HAROLD GARY
Chairman

CRAIG PAEPRER
Vice-Chair

BOARD MEMBERS
ANTHONY GIANNICO
DAVE FURFARO
CARL STONE
KIM KUGLER
RAYMOND COTE

TOWN OF CARMEL
PLANNING BOARD

60 McAlpin Avenue
Mahopac, New York 10541
Tel. (845) 628-1500 – Ext.190
www.ci.carmel.ny.us

MICHAEL CARNAZZA
Director of Code Enforcement

RICHARD FRANZETTI, P.E.
Town Engineer

PATRICK CLEARY,
AICP,CEP, PP, LEED AP
Town Planner

PLANNING BOARD AGENDA
APRIL 27, 2016 – 7:00 P.M.

MEETING ROOM #1

		TAX MAP #	PUB. HEARING	MAP DATE	COMMENTS
PUBLIC HEARING					
1.	Frenkel, Robert – 43 Tamarack Road	75.8-2-20	04/27/16	02/29/16	Resolution
2.	CVS/Pharmacy – 1879-1905 Route 6, Carmel	55.10-1-12	04/27/16	07/1/14	Bond Reduction
RESOLUTION					
3.	Albano Estates V – 24 Mechanic St, Carmel	55.14-1-26.312		12/21/15	Amended Final Plat
SITE PLAN					
4.	Meadowland Extension – 1979 Route 6, Carmel	55.15-1-20		04/01/16	Site Plan
5.	Rooney, Sean – 17 Miller Road	86.11-1-18		02/26/16	Amended Site Plan
SUBDIVISION					
6.	Infantino, Thomas & Lori – 453 North Lake Blvd	64.12-1-56		01/19/16	Sketch Plan
MISC.					
7.	Yankee Development – Piggott Road	76.15-1-12			Extension of Preliminary Subdivision Approval
8.	Dewn Holding – Mexico Lane	53.-2-28		02/04/16	Re-Approval of Final Subdivision Approval
9.	Minutes – 03/16/16				

INSITE
ENGINEERING, SURVEYING &
LANDSCAPE ARCHITECTURE, P.C.

April 1, 2016

Town of Carmel Planning Board
60 McAlpin Avenue
Mahopac, New York 10541

RE: Meadowland Extension Site Plan
1979 US Route 6
Tax Map No. 55.15-1-20

Dear Chairman Gary and Members of the Board:

Please find enclosed the following plans and documents in support of an application for site plan approval for the above referenced project:

- Six (6) sheet Site Plan Set, last revised April 1, 2016. (5 copies)
- SEQR Short EAF, last revised April 1, 2016. (11 copies)
- Project Narrative, dated April 1, 2016.
- Preliminary Stormwater Pollution Prevention Plan (SWPPP), dated April 1, 2016.
- CD containing pdfs of submitted plans and documents. (1 copy)

Based on discussions between the applicant and the Town, the applicant has elected to revise the site plans to eliminate the proposed building from the project and seeks site plan approval for a paved outdoor vehicle storage area. As discussed with the Building Inspector, this would require an area variance for the required minimum 5,000 s.f. building from the Zoning Board of Appeals. Refer to Project Narrative for more detailed information on the project.

In response to specific comments from Town staff and consultants, we offer the following:

Memorandum from Michael G. Carnazza, Director of Code Enforcement for the Town of Carmel, dated February 24, 2016:

- The applicant has elected to remove the proposed building from the proposal. The project is for paved Outdoor Vehicle Storage.
- The Board referred the project to the Town Environmental Conservation Board (ECB) at the February 24, 2016 meeting. Application has been made to the ECB for a wetland permit for the project.
- Striping will be provided for all vehicle storage spaces and the loading space as shown on Drawing SP-1 of the site plan set.
- Directional arrows to depict the on-site circulation will be provided for a later submission.

Memorandum from Patrick Cleary, AICP, CEP, PP, LEED AP of Cleary Consulting, dated February 24, 2016:

Site Plan Review Comments:

- A project narrative has been provided as part of this submission to describe the proposed use as a "service establishment" for the project. The applicant intends to use the site for outdoor storage for vehicles intended for sale at their auto dealership across Route 6. As described in the narrative, the site is not to be utilized for direct access by the public. A sign will be posted at the entrance stating "No Public Access".

- The site is to be used for inventory vehicle storage. Should this use be required to meet the criteria established in Section 156-29, note the following: Vehicle storage along the entrance drive is at least 55 feet from the front property line and 115 feet from the edge of pavement of Route 6. The majority of the existing woods along the front of the property remain, with the exception of the area to be graded in for the access driveway. New plantings of evergreen trees for screening/buffering will be planted along the top of the slope on the east side of the site between the vehicle storage area and the adjacent County site. The evergreen buffer planting will be supplemented with a length of 6 foot high privacy fence between the project site and the adjacent Hughson Commons residential site. In addition, the proposed vehicle storage area will be at least 10 feet below the Hughson Commons site and at least 20 feet below the County site. In addition, the approximately 6 acre wooded area comprising the western portion of the site will be left undisturbed.

- An application for a freshwater wetland permit has been submitted to the New York State Department of Environmental Conservation (NYSDEC).

- All stormwater runoff from the proposed paved vehicle storage areas will be collected and directed into the stormwater management system as depicted on the site plans and in the Stormwater Pollution Prevention Plan (SWPPP) for the project. The SWPPP for the project has been designed in accordance with the requirements of the Town of Carmel, the NYSDEC and the New York City Department of Environmental Protection (NYCDEP).

- As previously noted, the building has been removed from the proposal. No car washing, vehicle service or prepping will be conducted at the site, only vehicle storage. Refer to project narrative for additional information.

- Refer to previous comment response.

- Pole-mounted area lighting is proposed for the site and depicted on Drawing SP-1, with a photometric lighting plan and site lighting details provided on Drawing LP-1 included in this submission.

- For security measures, the site will have night-time area lighting as depicted on the site plans. Neither security fencing nor a gate is proposed. The applicant is considering security cameras.

- As noted in the project narrative, regular pedestrian traffic between the auto dealership and this site is not proposed or anticipated. The dealership has an established shuttle vehicle and will utilize this vehicle to shuttle staff to and from the site to pick up or drop off vehicles and for salesman to bring patrons to the site to view vehicles.

SEQR:
It is understood that the proposed project is classified as an unlisted action under SEQR and that a SEQR determination of significance must be adopted.

Memorandum from Richard J. Franzetti, P.E., Town Engineer for the Town of Carmel, dated February 24, 2016:

I. General Comments:

1. A copy of the site plan set has been sent to the Carmel Fire Department.
2. It is acknowledged that the following regulatory permits will be required for the project.
   a. The SPPP will be submitted to NYCDEP for review at a later date.
   b. An application for a freshwater wetland permit has been submitted to the NYSDEC.
   c. An application for a highway work permit will be submitted to the NYSDOT at a late date.
   d. An application for a wetland permit has been submitted to the ECB.
   e. A sewer connection permit is no longer required for the project.
   f. A water connection permit is no longer required for the project.
3. Refer to Drawing SP-2 for site grading and drainage for the project.
4. 6.0 ± acres of disturbance is proposed for the project and 2.65 ± acres of impervious cover.
5. A bond estimate will be provided in a later submission.

II. Detailed Comments:

1. Refer to site plans for details of site improvements including proposed drainage, pavement, lighting, signage and stormwater management.
2. General Notes 4 and 5 are no longer applicable to the project and have been removed.
3. The need for a sewer connection has been removed from the project with the elimination of the proposed building.
4. Should the project plans need to be referred to the County due to the proximity with the County site, the applicant will do so.
5. The applicant does not desire to utilize pervious pavement since the NYCDEP does not recognize pervious pavement as a form of stormwater treatment.
6. A guiderail is shown on the site plans on the west side of the driveway.
7. The distance to the signaled intersection and the distance to the entrance to the adjoining property to the east will be provided for a later submission.
8. Available site distance will be determined during the application process with the NYSDOT and will be added to the site plan for a later submission.
9. Graphic representations of vehicle movements through the site will be provided for a later submission.
10. Turning radii for the site will be provided for a later submission.

11. A "No Outlet" sign and a "No Public Access" sign are provided at the entrance to the site and a "STOP" sign is provided at the exit of the site as shown on Drawing SP-1.

12. Refer to Drawing SP-2. There is an existing end section discharging runoff from the upslope site onto the site on the east side of the access drive. A side drain inlet will be installed to divert this runoff under the proposed access drive.

13. An informal agreement will be made with the adjacent property owner to relocate the fence for their yard encroaching onto the project site.

14. Curlex I (or approved equal) erosion control fabric shall be provided for the 2H:1V slopes as depicted on Drawing SP-3.

15. A diversion swale has been added to the top of the cut slope along the east side of the site to divert upslope runoff to a level spreader above the wetland on the south end of the site.

16. A Stormwater Control Facility Maintenance Agreement will be prepared and submitted for review for a later submission.

17. A photometric lighting plan has been included as part of this submission.

18. The existing retaining wall will be removed and the area regraded as part of this project.

19. It is understood that all plantings shall be verified by the Town of Carmel Wetlands Inspector.

20. It is understood that all plantings shall be installed per Section 142 of the Town of Carmel Town Code.

21. There are no "parking" spaces provided at the site, only vehicle storage, and no public access to the site, therefore there are no accessible parking spaces provided.

Please place the project on the agenda for the April 13, 2016 Planning Board meeting for a discussion of the project with the Board and a referral to the Zoning Board of Appeals to seek the desired variance.

Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By: _____
John M. Watson, PE
Principal Engineer
JMW/dlm/amh

Enclosures
cc: Kenn Volz, w/enclosures
Chief of Carmel Fire Dept., w/site plans

Insite File No. 15244.100

INSITE
ENGINEERING, SURVEYING &
LANDSCAPE ARCHITECTURE, P.C.

PROJECT NARRATIVE

For

MEADOWLAND EXTENSION SITE PLAN

US ROUTE 6
TOWN OF CARMEL
TAX MAP NO. 55.15-1-20
April 1, 2016

The Meadowland Extension project is located on a 12.99-acre parcel on the south side of US Route 6 in the C/BP Commercial / Business Park zone. The parcel is also identified as Tax Map No. 55.15-1-20. The zoned use for the site is commercial service establishment and the current application includes the construction of outdoor vehicle storage areas for approximately 370 cars with associated on-site stormwater management.

Outdoor Vehicle Storage Areas

The site is intended to provide outdoor vehicle storage area for automobile inventory from the Meadowland auto dealership across Route 6. Parallel vehicle storage spaces (8'x20') are provided along the east side and the west side of the 24' wide entrance drive. The balance of the vehicle storage is provided in a pave area striped with 9'x18' spaces with 22' wide internal access drives. Some spaces are double stacked as is common in vehicle storage areas, but the majority of the spaces are accessible from either the main access drive or the internal access drive.

The first entrance on the east into the main storage area has been sized to allow a WB-50 tractor trailer (or possibly a firetruck) to turn around within the site.

It is intended that the site will not be utilized by customers. No sales, customer service or pickup / delivery of customer vehicles will be conducted on-site. All customer vehicles will be dropped off and picked up at the established areas at the Meadowland auto dealership across Route 6 and then shuttled to and from the site by Meadowland staff. A "No Public Access" sign will be posted at the entrance to the site. Should a salesman need to provide a customer with access to inventory at the project site, Meadowland staff will shuttle them to and from the site.

The outdoor vehicle storage area will be screened from adjacent residential uses by a combination of grading, preserving existing vegetation, the installation of a 210' section of 6 ft. high stockade fence and proposed landscaping.

Freshwater Wetlands Permitting

The applicant seeks a wetland permit for site grading within the Town and NYSDEC regulated 100' wetland adjacent area of New York State Department of Environmental Conservation (NYSDEC) Freshwater Wetland LC-55 and within the Town regulated 100' wetland buffer of a Town regulated wetland, for construction of the new, paved outdoor vehicle storage area and associated on-site stormwater management practices.

The site is constrained to the west by a portion of NYSDEC Freshwater Wetland LC-55 and its 100' adjacent area, which covers more than half of the subject property. The site is constrained to the south by a small portion of a Town regulated wetland and its associated 100' buffer.

No disturbance is proposed in either the NYSDEC wetland or the Town regulated wetland. No impervious cover is proposed within the wetland buffers.

Site grading for the project includes approximately 30,000 s.f. (0.69 acres +/-) of disturbance within the 100' adjacent area of the NYSDEC wetland for site grading associated with the construction of the paved parking area and access driveway and the on-site stormwater basins, and approximately 11,850 s.f. (0.27+/-) of disturbance from grading for construction of the on-site stormwater management basins within the 100' buffer of the Town wetland.

All disturbed areas within the wetland buffers will be topsoiled and seeded with a Native Steep Slope Seed Mix as specified on the site plans. Graded areas of 2H:1V will receive additional stabilization with the installation of erosion control fabric. The proposed stormwater management areas will also be seeded with a native seed mix. Native understory tree and shrub species will be planted in groupings along the edges of the disturbed areas within and adjacent to the wetland buffers as mitigation for buffer disturbance. Approximately 41,850 s.f. (0.96 ac. +/-) of wetland buffer area is proposed to be seeded or planted with native vegetation species and an additional area of approximately 24,000 s.f. adjacent to wetland buffers at the south end of the site will be revegetated with native species, including the new stormwater basins and the areas surrounding them and between the basins and the paved area. Also note that the significant amount of non-native, invasive plant species, such Japanese Barberry and multiflora rose, present in the upland portion of the site that was previously disturbed, will be removed during the earthwork for the project.

In addition, a complete Stormwater Pollution Prevention Plan (SWPPP) designed in accordance with requirements of the Town of Carmel, NYSDEC and the New York City Department of Environment Protection (NYCDEP) has been prepared for the project as depicted on the site plans and in the SWPPP report for the project.

Short Environmental Assessment Form
Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information

Name of Action or Project:
Meadowland Extension Site Plan

Project Location (describe, and attach a location map):
1979 Route 6, Town of Carmel

Brief Description of Proposed Action:
Construction of a new paved outdoor vehicle storage area with associated onsite stormwater management.

Name of Applicant or Sponsor:	Telephone: 845-225-8468
1976 Route 6 LLC	E-Mail: kenmax1225@aol.com

Address:
c/o Volz Automotive, 1952 Route 6

City/PO:	State:	Zip Code:
Carmel	New York	10512

	NO	YES
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.	☑	☐
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: Town of Carmel ZBA: Area Variance; Town of Carmel ECB: Wetland Permit; NYSDOT: Highway Work Permit; NYSDEC: Wetland Permit; NYSDEC: GP-0-15-002 Coverage; NYCDEP: SWPPP Approval	☐	☑

3.a. Total acreage of the site of the proposed action? 12.99 acres
b. Total acreage to be physically disturbed? 6.0± acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 12.99 acres

4. Check all land uses that occur on, adjoining and near the proposed action.
☐ Urban ☐ Rural (non-agriculture) ☐ Industrial ☑ Commercial ☐ Residential (suburban)
☑ Forest ☐ Agriculture ☐ Aquatic ☑ Other (specify): Wetland
☐ Parkland

	NO	YES	N/A
5. Is the proposed action,			
a. A permitted use under the zoning regulations?	☐	☑	☐
b. Consistent with the adopted comprehensive plan?	☐	☑	☐

	NO	YES
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	☐	☑
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify:	☑	☐
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	☑	☐
b. Are public transportation service(s) available at or near the site of the proposed action?	☑	☐
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	☑	☐
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies:	☐	☑
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: N/A	☑	☐
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: N/A	☑	☐
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	☑	☐
b. Is the proposed action located in an archeological sensitive area? Per EAF Mapper, portions of project area have been previously disturbed.	☐	☑
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	☐	☑
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: No wetland disturbance is proposed. 0.69± acre of disturbance is proposed in the NYSDEC Wetland LC-55 100' adjacent area. 0.27± acre of disturbance is proposed in the Town Regulated Wetland 100' buffer.	☑	☐

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:
☐ Shoreline ☑ Forest ☐ Agricultural/grasslands ☑ Early mid-successional
☑ Wetland ☐ Urban ☐ Suburban

	NO	YES
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? The NYSDEC online environmental resource mapper shows potential rare plant and/or animals in the area but does not provide a list.	☐	☑
16. Is the project site located in the 100 year flood plain?	☑	☐
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,		
a. Will storm water discharges flow to adjacent properties? ☐ NO ☑ YES	☐	☑
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: ☑ NO ☐ YES		

A new onsite stormwater management system will be provided.

	NO	YES
18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: Temporary impoundment of stormwater runoff will be provided in stormwater management basins.	☐	☑
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	☑	☐
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	☑	☐

I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

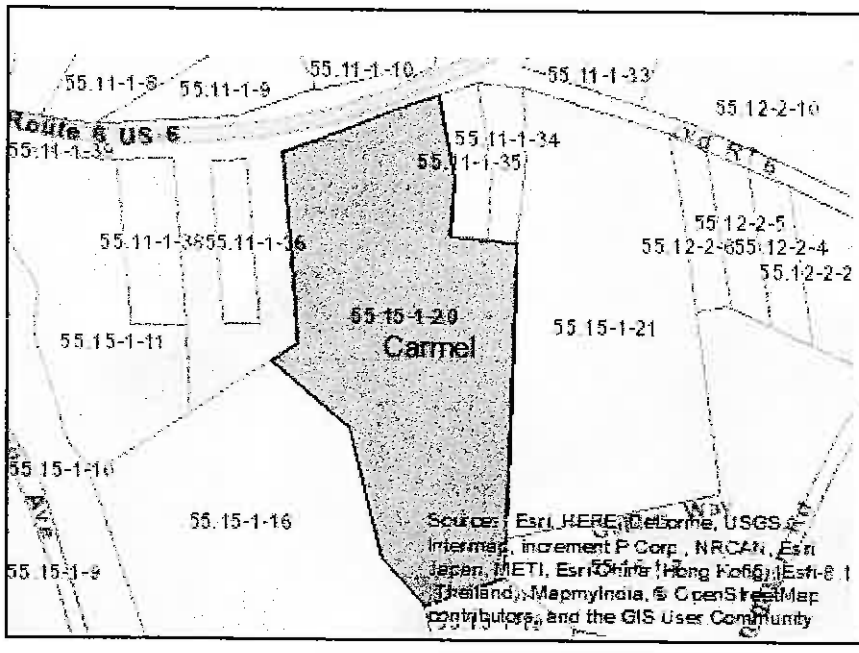
Applicant/sponsor name: Insite Engineering, Surveying & Landscape Architecture, P.C., John M. Watson, P.E. Date: Revised April 1, 2016

Signature: John M. Watson

PRINT FORM

EAF Mapper Summary Report

Friday, December 18, 2015 9:50 AM



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National Register of Historic Places]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No

SIGN DATA TABLE

LOCATION NO.	TEXT	MUTCD NUMBER	SIZE OF SIGN (ft.)	DESCRIPTION
1	NO TURNS	-	24" x 24"	Red on White
2	NO BUSES	W14-2	24" x 24"	Black on Yellow
3	STOP	R1-1C	30" x 30"	White on Red

C/BP ZONE REQUIREMENTS

	REQUIRED	PROPOSED
Minimum Lot Area	2 AC	12.99 AC ±
Minimum Lot Width	200'	800' ±
Minimum Lot Depth	200'	1,370' ±
Minimum Setbacks:		
Principal Bldg. Front Yard	50'	N/A
Side Yard	40'	N/A
Rear Yard	40'	N/A
Maximum Building Height	40'	N/A
Minimum Building Floor Area	3,000 sf	6 at *
Maximum Building Coverage	40%	08 *

* Area Variance sought from Town of Carmel Zoning Board of Appeals for zero (0) sf of building, as there no building at the site.

VEHICLE STORAGE SPACES PROVIDED:

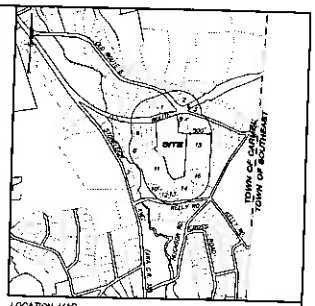
Outside Vehicle Storage Areas: = 374 Spaces Provided

LOADING SPACES PROVIDED:

Loading Spaces: = 1 Space Provided

500' ADJOINERS:

1. N/F Brewster Investmental Capital LLC
2. N/F Dutch Water Realty LLC
3. N/F KRED Realty
4. N/F 42 Old Route 6 LLC
5. N/F Hong Du Wei, LLC
6. N/F Anton Leal
7. N/F Putnam City Nat Bank of Carmel
8. N/F Peal Peal Management Corp.
9. N/F Nazarian
10. N/F Erb Florence
11. N/F Peal Peal Management Corp.
12. N/F John J Duran Irrevocable Trust
13. N/F Peal & Lamb Corp.
14. N/F Anthony C Nascarella
15. N/F County of Putnam
16. N/F 90 Hughson Associates



LOCATION MAP

SCALE: 1" = 1,000'±

OWNER/APPLICANT:

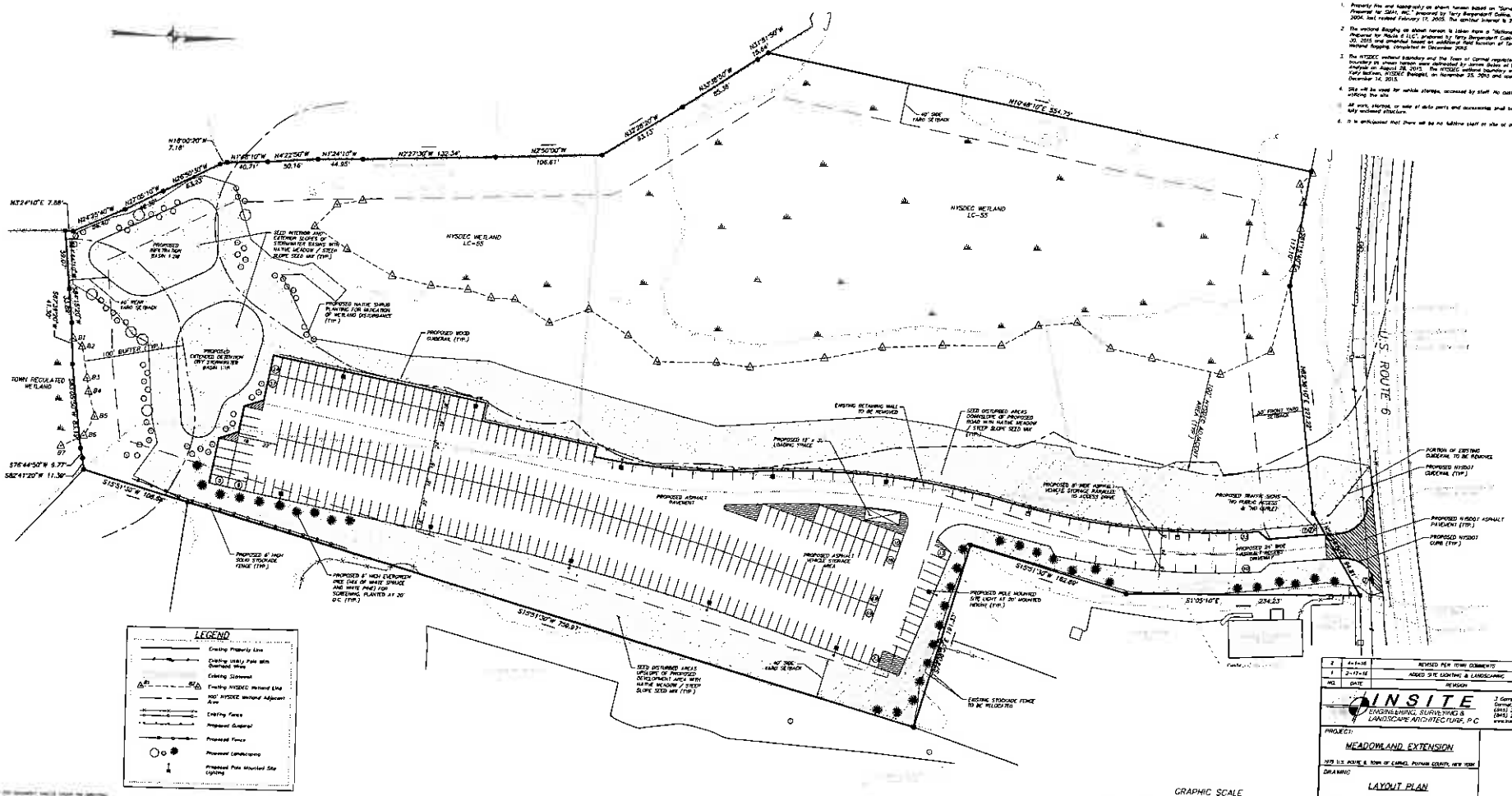
1976 Route 6 LLC
c/o Vail Auto Group
1932 Route 6
Carmel, New York 10519

SITE DATA:

Zone: COMMERCIAL/BUSINESS PARK
Total Acreage: 12.99 AC
Tax Map #s: 33.15-1-20
Proposed Use: Commercial Service Establishment

GENERAL NOTES:

1. Property line and topography as shown hereon based on "Survey of Property Prepared for GAM, INC." prepared by Terry Bergendorff Collins, dated August 28, 2004, last revised February 17, 2005. The contour interval is 2'.
2. The wetland flagging as shown hereon is taken from a "Wetlands Location Map Prepared for Route 6 LLC" prepared by Terry Bergendorff Collins, dated October 30, 2015 and amended based on additional field location of Town Regulated Wetland flagging, completed in December 2015.
3. The NYSDEC wetland boundary and the Town of Carmel regulated wetland boundary as shown hereon were delineated by James Bailey of Ecological Analysis on August 28, 2015. The NYSDEC wetland boundary was verified by Karl Barton, NYSDEC Biologist, on November 25, 2015 and approved on December 14, 2015.
4. Site will be used for vehicle storage, accessed by staff. No customers will be visiting the site.
5. All work, repairs, or sale of auto parts and accessories shall be conducted in a fully enclosed structure.
6. It is anticipated that there will be no full-time staff on site at any given time.



NO.	DATE	REVISION	BY
2	4-11-16	REVISED PER TOWN COMMENTS	MEV
1	2-17-16	ADDED SITE LIGHTING & LANDSCAPING	S.C.

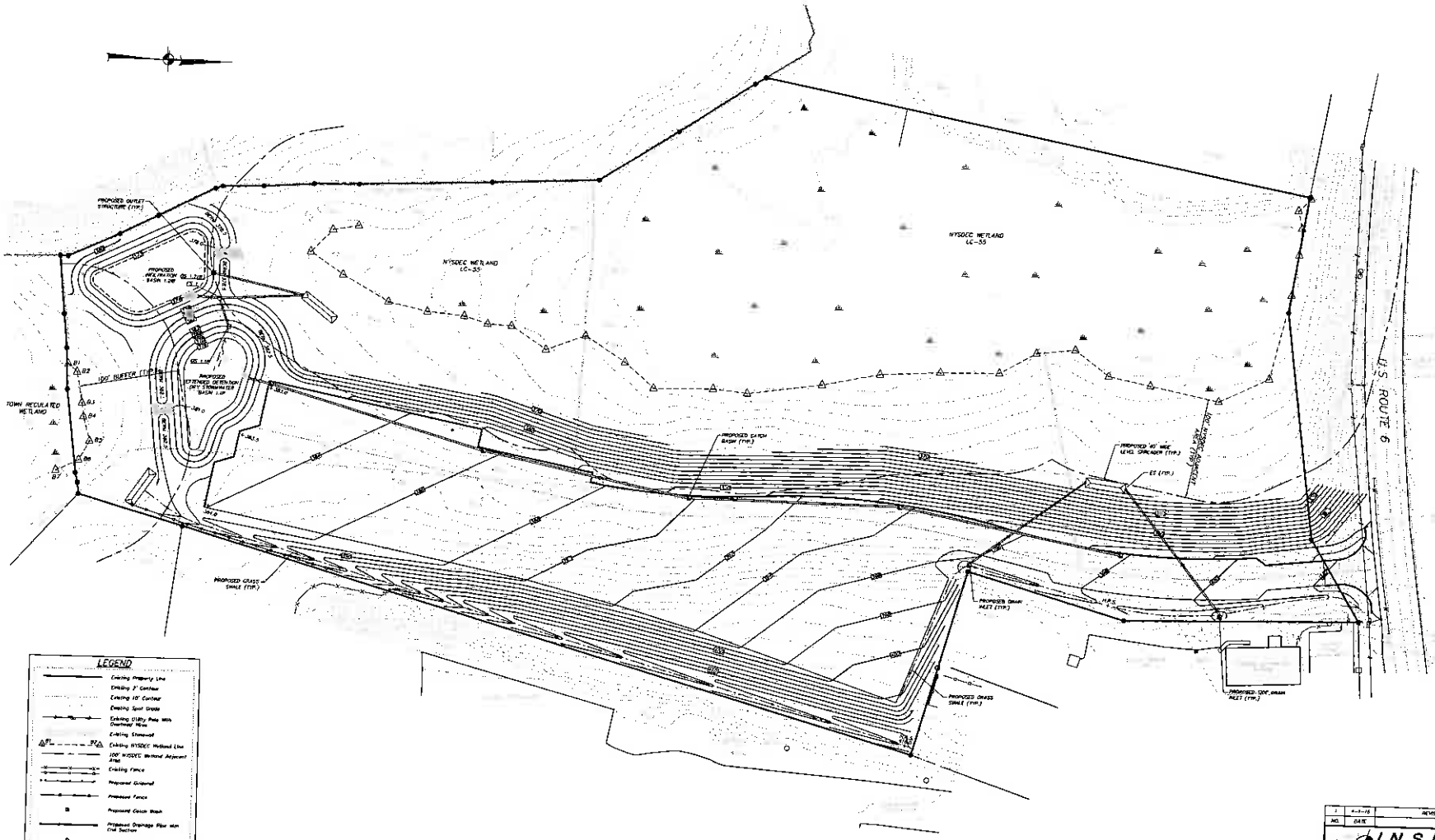
INSITE
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.
3 Garrett Place
Carmel, NY 10512
(845) 225-9690
(845) 225-3370 fax
www.insite-eng.com

PROJECT: MEADOWLAND EXTENSION

1976 U.S. ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING: LAYOUT PLAN

PROJECT NUMBER	15244.100	PROJECT MANAGER	J.M.W.	DRAWING NO.	SHEET
DATE	2-10-16	DRAWN BY	C.T.Q.	SP-1	1 / 6
SCALE	1" = 40'	CHECKED BY	D.L.M.		



LEGEND

- Existing Property Line
- Existing 2' Contour
- Existing 10' Contour
- Existing Spot Grade
- Existing Utility Pole With Overhead Wires
- Existing Stonewall
- Existing NYSDEC Wetland Line
- 100' NYSDEC Wetland Adjacent Area
- Existing Fence
- Proposed Guiderail
- Proposed Fence
- Proposed Catch Basin
- Proposed Drainage Pipe w/in Civil Section
- Proposed Flow Splitter
- Proposed Outlet Control
- Proposed Level Spreader
- Proposed Grass Swale

GRAPHIC SCALE

(IN FEET)
1 inch = 40 ft

NO.	DATE	REVISION	BY
1	9-8-16	REVISED PER TOWN COMMENTS	MEV

INSITE
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.
3 Garrett Place
Carmel, NY 10512
(845) 225-9690
(845) 225-2717 fax
www.insiteeng.com

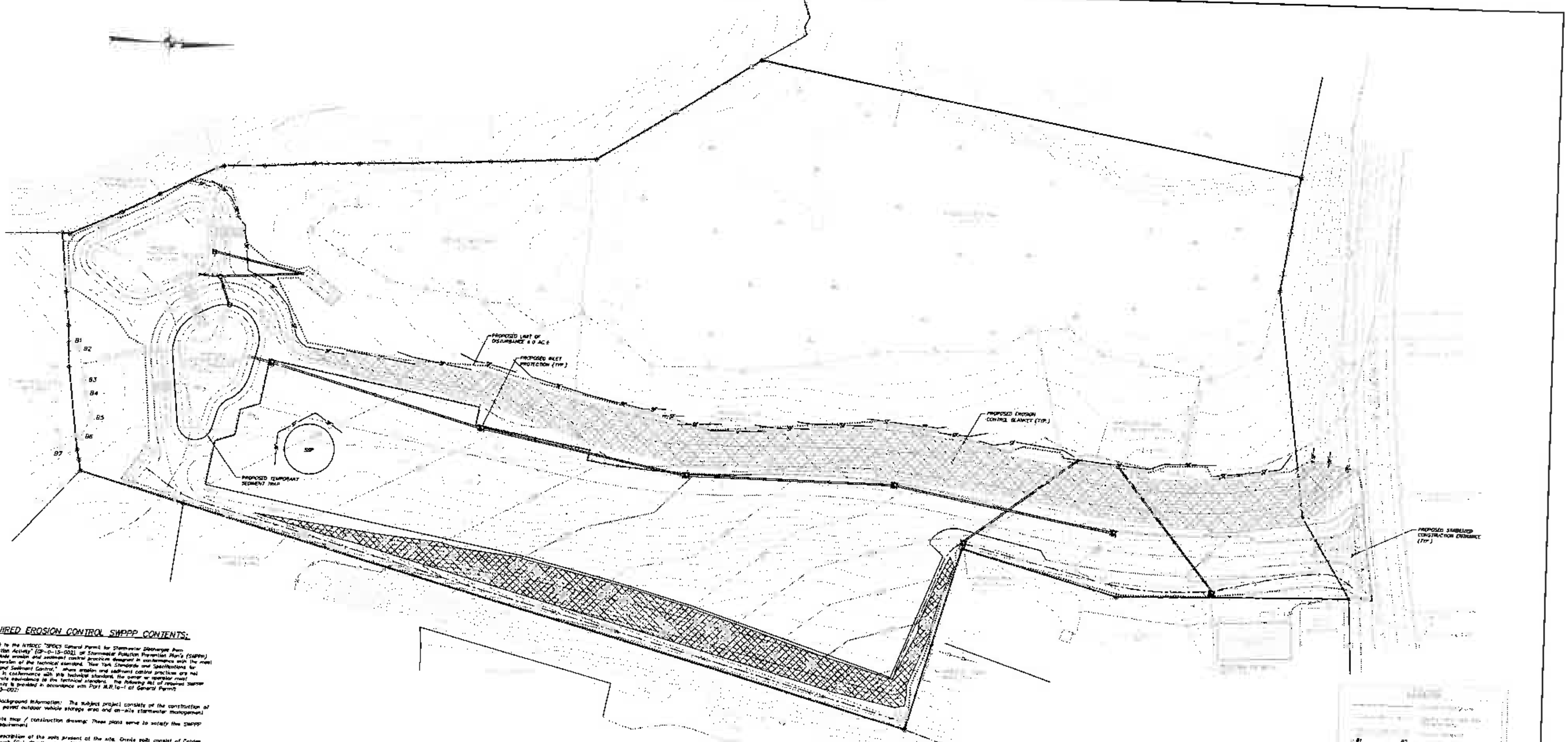
PROJECT:
MEADOWLAND EXTENSION
1974 U.S. ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING:
GRADING & DRAINAGE PLAN

PROJECT NUMBER	15244.100	PROJECT MANAGER	J.M.W.
DATE	2-10-16	DRAWN BY	C.T.Q.
SCALE	1" = 40'	CHECKED BY	D.L.W.

DRAWING NO. SP-2
SHEET 2 / 6

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW



REQUIRED EROSION CONTROL SWPPP CONTENTS:

Pursuant to the NYSDEC "SPDES General Permit for Stormwater Discharges from Construction Activity" (GP-0-15-002), all Stormwater Pollution Prevention Plan's (SWPPP) shall include erosion and sediment control practices designed in conformance with the most current version of the technical standard, "New York Standards and Specifications for Erosion and Sediment Control." Where erosion and sediment control practices are not designed in conformance with this technical standard, the owner or operator must demonstrate equivalence to the technical standard. The following list of required SWPPP components is provided in accordance with Part III.B.1a-l of General Permit GP-0-15-002:

a. Background Information: The subject project consists of the construction of a paved outdoor vehicle storage area and on-site stormwater management.

b. Site map / construction drawing: These plans serve to satisfy this SWPPP requirement.

c. Description of the soils present at the site. Onsite soils consist of Carlisle muck (Ce), Charlton loam (ChB, ChC & ChD), Chatfield-Hollis Rock (CuD), Leicester loam (LeB), Paxton fine sandy loam (PnB and PnC), Udorthents (Ue) & Woodbridge loam (WdB), as identified on the Soil Conservation Service Web Soil Survey. These soil types belong to the Hydrologic Soil Group "A/D", "B", "C", "B/D" AND "C/D."

d. Construction phasing plan / sequence of operations. The Construction Sequence and phasing found on these plans provide the required phasing. A Construction Sequence and Erosion and Sediment Control Maintenance Schedule has been provided. The Sedimentation and Erosion Control Notes contained hereon outline a general sequence of operations for the proposed project. In general all erosion and sediment control facilities shall be installed prior to commencement with land disturbing activities, and areas of disturbance shall be limited to the shortest period of time as practicable.

e. Description of erosion and sediment control practices: This plan, and details / notes shown hereon serve to satisfy this SWPPP requirement.

f. Temporary and permanent soil stabilization plan: The Sedimentation and Erosion Control Notes and Details provided herein identify temporary and permanent stabilization measures to be employed with respect to specific elements of the project, and at the various stages of development.

g. Site map / construction drawing: This plan serves to satisfy this SWPPP requirement.

h. The dimensions, material specifications, installation details, and operation and maintenance requirements for all erosion and sediment control practices. The details, Erosion and Sediment Control Notes, and Erosion and Sediment Control Maintenance Schedule serve to satisfy this SWPPP requirement.

i. An inspection schedule: Inspections are to be performed twice weekly and by a qualified professional as required by the General Permit GP-0-15-002. In addition the NYSDEC Trained Contractor shall perform additional inspections as cited in the Sedimentation and Erosion Control Notes.

j. A description of pollution prevention measures that will be used to control litter, construction chemicals and construction debris. In general, all construction litter / debris shall be collected and removed from the site. The general contractor shall supply either waste barrels or dumpster for proper waste disposal. Any construction chemicals utilized during construction shall either be removed from site daily by the contractor or stored in a structurally sound and weatherproof building. No hazardous waste shall be disposed of onsite, and shall ultimately be disposed of in accordance with all federal, state and local regulations. Material Safety Data Sheets (MSDS), material inventory, and emergency contact numbers shall be maintained by the general contractor for all construction chemicals utilized onsite. Finally, temporary sanitary facilities (portable toilets) shall be provided onsite during the entire length of construction, and inspected weekly for evidence of leaking holding tanks.

k. A description and location of any stormwater discharges associated with industrial activity other than construction at the site: There are no known industrial stormwater discharges present or proposed at the site.

l. Identification of any elements of the design that are not in conformance with the technical standard, "New York Standards and Specifications for Erosion and Sediment Control." All proposed elements of this SWPPP have been designed in accordance with the "New York Standards and Specifications for Erosion and Sediment Control."

EROSION & SEDIMENT CONTROL NOTES:

1. The Erosion and Sediment Control Plan is only to be referred to for the installation of erosion and sediment control measures. For all other construction related activities, including, but not limited to, grading and utilities, refer to the appropriate drawings.

2. Each contractor or subcontractor responsible for soil disturbance shall have a NYSDEC trained contractor onsite during soil disturbing activities. The NYSDEC trained contractor will be responsible to comply with the stormwater pollution prevention plan and for the implementation and maintenance of erosion and sediment control measures on this site prior to and during construction. The NYSDEC trained contractor shall sign a certification statement required by GP-0-15-002.

3. All construction activities involving the removal or deposition of soil are to be provided with appropriate protective measures to minimize erosion and contain sediment deposition within. Minimum soil erosion and sediment control measures shall be implemented as shown on the plans and shall be installed in accordance with "New York Standards and Specifications For Erosion and Sediment Control," latest edition.

4. Wherever feasible, natural vegetation should be retained and protected. Disturbance shall be minimized in the areas required to perform construction. No more than 5 acres of unprotected soil shall be exposed at any one time.

5. When land is exposed during development, the exposure shall be kept to the shortest practical period of time, but in no case more than 7 days after the construction activity in that portion of the site has ceased. Disturbance shall be minimized in the areas required to perform construction.

6. All construction vehicles shall be kept clear of the watercourses and wetland control areas outside the areas of proposed development. Silt fence and orange construction fence shall be installed in the areas where the grading is in close proximity of the watercourses or wetland control areas.

7. The stabilized construction entrances, silt fence, and orange construction fence shall be installed as shown on the plans prior to beginning any clearing, grubbing or earthwork.

8. All topsoil to be stripped from the area being developed shall be stockpiled and immediately seeded with Annual, Perennial or Winter Rye for temporary stabilization. Winter Rye (Grain Rye) shall be used for winter seeding and Annual or Perennial Rye shall be used for spring and summer seeding.

9. Any graded areas not subject to further disturbance or construction traffic shall, within 7 days of final grading, receive permanent vegetation cover in combination with a suitable mulch. All seeded areas to receive a minimum 4" topsoil (from stockpile area) and be seeded and mulched between March 21 and May 20 or between August 15 and October 15 or as directed by project representative, with specified seed mixes as shown in the General Site Seeding Notes.
   - Mulch: Salt hay or small grain straw applied at a rate of 90 lbs./1000 S.F. or 2 tons/acre, to be applied and anchored according to "New York Standards and Specification For Erosion and Sediment Control," latest edition.

10. Grass seed mix may be applied by either mechanical or hydroseeding methods.

10. Cut or fill slopes steeper than 3H:1V shall be stabilized immediately after grading with Curlex I Single Net Erosion Control Blanket, or approved equal.

11. Paved roadways shall be kept clean at all times.

12. The site shall at all times be graded and maintained such that all stormwater runoff is diverted to soil erosion and sediment control facilities.

13. All storm drainage outlets shall be stabilized, as required, before the discharge points become operational.

14. Stormwater from disturbed areas must be passed through erosion control barriers before discharge beyond disturbed areas or discharged into other drainage systems.

15. Erosion and sediment control measures shall be inspected and maintained on a daily basis by the NYSDEC Trained Contractor, to insure that channels, temporary and permanent ditches and pipes are clear of debris, that embankments and berms have not been breached and that all straw bales and silt fences are intact. Any failure of erosion and sediment control measures shall be immediately repaired by the contractor and inspected for approval by the site engineer.

16. Dust shall be controlled by sprinkling or other approved methods as necessary, or as directed by the trained contractor or site engineer.

17. Cut and fills shall not endanger adjoining property, nor divert water onto the property of others.

18. All fills shall be placed and compacted in 6" lifts to provide stability of material and to prevent settlement.

19. The NYSDEC Trained Contractor shall inspect downstream conditions for evidence of sedimentation on a weekly basis and after rainstorms.

20. As warranted by field conditions, special additional erosion and sediment control measures, as specified by the site engineer, the Wetlands Inspector, the Town Engineer and/or NYCDEP shall be installed by the contractor.

21. Erosion and sediment control measures shall remain in place until all disturbed areas are suitably stabilized.

22. After completion of the site improvements, the owner will assume responsibility for maintenance of the roads, parking lots, drainage systems and stormwater facilities. Each spring the paved areas shall be cleaned to remove the winter accumulation of traction sand. After this is completed all drain inlet and catch basin sumps should be cleaned. All pipes should be checked for debris and blockage and cleaned as required. During the cleaning process, the drain inlets, catch basins and pipes should be inspected for structural integrity and overall condition. Repairs and/or replacements should be made as required.

23. Inspection of the underground infiltration systems should be performed every 6 months and after large storm events.

24. Refer to the Stormwater Pollution Prevention Plan for additional details regarding long-term maintenance of the storm drainage facilities.

REQUIRED POST-CONSTRUCTION STORMWATER MANAGEMENT PRACTICE COMPONENTS:

1. Pursuant to the NYSDEC "SPDES General Permit for Stormwater Discharges from Construction Activity" (GP-0-15-002), all construction projects needing post-construction stormwater management practices shall prepare a SWPPP that also includes practices designed in conformance with the most current version of the technical standard, New York State Stormwater Management Design Manual ("Design Manual"). Where post-construction stormwater management practices are not designed in conformance with this technical standard, the owner or operator must demonstrate equivalence to the technical standard. The following list of SWPPP components is provided in accordance with Part III.B.2a-g and III.B.3.

   a. Identification of all post-construction stormwater management practices to be constructed as part of the project; this plan, and details/notes shown hereon serve to satisfy this SWPPP requirement.

   b. A site map/construction drawing(s) showing the specific location and size of each post-construction stormwater management practice. This plan, and details/notes shown hereon serve to satisfy this SWPPP requirement.

   c. A Stormwater Modeling and Analysis Report including pre-development conditions, post-development conditions, the results of the stormwater modeling, a summary table demonstrating that each practice has been designed in conformance with the sizing criteria, identification of and justification for any deviations from the Design Manual, and identification of any design criteria that are not required. The required analysis is provided in the report titled Preliminary Stormwater Pollution Prevention Plan for Meadowland Extension.

   d. Soil testing results and locations. This SWPPP requirement is provided in the report titled Preliminary Stormwater Pollution Prevention Plan for Meadowland Extension.

   e. Infiltration testing results. This SWPPP requirement is provided in the report titled Stormwater Pollution Prevention Plan for Meadowland Extension.

   f. An operations and maintenance plan that includes inspection and maintenance schedules and actions to ensure continuous and effective operation of each post-construction stormwater management practice. The plan shall identify the entity that will be responsible for the long term operation and maintenance of each practice. The Permanent Stormwater Facilities Maintenance Schedule provided on these plans serves to satisfy this requirement.

2. Enhanced Phosphorus Removal Standards – Beginning on September 30, 2008, all construction projects identified in Table 2 of Appendix B that are located in the watersheds identified in Appendix C shall prepare a SWPPP that includes post-construction stormwater management practices designed in conformance with the Enhanced Phosphorus Removal Standards included in the most current version of the technical standard, New York Stormwater Management Design Manual. At a minimum, the post-construction stormwater management practice component of the SWPPP shall include items 2.a – 2.f above. The permanent stormwater practices for this project have been sized according to chapter 10 of the Design Manual Enhanced Phosphorus Removal Standards. Please see 2.a – 2.f above.

EROSION AND SEDIMENT CONTROL MAINTENANCE SCHEDULE

	MONITORING REQUIREMENTS			MAINTENANCE REQUIREMENTS	
PRACTICE	DAILY	WEEKLY	AFTER RAINFALL	DURING CONSTRUCTION	AFTER CONSTRUCTION
SILT FENCE BARRIER	-	Inspect	Inspect	Clean/Replace	Remove
STABILIZED CONSTRUCTION ENTRANCE	Inspect	-	Inspect	Clean/Replace Stone and Fabric	Remove
DUST CONTROL	Inspect	-	Inspect	Mulching/ Spraying Water	N/A
*VEGETATIVE ESTABLISHMENT	-	Inspect	Inspect	Water/Reseed/ Remulch	Reseed to 80% Coverage
INLET PROTECTION	-	Inspect	Inspect	Clean/Repair/ Replace	Remove
SOIL STOCKPILES	-	Inspect	Inspect	Mulching/ Silt Fence Repair	Remove
SWALES	-	Inspect	Inspect	Clean/Mulch/ Repair	New Permanent Grass/Replace/ Repair Rip Rap
CHECK DAMS	-	Inspect	Inspect	Clean/Replace Stones/Repair	Clean/Replace Stones/Repair
CONCRETE DRAINAGE STRUCTURES	-	Inspect	Inspect	Clean Sumps/ Remove Debris/ Repair/Replace	Clean Sumps/ Remove Debris/ Repair/Replace
DRAINAGE PIPES	-	Inspect	Inspect	Clean/Repair	Clean/Repair
ROAD & PAVEMENT	-	Inspect	Inspect	Clean	Clean

* Permanent vegetation is considered stabilized when 80% of the plant density is established. Erosion control measures shall remain in place until all disturbed areas are permanently stabilized.

Note: The party responsible for implementation of the maintenance schedule during and after construction is:

1976 Route 6 LLC
c/o Volz Auto Group
1502 Route 6
Carmel, NY 10512

and/or the current owner(s) of the subject property.

GRAPHIC SCALE

(IN FEET)

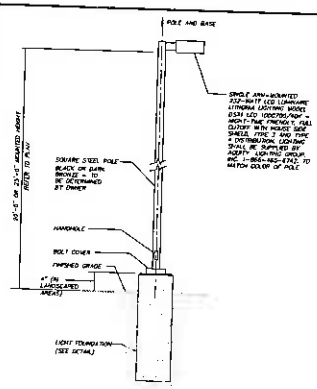
NO.	DATE	REVISION	BY

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.
3 Garrett Place
Carmel, NY 10512
(845) 225-9690
(845) 225-9717 fax
www.insite-eng.com

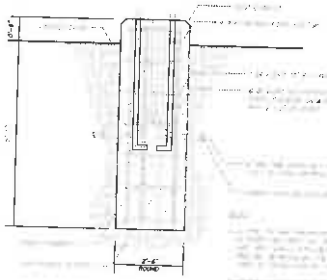
PROJECT:
MEADOWLAND EXTENSION
1976 U.S. ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING:
EROSION & SEDIMENT CONTROL PLAN

PROJECT NUMBER	15244.100	PROJECT MANAGER	S.W.B.	DRAWING NO.	SHEET
DATE	4-1-16	DRAWN BY	C.T.Q.	SP-3	3/6
SCALE	1" = 40'	CHECKED BY	D.L.M.		



POLE-MOUNTED LIGHTING DETAIL
(N.T.S.)



LIGHTING FOUNDATION DETAIL

D-Series Size 2
LED Area Luminaire

D-Series

Specifications

EPA:
Length:
Width:
Height:
Weight (max):

Introduction

POLE-MOUNTED AREA LIGHT
(N.T.S.)

LUMINAIRE SCHEDULE

Symbol	Qty	Catalog Number	Description	Lamp
	7	DSX1 LED 1000 700 NW T3M SHIELD HS	SINGLE - LITHONIA D SERIES LED POLE-MOUNTED, NEAR-THE FRENCH K FULL CUTOFF, WITH PHOTOCELL (T) 20 LED LIGHT ENGINES, TYPE T3M OPTICS WIDE WITH HOUSE SIDE SHIELDS AT 20'-0" MOUNTED HEIGHT.	1 LED-232 WATT
	11	DSX1 LED 1000 700 NW T4M SHIELD HS	SINGLE - LITHONIA D SERIES LED POLE-MOUNTED, NEAR-THE FRENCH K FULL CUTOFF, WITH PHOTOCELL (T) 20 LED LIGHT ENGINES, TYPE T4M OPTICS NARROW WITH HOUSE SIDE SHIELDS AT 20'-0" MOUNTED HEIGHT.	1 LED-232 WATT

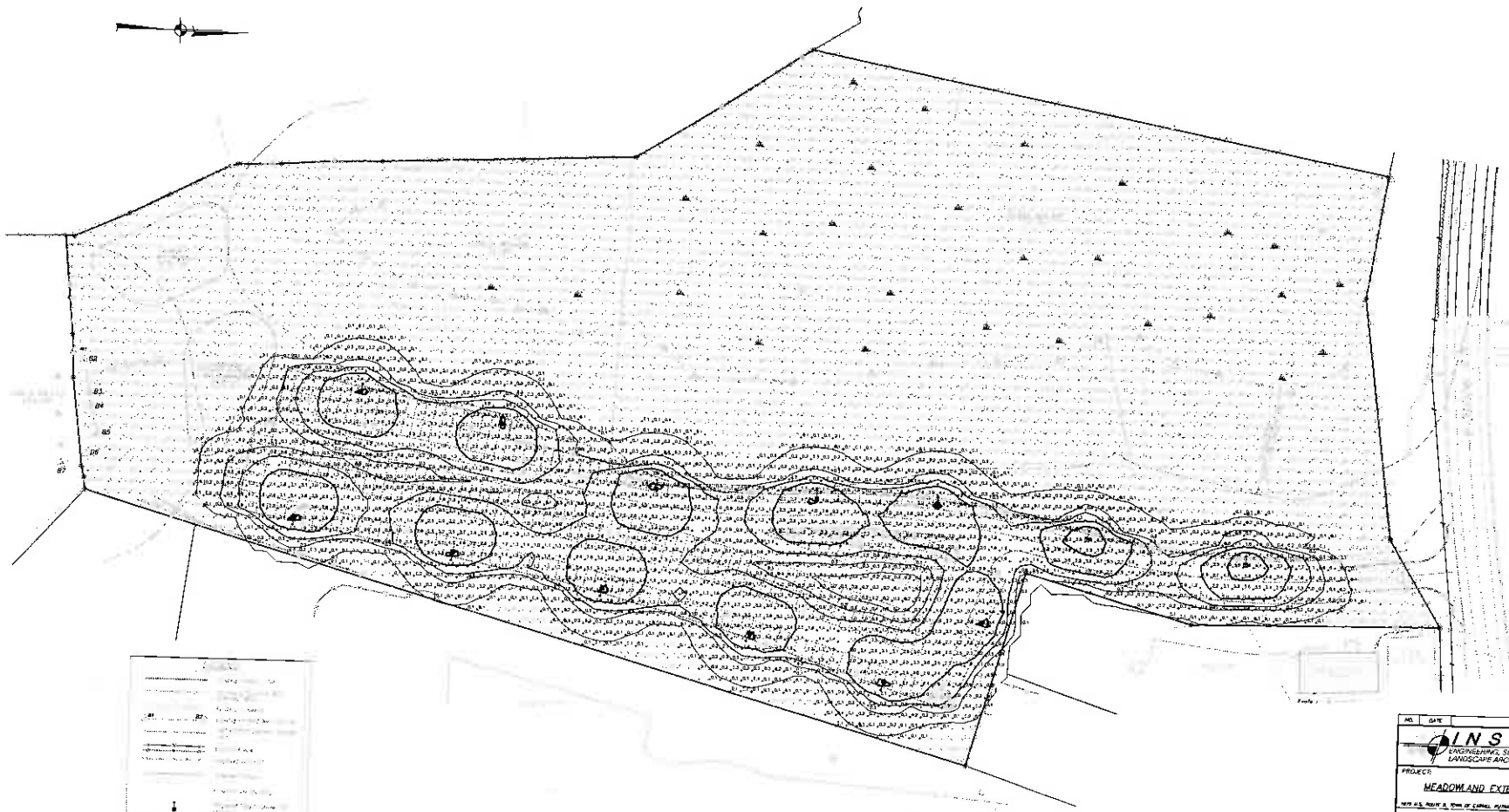
LIGHT CONTOUR LEGEND

0.10	0.10 Foot Candles
0.50	0.50 Foot Candles
1.00	1.00 Foot Candles
2.00	2.00 Foot Candles
3.00	3.00 Foot Candles

* Photometric calculations shown on plan are in foot candles.

LIGHTING NOTES:

1. Refer to Drawing SP-1 for General Notes.
2. Two (7) proposed pole mounted area luminaires along entrance entirely are Type 3 distribution, with horizontal shields at 20'-0" mounted height. Eleven (11) proposed pole mounted area luminaires for surface vehicle storage area are Type 4 distribution, with horizontal shields at 20'-0" mounted height.
3. All lighting shall be as noted on the plan or approved equal.
4. Style and finish of all luminaires and poles to be selected by owner.
5. All proposed site lighting shall be on photocells.
6. Calculation values shown in the plan are taken on a horizontal plane at ground level using a 0.85 light loss factor. Topographical information and landscaping have not been incorporated for in these calculations.



GRAPHIC SCALE
(IN FEET)
1 inch = 40 ft.

NO.	DATE	REVISION	BY

INSITE
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.
3 Garrett Place
Carmel, NY 10512
(845) 225-5690
(845) 225-9757 fax
www.insite-eng.com

PROJECT:
MEADOWLAND EXTENSION
NEW U.S. ROUTE 9, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING:
LIGHTING PLAN

PROJECT NUMBER	15244.100	PROJECT MANAGER	J.J.W.	DRAWING NO.	LP-1
DATE	4-1-16	DRAWN BY	C.T.G.	SHEET	4 / 6
SCALE	1" = 40'	CHECKED BY	D.E.M.		

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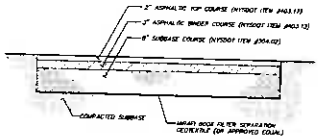
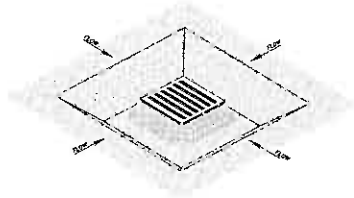
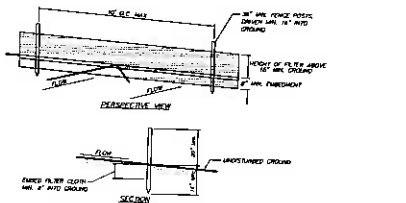


ASPHALT PAVEMENT DETAIL
(N.T.S.)



1. CLEAR THE AREA OF ALL DEBRIS THAT WILL HINDER EXCAVATION
2. GRADE APPROACH TO THE INLET UNIFORMLY AROUND THE BASIN
3. WEEP HOLES SHALL BE PROTECTED BY GRAVEL
4. UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA, SEAL WEEP HOLES FILL EXCAVATION WITH STABLE SOIL TO FINAL GRADE, COMPACT IT PROPERLY, AND STABILIZE WITH PERMANENT SEEDING
5. MAXIMUM DRAINAGE AREA = 1 ACRE

EXCAVATED DROP INLET PROTECTION DETAIL
(N.T.S.)

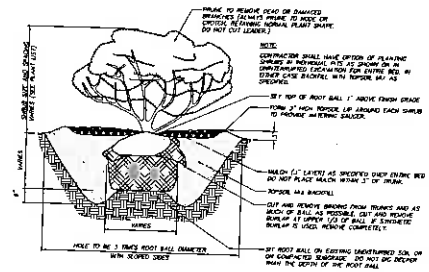


CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

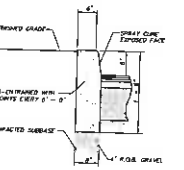
1. FILTER CLOTH TO BE FASTENED SECURELY TO POSTS AT TOP AND MID SECTION.
2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
3. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

POSTS: STEEL EITHER T OR U TYPE OR 2" HARDWOOD.
FILTER CLOTH: FILTER X OR STANDARD STRENGTH CLOTH OR APPROVED EQUAL.
PREFABRICATED UNIT: GEOFABRIC ENVIROFENCE, OR APPROVED EQUAL.

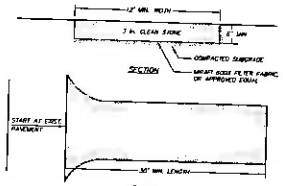
SILT FENCE DETAIL
(N.T.S.)



SHRUB PLANTING DETAIL
(N.T.S.)



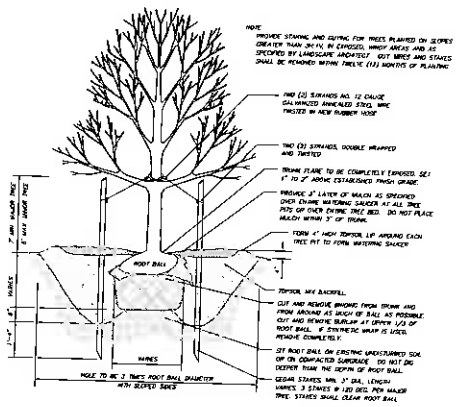
CONCRETE CURB DETAIL
(N.T.S.)



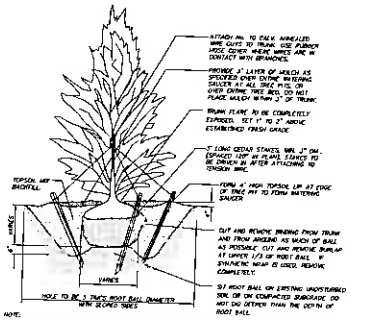
INSTALLATION NOTES

1. STONE SIZE – USE 2" STONE
2. LENGTH – AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY)
3. THICKNESS – NOT LESS THAN SIX (6) INCHES.
4. WIDTH – 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR.
5. FILTER CLOTH – WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT
6. SURFACE WATER – ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE – THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
8. WASHING – WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE DETAIL
(N.T.S.)

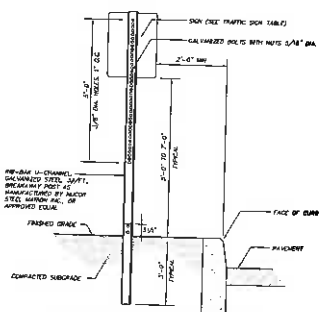


TREE PLANTING DETAIL
(N.T.S.)



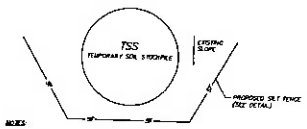
NOTE:
PROVIDE STAKING AND GUYING FOR TREES PLANTED ON SLOPES GREATER THAN 3H:1V, IN EXPOSED, WINDY AREAS AND AS SPECIFIED BY LANDSCAPE ARCHITECT. GUY WIRES AND STAKES SHALL BE REMOVED WITHIN TWELVE MONTHS OF PLANTING.

EVERGREEN TREE PLANTING DETAIL
(N.T.S.)



NOTE: FOR HANDICAP PARKING SIGNAGE, SIGNS SHALL BE INSTALLED AT A CLEAR HEIGHT OF BETWEEN 5'-0" AND 7'-0" ABOVE GRADE OF PARKING SPACE AND SIGN PANEL SHALL NOT BE OBSCURED BY A VEHICLE PARKED IN THE SPACE.

TRAFFIC SIGN DETAIL
(N.T.S.)



NOTES:

1. AREA CHOSEN FOR STOCKPILE LOCATION SHALL BE DRY AND STABLE
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 2:1.
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE IMMEDIATELY SEEDED WITH FULL PERENNIAL TALL FESCUE.
4. ALL STOCKPILES SHALL BE PROTECTED WITH SILT FENCING INSTALLED ON THE DOWNGRADIENT SIDE.

TEMPORARY SOIL STOCKPILE DETAIL
(N.T.S.)

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NO.	DATE	REVISION	BY

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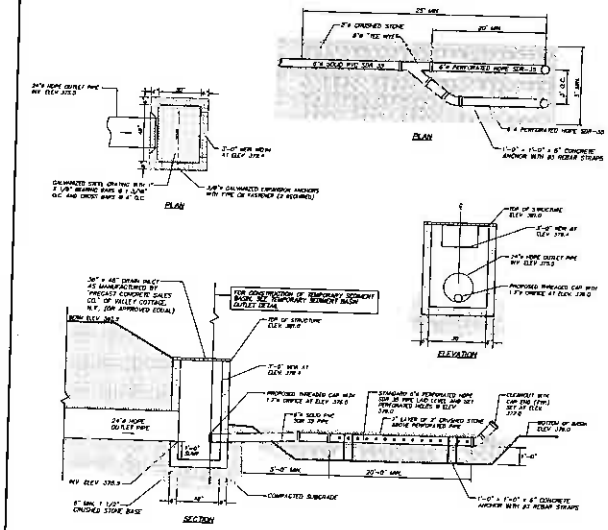
Carmel, NY 10512
(845) 225-6920
(914) 225-6920
(845) 225-6717 fax
www.insite-eng.com

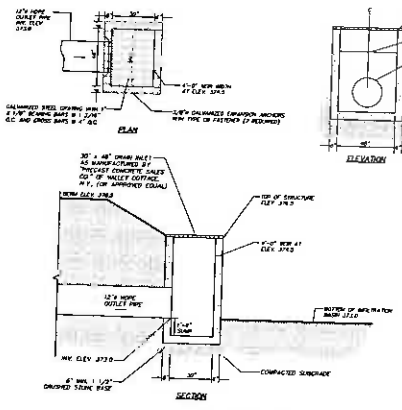
PROJECT:
MEADOWLAND EXTENSION
1635 U.S. ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

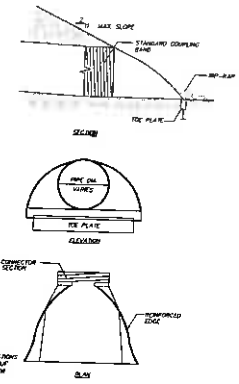
DRAWING:
SITE DETAILS

PROJECT NUMBER	15244.100	PROJECT MANAGER	S.W.B.
DATE	4-1-16	DRAWN BY	C.T.G.
SCALE	AS SHOWN	CHECKED BY	D.L.M.

DRAWING NO. D-1
SHEET 5 / 6







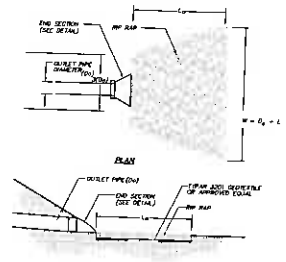
EXTENDED DETENTION DRY PRETREATMENT BASIN & INFILTRATION BASIN OUTLET NOTES

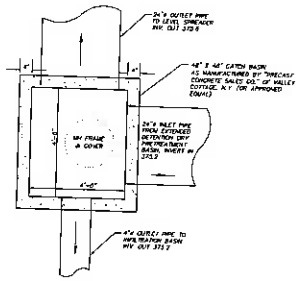
1. THE BASINS ARE PROPOSED TO BE UTILIZED AS TEMPORARY SEDIMENT BASINS DURING CONSTRUCTION. AFTER THE CONTRIBUTING AREAS TO THE BASINS HAVE BEEN PERMANENTLY STABILIZED, THE FOLLOWING SHALL BE ACCOMPLISHED:

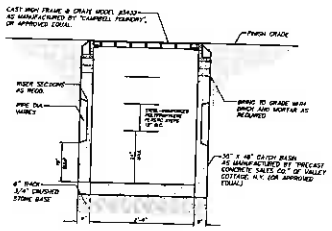
FOR PERMANENT DETENTION DRY PRETREATMENT BASINS 1,1P(B) & 2,1P(B):
A. CLEAN BASIN AND OUTLET STRUCTURE AND REMOVE 8"Ø PERFORATED VERTICAL RISER PIPE, CRUSHED STONE AND FILTER FABRIC.
B. ADD THREADED CAP WITH ORIFICE AT DESIGNATED END OF 8"Ø SOLID PVC SDR 35 PIPES PER DETAIL.
C. REPLACE THE PERFORATED PIPE AND CRUSHED STONE SO NOT REPLACE FILTER FABRIC.
D. ESTABLISH THE FINAL VEGETATION IN THE BASIN IN ACCORDANCE WITH THE TYPICAL DRY STORMWATER / INFILTRATION BASIN PLANTING DETAIL.

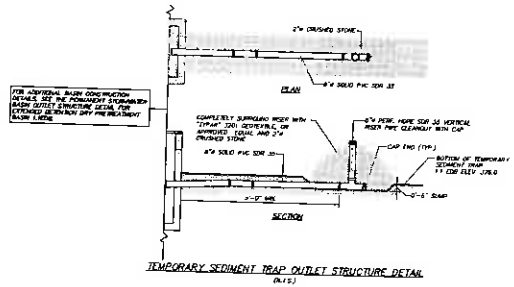
FOR INFILTRATION BASINS 1,1IB & 2,1IB:
A. INFILTRATION BASIN CONSTRUCTED IN ITS FINAL CONDITION PER THE DETAILS SHOWN HEREON DURING INITIAL PHASES OF CONSTRUCTION AND STABILIZED.
B. ALL STORM WATER IS DIVERTED AWAY FROM THE BASIN UNTIL ALL CONTRIBUTING AREAS HAVE BEEN STABILIZED IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL NOTES.
C. UPON COMPLETE STABILIZATION OF ALL CONTRIBUTING AREAS AND CONVERSION OF THE TEMPORARY SEDIMENT TRAP TO THE PERMANENT EXTENDED DETENTION DRY PRETREATMENT STORMWATER BASIN, DIRECT ALL TO INFILTRATION BASIN.

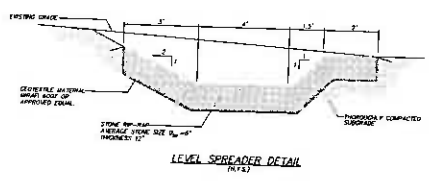
2. FOLLOWS: * WHEN INITIALLY USED AT THE TEMPORARY SEDIMENT BASIN, GEOFABRIC ON THE RISER SHALL BE SPRAYED WITH TYPAR 3201 GEOFABRIC OR APPROVED EQUAL AND SURROUNDED WITH 2"Ø STONE. THE TOP OF THE RISER SHALL BE SET AT THE BASIN ELEVATION AS THE WORK AS SHOWN IN THE STORMWATER BASIN OUTLET STRUCTURE DETAILS.

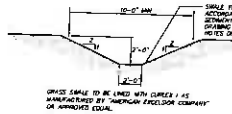


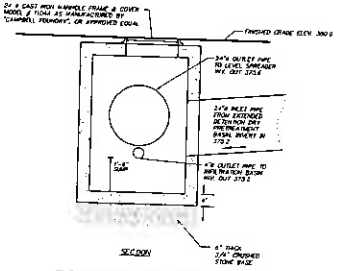


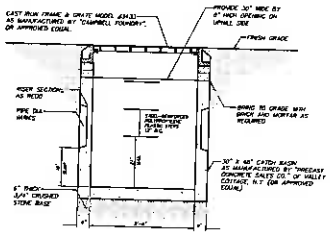


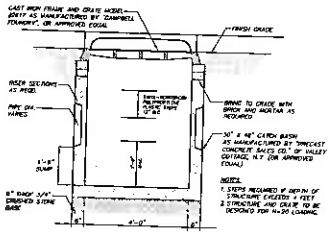


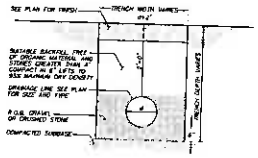












NO.	DATE	REVISION	BY

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.
3 Garnet Place
Carmel, NY 10512
(845) 225-5690
(845) 225-2912 fax
www.insite-pllc.com

PROJECT: MEADOWLAND EXTENSION
NEW U.S. ROUTE 9, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING: SITE DETAILS

PROJECT NUMBER	15244.100	PROJECT MANAGER	S.W.S.	DRAWING NO.	SHEET
DATE	4-2-16	DRAWN BY	C.T.G.	D-2	6 / 6
SCALE	AS SHOWN	CHECKED BY	D.L.M.		

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

TOWN OF CARMEL
SITE PLAN APPLICATION INSTRUCTIONS

The Town of Carmel Planning Board meetings are held twice a month, on the second and fourth Wednesday's, at 7:00 PM at Carmel Town Hall, 60 McAlpin Avenue, Carmel

The submission deadline is 10 days prior to the Planning Board meeting. New site plan applications that have been deemed complete will be placed on the agenda in the order they are received.

No application will be placed on the agenda that is incomplete

Pre-Submission:

Prior to the formal submission of the site plan, a pre-submission conference may be requested by the applicant to be conducted with representatives from the Town, which may include the Town Planner, Town Engineer, Director of Code Enforcement and/or the Planning Board Attorney. This conference will serve to educate the applicant on the process he/she must follow, clarify the information required to submit a complete site plan application, and to highlight any specific areas of concern. You may arrange a pre-submission conference through the Planning Board Secretary at (845) 628-1500 extension 190.

Submission Requirements:

At least 10 days prior to the Planning Board meeting, the site plan application shall be submitted to the Planning Board Secretary as follows:

All site plans shall be signed, sealed and folded with the title box legible. The application package shall include:

- ☑ 11 copies of the Site Plan Application Form, signed and notarized.
- ☑ 11 copies of the SEQR Environmental Assessment Form (use of short form or long form shall be determined at pre-submission conference).
- ☑ 5 full size sets of the Site Plan (including floor plans and elevations)
- ☑ 1 CD (in pdf. format) containing an electronic version of the Site Plan
- ☑ 2 copies of the Disclosure Statement
- ☑ 11 copies of the Site Plan Completeness Certification Form
- ☑ All supplemental studies, reports, plans and renderings.
- ☑ 2 copies of the current deed.
- N/A ☐ 2 copies of all easements, covenants and restrictions.
- ☑ The appropriate fee, determined from the attached fee schedule. Make checks payable to the *Town of Carmel.*

Rose Tromlette 4/4/16
Planning Board Secretary; Date

4/4/16
Town Engineer; Date

TOWN OF CARMEL

SITE PLAN APPLICATION

Per Town of Carmel Code – Section 156 - Zoning

SITE IDENTIFICATION INFORMATION

Application Name: SEAN ROONEY | **Application #** 16-0008 | **Date Submitted:** 03/14/16

Site Address:
No. 17 Street: MILLER ROAD Hamlet: MAHOPAC, CARMEL (T)

Property Location: *(Identify landmarks, distance from intersections, etc.)*
WEST SIDE OF MILLER ROAD,

Town of Carmel Tax Map Designation:
Section 86.11 Block 1 Lot(s) 18

Zoning Designation of Site:
C - BP

Property Deed Recorded in County Clerk's Office
Date Liber 981 Page 00144

Liens, Mortgages or other Encumbrances
Yes No

Existing Easements Relating to the Site
(No) Yes Describe and attach copies:

Are Easements Proposed?
(No) Yes Describe and attach copies:

Have Property Owners within a 500' Radius of the Site Been Identified?
Yes ✓ No Attached List to this Application Form see plan

APPLICANT/OWNER INFORMATION

Property Owner: ROONEY PROPERTIES, LLC | **Phone #:** 8456210222 **Fax#:** | **Email:** ROONEYORTHO@YAHOO.COM

Owners Address:
No. 50 Street: STOCUM ROAD Town: MAHOPAC State: NY Zip: 10541

Applicant (If different than owner): — | **Phone #:** — **Fax#:** | **Email:** —

Applicant Address (If different than owner):
No. Street: — Town: — State: — Zip: —

Individual/ Firm Responsible for Preparing Site Plan: JOHN KARELL, JR., P.E. | **Phone #:** 8457210455 **Fax#:** — | **Email:** JACK4911@YAHOO.COM

Address:
No. 121 Street: CUSHMAN ROAD Town: PATTERSON State NY Zip 12563

Other Representatives: — | **Phone #:** — **Fax#:** | **Email:** —

Owners Address:
No. 50 Street: STOCUM ROAD Town: MAHOPAC State: NY Zip: 10541

PROJECT DESCRIPTION

Describe the project, proposed use and operation thereof:

BUILDING ADDITION & EXPANSION OF PARKING, RELOCATION OF SEPTIC TANK AND WELL

TOWN OF CARMEL SITE PLAN APPLICATION

Lot size: *Acres:* 0.4 *Square Feet:* 16,991	Square footage of all existing structures (by floor):
# of existing parking spaces: 8	# of proposed parking spaces: 13
# of existing dwelling units: 1	# of proposed dwelling units 1

Is the site served by the following public utility infrastructure:

- Is project in sewer district or will private septic system(s) be installed? EX. SEPTIC
- If yes to Sanitary Sewer answer the following:
  - Does approval exist to connect to sewer main? Yes: ☐ No: ☒
  - Is this an in-district connection? — Out-of district connection? —
  - What is the total sewer capacity at time of application? —
  - What is your anticipated average and maximum daily flow —

For Town of Carmel Town Engineer

- *What is the sewer capacity* MT 04/04/16

- Water Supply WELL Yes: ☒ No: ☐

  If Yes:
  - Does approval exist to connect to water main? Yes: ☐ No: ☒
  - What is the total water capacity at time of application?
  - What is your anticipated average and maximum daily demand
- Storm Sewer Yes: ☐ No: ☒
- Electric Service Yes: ☒ No: ☐
- Gas Service Yes: ☒ No: ☐
- Telephone/Cable Lines Yes: ☒ No: ☐

For Town of Carmel Town Engineer

Water Flows NA 4/4/16 MT
Sewer Flows

Town Engineer; Date

What is the predominant soil type(s) on the site? PAXTON FINE SANDY LOAM 3-8%	What is the approximate depth to water table? > 7 FT

Site slope categories:	15-25% 100%	25-35% 0 %	>35% 0 %
Estimated quantity of excavation:	Cut (C.Y.) 0	Fill (C.Y.) 100	
Is Blasting Proposed Yes: ☐	No: ☒	Unknown: ☐	
Is the site located in a designated Critical Environmental Area?	Yes: ☐	No: ☒	
Does a curb cut exist on the site? Yes: ☒ No: ☐	Are new curb cuts proposed? Yes: ☐ No: ☒	What is the sight distance? Left > 200 Right > 200 FT	

Is the site located within 500' of:

- The boundary of an adjoining city, town or village Yes: ☐ No: ☒
- The boundary of a state or county park, recreation area or road right-of-way Yes: ☒ No: ☐
  BIKE PATH
- A county drainage channel line. Yes: ☐ No: ☒
- The boundary of state or county owned land on which a building is located Yes: ☐ No: ☒

TOWN OF CARMEL SITE PLAN APPLICATION

Is the site listed on the State or Federal Register of Historic Place (or substantially contiguous)
Yes: ☐ No: ■

Is the site located in a designated floodplain?
Yes: ☐ No: ■

Will the project require coverage under the Current NYSDEC Stormwater Regulations
Yes: ■ No: ☐

Will the project require coverage under the Current NYCDEP Stormwater Regulations
Yes: ☐ No: ■

Does the site disturb more than 5,000 sq ft Yes: ■ No: ☐

Does the site disturb more than 1 acre Yes: ☐ No: ■

Does the site contain freshwater wetlands?
Yes: ☐ No: ■
Jurisdiction:
NYSDEC: ☐ Town of Carmel: ☐
If present, the wetlands must be delineated in the field by a Wetland Professional, and survey located on the Site Plan.
Are encroachments in regulated wetlands or wetland buffers proposed? Yes: ☐ No: ■

Does this application require a referral to the Environmental Conservation Board? Yes: ☐ No: ■

Does the site contain waterbodies, streams or watercourses? Yes: ☐ No: ■

Are any encroachments, crossings or alterations proposed? Yes: ☐ No: ■

Is the site located adjacent to New York City watershed lands? Yes: ☐ No: ■

Is the project funded, partially or in total, by grants or loans from a public source?
Yes: ☐ No: ■

Will municipal or private solid waste disposal be utilized?
Public: ☐ Private: ■

Has this application been referred to the Fire Department? Yes: ☐ No: ■ EX. BLDG

What is the estimated time of construction for the project?
6 MONTHS

Zoning Provision	Required	Existing	Proposed
Lot Area	120,000	16991	16991
Lot Coverage	40%	12.7	17.1
Lot Width	200	83.5	83.5
Lot Depth	200	203	203
Front Yard	50	26.9	26.9
Side Yard	40	8.9	8.9
Rear Yard	40	108.6	108.6
Minimum Required Floor Area	5000	2200	5255
Floor Area Ratio			21.9
Height	60	35	25
Off-Street Parking	8	8	13
Off-Street Loading	N/A	N/A	N/A

TOWN OF CARMEL SITE PLAN APPLICATION

Will variances be required? Yes: ☐ No: ☒	If yes, identify variances:
APPROVED BUILDING MATERIALS	
Foundation	CONCRETE
Structural System	WOOD
Roof	ASPHALT SHINGLES
Exterior Walls	WOOD
APPLICANTS ACKNOWLEDGEMENT	

I hereby depose and certify that all the above statements and information, and all statements and information contained in the supporting documents and drawings attached hereto are true and correct.

Sean Rooney SEAN ROONEY — Applicants Name

Sean Rooney — Applicants Signature

Sworn before me this 10 day of March 20 16

Notary Public

JENNIFER KRETZSCHMAR
Notary Public - State of New York
NO. 01KR6246307
Qualified in Putnam County
My Commission Expires Aug 8, 2019

TOWN OF CARMEL

SITE PLAN COMPLETENSS CERTIFICATION FORM

All Site Plans submitted to the Planning Board for review shall include the following information and details, as set forth in Section 156-61 B of the Town of Carmel Zoning Ordinance.

<u>This form shall be included with the site plan submission</u>

	Requirement Data	To Be Completed by the Applicant	Waived by the Town
1	Name and title of person preparing the site plan	☑ ✓	☐
2	Name of the applicant and owner (if different from applicant)	☑ ✓	☐
3	Original drawing date, revision dates, scale and north arrow	☑ ✓	☐
4	Tax map, block and lot number(s), zoning district	☑	☐
5	All existing property lines, name of owner of each property within a 500' radius of the site	☑ ✓	☐
6	Contour lines at two-foot intervals, grades of all roads, driveways, sanitary and storm sewers	☑ ✓	☐
7	The location of all water bodies, streams, watercourses, wetland areas, wooded areas, rights-of-way, streets, roads, highways, railroads, buildings, structures	☑ ✓	☐
8	The location of all existing and proposed easements	N/A ☐	☐
9	The location of all existing and proposed structures, their use, setback dimensions, floor plans, front, side and rear elevations, buildable area.	☑ ✓	☐
10	On site circulation systems, access, egress ways and service roads, emergency service access and traffic mitigation measures	☑ ✓	☐
11	Sidewalks, paths and other means of pedestrian circulation	☑ ✓	☐
12	On-site parking and loading spaces and travel aisles with dimensions	☑	☐
13	The location, height and type of exterior lighting fixtures	☑ ✓	☐
14	Proposed signage	☑ N/A	☐
15	For non-residential uses, an estimate of the number of employees who will be using the site, description of the operation, types of products sold, types of machinery and equipment used	☑ ✓	☐

TOWN OF CARMEL

SITE PLAN COMPLETENSS CERTIFICATION FORM

	Requirements	To be checked by the Applicant	To be checked by the Town
16	The location of clubhouses, swimming pools, open spaces, parks or other recreational areas, and identification of who is responsible for maintenance	☐ N/A	☐
17	The location and design of buffer areas, screening or other landscaping, including grading and water management. A comprehensive landscaping plan in accordance with the Tree Conservation Law	☐ N/A	☐
18	The location of public and private utilities, maintenance responsibilities, trash and garbage areas	☐ NONE	☐
19	A list, certified by the Town Assessor, of all property owners within 500 feet of the site boundary	☑	☐
20	Any other information required by the Planning Board which is reasonably necessary to ascertain compliance with this chapter	☑	☐

Applicants Certification (to be completed by the licensed professional preparing the site plan:

I JOHN KARELL JR. P.E. **hereby certify that the site plan to which I have attached my seal and signature, meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:**

STATE OF NEW YORK
JOHN KARELL, JR.
No. 53277
LICENSED PROFESSIONAL ENGINEER

Signature - Applicant — **Date** 03-10-16

Signature - Owner — **Date** 03-10-16

Professionals Seal

TOWN OF CARMEL

SITE PLAN COMPLETENSS CERTIFICATION FORM

Town Certification (to be completed by the Town)

I Rose Trombetta **hereby confirm that the site plan meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:**

Signature - Planning Board Secretary — **Date** 4/4/16

Signature - Town Engineer — **Date** 4/4/16

Short Environmental Assessment Form
Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information

Name of Action or Project:
SEAN ROONEY AMENDED SITE PLAN

Project Location (describe, and attach a location map):
17 MILLER ROAD, MAHOPAC, NEW YORK, 10541

Brief Description of Proposed Action:
CONSTRUCTION OF AN ADDITION TO AN EXISTING BUILDING WHICH SERVES AS A DENTESTS OFFICE, ADDITIONAL PARKING RELOCATION OF THE EXISTING DRILLED WELL AND SEPTIC TANK

Name of Applicant or Sponsor:	Telephone: 845 621 0222
SEAN ROONEY, ROONEY PROPERTIES, LLC	E-Mail: ROONEYORTHO@YAHOO.COM

Address:
50 STOCUM ROAD

City/PO:	State:	Zip Code:
MAHOPAC	NY	10541

	NO	YES
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.	☑	☐
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: PUTNAM COUNTY DEPARTMENT OF HEALTH, WELL AND SEPTIC TANK RELOCATION	☐	☑

3.a. Total acreage of the site of the proposed action? 0.4 acres
b. Total acreage to be physically disturbed? 0.1 acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 0.4 acres

4. Check all land uses that occur on, adjoining and near the proposed action.
☐ Urban ☐ Rural (non-agriculture) ☐ Industrial ☑ Commercial ☐ Residential (suburban)
☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other (specify): _____
☐ Parkland

	NO	YES	N/A
5. Is the proposed action,			
a. A permitted use under the zoning regulations?	☐	✓	☐
b. Consistent with the adopted comprehensive plan?	☐	✓	☐

	NO	YES
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	☐	✓
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: Name:Baldwin Place Area, Reason:Difficulties w/ portable water source, Agency:Somers, Town of, Date:9-26-90	☐	✓
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	✓	☐
b. Are public transportation service(s) available at or near the site of the proposed action?	☐	✓
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	☐	✓
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies:	☐	✓
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: DRILLED WELL	✓	☐
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: SEPTIC SYSTEM	✓	☐
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	✓	☐
b. Is the proposed action located in an archeological sensitive area?	☐	✓
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	☐	✓
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres:	✓	☐

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:
☐ Shoreline ☐ Forest ☐ Agricultural/grasslands ☐ Early mid-successional
☐ Wetland ☑ Urban ☐ Suburban

	NO	YES
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	✓	☐
16. Is the project site located in the 100 year flood plain?	✓	☐
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? ☑ NO ☐ YES	☐	✓
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: ☑ NO ☐ YES		

	NO	YES
18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size:	✓	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	✓	
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: Baldwin Place Shopping Center groundwater remediation. Does not affect this property - 1/2 mile Away		✓

I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

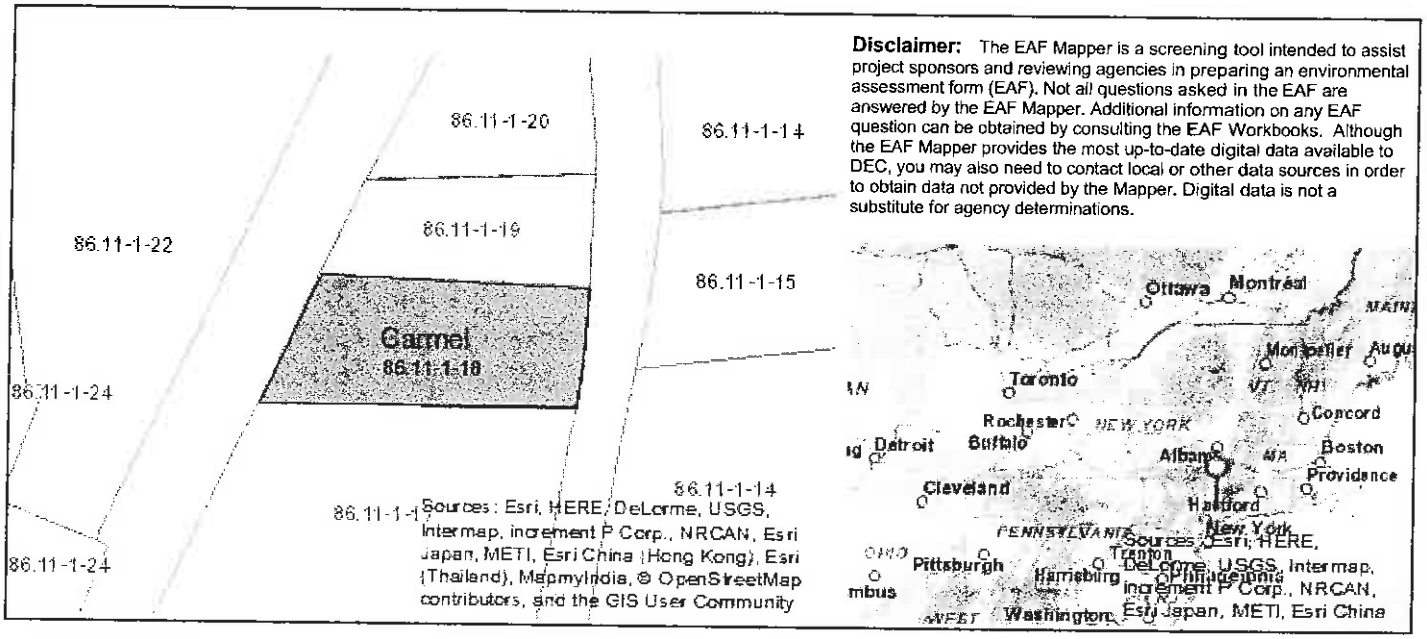
Applicant/sponsor name: SEAN ROONEY, ROONEY PROPERTIES, LLC Date: MARCH 7, 2016

Signature: Sean Rooney

PRINT FORM

EAF Mapper Summary Report

Tuesday, March 08, 2016 7:17 AM



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

Part 1 / Question 7 [Critical Environmental Area]	Yes
Part 1 / Question 7 [Critical Environmental Area - Identify]	Name:Baldwin Place Area, Reason:Difficulties w/ portable water source, Agency:Somers, Town of, Date:9-26-90
Part 1 / Question 12a [National Register of Historic Places]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies] *	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes

* STATE WETLAND F-26 ACROSS STREET. WETLAND MUCH GREATER THAN 100 FT FROM PROPOSED PROPERTY

NEW YORK STATE OF OPPORTUNITY.

Parks, Recreation, and Historic Preservation

ANDREW M. CUOMO
Governor

ROSE HARVEY
Commissioner

February 16, 2016

Mr. John Karell
Karell Engineering
121 Cushman Road
Patterson, NY 12563

Re: DEC
Sean Rooney Building Addition
17 Miller Road, Mahopac, NY 10541
16PR00740

Dear Mr. Karell:

Thank you for requesting the comments of the Office of Parks, Recreation and Historic Preservation (OPRHP). We have reviewed the project in accordance with the New York State Historic Preservation Act of 1980 (Section 14.09 of the New York Parks, Recreation and Historic Preservation Law). These comments are those of the OPRHP and relate only to Historic/Cultural resources. They do not include potential environmental impacts to New York State Parkland that may be involved in or near your project. Such impacts must be considered as part of the environmental review of the project pursuant to the State Environmental Quality Review Act (New York Environmental Conservation Law Article 8) and its implementing regulations (6 NYCRR Part 617).

Based upon this review, it is the New York State Office of Parks, Recreation and Historic Preservation's opinion that your project will have no impact on archaeological and/or historic resources listed in or eligible for the New York State and National Registers of Historic Places.

If further correspondence is required regarding this project, please be sure to refer to the OPRHP Project Review (PR) number noted above.

Sincerely,

Ruth L. Pierpont

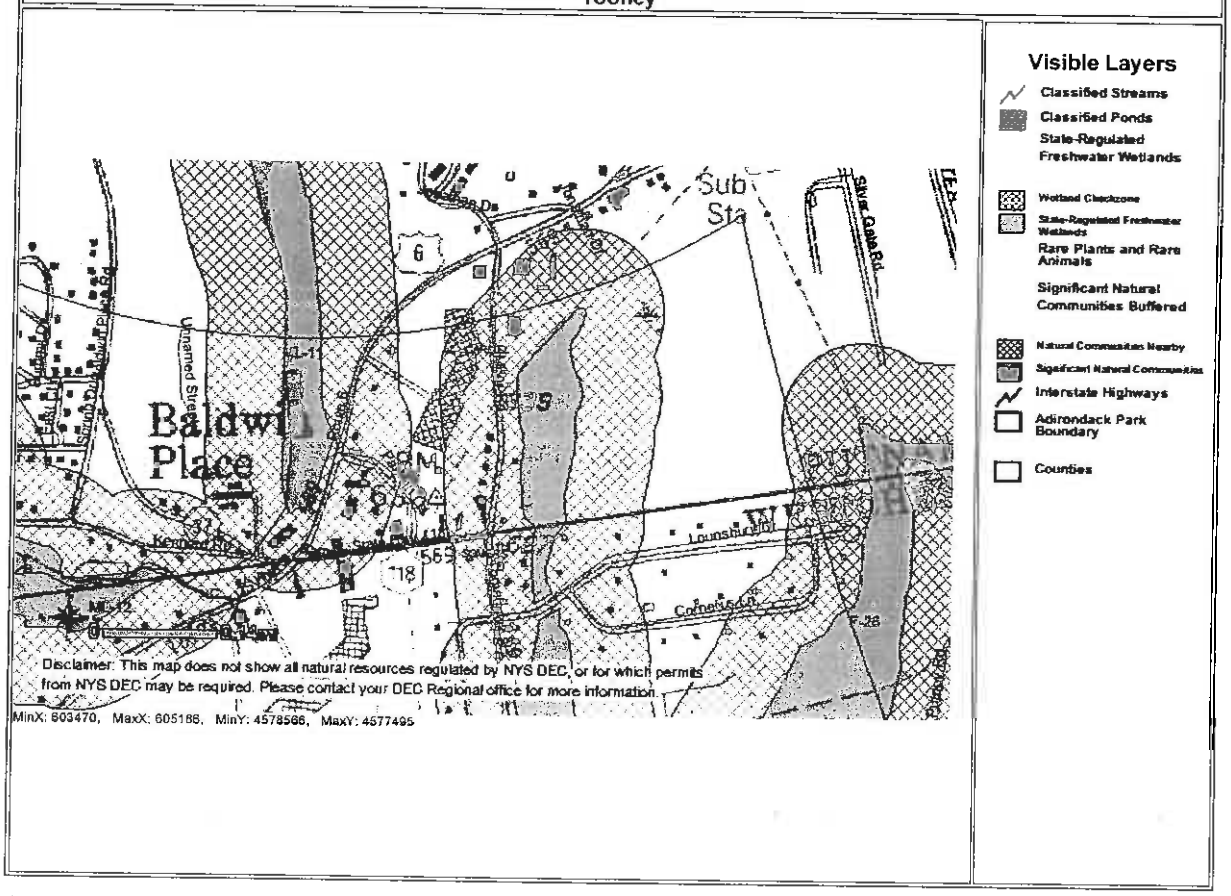
Ruth L. Pierpont

Deputy Commissioner for Historic Preservation

[print page] [close window]

Please set your printer orientation to "Landscape".

rooney



Disclaimer:This map was prepared by the New York State Department of Environmental Conservation using the most current data available. It is deemed accurate but is not guaranteed. NYS DEC is not responsible for any inaccuracies in the data and does not necessarily endorse any interpretations or products derived from the data.

JOHN KARELL, JR., P.E.

121 CUSHMAN ROAD
PATTERSON, NEW YORK, 12563
845-878-7894 FAX 845 878 4939
jack4911@yahoo.com

STORMWATER POLLUTION PREVENTION PLAN

EROSION AND SEDIMENT CONTROL

SEAN ROONEY BUILDING ADDITION
17 MILLER ROAD
HAMLET OF MAHOPAC
CARMEL (T)

February 28, 2016

ROONEY STORMWATER POLLUTION PREVENTION PLAN
SEQUENCE OF CONSTRUCTION

The following are sequence and methods of construction for the regrading of property owned by Sean Rooney, Rooney Properties, LLC, 17 Miller Road, hamlet of Mahopac, Carmel (T), Putnam County, New York. Erosion and sediment control measures are incorporated into the construction program. Construction of this project will be in one phase.

Proposed erosion and sediment control methods are found on the Site Plan. The erosion controls are designed in accordance with the State of New York, "Guidelines for Urban Erosion and Sediment Control". The project is expected to start in the Summer of 2016 and continue over a 6 month period.

A. General Construction Notes

1. The site shall be disturbed only when and where necessary. Only the smallest practical area of land shall be exposed at any one time during development. When land is exposed, the exposure shall be kept to the shortest practical period of time by immediate stabilization per the stabilization notes, unless specified otherwise. All disturbed areas that are seeded with appropriate seed mixture and procedure are considered stabilized when 80% of the vegetation is achieved.
2. Where ever feasible, natural vegetation shall be retained and protected.
3. The contractor shall inspect all erosion and sediment control devices during all storm events, prior to weekends and prior to all forecasted storm events.
4. The Contractor shall grade and provide stabilization of newly graded and disturbed areas per item 8 of this sequence.

B. Construction Sequence

1. **Install all erosion control measures.**
2. **Perform site grading and installation of stormwater practice and asphalt pavement.**
3. **Begin building renovation.**
4. **Relocate septic tank and well.**
5 **Topsoil, seed and mulch all disturbed areas in accordance with the stabilization notes.**
6. **Remove all temporary erosion control measures. Restore/backfill to final grade and provide stabilization is necessary.**
7. **Contractor to perform final site clean up and dispose of all debris properly.**
8. **STABILIZATION NOTES**
   - **A. Grade to finished slopes**
   - **B. Soils shall be scarified.**
   - **C. Topsoil with not less than four inches of suitable topsoil material**
   - **D. Seed as follows:**

Spring/Fall Planting:	**Tall fescue**	**100**
	Kobe Gespedza	**10**
	Bahi Grass	**25**
	Rye Grass	**40**
Temporary Summer Planting		
	German Millet	**40**

All above units in lbs/sc

I. INTRODUCTION

1.1. Project background

The project site is property located at 17 Miller Road in the Town of Carmel, hamlet of Mahopac, Putnam County, New York. The property is identified as tax map # 86.11-1-18. The property contains an existing building, serving as a dentist's office and driveway. The addition to the building will serve to increase the area available for the dentist's office, mainly office and reception areas.

Site Description

The site is 0.4 acres in size. This will result in 0.1 acres of total disturbance to include the building addition, additional parking, relocation of the septic tank and well.

1.2. SWPPP Overview

The purpose of this report is to address Storm Water Pollution Prevention and Management for the proposed grading improvements.

In accordance with Chapter 103 of the Code of the Town of Carmel entitled Stormwater Management and NYSDEC SPDES General Permit for Storm water Discharges from Construction Activities, General Permit GP-0-1 5-002 ,because the proposed disturbance for the project exceeds 5,000 square feet, coverage under the General Permit is required, a Notice of Intent (NOI) must be filed and a stormwater pollution prevention plan is required for this project. No SWPPP approval is required by the NYCDEP as the proposed project does not exceed the thresholds for requiring preparation of a SWPPP, nor proposes a regulated impervious surface within the limiting distance of a NYCDEP regulated watercourse or wetland.

Construction will begin immediately after receiving approval from the Town of Carmel Building Department of a SWPPP in accordance with the provisions of the Town Code.

II. EXISTING SITE CONDITIONS

2.0 General

The existing property contains an existing building housing a dentist's office and associated parking area. The property is generally flat located on the west side of Miller Road, approximately 1000 feet south of Route 6.

Generally the topography on the site flows from east to west. The site is tributary to Amawalk Reservior. The subject property is located in the New York City Watershed.

2.1 Surface Water

No lake, pond, wetland or other surface water exists on this property.

2.2 Soils

2.1.1. Hydrologic Soils/NRCS Web Soils Survey

Soils on the entire property are classified by the United States Department of Agriculture Soil Conservation Service as Paxton Fine Sandy Loam, PnC, Hydrologic soil group C from the Web Soil Survey.

The pre developed site consists of an existing existing building and asphalt parking area.

2.1.2. Site Geotechnical Evaluation

The deep test holes indicated a rock and groundwater at depths greater than 8 feet. Soil percolation tests indicated a percolation rate of 10 minutes per inch.

2.3. Groundwater

Groundwater was not encountered to a depth of 8 feet.

2.4. Natural Resources

Natural resources contained on the site is a small woodland area at the rear of the property and lawn. Most of the woodland will be removed.

2.5. New York State Register of Historic Places Assessment

There are no Historic places on this property.

2.6. Critical Habitat

There are no critical habitats on this property.

2.7. Offsite Drainage

No changes in drainage patterns are proposed. The building and parking area behind the house will continue to drain to the infiltration practice at the rear of the site. An additional infiltration practice will be installed adjacent to the existing practice to accommodate the additional impervious parking area.

2.8 Pre-construction Drainage Areas

The property drains to the downgradient woodlands to the rear of the house. No changes to pre construction runoff patterns will result from the construction of this project.

2.9 Potential sources of pollution

Potential sources of pollution which may be reasonably expected to affect the quality of stormwater discharges.

- Sediment – all disturbed areas will be stabilized by seeding and mulching of all disturbed areas.

III. Stormwater Management, Treatment and Conveyance

A. Storm water treatment is not required. Management of stormwater from this property will be discharging roof and parking area drainage to the existing infiltration practice at the rear of the property.

B. Stormwater conveyance for this project consists of sheet flow onto adjacent lawn and parking areas. The parking area discharges to an infiltration practice.

IV. Stormwater Management

Treatment of stormwater is not required although an additional infiltration practice is provided.

V. Erosion and Sediment Control

A. Temporary Erosion and Sediment Control Measures

1. Temporary erosion and sediment control measures in the design of this project are silt fence. The driveway will be provided with a stabilized construction entrance. The contractor will be responsible for daily sediment cleanup on the driveway, if any. Silt fence are proposed to be installed along the downslope of all areas of disturbance as shown on the site plan, or as determined to be necessary during construction.

2. Runoff will be controlled within the project area. Bare soil areas, disturbed areas, will be seeded and mulched to control possible erosion and slow the velocity of runoff. Such activities shall be initiated by the end of the next business day and completed within 7 days from the date the current soil disturbance activity ceased.

3. Initial grading shall take place to install the sediment control measures. Soil stockpiles shall be stabilized away from any drainage structures or natural drainage paths. Once final grading has been achieved in any area that area shall be seeded and mulched and not redisturbed again.

4. Soil stockpiles must be protected with seeding and/or mulching as soon as possible but no longer than 7 days after ceasing activity. (see item # 2 above)

5. Measures must be in place prior to disturbance of a particular area in order to prevent sediment from traveling off site. This is accomplished on this site by the proper installation of

silt fence.

6. Dust shall be controlled to keep the amount of particles/sediment generation by construction activity to a minimum. This will be accomplished by seeding and mulching of disturbed areas and wetting areas prone to airborne dust.

7. All temporary and permanent sediment and erosion control measures must be checked on a weekly basis for functionality and stability. This includes the silt fencing and the stabilized construction entrance. Any bare spots in areas previously seeded will be reseeded and remulched as soon as necessary. In areas where soil erosion and sedimentation is found to be a problem and measures are not in place, appropriate measures must be installed as required by the supervising engineer.

8. Final grading shall match approximately the cut and fill lines as shown on the plans. This must be accomplished within 7 days of the end of the construction activity unless otherwise specified under the Town or DEC permits. (see item # 2 above)

9. Temporary measures shall not be removed until all disturbed areas protected by such measures are fully and properly stabilized.

10. Permanent non structural measures to remain in place are re-established areas of grass and landscaping within the non impervious areas.

11. Pollution prevention measures that will be utilized to prevent construction debris from becoming a pollutant source include:
…Litter control – refuse containers will be provided on the site for the deposition of any debris. The contractor shall police the site at the end of each day, collect litter and deposit litter in the refuse containers.
…Construction chemicals – all construction chemicals including but not limited to equipment fuels and oils and cleaning solvents shall be stored in appropriate containers and within a locked facility overnight.

Any spills of construction chemicals will be immediately cleaned up in accordance with appropriate procedures.

Any significant spill will be immediately reported to the NYSDEC pursuant to State Regulations, procedures and requirements.
…Construction debris will be collected and placed in roll off containers and disposed off site in at an appropriate disposal facility. (Part III.B.1.j)

B. Permanent Erosion Control Measures

1. Permanent erosion control measures employed in the design of the project include stabilization of all disturbed areas with grass and an additional infiltration practice.

VI. Inspection & Maintenance of Stormwater and Erosion Control Measures

A. Inspection and Reporting Requirements

All erosion control measures are to be inspected weekly. In the case of a rain event, measures must be checked immediately after. Inspections shall be made by a qualified professional and reports will be kept on site in a dedicated mailbox labeled, "Stormwater Documents".

B. Responsibilities

The project contractor and/or subcontactors shall be responsible to install, construct, repair, replace, inspect and maintain the temporary erosion and sediment control practices included in the SWPPP. The project contractor/subcontractor shall be responsible for constructing the post construction storm water management practices included in the SWPPP. Such measures will be maintained by the project contractor/subcontractor during the entire construction period.

Permanent measures will be maintained by the owner of the property.
(Part III.A.6) (Part IV)

Developer:

Sean Rooney, Rooney Properties, LLC
50 Stocum Avenue
Mahopac, New York, 10541

Owner/ Applicant
Same as developer

The *owner or operator* shall have each of the contractors and subcontractors identify at least one person from their company that will be responsible for implementation of the SWPPP. This person shall be known as the *trained contractor.* The *owner or operator* shall ensure that at least one *trained contractor* is on site on a daily basis when soil disturbance activities are being performed.

The *owner or operator* shall have each of the contractors and subcontractors identified above sign a copy of the following certification statement below before they commence any *construction activity*:

"I hereby certify that I understand and agree to comply with the terms and

conditions of the SWPPP and agree to implement any corrective actions identified by the *qualified inspector* during a site inspection. I also understand that the *owner or operator* must comply with the terms and conditions of the most current version of the New York State Pollutant Discharge Elimination System ("SPDES") general permit for storm water discharges from construction activities and that it is unlawful for any person to cause or contribute to a violation of water quality standards. Furthermore, I understand that certifying false, incorrect or inaccurate information is a violation of the referenced permit and the laws of the State of New York and could subject me to criminal, civil and/or administrative proceedings. "

In addition to providing the certification statement above, the certification page must also identify the specific elements of the SWPPP that each contractor and subcontractor will be responsible for and include the name and title of the person providing the signature; the name and title of the *trained contractor* responsible for SWPPP implementation; the name, address and telephone number of the contracting firm; the address (or other identifying description) of the site; and the date the certification statement is signed.

The *owner or operator* shall attach the certification statement(s) to the copy of the SWPPP that is maintained at the construction site. If new or additional contractors are hired to implement measures identified in the SWPPP after construction has commenced, they must also sign the certification statement and provide the information listed above.

C. Temporary Measures

1. Construction Entrance(s)

The construction entrance will consist of the existing driveway and parking area.

2. Silt Fence

Silt fence is proposed down gradient from all disturbed areas proposed on the site. Silt fence is used to collect the transported sediment load due to runoff and to slow said runoff, in an effort to prevent erosion. The silt fence is a temporary barrier of geotextile fabric supported by fence posts at a 10 foot maximum interval.

Sediments shall be removed from behind the fence when it becomes 0.5 feet deep at the fence. It should also be inspected regularly, at least once a week and repaired as needed to maintain a barrier.

D. Permanent Measures

1. Permanent vegetation

All grassed areas shall be maintained to provide a vegetative cover to hold soils in place.

VII. General Requirements for Owners or Operators with Permit Coverage

A. The *owner or operator* shall maintain a copy of the General Permit (GP-0-15-002), NOI, *NOI Acknowledgment Letter*, SWPPP, MS4 SWPPP Acceptance form and inspection reports at the construction site until all disturbed areas have achieved *final stabilization* and the NOT has been submitted to the Department.

The documents must be maintained in a secure location, such as a job trailer, on-site construction office, or mailbox with lock. The secure location must be accessible during normal business hours to an individual performing a compliance inspection. (Part II.B.C.2)

B. For *construction activities* that are subject to the requirements of a *regulated, traditional land use control MS4,* the *owner or operator* shall notify the *MS4* in writing of any planned amendments or modifications to the post-construction stormwater management practice component of the SWPPP required by Part III.A. 4. and 5. of this permit. Unless otherwise notified by the *MS4,* the *owner or operator* shall have the SWPPP amendments or modifications reviewed and accepted by the *MS4* prior to commencing construction of the post-construction stormwater management practice. (Part II.C.5)

C. For *construction activities* that are subject to the requirements of a *regulated, traditional land use control MS4* and meet subdivision 2a. or 2b. of this Part, the *owner or operator* shall also have the MS4 sign the "MS4 Acceptance" statement on the NOT. The *owner or operator* shall have the principal executive officer, ranking elected official, or duly authorized representative from the *regulated, traditional land use control MS4*, sign the "MS4 Acceptance" statement. The MS4 official, by signing this statement, has determined that it is acceptable for the *owner or operator* to submit the NOT in accordance with the requirements of this Part. The MS4 can make this determination by performing a final site inspection themselves or by accepting the *qualified inspector's* final site inspection certification(s) required in Part V.3. (Part V.A.4)

D. In accordance with the requirements of the Town of Carmel Town Code, within 10 days after the installation of all erosion control plan measures, the applicant shall submit to the Building Inspector a letter from the qualified professional who designed the plan for Sam Caporale stating that all erosion control measures have been constructed and installed in compliance with the approved plans.

E. Various certifications are required to be completed as follows:

1. SWPPP Modification Summary Sheet
2. SWPPP Preparer Certification
3. Contractor and Sub-contractor Certification

These documents are appended to this SWPPP.

VIII. Conclusions

In conclusion, the proposed project shall not result in any negative impact to existing hydrologic condition at the vicinity of the property and proposed storm water management practices conforms to NYSDEC Storm water Management Design Manual and GP-0-15-002. In addition, the design of all storm water management practices meets the requirements of the Town of Carmel.

0644089821

NOTICE OF INTENT

New York State Department of Environmental Conservation
Division of Water
625 Broadway, 4th Floor
Albany, New York 12233-3505

NYR [ ][ ][ ][ ][ ][ ]
(for DEC use only)

Stormwater Discharges Associated with Construction Activity Under State Pollutant Discharge Elimination System (SPDES) General Permit # GP-0-15-002

All sections must be completed unless otherwise noted. Failure to complete all items may result in this form being returned to you, thereby delaying your coverage under this General Permit. Applicants must read and understand the conditions of the permit and prepare a Stormwater Pollution Prevention Plan prior to submitting this NOI. Applicants are responsible for identifying and obtaining other DEC permits that may be required.

-IMPORTANT-

RETURN THIS FORM TO THE ADDRESS ABOVE

OWNER/OPERATOR MUST SIGN FORM

Owner/Operator Information

Owner/Operator (Company Name/Private Owner Name/Municipality Name)
ROONEY PROPERTIES, LLC

Owner/Operator Contact Person Last Name (NOT CONSULTANT)
ROONEY

Owner/Operator Contact Person First Name
SEAN

Owner/Operator Mailing Address
50 STOCUM AVENUE

City
MAHOPAC

State
NY

Zip
10541 -

Phone (Owner/Operator)
845 - 621 - 1222

Fax (Owner/Operator)
- -

Email (Owner/Operator)
ROONEYORTHO@YAHOO.COM

FED TAX ID
- (not required for individuals)

Project Site Information

Project/Site Name
ROONEY BUILDING ADDITION

Street Address (NOT P.O. BOX)
17 MILLER ROAD

Side of Street
○ North ○ South ○ East ● West

City/Town/Village (THAT ISSUES BUILDING PERMIT)
TOWN OF CARMEL

State: NY
Zip: 10541 -
County: PUTNAM
DEC Region: 3

Name of Nearest Cross Street
ROUTE 6

Distance to Nearest Cross Street (Feet)
1000

Project In Relation to Cross Street
○ North ● South ○ East ○ West

Tax Map Numbers
Section-Block-Parcel
86.11-1-18

Tax Map Numbers

1. Provide the Geographic Coordinates for the project site in NYTM Units. To do this you **must** go to the NYSDEC Stormwater Interactive Map on the DEC website at:

www.dec.ny.gov/imsmaps/stormwater/viewer.htm

Zoom into your Project Location such that you can accurately click on the centroid of your site. Once you have located your project site, go to the tool boxes on the top and choose "i"(identify). Then click on the center of your site and a new window containing the X, Y coordinates in UTM will pop up. Transcribe these coordinates into the boxes below. For problems with the interactive map use the help function.

X Coordinates (Easting): 604324

Y Coordinates (Northing): 4577966

2. What is the nature of this construction project?

○ **New Construction**

● **Redevelopment with increase in impervious area**

○ **Redevelopment with no increase in impervious area**

3. Select the predominant land use for both pre and post development conditions.
SELECT ONLY ONE CHOICE FOR EACH

Pre-Development Existing Land Use

- ○ FOREST
- ○ PASTURE/OPEN LAND
- ○ CULTIVATED LAND
- ○ SINGLE FAMILY HOME
- ○ SINGLE FAMILY SUBDIVISION
- ○ TOWN HOME RESIDENTIAL
- ○ MULTIFAMILY RESIDENTIAL
- ○ INSTITUTIONAL/SCHOOL
- ○ INDUSTRIAL
- ● COMMERCIAL
- ○ ROAD/HIGHWAY
- ○ RECREATIONAL/SPORTS FIELD
- ○ BIKE PATH/TRAIL
- ○ LINEAR UTILITY
- ○ PARKING LOT
- ○ OTHER

Post-Development Future Land Use

- ○ SINGLE FAMILY HOME
- ○ SINGLE FAMILY SUBDIVISION — Number of Lots
- ○ TOWN HOME RESIDENTIAL
- ○ MULTIFAMILY RESIDENTIAL
- ○ INSTITUTIONAL/SCHOOL
- ○ INDUSTRIAL
- ● COMMERCIAL
- ○ MUNICIPAL
- ○ ROAD/HIGHWAY
- ○ RECREATIONAL/SPORTS FIELD
- ○ BIKE PATH/TRAIL
- ○ LINEAR UTILITY (water, sewer, gas, etc.)
- ○ PARKING LOT
- ○ CLEARING/GRADING ONLY
- ○ DEMOLITION, NO REDEVELOPMENT
- ○ WELL DRILLING ACTIVITY *(Oil, Gas, etc.)
- ○ OTHER

***Note:** for gas well drilling, non-high volume hydraulic fractured wells only

4. In accordance with the larger common plan of development or sale, enter the total project site area; the total area to be disturbed; existing impervious area to be disturbed (for redevelopment activities); and the future impervious area constructed within the disturbed area. (Round to the nearest tenth of an acre.)

Total Site Area	Total Area To Be Disturbed	Existing Impervious Area To Be Disturbed	Future Impervious Area Within Disturbed Area
0.4	0.1	0.	0.1

5. Do you plan to disturb more than 5 acres of soil at any one time? ○ Yes ○ No

6. Indicate the percentage of each Hydrologic Soil Group(HSG) at the site.

A	B	C	D
%	%	100 %	%

7. Is this a phased project? ○ Yes ● No

8. Enter the planned start and end dates of the disturbance activities.

Start Date 07/01/2016 – **End Date** 13/31/2016

9. Identify the nearest surface waterbody(ies) to which construction site runoff will discharge.

Name

UN NAMED STREAM

9a. Type of waterbody identified in Question 9?

- ○ Wetland / State Jurisdiction On Site (Answer 9b)
- ○ Wetland / State Jurisdiction Off Site
- ○ Wetland / Federal Jurisdiction On Site (Answer 9b)
- ○ Wetland / Federal Jurisdiction Off Site
- ○ Stream / Creek On Site
- ● Stream / Creek Off Site
- ○ River On Site
- ○ River Off Site
- ○ Lake On Site
- ○ Lake Off Site
- ○ Other Type On Site
- ○ Other Type Off Site

9b. How was the wetland identified?

- ○ Regulatory Map
- ○ Delineated by Consultant
- ○ Delineated by Army Corps of Engineers
- ○ Other (identify)

10. Has the surface waterbody(ies) in question 9 been identified as a 303(d) segment in Appendix E of GP-0-15-002? ○ Yes ● No

11. Is this project located in one of the Watersheds identified in Appendix C of GP-0-15-002? ○ Yes ● No

12. Is the project located in one of the watershed areas associated with AA and AA-S classified waters? ● Yes ○ No
If no, skip question 13.

13. Does this construction activity disturb land with no existing impervious cover and where the Soil Slope Phase is identified as an E or F on the USDA Soil Survey? ○ Yes ● No
If Yes, what is the acreage to be disturbed?

.

14. Will the project disturb soils within a State regulated wetland or the protected 100 foot adjacent area? ○ Yes ● No

15. Does the site runoff enter a separate storm sewer system (including roadside drains, swales, ditches, culverts, etc)? ○ Yes ● No ○ Unknown

16. What is the name of the municipality/entity that owns the separate storm sewer system?

17. Does any runoff from the site enter a sewer classified as a Combined Sewer? ○ Yes ● No ○ Unknown

18. Will future use of this site be an agricultural property as defined by the NYS Agriculture and Markets Law? ○ Yes ● No

19. Is this property owned by a state authority, state agency, federal government or local government? ○ Yes ● No

20. Is this a remediation project being done under a Department approved work plan? (i.e. CERCLA, RCRA, Voluntary Cleanup Agreement, etc.) ○ Yes ● No

21. Has the required Erosion and Sediment Control component of the SWPPP been developed in conformance with the current NYS Standards and Specifications for Erosion and Sediment Control (aka Blue Book)? ● Yes ○ No

22. Does this construction activity require the development of a SWPPP that includes the post-construction stormwater management practice component (i.e. Runoff Reduction, Water Quality and Quantity Control practices/techniques)? ○ Yes ● No
If No, skip questions 23 and 27-39.

23. Has the post-construction stormwater management practice component of the SWPPP been developed in conformance with the current NYS Stormwater Management Design Manual? ○ Yes ○ No

24. The Stormwater Pollution Prevention Plan (SWPPP) was prepared by:

- ● **Professional Engineer (P.E.)**
- ○ **Soil and Water Conservation District (SWCD)**
- ○ **Registered Landscape Architect (R.L.A)**
- ○ **Certified Professional in Erosion and Sediment Control (CPESC)**
- ○ **Owner/Operator**
- ○ **Other**

SWPPP Preparer
JOHN KARELL, JR., P.E.

Contact Name (Last, Space, First)
KARELL, JOHN, JR

Mailing Address
121 CUSHMAN ROAD

City
PATTERSON

State Zip
NY 12563 -

Phone
845 - 878 - 7894

Fax
- -

Email
JACK4911@YAHOO.COM

SWPPP Preparer Certification

I hereby certify that the Stormwater Pollution Prevention Plan (SWPPP) for this project has been prepared in accordance with the terms and conditions of the GP-0-15-002. Furthermore, I understand that certifying false, incorrect or inaccurate information is a violation of this permit and the laws of the State of New York and could subject me to criminal, civil and/or administrative proceedings.

First Name
JOHN

MI

Last Name
KARELL

Signature

Date
03 / 01 / 2016

25. Has a construction sequence schedule for the planned management practices been prepared? ● Yes ○ No

26. Select **all** of the erosion and sediment control practices that will be employed on the project site:

Temporary Structural

- ○ Check Dams
- ○ Construction Road Stabilization
- ○ Dust Control
- ○ Earth Dike
- ○ Level Spreader
- ○ Perimeter Dike/Swale
- ○ Pipe Slope Drain
- ○ Portable Sediment Tank
- ○ Rock Dam
- ○ Sediment Basin
- ○ Sediment Traps
- ● Silt Fence
- ○ Stabilized Construction Entrance
- ○ Storm Drain Inlet Protection
- ○ Straw/Hay Bale Dike
- ○ Temporary Access Waterway Crossing
- ○ Temporary Stormdrain Diversion
- ○ Temporary Swale
- ○ Turbidity Curtain
- ○ Water bars

Biotechnical

- ○ Brush Matting
- ○ Wattling

Vegetative Measures

- ○ Brush Matting
- ○ Dune Stabilization
- ○ Grassed Waterway
- ● Mulching
- ○ Protecting Vegetation
- ○ Recreation Area Improvement
- ● Seeding
- ○ Sodding
- ○ Straw/Hay Bale Dike
- ○ Streambank Protection
- ○ Temporary Swale
- ● Topsoiling
- ○ Vegetating Waterways

Permanent Structural

- ○ Debris Basin
- ○ Diversion
- ○ Grade Stabilization Structure
- ○ Land Grading
- ○ Lined Waterway (Rock)
- ○ Paved Channel (Concrete)
- ○ Paved Flume
- ○ Retaining Wall
- ○ Riprap Slope Protection
- ○ Rock Outlet Protection
- ○ Streambank Protection

Other

Post-construction Stormwater Management Practice (SMP) Requirements

Important: **Completion of Questions 27-39 is not required if response to Question 22 is No.**

27. Identify all site planning practices that were used to prepare the final site plan/layout for the project.

- ○ **Preservation of Undisturbed Areas**
- ○ **Preservation of Buffers**
- ○ **Reduction of Clearing and Grading**
- ○ **Locating Development in Less Sensitive Areas**
- ○ **Roadway Reduction**
- ○ **Sidewalk Reduction**
- ○ **Driveway Reduction**
- ○ **Cul-de-sac Reduction**
- ○ **Building Footprint Reduction**
- ○ **Parking Reduction**

27a. Indicate which of the following soil restoration criteria was used to address the requirements in Section 5.1.6("Soil Restoration") of the Design Manual (2010 version).

- ○ All disturbed areas will be restored in accordance with the Soil Restoration requirements in Table 5.3 of the Design Manual (see page 5-22).
- ○ Compacted areas were considered as impervious cover when calculating the **WQv Required**, and the compacted areas were assigned a post-construction Hydrologic Soil Group (HSG) designation that is one level less permeable than existing conditions for the hydrology analysis.

28. Provide the total Water Quality Volume (WQv) required for this project (based on final site plan/layout).

Total WQv Required

[ ][ ][ ].[ ][ ][ ] **acre-feet**

29. Identify the RR techniques (Area Reduction), RR techniques(Volume Reduction) and Standard SMPs with RRv Capacity in Table 1 (See Page 9) that were used to reduce the Total WQv Required(#28).

Also, provide in Table 1 the total impervious area that contributes runoff to each technique/practice selected. For the Area Reduction Techniques, provide the total contributing area (includes pervious area) and, if applicable, the total impervious area that contributes runoff to the technique/practice.

Note: Redevelopment projects shall use Tables 1 and 2 to identify the SMPs used to treat and/or reduce the WQv required. If runoff reduction techniques will not be used to reduce the required WQv, skip to question 33a after identifying the SMPs.

Table 1 - Runoff Reduction (RR) Techniques and Standard Stormwater Management Practices (SMPs)

	Total Contributing Area (acres)		Total Contributing Impervious Area (acres)
RR Techniques (Area Reduction)			
○ Conservation of Natural Areas (RR-1)	___.___	and/or	___.___
○ Sheetflow to Riparian Buffers/Filters Strips (RR-2)	___.___	and/or	___.___
○ Tree Planting/Tree Pit (RR-3)	___.___	and/or	___.___
○ Disconnection of Rooftop Runoff (RR-4)	___.___	and/or	___.___
RR Techniques (Volume Reduction)			
○ Vegetated Swale (RR-5)			___.___
○ Rain Garden (RR-6)			___.___
○ Stormwater Planter (RR-7)			___.___
○ Rain Barrel/Cistern (RR-8)			___.___
○ Porous Pavement (RR-9)			___.___
○ Green Roof (RR-10)			___.___
Standard SMPs with RRv Capacity			
○ Infiltration Trench (I-1)			___.___
○ Infiltration Basin (I-2)			___.___
○ Dry Well (I-3)			___.___
○ Underground Infiltration System (I-4)			___.___
○ Bioretention (F-5)			___.___
○ Dry Swale (O-1)			___.___
Standard SMPs			
○ Micropool Extended Detention (P-1)			___.___
○ Wet Pond (P-2)			___.___
○ Wet Extended Detention (P-3)			___.___
○ Multiple Pond System (P-4)			___.___
○ Pocket Pond (P-5)			___.___
○ Surface Sand Filter (F-1)			___.___
○ Underground Sand Filter (F-2)			___.___
○ Perimeter Sand Filter (F-3)			___.___
○ Organic Filter (F-4)			___.___
○ Shallow Wetland (W-1)			___.___
○ Extended Detention Wetland (W-2)			___.___
○ Pond/Wetland System (W-3)			___.___
○ Pocket Wetland (W-4)			___.___
○ Wet Swale (O-2)			___.___

Table 2 - Alternative SMPs
(DO NOT INCLUDE PRACTICES BEING USED FOR PRETREATMENT ONLY)

Alternative SMP	Total Contributing Impervious Area (acres)
○ Hydrodynamic	
○ Wet Vault	
○ Media Filter	
○ Other	

Provide the name and manufacturer of the Alternative SMPs (i.e. proprietary practice(s)) being used for WQv treatment.

Name

Manufacturer

Note: Redevelopment projects which do not use RR techniques, shall use questions 28, 29, 33 and 33a to provide SMPs used, total WQv required and total WQv provided for the project.

30. Indicate the Total RRv provided by the RR techniques (Area/Volume Reduction) and Standard SMPs with RRv capacity identified in question 29.

Total RRv provided

acre-feet

31. Is the Total RRv provided (#30) greater than or equal to the total WQv required (#28).

○ Yes ○ No

If Yes, go to question 36.
If No, go to question 32.

32. Provide the Minimum RRv required based on HSG.
[Minimum RRv Required = (P)(0.95)(Ai)/12, Ai=(S)(Aic)]

Minimum RRv Required

acre-feet

32a. Is the Total RRv provided (#30) greater than or equal to the Minimum RRv Required (#32)?

○ Yes ○ No

If Yes, go to question 33.
Note: Use the space provided in question #39 to summarize the specific site limitations and justification for not reducing 100% of WQv required (#28). A detailed evaluation of the specific site limitations and justification for not reducing 100% of the WQv required (#28) must also be included in the SWPPP.

If No, sizing criteria has not been met, so NOI can not be processed. SWPPP preparer must modify design to meet sizing criteria.

33. Identify the Standard SMPs in Table 1 and, if applicable, the Alternative SMPs in Table 2 that were used to treat the remaining total WQv(=Total WQv Required in 28 - Total RRv Provided in 30).

Also, provide in Table 1 and 2 the total impervious area that contributes runoff to each practice selected.

Note: Use Tables 1 and 2 to identify the SMPs used on Redevelopment projects.

33a. Indicate the Total WQv provided (i.e. WQv treated) by the SMPs identified in question #33 and Standard SMPs with RRv Capacity identified in question 29.

WQv Provided

[ ][ ][ ].[ ][ ][ ] **acre-feet**

Note: For the standard SMPs with RRv capacity, the WQv provided by each practice = the WQv calculated using the contributing drainage area to the practice - RRv provided by the practice. (See Table 3.5 in Design Manual)

34. Provide the sum of the Total RRv provided (#30) and the WQv provided (#33a). [ ][ ][ ].[ ][ ][ ]

35. Is the sum of the RRv provided (#30) and the WQv provided (#33a) greater than or equal to the total WQv required (#28)? ○ **Yes** ○ **No**

If Yes, go to question 36.
If No, sizing criteria has not been met, so NOI can not be processed. SWPPP preparer must modify design to meet sizing criteria.

36. Provide the total Channel Protection Storage Volume (CPv) required and provided or select waiver (36a), if applicable.

CPv Required

[ ][ ][ ].[ ][ ][ ] **acre-feet**

CPv Provided

[ ][ ][ ].[ ][ ][ ] **acre-feet**

36a. The need to provide channel protection has been waived because:

○ Site discharges directly to tidal waters or a fifth order or larger stream.

○ Reduction of the total CPv is achieved on site through runoff reduction techniques or infiltration systems.

37. Provide the Overbank Flood (Qp) and Extreme Flood (Qf) control criteria or select waiver (37a), if applicable.

Total Overbank Flood Control Criteria (Qp)

Pre-Development

[ ][ ][ ].[ ][ ][ ] **CFS**

Post-development

[ ][ ][ ].[ ][ ][ ] **CFS**

Total Extreme Flood Control Criteria (Qf)

Pre-Development

[ ][ ][ ].[ ][ ][ ] **CFS**

Post-development

[ ][ ][ ].[ ][ ][ ] **CFS**

37a. The need to meet the Qp and Qf criteria has been waived because:

- ○ Site discharges directly to tidal waters or a fifth order or larger stream.
- ○ Downstream analysis reveals that the Qp and Qf controls are not required

38. Has a long term Operation and Maintenance Plan for the post-construction stormwater management practice(s) been developed? ○ **Yes** ○ **No**

If Yes, Identify the entity responsible for the long term Operation and Maintenance

39. Use this space to summarize the specific site limitations and justification for not reducing 100% of WQv required(#28). (See question 32a) This space can also be used for other pertinent project information.

40. Identify other DEC permits, existing and new, that are required for this project/facility.

- ○ Air Pollution Control
- ○ Coastal Erosion
- ○ Hazardous Waste
- ○ Long Island Wells
- ○ Mined Land Reclamation
- ○ Solid Waste
- ○ Navigable Waters Protection / Article 15
- ○ Water Quality Certificate
- ○ Dam Safety
- ○ Water Supply
- ○ Freshwater Wetlands/Article 24
- ○ Tidal Wetlands
- ○ Wild, Scenic and Recreational Rivers
- ○ Stream Bed or Bank Protection / Article 15
- ○ Endangered or Threatened Species(Incidental Take Permit)
- ○ Individual SPDES
- ○ SPDES Multi-Sector GP N Y R
- ○ Other
- ● None

41. Does this project require a US Army Corps of Engineers Wetland Permit? ○ Yes ● No
If Yes, Indicate Size of Impact. .

42. Is this project subject to the requirements of a regulated, traditional land use control MS4? ● Yes ○ No
(If No, skip question 43)

43. Has the "MS4 SWPPP Acceptance" form been signed by the principal executive officer or ranking elected official and submitted along with this NOI? ● Yes ○ No

44. If this NOI is being submitted for the purpose of continuing or transferring coverage under a general permit for stormwater runoff from construction activities, please indicate the former SPDES number assigned. N Y R

Owner/Operator Certification

I have read or been advised of the permit conditions and believe that I understand them. I also understand that, under the terms of the permit, there may be reporting requirements. I hereby certify that this document and the corresponding documents were prepared under my direction or supervision. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. I further understand that coverage under the general permit will be identified in the acknowledgment that I will receive as a result of submitting this NOI and can be as long as sixty (60) business days as provided for in the general permit. I also understand that, by submitting this NOI, I am acknowledging that the SWPPP has been developed and will be implemented as the first element of construction, and agreeing to comply with all the terms and conditions of the general permit for which this NOI is being submitted.

Print First Name: SEAN

MI:

Print Last Name: ROONEY

Owner/Operator Signature:

Date: 03/01/2016

Spec Sheet Buy Now

Color: White

H101W

A

Lamp recessed 1" from lip for side glare reduction

Set screw for hood, grill or visor attachment

Large Silicone rubber gasket provides weatherproof protection around the lamp and socket

Caution: When using as an uplight in outdoor applications a Hood or a Visor must be used

HV1 Visor with integral guard and glass lens for maximum glare reduction and lamp protection

HG1 Guard: Protects lamp from damage and vandalism

HH1 Hood with glass lens reduces glare and protects lamp from water and impact damage

Lamp Info

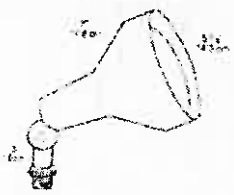
Type	PAR38
Watts	150W
Shape/Size	N/A
Base	N/A
ANSI	N/A
Hours	N/A
Lamp Lumens	N/A
Efficacy.	N/A

Ballast Info

Type	N/A
120V	N/A
208V	N/A
240V	N/A
277V	N/A
Input Watts	0W

Dimensions

Weight: 1.4 lbs



Technical Specifications

Listings

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or mounting within 1.2m (4ft) of the
outdoor applications, a Hood or a Visor

Sockets:
Porcelain with all copper current carrying components.

Construction

Swivels:
Fully adjustable with sure-grip locks. 1/2" NPS threaded arm with serrated locking swivel fits all standard mounting covers. Color matched EZ Grip lock nuts.

Housings:
Die cast aluminum with powder coat finish.

Gaskets:
High temperature silicone rubber extends around both socket and lamp.

Optical

Lamps:
Medium base Par-38 lamps up to 150 watts. Halogen lamps give brighter light and choice of beam spreads.

Spec Sheet Buy Now

Color: Bronze

PS4-07-20WT

B

Designed for ground mounting

Heavy duty TGIC polyester coating

Reinforced hand holes with grounding lug and removable cover for easy wiring access

Anchor Bolt Kit includes hand hole cover and base cover (sold separately)

Custom manufactured for each application

Lamp Info

Type:	N/A
Watts:	0W
Shape/Size:	N/A
Base:	N/A
ANSI:	N/A
Hours:	N/A
Lamp Lumens:	N/A
Efficacy:	N/A

Ballast Info

Type:	N/A
120V:	N/A
208V:	N/A
240V:	N/A
277V:	N/A
Input Watts:	0W

Dimensions

Weight: 225.0 lbs

LIVE CHAT

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Chat

B

Technical Specifications

Listings

CSA Listed:
Suitable for wet locations.

Construction

Shaft:
46,000 p.s.i. minimum yield.

Hand Holes:
Reinforced with grounding lug and removable cover.

Base Plates:
36,000 p.s.i. minimum yield.

Shipping Protection:
All poles are shipped in individual corrugated cartons to prevent finish damage.

Color:
Bronze powder coating.

Height:
20 FT.

Gauge:
7

Wall Thickness:
3/16"

Shaft Size:
4".

Hand Hole Dimensions:
3" x 5".

Bolt Circle:
8 1/2".

Base Dimension:
8".

Weight:
225 lbs.

Anchor Bolt:
Galvanized anchor bolts and galvanized hardware and anchor bolt template. All bolts have a 3" hook.

Anchor Bolt Templates:
WARNING Template must be printed on 11" x 17" sheet for actual size. CHECK SCALE BEFORE USING. Templates shipped with anchor bolts and available online.

Pre-Shipped Anchor Bolts:
Bolts can be pre-shipped upon request for additional freight charge.

MaxEPA's/Max Weights:
70MPH 16.2 ft_/390 lb
80MPH 11.8 ft_/285 lb
90MPH 8.7 ft_/205 lb
100MPH 6.3 ft_/150 lb
110MPH 4.5 ft_ /110 lb
120MPH 3.1 ft_/75 lb
130MPH 2.0 ft_/50 lb
140MPH 1.1 ft_/30 lb
150MPH 0.4 ft_/10 lb

Other

Terms of Sale:
Pole Terms of Sale is available online.

LIGHTING DESIGN

Our lighting designers can help you create a custom LED lighting layout for your job. For free. Really.

Free Layout

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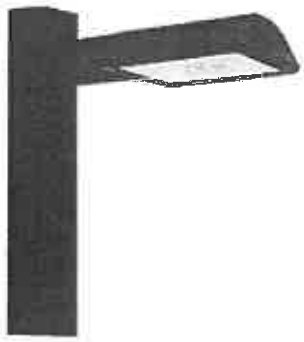

ALED2T78N/PC

B

- High output LED light engine
- Maintains 70% of initial lumens at 100,000 hours
- Weatherproof high temperature silicone gaskets
- Superior heat sinking with die cast aluminum housing and external fins
- Replaces 250W MH area lights
- 5-year warranty

Color: Bronze

LED Info

Watts:	78W
Color Temp:	4000K (Neutral)
Color Accuracy:	82 CRI
L70 Lifespan:	100,000
Lumens:	6,301
Efficacy:	80 LPW

Driver Info

Type:	Constant Current
120V:	0.66A
208V:	N/A
240V:	N/A
277V:	N/A
Input Watts:	79W

Dimensions

Weight: 31.0 lbs

EZ Layout

Design a custom lighting layout

Technical Specifications

Other

ALED2T78 with Photocell.
120V Photocell Included. Photocell is only compatible with 120V.

California Title 24:
ALED2T78/PC with the button photocell (120V) option complies with 2013 California Title 24 building and electrical codes as a commercial outdoor pole-mounted fixture > 75 Watts at mounting heights greater than 24 feet.

Warranty:
RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. See our full warranty here.

Patents:
The ALED design is protected by patents in the U.S. Pat. 668,370, Canada Pat. 144956, China ZL201230100154.X, and Mexico Pat. 38423. Pending patents in Taiwan.

Country of Origin:
Designed by RAB in New Jersey and assembled in the USA by RAB's IBEW Local 3 workers.

LIVE CHA

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Chat

ıctured in the United States, and is
l.

:5-21 "Required Use of American Iron.

Ambient Temperature:
Suitable for use in 40°C ambient temperatures.

Cold Weather Starting:
The minimum starting temperature is -40°F/-40°C.

Thermal Management:
Superior heat sinking with external Air-Flow fins.

Housing:
Die cast aluminum housing, lens frame and mounting arm.

IP Rating:
Ingress Protection rating of IP66 for dust and water.

Reflector:
Specular vacuum-metallized polycarbonate.

Gaskets:
High temperature silicone gaskets.

Finish:
Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contains no VOC or toxic heavy metals.

Green Technology:
Mercury and UV free.

For use on LEED Buildings:

(October 2010).

Trade Agreements Act Compliant:
This product is a COTS item manufactured in the United States, and is compliant with the Trade Agreements Act.

GSA Schedule:
Suitable in accordance with FAR Subpart 25.4.

Listings

UL Listing:
Suitable for wet locations as a downlight.

IESNA LM-79 & IESNA LM-80 Testing:
RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.

Dark Sky Approved:
The International Dark Sky Association has approved this product as a full cutoff, fully shielded luminaire.

DLC Listed:
This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.
DLC Product Code: P0000179R

Optical

Lumen Maintenance:
100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

Replacement:
The ALED78 replaces 250W Metal Halide Area Lights.

BUG Rating:
B1 U0 G2

Construction

IES Classification:
The Type II distribution is ideal for wide walkways, on ramps and entrance roadways, bike paths and other long and narrow lighting applications. This type is meant for lighting larger areas and usually is located near the roadside. This type of lighting is commonly found on smaller side streets or jogging paths.

Effective Projected Area:
EPA = 0.75

Credits for Light Pollution Reduction.

B

LED Characteristics

LEDs:
Six (6) multi-chip, 13W, high-output, long-life LEDs.

Color Consistency:
3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color.

Color Stability:
LED color temperature is warrantied to shift no more than 200K in CCT over a 5 year period.

Color Uniformity:
RAB's range of CCT (Correlated color temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2015.

Electrical

Driver:
Constant Current, Class 2, 2000mA, 100-277V, 50-60Hz, 1.1A, Power Factor 99%

THD:
4.6% at 120V, 12.9% at 277V

Surge Protection:
4kV

Surge Protector:
ALED78 is available with a 6kV surge protector (SP6). SP6 available here.

LIGHTING DESIGN

Our lighting designers can help you create a custom LED lighting layout for your job. For free. Really.

Free Layout

Color: Bronze

FXLED78SFN

78 Watt high-performance LED

Replaces 250W MH floodlights

100,000 hour life based on LM-80 tests

Air-flow technology heatsink

NEMA type - 6H x 5V

Slipfitter and trunnion mounting available

5-year warranty

LED Info

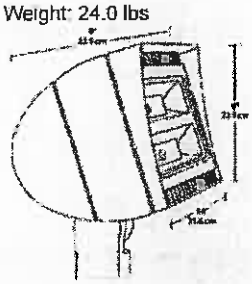
Watts:	78W
Color Temp:	4000K (Neutral)
Color Accuracy:	81 CRI
L70 Lifespan:	100,000
Lumens:	6,734
Efficacy:	86 LPW

Driver Info

Type:	Constant Current
120V:	0.66A
208V:	0.41A
240V:	0.35A
277V:	0.30A
Input Watts:	78W

Dimensions

Weight: 24.0 lbs



EZ Layout

Design a custom lighting layout

Technical Specifications

Listings

UL Listing:

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or ground mounting.

ed by an independent laboratory in
M-80, and have received the
s" label.

DLC Listed:
This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.
DLC Product Code: P0000175Y

LED Characteristics

Lifespan:
100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

LEDs:
Six multi-chip, 13Watt high-output, long-life LEDs.

Color Consistency:
3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color.

Color Stability:
LED color temperature is warrantied to shift no more than 200K in CCT over a 5 year period.

Color Uniformity:
RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for (SSL) Products, ANSI C78.377-2015.

Construction

IP Rating:
Ingress Protection rating of IP66 for dust and water.

EPA:
2

Ambient Temperature:
Suitable for use in 40°C ambient temperatures.

Cold Weather Starting:
The minimum starting temperature is -40°F/-40°C.

Thermal Management:
Superior heat sinking with external Air-Flow fins.

Housing:
Die-cast aluminum housing and door frame.

Mounting:
Heavy-duty Slip Fitter for 2 3/8"OD pipe.

Reflector:
Specular vacuum-metallized polycarbonate

Gaskets:
High-temperature silicone gaskets.

Finish:
Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contains no VOC or toxic heavy metals.

Green Technology:
Mercury and UV free.

Optical

NEMA Type:
NEMA Beam Spread of 6H x 6V

Replacement Range:
The FXLED78 can be used to replace 150 - 320W Metal Halide Floodlights based on delivered lumens.

Electrical

Driver:
Constant Current, Class 2, 2000mA, 100-277V, 50-60Hz, 1.1A, Power Factor 99%

THD:
4.3% at 120V, 13.9% at 277V

Surge Protection:
4kV

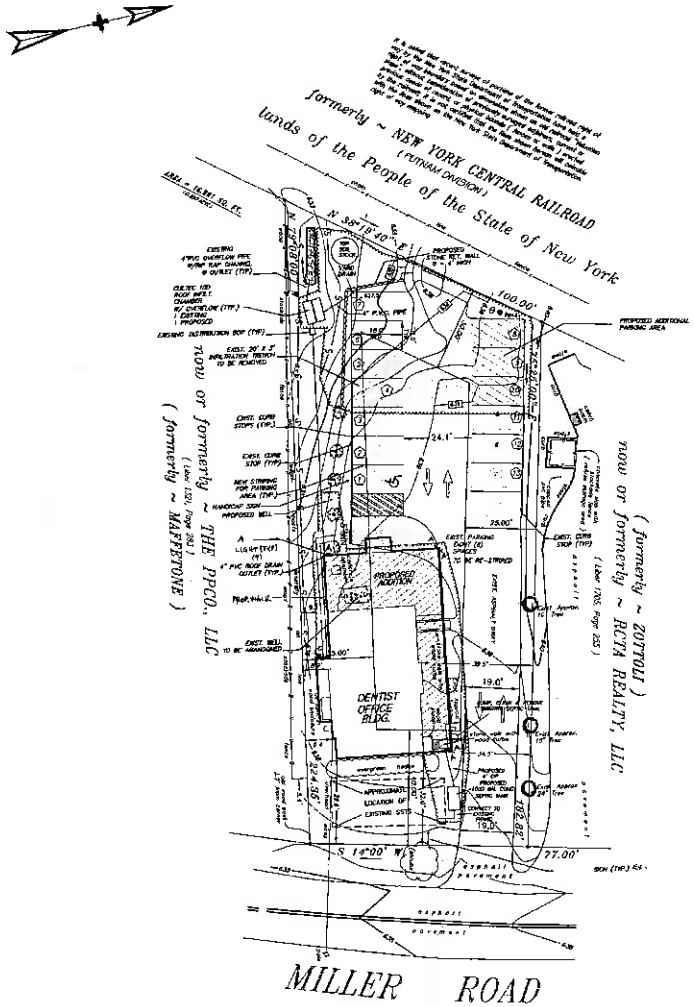
Other

Equivalency:
The FXLED78 is Equivalent in delivered lumens to a 250W Metal Halide.

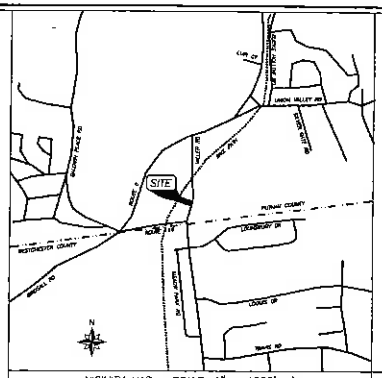
California Title 24:
See FXLED78SF/D10, FXLED78SF/BL, FXLED78SF/PCT for a 2013 California Title 24 compliant product. Any additional component requirements will be listed in the Title 24 section under technical specifications on the product page.

Warranty:
RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. See our full warranty here.

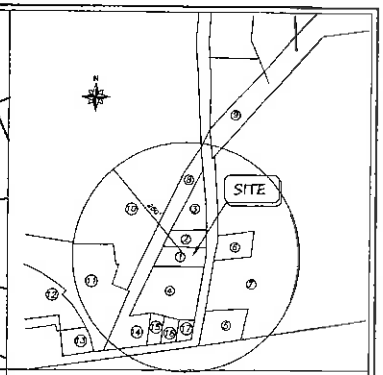
Patents:
The FXLED78 design is protected by U.S. Pat. D659,280, Canada Pat. 143155, China Pat. ZL201130443125.9, Mexico Pat. 36558 and pending patent in Taiwan.



SITE PLAN
SCALE: 1" = 20'



VICINITY MAP SCALE: 1" = 1000' +\-



TAX MAP

NOTES:
OWNER:
ROONEY PROPERTIES LLC
50 STOCUM AVENUE
MAHOPAC, NY 10541

PROPERTY ADDRESS:
17 MILLER RD
MAHOPAC, NY 10541

TAX LOT No.:
86.11-1-18

SOILS:
PnB – PAXTON FINE SANDY LOAM 3–8%

DUMPSTER NOT NECESSARY; NOT PROVIDED

AREA OF DISTURBANCE – 5,829 S.F.

NEW IMPERVIOUS SURFACE – 10,491 S.F.

ADJACENT LAND OWNERS

	OWNER	TAX LOT NUMBER
1.	BPF ROBERT TROTT	86.11-1-19
2.	BCTA REALTY LLC	86.11-1-15
3.	LEGEND I LLC	86.11-1-20
4.	P & P 50 LLC	86.11-1-21
5.	HIGHGATE SPRINGS	86.11-1-16
6.	3 SEASONS LLC	86.11-1-13
7.	MATTER PC LLC	86.11-1-12
8.	NEW YORK STATE	86.11-1-11
9.	NEW YORK STATE	86.11-1-7
10.	MAHOPAC APARTMENTS LLC	86.11-1-6
11.	HOWARD STROMBERG	86.11-1-5
12.	CGI MAHOPAC LLC	86.11-1-24
13.	ALTON LEASING LTD	86.10-1-7
14.	MARCUS REA ESTATE	86.10-1-8
15.	MARCUS REA ESTATE	86.10-1-9
16.	STL ALTAGELLOTTA	86.10-1-10
17.	MRG SAUNDERS	86.10-1-10

EROSION CONTROL NOTES

1. ALL CONTROL MEASURES FOR EROSION AND SEDIMENTATION SHALL COMPLY WITH THE FOLLOWING INSPECTION SCHEDULE:
   A) WEEKLY INSPECTIONS OF ALL CONTROL MEASURES.
   B) WEEKLY INSPECTIONS OF IN STREAM CONTROL MEASURES
   C) INSPECTIONS OF ALL CONTROL MEASURES BEFORE FORECASTED AND AFTER PERIODS OF HEAVY OR PROLONGED RAIN.
   D) WEEKLY INSPECTIONS OF ALL ON AND OFF SITE AREAS DOWNSTREAM FROM CONSTRUCTION ACTIVITIES.

2. IN INSPECTIONS SHALL BE CONDUCTED BY THE APPLICANT AND/OR HIS REPRESENTATIVE, I.E. THE SITE ENGINEER, OR THE CONTRACTOR, TO DETERMINE THE FOLLOWING:
   A) THE CONDITIONS OF THE CONTROL MEASURES AND THE NEED FOR REPAIR OR REPLACEMENT.
   B) THE NEED FOR MAINTENANCE, E.G. REMOVAL OF SEDIMENT FROM BARRIERS, TRAPS AND BASINS.
   C) THE NEED FOR ADDITIONAL CONTROL MEASURES.
   D) THE NEED FOR REARRANGEMENT OF SEDIMENT, MULCHING AND/OR MULCHING.
   E) THE OVERALL EFFECTIVENESS OF THE CONTROL PLAN.

3. ALL TEMPORARY AND PERMANENT CONTROL DEVICES MUST BE MAINTAINED AND REPAIRED AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. ALL NECESSARY REPAIRS SHALL BE PERFORMED IMMEDIATELY.

4. THESE PLANS INDICATE THE CONTROL MEASURES TO BE PUT IN PLACE. ADDITIONAL CONTROL MEASURES SHALL BE IMPLEMENTED AS SITE CONDITIONS CHANGE AND UNFORESEEN PROBLEMS OCCUR. IMPLEMENTATION OF ADDITIONAL CONTROL MEASURES SHALL BE AT THE DISCRETION OF THE THE CONTRACTOR, THE SITE ENGINEER OR THE TOWN.

CONSTRUCTION SEQUENCE

1. SET UP EROSION CONTROL MEASURES AS SHOWN
2. DEMOLISH / CLEAR NECESSARY AREA OF LOT AND PRELIMINARY GRADE
3. EXCAVATE AND POUR FOUNDATION / FOOTING & BEGIN ADDITION CONSTRUCTION
4. FINALIZE ADDITION CONSTRUCTION
5. FINALIZE LANDSCAPING & FINAL GRADING
6. REMOVE EROSION CONTROL MEASURES

SITE LIGHTING

A	RAB LIGHTING H101W	RECESSED SPOT	150 WATTS
B	RAB LIGHTING PS4-070120WT	POLE	
	RAB LIGHTING ALED2778N/PC	LED LIGHT	78 WATTS
C	RAB LIGHTING FXLED78ESFN	LED LIGHT	78 WATTS

ZONING TABLE

COMMERCIAL/BUSINESS PARK C/BP	REQUIRED	PROVIDED	VARIANCE REQUIRED
MIN. LOT AREA	120,000 SQ FT	18,921 SQ FT*	103,009 SQ FT**
MIN. YARDS:			
FRONT	50 FT	26.9'*	23.1'**
SIDE	40 FT	8.9'*	31.1'**
REAR	40 FT	108.6'*	NA
MIN. FRONTAGE	200 FT	77'*	123'**
MAX. BLDG. HEIGHT	60 FT	35'	NA
MIN. LOT WIDTH	200 FT	83.5'*	116.5'**
MIN. LOT DEPTH	200 FT	203'	NA
MIN. REQ. FLOOR AREA	5000 SQ FT	2200 SQ FT*	2911 SQ FT**
MAX. BLDG. COVERAGE	40%	17.1%	NA
MIN. DRIVEWAY WIDTH	24 FT	19.0'	5'**
PARKING REQ. FOR DOCTOR/DENTIST OFFICE 4 PER DENTIST 1 PER EMPLOYEE	1 DENTIST, 4 EMPLOYEES TOTAL 5 REQ.	13 SPACES	NA

*VARIANCES PREVIOUSLY APPROVED BY CARMEL ZBA IN 1987 & 1988

**VARIANCES APPROVED BY CARMEL ZBA ON 5/22/06

PLANNING BOARD APPROVAL
APPROVED BY THE PLANNING BOARD OF THE TOWN OF CARMEL, PUTNAM COUNTY, NY. BY RESOLUTION
DATED_____, DAY OF _____, 2015

ANY CHANGES, ERASURE MODIFICATION OR REVISION TO THIS PLAT AS APPROVED SHAL VOID THIS APPROVAL

SIGNED THIS _____ DAY OF _____, 2015

_____
CHAIRMAN

LEGEND

SET FENCE
SETBACK LINE
PROPOSED GRADE
EXISTING GRADE

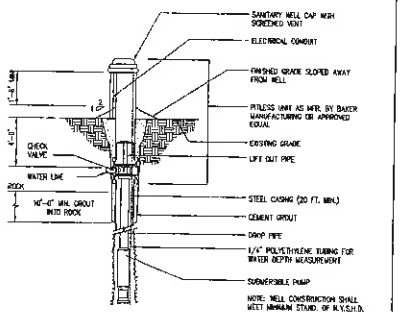
No.	DATE	COMMENTS
1.	2-26-15	

JOHN KARELL, JR. P.E.
121 CUSHMAN ROAD
PATTERSON, NEW YORK 12563

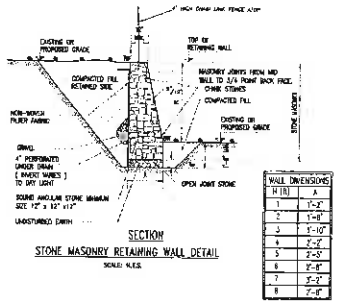
SEAN ROONEY
17 MILLER ROAD
CARMEL, N.Y.
TAX LOT: 86.11-1-18

SCALE: 1" = 20'
LATEST REVISION:
DATED: NOVEMBER 9, 2015
SHEET No. S-1
CHECKED:

SITE PLAN



TYPICAL WELL DETAIL



WALL DIMENSIONS	
H (ft)	A
1	1'-2"
2	1'-8"
3	1'-10"
4	2'-0"
5	2'-3"
6	2'-8"
7	3'-2"
8	3'-8"

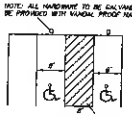
SECTION

STONE MASONRY RETAINING WALL DETAIL

SCALE: N.T.S.

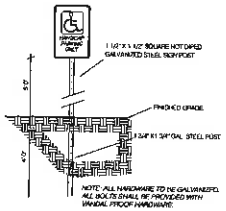
1 1/2" X 1/2" SQUARE HOT-DIP GALVANIZED STEEL SIGN POST

NOTE: ALL HARDWARE TO BE GALVANIZED. ALL BOLTS SHALL BE PROVIDED WITH VANDAL PROOF HARDWARE.



PAINTED HANDICAP PARKING DETAIL

PAINTED HANDICAP SYMBOL DETAIL



NOTE: ALL HARDWARE TO BE GALVANIZED. ALL BOLTS SHALL BE PROVIDED WITH VANDAL PROOF HARDWARE.

SOIL EROSION AND SEDIMENT CONTROL NOTES:

1. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE SEN-UP IN ACCORDANCE WITH THE NEW YORK GUIDELINES FOR URBAN AND SUBURBAN RUNOFF CONTROL AS PUBLISHED BY THE NEW YORK STATE DEC AND WATER CONSERVATION DISTRICT AND DETERMINED BY THE U.S. DEPARTMENT OF AGRICULTURE – SOIL CONSERVATION SERVICE. (REFERRED TO IN REMAINING TEXT AS "THE NEW YORK GUIDELINES"

2. ANY DISTURBED AREA THAT WILL BE LEFT UNDISTURBED FOR MORE THAN 21 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL BE SEED AND MULCHED WITHIN 14 DAYS OF THE LAST DISTURBANCE WITH TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS SHALL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL. THE SEEDING SHALL BE DONE IN ACCORDANCE WITH THE NEW YORK GUIDELINES, AS FOLLOWS:

A) SOIL MARKING: PTC GRASS APPLIED AT A RATE OF 30 LBS/ACRE COVER SELECT MIXTURE AS DESCRIBED IN THE NEW YORK GUIDELINES.

B) SPRING, SUMMER OR EARLY FALL SEED WITH RYE GRASS (ANNUAL OR PERENNIAL) AT 30 LBS PER ACRE.

C) LATE FALL OR EARLY WINTER SEED WITH CERTIFIED "ARGENTINE" WINTER RYE, AT 100 LBS (DESIGN 1%) PER ACRE.

D) MULCH: OLD HAY OR STRAW, SPRAY STRAW WITH ASPHALT AT A RATE OF MINETY (90) POUNDS PER GAL DISTILLED SQUARE FT. OR TWO TONS PER ACRE. TO BE SPREAD AND ANCHORED ACCORDING TO THE NEW YORK GUIDELINES. WOOD FIBER HYDROMULCH OR OTHER SPRAYABLE PRODUCTS APPROVED FOR EROSION CONTROL (NYLON NEW OR WEBS) MAY BE USED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

E) IN AREAS OF SLOPES STEEPER THAN ONE (1) TIMES, JUTE MATTING SHALL BE USED TO STABILIZED SEEDED AND / OR PLANTED AREAS. JUTE MATTING SHALL BE INSTALLED AND ANCHORED IN ACCORDANCE WITH THE NEW YORK GUIDELINES.

3. ANY GRADED AREAS NOT SUBJECT TO FURTHER DISTURBANCE OR CONSTRUCTION TRAFFIC SHALL, WITHIN FIVE (5) DAYS AFTER FINAL GRADING RECEIVE PERMANENT VEGETATIVE COVER IN COMBINATION WITH A SUITABLE MULCH AS FOLLOWS:

A) STEEP SLOPES OR EROSION SLOPES GREATER THAN 2:1 (50%) REFER TO PERMANENT CRITICAL AREA PLANTING NOTES.

B) RECREATIONAL AREAS AND LAWN REFER TO RECREATIONAL AREA IMPROVEMENT NOTES.

4. SLOPES STEEPER THAN ONE ON THREE SHALL BE STABILIZED IMMEDIATELY AFTER GRADING

5. PAVED ROADWAYS SHALL BE KEPT CLEAN AT ALL TIMES.

6. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAIN SUCH THAT ALL STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES. EXCEPT FOR MINOR PERIMETER DRAINAGEWAY AREAS, ALL GRADED AREA SHALL BE DIRECTED THROUGH ONE OF THE DESIGNATED BASINS(S). DIVERSION SHALLES MAY BE USED TO DIRECT DRAINAGE RUNOFF UNTIL PERMANENT STORM DRAINAGE SYSTEM IS IN PLACES.

7. DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS.

8. STOCKPILES SHALL NOT BE LOCATED WITHIN FIFTY FEET (50') OF ROAD WAYS OR DRAINAGE FACILITIES. THE BASE OF ALL STOCKPILES SHALL BE PROTECTED BY A SILT FENCE, HAY BALES BARRIERS OR A COMBINATION OF BOTH.

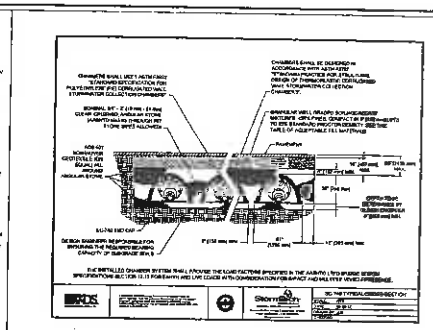
9. SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED BY THE CONTRACTOR ON A DAILY BASIS TO ENSURE THAT TEMPORARY AND PERMANENT DITCHES, PIPES AND STRUCTURES ARE CLEAN OF DEBRIS, THAT EMBANKMENTS AND BERMS ARE NOT BREACHED, AND THAT ALL BARRIERS ARE INTACT.

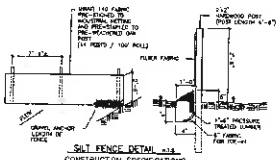
10. MANDATORY STORMWATER INSPECTIONS SHALL BE PERFORMED WEEKLY AND WITHIN 24 HOURS OF ANY PRECIPITATION EVENT PRODUCING MORE THAN 1/2" OF PRECIPITATION OVER AND 24 HOUR PERIOD. INSPECTIONS ARE PERFORMED BY A LICENSED CERTIFIED PROFESSIONAL.

11. ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL FINAL ACCEPTANCE OF THE SITE WORK BY THE OWNER. UPON CERTIFICATION OF FINAL ACCEPTANCE, THE OWNER WILL ASSUME RESPONSIBILITY FOR THE CONTINUED MAINTENANCE OF PERMANENT SOIL EROSION AND SEDIMENTATION CONTROL MEASURES.)

12. ALL DRAINAGE OUTLETS AND INLETS SHALL BE LINED WITH RIP-RAP AS SPECIFIED ON THE PLANS AND/OR PER ENGINEER.

13. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR IMPLEMENTATION OF ALL EROSION AND SEDIMENT CONTROL MEASURES.

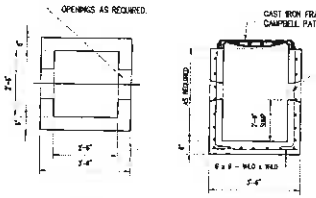




SILT FENCE DETAIL

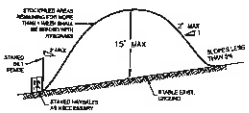
CONSTRUCTION SPECIFICATIONS

1. FILTER FABRIC TO BE EMBEDDED IN SOIL A MIN. OF 8".
2. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
3. SILT FENCE TO BE REMOVED AT END OF CONSTRUCTION BUT NOT BEFORE ALL DISTURBED AREAS ARE STABILIZED AND VEGITATED



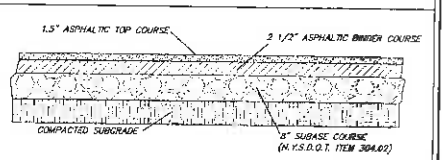
YARD DRAIN

SCALE N.T.S.



TYPICAL SOIL STOCKPILE DETAIL

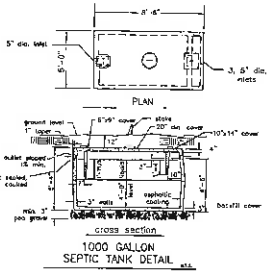
N. T. S.



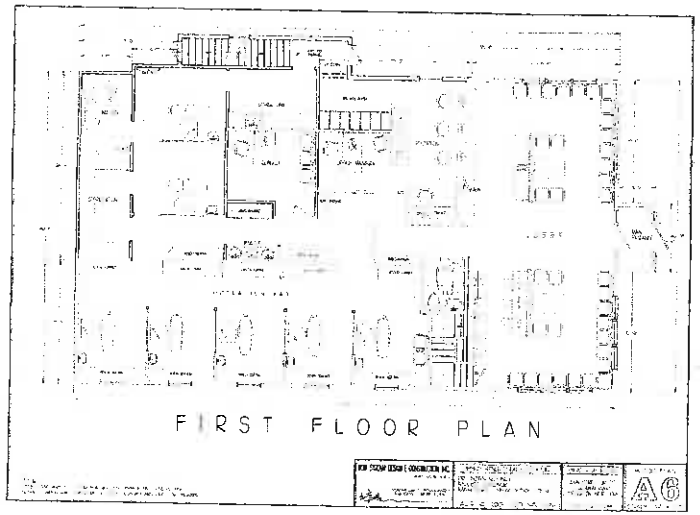
PARKING SPACE/PAVEMENT/DRIVEWAY SECTION DETAIL

(FOR ALL PARKING SPACES)

(NTS)



1000 GALLON SEPTIC TANK DETAIL



No.	DATE	COMMENTS
1	2-28-18	

JOHN KARELL, JR. P.E.

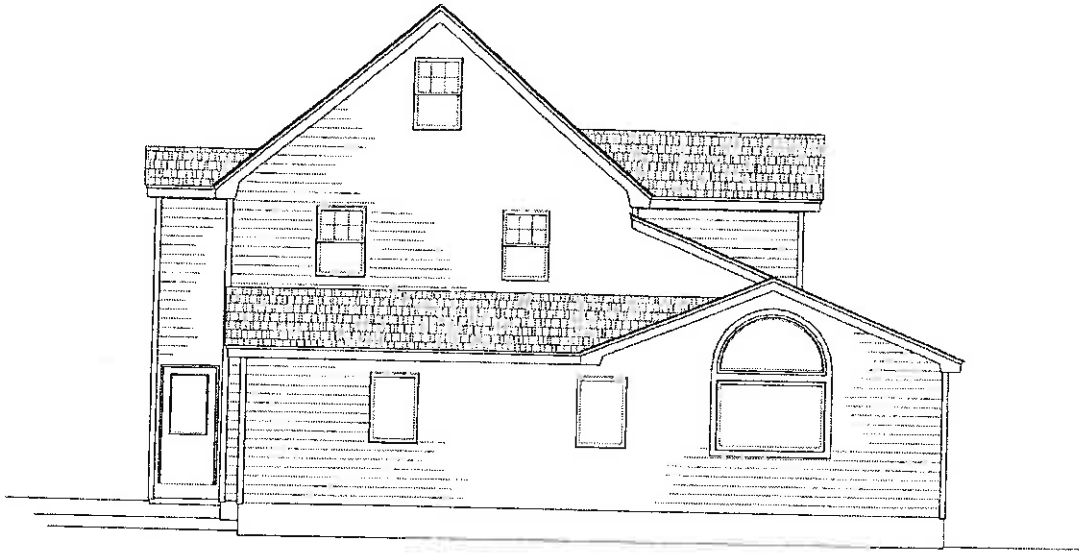
121 CUSHMAN ROAD

PATTERSON, NEW YORK 12563

SEAN ROONEY
17 MILLER ROAD
CARMEL, N.Y.
TAX LOT: 85.11-1-18

SCALE:	LATEST REVISION:
1" = 20'	
DATED NOVEMBER 9, 2016	SHEET No
CHECKED:	D-1

DETAILS

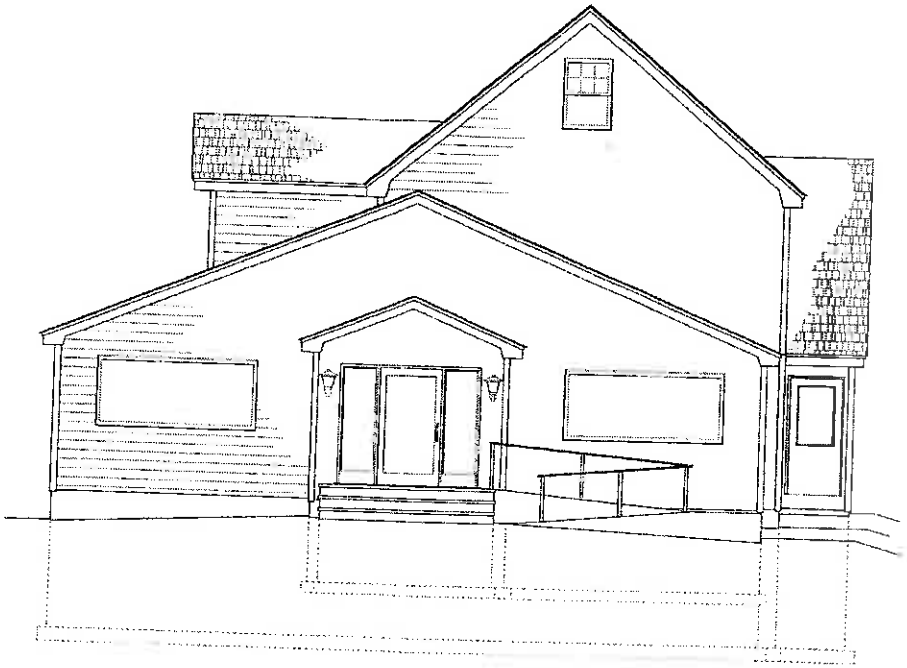


FRONT ELEVATION

ROONEY ORTHODONTICS BUILDING
17 MILLER ROAD
MAHOPAC, NEW YORK

NOTE:
THESE PLANS ARE NOT VALID FOR BUILDING PERMITS OR CONSTRUCTION
UNLESS STAMPED AND SIGNED BY A STATE LICENSED ARCHITECT OR ENGINEER.

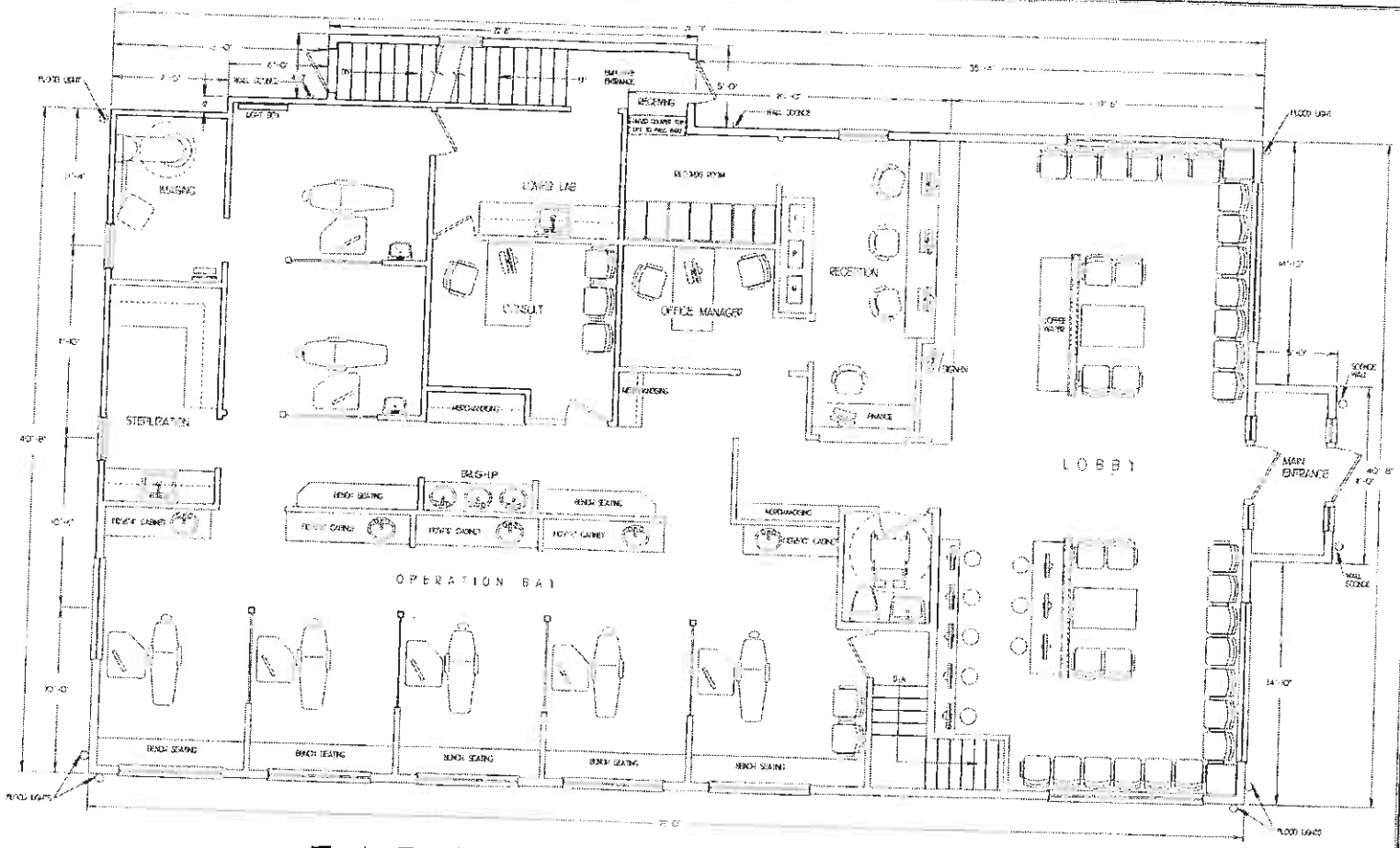
BOB STROHM DESIGN & CONSTRUCTION, INC. NORTH LAKE BOULEVARD MAHOPAC, NEW YORK	OFFICE RENOVATION & ADDITION DR. SEAN ROONEY MILLER AVENUE MAHOPAC, NEW YORK 10541 AUG. 10, 20[illegible] JOB NO. 2274	ENGINEER OF RECORD JOHN KAREL JR. P.E. JUHMAN ROAD PATTERSON, NEW YORK (845) 878-[illegible]94	ELEVATION A1 SCALE: 1/4" = 1'-0"



REAR ELEVATION

NOTE
THESE PLANS ARE NOT VALID FOR BUILDING PERMITS OR CONSTRUCTION
UNLESS STAMPED AND SIGNED BY A STATE LICENSED ARCHITECT OR ENGINEER

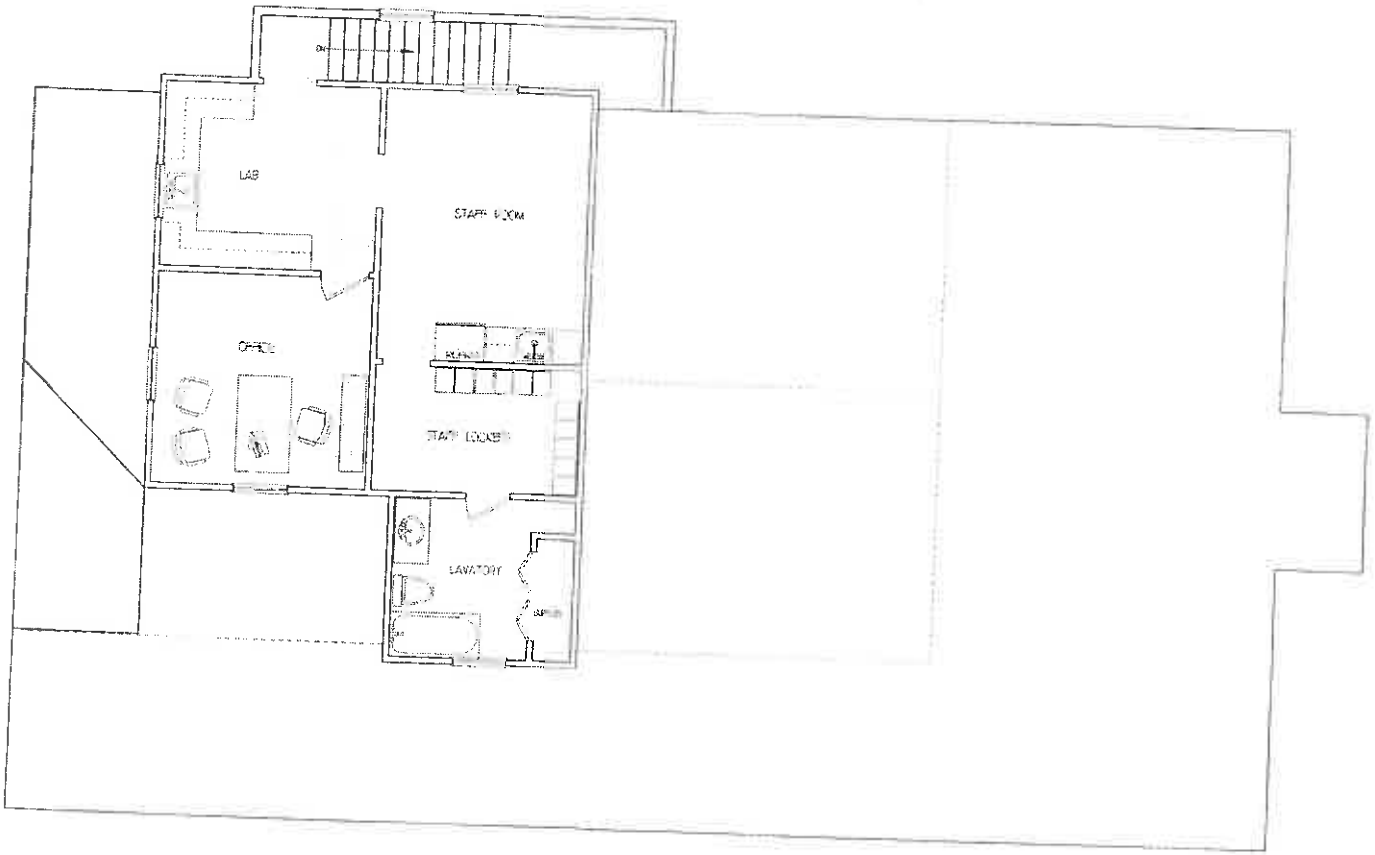
BOB STROHM DESIGN & CONSTRUCTION, INC. (914) 528-1429 NORTH LAKE BOULEVARD MAHOPAC, NEW YORK	OFFICE RENOVATION & ADDITION DR. SEAN RODNEY MILLER AVENUE MAHOPAC, NEW YORK 10541 AUG. 10, 2015 JOB NO. 2274	ENGINEER OF RECORD JOHN KABELL, P.E. LS CUSHMAN ROAD PATTERSON, NEW YORK (845) 878-7894	ELEVATION A2 SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN

NOTE
THESE PLANS ARE NOT VALID FOR BUILDING PERMITS OR CONSTRUCTION UNLESS STAMPED AND SIGNED BY A STATE LICENSED ARCHITECT OR ENGINEER.

BOB STROHM DESIGN & CONSTRUCTION, INC. 914-628-4022 NORTH LAKE BOULEVARD MAHOPAC, NEW YORK	OFFICE RENOVATION & ADDITION DR. SEAN ROONEY MILLER AVENUE MAHOPAC, NEW YORK 10541 AUG. 10, 2015 JOB NO. 2274	ENGINEER OF RECORD JOHN KAREL JR. PE CUSHMAN ROAD PATTERSON NEW YORK (845) 878-7894	FLOOR PLAN A6 SCALE 1/4" = 1'-0"



SECOND FLOOR PLAN

NOTE
THESE PLANS ARE NOT VALID FOR BUILDING PERMITS OR CONSTRUCTION UNLESS STAMPED AND SIGNED BY A STATE LICENSED ARCHITECT OR ENGINEER

BOB STROHM DESIGN & CONSTRUCTION, INC.
NORTH LAKE BOULEVARD
MAHOPAC, NEW YORK

OFFICE RENOVATION & ADDITION
DR. SEAN KOONEY
MILLER AVENUE
MAHOPAC, NEW YORK 10541

AUG. 10, 2015 JOB NO. 2274

ENGINEER OF RECORD
JOHN KARELL JR. P.E.
CUSHMAN ROAD
PATTERSON, NEW YORK
(845) 278-7004

FLOOR PLAN
A7
SCALE 1/4" = 1'-0"

TOWN OF CARMEL

SUBDIVISION APPLICATION INSTRUCTIONS

The Town of Carmel Planning Board meetings are held twice a month, on the second and fourth Wednesday's, at 7:00 PM at Carmel Town Hall, 60 McAlpin Avenue, Carmel

The submission deadline is 10 days prior to the Planning Board meeting. New subdivision applications that have been deemed complete will be placed on the agenda in the order they are received.

Pre-Submission:

Prior to the formal submission of the subdivision, a pre-submission conference may be requested by the applicant to be conducted with representatives from the Town, which may include the Town Planner, Town Engineer, Director of Code Enforcement, Planning Board Attorney. This conference will serve to educate the applicant on the process he/she must follow, clarify the information required to submit a complete subdivision application, and to highlight any specific areas of concern. You may arrange a pre-submission conference through the Planning Board Secretary at (845) 628-1500.

Submission Requirements:

At least 10 days prior to the Planning Board meeting, the subdivision application shall be submitted to the Planning Board Secretary as follows:

All subdivisions shall be signed, sealed and folded with the title box legible. The application package shall include:

- [x] 11 copies of the Subdivision Application Form signed and notarized.
- [x] 11 copies of the SEQR Environmental Assessment Form (use of short form or long form shall be determined at pre-submission conference).
- [x] 5 full size sets of the Subdivision Plan
- [x] 11 CD (in pdf. format) containing an electronic version of the Subdivision Plan
- [x] 2 copies of the Disclosure Statement
- [x] 11 copies of the Subdivision Completeness Certification Form
- N/A [ ] All supplemental studies, reports, plans and renderings.
- [x] 2 copies of the current deed.
- N/A [ ] 2 copies of all easements, covenants and restrictions.
- [x] The appropriate fee, determined from the attached fee schedule. Make checks payable to the Town of Carmel.

Rose Yambrette 4/4/16 — Planning Board Secretary; Date

M 4/4/16 — Town Engineer; Date

TOWN OF CARMEL
SUBDIVISION APPLICATION

Per Town of Carmel Code – Section 131 – Subdivision of Land

SITE IDENTIFICATION INFORMATION

Application Name: THOMAS & LORI INFANTINO
Application # 16-0007
Date Submitted: 3/17/16

Site Address:
No. 453 Street: NORTH LAKE BLVD. Hamlet: MAHOPAC

Property Location: *(Identify landmarks, distance from intersections, etc.)*
THE PROPERTY FRONTS ON NORTH LAKE BLVD & THE END OF SPLIT ROCK RD

Town of Carmel Tax Map Designation:
Section 64.12 Block 1 Lot(s) 56

Zoning Designation of Site: R-120

Property Deed Recorded in County Clerk's Office
Date Liber Page

Liens, Mortgages or other Encumbrances
Yes No

Existing Easements Relating to the Site
No (Yes) Describe and attach copies:
DRIVEWAY EASEMENT

Are Easements Proposed?
(No) Yes Describe and attach copies:

Have Property Owners within a 500' Radius of the Site Been Identified?
(Yes) No *Attached List to this Application Form*

APPLICANT/OWNER INFORMATION

Property Owner: THOMAS & LORI INFANTINO
Phone #: 845-531-9177
Fax#:
Email:

Owners Address:
No. 52 Street: SPLIT ROCK RD Town: MAHOPAC State: NY Zip: 10541

Applicant (If different than owner): —
Phone #:
Fax#:
Email:

Applicant Address (If different than owner):
No. Street: — Town: State: Zip:

Individual/ Firm Responsible for Preparing Site Plan: ROY A. FREDRIKSEN, P.E.
Phone #: 518-928-0265
Fax#:
Email: RAFREDRIKSENPE@GMAIL.COM

Address:
No. Street: PO BOX 950 Town: MAHOPAC State: NY Zip: 10541

Other Representatives:
Phone #:
Fax#:
Email:

Owners Address:
No. Street: Town: State: Zip:

PROJECT DESCRIPTION

Describe the project, proposed use and operation thereof:
2 LOT RESIDENTIAL SUBDIVISION OFF AN EXISTING HOUSE (453 NORTH LK BLD). NEW LOT WILL FRONT OFF SPLIT ROCK RD

TOWN OF CARMEL SUBDIVISION APPLICATION

PROJECT INFORMATION

Size of existing parcel to be subdivided:
15.85 Acres: 690,462 Square Feet:

Major Subdivision ☐ | Minor Subdivision ☑

Number of proposed lots: 2 | Size of proposed lots: LOT 1, 12.45 AC; LOT 2, 3.40 AC.

Conventional Subdivision ☑ | Cluster Subdivision ☐

Will a 10% open space set aside be provided? Yes: ☐ No: ☑ | If no, will a payment in-lieu be provided? Yes: ☑ No: ☐

Will all new lots have frontage on a mapped street? Yes: ☑ No: ☐ | If not, how will this deficiency be addressed? –

Is the site served by the following public utility infrastructure:

- Sanitary Sewer Yes: ☐ No: ☑

  If Yes:
  - Does approval exist to connect to sewer main? Yes: ☐ No: ☐
  - Is this an in-district connection? _____ Out-of district connection? _____
  - What is the total sewer capacity at time of application? _____
  - What is your anticipated average and maximum daily flow _____

  For Town of Carmel Town Engineer
  - *What is the sewer capacity* NAD

- Water Supply Yes: ☐ No: ☑

  If Yes:
  - Does approval exist to connect to water main? Yes: ☐ No: ☐
  - What is the total water capacity at time of application? _____
  - What is your anticipated average and maximum daily demand NAD

- Storm Sewer Yes: ☑ No: ☐
- Electric Service Yes: ☑ No: ☐
- Gas Service Yes: ☐ No: ☑
- Telephone/Cable Lines Yes: ☑ No: ☐

Will any common areas be created outside of individual lots (road rights-of-way, recreation areas, stormwater management areas, etc.)? Yes: ☐ No: ☑

Is a homeowners association proposed? Yes: ☐ No: ☑

What is the predominant soil type(s) on the site? CLD - CHATFIELD - HOLLIS - ROCK OUTCROP | What is the approximate depth to water table? MORE THAN 6 FT

Site slope categories: 15-25% ___ % | 25-35% ___ % | >35% ___ %

Estimated quantity of excavation: Cut (C.Y.) _____ Fill (C.Y.) _____

Is Blasting Proposed Yes: ☐ No: ☐ Unknown: ☑

Is the site located ion a designated Critical Environmental Area? Yes: ☐ No: ☑

Does a curb cut exist on the site? Yes: ☐ No: ☑ | Are new curb cuts proposed? Yes: ☐ No: ☑ | What is the sight distance? N/A Left _____ Right _____

Is the site located within 500' of:

- The boundary of an adjoining city, town or village Yes: ☐ No: ☑
- The boundary of a state or county park, recreation area or road right-of-way Yes: ☐ No: ☑
- A county drainage channel line. Yes: ☐ No: ☑

TOWN OF CARMEL SUBDIVISION APPLICATION

- The boundary of state or county owned land on which a building is located Yes: ☐ No: ☑

Is the site listed on the State or Federal Register of Historic Place (or substantially (contiguous)
Yes: ☐ No: ☑

Is the site located in a designated floodplain?
Yes: ☐ No: ☑

Does the site contain freshwater wetlands?
Yes: ☑ No: ☐
Jurisdiction:
NYSDEC: ☐ Town of Carmel: ☑
If present, the wetlands must be delineated in the field by a Wetland Professional, and survey located on the Site Plan.

Are encroachments in regulated wetlands or wetland buffers proposed? Yes: ☐ No: ☑

Does this application require a referral to the Environmental Conservation Board? Yes: ☐ No: ☑

Does the site contain waterbodies, streams or watercourses? Yes: ☑ No: ☐

Are any encroachments, crossings or alterations proposed? Yes: ☐ No: ☑

Is the site located adjacent to New York City watershed lands? Yes: ☐ No: ☑

Will municipal or private solid waste disposal be utilized?
Public: ☑ Private: ☐

Has this application been referred to the Fire Department? Yes: ☐ No: ☑

What is the estimated time of construction for the project?
6 MONTHS

ZONING COMPLIANCE INFORMATION

Zoning Provision	Required	Existing	Lot 1	Lot 2	Lot 3	Lot 4	Lot 5
Lot Area	120,000		542,462	148,000			
Lot Coverage	15%		<15%	<15%			
Lot Width	200'		*445	366			
Front Yard	40		1153	146			
Side Yard (minimum of 1)	25		192.5	30			
Side Yard (total of both)							
Rear Yard	40		120	420			
Habitable Floor Area							
Height	35		<35	<35			

(if more than 5 lots are proposed, include additional zoning compliance information on a separate sheet)

Will variances be required? Yes: ☑ No: ☐

If yes, identify variances required for each lot:
LOT 1 - FRONTAGE, WIDTH & DEPTH
LOT 2 - DEPTH

APPLICANTS ACKNOWLEDGEMENT

I hereby depose and certify that all the above statements and information, and all statements and information contained in the supporting documents and drawings attached hereto are true and correct.

X _____
Applicants Name

_____
Applicants Signature

Sworn before me this 18 day of Feb 2016

_____
Notary Public

BETH ANN LEWIS
NOTARY PUBLIC, STATE OF NEW YORK
QUALIFIED IN DUTCHESS COUNTY
NO. 01LE6028314
MY COMMISSION EXPIRES MAY 31, 2018

TOWN OF CARMEL

SUBDIVISION COMPLETENESS CERTIFICATION FORM

All Subdivisions submitted to the Planning Board for review shall include the following information and details, as set forth in Section 131-11-14 of the Town of Carmel Subdivision Regulations.

This form shall be included with the subdivision submission

	Requirement Data	To Be Completed by the Applicant	Waived by the Town
General Requirements			
1	Key map at a scale of one inch equals 800 feet	☑	☐
2	Title block, including title of map; name of subdivision; name, address, seal and signature of professional engineer or land surveyor preparing the plat; written scale; date of original and all revisions.	☑	☐
3	A legend, including, names of all adjacent landowners and those within 500 feet of any property line; zoning district with the requirements of said zone; tax map, block and lot number; names and addresses of owner and subdivider; north point and graphic scale.	☑	☐
4	Location and identification of all zoning district boundaries.	☑	☐
5	Identification of all maps filed in the County Clerk's office affecting properties within 500 feet of the lot to be subdivided.	☑	☐
Sketch Plan Requirements			
1	All General Requirements	☑	☐
2	Proposed subdivision layout at a scale of not less than one inch equals 100 feet.	☑	☐
3	All proposed lot lines, dimensions in feet and the areas of all lots in square feet and identifying numbers for each lot.	☑	☐
4	The location of existing and proposed setback lines, streets within 200 feet of the subdivision, buildings, watercourses, railroads and bridges, culverts, drainpipes and any natural features, such as wooded areas and rock formations.	☑	☐
5	Location and size of areas proposed to be reserved for recreation/open space.	☑	☐

WIM pay fee in lieu of rec. area

TOWN OF CARMEL

SUBDIVISION COMPLETENESS CERTIFICATION FORM

	Requirement Data	To Be Completed by the Applicant	Waived by the Town
Preliminary Plat Requirements			
1	All General and Sketch Plan Requirements	☐	☐
2	The area included in the subdivision, by area of lots, roads, reservations if any, and total acreage.	☐	☐
3	The existing and proposed contours (at an interval of not more than two feet), suitably designated to differentiate, with proposed first-floor elevations of the buildings.	☐	☐
4	Names of existing streets and proposed names of new streets.	☐	☐
5	Preliminary profiles of all proposed roads.	☐	☐
6	Location, type and size of curbs, sidewalks and bikeways.	☐	☐
7	For subdivisions of five or more lots, front building elevation sketches and distribution of dissimilar building types on the site to avoid excessive similarity of exterior design.	☐	☐
8	Plans of proposed utility layouts and all facilities, unsized.	☐	☐
9	The natural flow of surface drainage (indicated with arrows and the final disposal of surface waters); location of existing and proposed watercourses, culverts, bridges, drainpipes, lakes and ponds, detention or retention ponds; tentative location of storm drain inlets with the drainage areas tributary to each outlined and the area shown.	☐	☐
10	Existing or proposed covenants or deed restrictions applying to the site and a preliminary draft of homeowners' association documents, if applicable.	☐	☐
11	A stormwater pollution prevention plan (SWPPP) consistent with the requirements of Article X of Chapter 156 of the Code of the Town of Carmel.	☐	☐
Final Plat Requirements			
1	All General, Sketch and Preliminary Plat Requirements.	☐	☐

TOWN OF CARMEL

SUBDIVISION COMPLETENESS CERTIFICATION FORM

	Requirement Data	To Be Completed by the Applicant	Waived by the Town
2	Dimensions exactly with reference to monuments, bearings, distances in feet, radii, points of curvature and tangency of property lines, lot widths and depths and square feet of each lot.	☐	☐
3	Location of all proposed setback lines on each lot, with corner and irregular-shaped lots identified as to front, side and rear yards.	☐	☐
4	Location of all existing and proposed monuments.	☐	☐
5	All existing streets and streams within the subdivision and within 200 feet of the boundaries thereof, the width of the right-of-way of each street and existing public easements and municipal boundaries within 200 feet of the subdivision.	☐	☐
6	All proposed public easements or rights-of-way and the purposes thereof and proposed streets, identifying right-of-way width and names.	☐	☐
7	All parcels proposed for open space/recreation use, with a statement of the purpose of each.	☐	☐
8	Construction plat, which shall include, in addition to the above: final first-floor elevations of dwellings and outside grades at their corner; proposed curb elevations at all lot corners; all existing structures, including a note indicating those to be removed and yard dimensions of those to remain; plans and profiles and proposed improvements and utility layouts; paving widths and locations, section and profiles; sidewalk widths and locations and sections; road alignment, complete with stations, center line curve data and existing and finished contours of the road and all regraded areas; details of manholes, catch basins, headwalls and any other required structure; locations of all street trees, lights and signs; maximum anticipated extent of the areas of cuts and fills where grade	☐	☐

TOWN OF CARMEL

SUBDIVISION COMPLETENESS CERTIFICATION FORM

	Requirement Data	To Be Completed by the Applicant	Waived by the Town
	changes are proposed; the natural flow of surface drainage and the final disposal of surface waters; slopes of banks of all watercourses, if defined, and boundaries of floodplains; specifications, locations, profiles and detailed cross sections of the proposed storm drains, including all inlets and size of the drainage area of the streets, including grades and all other improvements.		
9	Final copy of the homeowners' association documents, if applicable.	☐	☒
10	Deeds for land to be dedicated for road widening, recreation or other purposes.	☐	☒
11	Erosion control standards.	☐	☒
12	A stormwater pollution prevention plan (SWPPP) consistent with the requirements of Article X of Chapter 156 of the Code of the Town of Carmel and with the terms of preliminary plan approval.	☐	☒

Applicants Certification (to be completed by the licensed professional preparing the subdivision plan:

I ROY A. FREDRIKSEN, P.E **hereby certify that the site plan to which I have attached my seal and signature, meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:**

STATE OF NEW YORK
ROY A. FREDRIKSEN
50505
LICENSED PROFESSIONAL ENGINEER

Signature - Applicant — **Date** 2/4/16

Professionals Seal

Signature - Owner — **Date** 2/4/16

TOWN OF CARMEL

SUBDIVISION COMPLETENESS CERTIFICATION FORM

Town Certification (to be completed by the Town)

I Richard Franzetta **hereby confirm that the site plan meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:**

Rose Trombetta
Signature - Planning Board Secretary

4/4/16
Date

Signature - Town Engineer

4/4/16
Date

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information

Name of Action or Project: SUBDIVISION for Thomas & LORI INFANTINO

Project Location (describe, and attach a location map): 453 NORTH LAKE BLVD, MAHOPAC

Brief Description of Proposed Action: 2 LOT RESIDENTIAL SUBDIVISION

Name of Applicant or Sponsor:	Telephone:
THOMAS INFANTINO	E-Mail:

Address: 52 SPLIT ROCK RD

City/PO:	State:	Zip Code:
MAHOPAC	NY	10541

	NO	YES
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.	✓	
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: TOWN OF CARMEL ZBA, COUNTY HEALTH DEPT		✓

3.a. Total acreage of the site of the proposed action? 15.85 acres
b. Total acreage to be physically disturbed? 1 acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 15.85 acres

4. Check all land uses that occur on, adjoining and near the proposed action.
☐ Urban ☐ Rural (non-agriculture) ☐ Industrial ☐ Commercial ☑ Residential (suburban)
☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other (specify): _____
☐ Parkland

	NO	YES	N/A
5. Is the proposed action,			
a. A permitted use under the zoning regulations?		✓	
b. Consistent with the adopted comprehensive plan?		✓	

	NO	YES
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		✓
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	✓	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	✓	
b. Are public transportation service(s) available at or near the site of the proposed action?	✓	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	✓	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____		
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: PRIVATE wells	✓	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: INDIVIDUAL SSTS	✓	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	✓	
b. Is the proposed action located in an archeological sensitive area?	✓	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		✓
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	✓	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:
☑ Shoreline ☐ Forest ☐ Agricultural/grasslands ☐ Early mid-successional
☑ Wetland ☐ Urban ☑ Suburban

	NO	YES
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	✓	
16. Is the project site located in the 100 year flood plain?	✓	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,		✓
a. Will storm water discharges flow to adjacent properties? ☑ NO ☐ YES		
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: ☑ NO ☐ YES		

	NO	YES
18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size:	✓	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	✓	
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	✓	

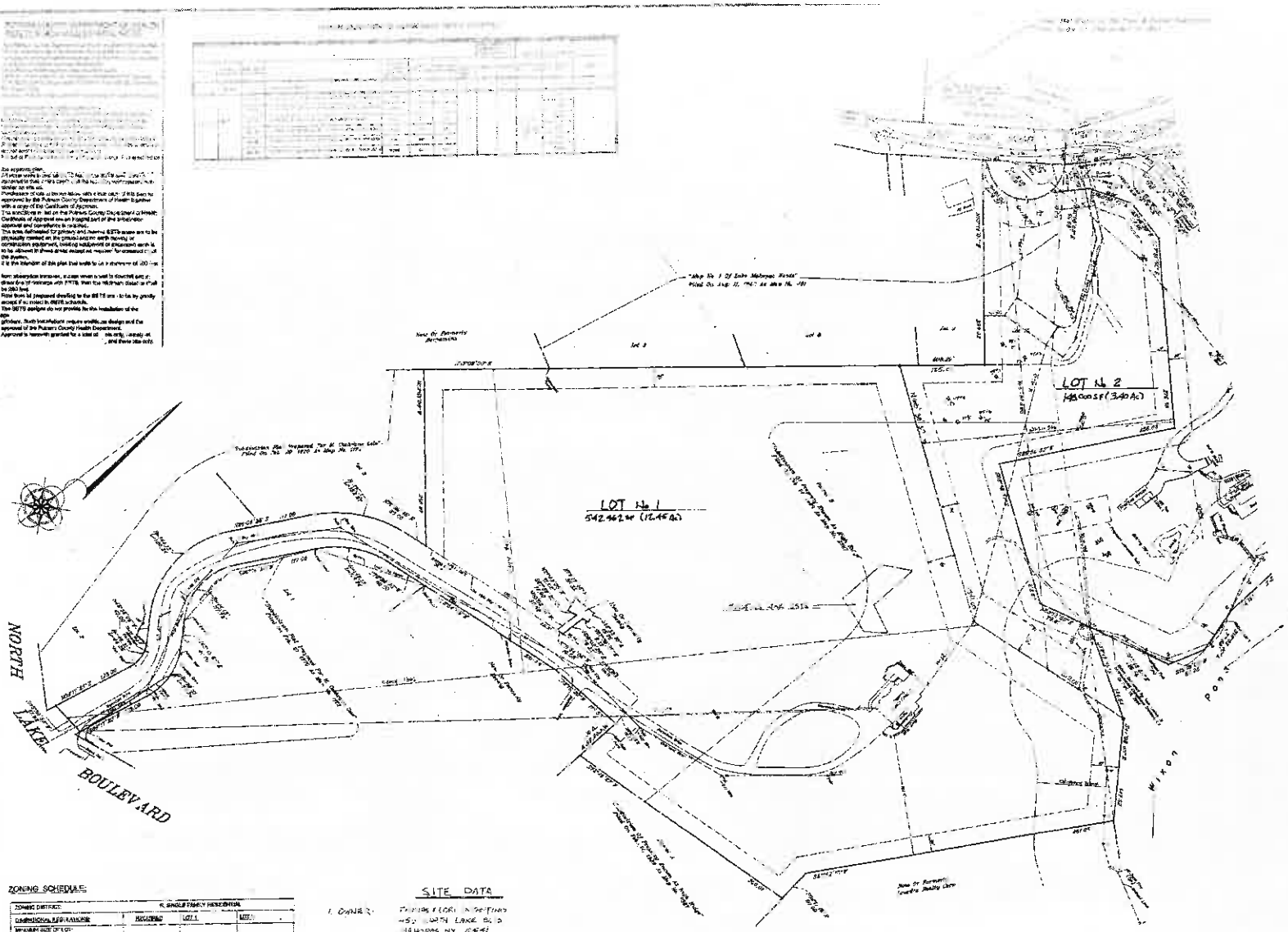
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

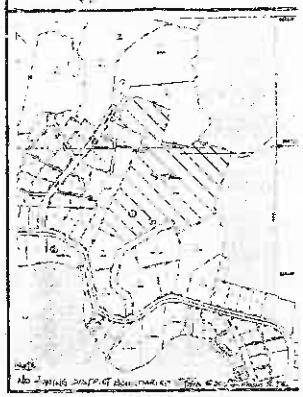
Applicant/sponsor name: THOMAS INFANTINO Date: 2/4/16

Signature:

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: a. public / private water supplies?		
b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		





ZONING SCHEDULE

ZONING DISTRICT:	R, SINGLE FAMILY RESIDENTIAL		
DIMENSIONAL REQUIREMENT	REQUIRED	LOT 1	LOT 2
MINIMUM SIZE OF LOT:			
MINIMUM LOT AREA (SF)	120,000 SF	542,462 SF	148,000 SF
MINIMUM LOT WIDTH	200 FT	400 FT	N/A
MINIMUM LOT FRONTAGE	150 FT	150 FT	N/A
CUL DE SAC FRONTAGE	75 FT	N/A	N/A
DEPTH OF LOT	N/A	475 FT	475 FT
MINIMUM YARD DIMENSIONS:			
PRINCIPAL BUILDING:			
FRONT YARD SETBACK	40 FT	103.5 FT	N/A
REAR YARD SETBACK	2 FT	150 FT	4 FT
SIDE YARD SETBACK	2 FT	152.5 FT	50.5 FT
ACCESSORY BUILDING			
FRONT YARD SETBACK	40 FT	N/A	N/A
REAR YARD SETBACK	20 FT	N/A	N/A
SIDE YARD SETBACK	10 FT	N/A	N/A
MAXIMUM BUILDING COVERAGE			
AS NORMAL USE OF DWELLING	10% OF LOT AREA	4.15%	1.5%
BUILD HEIGHT			
MAXIMUM HEIGHT (FT)	35 FEET	35 FEET	35 FEET

SITE DATA

1. OWNER: THOMAS & LORI INFANTINO
   455 NORTH LAKE BLVD
   MAHOPAC, NY 10541
2. ZONE: R-120 RESIDENTIAL
3. LOCATION: 455 NORTH LAKE BLVD & SPUR ROAD
4. TAX MAP #: 60.12-1-56
5. EXISTING & PROPOSED USE: SINGLE FAMILY RESIDENTIAL
6. SITE AREA: 15.85 ACRES
7. SUBDIVISION DEVELOPMENT: [illegible]

NOTES:

[illegible]

SURVEYORS CERTIFICATION

[illegible]

SKETCH

SUBDIVISION PLAT

prepared for

LORI INFANTINO

and

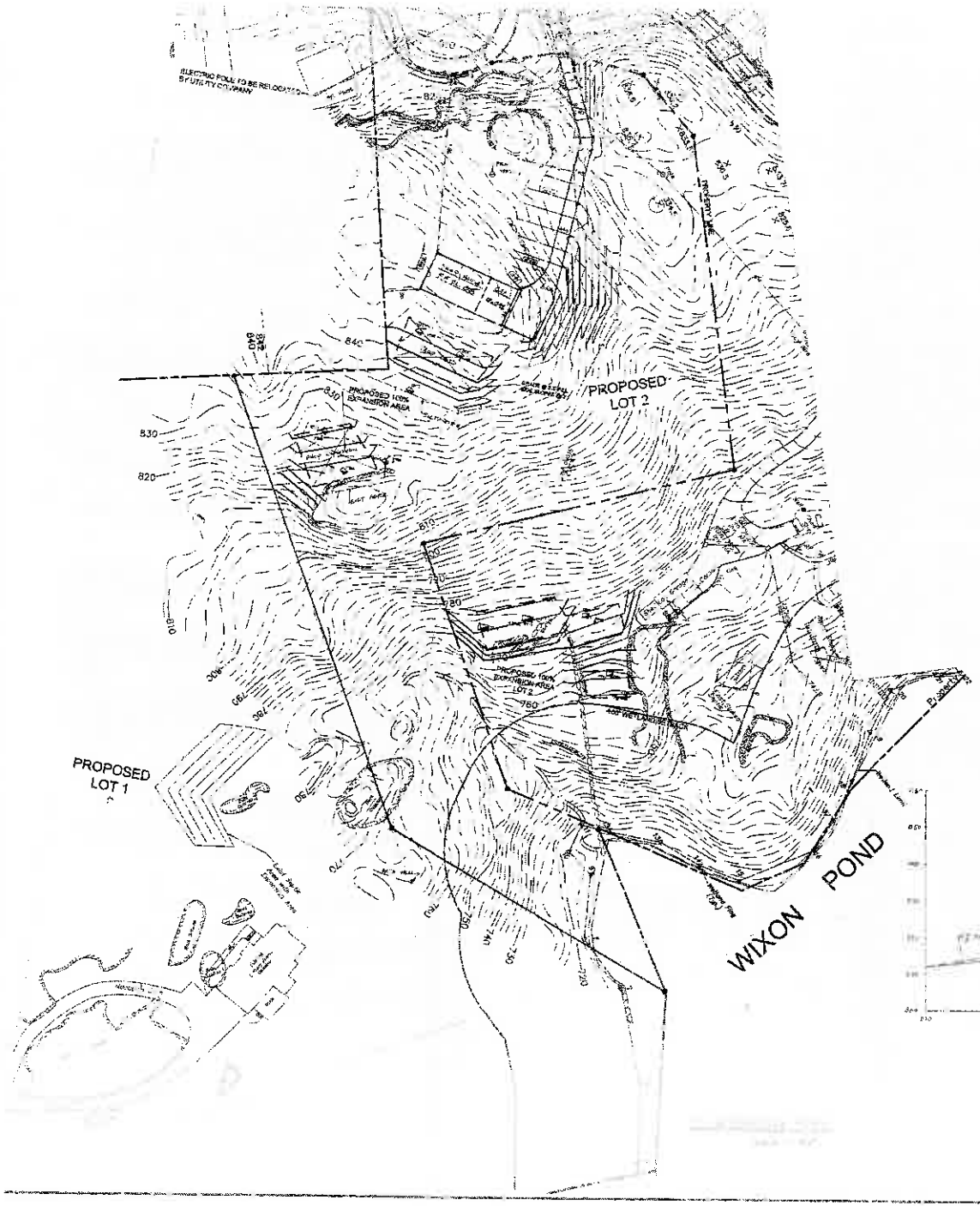
THOMAS INFANTINO

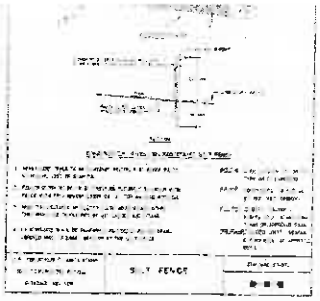
situate in the

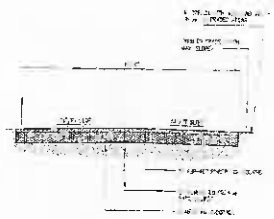
TOWN OF CARMEL

COUNTY OF PUTNAM, NY

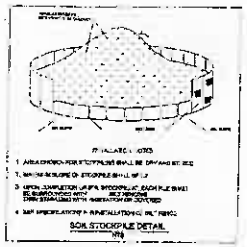
[illegible]



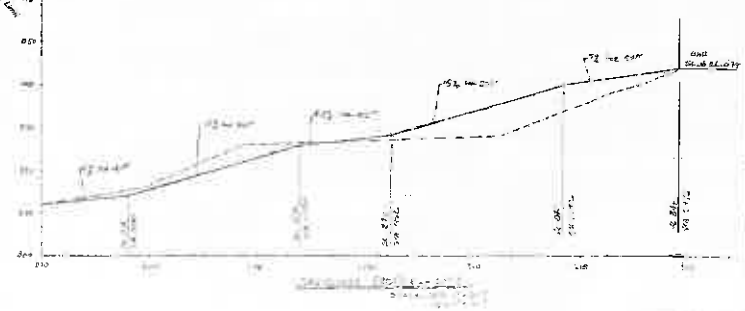


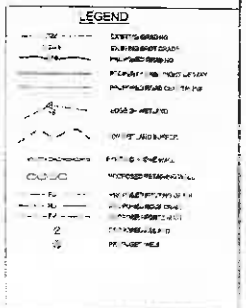


DRIVEWAY DETAIL - PAVED



SOIL STOCKPILE DETAIL





BIBBO ASSOCIATES, L.L.P.
Consulting Engineers

Joseph J. Buschynski, P.E.
Timothy S. Allen, P.E.
Sabri Barisser, P.E.

March 17, 2016

Town of Carmel Planning Board
60 McAlpin Avenue
Mahopac, NY 10541-2340

Attn: Mr. Harold Gary, Chairman

Re: Proposed 14-Lot Subdivision
Yankee Development, Piggott Road
TM # 76.15-1-12

Dear Members of the Board:

On behalf of the owners of the above captioned property we are hereby requesting an additional 180-day extension of Preliminary Subdivision Approval. We last appeared before your Board on September 16, 2015 and was granted a 180 day extension. Given the current residential real estate climate our client is proceeding with the DEP review process and will ultimately subdivide the property if the residential real estate market continues on its positive trend. Enclosed is a check in the amount of $500 for the renewal fee.

We respectfully request to be placed on your earliest agenda. Should you require any additional information, please feel free to contact me.

Very truly yours,

Nicholas Gaboury

NG/mme
Enclosure

cc: Angelo Luppino
Michael Sirignano
File

Site Design ◆ Environmental

Mill Pond Offices · 293 Route 100, Suite 203 · Somers, NY 10589
Phone: 914-277-5805 · Fax: 914-277-8210 · E-Mail: bibbo@optonline.net

JOHN KARELL, JR., P.E.
121 CUSHMAN ROAD
PATTERSON, NEW YORK, 12563
845-878-7894 FAX 845 878 4939
jack4911@yahoo.com

February 5, 2016

Rose Trombetta
Planning Board Secretary
Carmel Town Hall
Mahopac, New York, 10541

Re: **Re-Approval Dewn 5-Lot Realty Subdivision**
Mexico Lane; TM # 52.-2-28; Carmel (T)

Dear Ms. Trombetta:

Pursuant to my recent meeting with Rich and Pat, attached please find a revised submission as follows:

1. Eleven (11) copies of the application, EAF and Completeness Certification
2. Five (5) full sized sets of the construction drawings and subdivision plat, signed and sealed.
3. The CD and fee and two copies of the disclosure statement were submitted previously
4. Two copies of the deed
5. One copy of filed map # 854
6. One copy of the NYCDEP approved SWPPP, other agency approvals and bond amount previously approved at $468,000.00

Expiration of Existing Approvals:

Health Department – January 24, 2019
NYSDEC – December 31, 2017
NYCDEP – July 3, 2017

Historical letter – October 23, 2013

Comments by Rich Franzetti have been addressed as follows:

-Site plan instructions
Sheet 1 of 3- **done**

- One more copy of application, EAF, Completeness Certification – **submitted 11**
- Deed, **two copies submitted**

Sheet 3 of 3

- Backup Historical – **attached letter October 23, 2013**
- Add NYSDEC wetland **done**
- Town wetland permit – **see attached ECB letter dated 9/6/2013 and wetland Permit application dated 9/2/2013.**

-EAF

Sheet 2 of 4

- Proof of Historic – **see above**

Sheet 3 of 4

- Eliminate checks - **done**

Completeness Certification

Sheet 1 of 5

- Plans not signed and sealed - **done**
- 500 foot radius and names – **boundary added to location plan on subd plat**
- Zoning District Boundaries – **there are no zoning district boundary lines on or near this property. The entire area is zoned "residential"**
- Maps filed within 500 feet – **only one map # 854 relative to an easement onto this Property is germaine. It is attached.**

Sheet 2 of 5

- Existing covenants deed restrictions – **The only covenant or deed restriction on this Property is the easement shown on filed map # 854**
- Preliminary draft of homeowners association documents - **attached**
- SPPP – **SWPPP approved by the NYCDEP is attached.**

Sheet 3 of 5

- Construction plat – **construction plans are attached, five copies**

Sheet 4 of 5

- SWPPP - **The SWPPP approved by the NYCDE P and NYSDEC Wetland Permits are attached.**
- signatures - **provided**

TOWN OF CARMEL

SUBDIVISION APPLICATION INSTRUCTIONS

The Town of Carmel Planning Board meetings are held twice a month, on the second and fourth Wednesday's, at 7:00 PM at Carmel Town Hall, 60 McAlpin Avenue, Carmel

The submission deadline is 10 days prior to the Planning Board meeting. New subdivision applications that have been deemed complete will be placed on the agenda in the order they are received.

Pre-Submission:

Prior to the formal submission of the subdivision, a pre-submission conference may be requested by the applicant to be conducted with representatives from the Town, which may include the Town Planner, Town Engineer, Director of Code Enforcement, Planning Board Attorney. This conference will serve to educate the applicant on the process he/she must follow, clarify the information required to submit a complete subdivision application, and to highlight any specific areas of concern. You may arrange a pre-submission conference through the Planning Board Secretary at (845) 628-1500.

Submission Requirements:

At least 10 days prior to the Planning Board meeting, the subdivision application shall be submitted to the Planning Board Secretary as follows:

All subdivisions shall be signed, sealed and folded with the title box legible. The application package shall include:

- ☑ 11 copies of the Subdivision Application Form signed and notarized.
- ☑ 11 copies of the SEQR Environmental Assessment Form (use of short form or long form shall be determined at pre-submission conference).
- ☑ 5 full size sets of the Subdivision Plan
- ☑ 1 CD (in pdf. format) containing an electronic version of the Subdivision Plan
- ☑ 2 copies of the Disclosure Statement
- ☑ 11 copies of the Subdivision Completeness Certification Form
- ☑ All supplemental studies, reports, plans and renderings.
- ☑ 2 copies of the current deed.
- ☑ 2 copies of all easements, covenants and restrictions.
- ☑ The appropriate fee, determined from the attached fee schedule. Make checks payable to the *Town of Carmel.*

Rose Tronchetta 2/11/16 — **Planning Board Secretary; Date**

2/11/16 — **Town Engineer; Date**

TOWN OF CARMEL
SUBDIVISION APPLICATION

Per Town of Carmel Code – Section 131 – Subdivision of Land

SITE IDENTIFICATION INFORMATION

Application Name: DEWN 5 LOT REALTY SUBDIVISION
Application # 16-0003
Date Submitted: 01-05-2016

Site Address:
No. Street: MEXICO Hamlet: MAHOPAC

Property Location: (Identify landmarks, distance from intersections, etc.) WEST SIDE OF MEXICO LA 500 FT WEST OF HITCHCOCK HILL ROAD AND MEXICO LANE

Town of Carmel Tax Map Designation:
Section 53. Block 2 Lot(s) 28

Zoning Designation of Site: R - RESIDENTIAL

Property Deed Recorded in County Clerk's Office
Date Liber 1593 Page 445

Liens, Mortgages or other Encumbrances
Yes (No)

Existing Easements Relating to the Site
No Yes Describe and attach copies:
NONE

Are Easements Proposed?
No (Yes) Describe and attach copies:
EASEMENT FOR PRIVATE ROAD (SEE PLAT)

Have Property Owners within a 500' Radius of the Site Been Identified?
Yes ✓ No Attached List to this Application Form ON PLAN

APPLICANT/OWNER INFORMATION

Property Owner: DAVID ADLER, DEWN HOLDING CO
Phone #: 914557 2032 **Fax#:** —
Email: ADLERADLER48@YAHOO.COM

Owners Address:
No. 19 Street: SUNSET DRIVE Town: THORNWOOD State: NY Zip: 10594

Applicant (If different than owner): —
Phone #: — **Fax#:** —
Email: —

Applicant Address (If different than owner):
No. — Street: — Town: — State: — Zip: —

Individual/ Firm Responsible for Preparing Site Plan: JOHN KARELL, JR., P.E.
Phone #: 8457240455 **Fax#:**
Email: JACK4911@YAHOO.COM

Address:
No. 121 Street: CUSHMAN ROAD Town: PATTERSON State: NY Zip: 12563

Other Representatives: —
Phone #: — **Fax#:** —
Email: —

Owners Address:
No. Street: — Town: — State: — Zip: —

PROJECT DESCRIPTION

Describe the project, proposed use and operation thereof:

5 LOT REALTY SUBD. SERVED BY INDIVIDUAL WELLS AND SEPTIC SYSTEMS. A PRIVATE ROAD WILL BE PROVIDED TO SERVE THE 5 LOTS

TOWN OF CARMEL SUBDIVISION APPLICATION

PROJECT INFORMATION

Size of existing parcel to be subdivided:
30.45 *Acres:* 1,326,402 *Square Feet:*

Major Subdivision ☐ | **Minor Subdivision** ■

Number of proposed lots: 5

Size of proposed lots: 4.3 AC → 17.6 AC

Conventional Subdivision ■ | **Cluster Subdivision** ☐

Will a 10% open space set aside be provided? Yes: ☐ No: ■

If no, will a payment in-lieu be provided? Yes: ■ No: ☐

Will all new lots have frontage on a mapped street? Yes: ☐ No: ■

If not, how will this deficiency be addressed? OPEN DEVELOPMENT

Is the site served by the following public utility infrastructure:

- **Sanitary Sewer** Yes: ☐ No: ■

  If Yes:
  - Does approval exist to connect to sewer main? Yes: ☐ No: ☐
  - Is this an in-district connection? _____ Out-of district connection? _____
  - What is the total sewer capacity at time of application? _____
  - What is your anticipated average and maximum daily flow _____

- **Water Supply** Yes: ☐ No: ■

  If Yes:
  - Does approval exist to connect to water main? Yes: ☐ No: ☐
  - What is the total water capacity at time of application? _____
  - What is your anticipated average and maximum daily demand _____

- **Storm Sewer** Yes: ■ No: ☐
- **Electric Service** Yes: ■ No: ☐
- **Gas Service** Yes: ☐ No: ☐
- **Telephone/Cable Lines** Yes: ■ No: ☐

Will any common areas be created outside of individual lots (road rights-of-way, recreation areas, stormwater management areas, etc.)? Yes: ■ No: ☐ PRIVATE ROAD

Is a homeowners association proposed? Yes: ■ No: ☐

What is the predominant soil type(s) on the site? CHATFIELD HOLLIS, PAXTON FINE SANDY LOAM

What is the approximate depth to water table? GREATER THAN 7 FT

Site slope categories: 0-15% 25% | 15-25% 25 % | 25-35% 25 % | >35% 25 %

Estimated quantity of excavation: | **Cut (C.Y.)** _____ | **Fill (C.Y.)** _____

Is Blasting Proposed Yes: ☐ No: ☐ Unknown: ■

Is the site located ion a designated Critical Environmental Area? Yes: ☐ No: ■

Does a curb cut exist on the site? Yes: ☐ No: ■

Are new curb cuts proposed? Yes: ■ No: ☐

What is the sight distance? Left 7200 FT Right 7200 FT

Is the site located within 500' of:

- The boundary of an adjoining city, town or village Yes: ☐ No: ■
- The boundary of a state or county park, recreation area or road right-of-way Yes: ☐ No: ■
- A county drainage channel line. Yes: ☐ No: ■

TOWN OF CARMEL SUBDIVISION APPLICATION

- The boundary of state or county owned land on which a building is located Yes: ☐ No: ■

Is the site listed on the State or Federal Register of Historic Place (or substantially (contiguous)
Yes: ☐ No: ■

Is the site located in a designated floodplain?
Yes: ☐ No: ■

Does the site contain freshwater wetlands?
Yes: ☐ No: ■

Jurisdiction:
NYCDEC: ■ Town of Carmel: ■ PROXIMATE TO NYSDEC OL-18

If present, the wetlands must be delineated in the field by a Wetland Professional, and survey located on the Site Plan.

Are encroachments in regulated wetlands or wetland buffers proposed? Yes: ■ No: ☐

Does this application require a referral to the Environmental Conservation Board? ECB LETTER 9/6/2013 Yes: ☐ No: ■

Does the site contain waterbodies, streams or watercourses? Yes: ☐ No: ■

Are any encroachments, crossings or alterations proposed? Yes: ☐ No: ■

Is the site located adjacent to New York City watershed lands? Yes: ☐ No: ■

Will municipal or private solid waste disposal be utilized?

Public: ☐ Private: ■

Has this application been referred to the Fire Department? Yes: ■ No: ☐

What is the estimated time of construction for the project?

BEGIN MAY 2016 CONTINUE FOR 3-4 YRS.

ZONING COMPLIANCE INFORMATION

Zoning Provision	Required	Existing	Lot 1	Lot 2	Lot 3	Lot 4	Lot 5
Lot Area SF	120,000		193,121	121,780	763,295	125,956	122,136
Lot Coverage %	15		1.0	1.0	<1.0	1.0	1.0
Lot Width FT	200		208	218	312	203	334
Front Yard FT	40	N/A	593	168	49	99	170
Side Yard (minimum of 1) FT	25		25	56	96	38	118
Side Yard (total of both) FT	50		117	85	162	104	147
Rear Yard FT	40		56	336	1030	853	126
Habitable Floor Area	—		—	—	—	—	—
Height FT	35		30	30	30	30	30

(if more than 5 lots are proposed, include additional zoning compliance information on a separate sheet)

Will variances be required? Yes: ☐ No: ■ If yes, identify variances required for each lot:

APPLICANTS ACKNOWLEDGEMENT

I hereby depose and certify that all the above statements and information, and all statements and information contained in the supporting documents and drawings attached hereto are true and correct.

DAVID ADLER
Applicants Name

Applicants Signature

Sworn before me this 19th day of JAN 2016.

Notary Public

PHYLLIS TACKET
Notary Public - State of New York
NO. 01TA5053093
Qualified in Westchester County
My Commission Expires Dec 11, 2017

TOWN OF CARMEL
SUBDIVISION COMPLETENESS CERTIFICATION FORM

All Subdivisions submitted to the Planning Board for review shall include the following information and details, as set forth in Section 131-11-14 of the Town of Carmel Subdivision Regulations.

This form shall be included with the subdivision submission

	Requirement Data	To Be Completed by the Applicant	Waived by the Town
1	Key map at a scale of one inch equals 800 feet	☑	☐
2	Title block, including title of map; name of subdivision; name, address, seal and signature of professional engineer or land surveyor preparing the plat; written scale; date of original and all revisions.	☑	☐
3	A legend, including, names of all adjacent landowners and those within 500 feet of any property line; zoning district with the requirements of said zone; tax map, block and lot number; names and addresses of owner and subdivider; north point and graphic scale.	☑	☐
4	Location and identification of all zoning district boundaries.	N/A ☐ NO BOUNDARIES	☐
5	Identification of all maps filed in the County Clerk's office affecting properties within 500 feet of the lot to be subdivided.	☑ filed map 854	☐
1	All General Requirements	☑	☐
2	Proposed subdivision layout at a scale of not less than one inch equals 100 feet.	☑	☐
3	All proposed lot lines, dimensions in feet and the areas of all lots in square feet and identifying numbers for each lot.	☑	☐
4	The location of existing and proposed setback lines, streets within 200 feet of the subdivision, buildings, watercourses, railroads and bridges, culverts, drainpipes and any natural features, such as wooded areas and rock formations.	☑	☐
5	Location and size of areas proposed to be reserved for recreation/open space.	☑	☐

TOWN OF CARMEL

SUBDIVISION COMPLETENESS CERTIFICATION FORM

	Requirement Data	To Be Completed by the Applicant	Waived by the Town
1	All General and Sketch Plan Requirements	☑	☐
2	The area included in the subdivision, by area of lots, roads, reservations if any, and total acreage.	☑	☐
3	The existing and proposed contours (at an interval of not more than two feet), suitably designated to differentiate, with proposed first-floor elevations of the buildings.	☑	☐
4	Names of existing streets and proposed names of new streets.	☑	☐
5	Preliminary profiles of all proposed roads.	☑	☐
6	Location, type and size of curbs, sidewalks and bikeways.	N/A ☐	☐
7	For subdivisions of five or more lots, front building elevation sketches and distribution of dissimilar building types on the site to avoid excessive similarity of exterior design.	☑	☐
8	Plans of proposed utility layouts and all facilities, unsized.	☑	☐
9	The natural flow of surface drainage (indicated with arrows and the final disposal of surface waters); location of existing and proposed watercourses, culverts, bridges, drainpipes, lakes and ponds, detention or retention ponds; tentative location of storm drain inlets with the drainage areas tributary to each outlined and the area shown.	☑	☐
10	Existing or proposed covenants or deed restrictions applying to the site and a preliminary draft of homeowners' association documents, if applicable.	☑ deed + HoA	☐
11	A stormwater pollution prevention plan (SWPPP) consistent with the requirements of Article X of Chapter 156 of the Code of the Town of Carmel.	☑	☐
1	All General, Sketch and Preliminary Plat Requirements.	☑	☐

TOWN OF CARMEL

SUBDIVISION COMPLETENESS CERTIFICATION FORM

	Requirement Data	To Be Completed by the Applicant	Waived by the Town
2	Dimensions exactly with reference to monuments, bearings, distances in feet, radii, points of curvature and tangency of property lines, lot widths and depths and square feet of each lot.	☑	☐
3	Location of all proposed setback lines on each lot, with corner and irregular-shaped lots identified as to front, side and rear yards.	☑	☐
4	Location of all existing and proposed monuments.	☑	☐
5	All existing streets and streams within the subdivision and within 200 feet of the boundaries thereof, the width of the right-of-way of each street and existing public easements and municipal boundaries within 200 feet of the subdivision.	☑	☐
6	All proposed public easements or rights-of-way and the purposes thereof and proposed streets, identifying right-of-way width and names.	N/A ☐	☐
7	All parcels proposed for open space/recreation use, with a statement of the purpose of each.	N/A ☐	☐
8	Construction plat, which shall include, in addition to the above: final first-floor elevations of dwellings and outside grades at their corner; proposed curb elevations at all lot corners; all existing structures, including a note indicating those to be removed and yard dimensions of those to remain; plans and profiles and proposed improvements and utility layouts; paving widths and locations, section and profiles; sidewalk widths and locations and sections; road alignment, complete with stations, center line curve data and existing and finished contours of the road and all regraded areas; details of manholes, catch basins, headwalls and any other required structure; locations of all street trees, lights and signs; maximum anticipated extent of the areas of cuts and fills where grade	☑	☐

TOWN OF CARMEL

SUBDIVISION COMPLETENESS CERTIFICATION FORM

	Requirement Data	To Be Completed by the Applicant	Waived by the Town
	changes are proposed; the natural flow of surface drainage and the final disposal of surface waters; slopes of banks of all watercourses, if defined, and boundaries of floodplains; specifications, locations, profiles and detailed cross sections of the proposed storm drains, including all inlets and size of the drainage area of the streets, including grades and all other improvements.		
9	Final copy of the homeowners' association documents, if applicable.	☑	
10	Deeds for land to be dedicated for road widening, recreation or other purposes.	☑	
11	Erosion control standards.	☑	
12	A stormwater pollution prevention plan (SWPPP) consistent with the requirements of Article X of Chapter 156 of the Code of the Town of Carmel and with the terms of preliminary plan approval.	☑	

Applicants Certification (to be completed by the licensed professional preparing the subdivision plan:

I John Karell, Jr. **hereby certify that the site plan to which I have attached my seal and signature, meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:**

STATE OF NEW YORK
JOHN KARELL, JR.

Signature - Applicant — **Date** 01-05-2016

Signature - Owner — **Date** 01-05-2016

Professionals Seal

TOWN OF CARMEL

SUBDIVISION COMPLETENESS CERTIFICATION FORM

Town Certification (to be completed by the Town)

I Richard J. Franzetti hereby confirm that the site plan meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:

Signature - Planning Board Secretary — Date: 2/11/16

Signature - Town Engineer — Date: 2/11/16

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information

Name of Action or Project:
DEWN 5 LOT REALTY SUBDIVISION

Project Location (describe, and attach a location map):
500 FEET WEST OF THE INTERSECTION OF HITCHCOCK HILL ROAD AND MEXICO LANE, ON THE WEST SIDE OF MEXICO LANE

Brief Description of Proposed Action:
5 LOT REALTY SUBDIVISION SERVED BY INDIVIDUAL WELLS AND SEPTIC SYSTEMS. A PRIVATE ROAD WILL BE PROVIDED TO SERVE THE 5 LOTS.

Name of Applicant or Sponsor:	Telephone: 914 557 2032
DAVID ADLER, DEWN HOLDING COMPANY	E-Mail: ADLERADLER48 @YAHOO.COM

Address:
19 SUNSET DRIVE

City/PO:	State:	Zip Code:
THORNWOOD	NY	10594

	NO	YES
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.	☑	☐
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: NYSDEC WETLALNDS; PUTNAM COUNTY HEALTH DEPT SUBDIVISION; TOWN OF CARMEL PLANNING BOARD SUBDIVISION;TOWN OF CARMEL ECB-WETLANDS; TOWN BOARD-OPEN DEVELOPMENT; NYCDEP-STORMWATER	☐	☑

3.a. Total acreage of the site of the proposed action? 30.45 acres
b. Total acreage to be physically disturbed? _____ acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 30.45 acres

4. Check all land uses that occur on, adjoining and near the proposed action.
☐ Urban ☐ Rural (non-agriculture) ☐ Industrial ☐ Commercial ☑ Residential (suburban)
☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other (specify): _____
☐ Parkland

	NO	YES	N/A
5. Is the proposed action,			
a. A permitted use under the zoning regulations?	☐	☑	☐
b. Consistent with the adopted comprehensive plan?	☐	☑	☐
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO ☐	YES ☑	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify:	NO ☑	YES ☐	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO ☑	YES ☐	
b. Are public transportation service(s) available at or near the site of the proposed action?	☐	☑	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	☑	☐	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies:	NO ☐	YES ☑	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: INDIVIDUAL DRILLED WELLS	NO ☑	YES ☐	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: INDIVIDUAL SEPTIC SYSTEMS	NO ☑	YES ☐	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO ☑	YES ☐	
b. Is the proposed action located in an archeological sensitive area?	☑	☐	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO ☐	YES ☑	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres:	☑	☐	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: ☐ Shoreline ☑ Forest ☐ Agricultural/grasslands ☐ Early mid-successional ☐ Wetland ☐ Urban ☐ Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO ☑	YES ☐	
16. Is the project site located in the 100 year flood plain?	NO ☑	YES ☐	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES	
a. Will storm water discharges flow to adjacent properties? ☑ NO ☐ YES	☐	☑	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: ☐ NO ☑ YES			

	NO	YES
18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size:	☐	☑
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	☑	☐
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	☑	☐

I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor name: John Karell, Jr., P.E. David Adler, owner Date: January 31, 2016

Signature:

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	☐	☐
2. Will the proposed action result in a change in the use or intensity of use of land?	☐	☐
3. Will the proposed action impair the character or quality of the existing community?	☐	☐
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	☐	☐
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	☐	☐
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	☐	☐
7. Will the proposed action impact existing: a. public / private water supplies?	☐	☐
b. public / private wastewater treatment utilities?	☐	☐
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	☐	☐
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	☐	☐

NYC Environmental Protection

Carter H. Strickland, Jr.
Commissioner

Paul V. Rush, P.E.
Deputy Commissioner
Bureau of Water Supply
prush@dep.nyc.gov

465 Columbus Avenue
Valhalla, New York 10595
T: (845) 340-7800
F: (845) 334-7175

July 3, 2012

Michael F. Stein, P.E.
Hudson Engineering & Consulting, PC
55 South Broadway
Tarrytown, NY 10591

re: Dewn Subdivision (aka Eagle Hill);
Stormwater Pollution Prevention Plan;
Mexico Lane; (T) Carmel
DEP Project Log #2003-AM-0992-SP.1

Dear Mr. Stein:

This letter is to inform you that your application to engage in the above referenced regulated activity pursuant to the *Rules and Regulations for the Protection from Contamination, Degradation and Pollution of the New York City Water Supply and Its Sources* (Regulations) was approved on July 3, 2012. This Department reserves the right to modify, suspend, or revoke this approval based on the grounds set forth in Section 18-26 of the Regulations.

The activity proposed in your application only applies to the terms of this approval and is subject to the Regulations cited above. Failure to comply with the conditions of the approval may be the cause for suspension of this approval and initiation of an enforcement action. Should modification, suspension or revocation of an approval be necessary, the Department will notify the regulated party, via certified mail or personal service prior to modifying, suspending or revoking the approval. The notice will state the alleged facts or conduct which appear to warrant the intended action and explain the procedures to be followed.

Please call John Drake at (914)742-2025 at least two days prior to start of construction so that an inspection may be scheduled.

Sincerely,

Mary P. Galasso
Supervisor
Stormwater Programs

xc: (T) Carmel Planning Board (w/ att)
(T) Carmel Building Department (w/att)
P. Ferracane, NYSDEC (email)

New York City
Department of
Environmental Protection

59-17 Junction Boulevard, 19th Floor
Corona, NY 11368

STORMWATER POLLUTION PREVENTION PLAN DETERMINATION

Pursuant to the authority granted under:

Article 11 of the New York State Public Health Law;
Rules and Regulations For The Protection From Contamination, Degradation and Pollution Of The New York City Water Supply and Its Sources, 15 RCNY Chapter 18, 10 NYCRR Part 128.

New York City Department of Environmental Protection makes the following determinations with respect to the stormwater pollution prevention plan described below:

Name of Project: Dewn Subdivision (aka Eagle Hill)

Location: Mexico Lane
(T) Carmel

Owner: Dewn Holding Company

Address: 19 Sunset Drive
Carmel, NY, 10594

Drainage Basin: Amawalk Reservoir

General Description:
The applicant proposes to subdivide one 30.1-acre undeveloped parcel into five residential lots. The parcel is wooded with light underbrush on moderate to steep slopes. The subdivision will be accessed by a new common driveway providing access to the individual lots. Stormwater runoff from the 1-year, 24-hour design storm will be collected by open and closed drainage and conveyed to green infrastructure techniques and stomwater management practices, including rain gardens, a dry swale, and a micropool extended detention pond, for volume reduction and treatment. After treatment, stormwater runoff will be conveyed through closed drainage under Mexico Lane and discharge to a watercourse tributary to DEC Wetland OL-18. Construction shall be implemented in accordance with the plans titled, *5-Lot Subdivision Mexico Lane Town of Carmel Putnam County, New York*, prepared by Michael F. Stein, P.E., dated May 31, 2008 and last revised March 21, 2012 (see Appendix A).

Date(s) of site inspection:
04/12, 2004, 08/06/2010, 03/17/2011, 04/14/2011

STORMWATER POLLUTION PREVENTION PLAN DETERMINATION

(XX) Approved ( ) Denied

Conditions of Approval:

This approval is granted with the following conditions:

- The regulated activity must be conducted in compliance with the plans as approved, listed in Appendix A, all applicable accepted standards, and all applicable laws, rules and regulations. Any alteration of the plans must be approved by NYCDEP prior to construction.

- Alteration or modification of any activity in a manner which would require an amended SWPPP pursuant to Part III C of the New York State Department of Environmental Conservation General Permit No. GP-0-10-001 shall require NYCDEP review and approval.

- All erosion and sediment controls must be properly installed and maintained until the site has been stabilized and the risk of erosion eliminated. Final stabilization is defined in the General Permit as "all soil disturbance activities have ceased and a uniform, perennial vegetative cover with a density of eighty (80) percent over the entire pervious surface has been established; or other equivalent stabilization measures, such as permanent landscape mulches, rock rip-rap or washed/crushed stone have been applied on all disturbed areas that are not covered by permanent structures, concrete or pavement."

- The applicant must schedule a pre-construction conference prior to the start of construction. Present at the meeting should be the applicant, the engineer, the contractor, and NYCDEP staff.

- The applicant must notify NYCDEP at least forty-eight (48) hours prior to the commencement of construction activity so that inspections can be scheduled by NYCDEP.

- This approval shall expire and thereafter be null and void unless construction is completed within five (5) years of the date of issuance or within any extended period of time approved by NYCDEP upon good cause shown.

- In the event that the material submitted is inaccurate or misleading, this approval is not valid and construction of this project is in violation of NYCDEP Regulations

- Failure to comply with any of the conditions of this approval is a violation of this approval and the *Rules and Regulations for the Protection from Contamination, Degradation and Pollution of the New York City Water Supply and Its Sources.*

- The stormwater management facilities must be maintained in accordance with the maintenance schedule included in the SWPPP and approved by NYCDEP.

- The applicant is required to submit as-built plans for all stormwater management and water quality facilities.

STORMWATER POLLUTION PREVENTION PLAN DETERMINATION

This approval and all conditions of the approval are binding on the owner of the property where the stormwater pollution prevention plan is to be located. Any references to the "applicant" in this approval or in any conditions of this approval shall be deemed to refer to the owner of such property.

If the applicant sells or otherwise transfers title to Dewn Subdivision, the applicant shall require the new owner ("Buyer") to comply with the stormwater pollution prevention plan approved by the New York City Department of Environmental Protection on July 3, 2012 ("SWPPP") including, but not limited to, all provisions relating to erosion and sediment control during construction and to maintenance of the stormwater management facilities once construction is complete. In particular, the applicant shall provide the Buyer with a copy of the SWPPP and shall cause the following real covenants and restrictions to be recorded with the deed for Dewn Subdivision with the following provisions:

(1) Buyer hereby acknowledges, covenants, warrants, and represents that he/she shall install and maintain any and all erosion controls and stormwater management facilities on the premises in accordance with the SWPPP, such SWPPP being attached hereto as Exhibit A.

(2) Buyer's installation and maintenance of the erosion control and stormwater management facilities shall be for the benefit of the consumers of the New York City drinking water supply system as well as for the owners of Dewn Subdivision.

(3) Buyer's obligation to install and maintain any and all erosion controls and stormwater management facilities on the premises in accordance with the attached SWPPP shall be perpetual, shall run with the land, and shall be binding on Buyer's heirs, successors, and assigns.

(4) Buyer hereby covenants, warrants and represents that any lease, mortgage, subdivision, or other transfer of Dewn Subdivision, or any interest therein, shall be subject to the restrictive covenants contained herein pertaining to the installation and maintenance of erosion control and stormwater management facilities, and any deed, mortgage, or other instrument of conveyance shall specifically refer to the attached SWPPP and shall specifically state that the interest thereby conveyed is subject to covenants and restrictions contained herein.

Prior to conveying title to Dewn Subdivision, the applicant shall submit to the New York City Department of Environmental Protection a proposed deed containing the aforementioned real covenants and restrictions.

STORMWATER POLLUTION PREVENTION PLAN DETERMINATION

Date: July 3, 2012

Determination made by:

Mary P. Galasso
Supervisor
Stormwater Programs EOH

Recommended for Approval:

John Drake
Associate Project Manager
Stormwater Programs EOH

This determination letter must be maintained by the applicant and be readily available for inspection at the construction site.

APPENDIX A

1. Report, titled *Stormwater Pollution Prevention Plan & Drainage Analysis; 5-Lot Subdivision Mexico Lane Town of Carmel Putnam County, New York*, prepared by Michael F. Stein, P.E., dated February 2011 and last revised April 2011.
2. Subdivision Plat titled Subdivision Plat Known as Eagle Hill, prepared by David L. O'Dell, L.S., last revised June 16, 2012.

The following sheets from the set of drawings titled *5-Lot Subdivision Mexico Lane Town of Carmel Putnam County, New York*, prepared by Michael F. Stein, P.E.:

3. Sheet C-1, Site Layout Plan, dated May 31, 2008 and last revised March 21, 2012.
4. Sheet C-2, Sediment & Erosion Control Plan, dated May 31, 2008 and last revised March 21, 2012.
5. Sheet C-3, Road Profile, dated January 20, 2008 and last revised January 23, 2012.
6. Sheet C-4, Details, dated January 20, 2008 and last revised March 21, 2012.
7. Sheet C-5, Details, dated January 20, 2008 and last revised March 21, 2012.
8. Sheet C-6, Details, dated January 20, 2008 and last revised April 16, 2012.
9. Sheet C-7, Proposed Easements, dated March 21, 2012.
10. Sheet C-8, Sequencing Limits Plan, dated April 16, 2012.
11. Sheet C-9, Sequencing Limits Plan, dated April 16, 2012.
12. Sheet C-10, Sequencing Limits Plan, dated April 16, 2012

The following draft legal documents related to covenants, restrictions, and long-term maintenance of stormwater management measures, prepared by Harold Tevelowitz, received electronically by Michael F. Stein, P.E. on May 14, 2012:

13. DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS, CHARGES AND LIENS FOR EAGLE HILL
14. DECLARATION FOR COMMON ACCESS, STORMWATER POLLLUTION PREVENTION PLAN, GRADING, DRAINAGE AND UTILITIES
15. BY-LAWS OF EAGLE HILL ROAD ASSOCIATION, INC.

PERMIT

Under the Environmental Conservation Law (ECL)

Permittee and Facility Information

Permit Issued To:
DEWN HOLDING CORPORATION
19 SUNSET DR

THORNWOOD, NY 10594
(914) 741-0954

Facility:
DEWN SUBDIVISION
MEXICO LN 600 FT SW OF HITCHCOCK HILL RD
MAHOPAC, NY 10541

Facility Location: in CARMEL in PUTNAM COUNTY
Facility Principal Reference Point: NYTM-E: 603.577 NYTM-N: 4584.71
Latitude: 41°24'26.2" Longitude: 73°45'38.8"
Authorized Activity: This permit authorizes disturbance to 6,488 square feet of the adjacent area of NYS-regulated Freshwater Wetland OL-18, Class 1. The disturbance is associated with an access road and stormwater basin to serve a new 5-lot single-family residential subdivision on a 30.45-acre parcel. All work is separated from the wetland by Mexico Lane.

Permit Authorizations

Freshwater Wetlands - Under Article 24
Permit ID 3-3720-00372/00001
New Permit Effective Date: 12/5/2013 Expiration Date: 12/31/2017

NYSDEC Approval

By acceptance of this permit, the permittee agrees that the permit is contingent upon strict compliance with the ECL, all applicable regulations, and all conditions included as part of this permit.

Permit Administrator: DANIEL T WHITEHEAD, Deputy Regional Permit Administrator
Address: NYSDEC REGION 3 HEADQUARTERS
21 SOUTH PUTT CORNERS RD
NEW PALTZ, NY 12561 -1620

Authorized Signature: Daniel Whitehead Date 12/5/2013

Distribution List

John Karell, Karell Eng via email
Town of Carmel Supervisor via email
Maria Tupper-Goebel, NYCDEP via email
Doug Gaugler, DEC Bur of Habitat via email

Permit Components

NATURAL RESOURCE PERMIT CONDITIONS

GENERAL CONDITIONS, APPLY TO ALL AUTHORIZED PERMITS

NOTIFICATION OF OTHER PERMITTEE OBLIGATIONS

NATURAL RESOURCE PERMIT CONDITIONS - Apply to the Following Permits: FRESHWATER WETLANDS

1. **Conformance With Plans** All activities authorized by this permit must be in strict conformance with the approved plans submitted by the applicant or applicant's agent as part of the permit application. Such approved plans were prepared by Hudson Engineering & Consulting P.C. and consisting of the thirteen sheets listed in Natural Resource Condition # 2.

2. **Approved Plans** The approved plans consist of the following sheets titled "5-Lot Subdivision Mexico Lane (AKA Eagle Hill):
1. Sheet C-1 Trench Layout Plan, dated 5/31/2008 and last revised 8/12/2013
2. Sheet C-1A Subdivision Plat, dated 7/18/2013 and last revised 8/12/2013
3. Sheet C-2 Sediment & Erosion Control Plan, dated 5/31/2008 and last revised 8/12/2013
4. Sheet C-3 Road Profile, dated 1/20/2008 and last revised 1/23/2012
5. Sheet C-4 Details, dated 1/20/2008 and last revised 3/21/2012
6. Sheet C-5 Details, dated 1/20/2008 and last revised 1/23/2012
7. Sheet C-6 Details, dated 1/20/2008 and last revised 4/16/2012
8. Sheet C-7 Proposed Easements, dated 3/21/2012 and last revised 11/13/2012
9. Sheet C-8 Sequencing Limits Plan, dated 4/16/2012 and last revised 11/13/2012
10. Sheet C-9 Sequencing Limits Plan, dated 4/16/2012 and last revised 11/13/2012
11. Sheet C-10 Sequencing Limits Plan, dated 4/16/2012 and last revised 11/13/2012
12. Sheet WS-E Watershed - Existing, dated 1/20/2008 and last revised 1/23/2012
13. Sheet WS-P Watershed - Proposed, dated 1/20/2008 and last revised 1/23/2012

3. **Notice of Intent to Commence Work** The Permittee shall notify the Department 3 to 5 days prior to the commencement of work on the project by emailing Doug Gaugler, dggaugle@gw.dec.state.ny.us. The email needs to include the permit number, permittee name and the project start date.

4. Post Permit Sign The permit sign enclosed with this permit shall be posted in a conspicuous location on the worksite and adequately protected from the weather.

5. No Wetland Disturbance No disturbance to the wetland is authorized.

6. Work Within Area Depicted on Plans All construction activity, including operation of machinery, excavation, filling, grading, clearing of vegetation, disposal of waste, street paving and stockpiling of material must take place within the project site as depicted on the project plans referenced by this permit. Construction activity is prohibited within areas to be left in a natural condition or areas not designated by the subject permit.

7. Install Erosion Controls Before any soil is disturbed on the subject site, the permittee shall install erosion and sedimentation controls which are adequate to prevent erosion and sedimentation off-site. Such controls shall be maintained until the unpaved portions of subject site, if any, are stabilized by a self-sustaining cover of vegetation that is adequate to prevent erosion and sedimentation on and off such site. Before such controls are removed, the permittee shall remove all sediment that has accumulated at such controls.

8. Precautions Against Contamination of Waters All necessary precautions shall be taken to preclude contamination of any wetland or waterway by suspended solids, sediments, fuels, solvents, lubricants, epoxy coatings, paints, concrete, leachate or any other environmentally deleterious materials associated with the project.

9. Invasive Species (Non-native Vegetation) To prevent the unintentional introduction or spread of invasive species, the permittee must ensure that all construction equipment be cleaned of mud, seeds, vegetation and other debris before entering any approved construction areas within the state regulated freshwater wetland or its 100 foot adjacent area.

10. Seed, Mulch Disturbed Soils All areas of soil disturbance resulting from this project shall be seeded with an appropriate perennial grass seed and mulched with straw within one week of final grading.

If seeding is impracticable due to the time of year, a temporary mulch shall be applied and final seeding shall be performed at the earliest opportunity when weather conditions favor germination and growth but not more than six months after project completion.

11. State Not Liable for Damage The State of New York shall in no case be liable for any damage or injury to the structure or work herein authorized which may be caused by or result from future operations undertaken by the State for the conservation or improvement of navigation, or for other purposes, and no claim or right to compensation shall accrue from any such damage.

12. State May Order Removal or Alteration of Work If future operations by the State of New York require an alteration in the position of the structure or work herein authorized, or if, in the opinion of the Department of Environmental Conservation it shall cause unreasonable obstruction to the free navigation of said waters or flood flows or endanger the health, safety or welfare of the people of the State, or cause loss or destruction of the natural resources of the State, the owner may be ordered by the Department to remove or alter the structural work, obstructions, or hazards caused thereby without expense to the State, and if, upon the expiration or revocation of this permit, the structure, fill, excavation, or other modification of the watercourse hereby authorized shall not be completed, the owners, shall, without

expense to the State, and to such extent and in such time and manner as the Department of Environmental Conservation may require, remove all or any portion of the uncompleted structure or fill and restore to its former condition the navigable and flood capacity of the watercourse. No claim shall be made against the State of New York on account of any such removal or alteration.

13. **State May Require Site Restoration** If upon the expiration or revocation of this permit, the project hereby authorized has not been completed, the applicant shall, without expense to the State, and to such extent and in such time and manner as the Department of Environmental Conservation may lawfully require, remove all or any portion of the uncompleted structure or fill and restore the site to its former condition. No claim shall be made against the State of New York on account of any such removal or alteration.

GENERAL CONDITIONS - Apply to ALL Authorized Permits:

1. **Facility Inspection by The Department** The permitted site or facility, including relevant records, is subject to inspection at reasonable hours and intervals by an authorized representative of the Department of Environmental Conservation (the Department) to determine whether the permittee is complying with this permit and the ECL. Such representative may order the work suspended pursuant to ECL 71-0301 and SAPA 401(3).

The permittee shall provide a person to accompany the Department's representative during an inspection to the permit area when requested by the Department.

A copy of this permit, including all referenced maps, drawings and special conditions, must be available for inspection by the Department at all times at the project site or facility. Failure to produce a copy of the permit upon request by a Department representative is a violation of this permit.

2. **Relationship of this Permit to Other Department Orders and Determinations** Unless expressly provided for by the Department, issuance of this permit does not modify, supersede or rescind any order or determination previously issued by the Department or any of the terms, conditions or requirements contained in such order or determination.

3. **Applications For Permit Renewals, Modifications or Transfers** The permittee must submit a separate written application to the Department for permit renewal, modification or transfer of this permit. Such application must include any forms or supplemental information the Department requires. Any renewal, modification or transfer granted by the Department must be in writing. Submission of applications for permit renewal, modification or transfer are to be submitted to:

Regional Permit Administrator
NYSDEC REGION 3 HEADQUARTERS
21 SOUTH PUTT CORNERS RD
NEW PALTZ, NY12561 -1620

4. **Submission of Renewal Application** The permittee must submit a renewal application at least 30 days before permit expiration for the following permit authorizations: Freshwater Wetlands.

5. Permit Modifications, Suspensions and Revocations by the Department The Department reserves the right to exercise all available authority to modify, suspend or revoke this permit. The grounds for modification, suspension or revocation include:

a. materially false or inaccurate statements in the permit application or supporting papers;

b. failure by the permittee to comply with any terms or conditions of the permit;

c. exceeding the scope of the project as described in the permit application;

d. newly discovered material information or a material change in environmental conditions, relevant technology or applicable law or regulations since the issuance of the existing permit;

e. noncompliance with previously issued permit conditions, orders of the commissioner, any provisions of the Environmental Conservation Law or regulations of the Department related to the permitted activity.

6. Permit Transfer Permits are transferrable unless specifically prohibited by statute, regulation or another permit condition. Applications for permit transfer should be submitted prior to actual transfer of ownership.

NOTIFICATION OF OTHER PERMITTEE OBLIGATIONS

Item A: Permittee Accepts Legal Responsibility and Agrees to Indemnification
The permittee, excepting state or federal agencies, expressly agrees to indemnify and hold harmless the Department of Environmental Conservation of the State of New York, its representatives, employees, and agents ("DEC") for all claims, suits, actions, and damages, to the extent attributable to the permittee's acts or omissions in connection with the permittee's undertaking of activities in connection with, or operation and maintenance of, the facility or facilities authorized by the permit whether in compliance or not in compliance with the terms and conditions of the permit. This indemnification does not extend to any claims, suits, actions, or damages to the extent attributable to DEC's own negligent or intentional acts or omissions, or to any claims, suits, or actions naming the DEC and arising under Article 78 of the New York Civil Practice Laws and Rules or any citizen suit or civil rights provision under federal or state laws.

Item B: Permittee's Contractors to Comply with Permit
The permittee is responsible for informing its independent contractors, employees, agents and assigns of their responsibility to comply with this permit, including all special conditions while acting as the permittee's agent with respect to the permitted activities, and such persons shall be subject to the same sanctions for violations of the Environmental Conservation Law as those prescribed for the permittee.

Item C: Permittee Responsible for Obtaining Other Required Permits
The permittee is responsible for obtaining any other permits, approvals, lands, easements and rights-of-way that may be required to carry out the activities that are authorized by this permit.

Item D: No Right to Trespass or Interfere with Riparian Rights

This permit does not convey to the permittee any right to trespass upon the lands or interfere with the riparian rights of others in order to perform the permitted work nor does it authorize the impairment of any rights, title, or interest in real or personal property held or vested in a person not a party to the permit.

Item E: **SEQR Unlisted Action, No Lead Agency, No Significant Impact** Under the State Environmental Quality Review Act (SEQR), the project associated with this permit is classified as an Unlisted Action and the Department of Environmental Conservation has determined that it will not have a significant effect on the environment. Other involved agencies may reach an independent determination of environmental significance for this project.

New York State Department of Environmental Conservation
Division of Environmental Permits, Region 3
21 South Putt Corners Road, New Paltz, New York 12561-1620
FAX: (845) 255-4659
Website: www.dec.ny.gov

IMPORTANT NOTICE TO ALL PERMITTEES

The permit you requested is enclosed. Please read it carefully and note the conditions that are included in it. The permit is valid for only that activity expressly authorized therein; work beyond the scope of the permit may be considered a violation of law and be subject to appropriate enforcement action. Granting of this permit does not relieve the permittee of the responsibility of obtaining any other permission, consent or approval from any other federal, state, or local government which may be required.

Please note the expiration date of the permit. Applications for permit renewal should be made well in advance of the expiration date (minimum of 30 days) and submitted to the Regional Permit Administrator at the above address. For SPDES, Solid Waste and Hazardous Waste Permits, renewals must be made at least 180 days prior to the expiration date.

☐ Applicable only if checked. Please note all work authorized under this permit is prohibited during trout spawning season commencing October 1 and ending April 30.

> The DEC permit number & program ID number noted on page 1 under "Permit Authorization" of the permit are important and should be retained for your records. These numbers should be referenced on all correspondence related to the permit, and on any future applications for permits associated with this facility/project area.

If a permit notice sign is enclosed, you must post it at the work site with appropriate weather protection, as well as a copy of the permit per General Condition 1.

If the permit is associated with a project that will entail construction of new water pollution control facilities or modifications to existing facilities, plan approval for the system design will be required from the appropriate Department's regional Division of Water or delegated local Health Department, as specified in the State Pollutant Discharge Elimination System (SPDES) permit.

If you have any questions on the extent of work authorized or your obligations under the permit, please contact the staff person indicated below or the Division of Environmental Permits at the above address.

Rebecca Crist
Division of Environmental Permits, Region 3
Telephone (845) 256-3014

☒ Applicable Only if Checked for **STORMWATER SPDES INFORMATION**: We have determined that your project qualifies for coverage under the General Stormwater SPDES Permit. You must now file a Notice of Intent to obtain coverage under the General Permit. This form can be downloaded at: http://www.dec.ny.gov/chemical/43133.html

☒ Applicable Only if Checked **MS4 Areas**: This site is within an MS4 area (Municipal Separate Storm Sewer System), therefore the SWPPP must be reviewed and accepted by the municipality. The MS-4 acceptance Form must be submitted in addition to the Notice of Intent. This form can be downloaded at the same site as the Notice of Intent.

Send the completed form(s) to: NYS DEC, Stormwater Permitting, Division of Water, 625 Broadway, Albany, New York 12233-3505

In addition, DEC requests that you provide one electronic copy of the approved SWPPP directly to Natalie Browne at NYS DEC, 100 Hillside Avenue - Suite 1W, White Plains, NY 10603-2860.

New York State
Department of Environmental Conservation

NOTICE

The Department of Environmental Conservation (DEC) has issued permit(s) pursuant to the Environmental Conservation Law for work being conducted at this site. For further information regarding the nature and extent of work approved and any Department conditions on it, contact the DEC at 845/256-3054. Please refer to the permit number shown when contacting the DEC.

Permittee: Dewn Holding Corp Permit No. 3-3720-00372/00001

Effective Date: 12-05-2013 Expiration date: 12-31-2017

☐ Applicable if checked. No instream work allowed between October 1 & April 30

NOTE: This notice is **NOT** a permit.

ALLEN BEALS, M.D., J.D.
Commissioner of Health

ROBERT MORRIS, P.E., MPH
Director of Environmental Health

MARYELLEN ODELL
County Executive

DEPARTMENT OF HEALTH

1 Geneva Road, Brewster, New York 10509
Phone # (845) 808-1390 Fax # (845) 278-7921

January 24, 2014

David Adler
Dewn Holding Company
19 Sunset Drive
Thornwood, NY 10594

This certificate is issued under the provisions of the Public Health Law in connection with the approval of plans on January 24, 2014 for the realty subdivision known as Dewn Subdivision/Eagle Hill.

The following data was furnished in connection with the submission of the plans:

Location: Mexico Lane, (T) Carmel

Acres (approx.) 30.1 No. of Lots 5 Size (approx.) 3-17 acres

Owner intends to build houses

Topography rolling, gentle and steep slopes

Depth to groundwater 4.5 feet When October 10, 2012

Soil sandy loom

Grading (cut or fill) septic (fill only) driveways, common drive, drainage basin

Drainage drainage basin, rain gardens for roof leade drains

Water Supply Individual Drilled Wells

Sewage treatment Individual subsurface sewage treatment systems

APPROVAL OF THIS SUBDIVISION IS GRANTED ON CONDITION (continued)

1. That the proposed facilities for water supply and sewage disposal are installed in conformity with said plans.

2. That no lot or remaining land (if applicable) shall be subdivided without plans for such resubdivision being submitted to and approved by the Putnam County Health Department.

3. That the developer shall furnish each purchaser of a lot on which water supply and/or sewage treatment facilities were installed with a reproduction of the approved plans and an accurate as-built plan depicting all installed sanitary facilities.

4. That the developer shall furnish each purchaser of a lot on which there was no water supply and/or sewage treatment facilities installed with a reproduction of the approved subdivision and/or construction permit plans and shall notify the purchaser of the necessity of installing such facilities in accordance with approved construction permit plans.

5. That the sanitary facilities on these lots shall be inspected for compliance with the approved plans at the time of construction by a P.E., R.A., or exempt L.L.S. and a certificate of construction compliance is to be submitted to the Putnam County Health Department for approval prior to occupancy.

6. That individual wells and sewage treatment systems shall no longer be constructed or used for household domestic purposes when public facilities become available. Connection to the public sewerage system is required within one year of the system(s) becoming available.

7. That plan approval is limited to 5 years and expires on January 24, 2019

8. That the approved plans must be filed with the Putnam County Clerk prior to offering lots for sale and within 90 days of the date of plan approval.

By: Robert Morris P.E.

Robert Morris, P.E.
Director of Environmental Health

RM:cml
cc: J. Karell, P.E.
File

OFFICE OF PARKS · RECREATION · HISTORIC PRESERVATION
NEW YORK STATE

New York State Office of Parks, Recreation and Historic Preservation

Division for Historic Preservation
P.O. Box 189, Waterford, New York 12188-0189
518-237-8643

Andrew M. Cuomo
Governor

Rose Harvey
Commissioner

October 23, 2013

John Karell
121 Cushman Rd.
Patterson, New York 12563

Re: DEC
Dewn Holding Corp (aka Eagle Hill)
Subdivision - 5 lots
178 Mexico Ln, N side
CARMEL, Putnam County
13PR04208

Dear Mr. Karell:

Thank you for requesting the comments of the Office of Parks, Recreation and Historic Preservation (OPRHP). We have reviewed the project in accordance with the New York State Historic Preservation Act of 1980 (Section 14.09 of the New York Parks, Recreation and Historic Preservation Law). These comments are those of the Division for Historic Preservation and relate only to Historic/Cultural resources. They do not include potential environmental impacts to New York State Parkland that may be involved in or near your project. Such impacts must be considered as part of the environmental review of the project pursuant to the State Environmental Quality Review Act (New York Environmental Conservation Law Article 8) and its implementing regulations (6 NYCRR Part 617).

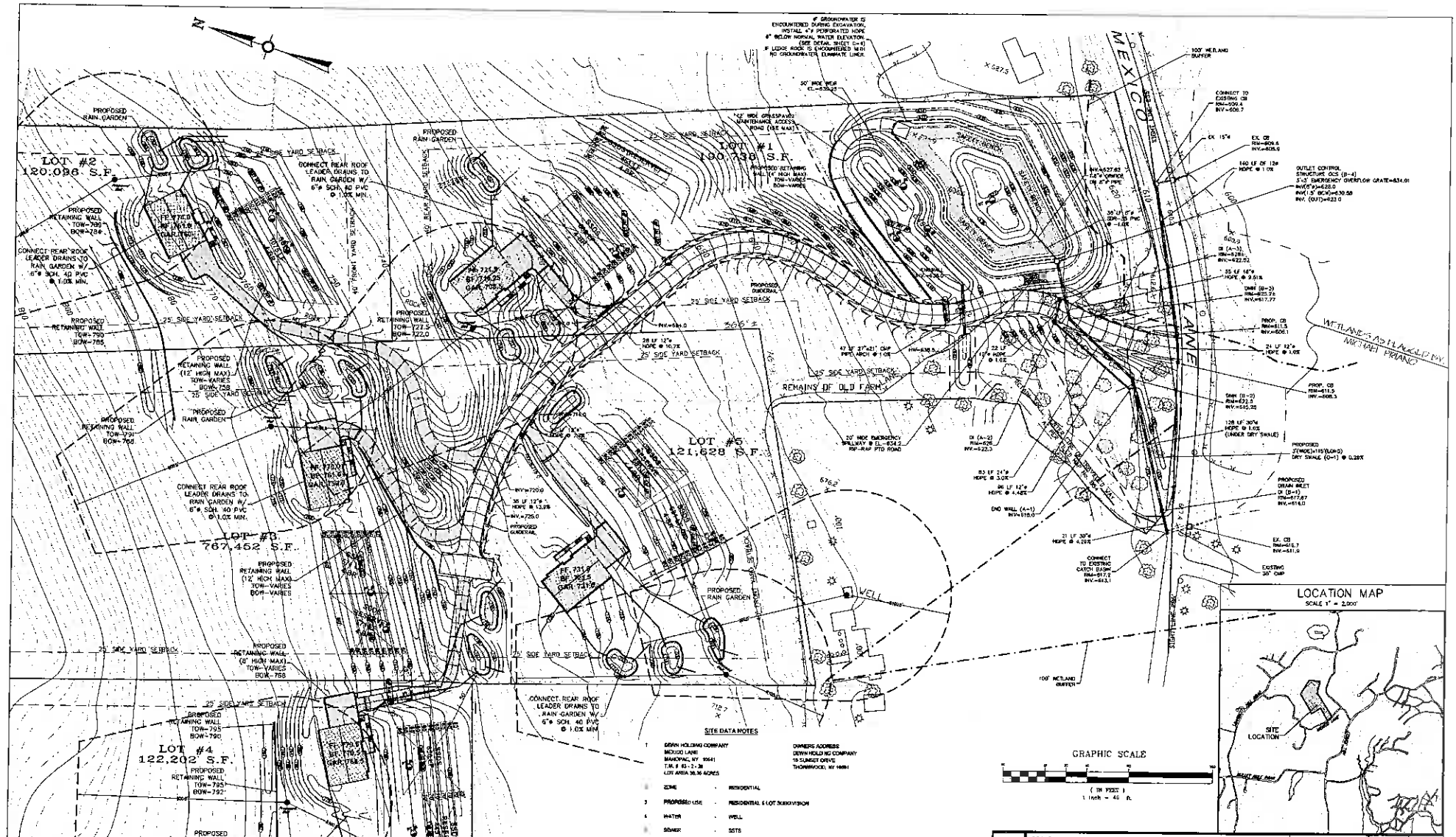
Based upon this review, it is the OPRHP's opinion that your project will have No Impact upon cultural resources in or eligible for inclusion in the State and National Register of Historic Places.

If further correspondence is required regarding this project, please be sure to refer to the OPRHP Project Review (PR) number noted above.

Sincerely,

Ruth L. Pierpont

Ruth L. Pierpont
Deputy Commissioner for Historic Preservation



SITE DATA NOTES

1. DEWN HOLDING COMPANY
   MEXICO LANE
   MAHOPAC, NY 10541
   T.M. # 83-2-2.38
   LOT AREA 36.36 ACRES

   OWNERS ADDRESS
   DEWN HOLDING COMPANY
   19 SUNSET DRIVE
   THORNWOOD, NY 10594

2. ZONE - RESIDENTIAL
3. PROPOSED USE - RESIDENTIAL 5 LOT SUBDIVISION
4. WATER - WELL
5. SEWER - SSTS
6. ZONING REQUIREMENTS

ITEM	REQUIRED	LOT 2 PROVIDED	LOT 1 PROVIDED	LOT 3 PROVIDED	LOT 4 PROVIDED	LOT 5 PROVIDED
AREA (MIN.)	120,000 SF	120,096 SF	120,094 SF	767,452 SF	122,202 SF	121,628 SF
ROAD FRONTAGE	100 FT.	420			-	
LOT WIDTH (MIN.)	200 FT.	200 FT.	212 FT.	312 FT.	202 FT	334 FT.
LOT DEPTH (MIN.)	250 FT.	218 FT.	566 FT.	1,171 FT.	607 FT	362 FT
FRONT (MIN.)	40 FT.	203 FT.	196 FT.	46 FT.	99 FT.	176 FT.
SIDE (MIN.)	25 FT.	25 FT. & 117 FT	54 FT. & 88 FT	86 FT. & 182 FT.	35 FT. & 104 FT.	116 FT. & 147 FT.
REAR (MIN.)	40 FT.	56 FT	336 FT.	1,636 FT.	663 FT.	135 FT.
HEIGHT (MAX.)	35 FT.	30 FT.	30 FT.	30 FT.	30 FT.	30 FT.

ANY ALTERATIONS OR REVISIONS OF THESE PLANS, UNLESS DONE BY OR UNDER THE DIRECTION OF THE NYS LICENSED AND REGISTERED ENGINEER THAT PREPARED THEM, IS A VIOLATION OF THE NYS EDUCATION LAW.

THIS PLAN NOT VALID FOR CONSTRUCTION WITHOUT ENGINEERS SEAL & SIGNATURE

PROJECT:

5-LOT SUBDIVISION
MEXICO LANE
TOWN OF CARMEL
PUTNAM COUNTY, NEW YORK

SITE LAYOUT PLAN

DEWN HOLDING CORP.
19 Sunset Drive
Thornwood, NY 10594

Rev	
	3/21/12
	1/23/12
	5/16/11
	6/25/10
	4/13/10

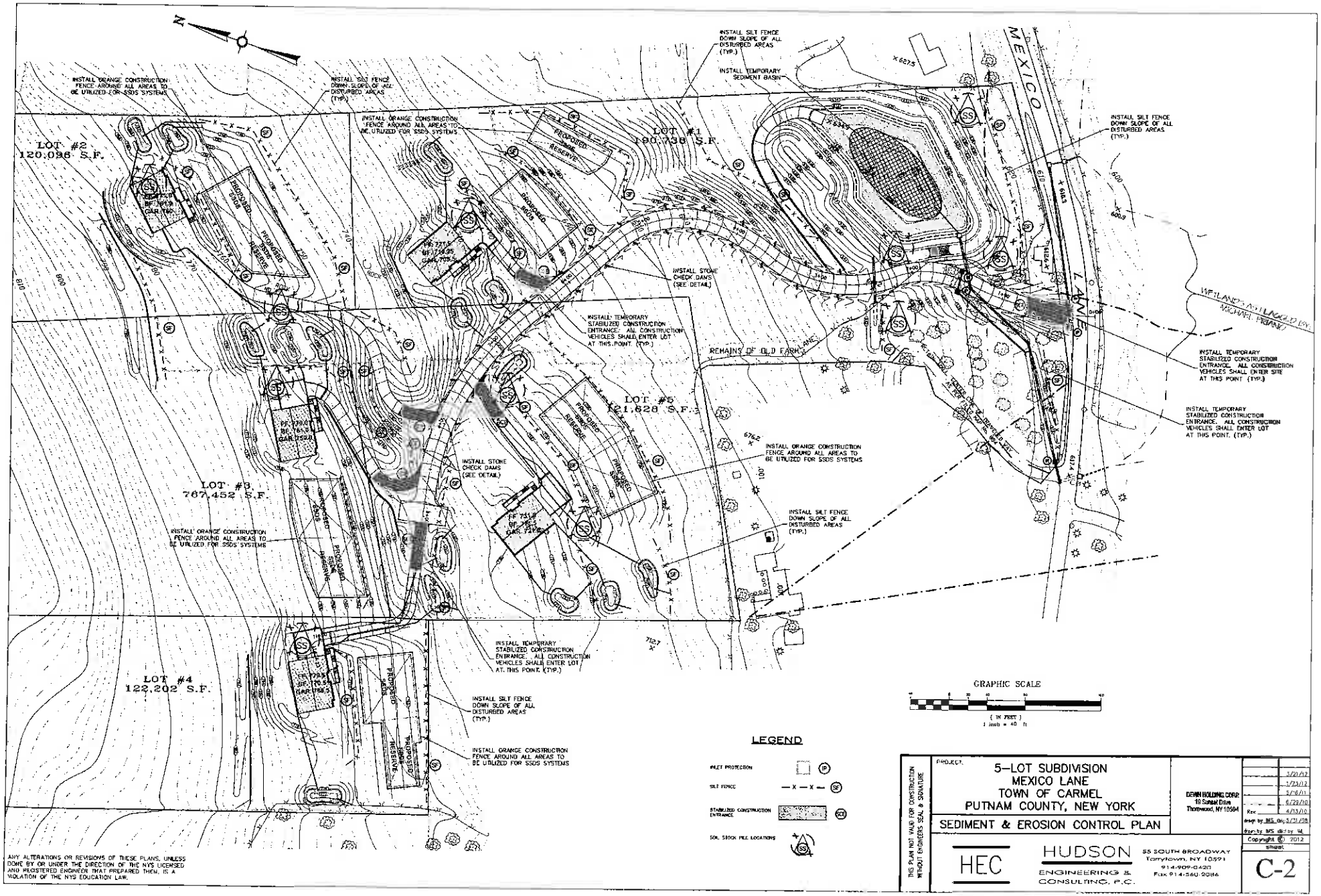
design by MS Dng 5/31/08
drawn by MS chk'd by WL

Copyright © 2012

sheet
C-1

HEC

HUDSON ENGINEERING & CONSULTING, P.C.
55 SOUTH BROADWAY
Tarrytown, NY 10591
914 909-0420
Fax 914-560-2086



ANY ALTERATIONS OR REVISIONS OF THESE PLANS, UNLESS DONE BY OR UNDER THE DIRECTION OF THE NYS LICENSED AND REGISTERED ENGINEER THAT PREPARED THEM, IS A VIOLATION OF THE NYS EDUCATION LAW.

THIS PLAN NOT VALID FOR CONSTRUCTION WITHOUT ENGINEERS SEAL & SIGNATURE

PROJECT:

5-LOT SUBDIVISION
MEXICO LANE
TOWN OF CARMEL
PUTNAM COUNTY, NEW YORK

SEDIMENT & EROSION CONTROL PLAN

DEWIN HOLDING CORP.
19 Sunset Drive
Thornwood, NY 10594

Rev	Date
	3/21/12
	1/23/12
	3/16/11
	6/29/10
	4/13/10

drwn by MS on 3/21/08
dsn by MS chk by WL

Copyright © 2012

SHEET

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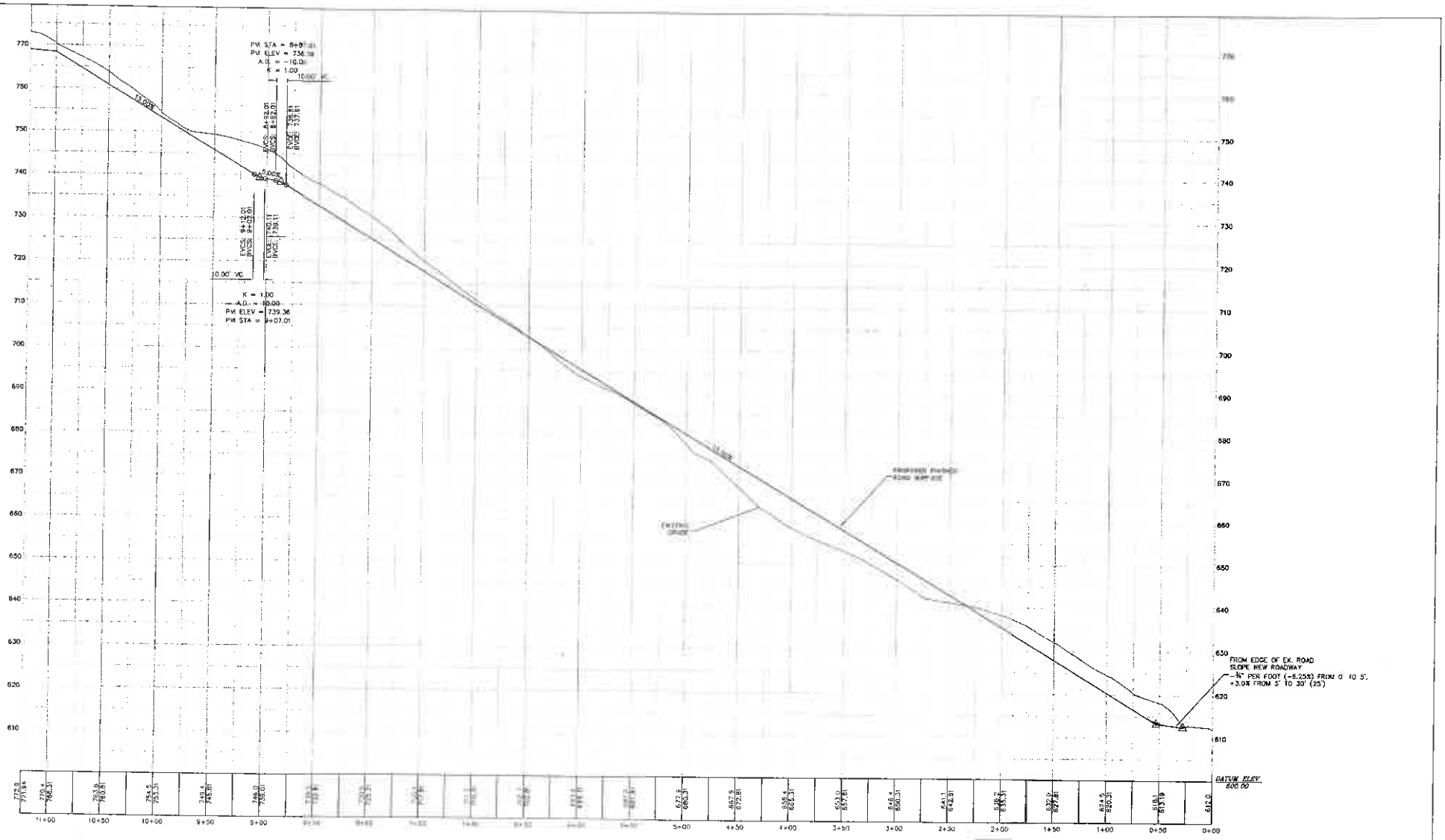
HUDSON ENGINEERING & CONSULTING, P.C.

55 SOUTH BROADWAY
Tarrytown, NY 10591
914-909-0420
Fax 914-560-2086



PROJECT:

5-LOT SUBDIVISION
MEXICO LANE
TOWN OF CARMEL
PUTNAM COUNTY, NEW YORK

ROAD PROFILE

HEC

HUDSON ENGINEERING & CONSULTING, P.C.

55 SOUTH BROADWAY
Tarrytown, NY 10591
914-909-0420
Fax 914-560-2086

1/23/12
2/13/13
Rev 4/13/10
drwn by MS 04/1/20/08
drwn by MS 08/1 for YA

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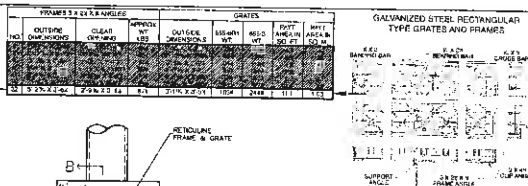
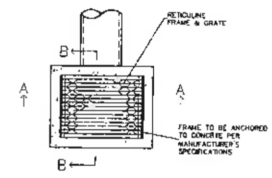
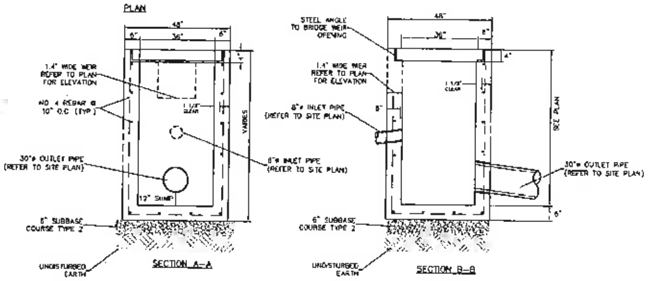
sheet

C-3

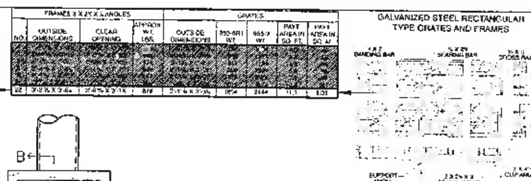


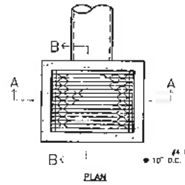


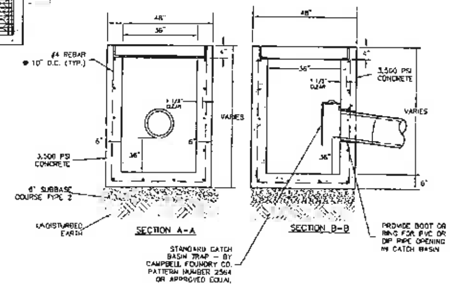
NOTES:
1. CONCRETE – 3,500 PSI MINIMUM STRENGTH @ 28 DAYS
2. STEEL REINFORCEMENT – ASTM A-615, # 4 REBAR, GRADE 60
3. COVER TO STEEL – 1½" MINIMUM
4. DESIGN LOADING – AASHTO HS20-44
5. EARTH COVER – 0 TO 5 FEET
6. CONSTRUCTION JOINT – LAPPED



OUTLET CONTROL STRUCTURE

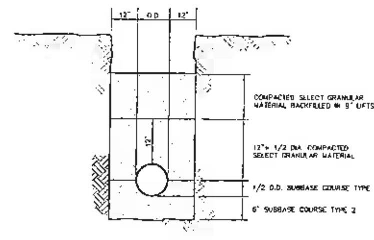






PRECAST DRAIN INLET

NOTES:
1. CONCRETE – 3,500 PSI MINIMUM STRENGTH @ 28 DAYS
2. STEEL REINFORCEMENT – ASTM A-615, # 4 REBAR, GRADE 60
3. COVER TO STEEL – 1 ½" MINIMUM
4. DESIGN LOADING – AASHTO HS20-44
5. EARTH COVER – 0 TO 5 FEET
6. CONSTRUCTION JOINT – LAPPED

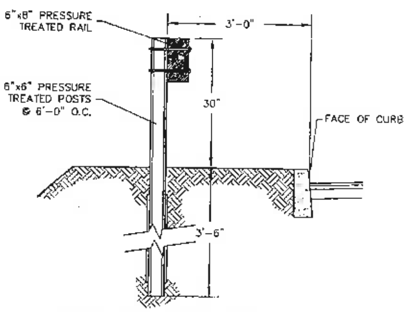


TRENCH BEDDING

STONES FOUND IN THE TRENCH SHALL BE REMOVED FOR A DEPTH OF AT LEAST SIX (6) INCHES BELOW AND ON EACH SIDE OF ALL PIPES.

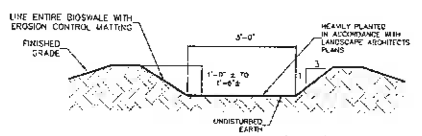
GENERAL NOTES:

1. The Engineer shall not be responsible for the supervision of the construction
2. No changes shall be made to these plans except as per NYS law chapter 957
3. All work and materials shall comply with all applicable codes, including but not limited to ACI, AISC, zoning, and the New York State Building Code.
4. All conditions, locations and dimensions shall be field verified and the Engineer shall be immediately notified of any discrepancies.
5. All changes made to the plans shall be approved by the Engineer and any such changes shall be filed as amendments to the original building permit
6. The Contractor shall supervise and direct the work using his best skill and attention. He shall be solely responsible for all construction means, Methods, techniques, sequences and procedures and for coordinating all portions of the work under the contract
7. The Contractor shall be responsible to the owner for the acts and omissions of his employees, subcontractors and their agents and employees, and other persons performing any of the work under a contact with the Contractor.
8. Safety during construction shall be the responsibility of the Contractor and shall conform to all Local, State and Federal Agencies in effect during the period of construction.
9. The Contractor and his subcontractors shall make application to receive all necessary permits to perform the work under contract. The Contractor and his subcontractors shall be licensed to do all work as required by the Local, County, and State agencies which may have jurisdiction over those trades, and shall present the owner with copies of all licenses and insurance certificates.
10. Final grading around the building area shall slope away from the structure.
11. All written dimensions on the drawings shall take precedence over any scaled dimensions
12. Adjoining public and private property shall be protected from damage during construction, remodeling and demolition work. Protection must be provided for footings, foundations, party walls, chimneys, skylights and roofs. Provisions shall be made to control water runoff and erosion during construction or demolition activities. The person making or causing an excavation to be made shall provide written notice to the owners of adjoining buildings advising them that the excavation is to be made and that the adjoining building should be protected. Said notification shall be delivered not less than 10 days prior to the scheduled starting date of the excavation.
13. Owner shall insure that the insurance provided by the Contractor hired to perform the work shall be endorsed to name Hudson Engineering & Consulting, P.C., and any directors, officers, employees, subsidiaries, and affiliates, as additional insured on all policies and Hold Harmless documents, and shall stipulate that this insurance is primary, and that any other insurance or self-insurance maintained by Hudson Engineering & Consulting, P.C., shall be excess only and shall not be called upon to contribute with this insurance. ISO Additional Insured Endorsement form number CG2010 1185 under GL. Copies of the insurance policies shall be submitted to and Hudson Engineering & Consulting, P.C., for approval prior to the signing of the Contract.
14. INDUSTRIAL CODE RULE 753: THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 72 HOURS PRIOR TO THE START OF HIS OPERATIONS AND SHALL COMPLY WITH ALL THE LATEST INDUSTRIAL CODE RULE 753 REGULATIONS.



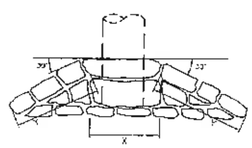
GUIDE RAIL–WOOD POST AND RAIL

NOTE: 1.) MATERIALS TO CONFORM TO NYSDOT SECTION 606
2.) GUIDE WOOD POST @ AT 6'-0" O.C.



DRY SWALE (O-1)

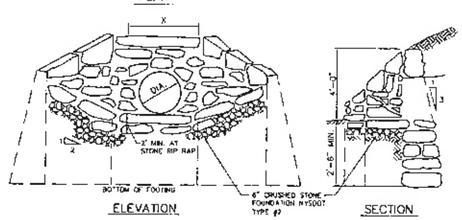
NOTE:
REFER TO LANDSCAPE ARCHITECTS PLAN FOR PLANTINGS



PLAN

TABLE FOR HEADWALL

PIPE SIZE	X	Y
15"	27"	3' - 5"
18"	30"	3' - 5"
21"	33"	3' - 6"
24"	36"	4' - 0"
30"	42"	4' - 7"
36"	48"	5' - 2"

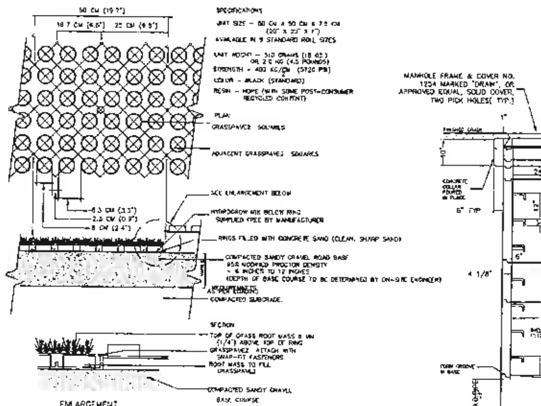


ELEVATION

SECTION

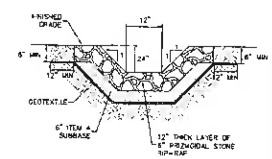
MASONRY STONE HEADWALL

NOTES
WALLS OF SELECTED REGULAR FIELD STONES AND USED CUT STONE ROUGH SHAPPED TO FIT
MORTAR STONES IN PLACE AND RAKE JOINTS – BACK 1/2"
2" PVC SCREENED WEEP PIPES TO BE PLACED AS DIRECTED BY THE ENGINEER

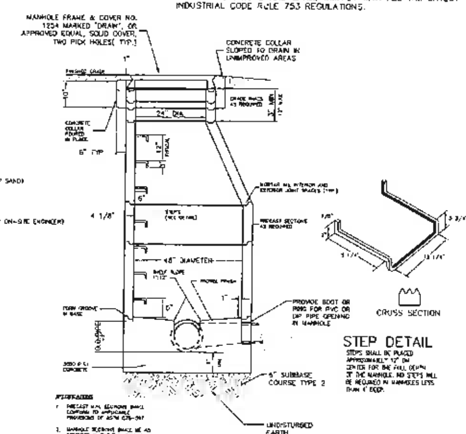


NOTE.
1.) GRASS/PLANT TYPES SHALL BE SPECIFIED BY A LANDSCAPE ARCHITECT OR LANDSCAPE DESIGNER.
2.) THE LIFE SPAN IS 60-YEARS

TYPICAL GRASSPAVE2

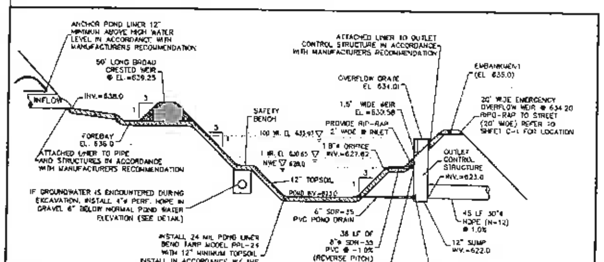


STONE LINED SWALE



STEP DETAIL
STEPS SHALL BE PLACED APPROXIMATELY 12" ON CENTER FOR THE FULL DEPTH OF THE MANHOLE. NO STEPS WILL BE REQUIRED IN MANHOLES LESS THAN 4' DEEP.

PRECAST CONCRETE DRAIN MANHOLE



NOTE.
1.) IF LEDGE ROCK IS ENCOUNTERED WITH NO GROUNDWATER ELIMINATE LINER.
2.) REFER TO SHEET C-6 FOR BASIN SEE MIX

MICRO-POOL EXTENDED DETENTION (P-1)

SCALE: NTS

ANY ALTERATIONS OR REVISIONS OF THESE PLANS, UNLESS DONE BY OR UNDER THE DIRECTION OF THE NYS LICENSED AND REGISTERED ENGINEER THAT PREPARED THEM, IS A VIOLATION OF THE NYS EDUCATION LAW

THIS PLAN NOT VALID FOR CONSTRUCTION WITHOUT ENGINEERS SEAL & SIGNATURE

PROJECT:
5-LOT SUBDIVISION
MEXICO LANE
TOWN OF CARMEL
PUTNAM COUNTY, NEW YORK

DETAILS

Rev: 3/21/12, 1/23/12, 5/16/11, 2/11/11, 6/29/10, 4/13/10
design by MS Dtg 1/20/08
drawn by MS chkd by WL
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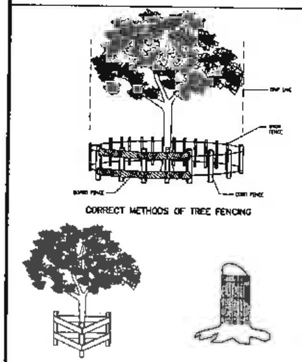
Tarrytown, NY 10591
914-909-0420
Fax 914-560-2086

sheet
C-4

FENCING AND ARMORING

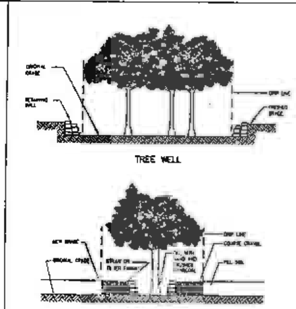


CORRECT METHODS OF TREE FENCING

TRIANGULAR BOARD FENCE

CORRECT TRUNK ARMORING

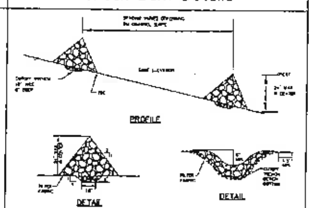
Tree Wells



TREE WELL

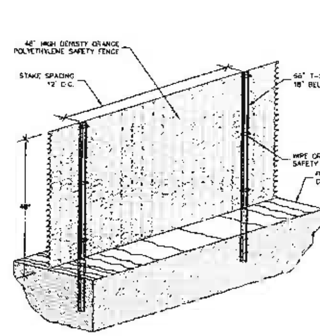
TREE WELL WITHOUT DRAIN TILES

Check Dam Details

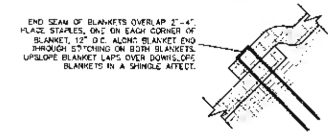


INSTALLATION NOTES

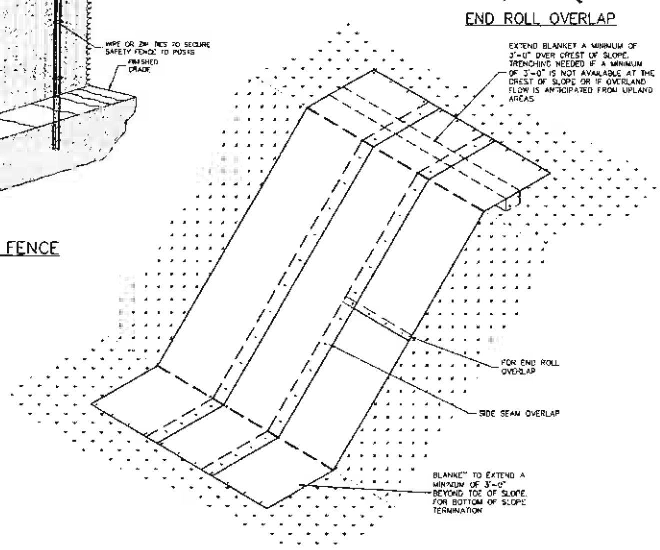
1. STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN ON THE PLAN, OR AS DIRECTED BY ENGINEER.
2. SET SPACING OF CHECK DAMS TO ASSURE THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
3. EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
4. PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
5. ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONES.



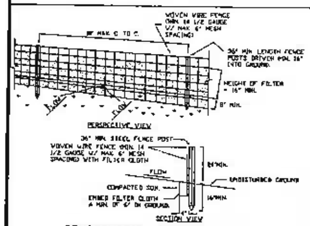
CONSTRUCTION FENCE



END ROLL OVERLAP



CURLEX SLOPE DETAIL

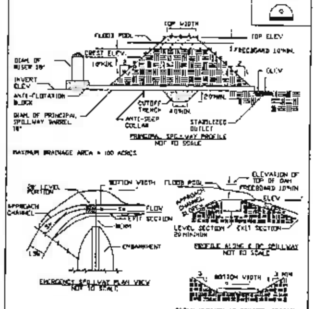


CONSTRUCTION SPECIFICATIONS

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

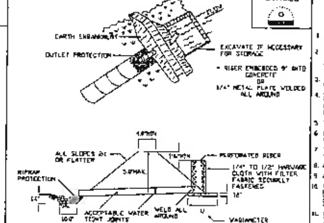
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE	SILT FENCE

SYMBOL



U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE	SEDIMENT BASIN DETAILS

SYMBOL



NOTE:
CONSTRUCTION SPECIFICATION SHOULD BE ATTACHED TO THIS DETAIL TO COMPLETE DESIGN

MAXIMUM DRAINAGE AREA 5 ACRES

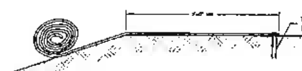
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE	PIPE OUTLET SEDIMENT TRAP ST-I

SYMBOL

CONSTRUCTION SPECIFICATIONS

1. AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED AND STRIPPED OF ANY VEGETATION AND ROOT MAT. THE POOL AREA SHALL BE CLEARED.
2. THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS OR OTHER WOODY VEGETATION AS WELL AS OVER SIZED STONES, ROCKS, ORGANIC MATERIAL, OR OTHER OBJECTIONABLE MATERIAL. THE EMBANKMENT SHALL BE COMPACTED BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
3. VOLUME OF SEDIMENT STORAGE SHALL BE 1800 CUBIC FEET PER ACRE OF CONTRIBUTORY DRAINAGE.
4. SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
5. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
6. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION ARE MINIMIZED.
7. THE STRUCTURE SHALL BE REMOVED AND AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
8. ALL FILL SLOPES SHALL BE 2:1 OR FLATTER; CUT SLOPES 1:1 OR FLATTER.
9. ALL PIPE CONNECTIONS SHALL BE WATERTIGHT.
10. THE TOP 2/3 OF THE RISER SHALL BE PERFORATED WITH ONE (1) INCH DIAMETER HOLES OR SLITS SPACED SIX (6) INCHES VERTICALLY AND HORIZONTALLY AND PLACED IN THE CONCAVE PORTION OF PIPE. NO HOLES WILL BE ALLOWED WITHIN SIX (6) INCHES OF THE HORIZONTAL BARREL.
11. THE RISER SHALL BE WRAPPED WITH 1/4 TO 1/2 INCH HARDWARE CLOTH WIRE THEN WRAPPED WITH FILTER CLOTH (HAVING AN EQUIVALENT SIEVE SIZE OF 40-80). THE FILTER CLOTH SHALL EXTEND SIX (6) INCHES ABOVE THE HIGHEST HOLE AND SIX (6) INCHES BELOW THE LOWEST HOLE. WHERE ENDS OF THE FILTER CLOTH COME TOGETHER, THEY SHALL BE OVER-LAPPED, FOLDED AND STAPLED TO PREVENT BYPASS.
12. STRAPS OR CONNECTING BANDS SHALL BE USED TO HOLD THE FILTER CLOTH AND WIRE FABRIC IN PLACE. THEY SHALL BE PLACED AT THE TOP AND BOTTOM OF THE CLOTH.
13. FILL MATERIAL AROUND THE PIPE SPILLWAY SHALL BE HAND COMPACTED IN FOUR (4) INCH LAYERS. A MINIMUM OF TWO (2) FEET OF HAND COMPACTED BACKFILL SHALL BE PLACED OVER THE PIPE SPILLWAY BEFORE CROSSING IT WITH CONSTRUCTION EQUIPMENT.
14. THE RISER SHALL BE ANCHORED WITH EITHER A CONCRETE BASE OR STEEL PLATE BASE TO PREVENT FLOTATION. FOR CONCRETE BASES THE DEPTH SHALL BE TWELVE (12) INCHES WITH THE RISER EMBEDDED NINE (9) INCHES. A 1/4 INCH MINIMUM THICKNESS STEEL PLATE SHALL BE ATTACHED TO THE RISER BY A CONTINUOUS WELD AROUND THE BOTTOM TO FORM A WATERTIGHT CONNECTION AND THEN PLACE TWO (2) FEET OF STONE, GRAVEL, OR TAMPED EARTH ON THE PLATE.

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE	PIPE OUTLET SEDIMENT TRAP ST-I



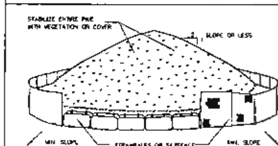
SLOPE CREST ANCHOR METHOD "A" (NO TRENCH)

DO NOT NEED TO TRENCH BLANKET IN IF IT CAN BE EXTENDED A MINIMUM OF 3'-0" OVER THE CREST OF THE SLOPE

1. STAPLE PATTERNS ARE DEPENDENT ON SITE CONDITIONS. SEE CURLEX® NETFREE™ STAPLE PATTERN GUIDE FOR DETAILS.
2. E-STAPLE® MAY BE USED IN PLACE OF WIRE STAPLES.

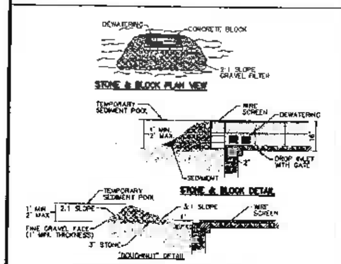
ANY ALTERATIONS OR REVISIONS OF THESE PLANS, UNLESS DONE BY OR UNDER THE DIRECTION OF THE NYS LICENSED AND REGISTERED ENGINEER THAT PREPARED THEM, IS A VIOLATION OF THE NYS EDUCATION LAW.

Soil Stockpiling



INSTALLATION NOTES:
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. SOILS OR FILL TO BE STOCKPILED ON SITE DURING CUTTING AND FILLING ACTIVITIES SHOULD BE LOCATED ON LEVEL PORTIONS OF THE SITE WITH A MINIMUM OF 50-75 FOOT SETBACKS FROM TEMPORARY DRAINAGE SWALES.
3. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
4. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
5. STOCKPILES REMAINING IN PLACE FOR MORE THAN A WEEK SHOULD BE SEEDED WITH ANNUAL RYE GRASS AND MULCHED OR COVERED WITH GEOTEXTILE FABRIC SURROUNDED BY SILT FENCE.
6. SEE SPECIFICATIONS (THIS MANUAL) FOR INSTALLATION OF SILT FENCE.

Stone & Block Drop Inlet Protection

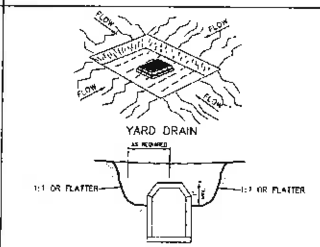


CONSTRUCTION SPECIFICATION

1. LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
2. HARDWARECLOTH OF 1/2" WIRE MESH SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONE.
3. USE CLEAN STONE OR GRAVEL 1/2-3/4 INCH IN DIAMETER PLACED 2 INCHES BELOW TOP OF BLOCK ON A 2:1 SLOPE OR FLATTER.
4. FOR STONE STRUCTURES ONLY, A 1 FOOT THICK LAYER OF THE FILTER STONE WILL BE PLACED AGAINST THE 3 INCH STONE AS SHOWN ON THE DRAWINGS.

MAXIMUM DRAINAGE AREA 1 ACRE.

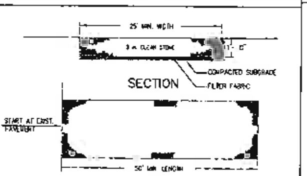
Catch Basin Sediment Trap (ST-III)



CROSS SECTION

CONSTRUCTION SPECIFICATIONS:
1. SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND STABILIZED.
2. THE VOLUME OF SEDIMENT STORAGE SHALL BE 3600 CUBIC FEET PER ACRE OF CONTRIBUTORY DRAINAGE.
3. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
4. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND SEDIMENT ARE CONTROLLED.
5. THE SEDIMENT TRAP SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE CONSTRUCTED DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
6. ALL CUT SLOPES SHALL BE 1:1 OR FLATTER. MAXIMUM DRAINAGE AREA = 3-ACRES.

Stabilized Construction Entrance

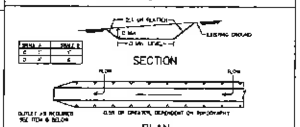


PLAN

INSTALLATION NOTES

INSTALLATION NOTES:
1. STONE SIZE – USE 3" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH – AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS – NOT LESS THAN SIX (6) INCHES.
4. WIDTH – 25 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
5. FILTER CLOTH – WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
6. SURFACE WATER – ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE – THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
8. WASHING – WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

Temporary Swale



PLAN

INSTALLATION NOTES

1. ALL TEMPORARY SWALES SHALL HAVE UNINTERRUPTED POSITIVE GRADE TO AN OUTLET.
2. DIVERTED RUNOFF FROM A DISTURBED AREA SHALL BE CONVEYED TO A SEDIMENT TRAPPING DEVICE.
3. DIVERTED RUNOFF FROM AN UNDISTURBED AREA SHALL OUTLET DIRECTLY INTO AN UNDISTURBED STABILIZED AREA AT NON-EROSIVE VELOCITY.
4. ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE SWALE.
5. THE SWALE SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH WILL IMPEDE NORMAL FLOW.
6. FILLS SHALL BE COMPACTED BY EARTH MOVING EQUIPMENT.
7. ALL EARTH REMOVED AND NOT NEEDED FOR CONSTRUCTION SHALL BE PLACED SO AS NOT TO INTERFERE WITH THE FUNCTIONING OF THE SWALE.
8. INSPECTION AND MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.
9. STABILIZATION SHALL BE AS PER THE CHART BELOW.

FLOW CHANNEL STABILIZATION			
TYPE OF TREATMENT	CHANNEL GRADE	A (5 AC OR LESS)	B (5 AC - 10 AC)
1	0.5 - 3.0%	SEED AND STRAW MULCH	SEED AND STRAW MULCH
2	3.1 - 5.0%	SEED AND STRAW MULCH	SEED AND JUTE MESH OR EXD
3	5.1 - 8.0%	SEED AND JUTE MESH OR EXD	LINED - RIPRAP 4-8"
4	8.1 - 20%	LINED - RIPRAP 4-8"	ENGINEERED DESIGN

THIS PLAN NOT VALID FOR CONSTRUCTION WITHOUT ENGINEERS SEAL & SIGNATURE

PROJECT:
5-LOT SUBDIVISION
MEXICO LANE
TOWN OF CARMEL
PUTNAM COUNTY, NEW YORK

DETAILS

	1/23/12
	2/11/11
Rev.	4/13/10
design by: MS	Date: 1/20/09
drawn by: MS	chkd by: ML
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sheet	C-5

HEC
HUDSON ENGINEERING & CONSULTING, P.C.
55 SOUTH BROADWAY
Tarrytown, NY 10591
914-909-0420
Fax 914-560-2086

CONSTRUCTION PHASE

During the construction phase of the project, a sediment and erosion control plan shall be implemented in accordance with the New York State Department of Environmental Conservation's Best Management Practices (BMP). The primary goals of the sediment and erosion control plan are to prevent the tracking of dirt and mud onto adjacent roads, to prevent mud and silt from entering into existing and proposed drainage facilities, and to protect the receiving waters from contamination during the construction.

<u>During construction, the party responsible for implementing the temporary (during construction) Stormwater Management facilities Maintenance Program will be Dewit Holding Company, 19 Sunset Drive, Thornwood, NY 10594, (914) 741-0954. The name and contact information will be filed with the Town of Carmel, NYCDEP and the NYSDEC at the time of the preconstruction meeting.</u>

A New York State Professional Engineer or Certified Professional in Erosion and Sediment Control (P.E. or CPESC) shall conduct an assessment of the site prior to the commencement of construction and certify in an inspection report that the appropriate erosion and sediment controls shown on the plan have been adequately installed and/or implemented to ensure overall preparedness of the site for construction. Following the commencement of construction, site inspections shall be conducted by the P.E. or CPESC at least every 7 calendar days and within 24 hours of the end of a storm event of 0.5 inches or greater.

During each inspection, the representative shall record the following:

1. On a site map, indicate the extent of all disturbed site areas and drainage pathways. Indicate site areas that are expected to undergo initial disturbance or significant site work within the next 14-day period;
2. Indicate on a site map all areas of the site that have undergone temporary or permanent stabilization;
3. Indicate all disturbed site areas that have not undergone active site work during the previous 14-day period;
4. Inspect all sediment control practices and record approximate degree of sediment accumulation as a percentage of the sediment storage volume;
5. Inspect all erosion and sediment control practices and record all maintenance requirements. Identify any evidence of rill or gully erosion occurring on slopes and any loss of stabilizing vegetation or seeding/mulching. Document any excessive deposition of sediment or ponding water along the barrier. Record the depth of sediment within containment structures and any erosion near outlet and overflow structures.
6. All identified deficiencies.

The P.E. or CPESC shall maintain a record of all inspection reports in a site logbook. The site logbook shall be maintained on-site and be made available to the Town of Carmel, NYCDEP and the NYSDEC. A summary of the site inspection activities shall be posted on a monthly basis in a publicly accessible location at the site.

The projects anticipated start date is March 2012 and the anticipated completion date is estimated to occur in late 2013

BOTANICAL NAME	COMMON NAME	INUNDATION TOLERANCE
	TREES & SHRUBS	
LINDERA BENZOIN	COMMON SPICE BUSH	YES
SAMBUCUS CANADENSIS	ELDERBERRY	YES
PYRUS ARBUTIFOLIA	RED CHOKE BERRY	YES
AMELANCHIER CANADENSIS	SHADBUSH, SERVICEBERRY	YES
CORNUS AMOMUM	SILKY DOGWOOD	YES
ALNUS RUGOSA	SPECKLED ALDER	YES
ROSA PALUSTRIC	SWAMP ROSE	IRREGULAR, SEASONAL, OR REGULARLY SATURATED
ILEX VERTICILLATA	WINTERBERRY	YES
	HERBACEOUS PLANTS	
PELTANDRA VIRGINICA	ARROW ARUM	UP TO 1'
SAGITTARIA LATIFOLIA	ARROWHEAD, DUCK POTATO	UP TO 1'
ANDROPOGON GERARDI	BIG BLUESTEM	IRREGULAR OR SEASONAL INUNDATION
ANDROPOGON GLOMERATUS	BUSHY BEARDGRASS	UP TO 1'
LOBELIA CARDINALIS	CARDINAL FLOWER	SOME TOLERATES SATURATION UP TO 100% OF SEASON
TYPHA SP	CATTAIL	UP TO 1'
GLYCERIA STRIATA	FOWL MANNAGRASS	IRREGULAR OR SEASONAL INUDATION
SPARGANIUM EURYCARPUM	GIANT BURREED	REGULAR TO PERMANENTLY INUDATED UP TO 1'
HIBISCUS MOSCHEUTOS	MARSH HIBISCUS	UP TO 3'
PONTEDERIA CORDATA	PICKERELWEED	UP TO 1'
AGROSTIS ALBA	REDTOP	UP TO 25% OF THE SEASON
LEERSIA ORYZOIDES	RICE CUTGRASS	UP TO 3'
CAREX SPP	SEDGES	UP TO 3'
DESCHAMPSIA CAESPITOSA	TUFTED HAIRGRASS	REGULAR TO IRREGULAR INUNDATION
SCIRPUS VALIDUS	SOFT-STEM BULRUSH	UP TO 1'
POLYGONUM SPP.	SMARTWEED	UP TO 1'
JUNCUS EFFUSUS	SOFT RUSH	UP TO 2'
PANICUM VIRGATUM	SWITCH GRASS	UP TO 3'
ACORUS CALAMUS	SWEET FLAG	UP TO 3'
SCIRPUS CYPERINUS	WOOL GRASS	IRREGULARLY TO SEASONALLY INUNDATED
	ERNST CONSERVATION SEED ERNST 128	SEASONALLY FLOODED

OVERALL CONSTRUCTION SEQUENCING

The following erosion control schedule shall be utilized (REFER TO SHEETS C-8, C-9 & C-10 FOR BREAKDOWN OF AREAS):

1. The construction manager shall notify the design engineer at least two (2) weeks prior to commencing site construction to schedule a pre-construction meeting with representatives from the NYSDEC, NYCDEP and the Town. The site construction may not occur prior to the preconstruction meeting.
2. Install a stabilized construction entrance at the access point(s) to the site. See plan Sheet C-2 and C-5.
3. Install orange construction fencing around all proposed SSDS field locations. See plan Sheet C-2 and C-5.
4. Selective vegetation removal for silt fence installation. See plan Sheet C-2
5. Install silt fence down slope of all areas to be disturbed. See plan Sheet C-2 and C-5.
6. Remove trees where necessary (clear & grub) for the construction of the pond. Grade stormwater pond (do not install liner), install all proposed drainage improvements from the pond to the offsite discharge point including pond outlet control structure (Contractor shall plug inlets to outlet control structure) and install temporary pipe outlet for sediment trap (Approximately 1.5-acres of disturbance). See plan Sheet C-1, C-2, C-4 and C-5. Install perforated piping around pond if ground water is encountered. See plan Sheet C-1 and C-4. No further site disturbance shall occur until the stormwater pond and sediment trap are stabilized in accordance with the NYSDEC guidelines (establishment of a three inch grass stand).
7. Install 47 linear foot 27" x 21" drain culvert.
8. Remove trees where necessary (clear & grub) for the construction of the road
9. Strip topsoil and stockpile at the locations specified on the plans (up gradient of erosion control measures). Temporarily stabilize topsoil stockpiles (hydroseed and install silt fence around toe of slope). See plan Sheet C-2 and C-5.
10. Rough grade roadway, stone lined swales and pond maintenance road. Install sub-base and binder course for new roadway (Approximately 1.3-acres of disturbance). See plan Sheet C-1 and C-4. De-compact and aerate all common disturbed areas of the site utilizing equipment and practices outlined in the NYSDEC publication entitled, "NYSDEC-Division of Water - Deep Ripping and Decompaction". No further site disturbance shall occur until all disturbed areas associated with the construction of the road are stabilized in accordance with the NYSDEC guidelines (establishment of a three inch grass stand).
11. Perform rough grading of the driveways serving lot # 2 and lot # 3 where common grading is required (Approximately 0.8-acres of disturbance). Contractor shall install subbase & binder course or stabilize with vegetation at his discretion.
12. Fine grade and seed the common areas of the project site (excluding grading and work necessary for individual lots) and install landscape plantings.
13. Clean stone lined swales and 27" x 21" drain culvert of accumulated silt and debris. Clean stormwater pond of accumulated silt and debris.
14. When all disturbed areas have been stabilized in accordance with NYSDEC regulations, install pond liner (if required), install 12-inches of topsoil and landscape/plant pond. Remove plug(s) from outlet control structure and remove temporary pipe outlet for sediment trap.
15. Remove all temporary soil erosion and sediment control measures.
16. Individual lot construction may commence at this point. Refer to the following section entitled, "Typical Construction Sequencing for Individual Lots".
17. Install asphalt pavement top course for the roadway.

* Soil erosion and sediment control maintenance must occur every two weeks and prior to and after every ½" or greater rainfall event.

TYPICAL CONSTRUCTION SEQUENCING FOR INDIVIDUAL LOTS

The following erosion control schedule shall be utilized for the development of each individual lot. The lots may be constructed in any order, however, **the total area of disturbance shall not exceed 5-acres at any given time**

1. Install sedimentation and erosion control for the lot.
2. Install a stabilized construction entrance at the access point(s) to the lot.
3. Selective vegetation removal for silt fence installation. See plan Sheet C-2
4. Remove trees where necessary (clear & grub) for the construction of the residence and driveway
5. Strip topsoil and stockpile at the locations specified on the plans (up gradient of erosion control measures). Temporarily stabilize topsoil stockpiles (hydroseed and install silt fence around toe of slope). See plan Sheet C-2 and C-5
6. Rough grade lot
7. Construct individual residence and SSDS for the lot.
8. Construct rain gardens and pipe conveyances.
9. Construct driveway for each lot
10. De-compact and aerate all disturbed areas of the lot utilizing equipment and practices outlined in the NYSDEC publication entitled, "NYSDEC-Division of Water - Deep Ripping and Decompaction"
11. Fine grade and seed the lot and install landscape plantings including rain garden plantings.
12. Remove all temporary soil erosion and sediment control measures after a three inch grass stand is achieved and all landscape planting areas are stabilized.

* Soil erosion and sediment control maintenance must occur every two weeks and prior to and after every ½" or greater rainfall event.

EROSION AND SEDIMENT CONTROL COMPONENTS

The primary aim of the soil and sediment control measures is to reduce soil erosion from areas stripped of vegetation during and after construction and to prevent silt from reaching the off-site drainage structures and downstream properties. As outlined in the Construction Sequencing schedule, the Sediment and Erosion Control Components are an integral component of the construction sequencing and will be implemented to control sedimentation and re-establish vegetation.

Planned erosion and sedimentation control practices during construction include the installation, inspection and maintenance of the inlet protection, soil stockpile areas, diversion swales, hay bales and silt fencing. General land grading practices, including land stabilization and construction sequencing are also integrated into the Sediment and Erosion Control Plan. Dust control is not expected to be a problem due to the relatively limited area of exposure, the undisturbed perimeter of trees around the project area and the relatively short time of exposure. Should excessive dust be generated, it will be controlled by sprinkling.

All proposed soil erosion and sediment control practices have been designed in accordance with the following publications:

- New York State standards and Specifications for Urban Erosion and Sediment Control, August 2005.
- New York State General Permit for Stormwater Discharges, GP-0-10-001 (General permit).
- "Reducing the Impacts of Stormwater Runoff from New Development", as published by the New York State Department of Environmental Conservation (NYSDEC), second edition, April, 1993.

The proposed soil erosion and sediment control devices include the planned erosion control practices outlined below. Maintenance procedures for each erosion control practice have also been outlined below.

- **SILT FENCE**

  Silt fence (geo-textile filter cloth) shall be placed in locations depicted on the approved plans. The purpose of the silt fence is to reduce the velocity of sediment laden stormwater from small drainage areas and to intercept the transported sediment load. In general, silt fence shall be used at the toe of slopes or intermediately within slopes where obvious channel concentration of stormwater is not present.

  <u>Maintenance</u>

  Silt fencing shall be inspected at a minimum of once per week and prior to and within 24 hours following a rain event ½" or greater. Inspections shall include ensuring that the fence material is tightly secured to the woven wire and the wire is secured to the wood posts. In addition, overlapping filter fabric shall be secured and the fabric shall be maintained a minimum of six (6) inches below grade. In the event that any "bulges" develop in the fence, that section of fence shall be replaced within 24 hours with new fence section. Any sediment build-up against the fence shall be removed within 24 hours and deposited on-site a minimum of 100 feet outside of any wetland or watercourse.

  The installation of silt fencing will be maintained or replaced until the fencing is no longer necessary. Once the site is stabilized, all silt fences shall be removed. The immediate area occupied by the silt fence will be shaped to an acceptable grade and stabilized.

- **INLET PROTECTION**

  After catch basins and surface inlets have been installed, these drain inlets will receive stormwater from the roadways, driveways, and surrounding overland watersheds. In order to protect the receiving waters from sedimentation, the contractor shall install stone and block inlet protection as shown on the plans. Once installed, straw hay bales and ¾ inch stone aggregate shall be installed around the perimeter of all catch basins and surface inlets as illustrated on the approved plans. This barrier will allow stormwater to be filtered prior to reaching the basin inlet grate. The stone barrier should have a minimum height of 1 foot and a maximum height of 2 feet. Do not use mortar. The height should be limited to prevent excess ponding and bypass flow. Recess the first course of blocks at least 2 inches below the crest opening of the storm drain for lateral support. Subsequent courses can be supported laterally if needed by placing a 2x4 inch wood stud through the block openings perpendicular to the course. The bottom row should have a few blocks oriented so flow can drain through the block to dewater the basin area. The stone should be placed just below the top of the blocks on slopes of 2:1 or flatter. Place hardware cloth of wire mesh with ½ inch openings over all block openings to hold stone in place.

  As an optional design, the concrete blocks may be omitted and the entire structure constructed of stone, ringing the outlet ("doughnut"). The stone should be kept at a 3:1 slope toward the inlet to keep it from being washed into the inlet.

  A level area 1 foot wide and four inches below the crest will further prevent wash. Stone on the slope toward the inlet should be at least 3 inches in size for stability and 1 inch or smaller away from the inlet to control flow rate. The elevation of the top of the stone crest must be maintained 6 inches lower than the ground elevation down slope from the inlet to ensure that all storm flows pass over the stone into the storm drain and not past the structure.

  The barrier should be inspected after each rain event and repairs made within 24 hours. Remove sediment as necessary to provide for accurate storage volume for subsequent rains. Upon stabilization of contributing drainage area, remove all materials and any unstable soil and dispose of properly. Bring the disturbed area to proper grade, smooth, compact and stabilized in a manner appropriate to the site.

  <u>Maintenance</u>

  Hay bales. The hay bales and stone aggregate shall be inspected weekly prior to and within 24 hours following a rain event ½" or greater. Care shall be taken to ensure that all hay bales and stone aggregate are properly located and secure and do not become displaced. The hay bales and stone aggregate shall be inspected for accumulated sediments and any accumulated sediment shall be removed from the device and deposited not less than 100 feet from wetland or watercourse.

- **TREE PROTECTION**

  All significant trees to be preserved located within the limits of disturbance and on the perimeter of the disturbance limits shall be protected from harm by erecting a 3' high (minimum) snow fence completely surrounding the tree. Snow fence should extend to the drip-line of the tree to be preserved. Trees designated to be protected shall be identified during the staking of the limits of disturbance for each construction phase.

  <u>Maintenance</u>

  The snow fence shall be inspected daily to ensure that the perimeter of the fence remains at the drip-line of the tree to be preserved. Any damaged portions of the fence shall be repaired or replaced within 24 hours. Care shall also be taken to ensure that no construction equipment is driven or parked within the drip-line of the tree to be preserved.

- **SOIL/SHOT ROCK STOCKPILING**

  All soil and shot rock stripped from the construction area during grubbing and mass grading shall be stockpiled in locations shown on the plans, but in no case shall they be placed within 100' of a wetland or watercourse. The stockpiled soils shall be re-used during finish-grading to provide a suitable growing medium for plant establishment. Soil stockpiles shall be protected from erosion by vegetating the stockpile with rapidly -germinating grass seed (during the May 1st - October 30th) planting season or covering the stockpile with tarpaulin the remainder of the year. Install silt fence around toe of slope.

  <u>Maintenance</u>

  Sediment controls (silt fence/ hay bales) surrounding the stockpiles shall be inspected according to the recommended maintenance outline above. *All stockpiles shall be inspected for signs of erosion or problems with seed establishment weekly or tarpaulin and prior to and within 24 hours following a rain event ½" or greater.*

- **GENERAL LAND GRADING**

  The intent of the Erosion & Sediment Control Plan is to control disturbed areas such that soils are protected from erosion by temporary methods and, ultimately, by permanent vegetation. Where practicable, all cut and fill slopes shall be kept to a maximum slope of 2:1. In the event that a slope must exceed a 2:1 slope, it will be stabilized with stone riprap. On fill slopes, all material will be placed in layers not to exceed 12 inches in depth and adequately compacted. Diversion swales shall be constructed on the top of all fill embankments to divert any overland flows away from the fill slopes.

- **SURFACE STABILIZATION**

  All disturbed areas will be protected from erosion with the use of vegetative measures (i.e., grass seed mix, sod) hydromulch netting or hay. When activities temporarily cease during construction, soil stockpiles and exposed soil should be stabilized by seed, mulch or other appropriate measures within 7 days after construction activity has ceased, or 24 hours prior to a rain event ½" or greater.

  All seeded areas will be re-seeded areas as necessary and mulched according to the site plan to maintain a vigorous, dense vegetative cover.

  Erosion control barriers consisting of hay bales or silt fencing shall be placed around exposed areas during construction. Where exposed areas are immediately uphill from a wetland or watercourse, the erosion control barrier will consist of staked hay bales combined with silt fence or double rows of silt fencing. Any areas stripped of vegetation during construction will be vegetated and/or mulch, but in no case more than 14 days to prevent erosion of the exposed soils. And topsoil removed during construction will be temporarily stockpiled for future use in grading and landscaping.

  As mentioned above, temporary vegetation will be established to protect exposed soil areas during construction. If growing conditions are not suitable for the temporary vegetation, mulch will be used to the satisfaction of the Town Engineer. Materials that may be used for mulching include straw, hay, salt hay, wood fiber, synthetic soil stabilizers, mulch netting, sod or hydromulch. In site areas where significant erosion potential exists (steep slopes) and where specifically directed by the Town's representative, Curlex Excelsior erosion control blankets (manufactured by American Excelsior, or approved equal) shall be installed. A permanent vegetative cover will be established upon completion of construction of those areas that have been brought to finish-grade and to remain undisturbed.

- **Temporary Stabilization (May 1st through October 31st planting season)**

  The following seeding application should be used depending on the time of year.
  - Spring/summer or early fall, seed the area with ryegrass (annual or perennial) at 30 lbs. per acre (Approximately 0.7 lb/1000 sq. ft. or use 1 lb/1000 sq. ft.).
  - Late fall or early winter, seed Certified 'Aroostook' winter rye (cereal rye) at 100 lbs. per acre (2.5 lbs/1000 sq. ft.).

- **Permanent Stabilization (May 1st through October 31st planting season)**
  1. Provide minimum of four (4) inches topsoil for all new lawn areas. Top dress all existing disturbed lawn areas with two (2) inches of topsoil.
  2. Grass seed shall be evenly sown by mechanical seeder at a rate of 3.0-4.0 pounds per 1,000 square feet.
  3. Fine rake, roll and water to a depth of one inch all seeded areas.
  4. Apply air-dried hay or straw mulch to provide 90% coverage of surface (approximately 90 lbs. per 1,000 sf). Use small grain straw where mulch is maintained for more than three months.
  5. Contractor shall provide, at his own expense, protection against trespassing and other damage to lawn areas.
  6. <u>Lawn seed mix</u> shall include,
     a. General Recreation areas and lawns:
     - 65% Kentucky Bluegrass blend
     - 20% Perennial Rye
     - 15% Fine fescue

  Sod may be used as an alternate to seeding in select areas.

  Slow release fertilizers will be applied by hand to horticultural plantings as part of regular horticultural maintenance program and shall be limited to a single spring application.

  <u>Basin seed mix</u>, provide certified seed from crops that are a maximum of two years old and shall be free of deleterious materials and disease. Seed shall be delivered to the site in unopened bags which show certified net weight, date of germination test, supplier's name and certified guarantee of analysis including the composition, purity, germination percentages, and percent weed seed. Seed shall contain no more than one percent (1%) weed seed. Mix shall consist of 15 percent New England wet mix and 85 percent New England erosion control/restoration mix for wet sites. Grass seed shall be evenly sown by mechanical seeder at a rate of ⅓-½ pounds per 1,000 square feet.

  Basin seed mix shall be OBL Wetland Seed Mix (ERNMX-131) supplied by Ernst Conservation Seeds, Inc., 9006 Mercer Pike, Meadville PA 16335, (800) 873-3321, www.ernstseed.com

CONSTRUCTION PRACTICES TO MINIMIZE STORMWATER CONTAMINATION

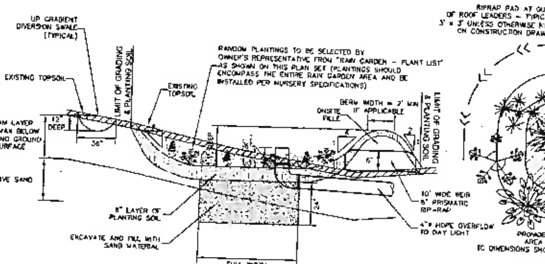
Adequate measures shall be taken to minimize contaminant particles arising from the discharge of solid materials, including building materials, grading operations, and the reclamation and placement of pavement, during project construction, including but not limited to:

- Building materials, garbage, and debris shall be cleaned up daily and deposited into dumpsters, which will be periodically removed from the site and appropriately disposed of.
- Dump trucks hauling material from the construction site will be covered with a tarpaulin.
- The paved street adjacent to the site entrance will be swept daily to remove excess mud, dirt, or rock tracked from the site.
- Petroleum products will be stored in tightly sealed containers that are clearly labeled.
- All vehicles on site will be monitored for leaks and receive regular preventive maintenance to reduce the chance of leakage.
- All spills will be cleaned up immediately upon discovery. Spills large enough to reach the storm system will be reported to the National Response Center at 1-800-424-8802.
- Materials and equipment necessary for spill cleanup will be kept in the temporary material storage trailer onsite. Equipment will include, but not be limited to, brooms, dust pans, mops, rags, gloves, goggles, kitty litter, sand, saw dust, and plastic and metal trash containers.
- All paint containers and curing compounds will be tightly sealed and stored when not required for use. Excess paint will not be discharged to the storm system, but will be properly disposed according to the manufacturer's instructions.
- Sanitary waste will be collected from portable units a minimum of two times a week to avoid overfilling.
- Any asphalt substances used on-site will be applied according to the manufacturer's recommendation.
- Fertilizers will be stored in a covered shed and partially used bags will be transferred to a sealable bin to avoid spills and will be applied only in the minimum amounts recommended by the manufacturer and worked into the soil to limit exposure to stormwater.
- No disturbed area shall be left un-stabilized for longer than 14 days during the growing season.
- When erosion is likely to be a problem, grubbing operations shall be scheduled and performed such that grading operations and permanent erosion control features can follow within 24 hours thereafter.
- As work progresses, patch seeding shall be done as required on areas previously treated to maintain or establish protective cover.
- Drainage pipes and swales/ditches shall generally be constructed in a sequence from outlet to inlet in order to stabilize outlet areas and ditches before water is directed to the new installation or any portion thereof, unless conditions unique to the location warrant an alternative method.

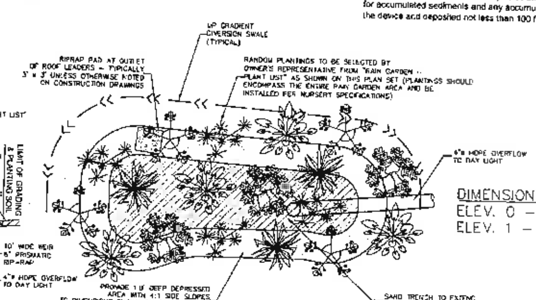
STORMWATER MANAGEMENT FACILITIES MAINTENANCE PROGRAM

The following maintenance plan has been developed to maintain the proper function of all drainage and erosion and sediment control facilities:

- The extended detention wet pond, bio-swales, swales and outlet structure will be inspected by the owner's superintendent once a week and/or within 24 hours following a rainstorm ½" or greater. Any repairs required shall be performed in a timely manner. All sediment removal and/or repairs will be followed within 24 hours by re-vegetation.
- Remove sediment build up in the extended detention wet pond as required, but a minimum of every two years. No machinery shall be used within the limits of the pond. Access to the basin shall be from the common driveway. Laborers with shovel and wheel barrels will be used to maintain the embankment slopes, to repair minor erosion problems and remove accumulation of silt. The use of hand labor will also minimize the disturbance of stabilized areas and the established vegetation. Mow the side slopes and bottom of the infiltration basin as necessary to maintain their appearance but not less than twice a year. Inspect basin and if necessary remove invasive woody vegetation to prevent it from becoming established. During mowing operations, litter and debris will be removed from infiltration basin and the outlet control structures.
- Minimize the use of road salt for maintenance of driveway areas.
- Parking lot and drainage inlets shall be vacuum swept twice a year, at the conclusion of the landscape season in the fall and at the conclusion of the sand and de-icing season in the spring. Catch basins and drain inlets units shall to be visually inspected twice yearly and vacuumed cleaned if sediment and debris has accumulated.
- A New York State licensed Professional Engineer shall inspect the site once a year. A report by the Professional Engineer shall be submitted to the Owner and the Town of Carmel in the event deficiencies are found. In addition, the Owner shall inspect the system after each major storm event to ensure the small orifices and inlets remain open. Specific attention should be paid to the following and repairs/maintenance shall be performed within 7 days
  - Evidence of clogging of outlet control device
  - Erosion of the flow path through the detention facility
  - Subsidence, erosion, cracking or tree growth on the embankments.
  - Accumulation of sediment
- Restore plantings and re-seed any eroded areas and gullies within 7 days during planting season or stabilize with curlex mat until planting season. Drain pond to plant below water level
- <u>Rain Gardens</u> - Rain gardens should be treated as a component of the landscaping, with routine maintenance provided by the homeowner or homeowners' association, including the occasional replacement of plants, mulching, weeding and thinning to maintain the desired appearance.
- <u>The permanent maintenance program will be managed by the future homeowners upon completion of construction and acceptance of the improvements. The names and contact information will be filed with the Town of Carmel, NYCDEP and the NYSDEC.</u>



RAIN GARDEN – CROSS SECTION



<u>DIMENSIONS:</u>
ELEV. 0 – 105 SQ. FT.
ELEV. 1 – 417 SQ. FT.

RAIN GARDEN – PLAN VIEW

ANY ALTERATIONS OR REVISIONS OF THESE PLANS, UNLESS DONE BY OR UNDER THE DIRECTION OF THE NYS LICENSED AND REGISTERED ENGINEER THAT PREPARED THEM, IS A VIOLATION OF THE NYS EDUCATION LAW

THIS PLAN NOT VALID FOR CONSTRUCTION WITHOUT ENGINEERS SEAL & SIGNATURE

PROJECT:

5-LOT SUBDIVISION
MEXICO LANE
TOWN OF CARMEL
PUTNAM COUNTY, NEW YORK

DETAILS

3/21/12
1/23/12
5/26/11
2/11/11
6/29/10
Rev 4/16/12 4/13/10
dsgn by MS orig 1/20/10
drwn by MS chkd by

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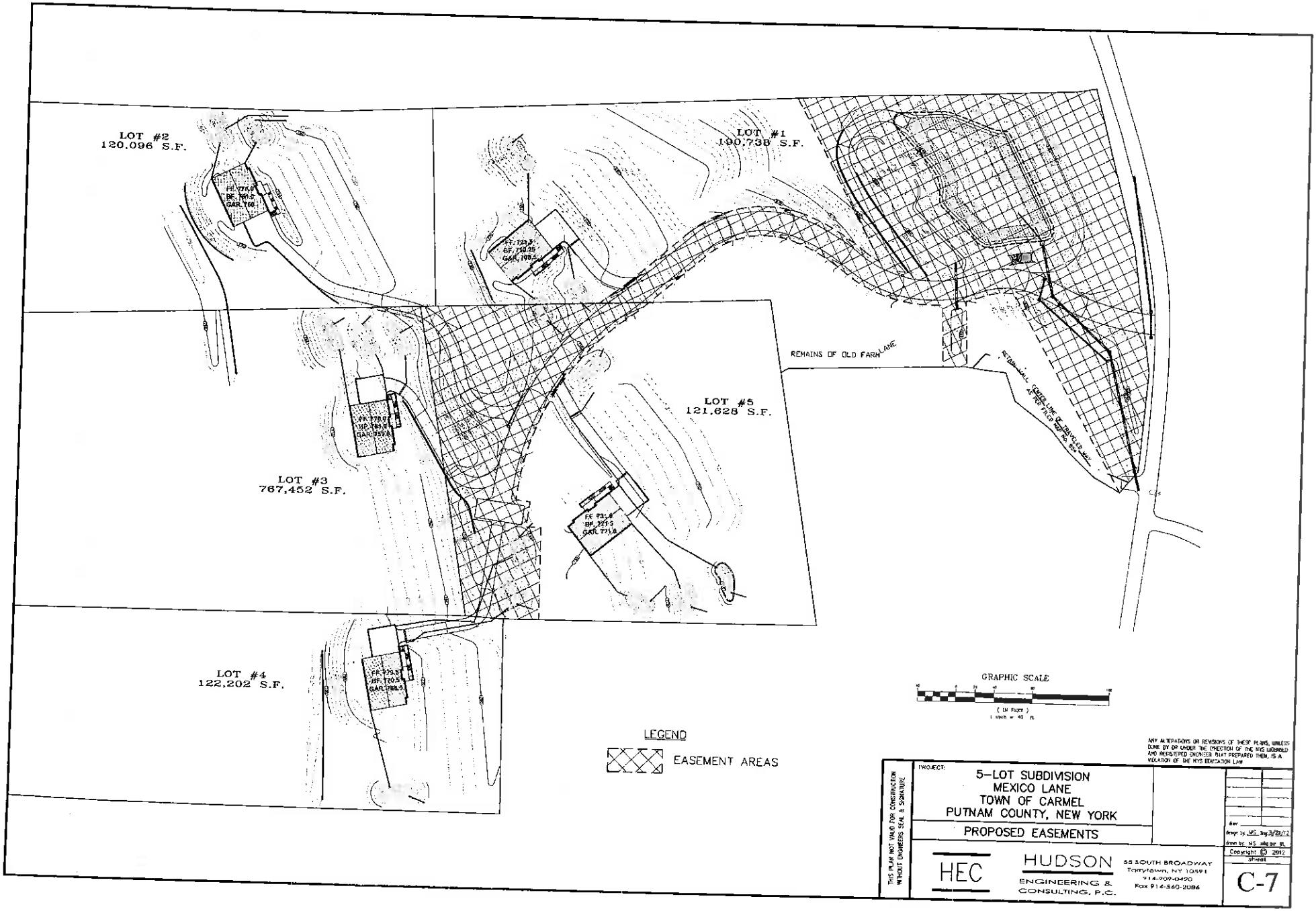
sheet
C-6


LOT #2
120,096 S.F.
LOT #1
190,738 S.F.
LOT #3
767,452 S.F.
LOT #5
121,628 S.F.
LOT #4
122,202 S.F.
REMAINS OF OLD FARM LANE
GRAPHIC SCALE
LEGEND
EASEMENT AREAS
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PROJECT:
5-LOT SUBDIVISION
MEXICO LANE
TOWN OF CARMEL
PUTNAM COUNTY, NEW YORK
PROPOSED EASEMENTS
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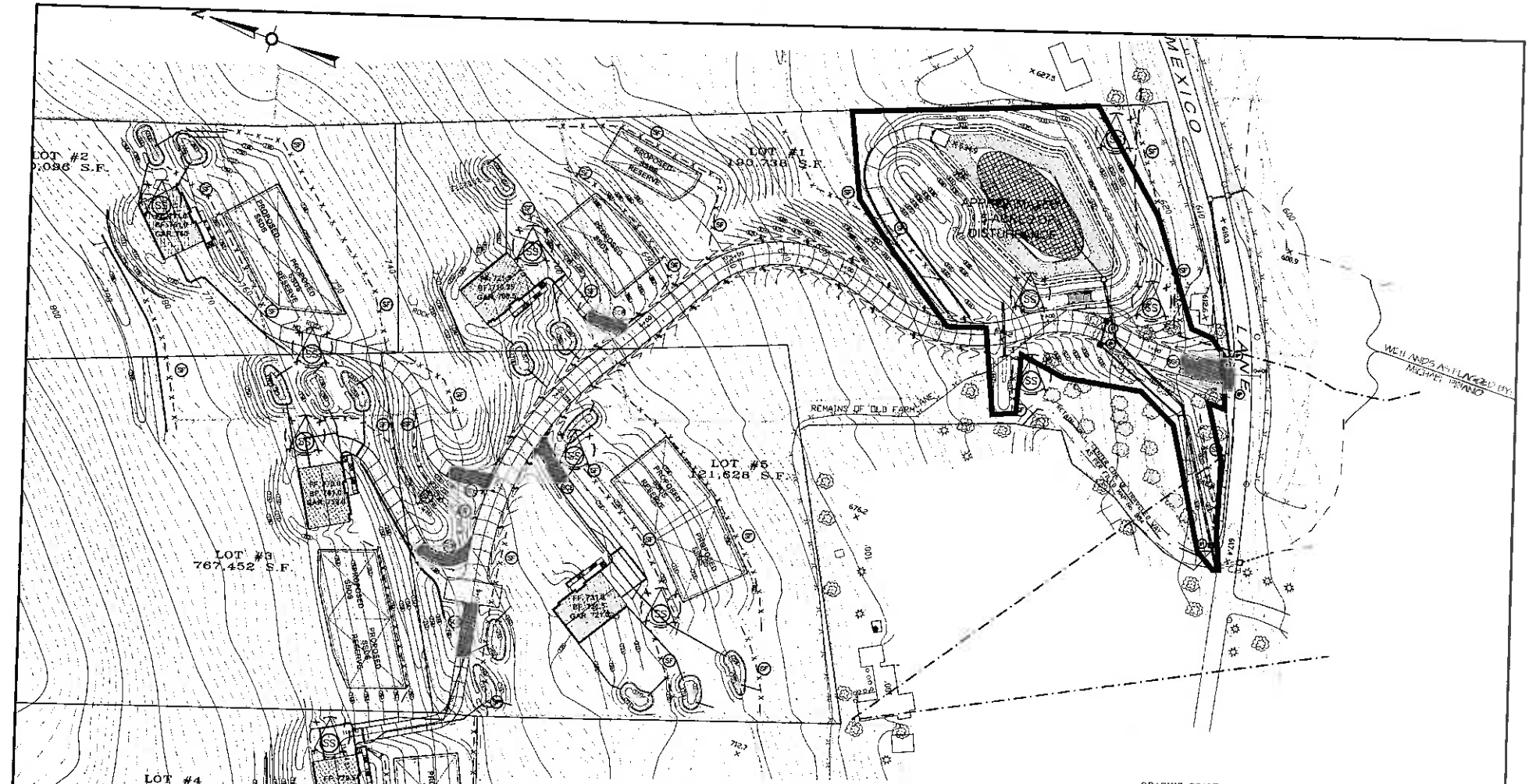

OVERALL CONSTRUCTION SEQUENCING (REFER TO SHEET C-6 FOR ENTIRE SITE)

The following erosion control schedule shall be utilized:

1. The construction manager shall notify the design engineer at least two (2) weeks prior to commencing site construction to schedule a pre-construction meeting with representatives from the NYSDEC, NYCDEP and the Town. The site construction may not occur prior to the preconstruction meeting.
2. Install a stabilized construction entrance at the access point(s) to the site. See plan Sheet C-2 and C-5.
3. Install orange construction fencing around all proposed SSDS field locations. See plan Sheet C-2 and C-5.
4. Selective vegetation removal for silt fence installation. See plan Sheet C-2.
5. Install silt fence down slope of all areas to be disturbed. See plan Sheet C-2 and C-5.
6. Remove trees where necessary (clear & grub) for the construction of the pond. Grade stormwater pond (do not install liner), install all proposed drainage improvements from the pond to the offsite discharge point including pond outlet control structure (Contractor shall plug liners to outlet control structure) and install temporary pipe outlet for sediment trap (Approximately 1.5-acres of disturbance). See plan Sheet C-1, C-2, C-4 and C-5. Install perforated poly around pond if ground water is encountered. See plan Sheet C-1 and C-4. No further site disturbance shall occur until the stormwater pond and sediment trap are stabilized in accordance with the NYSDEC guidelines (establishment of a three inch grass stand).
7. Install 47 linear foot 27" x 21" drain culvert.

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PROJECT

5-LOT SUBDIVISION
MEXICO LANE
TOWN OF CARMEL
PUTNAM COUNTY, NEW YORK

SEQUENCING LIMITS PLAN

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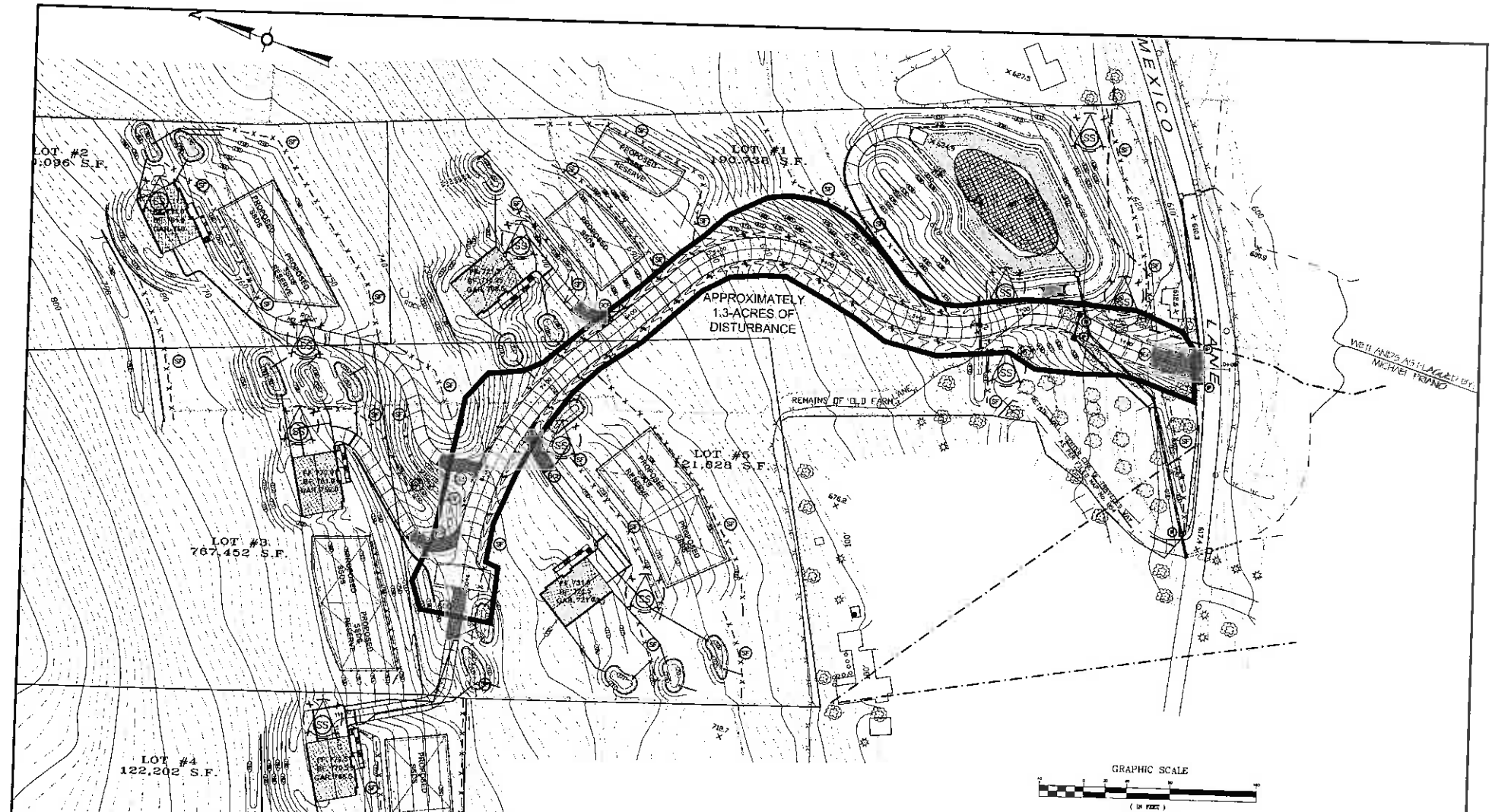

OVERALL CONSTRUCTION SEQUENCING (REFER TO SHEET C-6 FOR ENTIRE SITE)

The following erosion control schedule shall be utilized

8. Remove trees where necessary (clear & grub) for the construction of the road.
9. Strip topsoil and stockpile at the locations specified on the plans (up gradient of erosion control measures). Temporarily stabilize topsoil stockpiles (hydroseed and install silt fence around toe of slope). See plan Sheet C-2 and C-5.
10. Rough grade roadway, stone lined swales and pond maintenance road. Install sub-base and binder course for new roadway (Approximately 1.3-acres of disturbance). See plan Sheet C-1 and C-4. De-compact and aerate all common disturbed areas of the site utilizing equipment and practices outlined in the NYSDEC publication entitled, "NYSDEC-Division of Water – Deep Ripping and Decompaction". No further site disturbance shall occur until all disturbed areas associated with the construction of the road are stabilized in accordance with the NYSDEC guidelines (establishment of a three inch grass stand).

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5-LOT SUBDIVISION
MEXICO LANE
TOWN OF CARMEL
PUTNAM COUNTY, NEW YORK

SEQUENCING LIMITS PLAN

Rev.

Design by MS Date 6/26/12

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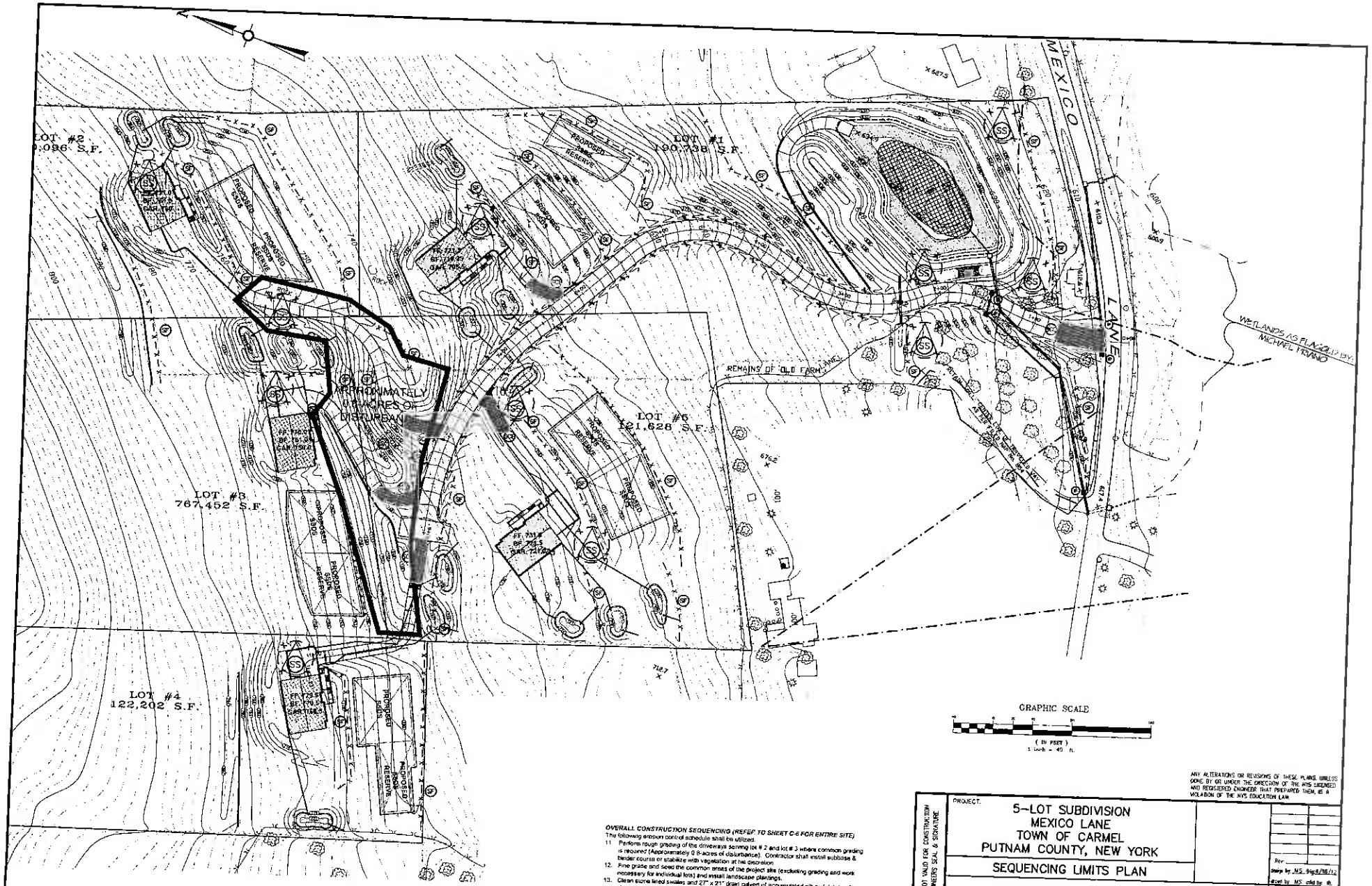

OVERALL CONSTRUCTION SEQUENCING (REFER TO SHEET C-6 FOR ENTIRE SITE)

The following erosion control schedule shall be utilized.

11. Perform rough grading of the driveways serving lot # 2 and lot # 3 where common grading is required (Approximately 0.8-acres of disturbance). Contractor shall install subbase & binder course or stabilize with vegetation at his discretion.
12. Fine grade and seed the common areas of the project site (excluding grading and work necessary for individual lots) and install landscape plantings.
13. Clean stone lined swales and 27" x 21" drain culvert of accumulated silt and debris. Clean stormwater pond of accumulated silt and debris.

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PUTNAM COUNTY, NEW YORK

SEQUENCING LIMITS PLAN

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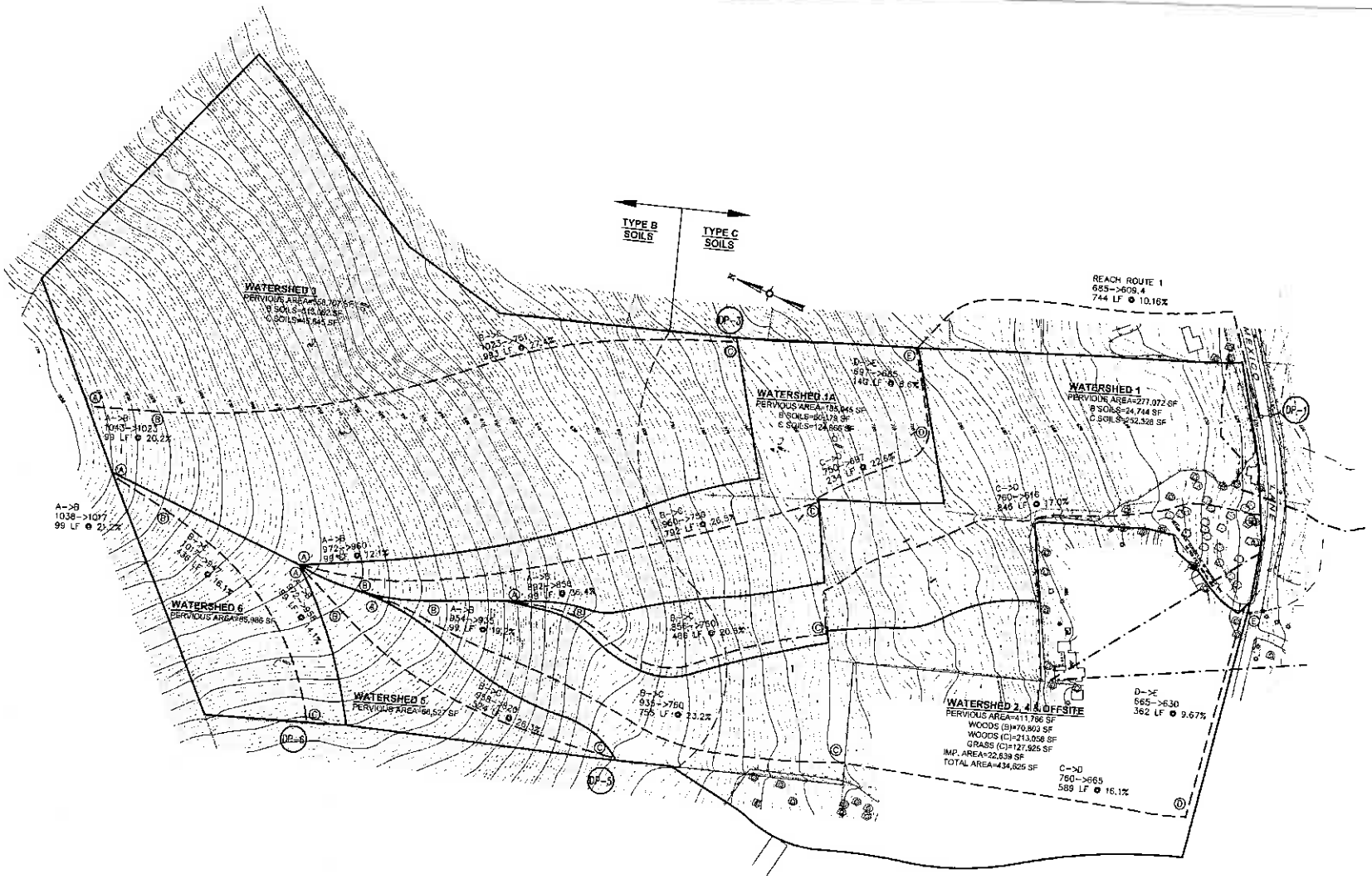

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PROJECT:

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PUTNAM COUNTY, NEW YORK

WATERSHED – EXISTING

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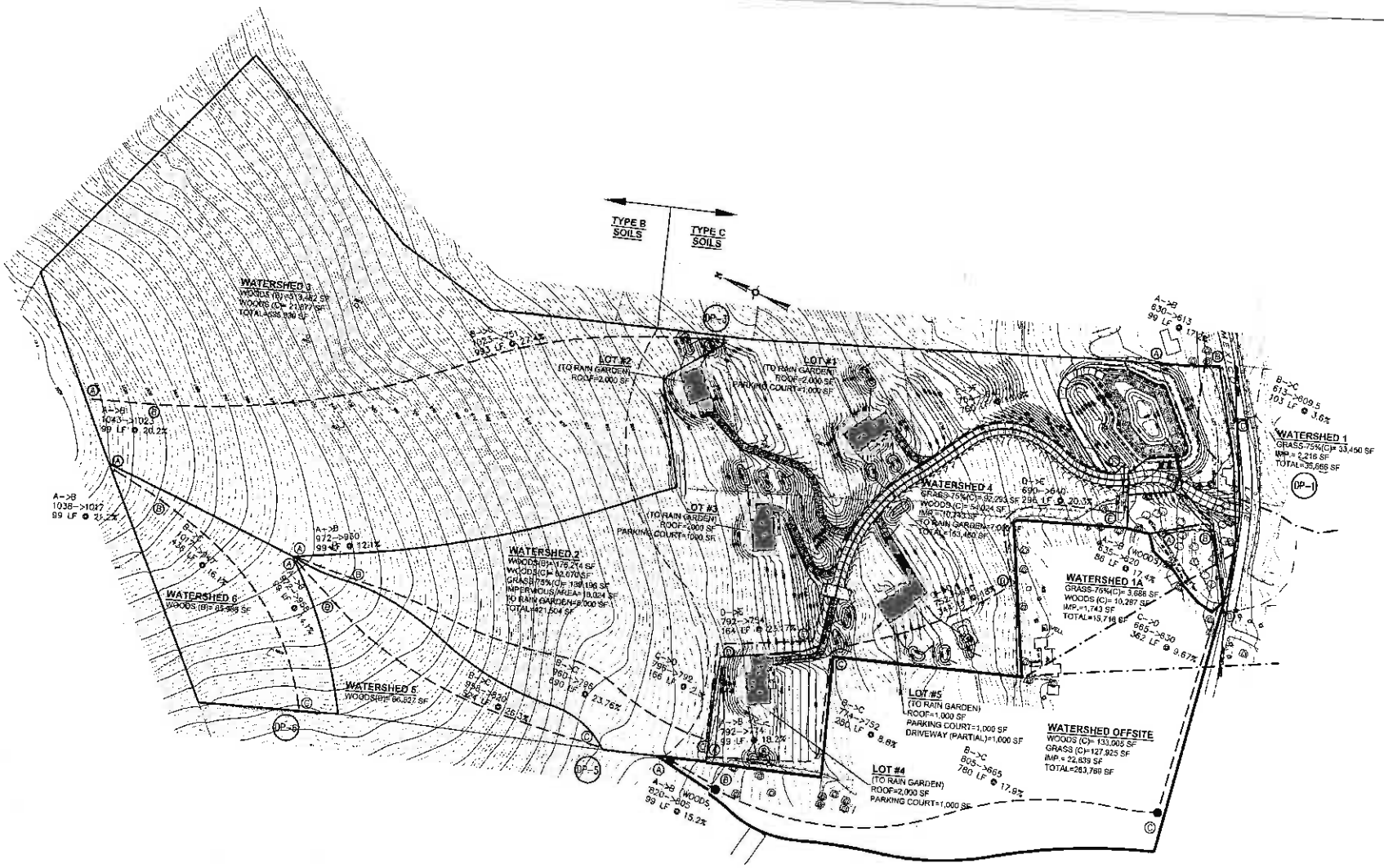

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5-LOT SUBDIVISION
MEXICO LANE
TOWN OF CARMEL
PUTNAM COUNTY, NEW YORK

WATERSHED – PROPOSED

	1/23/12
	5/16/11
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WS-P