REVISED PER PLANNING BOARD COMMENTS	E.R.A.
NO.	DATE	REVISION	BY

INSITE
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.
3 Garrett Place
Carmel, NY 10512
(845) 225-9690
(845) 225-9717 fax
www.insite-eng.com

PROJECT: STILLWATER BUSINESS PARK			
DRAWING: DETAILS			
PROJECT NUMBER	18189.100	PROJECT MANAGER	J.J.C.
DATE	6-26-20	DRAWN BY	C.B.Z.
SCALE	AS SHOWN	CHECKED BY	A.D.T.
DRAWING NO.	SHEET		
	D-2		7/8

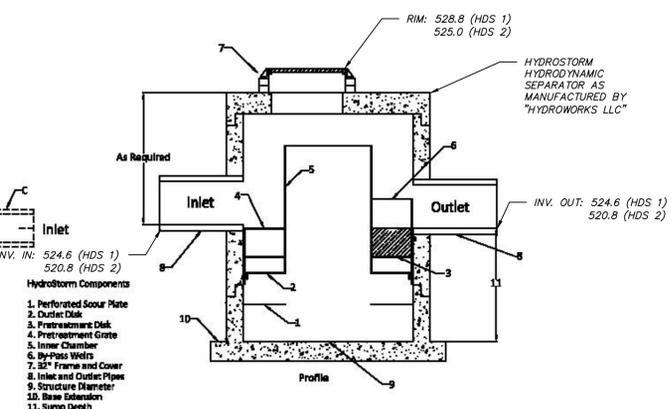
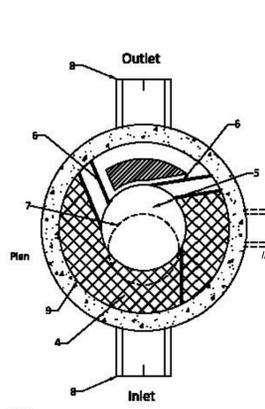
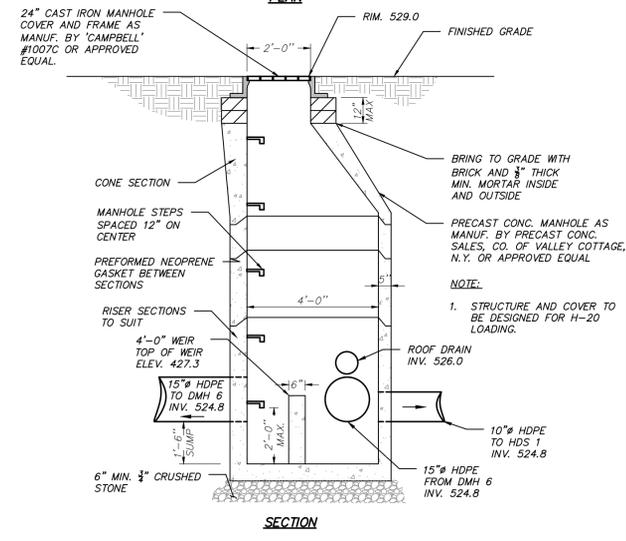
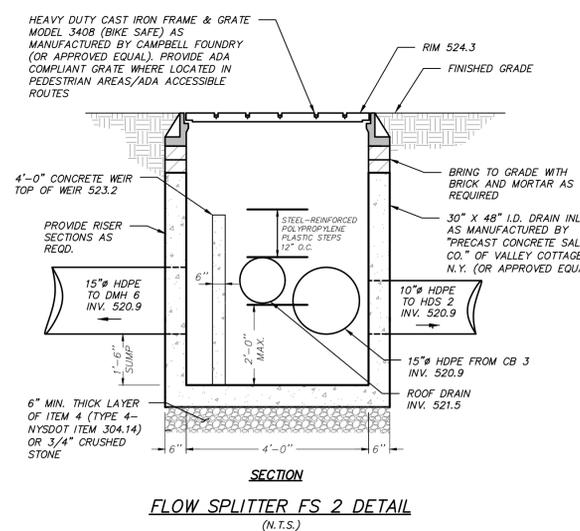
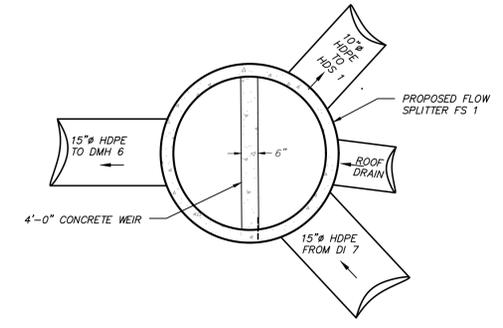
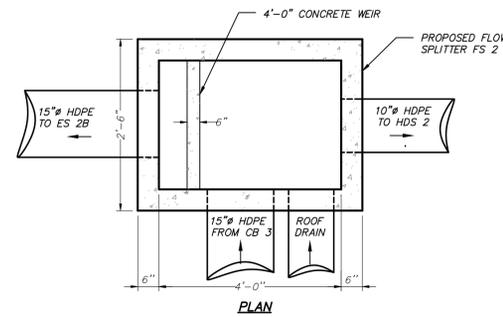


Z:\16\BIDDINGS\06 13 14\1172020 8 21 55 AM.dwg/eng 11



INFILTRATION SYSTEM	INLET/OVERFLOW PIPE ELEV. (A)	INLET PIPE SIZE	OUTLET PIPE SIZE	FINISHED GRADE ELEV. (B)	NUMBER OF UNITS (C)	BOTTOM OF STONE ELEV. (D)	BOTTOM OF UNIT ELEV. (E)	TOP OF GRAVEL ELEV. (F)
1.1P	IN 524.5 OUT 524.7	10"	8"	528.5-529.5	63 (7 ROWS OF 9)	522.8	523.3	526.3
1.2P	IN 520.7 OUT 520.9	10"	8"	526.0-527.5	55 (5 ROWS OF 11)	519.0	519.5	522.5

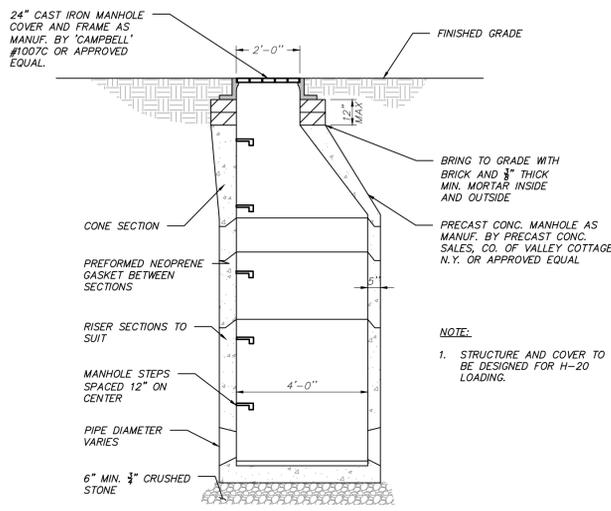
STORMWATER INFILTRATION SYSTEM 1.1P & 1.2P (NYSDEC DESIGN I-4) DETAIL
(N.T.S.)



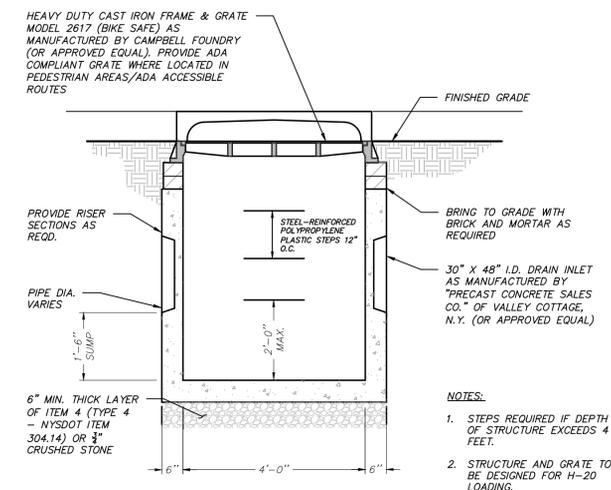
Model	Diameter (ft) (D)	Sump Depth (ft) (S)	Inner Chamber (ft) (I)	Max. Pipe (ft) (P)	Volume (gal)	Oil (gal)	Sediment (ft³)
HS 4	4	4	2	24	975	95	30
HS 5	5	4	2.5	30	585	155	45
HS 6	6	4	3	36	845	220	65

Notes:
 A. Use a headloss K factor of 1.04 for hydraulic gradient calculations.
 B. Sump depths shown are minimums. Additional depth can be added for site specific capacities.
 C. Multiple inlet pipes allowed.
 D. Slope allowed.
 E. Inlet invert elevations should be the same or higher than the outlet invert elevation. Inlet can be up to 12" lower than outlet if pretreatment area is certified but 12" must be added to sump depth to maintain overall treatment volume.
 F. Solid Cover shown. HydroStorm can be designed with an inlet grate if required.
 G. Oil capacities given are spill capacities. Oil should be removed from the unit once an oil depth of 2" or more is measured in the inner chamber.
 H. Sediment depths are maximum holding capacities and not recommended capacities for regular maintenance. Maintenance is recommended annually or once every 2 years.
 I. Capacities are rounded down to nearest 5 gal or ft³.
 HydroStorm by Hydroworks, LLC
 Patent Pending
 www.hydroworks.com
 888-290-7900

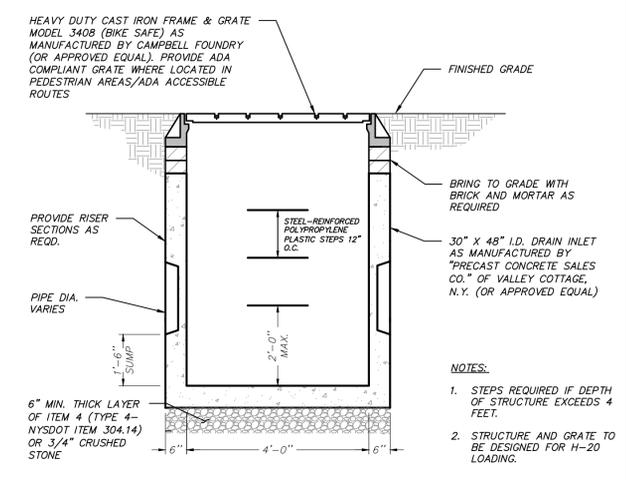
HYDRODYNAMIC SEPARATOR (HDS 1 & HDS 2) DETAIL
(N.T.S.)



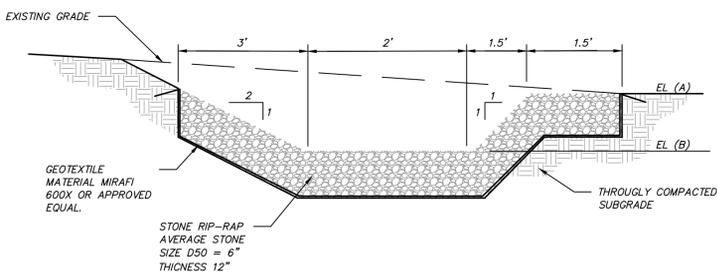
DRAINAGE MANHOLE DETAIL
(N.T.S.)



30" X 48" CATCH BASIN DETAIL
(N.T.S.)



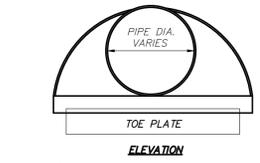
30" X 48" DRAIN INLET DETAIL
(N.T.S.)



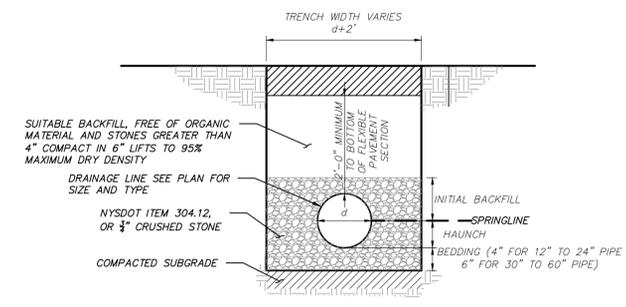
END SECTION ID	DRAINAGE AREA (ac)	100-YEAR PEAK FLOW (cfs)	LENGTH (ft.)	ELEVATION (A)	ELEVATION (B)
ES 2A & ES 2B	1.0	5.5	15	519.5	518.0
ES 5A & ES 5B	1.0	4.5	15	522.0	520.5

NOTE: THE LEVEL SPREADERS HAVE BEEN SIZED TO PROVIDE LESS THAN 0.5 CFS PER LINEAR FOOT IN ACCORDANCE WITH THE "NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL", LATEST EDITION.

LEVEL SPREADER DETAIL
(N.T.S.)



END SECTION DETAIL
(N.T.S.)



DRAINAGE LINE TRENCH DETAIL
(N.T.S.)

NO.	DATE	GENERAL REVISION	E.R.A.
1	11-2-20	REVISION	BY

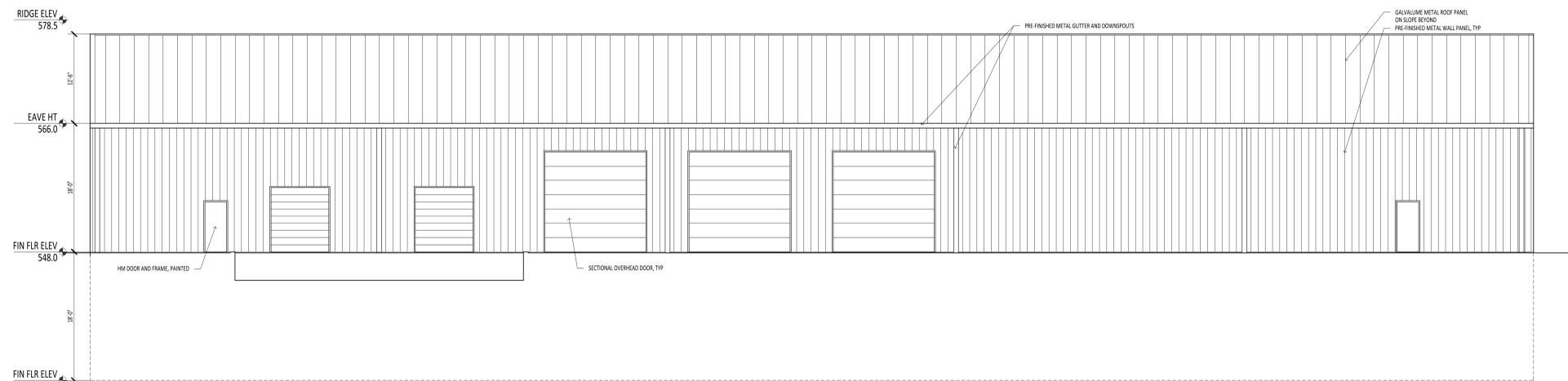
INSITE
 ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.
 3 Garrett Place
 Carmel, NY 10512
 (845) 225-9690
 (845) 225-9717 fax
 www.insite-eng.com

PROJECT: **STILLWATER BUSINESS PARK**
 STILLWATER ROAD, TOWN OF CARMEL, COUNTY OF PUTNAM, NEW YORK

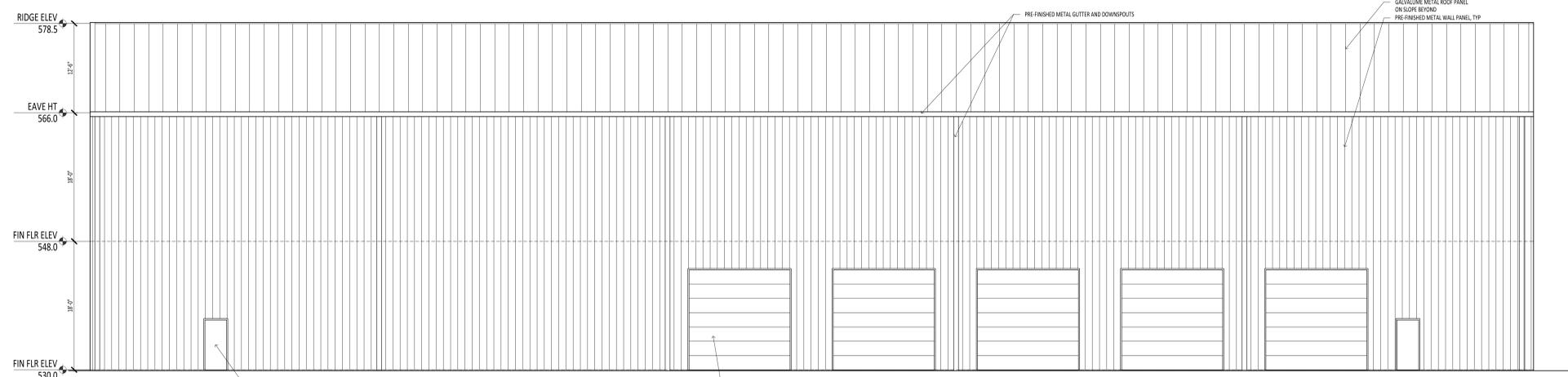
DRAWING: **DETAILS**

PROJECT NUMBER	PROJECT MANAGER	DRAWING NO.	SHEET
18189.100	J.J.C.	D-3	8
DATE	DRAWN BY	CHECKED BY	SCALE
10-28-20	E.J.P.	Z.M.P.	AS SHOWN

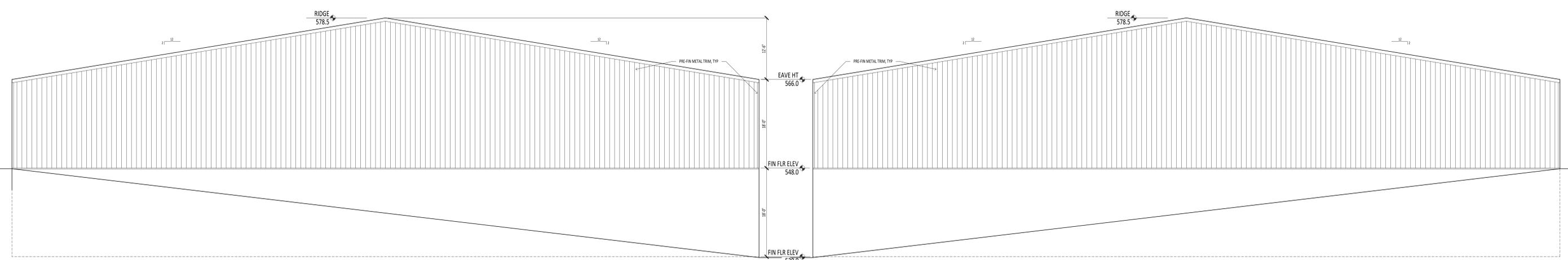




1 EAST ELEVATION
A1.3 1/8"=1'-0"



2 WEST ELEVATION
A1.3 1/8"=1'-0"



3 NORTH ELEVATION
A1.3 1/8"=1'-0"

4 SOUTH ELEVATION
A1.3 1/8"=1'-0"





November 2, 2020

Craig Paeprer Chairman & Members of the Planning Board
Town of Carmel
60 McAlpin Avenue
Mahopac, NY 10541

RE: The Mahoven LLC (Lubomir Kaneti)
737 South Lake Boulevard
TM #: 75.42-1-13

Dear Mr. Paeprer & Members of the Board,

Based on the comments from the October 21, 2020 meeting, please note the following.

1. We have eliminated the roof deck on top of the bathhouse.
2. We have reduced the height of the bathhouse as viewed from Route 6N. In order to do this, we had to provide a platform and two steps in the bathhouse to accommodate the lower grade at the back of the bathhouse and added 3 FT. to the depth of the bathhouse.
3. We have moved the support posts of the Pergola onto the property line to align with the fence on the East property line and adjusted the driveway so that there is a 4 FT. clear path from Route 6N to the Lake.

If you have any questions, please do not hesitate to contact me.

Very truly yours,

A handwritten signature in black ink that reads "Joel Greenberg". The signature is fluid and cursive, with the first and last letters of each word being capitalized and prominent.

Joel Greenberg, AIA, NACRB





TWO MUSCOOT ROAD NORTH
MAHOPAC, NY 10541
P 845-628-6613
F 845-628-2807
www.arch-visions.com

PERGOLA & BATHHOUSE FOR MAHOVEN, LLC

LUBOMIR KANETI

737 SOUTH LAKE BLVD. MAHOPAC, NY 10541

TAX MAP NO. 75.42-1-13

PROJECT NO. 05-20-050

DATE: 10/29/2020

DWG S-103



TWO MUSCOOT ROAD NORTH
MAHOPAC, NY 10541
P 845-628-6613
F 845-628-2807
www.arch-visions.com

PERGOLA & BATHHOUSE FOR MAHOVEN, LLC

LUBOMIR KANETI

737 SOUTH LAKE BLVD. MAHOPAC, NY 10541

TAX MAP NO. 75.42-1-13

PROJECT NO. 05-20-050

DATE: 10/29/2020

DWG S-102



October 28, 2020

Craig Paeprer, Carmel Planning Board Chairman & Members of the Board
Town Hall
60 McAlpin Ave
Carmel, NY 10512

RE: New Building for David Nicholas (Downtown Mahopac Properties, Inc.)
559 Route 6
Mahopac, NY 10541
TM# 75.12-2-26

Dear Mr. Paeprer and Members of the Board,

I respectfully request, on behalf of my client, a one-year extension of the Site Plan approval which expires in November. The only outstanding item was NYSDOT approval. I have attempted to contact Mr. Bentley and sent him revised drawings numerous times and have not been able to speak with him since last June.

If you have any questions, please do not hesitate to contact me.

Very truly yours,

Joel Greenberg, AIA, NACRB





October 9, 2020

Town of Carmel Planning Board
60 McAlpin Avenue
Mahopac, New York 10541

RE: Gateway Summit Senior Housing Lot 6
Gateway Drive
Tax Map No. 55.-2-24.6-1 & 55.-2-24.6-2

Dear Chairman Paepfer and Members of the Board:

As the Board is aware, approval for the subject project was regranted effective February 8, 2019, with a 1-year extension granted effective February 8, 2020 which will expire on February 8, 2021. As in the past, we are requesting regrant of approval in advance of the expiration of approval based on a request from the applicant's banks. We seek regrant of approval of the same site plan documents as previously approved without any modifications. Also note that there has been no substantial change in the condition of the site and/or its environs. Please place this item on the Board's upcoming October 21st, 2020 agenda for consideration of regrant of approval.

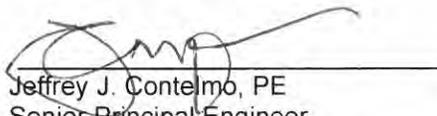
A check is enclosed for the \$3,000.00 application fee.

Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:


Jeffrey J. Contelmo, PE
Senior Principal Engineer

JJC/dlm

Enclosure

cc: Paul Camarda, CRI

Insite File No. 04232.106

CAMARDA REALTY INVESTMENTS LLC

1699 Route 6, Suite 1 Carmel, New York 10512 (845) 228-1400 FAX: (845) 228-5400

October 22, 2020

Carmel Planning Board
60 McAlpin Avenue
Mahopac, NY 10541

Re: Gateway- Fairways Rcapproval

Dear Chairman Paepfer and Members of the Board,

Hope everyone is well.

The pandemic hit the northeast in early March. Who would ever have thought that 8 months later we would still be in the middle of this with cases spiking in Europe and across our country.

The pandemic has really put a dark cloud over peoples lives, the banking, and business communities. Financing small business expansions and small building projects has been very difficult. Financing larger projects has been a nonstarter. One of the only bright spots in this economy is that existing homes and condos are selling to people who can afford a large down payment in order to get a mortgage.

The reality is that until people, the banking, and business industries see a return to some form of normalcy things will be on hold. Let's hope that by summer or fall next year Covid 19 will be in our rear view mirror. All we can do is hope that an effective vaccine is readily available to the public next year so things can start returning to normal again.

Thank you.



Paul Camarda



October 9, 2020

Town of Carmel Planning Board
60 McAlpin Avenue
Mahopac, New York 10541

RE: The Fairways Senior Housing Lot 7
Gateway Drive
Tax Map No. 55.2-24.8-1 & 55.2-24.7-2

Dear Chairman Paepfer and Members of the Board:

As the Board is aware, approval for the subject project was regranted effective February 8, 2019, with a 1-year extension granted effective February 8, 2020 which will expire on February 8, 2021. As in the past, we are requesting regrant of approval in advance of the expiration of approval based on a request from the applicant's banks. We seek regrant of approval of the same site plan documents as previously approved without any modifications. Also note that there has been no substantial change in the condition of the site and/or its environs. Please place this item on the Board's upcoming October 21st, 2020 agenda for consideration of regrant of approval.

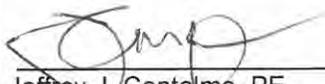
A check is enclosed for the \$3,000.00 application fee.

Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:



Jeffrey J. Contelmo, PE
Senior Principal Engineer

JJC/dlm

Enclosure

cc: Paul Camarda, CRI

Insite File No. 05140.100

CAMARDA REALTY INVESTMENTS LLC

1699 Route 6, Suite 1 Carmel, New York 10512 (845) 228-1400 FAX: (845) 228-5400

October 22, 2020

Carmel Planning Board
60 McAlpin Avenue
Mahopac, NY 10541

Re: Gateway- Fairways Rcapproval

Dear Chairman Pacrprer and Members of the Board,

Hope everyone is well.

The pandemic hit the northeast in early March. Who would ever have though that 8 months later we would still be in the middle of this with cases spiking in Europe and across our country.

The pandemic has really put a dark cloud over peoples lives, the banking, and business communities. Financing small business expansions and small building projects has been very difficult. Financing larger projects has been a nonstarter. One of the only bright spots in this economy is that existing homes and condos are selling to people who can afford a large down payment in order to get a mortgage.

The reality is that until people, the banking, and business industries see a return to some form of normalcy things will be on hold. Let's hope that by summer or fall next year Covid 19 will be in our rear view mirror. All we can do is hope that an effective vaccine is readily available to the public next year so things can start returning to normal again.

Thank you.



Paul Camarda



October 28, 2020

Town of Carmel Planning Board
60 McAlpin Avenue
Mahopac, New York 10541

RE: The Hamlet at Carmel
Stoneleigh Avenue
Tax Map No. 66.-2-58

Dear Chairman Paepfer and Members of the Board:

The subject project is located on the site adjacent to the Putnam Hospital Center on Stoneleigh Avenue. The Board voted to re-approve the Final Site Plan approval for the project effective January 27, 2020, which will expire on January 27, 2021. There has been no substantial change in the condition of the site and/or its environs. There has been no change to the site plans or the proposed project. All outside agency approvals for the project are current.

The applicant requests a 1 year extension of the Final Site Plan approval. Please place this item on the Board's upcoming November 12, 2020 meeting agenda for consideration of an extension of the approval.

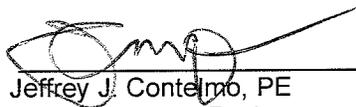
A check is enclosed for the \$2,000.00 fee.

Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:



Jeffrey J. Contelmo, PE
Senior Principal Engineer

JJC/dlm

Enclosures

cc: Ken Kearney

Insite File No. 14211.100