

CRAIG PAEPRER
Chairman

ANTHONY GIANNICO
Vice Chairman

BOARD MEMBERS
RAYMOND COTE
ROBERT FRENKEL
VICTORIA CAUSA
JOHN NUCULOVIC

TOWN OF CARMEL
PLANNING BOARD



60 McAlpin Avenue
Mahopac, New York 10541
Tel. (845) 628-1500 – Ext.190
www.ci.carmel.ny.us

MICHAEL CARNAZZA
*Director of Code
Enforcement*

RICHARD FRANZETTI, P.E.
Town Engineer

PATRICK CLEARY,
AICP, CEP, PP, LEED AP
Town Planner

PLANNING BOARD AGENDA
MARCH 22, 2023– 7:00 P.M.

TAX MAP # PUB. HEARING MAP DATE COMMENTS

SITE PLAN

- | | | | |
|---|---------------|---------|-------------------|
| 1. PGI, LLC Endoscopy Center – 667 Stoneleigh Ave | 66.15-1-3 | 11/4/23 | Amended Site Plan |
| 2. Diamond Point Development, LLC – 4 Baldwin Pl | 86.10-1-2 & 3 | 3/8/23 | Site Plan |

PUBLIC HEARING

- | | | | | |
|---|------------------|---------|---------|--|
| 3. Glenacom Lake Cell Tower – Walton Drive | 87.5-1-90 | 3/22/23 | 3/3/23 | Continuation of Open Public Hearing (Special Permit & Site Plan) |
| 4. Willow Wood Country Club, Inc. – 551 Union Valley Road | 87.7-1-6, 7 & 11 | 3/22/23 | 2/13/22 | Amended Site Plan |



March 13, 2023

Craig Paeprer, Chairman and Members of the Carmel Planning Board
60 McAlpin Ave
Mahopac, NY 10541

RE: Site Plan for PGI, LLC Endoscopy Center
Revise Footprint for Staircase Addition
667 Stoneleigh Avenue
Carmel, NY 10512
TM#: 66.15-1-3

Dear Mr. Paeprer and the Members of the Carmel Planning Board,

In reviewing the footprint of the second means of egress staircase, the agency that controls this medical practice requested a slight change in the footprint, which added to the approved footprint. This change in the footprint did not affect the Site Plan i.e. parking and the sidewalk did not change.

Therefore, I would appreciate it on behalf of my client if you could approve this minor change to the footprint of the addition, which will not affect the Site Plan at your meeting on Wednesday, March 22nd. The agency that controls the medical practice has given them a deadline, which if not met could affect their medicare services and payment.

Thank you in advance for your interest in cooperation for this matter.

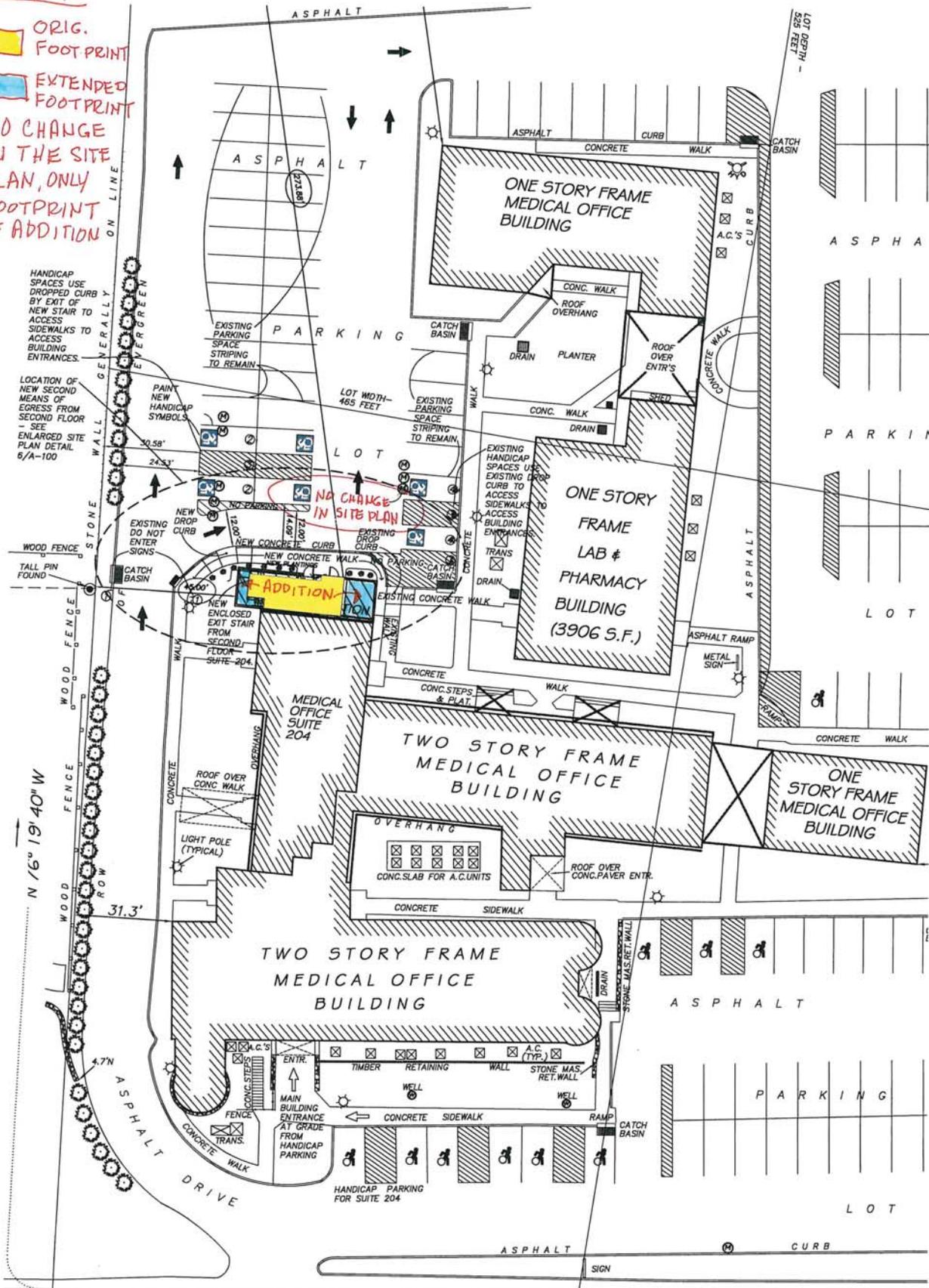
Very truly yours,

Joel Greenberg, AIA, NACRB



KEY

- ORIG. FOOTPRINT
 - EXTENDED FOOTPRINT
- NO CHANGE IN THE SITE PLAN, ONLY FOOTPRINT OF ADDITION



HANDICAP SPACES USE DROPPED CURB BY EXIT OF NEW STAIR TO ACCESS SIDEWALKS TO ACCESS BUILDING ENTRANCES.

LOCATION OF NEW SECOND MEANS OF EGRESS FROM SECOND FLOOR - SEE ENLARGED SITE PLAN DETAIL 6/A-100

NO CHANGE IN SITE PLAN

ADDITION

N 16° 19' 40" W

S 10° 28' 50" W

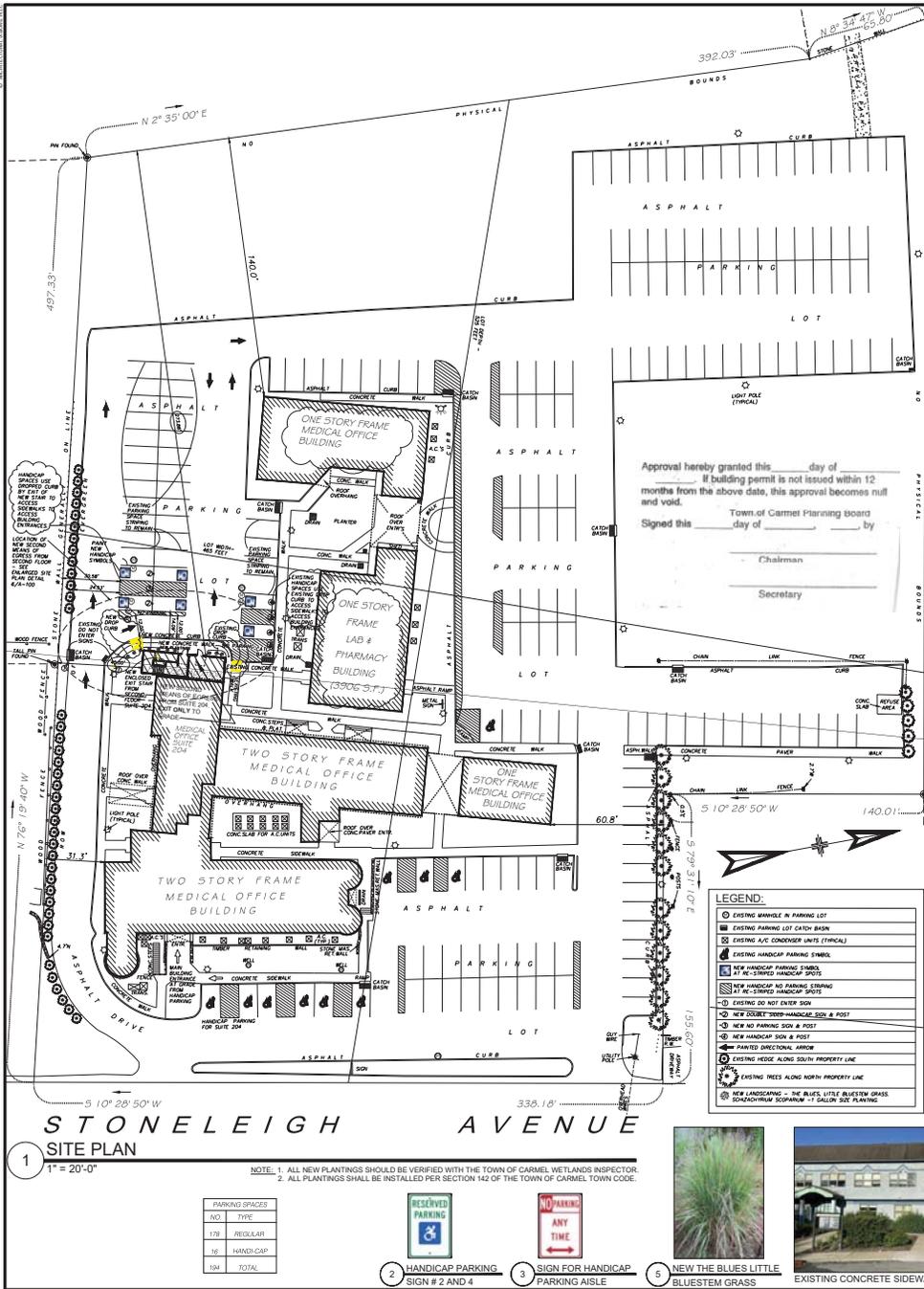
338.18'

STONELEIGH AVENUE

1 SITE PLAN

1" = 20'-0"

NOTE: 1. ALL NEW PLANTINGS SHOULD BE VERIFIED WITH THE TOWN OF CARMEL W
 2. ALL PLANTINGS SHALL BE INSTALLED PER SECTION 142 OF THE TOWN OF C



LEGEND:

- 1. EXISTING MANHOLE IN PARKING LOT
- 2. EXISTING PARKING LOT CATCH BASIN
- 3. EXISTING A/C CONDENSER UNITS (TYPICAL)
- 4. EXISTING LANDSCAP PARKING FURNISH
- 5. 16' X 32' HANDICAP PARKING SPOTS
- 6. 8' X 16' HANDICAP PARKING SPOTS
- 7. EXISTING DO NOT ENTER SIGN
- 8. NEW DO NOT ENTER SIGN & POST
- 9. NEW HANDICAP SIGN & POST
- 10. NEW PAINTED DIRECTIONAL ARROW
- 11. EXISTING HOOD ALONG SOUTH PROPERTY LINE
- 12. NEW HANDICAPING OF THE BLUES LITTLE BLUESTEM GRASS

DRAWING LIST:

- AS-100 SITE PLAN - SECOND MEANS OF EGRESS - SUITE 204
- EX-100 EXISTING FLOOR PLAN - SUITE 204
- EG-100 EGRESS PLAN - SUITE 204
- A-100 NEW SECOND MEANS OF EGRESS - SUITE 204 & ENLARGED SITE PLAN
- A-200 EXTERIOR ELEVATIONS & SECTION

APPROVAL HEREBY GRANTED _____ day of _____, 2015
 if building permit is not issued within 12 months from the above date, this approval becomes null and void.
 Signed this _____ day of _____, 2015 by _____
 Chairman
 Secretary

LOCATION PLAN
NO SCALE

DRAWING LIST:

AS-100	SITE PLAN - SECOND MEANS OF EGRESS - SUITE 204
EX-100	EXISTING FLOOR PLAN - SUITE 204
EG-100	EGRESS PLAN - SUITE 204
A-100	NEW SECOND MEANS OF EGRESS - SUITE 204 & ENLARGED SITE PLAN
A-200	EXTERIOR ELEVATIONS & SECTION

SITE DATA NOTES:

- OWNER: 667 STONELEIGH AVE, CARMEL, NY 12012
- ZONE: C
- PROPOSED PROJECT USE: NEW SECOND MEANS OF EGRESS FROM SECOND FLOOR MEDICAL OFFICE - SUITE 204
- TAX MAP NO., SECTION, BLOCK, LOT: 66.15, 1, 3
- WATER SEWER: PUBLIC WATER/SEWER

STRUCTURAL DESIGN LOADS:

DESIGN LOADS: FLOOR LIVE LOAD = 40 psf
 SNOW LOADING: GROUND SNOW LOAD = 50 psf
 WIND LOADING: BASIC WIND SPEED = 110 mph
 WIND EXPOSURE CATEGORY: C

SEISMIC DESIGN: SEISMIC DESIGN CATEGORY: D1
 SITE CLASS: D
 SEISMIC USE GROUP: I

ZONING CHART

ITEM	REQUIRED	EXISTING	VARIANCES REQUIRED
GROSS SITE AREA (MIN)	40,000 SQFT	223,295 SQFT	NONE
LOT DEPTH (MIN)	200 FT.	325 FT.	NONE
LOT WIDTH (MIN)	200 FT.	455 FT.	NONE
FRONT YARD (MIN)	40 FT.	55 FT.	NONE
SIDE YARD NORTH (MIN)	25 FT.	60.8 FT.	NONE
SIDE YARD SOUTH (MIN)	25 FT.	31.3 FT.	NONE
REAR YARD (MIN)	30 FT.	140 FT.	NONE
HEIGHT (MAX)	35 FT.	30 FT.	NONE
FLOOR AREA OF BLDG	5,000 SQFT	27,700 SQFT	NONE
LOT COVERAGE	30%	7.6%	NONE
PARKING	MEDICAL* = 170 P.S. PHARMACY & LAB: (3,000) 200 S.F. = 20 P.S. TOTAL PARKING = 190 P.S.	194 P.S.	NONE

* MEDICAL - 34 DOCTORS @ 4 P.S. EACH = 136 P.S.
 34 EMPLOYEES @ 1 P.S. EACH = 34 P.S.
 TOTAL MEDICAL = 170 P.S.

ARCHITECTURAL VISIONS

2 MAUSCOOT ROAD NORTH
 MAHPAC NY, 10541
 P-845-628-6613
 F-845-628-2807

PROJECT: PGI, LLC
 ENDOSCOPY CENTER - SUITE 204
 PROJECT ADDRESS: 667 STONELEIGH AVE, SUITE 204 BANE AS PROJECT ADDRESS
 CARMEL, NY 12012
 TAX MAP NO. 66.15-1-3-201

SITE PLAN - SECOND MEANS OF EGRESS - SUITE 204

RESERVANCE	NO.	DATE	BY
AS-100	1	01/22/2015	JAG

SCALE: AS NOTED
 DRAWN BY: PGI/JAG
AS-100
 PROJECT NO. 01/22/2015

EXISTING REAR ELEVATION
EXISTING SIDE ELEVATION
EXISTING DO NOT ENTER - ONE WAY SIGNS

LEGEND:

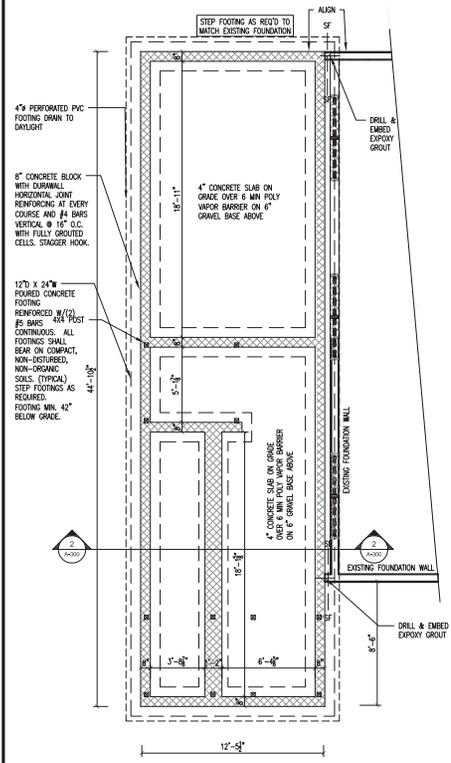
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LEGEND:

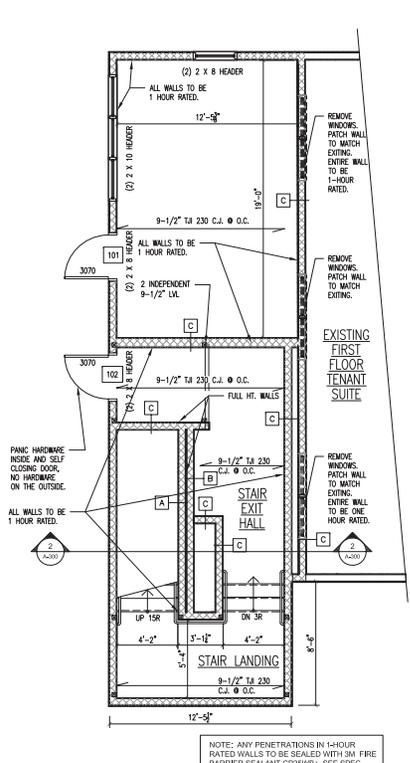
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IT IS A VIOLATION OF STATE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO SEAL OR ALTER THE SEAL OF AN ARCHITECT IN ANY MANNER OR TO SEAL OR ALTER THE SEAL OF AN ARCHITECT OTHER THAN THE ARCHITECT WHO DESIGNED THE SAME. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THESE PLANS AND DOCUMENTS FROM UNAUTHORIZED REVISIONS OR ALTERATIONS.

DATE PLOTTED: 11/11/2024 10:58:11 AM

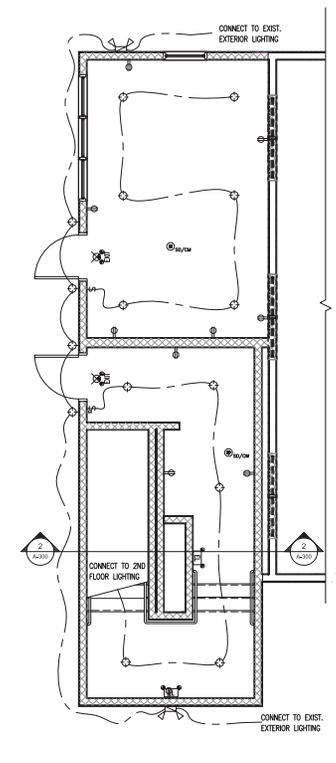


1 PROPOSED FOUNDATION PLAN
1/4"=1'-0"

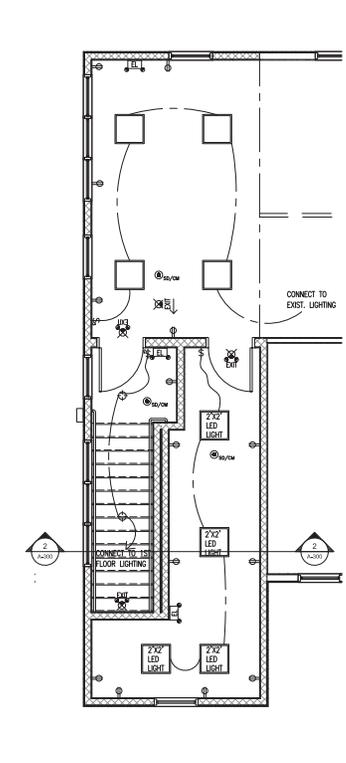


2 PROPOSED FIRST FLOOR STAIR ADDITION
1/4"=1'-0"

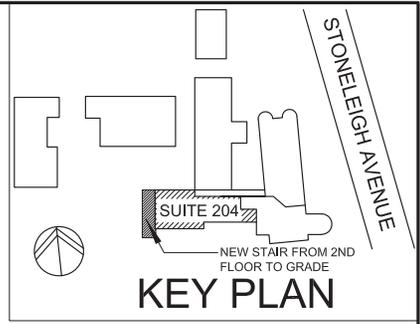
NOTE: ANY PENETRATIONS IN 1-HOUR RATED WALLS TO BE SEALED WITH 3M FIRE BARRIER SEALANT CP25WB+. SEE SPEC SHEET ON DRAWING A-100



3 PROPOSED FIRST FLOOR ELECTRICAL PLAN
1/4"=1'-0"



4 PROPOSED SECOND FLOOR ELECTRICAL PLAN
1/4"=1'-0"



FIRE BARRIER SEALANT TO SEAL AROUND ANY PENETRATIONS IN 1-HOUR RATED WALLS. (TYPICAL)

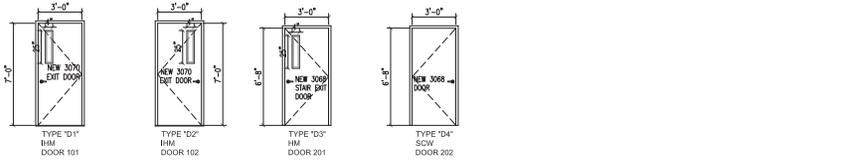
3M® Fire Barrier Sealant CP 25WB+
Product Data Sheet

1. Product Description
3M Fire Barrier Sealant CP 25WB+ is a high-performance fire barrier sealant used to seal around penetrations in 1-hour rated walls. It is formulated with a fire-retardant resin and a fire-retardant filler to provide fire resistance. It is used to seal around penetrations in 1-hour rated walls, such as doors, windows, and other openings. It is used to seal around penetrations in 1-hour rated walls, such as doors, windows, and other openings.

2. Applications
High performance fire barrier sealant for use around penetrations in 1-hour rated walls. It is used to seal around penetrations in 1-hour rated walls, such as doors, windows, and other openings. It is used to seal around penetrations in 1-hour rated walls, such as doors, windows, and other openings.

3. Specifications
3M Fire Barrier Sealant CP 25WB+ is a high-performance fire barrier sealant used to seal around penetrations in 1-hour rated walls. It is formulated with a fire-retardant resin and a fire-retardant filler to provide fire resistance. It is used to seal around penetrations in 1-hour rated walls, such as doors, windows, and other openings.

DOOR AND FRAME SCHEDULE														
MARK	DOOR			FRAME				FIRE RATING LABEL	No. SET	No. REFUSE ON No.	NOTES			
	WD	HGT	THK	MATL	TYPE	GLAZING	MATL					EL	HEAD	JAMB
101	3'-0"	7'-0"	1 3/4"	INSULATED HOLLOW METAL (IHM)	D1	4" x 20"	HOLLOW METAL	--	--	--	1-HR	--	--	SELF CLOSING DOOR, POSITIVE LATCHING AND PANIC HORIZONTAL RELEASE
102	3'-0"	7'-0"	1 3/4"	INSULATED HOLLOW METAL (IHM)	D2	4" x 20"	HOLLOW METAL	--	--	--	1-HR	--	--	SELF CLOSING DOOR, POSITIVE LATCHING AND PANIC HORIZONTAL RELEASE
201	3'-0"	6'-8"	1 3/4"	HOLLOW METAL (HM)	D3	4" x 20"	HOLLOW METAL	--	--	--	1-HR	--	--	SELF CLOSING DOOR, POSITIVE LATCHING AND PANIC HORIZONTAL RELEASE
202	3'-0"	6'-8"	1 3/4"	SOLID CORE WOOD (SCW)	D4	NO	HOLLOW METAL	--	--	--	1-HR	--	--	SELF CLOSING DOOR, POSITIVE LATCHING AND PANIC HORIZONTAL RELEASE



5 DOOR TYPES

GENERAL NOTES

ALL EXIT SIGNS, MUST HAVE A 90 MINUTE BACKUP BATTERY LIGHTING. AS WELL AS EXIT SIGNS ON THE WALL WITH BRAIL. FIRE ALARM SYSTEM STATION UNDER SIGN AND NEAR DOOR, WHICH MUST BE TIED INTO EXISTING FIRE SYSTEM. (NEEDS 2 EXTRA SPRINKLER HEADS FOR STORAGE)

ELECTRICAL SYMBOLS

- ⊕ DUPLEX CONVENIENCE OUTLET
- ⊕ GROUND FAULT INTERRUPTER
- ⊕ HALF SWITCHED D.C.O.
- ⊕ WALL TOGGLE SWITCH
- ⊕ THREE POLE SWITCH
- ⊕ RECESSED LED DOWN LIGHT FIXTURE
- ⊕ WALL MOUNTED LED LIGHT FIXTURE
- ⊕ IN-WALL THERMOSTAT
- ⊕ EXTERIOR FLOOD LIGHT
- ⊕ COMBINATION SMOKE/CARBON MONOXIDE DETECTOR
- ⊕ FLUORESCENT FIXTURE
- ⊕ EXIT LIGHT/EMERGENCY LIGHT COMBO
- ⊕ EMERGENCY LIGHT

ARCHITECTURAL VISIONS
2 MILSCOOD ROAD NORTH MAHOOPAC NY, 10541
P: 845-629-6613 F: 845-629-2807

PROJECT: PGI, LLC ENDOSCOPY CENTER - SUITE 204
PROJECT ADDRESS: 87 STONELEIGH AVENUE
CANTON, NY 16013

FOUNDATION AND ELECTRICAL PLANS

SCALE: AS NOTED
DRAWN BY: JED
PROJECT NO.: 1020001

A-100

IF IT IS A VIOLATION OF STATE LAW FOR ANY PERSON OTHER THAN THE ARCHITECT OR A LICENSED ARCHITECT TO ALTER OR REPRODUCE THESE PLANS OR DOCUMENTS OR ANY PART THEREOF, THE ARCHITECT AND ARCHITECTURE FIRM SHALL BE RESPONSIBLE FOR ANY SUCH VIOLATION. THE ARCHITECT AND ARCHITECTURE FIRM SHALL NOT BE RESPONSIBLE FOR ANY SUCH VIOLATION. THE ARCHITECT AND ARCHITECTURE FIRM SHALL NOT BE RESPONSIBLE FOR ANY SUCH VIOLATION.

- **Main Office**
445 Hamilton Avenue
White Plains, NY 10601
Phone 914.946.4777
Fax 914.946.6868
- **Mid-Hudson Office**
200 Westage Business Center
Fishkill, NY 12524
Phone 845.896.0120
- **New York City Office**
99 Madison Avenue
New York, NY 10016
Phone 646.794.5747

March 8, 2023

Chairperson Craig Paepfer
and Members of the Town of Carmel Planning Board
60 McAlpin Avenue
Mahopac, New York 10541

JENNIFER L. GRAY
Member
jgray@kblaw.com
Also Admitted in CT

Re: Diamond Point Development, LLC - Self Storage & Retail
4 Baldwin Place (Tax Map Nos. 86.10-1-2 & 86.10-1-3)

Dear Chairperson Paepfer and Planning Board Members:

Keane & Beane, P.C. respectfully submits the enclosed applications for Site Plan and Subdivision (lot merger) approval on behalf of Diamond Point Development, LLC (the "Applicant"), as contract vendee, for the construction of nine self-storage buildings and a 1,100 sq.ft. office building for leasing and administration (the "Project"). The subject property is located at 4 Baldwin Place further known and designated as Tax Map Nos. 86.10-1-2 (0.67 acres) in the Commercial (C) Zoning District and 86.10-1-3 (29.86 acres) in the Commerce/Business Park Zoning District (collectively, the "Property"). The Property is the location of the abandoned Mahopac Farm.

The Project has been carefully designed in recognition of its location as one of the gateways to the Town of Carmel. The Project will be an improvement from the existing run-down, fire-stricken buildings of the former Mahopac Farm with particular attention paid to incorporating attractive landscaping and architectural elements.

The Project is proposed to be split into two phases. Seven of the nine proposed self-storage buildings, along with the office, are proposed to be constructed in the first phase of the Project. The two largest buildings at the northern end of the Property would be constructed in a future phase. For purposes of the Planning Board's review, information regarding both phases is presented in the application submission.

Access to the Property will be provided from existing curb cuts on U.S. Route 6 and Baldwin Place Road and the accompanying report prepared by Colliers Engineering & Design confirms that the proposed self-storage facility is projected to generate very low traffic volume. Water and sewer service will be provided through a proposed drilled private well and a private septic system. Further, a Stormwater Pollution Prevention Plan has been prepared and designed to meet all applicable requirements

Chairperson Craig Paepre
and Members of the Town of Carmel Planning Board
March 7, 2023
Page 2

of the Town of Carmel, NYS Department of Environmental Conservation and NYS
Department of Environmental Protection.

In support of this application please find enclosed the following materials:

- 1) Application Forms and Fees
- 2) SEQRA Short Environmental Assessment Form
- 3) Site Plan Drawings
- 4) Stormwater Pollution Prevention Plan
- 5) Traffic Report, prepared by Colliers Engineering & Design
- 6) Architectural plans, elevations, and renderings
- 7) Deeds

We look forward to discussing the enclosed applications with the Planning Board at
its next available meeting.

Thank you for your consideration.

Very truly yours,



Jennifer L. Gray

JLG/
Encls.

cc: Diamond Point Development, LLC
Insite Engineering
Colliers Engineering & Design
Mahopac Fire Department

Memorandum

To: Aaron Sommer, Jason Sommer,
Diamond Point Development

cc: Adam Thyberg, Richard Williams,
Insite Engineering, Surveying & Landscape Architecture, P.C.

From: Philip J. Grealy, Ph.D., P.E.
Richard G. D'Andrea, P.E., PTOE

Date: March 7, 2023

Subject: DPD - Self Storage
4 Baldwin Place Road, Town of Carmel, Putnam County, New York

Project No.: 23003348A

Collier's Engineering & Design has conducted a preliminary traffic review for the DPD Self Storage project ("the Project") to be located at 4 Baldwin Place Road in the Town of Carmel, Putnam County, New York. The Project is proposed to consist of approximately 377,600 sq. ft. of Self Storage space along with an approximately 1,100 sq. ft. office/retail building that will serve as the leasing office and supplies sales for the self-storage facility. Based on the Concept Plan prepared by Insite Engineering, Surveying & Landscape Architecture, P.C., the Project is proposed to be accessed via driveway connections to U.S. Route 6 north of the existing Mobil gas station and to Baldwin Place Road in the vicinity of Kennard Road.

The following provides a description of the tasks undertaken and the findings of our preliminary review of the Project.

Site Access

The site access driveways were reviewed relative to current state and local design guidelines to determine the appropriate configurations for the driveways.

The proposed driveway connection to U.S. Route 6 is located approximately at the location of the existing driveway curb cut located immediately north of the existing Mobil gas station driveway and approximately 160 ft. north of the stop bar location on the Route 6 southbound approach at the Route 118/Baldwin Place Road intersection. Due to the proximity of the driveway to the Route 118/Baldwin Place Road intersection and the existing traffic volumes passing this location along Route 6, the proposed driveway should be configured to permit right turn entry and right turn exit only movements at this location. The driveway should be constructed with a raised channelization island and appropriate "No Left Turn" (MUTCD Sign No. R3-2) in order to restrict left turn movements

at this location. This driveway location and its final configuration will require the review and approval of the New York State Department of Transportation (NYSDOT) and a NYSDOT Highway Work Permit will need to be obtained for the construction of the driveway.

The proposed driveway to Baldwin Place Road is currently identified to be located in generally the same location as the existing access driveway to the Mahopac Farm property that currently occupies the Site. This driveway location is immediately adjacent to an existing driveway to the Mobil gas station and generally opposite Kennard Road which intersects Baldwin Place Road at a skewed angle. Based on our review of the existing traffic volumes along Baldwin Place Road, the proximity of this driveway to U.S. Route 6, queuing that is known to be experienced from the U.S. Route 6 intersection, as well as the other conflicting movements created by the Kennard Road intersection and the gas station driveway, consideration should be given to shifting this driveway approximately 200 – 250 ft. west of its existing location. Shifting the driveway to the west, further from the Route 6 intersection, will better allow this driveway to accommodate left turn entering and exiting movements.

Project Traffic Generation

Estimates of the amount of traffic to be generated by the Project during typical weekday AM, weekday PM and Saturday Peak Hours as well as on a daily basis were developed based on information published by the Institute of Transportation Engineers (ITE) as contained in the report entitled “Trip Generation”, 11th Edition, 2021, utilizing data for Land Use Category 151 – Mini-Warehouse. The ITE description for Land Use 151 indicates that “A mini-warehouse is a building in which a number of storage units or vaults are rented for the storage of goods. They are typically referred to as “self-storage” facilities. Each unit is physically separated from other units, and access is usually provided through an overhead door or other common access point.” The traffic generation estimates for each of the peak hours and the estimated daily traffic generation are summarized in the Table below.

Project Traffic Generation Estimates – ITE Land Use 151: Mini-Warehouse

	Entry Volume	Exit Volume	Total
Weekday AM Peak Hour	20	14	34
Weekday PM Peak Hour	27	30	57
Saturday Peak Hour	40	24	64
Weekday Daily Traffic	275	274	549

Review of U.S. Route 6/NYS Route 118/Baldwin Place Road Intersection

Traffic volume data recently collected by our office for the intersection of U.S. Route 6 at NYS Route 118 and Baldwin Place Road was reviewed and compared to the anticipated traffic generation for the Project. Based on our review of the Project location, site access configurations as discussed above and knowledge of the area, it is estimated that approximately of 65-75% of the Project generated traffic will travel through this intersection during each of the peak hours. The below table summarizes the existing traffic volume data for the intersection during the Weekday AM Peak Hour,

Weekday PM Peak Hour and Saturday Peak Hour. In addition, the table summarizes the estimated Project generated traffic volumes by movement for each of the peak hours.

U.S. Route 6/NYS Route 118/Baldwin Place Road Intersection Traffic Volumes

Approach/Movement		Weekday AM Peak Hour Volumes		Weekday PM Peak Hour Volumes		Saturday Peak Hour Volumes	
		Existing	Project Generated	Existing	Project Generated	Existing	Project Generated
Baldwin Place Road Eastbound	Left	107	5	144	9	156	8
	Thru	185	3	105	6	89	5
	Right	111	---	89	---	137	---
NYS Route 118 Westbound	Left	130	---	164	---	151	---
	Thru	47	4	197	6	89	8
	Right	19	---	65	---	90	---
U.S. Route 6 Northbound	Left	60	7	127	10	142	14
	Thru	425	---	643	---	675	---
	Right	169	---	112	---	135	---
U.S. Route 6 Southbound	Left	24	---	44	---	49	---
	Thru	551	5	492	11	554	9
	Right	64	---	150	---	132	---
Total		1892	24	2332	42	2399	44

As summarized in the table, the Project is expected to increase the traffic volumes at the U.S. Route 6/NYS Route 118/Baldwin Place Road intersection by 44 vehicles or less during each of the peak hours. This equates to a less than 2.0% increase in traffic volumes over existing conditions during each of the peak hours and would not be expected to have a significant impact on traffic operations at this intersection. Furthermore, the Project traffic generation is less than the NYSDOT and ITE threshold of 100 site generated trips through any one intersection approach for meeting off-site intersection analysis. This guidance was developed as a tool to identify locations where the magnitude of traffic generated has the potential to impact operations at off-site intersections and screen out locations from requiring detailed analysis that do not reach the 100-vehicle threshold indicating that additional detailed intersection analysis is not needed and that the site generated traffic will be accommodated by the existing roadway network.

Notwithstanding the above, it is known that the U.S. Route 6/NYS Route 118/Baldwin Place Road intersection experiences peak hour delays especially along the Baldwin Place Road approach during the weekday morning and afternoon peak periods. Therefore, a further detailed intersection capacity analysis of this intersection along with analysis of the site access intersections is planned to be conducted as part of a forthcoming full Traffic Impact Study that will be submitted to the Town at a later date.



TOWN OF CARMEL SITE PLAN APPLICATION INSTRUCTIONS



The Town of Carmel Planning Board meetings are held twice a month, on the second **Thursday** and fourth **Wednesday**, at 7:00 PM at Carmel Town Hall, 60 McAlpin Avenue, Carmel

The submission deadline is 10 days prior to the Planning Board meeting. New site plan applications that have been deemed complete will be placed on the agenda in the order they are received.

No application will be placed on the agenda that is incomplete

Pre-Submission:

Prior to the formal submission of the site plan, a pre-submission conference may be requested by the applicant to be conducted with representatives from the Town, which may include the Town Planner, Town Engineer, Director of Code Enforcement and/or the Planning Board Attorney. This conference will serve to educate the applicant on the process he/she must follow, clarify the information required to submit a complete site plan application, and to highlight any specific areas of concern. You may arrange a pre-submission conference through the Planning Board Secretary at (845) 628-1500 extension 190.

Submission Requirements:

At least 10 days prior to the Planning Board meeting, the site plan application shall be submitted to the Planning Board Secretary as follows:

All site plans shall be signed, sealed and folded with the title box legible. The application package shall include:

- 5 copies of the Site Plan Application Form, signed and notarized.
- 5 copies of the SEQR Environmental Assessment Form (use of short form or long form shall be determined at pre-submission conference).
- 5 full size sets of the Site Plan (including floor plans and elevations)
- 1 CD (in pdf. format) containing an electronic version of the Site Plan
- 2 copies of the Disclosure Statement
- 5 copies of the Site Plan Completeness Certification Form
- All supplemental studies, reports, plans and renderings.
- 2 copies of the current deed.
- 2 copies of all easements, covenants and restrictions.
- The appropriate fee, determined from the attached fee schedule. Make checks payable to the *Town of Carmel*.

Rose Grubel 3/13/23
Planning Board Secretary; Date

Rubino J. [Signature] 5-13-23
Town Engineer; Date



TOWN OF CARMEL SITE PLAN APPLICATION



Per Town of Carmel Code – Section 156 - Zoning

SITE IDENTIFICATION INFORMATION		
Application Name: Diamond Point Development	Application # 23-0002	Date Submitted: 3/8/23
Site Address: No. 4 <i>Street:</i> Baldwin Place Rd <i>Hamlet:</i> Mahopac		
Property Location: <i>(Identify landmarks, distance from intersections, etc.)</i> Corner of Baldwin Place Road and US Route 6		
Town of Carmel Tax Map Designation: <i>Section</i> 86.10 <i>Block</i> 1 <i>Lot(s)</i> 2 & 3	Zoning Designation of Site: Commercial / Business Park & Commercial	
Property Deed Recorded in County Clerk's Office <i>Date</i> <i>Liber</i> 637/689 <i>Page</i> 365/203	Liens, Mortgages or other Encumbrances Yes <input checked="" type="radio"/> No	
Existing Easements Relating to the Site <input checked="" type="radio"/> No Yes <i>Describe and attach copies:</i>	Are Easements Proposed? <input checked="" type="radio"/> No Yes <i>Describe and attach copies:</i>	
Have Property Owners within a 500' Radius of the Site Been Identified? <input checked="" type="radio"/> Yes No <i>Attached List to this Application Form</i>		
APPLICANT/OWNER INFORMATION		
Property Owner: Bernad Creations Ltd.	Phone #: Fax#:	Email:
Owners Address: <i>No.</i> 124 <i>Street:</i> Ridge Road <i>Town:</i> Montgomery <i>State:</i> NY <i>Zip:</i> 12549		
Applicant (If different than owner): Diamond Point Development	Phone #: 404-421-6646 Fax#:	Email: asommer@diamondpointdevelopment.com
Applicant Address (If different than owner): <i>No.</i> 880 <i>Street:</i> Marietta Highway, Suite 630-243 <i>Town:</i> Roswell <i>State:</i> GA <i>Zip:</i> 30075		
Individual/ Firm Responsible for Preparing Site Plan: Richard D. Williams, Jr., P.E., Insite Engineering	Phone #: 845-225-9690 Fax#: 845-225-9717	Email: rwilliams@insite-eng.com
Address: <i>No.</i> 3 <i>Street:</i> Garrett Place <i>Town:</i> Carmel <i>State:</i> NY <i>Zip:</i> 10512		
Other Representatives: Jennifer Gray, Esq., Keane & Beane, PC	Phone #: 914-946-4777 Fax#: 914-946-6868	Email: jgray@kblaw.com
Owners Address: <i>No.</i> 445 <i>Street:</i> Hamilton Avenue <i>Town:</i> White Plains <i>State:</i> NY <i>Zip:</i> 10601		
PROJECT DESCRIPTION		
Describe the project, proposed use and operation thereof: The applicant proposes to construct nine self-storage buildings, which would be constructed on tax map lot number 86.10-1-2, which is in the C/BP zone. Additionally, the applicant proposes an 1,110 sf+- office building for leasing and administration, on tax map lot number 86.10-1-3, which is in the C zone. The office and seven of the self storage buildings would be constructed as the first phase of the project. The two largest buildings shown at the northern end of the site would be constructed in a future phase of construction. Access to the site will be provided via the existing curb cuts on US Route 6 and Baldwin Place Road with a new internal driveway network being constructed. One identification sign is proposed on US Rt-6 and one is proposed on Baldwin Place Road. A proposed drilled well and septic system will service the project. A Stormwater Pollution Prevention Plan has been designed that will meet the requirements of the Town of Carmel, NYSDEC, and NYCDEP.		

TOWN OF CARMEL SITE PLAN APPLICATION

PROJECT INFORMATION		
Lot size: Acres: 30.0 & 0.7	1,309,956 & 30,572 Square Feet:	Square footage of all existing structures (by floor):
# of existing parking spaces: 0 Formalized	# of proposed parking spaces: 58	
# of existing dwelling units: 2	# of proposed dwelling units: 0	
Is the site served by the following public utility infrastructure:		
<ul style="list-style-type: none"> ▪ Is project in sewer district or will private septic system(s) be installed? <u>Private Septic</u> ▪ If yes to Sanitary Sewer answer the following: <ul style="list-style-type: none"> ▶ Does approval exist to connect to sewer main? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> ▶ Is this an in-district connection? _____ Out-of district connection? <u>NA</u> ▶ What is the total sewer capacity at time of application? _____ ▶ What is your anticipated average and maximum daily flow _____ 		
For Town of Carmel Town Engineer		
<ul style="list-style-type: none"> ▶ What is the sewer capacity <u>Not applicable RJP 3/13/23</u> 		
<ul style="list-style-type: none"> ▪ Water Supply Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> Private Wells 		
If Yes: <ul style="list-style-type: none"> ▶ Does approval exist to connect to water main? Yes: <input type="checkbox"/> No: <input type="checkbox"/> ▶ What is the total water capacity at time of application? _____ ▶ What is your anticipated average and maximum daily demand _____ 		
<ul style="list-style-type: none"> ▪ Storm Sewer Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> ▪ Electric Service Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> ▪ Gas Service Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> • Telephone/Cable Lines Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> 		
For Town of Carmel Town Engineer		
Water Flows <u>Not applicable</u> Sewer Flows <u>Not applicable</u> <u>Richard J. Moch 3-13-23</u> Town Engineer; Date		
What is the predominant soil type(s) on the site? PnB, PnC, PnD		What is the approximate depth to water table? 200 cm+
Site slope categories: 15-25% <u>17</u> % 25-35% <u>6</u> % >35% <u>4</u> %		
Estimated quantity of excavation: Cut (C.Y.) <u>TBD</u> Fill (C.Y.) <u>TBD</u>		
Is Blasting Proposed Yes: <input type="checkbox"/> No: <input type="checkbox"/> Unknown: <input checked="" type="checkbox"/>		
Is the site located in a designated Critical Environmental Area? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>		
Does a curb cut exist on the site? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>		Are new curb cuts proposed? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
What is the sight distance? Left <u>No Change</u> Right <u>No Change</u>		
Is the site located within 500' of:		
<ul style="list-style-type: none"> • The boundary of an adjoining city, town or village Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> • The boundary of a state or county park, recreation area or road right-of-way Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> • A county drainage channel line. Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> • The boundary of state or county owned land on which a building is located Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> 		

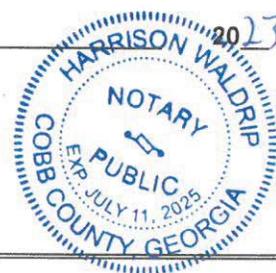
TOWN OF CARMEL SITE PLAN APPLICATION

Is the site listed on the State or Federal Register of Historic Place (or substantially contiguous) Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Is the site located in a designated floodplain? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Will the project require coverage under the Current NYSDEC Stormwater Regulations Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
Will the project require coverage under the Current NYCDEP Stormwater Regulations Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
Does the site disturb more than 5,000 sq ft	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>
Does the site disturb more than 1 acre	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>
Does the site contain freshwater wetlands? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Jurisdiction: NYSDEC: <input type="checkbox"/> Town of Carmel: <input type="checkbox"/> N/A	
<i>If present, the wetlands must be delineated in the field by a Wetland Professional, and survey located on the Site Plan.</i>	
Are encroachments in regulated wetlands or wetland buffers proposed? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Does this application require a referral to the Environmental Conservation Board?	Yes: <input type="checkbox"/> No: <input type="checkbox"/>
Does the site contain waterbodies, streams or watercourses?	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
Are any encroachments, crossings or alterations proposed?	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
Is the site located adjacent to New York City watershed lands?	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
Is the project funded, partially or in total, by grants or loans from a public source? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Will municipal or private solid waste disposal be utilized? Public: <input type="checkbox"/> Private: <input checked="" type="checkbox"/>	
Has this application been referred to the Fire Department?	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>
What is the estimated time of construction for the project? Phase 1: 9/23-6/24 Phase 2: TBD	

ZONING COMPLIANCE INFORMATION

Zoning Provision	C/BP Required C		C/BP Existing C		C/BP Proposed C	
Lot Area	3 ac	40,000 sf	40,000 sf		1,340,528 sf	
Lot Coverage	40%	40% office	30%		40%	
Lot Width	200'	200'	200'		971'	
Lot Depth	200'	200'	200'		1,290'	
Front Yard	50'	40'	23'±	N/A	191'	112'
Side Yard	40'	25'	125'±	N/A	45'	81'
Rear Yard	40'	30'	1,055'±	N/A	54'	N/A
Minimum Required Floor Area	5,000 sf	5,000 sf	Unknown		377,600 sf	1,110 sf
Floor Area Ratio	X	X	N/A		N/A	N/A
Height	40'	35' (60 office)	Unknown		26'±	<60'
Off-Street Parking	Sched 156-42	Sched 156-42	0 Formalized		52	6
Off-Street Loading	Sched 156-42	Sched 156-42	0 Formalized		24	0

TOWN OF CARMEL SITE PLAN APPLICATION

Will variances be required? Yes: <input type="checkbox"/> No: <input type="checkbox"/>	If yes, identify variances:
PROPOSED BUILDING MATERIALS	
Foundation	Reinforced Concrete
Structural System	Steel
Roof	Metal
Exterior Walls	EIFS / Stone Veneer & Metal
APPLICANTS ACKNOWLEDGEMENT	
I hereby depose and certify that all the above statements and information, and all statements and information contained in the supporting documents and drawings attached hereto are true and correct.	
<u>Jason Sommer</u> Applicants Name	 Applicants Signature
Sworn before me this <u>6th</u> day of <u>March</u> 20 <u>23</u>	
 Notary Public	



TOWN OF CARMEL SITE PLAN COMPLETENESS CERTIFICATION FORM



All Site Plans submitted to the Planning Board for review shall include the following information and details, as set forth in Section 156-61 B of the Town of Carmel Zoning Ordinance.

This form shall be included with the site plan submission

	<i>Requirement Data</i>	<i>To Be Completed by the Applicant</i>	<i>Waived by the Town</i>
1	Name and title of person preparing the site plan	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
2	Name of the applicant and owner (if different from applicant)	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
3	Original drawing date, revision dates, scale and north arrow	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
4	Tax map, block and lot number(s), zoning district	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
5	All existing property lines, name of owner of each property within a 500' radius of the site	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
6	Contour lines at two-foot intervals, grades of all roads, driveways, sanitary and storm sewers	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7	The location of all water bodies, streams, watercourses, wetland areas, wooded areas, rights-of-way, streets, roads, highways, railroads, buildings, structures	✓ <input checked="" type="checkbox"/>	<input type="checkbox"/>
8	The location of all existing and proposed easements	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9	The location of all existing and proposed structures, their use, setback dimensions, floor plans, front, side and rear elevations, buildable area.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10	On site circulation systems, access, egress ways and service roads, emergency service access and traffic mitigation measures	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11	Sidewalks, paths and other means of pedestrian circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12	On-site parking and loading spaces and travel aisles with dimensions	<input checked="" type="checkbox"/>	<input type="checkbox"/>
13	The location, height and type of exterior lighting fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>
14	Proposed signage	<input checked="" type="checkbox"/>	<input type="checkbox"/>
15	For non-residential uses, an estimate of the number of employees who will be using the site, description of the operation, types of products sold, types of machinery and equipment used	<input checked="" type="checkbox"/>	<input type="checkbox"/>



CERTIFICATION FORM

Requirement Data	To Be Completed by the Applicant	Waived by the Town
16 The location of clubhouses swimming pools open spaces parks or other recreational areas and identification of who is responsible for maintenance	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17 The location and design of buffer areas screening or other landscaping including grading and water management A comprehensive landscaping plan in accordance with the Tree Conservation Law	<input checked="" type="checkbox"/>	<input type="checkbox"/>
18 The location of public and private utilities maintenance responsibilities trash and garbage areas	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19 A list certified by the Town Assessor of all property owners within 500 feet of the site boundary	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20 Any other information required by the Planning Board which is reasonably necessary to ascertain compliance with this chapter	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Applicants Certification (to be completed by the licensed professional preparing the site plan:

RICH WILLIAMS

I *Russell* hereby certify that the site plan to which I have attached my seal and signature, meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance.

[Signature]
Signature - Applicant

[Signature]
Signature - Owner

3/5/23
Date

3-5-23
Date



Professionals Seal



TOWN OF CARMEL
**SITE PLAN COMPLETENESS
CERTIFICATION FORM**



Town Certification (to be completed by the Town)

I _____ hereby confirm that the site plan meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:

Rose Grumbetta
Signature - Planning Board Secretary

3/13/22
Date

Richard J. [Signature]
Signature - Town Engineer

3-13-23
Date

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

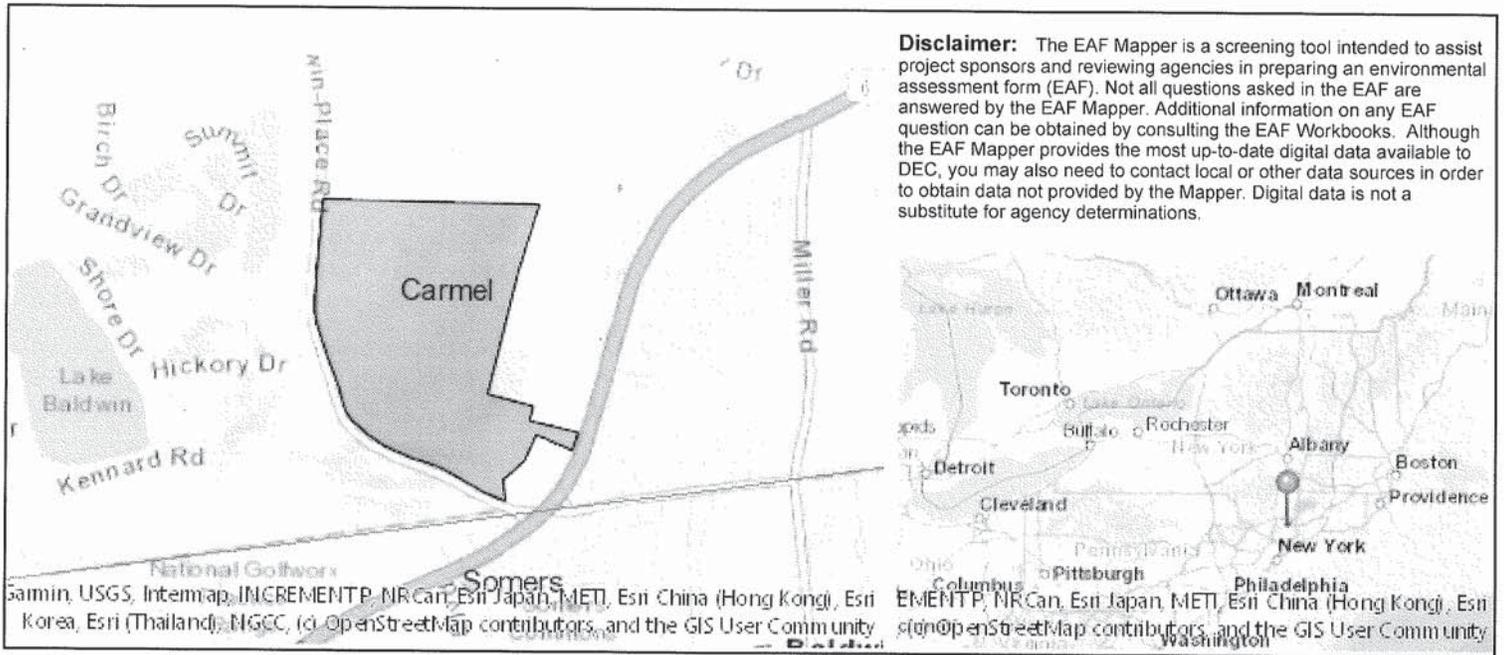
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part I. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Diamond Point Development Self Storage Carmel			
Project Location (describe, and attach a location map): Corner of US Route 6 and Baldwin Place Road			
Brief Description of Proposed Action: The applicant proposes to construct nine self-storage buildings, which would be constructed on tax map lot number 86.10-1-2, which is in the C/BP zone. Additionally, the applicant proposes an 1,100 sf+- office building for leasing and administration, on tax map lot number 86.10-1-3, which is in the C zone. The office and seven of the self storage buildings would be constructed as the first phase of the project. The two largest buildings shown at the northern end of the site would be constructed in a future phase of construction. Access to the site will be provided via the existing curb cuts on US Route 6 and Baldwin Place Road with a new internal driveway network being constructed. One identification sign is proposed on US Rt-6 and one is proposed on Baldwin Place Road. A proposed drilled well and septic system will service the project. A Stormwater Pollution Prevention Plan has been designed that will meet the requirements of the Town of Carmel, NYSDEC, and NYCDEP.			
Name of Applicant or Sponsor: Diamond Point Development		Telephone: 404-421-6646 E-Mail: asommer@diamondpointdevelopment.com	
Address: 880 Marietta Highway, Suite 630-243			
City/PO: Roswell		State: GA	Zip Code: 30075
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: <small>Town of Carmel - Site Plan Approval, Building Permits & Wetland Permit, NYSDEC - GP-0-20-001 & Freshwater Wetland Permit, NYCDEP - Septic and SWPPP Approval, PCDOH - Well & Septic Approval, NYS DOT - Highway Work Permit, PCDH&F - Driveway Permit</small>			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ 30.7 acres b. Total acreage to be physically disturbed? _____ 16.3 acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 30.7 acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

		NO	YES	N/A
5. Is the proposed action,	a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? Name: Baldwin Place Area, Reason: Difficulties w/ portable water source, Agency: Somers, Town of, Date: 9-26-90 If Yes, identify: Baldwin Place Shopping Center (Now Somers Commons) - State Superfund Site, Remediation Complete. <small>The noted property was established as a Critical Environmental Area in the 1990's following groundwater contamination associated with a historic use. Remediation has been completed. Contamination did not take place on the subject property.</small>		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ Proposed Wells		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ Proposed Septic		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input checked="" type="checkbox"/> Forest <input checked="" type="checkbox"/> Agricultural/grasslands <input checked="" type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: Proposed stormwater management practices per plans.	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: <u>Baldwin Place Shopping Center (Now Somers Commons) - State Superfund Site, Remediation Complete</u>	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>Richard D. Williams, Jr., P.E.</u> Date: _____ <u>Insite Engineering, Surveying & Landscape Architecture, P.C.</u>		
Signature: <u><i>R Williams</i></u> Title: <u>Senior Principal Engineer</u>		



Part 1 / Question 7 [Critical Environmental Area]	Yes
Part 1 / Question 7 [Critical Environmental Area - Identify]	Name:Baldwin Place Area, Reason:Difficulties w/ portable water source, Agency:Somers, Town of, Date:9-26-90
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes





SPEED
LIMIT
40

Carmel
Storage

Carmel
Storage

MBCI "Light Stone" MWP-1 / Gutter Storage

Janus "Light Stone" DR-1

Dryvit 104 "Dover Sky" EIFS-1

Dryvit 618 "Antique Gray" EIFS-2

Dryvit 112 "Sandalwood Beige" EIFS-3

Dryvit 152 "Spectrum Brown" EIFS-4

Cultured Stone Country LedgeStone "Chardonnay"



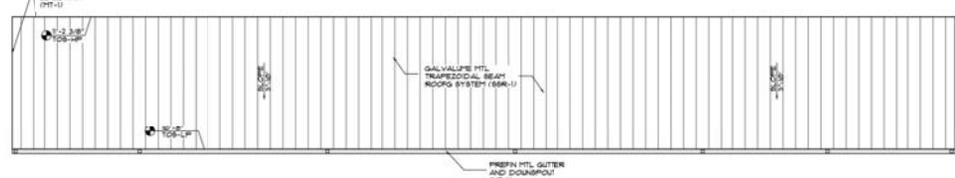
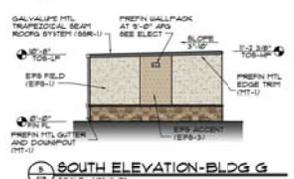
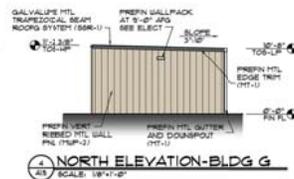
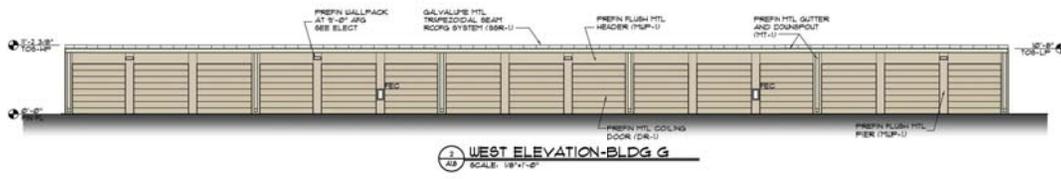
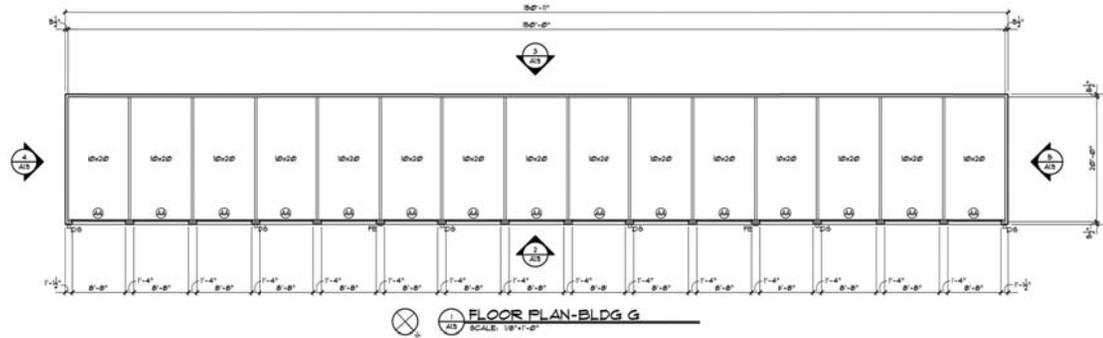
SW-7005 "Pure White" Siding Trim

SW-7531 "Canvas Tan" SD-1

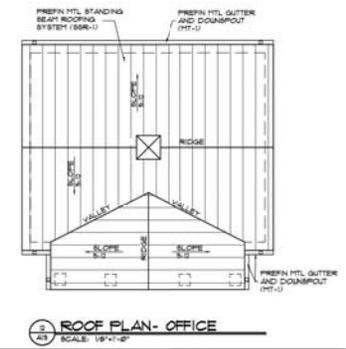
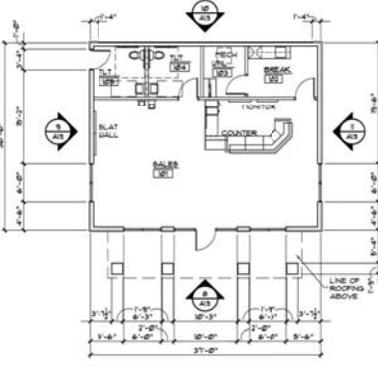
SW-7065 "Argos" SD-2

SW-7075 "Web Gray" MT-1 / Gutter Office

MBCI "Koko Brown" Canopy



ROOF PLAN-BLDG G SCALE: 1/8"=1'-0"



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Proposed Self Storage

US Route 6
Mahopac, NY

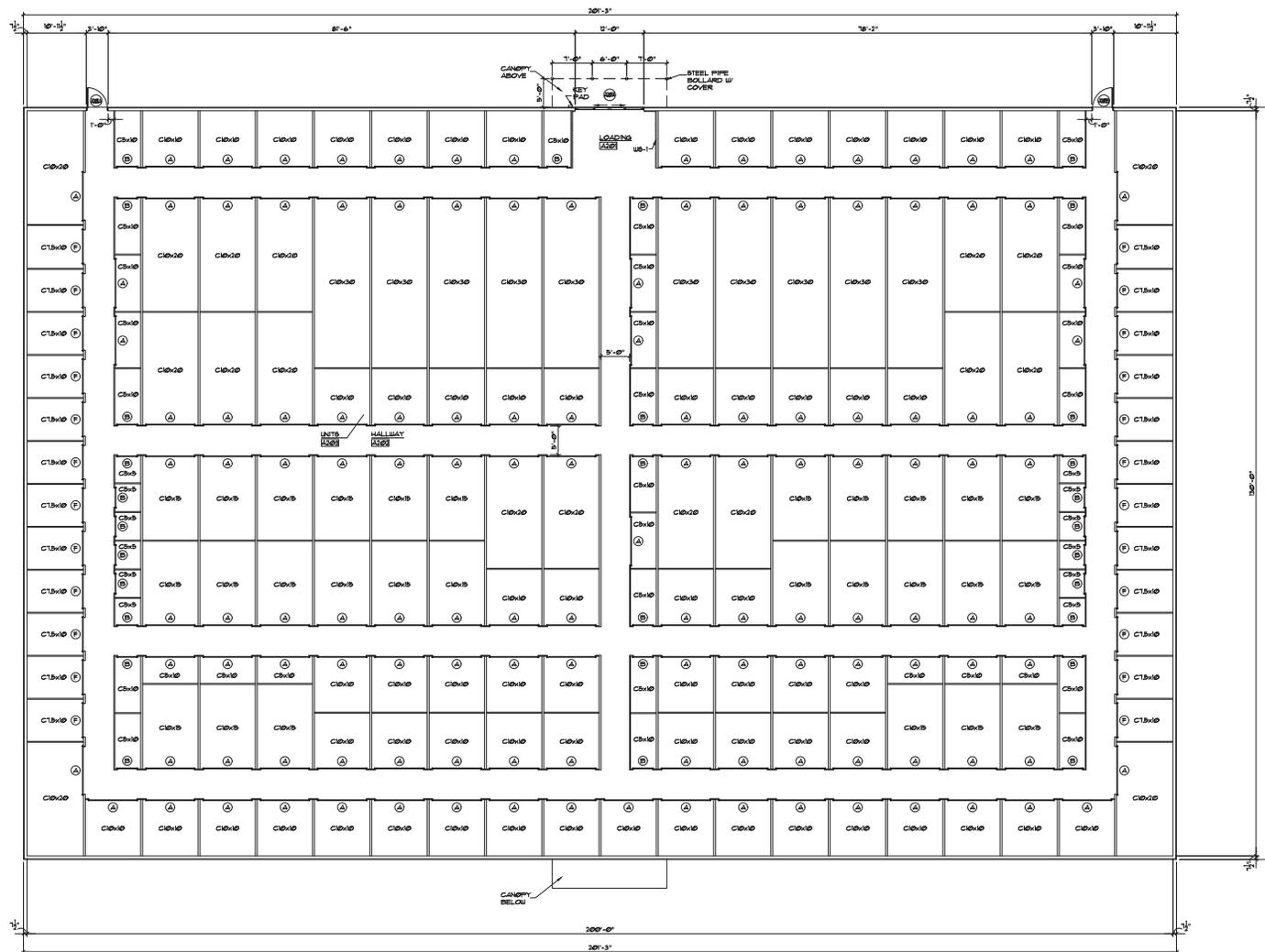


NOTE: NOT FOR CONSTRUCTION PURPOSES

PROJECT NUMBER: 202302
DATE: 3-6-23

SHEET NUMBER

A1.9




 SECOND FLOOR PLAN-BLDG A
 SCALE: 1/8"=1'-0"



THE INFORMATION CONTAINED HEREIN IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT TO BE USED FOR ANY OTHER PURPOSE. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSE. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSE.

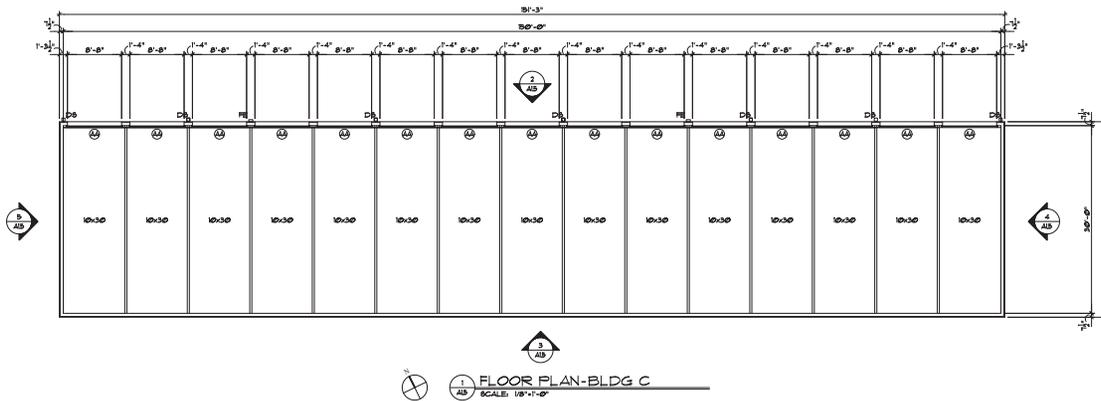
Proposed Self Storage
 US Route 6
 Mahopac, NY



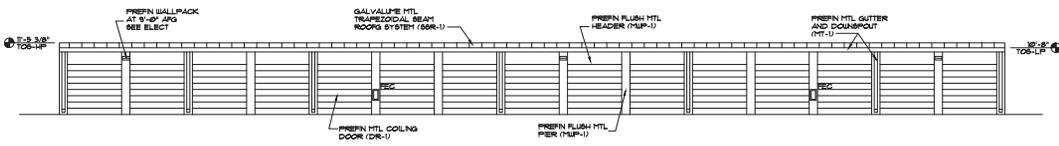
ISSUE NOT FOR CONSTRUCTION REVISIONS

PROJECT NUMBER: 202302
 DATE: 2-27-23

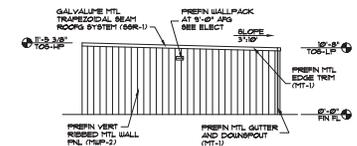
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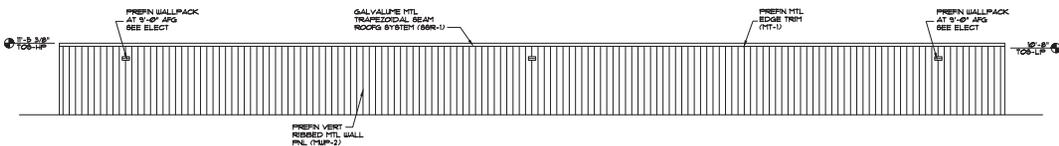
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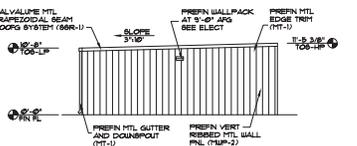
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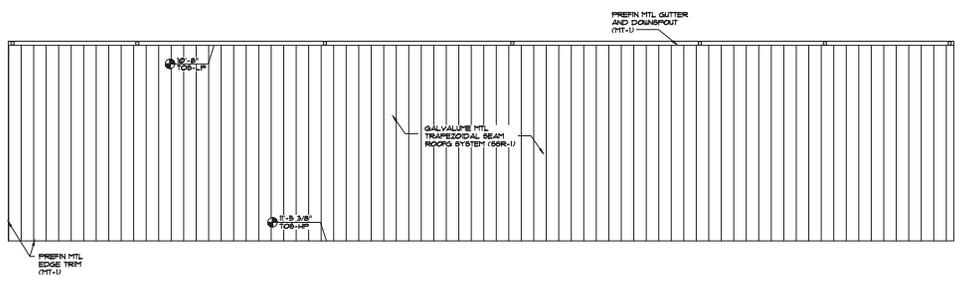
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SCALE: 1/8"=1'-0"



3 SOUTH ELEVATION-BLDG C
SCALE: 1/8"=1'-0"



5 WEST ELEVATION-BLDG C
SCALE: 1/8"=1'-0"



6 FLOOR PLAN-BLDG C
SCALE: 1/8"=1'-0"

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PROPOSED SELF STORAGE

US Route 6
Mahopac, NY

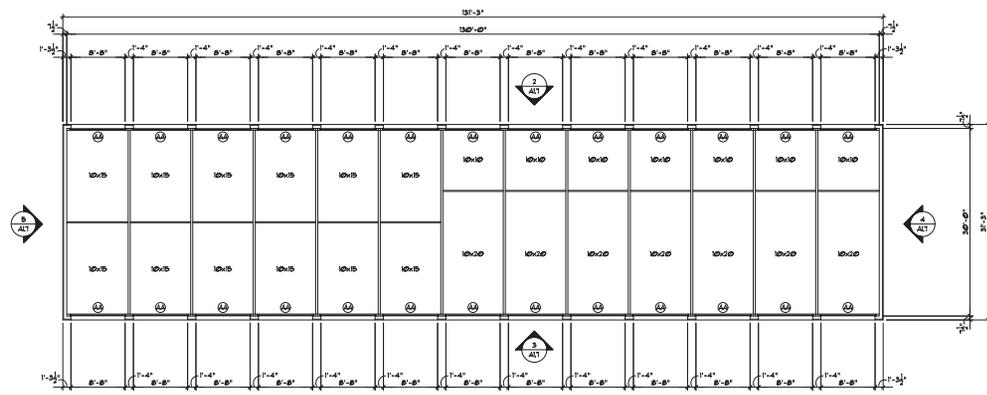
STANARD
STRUCTURE
INC.
100 WEST MAIN STREET
MAHOPAC, NY 10541
845-377-0000
WWW.STANARDSTRUCTURE.COM

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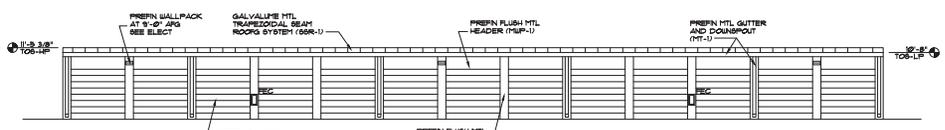
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DATE
2-27-23

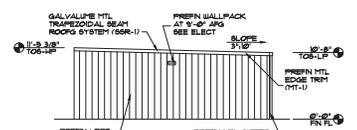
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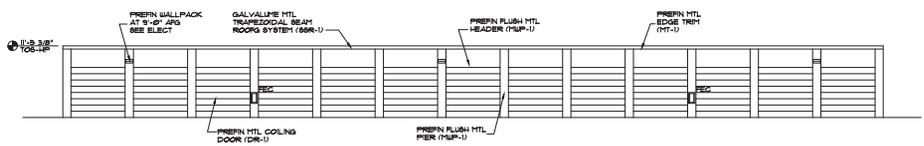
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SCALE: 1/8"=1'-0"



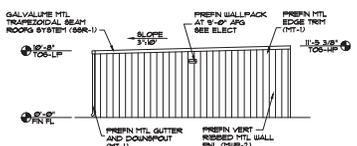
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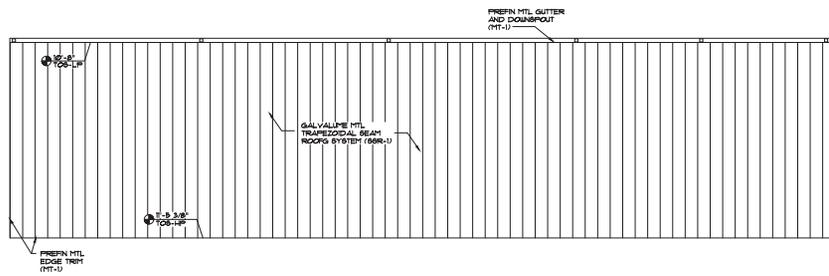
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SCALE: 1/8"=1'-0"



3 SOUTH ELEVATION-BLDG E
SCALE: 1/8"=1'-0"



5 WEST ELEVATION-BLDG E
SCALE: 1/8"=1'-0"



6 FLOOR PLAN-BLDG E
SCALE: 1/8"=1'-0"

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PROPOSED SELF STORAGE

US Route 6
Mahopac, NY

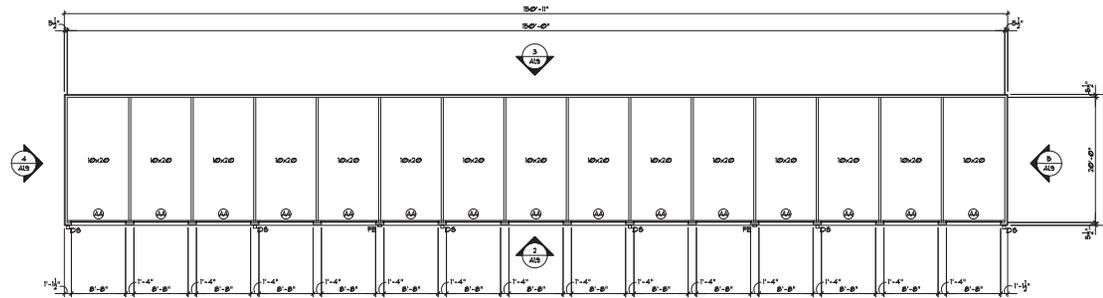
STANFORD STRUCTURE INC.
CORPORATE HEADQUARTERS
1000 ROUTE 28
STYRON, VIRGINIA 22155

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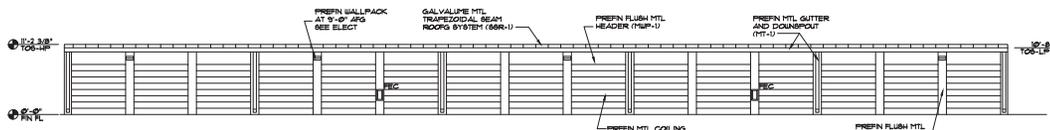
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DATE
2-27-23

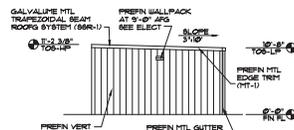
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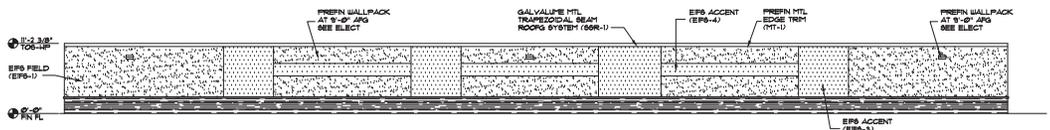
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SCALE: 1/8"=1'-0"



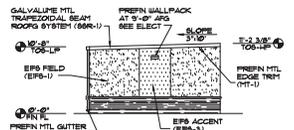
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SCALE: 1/8"=1'-0"



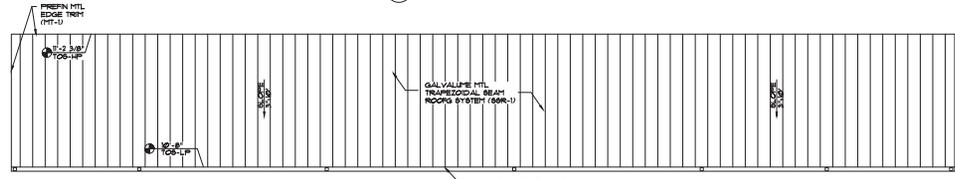
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SCALE: 1/8"=1'-0"



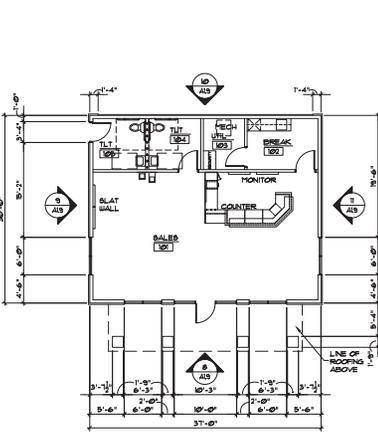
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SCALE: 1/8"=1'-0"



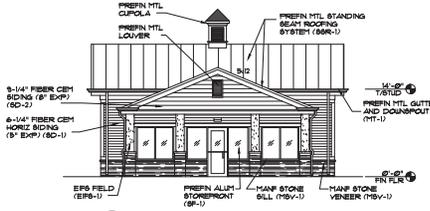
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SCALE: 1/8"=1'-0"



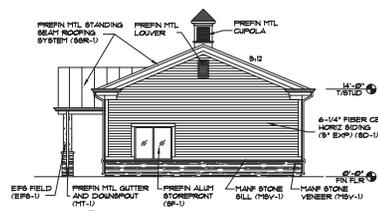
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SCALE: 1/8"=1'-0"



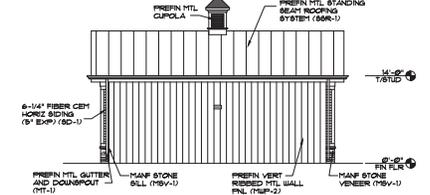
7 FLOOR PLAN- OFFICE
SCALE: 1/8"=1'-0"



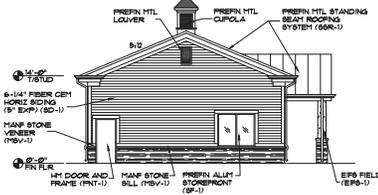
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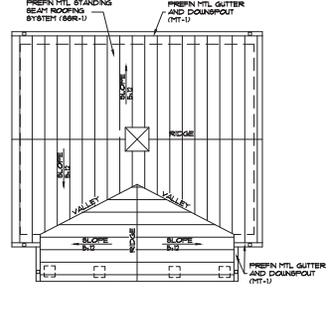
9 NORTH ELEVATION
SCALE: 1/8"=1'-0"



10 WEST ELEVATION
SCALE: 1/8"=1'-0"



11 SOUTH ELEVATION
SCALE: 1/8"=1'-0"



12 ROOF PLAN- OFFICE
SCALE: 1/8"=1'-0"

THESE PLANS AND SPECIFICATIONS ARE TO BE USED AS A GUIDE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS AND LABOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES AND SERVICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE AND BONDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SCHEDULING AND LOGGING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORDS AND DOCUMENTATION. IN THE LOCAL JURISDICTION.

PROPOSED SELF STORAGE

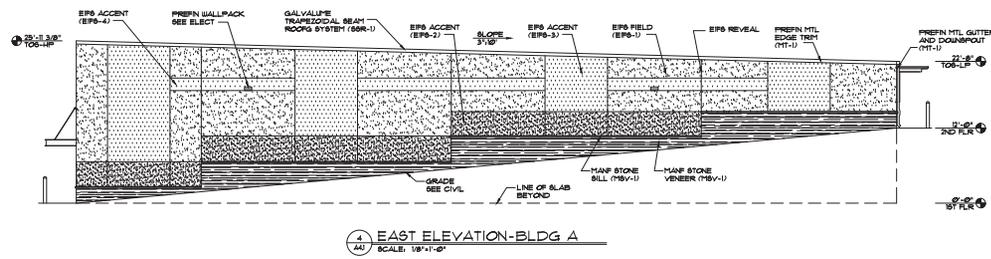
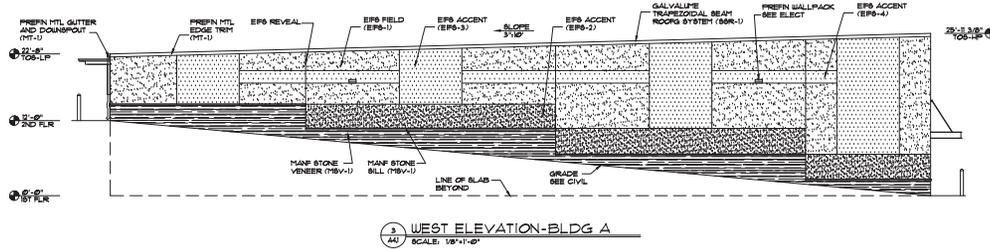
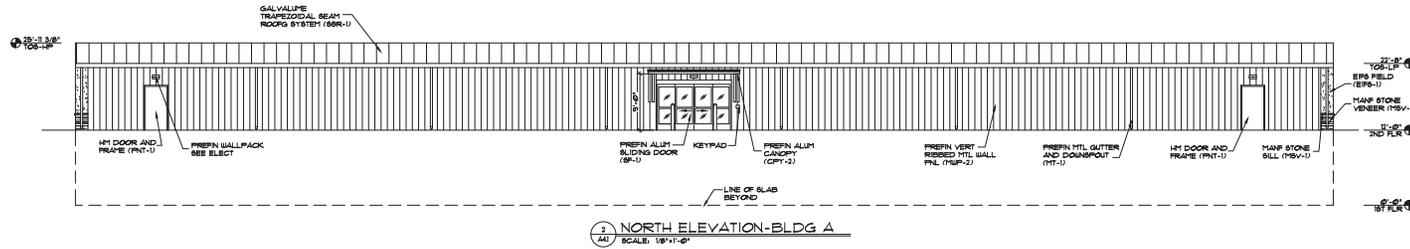
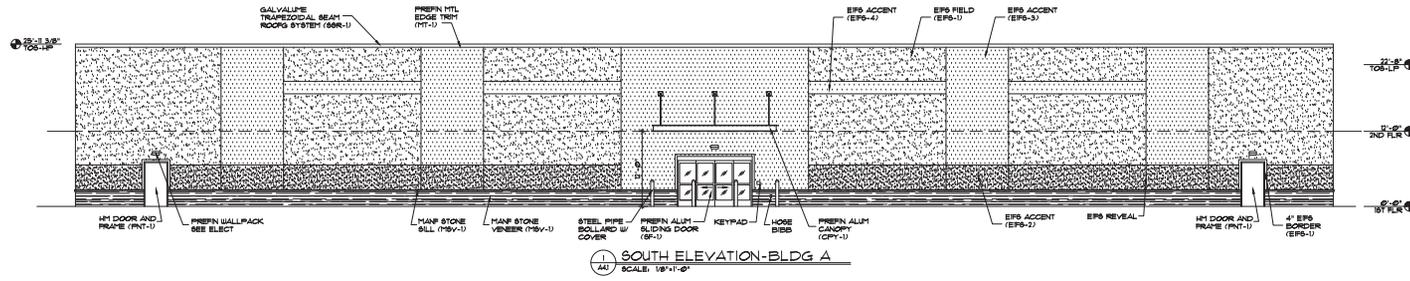
US Route 6
Mahopac, NY

STANDARD STRUCTURE
INC.
1000 ROUTE 6
MAHOPAC, NY 10541
845-377-7777
WWW.STANDARDSTRUCTURE.COM

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PROJECT NUMBER: 202302
DATE: 2-27-23
SHEET NUMBER

A1.9



PROPOSED SELF STORAGE

US ROUTE 6
MAHOPAC, NY

STANDARD STRUCTURE
INC.

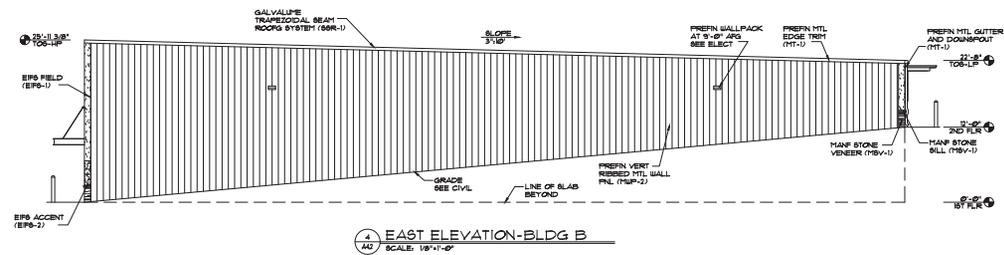
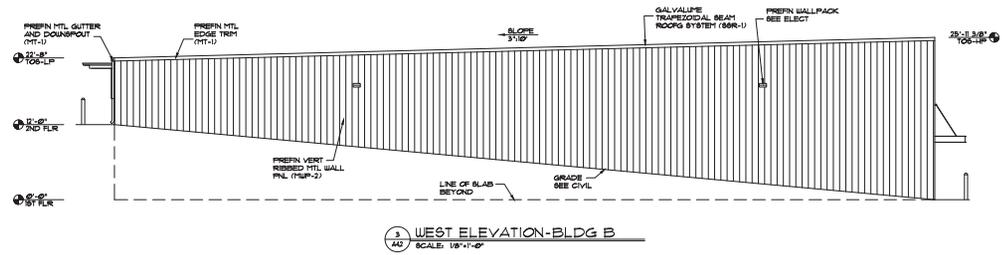
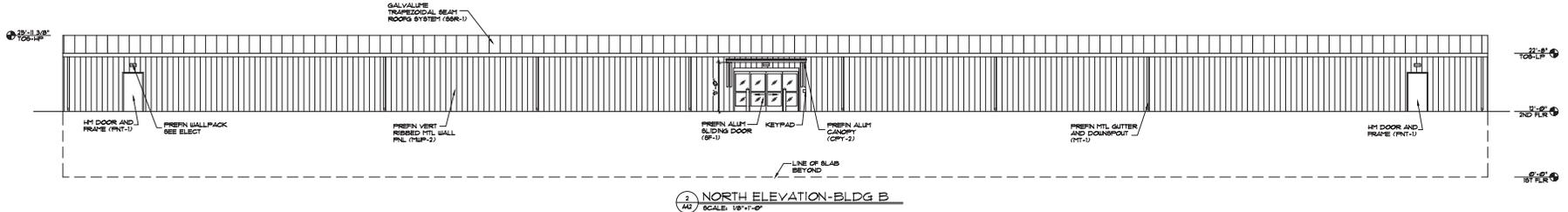
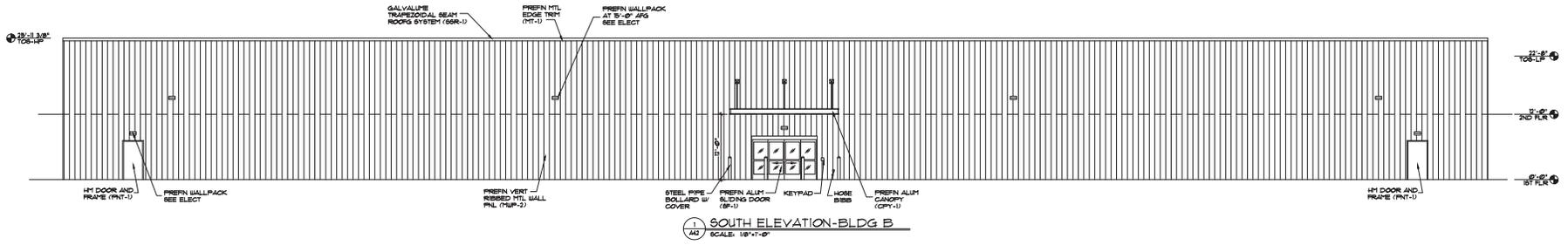
ISSUE NOT FOR CONSTRUCTION
REVISIONS

PROJECT NUMBER
202302

DATE
2-27-23

SHEET NUMBER

A4.1



PROPOSED SELF STORAGE

US ROUTE 6
MAHOPAC, NY

STANDARD STRUCTURE
INC.
1000 ROUTE 6 EAST
MAHOPAC, NY 07648
TEL: 845-255-1234
WWW.STANDARDSTRUCTURE.COM

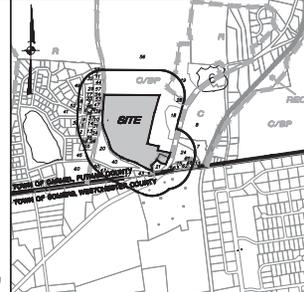
ISSUE NOT FOR CONSTRUCTION REVISIONS

PROJECT NUMBER
202302
DATE
2-27-23
SHEET NUMBER

A4.2

500' ADJACERS:
TOWN OF SOUTHSEAS

- | | |
|-----------------------------------|-------------------------------|
| 1. Cransmade of Baldwin Place | 33. Joseph Mirabe |
| 2. John White | 34. Lee Mironow |
| 3. Barbara Horne | 35. Robinson Wallace |
| 4. 100 Baldwin Place LLC | 36. Peter Pylantowski |
| 5. Robert Mironow | 37. Anthony Pylantowski |
| 6. Peter Pylantowski | 38. Stanley Jacobs |
| 7. Michael Spira | 39. Steven Chelostine |
| 8. Manager, Improvement Owner LLC | 40. Anthony Zantopoulou, Jr. |
| 9. Mike Tortorella | 41. Joseph Bluff |
| 10. John Mironow | 42. Michael Spira |
| 11. Daniel Aloni | 43. Margaret Ferraro |
| 12. Frank Qui Campa | 44. Dennis Williams |
| 13. Cliff Pancher | 45. John Scott |
| 14. Slattery Co., LLC | 46. Deborah Dulaco-Ferraro |
| 15. Andrew Mironow | 47. Slattery Place Realty LLC |
| 16. Andrew Mironow | 48. Slattery Place Realty LLC |
| 17. Andrew Mironow | 49. Slattery Place Realty LLC |
| 18. Galy Chien | 50. Vincent Sato |
| 19. Andrew Mironow | 51. Garry Goff |
| 20. Robert Ratti, II | 52. Pang Peng Fu |
| 21. 100 W. E. LLC | 53. Frank Mironow |
| 22. Ramon Creations Ltd | 54. Joseph Bluff |
| 23. John Mironow, LLC | 55. Joseph Bluff |
| 24. Slattery Place Realty LLC | 56. Slattery Place Realty LLC |
| 25. Slattery Place Realty LLC | 57. Slattery Place Realty LLC |
| 26. Slattery Place Realty LLC | 58. Slattery Place Realty LLC |
| 27. Slattery Place Realty LLC | 59. Slattery Place Realty LLC |
| 28. Slattery Place Realty LLC | 60. Slattery Place Realty LLC |
| 29. Slattery Place Realty LLC | 61. Slattery Place Realty LLC |
| 30. Slattery Place Realty LLC | 62. Slattery Place Realty LLC |
| 31. Slattery Place Realty LLC | 63. Slattery Place Realty LLC |
| 32. Slattery Place Realty LLC | 64. Slattery Place Realty LLC |



OWNER:
Ramon Creations Ltd
124 Ridge Road
Montgomery, NY 12549

APPLICANT:
Commercial Real Estate Development
880 Westfield Highway
Suite 430-347
Roswell, GA 30075

SITE DATA:
Total Acreage: 30.51 AC ±
2.86 10'-1-2 29.66 AC ± (C/ZP Zone)
3.65 10'-1-2 29.66 AC ± (C Zone)
Proposed Use: Self Storage & Retail

GENERAL NOTES:

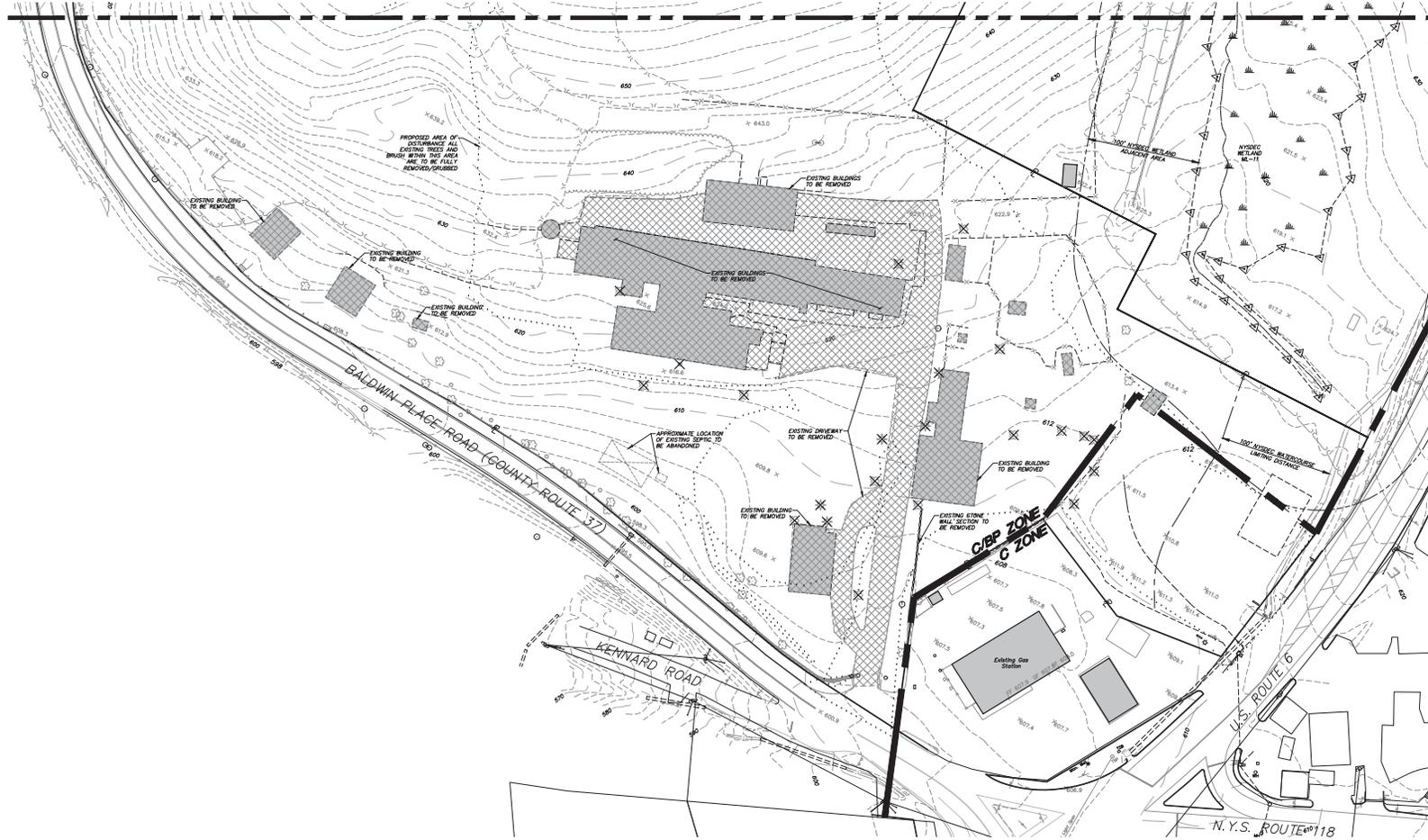
- Property line, topography, site features and setbacks obtained from previous records surveyed under 2005, 2006, and 2009. An updated survey is currently being prepared.
- Cuts, elevations, manholes, pipe, rills, and drainage shall conform to the requirements of Chapter 128 of the Town Code.

LEGEND

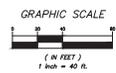
- EXISTING PROPERTY LINE
- EXISTING ZONING DISTRICT BOUNDARY
- EXISTING BUILDING TO BE REMOVED
- EXISTING STONE & MASONRY RETAINING WALL
- EXISTING STONE WALL
- EXISTING WIRE FENCE
- EXISTING CHAIN LINK FENCE
- EXISTING GUARD RAIL
- EXISTING CONCRETE CURB
- EXISTING DROP-IN CONCRETE CURB
- EXISTING CHEMICAL WELLS
- EXISTING UTILITY POLE w/ pad & meter area
- EXISTING UTILITY PAD & RISERS
- EXISTING TRAFFIC SIGNAL BOX
- EXISTING SIGN
- EXISTING UNDERGROUND DRAINAGE PIPE
- EXISTING CATCH BASIN
- EXISTING MANHOLE (top unmarked)
- EXISTING DRAINAGE MANHOLE
- EXISTING SEWER MANHOLE
- EXISTING LIGHT POLE
- EXISTING HYDRANT
- EXISTING WELL
- EXISTING SITES
- EXISTING WATERCOURSE
- EXISTING EDGE OF WATER
- EXISTING WETLAND
- EXISTING WETLAND FLAG
- EXISTING WETLAND BUFFER
- EXISTING STREAM BUFFER
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- EXISTING SHIP CHANNEL
- EXISTING HEDGE ROW
- EXISTING SHRUB ROW
- EXISTING EVERGREEN TREE
- EXISTING DECIDUOUS TREE
- EXISTING TREELINE
- EXISTING TREE TO BE REMOVED
- EXISTING STRUCTURES AND PAVING TO BE REMOVED

MATCHLINE TO DRAWING EX-12

MATCHLINE TO DRAWING EX-12



ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2009 OF ARTICLE 146 OF THE EDUCATION LAW.



NO.	DATE	REVISION	BY
PROJECT: DPD - SELF STORAGE 4 BALDWIN PLACE ROAD, TOWN OF CAMEL, PUTNAM COUNTY, NY			
DRAWING: EXISTING CONDITIONS PLAN			
PROJECT NUMBER	22242.100	PROJECT MANAGER	R.D.W.
DATE	3-8-23	DRAWN BY	M.E.U.
SCALE	1" = 40'	CHECKED BY	A.D.T.
			DRAWING NO. SHEET EX-1.1 1/10



PLANT LIST			
KEY	BOTANICAL/COMMON NAME	SIZE	ROOT
SHADE TREES			
AR	Acer rubrum / Swamp Maple	4" CAL.	B&B
OR	Quercus prinus / Pin Oak	4" CAL.	B&B
EXPOSED TREES			
PG	Picea glauca / White Spruce	7"-8" HT.	B&B
PS	Picea canadensis / White Pine	7"-8" HT.	B&B
LOADING TREES			
BN	Betula nigra / River Birch	2.5" CAL.	B&B
CC	Cornus canadensis / Eastern Redbud	2.5" CAL.	B&B
SHRUBS			
IG	Ilex glabra / Holly	24"-30" HT. #5 CONT.	
CS	Cornus sericea / Red Tidy Top Dogwood	24"-30" HT. #5 CONT.	
IV	Ilex verticillata / Virginia Wintergreen	18"-24" HT. #3 CONT.	
PR	Prunella latifolia / Salomon's Seal	12"-18" HT. #1 CONT.	
PERENNIALS/GROUND COVERS			
AC	Asplenium platyneuron / Columbine	12"-18" HT. #1 CONT./18" D.C.	
BA	Baptisia australis / Blue False Indigo	12"-18" HT. #1 CONT./18" D.C.	
ED	Erythronium albidum / White Wood Anemone	6"-12" HT. #1 CONT./18" D.C.	
EP	Echinacea purpurea / Purple Coneflower	12"-18" HT. #1 CONT./18" D.C.	
LS	Lobelia spicata / Great Blue Lobelia	12"-18" HT. #1 CONT./18" D.C.	
MV	Mertensia virginica / Virginia Bluebells	12"-18" HT. #1 CONT./18" D.C.	
OS	Osmunda regalis / Royal Fern	12"-18" HT. #1 CONT./18" D.C.	
TR	Thalictrum grandiflorum / Wood Lily	6"-12" HT. #1 CONT./12" D.C.	

Note: All plantings to be verified by the Town of Cammel wetland inspector.

ZONE REQUIREMENTS			
	COMMERCIAL ZONE	COMMERCIAL/BUSINESS PARK ZONE	
Minimum Lot Area:	40,000 SF	1,346,538 SF*	3 AC.
Minimum Lot Width:	200'	370'±*	200'
Minimum Lot Depth:	200'	1280'±*	200'
Minimum Setbacks:			
Principal Street:	Front Yard: 40'	112'	50'
	Side Yard: 25'	N/A*	40'
	Rear Yard: 30'	N/A*	40'
Medium Building Height:	60' (max)	40'	28'
Maximum Building Floor Area:	5,000 SF	1,110 SF**	5,000 SF
Maximum Building Coverage:	30%	15.38%*	40%

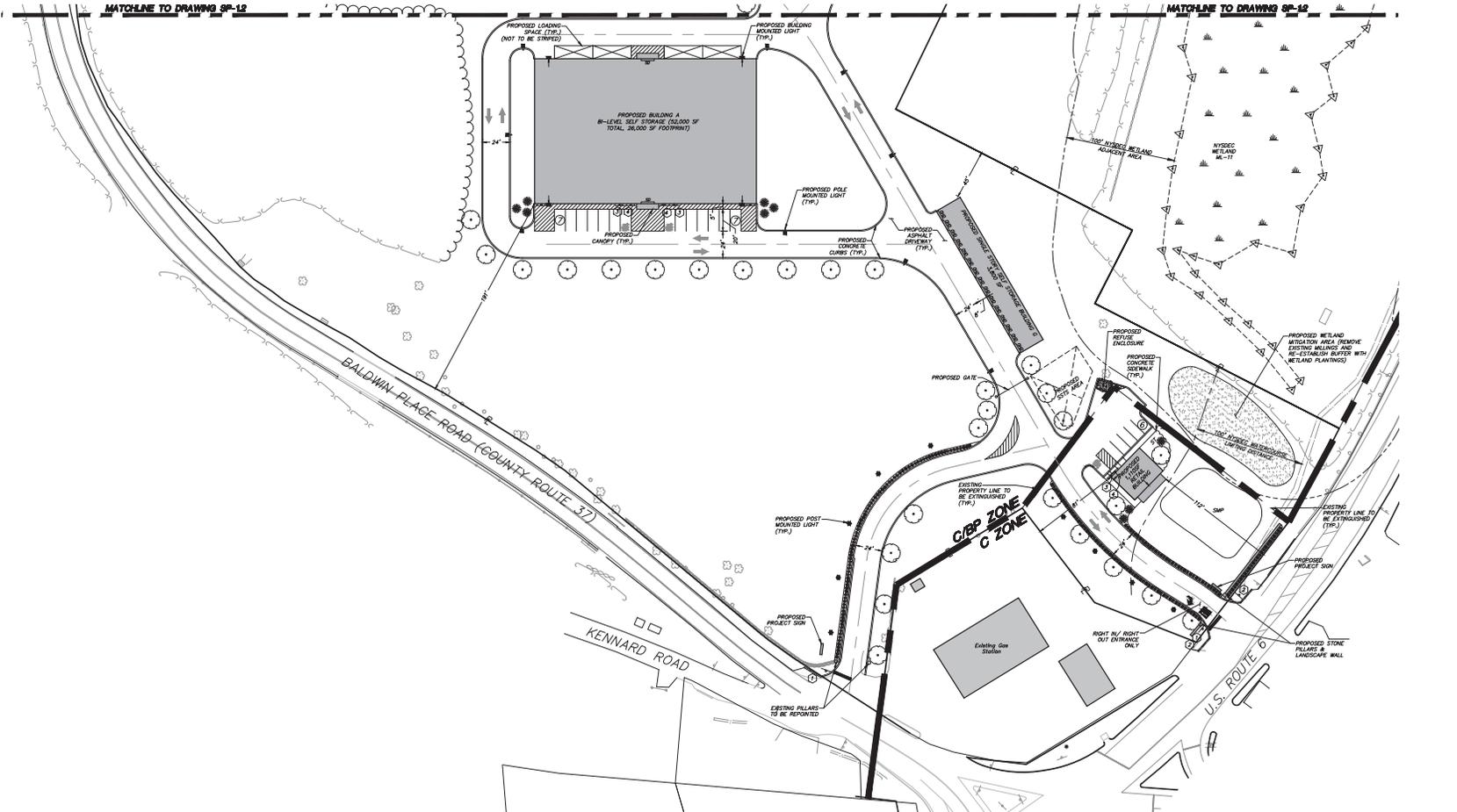
*Two existing lots are proposed to be merged. Values shown are based on the total merged parcel area of 50.7 acres.
**Variance required.

PARKING / LOADING SUMMARY	
PARKING:	
RECALC. 800 SF @ 1 PARKING SPACE/200SF	= 4 REQUIRED
SELF STORAGE 377,600 SF @ 1 PARKING SPACE/10,000SF	= 38 SPACES REQUIRED
TOTAL PARKING SPACES REQUIRED: PROPOSED	= 42 SPACES
LOADING:	
SELF STORAGE 377,600 SF @ 1 FOR THE FIRST 10,000 SF. PLUS 1 FOR EVERY ADDITIONAL 20,000 SF	= 20 LOADING SPACES REQUIRED
PROPOSED	= 24 LOADING SPACES

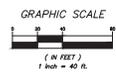
LEGEND	
	EXISTING ZONING DISTRICT BOUNDARY
	# OF STALLS TO BE STRIPED
	PROPOSED CONCRETE CURB
	PROPOSED DROP CURB & RAMP
	PROPOSED EDGE OF SUBGRADE
	PROPOSED RETAINING WALL
	PROPOSED PAINTED CROSSWALK
	PROPOSED PAINTED STOPBAR
	PROPOSED DOUBLE YELLOW LINE
	PROPOSED SINGLE BROKEN WHITE LINE
	PROPOSED PAINTED DIRECTIONAL ARROW
	PROPOSED PAINTED HANDICAP PARKING SYMBOL
	PROPOSED ADA COMPLIANT RAMP
	PROPOSED STRIPED ISLAND
	PROPOSED LOADING SPACE
	PROPOSED RECYCLE / TRASH CONTAINER / REFUSE ENCLOSURE
	PROPOSED SINGLE POLE SIGN
	PROPOSED BOLLARD
	PROPOSED RAISE RAIL
	PROPOSED POLE MOUNTED LIGHT
	PROPOSED POST MOUNTED LIGHT
	PROPOSED BUILDING MOUNTED LIGHT
	PROPOSED DOOR LOCATION
	PROPOSED OVERHEAD DOOR LOCATION
	PROPOSED SLIDING DOOR LOCATION
	PROPOSED LANDSCAPING

SIGN DATA TABLE				
LOCATION NO.	TEXT	MULTIPLE NUMBER	SIZE OF SIGN	DESCRIPTION
1	STOP	R1-10	30" x 30"	White on Red
2	NO PARKING	R3-2	30" x 30"	White Background Black Arrow Red Symbol Black Border
3	NO PARKING	NY R7-B*	12" x 18"	Green on White Blue Symbol
	NO PARKING	R7-B*	12" x 18"	Green on White
4	NO PARKING	R7-1	12" x 18"	Red on White

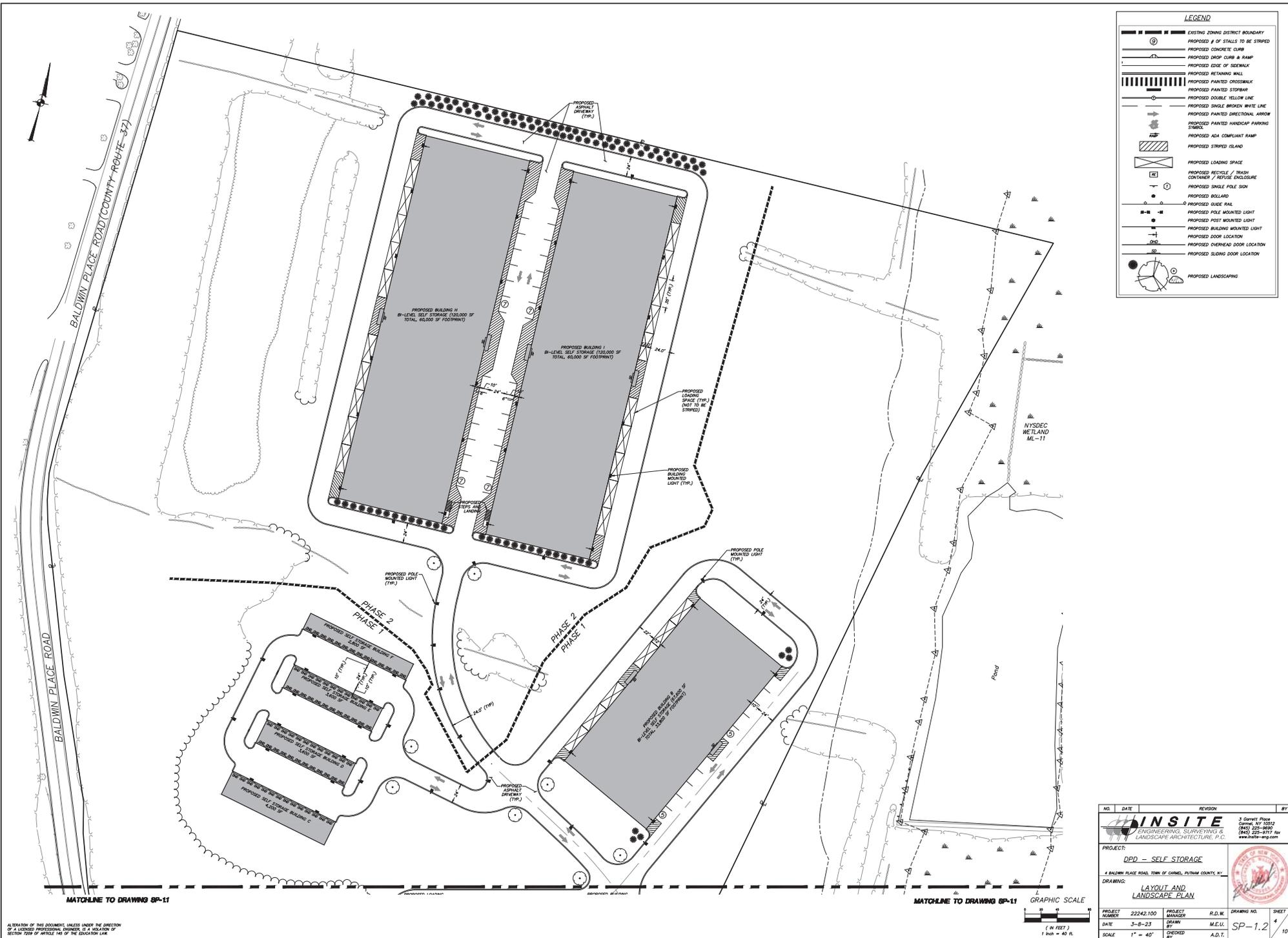
- LIGHTING NOTES:**
- All lighting shall be as noted on the plan or approved equivalent.
 - Sign and fixture of all luminaires to be selected by owner.
 - Proposed lights will run on photocontrols during regular business hours, and will run on motion sensors after hours.
 - Sign location, size and quality of all proposed lighting shall prevent the spillage of light onto adjacent residential properties.
 - All light fixtures to be full cutoff to comply with dark sky guidelines.



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NO.	DATE	REVISION	BY
3			
INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.			
PROJECT: DDP - SELF STORAGE			
DRAWING: LAYOUT AND LANDSCAPE PLAN			
PROJECT NUMBER	22242.100	PROJECT MANAGER	R.D.W.
DATE	3-8-23	DRAWN BY	M.E.U.
SCALE	1" = 40'	CHECKED BY	A.D.T.
			DRAWING NO. SHEET SP-1.1 3



LEGEND

- EXISTING ZONING DISTRICT BOUNDARY
- PROPOSED # OF STRIPS TO BE STRIPED
- PROPOSED CONCRETE CURB
- PROPOSED DROP CURB & RAMP
- PROPOSED EDGE OF SIDEWALK
- PROPOSED RETAINING WALL
- PROPOSED PAINTED CROSSWALK
- PROPOSED PAINTED STOPBAR
- PROPOSED DOUBLE YELLOW LINE
- PROPOSED SINGLE BROKEN WHITE LINE
- PROPOSED PAINTED DIRECTIONAL ARROW
- PROPOSED PAINTED HANDICAP PARKING SYMBOL
- PROPOSED ADA COMPLIANT RAMP
- PROPOSED STRIPED ISLAND
- PROPOSED LOADING SPACE
- PROPOSED RECYCLE / TRASH CONTAINER / REFUSE ENCLOSURE
- PROPOSED SINGLE POLE SIGN
- PROPOSED BOLLARD
- PROPOSED GUIDE RAIL
- PROPOSED POLE MOUNTED LIGHT
- PROPOSED POST MOUNTED LIGHT
- PROPOSED BUILDING MOUNTED LIGHT
- PROPOSED DOOR LOCATION
- PROPOSED OVERHEAD DOOR LOCATION
- PROPOSED SLIDING DOOR LOCATION
- PROPOSED LANDSCAPING

NO.	DATE	REVISION	BY

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LANDSCAPE ARCHITECTURE, P.C.

3 Corbett Place
Carmel, NY 12016
(518) 225-8997
(518) 225-8997 fax
www.insite-arg.com

PROJECT: **DDP - SELF STORAGE**

4 BALDWIN PLACE ROAD, TOWN OF CAMEL, PUTNAM COUNTY, NY

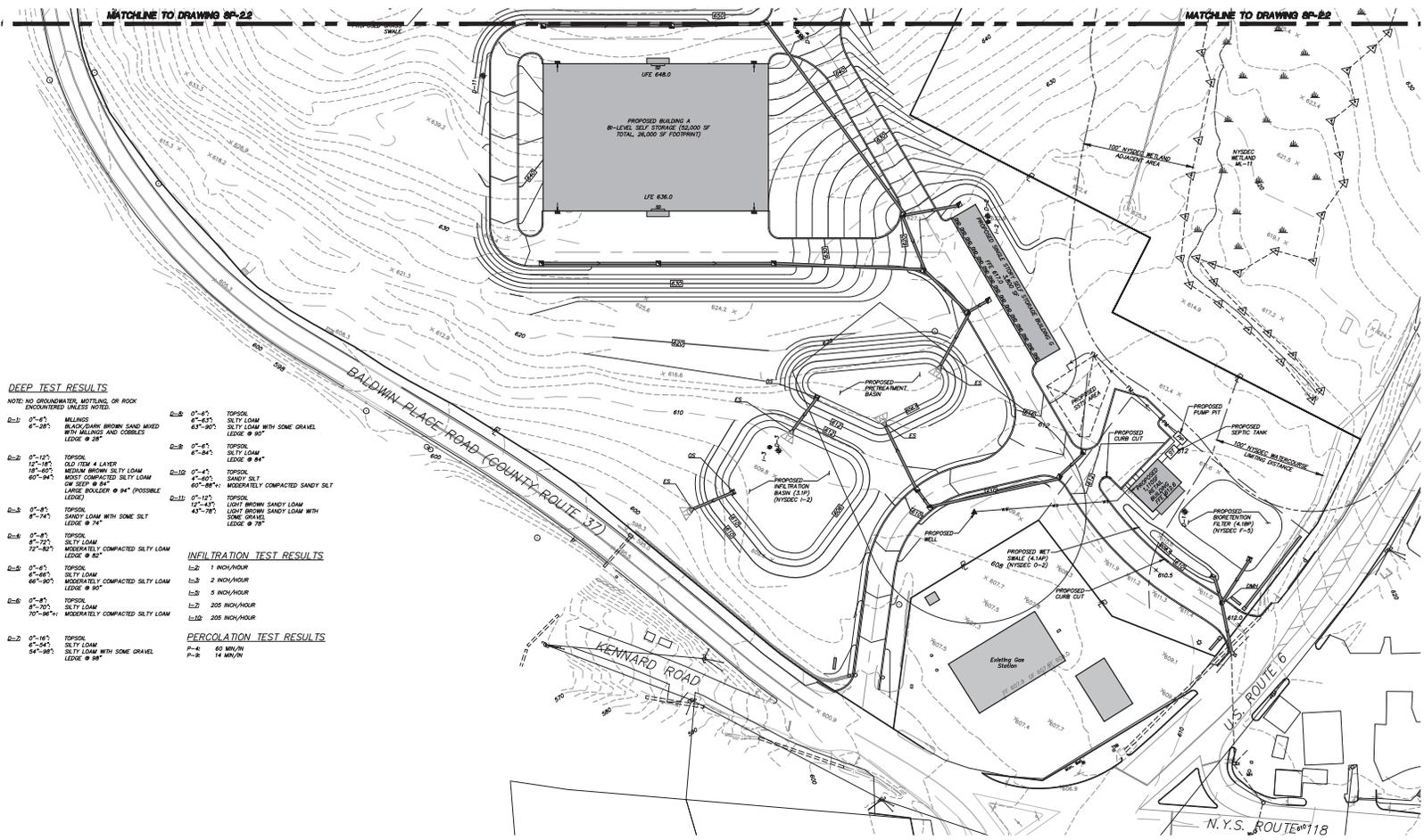
DRAWING: **LAYOUT AND LANDSCAPE PLAN**

PROJECT NUMBER	22242.100	PROJECT MANAGER	R.D.W.	DRAWING NO.	SHEET
DATE	3-8-23	DRAWN BY	M.E.V.	SP-1.2	4
SCALE	1" = 40'	CHECKED BY	A.D.T.		10

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LEGEND	
(---)	PROPOSED 1' CONTOUR
(---)	PROPOSED 2' CONTOUR
(●)	PROPOSED SPOT ELEVATION
(---)	PROPOSED TOP OF CURB & BOTTOM OF CURB ELEVATIONS
(---)	PROPOSED TOP OF WALL & BOTTOM OF WALL ELEVATIONS
(●)	PROPOSED SEWER MANHOLE
(○)	PROPOSED DRAINAGE MANHOLE
(■)	PROPOSED CATCH BASIN
(■)	PROPOSED OUTLET STRUCTURE
(---)	PROPOSED END SECTION
(---)	PROPOSED INVERT GATE VALVE
(▲)	PROPOSED FIRE HYDRANT
(▲)	PROPOSED WELL
(---)	PROPOSED WATER SHUT OFF VALVE
(---)	PROPOSED WATER VALVE
(---)	PROPOSED DRAINAGE PIPE
(---)	PROPOSED SEWER MAIN
(---)	PROPOSED SEWER FORCE MAIN
(---)	PROPOSED SEWER SERVICE LINE
(---)	PROPOSED GREY WATER MAIN
(---)	PROPOSED GREY WATER SERVICE LINE
(---)	PROPOSED FIRE SERVICE LINE
(---)	PROPOSED DOMESTIC WATER SERVICE LINE
(---)	PROPOSED WATER MAIN
(---)	PROPOSED GRASS SWALE
(---)	PATCH TO EXIST
(---)	PROPOSED CLEAN OUT
(---)	PROPOSED OVERHEAD DOOR LOCATION
(---)	PROPOSED SLIDING DOOR LOCATION



DEEP TEST RESULTS
 NOTE: NO GROUNDWATER, MOTTLING, OR ROCK ENCOUNTERED UNLESS NOTED.

C-1: 0'-6\"/>

INFILTRATION TEST RESULTS

C-1: TOPSOIL
 L-1: 1 INCH/HOUR

C-2: TOPSOIL
 L-2: 2 INCH/HOUR

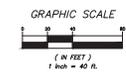
C-3: TOPSOIL
 L-3: 3 INCH/HOUR

C-4: TOPSOIL
 L-4: 205 INCH/HOUR

C-5: TOPSOIL
 L-5: 205 INCH/HOUR

PERCOLATION TEST RESULTS

P-1: 60 MIN/IN
 P-2: 14 MIN/IN



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 Carmel, NY 12512
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 (845) 225-8997 fax
 www.insite-arg.com

PROJECT:
DDP - SELF STORAGE

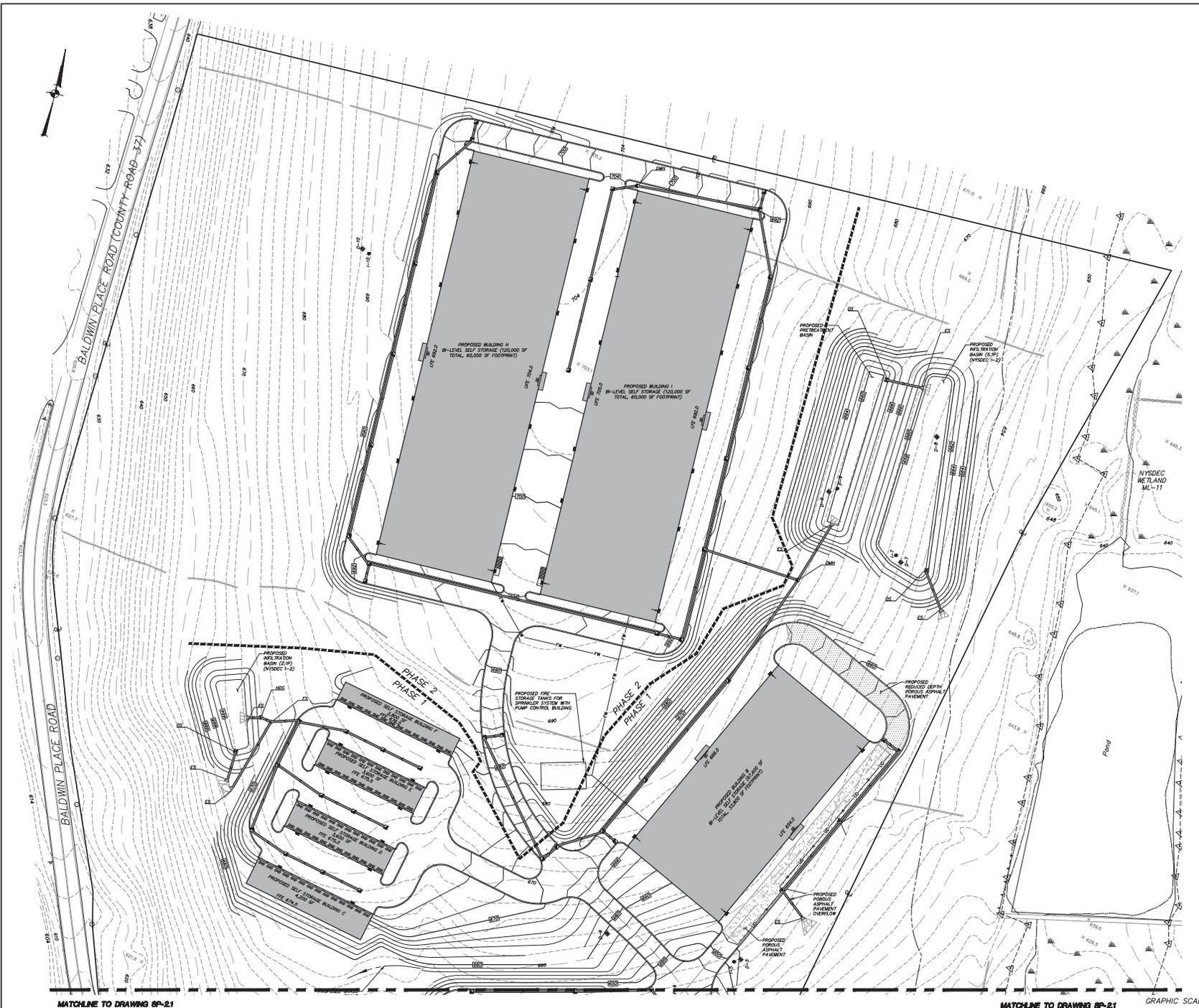
4 BALDWIN PLACE ROAD, TOWN OF CAMEL, PUTNAM COUNTY, NY

DRAWING:
GRADING & UTILITIES PLAN

PROJECT NUMBER: 22242.100 PROJECT MANAGER: R.D.W.
 DATE: 3-8-23 DRAWN BY: M.E.U.
 SCALE: 1" = 40' CHECKED BY: A.D.T.

DRAWING NO: SP-2.1
 SHEET: 5
 OF: 10

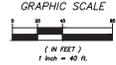
ALTOUGH OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2009 OF ARTICLE 146 OF THE EDUCATION LAW.



LEGEND

1000	PROPOSED 10' CONTOUR
1005	PROPOSED 5' CONTOUR
100.5	PROPOSED SPOT ELEVATION
TC 100.0	PROPOSED TOP OF CURB & BOTTOM OF CURB ELEVATIONS
TW 100.0	PROPOSED TOP OF WALL & BOTTOM OF WALL ELEVATIONS
UB 100.0	PROPOSED UNDER-BOTTOM ELEVATIONS
●	PROPOSED SEWER MANHOLE
○	PROPOSED DRAINAGE MANHOLE
■	PROPOSED CATCH BASIN
□	PROPOSED OUTLET STRUCTURE
◁	PROPOSED END SECTION
⊙	PROPOSED WATER GATE VALVE
△	PROPOSED FIRE HYDRANT
▲	PROPOSED WELL
⊕	PROPOSED WATER SHUT OFF VALVE
⊖	PROPOSED WATER VALVE
—	PROPOSED DRAINAGE PIPE
—	PROPOSED SEWER MAIN
—	PROPOSED SEWER FORCE MAIN
—	PROPOSED SEWER SERVICE LINE
—	PROPOSED GREY WATER MAIN
—	PROPOSED GREY WATER SERVICE LINE
—	PROPOSED FIRE SERVICE LINE
—	PROPOSED DOMESTIC WATER SERVICE LINE
—	PROPOSED WATER MAIN
—	PROPOSED GRASS SWALE
—	PATCH TO EXIST
—	PROPOSED CLEAN OUT
—	PROPOSED OVERHEAD DOOR LOCATION
—	PROPOSED SLIDING DOOR LOCATION

NO.	DATE	REVISION	BY
INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.			3 Corbett Place Corvallis, OR 97331 (503) 225-8997 (503) 225-8997 fax www.insite-arg.com
PROJECT: DD - SELF STORAGE			
4 BALDWIN PLACE ROAD, TOWN OF CAMEL, PUTNAM COUNTY, NY			
DRAWING: GRADING & UTILITIES PLAN			
PROJECT NUMBER	22242.100	PROJECT MANAGER	R.D.W.
DATE	3-8-23	DRAWN BY	M.E.V.
SCALE	1" = 40'	CHECKED BY	A.D.T.
DRAWING NO. SP-2.2			SHEET 6 10



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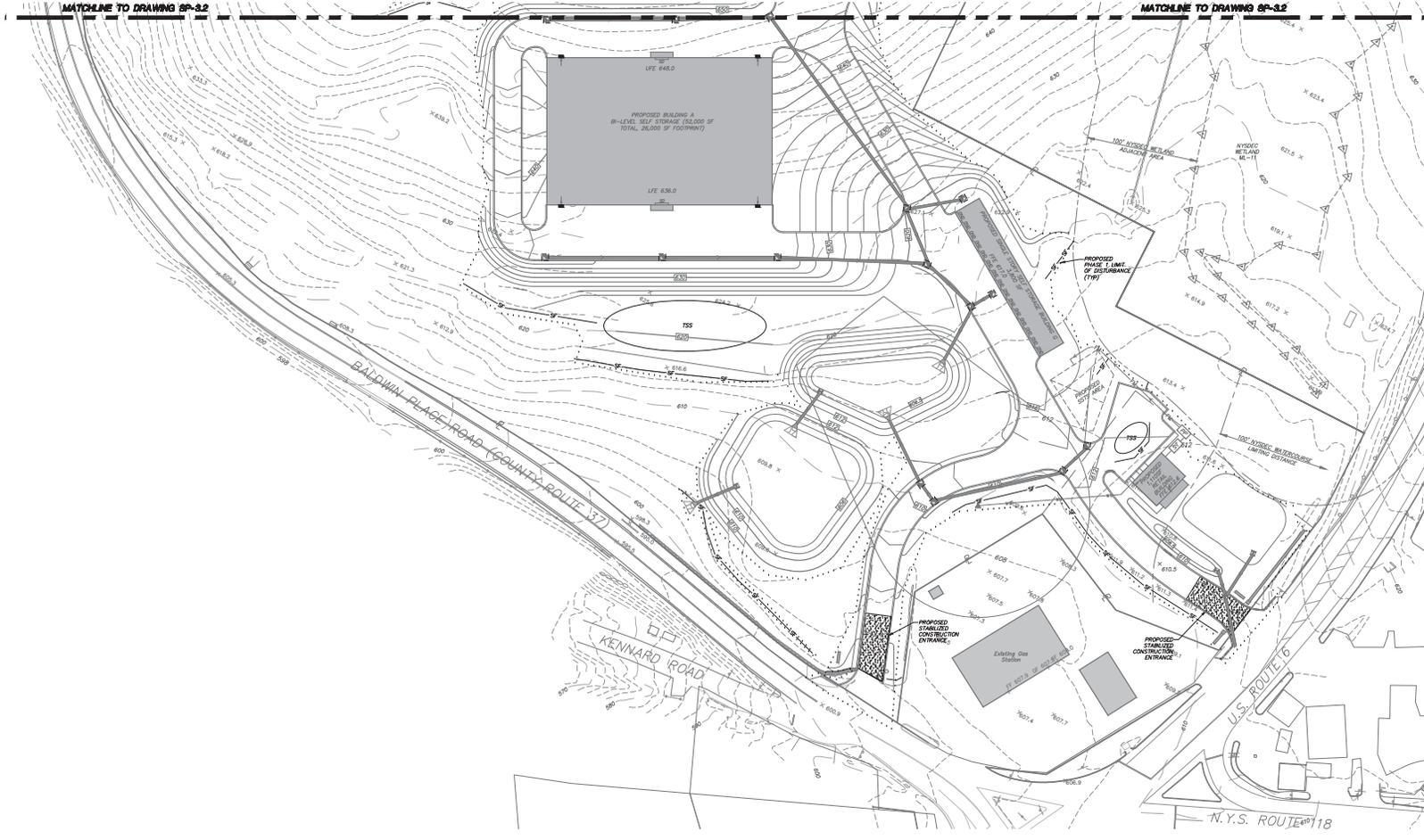
MATCHLINE TO DRAWING SP-21

MATCHLINE TO DRAWING SP-21

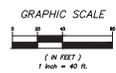


LEGEND

— SF	PROPOSED SILT FENCE
— CF	PROPOSED CONSTRUCTION FENCE
— TB	PROPOSED TURBIDITY CURTAIN
—	PROPOSED RIP-RAP SHALE
—	PROPOSED STONE RIP-RAP
—	PROPOSED LIMITS OF DISTURBANCE
—	PROPOSED STONE CHECK DAM
—	PROPOSED TEMPORARY DIVERSION SHALE
—	PROPOSED TEMPORARY SOIL STOCKPILE
—	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
—	PROPOSED EROSION CONTROL BLANKET
—	PROPOSED DRAINAGE STRUCTURE W/ INLET PROTECTION
—	PROPOSED PHASING LINE
①	PROPOSED PHASING NUMBER



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NO.	DATE	REVISION	BY
PROJECT: DDP - SELF STORAGE 4 BALDWIN PLACE ROAD, TOWN OF CAMEL, PUTNAM COUNTY, NY			
DRAWING: EROSION AND SEDIMENT CONTROL PLAN			
PROJECT NUMBER	22242.100	PROJECT MANAGER	R.D.W.
DATE	3-8-23	DRAWN BY	M.E.U.
SCALE	1" = 40'	CHECKED BY	A.D.T.
DRAWING NO.			SHEET
SP-3.1			7
			10



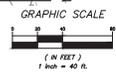


LEGEND

- SF — PROPOSED SILT FENCE
- CF — PROPOSED CONSTRUCTION FENCE
- TB — PROPOSED TURBIDITY CURTAIN
- SR — PROPOSED STONE RAP SWALE
- ST — PROPOSED STONE RIP-RAP
- — — PROPOSED LIMITS OF DISTURBANCE
- — — PROPOSED STONE CHECK DAM
- — — PROPOSED TEMPORARY DIVERSION SWALE
- — — PROPOSED TEMPORARY SOIL STOCKPILE
- — — PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- — — PROPOSED EROSION CONTROL BLANKET
- — — PROPOSED DRAINAGE STRUCTURE W/ MULCH PROTECTION
- — — PROPOSED PHASING LINE
- ① — PROPOSED PHASING NUMBER

MATCHLINE TO DRAWING SP-3.1

MATCHLINE TO DRAWING SP-3.1



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PROJECT: **DDP - SELF STORAGE**

4 BALDWIN PLACE ROAD, TOWN OF CAMEL, PUTNAM COUNTY, NY

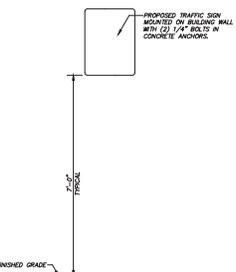
DRAWING: **EROSION AND SEDIMENT CONTROL PLAN**

PROJECT NUMBER	PROJECT MANAGER	R.D.W.	DRAWING NO.	SHEET
22242.100			SP-3.2	8

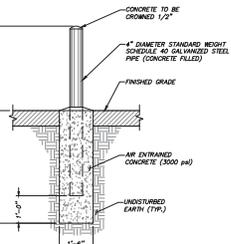
DATE: 3-8-23
SCALE: 1" = 40'

DRAWN BY: M.E.U.
CHECKED BY: A.D.T.

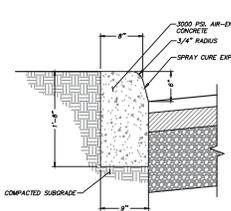




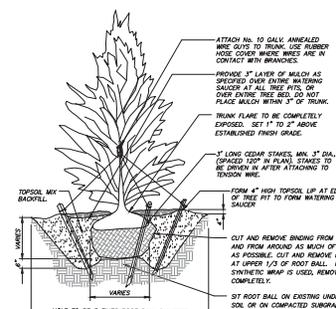
BUILDING MOUNTED SIGN DETAIL
(N.T.S.)



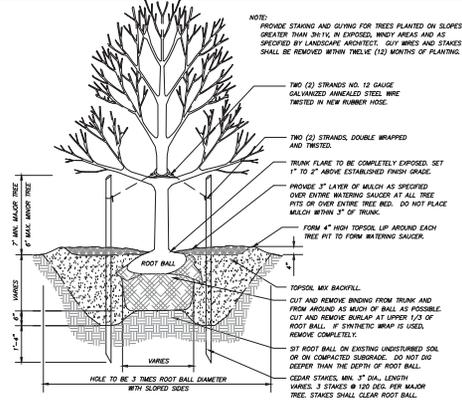
STEEL BOLLARD DETAIL
(N.T.S.)



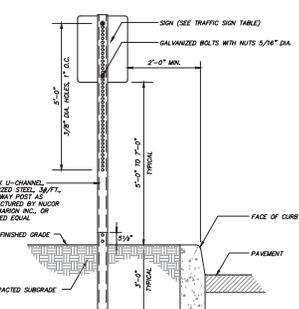
CONCRETE CURB DETAIL
(N.T.S.)



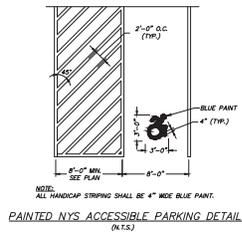
EVERGREEN TREE PLANTING DETAIL
(N.T.S.)



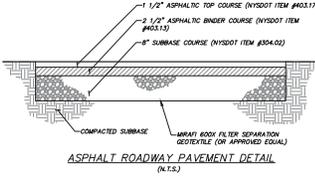
TREE PLANTING DETAIL
(N.T.S.)



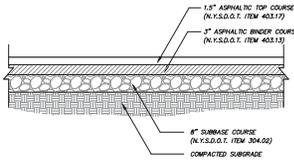
TRAFFIC SIGN DETAIL
(N.T.S.)



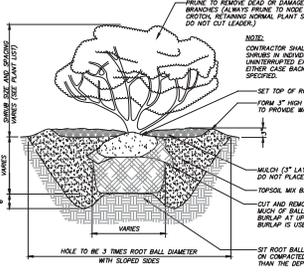
PAINTED NYLON ACCESSIBLE PARKING DETAIL
(N.T.S.)



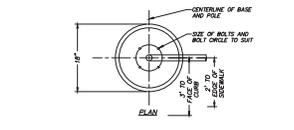
ASPHALT ROADWAY PAVEMENT DETAIL
(N.T.S.)



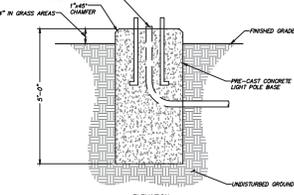
SITE PAVEMENT SECTION DETAIL
(N.T.S.)



SHRUB PLANTING DETAIL
(N.T.S.)



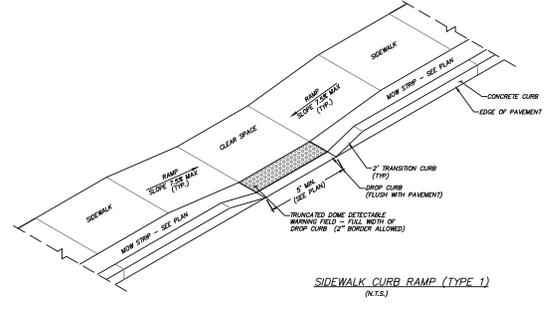
LIGHT POLE BASE DETAIL
(N.T.S.)



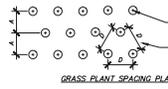
PARALLEL PARKING STRIPING DETAIL
(N.T.S.)

- GENERAL SITE SEEDING NOTES:**
- All proposed seeded areas to receive 4" min. depth of topsoil. Soil amendments and fertilizer application rates shall be determined based on specific testing of topsoil material.
 - Upon final grading and placement of topsoil and any required soil amendments, areas to receive permanent vegetation cover in combination with suitable mulch as follows:
 - Seeded areas shall be covered with suitable mulch.
 - 100-18 (100 Phosphorous) fertilizer or equivalent.
 - Mulch shall be applied in a rate of 40 lbs./1000 S.F. or 2 tons/acre. It to be applied and anchored according to Mass. Dept. of Transportation and State Street Design Guidelines. Anchor 2000.
 - The seed cover prevents the establishment of a permanent vegetation cover, the disturbed areas will be mulched with straw or equivalent.
 - The seed mixes as specified on these drawings are as follows:
 - A. Seed Mix for lawn areas and most other grass areas at a rate of 100 lbs. per acre: Kentucky Bluegrass, Creeping Red Fescue, Perennial Ryegrass.
 - B. Seed Mix for Medium density areas and S370 area as shown on the drawings at a rate of 15 lbs. per acre: Low-Growing Meadow, Grass Mix (28000-156) from Ernst Conservation Seeds of Mendon, MA.
 - C. Seed Mix for Medium areas as shown on the drawings, including types of names and backgrounds of amendments of nitrogenous matter at a rate of 25 lbs. per acre: New England Conservation/Recovery Mix from New England Wetland Plants, Inc. of Amherst, MA.
 - D. Seed Mix for dry slopes as shown on the drawings at a rate of 10 lbs. per acre: New England Erosion Control/Restoration Mix (for Dry Sites) from New England Wetland Plants, Inc. of Amherst, MA.
 - E. Seed Mix for Wetland areas as shown on the drawings at a rate of 25 lbs. per acre: New England Wetland Mix from New England Wetland Plants, Inc. of Amherst, MA.
 - F. Seed Mix for wet meadows and low areas along road side as shown on drawings at a rate of 10 lbs. per acre: New England Wetland Mix from New England Wetland Plants, Inc. of Amherst, MA.
 - G. Seed Mix for dry slopes along road side as shown on drawings at a rate of 10 lbs. per acre: New England Wetland Mix from New England Wetland Plants, Inc. of Amherst, MA.
 - See Drawing D-X "Site Details" for Stormwater Basin seedings.

- GENERAL PLANTING NOTES:**
- All proposed planting beds to receive 12" min. depth of topsoil. Soil amendments and fertilizer application rates shall be determined based on specific testing of topsoil material.
 - Any new soils added will be amended as required by results of soil testing and placed using a method that will not cause compaction.
 - No fertilizer shall be added to stormwater basin plantings. Nutrient requirements to be met by incorporation of acceptable organic matter.
 - All plant material to be nursery grown.
 - Plants shall conform with ANSI Z60.1 American Standard for Nursery Stock in all ways including dimensions.
 - Plant material shall be taken from healthy stock.
 - All plants shall be grown under climate conditions similar to those in the locality of the project.
 - Plants shall be planted in all locations designed on the plan or as stated in the field by the Landscape Architect.
 - The location and layout of landscape plants shown on the site plan shall take precedence in any discrepancy between the quantities of plants shown on the plans and the quantity of plants in the Plant List.
 - Provide a 3" layer of shredded pine bark mulch (or as specified) over wide watering saucers of all tree pits or over entire planting bed. Do not place mulch within 1" of tree or shrub trunk.
 - All landscape plantings shall be established in a healthy condition at all times. Any dead or diseased plants shall immediately be replaced "in kind" by the contractor (during warranty period) or project owner.
 - See Drawing D-Y "Site Details" for Stormwater Basin plantings.



SIDEWALK CURB RAMP (TYPE 1)
(N.T.S.)



GRASS PLANT SPACING PLAN

SPACING "O"	ROW "X"	PLANTS PER SQ. FT.
14" O.C.	20.8	1.50
18" O.C.	15.6	1.13
12" O.C.	10.4	0.75
10" O.C.	8.7	0.63
8" O.C.	6.2	0.47

PERENNIAL / ORNAMENTAL GRASS PLANTING DETAIL
(N.T.S.)



PARALLEL PARKING STRIPING DETAIL
(N.T.S.)

NO. DATE REVISION BY

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LANDSCAPE ARCHITECTURE, P.C.

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Amherst, MA 01002
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PROJECT: **DDP - SELF STORAGE**

1 BROWN PLACE ROAD, TOWN OF CAMEL, PUTNAM COUNTY, NY

DRAWING: **DETAILS**

PROJECT NUMBER: 22242.100 PROJECT MANAGER: R.D.W. DRAWING NO. SHEET: D-1 9 10

DATE: 3-8-23 DRAWN BY: D.S.W. CHECKED BY: A.D.T. SCALE: AS SHOWN

ALLOCATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 208B OF ARTICLE 146 OF THE EDUCATION LAW.

LAW OFFICES OF
SNYDER & SNYDER, LLP

94 WHITE PLAINS ROAD
TARRYTOWN, NEW YORK 10591

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FAX (914) 333-0743

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LESLIE J. SNYDER
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DAVID L. SNYDER
(1956-2012)

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NEWARK, NEW JERSEY 07102
(973) 824-9772
FAX (973) 824-9774

REPLY TO:

TARRYTOWN OFFICE

March 21, 2023

Honorable Chairman Craig Paeprer
and Members of the Planning Board
Town of Carmel Town Hall
60 McAlpin Avenue
Mahopac, New York 10541

Re: Application for site plan and special permit approval for
Glenacom (a/k/a Glencoma) Lake: Walton Drive, Carmel, New York

Honorable Chairman Paeprer
and Members of the Planning Board:

We are the attorneys for Homeland Towers, LLC and New York SMSA Limited Partnership d/b/a Verizon Wireless (collectively, the "Applicants") in connection with their request for site plan and special permit approval to locate a public utility wireless telecommunications facility ("Facility") at the above captioned property ("Property").

In response to the comments received at and since the public hearing on March 9th, we respectfully offer the following response and five (5) copies of the following documents:

1. Letter from Klaus Wimmer detailing the location of wireless towers in the town of Carmel and surrounding areas in proximity to residences;
2. Property Valuation Report from Lane Appraisal; and
3. Preliminary plan detailing a second alternative on the Property that meets the setback from all residences and is closer to the power lines. Please note that his second alternative location has not been fully engineered and is subject to approval by the Property owner and the issuance of the necessary wetland permits.

In further support of the Property Valuation Report submitted by Lane Appraisals, please note that such reports from this expert real estate appraisal firm have been upheld by New York State and federal courts and have been found to be an accurate method to demonstrate whether a wireless tower would impact nearby property values to the extent it is even a relevant

consideration. See Orange County-Poughkeepsie Ltd. Partnership v. Town of E. Fishkill, 84 F. Supp. 3d 274, 291 (S.D.N.Y. 2015), aff'd sub nom. Orange County--County Poughkeepsie Ltd. Partnership v. Town of E. Fishkill, 632 Fed. Appx 1 (2d Cir 2015) (“Plaintiffs submitted a report by Edward J. Ferrarone, a certified appraiser employed at Lane Appraisals, Inc., Real Estate Valuation Consultants”); See also, Matter of Lindenthal v. Town of New Castle, 20 N.Y.S.3d 292 (Table) (Westchester County 2015) (“[t]he [Planning Board] also considered what impact, if any, the monopole could have on property values in the area,” based on the Lane Appraisal report submitted therein); See also, Bruenn v. Town Bd. of Town of Kent, 997 N.Y.S.2d 668 (Putnam County 2014) (“[t]here is also substantial evidence in the record that the Town conducted a thorough analysis of the impact of the proposal on property values, including the Lane Appraisal Report which concludes that ‘the installation, presence, and/or operation of the proposed Facility will not result in the diminution of property values or reduce the marketability of properties in the immediate area.’ There is also a supplemental Lane Appraisal Report.”); See also, T-Mobile Northeast LLC v. Town of Ramapo, 701 F. Supp. 2d 446, 463 (SDNY 2009) (“T-Mobile submitted a comparative sales analysis prepared by [Lane Appraisals] that concluded the tower would not adversely affect Ramapo property values.”); See also Sprint Spectrum, L.P. v. Cestone, Docket No. 00 Civ. 4828, 9-10 (S.D.N.Y. 2001) (holding that the Zoning Board was correct in finding that that residents’ concerns regarding property values were not credible in comparison to the expert reports, including reports from Lane Appraisals, which demonstrate no reduction in property value is likely to result from a nearby wireless facility).

It is important to note that generalized concerns regarding a potential decrease in property values cannot be relied upon in the face of an expert report, such as the Property Valuation Reports from Lane Appraisals, which contradicts such generalized concerns. See Cellular Tel. Co. v. Town of Oyster Bay, 166 F.3d 490 (2d Cir. 1999); See also, Sprint Spectrum, L.P. v. Cestone, at 11 (“[g]eneralized concerns about a potential decrease in property values stemming from the construction of the proposed communications antenna, especially in light of the expert reports contained in this record before the Court, are not adequate to support the conclusion that a special use permit should be denied.”) Please also note that that concerns related to perceived environmental and health effects from radio frequency emissions cannot be disguised as property value concerns as “the TCA bars reliance on fear of declining property values because this rationale is actually a proxy for the impermissible ground of environmental effects.” Cellular Tel. Co., at 496.

In response to comments regarding potential alternative locations for the Facility, please note that the Applicants have gone above and beyond their required good faith efforts to review alternative locations for the Facility, and that the record clearly demonstrates there is no viable alternative location for the Facility other than the proposed site at the Property. See New York SMSA Ltd. Partnership v. Vil. of Floral Park Bd. of Trustees, 812 F. Supp. 2d 143 (E.D.N.Y. 2011), (“[t]he record reveals a good-faith effort by Verizon to evaluate viable alternative sites,

and there was no requirement or request for Verizon to submit additional materials regarding the Verizon Building. Accordingly, the Board’s denial on this ground is not supported by substantial evidence.”) In fact, the Applicants have reviewed every single proposed alternative location and have demonstrated to the Town every time why such alternative location is not a viable solution. See New Cingular Wireless PCS v. Town of Fenton, 843 F. Supp. 2d 236, 254 (N.D.N.Y. 2012) (finding that plaintiff met its burden to establish that its proposed facility was the least intrusive means to remedy its gap in coverage because the plaintiff “analyzed, in great detail, every attempt by the [board] and town residents to identify a less intrusive, but still feasible, alternative”, but no alternative locations existed); See also, UP State Tower Co., LLC v. Town of Tonawanda, New York, 118CV00952LJVMJR, 2020 WL 8083693, [W.D.N.Y. Nov. 18, 2020], report and recommendation adopted, 18-CV-952-LJV-MJR, 2021 WL 50906 [W.D.N.Y. Jan. 6, 2021]. As there are no viable alternative properties that were identified by the Town or included in the record, failure to approve the Facility at the Property would effectively prohibit Verizon Wireless from providing its services in the Town. See T-Mobile USA, Inc. v. City of Anacortes, 572 F.3d 987 (9th Cir. 2009) (“we conclude that T-Mobile’s application made a prima facie showing of effective prohibition, and that the City in denying the application failed to show that there were any potentially available and feasible alternatives to the Church site.”)

Please also note that it is well established law that “in order to establish public necessity, ‘the carrier must demonstrate **not** that the proposed facility was the ‘least intrusive means,’ but rather that the proposed facility was ‘more feasible than other options.’” District courts in [the 2nd Circuit] have generally concluded that “[i]f the [wireless carrier] makes the required showing, which necessarily means the record is devoid of substantial evidence to support a denial, the [application] must [be granted].” UP State Tower, at 11, citing Vill. of Floral Park. (Emphasis added). We respectfully submit that the Applicants have made such a demonstration and that the record is completely devoid of any available viable alternative to address the gap in service, other than the proposed Facility at the Property. Without the Facility, Verizon Wireless will be materially inhibited or limited from providing its personal wireless services in the Town.

We remind the Town that the Telecommunications Act requires that the Town not take any action, or enforce any Town Code section, that prohibits or effectively prohibits the provision of personal wireless services. 47 USC §§ 253(a) & 332(b)(i)(II). The FCC in the Third Report and Order clarified that the significant gap plus least intrusive means standard is no longer applicable and that a carrier need only to demonstrate that a municipality is materially inhibiting the provision of wireless services. See In the Matter of Accelerating Wireless Broadband Deployment by Removing Barriers to Infrastructure Inv., Declaratory Ruling and Third Report and Order, 33 FCC Rcd 9088 (2018), (hereinafter referred to as the “Third Report and Order”); See also, City of Portland v. United States, 969 F.3d 1020, (9th Cir. 2020), cert denied sub nom. City of Portland, Oregon v. Fed. Communications Commn., 141 S. Ct. 2855 (2021) (upholding the Third Report and Order’s materially inhibit standard.) The FCC clarified

that “an effective prohibition occurs where a state or local legal requirement materially inhibits a provider’s ability to engage in any of a variety of activities related to its provision of a covered service. This test is met not only when filling a coverage gap but also when densifying a wireless network, introducing new services or otherwise improving service capabilities.” Third Report and Order, at 9104-9105. Furthermore, “a state or local legal requirement could materially inhibit service in numerous ways—not only by rendering a service provider unable to provide an existing service in a new geographic area or by restricting the entry of a new provider in providing service in a particular area, but also by materially inhibiting the introduction of new services or the improvement of existing services. Thus, an effective prohibition includes materially inhibiting additional services or improving existing services.” Third Report and Order, at 9105; See also, New Cingular Wireless PCS, LLC v. Town of Colonie, 20-CV-1388 (NAM/ATB), 2022 WL 1009436, (N.D.N.Y. Mar. 31, 2022) (“[t]he FCC has stated that the ‘materially inhibit’ standard is the appropriate standard for determining whether a State or local law operates as a prohibition or effective prohibition within the meaning of Sections 253 and 332.”)

We thank you for your consideration and look forward to discussing this matter at the March 22, 2023 public hearing. If you have any questions or require any additional documentation, please do not hesitate to contact me at 914-333-0700.

Snyder & Snyder, LLP

By: 
Robert D. Gaudio

RDG:cae

Enclosures

cc: Homeland Towers
Verizon Wireless
Mahopac Fire District



March 20, 2023

Honorable Chairman Paepfer and
Members of the Planning Board
Town of Carmel
60 McAlpin Avenue
Mahopac, NY 10541

RE: Homeland Towers application for wireless facility at Walton Dr

Hon. Chairman Paepfer and Members of the Planning Board:

I am the Regional Manager for Homeland Towers, LLC. I was responsible for identifying a suitable location for a telecommunications facility that would remedy the significant gap in reliable wireless service throughout the southern portion of Carmel in the vicinity and along Union Valley Road and adjoining residential areas.

In response to comments from the Board and the public I respectfully submit the following information and documentation.

Comments were made regarding the proximity of the proposed wireless facility to residences on Walton Drive. I would like to submit that many residences throughout the area are located within close proximity to telecommunications facility infrastructure and in many instances these facilities are located in similar or even closer proximity than is proposed.

Attached as Exhibit A hereto please find a sample list of existing wireless telecommunications facilities in Putnam, Dutchess, Westchester and Fairfield Counties that are located in close proximity to or near residences. The list shows the height and type of the facility, address and distance to the nearest residence. A satellite image of each location referenced by number follows the list with the distance to the residence shown in red.

Respectfully,

Klaus Wimmer

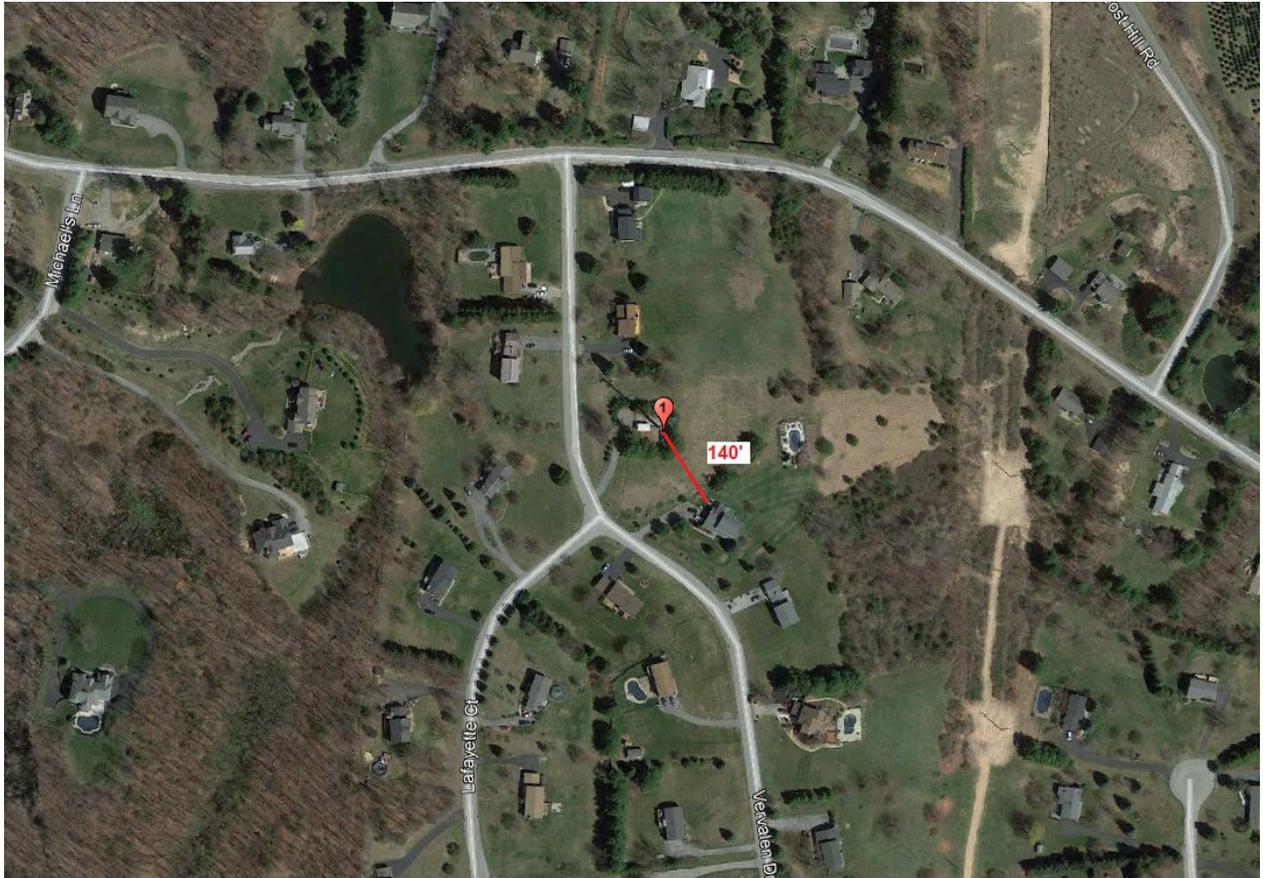
Klaus Wimmer
Regional Manager
Homeland Towers, LLC.

EXHIBIT A

Reference Number	Cell Site Type	Cell Site Address	Town	County/State	Approx. distance to closest residence	Tower Height
1	Monopole	20 Vervalen Dr.	Poughkeepsie	Dutchess / NY	140'	150
2	Lattice Tower	30 Morning View Ct	Chappaqua	Westchester/NY	150'	170'
3	Lattice Tower	51 Crest Dr	Carmel	Putnam/NY	110'	195'
4	Flagpole	55 McAlpin Ave	Carmel	Putnam/NY	137'	130'
5	Guyed Tower	1181 Route 6	Carmel	Putnam/CT	210'	120'
6*	Monopine	183 Soundview Lane	New Canaan	Fairfield / CT	175'	90'
7*	Monopole	21 Smokey Hollow Ct	Kent	Putnam/ NY	190'	150'
8*	Monopole	3101 Quinlan St	Yorktown Heights	Westchester/ NY	175'	135'
9	Monopole	Heritage Hills	Somers	Westchester/NY	250'	90'
10*	Monopine	2580 Route 35	Somers	Westchester/NY	200'	130'

*Towers constructed by Homeland Towers LLC

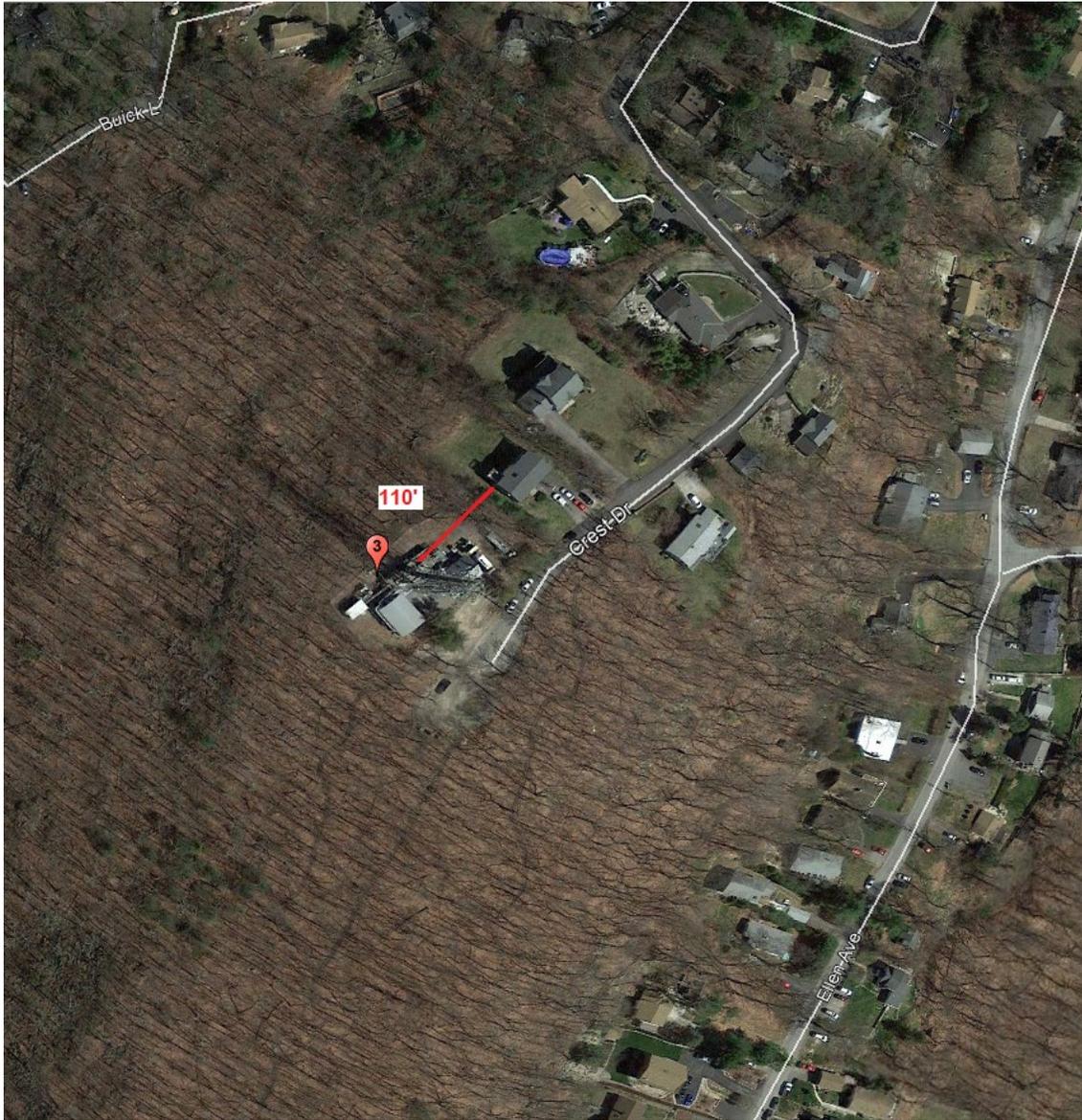
1. 150 ft Monopole, 20 Vervalen Rd, Poughkeepsie, NY
Distance to closest Residence appr. 140 ft



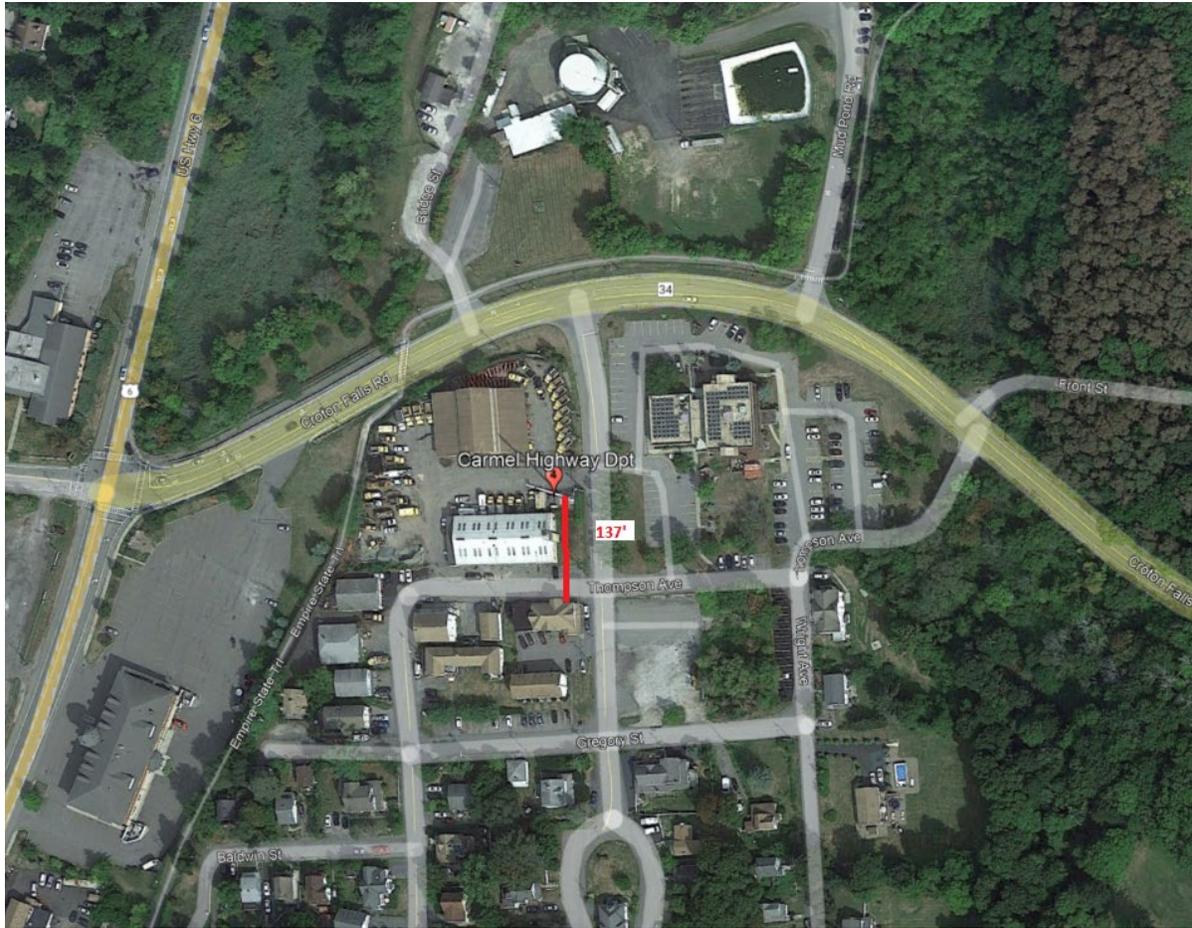
2. 170 ft Lattice Tower, 30 Morning View Ct, Chappaqua, NY
Distance to closest Residence appr. 150 ft



3. 195 ft Lattice Tower, 51 Crest Dr, Carmel, NY
Distance to closest Residence appr. 110 ft



- 4. 120 ft Flagpole Tower, Town of Carmel Highway Department,
55 McAlpin Ave, Mahopac, NY
Distance to closest Residence appr. 137 ft



5. 120 ft Guide Tower, 1181 Rote 6, Carmel, NY
Distance to closest Residence appr. 210 ft



6. 90' Monopine*, 183 Soundview Lane, New Canaan, CT
Distance to closest Residence appr. 175 ft



*recently constructed tower, aerial image is not yet available

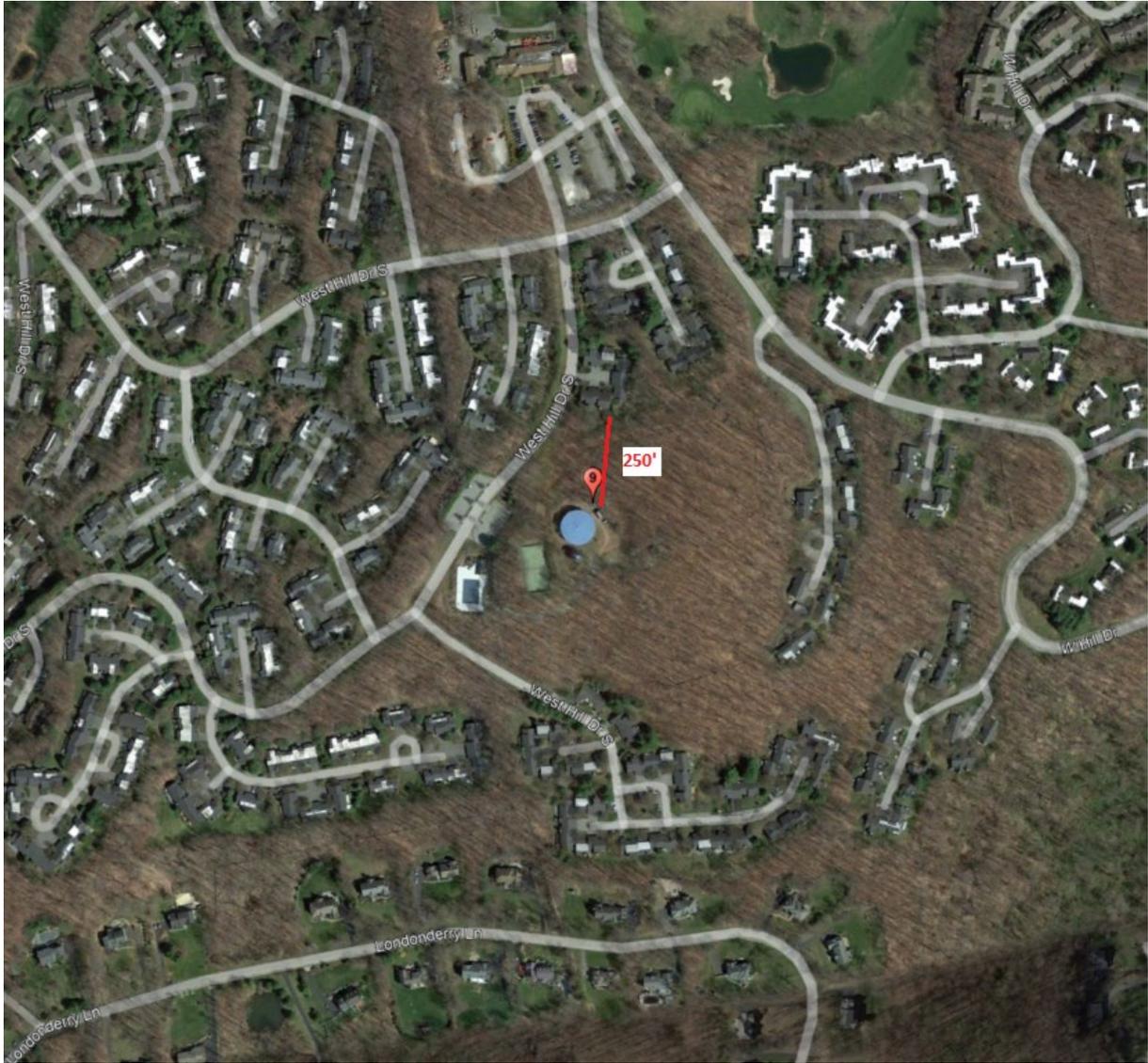
1. 150 ft Monopole, 21 Smokey Hollow Ct, Kent, NY
Distance to closest Residence appr. 190 ft



- 150 ft Monopole, 3101 Quinlan St, Yorktown Heights, NY
Distance to closest Residence appr. 175 ft



9. 90 ft Monopole, Heritage Hills, Somers, NY
Distance to closest Residence appr. 250 ft



10. 130' Monopole 2580 Route 35, Somers, NY
Distance to closest Residence appr. 200 ft



LANE APPRAISALS, INC.

Real Estate Valuation Consultants

PAUL A. ALFIERI, III, MAI
EDWARD J. FERRARONE, MAI
PAUL A. ALFIERI, IV
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12 KENSINGTON CT
DELMAR, NY 12054
914-834-1400
914-834-1380

E MAIL : lane.app@verizon.net

March 20, 2023

JOHN W. LANE, MAI (1907-1993)

Honorable Chairperson Craig Paepre and
Members of the Planning Board
Town of Carmel
60 McAlpin Avenue
Mahopac, NY 10541

Re: Proposed Wireless Telecommunications Facility
Walton Drive, Carmel, Putnam County, NY

Dear Chairman Paepre and
Members of the Planning Board:

In accordance with the request of Homeland Towers, LLC (“Homeland”), I have inspected the above site and have completed an analysis of the potential impact of the proposed public utility wireless telecommunications facility including a 140 foot tower with related equipment at the base thereof (“Facility”), which is to be located on the Maple Hill Estates property at Walton Drive, in the Town of Carmel, Mahopac P.O., NY (“Property”). Homeland Towers, LLC and Verizon Wireless (the “Applicant”) are requesting permission to erect the Facility at the Property. This analysis is to be used in connection with the application for approval which is being presented to the appropriate municipal board.

The Facility is proposed to be located at the Property known and designated as Map 87.5, Block 1, Lot 90 on the Assessment Maps of the Town of Carmel, Mahopac P.O.. The site is located in the Residential district of the Town of Carmel. This site has 70.4929 +/- acres of land area to the east of Glencoma Lake and south of Teakettle Spout Lake, in the Town of Carmel, Mahopac P.O., NY. The area where the facility is to be located is densely vegetated. No changes in the lot size are contemplated.

The proposed Facility will be located on an undeveloped portion of the property directly south of Walton Drive, elevated near a relatively steep and rocky portion of the parcel. I have reviewed the visual report prepared by Saratoga Associates, for the character of the views of the proposed Facility.

The proposed Facility will consist of a 140 foot high, “monopole” with panel antennas mounted on the pole. All cables will be run within the monopole. In the alternative a stealth monopine tower has also been offered. The compound will have a protective fence and gate. Additionally the compound will contain wireless equipment, with room reserved within the compound area for additional carriers and public safety equipment in the future. Notwithstanding, due to the fencing, wooded area and distance from the property

line, the equipment will be minimally visible from the surrounding residential homes and public roads.

At the request of Homeland, the subject property was inspected on March 17, 2023 to consider the effect of the proposed Facility upon the value of the surrounding properties. I also reviewed the plans prepared by Dewberry Engineers Inc.

In connection with the proposed Facility on the Property, I have made use of an ongoing study of sales of homes within a close proximity of similar communications facilities in Orange, Rockland, Putnam and Westchester Counties. I offer the following comments regarding the locations and value trends noted in areas which have similar communications facilities. There are sixteen separate studies, covering various time periods ranging from 2014 to the present.

I analyzed numerous properties both with and without a view of a cell tower. The large number of comparables and the average they provide negates the need to account for the smaller differences. Simply put, because the sample size is larger, the minor differences tend to average themselves out. Moreover, as noted above, the comparables for each of the existing cell towers reviewed in this Report are from a small geographical area, specifically, near an existing cell tower, which also limits the differences in amenities that are likely to exist. Homes within the same geographical area a/k/a neighborhood, tend to have similar characteristics/amenities, further negating the need to seek out and adjust for minor differences.

Our firm's method also negates the possibility that the samples were cherry picked to conveniently support a theory. The large sample size of homes that are within the same small geographic area (near an existing cell tower) and sold during a finite amount of time, limits the pool of comparables to choose from, negating any ability to "cherry pick" to support a theory. We included virtually all sales within an area during a certain time period, excepting only sales of non-typical dwellings such as uninhabited dwellings, tear downs or of estate quality property out of the area norm.

We have completed more than a dozen other such studies in additional, nearby counties in New York State. In every instance, the results have been consistent and similar. There is no diminution in the value of homes with a view of a wireless telecommunications facility.

The sales which were utilized in this analysis are summarized in the sixteen, attached exhibits. All of these studies involved communication monopoles or towers, and in no instance did I find that views of such communication facilities had any detrimental effect on property values. There was a normal range of value with typical increases or decreases in value according to the market for homes regardless of whether or not they had views of communications facilities.

My qualifications and experience are detailed at the end of this report in an attachment titled "Qualification of Appraiser". In sum, I am designated as an MAI (Member of the Appraisal Institute); I am a certified general appraiser in the State of New York and an accredited New York State Department of Transportation, Right of Way Appraiser,

and have been qualified as an expert by New York Courts in real estate valuation. I have been engaged exclusively in appraising real estate since 1984, including appraising values of residential and commercial properties in New York.

I have also read the public comments regarding property values including a letter submitted by a member of the public that claims the Facility will negatively impact surrounding property values. The letter is an unsupported opinion absolutely devoid of any data or objective proof what so ever. The letter also fails to state the methodology used to form the opinion and fails to provide the articles or data to support their conclusions. The opinion in the letter is so unsupported and so extreme, and lacks any validation or methodology, that it should be given no credence. In fact, it references a DAS installation in the public right of way.

In conclusion, this Report uses actual data from known properties near cell towers sold on specific dates to demonstrate that sales within sight of a tower facility fall within similar average price per square foot ranges as other sales in the neighborhood, and that there has not been a diminution of the value due to the construction of similar facilities in the Putnam County area. This Report is based on accepted methodology and includes the underlying data. The Report provides substantial evidence to sustain its finding that “the installation, presence, and/or operation of the proposed Facility will not result in diminution of property values or reduce the marketability of properties in the immediate area.”

As a result of this analysis and my inspection of the site in this case, it is my expert opinion that the installation, presence, and/or operation of the proposed Facility will not result in the diminution of property values or reduce the marketability of properties in the immediate area. If you have any questions, please contact me.

Sincerely,



Paul A. Alfieri III, MAI
Certified General Appraiser
State of New York #46-9780
March 20, 2023

Exhibit 1, 94 Gleneida Avenue, Mahopac, Putnam County, NY

A 121' flagpole type tower located at 94 Gleneida Avenue, at the corner of Vink Drive, in the Town of Carmel, Mahopac P.O., NY visited in February 2019. The following sales are located on the surrounding streets and are within sight of the tower:

2016 - 2018 STUDY

<u>Address</u>	<u>Sales Price</u>	<u>Sale Date</u>	<u>Area</u>	<u>Price/SF</u>
4 Kyle Ct	\$ 355,000	4-20-2017	2,500	\$142
11 Kyle Ct	\$ 355,000	6-20-2017	2,160	\$164
2 Collier Dr W	\$ 362,000	7-18-2017	2,024	\$179
2 Collier Dr	\$ 222,500	8-03-2018	1,300	\$171
7 North Dr	\$ 322,000	8-23-2018	1,542	\$209
3 Circle Dr	\$ 190,000	5-23-2016	1,344	\$141
1 Raymond Dr	\$ 210,750	5-26-2017	1,640	\$129
4 Raymond Dr	\$ 135,000	9-22-2017	600	\$225
2 East Dr	\$ 365,000	11-15-2018	2,376	\$154
10 Ridge Rd	\$ 335,000	9-15-2016	1,464	\$229
6 Ridge Rd	\$ 370,000	12-9-2016	1,715	\$178

Average Sales Price per Square Foot: \$178

The following properties are in the same neighborhood but have no view of the tower:

<u>Address</u>	<u>Sales Price</u>	<u>Sale Date</u>	<u>Area</u>	<u>Price/SF</u>
16 Wyndham Ln	\$ 575,000	10-11-2016	4,198	\$137
44 Wyndham Ln	\$ 512,000	1-12-2017	3,013	\$170
33 Wyndham Ln	\$ 540,000	1-15-2016	4,333	\$125
41 Wyndham Ln	\$ 545,000	6-30-2016	3,867	\$141
29 Wyndham Ln	\$ 542,500	8-01-2017	2,718	\$200
48 Wyndham Ln	\$ 548,500	8-14-2018	3,744	\$147
29 Glenna Dr	\$ 340,000	5-15-2017	1,456	\$234
30 Glenna Dr	\$ 279,900	8-29-2016	1,800	\$156
24 Glenna Dr	\$ 315,000	1-06-2015	1,978	\$159
25 Hill & Dale Rd	\$ 430,000	9-14-2017	2,308	\$186
28 Wainwright Dr	\$ 369,500	5-31-2016	1,718	\$215
11 Fowler Av	\$ 264,050	3-03-2017	1,457	\$181
18 Collier Dr E	\$ 269,850	7-20-2018	2,004	\$135
1 Ridge Rd	\$ 295,000	6-26-2017	1,487	\$198
7 Sunset Ridge	\$ 530,000	12-29-2017	3,198	\$166
21 Sunset Ridge	\$ 368,000	11-5-2018	1,640	\$226
27 Sunset Ridge	\$ 460,000	9-01-2017	3,432	\$134
63 Fair St	\$ 267,000	7-24-2017	1,414	\$189
64 Fair St	\$ 349,900	7-31-2018	1,624	\$215
65 Fair St	\$ 196,000	1-30-2017	1,324	\$148
83 Fair St	\$ 349,000	11-7-2017	1,624	\$215
31 De Colores Dr	\$ 365,000	9-05-2018	2,184	\$167
24 De Colores Dr	\$ 210,000	9-29-2016	1,765	\$119
7 Waring Dr	\$ 482,500	6-23-2016	3,314	\$146
15 Waring Dr	\$ 474,000	6-17-2016	2,694	\$176
41 Waring Dr	\$ 385,000	12-20-2016	1,600	\$241
62 Waring Dr	\$ 440,000	1-22-2016	2,753	\$160
3667 Route 301	\$ 545,000	6-01-2018	3,392	\$161

Average Sales Price per Square Foot: \$173

Study indicates that the properties with views of a communications tower have a slightly greater average price per square foot than those without a view of a communications tower.

Exhibit 2, 55 McAlpin Avenue, Mahopac, Putnam County, NY

A 120' flagpole type tower located at 55 McAlpin Avenue, at the corner of See Avenue and east of Route 6, in the Town of Carmel, Mahopac P.O., NY visited in February 2019. The following sales are located on the surrounding streets and are within sight of the tower:

2016 - 2018 STUDY

<u>Address</u>	<u>Sales Price</u>	<u>Sale Date</u>	<u>Area</u>	<u>Price/SF</u>
20 Front St	\$ 300,000	6-14-2017	1,512	\$198
10 Miller Av	\$ 179,900	5-10-2017	840	\$214
5 Baldwin St	\$ 260,000	7-12-2016	1,100	\$236
3 Baldwin St	\$ 235,500	6-26-2017	1,200	\$196
1 Baldwin St	\$ 332,000	12-19-2016	1,798	\$185
160 See Av	\$ 250,000	7-27-2016	1,576	\$159
143 See Av	\$ 357,000	9-16-2016	1,762	\$203
31 Wright Av	\$ 240,000	8-01-2018	974	\$246
28 Wright Av	\$ 310,000	1-03-2018	1,324	\$234
20 McAlpin Av	\$ 310,000	8-16-2017	1,824	\$170
12 McAlpin Av	\$ 447,500	11-28-2018	1,798	\$249
18 McAlpin Av	\$ 372,000	11-3-2016	2,122	\$175

Average Sales Price per Square Foot: \$205

The following properties are in the same neighborhood but have no view of the

tower:

<u>Address</u>	<u>Sales Price</u>	<u>Sale Date</u>	<u>Area</u>	<u>Price/SF</u>
21 M & M Ln	\$ 284,900	10-11-2017	2,052	\$139
27 Tanager Rd	\$ 345,000	1-12-2017	2,210	\$156
45 Tanager Rd	\$ 400,000	1-15-2016	2,745	\$146
45 Lakeview Terr	\$ 250,500	6-30-2016	1,856	\$135
4 Olympus Dr	\$ 450,000	8-01-2016	2,602	\$173
535 Kennicut Hill Rd	\$ 312,000	8-14-2018	1,204	\$259
254 Dahlia Dr	\$ 295,000	5-15-2016	1,708	\$173
17 Mt Hope Rd	\$ 277,900	8-29-2016	1,118	\$248
40 Mt Hope Rd	\$ 231,450	1-06-2016	1,732	\$134
43 Mt Hope Rd	\$ 185,000	9-14-2019	1,320	\$140
7 Lakeview Dr	\$ 360,000	5-31-2018	1,843	\$195
2 Lakeview Dr	\$ 342,000	3-03-2016	1,184	\$289
10 Lakeview Dr	\$ 365,000	7-20-2018	2,593	\$141
54 Lakeview Dr	\$ 235,000	6-26-2018	1,824	\$129
107 Lakeview Dr	\$ 315,000	12-29-2018	1,920	\$164
17 Highridge Rd	\$ 360,000	11-5-2016	1,667	\$216
45 Highridge Rd	\$ 439,000	9-01-2018	2,476	\$177
30 Greenfield Rd	\$ 364,950	7-24-2017	1,512	\$241
33 Greenfield Rd	\$ 460,000	7-31-2018	2,940	\$156
30 Mayfair Ln	\$ 360,000	1-30-2017	1,686	\$214
60 N Ridge Rd	\$ 681,106	11-7-2018	2,568	\$265
14 Overhill Rd	\$ 329,900	9-05-2016	1,476	\$224
70 Heather Dr	\$ 225,000	9-29-2016	1,200	\$188
32 Overlook Dr	\$ 404,000	6-23-2018	2,350	\$172
7 Odessa Rd	\$ 412,500	6-17-2018	2,276	\$181
14 Longdale Rd	\$ 403,500	12-20-2018	2,372	\$170
24 Baxter Ct	\$ 425,000	1-22-2018	1,976	\$215
28 Baxter Ct	\$ 392,080	1-22-2017	1,976	\$198
23 Baxter Ct	\$ 295,000	1-22-2016	1,336	\$221
31 Strawberry Fields Ln	\$ 639,000	6-01-2018	3,694	\$173

Average Sales Price per Square Foot:

\$188

Study indicates that the properties with views of a communications tower have a greater average price per square foot than those without a view of a communications tower.

Exhibit 3, 51 Crest Avenue, Mahopac, Putnam County, NY

A 195' lattice tower located at 51 Crest Drive, south of Lake Mahopac, in the Town of Carmel, Mahopac P.O., NY visited in February 2019. The following sales are located on the surrounding streets and are within sight of the tower:

2016 - 2018 STUDY

<u>Address</u>	<u>Sales Price</u>	<u>Sale Date</u>	<u>Area</u>	<u>Price/SF</u>
718 Hill Dr	\$ 235,000	9-20-2017	1,128	\$208
722 Hill Dr	\$ 260,000	1-08-2018	1,124	\$231
29 Mary Av	\$ 321,000	10-22-2018	1,638	\$196
66 Ellen Av	\$ 97,500	10-31-2016	726	\$134
76 Ellen Av	\$ 160,000	5-24-2018	1,722	\$ 93
65 Ellen Av	\$ 306,000	12-27-2018	1,678	\$182
12 Crest Dr	\$ 200,000	6-15-2018	1,068	\$187
9 Crest Dr	\$ 330,350	12-30-2016	1,080	\$306
34 Indian Av	\$ 290,000	9-28-2016	1,900	\$153
4 Elm Ct	\$ 657,500	5-12-2017	5,016	\$131
5 Locust Ct	\$ 275,000	3-23-2017	989	\$278
30 Colonial Dr	\$ 630,000	2-18-2016	3,833	\$164
34 Colonial Dr	\$ 335,000	2-20-2018	1,381	\$243
25 Colonial Dr	\$ 255,000	3-17-2016	1,444	\$180
751 South Lake Blvd	\$ 490,000	2-15-2018	1,008	\$486
32 Middle Branch Rd	\$ 380,000	9-19-2018	1,852	\$205
288 Bucks Hollow Rd	\$ 230,000	10-3-2016	900	\$256
45 Lakeview Terr	\$ 250,000	5-24-2016	1,856	\$135
4 Olympus Dr	\$ 450,000	9-20-2016	2,602	\$173
535 Kennicut Hill Rd	\$ 312,000	12-19-2018	1,204	\$259
254 Dahlia Dr	\$ 295,000	3-08-2016	1,708	\$173
233 Dahlia Dr	\$ 352,000	3-30-2018	1,796	\$196
7 Astor Dr	\$ 565,000	8-07-2017	2,940	\$192
12 Astor Dr	\$ 450,000	3-16-2016	2,900	\$155
49 Tulip Rd	\$ 379,000	8-08-2018	1,720	\$220

Average Sales Price per Square Foot: \$205

The following properties are in the same neighborhood but have no view of the tower:

<u>Address</u>	<u>Sales Price</u>	<u>Sale Date</u>	<u>Area</u>	<u>Price/SF</u>
15 Indian Av	\$ 355,000	6-23-2016	1,668	\$213
25 Senior Av	\$ 650,000	6-20-2016	3,575	\$182
866 South Lake Blvd	\$ 388,000	10-25-2018	1,932	\$201
14 Gleneida Blvd	\$ 462,000	9-25-2017	2,398	\$193
34 Gleneida Blvd	\$ 352,500	2-16-2017	1,342	\$263
12 Muscoot Rd	\$ 293,000	9-06-2018	1,488	\$197
10 Muscoot Rd	\$ 247,000	4-13-2017	1,400	\$176
17 Pine Cone Rd	\$ 389,900	5-31-2018	2,020	\$193
410 Baldwin Place Rd	\$ 200,000	2-05-2018	996	\$201
782 South Lake Blvd	\$ 610,000	1-24-2017	4,185	\$146
10 Veschi Ln N	\$ 344,500	6-28-2018	1,802	\$191
31 Ryan Ct	\$ 603,000	8-23-2018	3,632	\$166
26 Ryan Ct	\$ 557,800	8-31-2018	2,992	\$186
133 Dahlia Dr	\$ 380,000	8-22-2018	1,908	\$199
61 Astor Dr	\$ 430,000	8-15-2018	2,170	\$198
151 Dahlia Dr	\$ 350,000	1-18-2018	2,250	\$156

1 Tulip Rd	\$ 350,000	12-29-2017	2,296	\$152
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Average Sales Price per Square Foot:	\$189
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Study indicates that the properties with views of a communications tower have a greater average price per square foot than those without a view of a communications tower.

Exhibit 4, 1181 Route 6, Mahopac, Putnam County, NY

Two monopole towers approximately 120' each, located south of 1181 Route 6, in the Mahopac area of the Town of Carmel, Mahopac P.O., NY visited in February 2019. The following sales are located on the surrounding streets and are within sight of the tower:

2016 - 2018 STUDY

<u>Address</u>	<u>Sales Price</u>	<u>Sale Date</u>	<u>Area</u>	<u>Price/SF</u>
44 Nicole Way	\$ 450,000	8-02-2017	2,488	\$181
51 Nicole Way	\$ 325,500	4-18-2018	2,236	\$146
129 Overlook Dr	\$ 460,000	9-19-2018	2,320	\$198
133 Overlook Dr	\$ 315,000	8-02-2018	1,064	\$296
130 Overlook Dr	\$ 325,000	2-17-2016	2,456	\$132
106 Overlook Dr	\$ 165,000	7-30-2018	1,100	\$150
68 Albion Oval	\$ 258,000	4-25-2016	1,177	\$219
110 Baldwin Ln	\$ 375,000	8-29-2017	2,175	\$172
282 Shear Hill Rd	\$ 375,000	9-12-2016	1,812	\$207
278 Shear Hill Rd	\$ 282,500	5-16-2018	1,521	\$186
244 Shear Hill Rd	\$ 370,000	7-19-2016	1,812	\$204
154 Lake Dr	\$ 450,000	9-15-2016	3,672	\$123
123 Lake Dr	\$ 355,000	7-31-2018	1,900	\$187
139 Lake Dr	\$ 475,000	2-23-2017	2,065	\$230

Average Sales Price per Square Foot: \$188

The following properties are in the same neighborhood but have no view of the

tower:

<u>Address</u>	<u>Sales Price</u>	<u>Sale Date</u>	<u>Area</u>	<u>Price/SF</u>
529 N Lake Blvd	\$ 535,000	11-23-2016	3,876	\$138
390 E Lake Blvd	\$ 315,000	10-26-2017	1,096	\$287
73 Baldwin Ln	\$ 299,500	1-12-2017	1,056	\$284
32 Baldwin Ln	\$ 380,000	1-04-2016	2,936	\$129
26 Baldwin Ln	\$ 185,000	7-29-2016	1,000	\$185
19 Albion Oval	\$ 300,000	5-01-2018	1,482	\$202
41 Albion Oval	\$ 380,000	8-26-2016	2,060	\$184
45 Albion Oval	\$ 390,000	12-21-2018	2,220	\$176
30 Albion Oval	\$ 350,000	10-23-2018	1,858	\$188
59 Albion Oval	\$ 254,639	3-15-2016	1,122	\$120
205 Shear Hill Rd	\$ 259,000	2-08-2018	944	\$274
98 Shear Hill Rd	\$ 390,000	9-12-2016	1,836	\$212
4 Lacona Rd	\$ 415,000	1-18-2018	2,104	\$197
20 Lacona Rd	\$ 352,500	2-21-2017	1,904	\$185
24 Lacona Rd	\$ 265,000	7-29-2016	1,899	\$140
32 Lacona Rd	\$ 340,930	4-04-2017	1,648	\$207
13 Lacona Rd	\$ 425,000	1-10-2018	2,374	\$179
22 Sheryl Ln	\$ 573,000	1-04-2016	3,926	\$146
12 Sheryl Ln	\$ 410,000	11-9-2018	1,982	\$207
10 Sheryl Ln	\$ 490,000	1-27-2017	3,113	\$157
114 Lake Dr	\$ 410,000	3-09-2017	2,156	\$190
94 Lake Dr	\$ 385,000	2-17-2016	2,296	\$168
59 Stuart Rd	\$ 360,000	2-17-2016	2,118	\$170
54 Stuart Rd	\$ 375,000	6-17-2016	1,990	\$188
38 Tanya Ln	\$ 433,000	8-23-2018	2,070	\$209
34 Tanya Ln	\$ 347,000	8-30-2016	1,990	\$174
72 Cortlandt Rd	\$ 342,500	8-12-2016	2,008	\$171
61 Cortlandt Rd	\$ 435,000	8-10-2016	3,434	\$127
74 Longdale Rd	\$ 390,000	6-08-2016	2,230	\$175
63 Longdale Rd	\$ 412,900	12-7-2018	1,950	\$212
544 Crosshill Ln	\$ 380,000	4-11-2016	2,194	\$173
543 Crosshill Ln	\$ 363,000	3-28-2017	1,800	\$202
63 Overlook Dr	\$ 229,000	9-15-2016	2,000	\$115
83 Overlook Dr	\$ 281,915	12-15-2017	1,284	\$220

78 Overlook Dr	\$ 380,000	11-9-2017	1,560	\$244
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Average Sales Price per Square Foot:	\$187
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Study indicates that the properties with views of a communications tower have a virtually equal average price per square foot as those without a view of a communications tower.

Exhibit 5, Sky Lane, Philipstown, Putnam County, NY

A 400' former radio guyed tower located at the top of Sky Lane, east of Ridge Road, in the Town of Philipstown, NY visited in October, November and December 2017. The following sales are located on the surrounding streets and are within sight of the tower:

2015 - 2017 STUDY

<u>Address</u>	<u>Sales Price</u>	<u>Sale Date</u>	<u>Area</u>	<u>Price/SF</u>
20 Steuben Rd	\$ 227,000	1-06-2016	1,316	\$172
15 Steuben Rd	\$ 268,000	8-21-2017	1,384	\$194
7 Steuben Rd	\$ 210,000	9-02-2015	1,124	\$187
21 Valley Ln	\$ 215,000	3-21-2016	1,168	\$184
420 Sprout Brook Rd	\$ 307,500	6-23-2015	1,728	\$178
418 Sprout Brook Rd	\$ 379,000	8-03-2016	2,420	\$157
384 Sprout Brook Rd	\$ 135,000	2-21-2017	768	\$176
338 Sprout Brook Rd	\$ 352,000	6-22-2017	1,808	\$195
334 Sprout Brook Rd	\$ 269,000	2-09-2015	1,816	\$148
326 Sprout Brook Rd	\$ 300,000	2-01-2017	1,200	\$250
322 Sprout Brook Rd	\$ 419,800	5-13-2015	2,671	\$157
319 Sprout Brook Rd	\$ 235,000	4-20-2017	1,159	\$203
308 Sprout Brook Rd	\$ 300,000	10-18-2017	1,660	\$181
303 Sprout Brook Rd	\$ 325,000	1-14-2015	1,414	\$230
19 Sky Ln	\$ 687,000	6-29-2017	2,741	\$251
39 Mountain Dr	\$ 447,500	7-22-2015	2,400	\$186

Average Sales Price per Square Foot: \$190

The following properties are in the same neighborhood but have no view of the tower:

<u>Address</u>	<u>Sales Price</u>	<u>Sale Date</u>	<u>Area</u>	<u>Price/SF</u>
159 Old Albany Post	\$ 210,000	11-30-2015	1,100	\$191
200 Old Albany Post	\$ 370,000	8-19-2016	1,868	\$198
196 Old Albany Post	\$ 370,000	5-19-2017	1,776	\$208
180 Old Albany Post	\$ 480,000	12-18-2014	3,517	\$136
20 Old Albany Post	\$ 289,000	6-12-2015	1,554	\$186
516 Sprout Brook Rd	\$ 335,000	1-29-2017	1,503	\$223
504 Sprout Brook Rd	\$ 315,000	8-05-2016	1,750	\$180
495 Sprout Brook Rd	\$ 520,000	4-27-2016	2,904	\$179
492 Sprout Brook Rd	\$ 325,000	12-11-2015	2,188	\$149
471 Sprout Brook Rd	\$ 365,000	3-15-2015	1,860	\$196
54 Steuben Rd	\$ 270,000	3-27-2015	1,512	\$179
90 Steuben Rd	\$ 289,000	6-09-2017	1,456	\$198
60 Steuben Rd	\$ 300,000	6-06-2016	1,260	\$238
62 Steuben Rd	\$ 330,000	9-27-2017	1,823	\$181
72 Steuben Rd	\$ 300,000	2-23-2015	1,700	\$176

Average Sales Price per Square Foot: \$188

Study indicates that the properties with views of a radio tower and properties without a view of a radio tower have virtually equal average price per square feet, in this specific neighborhood.

Exhibit 6, Lewisboro, Westchester County, NY

A 130' monopole located at the Lewisboro Town Park on Route 35, in Cross River, NY visited in November 2020. The following sales are located on the surrounding streets and are very close to the communications tower, within sight:

2017 - 2020 STUDY

<u>Address</u>	<u>Sales Price</u>	<u>Sale Date</u>	<u>Living Area</u>	<u>Price/SF</u>
4 Buck Run	\$ 505,000	5-11-2017	2,250	\$224
1 Buck Run	\$ 500,000	12-18-2018	1,784	\$280
1074 Route 35	\$ 264,000	3-30-2017	1,750	\$151
1173 Route 35	\$ 490,000	4-27-2020	2,112	\$232
9 Hunts Ln	\$ 795,000	6-13-2018	5,195	\$153
10 Hunts Ln	\$ 750,000	10-3-2020	2,782	\$270
14 Hunts Ln	\$ 678,500	7-18-2018	3,380	\$201
9 Howland Dr	\$ 780,000	9-27-2018	4,081	\$191
10 Howland Dr	\$ 845,000	10-12-2018	4,140	\$204
1 Hunts Farm Rd	\$ 875,000	9-01-2020	2,903	\$301
2 Hunts Farm Rd	\$ 855,000	8-14-2020	2,809	\$304
4 Hunts Farm Rd	\$ 624,500	6-15-2018	2,550	\$245
8 Hunts Farm Rd	\$ 535,000	10-2-2018	2,161	\$248
25 Mead St	\$1,850,000	3-08-2018	4,972	\$372
72 Hunts Farm Rd	\$ 880,000	6-28-2017	4,286	\$205

Average Sales Price per Square Foot: \$239

The following properties are in the same neighborhood but have no view of the communications tower:

<u>Address</u>	<u>Sales Price</u>	<u>Sale Date</u>	<u>Living Area</u>	<u>Price/SF</u>
3 Debbie Ln	\$410,000	2-03-2017	2,110	\$194
3 Debbie Ln	\$519,000	12-3-2018	2,000	\$260
7 Hunts Ln	\$ 436,740	12-16-2019	3,094	\$141
7 Hunts Ln	\$ 895,000	8-20-2020	3,094	\$289
4 Hunts Ln	\$ 665,000	10-23-2017	2,517	\$264
5 Hunts Ln	\$ 780,000	9-27-2017	5,820	\$134
4 Howland Dr	\$ 780,000	5-09-2019	3,088	\$253
6 Howland Dr	\$ 825,000	4-04-2018	3,312	\$249
7 Adams Hill Rd	\$ 537,500	3-25-2020	3,024	\$178
17 Adams Hill Rd	\$ 500,000	3-10-2020	2,600	\$192
10 Hunts Farm Rd	\$ 750,000	10-23-2017	3,712	\$202
13 Hunts Farm Rd	\$ 919,000	8-13-2019	2,369	\$388
14 Hunts Farm Rd	\$ 870,000	6-01-2018	2,590	\$336
16 Hunts Farm Rd	\$ 650,000	1-28-2019	3,104	\$209
17 Hunts Farm Rd	\$ 775,125	9-21-2017	3,431	\$226
18 Hunts Farm Rd	\$ 850,000	8-12-2020	3,441	\$247
22 Hunts Farm Rd	\$ 804,000	4-26-2017	3,444	\$233
27 Hunts Farm Rd	\$ 606,000	1-31-2020	2,923	\$207
34 Hunts Farm Rd	\$ 549,000	6-22-2018	2,570	\$214
35 Hunts Farm Rd	\$ 442,000	12-14-2017	2,124	\$208
36 Hunts Farm Rd	\$ 615,500	5-31-2019	2,118	\$290
37 Hunts Farm Rd	\$ 872,500	7-31-2017	4,004	\$218

Average Sales Price per Square Foot: \$233

Study indicates that the properties with views of a communications tower have a greater average price per square foot than those without a view of a communications tower.

Exhibit 7, New Castle, Westchester County, NY

A 130' monopole constructed in 2015 and located on a nursery property on Armonk Road, in the Town of New Castle, NY, visited in December 2016. The following sales are located on the surrounding streets and are very close to the communications tower:

2015 - 2016 Study

<u>Address</u>	<u>Sales Price</u>	<u>Sale Date</u>	<u>Living Area</u>	<u>Price/SF</u>
768 Armonk Rd	\$ 470,000	9-15-2016	1,416	\$332
785 Armonk Rd	\$1,266,000	8-26-2016	5,910	\$214
20 Hollow Ridge Rd	\$1,625,000	5-01-2015	5,695	\$285
23 Hollow Ridge Rd	\$3,350,000	9-11-2015	8,976	\$373
77 Whippoorwill Lk	\$1,700,000	12-7-2015	5,000	\$340
72 Whippoorwill Lk	\$1,875,000	9-29-2015	6,167	\$304
Average Sales Price per Square Foot:				\$308

These properties are in the same neighborhood but have no view of the communications tower:

<u>Address</u>	<u>Sales Price</u>	<u>Sale Date</u>	<u>Living Area</u>	<u>Price/SF</u>
66 Tripp St	\$ 870,500	1-11-2016	2,972	\$293
30 Roseholm Pl	\$ 764,000	5-21-2015	3,303	\$231
6 Whippoorwill Cl	\$1,260,000	9-21-2015	4,430	\$284
340 Whippoorwill Rd	\$ 885,000	3-30-2016	3,184	\$278
335 Whippoorwill Rd	\$1,500,000	5-02-2016	5,566	\$269
20 Bessel Ln	\$3,648,888	1-06-2015	8,200	\$445
82 Carolyn Pl	\$1,900,000	12-7-2015	6,662	\$285
50 Carolyn Pl	\$2,540,000	9-29-2015	7,675	\$331
Average Sales Price per Square Foot:				\$302

Study indicates roughly equal value for properties, with and without a view of a communications tower.

Exhibit 8, Pound Ridge, Westchester County, NY

A 130' monopole located on a Town site at 89 Westchester Avenue in Pound Ridge, NY visited in November 2020. The following sales have a view of the communications tower:

2017 - 2020 STUDY

These properties have a view of the communications tower.

<u>Address</u>	<u>Sales Price</u>	<u>Sale Date</u>	<u>Living Area</u>	<u>Price/SF</u>
20 Trinity Pass Rd	\$850,000	11-14-2017	3,652	\$233
15 Trinity Pass Rd	\$1,169,000	10-21-2019	4,241	\$276
26 Trinity Ln	\$430,000	11-15-2019	1,657	\$260
32 Pine Dr	\$825,000	11-20-2017	3,456	\$239
32 Pine Dr	\$850,000	5-11-2020	3,456	\$246
Average Sales Price per Square Foot:				\$251

The following properties are in the same neighborhood but have no view of the communications tower:

<u>Address</u>	<u>Sales Price</u>	<u>Sale Date</u>	<u>Living Area</u>	<u>Price/SF</u>
10 Upper Shad Rd	\$534,100	12-5-2019	2,605	\$205
10 Trinity Ln	\$635,000	6-15-2017	2,152	\$249
10 Trinity Ln	\$710,000	12-30-2019	2,152	\$330
15 Lower Trinity Pass	\$610,000	6-12-2017	2,617	\$233
20 Lower Trinity Pass	\$917,000	7-19-2018	4,268	\$215
46 Lower Trinity Pass	\$410,000	9-17-2018	1,838	\$223
40 Lower Trinity Pass	\$927,900	2-12-2018	3,542	\$262
75 Fancher Rd	\$1,625,000	7-17-2018	7,648	\$212
57 Fancher Rd	\$1,800,000	10-10-2018	4,022	\$448
140 Westchester Av	\$985,000	5-08-2014	2,838	\$347
32 Hemlock Hill Dr	\$875,000	4-26-2019	4,465	\$196
3 Rolling Meadow Ln	\$565,000	11-6-2019	2,672	\$211
5 Rolling Meadow Ln	\$712,000	3-01-2017	2,574	\$277
9 Rolling Meadow Ln	\$500,000	5-10-2019	2,712	\$184
22 Rolling Meadow Ln	\$580,000	11-16-2018	2,912	\$199
35 Woodland Rd	\$559,500	1-03-2018	2,103	\$266
212 Barnegat Rd	\$430,000	5-29-2018	1,825	\$236
206 Barnegat Rd	\$474,000	9-11-2018	2,532	\$187
205 Barnegat Rd	\$999,000	6-30-2017	3,712	\$269
Average Sales Price per Square Foot:				\$251

Study indicates that the properties with views of a communications tower have the same average price per square foot as those without a view of a communications tower.

Exhibit 9, Pound Ridge, Westchester County, NY

A 155' monopine tower, constructed in 2007 and located off Adams Lane in Pound Ridge, NY visited in April 2017. The following properties have a view of the communications tower:

2014 - 2017 STUDY

These properties have a view of the communications tower.

<u>Address</u>	<u>Sales Price</u>	<u>Sale Date</u>	<u>Living Area</u>	<u>Price/SF</u>
21 Donbrook Rd	\$799,900	7-28-2016	2,546	\$315
29 Donbrook Rd	\$1,030,000	9-14-2016	4,227	\$244
51 Salem Road	\$1,675,000	9-15-2015	5,993	\$279
65 Salem Road	\$527,000	1-13-2017	1,521	\$346
65 Salem Road	\$360,000	3-24-2014	1,521	\$237
Average Sales Price per Square Foot:				\$284

The following properties are in the same neighborhood but have no view of the communications tower:

<u>Address</u>	<u>Sales Price</u>	<u>Sale Date</u>	<u>Living Area</u>	<u>Price/SF</u>
21 Salem Rd	\$407,062	3-14-2014	2,529	\$160
21 Salem Rd	\$715,000	3-21-2016	2,529	\$283
35 Salem Road	\$1,375,000	9-12-2014	5,114	\$269
54 Old Stone Hill Rd	\$4,050,000	4-23-2014	6,273	\$646
90 Old Stone Hill Rd	\$757,500	11-17-2015	2,876	\$263
147 Salem Rd	\$415,000	5-01-2016	1,749	\$237
157 Salem Rd	\$510,000	4-28-2015	3,222	\$158
36 Kitchawan Rd	\$485,000	1-19-2017	2,412	\$201
167 Salem Rd	\$1,327,500	11-22-2016	4,199	\$316
Average Sales Price per Square Foot:				\$282

Study indicates very similar prices on homes with no view of the communications tower and with a view of the communications tower.

Exhibit 10, Somers, Westchester County, NY

A 100' monopole located at the top of the West Hill in the Heritage Hills Condominium complex Somers , NY visited in April 2017. The following sales have a view of the communications tower:

2014 - 2016 STUDY

These properties have a direct view of the communications tower.

<u>Address</u>	<u>Sales Price</u>	<u>Sale Date</u>	<u>Living Area</u>	<u>Price/SF</u>
346D Heritage Hills	\$305,000	7-29-2015	1,168	\$261
348A Heritage Hills	\$315,000	1-07-2015	1,428	\$221
349A Heritage Hills	\$362,000	3-20-2015	1,435	\$252
351E Heritage Hills	\$331,500	11-15-2015	1,435	\$231
352C Heritage Hills	\$622,500	6-24-2016	1,973	\$316
449A Heritage Hills	\$350,000	7-18-2014	1,353	\$259
451D Heritage Hills	\$400,000	1-04-2016	1,265	\$316
462B Heritage Hills	\$517,000	8-28-2014	1,905	\$271
464B Heritage Hills	\$370,000	4-23-2014	1,265	\$292
464C Heritage Hills	\$549,000	6-13-2016	1,793	\$306

Average Sales Price per Square Foot: \$273

The following properties are in the same neighborhood but have no view of the communications tower:

<u>Address</u>	<u>Sales Price</u>	<u>Sale Date</u>	<u>Living Area</u>	<u>Price/SF</u>
332A Heritage Hills	\$359,000	7-08-2015	1,550	\$232
332B Heritage Hills	\$395,000	12-23-2016	1,550	\$255
332B Heritage Hills	\$417,000	8-06-2015	1,550	\$269
333C Heritage Hills	\$341,000	11-3-2014	1,435	\$238
339B Heritage Hills	\$390,000	11-18-2016	1,550	\$252
340B Heritage Hills	\$389,000	8-02-2016	1,594	\$244
355B Heritage Hills	\$389,000	1-12-2016	1,484	\$262
355D Heritage Hills	\$495,000	10-3-2014	1,793	\$276
358A Heritage Hills	\$435,000	2-03-2016	1,435	\$303
358C Heritage Hills	\$350,000	1-27-2014	1,550	\$226
361A Heritage Hills	\$545,000	7-22-2014	1,793	\$304
364D Heritage Hills	\$422,500	8-25-2016	1,484	\$285
460B Heritage Hills	\$464,900	9-15-2015	1,472	\$314
468B Heritage Hills	\$600,000	4-06-2015	1,905	\$315
478D Heritage Hills	\$352,500	5-05-2015	1,265	\$279
468A Heritage Hills	\$280,000	10-21-2016	967	\$290
478C Heritage Hills	\$285,500	9-13-2016	967	\$295
480C Heritage Hills	\$443,000	9-16-2014	1,598	\$277
482B Heritage Hills	\$415,000	6-19-2015	1,483	\$280
486B Heritage Hills	\$348,000	5-12-2015	1,265	\$275
487A Heritage Hills	\$297,000	7-26-2016	967	\$307
489B Heritage Hills	\$391,000	12-22-2016	1,483	\$264
490B Heritage Hills	\$485,000	7-17-2014	1,598	\$304
494D Heritage Hills	\$276,000	3-19-2014	967	\$285
497B Heritage Hills	\$580,000	11-7-2014	1,905	\$304
498A Heritage Hills	\$342,420	9-04-2015	1,265	\$271

Average Sales Price per Square Foot: \$277

Study indicates very similar prices on homes with no view of the communications tower and with view of the communications tower.

Exhibit 11, 61 Washington Avenue, Suffern, Rockland County, NY

A 90' flagpole type tower located at 61 Washington Avenue, just south of Route 59, in the Village of Suffern, NY visited in April 2019. The following sales are located on the surrounding streets and are within sight of the tower:

2016 - 2018 STUDY

<u>Address</u>	<u>Sales Price</u>	<u>Sale Date</u>	<u>Area</u>	<u>Price/SF</u>
8 Manfield Pl	\$ 415,000	12-15-2017	2,460	\$169
7 Clinton Pl	\$ 299,000	10-13-2016	1,940	\$154
23 Clinton Pl	\$ 285,000	12-19-2018	2,611	\$109
67 E Maple Av	\$ 339,500	2-23-2016	1,993	\$170
12 Antrim Av	\$ 231,500	12-31-2018	984	\$235
12 Washington Cir	\$ 245,000	7-05-2016	1,300	\$188
19 Washington Cir	\$ 170,000	2-03-2017	676	\$251
9 Washington Cir	\$ 240,500	6-21-2017	1,056	\$228
10 Washington Cir	\$ 396,000	8-05-2016	1,464	\$270
113 Washington Av	\$ 389,000	12-6-2018	2,189	\$178
112 Washington Av	\$ 240,000	10-13-2018	1,752	\$137

Average Sales Price per Square Foot: \$190

The following properties are in the same neighborhood but have no view of the tower:

<u>Address</u>	<u>Sales Price</u>	<u>Sale Date</u>	<u>Area</u>	<u>Price/SF</u>
2B Cross St	\$ 106,000	11-8-2018	976	\$109
6 Hallett Pl	\$ 190,000	7-19-2018	1,352	\$141
27 Wayne Av	\$ 335,000	1-10-2018	1,500	\$223
71 Wayne Av	\$ 270,000	10-5-2017	1,320	\$205
160 Lafayette Av	\$ 260,000	11-17-2016	1,405	\$185
4 Riverside Dr	\$ 305,000	8-24-2016	1,460	\$209
7 Riverside Dr	\$ 305,000	8-31-2018	1,281	\$238
2 Antrim Av	\$ 330,000	2-09-2018	1,470	\$224
141 Lafayette Av	\$ 520,000	10-4-2018	3,500	\$149
20 Antrim Av	\$ 140,000	9-28-2017	1,081	\$130
85 E Maple Av	\$ 339,000	11-18-2016	1,558	\$218
33 Riverside Dr	\$ 310,000	2-10-2017	1,693	\$183
41 Riverside Dr	\$ 330,000	4-28-2016	1,783	\$185
30 Riverside Dr	\$ 267,500	10-31-2017	1,597	\$168
30 Riverside Dr	\$ 363,500	4-13-2018	1,597	\$228
25 Prairie Av	\$ 325,000	9-05-2018	1,092	\$298
10 Prairie Av	\$ 410,000	6-20-2018	1,786	\$230
18 Prairie Av	\$ 325,000	9-16-2016	1,500	\$217
44 Prairie Av	\$ 335,000	10-4-2017	1,493	\$224
3 Abby Park Ln	\$ 190,000	8-01-2018	1,536	\$124
5 Ruby St	\$ 219,900	8-23-2016	1,440	\$153
3 Lonergan Dr	\$ 220,000	8-10-2017	1,326	\$166
3 Lonergan Dr	\$ 145,000	7-28-2016	1,326	\$109
4 Temple Ln	\$ 210,000	8-27-2018	1,326	\$158
41 Lonergan Dr	\$ 231,500	12-26-2018	1,326	\$175
42 Lonergan Dr	\$ 244,000	11-10-2016	1,326	\$184
30 Lonergan Dr	\$ 211,100	4-10-2018	1,326	\$159
28 Lonergan Dr	\$ 205,000	7-07-2017	1,326	\$155
5 Brook St	\$ 280,000	11-13-2018	2,300	\$122
6 Brook St	\$ 287,000	11-28-2017	1,900	\$151
53 Riverside Dr	\$ 319,000	8-31-2017	1,322	\$241
48 Riverside Dr	\$ 295,000	6-07-2017	1,036	\$285
7 Center St	\$ 295,000	6-01-2018	1,020	\$289
37 Boulevard	\$ 324,000	10-11-2018	1,944	\$167
43 Boulevard	\$ 395,000	9-12-2017	1,392	\$284

7 Hillside Av	\$ 380,000	5-15-2017	2,476	\$153
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Average Sales Price per Square Foot:	\$190
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Study indicates that the properties with views of a communications tower have the same average price per square foot than those without a view of a communications tower.

Exhibit 12, 11 College Road, Ramapo, Monsey P.O., Rockland County, NY

A 300' lattice type tower located at 11 College Road, north of the NYS Thruway, in the Town of Ramapo, Monsey P.O., NY visited in April 2019. The following sales are located on the surrounding streets and are within sight of the tower:

2016 - 2018 STUDY

<u>Address</u>	<u>Sales Price</u>	<u>Sale Date</u>	<u>Area</u>	<u>Price/SF</u>
17 Laura Dr	\$ 480,000	9-14-2017	1,788	\$268
15 Laura Dr	\$ 514,000	3-08-2018	1,788	\$287
13 Golar Dr	\$ 750,000	7-23-2018	3,101	\$242
3 Golar Dr	\$ 890,000	8-24-2016	3,394	\$262
5 Lynne Ct	\$ 575,000	8-07-2018	1,513	\$380
24 Wallenberg Cir	\$ 1,200,000	3-31-2017	4,935	\$243
9 Bayberry Dr	\$ 415,000	2-02-2016	1,903	\$218
13 Olympia Ln	\$ 875,000	5-16-2017	3,290	\$266
6 Olympia Ln	\$ 650,000	5-10-2018	2,700	\$241
43 Olympia Ln	\$ 799,000	7-18-2016	3,525	\$227
18 Olympia Ln	\$ 787,000	4-07-2017	3,461	\$227
24 Olympia Ln	\$ 875,000	6-03-2016	4,434	\$197
1 David Ct	\$ 750,000	11-10-2017	2,600	\$288
9 Barbara Ln	\$ 657,500	5-19-2017	2,700	\$244
35 College Rd	\$ 660,000	6-26-2017	3,100	\$213
57 College Rd	\$ 835,000	8-09-2018	3,249	\$257
55 College Rd	\$ 725,000	9-29-2016	2,677	\$271
25 College Rd	\$ 685,000	2-02-2018	1,879	\$365
28 Dolson Rd	\$ 545,000	3-29-2016	1,832	\$297
41 Hilltop Pl	\$ 807,500	10-2-2017	2,459	\$328
6 Slevin Ct	\$ 800,000	4-11-2018	3,304	\$242
5 Slevin Ct	\$ 970,000	11-29-2016	3,424	\$283

Average Sales Price per Square Foot: \$266

The following properties are in the same neighborhood but have no view of the

tower:

<u>Address</u>	<u>Sales Price</u>	<u>Sale Date</u>	<u>Area</u>	<u>Price/SF</u>
5 Polo Ct	\$ 232,500	9-25-2017	888	\$262
67 N Airmont Rd	\$ 527,000	11-27-2017	2,744	\$192
11 Polo Ct	\$ 650,000	3-03-2017	3,400	\$191
7 Ashwood Dr	\$ 342,000	4-15-2016	1,797	\$190
10 Ashwood Dr	\$ 420,000	9-14-2017	1,805	\$233
19 Pioneer Av	\$ 357,000	6-01-2016	1,600	\$223
17 Pioneer Av	\$ 323,000	7-19-2016	1,232	\$262
6 Heights Rd	\$ 485,000	3-20-2018	1,587	\$306
4 Heights Rd	\$ 380,000	10-17-2017	1,334	\$285
1 Heights Rd	\$ 316,700	2-01-2016	1,550	\$204
105 Highview Rd	\$ 775,500	5-09-2018	2,984	\$260
101 Highview Rd	\$ 650,000	10-15-2018	1,190	\$546
99 Highview Rd	\$ 650,000	10-15-2018	3,500	\$186
2 Stemmer Ln E	\$ 500,000	9-01-2017	1,933	\$259
16 Stemmer Ln E	\$ 600,000	1-10-2017	2,134	\$281
9 Stemmer Ln E	\$ 480,000	5-16-2016	1,880	\$255
3 Stemmer Ln E	\$ 535,000	12-5-2016	2,016	\$265
310 Spook Rock Rd	\$ 302,100	2-09-2016	1,200	\$252
6 Dalewood Dr	\$ 500,000	8-22-2016	1,487	\$336
85 Highview Rd	\$ 472,500	3-12-2018	1,933	\$244
49 Mountain Rd	\$ 655,000	10-9-2018	4,203	\$156
15 Mountain Rd	\$ 885,000	10-25-2017	2,890	\$306
68 Highview Rd	\$ 865,000	4-25-2018	3,620	\$239
32 Highview Rd	\$ 633,000	10-31-2016	1,553	\$408
1 Nelson Rd	\$ 725,000	4-24-2018	2,170	\$334
6 Nelson Rd	\$ 850,000	3-05-2018	3,142	\$271
8 Dolson Rd	\$ 635,000	5-03-2016	2,065	\$308
14 New County Rd	\$ 480,000	9-19-2017	1,277	\$376
11 New County Rd	\$ 550,000	4-28-2017	1,827	\$301
17 New County Rd	\$ 480,000	8-23-2016	1,909	\$251
43 New County Rd	\$ 585,000	8-22-2017	2,168	\$270
23 New County Rd	\$ 360,000	3-28-2016	1,550	\$232
21 New County Rd	\$ 459,000	7-08-2016	2,680	\$171
6 Woodland Pl	\$ 385,000	1-11-2018	1,401	\$275
18 Woodland Pl	\$ 500,000	10-5-2016	1,914	\$261
6 Eleanor Pl	\$ 435,000	1-13-2016	1,816	\$240
5 Eleanor Pl	\$ 400,000	11-18-2016	1,828	\$219
42 Laura Dr	\$ 450,000	10-23-2017	1,816	\$248
36 Laura Dr	\$ 475,000	8-29-2016	1,816	\$262
16 Farmer Ln	\$ 443,500	3-23-2016	2,003	\$221
17 Farmer Ln	\$ 445,000	7-26-2016	2,003	\$222
11 Farmer Ln	\$ 480,000	1-24-2017	2,003	\$240
9 Farmer Ln	\$ 475,000	7-13-2017	2,003	\$237
11 Plymouth Pl	\$ 525,000	3-28-2016	2,970	\$177
2 Chelmsford Ct	\$ 495,000	8-09-2018	2,076	\$238
4 Glode Ct	\$ 650,000	11-21-2016	2,640	\$246
16 Thomsen Dr	\$ 468,000	6-15-2017	1,824	\$257
20 Thomsen Dr	\$ 447,500	5-31-2016	1,836	\$244
5 Murray Dr	\$ 670,000	8-03-2018	3,044	\$220
4 Kenneth St	\$ 481,000	11-2-2017	2,197	\$219
18 Monsey Hgts Rd	\$ 475,000	8-30-2017	1,699	\$280
32 Monsey Hgts Rd	\$ 500,000	4-17-2018	1,615	\$310

17 Monsey Hgts Rd	\$ 530,000	3-14-2018	1,358	\$390
39 Besen Pkwy	\$ 650,000	5-19-2017	2,912	\$223

Average Sales Price per Square Foot: \$261

Study indicates that the properties with views of a communications tower have a slightly higher average price per square foot than those without a view of a communications tower.

Exhibit 13, 79 State Route 210, Stony Point, Rockland County, NY

A 130' monopole tower located at the Stony Point Police Station, north of (#79) State Route 210, in the Town of Stony Point, NY visited in April 2019. The following sales are located on the surrounding streets and are within sight of the tower:

2016 - 2018 STUDY

<u>Address</u>	<u>Sales Price</u>	<u>Sale Date</u>	<u>Area</u>	<u>Price/SF</u>
31 Minerick Dr	\$ 263,000	6-01-2017	1,267	\$208
73 Rte 210	\$ 450,000	7-15-2016	3,190	\$141
71 Rte 210	\$ 400,000	7-06-2018	2,704	\$148
124 Rte 210	\$ 359,000	5-29-2018	2,442	\$147
4 Covati Ct	\$ 190,000	4-27-2018	832	\$228
2 Covati Ct	\$ 349,900	5-29-2018	936	\$374
2 Brooks Ct	\$ 199,900	2-24-2017	1,008	\$198
84 Washburns Ln	\$ 325,000	7-05-2018	1,450	\$224
80 Washburns Ln	\$ 273,936	4-19-2017	1,248	\$220
8 Anton Ct	\$ 515,000	8-31-2016	2,900	\$178
8 Anna Ct	\$ 335,000	10-14-2016	2,352	\$142
37 Sengstaken Dr	\$ 370,000	9-08-2017	1,876	\$197
39 Sengstaken Dr	\$ 455,000	9-24-2018	1,755	\$259
3 Lewis Dr	\$ 361,000	3-11-2016	2,767	\$130
14 Lewis Dr	\$ 325,000	11-30-2017	1,352	\$240
149 Central Hwy	\$ 295,000	3-18-2016	1,512	\$195
135 Central Hwy	\$ 380,000	9-07-2018	1,643	\$231
125 Central Hwy	\$ 334,000	11-14-2017	1,785	\$187
125 Central Hwy	\$ 360,000	6-15-2018	1,328	\$271
6 Garyann Ter	\$ 330,000	8-24-2017	1,624	\$203
8 Garyann Ter	\$ 320,650	11-9-2018	1,410	\$227
9 Garyann Ter	\$ 340,000	3-09-2017	1,700	\$200

Average Sales Price per Square Foot: \$207

The following properties are in the same neighborhood but have no view of the tower:

<u>Address</u>	<u>Sales Price</u>	<u>Sale Date</u>	<u>Area</u>	<u>Price/SF</u>
113 Washburns Ln	\$ 239,000	8-09-2016	972	\$246
109 Washburns Ln	\$ 210,000	3-13-2018	1,362	\$154
127 Washburns Ln	\$ 184,000	11-29-2016	775	\$237
5 Gurran Dr	\$ 270,000	6-13-2018	2,763	\$ 98
3 Gurran Dr	\$ 412,000	8-17-2017	1,866	\$221
9 Garrison Ln	\$ 403,000	7-14-2016	2,039	\$198
11 Garrison Ln	\$ 339,000	6-16-2016	1,896	\$179
21 Brooks Dr	\$ 415,000	4-24-2017	1,995	\$208
27 Brooks Dr	\$ 250,000	5-31-2016	1,342	\$186
3 Ironwood Ct	\$ 400,000	10-29-2018	2,386	\$168
35 Sunrise Dr	\$ 350,000	11-14-2018	1,824	\$192
25 Sunrise Dr	\$ 350,000	10-11-2018	1,822	\$192
28 Sengstaken Dr	\$ 345,000	2-06-2019	1,782	\$194
21 Sullivan Dr	\$ 345,000	2-24-2016	1,879	\$184
115 Filors Ln	\$ 169,900	8-19-2016	720	\$236
92 Filors Ln	\$ 335,000	10-12-2017	1,682	\$199
24 Dogwood Ln	\$ 365,000	12-11-2018	1,092	\$334
15 Dogwood Ln	\$ 320,000	1-25-2018	1,092	\$293
12 De Halve Maen	\$ 352,000	3-30-2018	1,684	\$209

41 Fonda Dr	\$ 475,000	3-22-2018	2,635	\$180
39 Fonda Dr	\$ 340,000	6-19-2017	2,940	\$116
21 Fonda Dr	\$ 425,000	8-23-2016	2,600	\$163
3 Anderson Dr	\$ 409,000	1-31-2019	2,081	\$197
9 Anderson Dr	\$ 339,900	10-31-2016	2,114	\$161
14 Anderson Dr	\$ 260,000	6-21-2016	1,242	\$209
22 Clark Rd	\$ 231,000	3-02-2018	870	\$266
26 Rte 210	\$ 213,000	7-13-2016	1,100	\$194
4 Lisa Denise Ct	\$ 315,000	8-22-2016	1,344	\$234
6 Central Dr	\$ 296,000	10-30-2017	1,575	\$188
5 Wenzel Ln	\$ 370,000	5-07-2018	1,650	\$224
14 Clark Rd	\$ 352,000	2-06-2017	1,895	\$186
16 Clark Rd	\$ 340,000	8-13-2018	1,080	\$315
18 Clark Rd	\$ 350,000	9-08-2017	2,026	\$173
22 Clark Rd	\$ 231,000	3-02-2018	870	\$266
17 Clark Rd	\$ 205,513	10-25-2016	744	\$276
17 Clark Rd	\$ 220,000	7-27-2017	900	\$244
7 Clark Rd	\$ 120,000	10-26-2016	744	\$161
10 Stubbe Dr	\$ 325,000	8-25-2016	2,116	\$154
20 Stubbe Dr	\$ 400,000	11-20-2017	1,934	\$207
18 Stubbe Dr	\$ 417,000	11-14-2018	2,116	\$197
11 Waldron Dr	\$ 400,000	9-28-2017	1,822	\$220
5 Waldron Dr	\$ 375,000	7-23-2018	1,592	\$236
4 Waldron Dr	\$ 335,000	2-01-2019	2,320	\$144
20 Wiles Dr	\$ 337,000	6-07-2017	1,596	\$211
16 Wiles Dr	\$ 380,000	2-07-2017	1,880	\$202
8 Wiles Dr	\$ 315,000	10-14-2016	1,596	\$197
15 Wiles Dr	\$ 321,000	10-12-2016	1,800	\$178
9 Rochelle Ct	\$ 160,000	3-16-2018	900	\$178
2 Rochelle Ct	\$ 220,000	12-15-2016	1,156	\$190
12 Rochelle Ct	\$ 220,000	11-23-2016	972	\$226
8 Govan Dr	\$ 285,000	12-16-2016	2,125	\$134
17 Govan Dr	\$ 265,000	11-8-2018	1,220	\$217
146 W Main St	\$ 825,000	6-14-2017	5,100	\$162
154 W Main St	\$ 870,000	8-29-2018	3,000	\$290
129 W Main St	\$ 350,000	4-05-2017	2,060	\$170
9 Autumn Ln	\$ 435,000	3-29-2018	2,540	\$171
153 Rte 210	\$ 415,000	6-22-2018	2,598	\$160
12 Reservoir Rd	\$ 290,000	3-04-2019	1,300	\$223
31 JFK Dr	\$ 500,000	8-06-2018	2,688	\$186
31 JFK Dr	\$ 375,950	5-06-2016	2,688	\$140
38 JFK Dr	\$ 333,000	6-08-2016	1,545	\$216
41 Franklin Dr	\$ 219,950	10-30-2017	1,499	\$147
3 Franklin Dr	\$ 360,000	8-01-2018	1,088	\$331
23 Franklin Dr	\$ 300,000	9-27-2018	1,701	\$176
10 Ethan Allen Dr	\$ 255,000	5-10-2017	1,080	\$236
32 Ten Eyck St	\$ 284,000	1-11-2017	1,282	\$222
30 Ten Eyck St	\$ 359,000	7-10-2018	1,899	\$189
22 Ten Eyck St	\$ 300,000	8-22-2017	1,450	\$207
41 Jay St	\$ 293,000	10-15-2018	1,620	\$181
25 Jay St	\$ 319,000	10-31-2017	1,584	\$201
46 Jay St	\$ 265,000	8-03-2016	1,305	\$203
34 Orchard St	\$ 360,000	4-12-2018	2,454	\$147
33 Orchard St	\$ 382,650	1-23-2019	2,214	\$173
87 N Liberty Dr	\$ 304,500	10-31-2018	1,429	\$213
16 Bayview Dr	\$ 280,000	12-15-2017	1,605	\$174
104 Battalion Dr	\$ 289,000	12-18-2017	1,212	\$238

Average Sales Price per Square Foot:

\$202

Study indicates that the properties with views of a communications tower have a slightly higher or very similar average price per square foot than those without a view of a communications tower.

Exhibit 14, 430 New Hempstead Road, New City, Rockland County, NY

A 125' +/- monopole tower, located north of New Hempstead Road and west of the Palisades Parkway, in the New City area of the Town of Ramapo, NY visited in April 2019. The following sales are located on the surrounding streets and are within sight of the tower:

2016 - 2018 STUDY

Address	Sales Price	Sale Date	Area	Price/SF
9 Peachtree Ter	\$ 160,000	3-23-2018	1,610	\$ 99
6 Stoneham Ln	\$ 400,500	10-25-2016	2,150	\$186
14 Stoneham Ln	\$ 440,000	1-17-2017	2,150	\$205
16 Stoneham Ln	\$ 360,000	6-29-2016	2,069	\$174
9 Butternut Dr	\$ 380,000	9-30-2016	1,850	\$205
4 Butternut Dr	\$ 399,000	11-8-2016	1,610	\$248
8 Butternut Dr	\$ 429,000	9-07-2016	2,000	\$215
3 Hoover Ln	\$ 367,000	10-28-2016	1,620	\$227
Average Sales Price per Square Foot:				\$195

The following properties are in the same neighborhood but have no view of the

tower:

Address	Sales Price	Sale Date	Area	Price/SF
8 Summit Av	\$ 400,000	6-22-2018	1,427	\$280
11 Summit Av	\$ 350,000	8-30-2016	1,233	\$284
7 Highview Av	\$ 322,500	8-02-2016	1,607	\$201
3 Park Av	\$ 370,000	11-7-2016	1,824	\$203
1 Doolin Rd	\$ 665,000	9-27-2018	4,974	\$134
12 Doolin Rd	\$ 595,000	6-29-2018	2,673	\$223
24 Tempo Rd	\$ 535,000	7-28-2016	2,591	\$206
12 Wagon Wheel Dr	\$ 514,500	2-05-2018	3,024	\$170
3 Wagon Wheel Dr	\$ 400,000	7-19-2016	2,752	\$145
156 Trails End	\$ 669,000	7-09-2018	2,604	\$257
144 Trails End	\$ 480,000	11-4-2016	4,239	\$113
140 Trails End	\$ 529,000	4-03-2018	2,845	\$186
133 Trails End	\$ 468,000	7-27-2016	2,834	\$165
137 Trails End	\$ 430,000	6-23-2016	2,924	\$147
153 Trails End	\$ 387,000	1-14-2016	2,586	\$150
132 Trails End	\$ 410,000	8-04-2016	2,919	\$140
129 Trails End	\$ 492,500	6-12-2017	2,996	\$164
120 Trails End	\$ 572,100	11-29-2016	3,000	\$191
116 Trails End	\$ 562,240	3-30-2017	3,000	\$187
112 Trails End	\$ 712,840	12-12-2017	3,400	\$210
107 Trails End	\$ 540,078	3-09-2017	3,000	\$180
27 Trailside Pl	\$ 576,000	8-19-2016	2,560	\$225
8 Trailside Ct	\$ 595,000	5-04-2018	3,073	\$194
902 Rte 45	\$ 250,000	11-28-2016	1,575	\$159
126A Old Schoolhouse	\$ 550,000	10-12-2017	2,788	\$197
114 Old Schoolhouse	\$ 375,000	1-31-2018	1,493	\$251
5 Charles St	\$ 299,000	10-2-2017	962	\$311
4 Highview Av S	\$ 460,000	9-12-2016	2,259	\$204
3 Stoneham Ln	\$ 380,000	8-26-2016	1,610	\$236
7 Peachtree Ter	\$ 347,000	2-26-2016	2,165	\$160
10 Peachtree Rd	\$ 617,460	3-01-2017	3,000	\$206
7 Peachtree Rd	\$ 527,100	2-08-2017	3,200	\$165
5 Peachtree Rd	\$ 521,250	1-29-2016	3,000	\$174
25 Butternut Dr	\$ 495,000	10-15-2018	2,224	\$223
24 Butternut Dr	\$ 430,000	6-09-2017	1,850	\$232
3 Brooks Edge Dr	\$ 587,340	7-29-2016	2,955	\$199
451 New Hempstead Rd	\$ 395,000	3-29-2017	2,204	\$179
453 New Hempstead Rd	\$ 407,000	9-14-2017	2,204	\$185
120 Hempstead Rd	\$ 499,000	9-17-2018	3,330	\$150
120 Hempstead Rd	\$ 440,000	12-30-2016	3,330	\$132
114 Hempstead Rd	\$ 465,000	3-12-2018	2,112	\$220
1 Stark Ct	\$ 549,000	6-30-2016	3,199	\$172
3 Burrows Ct	\$ 286,000	5-31-2016	2,442	\$117
10 Hoover Ln	\$ 390,000	8-15-2018	1,548	\$252
40 Hoover Ln	\$ 600,000	12-14-2018	2,229	\$269
23 Hoover Ln	\$ 695,000	2-04-2016	4,780	\$145
19 Hoover Ln	\$ 450,000	12-29-2016	2,258	\$199
3 Gurnee Ct	\$ 395,000	8-04-2016	2,229	\$177
1 Gurnee Ct	\$ 300,000	8-02-2016	2,117	\$142

Average Sales Price per Square Foot:

\$192

Study indicates that the properties with views of a communications tower have a slightly higher or virtually equal average price per square foot as those without a view of a communications tower.

Exhibit 15, 117 Duelk Ave, South Blooming Grove, Orange County, NY

A 150' flagpole type tower located just west of Route 208, on Duelk Avenue, in South Blooming Grove, in the Town of Carmel, Mahopac P.O., NY visited in May 2017. The following sales are located on the surrounding streets and are very close to the communications tower, within sight:

2014 - 2016+ STUDY

<u>Address</u>	<u>Sales Price</u>	<u>Sale Date</u>	<u>Area</u>	<u>Price/SF</u>
303 Lake Shore Dr	\$ 360,000	9-27-2016	2,147	\$168
316 Lake Shore Dr	\$ 235,000	9-26-2016	1,512	\$155
4 Red Bird Dr	\$ 267,000	10-13-2016	1,716	\$156
2 Beech Tree Rnd	\$ 210,000	7-07-2016	1,040	\$202
25 Merriewold Ln N	\$ 150,000	8-17-2015	1,552	\$ 97
4 Lone Oak Cir	\$ 225,000	10-31-2016	1,728	\$130
14 Old Town Rd	\$ 265,000	12-8-2014	1,778	\$149
11 Lee Av	\$ 319,000	11-8-2016	1,934	\$165
26 Duelk Av	\$ 240,000	12-13-2016	960	\$250
19 Duelk Av	\$ 160,000	3-31-2016	960	\$167
83 Duelk Av	\$ 245,000	12-1-2016	1,092	\$224
25 Duelk Av	\$ 275,000	11-14-2016	1,012	\$272
4 Laredo Ct	\$ 319,900	11-29-2016	1,504	\$213
4 Laredo Ct	\$ 237,900	3-27-2015	1,504	\$158
5 Laredo Ct	\$ 210,000	9-12-2016	960	\$219
23 Duelk Av	\$ 260,000	1-23-2017	960	\$271
106 Duelk Av	\$ 305,000	2-22-2017	1,772	\$172
2 Pecos Ct	\$ 230,000	7-21-2016	1,240	\$185
90 Duelk Av	\$ 209,500	1-29-2016	1,184	\$177
86 Duelk Av	\$ 230,000	11-12-2014	1,280	\$180

Average Sales Price per Square Foot: \$185

The following properties are in the same neighborhood but have no view of the communications tower:

<u>Address</u>	<u>Sales Price</u>	<u>Sale Date</u>	<u>Area</u>	<u>Price/SF</u>
10 Hawks Nest Rd	\$ 242,300	1-14-2016	1,332	\$182
252 Lake Shore Dr	\$ 254,800	4-23-2014	1,852	\$138
374 Lake Shore Dr	\$ 307,500	12-8-2016	1,840	\$167
20 Hawthorne Dr	\$ 466,100	11-9-2016	1,993	\$234
22 Hawthorne Dr	\$ 346,000	11-23-2016	1,616	\$214
25 Hawthorne Dr	\$ 350,000	2-21-2017	1,796	\$195
19 Hawthorne Dr	\$ 315,000	1-13-2017	1,792	\$176
15 Hawthorne Dr	\$ 245,000	7-15-2015	1,104	\$222
10 Pine Hill Rd	\$ 250,000	10-10-2014	1,332	\$188
23 Pine Hill Rd	\$ 260,000	7-27-2016	1,340	\$194
37 Pine Hill Rd	\$ 240,000	8-15-2016	1,260	\$190
56 Duelk Av	\$ 299,000	9-29-2016	1,176	\$254
56 Duelk Av	\$ 255,000	5-11-2016	1,176	\$217
56 Duelk Av	\$ 170,000	4-01-2015	1,176	\$145
54 Duelk Av	\$ 240,000	2-23-2017	960	\$250
46 Duelk Av	\$ 250,000	11-8-2016	960	\$260
40 Duelk Av	\$ 190,000	10-1-2015	1,680	\$113
40 Duelk Av	\$ 275,000	1-25-2017	1,680	\$164
65 Duelk Av	\$ 243,000	3-10-2016	1,464	\$166
51 Duelk Av	\$ 230,000	10-14-2016	1,344	\$171
12 San Antonio Cir	\$ 270,000	1-24-2017	1,410	\$191
11 San Antonio Cir	\$ 335,000	11-28-2016	2,124	\$158
1 San Antonio Cir	\$ 190,000	1-30-2017	960	\$198
76 Duelk Av	\$ 220,000	4-04-2016	1,523	\$144
13 Dallas Dr	\$ 170,000	3-03-2016	994	\$171
34 Peddler Hill Rd	\$ 240,000	9-11-2015	1,390	\$173

Average Sales Price per Square Foot: \$187

Study indicates that the properties with views of a communications tower and properties without a view of a communications tower have virtually equal average price per square feet, in this specific neighborhood.

Exhibit 16, 1 Ridge Rd, Hamptonburgh, Orange County, NY

A 162' lattice tower located just south of Route 207, on Ridge Road, in Hamptonburgh, in the Town of Monroe, NY visited in May 2017. The following sales are located on the surrounding streets and are very close to the communications tower, within sight:

2014 - 2016+ STUDY

<u>Address</u>	<u>Sales Price</u>	<u>Sale Date</u>	<u>Area</u>	<u>Price/SF</u>
506 Ridge Rd	\$ 215,000	10-22-2015	1,528	\$141
4 Lincolndale Rd	\$ 315,000	6-12-2015	2,378	\$132
10 Shea Rd	\$ 380,000	12-3-2015	2,604	\$146
118 Sarah Wells Trl	\$ 200,000	3-22-2017	1,147	\$174
5 Arbor Rd	\$ 370,000	9-16-2016	2,604	\$143

Average Sales Price per Square Foot: \$147

The following properties are in the same neighborhood but have no view of the communications tower:

<u>Address</u>	<u>Sales Price</u>	<u>Sale Date</u>	<u>Area</u>	<u>Price/SF</u>
43 Day Rd	\$ 405,000	3-09-2017	2,210	\$183
66 Day Rd	\$ 285,000	9-20-2016	2,222	\$128
58 Day Rd	\$ 425,000	6-22-2015	2,956	\$144
18 Kimberly Dr	\$ 390,000	8-22-2014	3,124	\$125
7 Darren Dr	\$ 245,900	8-16-2016	1,532	\$161
32 Day Rd	\$ 278,000	6-25-2014	2,044	\$136
27 Arbor Rd	\$ 450,000	8-25-2015	3,208	\$140
27 Arbor Rd	\$ 324,000	8-09-2016	1,993	\$163
27 Arbor Rd	\$ 365,000	2-01-2017	2,592	\$141
27 Arbor Rd	\$ 340,323	10-3-2014	2,400	\$142

Average Sales Price per Square Foot: \$146

Study indicates that the properties with views of a communications tower and properties without a view of a communications tower have virtually equal average price per square feet, in this specific neighborhood.

QUALIFICATIONS OF THE APPRAISER

QUALIFICATIONS

PAUL A. ALFIERI, III, MAI
Senior Appraiser
Lane Appraisals, Inc.
178 Myrtle Boulevard
Larchmont, New York 10538

PROFESSIONAL DESIGNATIONS

MAI - Member of the Appraisal Institute - #12165
Certified General Appraiser
State of New York #4600009780

Accredited New York State Department of Transportation, Right of Way Appraiser

GENERAL EDUCATION

St. Lawrence University
Canton, New York
B. A. - 1984

PROFESSIONAL APPRAISAL EDUCATION

The Appraisal Institute -

- | | | |
|---------|----------------|--|
| #1A-1 | - Fall, 1985 | - Appraisal Principles |
| # 8-2 | - Spring, 1985 | - Residential Valuation |
| #1A-2 | - Fall, 1986 | - Basic Valuation |
| #1B-A | - Spring, 1989 | - Capitalization Theory and Techniques - A |
| # SPP | - Summer 1989 | - Standards of Professional Practice |
| #1B-B | - Fall, 1989 | - Capitalization Theory and Techniques - B |
| # 2-1 | - Spring 1990 | - Case Studies in Real Estate Valuation |
| # 2-2 | - Summer 1991 | - Report Writing and Valuation Analysis |
| # 520 | - Winter 1994 | - Advanced Highest and Best Use and Market Analysis |
| # 320 | - Spring 1994 | - General Applications |
| # 530 | - Summer 1994 | - Advanced Sales Comparison and Cost Approaches |
| # SPP A | - Fall, 1994 | - Standards of Professional Practice (USPAP) - A |
| # SPP B | - Fall, 1994 | - Standards of Professional Practice (Ethics) - B |
| # SPP C | - Fall, 1999 | - Standards of Professional Practice (USPAP/Ethics) - C |
| | - Summer 2003 | - Standards of Professional Practice (USPAP/Ethics) - 15 Hr |
| # 710 | - Fall 2004 | - Condemnation Appraising: Principals and Applications |
| | - Summer 2007 | - Evaluating Commercial Construction |
| | - Fall 2007 | - Small Hotel and Motel Valuation |
| | - Summer 2008 | - Convenience Store Valuation |
| | - Winter 2008 | - Apartment Valuation |
| | - Winter 2008 | - Subdivision Valuation |
| | - Spring 2011 | - Litigation Skills for the Appraiser |
| | - Spring 2012 | - IRS Valuation Webinar |
| | - Winter 2013 | - Business Ethics |
| | - Spring 2013 | - International Valuation Standards |
| | - Fall 2013 | - Analyzing Operating Expenses |
| | - Fall 2013 | - Rates & Ratios: Making Sense of GIMs, OARs & DCFs |
| | - Fall 2014 | - Right-Of-Way Easements; Case Studies Webinar |
| | - Fall 2015 | - Contamination and the Valuation Process |
| | - Summer 2017 | - Uniform Appraisal Standards for Federal Land Acquisitions |
| | - Winter 2018 | - Eminent Domain and Condemnation |
| | - Winter 2019 | - Green Buildings - Intro; Residential and Commercial Case Studies |
| | - Winter 2019 | - Appraising Auto Dealerships |
| | - Winter 2019 | - Medical Office Building Valuation |
| | - Winter 2021 | - Basics of Expert Witness for Commercial Appraisers |
| | - Winter 2021 | - Comparative Analysis |
| | - Winter 2021 | - Intro to Fair Housing & Fair Lending |

QUALIFIED AS AN EXPERT IN REAL ESTATE VALUATION

US Bankruptcy Court New York State Supreme Court New York State Court of Claims

Since 1984, engaged exclusively in appraising real estate. Assignments include:

Single family homes, condominiums, cooperative apartments, two to six family dwellings, rental apartment buildings, cooperative apartment buildings, condominium complexes, Section 8, Section 236 (Mitchell Lama) and HUD apartment projects, nursing care and life care communities, senior living facilities, public buildings, municipal properties, parks, hotels, industrial buildings, gas and service stations, auto dealerships, office buildings, retail and wholesale facilities, regional and neighborhood shopping centers, estates, marinas, country clubs, golf courses, sub-divisions, easements, encroachments, air rights and vacant parcels for purposes of finance, purchase, sale, gift tax, estate tax, divorce, bankruptcy, condemnation, tax certiorari proceedings, internal and estate planning, Right-of-Way analysis, gas pipeline expansion, gas and electric substation value analyses, County facilities, HUD Rent Comparability Study, and New York State Equalization Rate challenges.

Primary professional territory comprises Westchester, Putnam, Dutchess, Rockland, Orange, Ulster,

Sullivan, Greene, Columbia, Albany, Nassau, Suffolk, Bronx, Queens, Kings (Brooklyn), Richmond (Staten Island) and New York (Manhattan) Counties in New York, and Fairfield and New Haven Counties in Connecticut.

PAUL A. ALFIERI, III, MAI
APPRAISAL EXPERIENCE
APPRAISALS COMPLETED FOR

New York State Supreme Court
State of New York, Office of General Svcs
State of New York, Dept of Transportation
State of New York Office of Parks,
Recreation & Historic Preservation
State of New York, Office of Mental Retardation and
Developmental Disabilities
State of New York, Office of Mental Health
Bureau of Housing Development & Support
County of Westchester
- Dept of Public Works & Transportation
County of Putnam, Dept. of Finance
County of Rockland, Dept. of Finance
City of Mount Vernon
City of New Rochelle
City of Yonkers
City of Rye
City of Peekskill
City of White Plains
Town of Bedford
Town of Carmel
Town of Greenburgh
Town of Ossining
Town of Pelham
Town of Lewisboro
Town of New Castle
Town of Patterson
Town of Putnam Valley
Town of Harrison
Town of Mt. Pleasant
Town of Rye
Town of Southeast
Town of Scarsdale
Town of Blooming Grove
Village of Ardsley
Village of Croton-on-Hudson
Village of Dobbs Ferry
Village of Harrison
Village of Mamaroneck
Village of Larchmont
Village of Ossining
Village of Pelham Manor
Village of Irvington
Village of Elmsford
Village of Pelham
Village of Port Chester
Village of Scarsdale
Village of South Blooming Grove
Brewster Central School District
Town of Greenburgh Department of Community
Dvlpmt and Conservation
State of New York, Business Dvlpmt Corp.
Empire State Certified Development Corp.
U.S. Small Business Administration
Statewide Zone Capital Corp.
Yonkers, New Main St. Redevelopment Corp.
Legal Services of the Hudson Valley
The Institute for Justice
Westhab
Putnam Community Foundation
The Community Builders, Inc.

Environmental Protection Agency
Dormitory Authority of the State of NY
Mount Vernon Hospital
St. Josephs Medical Center
St. Vincents Hospital Westchester
St. Agnes Hospital
Phelps Memorial Hospital Corp.
White Plains Medical Center
The Burke Rehabilitation Hospital
The Seabury Wilson Home
The March of Dimes
The United Way of Westchester
The Salvation Army
The Congregation of Jehovah's Witnesses
LDS Church
St. Peters Episcopal Church
Good Shepard Presbyterian Church
Hudson River Presbyterian Church
St. Johns Lutheran Church
Zion AME Baptist Church
Shiloh Baptist Church
Valhalla United Methodist Church
Bethlehem Lutheran Church
Bryn Mawr Presbyterian Church
Greek Orthodox Church - Evangelismos
Congregation Ohr Torah Synagogue
Central Baptist Church of NY
Montebello Jewish Center
Missionary Church Investment Foundation
Corporation of the Presiding Bishop of the
Church of Jesus Christ of Latter-Day Saints
Retirement Living Services
Hebrew Hospital Home Foundation, Inc.
Beth Abraham Health Services
Schnurmacher Nursing Home
Saint Michael's Home for the Aged
Jewish Board of Family & Children's Svcs
Board of Coop Education Services (BOCES)
YM+YWHA of Southern Westchester
YMCA of Central & Northern Westchester
YMCA of Mt. Vernon
Tarrytown YMCA
New Rochelle YMCA
Iona College
The Windward School
The Berkley School
Pace Business School
Mid Westchester Elks Club
Westchester Interfaith Council
The Hackley School
Legion of Christ, Inc.
Bokharian Communities Center, Inc.
The Episcopal Church of St. Alban Martyr
Salesian Society, Province of St. Philip
St. Gregory the Enlightener Church
Innovations for Community Advancement
The Masonic Guild of Port Chester
Planned Parenthood of Westchester and Rockland,
Inc.
Westchester Land Trust
Westchester Joint Water Works
National Development Council

PAUL A. ALFIERI, III, MAI
APPRAISAL EXPERIENCE
APPRAISALS COMPLETED FOR

The Estate of Elizabeth Ross Johnson
MBIA Insurance Company
Metropolitan Life
Principal Mutual Life Insurance Co.
Guardian Insurance Company
Reckson Operating Partnership, LP
GDC Development Corp.
Capelli Enterprises
GHP Houlihan
Lordae Property Management
APEX Development Company
Urstadt Biddle Properties
Jones, Lang, Wooten
Halpern Enterprises
Forest City Daly Housing Corp.
Mack Cali
Platzner Int'l Group, Ltd.
Colliers Int'l Valuation & Advisory Services
Anderson Hill Road Capital, LLC
Doral Conference Center Associates
Industrial Heater Corp.
Sunoco
Barrier Oil Company
Castle Oil
Motiva Enterprises
Neptune Moving Company
Toyota
Toyota Financial Services
Pepe Auto Group
Alfredo's Foreign Cars
Soundview Chevrolet
Westchester Chrysler Plymouth
Pace Honda
Rye Ford Subaru
Acura of Westchester
Willow Motors
Heart Kia
Heart Ford
Mallory Kotzen Tires
Direcktor's Boatyard
Steel Style Development Corp.
Swanson Boat Transport Co.
Mid Ocean Tankers
Defender Marine
Mamaroneck Boat and Motors
Nichols Boatyard
McMichael Boating Center
Glen Island Yacht Club
West Harbor Yacht Services, Inc.
Tax Assessment Experts
Consumers Union
Combe Inc.
USTA National Tennis Center
Ticor Title Guarantee Co.
Security Mutual Life Insurance Co. of NY
The Community Builders
BRP Companies
Bedford Union Cemetery
Tarrycrest Swim Club
Suez Water Company
Veolia Water New York

Reichhold Chemical
Leroy Pharmacies
Ciba Geigy
Akzo Nobel, Inc.
Mutual Biscuit Company
Imperial Yacht Club
Manursing Island Club
Glen Island Yacht Club Inc.
Anglebrook Country Club
Willow Ridge Country Club
Wright Island Marina
Beckwith Point Beach and Tennis Club
Board of Directors of the Quay Condo
PCC Real Estate, Inc. (A Penn Central Co.)
Pepsico.
Store 24
Wakefern Foods
The Great Atlantic and Pacific Tea Co.
ShopRite Supermarket Inc.
New York Telephone
Plaza Materials Company
Transpo Industries
Suburban Carting Company
Dunham Paint Company
Wallauer Paint
Landauer Metropolitan Medical
The Chapson Corporation
Robert Martin Rosedale Corporation
Otto Brehm
Neri Bakery
Tork Time Clock
Liberty Lines Bus Company
General Motors
Gyrodyne
Teledyne, Inc.
Verizon Wireless
Prodigy
Kenneth Cole
Purdue Frederick Company
Rostenberg-Doern Company
Houlihan-Parnes
Strategic Resources Corporation
Flynn Burner
Continental Hosts
Lifetime Fitness Co.
CSX Railroad/CSX Realty Corp.
New York Transco
CDM Smith
Spectra Energy/Algonquin Gas
Zipjack Industry
Bertoline Distributors
Cugine Foods
Quick Quality Restaurants
Hudson Valley Resorts
Hudson River Healthcare
Adira at Riverside
Danish Home for the Aged
Energize New York
New York SMSA Ltd. Partnership (Verizon)
New Cingular Wireless PCS (AT&T)
Homeland Towers, LLC

**Wireless Edge Towers
Amp Communications, LLC
Gotham Communications
Crown Castle**

PAUL A. ALFIERI, III, MAI
APPRAISAL EXPERIENCE
FINANCIAL INSTITUTIONS

Abacus Federal Savings Bank
American Savings Bank
America's Christian Credit Union
Apple Savings
Anchor Savings Bank
Allstate Appraisal Services
Algemene Bank of Netherlands
Alliance Bank
Alliance Funding
A-1 Preferred Mortgage
Anchor Equities, Ltd.
BNC National Bank
BMC Capital
Beacon Financial
Banco Popular
Bankers Trust Company
Bank of America
Bank Leumi
Bank of New York
Barclay's Bank of New York
Business Loan Express
Carver Federal Savings Bank
The Chase Manhattan Bank, N.A.
Chemical Bank
Century Capital Corporation
Columbia Equities, Ltd.
Consumer Capital Corporation
Central Federal Bank
Chase Bank
Chemical Bank
The Chase Manhattan Bank, N.A.
Citibank, N.A.
Cititrust
City and Suburban Federal Savings Bank
Crossland Savings Bank
Comfed Savings Bank
Commonwealth Mortgage Company
Community Mutual Savings Bank
Community Preservation Corporation
Conamero Development Corporation
Condo Plus
Consortium Financial
Countrywide Funding Corporation
Country Bank
Crossway Capital, Ltd.
Customers Bank
Dime Savings Bank
Dollar Dry Dock Savings Bank
DuPont Mortgage Corporation
Eagle Funding
Eastchester Savings Bank
Eastern Savings Bank
Educational and Governmental Employees
Credit Union
Edison Funding
Emigrant Savings Bank
Empire Financial Corporation
Empbanque Capital Corporation
Empire of America
Ensign Bank
Equity Mortgage
Equity Stars
Exchange Mortgage Corporation
Express Equity
Family Financial
Farm Credit East, ACA
The First Boston Corporation
FDIC
First Boston Mortgage Center
First Fidelity
First Northern
First National Mortgage and Finance Co.
First National Bank of North Tarrytown
First Union Corporation
Fleet Bank
Florida Capital Management
Four Star Funding
Foremost Funding
Full Service Funding
Gibraltar Money Center
Goldstar Resources
Goldome
GM Wolkenberg, Inc.
Green Park Financial
Heartland Bank
Heritage Funding
Holme Capital
Homequity
Home Funding
Home Mortgage
Home Savings Bank
Houlihan Lawrence Financial
Hudson United Bank
Hudson Valley National Bank
HVCU - Hudson Valley Credit Union
IBM Relocation
Intercounty
Investors Mortgage

PAUL A. ALFIERI, III, MAI
APPRAISAL EXPERIENCE
FINANCIAL INSTITUTIONS

J P Morgan Chase
Jaguar Capital
Kadillac Funding, Ltd.
Knighthood Funding
LaJolla Bank
Larchmont Federal S & L Association
Lehman Brothers Bank
Love Funding
Mahopac National Bank
Mansfield Mortgage
Marine Midland Bank
Medallion Funding Corporation
Meritor Credit Corporation
Merrill Lynch Mortgage
Merrill Lynch Relocation
Metro Bank
Metropolitan Funding
Metropolis Capital
Midlantic Mortgage Corporation
The Money Store
The Mortgage Center
Mutual Bank
Nazarene Credit Union
National Cooperative Bank
National Westminster Bank U. S. A.
New York Community Bank
New York National Bank
Orange Bank & Trust Co.
Omega Funding Group
Ocwen
PCSB
People's Mortgage
Peoples Westchester Savings Bank
PMI Mortgage Insurance Company
Preferred Mortgage
Prudential Mortgage Company
Putnam County National Bank

Real Estate Recovery, Inc.
Resolution Trust Company
Resource Funding
Roosevelt Savings Bank
Scarsdale National Bank
Seacoast Mortgage
Service First
Signature Bank
Society for Savings
Sound Federal Savings & Loan Association
Statewide Zone Capital Corp.
Tarrytown and North Tarrytown Savings & Loan Association
TD Bank
Titan Capital
Tompkins Trust
Tompkins Community Bank
Tremont Federal Savings & Loan Assoc.
UBS Warburg Real Estate
Ulster Saving Bank
Union State Bank
United Northern Federal Savings Bank
USA Bank
U.S. Mortgage
Village Savings Bank
Wachovia Corporation
Washington Federal S & L Association
Welcome Home Realty
Wells Fargo
Westfair Funding Corporation
Westchester Bank
Westchester Federal Savings Bank
Williamsburgh Savings Bank
Wallkill Valley Federal Savings & Loan

PAUL A. ALFIERI, III, MAI
APPRAISAL EXPERIENCE
APPRAISALS OF NOTABLE PROPERTIES

AKZO Property, Lawrence St, Ardsley
CIBA Geigy Property, Greenburgh
Cemetery, Clinton Rd, Bedford
Self Storage, 34 Norm Av, Bedford
Supermarket, 747 S Bedford Rd, Bedford
Readers Digest HQ Property, Chappaqua
Gas Pipeline Easement/Rental, Cortland
Sewer Plant, Cortlandt/Croton
Dockominiums, Half Moon Bay, Croton
Village Hall, 1 Van Wyck St, Croton
Former Brewery, 145 Palisade Av, Dobbs Ferry
AKZO Property, Danforth Av, Dobbs Ferry
Motel, 22 Tarrytown Rd, Greenburgh
Motel 290 Tarrytown Rd, Elmsford
Police/Court Bldg, 188 Tarrytown Rd, Greenburgh
Town Hall, 177 Hillside Av, Greenburgh
Library, Tarrytown & Knollwood Rd, Greenburgh
Church, 2102 Saw Mill River Rd, Greenburgh
Midway Shopping Ctr, Central Prk Av, Greenburgh
Greenville Shopping Ctr, Central Prk, Greenburgh
Con Ed Transmission Lines, Greenburgh
Office/Lab, Landmark at Eastview, Greenburgh
Hotel, 670 White Plains Rd, Greenburgh
Subdivision, W Hartsdale Av, Hartsdale
Newspaper HQ Property, 1 Gannett Dr, Harrison
Subdivision, 2025 Westchester Av, Harrison
Hotel, 80 W Red Oak Ln, Harrison
Willow Ridge Country Club, 123 North St, Harrison
Pepsico HQ, 700 Anderson Hill Rd, Harrison
Andrus Retirement Community, Hastings
Waterfront Industrial, River St, Hastings
Hotel, 18 24 Saw Mill River Rd, Hawthorne
School, Bradhurst Av, Hawthorne
Subdivision, S Broadway, Irvington
Subdivision, Mulligan Ln, Irvington
Waterfront Industrial, Irvington
Larchmont Yacht Club, Larchmont
McMichael Boat Yard, Mamaroneck
Nichols Boatyard, Mamaroneck
Mamaroneck Boat & Motor, Mamaroneck
Mamaroneck Beach & Yacht Club, Mamaroneck
St Johns Church, Cortlandt Av, Mamaroneck
Badger Swim Club, Rockland Av, Mamaroneck
Derektors Ship Yard, Mamaroneck
Church, 19 10th Av, Mt Vernon
YMCA, 20 S 2nd Av, Mt Vernon
Church, 52 S 6th Av, Mt Vernon
Synagogue, Crary Av, Mt Vernon
Supermarket, 960 Broadway, Thornwood
Glen Island Casino Catering, New Rochelle
Marina, 101 Harbor Ln W, New Rochelle
Auto Dealer Portfolio, New Rochelle
New Rochelle City Yard, Main St, New Rochelle

Wright Island Marina, Drake Av, New Rochelle
Church, Stratton Rd, New Rochelle
Imperial Yacht Club, Davenport Av, New Rochelle
Reservoir, Weaver St, Larchmont/New Rochelle
Neptune Marina, Davenport Av, New Rochelle
YMCA, 540 Weyman Av, New Rochelle
Iona College Dormitory Sites, New Rochelle
Dudleys Marina & Restaurant, New Rochelle
Beckwith Beach Club, New Rochelle
Westerly Marina, Westerly Rd, Ossining
City Development Site, Lower South St, Peekskill
Peekskill Waterfront Properties, Peekskill
St Peter's Episcopal Church, Port Chester
Land Underwater, N Main St, Port Chester
Village Development Site, Port Chester
DPW Waterfront, Fox Island Rd, Port Chester
Village Hall, 222 Grace Church St, Port Chester
Police/Court, 350 N Main St, Port Chester
Masonic Temple, 356 Irving Av, Port Chester
United Hospital, 406 Boston Post, Port Chester
Doral Conference Center, Rye Brook
Hotel, Rye Town Hilton, Rye Brook
Rye Ridge Shopping Center, Rye Ridge
Office, Rye Ridge Plaza, Rye Brook
Washington Park Plaza SC, S Ridge St, Rye Brook
BOCES, Berkley Dr, Rye Brook
Office Complex, 1-6 International Dr, Rye Brook
Phelps Hospital, N Broadway, Sleepy Hollow
General Motors Property, Sleepy Hollow
Pepsico Offices, Pepsi Way, Somers
Anglebrook Golf Club, Somers
Gas Pipeline Easement/Rental, Somers
YMCA, 62 Main St, Tarrytown
Hackley School, Midland Av, Tarrytown
Hotel, Axe Castle, Tarrytown
Bayer Property, Benedict Av, Tarrytown
Kraft Property, S Broadway, Tarrytown
Halpern Office Portfolio, Tarrytown
Mack Cali Office Portfolio, Tarrytown
Christiana Office, White Plains Rd, Tarrytown
Tappan Zee Bridge, Quay DOT Taking, Tarrytown
Self Storage, 160 Wildey Av, Tarrytown
Self Storage, Depot Plaza, Tarrytown
Washington Irving Boat Club, Tarrytown
NYCDEP Site, Columbus Av, Thornwood
Retirement/Nursing, Westchestr Meadws, Valhalla
Trump Tower, City Pl, White Plains
Office, 7 Renaissance Sq, White Plains
Parking Garage, Renaissance Sq, White Plains
Windward School, Windward Av, White Plains
Office, 1 N Broadway, White Plains
Pepe Auto Dealerships, White Plains, New Rochelle
Office, 34 44 S Broadway, White Plains

Pavilion Shopping Ctr, S Broadway, White Plains
Church, 65 Lake St, White Plains
Sears, 100 Main Street, White Plains
Office 140, 150 Grand St, White Plains
Office, 1 N Lexington Av, White Plains
Apartments, Bank St Commons, White Plains
Bloomingdales, Bloomingdale Rd, White Plains
DOT Surplus Land, White Plains
Office, 199 Main St, White Plains
Office, 333 Westchester Av, White Plains
Macys, Martine Av, White Plains
County Courthouse, Grove Rd, White Plains
Schurmacher Nursing Home, White Plains
Office, 1 Lexington Av, White Plains
YMCA, Mamaroneck Av, White Plains
Saks Fifth Ave., Bloomingdale Rd, White Plains
March of Dimes Office, White Plains
Gas Pipeline Easement/Rental, Yorktown
DOT Surplus Land, Crompond Rd, Yorktown
Office, 2649 2651Strang Blvd, Yorktown
Crompond Crossings Shopping Ctr, Yorktown
Self Storage, 2720 Lexington Av, Yorktown
Chicken Island Parcels, Yonkers
Religious/School, Van Cortlandt Park Av, Yonkers
Nursing Home, 304 Palisade Av, Yonkers
Amackassin Club, Palisade Av, Yonkers
CSX Railroad Land, Babcock Av, Yonkers
Consumers Union Office HQ, Truman Av, Yonkers
Ferncliff Manor School, Saw Mill Rvr Rd, Yonkers
Church, 320 Walnut St, Yonkers
Waterfront Development Sites and Land Underwtr
Tara Circle School, Mansion, N Broadway, Yonkers
Church, 77 High St, Yonkers
Easement, Glenwood Av waterfront, Yonkers
Easement, Midland Av, Yonkers
Sewer Easements, Temporary Easements, Yonkers
Construction Easements, Waterfront, Yonkers
Vacant Roadbed, Pearl St, Yonkers
Vacant Roadbed, Saw Mill River Rd, Yonkers
Shopping Center, Yonkers Shopping Ctr, Yonkers
Several Shopping Centers, Central Park Av, Yonkers
DOT Surplus Land, Central Park Av, Yonkers
Church, 306 Rumsey Rd, Yonkers
City Library, 5 Main St, Yonkers
Mitchell Lama Apartments, Riverdale Av, Yonkers
Toys R Us, Central Park Av, Yonkers
Tanglewood Shopping Ctr, Central Prk Av, Yonkers
High Ridge Shopping Ctr, Central Prk Av, Yonkers
Central Plz Shpping Ctr, Central Prk Av, Yonkers

Shopping Center/Retail Portfolio, Westchester Cty
Westchester County Correctional Facility;
Detention - Temporary Housing Facility, Valhalla

Shopping Center/Retail Portfolios, Bronx
Multilevel Owner Office Portfolio - Estate, Bronx

Apartment Bldg, E 94th St, Manhattan
Nichols Boatyard, Hylan Av, Staten Island
Apartment Portfolio, Harlem, Manhattan

Senior Housing Site, Stoneleigh Av, Carmel
113 Acre Subdivision, Nichols St, Kent

Estate of Elizabeth Ross Johnson - 1,200 acre, 3
Farm Estate Property, Millbrook and Washington

Electric Substation Value Analysis, Rte 22, Dover
Electric Substation Value Analysis, Poughkeepsie
Gas Substation Value Analysis, Kingston
Office/Retail Portfolio, Dutchess Cty
Office, 60 Merritt Blvd, Fishkill
Hotel, 50 Red Oak Mills Rd, LaGrange
Subdivision, Meadowbrook Ct, Patterson
Hotel, 2170 South Rd, Poughkeepsie
150 Acre Residential/Commercial Site, Putnam Vly
Office/Flex, Myers Corners Rd, Wappinger Falls
Shopping Center, Rte 82, Lagrangeville
Supermarkets, Hudson, Columbia Cty

Boat Slip/Marina, Nyack
Shopping Center, 191 195 S Main St, New City
Shopping Center Portfolio, Rockland Cty
Apartment Portfolio, Spring Valley
Religious School, Rt. 360, Monsey

Industrial Site, River Rd, New Windsor
53 Acre Senior Housing Site & Lake, New Windsor
Middletown Psychiatric Ctr, Middletown
DOT Surplus Land, Walkill
Vacant Land Taking, W Main St, Maybrook
Shopping Center, Blooming Grove
Shopping Center, 232 Main St, New Paltz, Ulster
Two Self Storage Facilities, Monticello, Sullivan
Orange & Rockland Utility, Inc., S. Blooming Grove
311 Acre Site, Rt. 9W and River Rd, Esopus
170 Acre Site, Railroad Av, Ulster

Shopping Centers, Hempstead Levittown, Nassau

Former Erie Rail Line, Chester to Newburgh

Numerous Cell Tower Site Sale & Rental Analyses in
Westchester, Bronx, Manhattan, Nassau, Suffolk,
Rockland, Orange, Ulster, Putnam and Dutchess

UNIQUE ID NUMBER

46000009780

State of New York
Department of State

DIVISION OF LICENSING SERVICES

FOR OFFICE USE ONLY

Control

No.

1548581

PURSUANT TO THE PROVISIONS OF ARTICLE 6E OF THE
EXECUTIVE LAW AS IT RELATES TO R. E. APPRAISERS.

EFFECTIVE DATE

MO.	DAY	YR.
03	01	22

ALFIERI PAUL A III
C/O LANE APPRAISALS INC
178 MYRTLE BLVD
LARCHMONT, NY 10538

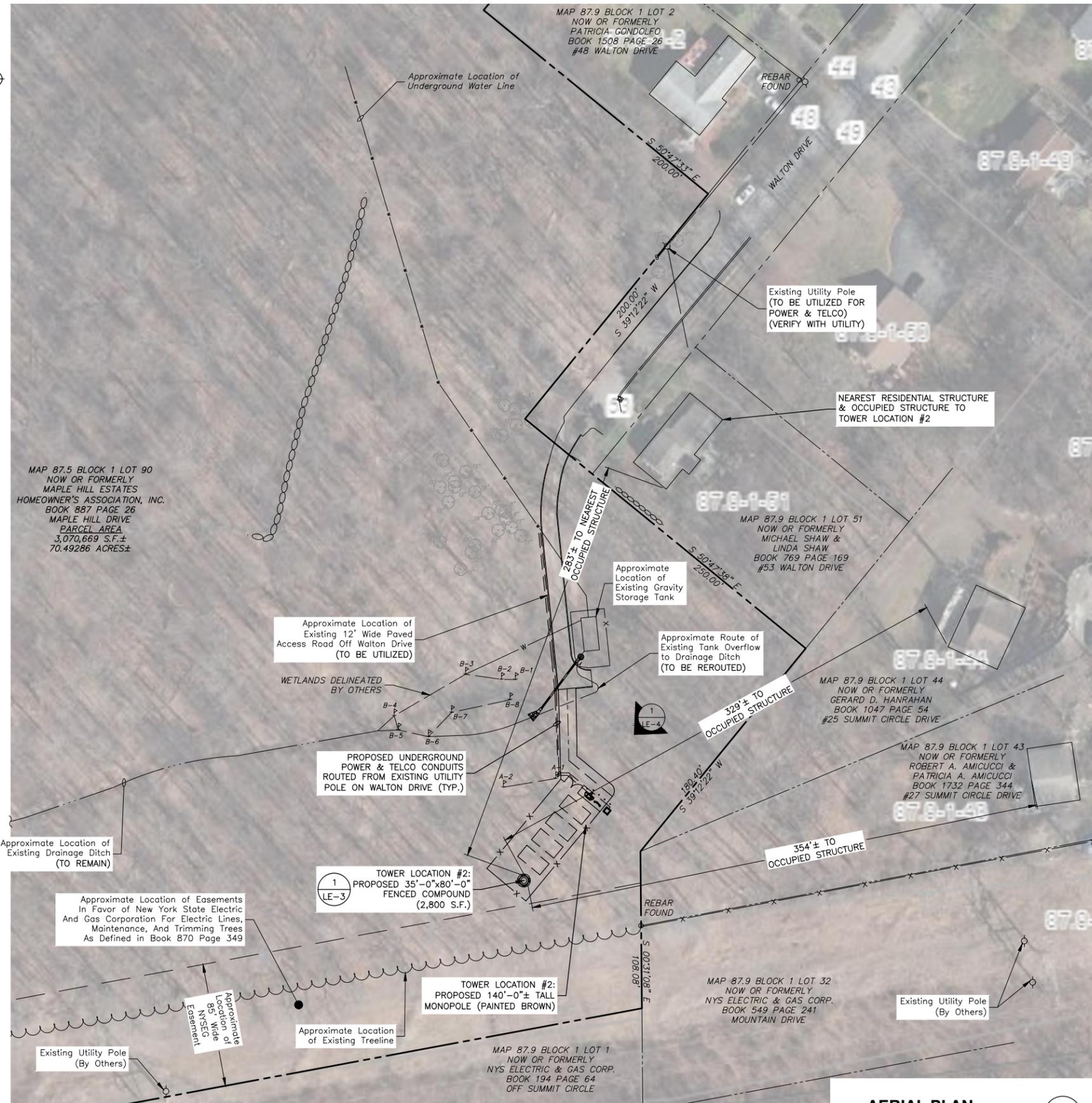
EXPIRATION DATE

MO.	DAY	YR.
02	29	24

HAS BEEN DULY CERTIFIED TO TRANSACT BUSINESS AS A
R. E. GENERAL APPRAISER

In Witness Whereof, The Department of State has caused
its official seal to be hereunto affixed.

ROBERT J. RODRIGUEZ
ACTING SECRETARY OF STATE



TOWER LOCATION #	APPROXIMATE TOWER COORDINATES	APPROXIMATE BASE ELEVATION
TOWER LOCATION #2	41'-20"-53.69" N 73'-43"-48.76" W	750.0'±**

- * GRADE RAISED TO 750' AMSL.
- ** EXISTING GRADE APPROXIMATE BASED ON GOOGLE EARTH & HANDHELD GPS.
- *** APPROXIMATE BASED ON GOOGLE EARTH & LIMITED FIELD MEASUREMENTS.

NOTES:

1. NORTH SHOWN AS APPROXIMATE.
2. SOME EXISTING AND PROPOSED INFORMATION NOT SHOWN FOR CLARITY.
3. AERIAL PLAN IS BASED ON 2016 NYS ORTHOIMAGERY OBTAINED FROM THE PUTNAM COUNTY GEOGRAPHIC INFORMATION SYSTEM & LIMITED FIELD MEASUREMENTS DURING A SITE VISIT BY DEWBERRY ENGINEERS INC ON 03/19/21.
4. TOWER LOCATION #2 IS SHOWN AS CONCEPTUAL. FINAL DESIGN IS TO BE DETERMINED PENDING ADDITIONAL TOPOGRAPHIC & TREE SURVEY.
5. THE COLOR OF THE MONOPOLE TOWER SHALL BE BROWN.
6. MONOPOLE DESIGN IS SHOWN AS CONCEPTUAL. FINAL DESIGN IS TO BE DETERMINED PENDING A FOUNDATION DESIGN & STRUCTURAL ANALYSIS TO BE COMPLETED BY OTHERS.

AERIAL PLAN

SCALE: 1"=80' FOR 11"x17"
1"=40' FOR 22"x34"



1



HOMELAND TOWERS, LLC
9 HARMONY STREET
2nd FLOOR
DANBURY, CT 06810
(203) 297-6345

GLENCOMA LAKE

LEASE EXHIBIT

REVISED PER COMMENTS	DATE
D	03/21/23
C	03/31/21
B	03/30/21
A	03/29/21



Dewberry Engineers Inc.
600 PARSIPPANY ROAD
SUITE 301
PARSIPPANY, NJ 07054
PHONE: 973.739.9400
FAX: 973.739.9710

DRAWN BY: GFS

REVIEWED BY: BSH

CHECKED BY: BBR

PROJECT NUMBER: 50128854

JOB NUMBER: 50128856

SITE ADDRESS:

WALTON DRIVE
MAHOPAC, NY 10541
PUTNAM COUNTY

SHEET TITLE

AERIAL PLAN

SHEET NUMBER

LE-1



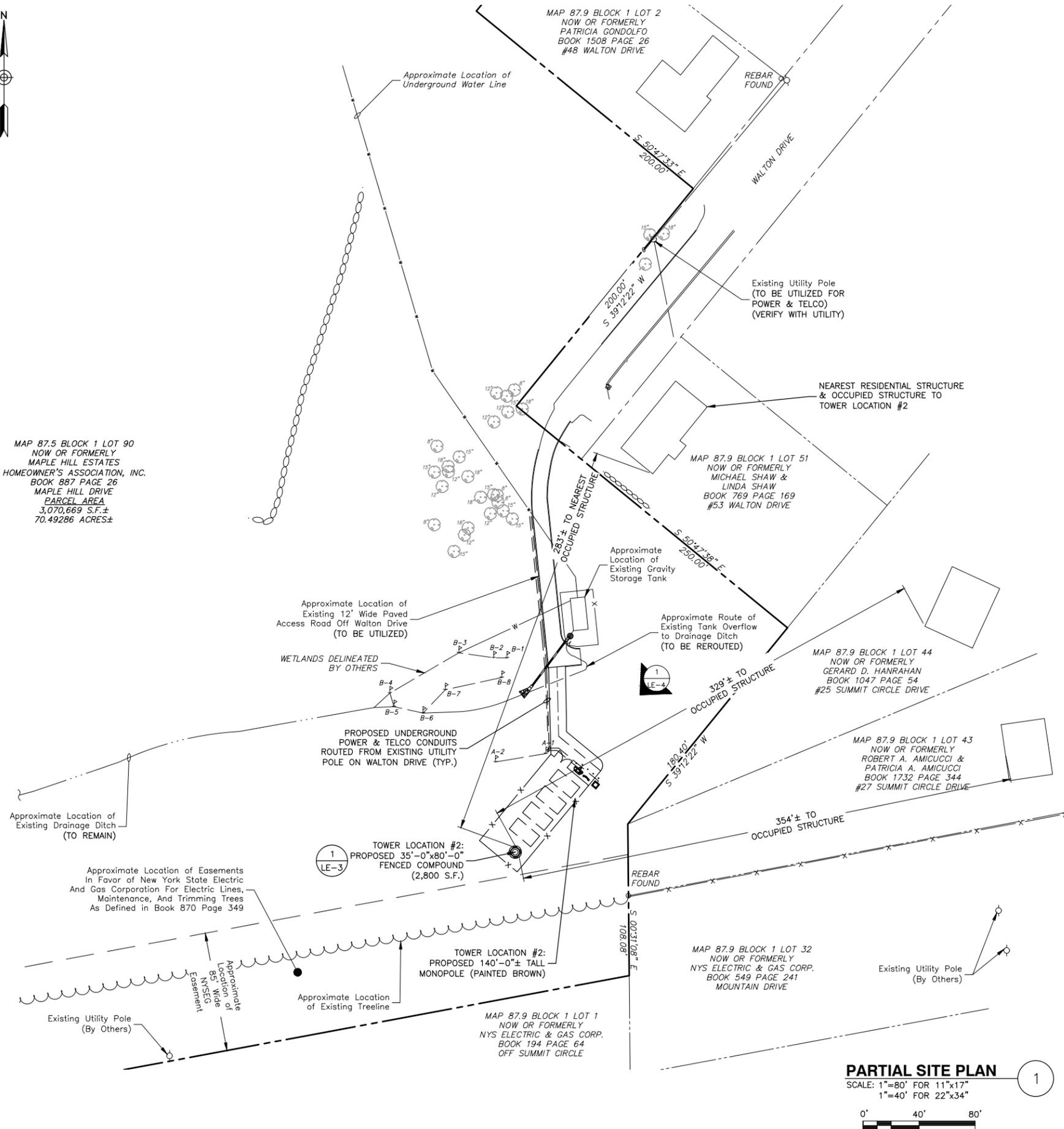
MAP 87.5 BLOCK 1 LOT 90
NOW OR FORMERLY
MAPLE HILL ESTATES
HOMEOWNER'S ASSOCIATION, INC.
BOOK 887 PAGE 26
MAPLE HILL DRIVE
PARCEL AREA
3,070,669 S.F.±
70.49286 ACRES±

TOWER LOCATION #	APPROXIMATE TOWER COORDINATES	APPROXIMATE BASE ELEVATION
TOWER LOCATION #2	41'-20"-53.69" N 73'-43"-48.76" W	750.0'±**

* GRADE RAISED TO 750' AMSL.
** EXISTING GRADE APPROXIMATE BASED ON GOOGLE EARTH & HANDHELD GPS.
*** APPROXIMATE BASED ON GOOGLE EARTH & LIMITED FIELD MEASUREMENTS.

NOTES:

- NORTH SHOWN AS APPROXIMATE.
- SOME EXISTING AND PROPOSED INFORMATION NOT SHOWN FOR CLARITY.
- AERIAL PLAN IS BASED ON 2016 NYS ORTHOIMAGERY OBTAINED FROM THE PUTNAM COUNTY GEOGRAPHIC INFORMATION SYSTEM & LIMITED FIELD MEASUREMENTS DURING A SITE VISIT BY DEWBERRY ENGINEERS INC ON 03/19/21.
- TOWER LOCATION #2 IS SHOWN AS CONCEPTUAL. FINAL DESIGN IS TO BE DETERMINED PENDING ADDITIONAL TOPOGRAPHIC & TREE SURVEY.
- THE COLOR OF THE MONOPOLE TOWER SHALL BE BROWN.
- MONOPOLE DESIGN IS SHOWN AS CONCEPTUAL. FINAL DESIGN IS TO BE DETERMINED PENDING A FOUNDATION DESIGN & STRUCTURAL ANALYSIS TO BE COMPLETED BY OTHERS.



PARTIAL SITE PLAN

SCALE: 1"=80' FOR 11"x17"
1"=40' FOR 22"x34"



1



HOMELAND TOWERS, LLC
9 HARMONY STREET
2nd FLOOR
DANBURY, CT 06810
(203) 297-6345

GLENCOMA LAKE

LEASE EXHIBIT

REVISED	DATE	REVISIONS
D	03/21/23	REVISED PER COMMENTS
C	03/31/21	REVISED PER COMMENTS
B	03/30/21	REVISED PER COMMENTS
A	03/29/21	ISSUED FOR 95% REVIEW



Dewberry Engineers Inc.

600 PARSIPPANY ROAD
SUITE 301
PARSIPPANY, NJ 07054
PHONE: 973.739.9400
FAX: 973.739.9710

DRAWN BY: GFS

REVIEWED BY: BSH

CHECKED BY: BBR

PROJECT NUMBER: 50128854

JOB NUMBER: 50128856

SITE ADDRESS:

WALTON DRIVE
MAHOPAC, NY 10541
PUTNAM COUNTY

SHEET TITLE

PARTIAL SITE PLAN

SHEET NUMBER

LE-2



HOMELAND TOWERS, LLC
9 HARMONY STREET
2nd FLOOR
DANBURY, CT 06810
(203) 297-6345

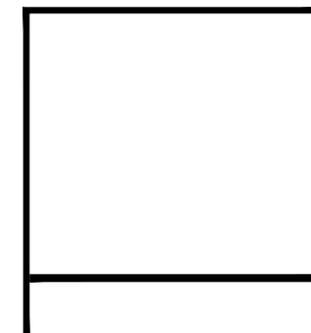
GLENCOMA LAKE

LEASE EXHIBIT

REV	DATE	DESCRIPTION
D	03/21/23	REVISED PER COMMENTS
C	03/31/21	REVISED PER COMMENTS
B	03/30/21	REVISED PER COMMENTS
A	03/29/21	ISSUED FOR 95% REVIEW



Dewberry[®]
Dewberry Engineers Inc.
600 PARSIPPANY ROAD
SUITE 301
PARSIPPANY, NJ 07054
PHONE: 973.739.9400
FAX: 973.739.9710



DRAWN BY: GFS

REVIEWED BY: BSH

CHECKED BY: BBR

PROJECT NUMBER: 50128854

JOB NUMBER: 50128856

SITE ADDRESS:

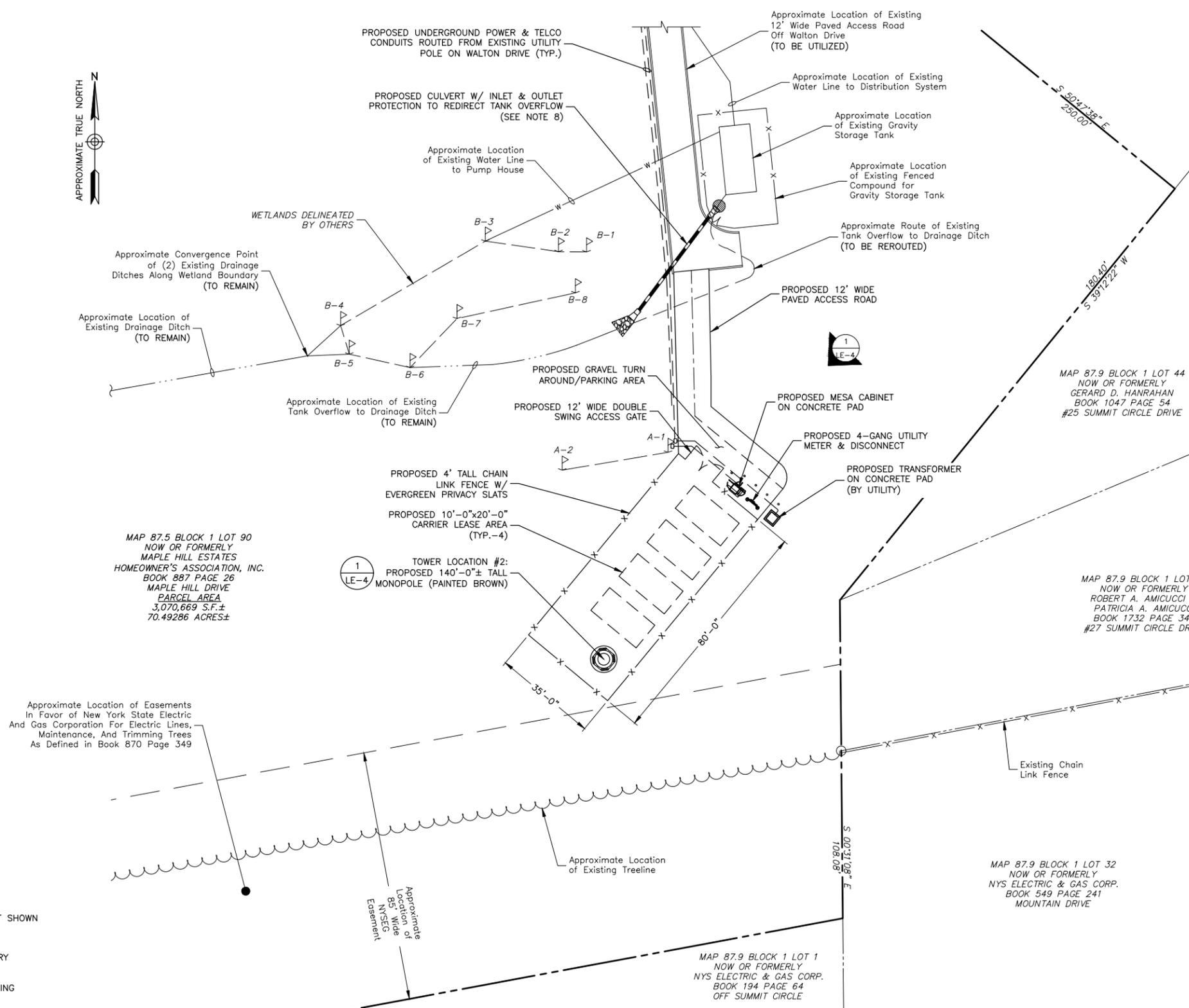
WALTON DRIVE
MAHOPAC, NY 10541
PUTNAM COUNTY

SHEET TITLE

CONCEPTUAL ACCESS
& COMPOUND PLAN

SHEET NUMBER

LE-3



- NOTES:**
- NORTH SHOWN AS APPROXIMATE.
 - SOME EXISTING AND PROPOSED INFORMATION NOT SHOWN FOR CLARITY.
 - PARTIAL SITE PLAN IS BASED ON LIMITED FIELD MEASUREMENTS DURING A SITE VISIT BY DEWBERRY ENGINEERS INC ON 03/19/21.
 - INFORMATION SHOWN IS APPROXIMATE & IS PENDING ADDITIONAL SURVEY.
 - TOWER LOCATION #2 IS SHOWN AS CONCEPTUAL. FINAL DESIGN IS TO BE DETERMINED PENDING ADDITIONAL TOPOGRAPHIC & TREE SURVEY.
 - THE COLOR OF THE MONOPOLE TOWER SHALL BE BROWN.
 - MONOPOLE DESIGN IS SHOWN AS CONCEPTUAL. FINAL DESIGN IS TO BE DETERMINED PENDING A FOUNDATION DESIGN & STRUCTURAL ANALYSIS TO BE COMPLETED BY OTHERS.
 - CULVERT & DRAINAGE DESIGN IS SHOWN AS CONCEPTUAL. FINAL DESIGN IS TO BE DETERMINED PENDING ADDITIONAL SURVEY, GRADING DESIGN & DRAINAGE/FLOW CALCULATIONS.

CONCEPTUAL ACCESS & COMPOUND PLAN
SCALE: 1"=40' FOR 11"x17"
1"=20' FOR 22"x34"



1



HOMELAND TOWERS, LLC
 9 HARMONY STREET
 2nd FLOOR
 DANBURY, CT 06810
 (203) 297-6345

GLENCOMA LAKE

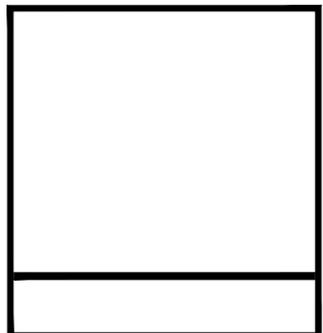
LEASE EXHIBIT

D	03/21/23	REVISED PER COMMENTS
C	03/31/21	REVISED PER COMMENTS
B	03/30/21	REVISED PER COMMENTS
A	03/29/21	ISSUED FOR 95% REVIEW



Dewberry Engineers Inc.

600 PARSIPPANY ROAD
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 FAX: 973.739.9710



DRAWN BY: GFS

REVIEWED BY: BSH

CHECKED BY: BBR

PROJECT NUMBER: 50128854

JOB NUMBER: 50128856

SITE ADDRESS:

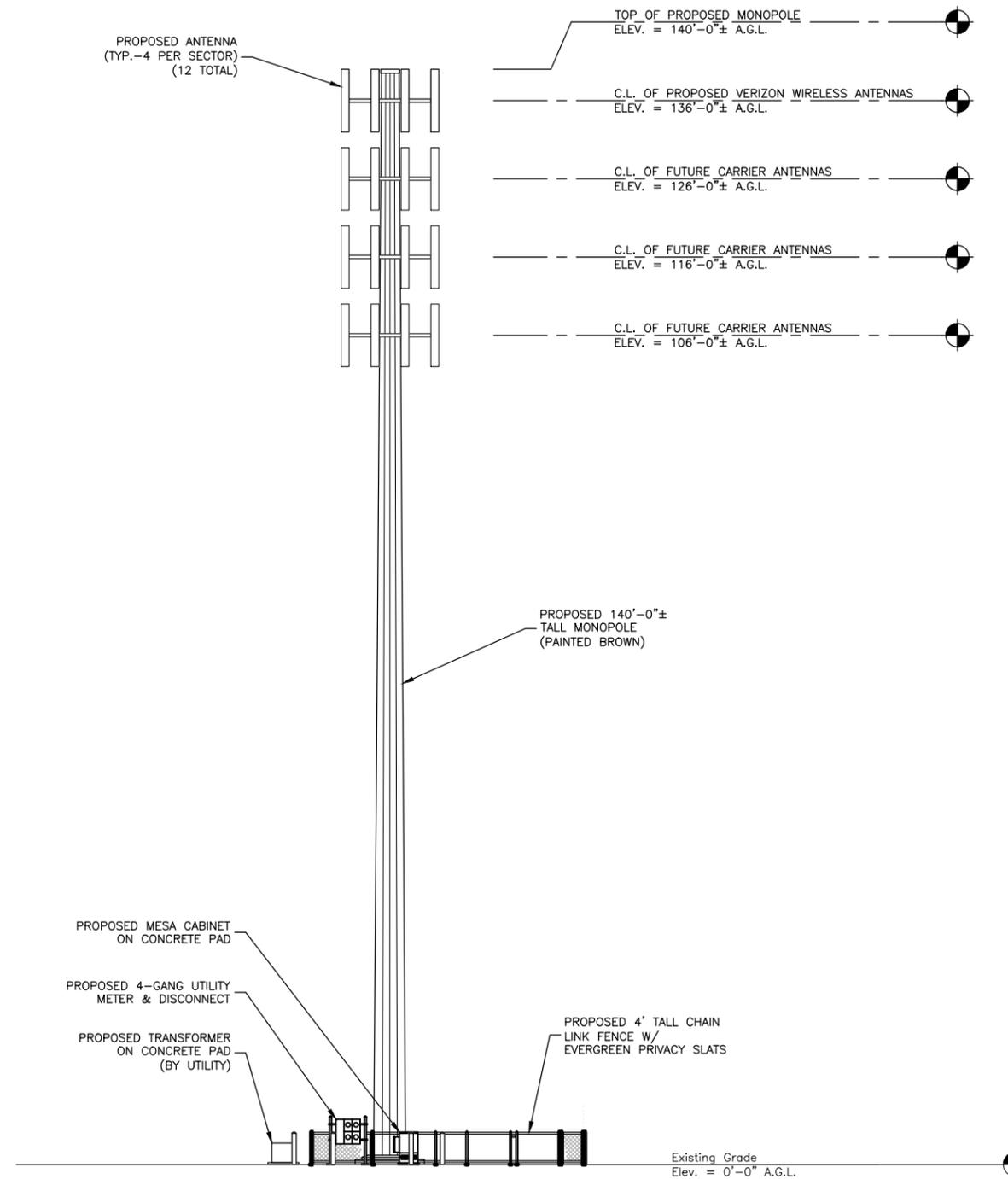
WALTON DRIVE
 MAHOPAC, NY 10541
 PUTNAM COUNTY

SHEET TITLE

CONCEPTUAL
 NORTH ELEVATION

SHEET NUMBER

LE-4



NOTES:

- SOME EXISTING AND PROPOSED INFORMATION NOT SHOWN FOR CLARITY.
- TOWER LOCATION #2 IS SHOWN AS CONCEPTUAL. FINAL DESIGN IS TO BE DETERMINED PENDING ADDITIONAL TOPOGRAPHIC & TREE SURVEY.
- THE COLOR OF THE MONOPOLE TOWER SHALL BE BROWN.
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CONCEPTUAL NORTH ELEVATION

SCALE: 1"=20' FOR 11"x17"
 1"=10' FOR 22"x34"



1

LAW OFFICES OF
SNYDER & SNYDER, LLP
94 WHITE PLAINS ROAD
TARRYTOWN, NEW YORK 10591

NEW YORK OFFICE
445 PARK AVENUE, 9TH FLOOR
NEW YORK, NEW YORK 10022
(212) 749-1448
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LESLIE J. SNYDER
ROBERT D. GAUDIOSO
DOUGLAS W. WARDEN
JORDAN M. FRY

DAVID L. SNYDER
(1956-2012)

(914) 333-0700
FAX (914) 333-0743

WRITER'S E-MAIL ADDRESS

rgaudioso@snyderlaw.net

NEW JERSEY OFFICE
ONE GATEWAY CENTER, SUITE 2600
NEWARK, NEW JERSEY 07102
(973) 824-9772
FAX (973) 824-9774

REPLY TO:

TARRYTOWN OFFICE

March 8, 2023

Honorable Chairman Craig Paepre
and Members of the Planning Board
Town of Carmel Town Hall
60 McAlpin Avenue
Mahopac, New York 10541

Re: Application for site plan and special permit approval for
Glencoma Lake: Walton Drive, Carmel, New York

Honorable Chairman Paepre
and Members of the Planning Board:

We are the attorneys for Homeland Towers, LLC and New York SMSA Limited Partnership d/b/a Verizon Wireless (collectively, the "Applicants") in connection with their request for site plan and special permit approval to locate a public utility wireless telecommunications facility ("Facility") at the above captioned property ("Property"). The proposed Facility consists of a 140-foot tower and related equipment. The Property is located in the Residential Zoning District where the Facility is permitted in accordance with Section 156-62 of the Town of Carmel Zoning Code.

Verizon Wireless is a provider of personal wireless services, and is licensed by the Federal Communications Commission to provide wireless services throughout the New York metropolitan area, including the Town of Carmel.

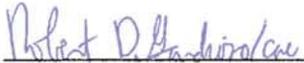
In response to comments from staff and the Board, enclosed please find five (5) copies of the following documents:

1. Letter from Matt Allen of Saratoga Associates confirming the accuracy of the visual renderings.
2. Letter from Klaus Wimmer of Homeland Towers with photographs of the large existing lattice tower visible along Walton Drive and the existing power line towers visible from Summit Circle, as well as photographs demonstrating the proximity of other residences adjacent to the condos and the excessive distance and grade change from the condos to the proposed site.

3. Crane operator letter confirming that the Crane may be staged on the property and will not be staged on Walton Drive.
4. Letter from Dewberry confirming access and construction staging issues to demonstrate that there will be no adverse impacts to Walton Drive and to confirm that constructing an access drive from the condos is not feasible.
5. Revised Site Plan including a lighting spill plan, proposed landscaping to fully offset the proposed tree removal, confirmation that the crane and other construction vehicles can stage on the Property and not on Walton Drive. Please note that Homeland Towers has shown a monopine design in visual renderings at the request of the Planning Board as a condition of approval. As such the Site Plan shows three (3) twenty-foot tall evergreens as required by the Town Code as a condition of approval.

Please note that the FCC Shot-Clock will expire on May 8, 2023. We thank you for your consideration, and look forward to discussing this matter at the March 9th public hearing. If you have any questions or require any additional documentation, please do not hesitate to contact me at 914-333-0700.

Snyder & Snyder, LLP

By: 
Robert D. Gaudio

RDG:cae

Enclosures

cc: Homeland Towers
Verizon Wireless

Z:\SSDATA\WPDATA\SS3\RDG\Homelandtowers\Carmel\Glencoma Lake\PB Filing\PB Letter 3-6-23.rtf

SARATOGA ASSOCIATES

Landscape Architects, Architects,
Engineers, and Planners, P.C.

February 17, 2023

Honorable Chairperson Craig Paeper and Members of the Planning Board
Town of Carmel
60 Mc Alpin Avenue
Mahopac, NY 10541

Re: Visual Resource Assessment
Proposed Wireless Telecommunications Facility
Walton Road (NY054) – Glenacom Lake
Mahopac, NY

Dear Honorable Chairperson Paeper and Planning Board Members:

Saratoga Associates is writing on behalf of Homeland Towers regarding a proposed telecommunications tower and associated equipment at the above referenced address. Saratoga Associates has previously submitted as part of this application a Visual Resource Assessment (VRA) report (revised December 5, 2022) and a supplemental response letter dated January 25, 2023.

We offer the following in response to a comment received at a recent Planning Board meeting questioning the accuracy of the photo simulations provided as Appendix C of the December 5 VRA.

As described in the VRA, photo simulations were developed by superimposing a rendering of a “to scale” three-dimensional computer model of the proposed telecommunications tower into existing condition photographs using 3D Studio Max and Adobe Photoshop software. The simulations were developed using industry standard 3D modeling and camera alignment procedures. These procedures are technically accurate and are not subject to operator interpretation or estimation.

Each simulated view is matched to the base photograph by replicating the precise coordinates of the field camera position (as recorded by handheld GPS) and the exact focal length of the camera lens used (e.g., 50mm). Precisely matching these parameters assures scale accuracy between the base photograph and the subsequent simulated view.

Town of Carmel Planning Board

February 17, 2023

Page 2

The camera's elevation above ground is derived from a 2-meter resolution digital elevation model (DEM) data plus the photographer's eye height. The camera's target position is set to match the bearing of the corresponding existing condition photograph. With the existing condition photograph displayed as a "viewport background" (in 3D Studio Max software) and the 3D model viewport properties set to match the photograph's pixel dimensions, minor camera adjustments were made (horizontal and vertical positioning, and camera roll) to align the horizon in the background photograph with the corresponding features of the 3D model.

To verify camera alignment elements visible within the base photograph (e.g., existing buildings, utility poles, topography, etc.) were identified and digitized into the 3D model using digital orthophotos as necessary. A 3D terrain model was also created (using 2-meter resolution DEM data) to replicate the existing local topography. The digitized elements and terrain model were then aligned with corresponding elements visible in the photograph by adjusting the 3D model's camera target as necessary until the digitized elements closely overlay the corresponding elements in the base photo.

On February 20, 2020 a construction crane was raised on the project site by project consultant PierCon Solutions for purpose of conducting a signal test. Due to existing forest vegetation at the proposed tower center point the construction crane was positioned at the nearest accessible location along an existing unimproved road approximately 100 feet from the end of pavement on Walton Drive; approximately 140 feet southeast of the proposed tower position.

On the day of the crane test Saratoga Associates visited the project area to photograph views in the direction of the proposed tower from off-site vantage points. Because the construction crane could not be placed at the precise tower location the crane was not directly used in preparation of photo simulations. As described above the horizontal/vertical position and scale of the proposed tower depicted in the photo simulations tower is based on other known benchmarks visibility in existing condition photographs. When visible in existing condition photos the construction crane provide an additional data point to confirm the horizontal and vertical position of the proposed tower within each simulated view.

Town of Carmel Planning Board

February 17, 2023

Page 3

For consideration by the Board, attached is an annotated diagram describing the alignment benchmarks and camera parameters used to accurately superimpose the 3D model of the proposed tower into existing condition photographs. Also provided is a line-of-sight profile further illustrating the degree of visibility of the proposed tower as viewed from the same example camera point.

I trust this information adequately describes the procedure used to develop the photo simulations and provides assurance that the photo simulations are an accurate representation of future views.

Thank you for your attention to this matter.

A handwritten signature in black ink, appearing to read 'M. Allen', followed by a long horizontal line extending to the right.

Matthew W. Allen, RLA

Principal

SARATOGA ASSOCIATES

Landscape Architects, Architects, Engineers, and Planners, P.C



Existing Condition
 VP12 - Walton Drive near #43

SARATOGA
 ASSOCIATES

Photograph Information
 Date: February 20, 2020
 Time: 11:34 am
 Focal Length: 50 mm
 Camera: Canon EOS 6D MarkII

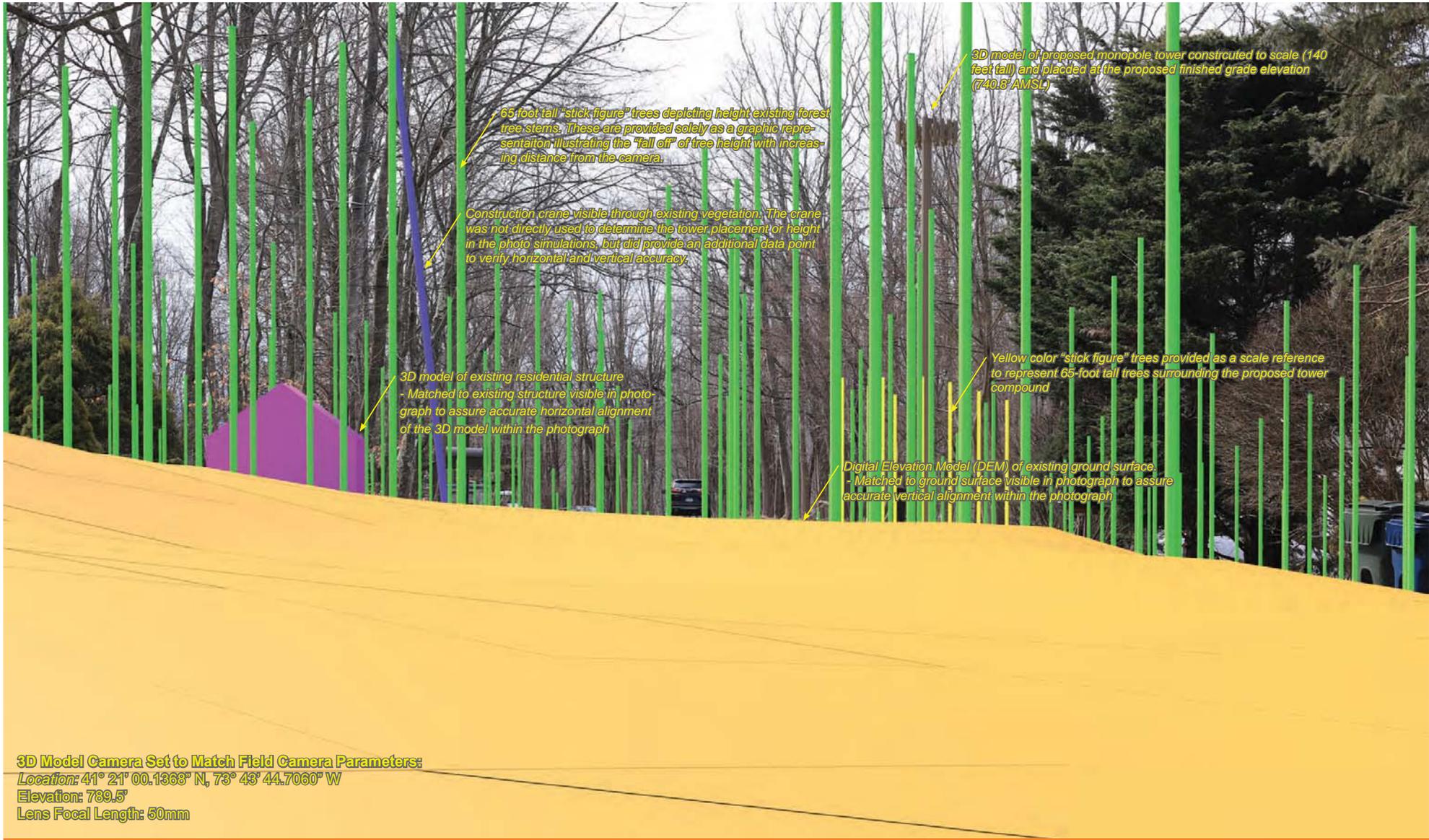
Photo Location: 41° 21' 00.1368" N
 73° 43' 44.7060" W
 Distance: 510 Feet

This photograph was taken using a 50mm wide angle lens. To appear at the correct scale this page is intended to be viewed approximately 18 inches from the reader's eye when printed on 11"x17" paper.

Figure 1
 Visual Resource Assessment
PROPOSED TELECOMMUNICATIONS TOWER



Glenacom Lake (NY 054)
 Walton Drive
 Mahopac, NY 10541



3D MODEL / PHOTO ALIGNMENT DIAGRAM
 VP12 - Walton Drive near #43

Date:	February 20, 2020	Photo Location:	41° 21' 00.1368" N
Time:	11:34 am		73° 43' 44.7060" W
Focal Length:	50 mm	Distance:	510 Feet
Camera:	Canon EOS 6D MarkII		

This photograph was taken using a 50mm wide angle lens. To appear at the correct scale this page is intended to be viewed approximately 18 inches from the reader's eye when printed on 11"x17" paper.



Simulated Condition - 140 ft Monopole Tower
 VP12 - Walton Drive near #43

SARATOGA
 ASSOCIATES

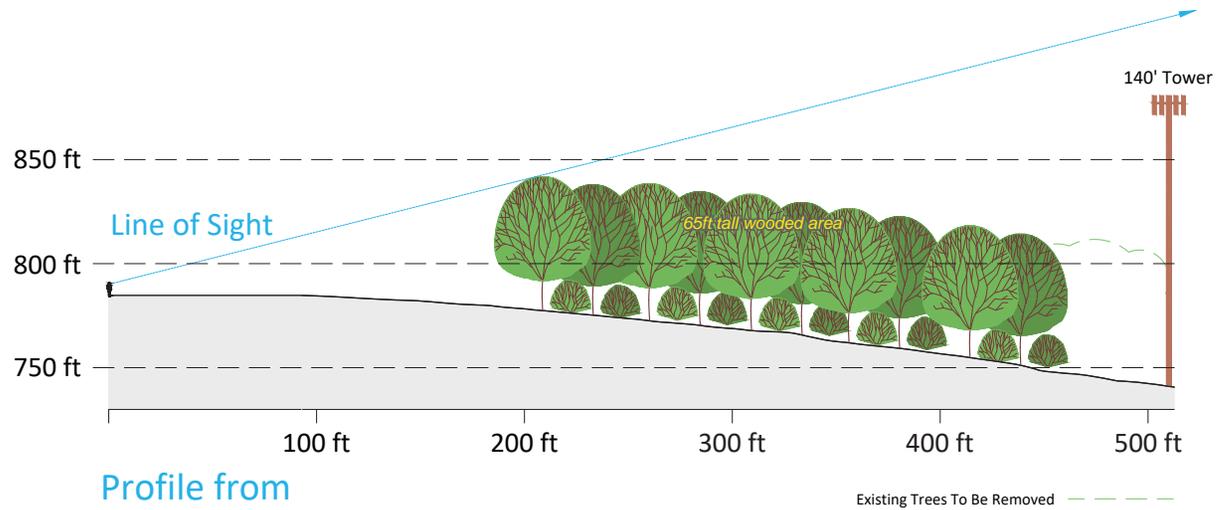
Date:	February 20, 2020	Photo Location:	41° 21' 00.1368" N
Time:	11:34 am		73° 43' 44.7060" W
Focal Length:	50 mm	Distance:	510 Feet
Camera:	Canon EOS 6D MarkII		

This photograph was taken using a 50mm wide angle lens. To appear at the correct scale this page is intended to be viewed approximately 18 inches from the reader's eye when printed on 11"x17" paper.

Figure 3
 Visual Resource Assessment
PROPOSED TELECOMMUNICATIONS TOWER



Glenacom Lake (NY 054)
 Walton Drive
 Mahopac, NY 10541



Profile from
Walton Drive near #43

Line-of-Sight Profile
VP12 - Walton Drive near #43

SARATOGA
ASSOCIATES

Figure 4
Visual Resource Assessment
PROPOSED TELECOMMUNICATIONS TOWER



Glenacom Lake (NY 054)
Walton Drive
Mahopac, NY 10541



March 3, 2023

Honorable Chairman Paepre and
Members of the Planning Board
Town of Carmel
60 McAlpin Avenue
Mahopac, NY 10541

RE: Homeland Towers application for wireless facility at Walton Dr

Hon. Chairman Paepre and Members of the Planning Board:

I am the Regional Manager for Homeland Towers, LLC. I was responsible for identifying a suitable location for a telecommunications facility that would remedy the significant gap in reliable wireless service throughout the southern portion of Carmel in the vicinity and along Union Valley Road and adjoining residential areas.

In response to comments from the Board I respectfully submit the following information and documentation.

1. Comments were made regarding the potential visibility of the proposed facility. Attached as Exhibit A hereto are 2 photos showing a 195 ft lattice tower clearly visible from several locations along Walton Drive. Attached as Exhibit B hereto please see 2 photos of the immediately adjacent utility transmission line towers clearly visible from Summit Court, evidencing the already existing utility infrastructure in this area.
2. Comments were made suggesting that if the facility were to be placed on the Maple Hill Estates property closer to the condo units, being a location that is not available from the leasing standpoint, only the condo home owners would be impacted. That is incorrect. Attached hereto as Exhibit C are photos 5, 6 and 7 taken from Maple Hill Drive showing the immediate proximity of a number of adjacent residences.
3. Comments were made suggesting that the facility should be accessed from Maple Hill Drive to limit tree cutting off Walton Drive. Attached hereto as Exhibit D is photo 8 showing that due to the steep incline of the topography from Maple Hill Drive this access is not feasible and would require excessive clearing, tree removal, grading and disturbance.
4. As comparison to section 3 above a photo of the access and proposed facility location off Walton Drive is attached in Exhibit E showing the comparatively modest slope of the proposed facility location.

Please note that all photo locations are referenced in the map attached as Exhibit F.

Respectfully,

Klaus Wimmer

Klaus Wimmer
Regional Manager, Homeland Towers, LLC.

EXHIBIT A



Photo 1: view of existing 195 ft Lattice Tower visible from 30 Walton Dr



Photo 2: view of existing 195 ft Lattice Tower from Walton Dr & Mountain View Dr

EXHIBIT B



Photo 3: view of existing Utility Transmission Towers adjacent to 27 Summit Circle Dr



Photo 4: view of existing Utility Transmission Towers adjacent to 27 Summit Circle Dr

EXHIBIT C



Photo 5: view of adjacent residences from Maple Hill Dr evidencing visibility if a facility were to be placed at a different location of the Maple Hill Estates property



Photo 6: view of adjacent residences from Maple Hill Dr evidencing visibility if a facility were to be placed at a different location of the Maple Hill Estates property



Photo 7: view of adjacent residences from Maple Hill Dr and Kia Ora Blvd evidencing visibility if a facility were to be placed at a different location of the Maple Hill Estates property

EXHIBIT D



Photo 8: view from Maple Hill Dr towards Walton Dr facility location showing the steep incline of the topography

EXHIBIT E



Photo 9: photo of the proposed access and facility location off Walton Rd showing the comparatively modest slope of the proposed facility location



John Fernandes
900 Housatonic Ave
Bridgeport, CT 06604
203-336-0007

March 6, 2023

Mr. Klaus Wimmer
Homeland Towers LLC
9 Harmony St., 2nd Fl.
Danbury, CT 06810

Re: NY054 Glenacom Lake
Proposed Homeland Towers 140 ft. Monopole/Tower
Walton Dr., Mahopac, NY
Crane Staging Review

Dear Klaus,

I have personally visited the above referenced project location to determine potential crane staging locations as part of construction activities related to the proposed 140 ft. monopole/tower.

I have reviewed the zoning drawings prepared by Dewberry Engineers Inc. dated 2-24-23, specifically sheet Z-12 titled "Crane & Materials Staging Plan" and consider this layout to be a feasible option for the crane staging. The crane will not need to be staged on Walton Drive.

A&A Crane has been in business for 19 years and I have personally operated cranes for over 30 years, having stacked hundreds of monopole/towers in my career.

Should you have any questions, please contact our office at any time.

Very truly yours,

A handwritten signature in cursive script that reads "John Fernandes".

John Fernandes.
Owner/President
A&A Crane and Rigging

March 8, 2023

Chairman Craig Paeprer and Members of the Town of Carmel Planning Board
60 McAlpin Avenue
Mahopac, New York 10541
(845) 628-1500

RE: Homeland Towers – Glenacom Lake: Construction Sequencing and Site Access

Honorable Chairman Paeprer and Members of the Planning Board:

Please find this letter as clarification for a few outstanding topics of discussion surrounding this project as we understand them.

Need for Site Access via Walton Drive:

The site has been designed with access from Walton Drive due to the existing topographic features of the parcel. There is significant elevation change from any point near the proposed tower site back to the most accessible point to extend a driveway from Maple Hill Dr. As shown in the diagram below the alternate path is over 1100 feet horizontally and 200 feet vertically with an average slope around 17% and in places exceeding 25%. This alternate path would require a substantial increase to the proposed land disturbance, tree clearing requirements and increase the duration of the project’s construction. For these reasons the Walton Drive entrance is considered the only feasible option.



Crane Staging:

During construction, the contractor shall establish a level area for the crane staging within the limits-of-disturbance and re-establish finished grades following the tower stack.

Adequacy of Walton Drive to Support Construction Activities:

As designers of the proposed project site, Dewberry has made multiple visits to the proposed tower location over the past four years. It has been observed that Walton Drive and the surrounding connector streets back to Union Valley Rd. all appear to be in serviceable condition and should adequately support the planned construction activities, including the delivery of the necessary fill material, construction equipment, daily construction traffic, and other accessory materials and equipment.

Should any additional information or clarifications be required, please do not hesitate to contact our office at 804.205.3361. Alternatively, I can be reached directly at mselfkirk@dewberry.com.

Sincerely,

Matthew C. Selkirk

Matthew C. Selkirk, P.E.
Project Manager



HOMELAND TOWERS, LLC
9 HARMONY STREET
2nd FLOOR
DANBURY, CT 06810
(203) 297-6345

NEW YORK SMSA
LIMITED PARTNERSHIP
d/b/a



HOMELAND TOWERS, LLC
9 HARMONY STREET
2nd FLOOR
DANBURY, CT 06810
(203) 297-6345

NEW YORK SMSA
LIMITED PARTNERSHIP
d/b/a



4 CENTEROCK ROAD
WEST NYACK, NY 10994

GLENACOM LAKE

GLENACOM LAKE
WALTON DRIVE
MAHOPAC, NY 10541
PUTNAM COUNTY

ZONING DRAWINGS

10	03/03/23	ISSUED FOR ZONING
9	02/24/23	ISSUED FOR ZONING
8	02/14/23	ISSUED FOR ZONING
7	01/26/23	ISSUED FOR ZONING
6	12/22/22	ISSUED FOR ZONING
5	12/02/22	ISSUED FOR ZONING
4	11/22/22	ISSUED FOR ZONING
3	11/04/22	ISSUED FOR ZONING
2	10/26/22	ISSUED FOR ZONING

Dowberry®
Dowberry Engineers Inc.
800 PARSIPPANY ROAD
SUITE 301
PARSIPPANY, NJ 07054
PHONE: 973.739.9400
FAX: 973.739.9710



DRAWN BY: JC/KFM

REVIEWED BY: MS

CHECKED BY: DER

PROJECT NUMBER: 50114387

JOB NUMBER: 5011438B

SITE ADDRESS:

WALTON DRIVE
MAHOPAC, NY 10541
PUTNAM COUNTY

SHEET TITLE

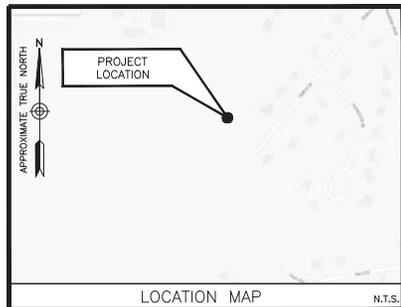
TITLE SHEET

SHEET NUMBER

T-1



VICINITY MAP N.T.S.



LOCATION MAP N.T.S.

DIRECTIONS FROM 4 CENTEROCK ROAD, WEST NYACK, NY:
GET ON PALISADES INTERSTATE PKWY N FROM CENTEROCK RD AND NY-59 W.
FOLLOW PALISADES INTERSTATE PKWY N AND US-6 E TO BEAR MOUNTAIN STATE
PKWY TO IN PEEKSKILL. FOLLOW BEAR MOUNTAIN PKWY TO US-6 E IN
CORTLANDT. TURN LEFT ONTO US-6 E. CONTINUE ON UNION VALLEY RD. TAKE
KIR ORA BLVD TO WALTON DR.

SITE COORDINATES:
LATITUDE: 41°-20'-56.88" N
LONGITUDE: 73°-43'-49.94" W
(BASED ON FAA 1-A)

ELEVATION DATA
GROUND ELEVATION = 740.8± A.M.S.L.
(BASED ON FAA 1-A)

MONOPOLE ELEVATION (TO TOP OF MONOPOLE)
140'-0"± A.G.L. (880.8' A.M.S.L.) FAA 1-A

SITE INFORMATION

THE PROJECT CONSISTS OF RAWLAND SITE W/ GROUND EQUIPMENT WITHIN A 2550 SQUARE FOOT FENCED COMPOUND W/ A NEW 140' MONOPOLE.

THIS DOCUMENT WAS DEVELOPED TO REFLECT A SPECIFIC SITE AND ITS SITE CONDITIONS AND IS NOT TO BE USED FOR ANOTHER SITE OR WHEN OTHER CONDITIONS PERTAIN. REUSE OF THIS DOCUMENT IS AT THE SOLE RISK OF THE USER.

PROJECT DESCRIPTION

THIS DOCUMENT WAS DEVELOPED TO REFLECT A SPECIFIC SITE AND ITS SITE CONDITIONS AND IS NOT TO BE USED FOR ANOTHER SITE OR WHEN OTHER CONDITIONS PERTAIN. REUSE OF THIS DOCUMENT IS AT THE SOLE RISK OF THE USER.

A.D.A. COMPLIANCE:
FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION.

SITE NAME:
GLENACOM LAKE

LOCATION:
WALTON DRIVE
MAHOPAC, NY 10541
PUTNAM COUNTY

TAX MAP DESIGNATION:
MAP: 87.5, BLOCK: 1 LOT: 90

ZONING DESIGNATION:
RESIDENTIAL

PROPERTY OWNER/CO-APPLICANTS:
MAPLE HILL ESTATES HOME OWNERS ASSOCIATION, INC.
WALTON DRIVE
MAHOPAC, NY 10541

APPLICANTS:
HOMELAND TOWERS, LLC
9 HARMONY STREET, 2ND FLOOR
DANBURY, CT 06810

VERIZON WIRELESS
4 CENTEROCK ROAD
WEST NYACK, NY 10994

ATTORNEY:
SNYDER & SNYDER, LLP
94 WHITE PLAINS ROAD
HARRYTOWN, NY 10591

ENGINEER:
DEWBERRY ENGINEERS INC.
CONTACT: DAVID REVETTE, PE
OFFICE: (973) 576-9639

PROJECT MANAGER:
HOMELAND TOWERS, LLC
CONTACT: KLAUS WIMMER
OFFICE: (203) 297-6345
CELL: (201) 288-6750

POWER PROVIDER:
NYSEG
(585) 484-2223

TELCO PROVIDER:
VERIZON
(914) 690-0200

PROJECT INFORMATION

SHEET NUMBER	DESCRIPTION
T-1	TITLE SHEET
Z-1	AERIAL MAP
Z-2	1000' RADIUS MAP
Z-3	PROPERTY OWNERS LIST-1
Z-4	PROPERTY OWNERS LIST-2
Z-5	PROPERTY OWNERS LIST-3
Z-6	SITE PLAN
Z-7	EXISTING CONDITIONS PLAN
Z-8	PARTIAL SITE PLAN
Z-9	SOIL EROSION AND SEDIMENT CONTROL PLAN
Z-10	ELEVATIONS-1
Z-11	ELEVATIONS-2
Z-12	CRANE & MATERIALS STAGING PLAN
Z-13	ACCESS DRIVEWAY PROFILE & DETAILS
Z-14	CONSTRUCTION DETAILS I
Z-15	CONSTRUCTION DETAILS II
Z-16	CONSTRUCTION DETAILS III
Z-17	EROSION CONTROL NOTES AND DETAILS
Z-18	VERIZON WIRELESS EQUIPMENT PLAN & DETAILS
Z-19	VERIZON WIRELESS DETAILS I
Z-20	VERIZON WIRELESS DETAILS II
Z-21	VERIZON WIRELESS ANTENNA PLAN & DETAILS
Z-22	VERIZON WIRELESS EQUIPMENT LIGHTING DETAILS
Z-23	AUTO-TURN SIMULATION
Z-24	ELECTRICAL RISER DIAGRAM
Z-25	COMPOUND GROUNDING PLAN
Z-26	GROUNDING DETAILS

SHEET INDEX



DIG SAFELY NEW YORK, INC.
NEW YORK CITY / LONG ISLAND AREA
811 OR 1-800-272-4480

3 WORKING DAYS UTILITY NOTIFICATION
PRIOR TO CONSTRUCTION



MAP 87.5 BLOCK 1 LOT 91
NOW OR FORMERLY
DAVID W. PARENT - EST.
BOOK 1187 PAGE 136
#205 UNION VALLEY ROAD

MAP 87.5 BLOCK 1 LOT 95
NOW OR FORMERLY
DAVID W. PARENT - EST.
BOOK 1187 PAGE 136
UNION VALLEY ROAD

MAP 86.8 BLOCK 2 LOT 45 NOW
OR FORMERLY
ELIZABETH SALVESEN &
GERALD L. SALVESEN
BOOK 1633 PAGE 192
#159 UNION VALLEY ROAD

MAP 86.12 BLOCK 1 LOT 34
NOW OR FORMERLY
IRENE SOSA
BOOK 1101 PAGE 75
#59 GLENACOM ROAD

MAP 87.5 BLOCK 1 LOT 90
NOW OR FORMERLY
MAPLE HILL ESTATES
HOMEOWNER'S ASSOCIATION, INC.
BOOK 887 PAGE 26
PARCEL AREA
3,070,669 S.F.±
70.49286 ACRES±

MAP 87.9 BLOCK 1 LOT 1
NOW OR FORMERLY
NYS ELECTRIC & GAS CORP.
BOOK 194 PAGE 64
OFF SUMMIT CIRCLE

MAP 87.5 BLOCK 1 LOT 5
NOW OR FORMERLY
JOHN P. GALLAGHER &
CAROL A. GALLAGHER
BOOK 774 PAGE 704
#123 KIA ORA BLVD.

MAP 87.5 BLOCK 1 LOT 3
NOW OR FORMERLY
CRAIG L. PASCHETTI &
ELIZABETH ANN PASCHETTI
BOOK 1158 PAGE 307
#5 BIRCH LANE

MAP 87.5 BLOCK 1 LOT 2
NOW OR FORMERLY
GARY PREVOSTO &
MARY PREVOSTO
BOOK 1304 PAGE 164
#11 BIRCH LANE

MAP 87.5 BLOCK 1 LOT 1
NOW OR FORMERLY
BERNARD SMALL &
DOROTHY SMALL
BOOK 1602 PAGE 293
#15 BIRCH LANE

MAP 87.9 BLOCK 1 LOT 7
NOW OR FORMERLY
AMANDA K. LEVINE &
MICHAEL S. LEVINE
BOOK 1991 PAGE 449
#22 BIRCH LANE

MAP 87.9 BLOCK 1 LOT 5
NOW OR FORMERLY
VINCENT CARINO
BOOK 1813 PAGE 217
#36 WALTON DRIVE

MAP 87.9 BLOCK 1 LOT 4
NOW OR FORMERLY
JOSEPH ARMISTO &
RUTH ARMISTO
BOOK 748 PAGE 876
#40 WALTON DRIVE

MAP 87.9 BLOCK 1 LOT 3
NOW OR FORMERLY
EDWARD WECHSLER &
SUZANNE WECHSLER
BOOK 1675 PAGE 288
#44 WALTON DRIVE

MAP 87.9 BLOCK 1 LOT 2
NOW OR FORMERLY
PATRICIA GONDOLFO
BOOK 1508 PAGE 26
#49 WALTON DRIVE

MAP 87.9 BLOCK 1 LOT 51
NOW OR FORMERLY
MICHAEL SHAW &
LINDA SHAW
BOOK 769 PAGE 169
#53 WALTON DRIVE

MAP 87.9 BLOCK 1 LOT 44
NOW OR FORMERLY
GERARD D. HANRAHAN
BOOK 1047 PAGE 54
#25 SUMMIT CIRCLE DRIVE

MAP 87.9 BLOCK 1 LOT 43
NOW OR FORMERLY
ROBERT A. AMICUCCI &
PATRICIA A. AMICUCCI
BOOK 1732 PAGE 344
#27 SUMMIT CIRCLE DRIVE

MAP 87.9 BLOCK 1 LOT 32
NOW OR FORMERLY
NYS ELECTRIC & GAS CORP.
BOOK 549 PAGE 241
MOUNTAIN DRIVE


HOMELAND TOWERS, LLC
9 HARMONY STREET
2nd FLOOR
DANBURY, CT 06810
(203) 297-6345
NEW YORK SMSA
LIMITED PARTNERSHIP
d/b/a
verizon
WIRELESS
4 CENTERCROSS ROAD
WEST NYACK, NY 10994

GLENACOM LAKE

ZONING DRAWINGS

10	03/03/23	ISSUED FOR ZONING
9	02/24/23	ISSUED FOR ZONING
8	02/14/23	ISSUED FOR ZONING
7	01/26/23	ISSUED FOR ZONING
6	12/22/22	ISSUED FOR ZONING
5	12/02/22	ISSUED FOR ZONING
4	11/22/22	ISSUED FOR ZONING
3	11/04/22	ISSUED FOR ZONING
2	10/26/22	ISSUED FOR ZONING


Dewberry Engineers Inc.
800 PARSIPPANY ROAD
SUITE 301
PARSIPPANY, NJ 07054
PHONE: 873.739.9400
FAX: 873.739.9710

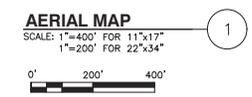

DAVID REVETTE, P.E.
NY LICENSE No. 101758

DRAWN BY:	JC/KFM
REVIEWED BY:	MS
CHECKED BY:	DER
PROJECT NUMBER:	50114387
JOB NUMBER:	50114388
SITE ADDRESS:	

WALTON DRIVE
MAHOPAC, NY 10541
PUTNAM COUNTY

SHEET TITLE
AERIAL MAP
SHEET NUMBER

- NOTES:
1. AERIAL PLAN COURTESY OF GOOGLE MAPS.
 2. SEE ABUTTER LIST ON Z-3, Z-4 AND Z-5 FOR INFORMATION PROVIDED BY TOWN OF CARMEL.





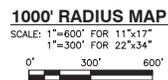
PROJECT LOCATION

SUBJECT PARCEL
MAP: 87'S BLOCK 1 LOT: 90
MAPLE HILL ESTATES HOME
OWNERS ASSOCIATION, INC.
WALTON DRIVE
MAHOPAC, NY 10541

SUBJECT PARCEL 1,000' RADIUS LINE

TOWN OF CARMEL
TOWN OF SOMERS

NOTE:
1. RADIUS MAP IS BASED ON PUBLICLY AVAILABLE INFORMATION PROVIDED BY THE TOWNS OF CARMEL AND SOMERS, AND WESTCHESTER & PUTNAM COUNTIES.



1


HOMELAND TOWERS, LLC
9 HARMONY STREET
2nd FLOOR
DANBURY, CT 06810
(203) 297-6345
NEW YORK SMSA
LIMITED PARTNERSHIP
d/b/a
verizon
WIRELESS
4 CENTEROCK ROAD
WEST NYACK, NY 10994

GLENACOM LAKE

ZONING DRAWINGS

10	03/03/23	ISSUED FOR ZONING
9	02/24/23	ISSUED FOR ZONING
8	02/14/23	ISSUED FOR ZONING
7	01/26/23	ISSUED FOR ZONING
6	12/22/22	ISSUED FOR ZONING
5	12/02/22	ISSUED FOR ZONING
4	11/22/22	ISSUED FOR ZONING
3	11/04/22	ISSUED FOR ZONING
2	10/26/22	ISSUED FOR ZONING


Dewberry Engineers Inc.
600 PARSIPPANY ROAD
SUITE 301
PARSIPPANY, NJ 07054
PHONE: 973.739.9400
FAX: 973.739.9710



DAVID REVETTE, P.E.
NY LICENSE No. 101758

DRAWN BY: JC/KFM
REVIEWED BY: MS
CHECKED BY: DER
PROJECT NUMBER: 50114387
JOB NUMBER: 50114388
SITE ADDRESS:

WALTON DRIVE
MAHOPAC, NY 10541
PUTNAM COUNTY

SHEET TITLE

1000' RADIUS MAP

SHEET NUMBER

TOWN OF CARMEL - PUTNAM COUNTY

MAP ID	MAP	BLOCK	LOT	PROPERTY ADDRESS	OWNER NAME	OWNER ADDRESS
1	87.5	1	1	15 BIRCH LN, MAHOPAC, NY 10541	BERNARD SMALL	15 BIRCH LN, MAHOPAC, NY 10541
2	87.5	1	2	11 BIRCH LN, MAHOPAC, NY 10541	GARY PREVOSTO	11 BIRCH LN, MAHOPAC, NY 10541
3	87.5	1	3	5 BIRCH LN, MAHOPAC, NY 10541	THOMAS MIGLIO	5 BIRCH LN, MAHOPAC, NY 10541
4	87.5	1	4	1 BIRCH LN, MAHOPAC, NY 10541	MICHAEL TRAINOR	1 BIRCH LN, MAHOPAC, NY 10541
5	87.5	1	5	123 KIA ORA BLVD, MAHOPAC, NY 10541	JOSE HERNANDEZ	123 KIA ORA BLVD, MAHOPAC, NY 10541
6	87.5	1	6	163 KIA ORA BLVD, MAHOPAC, NY 10541	PENNY FIORIO	163 KIA ORA BLVD, MAHOPAC, NY 10541
7	87.5	1	7-9000	90 MAPLE HILL DR, MAHOPAC, NY 10541	JESSICA FELICIANO	23 MAPLE HILL DR, MAHOPAC, NY 10541
8	87.5	1	8-9100	91 MAPLE HILL DR, MAHOPAC, NY 10541	MARIANNE SCOFIELD	3 MAPLE HILL DR, MAHOPAC, NY 10541
9	87.5	1	9-9200	92 MAPLE HILL DR, MAHOPAC, NY 10541	JOAN SEGAL	18 MAPLE HILL DR, MAHOPAC, NY 10541
10	87.5	1	10-100	1 MAPLE HILL DR, MAHOPAC, NY 10541	KYLE TRILLAS	1 MAPLE HILL DR, MAHOPAC, NY 10541
11	87.5	1	11-200	2 MAPLE HILL DR, MAHOPAC, NY 10541	NUNZIO SQUILLANTE	2 MAPLE HILL DR, MAHOPAC, NY 10541
12	87.5	1	12-300	3 MAPLE HILL DR, MAHOPAC, NY 10541	MARIANNE SCOFIELD	3 MAPLE HILL DR, MAHOPAC, NY 10541
13	87.5	1	13-400	4 MAPLE HILL DR, MAHOPAC, NY 10541	ROSETTA DELUCA	4 MAPLE HILL DR, MAHOPAC, NY 10541
14	87.5	1	14-500	5 MAPLE HILL DR, MAHOPAC, NY 10541	ARMINDO CARVALHO	5 MAPLE HILL DR, MAHOPAC, NY 10541
15	87.5	1	15-600	6 MAPLE HILL DR, MAHOPAC, NY 10541	JOAN BURTT	39 BLAIR HEIGHTS, CARMEL, NY 10512
16	87.5	1	16-700	7 MAPLE HILL DR, MAHOPAC, NY 10541	KRISTINE DAGNINO	7 MAPLE HILL DR, MAHOPAC, NY 10541
17	87.5	1	17-800	8 MAPLE HILL DR, MAHOPAC, NY 10541	MICHAEL CIRILLO	8 MAPLE HILL DR, MAHOPAC, NY 10541
18	87.5	1	18-900	9 MAPLE HILL DR, MAHOPAC, NY 10541	SUSAN PALDIN	9 MAPLE HILL DR, MAHOPAC, NY 10541
19	87.5	1	19-1000	10 MAPLE HILL DR, MAHOPAC, NY 10541	ANTHONY FABIANO	PO BOX 634, MAHOPAC, NY 10541
20	87.5	1	20-2000	11 MAPLE HILL DR, MAHOPAC, NY 10541	MICHAEL MURPHY	12 MAPLE HILL DR, MAHOPAC, NY 10541
21	87.5	1	21-3000	12 MAPLE HILL DR, MAHOPAC, NY 10541	CORINNE MARANO	14 MAPLE HILL DR, MAHOPAC, NY 10541
22	87.5	1	22-1000	13 MAPLE HILL DR, MAHOPAC, NY 10541	MARY JANE MARCHUT	10 MAPLE HILL DR, MAHOPAC, NY 10541
23	87.5	1	23-1100	14 MAPLE HILL DR, MAHOPAC, NY 10541	DANIEL CAHILL	11 MAPLE HILL DR, MAHOPAC, NY 10541
24	87.5	1	24-1200	15 MAPLE HILL DR, MAHOPAC, NY 10541	MICHAEL MURPHY	12 MAPLE HILL DR, MAHOPAC, NY 10541
25	87.5	1	25-1300	16 MAPLE HILL DR, MAHOPAC, NY 10541	FRANK LOMBARDI	13 MAPLE HILL DR, MAHOPAC, NY 10541
26	87.5	1	26-1400	17 MAPLE HILL DR, MAHOPAC, NY 10541	CORINNE MARANO	14 MAPLE HILL DR, MAHOPAC, NY 10541
27	87.5	1	27-1500	18 MAPLE HILL DR, MAHOPAC, NY 10541	HALIMA ANDERSON	15 MAPLE HILL DR, MAHOPAC, NY 10541
28	87.5	1	28-1600	19 MAPLE HILL DR, MAHOPAC, NY 10541	LINDA MORREALE	16 MAPLE HILL DR, MAHOPAC, NY 10541
29	87.5	1	29-1700	20 MAPLE HILL DR, MAHOPAC, NY 10541	ANTHONY FABIANO	PO BOX 634, MAHOPAC, NY 10541
30	87.5	1	30-1800	21 MAPLE HILL DR, MAHOPAC, NY 10541	JOAN SEGAL	18 MAPLE HILL DR, MAHOPAC, NY 10541
31	87.5	1	31-1900	22 MAPLE HILL DR, MAHOPAC, NY 10541	RICHARD SALAT	19 MAPLE HILL DR, MAHOPAC, NY 10541
32	87.5	1	32-2000	23 MAPLE HILL DR, MAHOPAC, NY 10541	JOSEPH DE CLEMENTE	20 MAPLE HILL DR, MAHOPAC, NY 10541
33	87.5	1	33-2100	24 MAPLE HILL DR, MAHOPAC, NY 10541	LORETTA MCGRATH	21 MAPLE HILL DR, MAHOPAC, NY 10541
34	87.5	1	34-2200	25 MAPLE HILL DR, MAHOPAC, NY 10541	JAMES MASSI	22 MAPLE HILL DR, MAHOPAC, NY 10541
35	87.5	1	35-2300	26 MAPLE HILL DR, MAHOPAC, NY 10541	JESSICA FELICIANO	23 MAPLE HILL DR, MAHOPAC, NY 10541
36	87.5	1	36-2400	27 MAPLE HILL DR, MAHOPAC, NY 10541	MICHAEL GIBBONS	47 MAPLE HILL DR, MAHOPAC, NY 10541
37	87.5	1	37-2500	28 MAPLE HILL DR, MAHOPAC, NY 10541	LALESSA GIONAJ	45 MAPLE HILL DR, MAHOPAC, NY 10541
38	87.5	1	38-2600	29 MAPLE HILL DR, MAHOPAC, NY 10541	CHERIE SCHILLO	48 MAPLE HILL DR, MAHOPAC, NY 10541
39	87.5	1	39-2700	30 MAPLE HILL DR, MAHOPAC, NY 10541	LINDA MINNECI	49 MAPLE HILL DR, MAHOPAC, NY 10541
40	87.5	1	40-2800	31 MAPLE HILL DR, MAHOPAC, NY 10541	JOANNE CRUZ	35 MAPLE HILL DR, MAHOPAC, NY 10541
41	87.5	1	41-2900	32 MAPLE HILL DR, MAHOPAC, NY 10541	ANGELO SAVINO	1408 FLINTLOCK WAY, YORKTOWN HEIGHTS, NY 10598
42	87.5	1	42-3000	33 MAPLE HILL DR, MAHOPAC, NY 10541	JAMES DAVID MOORE	34 MAPLE HILL DR, MAHOPAC, NY 10541
43	87.5	1	43-3100	34 MAPLE HILL DR, MAHOPAC, NY 10541	JOANNE CRUZ	35 MAPLE HILL DR, MAHOPAC, NY 10541
44	87.5	1	44-3200	35 MAPLE HILL DR, MAHOPAC, NY 10541	LALESSA GIONAJ	45 MAPLE HILL DR, MAHOPAC, NY 10541
45	87.5	1	45-3300	36 MAPLE HILL DR, MAHOPAC, NY 10541	YOUNG-SUK LEE	46 MAPLE HILL DR, MAHOPAC, NY 10541

MAP ID	MAP	BLOCK	LOT	PROPERTY ADDRESS	OWNER NAME	OWNER ADDRESS
46	87.5	1	46-4700	47 MAPLE HILL DR, MAHOPAC, NY 10541	MICHAEL GIBBONS	47 MAPLE HILL DR, MAHOPAC, NY 10541
47	87.5	1	47-4800	48 MAPLE HILL DR, MAHOPAC, NY 10541	CHERIE SCHILLO	48 MAPLE HILL DR, MAHOPAC, NY 10541
48	87.5	1	48-4900	49 MAPLE HILL DR, MAHOPAC, NY 10541	LINDA MINNECI	49 MAPLE HILL DR, MAHOPAC, NY 10541
49	87.5	1	49-5000	50 MAPLE HILL DR, MAHOPAC, NY 10541	ANGELA LOPANE	50 MAPLE HILL DR, MAHOPAC, NY 10541
50	87.5	1	50-5100	51 MAPLE HILL DR, MAHOPAC, NY 10541	THOMAS GRIMALDI	51 MAPLE HILL DR, MAHOPAC, NY 10541
51	87.5	1	51-5200	52 MAPLE HILL DR, MAHOPAC, NY 10541	LISA SPENCER	52 MAPLE HILL DR, MAHOPAC, NY 10541
52	87.5	1	52-5300	53 MAPLE HILL DR, MAHOPAC, NY 10541	DENNIS LUSARDI	53 MAPLE HILL DR, MAHOPAC, NY 10541
53	87.5	1	53-5400	54 MAPLE HILL DR, MAHOPAC, NY 10541	PATRICIA DESANTIS FAMILY TRUST	54 MAPLE HILL DR, MAHOPAC, NY 10541
54	87.5	1	54-5500	55 MAPLE HILL DR, MAHOPAC, NY 10541	EBONY HUNTLEY	55 MAPLE HILL DR, MAHOPAC, NY 10541
55	87.5	1	55-5600	56 MAPLE HILL DR, MAHOPAC, NY 10541	MIKE DI LIETO	56 MAPLE HILL DR, MAHOPAC, NY 10541
56	87.5	1	56-5700	57 MAPLE HILL DR, MAHOPAC, NY 10541	KATHLEEN DEMEO	57 MAPLE HILL DR, MAHOPAC, NY 10541
57	87.5	1	57-5800	58 MAPLE HILL DR, MAHOPAC, NY 10541	GEORGE MARTINEZ, SR.	58 MAPLE HILL DR, MAHOPAC, NY 10541
58	87.5	1	58-5900	59 MAPLE HILL DR, MAHOPAC, NY 10541	JOHN STABILE	59 MAPLE HILL DR, MAHOPAC, NY 10541
59	87.5	1	59-6000	60 MAPLE HILL DR, MAHOPAC, NY 10541	ROSANNE DINARDO	60 MAPLE HILL DR, MAHOPAC, NY 10541
60	87.5	1	60-6100	61 MAPLE HILL DR, MAHOPAC, NY 10541	CHARLES BARTON	61 MAPLE HILL DR, MAHOPAC, NY 10541
61	87.5	1	61-8100	81 MAPLE HILL DR, MAHOPAC, NY 10541	KATHLEEN DEMEO	57 MAPLE HILL DR, MAHOPAC, NY 10541
62	87.5	1	62-8200	82 MAPLE HILL DR, MAHOPAC, NY 10541	GEORGE MARTINEZ, SR.	58 MAPLE HILL DR, MAHOPAC, NY 10541
63	87.5	1	63-8300	83 MAPLE HILL DR, MAHOPAC, NY 10541	CHARLES BARTON	61 MAPLE HILL DR, MAHOPAC, NY 10541
64	87.5	1	64-8400	84 MAPLE HILL DR, MAHOPAC, NY 10541	EDWARD BALLUS	62 MAPLE HILL DR, MAHOPAC, NY 10541
65	87.5	1	65-8500	85 MAPLE HILL DR, MAHOPAC, NY 10541	DIANE MATELSKY	63 MAPLE HILL DR, MAHOPAC, NY 10541
66	87.5	1	66-8600	86 MAPLE HILL DR, MAHOPAC, NY 10541	ANGELO PRESTAMO	64 MAPLE HILL DR, MAHOPAC, NY 10541
67	87.5	1	67-8700	87 MAPLE HILL DR, MAHOPAC, NY 10541	VALENTINA DUHANI	65 MAPLE HILL DR, MAHOPAC, NY 10541
68	87.5	1	68-8800	88 MAPLE HILL DR, MAHOPAC, NY 10541	WILLIAM LORETTA BOWENS	66 MAPLE HILL DR, MAHOPAC, NY 10541
69	87.5	1	69-8900	89 MAPLE HILL DR, MAHOPAC, NY 10541	ELIZABETH BARKSDALE	67 MAPLE HILL DR, MAHOPAC, NY 10541
70	87.5	1	70-9000	90 MAPLE HILL DR, MAHOPAC, NY 10541	ANDREW ROBERTO	68 MAPLE HILL DR, MAHOPAC, NY 10541
71	87.5	1	71-9100	91 MAPLE HILL DR, MAHOPAC, NY 10541	JEANNE MCCUIGAN	69 MAPLE HILL DR, MAHOPAC, NY 10541
72	87.5	1	72-7000	70 MAPLE HILL DR, MAHOPAC, NY 10541	KAREN CONTI	70 MAPLE HILL DR, MAHOPAC, NY 10541
73	87.5	1	73-7100	71 MAPLE HILL DR, MAHOPAC, NY 10541	DOMINICK DIMICCO	71 MAPLE HILL DR, MAHOPAC, NY 10541
74	87.5	1	74-8000	80 MAPLE HILL DR, MAHOPAC, NY 10541	ANGELO PRESTAMO	64 MAPLE HILL DR, MAHOPAC, NY 10541
75	87.5	1	75-8500	85 MAPLE HILL DR, MAHOPAC, NY 10541	ANDREW ROBERTO	68 MAPLE HILL DR, MAHOPAC, NY 10541
76	87.5	1	76-8400	84 MAPLE HILL DR, MAHOPAC, NY 10541	VALENTINA DUHANI	65 MAPLE HILL DR, MAHOPAC, NY 10541
77	87.5	1	77-3300	33 MAPLE HILL DR, MAHOPAC, NY 10541	ROBERT KELLY	33 MAPLE HILL DR, MAHOPAC, NY 10541
78	87.5	1	78-3200	32 MAPLE HILL DR, MAHOPAC, NY 10541	MARY TYSON	32 MAPLE HILL DR, MAHOPAC, NY 10541
79	87.5	1	79-3100	31 MAPLE HILL DR, MAHOPAC, NY 10541	ASSER TANTAWI	220 BRIARWOOD DR, SOMERS, NY 10589
80	87.5	1	80-3000	30 MAPLE HILL DR, MAHOPAC, NY 10541	RICHARD SANTOS	30 MAPLE HILL DR, MAHOPAC, NY 10541
81	87.5	1	81-2900	29 MAPLE HILL DR, MAHOPAC, NY 10541	GLORIA CLEMENTE	29 MAPLE HILL DR, MAHOPAC, NY 10541
82	87.5	1	82-2800	28 MAPLE HILL DR, MAHOPAC, NY 10541	LINDA ALIOTTA-FOLEY	28 MAPLE HILL DR, MAHOPAC, NY 10541
83	87.5	1	83-2700	27 MAPLE HILL DR, MAHOPAC, NY 10541	FREDERICK CAMILLI	27 MAPLE HILL DR, MAHOPAC, NY 10541
84	87.5	1	84-2600	26 MAPLE HILL DR, MAHOPAC, NY 10541	ROBERT DELEON	26 MAPLE HILL DR, MAHOPAC, NY 10541
85	87.5	1	85-2500	25 MAPLE HILL DR, MAHOPAC, NY 10541	GARY ULLRICH	25 MAPLE HILL DR, MAHOPAC, NY 10541
86	87.5	1	86-2400	24 MAPLE HILL DR, MAHOPAC, NY 10541	BRIAN KENNELLY	24 MAPLE HILL DR, MAHOPAC, NY 10541
87	87.5	1	87-8900	89 MAPLE HILL DR, MAHOPAC, NY 10541	ASSER TANTAWI	220 MITCHELL RD, SOMERS, NY 10589
88	87.5	1	88-8800	88 MAPLE HILL DR, MAHOPAC, NY 10541	BRIAN KENNELLY	24 MAPLE HILL DR, MAHOPAC, NY 10541
89	87.5	1	89-8700	87 MAPLE HILL DR, MAHOPAC, NY 10541	ROBERT KELLY	33 MAPLE HILL DR, MAHOPAC, NY 10541
90	87.5	1	91	205 UNION VALLEY ROAD, MAHOPAC, NY 10541	DAVID W - EST. PARENT	PO BOX 396, MAHOPAC, NY 10541

MAP ID	MAP	BLOCK	LOT	PROPERTY ADDRESS	OWNER NAME	OWNER ADDRESS
91	87.5	1	92	191 UNION VALLEY ROAD, MAHOPAC, NY 10541	PHUONG HUYNH	2935 EAST COLONIAL DR, ORLANDO, FL 32803
92	87.5	1	93	185 UNION VALLEY RD, MAHOPAC, NY 10541	JONATHAN ZAMORA	185 UNION VALLEY RD, MAHOPAC, NY 10541
92	87.5	1	93	185 UNION VALLEY RD, MAHOPAC, NY 10541	YESENIA BARRERA	185 UNION VALLEY RD, MAHOPAC, NY 10541
93	87.5	1	94	179 UNION VALLEY RD, MAHOPAC, NY 10541	WILLIAM PEARCE	179 UNION VALLEY RD, MAHOPAC, NY 10541
94	87.5	1	95	UNION VALLEY RD, MAHOPAC, NY 10541	DAVID W PARENT - EST. ATTN: DAVID PARENT JR.	PO BOX 396, MAHOPAC, NY 10541
95	87.5	2	10	202 LAKEVIEW COURT, MAHOPAC, NY 10541	MICHAEL RYAN	PO BOX 769, MAHOPAC, NY 10541
96	87.5	2	11	210 LAKEVIEW CT, MAHOPAC, NY 10541	ANNETTE ROMITO	210 LAKEVIEW CT, MAHOPAC, NY 10541
97	87.5	2	12	214 LAKEVIEW CT, MAHOPAC, NY 10541	ADRIENNE WEXLER	55 E 11TH ST, NEW YORK, NY 10003
98	87.5	2	13	218 LAKEVIEW CT, MAHOPAC, NY 10541	RAEANN MAZZEI	218 LAKEVIEW CT, MAHOPAC, NY 10541
99	87.5	2	14	222 LAKEVIEW CT, MAHOPAC, NY 10541	LORNA LEVANT CLEMENTS	PO BOX 826, MAHOPAC, NY 10541
100	87.5	2	15	226 LAKEVIEW CT, MAHOPAC, NY 10541		
101	87.5	2	16	228 LAKEVIEW CT, MAHOPAC, NY 10541	GERARD AQUILINO	228 LAKEVIEW CT, MAHOPAC, NY 10541
102	87.5	2	17	230 LAKEVIEW CT, MAHOPAC, NY 10541	NICHOLAS CAPALBO	230 LAKEVIEW CT, MAHOPAC, NY 10541
103	87.5	2	18	234 LAKEVIEW CT, MAHOPAC, NY 10541	JOHN MORRIS	PO BOX 395, MAHOPAC, NY 10541
104	87.5	2	19	238 LAKEVIEW CT, MAHOPAC, NY 10541	SHAKUNTALA BALRAM	238 LAKEVIEW CT, MAHOPAC, NY 10541
105	87.5	2	20	242 LAKEVIEW CT, MAHOPAC, NY 10541	ANTHONY & LAURIE TROTTA	242 LAKEVIEW CT, MAHOPAC, NY 10541
106	87.5	2	21	244 LAKEVIEW CT, MAHOPAC, NY 10541	RANDY ABRAMS	244 LAKEVIEW CT, MAHOPAC, NY 10541
107	87.5	2	22	110 KIA ORA BLVD, MAHOPAC, NY 10541	JOHN HLINKA	110 KIA ORA BLVD, MAHOPAC, NY 10541
108	87.5	2	23	106 KIA ORA BLVD, MAHOPAC, NY 10541	VINCENTS ETTERE	106 KIA ORA BLVD, MAHOPAC, NY 10541
109	87.5	2	24	102 KIA ORA BLVD, MAHOPAC, NY 10541	KEITH BEHLER	102 KIA ORA BLVD, MAHOPAC, NY 10541
110	87.5	2	25	98 KIA ORA BLVD, MAHOPAC, NY 10541	KOENIGSMANN & SEPE TRUST	98 KIA ORA BLVD, MAHOPAC, NY 10541
111	87.5	2	26	94 KIA ORA BLVD, MAHOPAC, NY 10541	DARRYL MACK	94 KIA ORA BLVD, MAHOPAC, NY 10541
112	87.5	2	27	84 KIA ORA BLVD, MAHOPAC, NY 10541	ANTHONY LAUREN FORMALA	84 KIA ORA BLVD, MAHOPAC, NY 10541
113	87.5	2	28	78 KIA ORA BLVD, MAHOPAC, NY 10541	KIM SMITH	78 KIA ORA BLVD, MAHOPAC, NY 10541
114	87.5	2	29	74 KIA ORA BLVD, MAHOPAC, NY 10541	JAMES R STRIPE LIVING TRUST	74 KIA ORA BLVD, MAHOPAC, NY 10541
115	87.5	2	30	72 KIA ORA BLVD, MAHOPAC, NY 10541	LEONARD CUFFONE	72 KIA ORA BLVD, MAHOPAC, NY 10541
116	87.5	2	45	67 KIA ORA BLVD, MAHOPAC, NY 10541	PASKA DEVIKUNJ PASHKA LULI	67 KIA ORA BLVD, MAHOPAC, NY 10541
117	87.5	2	46	75 KIA ORA BLVD, MAHOPAC, NY 10541	CHRISTOPHER MARINO	75 KIA ORA BLVD, MAHOPAC, NY 10541
118	87.5	2	47	85 KIA ORA BLVD, MAHOPAC, NY 10541	JASON SAVINO	85 KIA ORA BLVD, MAHOPAC, NY 10541
119	87.5	2	48	506 OVERLOOK DR SOUTH, MAHOPAC, NY 10541	HUDSON VIANNA	191 MARBLE AVE, PLEASANTVILLE, NY 10570
120	87.5	2	49	510 OVERLOOK DR SOUTH, MAHOPAC, NY 10541	THOMAS E BOGAN PATRICIA A ROGAN	510 OVERLOOK DR SOUTH, MAHOPAC, NY 10541
121	87.5	2	50	514 OVERLOOK DR SOUTH, MAHOPAC, NY 10541	THOMAS M KEHRER VIRGINIA C KNOX	514 OVERLOOK DR SOUTH, MAHOPAC, NY 10541
122	87.5	2	55	527 OVERLOOK DR SOUTH, MAHOPAC, NY 10541	KEVIN CONNORS	

TOWN OF CARMEL - PUTNAM COUNTY

MAP ID	MAP	BLOCK	LOT	PROPERTY ADDRESS	OWNER NAME	OWNER ADDRESS
133	87.5	2	66	22 WALTON DR. MAHOPAC, NY 10541	ENZO TEDESCO	22 WALTON DR. MAHOPAC, NY 10541
134	87.5	2	67	3 MOUNTAIN VIEW DR. MAHOPAC, NY 10541	DENNIS RECK	3 MOUNTAIN VIEW DR. MAHOPAC, NY 10541
135	87.5	2	68	6 BIRCH LN. MAHOPAC, NY 10541	DONALD SAILOR	6 BIRCH LN. MAHOPAC, NY 10541
136	87.5	2	69	10 BIRCH LN. MAHOPAC, NY 10541	ERIC OLIVER	10 BIRCH LN. MAHOPAC, NY 10541
137	87.5	2	70	14 BIRCH LN. MAHOPAC, NY 10541	AJDN MESHAI	14 BIRCH LN. MAHOPAC, NY 10541
138	87.5	2	71	18 BIRCH LN. MAHOPAC, NY 10541	ZACHARY OLIVA	18 BIRCH LN. MAHOPAC, NY 10541
139	87.5	3	1	212 UNION VALLEY RD. MAHOPAC, NY 10541	CHRISTINE BROWN	212 UNION VALLEY RD. MAHOPAC, NY 10541
140	87.5	3	2	218 UNION VALLEY RD. MAHOPAC, NY 10541	CHARLES PAROUBEK	PO BOX 956, BALDWIN PLACE, NY 10555
141	87.5	3	3	225 UNION VALLEY RD. MAHOPAC, NY 10541	SAVERIO SADOVIA	225 UNION VALLEY RD. MAHOPAC, NY 10541
142	87.5	3	4	240 UNION VALLEY RD. MAHOPAC, NY 10541	SCOTT JENNINGS	240 UNION VALLEY RD. MAHOPAC, NY 10541
143	87.5	3	5	9 TEAKETTLE SPOUT RD. MAHOPAC, NY 10541	RAYMOND GENOVESE	9 TEAKETTLE SPOUT RD. MAHOPAC, NY 10541
144	87.5	3	6	11 TEAKETTLE SPOUT RD. MAHOPAC, NY 10541	EDWARD NIEVES	11 TEAKETTLE SPOUT RD. MAHOPAC, NY 10541
145	87.5	3	7	15 TEAKETTLE SPOUT RD. MAHOPAC, NY 10541	KEVIN KIERNAN	15 TEAKETTLE SPOUT RD. MAHOPAC, NY 10541
146	87.5	3	8	12 TEAKETTLE SPOUT RD. MAHOPAC, NY 10541	WALDIE MURRAY	12 TEAKETTLE SPOUT RD. MAHOPAC, NY 10541
147	87.5	3	9	250 UNION VALLEY RD. MAHOPAC, NY 10541	SELM BRAHIMI	250 UNION VALLEY RD. MAHOPAC, NY 10541
148	87.5	3	10	260 UNION VALLEY RD. MAHOPAC, NY 10541	JOHN DELUCCA	22 CUNNINGHAM DR. LAGRANGEVILLE, NY 12540
149	87.5	3	11	264 UNION VALLEY RD. MAHOPAC, NY 10541	ANGELA FUSCO	264 UNION VALLEY RD. MAHOPAC, NY 10541
150	87.5	3	12	268 UNION VALLEY RD. MAHOPAC, NY 10541	JAMES STIRPE	268 UNION VALLEY RD. MAHOPAC, NY 10541
151	87.5	3	13	3 NORTHVIEW DR. MAHOPAC, NY 10541	EDWIN PERCHIC	3 NORTHVIEW DR. MAHOPAC, NY 10541
152	87.9	1	2	48 WALTON DR. MAHOPAC, NY 10541	PATRICIA GONDOLFO	48 WALTON DR. MAHOPAC, NY 10541
153	87.9	1	3	44 WALTON DR. MAHOPAC, NY 10541	EDWARD WECHSLER	25 SHADY LN, MAHOPAC, NY 10541
154	87.9	1	4	40 WALTON DR. MAHOPAC, NY 10541	JOSEPH ARMISTO	122 CRANE RD, CARMEL, NY 10512
155	87.9	1	5	36 WALTON DR. MAHOPAC, NY 10541	GUS GETSOS	36 WALTON DR. MAHOPAC, NY 10541
156	87.9	1	6	30 WALTON DR. MAHOPAC, NY 10541	PEARL MOHAMMED	30 WALTON DR. MAHOPAC, NY 10541
157	87.9	1	7	22 BIRCH LN. MAHOPAC, NY 10541	AMANDA LEVINE	22 BIRCH LN. MAHOPAC, NY 10541
158	87.9	1	8-3600	36 MAPLE HILL DR. MAHOPAC, NY 10541	GEORGE BICKEL	PO BOX 303, LINCOLNDALE, NY 10540
159	87.9	1	9-3700	37 MAPLE HILL DR. MAHOPAC, NY 10541	ROBERT FALAGUERRA	37 MAPLE HILL DR. MAHOPAC, NY 10541
160	87.9	1	10-3800	38 MAPLE HILL DR. MAHOPAC, NY 10541	ANDRZEJ REJMAN	38 MAPLE HILL DR. MAHOPAC, NY 10541
161	87.9	1	11-3900	39 MAPLE HILL DR. MAHOPAC, NY 10541	CAROL ANN BURKE	39 MAPLE HILL DR. MAHOPAC, NY 10541
162	87.9	1	12-4000	40 MAPLE HILL DR. MAHOPAC, NY 10541	ANTHEYA MELY	40 MAPLE HILL DR. MAHOPAC, NY 10541
163	87.9	1	13-4100	41 MAPLE HILL DR. MAHOPAC, NY 10541	VALERIA LOPEZ	41 MAPLE HILL DR. MAHOPAC, NY 10541
164	87.9	1	14-4200	42 MAPLE HILL DR. MAHOPAC, NY 10541	SHEILA TRUC	42 MAPLE HILL DR. MAHOPAC, NY 10541
165	87.9	1	15-4300	43 MAPLE HILL DR. MAHOPAC, NY 10541	ANDREW LOMBARDI	43 MAPLE HILL DR. MAHOPAC, NY 10541
166	87.9	1	16-4400	44 MAPLE HILL DR. MAHOPAC, NY 10541	ANGELO SAVINO	1408 FLINTLOCK WAY, YORKTOWN HEIGHTS, NY 10598
167	87.9	1	17	534 OVERLOOK DR S. MAHOPAC, NY 10541	THOMAS JUDGE	534 OVERLOOK DR S. MAHOPAC, NY 10541
168	87.9	1	19	63 HILLSIDE TER. MAHOPAC, NY 10541	JOAO DE MELO	63 HILLSIDE TER. MAHOPAC, NY 10541
169	87.9	1	20	57 HILLSIDE TER. MAHOPAC, NY 10541	FRANK MERENDA	57 HILLSIDE TER. MAHOPAC, NY 10541
170	87.9	1	21	51 HILLSIDE TER. MAHOPAC, NY 10541	SALVATORE DIGRANDI	51 HILLSIDE TER. MAHOPAC, NY 10541
171	87.9	1	23	531 OVERLOOK DR S. MAHOPAC, NY 10541	ALFONSO & ANN GALLO IREVEY TRUST	531 OVERLOOK DR S. MAHOPAC, NY 10541
172	87.9	1	24	26 MOUNTAIN VIEW DR. MAHOPAC, NY 10541	AUGUST WILES	26 MOUNTAIN VIEW DR. MAHOPAC, NY 10541
173	87.9	1	25	32 MOUNTAIN VIEW DR. MAHOPAC, NY 10541	IRENE NARULA	32 MOUNTAIN VIEW DR. MAHOPAC, NY 10541
174	87.9	1	26	36 MOUNTAIN VIEW DR. MAHOPAC, NY 10541	TIMUR FILIPPOV	36 MOUNTAIN VIEW DR. MAHOPAC, NY 10541
175	87.9	1	27	40 MOUNTAIN VIEW DR. MAHOPAC, NY 10541	KIERAN CLARKE	40 MOUNTAIN VIEW DR. MAHOPAC, NY 10541
176	87.9	1	28	44 MOUNTAIN VIEW DR. MAHOPAC, NY 10541	REBECCA BIERHOFF	44 MOUNTAIN VIEW DR. MAHOPAC, NY 10541
177	87.9	1	29	48 MOUNTAIN VIEW DR. MAHOPAC, NY 10541	WALTER BECKER	48 MOUNTAIN VIEW DR. MAHOPAC, NY 10541

MAP ID	MAP	BLOCK	LOT	PROPERTY ADDRESS	OWNER NAME	OWNER ADDRESS
178	87.9	1	30	54 MOUNTAIN VIEW DR. MAHOPAC, NY 10541	RICHARD DEPOLO	54 MOUNTAIN VIEW DR. MAHOPAC, NY 10541
179	87.9	1	31		NYS ELEC & GAS CORP	1 CITY CENTER FL 5, PORTLAND, ME 04101
180	87.9	1	32		NYS ELEC & GAS CORP	1 CITY CENTER FL 5, PORTLAND, ME 04101
181	87.9	1	33	26 SUMMIT CIRCLE DR. MAHOPAC, NY 10541	PATRICK KOHLMAN	26 SUMMIT CIRCLE DR. MAHOPAC, NY 10541
182	87.9	1	34	8 SUMMIT CIRCLE DR. MAHOPAC, NY 10541	PATRICK BOYLE	8 SUMMIT CIRCLE DR. MAHOPAC, NY 10541
183	87.9	1	35	35 MOUNTAIN VIEW DR. MAHOPAC, NY 10541	AISLING O'HANLON	35 MOUNTAIN VIEW DR. MAHOPAC, NY 10541
184	87.9	1	36	33 MOUNTAIN VIEW DR. MAHOPAC, NY 10541	PHILIP GOLDSTEIN	33 MOUNTAIN VIEW DR. MAHOPAC, NY 10541
185	87.9	1	37	25 WALTON DR. MAHOPAC, NY 10541	JASON SIMONE	25 WALTON DR. MAHOPAC, NY 10541
186	87.9	1	38	29 WALTON DR. MAHOPAC, NY 10541	LINDA BOWMAN-WILLIAMS	29 WALTON DR. MAHOPAC, NY 10541
187	87.9	1	40	14 SUMMIT CIRCLE DR. MAHOPAC, NY 10541	VINCENT GENTILE	14 SUMMIT CIRCLE DR. MAHOPAC, NY 10541
188	87.9	1	41	18 SUMMIT CIRCLE DR. MAHOPAC, NY 10541	LUIGI PAGANELLI	18 SUMMIT CIRCLE DR. MAHOPAC, NY 10541
189	87.9	1	42	23 SUMMIT CIRCLE DR. MAHOPAC, NY 10541	CARL VU	23 SUMMIT CIRCLE DR. MAHOPAC, NY 10541
190	87.9	1	43	27 SUMMIT CIRCLE DR. MAHOPAC, NY 10541	ROBERT AMICUCCI	27 SUMMIT CIRCLE DR. MAHOPAC, NY 10541
191	87.9	1	44	25 SUMMIT CIRCLE DR. MAHOPAC, NY 10541	GERARD HANRAHAN	25 SUMMIT CIRCLE DR. MAHOPAC, NY 10541
192	87.9	1	45	19 SUMMIT CIRCLE DR. MAHOPAC, NY 10541	DENNIS NORBY	271 HILL ST, MAHOPAC, NY 10541
193	87.9	1	47	11 SUMMIT CIRCLE DR. MAHOPAC, NY 10541	DONNA AQUILATO	11 SUMMIT CIRCLE DR. MAHOPAC, NY 10541
194	87.9	1	48	3 SUMMIT CIRCLE DR. MAHOPAC, NY 10541	MARY PALMER	3 SUMMIT CIRCLE DR. MAHOPAC, NY 10541
195	87.9	1	49	43 WALTON DR. MAHOPAC, NY 10541	TODD MCCORMACK	43 WALTON DR. MAHOPAC, NY 10541
196	87.9	1	50	49 WALTON DR. MAHOPAC, NY 10541	ROBERT CAVALLARO	49 WALTON DR. MAHOPAC, NY 10541
197	87.9	1	51	53 WALTON DR. MAHOPAC, NY 10541	LINDA SHAW	53 WALTON DR. MAHOPAC, NY 10541
198	86.8	2	29	136 UNION VALLEY RD. MAHOPAC, NY 10541	MARIE SWARM SANDRA SWARM MCDERMOTT	136 UNION VALLEY RD. MAHOPAC, NY 10541
199	86.8	2	30	146 UNION VALLEY RD. MAHOPAC, NY 10541	VIRGINIA NICHOLSON	146 UNION VALLEY RD. MAHOPAC, NY 10541
200	86.8	2	31	153 UNION VALLEY RD. MAHOPAC, NY 10541	DAVID W. EST. PARENT	PO BOX 396, MAHOPAC, NY 10541
201	86.8	2	32.1	25 DAHLIA DR. MAHOPAC, NY 10541	PETER J CUOMO KATHERYN L CUOMO	25 DAHLIA DR. MAHOPAC, NY 10541
202	86.8	2	32.2	25 DAHLIA DR. MAHOPAC, NY 10541	THOMAS DAZI	25 DAHLIA DR. MAHOPAC, NY 10541
203	86.8	2	32.3	30 DAHLIA DR. MAHOPAC, NY 10541	JOHN GRASSIA	30 DAHLIA DR. MAHOPAC, NY 10541
204	86.8	2	32.4	156 UNION VALLEY RD. MAHOPAC, NY 10541	DANIEL HORTON	156 UNION VALLEY RD. MAHOPAC, NY 10541
205	86.8	2	32.5	158 UNION VALLEY RD. MAHOPAC, NY 10541	CHANDRA PRASAD	158 UNION VALLEY RD. MAHOPAC, NY 10541
206	86.8	2	39	48 DAHLIA DR. MAHOPAC, NY 10541	ERIK BAKKEN ALAYEN A BAKKEN	48 DAHLIA DR. MAHOPAC, NY 10541
207	86.8	2	40	44 DAHLIA DR. MAHOPAC, NY 10541	ARTHUR K HANRATTY ANN M HANRATTY	44 DAHLIA DR. MAHOPAC, NY 10541
208	86.8	2	41	40 DAHLIA DR. MAHOPAC, NY 10541	RAYMOND MARZIANO	40 DAHLIA DR. MAHOPAC, NY 10541
209	86.8	2	42	32 DAHLIA DR. MAHOPAC, NY 10541	MCGLYNN FAMILY TRUST	32 DAHLIA DR. MAHOPAC, NY 10541
210	86.8	2	43	173 UNION VALLEY RD. MAHOPAC, NY 10541	DAVID W. EST. PARENT	PO BOX 396, MAHOPAC, NY 10541
211	86.8	2	44	163 UNION VALLEY RD. MAHOPAC, NY 10541	JAMES RISPOLI	163 UNION VALLEY RD. MAHOPAC, NY 10541
212	86.8	2	45	159 UNION VALLEY RD. MAHOPAC, NY 10541	ELIZABETH SALVESSEN	159 UNION VALLEY RD. MAHOPAC, NY 10541
213	86.8	2	46	155 UNION VALLEY RD. MAHOPAC, NY 10541	THOMAS MAFFUCCI	155 UNION VALLEY RD. MAHOPAC, NY 10541
214	86.8	2	47	40 GLENDALE AVE. CARMEL, NY 10512	COUNTY OF PUTNAM	40 GLENDALE AVE. CARMEL, NY 10512
215	86.8	2	48	16 GLENACOM RD. MAHOPAC, NY 10541	DAVID MAHOSKEY	779 GLENDALE AVE. NAPLES, FL 34110
216	86.8	2	49	22 GLENACOM RD. MAHOPAC, NY 10541	RAFAEL CLAUDIO	23 GLENACOM RD. MAHOPAC, NY 10541
217	86.8	2	50	28 GLENACOM RD. MAHOPAC, NY 10541	ERIN YOUNG	29 GLENACOM RD. MAHOPAC, NY 10541
218	86.8	2	51	29 GLENACOM RD. MAHOPAC, NY 10541	ERIN YOUNG	29 GLENACOM RD. MAHOPAC, NY 10541
219	86.8	2	52	23 GLENACOM RD. MAHOPAC, NY 10541	MONIQUE DANIELS	23 GLENACOM RD. MAHOPAC, NY 10541
220	86.8	2	53	19 GLENACOM ROAD. MAHOPAC, NY 10541	DAVID M MAHOSKEY ANTONIETTE MAHOSKEY	19 GLENACOM ROAD. MAHOPAC, NY 10541
221	86.8	2	86		PATSY LEONE	11 FASSITT DR. MAHOPAC, NY 10541
222	86.8	2	56	11 FASSITT DR. MAHOPAC, NY 10541	ROBERT GOUVEIA	23 FASSIT DR. MAHOPAC, NY 10541
223	86.12	1	21	35 FASSITT DR. MAHOPAC, NY 10541		

MAP ID	MAP	BLOCK	LOT	PROPERTY ADDRESS	OWNER NAME	OWNER ADDRESS
224	86.12	1	22	35 FASSITT DR. MAHOPAC, NY 10541	VICTOR SHIRELI	35 FASSITT DR. MAHOPAC, NY 10541
225	86.12	1	23	47 FASSITT DR. MAHOPAC, NY 10541	THOMAS BAIER	47 FASSITT DR. MAHOPAC, NY 10541
226	86.12	1	24	53 FASSITT DR. MAHOPAC, NY 10541	GREGORY SC-AVELLI	53 FASSITT DR. MAHOPAC, NY 10541
227	86.12	1	25	61 FASSITT DR. MAHOPAC, NY 10541	GEORGE KOKKINAKIS	61 FASSITT DR. MAHOPAC, NY 10541
228	86.12	1	26	67 FASSITT DR. MAHOPAC, NY 10541	MARSILO LANGELLA	67 FASSITT DR. MAHOPAC, NY 10541
229	86.12	1	28.1	59 CENTER RD. MAHOPAC, NY 10541	MATTHEW ROSOLEN	59 CENTER RD. MAHOPAC, NY 10541
230	86.12	1	28.2	60 FASSITT DR. MAHOPAC, NY 10541	CHRISTOPHER VENNARD	60 FASSITT DR. MAHOPAC, NY 10541
231	87.5	3	14	UNION VALLEY RD. MAHOPAC, NY 10541	TOWN OF CARMEL	60 MCALPIN AVE. MAHOPAC, NY 10541
232	86.12	1	30	34 GLENACOM RD. MAHOPAC, NY 10541	EMIL DONOFRIO	34 GLENACOM RD. MAHOPAC, NY 10541
233	86.12	1	31	38 GLENACOM RD. MAHOPAC, NY 10541	RALPH NARDO	35 GLENACOM RD. MAHOPAC, NY 10541
234	86.12	1	32	42 GLENACOM RD. MAHOPAC, NY 10541	CHARLENE WOOD	42 GLENACOM RD. MAHOPAC, NY 10541
235	86.12	1	33.1	56 GLENACOM RD. MAHOPAC, NY 10541	VINCENT DECICCO	56 GLENACOM RD. MAHOPAC, NY 10541
236	86.12	1	33.2	GLENACOM RD. MAHOPAC, NY 10541	CHRISTOPHER DECICCO	56 GLENACOM RD. MAHOPAC, NY 10541
237	86.12	1	34	59 GLENACOM RD. MAHOPAC, NY 10541	IRENE SOGA	59 GLENACOM RD. MAHOPAC, NY 10541
238	86.12	1	35	71 GLENACOM RD. MAHOPAC, NY 10541	JOHN VOUGHT	71 GLENACOM RD. MAHOPAC, NY 10541
239	86.12	1	36	55 GLENACOM RD. MAHOPAC, NY 10541	MICHAEL DAVIS	55 GLENACOM RD. MAHOPAC, NY 10541
240	86.12	1	37	53 GLENACOM RD. MAHOPAC, NY 10541	DEIRDRE FOLEY	53 GLENACOM RD. MAHOPAC, NY 10541
241	86.12	1	39	47 GLENACOM RD. MAHOPAC, NY 10541	CHRISTINE PERI	47 GLENACOM RD. MAHOPAC, NY 10541
242	86.12	1	41	41 GLENACOM RD. MAHOPAC, NY 10541	CODY LECLAIRE	41 GLENACOM RD. MAHOPAC, NY 10541
243	86.12	1	42	35 GLENACOM RD. MAHOPAC, NY 10541	RALPH NARDO	35 GLENACOM RD. MAHOPAC, NY 10541
244	75.2	1	18	51 DAHLIA DR. MAHOPAC, NY 10541	JAMES PACIULO ROSE PACIULO	51 DAHLIA DR. MAHOPAC, NY 10541
245	75.2	1	19	57 DAHLIA DR. MAHOPAC, NY 10541	RAYMOND A KOLKMANN JON APPELBERGER	57 DAHLIA DR. MAHOPAC, NY 10541
246	75.2	1	30	74 DAHLIA DR. MAHOPAC, NY 10541	PATRICK TARPET CATHERINE TARPET	74 DAHLIA DR. MAHOPAC, NY 10541
247	75.2	1	31	68 DAHLIA DR. MAHOPAC, NY 10541	JOSEPH KIRINIC DEBORAH KIRINIC	68 DAHLIA DR. MAHOPAC, NY 10541
248	75.2	1	32	64 DAHLIA DR. MAHOPAC, NY 10541	JACK SCHIAVONE DIANE KUNGLER	64 DAHLIA DR. MAHOPAC, NY 10541
249	75.2	1	33	60 DAHLIA DR. MAHOPAC, NY 10541	ROBERT KNAPP	60 DAHLIA DR. MAHOPAC, NY 10541
250	75.2	1	34	54 DAHLIA DR. MAHOPAC, NY 10541	PAT COLABELLO SHARON COLABELLO	54 DAHLIA DR. MAHOPAC, NY 10541
251	76.17	1	1	21 TEAKETTLE SPOUT RD. MAHOPAC, NY 10541	FRANK KIERNAN	10 FRANCES KIERNAN WAY, CARMEL, NY 10512
252	76.17	1	2	23 TEAKETTLE SPOUT RD. MAHOPAC, NY 10541	RUSSELL BRAUN	23 TEAKETTLE SPOUT RD. MAHOPAC, NY 10541
253	76.17	1	3	25 TEAKETTLE SPOUT RD. MAHOPAC, NY 10541	GERALD MCGUIRE	25 TEAKETTLE SPOUT RD. MAHOPAC, NY 10541
254	76.17	1	4	31 TEAKETTLE SPOUT RD. MAHOPAC, NY 10541	DENNIS BRADY	31 TEAKETTLE SPOUT RD. MAHOPAC, NY 10541
255	76.17	1	5	35 TEAKETTLE SPOUT RD. MAHOPAC, NY 10541	PETER ERICKSON	35 TEAKETTLE SPOUT RD. MAHOPAC, NY 10541
256	76.17	1	6	27 TEAKETTLE SPT RD. MAHOPAC, NY 10541	AUGUSTUS PEREZ	27 TEAKETTLE SPT RD. MAHOPAC, NY 10541
257	87.5	3	15	237 UNION VALLEY RD. MAHOPAC, NY 10541	TOWN OF CARMEL	60 MCALPIN AVE. MAHOPAC, NY 10541
258	76.17	1	28	200 UNION VALLEY RD. MAHOPAC, NY 10541	PARENT ESTATE	PO BOX 396, MAHOPAC, NY 10541

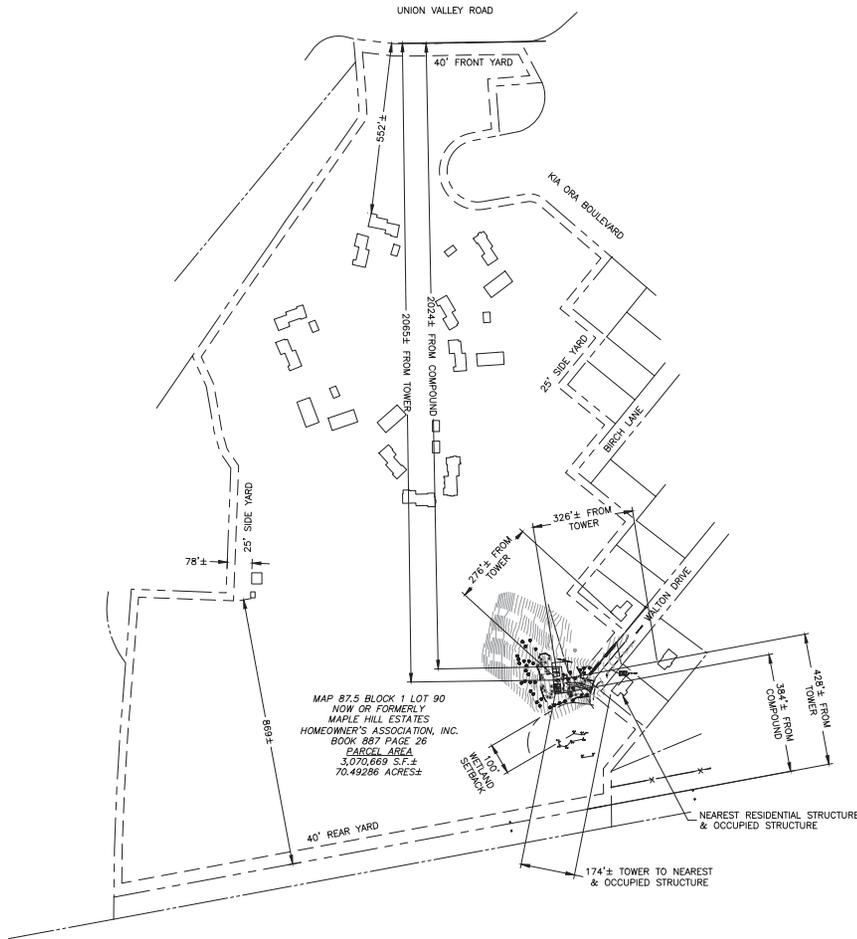
TOWN OF SOMERS - WESTCHESTER COUNTY

MAP ID	MAP	BLOCK	LOT	PROPERTY ADDRESS	OWNER NAME	OWNER ADDRESS
1	5.18	1	3.1	50 LOOMIS DR. MAHOPAC, NY 10541	BEAVER BROOK/SOMERS ACQ LLC	118 N BEDFORD ROAD
2	5.18	1	4.1	66 TRAVIS RD. MAHOPAC, NY 10541	BEAVER BROOK/SOMERS ACQ LLC	118 N BEDFORD ROAD MT., KISCO, NY 10549
3	5.14	1	2	0 POWER LINES, MAHOPAC, NY 10541	NYS ELECTRIC & GAS CORP	ONE CITY CENTER 5TH FLOOR, PORTLAND, ME 04101
4	5.14	1	5	0 POWER LINES, MAHOPAC, NY 10541	NYS ELECTRIC & GAS CORP	ONE CITY CENTER 5TH FLOOR, PORTLAND, ME 04101
5	5.14	1	7	13 SYCAMORE RD. MAHOPAC, NY 10541	TOWN OF SOMERS	335 ROUTE 202, SOMERS, NY 10589
6	5.14	1	8	9 SYCAMORE RD. MAHOPAC, NY 10541	MILTARI, NICOLA & SOPHIA	5 SYCAMORE ROAD, MAHOPAC, NY 10541
7	5.14	1	9	7 SYCAMORE RD. MAHOPAC, NY 10541	ALEXANDER, RICHARD & MARGARET	7 SYCAMORE ROAD, MAHOPAC, NY 10541
8	5.14	1	10	5 SYCAMORE RD. MAHOPAC, NY 10541	CULLEN, MARTIN R & KATHLEEN	5 SYCAMORE ROAD, MAHOPAC, NY 10541
9	5.14	1	11	3 SYCAMORE RD. MAHOPAC, NY 10541	TOWN OF SOMERS	335 ROUTE 202, SOMERS, NY 10589
10	5.14	1	12	1 SYCAMORE RD. MAHOPAC, NY 10541	TOWN OF SOMERS	335 ROUTE 202, SOMERS, NY 10589
11	5.14	1	15	6 TULIP RD. MAHOPAC, NY 10541	TOWN OF SOMERS	335 ROUTE 202, SOMERS, NY 10589
12	5.14	1	16.5	20 BOXWOOD DR. MAHOPAC, NY 10541	SCHWARZE, PATRICK P. AUSONIO, ANNA KRISTINE	20 BOXWOOD DRIVE, MAHOPAC, NY 10541
13	5.14	1	18	18 BOXWOOD DR. MAHOPAC, NY 10541	SCHLIESSMANN, DAVID & MARY	18 BOXWOOD DRIVE, MAHOPAC, NY 10541
14	5.14	1	19	16 BOXWOOD DR. MAHOPAC, NY 10541	GIBSON, JONATHAN & YAMILY	19 ACACIA DRIVE, MAHOPAC, NY 10541
15	5.14	1	20	2 TULIP RD. MAHOPAC, NY 10541	RUCKERT, EDWARD	28 EAST WHIPPOORWILL ROAD, ARMONK, NY 10504
16	5.14	1	21	17 ACACIA DR. MAHOPAC, NY 10541	GIBSON, JONATHAN & YAMILY	19 ACACIA DRIVE, MAHOPAC, NY 10541
17	5.14	1	22	19 ACACIA DR. MAHOPAC, NY 10541	GIBSON, JONATHAN & YAMILY	19 ACACIA DRIVE, MAHOPAC, NY 10541
18	5.14	1	23	23 ACACIA DR. MAHOPAC, NY 10541	MARTIN, MANUEL & MANTARING, CECILLE M.	23 ACACIA DRIVE, MAHOPAC, NY 10541
19	5.14	1	24.5	16 ACACIA DR. MAHOPAC, NY 10541	SALENO, PAUL & STEPHANIE	16 ACACIA DRIVE, MAHOPAC, NY 10541
20	5.14	1	26	3 RAMBLER RD. MAHOPAC, NY 10541	MC GUIRE, ANNE M.	3 RAMBLER ROAD, MAHOPAC, NY 10541
21	5.14	1	27	5 RAMBLER RD. MAHOPAC, NY 10541	SALVATI, RICHARD & MADELINE	P.O. BOX 17 LINCOLNDALE, NY 10540
22	5.14	1	28	7 RAMBLER RD. MAHOPAC, NY 10541	SHIRES, ANDREW & STACY K.	7 RAMBLER RD, MAHOPAC, NY 10541
23	5.14	1	29	6 RAMBLER RD. MAHOPAC, NY 10541	DONOVAN, MICHAEL & SHERRI	P.O. BOX 442 LINCOLNDALE, NY 10540
24	5.14	1	30	12 ACACIA DR. MAHOPAC, NY 10541	DONOVAN, MICHAEL P	P.O. BOX 442 LINCOLNDALE, NY 10540
25	5.14	1	31	10 ACACIA DR. MAHOPAC, NY 10541	MC CORMACK, JULIA A MC CORMACK	P.O. BOX 153 LINCOLNDALE, NY 10541
26	5.14	1	32	8 ACACIA DR. MAHOPAC, NY 10541	FAWCETT, RICHARD J. (JR.) NICOLE	8 ACACIA ROAD, MAHOPAC, NY 10541
27	5.14	1	33	1 PEACH RD. MAHOPAC, NY 10541	TOWN OF SOMERS	335 ROUTE 202, SOMERS, NY 10589
28	5.14	1	34	3 PEACH RD. MAHOPAC, NY 10541	TOOMA, THOMAS J. (JR.) & BARBARA A.	PO BOX 341, LINCOLNDALE, NY 10540
29	5.14	1	35	5 PEACH RD. MAHOPAC, NY 10541	DURAN, DONTAE J. & EMMA J.	5 PEACH RD, MAHOPAC, N.Y., 10541
30	5.14	1	36	7 PEACH RD. MAHOPAC, NY 10541	CHEYSVIN, BORIS & JULIA	7 PEACH ROAD, MAHOPAC, NY 10541
31	5.14	1	37	9 PEACH RD. MAHOPAC, NY 10541	CHEYSVIN, BORIS & JULIA	7 PEACH ROAD, MAHOPAC, NY 10541
32	5.14	1	38	8 RAMBLER RD. MAHOPAC, NY 10541	KOEHNEN, STEVEN & SHANNON	8 RAMBLER RD, MAHOPAC, NY 10541
33	5.14	1	39	8 QUEEN RD. MAHOPAC, NY 10541	CHEYSVIN, BORIS & JULIA	7 PEACH ROAD, MAHOPAC, NY 10541
34	5.14	1	40	104 TRAVIS RD. MAHOPAC, NY 10541	MC CULLOUGH, JOHN & WENDY	104 TRAVIS ROAD BALDWIN PLACE, NY 10505
35	5.14	1	41	102 TRAVIS RD. MAHOPAC, NY 10541	TERCEIRA, CHRIS & CHRISTINE	102 TRAVIS ROAD BALDWIN PLACE, NY 10505
36	5.14	1	42	100 TRAVIS RD. MAHOPAC, NY 10541	CHORNY, DENNIS T & OKSANA	100 TRAVIS ROAD BALDWIN PLACE, NY 10505
37	5.15	1	1	13 ACACIA DR. MAHOPAC, NY 10541	TOWN OF SOMERS	335 ROUTE 202, SOMERS, NY 10589
38	5.15	1	2	11 ACACIA DR. MAHOPAC, NY 10541	MASTRANTONI, PAUL & THOMASINE	10 BOXWOOD DRIVE, MAHOPAC, NY 10541
39	5.15	1	3	9 ACACIA DR. MAHOPAC, NY 10541	TOWN OF SOMERS	335 ROUTE 202, SOMERS, NY 10589
40	5.15	1	4	7 ACACIA DR. MAHOPAC, NY 10541	TOLEDO, CLAUDIA	7 ACACIA DRIVE, MAHOPAC, NY 10541
41	5.15	1	5	5 ACACIA DR. MAHOPAC, NY 10541	TOWN OF SOMERS	335 ROUTE 202, SOMERS, NY 10589
42	5.15	1	7.1	3 ACACIA DR. MAHOPAC, NY 10541	WILLIAM D & ANN C FITZGERALD	65 ARBOR LN, DIX HILLS, NY 11746
43	5.15	1	8	0 ACACIA DR. MAHOPAC, NY 10541	MICHAEL J JR & TAMMY REPP	2 BOXWOOD DR. MAHOPAC, NY 10541
44	5.15	1	9	0 ACACIA DR. MAHOPAC, NY 10541	MICHAEL J JR & TAMMY REPP	2 BOXWOOD DR. MAHOPAC, NY 10541
45	5.15	1	10	2 BOXWOOD DR. MAHOPAC, NY 10541	MICHAEL J JR & TAMMY REPP	2 BOXWOOD DR. MAHOPAC, NY 10541

MAP ID	MAP	BLOCK	LOT	PROPERTY ADDRESS	OWNER NAME	OWNER ADDRESS
46	5.15	1	11	4 BOXWOOD DR. MAHOPAC, NY 10541	MONTY & KAREN DOMAN	745 WARREN ST, SOMERS, NY 10589
47	5.15	1	12	6 BOXWOOD DR. MAHOPAC, NY 10541	JUDY A. DONALD D & BRUCE A. BATH	6 BOXWOOD DR. MAHOPAC, NY 10541
48	5.15	1	13	8 BOXWOOD DR. MAHOPAC, NY 10541	TOWN OF SOMERS	335 ROUTE 202, SOMERS, NY 10589
49	5.15	1	14	8 BOXWOOD DR. MAHOPAC, NY 10541	TOWN OF SOMERS	335 ROUTE 202, SOMERS, NY 10589
50	5.15	1	15	10 BOXWOOD DR. MAHOPAC, NY 10541	PAUL THOMASINE MASTRANTONI	10 BOXWOOD DRIVE, MAHOPAC, NY 10541
51	5.15	1	16	12 BOXWOOD DR. MAHOPAC, NY 10541	PATRICIA A FOLEY	PO BOX 245, 12 BOXWOOD DR, LINCOLNDALE, NY 10541
52	5.15	1	17.5	11 BOXWOOD DR. MAHOPAC, NY 10541	ROBERT & ANNE MARIE DE CRENZA	11 BOXWOOD DRIVE, MAHOPAC, NY 10541
53	5.15	1	19	7 BOXWOOD DR. MAHOPAC, NY 10541	THOMAS SCHNEIDER FAMILY TRUST	108 LONGDALE RD. MAHOPAC, NY 10541
54	5.15	1	20	5 BOXWOOD DR. MAHOPAC, NY 10541	KEVIN & CAROLYN MOSS	PO BOX 74, LINCOLNDALE, NY 10541
55	5.15	1	21	3 BOXWOOD DR. MAHOPAC, NY 10541	KEVIN & CAROLYN MOSS	PO BOX 74, LINCOLNDALE, NY 10541
56	5.15	1	22	11 OLIVE DR. MAHOPAC, NY 10541	MICHAEL & ELIZABETH ALLEN	11 OLIVE DR, MAHOPAC, NY 10541
57	5.15	1	18	10 COTTONWOOD DR. MAHOPAC, NY 10541	STEVE & DEBORAH PILLA	PO BOX 73, LINCOLNDALE, NY 10541
58	5.15	1	25	16 OLIVE DR. MAHOPAC, NY 10541	PAUL & AMY ESKRIDGE	16 OLIVE DR, MAHOPAC, NY 10541
59	5.15	1	67	18 OLIVE DR. MAHOPAC, NY 10541	ROBERT & CHERYL BOUZA	PO BOX 519, LINCOLNDALE, NY 10541
60	5.15	1	68	18 OLIVE DR. MAHOPAC, NY 10541	ROBERT & CHERYL BOUZA	PO BOX 519, LINCOLNDALE, NY 10541
61	5.15	1	68	18 OLIVE DR. MAHOPAC, NY 10541	ROBERT & CHERYL BOUZA	PO BOX 519, LINCOLNDALE, NY 10541
62	5.15	1	69	18 OLIVE DR. MAHOPAC, NY 10541	ROBERT & CHERYL BOUZA	PO BOX 519, LINCOLNDALE, NY 10541
63	5.15	1	70	20 OLIVE DR. MAHOPAC, NY 10541	ROBERT & CHERYL BOUZA	PO BOX 519, LINCOLNDALE, NY 10541
64	5.15	1	71	19 NARCISSEUS DR. MAHOPAC, NY 10541	SEYMOUR WEINSTEIN	PO BOX 32, LINCOLNDALE, NY 10541
65	5.15	1	72	23 NARCISSEUS DR. MAHOPAC, NY 10541	SEYMOUR WEINSTEIN	PO BOX 32, LINCOLNDALE, NY 10541
66	5.15	1	73	23 NARCISSEUS DR. MAHOPAC, NY 10541	ROBERT & CHERYL BOUZA	PO BOX 519, LINCOLNDALE, NY 10541
67	5.15	1	74	19 NARCISSEUS DR. MAHOPAC, NY 10541	EVELYN PFAFFENBACH	19 NARCISSEUS DR. MAHOPAC, NY 10541
68	5.15	1	76	24 OLIVE DR. MAHOPAC, NY 10541	BRAD & LISA ROBERTS	24 OLIVE DR, MAHOPAC, NY 10541
69	5.15	1	77	26 OLIVE DR. MAHOPAC, NY 10541	DEHILLIPS FAMILY TRUST 2013 TRUST; MICHAEL DEHILLIPS AS TRUSTEE	83 MORTON BLVD, PLAINVIEW, NY 11803
70	5.15	1	78	26 OLIVE DR. MAHOPAC, NY 10541	DEHILLIPS FAMILY TRUST 2013 TRUST; MICHAEL DEHILLIPS AS TRUSTEE	83 MORTON BLVD, PLAINVIEW, NY 11803
71	5.15	1	79	28 OLIVE DR. MAHOPAC, NY 10541	TOWN OF SOMERS	335 ROUTE 202, SOMERS, NY 10589
72	5.15	1	80	30 OLIVE DR. MAHOPAC, NY 10541	TOWN OF SOMERS	335 ROUTE 202, SOMERS, NY 10589
77	5.15	1	85	4 PEACH RD. MAHOPAC, NY 10541	CIVITA, LYNNE	4 PEACH RD, MAHOPAC, NY 10541
78	5.15	1	86	8 PEACH RD. MAHOPAC, NY 10541	SKNORLIE, CHARLES F & FELICE	8 PEACH ROAD, MAHOPAC, NY 10541
79	5.15	1	87	0 PEACH RD. MAHOPAC, NY 10541	SMITH, DAVID E. & DORIS JANE	PO BOX 147, LINCOLNDALE, NY 10540
80	5.15	1	88	10 PEACH RD. MAHOPAC, NY 10541	CLERICO, ALFRED J	18 PONDER LN, DEER PARK, NY 11729
81	5.15	1	89	12 PEACH RD. MAHOPAC, NY 10541	SMITH, DAVID & DORIS	P. O. BOX 147 LINCOLNDALE, N. Y., 10540.
82	5.15	1	90	19 OLIVE DR. MAHOPAC, NY 10541	PUTNAM/WESTCHESTER BUILDERS, INC.	361 ROUTE 6, MAHOPAC, NY 10541
83	5.15	1	91	2 ACACIA DR. MAHOPAC, NY 10541	MARLENE FERRELL	2 ACACIA DR, MAHOPAC, NY 10541
84	5.15	2	1	6 FERN RD. MAHOPAC, NY 10541	STEVEN & LAURAL WINES	6 FERN RD, MAHOPAC, NY 10541
85	5.15	2	2	4 FERN RD. MAHOPAC, NY 10541	VICTOR R III & JOANNE M BOYD	PO BOX 255, LINCOLNDALE, NY 10540
86	5.15	2	3	2 FERN RD. MAHOPAC, NY 10541	ERNEST LUCY SANTANIELLO (TRUST)	4126 STRATFORD DR. NEW PORT RICHELIE, FL 34652
87	5.15	2	4	34 NARCISSEUS DR. MAHOPAC, NY 10541	MICHAEL J COOGAN & MARIE S RICE	PO BOX 429, SOMERS, NY 10589
88	5.15	2	5	32 NARCISSEUS DR. MAHOPAC, NY 10541	LINDA IRENE SCHERIFF	32 NARCISSEUS DR. MAHOPAC, NY 10541
89	5.15	2	6	32 NARCISSEUS DR. MAHOPAC, NY 10541	LINDA IRENE SCHERIFF	32 NARCISSEUS DR. MAHOPAC, NY 10541
90	5.15	2	7	32 NARCISSEUS DR. MAHOPAC, NY 10541	LINDA IRENE SCHERIFF	32 NARCISSEUS DR. MAHOPAC, NY 10541
91	5.15	2	8	28 NARCISSEUS DR. MAHOPAC, NY 10541	MICHAEL PFAFFENBACK	28 NARCISSEUS DR. MAHOPAC, NY 10541
92	5.15	2	9	26 NARCISSEUS DR. MAHOPAC, NY 10541	JAVIER ROBLES	PO BOX 504, LINCOLNDALE, NY 10541
93	5.15	2	10	24 NARCISSEUS DR. MAHOPAC, NY 10541	TOWN OF SOMERS	335 ROUTE 220, SOMERS, NY 10589
94	5.15	2	11	0 NARCISSEUS DR. MAHOPAC, NY 10541	TOWN OF SOMERS	335 ROUTE 220, SOMERS, NY 10589
95	5.15	2	12	22 NARCISSEUS DR. MAHOPAC, NY 10541	JOSE & MARIA CABRERA	22 NARCISSEUS DR. MAHOPAC, NY 10541

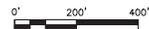
MAP ID	MAP	BLOCK	LOT	PROPERTY ADDRESS	OWNER NAME	OWNER ADDRESS
96	5.15	2	13	20 GREENWOOD DR. MAHOPAC, NY 10541	MICHAEL & THERESE DRISCOLL	PO BOX 58, LINCOLNDALE, NY 10540
97	5.15	2	14	18 GREENWOOD DR. MAHOPAC, NY 10541	ELIZABETH KELLY	PO BOX 275, LINCOLNDALE, NY 10540
98	5.15	2	15	16 GREENWOOD DR. MAHOPAC, NY 10541	ADNAN & SELVET ASLANI	16 GREENWOOD DR. MAHOPAC, NY 10541
99	5.15	2	16	3 MAGNOLIA DR. MAHOPAC, NY 10541	JOHN PAUL J & JOAN M KAMINSKI	3 MAGNOLIA DR. MAHOPAC, NY 10541
100	5.15	2	17	5 MAGNOLIA DR. MAHOPAC, NY 10541	KEVIN HARRIGAN & JOHN R. JR	5 MAGNOLIA DR. MAHOPAC, NY 10541
101	5.15	2	18	7 MAGNOLIA DR. MAHOPAC, NY 10541	YAROSLAV & OLGA ROMANKIV	7 MAGNOLIA DR. MAHOPAC, NY 10541
102	5.15	2	19	9 MAGNOLIA DR. MAHOPAC, NY 10541	JAMES & PATRICIA WHITE	9 MAGNOLIA DR. MAHOPAC, NY 10541
103	5.15	2	20	11 MAGNOLIA DR. MAHOPAC, NY 10541	NICOLAS & ELIZABETH BORDIGA	PO BOX 329, LINCOLNDALE, NY 10540
104	5.15	2	21	13 MAGNOLIA DR. MAHOPAC, NY 10541	NICOLAS & ELIZABETH BORDIGA	PO BOX 329, LINCOLNDALE, NY 10540
105	5.15	2	22	11 FERN RD. MAHOPAC, NY 10541	LINDA IRENE SCHERIFF	32 NARCISSEUS DR. MAHOPAC, NY 10541
106	5.15	2	23	7 FERN RD. MAHOPAC, NY 10541	MICHAEL J & KRISTIE A EVERS	7 FERN RD, MAHOPAC, NY 10541
107	5.15	2	24	6 MAGNOLIA DR. MAHOPAC, NY 10541	JAMES B & CAROLANN WILSON	PO BOX 425, LINCOLNDALE, NY 10540
108	5.15	2	27	13 LOCUST DR. MAHOPAC, NY 10541	CATHERINE BUTTERWORTH ET AL	68 CHURCH ST, TEANECK, NY 07666
109	5.15	2	28	15 LOCUST DR. MAHOPAC, NY 10541	CHRISTOPHER L MERWIN	18 LOCUST DR. MAHOPAC, NY 10541
110	5.15	2	29	17 LOCUST DR. MAHOPAC, NY 10541	JAMES B & CAROLANN WILSON	PO BOX 425, LINCOLNDALE, NY 10540
111	5.15	2	30	19 LOCUST DR. MAHOPAC, NY 10541	JOHN & JOHANNE YURSA	PO BOX 222, LINCOLNDALE, NY 10540
112	5.15	2	31	21 LOCUST DR. MAHOPAC, NY 10541	TOWN OF SOMERS	335 ROUTE 202, SOMERS, NY 10589
113	5.15	2	32.1	21 LOCUST DR. MAHOPAC, NY 10541	ANTHONY & PAMELA BEADLE	21 LOCUST DR. MAHOPAC, NY 10541
114	5.15	2	34	3 FERN RD. MAHOPAC, NY 10541	JOHN & JOHANNE YURSA	PO BOX 222, LINCOLNDALE, NY 10540
115	5.15	2	35	5 FERN RD. MAHOPAC, NY 10541	JOSEPH V MCCARTHY & CATHERINE F ANDRIEOLI, CO BRIAN ANDRIEOLI	15 FRESCENIUS RD, WESTPORT, CT 06880
116	5.15	2	36	5 FERN RD. MAHOPAC, NY 10541	JOSEPH V MCCARTHY & CATHERINE F ANDRIEOLI, CO BRIAN ANDRIEOLI	15 FRESCENIUS RD, WESTPORT, CT 06880
117	5.15	2	37	7 FERN RD. MAHOPAC, NY 10541	MICHAEL J & KRISTIE A EVERS	7 FERN RD, MAHOPAC, NY 10541
118	5.15					

APPROXIMATE TRUE NORTH



SITE PLAN

SCALE: 1"=400' FOR 11"x17"
1"=200' FOR 22"x34"



1

**ZONING TABLE:
CARMEL ZONING DISTRICT RESIDENTIAL**

ITEM	REQUIRED	EXISTING	PROPOSED	REMARKS
MAX. HEIGHT (FT)	35	30±	NO CHANGE	COMPLIES
MIN. LOT AREA (SF)	120,000	3,070,669±	NO CHANGE	COMPLIES
MIN. LOT WIDTH (FT)	200	448±	NO CHANGE	COMPLIES
MIN. LOT DEPTH (FT)	200	2,562±	NO CHANGE	COMPLIES
MIN. FRONT YARD SETBACK (FT)	40	552±	NO CHANGE	COMPLIES
MIN. SIDE YARD SETBACK (FT)	25	78±	NO CHANGE	COMPLIES
MIN. REAR YARD SETBACK (FT)	40	384±	NO CHANGE	COMPLIES
MAX. BUILDING COVERAGE	15%	2.4%	NO CHANGE	COMPLIES
TOWER SETBACK (FT) **	280	N/A	174±	***
TOWER HEIGHT (FT) ***	75	N/A	140	***

NA = NOT APPLICABLE
 * EXISTING DIMENSIONAL NON-CONFORMITY.
 ** IN RESIDENTIAL ZONES, TOWER SETBACK TO ALL RESIDENTIAL BUILDINGS ON ADJUTING LOTS MUST BE 2 TIMES THE HEIGHT OF PROPOSED TOWER.
 *** VARIANCE REQUIRED

NOTES:

- NORTH SHOWN AS APPROXIMATE.
- SOME EXISTING AND PROPOSED INFORMATION NOT SHOWN FOR CLARITY.
- THE PROPOSED USE IS FOR TELECOMMUNICATIONS AND IS NOT INTENDED FOR PERMANENT EMPLOYEE OCCUPANCY. THEREFORE, POTABLE WATER, SANITARY SEWERS, AND ADDITIONAL ON SITE PARKING ARE NOT REQUIRED.
- THE FACILITY SHALL BE VISITED ON THE AVERAGE OF ONCE A MONTH FOR MAINTENANCE AND SHALL BE CONTINUOUSLY MONITORED FROM A REMOTE FACILITY FOR BOTH FIRE AND INTRUSION.
- THE FACILITIES ARE REMOTELY OPERATED AND CONTROLLED, AND AS SUCH, ARE NORMALLY UNMANNED. A COMPUTERIZED EQUIPMENT AND FACILITY ALARM SYSTEM CONTINUOUSLY MONITORS AN EXTENSIVE NUMBER OF OPERATING AND BUILDING FUNCTIONS. UNPLANNED EVENTS WILL TRIGGER ALARM REPORTS TO VERIZON WIRELESS HEADQUARTERS LOCATION IN BEDMINSTER, NJ, RANGING FROM ROUTINE REPORTS TO IMMEDIATE ACTIVATION OF LOCAL PERSONNEL OR EMERGENCY SERVICES, 24 HOURS A DAY.
- CONTRACTOR SHALL CONTACT "DIG SAFELY NEW YORK @ 811" AND LOCATE ALL EXISTING UTILITIES WITHIN THE AREA OF WORK PRIOR TO START OF EXCAVATION.
- CONTRACTOR SHALL COORDINATE & COMPLY WITH EXISTING UTILITY COMPANIES' REQUIREMENTS.
- THERE ARE NO PROPOSED ALTERATIONS, IMPROVEMENTS OR RELOCATIONS FOR ANY STREAMS OR EXISTING DRAINAGE STRUCTURES WITHIN THE PROPERTY.
- SITE PLAN BASED ON "V6101, GLENACOM LAKE, WALTON DRIVE, COMPILATION PLAN", SHEET 1 OF 2 & "V6102, GLENACOM LAKE, WALTON DRIVE, PARTIAL BOUNDARY & TOPOGRAPHIC SURVEY", SHEET 2 OF 2, PREPARED BY LANGAN, 555 LONG WHARF DRIVE, NEW HAVEN, CT 06511. SHEET 1 OF 1, DATED APRIL 10, 2018.
- THE FACILITIES SECURITY AND OTHER LIGHTING SYSTEMS WILL BE DESIGNED, INSTALLED AND MAINTAINED IN SUCH A MANNER (THROUGH MOTION DETECTION, AUTOMATIC SHUT-OFF, PROJECTING DOWNWARD, SHIELDING, AND MINIMUM WATTAGE) AS TO MINIMIZE OR ELIMINATE LIGHT POLLUTION; THE FACILITIES WILL BE DESIGNED, INSTALLED AND MAINTAINED IN SUCH A MANNER AS TO MINIMIZE OR ELIMINATE NOISE POLLUTION.
- DISTANCES TO NEARBY STRUCTURES WERE VERIFIED BASED ON PUBLICLY AVAILABLE LOT SURVEYS FROM THE TOWN OF CARMEL; 48 WALTON DRIVE, J.F. DOWLING, 09/15/1992; 49 WALTON DRIVE, BADEY & WATSON, 04/18/1946; 53 WALTON DRIVE, BURGESS & BEHR, P.C., 02/26/1980.

ALL OBSOLETE OR UNUSED WIRELESS TELECOMMUNICATIONS ANTENNAS (INCLUDING TOWER SUPPORTS) SHALL BE REMOVED WITHIN 60 DAYS OF CESSATION OF OPERATIONS AT THE SITE. THE TOWN MAY REMOVE SUCH FACILITIES UPON REASONABLE NOTICE AND AN OPPORTUNITY TO BE HEARD AND TREAT THE COST AS A TAX LIEN ON THE PROPERTY. THE PLANNING BOARD MAY ALSO REQUIRE, AT THE TIME OF APPROVAL, THE POSTING OF A BOND SUFFICIENT TO COVER THE COSTS OF REMOVING AN ABANDONED WIRELESS TELECOMMUNICATIONS FACILITY.

HOMELAND TOWERS, LLC
 9 HARMONY STREET
 2nd FLOOR
 DANBURY, CT 06810
 (203) 297-6345

NEW YORK SMSA
 LIMITED PARTNERSHIP
 d/b/a
verizon
 WIRELESS

4 CENTEROCK ROAD
 WEST NYACK, NY 10994

GLENACOM LAKE

ZONING DRAWINGS

10	03/03/23	ISSUED FOR ZONING
9	02/24/23	ISSUED FOR ZONING
8	02/14/23	ISSUED FOR ZONING
7	01/26/23	ISSUED FOR ZONING
6	12/22/22	ISSUED FOR ZONING
5	12/02/22	ISSUED FOR ZONING
4	11/22/22	ISSUED FOR ZONING
3	11/04/22	ISSUED FOR ZONING
2	10/26/22	ISSUED FOR ZONING

Dewberry
 Dewberry Engineers Inc.
 600 PARSIPPANY ROAD
 SUITE 301
 PARSIPPANY, NJ 07054
 PHONE: 973.739.9400
 FAX: 973.739.9710

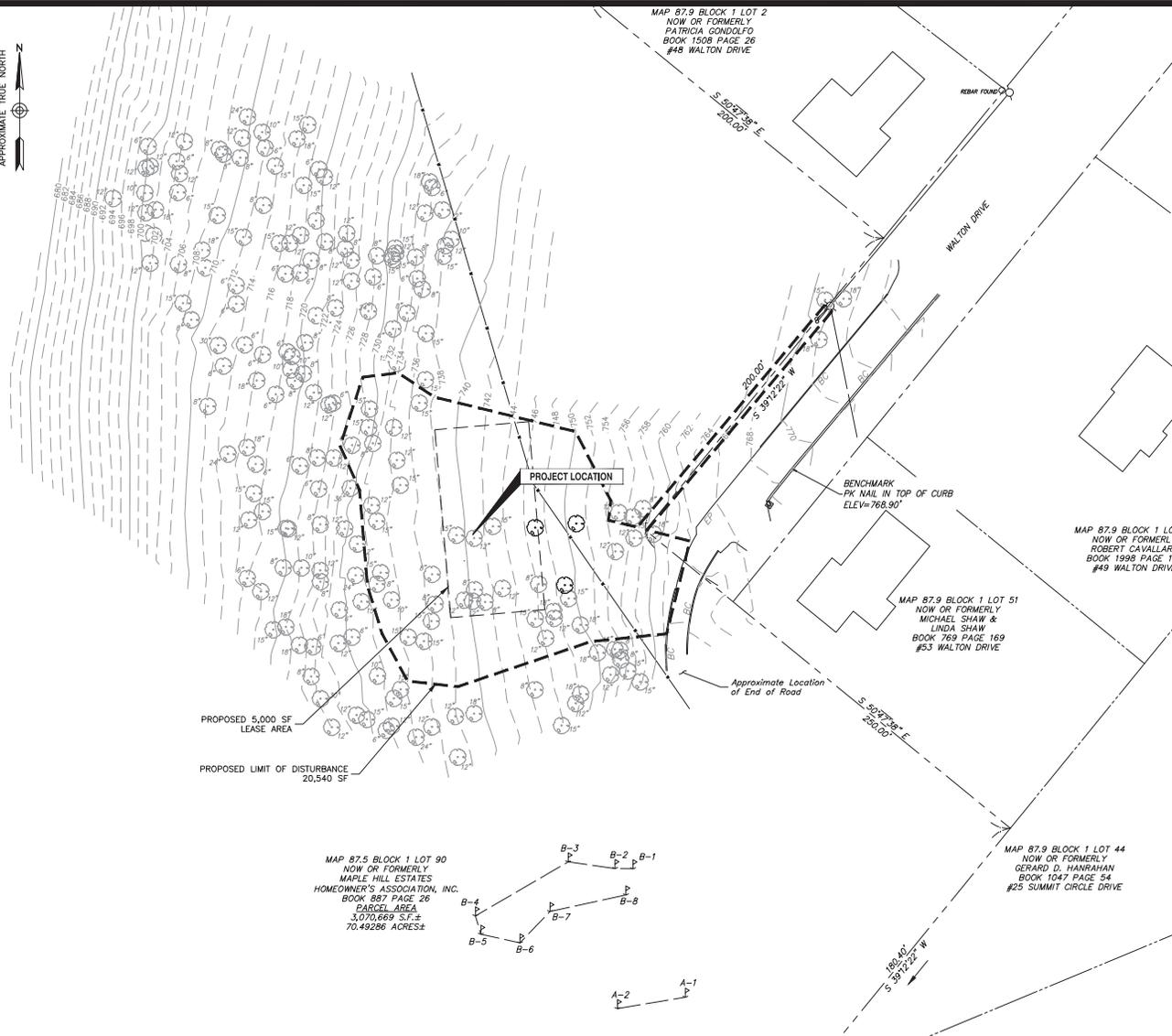
STATE OF NEW YORK
 DAVID REVETTE, P.E.
 NY LICENSE No. 101758

DRAWN BY:	JC/KFM
REVIEWED BY:	MS
CHECKED BY:	DER
PROJECT NUMBER:	50114387
JOB NUMBER:	50114388
SITE ADDRESS:	

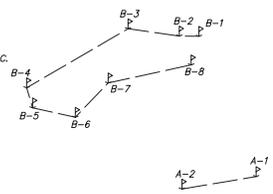
WALTON DRIVE
 MAHOPAC, NY 10541
 PUTNAM COUNTY

SHEET TITLE	SITE PLAN
SHEET NUMBER	

APPROXIMATE TRUE NORTH



MAP 87.5 BLOCK 1 LOT 90
NOW OR FORMERLY
MAPLE HILL ESTATES
HOMEOWNERS ASSOCIATION, INC.
BOOK 887 PAGE 26
PARCEL AREA
3.070369 S.F. ±
70.49286 ACRES ±



EXISTING CONDITIONS PLAN

SCALE: 1"=60' FOR 11"x17"
1"=30' FOR 22"x34"



1

NOTES:

- EXISTING CONDITIONS PLAN IS BASED ON A SURVEY BY LANGAN ENGINEERING DATED 04/10/18.
- THE SURVEY IS BASED UPON EXISTING PHYSICAL CONDITIONS AT THE SUBJECT SITE, DEED INFORMATION AND THE FOLLOWING REFERENCES:
 - MAP TITLED "FINAL SUBDIVISION PLAT OF MAPLE HILL ESTATES, SITUATE IN TOWN OF CARMEL, COUNTY OF PUTNAM, STATE OF NEW YORK", SCALE: 1"=100', DATED: MAY 22, 1985, PREPARED BY: CASHIN ASSOCIATES, P.C.
- THE MERIDIAN OF THIS SURVEY IS REFERENCED TO NEW YORK EAST STATE PLANE COORDINATE SYSTEM NAD 83 AS ESTABLISHED THROUGH GPS METHODS.
- ELEVATIONS SHOWN ARE REFERENCED TO NAVD 88, AS ESTABLISHED THROUGH GPS METHODS.
- PLANIMETRIC AND TOPOGRAPHIC INFORMATION SHOWN HEREON HAS BEEN OBTAINED FROM GROUND SURVEYS AND LANDSCAPE ARCHITECTURE, DPC FIELD WORK COMPLETED DURING THE MONTH OF APRIL, 2018.
- AS PER THE NATIONAL FLOOD INSURANCE PROGRAM FIRM MAP ENTITLED "PUTNAM COUNTY, NEW YORK PANEL 226 OF 256, MAP NUMBER 36079C0226E, EFFECTIVE DATE MARCH 4, 2013" THE PROJECT AREA IS IN ZONE X (UNSHADED).
- UNLESS SPECIFICALLY NOTED HEREON, STORM AND SANITARY SEWER INFORMATION (INCLUDING PIPE INVERT, PIPE MATERIAL, AND PIPE SIZE) WAS OBSERVED AND MEASURED AT FIELD LOCATED STRUCTURES (MANHOLES/CATCH BASINS, ETC) CONDITIONS CAN VARY FROM THOSE ENCOUNTERED AT THE TIMES WHEN AND LOCATIONS WHERE DATA IS OBTAINED DESPITE MEETING THE REQUIRED STANDARD OF CARE. THE SURVEYOR CANNOT AND DOES NOT WARRANT THAT PIPE MATERIAL AND/OR PIPE SIZE THROUGHOUT THE PIPE RUN ARE THE SAME AS THOSE OBSERVED AT EACH STRUCTURE, OR THAT THE PIPE RUN IS STRAIGHT BETWEEN THE LOCATED STRUCTURES.
- ADDITIONAL UTILITY (WATER, GAS, ELECTRIC ETC.) DATA IS SHOWN FROM FIELD LOCATED SURFACE MARKINGS (BY OTHERS), EXISTING STRUCTURES, AND/OR FROM EXISTING DRAWINGS.
- UNLESS SPECIFICALLY NOTED HEREON, THE SURVEYOR HAS NOT EXCAVATED TO PHYSICALLY LOCATE THE UNDERGROUND UTILITIES. THE UTILITIES ARE EITHER IN SERVICE, ABANDONED OR SUITABLE FOR USE, NOR ARE IN THE EXACT LOCATION OR CONFIGURATION INDICATED HEREON.
- ALL BUILDINGS AND STRUCTURES WERE LOCATED AND MEASURED AT GROUND LEVEL. THE SURVEYOR MAKES NO DETERMINATIONS OR GUARANTEES AS TO THE ABSENCE, EXISTENCE OR LOCATIONS OF UNDERGROUND STRUCTURES, FOUNDATIONS, FOOTINGS, PROJECTIONS, WALLS, TANKS, SEPTIC SYSTEMS, ETC. NO TEST PITS, EXCAVATIONS OR GROUND PENETRATING RADAR WERE PERFORMED AS PART OF THIS SURVEY.
- PRIOR TO ANY DESIGN OR CONSTRUCTION, THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
- WETLANDS DELINEATED BY OTHERS.

HOMELAND TOWERS, LLC
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verizon
WIRELESS

4 CENTERCROSS ROAD
WEST NYACK, NY 10994

GLENACOM LAKE

ZONING DRAWINGS

10	03/03/23	ISSUED FOR ZONING
9	02/24/23	ISSUED FOR ZONING
8	02/14/23	ISSUED FOR ZONING
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2	10/26/22	ISSUED FOR ZONING

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FAX: 973.739.9710

DAVID REVETTE, P.E.
NY LICENSE No. 101758

DRAWN BY:	JC/KFM
REVIEWED BY:	MS
CHECKED BY:	DER
PROJECT NUMBER:	50114387
JOB NUMBER:	50114388
SITE ADDRESS:	

WALTON DRIVE
MAHOPAC, NY 10541
PUTNAM COUNTY

SHEET TITLE
EXISTING CONDITIONS PLAN

SHEET NUMBER

APPROXIMATE TRUE NORTH

TREES TO BE REMOVED	
SIZE/CALIPER (IN)	QTY
6"	1
8"	7
10"	1
12"	11
15"	13
18"	3
TOTAL	36

NOTES:

- NORTH SHOWN AS APPROXIMATE.
- SOME EXISTING AND PROPOSED INFORMATION NOT SHOWN FOR CLARITY.
- THE FACILITIES WILL BE SURROUNDED BY AN 8-FOOT TALL CHAIN LINK SECURITY FENCE WITH EVERGREEN SLATS.
- THE FACILITIES SECURITY AND OTHER LIGHTING SYSTEMS WILL BE DESIGNED, INSTALLED AND MAINTAINED IN SUCH MANNER (THROUGH MOTION DETECTION, AUTOMATIC SHUT-OFF, PROJECTING DOWNWARD, SHIELDING, AND MINIMUM WATTAGE) AS TO MINIMIZE OR ELIMINATE LIGHT POLLUTION.
- THE FACILITIES WILL BE DESIGNED, INSTALLED AND MAINTAINED IN SUCH A MANNER AS TO MINIMIZE OR ELIMINATE NOISE POLLUTION.
- THE COLOR OF THE MONOPOLE TOWER SHALL BE BROWN.
- MONOPOLE & MONOPOLE FOUNDATION TO BE INSTALLED IN ACCORDANCE WITH THE TOWER & FOUNDATION DESIGN DRAWINGS BY AMBR STRUCTURES DATED 07/02/2020.
- ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSTALLED IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLANS COMPLETED BY DEWBERRY ENGINEERS INC. DATED 11/20/20. CONTRACTOR TO REFERENCE BOTH THESE PLANS & THE SWPPP WHEN SUBMITTING BID.
- CONTRACTOR SHALL CONTACT "DIG SAFELY NEW YORK, INC." AT 811 OR 1-800-272-4480 AND LOCATE ALL EXISTING UTILITIES WITHIN THE AREA OF WORK PRIOR TO THE START OF ANY EXCAVATION.
- ALL PLANTING SHOULD BE VERIFIED BY THE TOWN OF CARMEL WETLANDS INSPECTOR AND ALL PLANTINGS SHOULD BE INSTALLED PER §142 OF THE TOWN OF CARMEL TOWN CODE.

MAP 87.5 BLOCK 1 LOT 90
NOW OR FORMERLY
MAPLE HILL ESTATES
HOMEOwner'S ASSOCIATION, INC.
BOOK 887 PAGE 26
PARCEL AREA
3,070,669 S.F. ±
70.49286 ACRES ±

PARTIAL SITE PLAN

SCALE: 1"=40' FOR 11"x17"
1"=20' FOR 22"x34"



1

HOMELAND TOWERS, LLC
9 HARMONY STREET
2nd FLOOR
DANBURY, CT 06810
(203) 297-6345

**NEW YORK SMSA
LIMITED PARTNERSHIP**
d/b/a
verizon
WIRELESS

4 CENTERCROSS ROAD
WEST NYACK, NY 10994

GLENACOM LAKE

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STATE OF NEW YORK
DAVID REVETTE, P.E.
NY LICENSE No. 101758

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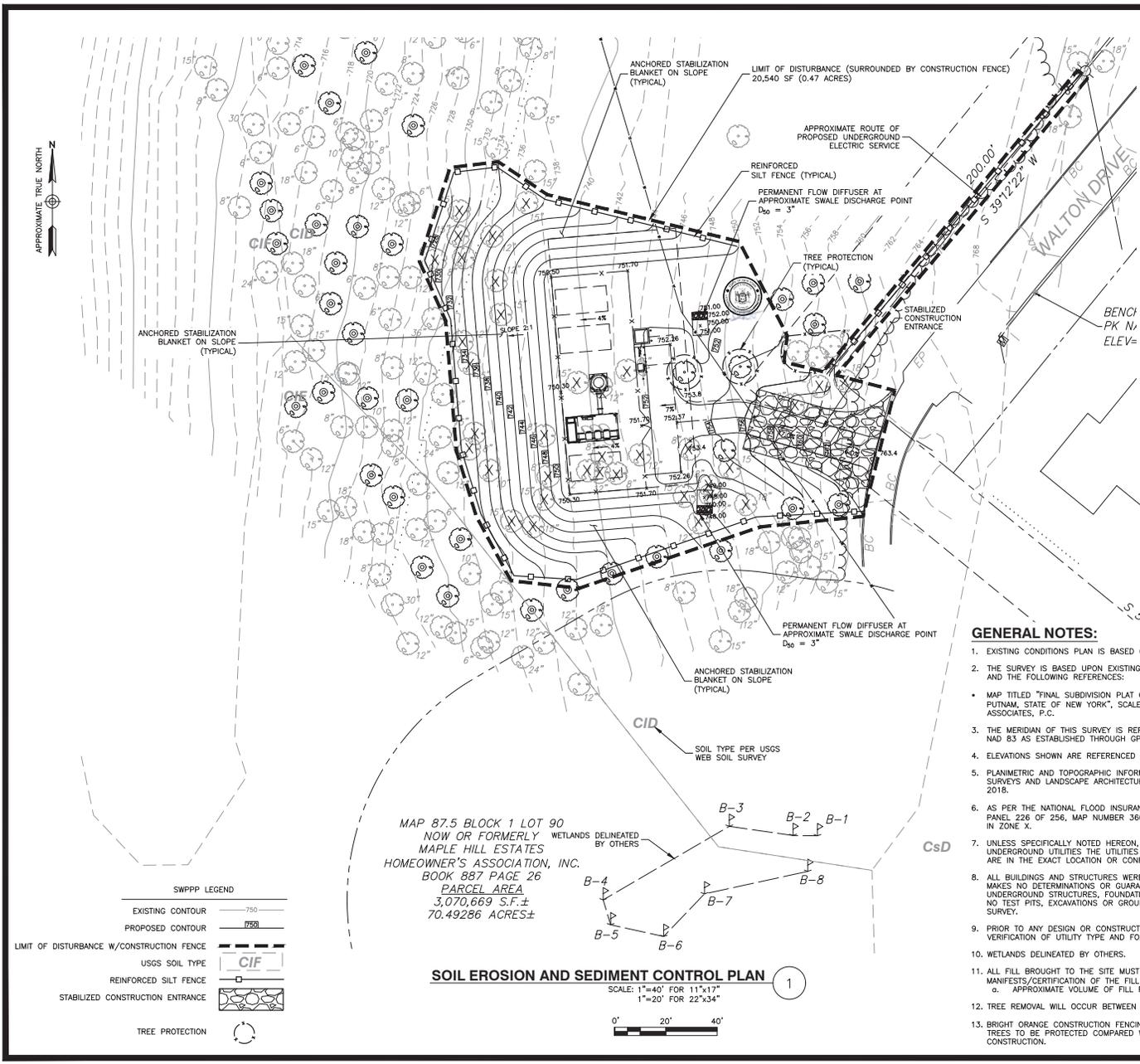
WALTON DRIVE
MAHOPAC, NY 10541
PUTNAM COUNTY

SHEET TITLE

PARTIAL SITE PLAN

SHEET NUMBER

Z-8



SEQUENCE OF OPERATIONS

- 1. Pre-Construction Activities**
- Conduct pre-construction meeting.
 - Identify contractor / subcontractor trained contractor responsible for implementation of the SWPPP and provide certification (see Appendix F for a copy of the certification).
 - Identify on site and downstream surface water bodies and install controls to protect them from sedimentation.
 - Establish temporary storm construction entrance pad to capture mud and debris from the tires of construction vehicles.
 - Install perimeter sediment controls such as silt fences, as shown on the project plans.
 - Install temporary construction fencing as shown on the project plan or as directed by the site engineer.
 - All earth disturbances during this phase should be limited to work necessary to install erosion and sedimentation controls.
 - Owner's qualified inspector to inspect completed erosion and sediment control measures as required.
- 2. During Construction Activities**
- Stabilize soils with seed and mulch and plantings upon completion of work and at the end of each phase. The maximum time limit for any soil exposure shall be 7 days.
 - Maintain soil erosion and sediment control measures throughout construction phase. Remove phased measures as appropriate at the end of phase.
 - Completely stabilize with seed, mulch, plantings and other measures or impervious cover.
 - The applicant or developer or their representative shall be on site at all times when construction or grading activity takes place and shall inspect and document the effectiveness of all erosion and sediment control practices per NYS DEC requirements.
- 3. Post-Construction Activities**
- Ensure that all surfaces are completely stabilized with seed and mulch or impervious cover. Do not leave any exposed soil.
 - After site work is completed perform routine inspection and maintenance and insure proper vegetative cover is maintained at the site.
 - Remove temporary erosion and sediment control measures.
 - Submit Notice of Termination.

Total Disturbance: 20,540 SF

MAP 87.9 BLOCK 1 LOT 51
NOW OR FORMERLY
MICHAEL SHAW &
LINDA SHAW
BOOK 769 PAGE 169
#53 WALTON DRIVE

GENERAL NOTES:

- EXISTING CONDITIONS PLAN IS BASED ON A SURVEY BY LANGAN ENGINEERING DATED 04/10/18.
- THE SURVEY IS BASED UPON EXISTING PHYSICAL CONDITIONS AT THE SUBJECT SITE, DEED INFORMATION AND THE FOLLOWING REFERENCES:
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- ELEVATIONS SHOWN ARE REFERENCED TO NAVD 88, AS ESTABLISHED THROUGH GPS METHODS.
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- PRIOR TO ANY DESIGN OR CONSTRUCTION, THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
- WETLANDS DELINEATED BY OTHERS.
- ALL FILL BROUGHT TO THE SITE MUST BE CERTIFIED PER NYSDEC REGULATIONS AND MANIFESTS/CERTIFICATION OF THE FILL MATERIAL BEING DELIVERED SHOULD BE PROVIDED.
 - a. APPROXIMATE VOLUME OF FILL REQUIRED TO ESTABLISH PROPOSED GRADES: 3,346 CUBIC YARDS.
- TREE REMOVAL WILL OCCUR BETWEEN OCTOBER 1 AND MARCH 31, WHEN BATS ARE IN HIBERNATION; AND
- BRIGHT ORANGE CONSTRUCTION FENCING AND/OR FLAGGING (OR SIMILAR) WILL BE USED TO DEMARCAT TRESSES TO BE PROTECTED COMPARED WITH THOSE TO BE CUT PRIOR TO THE INITIATION OF ANY CONSTRUCTION.

HOMELAND TOWERS, LLC
9 HARMONY STREET
2ND FLOOR
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verizon
WIRELESS

4 CENTERCROSS ROAD
WEST NYACK, NY 10994

GLENACOM LAKE

ZONING DRAWINGS

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8	02/14/23	ISSUED FOR ZONING
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3	11/04/22	ISSUED FOR ZONING
2	10/26/22	ISSUED FOR ZONING

Dewberry
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FAX: 973.739.9710

DAVID REVETTE, P.E.
NY LICENSE No. 101758

DRAWN BY: JC/KFM

REVIEWED BY: MS

CHECKED BY: DER

PROJECT NUMBER: 50114387

JOB NUMBER: 50114388

SITE ADDRESS:

WALTON DRIVE
MAHOPAC, NY 10541
PUTNAM COUNTY

SHEET TITLE
SOIL EROSION AND
SEDIMENT CONTROL
PLAN

SHEET NUMBER

HOMELAND TOWERS, LLC
 9 HARMONY STREET
 2nd FLOOR
 DANBURY, CT 06810
 (203) 297-6345

NEW YORK SMSA
 LIMITED PARTNERSHIP



4 CENTERCROK ROAD
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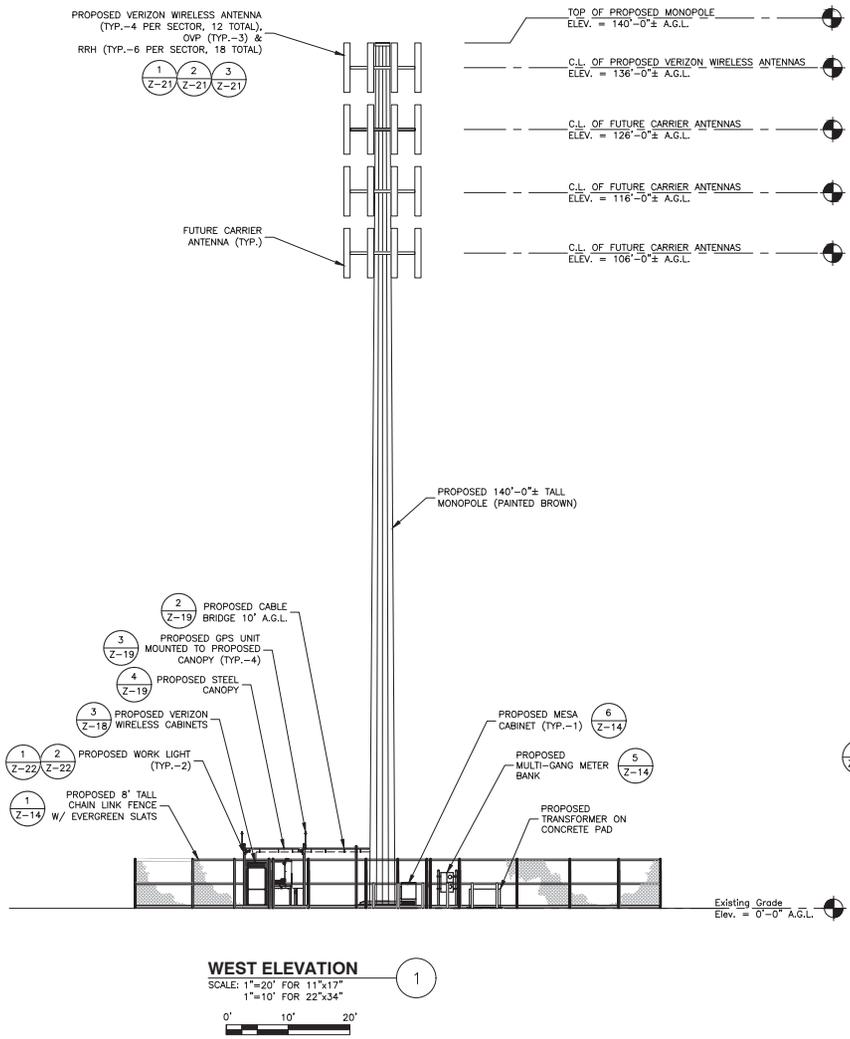
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WALTON DRIVE
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 PUTNAM COUNTY

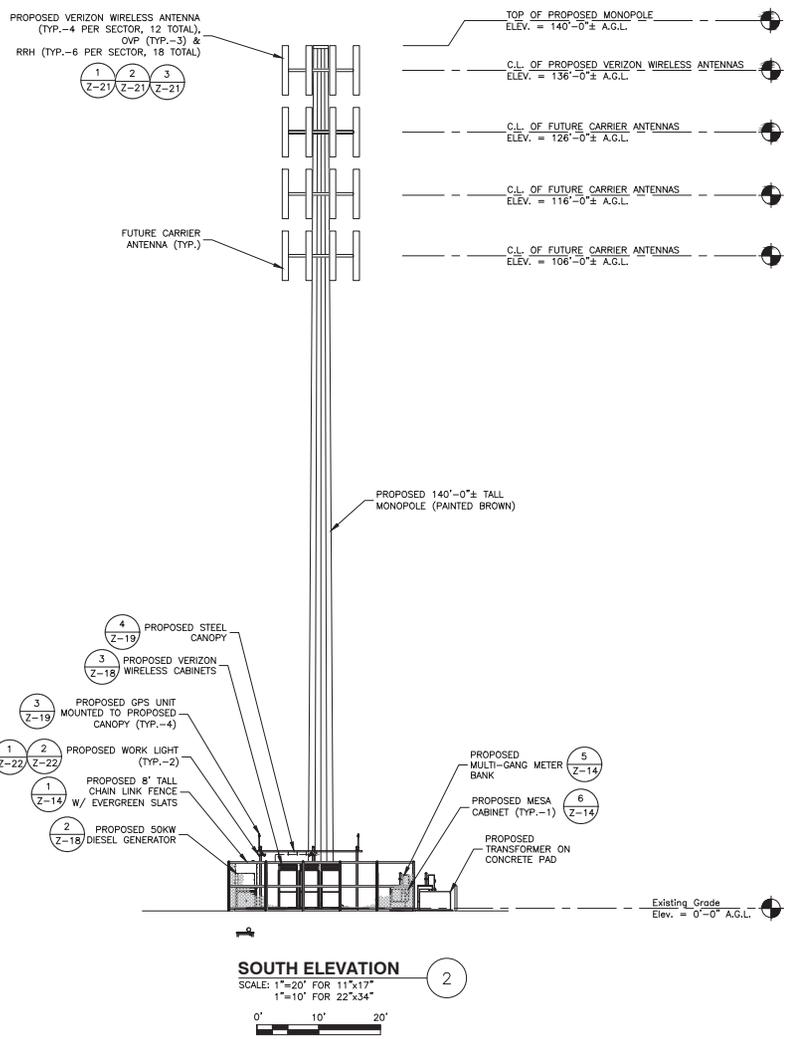
SHEET TITLE

ELEVATIONS-1

SHEET NUMBER

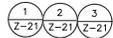


WEST ELEVATION
 SCALE: 1"=20' FOR 11"x17"
 1"=10' FOR 22"x34"
 0' 10' 20'

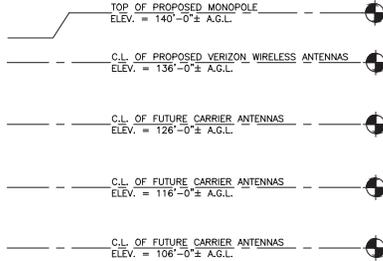


SOUTH ELEVATION
 SCALE: 1"=20' FOR 11"x17"
 1"=10' FOR 22"x34"
 0' 10' 20'

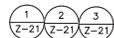
PROPOSED VERIZON WIRELESS ANTENNA
(TYP.-4 PER SECTOR, 12 TOTAL),
OVP (TYP.-3) &
RRH (TYP.-6 PER SECTOR, 18 TOTAL)



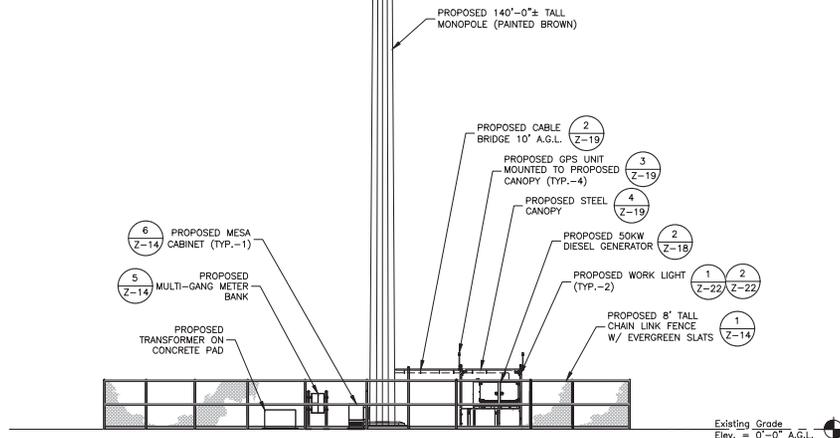
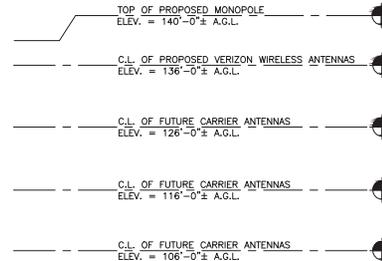
FUTURE CARRIER
ANTENNA (TYP.)



PROPOSED VERIZON WIRELESS ANTENNA
(TYP.-4 PER SECTOR, 12 TOTAL),
OVP (TYP.-3) &
RRH (TYP.-6 PER SECTOR, 18 TOTAL)

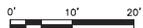


FUTURE CARRIER
ANTENNA (TYP.)

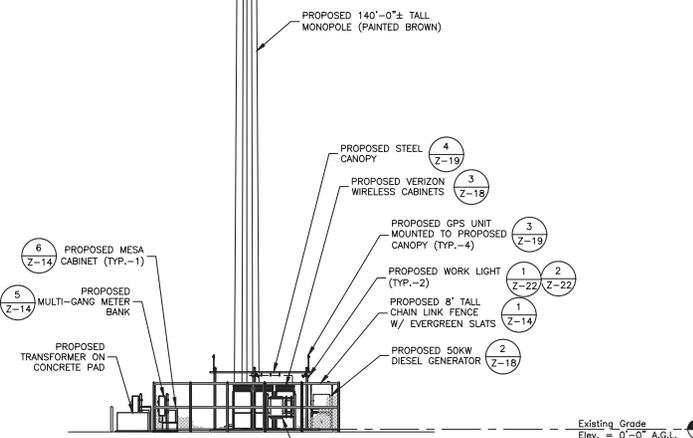


EAST ELEVATION

SCALE: 1"=20' FOR 11"x17"
1"=10' FOR 22"x34"

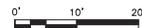


1



NORTH ELEVATION

SCALE: 1"=20' FOR 11"x17"
1"=10' FOR 22"x34"



2

HOMELAND TOWERS, LLC
9 HARMONY STREET
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NEW YORK SMSA
LIMITED PARTNERSHIP



4 CENTEROCK ROAD
WEST NYACK, NY 10994

GLENACOM LAKE

ZONING DRAWINGS

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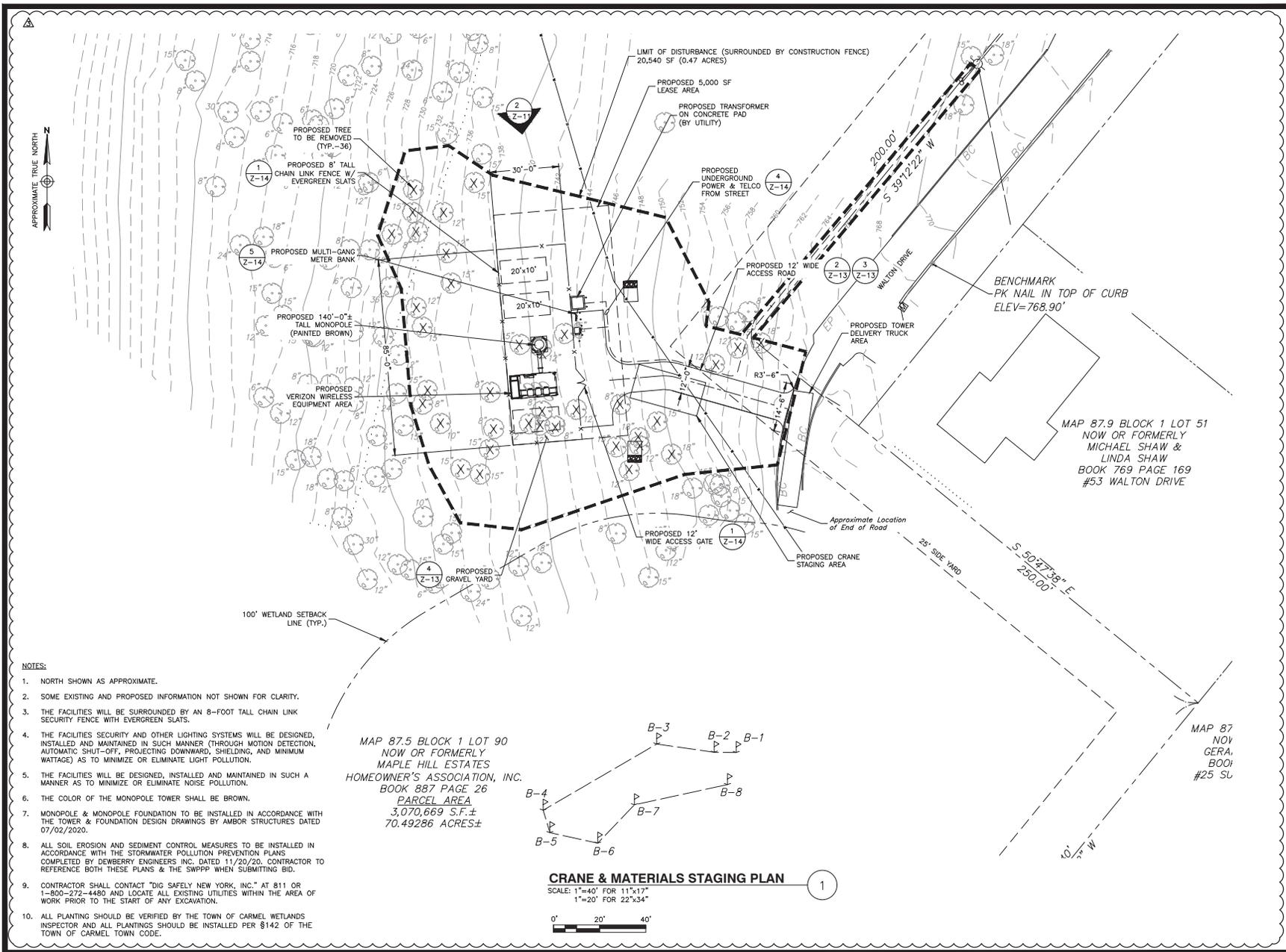
Dewberry[®]
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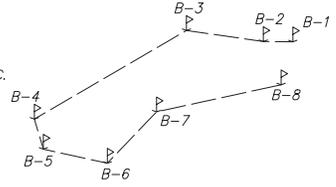
WALTON DRIVE
MAHOPAC, NY 10541
PUTNAM COUNTY

SHEET TITLE	ELEVATIONS-2
SHEET NUMBER	



- NOTES:**
1. NORTH SHOWN AS APPROXIMATE.
 2. SOME EXISTING AND PROPOSED INFORMATION NOT SHOWN FOR CLARITY.
 3. THE FACILITIES WILL BE SURROUNDED BY AN 8-FOOT TALL CHAIN LINK SECURITY FENCE WITH EVERGREEN SLATS.
 4. THE FACILITIES SECURITY AND OTHER LIGHTING SYSTEMS WILL BE DESIGNED, INSTALLED AND MAINTAINED IN SUCH MANNER (THROUGH MOTION DETECTION, AUTOMATIC SHUT-OFF, PROJECTING DOWNWARD, SHIELDING, AND MINIMUM WATTAGE) AS TO MINIMIZE OR ELIMINATE LIGHT POLLUTION.
 5. THE FACILITIES WILL BE DESIGNED, INSTALLED AND MAINTAINED IN SUCH A MANNER AS TO MINIMIZE OR ELIMINATE NOISE POLLUTION.
 6. THE COLOR OF THE MONOPOLE TOWER SHALL BE BROWN.
 7. MONOPOLE & MONOPOLE FOUNDATION TO BE INSTALLED IN ACCORDANCE WITH THE TOWER & FOUNDATION DESIGN DRAWINGS BY AMBOR STRUCTURES DATED 07/02/2020.
 8. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSTALLED IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLANS COMPLETED BY DEWBERRY ENGINEERS INC. DATED 11/20/20. CONTRACTOR TO REFERENCE BOTH THESE PLANS & THE SWPPP WHEN SUBMITTING BID.
 9. CONTRACTOR SHALL CONTACT "DIG SAFELY NEW YORK, INC." AT 811 OR 1-800-272-4480 AND LOCATE ALL EXISTING UTILITIES WITHIN THE AREA OF WORK PRIOR TO THE START OF ANY EXCAVATION.
 10. ALL PLANTING SHOULD BE VERIFIED BY THE TOWN OF CARMEL WETLANDS INSPECTOR AND ALL PLANTINGS SHOULD BE INSTALLED PER §142 OF THE TOWN OF CARMEL TOWN CODE.

MAP 87.5 BLOCK 1 LOT 90
 NOW OR FORMERLY
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 BOOK 887 PAGE 26
 PARCEL AREA
 3,070,669 S.F. ±
 70.49286 ACRES ±



CRANE & MATERIALS STAGING PLAN 1
 SCALE: 1"=40' FOR 11"x17"
 1"=20' FOR 22"x34"
 0' 20' 40'

MAP 87.9 BLOCK 1 LOT 51
 NOW OR FORMERLY
 MICHAEL SHAW &
 LINDA SHAW
 BOOK 769 PAGE 169
 #53 WALTON DRIVE

verizon WIRELESS
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3	11/04/22	ISSUED FOR ZONING
2	10/26/22	ISSUED FOR ZONING

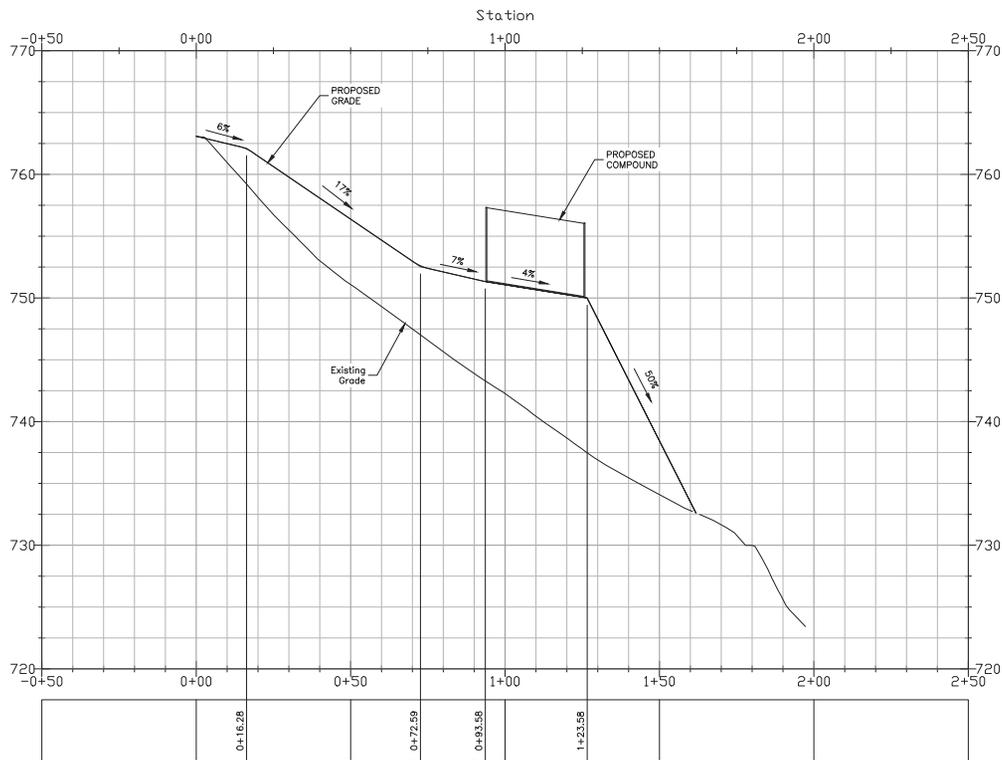
Dewberry
 Dewberry Engineers Inc.
 600 PARSIPPANY ROAD
 SUITE 301
 PARSIPPANY, NJ 07054
 PHONE: 973.739.9400
 FAX: 973.739.9710

STATE OF NEW JERSEY
 DAVID REVETTE, P.E.
 NY LICENSE No. 101758

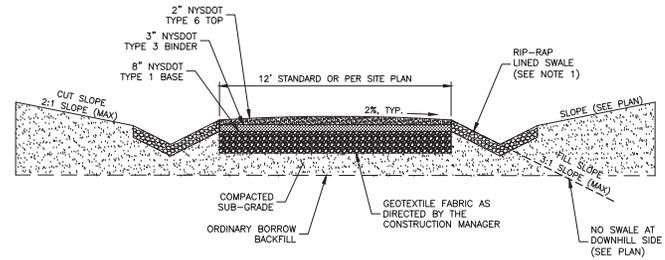
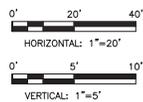
DRAWN BY:	JC/KFM
REVIEWED BY:	MS
CHECKED BY:	DER
PROJECT NUMBER:	50114387
JOB NUMBER:	50114388
SITE ADDRESS:	

WALTON DRIVE
 MAHOPAC, NY 10541
 PUTNAM COUNTY

SHEET TITLE	CRANE & MATERIALS STAGING PLAN
SHEET NUMBER	



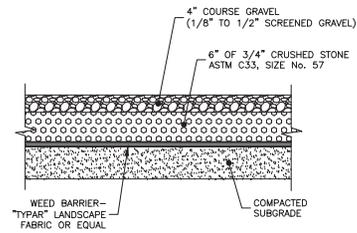
ACCESS DRIVEWAY PROFILE 1
 SCALE: HORIZONTAL: 1"=20'
 VERTICAL: 1"=5'



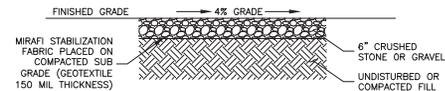
NOTES:

1. LINE SWALE WITH RIP-RAP 6" MIN. DIA. LOCATION AS NOTED ON PLANS.
2. SUBGRADE AND FILL SHALL CONSIST OF CLEAN SOIL. NO DELETERIOUS MATERIALS OR ORGANICS TO BE USED.
3. REMOVE MINIMUM OF 12" OF TOP SOIL AND ORGANICS BEFORE COMMENCING ACCESS ROAD.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CLEARING AND GRUBBING.
5. THE CONTRACTOR SHALL COMPLY WITH THE RECOMMENDATIONS CONTAINED WITHIN THE GEOTECHNICAL REPORT PREPARED FOR THIS SITE WHEN NECESSARY.
6. ALL GRANULAR FILL SHALL BE COMPACTED TO 95% STANDARD PROCTOR WITHIN 3% OF OPTIMUM MOISTURE CONTENT OR AS OTHERWISE DIRECTED BY THE GEOTECHNICAL ENGINEER.

ROAD CROSS SECTION WITH SWALES 2
 SCALE: N.T.S.



TEMPORARY GRAVEL ACCESS ROAD DETAIL 3
 SCALE: N.T.S.



GRAVEL YARD DETAIL 4
 SCALE: N.T.S.

HOMELAND TOWERS, LLC
 9 HARMONY STREET
 2nd FLOOR
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 (203) 297-6345

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 d/b/a
verizon
 WIRELESS

4 CENTERCROSS ROAD
 WEST NYACK, NY 10994

GLENACOM LAKE

ZONING DRAWINGS

10	03/03/23	ISSUED FOR ZONING
9	02/24/23	ISSUED FOR ZONING
8	02/14/23	ISSUED FOR ZONING
7	01/26/23	ISSUED FOR ZONING
6	12/22/22	ISSUED FOR ZONING
5	12/02/22	ISSUED FOR ZONING
4	11/22/22	ISSUED FOR ZONING
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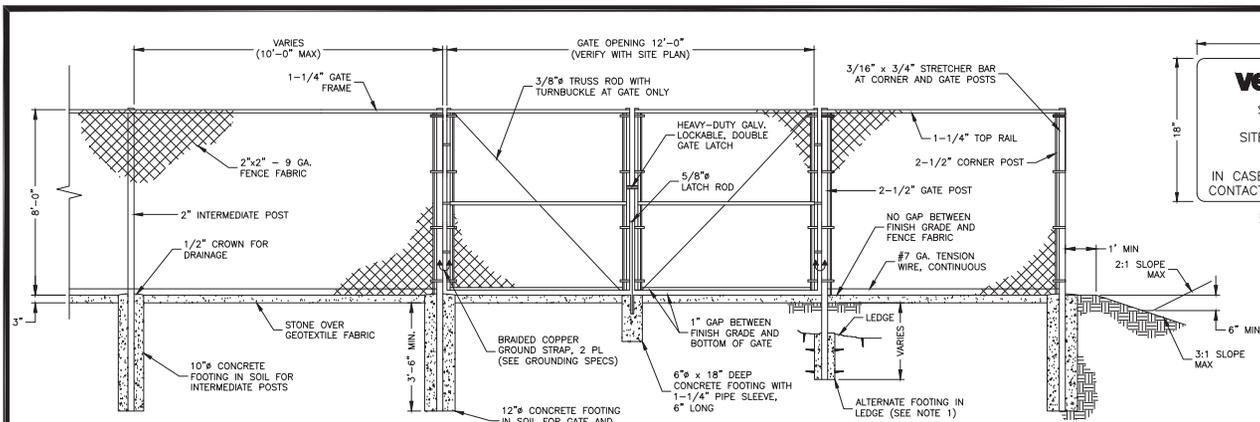


DAVID REVETTE, P.E.
 NY LICENSE No. 101758

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CHECKED BY:	DER
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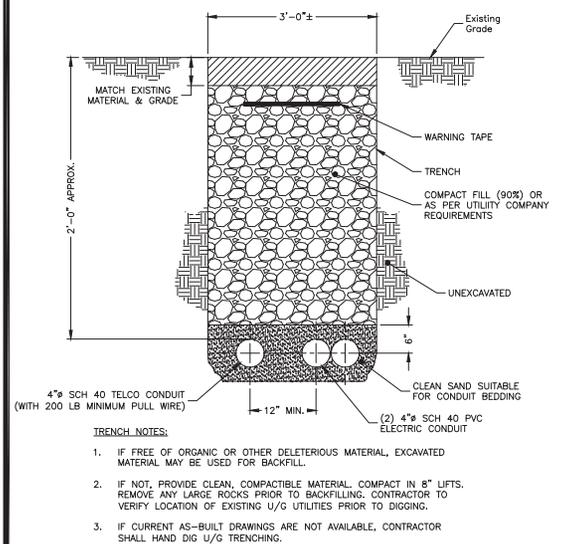
WALTON DRIVE
 MAHOPAC, NY 10541
 PUTNAM COUNTY

SHEET TITLE	ACCESS DRIVEWAY PROFILE & DETAILS
SHEET NUMBER	

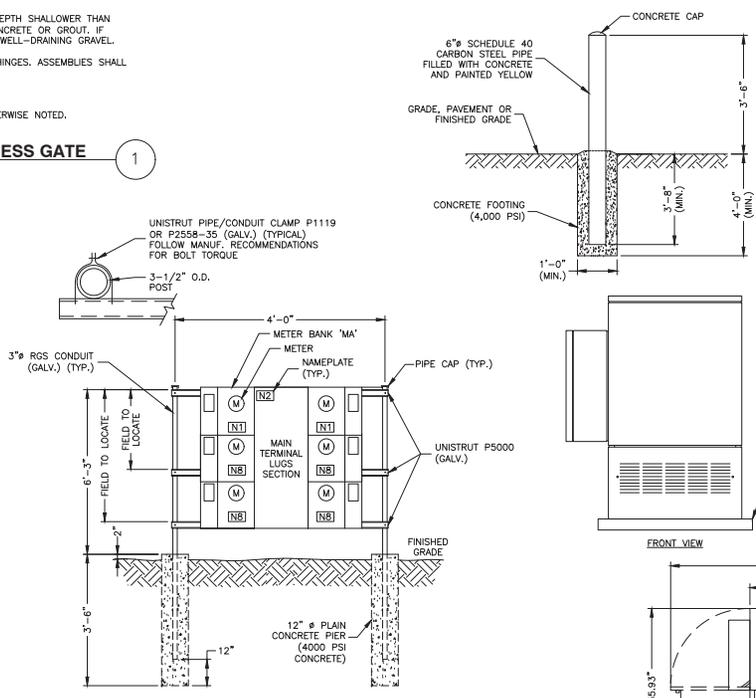


- FENCE NOTES:**
1. ALTERNATE FOOTINGS FOR ALL FENCE POSTS IN LEDGE: IF LEDGE IS ENCOUNTERED AT GRADE, OR AT A DEPTH SHALLOWER THAN 3'-6", CORE DRILL AN 8" DIA HOLE 18" INTO THE LEDGE. CENTER POST IN THE HOLE AND FILL WITH CONCRETE OR GROUT. IF LEDGE IS BELOW FINISH GRADE, COAT BACKFILLED SECTION OF POST WITH COAL TAR, AND BACKFILL WITH WELL-DRAINING GRAVEL.
 2. ATTACH EACH GATE WITH 1-1/2" PAIR OF NON-LIFT-OFF TYPE, MALLEABLE IRON OR FORGING, PIN-TYPE HINGES. ASSEMBLIES SHALL ALLOW FOR 180° OF GATE TRAVEL.
 3. INSTALL SWALE AROUND COMPOUND (MIN. DEPTH: 6") TO ALLOW FOR DRAINAGE.
 4. CONCRETE FOOTINGS SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI UNLESS OTHERWISE NOTED.
 5. INSTALL PRIVACY EVERGREEN SLATS.

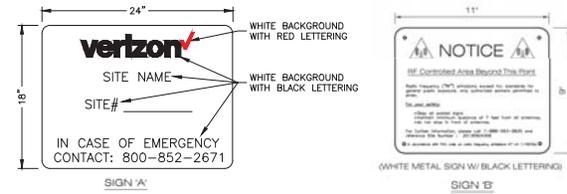
FENCE AND ACCESS GATE
SCALE: N.T.S. 1



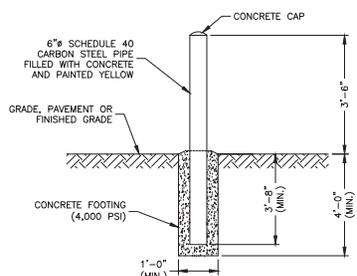
JOINT SERVICE TRENCH BURIED CONDUIT (ELECTRIC/TELEPHONE)
SCALE: N.T.S. 4



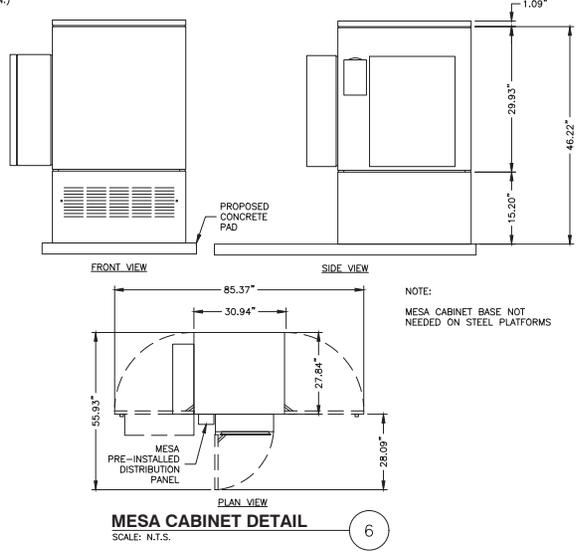
MULTIPLE POWER METER MOUNTING
SCALE: N.T.S. 5



SIGNAGE DETAIL
SCALE: N.T.S. 2



BOLLARD DETAIL
SCALE: N.T.S. 3



MESA CABINET DETAIL
SCALE: N.T.S. 6

HOMELAND TOWERS, LLC
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WEST NYACK, NY 10994

GLENACOM LAKE

ZONING DRAWINGS

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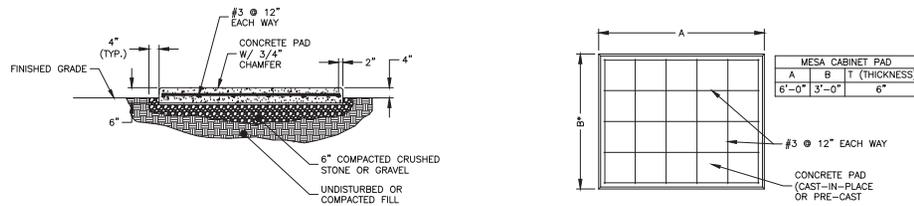
Dewberry
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PARSIPPANY, NJ 07054
PHONE: 973.739.9400
FAX: 973.739.9710

STATE OF NEW YORK
DAVID REVETTE, P.E.
NY LICENSE No. 101758

DRAWN BY:	JC/KFM
REVIEWED BY:	MS
CHECKED BY:	DER
PROJECT NUMBER:	50114387
JOB NUMBER:	50114388
SITE ADDRESS:	

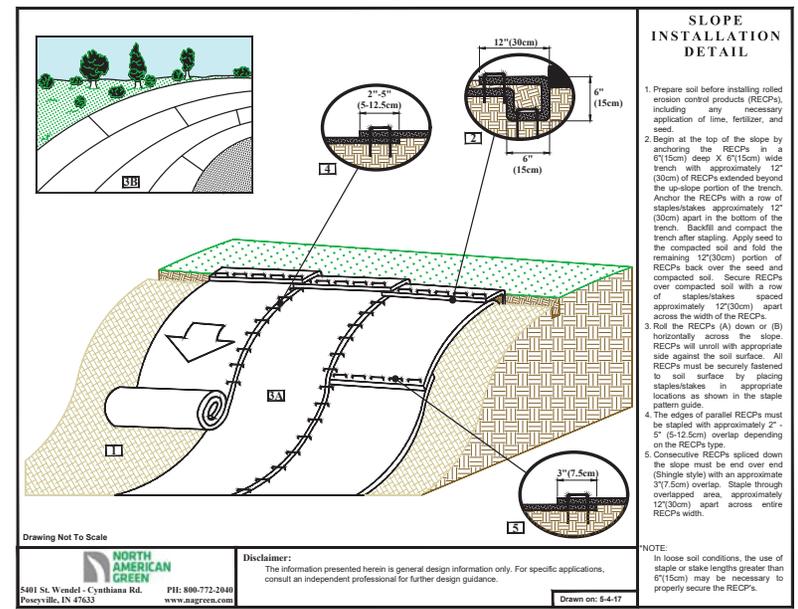
WALTON DRIVE
MAHOPAC, NY 10541
PUTNAM COUNTY

SHEET TITLE	CONSTRUCTION DETAILS
SHEET NUMBER	



- NOTES:
1. USE GALVANIZED HILTI EXPANSION ANCHORS (OR APPROVED EQUAL) FOR EQUIPMENT ANCHORAGE.
 2. VERIFY THE SIZE OF THE CABINET STAND WITH THE SUPPLIER & UTILITY.
 3. FOR SIZE AND LOCATION OF ANCHORS AND OTHER REQUIREMENTS, SEE EQUIPMENT VENDOR DRAWINGS.

OUTDOOR PAD FOR MINOR EQUIPMENT
SCALE: N.T.S.



Drawing Not To Scale

NORTH AMERICAN GREEN
5401 St. Wendel - Cynthia Rd. P.O. Box 1000
Poseyville, IN 47633 Phone: 800-772-2649 www.nagreen.com

Disclaimer:
The information presented herein is general design information only. For specific applications, consult an independent professional for further design guidance.

Drawn on: 5-4-17

- NOTE:
1. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSTALLED IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLANS COMPLETED BY DEWBERRY ENGINEERS INC. DATED 11/20/20. CONTRACTOR TO REFERENCE BOTH THESE PLANS & THE SWPPP WHEN SUBMITTING BID.

EROSION CONTROL BLANKET DETAIL
SCALE: N.T.S.

HOMELAND TOWERS, LLC
9 HARMONY STREET
2nd FLOOR
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(203) 297-6345

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verizon WIRELESS
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WEST NYACK, NY 10994

GLENACOM LAKE

ZONING DRAWINGS	
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STATE OF NEW YORK
DAVID REVETTE, P.E.
NY LICENSE No. 101758

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REVIEWED BY:	MS
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PROJECT NUMBER:	50114387
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SITE ADDRESS:	

WALTON DRIVE
MAHOPAC, NY 10541
PUTNAM COUNTY

SHEET TITLE
CONSTRUCTION DETAILS II
SHEET NUMBER

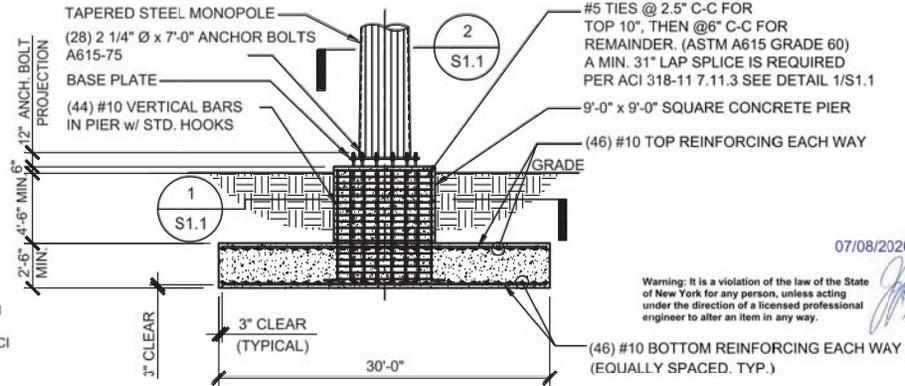
GENERAL NOTES:

- FOUNDATION DESIGN PER 2020 NEW YORK STATE BUILDING CODE (2018 INTERNATIONAL CODES) AND PER SOIL REPORT BY DELTA OAKS GROUP PROJECT NO.GEO20-06521-08 DATED JUNE 25, 2020.

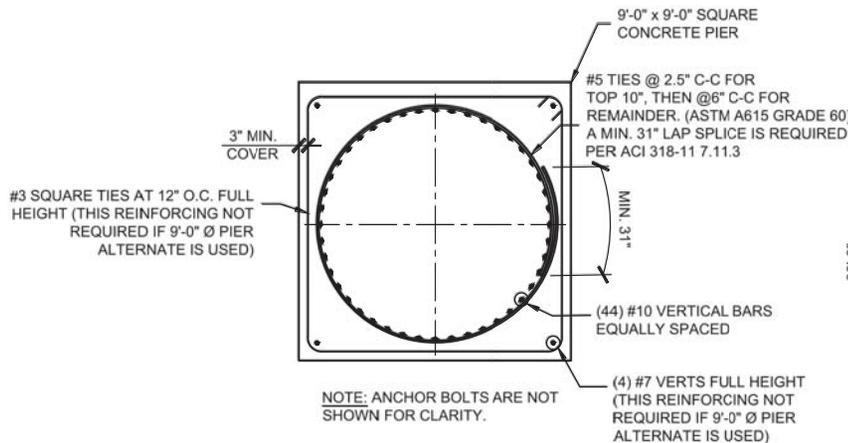
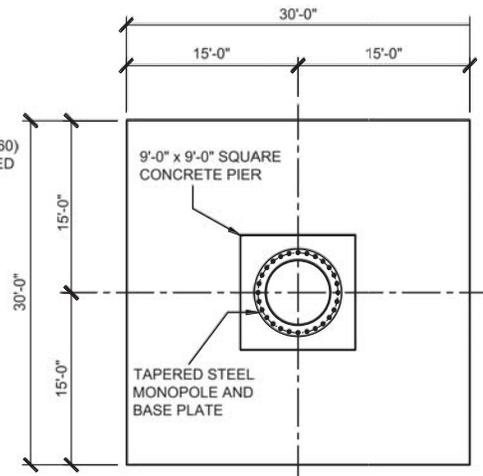
SOIL PARAMETERS:

TOP	BOT.	UNIT WT. (PCF)	NET ULTIMATE BEARING (PSF)	COHESION (PSF)	FRICTION ANGLE (DEG.)
0	0.3	105	-	0	0
0.3	2.0	105	-	0	28
2.0	5.0	125	-	0	36
5.0	7.0	120	30,000	0	35

- CONCRETE SHALL BE 4500 P.S.I. (MINIMUM) @ 28 DAYS COMPRESSIVE STRENGTH.
- FOUNDATION INSTALLATION SHALL BE OBSERVED BY AN ENGINEER FROM DELTA OAKS GROUP.
- MAT/PIER FOUNDATION INSTALLATION SHALL BE IN ACCORDANCE WITH ACI 318 LATEST EDITION.
- ALL REINFORCING SHALL BE A.S.T.M. A615 GRADE 60.
- REFER TO SOIL REPORT FOR PROPER PREPARATION AND INSTALLATION REQUIREMENTS.
- CONTRACTOR IS RESPONSIBLE FOR SHORING WORK ETC.



SPREAD FOUNDATION
NOT TO SCALE



SECTION 1
NOT TO SCALE
S1.1

SECTION 2
NOT TO SCALE
S1.1

NOTE:

- MONOPOLE FOUNDATION TO BE INSTALLED IN ACCORDANCE WITH THE TOWER & FOUNDATION DESIGN DRAWINGS BY AMBOR STRUCTURES DATED 07/02/2020.

FOUNDATION DESIGN 1
SCALE: N.T.S.



bennett & pless
Experience Structural Expertise
Atlanta, Georgia • Chattanooga, Tennessee
Boca Raton, Florida

750 Park of Commerce Dr., Suite 200
Boca Raton, Florida 33487
Tel 561 282 2676
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B & P Job Number 20.03.008.033



07/08/2020

Warning: It is a violation of the law of the State of New York for any person, unless acting under the direction of a licensed professional engineer to alter an item in any way.

Revisions:

NO.	DESCRIPTION	DATE
10	03/03/23	ISSUED FOR ZONING
9	02/24/23	ISSUED FOR ZONING
8	02/14/23	ISSUED FOR ZONING
7	01/26/23	ISSUED FOR ZONING
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4	11/22/22	ISSUED FOR ZONING
3	11/04/22	ISSUED FOR ZONING
2	10/26/22	ISSUED FOR ZONING

DATE: 07/07/2020

SITE NAME (LOCATION): NY054 GLENACOMA LAKE WALTON DRIVE, MAHOPAC, NEW YORK 10541

JOB NAME: MONOPOLE CELL TOWER - FOUNDATION DESIGN

DRAWING TITLE: SPREAD FOUNDATION DETAIL AND SECTION

DRAWN BY: CS

REVIEWED BY: JB

SCALE: NOT TO SCALE

SHEET NUMBER:
S-1.1

verizon WIRELESS
4 CENTERCROSS ROAD
WEST NYACK, NY 10994

GLENACOMA LAKE

ZONING DRAWINGS

NO.	DESCRIPTION	DATE
10	03/03/23	ISSUED FOR ZONING
9	02/24/23	ISSUED FOR ZONING
8	02/14/23	ISSUED FOR ZONING
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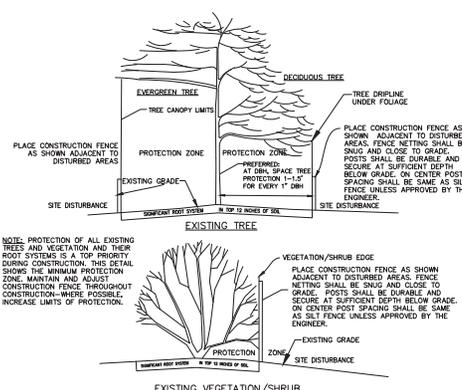


DAVID REVETTE, P.E.
NY LICENSE No. 101758

DRAWN BY: JC/KFM
REVIEWED BY: MS
CHECKED BY: DER
PROJECT NUMBER: 50114387
JOB NUMBER: 50114388
SITE ADDRESS:

WALTON DRIVE
MAHOPAC, NY 10541
PUTNAM COUNTY

SHEET TITLE
CONSTRUCTION
DETAILS III
SHEET NUMBER



1 TREE / VEGETATION PROTECTION CONSTRUCTION FENCE DETAILS
N.T.S.

SEDIMENT AND EROSION CONTROL NOTES

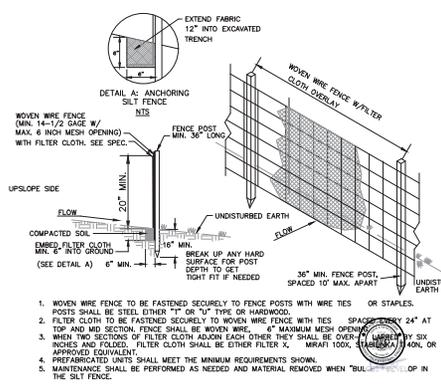
- INSTALL ALL SOIL EROSION CONTROLS REQUIRED BY THE CONTRACT BEFORE ANY CONSTRUCTION ACTIVITIES BEGIN. NOTIFY THE ENGINEER TO PERFORM A PRECONSTRUCTION STORMWATER INSPECTION. NO DISTURBANCE OF THE SITE SHALL OCCUR UNTIL STORMWATER AND EROSION CONTROL MEASURES ARE ACCEPTED BY THE ENGINEER.
- NECESSARY MEASURES SHALL BE TAKEN TO REDUCE THE DISTURBANCE OF EXISTING VEGETATED AREAS TO THE MINIMUM AS REQUIRED BY THE WORK. THESE MEASURES SHALL INCLUDE THE CLEAR MARKING OF ALL CONSTRUCTION LIMITS AND THE DELINEATION OF ALL VEGETATED AREAS TO BE PROTECTED SO AS TO EXCLUDE ALL EQUIPMENT.
- PROVIDE TEMPORARY SEEDING AND MULCH ON ANY AREA WHERE THE EXISTING VEGETATED COVER OR OTHER PROTECTIVE SURFACE HAS BEEN REMOVED OR SUBSTANTIALLY DISTURBED AND FURTHER WORK ON THAT AREA WILL NOT OCCUR WITHIN THE SUCCEEDING 14 CALENDAR DAYS.
- LIMIT ACCESS ON UNSTABILIZED SOIL SURFACES TO THOSE VEHICLES NECESSARY FOR THE WORK. DO NOT PARK EMPLOYEES' VEHICLES ON ERODIBLE SOIL SURFACES. STABILIZED AND PROTECT SOIL SURFACES TO MINIMIZE THE GENERATION OF DUST AND THE OFF-SITE VEHICLE TRACKING OF SOIL MATERIALS.
- THE CONDITION OF ALL EROSION CONTROL MEASURES IN THE CONSTRUCTION SITE SHALL BE JOINTLY INSPECTED AT LEAST ONCE EVERY WEEK BY THE CONTRACTOR. DEFICIENCIES FOUND SHALL BE CORRECTED WITHIN THREE CALENDAR DAYS OF INSPECTION.
- NO DEVIATIONS FROM THE DETAILS SHOWN SHALL BE ALLOWED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER.

WINTER STABILIZATION NOTES

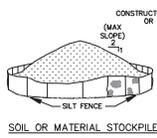
ALL EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED AND MAINTAINED ACCORDING TO THE NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.

1. SITE STABILIZATION - ALL BARE/EXPOSED SOILS SHALL BE STABILIZED BY AN ESTABLISHED VEGETATION, STRAW OR MULCH, MATTING, ROCK OR OTHER APPROVED PRODUCT SUCH AS ROLLED EROSION CONTROL PRODUCT. SEEDING OF AREAS ALONG WITH MULCHING MAY BE USED, HOWEVER SEEDING ALONE IS NOT CONSIDERED ACCEPTABLE FOR PROPER STABILIZATION.
2. SILT FENCE - SILT FENCE BARRIERS SHALL BE PROPERLY INSTALLED AT ALL LOCATIONS SHOWN ON THE CONTRACT DRAWINGS.
3. SLOPES - ALL SLOPES AND GRADES SHALL BE PROPERLY STABILIZED. ROLLED EROSION CONTROL PRODUCTS SHALL BE USED ON ALL SLOPES GREATER THAN 3:1 (H:V), OR AS CALLED FOR ON THE CONTRACT DRAWINGS.
4. SOIL STOCKPILES - STOCKPILED SOILS SHALL BE PROTECTED BY THE USE OF ESTABLISHED VEGETATION, AN ANCHORED-DOWN STRAW OR MULCH, ROLLED EROSION CONTROL PRODUCT OR OTHER DURABLE COVERING. A BARRIER SHALL BE INSTALLED AROUND THE PILE TO PREVENT ANY EROSION AWAY FROM THAT LOCATION.
5. CONSTRUCTION ENTRANCE - ALL ENTRANCE/EXIT LOCATIONS TO THE SITE SHALL BE PROPERLY STABILIZED AND MAINTAINED TO ACCOMMODATE SNOW MANAGEMENT AS SET FORTH IN THE NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
6. SNOW MANAGEMENT - SNOW MANAGEMENT SHALL NOT DESTROY OR DEGRADE EROSION AND SEDIMENT CONTROL PRACTICES.

FROZEN GROUND, WINTER CONDITIONS AND EQUIPMENT CAN AFFECT EROSION AND SEDIMENT CONTROL PRACTICES. CHECK FOR DAMAGE DURING MONTHLY INSPECTIONS AND REPAIR AS NECESSARY. THIS IS ESPECIALLY IMPORTANT DURING THAWS AND PRIOR TO SPRING RAIN EVENTS. WEEKLY INSPECTIONS SHALL RESUME NO LATER THAN MARCH 15 OR AS DIRECTED BY THE ENGINEER.

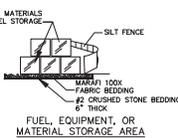


2 REINFORCED SILT FENCE DETAIL
N.T.S.



SOIL OR MATERIAL STOCKPILE

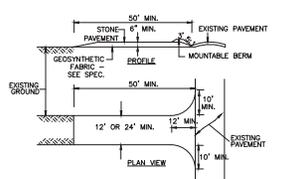
1. AREA CHOSEN FOR STOCKPILING SHOULD BE DRY AND STABLE. THE AREA SHALL NOT BE WITHIN THE DRIPLINE OR CANOPY OF TREES. THE LOCATION MUST BE PRE-APPROVED BY THE ENGINEER PRIOR TO DELIVERY OF ANY MATERIALS.
2. NO STOCKPILE AREA SHALL BE LOCATED WITHIN FIFTY (50) FEET OF SURFACE WATER, FLOODPLAIN, SLOPE, OR DRAINAGE FACILITY OR ROADWAY.
3. MAXIMUM SLOPE OF STOCKPILE SHALL BE 20:1 (H:V).
4. SILT FENCING SHALL BE PLACED FIVE (5)-FEET TOPSIDE OF EACH PILE. UPON COMPLETION OF SOIL STOCKPILES, THE FENCE SHALL BE STABILIZED WITH SEED AND MULCH IF NOT TO BE DISTURBED/ALTIIZED WITHIN FOURTEEN (14) CALENDAR DAYS.
5. SEE ADDITIONAL DETAILS FOR INSTALLATION OF SILT FENCE.
6. TEMPORARY PERIMETER DICES MAY BE REQUIRED TO DIRECT CLEAN RUNOFF FROM STOCKPILE AREAS.



FUEL, EQUIPMENT, OR MATERIAL STORAGE AREA

1. AREA CHOSEN FOR STORAGE OPERATIONS SHALL BE DRY AND STABLE. THE AREA SHALL NOT BE WITHIN THE DRIPLINE OR CANOPY OF TREES. THE LOCATION MUST BE PRE-APPROVED BY THE ENGINEER PRIOR TO DELIVERY OF ANY MATERIALS.
2. NO STOCKPILE AREA SHALL BE LOCATED WITHIN FIFTY (50) FEET OF SURFACE WATER, FLOODPLAIN, SLOPE, OR DRAINAGE FACILITY OR ROADWAY.
3. IF STABLE SURFACE NOT AVAILABLE, THE TOP SIX (6) INCHES OF NATIVE MATERIAL SHALL BE EXCAVATED FROM THE MATERIAL/FUEL STORAGE AREA AND STOCKPILED TO BE USED FOR RESTORATION OF THE AREA. IN THE AREA EXCAVATED, PLACE SEPARATION FABRIC AND SIX (6) INCHES OF #3 GROUNDSTONE BEDDING. SEE SPECIFICATIONS, IF APPROVED BY THE ENGINEER. USE OF EXISTING DRAINAGE MAY BE USED IN LIEU OF EXCAVATION, STONE, AND FABRIC.
4. SILT FENCING SHALL BE PLACED FIVE (5) FEET TOPSIDE OF STORAGE AREA.
5. TEMPORARY PERIMETER DICES MAY BE REQUIRED TO DIRECT CLEAN RUNOFF FROM STORAGE AREAS.
6. REMOVE ALL MATERIALS INCLUDING STONE AND FABRIC WHEN NEED FOR STORAGE IS OVER. RESTORE TO ORIGINAL GRADE WITH STOCKPILED EXCAVATED SOIL (NO FOREIGN DEBRIS) APPROVED BY THE ENGINEER.

5 CONSTRUCTION STOCKPILE / STORAGE AREA DETAILS
N.T.S.



CONSTRUCTION SPECIFICATIONS

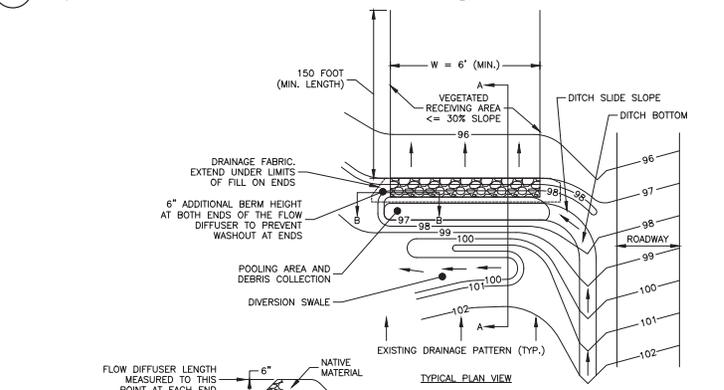
1. STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT MINIMUM LENGTH FOR SINGLE ENTRANCE TO SITE.
5. GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR BEING DIRECTED TO THE CONSTRUCTION ACCESS SHALL BE PIPED BEHIND THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH SIX (6) INCHES SHALL BE FURNISHED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WASHING IS REQUIRED - WASHING IS TO BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

6 STABILIZED CONSTRUCTION ENTRANCE DETAILS
N.T.S.

1. ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHALL BE PROTECTED DURING CLEARING AND CONSTRUCTION IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN UNTIL THEY ARE PERMANENTLY STABILIZED.
2. ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
3. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNT NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS.
4. AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
5. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF FOUR INCHES PRIOR TO PLACEMENT OF TOPSOIL.
6. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
7. ALL FILL SHALL BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
8. EXCEPT FOR APPROVED LANDFILLS, FILL MATERIAL SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
9. FROZEN MATERIALS OR SOFT, MUICY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED IN FILLS.
10. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
11. ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
12. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
13. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISHED GRADING.
14. STOCKPILES, BORROW AREAS AND SPOIL AREAS SHALL BE SHOWN ON THE PLANS AND SHALL BE SUBJECT TO THE PROVISIONS OF THIS STANDARD AND SPECIFICATION.

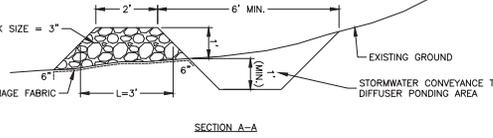
3 LANDGRADING SPECIFICATIONS
N.T.S.

4 LANDGRADING DETAIL
N.T.S.



FLOW DIFFUSER DETAIL

1. TYPICAL ELEVATIONS SHOWN HERE ARE TO ILLUSTRATE THE OPERATION OF THE FLOW DIFFUSER.
2. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSTALLED IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLANS COMPLETED BY DEWBERRY ENGINEERS INC. DATED 11/20/20, CONTRACTOR TO REFERENCE BOTH THESE PLANS & THE SWPPP WHEN SUBMITTING BID.



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HOMELAND TOWERS, LLC
9 HARMONY STREET
2nd FLOOR
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(203) 297-6345

NEW YORK SMSA
LIMITED PARTNERSHIP

d/b/a
verizon
WIRELESS

4 CENTERCROK ROAD
WEST NYACK, NY 10994

GLENACOM LAKE

ZONING DRAWINGS

10	03/03/23	ISSUED FOR ZONING
9	02/24/23	ISSUED FOR ZONING
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Dewberry
Dewberry Engineers Inc.

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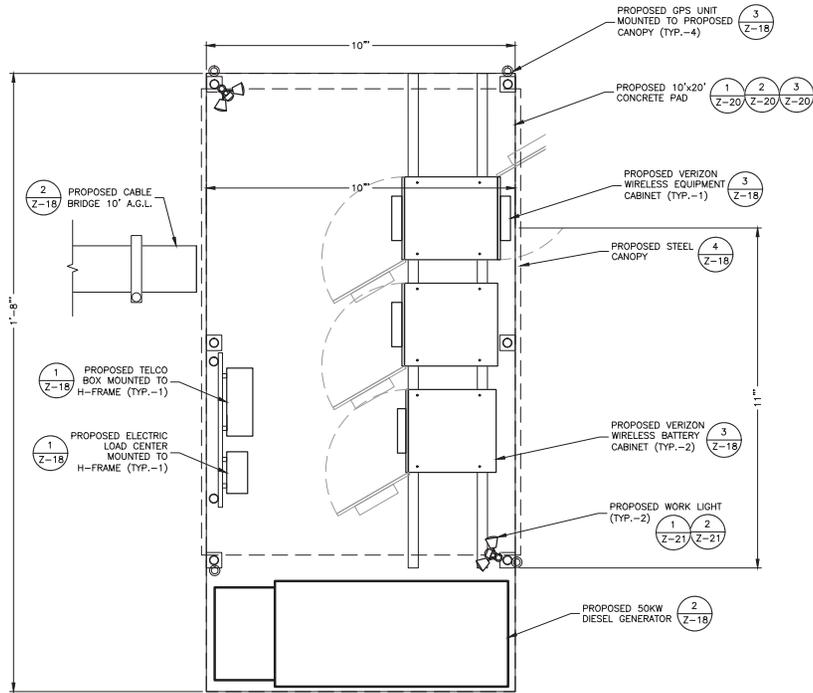
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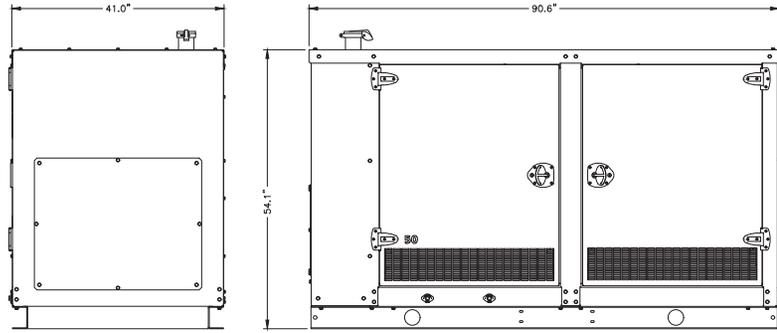
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PUTNAM COUNTY

EROSION CONTROL NOTES & DETAILS

SHEET NUMBER

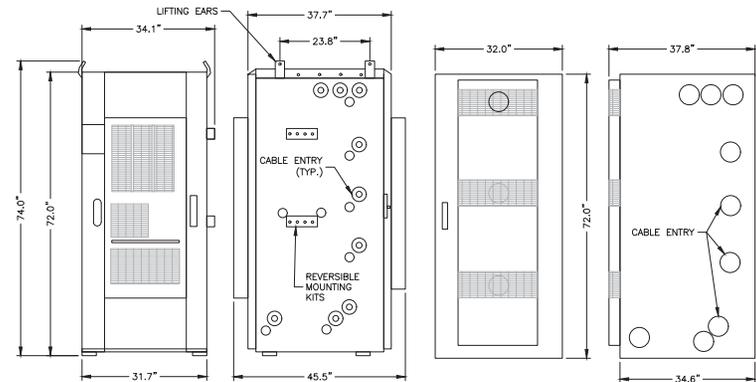


PROPOSED EQUIPMENT PLAN (1)
 SCALE: 1/4"=1' FOR 11"x17"
 1/2"=1' FOR 22"x34"
 0' 1' 2' 4'



KOHLER 50KW DIESEL GENERATOR MODEL S0RE02X	
HEIGHT:	54.1"
WIDTH:	41.0"
DEPTH:	90.6"
WEIGHT:	APPROX. 2369 LBS WITH ENCLOSURE (RECTIFIERS AND EQUIPMENT EXCLUDED)

DIESEL GENERATOR DETAIL (2)
 SCALE: N.T.S.



ESOF16-ECA01 (DC-AIR/DAC) POWER/EQUIPMENT	
HEIGHT:	72.0"
WIDTH:	31.7"
DEPTH:	45.5"
WEIGHT:	578 LBS (RECTIFIERS AND EQUIPMENT EXCLUDED)

ESOF024-ECx01 CABINET	
HEIGHT:	72.0"
WIDTH:	32.0"
DEPTH:	34.6"
WEIGHT:	APPROX. 690 LBS (RECTIFIERS AND EQUIPMENT EXCLUDED)

EQUIPMENT CABINET DETAIL (3)
 SCALE: N.T.S.

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ZONING DRAWINGS

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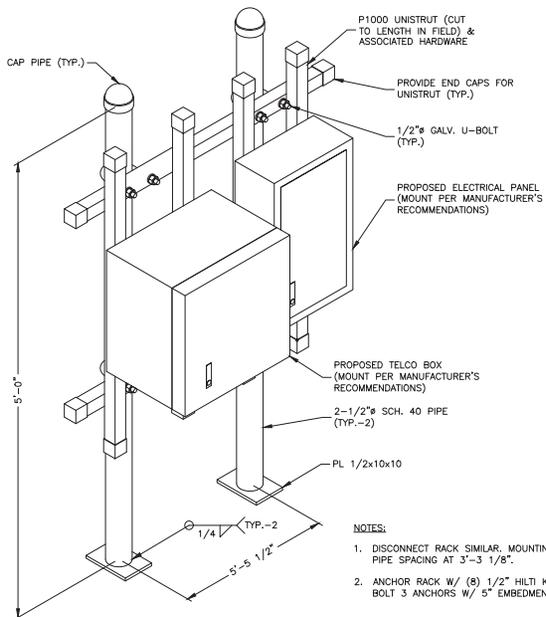
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 PUTNAM COUNTY

SHEET TITLE	VERIZON WIRELESS EQUIPMENT PLAN & DETAILS
SHEET NUMBER	Z-18

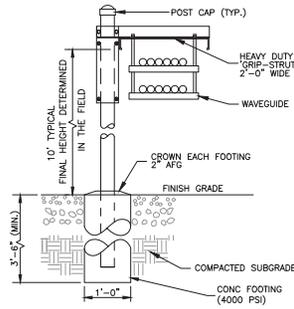


ELECTRIC/TELCO RACK DETAIL

SCALE: N.T.S.

1

- NOTES:
1. DISCONNECT RACK SIMILAR, MOUNTING PIPE SPACING AT 3"-3 1/8".
 2. ANCHOR RACK W/ (8) 1/2" HILT KWIK BOLT 3 ANCHORS W/ 5" EMBEDMENT.



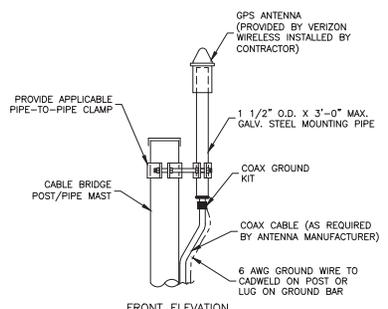
NOTES:

1. CABLE BRIDGE SHALL BE SITE PRO 1 GRIP STRUT TRANSMISSION LINE BRIDGE KIT (P/N: 1B24D-21613) OR APPROVED EQUAL.
2. ALL COMPONENTS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
3. CONTRACTOR SHALL DETERMINE REQUIRED QUANTITY OF ALL CABLE BRIDGE COMPONENTS.
4. SNAP-IN HANGERS, SPLICE KITS, HINGE KITS, EXTENSION KITS, STIFFENERS, AND OTHER MISCELLANEOUS HARDWARE SHALL BE PROVIDED BY THE CONTRACTOR AS REQUIRED.
5. CABLE BRIDGE SHALL BE ROUTED TO ACCOMMODATE THE MINIMUM BENDING RADIUS OF THE COAXIAL CABLE.
6. CABLE BRIDGE COMPONENTS SHOWN ARE SCHEMATIC, CONSULT MANUFACTURER FOR EXACT AND CURRENT SPECIFICATIONS.

CABLE BRIDGE DETAIL

SCALE: N.T.S.

2



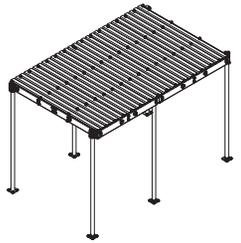
NOTES:

1. LOCATION OF ANTENNA MUST HAVE CLEAR VIEW OF SOUTHERN SKY AND CANNOT HAVE ANY BLOCKAGES EXCEEDING 25% OF THE SURFACE AREA OF A HEMISPHERE AROUND THE GPS ANTENNA.
2. ALL GPS ANTENNA LOCATIONS MUST BE ABLE TO RECEIVE CLEAR SIGNALS FROM A MINIMUM OF FOUR (4) SATELLITES. VERIFY WITH HANDHELD GPS BEFORE FINAL LOCATION OF GPS ANTENNA.

GPS ANTENNA

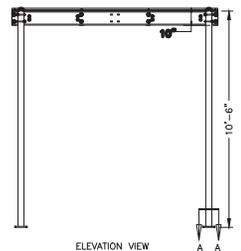
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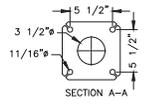


PERFECT VISION PV-WC1016-B

CANOPY DIMENSIONS	15'-1" X 10'-0"
WEIGHT	1777 LBS.



ELEVATION VIEW



SECTION A-A

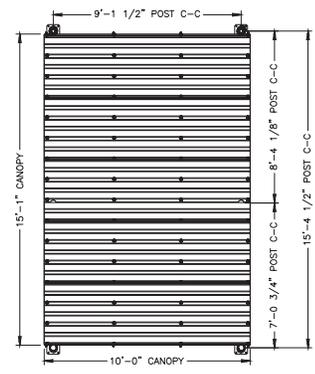
NOTES:

1. INSTALL ICE CANOPY PER MANUFACTURER'S RECOMMENDATIONS.

ICE CANOPY DETAIL

SCALE: N.T.S.

4



TOP VIEW


 HOMELAND TOWERS, LLC
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 NY LICENSE No. 101758

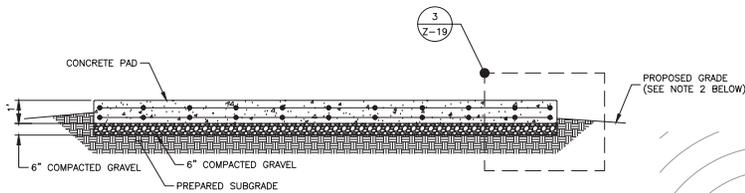
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 PUTNAM COUNTY

SHEET TITLE

VERIZON WIRELESS DETAILS I

SHEET NUMBER



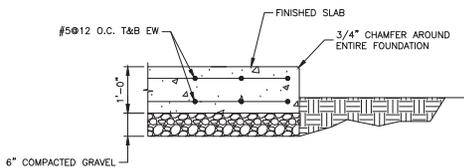
SECTION

USE	PAD LENGTH	PAD WIDTH
CABINET	20'-0"	10'-0"

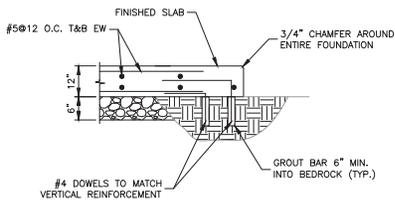
NOTES:

1. CONTRACTOR TO VERIFY FINAL PAD DIMENSIONS PRIOR TO CONSTRUCTION OF FOUNDATION.
2. GRADE SHALL SLOPE AWAY FROM THE CONCRETE PAD TO ALLOW FOR PROPER WATER RUNOFF.
3. ANCHOR EQUIPMENT TO FOUNDATION PER EQUIPMENT MANUFACTURER RECOMMENDATIONS.
4. IF BEDROCK IS ENCOUNTERED AT A SHALLOW DEPTH, USE DETAIL 3, THIS SHEET.
5. BEARING STRATA MEDIUM TO DENSE INSET GRANULAR MATERIAL OR COMPACTED GRAVEL FILL. 95% COMPACTION.
6. FILL SHALL CONSIST OF CLEAN SOIL. NO DELETERIOUS MATERIALS OR ORGANICS TO BE USED.
7. CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 4,000 PSI.
8. MAINTAIN 3" MIN. COVER ON ALL STEEL REINFORCEMENT.

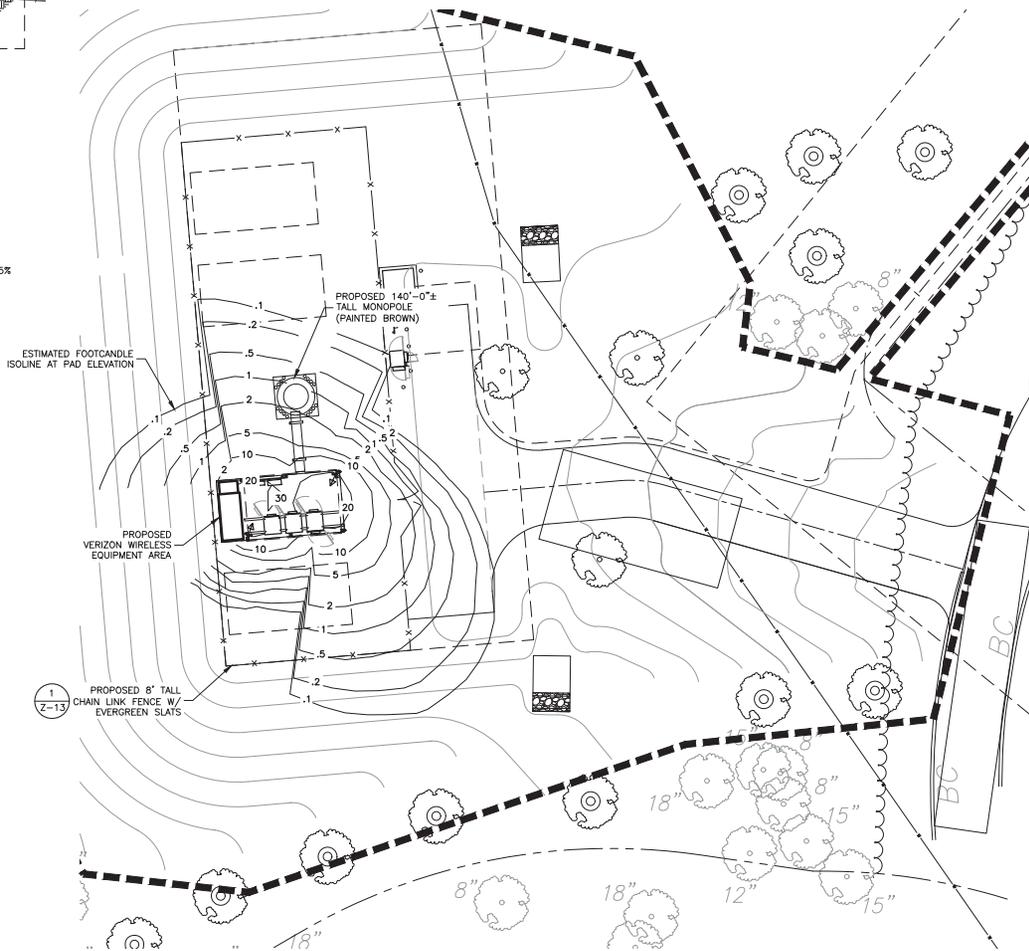
CONCRETE PAD FOUNDATION
SCALE: N.T.S.



CONCRETE PAD DETAIL
SCALE: N.T.S.

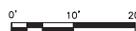


FOUNDATION SLAB DETAIL @ BEDROCK
SCALE: N.T.S.



LIGHTING SPILL PLAN

SCALE: 1"=20' FOR 11"x17"
1"=10' FOR 22"x34"



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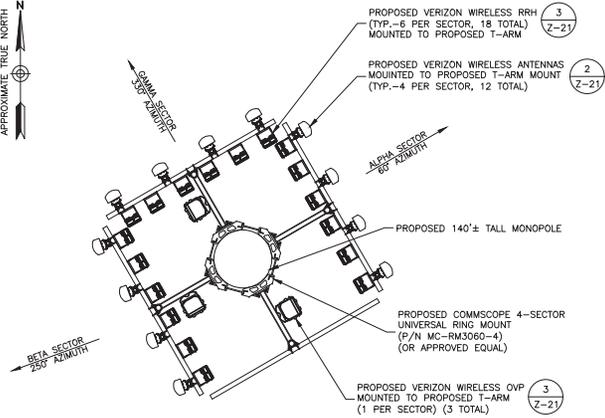
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NY LICENSE No. 101758

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PUTNAM COUNTY

SHEET TITLE
**VERIZON WIRELESS
DETAILS II**

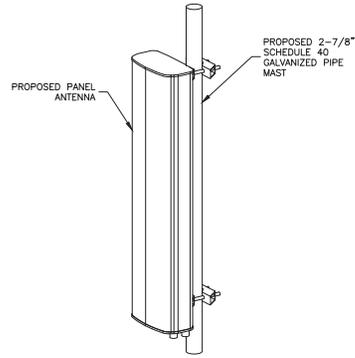
SHEET NUMBER



NOTES:

1. AZIMUTHS TBD.
2. CONTRACTOR TO VERIFY FINAL AZIMUTHS WITH RF ENGINEER PRIOR TO ANTENNA INSTALLATION.

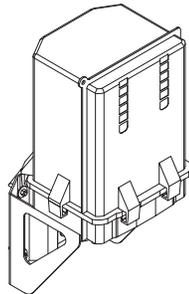
ANTENNA ORIENTATION PLAN 1
SCALE: N.T.S.



NOTES:

1. MOUNT ANTENNA PER MANUFACTURER'S RECOMMENDATIONS.
2. WEIGHT INCLUDES MOUNTING BRACKETS.
3. DIMENSIONS OF PROPOSED ANTENNAS SHOWN ARE APPROXIMATE AND SUBJECT TO CHANGE BASED ON AVAILABILITY OF ANTENNAS AT TIME OF CONSTRUCTION. ANTENNAS MAY INCLUDE RRHS, TMA'S AND/OR DIPLEXERS.
4. ANTENNA SIZE, MAKE AND MODEL SUBJECT TO CHANGE BASED ON FUTURE TECHNOLOGY UPDATES AND COVERAGE/CAPACITY NEEDS PER VERIZON WIRELESS REQUIREMENTS.

ANTENNA DETAIL 2
SCALE: N.T.S.



NOTES:

1. MOUNT EQUIPMENT ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
2. CONTRACTOR TO CONFIRM RRH CLEARANCE REQUIREMENTS ARE MET.
3. RRH AND DISTRIBUTION BOX SIZE, MAKE AND MODEL SUBJECT TO CHANGE BASED ON FUTURE TECHNOLOGY UPDATES AND COVERAGE/CAPACITY NEEDS PER VERIZON WIRELESS REQUIREMENTS.

RRH & OVP DETAIL 3
SCALE: N.T.S.

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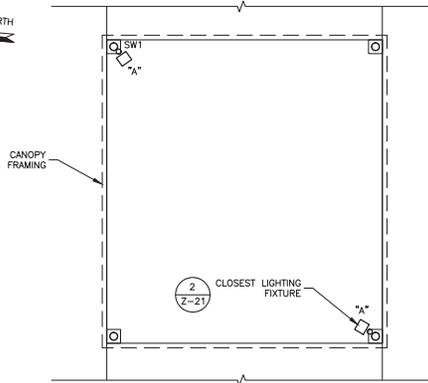
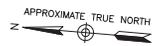
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STATE OF NEW YORK
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PUTNAM COUNTY

SHEET TITLE	VERIZON WIRELESS ANTENNA PLAN & DETAILS
SHEET NUMBER	



CANOPY LIGHTING
SCALE: N.T.S.

1

SW1:

1. 120V MOTION SENSOR RAB PART # LS300W.
2. OUTLET BOX: RAB LIGHTING INC. MODEL # B3B.
3. WEATHERPROOF COVER: RAB LIGHTING INC. MODEL #TCB.

A-A:

1. FIXTURES (2 TOTAL): FULL CUTOFF, RAB LIGHTING INC. MODEL #WPLEDFC52NW.

NOTE:

1. LIGHTING TO BE MOUNTED BELOW CANOPY. BOTTOM OF LIGHT FIXTURE APPROXIMATELY 9"± A.G.L.
2. LIGHTING TO BE OPERATED ON A MOTION SENSOR.

LIGHT FIXTURE MOUNTING HEIGHT (MH) = 9'
 DISTANCE TO PROPERTY LINE (D) = 70'-0"
 MAXIMUM MOUNTING HEIGHT (MMH) = D/3 + 3'
 MMH = 70 / 3 + 3'
 MMH = 26'
 26' MMH > 9' MH ~ NO LIGHT TRESPASS

LIGHTING CALCULATIONS
SCALE: N.T.S.

3

WPLED52



LED 52W Wall packs. 3 cutoff options, patent pending thermal management system. 100,000 hour L70 lifespan, 5-year, no-compromise warranty.

Color: Bronze Weight: 17.7 lbs

Project: **Type:**

Prepared By: **Date:**

Driver Info

Type	Constant Current	Watts	52W
120V	0.51A	Color Temp	5000K (Cool)
208V	0.33A	Color Accuracy	72 CRI
240V	0.29A	L70 Lifespan	100,000 Hours
277V	0.24A	Lumens	7,392 lm
Input Watts	57.9W	Efficacy	127.7 lm/W

LED Info

Technical Specifications

Compliance

UL Listed:
Suitable for wet locations

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80

Lifespan:

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

Wattage Equivalency:

Equivalent to 250W Metal Halide

LED Characteristics

LEDs:

Two (2) multi-chip, high-output, long-life LEDs

Color Consistency:

7-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

Color Stability:

LED color temperature is warranted to shift no more than 200K in color temperature over a 5-year period

Color Uniformity:

RAB's range of Consistent Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Construction

Ambient Temperature:

Suitable for use in up to 40°C (104°F)

Cold Weather Starting:

The minimum starting temperature is -40°C (-40°F)

Housing:

Precision die-cast aluminum housing, lens frame

Mounting:

Die-cast aluminum wall brackets with (5) 1/2" conduit openings with plugs. Two-piece bracket with tether for ease of installation and wiring.

Arm:

Die-cast aluminum with wiring access plate

Cutoff:

Standard (15°)

Technical Specifications (continued)

Construction

Reflector:
Specular vacuum-metallized polycarbonate

Gaskets:

High-temperature silicone

Lens:

Tempered glass

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free, RoHS-compliant components.

Electrical

Driver:

Constant Current, 720mA, Class 2, 100-277V, 50-60 Hz, 100-277VAC, 3 Amps.

THD:

7.64% at 120V, 5.72% at 277V

Power Factor:

99.1% at 120V, 97.5% at 277V

Surge Protection:

6kV

Other:

Patents:

The WPLED design is protected by patents in the U.S. Pat D653,877, Canada Pat. 142253, China Pat. ZL201130356930.8, and Mexico Pat. 36921 and pending patent in TW.

Replacement:

Replace 250W HID

Buy American Act Compliance:

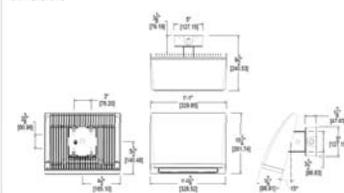
RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Optical

BUG Rating:

80 U2 G3

Dimensions



Features

- High performance LED light engine
- Maintains 70% of initial lumens at 100,000-hours
- Weatherproof high temperature silicone gaskets
- Superior heat sinking with die cast aluminum housing and external fins
- Replaces 250W MH
- Traditional wall pack look from the front
- 3 cutoff options
- 5-Year, No-Compromise Warranty

Ordering Matrix

Family	Cutoff	Wattage	Color Temp	Finish	Driver Options	Options	Other Options
WPLED	Blank = Standard (15 degrees) C = Cutoff (2.5 degrees) FC = Full Cutoff (0 degrees)	52 S2 = 52W B0 = 80W	Blank = 5000K Cool N = 4000K Neutral Y = 3000K Warm	Blank = Bronze W = White	Blank = 120-277V /A0 = 480V /BL = 0-10V Level /D10 = 0-10V Dimming	Blank = No Option /PCS = 120V Swivel Photocell /PCS2 = 277V Swivel Photocell /PCS4 = 480V Swivel Photocell /AC = Lightcloud* Controller	USA = BAA Compliant Blank = Standard

LIGHTING CUTSHEETS
SCALE: N.T.S.

2

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 WIRELESS

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 WEST NYACK, NY 10994

GLENACOM LAKE

ZONING DRAWINGS

10	03/03/23	ISSUED FOR ZONING
9	02/24/23	ISSUED FOR ZONING
8	02/14/23	ISSUED FOR ZONING
7	01/26/23	ISSUED FOR ZONING
6	12/22/22	ISSUED FOR ZONING
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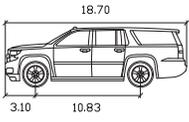
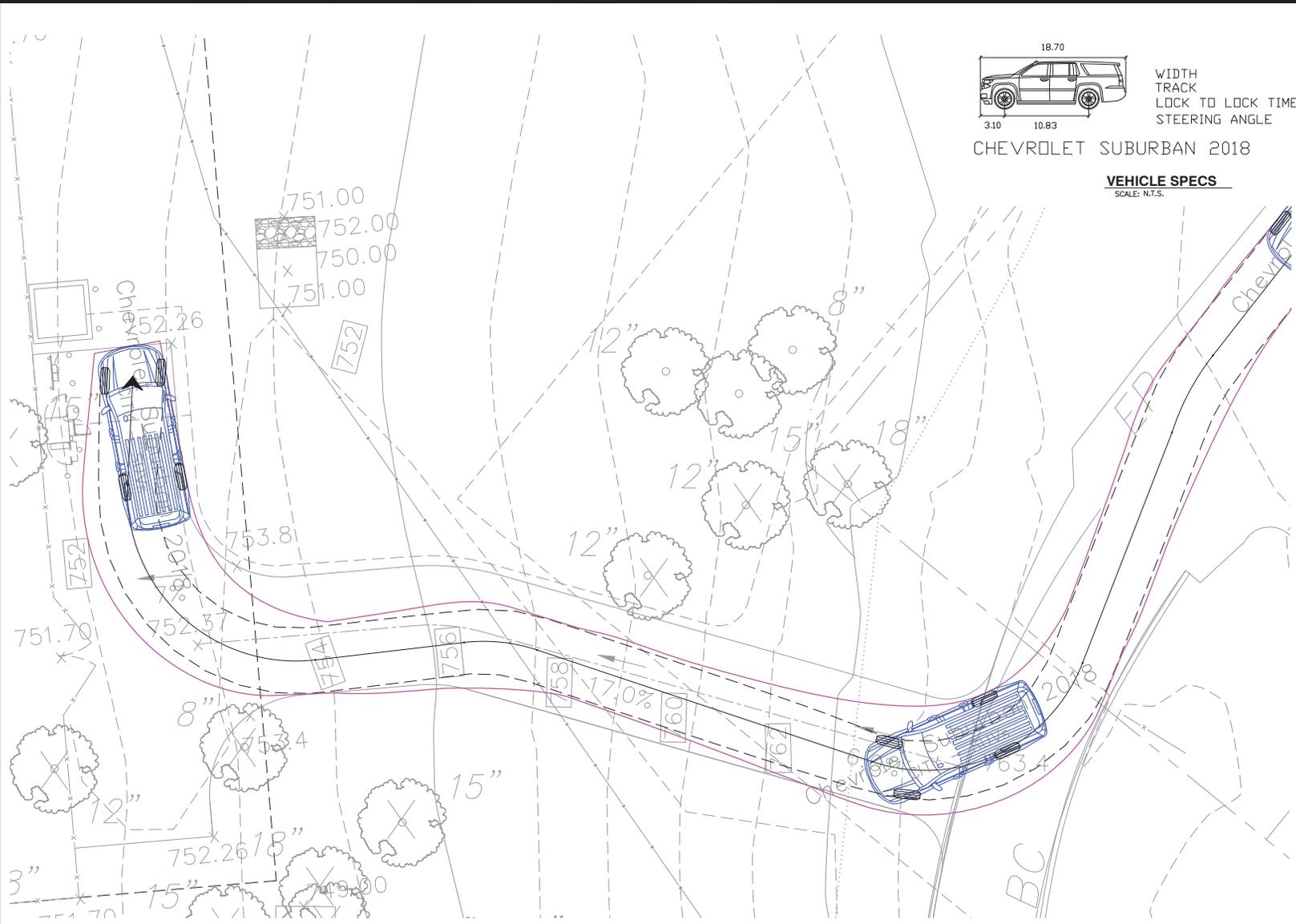
Dewberry
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STATE OF NEW YORK
 DAVID REVETTE, P.E.
 NY LICENSE No. 101758

DRAWN BY: JC/KFM
 REVIEWED BY: MS
 CHECKED BY: DER
 PROJECT NUMBER: 50114387
 JOB NUMBER: 50114388
 SITE ADDRESS:

WALTON DRIVE
 MAHOPAC, NY 10541
 PUTNAM COUNTY

SHEET TITLE
 VERIZON WIRELESS
 EQUIPMENT LIGHTING
 DETAILS
 SHEET NUMBER



FEET
 WIDTH : 6.71
 TRACK : 6.63
 LOCK TO LOCK TIME : 6.0
 STEERING ANGLE : 35.4

CHEVROLET SUBURBAN 2018

VEHICLE SPECS
 SCALE: N.T.S.

Verizon
 WIRELESS
 4 CENTEROCK ROAD
 WEST NYACK, NY 10994

GLENACOM LAKE

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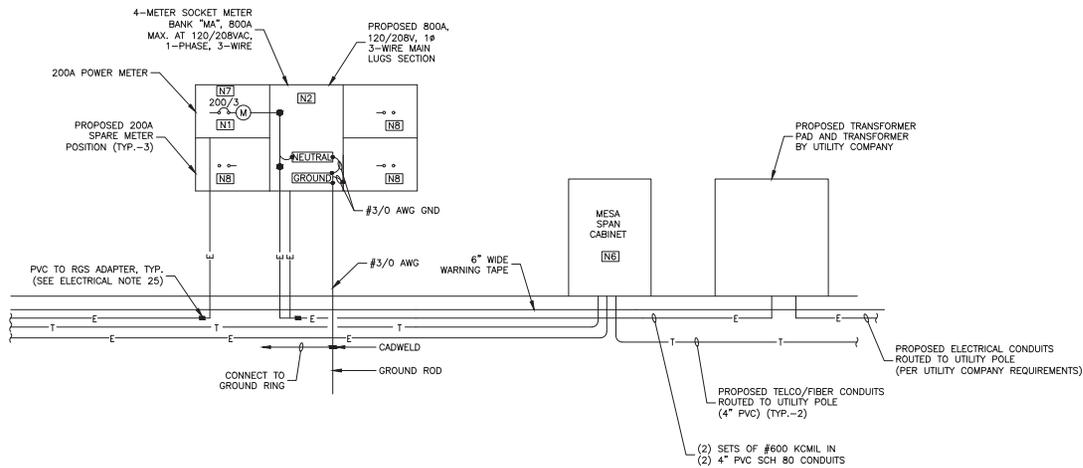
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 MAHOPAC, NY 10541
 PUTNAM COUNTY

SHEET TITLE	AutoTurn SIMULATION
SHEET NUMBER	

AutoTurn SIMULATION
 SCALE: 1"=10' FOR 11"x17"
 1"=5' FOR 22"x34"
 1



ELECTRICAL RISER DIAGRAM & SERVICE ENTRANCES

SCALE: N.T.S.

1

NOTES:

1. CONFIRM ALL ATS, PANELBOARDS, ETC WITH CM PRIOR TO CONSTRUCTION.
2. CONFIRM GENERATOR WIRING & CONTROLS PRIOR TO CONSTRUCTION.
3. MAKE ALL CONNECTIONS AS PER UTILITY COMPANY REQUIREMENTS.
4. REFER TO ALL OTHER ELECTRICAL AND GROUNDING NOTES ON SHEET G-1 OF THESE PLANS.

GENERAL ELECTRICAL NOTES

1. SUBMITTAL OF BID INDICATES CONTRACTOR IS COGNIZANT OF ALL JOB SITE CONDITIONS AND WORK TO BE PERFORMED UNDER THIS CONTRACT.
2. CONTRACTOR SHALL PERFORM ALL VERIFICATION OBSERVATION TESTS, AND EXAMINATION WORK PRIOR TO THE ORDERING OF THE ELECTRICAL EQUIPMENT AND THE ACTUAL CONSTRUCTION. CONTRACTOR SHALL ISSUE A WRITTEN NOTICE OF ALL FINDINGS TO THE ARCHITECT LISTING ALL MALFUNCTIONS, FAULTY EQUIPMENT AND DISCREPANCIES.
3. HEIGHTS SHALL BE VERIFIED WITH OWNER PRIOR TO INSTALLATION.
4. THESE PLANS ARE DIAGRAMMATIC ONLY. FOLLOW AS CLOSELY AS POSSIBLE.
5. EACH CONDUCTOR OF EVERY SYSTEM SHALL BE PERMANENTLY TAGGED IN EACH PANELBOARD, PULLBOX, J-BOX, SWITCH BOX, ETC., IN COMPLIANCE WITH OCCUPATIONAL SAFETY AND HEALTH ACT (O.S.H.A.)
6. CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, INSURANCE, EQUIPMENT, INSTALLATION, CONSTRUCTION TOOLS, TRANSPORTATION, ETC., FOR A COMPLETE AND PROPERLY OPERATIVE SYSTEM ENERGIZED THROUGHOUT AND AS INDICATED ON DRAWINGS, AS SPECIFIED HEREIN AND/OR AS OTHERWISE REQUIRED.
7. ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND IN PERFECT CONDITION WHEN INSTALLED AND SHALL BE OF THE BEST GRADE AND OF THE SAME MANUFACTURER THROUGHOUT FOR EACH CLASS OR GROUP OF EQUIPMENT. MATERIALS SHALL BE LISTED AND APPROVED BY UNDERWRITER'S LABORATORY AND SHALL BEAR THE INSPECTION LABEL "U" WHERE SUBJECT TO SUCH APPROVAL. MATERIALS SHALL MEET WITH APPROVAL OF THE DIVISION OF INDUSTRIAL SAFETY AND ALL GOVERNING BODIES HAVING JURISDICTION. MATERIALS SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDARDS ESTABLISHED BY ANSI, NEMA AND NBFU.
8. CONTRACTOR SHALL CARRY OUT HIS WORK IN ACCORDANCE WITH ALL GOVERNING STATE, COUNTY AND LOCAL CODES AND O.S.H.A.
9. CONTRACTOR SHALL SECURE ALL NECESSARY BUILDING PERMITS AND PAY ALL REQUIRED FEES
10. COMPLETE JOB SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR AFTER THE DATE OF JOB ACCEPTANCE BY OWNER, ANY WORK, MATERIAL OR EQUIPMENT FOUND TO BE FAULTY DURING THAT PERIOD SHALL BE CORRECTED AT ONCE, UPON WRITTEN NOTIFICATION, AT THE EXPENSE OF THE CONTRACTOR.
11. ALL CONDUIT ONLY (C.O.) SHALL HAVE A PULL WIRE OR ROPE.
12. PROVIDE PROJECT MANAGER WITH ONE SET OF COMPLETE ELECTRICAL "AS INSTALLED" DRAWINGS AT THE COMPLETION OF THE JOB, SHOWING ACTUAL DIMENSIONS, ROUTINGS, AND CIRCUITS.
13. ALL BROCHURES, OPERATING MANUALS, CATALOGS, SHOP DRAWINGS, ETC. SHALL BE TURNED OVER TO OWNER AT JOB COMPLETION.
14. USE T-TAP CONNECTIONS ON ALL MULTI-CIRCUITS WITH COMMON NEUTRAL CONDUCTOR FOR LIGHTING FIXTURE.
15. ALL CONDUCTORS SHALL BE COPPER.
16. ALL CIRCUIT BREAKERS, FUSES AND ELECTRICAL EQUIPMENT SHALL HAVE AN INTERRUPTING RATING NOT LESS THAN THE MAXIMUM SHORT CIRCUIT CURRENT TO WHICH THEY MAY BE SUBJECTED.
17. THE ENTIRE ELECTRICAL INSTALLATION SHALL BE GROUNDED AS REQUIRED BY NEC.
18. PATCH, REPAIR AND PAINT ANY AREA THAT HAS BEEN DAMAGED IN THE COURSE OF THE ELECTRICAL WORK.
19. IN DRILLING HOLES INTO CONCRETE WHETHER FOR FASTENING OR ANCHORING PURPOSES, OR PENETRATIONS THROUGH THE FLOOR FOR CONDUIT RUNS, M PIPE RUNS, ETC., IT MUST BE CLEARLY UNDERSTOOD THAT TENDONS AND/OR REINFORCING STEEL WILL NOT BE DRILLED INTO, CUT OR DAMAGED UNDER ANY CIRCUMSTANCES.
20. LOCATION OF TENDONS AND/OR REINFORCING STEEL ARE NOT DEFINITELY KNOWN AND, THEREFORE, MUST BE SEARCHED FOR BY APPROPRIATE METHODS AND EQUIPMENT VIA X-RAY OR OTHER DEVICES THAT CAN ACCURATELY LOCATE THE REINFORCING AND/OR STEEL TENDONS.
21. PENETRATIONS IN FIRE RATED WALLS SHALL BE FIRE STOPPED IN ACCORDANCE WITH 2009 INTERNATIONAL BUILDING CODE, NEW JERSEY EDITION.
22. WIRE AND CABLE CONDUCTORS SHALL BE COPPER #12 AWG MINIMUM UNLESS SPECIFICALLY STATED OTHERWISE ON DRAWINGS.
23. VERIFY ALL CONDUIT ROUTING W/OWNER REP.
24. ALL MATERIALS SHALL BE U.L. LISTED.
25. CONDUIT:
 - a. RIGID CONDUIT SHALL BE U.L. LABEL GALVANIZED ZINC COATED WITH ZINC INTERIOR AND SHALL BE USED WHEN INSTALLED IN OR UNDER CONCRETE SLABS, IN CONTACT WITH THE EARTH, UNDER PUBLIC ROADWAYS, IN MASONRY WALLS OR EXPOSED ON BUILDING EXTERIOR. RIGID CONDUIT IN CONTACT WITH EARTH SHALL BE 1/2 LAPPED WRAPPED WITH HUNTS WRAP PROCESS NO. 3.
 - b. ELECTRICAL METALLIC TUBING SHALL HAVE U.L. LABEL. FITTINGS SHALL BE GLAND RING COMPRESSION TYPE. EMT SHALL BE USED ONLY FOR INTERIOR RUNS.
26. FLEXIBLE METALLIC CONDUIT SHALL HAVE U.L. LISTED LABEL AND MAY BE USED WHERE PERMITTED BY CODE. FITTINGS SHALL BE "JAKE" OR "SQUEEZE" TYPE, SEAL TIGHT FLEXIBLE CONDUIT. ALL CONDUIT IN EXCESS OF SIX FEET IN LENGTH SHALL HAVE FULL SIZE GROUND WIRE.
27. CONDUIT RUNS MAY BE SURFACE MOUNTED ON CEILINGS OR WALLS UNLESS INDICATED OTHERWISE. CONDUIT INDICATED SHALL RUN PARALLEL OR AT RIGHT ANGLES TO CEILING, FLOOR OR BEAMS. VERIFY EXACT ROUTING OF ALL EXPOSED CONDUIT WITH ARCHITECT PRIOR TO INSTALLING.
28. ALL ELECTRICAL EQUIPMENT SHALL BE LABELED WITH PERMANENT ENGRAVED PLASTIC LABELS.
29. COORDINATE THE ELECTRICAL SERVICE SHUTDOWN WITH BUILDING OWNER.
30. GROUNDING SYSTEM RESISTANCE SHALL NOT EXCEED 5 OHMS. IF THE RESISTANCE VALUE IS EXCEEDED, NOTIFY THE OWNER FOR FURTHER INSTRUCTION ON METHODS FOR REDUCING THE RESISTANCE VALUE. SUBMIT TEST REPORTS AND FURNISH TO DISPATCH COMMUNICATIONS ONE COMPLETE SET OF PRINTS SHOWING "INSTALLED WORK".
31. UPON COMPLETION OF WORK, CONDUCT CONTINUITY, AND FALL POTENTIAL GROUNDING TESTS FOR APPROVAL. SUBMIT TEST REPORTS TO PROJECT MANAGER. CLEAN PREMISES OF ALL DEBRIS RESULTING FROM WORK AND LEAVE WORK IN A COMPLETE AND UNDAMAGED CONDITION.
32. ALL WALL PENETRATIONS SHALL BE FIRE STOPPED WITH FS-ONE HIGH PERFORMANCE INTUMESCENT FIRE STOP BY JELTI OR APPROVED EQUAL. INSTALL PER MANUFACTURERS' RECOMMENDATIONS.

ELECTRICAL AND TELEPHONE GENERAL NOTES:

1. FOLLOWING COMPLETION OF WORK, PROVIDE OWNER WITH AS-BUILT DRAWINGS SHOWING TELEPHONE AND ELECTRIC LOCATIONS.
2. WORK SHALL CONFORM TO THE NATIONAL ELECTRICAL CODE, NEC 2011.
3. COORDINATE WITH UTILITY AND LOCAL ELECTRICAL INSPECTOR FOR FINAL POWER CONNECTION.
4. UTILITY WILL SUPPLY METER. COORDINATE WITH UTILITY FOR METER TYPE AND INTERCONNECTION.
5. CONTRACTOR SHALL CONTACT "DIG SAFELY NEW YORK, INC." AT 811 OR 1-800-272-4480 AND LOCATE ALL EXISTING UTILITIES WITHIN THE AREA OF WORK PRIOR TO THE START OF ANY EXCAVATION.
6. SEE PAGE E-2 FOR GENERAL GROUNDING NOTES.
7. COORDINATE WITH LOCAL TELEPHONE COMPANY FOR ALL ROUTING AND DESIGN.
8. CONTRACTOR TO VERIFY CONTROL WIRING SIZE WITH GENERATOR MANUFACTURER PRIOR TO CONSTRUCTION.
9. CONTRACTOR TO CONFIRM STUB UP LOCATIONS OF WIRING CONDUITS PRIOR TO CONSTRUCTION.

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REVIEWED BY: MS

CHECKED BY: DER

PROJECT NUMBER: 50114387

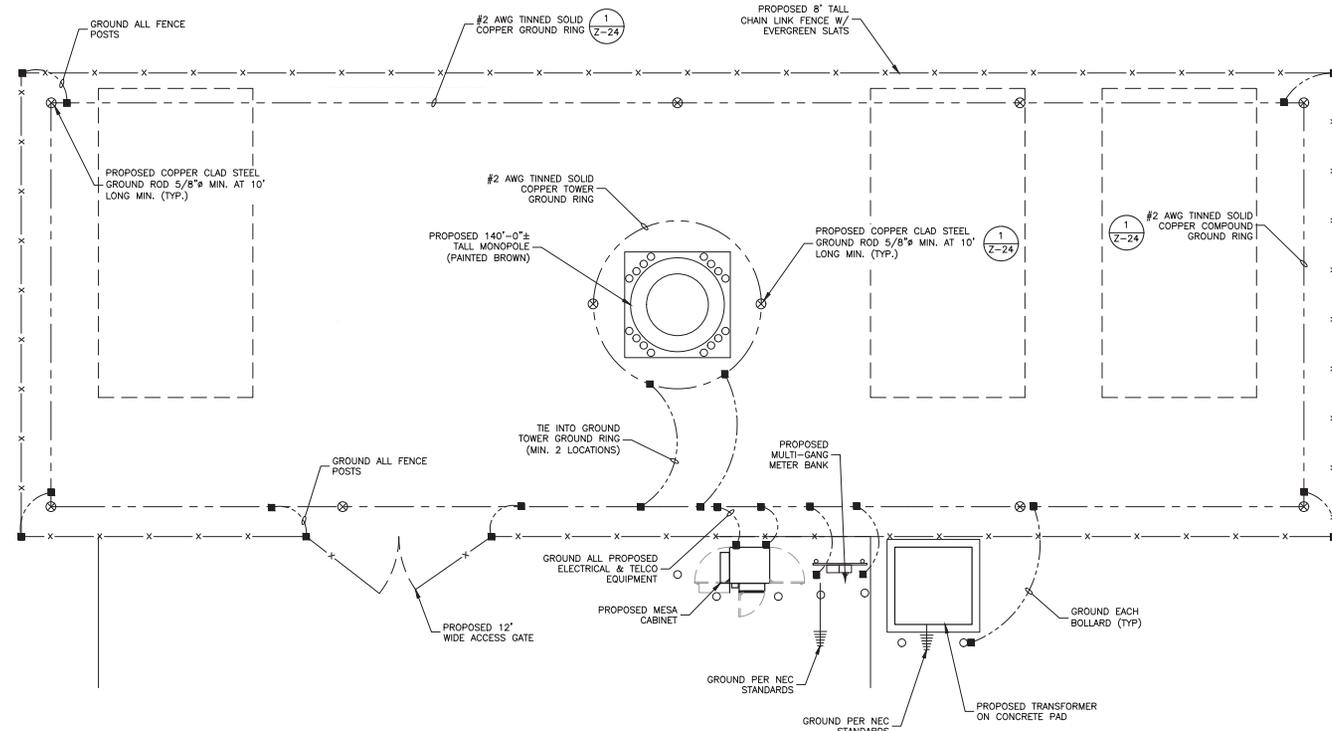
JOB NUMBER: 50114388

SITE ADDRESS:

WALTON DRIVE
 MAHOPAC, NY 10541
 PUTNAM COUNTY

SHEET TITLE
**ELECTRICAL RISER
 DIAGRAM**

SHEET NUMBER



COMPOUND GROUND PLAN 1
 SCALE: 1 1/2"=1' FOR 11'x17'
 3"=1' FOR 22'x34'
 0' 3' 6' 9'

GROUNDING LEGEND	
	GROUND BAR
	GROUND COPPER WIRE, SIZE AS NOTED
	MECHANICAL GROUND CONNECTION
	5/8"x10" COPPER CLAD STEEL GROUND ROD
	EXOTHERMIC (CADWELD) CONNECTION

GROUNDING GENERAL NOTES

- ALL DOWN CONDUCTORS AND THE GROUND RING CONDUCTOR SHALL BE #2 AWG, SOLID, BARE, TINNED COPPER, UNLESS OTHERWISE NOTED. ALL CONNECTIONS TO GROUND RING SHALL BE EXOTHERMICALLY WELDED. CONDUCTOR SHALL BE AT A MINIMUM DEPTH BELOW GRADE OF 18 INCHES OR TO LEDGE. MINIMUM BEND RADIUS SHALL BE 6 INCHES. CONDUCTOR SHALL BE AT LEAST 24 INCHES FROM ANY FOUNDATION, UNLESS OTHERWISE NOTED.
- GROUND RODS SHALL BE 5/8" DIAMETER COPPER CLAD, HARGER, T&B, ERICO, OR EQUIVALENT. TOP OF ROD SHALL BE A MINIMUM OF 18" BELOW GRADE. IF LEDGE IS ENCOUNTERED, INSTALL GROUND ROD AT AN ANGLE. ELECTRICAL METER GROUND ROD EXCEPTED.
- WHERE MECHANICAL CONNECTIONS ARE SPECIFIED, BOLTED, COMPRESSION-TYPE, CLAMPS OR SPLIT-BOLT TYPE CONNECTORS SHALL BE USED.
- GRIND OFF GALVANIZING IN AFFECTED AREA. EXOTHERMICALLY WELD #2 CONDUCTOR AT 6" ABOVE GRADE OR FOUNDATION, WHICHEVER IS HIGHER. COLD-GALV AFTER. EXOTHERMICALLY WELD OTHER END TO GROUND RING.
- INSTALL GROUNDING KITS AT ANTENNA CENTERLINE, AND TOWER EXIT POINTS. GROUND COAX LINES. EXOTHERMICALLY WELD #2 DOWN CONDUCTOR TO PLATES, RUN DOWN TOWER, AND TIE INTO GROUNDING SYSTEM.
- ALL GROUNDING WORK SHALL COMPLY WITH AT&T CONSTRUCTION CONTRACT STANDARDS. FOLLOWING COMPLETION OF WORK, GROUND SYSTEM MUST BE TESTED AND SHALL HAVE A RESISTANCE OF 5 OHMS OR LESS. SUBMIT AN INDEPENDENT "FALL POTENTIAL" TESTING REPORT.
- ALL GROUNDING CONDUCTORS ON EXTERIOR WALL OF SHELTER SHALL BE INSTALLED IN 3/4" SCH 40 PVC CONDUIT TO 12" BELOW GRADE. ATTACH PVC WITH GALVANIZED "C" CLAMPS.
- CONTRACTOR SHALL HAND-DIG IN AREAS AROUND EXISTING UTILITIES.
- NOTIFY CONSTRUCTION ENGINEER IF THERE ARE ANY DIFFICULTIES INSTALLING GROUNDING SYSTEM DUE TO SITE SOIL CONDITIONS.
- GROUNDING RING IS SHOWN AS SCHEMATIC ONLY. IT IS DESIGNED WITHOUT BENEFIT OF RESISTIVITY TESTING AND DOES NOT NECESSARILY REPRESENT A GROUNDING SYSTEM TO MEET ANY SPECIFIC GROUND RESISTANCE.
- PRIOR TO POURING CONCRETE, ALL REBAR LOCATED NEAR THE BOTTOM OF THE FOUNDATION SHALL BE BONDED TOGETHER TO FORM A SINGLE GROUNDING ELECTRODE, BY STEEL TIES OR OTHER EFFECTIVE MEANS APPROVED BY NEC 2011 AND STRUCTURAL ENGINEER, AND BONDED TO THE GROUND RING AS DETAILED IN THESE PLANS. (INSPECTION MAY BE REQUIRED PRIOR TO POURING CONCRETE AND MUST BE COORDINATED BY CONTRACTOR.)
- IN ACCORDANCE WITH NEC 2011 REQUIREMENTS, ALL GROUNDING ELECTRODES PRESENT ON SITE SHALL BE BONDED TOGETHER (REFERENCE 2011 NEC ARTICLE 250.50).
- CAULK AND SEAL ALL NON-FACTORY SHELTER PENETRATIONS.

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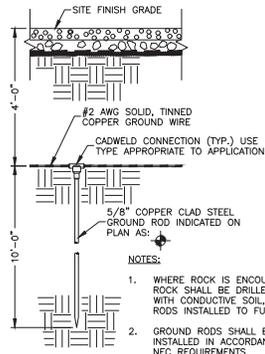
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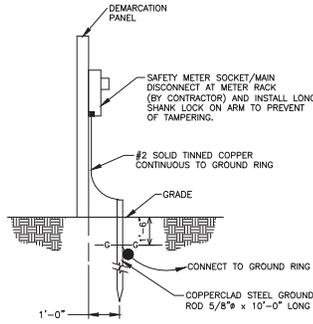
SHEET TITLE
 COMPOUND
 GROUNDING PLAN
 SHEET NUMBER



GROUND ROD AND RING DETAIL

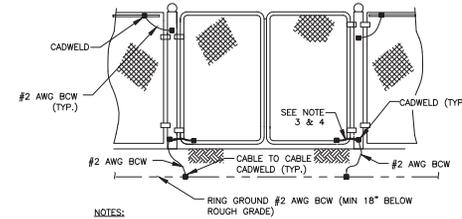
SCALE: N.T.S.

- NOTES:
- WHERE ROCK IS ENCOUNTERED ROCK SHALL BE DRILLED, FILLED WITH CONDUCTIVE SOIL, AND RODS INSTALLED TO FULL DEPTH.
 - GROUND RODS SHALL BE INSTALLED IN ACCORDANCE WITH NEC REQUIREMENTS.



METER SOCKET GROUNDING

SCALE: N.T.S.

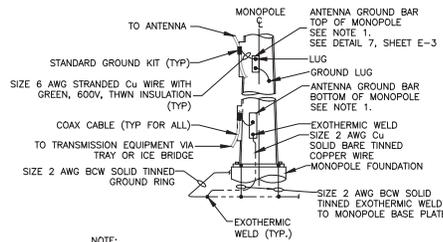


NOTES:

- THE #2 AWG BCW FROM THE RING GROUND SHALL BE CADWELDED TO THE POST ABOVE GRADE.
- BOND EACH HORIZONTAL POLE/BRACE TO EACH OTHER AND TO EACH VERTICAL POLE BONDED TO THE EXTERIOR GROUND RING.
- GATE JUMPER SHALL BE #4/0 AWG WELDING CABLE OR FLEXIBLE COPPER BRAID BURNDY TYPE B WITH SLEEVES ON EACH END DESIGNED FOR EXOTHERMIC WELDING.
- GATE JUMPER SHALL BE INSTALLED SO THAT IT WILL NOT BE SUBJECTED TO DAMAGING STRAIN WHEN GATE IS FULLY OPEN IN EITHER DIRECTION.

FENCE GROUNDING DETAIL

SCALE: N.T.S.

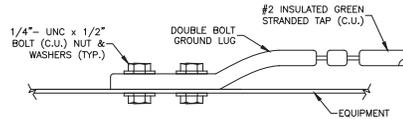


NOTE:

- NUMBER OF GROUND BARS MAY VARY DEPENDING ON THE TYPE OF MONOPOLE, ANTENNA LOCATION AND CONNECTION ORIENTATION. PROVIDE AS REQUIRED. GROUND BAR IS NOT REQUIRED FOR SITES WITH ONE COAX CABLE.

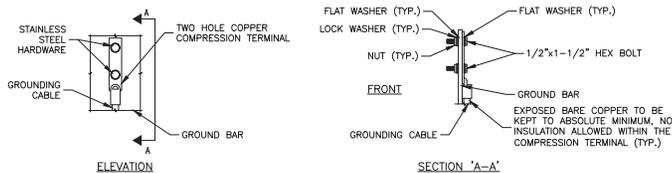
MONOPOLE GROUNDING

SCALE: N.T.S.



CONNECTION TO EQUIPMENT DETAIL

SCALE: N.T.S.

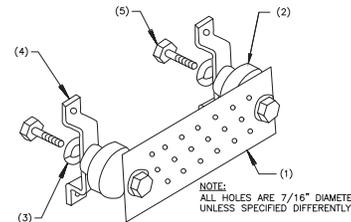


NOTES:

- DOUBLING UP OR STACKING OF CONNECTIONS IS NOT PERMITTED.
- OXIDE INHIBITING COMPOUND TO BE USED AT ALL LOCATIONS.

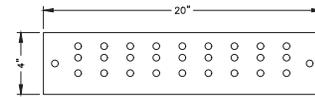
TYPICAL GROUND BAR MECHANICAL CONNECTION DETAIL

SCALE: N.T.S.



LEGEND:

- COPPER GROUND BAR, 1/4"x4"x20", GBIT 14420 J 2-7. HOLE CENTERS TO MATCH NEMA DOUBLE LUG CONFIGURATION.
- STANDOFF INSULATORS, HARGER LIGHTNING PROTECTION, INC. CAT. No. 5263-AB.
- 1/2" LOCKWASHERS, HARGER CO. CAT. No. LWBS.
- WALL MOUNTING STAINLESS STEEL MOUNTING BRACKET, HARGER CAT NO. WBKT-1.
- 1/2-13 x 1" HEX HEAD CAP SCREW, HARGER, CAT No. CS885.



THE GROUND BAR IS 1/4" THICK, 4" WIDE, 20" LONG. IT HAS A HOLE PATTERN "J" WITH A NO. 2 AWG SOLID TINNED TAIL.



STYLE: GBIT - GROUND BAR WITH WALL MOUNTING BRACKETS, INSULATORS AND A 25' EXOTHERMICALLY WELDED TAIL.

SIZE: THICKNESS, WIDTH, LENGTH IN INCHES.

HOLE PATTERN: HOLE PATTERN CENTERS MATCH NEMA DOUBLE LUG CONFIGURATION. SEE ISOMETRIC.

TAIL: SPECIFY AMERICAN WIRE GAUGE (AWG) SIZE AND STRANDING REQUIRED. 25' LENGTH IS STANDARD UNLESS OTHERWISE REQUESTED.

GROUND BAR DETAIL

SCALE: N.T.S.

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PUTNAM COUNTY

SHEET TITLE	GROUNDING DETAILS
SHEET NUMBER	

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28 February 2023

RE: Willow Wood Trap Club – Responses to Epsilon Noise Peer Review No. 2

Dear Mr. Calcagnini,

This letter is offered in response to comments contained in the 2nd noise peer review performed by Epsilon Associates dated 2/13/23. In that review, Epsilon states they were satisfied with all of my previous responses to their comments, but continued to question the noise model's calibration accuracy at two of the more distant receptors LT-3 and LT-5.

Epsilon Follow-up Comment: *Epsilon agrees that the model was excellently calibrated at the closest locations, as manifested in the results. The analysis would have benefited from applying a correction to the modeling results at two locations to the west (LT-3 and LT-5) given that the model underpredicted at these locations as compared to the measured sound levels. As such, while the presented sound levels at these two locations may be representative for most conditions, worst-case sound levels would likely be higher.*

I would disagree with Epsilon regarding the model's agreement with measured gunshot noise levels at Site LT-5. A match between measured and modeled decibel levels within +/- 3 dBA is considered good (see Table 3 from report below). For example, +/- 3 dBA is what's required by FHWA when doing traffic noise modeling.

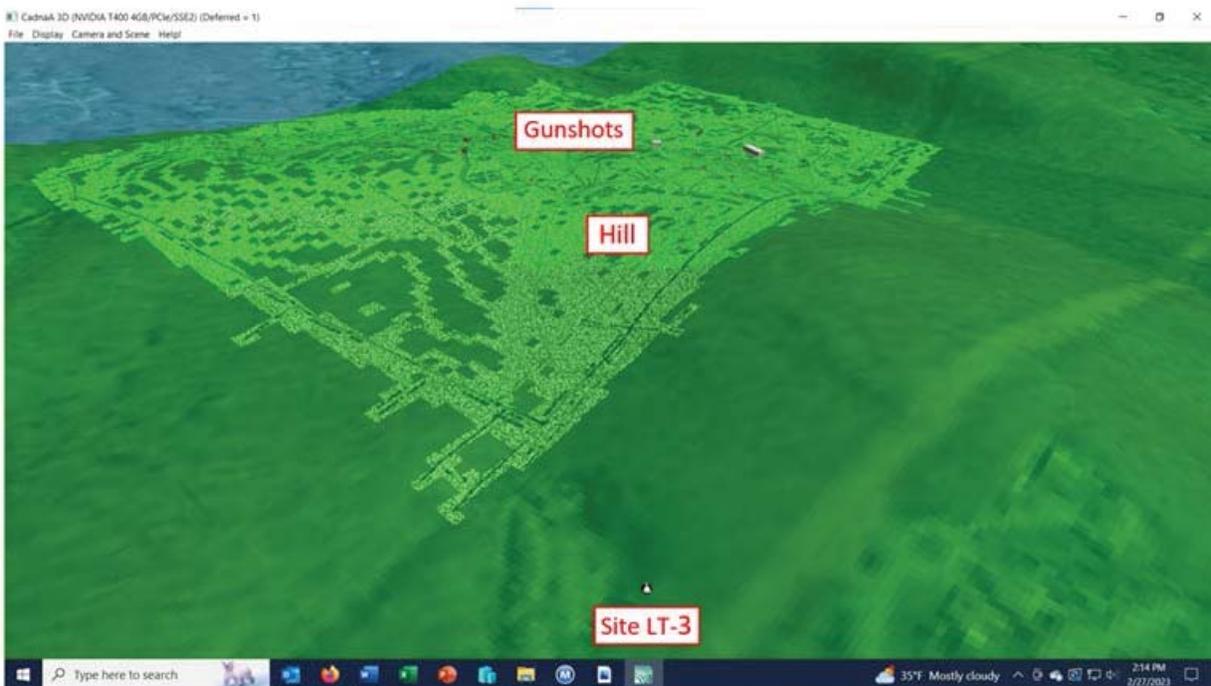
That leaves only Site LT-3 where the measured sound level was 6 dBA louder than the modeled sound level. This is because the gunshots were barely audible, and in some case inaudible, at Site LT-3 when they were measured during our controlled acoustical tests on 6/29/20. Other ambient noise sources dominated and soundscape. Moreover, Site LT-3 is located nearly 2,000 feet away on the far side of a substantial hill separating it from the Willow Wood club (as shown in perspective view below). It is not surprising that the Cadna-A noise model computed the gunshot sound level that it did, and it is consistent with our real-life observations when listening to gunshots at Site LT-3. Thus, no correction factor was necessary in the noise model.

Table 3 from final acoustical report dated 4/24/22:

Table 3. Cadna-A Model Calibration Results

Receptor No.	Street Address	Loudest Single Shot, dBA Lmax 'slow'		
		Measured 6/29/20	Modeled Summertime	Difference (Measure - Model)
LT-1	551 Union Valley Road	61	60	1
LT-2	8 Wilson Road	64	64	0
LT-3	870 Crest Brook Drive	54	48	6
LT-4	39 Wilderness Trail	49	50	-1
LT-5	7 Margaret Road	48	45	3

Perspective view in Cadna-A model showing hill separating club from LT-3:



Feel free to contact me with any questions or comments.

Professional Certification:

I hereby certify that this plan, specification, or report was prepared or reviewed by me and that I am a duly certified acoustical professional as recognized by the Institute for Noise Control Engineering (INCE).

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RE: Willow Wood Trap Club - Responses to Opposition Letters Regarding Noise

Dear Mr. Calcagnini,

This letter is offered in response to letters of opposition from the public to the expansion of the Willow Wood Trap Club with respect to potential community noise. In short, there is only one objector, namely Ms. Kim Cooper who lives at 8 Wilson Road, Somers, NY – which corresponds with the noise receptor we labeled as Site LT-2.

Ms. Cooper alleges: *My second concern is the poor and inaccurate process of collecting sound information. While I appreciate that the Town of Carmel has had their own expert review the information/results, it would be impossible for him/her to come to an accurate determination with the results provided by Willow Wood and their 'expert', who, interestingly, self describes as "an avid competitive shooter" (Hunter Sports Shooting Grounds, Inc. v. Foley).*

Response: I have been recognized and accepted as an expert witness for acoustics in many trials now. I seek acoustic truth, not political favor. In fact, I have worked and testified against gun club noise in the past as well, including the Hunter Sports case that Ms. Cooper cites.

Ms. Cooper alleges: *I am speaking of sound collection supposedly collected at my property, located at 8 Wilson Rd, Somers. I have had the opportunity to review the photos of the sound collection location and can assure you that not only was it not collected at the property line closest to our border with Willow Wood, but on the complete opposite side of my 7½ acres, then down the street, around a corner, and from BEHIND a massive evergreen tree. It seems to me that every effort was used to ensure that the sound engineer was as far away as possible from the property line and used numerous other barriers (Including his own SUV) down the road from our property in order to produce the desired results. Please note that Town of Carmel Ordinance requires "the measurement shall be conducted at the property line on which such noise is generated or perceived, whichever is appropriate in a residential district, or at the boundary lines of the receiving land use district". Mr. Thalheimer's measurements were collected OVER 550 FEET away from the property line.*

Response: I was limited to access only on public streets for the controlled gunshot sound test measurements. The difference in distance between Ms. Cooper's actual property line and where I performed the sound tests for Site LT-2 is trivial given the logarithmic nature of how sound propagates. Moreover, the Cadna-A model was calibrated at the exact spot I performed the sound measurements and showed a perfect correlation between measured and modeled sound levels; this results in the noise report can be relied upon.

Also, for Ms. Cooper's reference, given the wavelengths of the sound spectra produced by gunshots, a distance of 5 feet or more is perfectly adequate (and recommended by most federal noise measurement guidelines) to avoid any shielding effects from something as small as a car. She may also note that the sound meter was mounted on a tripod, thus getting it up to an elevation close to that of my vehicle's roof.

Ms. Cooper alleges: *84 people shooting 100 shots each is 8400 shots per round. 42 shots for the [sound] test vs 8400 shots as intended [for a round of sporting clays]. Mr. Thalheimer clearly did not conduct the test as the course was intended to be used.*

Response: Unfortunately, Ms. Cooper appears to not understand the purposes of the controlled gunshot sound level measurements. In this case, the significant sound metric is the Lmax which is caused by the loudest single shot, not a time-averaged cumulative sound metric. My using 6 test shots from 7 shooting positions completely encircled the proposed sporting clays circuit. In this manner, test shots were fired in all directions. Performing sound level measurements for all 14 proposed shooting positions was not necessary. It should be noted that all 14 proposed shooting positions were accounted for and modeled in the Cadna-A noise model.

Ms. Cooper alleges: *In addition, in Mr. Thalheimer's letter to Mr. Calcagnini dated October 23, 2022, he freely states that he chose to use RMS slow rather than RMS fast, impulse or peak to test, resulting in a much lower decibel reading and that using any of the other methods "the numerical limits would have been proportionally higher". I must ask...WHY? Why would he choose the one testing process that would give the lowest and most inaccurate number?*

Response: Unfortunately, Ms. Cooper again does not understand basic acoustics or the specifications for an accurate sound meter as contained in ANSI Standard S1.4. One can measure sound levels, including impulsive sounds, using any of the standardized time responses for a sound meter, i.e. RMS 'slow', 'fast', 'impulse', or using absolute 'Peak'. The key is to match the sound meter's response time to the response time intended in the criteria (i.e. apples to apples comparison), which in this case I judged to be an RMS 'slow' time response for the Carmel Noise Ordinance. The sound levels I reported are not wrong so long as the reader understands the conditions under which the sound levels were measured.

Ms. Cooper alleges: *Lastly, please note that decibels are a logarithmic scale so +10 decibels is 10 times louder than the Town of Carmel allows. So, the 9db (64db measured far from my home - 55db impulsive limit = 9db) is almost 10 times Carmel's noise ordinance limit. And that measurement was taken over 550 feet from the property line where the ordinance requires measurement.*

Response: This is a red herring fact often misused by the opposition. While a 10-decibel increase is mathematically correct as an increase by a factor of 10 in sound energy, it is not how human beings perceive the change in sound level. Humans perceive an increase of 10 decibels as a doubling in sound level, not an increase by an order of magnitude as alleged.

Ms. Cooper alleges: *Mr. Thalheimer decided to personally choose a time response time of "slow" since it would provide the least accurate (lowest dB levels from his study). Gun shots are fast occurring events and need to be measured by and RMS setting of "FAST" or "IMPULSIVE".*

Response: Again, this is a comment coming from someone who does not understand acoustics or ANSI Standard S1.4 for the definitions of a sound meter using RMS 'slow', 'fast', 'impulse', or absolute 'Peak'. RMS 'slow' versus 'fast' versus 'impulse' has nothing to do with the rapidity of the impulsive noise sources (i.e. gunshots). It has to do with the time response of the sound meter to react to and measure a perfect impulsive sound to reach 95% statistical confidence level of the true impulse, i.e. an exponential time response. RMS 'slow' has a time constant of 1 second, where RMS 'fast' has a time constant of 0.125 seconds, and RMS 'impulse' has a time constant of 0.035 seconds, the latter of which is only used for OSHA hearing conservation related purposes. Again, if the noise limits in the Carmel Noise Ordinance were expressed in RMS 'slow, which I believe they were, then use of RMS 'slow' was perfectly appropriate in my noise analysis.

I hope these responses are helpful. I'll leave any of Ms. Cooper's legal challenges up to you.

Feel free to contact me with any questions or comments.

Professional Certification:

I hereby certify that this plan, specification, or report was prepared or reviewed by me and that I am a duly certified acoustical professional as recognized by the Institute for Noise Control Engineering (INCE).



Erich Thalheimer
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