

HAROLD GARY
Chairman

CRAIG PAEPRER
Vice-Chair

BOARD MEMBERS
ANTHONY GIANNICO
DAVE FURFARO
CARL STONE
KIM KUGLER
RAYMOND COTE

TOWN OF CARMEL
PLANNING BOARD



60 McAlpin Avenue
Mahopac, New York 10541
Tel. (845) 628-1500 – Ext.190
www.ci.carmel.ny.us

MICHAEL CARNAZZA
*Director of Code
Enforcement*

RICHARD FRANZETTI, P.E.
Town Engineer

PATRICK CLEARY,
AICP, CEP, PP, LEED AP
Town Planner

VINCENT FRANZE
Architectural Consultant

PLANNING BOARD AGENDA
SEPTEMBER 14, 2016
MEETING ROOM #2

TAX MAP # PUB. HEARING MAP DATE COMMENTS

RESOLUTION

- | | | | |
|--|------------|----------|-------------------------|
| 1. Loewenberg, Ralph – 260 West Lake Blvd | 64.16-1-30 | 07/01/16 | Site Plan |
| 2. NYCDEP Drewille Road Stormwater Project | 66.-2-53 | 07/2015 | Amendment to Resolution |
| 3. NYSMSA Limited Partnership (Grenier Building)
d/b/a Verizon Wireless – 692 Route 6 | 76.30-1-22 | 06/28/16 | Amended Site Plan |

SITE PLAN

- | | | | |
|--|---------------|----------|----------------------|
| 4. New York SMSA Limited Partnership (Sam's)
d/b/a Verizon Wireless – 361 Route 6 | 75.19-1-12 | 07/12/16 | Amended Site Plan |
| 5. NY Fuel Distributors LLC (Coco Farms)
1923 Route 6, Carmel | 55.11-1-40 | 09/02/16 | Amended Site Plan |
| 6. Day Road LLC – 20 Day Road | 55-6-1-41 | 08/11/16 | SEQR Neg Dec |
| 7. Lake Plaza Shopping Center, LLC
(Proposed Stop & Shop) – 983-1005 Route 6 | 65.10-1-45&46 | 08/14/16 | Architectural Review |
| 8. Smajlaj, Zef – 803 South Lake Blvd | 75.42-1-39 | 08/26/16 | Site Plan |
| 9. NL & M Holding Corp (Mazzola) –
936-942 South Lake Blvd | 75.44-1-47 | 08/31/16 | Site Plan |
| 10. Hudson Valley Veterinary EMS – 559 Route 6N | 75.6-1-67 | 08/01/16 | Site Plan |

SUBDIVISION

- | | | | |
|--|------------|----------|-------------|
| 11. Western Bluff Subdivision – 350 West Shore Dr. | 66.14-1-20 | 07/20/16 | Sketch Plan |
|--|------------|----------|-------------|

MISC.

- | | | | |
|---------------------------------------|------------|--|--|
| 12. Yankee Development – Piggott Road | 76.15-1-12 | | Extension of Preliminary
Subdivision Approval |
| 13. Minutes – 08/10/16 | | | |



August 26 2016

Town of Carmel
Planning Board
Attn: Chairman Harold Gary
60 McAlpin Avenue
Mahopac, NY 10541

RE: Request for Extension of Site Plan Approval Permit
CRO-420 FAD-Related Stormwater Control at Drewville Road
Town of Carmel, Putnam County, New York

Vincent Sapienza, P.E.
Acting Commissioner

Dear Chairman Gary:

Paul V. Rush, P.E.
Deputy Commissioner
Bureau of Water Supply
prush@dep.nyc.gov

The purpose of this letter is to request a one (1) year extension of the Site Plan Approval Resolution #15-21, due to expire September 30, 2016, for the above referenced project.

465 Columbus Avenue
Valhalla, NY 10595
T: (914) 742-2001
F: (914) 742-2027

Construction of the project has not commenced due to the City's internal approval process. There have not been any major modifications to the design since the permit's approval was received in 2015.

Enclosed is a copy of the existing resolution and the permit extension fee of \$1,000.

An amendment request of the Site Plan Approval Resolution conditions #5, #7 and #8 was submitted to the Town of Carmel on August 25, 2016 and it is attached for reference.

Should you have any questions about this request please contact me at (914) 742-2020 or Gloria Gutierrez from Gannett Fleming at (516) 364-4140, extension 1243.

Respectfully,

Maria G. Mandarino, P.E., ENV SP
Chief, Capital Planning

Enclosure
2015 Site Plan Approval
Permit Extension Fee
Site Plan Approval Amendment Request

c: Todd West, DEP
Richard Wilhelm, DEP
Zaidoun Ereifej, DEP
Gloria Gutierrez, GF

2015 Site Plan Approval

**RESOLUTION OF THE
PLANNING BOARD OF THE TOWN OF CARMEL
#15-21 September 30, 2015**

**Tax Map #66.-2-53
DREWVILLE ROAD STORMWATER CONTROL PROJECT
FINAL SITE PLAN APPROVAL**

WHEREAS, an application for final site plan approval has been submitted by the New York City Department of Environmental Protection (hereinafter referred to as the “Applicant”); and

WHEREAS, the site is located off Drewville Road, west of Stoneleigh Avenue and is more specifically known and designated as Tax Map #66.-2-53 (hereinafter referred to as the “Site”); and

WHEREAS, The project (hereinafter referred to as the “Project”) is proposed pursuant to the DEP’s mandate to comply with the EPA’s 2007 Filtration Avoidance Determination (FAD), and involves the installation of a stormwater detention system consisting of a forebay, micro-pool and diversion and riser boxes. A new gravel maintenance road is proposed and an existing 24” culvert and rip rapped drainage swale will be repaired as well as an adjacent stone wall. These improvements are intended to minimize sediment and pollutant loading in the Croton Falls Reservoir; and

WHEREAS, the Final Site Plan consists of the following drawings prepared by the City of New York Department of Environmental Protection, Bureau of Engineering Design and Construction and HDR Pirnie – Gannett, dated July 2015, last revised:

- G-01 General Notes, Symbols & Abbreviations
- G-02 Miscellaneous Details I
- G-03 Miscellaneous Details II
- G-04 Miscellaneous Details III
- C-01 Existing Site Plan
- C-02 Site Plan
- C-03 Stormwater Treatment System Grading Plan
- C-04 Stormwater Treatment System Profiles I
- C-05 Stormwater Treatment System Profiles II
- C-06 Stormwater Treatment System Profiles III
- C-07 Stormwater Diversion During Construction
- C-08 Maintenance and Protection of Traffic Plan
- C-09 Erosion & Sediment Control Plan
- C-10 Erosion & Sediment Control Details
- C-11 Tree Removal Plan

- C-12 Tree Removal Schedule
- C-13 Landscape Plan and Details
- C-14 Landscape Schedules
- S-01 Diversion Box Structural Plans
- S-02 Diversion Box Structural Sections

WHEREAS, The NYCDEP serving as Lead Agency adopted a Negative Declaration finding that the Project will not result in any adverse environmental impacts; and

WHEREAS, a public hearing was held pursuant to Section 276 of the Town Law on the proposed site plan at Town Hall, Mahopac. All persons wishing to speak on the application were provided an opportunity to be heard; and

WHEREAS, the Planning Board has considered the Final Site Plan, and all other materials submitted by the Applicant in support of this proposal, the comments of Town staff and consultants made via memoranda to the Planning Board (which memoranda are incorporated herein by reference) the verbal commentary made during the entire course of the Planning Board's meetings pertaining to the review for Final Site Plan approval and evaluation of the proposed action, and the comments of the public; and

WHEREAS, the requirements for final site plan approval contained in the Town of Carmel Zoning Ordinance have been met by said application for Final Site Plan approval, with the exception of those items waived per §156-61 of the Town of Carmel Zoning Code; and

NOW THEREFORE BE IT RESOLVED, that the application of approval of the Final Site Plan submitted by the New York City Department of Environmental Protection, as depicted on the plans identified above is hereby granted subject to the following conditions:

1. This Final Site Plan approval authorizes the Applicant to undertake only the activities specifically set forth herein, in accordance with this resolution of approval and as delineated on the Final Site Plan as endorsed by the Planning Board Chairman. *Any change in use, alteration or modification to the Final Site Plan, or to the existing or approved facilities and site shall require the review and approval by the Planning Board of the Town of Carmel.*
2. The Applicant shall furnish the Planning Board with the required number of sets of the site plan as described above, for endorsement by the Planning Board Chairman, subject to the satisfaction of all approval conditions, which shall then be recorded as the approved Final Site Plan:
3. No changes, additions, erasures, modifications or revisions shall be made to the Final Site Plan following endorsement by the Planning Board Chairman. Any changes detected after endorsement of the Final Site Plan as final, shall result in the immediate termination and revocation of this resolution of approval, thereby making it null and void.

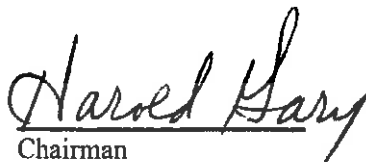
4. Authorized issuance of a Building Permit by the Building Inspector shall be fully based on, and in accordance with this resolution of approval and the signed and filed Final Site Plan. The Building Inspector shall include reference to the Final Site Plan and this resolution of approval on any Building Permit.
5. A performance bond, prepared in form to the satisfaction of the Town Attorney, and in the amount of nine hundred and forty three thousand dollars (\$943,000.00), in accordance with the requirements of set forth in §§156-61 J of the Zoning Ordinance, shall be provided to assure the completion of all improvements specified by this Final Site Plan Approval. .
6. An engineering inspection fee in the amount of forty seven thousand one hundred and fifty dollars (\$47,150.00) in accordance with the requirements of set forth in §156-61 J of the Zoning Ordinance, shall be paid to the Town of Carmel.
7. The Applicant shall provide the Town of Carmel with an irrevocable letter of credit from an approved financial institution or surety in the amount of eleven thousand four hundred dollars (\$11,400.00) to ensure proper operation and maintenance of all stormwater management and erosion control facilities both during and after construction and until the facilities are removed from operation. If the developer or landowner fails to properly operate and maintain stormwater management and erosion and sediment control facilities, the Town of Carmel may draw upon the account to cover the costs of proper operation and maintenance, including engineering and inspection costs.
8. The Applicant shall execute a maintenance easement agreement that shall be binding on all subsequent landowners served by the stormwater management facility. The easement shall provide for access to the facility at reasonable times for periodic inspection by the Town of Carmel to ensure that the facility is maintained in proper working condition to meet design standards and any other provisions established by this approval. The easement shall be recorded by the grantor in the office of the Putnam County Clerk after approval by the counsel for the Town of Carmel Planning Board.
9. All comments of the Town Engineer shall be satisfactorily addressed.
10. The hours of construction activity shall take place in conformance with the applicable Town Regulations.
11. The Project shall not impact the existing sewer force main located on the Site.
12. All work within the NYSDEC regulated wetland and wetland adjacent area shall be undertaken pursuant to all terms and conditions of the NYSDEC Freshwater Wetland Permit
13. All work within the Town regulated wetland area shall be undertaken in accordance with Town of Carmel Environmental Conservation Board Permit #898.

14. A Putnam County Department of Highways & Facilities work permit shall be required for all work within the Drewville Road right-of-way.
15. Prior to the commencement of any site work or construction activity, erosion and sedimentation controls shall be installed in accordance with the Final Site Plan and the NYSDEC SPDES General Permit for Stormwater Discharges from Construction Activity (GP-0-10-001) and shall be subject to continual inspection and maintenance and additional controls as may be required by the Building Inspector. Stormwater runoff shall be controlled at all times during construction to prevent erosion of the site area under construction and to prevent sedimentation and dust dispersal upon areas not under construction, particularly off-site locations. Silt fencing, hay bales, anti-tracking aprons and all other required erosion and sedimentation control measures shall be regularly inspected and maintained in an orderly and functioning manner. Additional supplies of silt fencing and hay bales shall be kept on the site during construction for immediate use if needed.
16. All existing site landscaping shall be maintained in a healthy state; should any plantings become damaged or die, said plantings shall be immediately replaced in-kind.
17. A clean and legible copy of this Resolution (as signed by the Planning Board Chairman) and a copy of the signed Final Site Plan shall be maintained at the subject property at all times.
18. Prior to the issuance of a Certificate of Occupancy by the Building Inspector, an "As-Built" Plan showing the installed and completed improvements, certified by a New York State licensed Land Surveyor shall be prepared at the sole expense of the Applicant. Said As-Built Plan shall be provided to the Building Inspector, documenting satisfactory completion of all approved and authorized construction activities and zoning compliance.
19. Failure to comply with any of the conditions set forth herein shall be deemed a violation of this approval, which may lead to the revocation of the Approval and/or Certificate of Occupancy, in accordance with the applicable provisions of the Town of Carmel.
20. The applicant shall obtain all other applicable permits and approvals and shall pay all other fees as a part of the execution of the final site plan.

BE IT FURTHER RESOLVED, That this Final Site Plan Approval shall remain valid for a period of one (1) year from the date of its approval. This Final Site Plan Approval shall become null and void on September 30, 2016, unless construction is commenced pursuant to an authorized Building Permit.

BE IT FINALLY RESOLVED that this Final Site Plan approval resolution shall have an effective date of September 30, 2015.

**PLANNING BOARD
TOWN OF CARMEL**


Chairman

9/29/15
Dated:

This Resolution Was Thereupon Duly Adopted

Site Plan Approval Amendment Request



August 25, 2016

Vincent Sapienza
Acting Commissioner

Elissa Stein Cushman
General Counsel
Bureau of Legal Affairs

59-17 Junction Blvd.
Flushing, NY 11373

Tel. (718) 595-6711
Fax (718) 595-8543
ecushman@dep.nyc.gov

Honorable Kenneth Schmitt
Town of Carmel Supervisor
Carmel Town Hall
60 McAlpin Avenue
Mahopac, NY 10541
and

Town Board of the Town of Carmel
Carmel Town Hall
60 McAlpin Avenue
Mahopac, NY 10541

Attention: Town Board Members Frank D. Lombardi, Suzanne McDonough
John D. Lupinacci, and Johnathan Schneider
and

Planning Board of the Town of Carmel
Carmel Town Hall
60 McAlpin Avenue
Mahopac, NY 10541

Attention: Chairman Harold Gary, Vice-Chair Craig Paeprer, Secretary Rose
Trombetta, and Planning Board Members Dave Furfaro, Anthony Giannico,
Kim Kugler, and Carl Stone

Re: Amendment of Conditions #5, #7, and #8 of Resolution #15-21 September
30, 2015 of the Planning Board of the Town of Carmel concerning the
Final Site Plan Approval for DEP's Drewville Road Stormwater Control
Project (Tax Map #66-2-53)

Dear Supervisor Schmitt, Town Board Members, Chairman Gary and Planning
Board Members:

The New York City Department of Environmental Protection ("City") appreciates the Town of Carmel Planning Board's willingness to amend Conditions 5, 7, and 8 of the subject resolution which respectively require a performance bond in the amount of nine hundred forty three thousand dollars (\$943,000.00) to assure the completion of all improvements specified in the site plan, an irrevocable letter of credit or surety in the amount of eleven thousand four hundred dollars (\$11,400.00) to ensure proper operation and maintenance of all stormwater management and erosion control facilities both during and after construction of the facilities, and a maintenance easement binding on all subsequent landowners served by the City's Drewville Road Stormwater Control facility.

Please accept this letter in lieu of the aforementioned bond required by Condition 5 of the resolution as the City's guarantee that all of improvements specified by the Final Site Plan Approval will be completed. When the contract is awarded for this project, the City will require the Contractor, which will be a licensed and bonded company, to provide a performance bond as a guarantee to the City that all work will be completed, including site restoration work. This requirement is also included in the scope of work, which is incorporated by reference into the contract.

Please also accept this letter in lieu of the aforementioned irrevocable letter of credit or surety required by Condition 7 of the resolution as the City's guarantee that there will be proper operation and maintenance of all stormwater management and erosion control facilities both during and after their construction and until the facilities are removed from operation. The City of New York is a municipal corporation and as such, presents no danger of disappearing or fleeing from the area to escape its commitments. The City will be responsible for such proper operation and maintenance itself, and has the capacity, personnel, and equipment to perform all operation and maintenance tasks. Proper operation and maintenance of such facilities will enable the City to continue its compliance with the requirements of the EPA's 2007 Filtration Avoidance Determination.

Condition 8 of the resolution requires a maintenance easement to bind all subsequent landowners and to allow periodic inspection by the Town of Carmel to ensure that the facility is maintained in proper working condition to meet design standards and other provisions of the subject resolution. The City has no intention, at this time or in the foreseeable future, of transferring this facility to a private entity. The installation of this feature is one of the many activities the City is undertaking to ensure compliance with and continuation of its Filtration Avoidance Determination. As a regulated MS4 in the East of Hudson Watershed, the City is required to maintain its facilities in strict accordance with all applicable regulations. In the cooperative spirit in which the City has worked with its partners and stakeholders, the City has absolutely no objection to allowing the Town of Carmel to inspect the facilities with reasonable notice, and as such, is amenable to working out some less formal arrangement for such.

The City of New York hereby warrants, represents, and guarantees that it will perform and satisfy all conditions of Resolution #15-21 of the Planning Board of the Town of Carmel which granted Final Site Plan Approval for the Drewville Road Stormwater Control Project. This guarantee is made by the City of New York in lieu of placing a bond with the Town of Carmel, as was originally required by Condition 5 of Planning Board Resolution #15-21. This guarantee is also made by the City of New York in lieu of providing an irrevocable letter of credit or surety to the Town of Carmel, as was originally required by Condition 7 of Planning Board Resolution #15-21. It is fully the intent of this document that the City of New York shall be fully responsible for satisfying the aforementioned conditions. This guarantee shall not expire without the express written consent of the Town of Carmel.

Site improvements the City is performing include the installation of a stormwater detention system consisting of a forebay, micro-pool, and diversion and riser boxes. A new gravel maintenance road is proposed and an existing 24" culvert and rip-rapped drainage swale will be repaired, and repairs will be made to an adjacent stone wall. These improvements are intended to

minimize sediment and pollutant loading in the Croton Falls Reservoir. All site improvements have been developed in accordance with the Town of Carmel's regulations and the Final Site Plan as approved the Town of Carmel's Planning Board Resolution #15-21, effective September 30, 2015.

At this time the City expects construction to not commence until October of 2017, and as such requests an extension until September 15, 2018 (2 years from the current expiration date) of the current approval.

The City of New York has extremely stringent policies and requirements when it comes to selecting contractors to perform work on its behalf and has equally stringent policies and requirements when it performs work using its own forces. Please rest assured that this project will be completed, operated and maintained with the utmost professionalism and skill. Thank you for your consideration in this matter.

Sincerely,

Elissa Stein Cushman
Elissa Stein Cushman (by NH)

c: Paul Rush, DEP BWS
Todd West, DEP BWS
Joseph Charbonneau, Planning Board Attorney
Gregory L. Folchetti, Town Attorney

LESLIE J. SNYDER
ROBERT D. GAUDIOSO

LAW OFFICES OF
SNYDER & SNYDER, LLP
94 WHITE PLAINS ROAD
TARRYTOWN, NEW YORK 10591
(914) 333-0700
FAX (914) 333-0743

DAVID L. SNYDER
(1956-2012)

WRITER'S E-MAIL ADDRESS

eteyber@snyderlaw.net

July 15, 2016

Honorable Chairman Harold Gary
and Members of the Planning Board
Town of Carmel Town Hall
60 McAlpin Avenue
Mahopac, New York 10541

Re: Application by New York SMSA Limited Partnership d/b/a Verizon Wireless
to Locate a Public Utility Wireless Communications Facility on
the Building Located at 361 Route 6, Mahopac (Town of Carmel), NY

Honorable Chairman Gary and Members of the Planning Board:

As you recall, we are the attorneys for New York SMSA Limited Partnership d/b/a Verizon Wireless ("Verizon Wireless") in connection with its request for site plan approval to locate a public utility wireless communications facility ("Facility") on the building at the above referenced property ("Property"). By way of background, and as documented in the materials submitted to your attention on January 26, 2016 pursuant to the comments received at the December 13th Planning Board meeting, the owner of the Property has rejected mounting the Facility's antennas to the façade of the building or rebuilding his roof out of RF transparent materials.

In light of the foregoing, and to address this Honorable Board's preference for antennas to be concealed from view, Verizon Wireless is pleased to submit ten (10) full sized signed and sealed sets of revised drawings depicting the Facility's antennas concealed within canisters.

Thank you for your assistance. We look forward to discussing this matter at the Planning Board's July 27th meeting. If you have any questions or require any additional documentation, please do not hesitate to contact me at 914-333-0700.

Respectfully submitted,
Snyder & Snyder, LLP

By: 
Edward Teyber

Enclosures

cc: Verizon Wireless
Vincent Franze

\\\\ssdata\\wpdata\\ss4\\wp\\newban\\mbreyer\\small cell sites\\mahopac 3\\zoning\\pb letter.et.7.15.16.rtf



NEW YORK SMSA LIMITED PARTNERSHIP
d/b/a VERIZON WIRELESS
4 CENTEROCK ROAD
WEST NYACK, NY 10994
MAHOPAC 3 3C
351 ROUTE 6, MAHOPAC, NY 10541

[illegible]

Stephen A. Bray
PROFESSIONAL ENGINEER



NY LICENSE: 006084 7/12/11

321.0469

SITE INFORMATION
381 ROUTE 6
MAHOPAC, NY 10541
PUTNAM COUNTY
MAHOPAC_3_SC

DESIGN TYPE		
ROOFTOP		
DRAWN BY	CHECKED BY	DATE
RC	JRB	05-12-15

SHEET TITLE

COVER
SHEET

SHEET NUMBER	REV
T01	7



11x17 SCALE: 1" = 400'
24x36 SCALE: 1" = 200'



11x17 SCALE: 1" = 200'
24x36 SCALE: 1" = 100'



11x17 SCALE: 1" = 400'
24x36 SCALE: 1" = 200'

SITE INFORMATION	
SECTION:	75 19
BLOCK:	1
LOT:	12
PARCEL ID:	75 19-1-12
ZONING DISTRICT:	C (COMMERCIAL)
ZONING JURISDICTION:	TOWN OF CARMEL

PROJECT INFORMATION:

SITE ADDRESS:
361 ROUTE 8
MAHOPAC, NY 10541
PUTNAM COUNTY

GROUND ELEVATION:
±67' (AMSL)

OVERALL STRUCTURE HEIGHT:
±30'-0" AGL (TOP OF ROOF)

PROJECT CONTACT INFORMATION

APPLICANT:
NEW YORK SMSA LIMITED PARTNERSHIP D/B/A VERIZON WIRELESS
4 CENTEROCK ROAD
WEST NYACK, NY 10994

ENGINEER
KMB DESIGN GROUP, LLC
1800 ROUTE 34 SUITE 209
WALL, NJ 07719
JASON BEATO - PROJECT MANAGER
(732) 280-5623
VERIZON WIRELESS CONSTRUCTION MANAGER
BRETT LIQUORI

VERIZON WIRELESS EQUIPMENT ENGINEER:
JOHN WALDEN
(576) 656-0375
VERIZON WIRELESS RF ENGINEER
KADRY AHMED

VERIZON WIRELESS REAL ESTATE CONTACT:
AARON MYL
(845) 536-2427

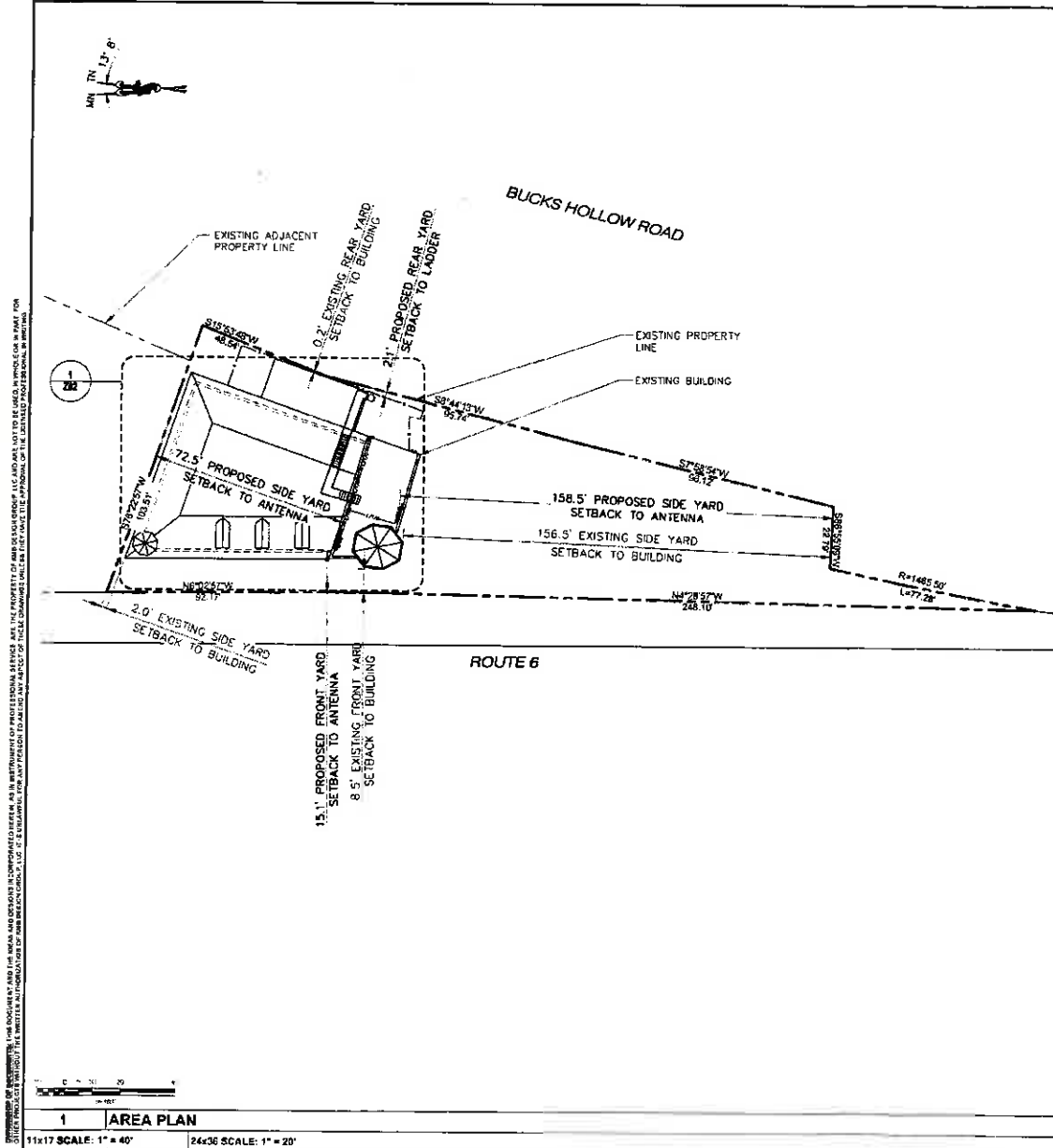
UTILITY CONTACT
NYSEG (800) 572 1111

PROPERTY OWNER
BARILE PROPERTY MGMT LLC
361 ROUTE 6
MAHOPAC, NY 10541

PROPERTY OWNER CONTACT:
JOHN BARILE
(845) 828-4100

SCOPE OF WORK

INSTALL A PUBLIC UTILITY WIRELESS COMMUNICATION FACILITY ON
ROOFTOP OF THE BUILDING AT THE PROPERTY



GENERAL NOTES:

- THE SUBJECT PROPERTY IS KNOWN AS PARCEL ID # 75.15-1-12 IN THE TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK.
- THE PROPOSED PROJECT IS A WIRELESS COMMUNICATIONS FACILITY. THE PROJECT CONSISTS OF INSTALLING TWO (2) PANEL ANTENNAS, FOUR (4) SMALL CELL UNITS AND TWO (2) GPS ANTENNA ON AN EXISTING BUILDING ROOFTOP. THE PROPOSED FACILITY IS UNMANNED. OCCUPANCY WILL BE LIMITED TO PERIODIC INSPECTIONS BY RADIO TECHNICIANS APPROXIMATELY ONCE PER MONTH. THEREFORE, POTABLE WATER, SANITARY SEWERS, AND ADDITIONAL SITE PARKING ARE NOT REQUIRED.
- FINAL CONNECTION TO ELECTRICAL AND TELEPHONE UTILITIES TO BE APPROVED BY THE APPROPRIATE UTILITY COMPANY.
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS HAS BEEN ISSUED FOR ZONING APPROVAL PURPOSES AND SHALL NOT BE USED AS CONSTRUCTION DOCUMENTS.
- ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN SHALL BE IN ACCORDANCE WITH:
 - CURRENT PREVAILING MUNICIPAL AND/OR COUNTY AUTHORITY SPECIFICATIONS, STANDARDS AND REQUIREMENTS.
 - CURRENT PREVAILING UTILITY COMPANY AUTHORITY SPECIFICATIONS, STANDARDS AND REQUIREMENTS.
- PROPERTY BOUNDARY AND EXISTING FEATURES INFORMATION SHOWN WAS OBTAINED FROM A SURVEY ENTITLED "EXISTING CONDITIONS SURVEY" BY COPPENS LAND SURVEYING, DATED 06-23-15 AND SUPPLEMENTED BY LIMITED FIELD OBSERVATIONS BY KMB ON 11-18-14.
- NO SITE SIGNAGE IS PROPOSED WITH THE EXCEPTION OF A SIGN NOTING RF TRANSMISSION ON THE ROOFTOP.
- THERE WILL BE NO CHANGE TO THE EXISTING SITE LANDSCAPING.

BULK REQUIREMENTS TABLE ZONING DISTRICT C (COMMERCIAL) (TOWN OF CARMEL ZONING TABLE)

ITEM	REQUIRED	EXISTING	PROPOSED
MIN LOT AREA (SF)	40,000	±16,262	NO CHANGE
MIN LOT WIDTH (FT)	200	±250.2	NO CHANGE
MIN LOT DEPTH (FT)	200	±22.79'	NO CHANGE
MIN FRONT YARD SETBACK (FT)	40	±5.5'	NO CHANGE
MIN SIDE YARD SETBACK (FT)	25	±2.0'	NO CHANGE
MIN REAR YARD SETBACK (FT)	30	±0.2'	NO CHANGE
MIN REQUIRED FLOOR AREA OF BUILDINGS (SF)	5,000	±5705.13	NO CHANGE
MAX HEIGHT (FT)	35	±30	NO CHANGE
MAX BUILDING COVERAGE (%)	30	±31.6	NO CHANGE
PARKING	18 ± 2 FOR PUBLIC UTILITY	18	LEGALIZE 2 PARKING SPACES NEAR ENTRANCE

* VARIANCE GRANTED BY ZBA 5/30/99



REV	DATE	DESCRIPTION	BY	CHK
1	05-12-15	REVISION: PER ATTORNEY COMMENTS	JRB	JRB
2	05-12-15	REVISION: PER ATTORNEY COMMENTS	JRB	JRB
3	05-12-15	REVISION: PER ATTORNEY COMMENTS	JRB	JRB
4	05-12-15	REVISION: PER ATTORNEY COMMENTS	JRB	JRB
5	05-12-15	REVISION: PER ATTORNEY COMMENTS	JRB	JRB
6	05-12-15	REVISION: PER ATTORNEY COMMENTS	JRB	JRB
7	05-12-15	REVISION: PER ATTORNEY COMMENTS	JRB	JRB
8	05-12-15	REVISION: PER ATTORNEY COMMENTS	JRB	JRB
9	05-12-15	REVISION: PER ATTORNEY COMMENTS	JRB	JRB
10	05-12-15	REVISION: PER ATTORNEY COMMENTS	JRB	JRB



Stephen A. Bray
PROFESSIONAL ENGINEER



NY LICENSE: 068054 7/12/16

PROJECT: 033800

321.0469
361 ROUTE 6
MAHOPAC, NY 10541
PUTNAM COUNTY
MAHOPAC 3_SC

SITE TYPE: ROOFTOP

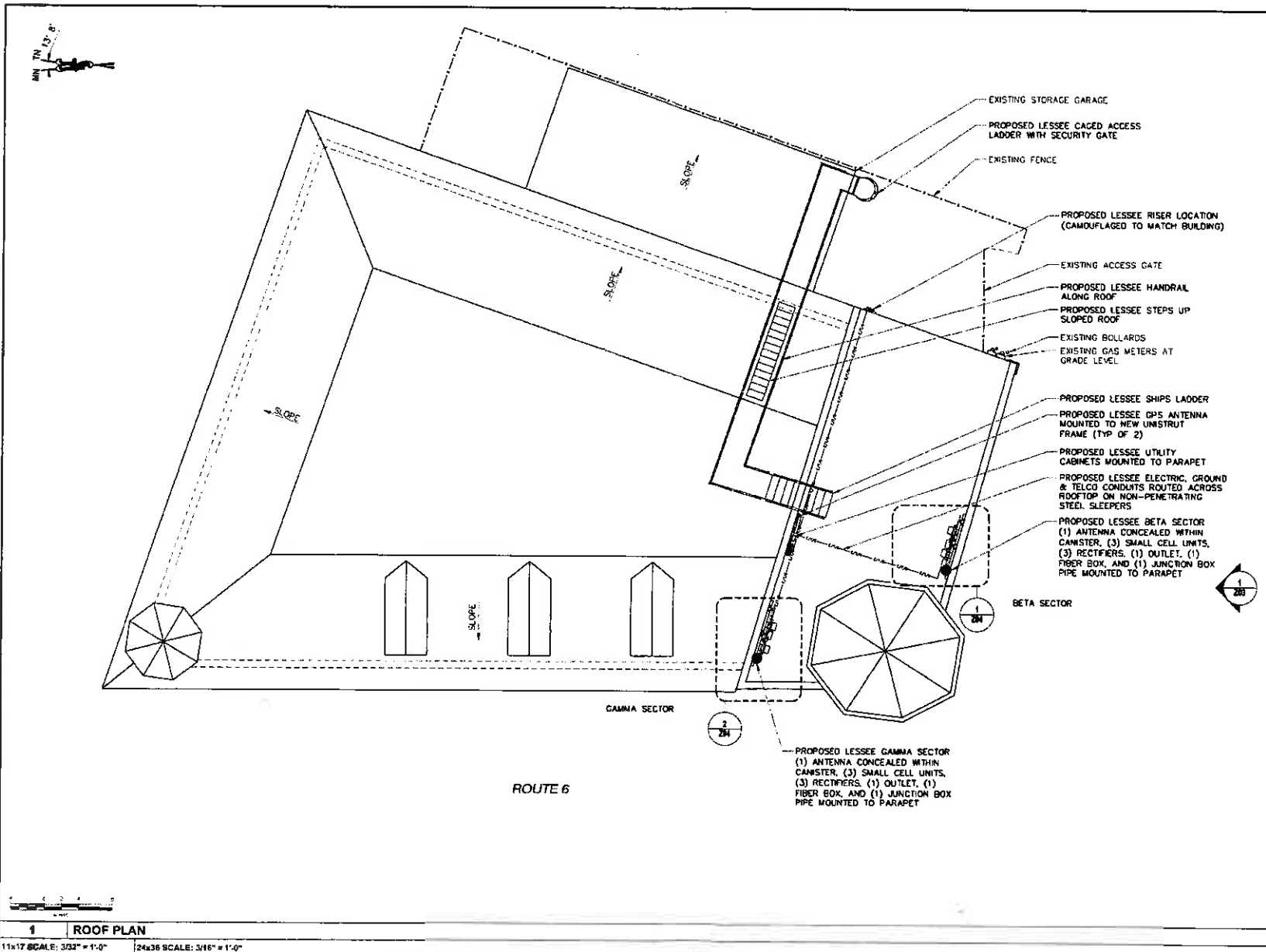
DRAWN BY: JRB CHECKED BY: JRB DATE: 05-12-15

SHEET TITLE: AREA PLAN

SHEET NUMBER: Z01

7

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REV	DATE	DESCRIPTION	DRAWN BY	CHKD BY
1	05-12-15	REVISION	JRB	SA



Stephen A. Bray
PROFESSIONAL ENGINEER

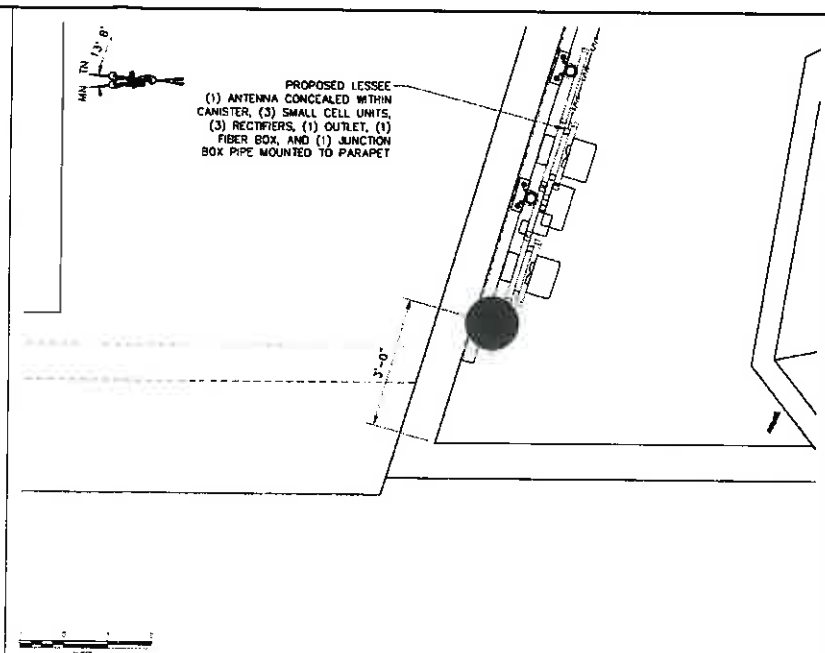
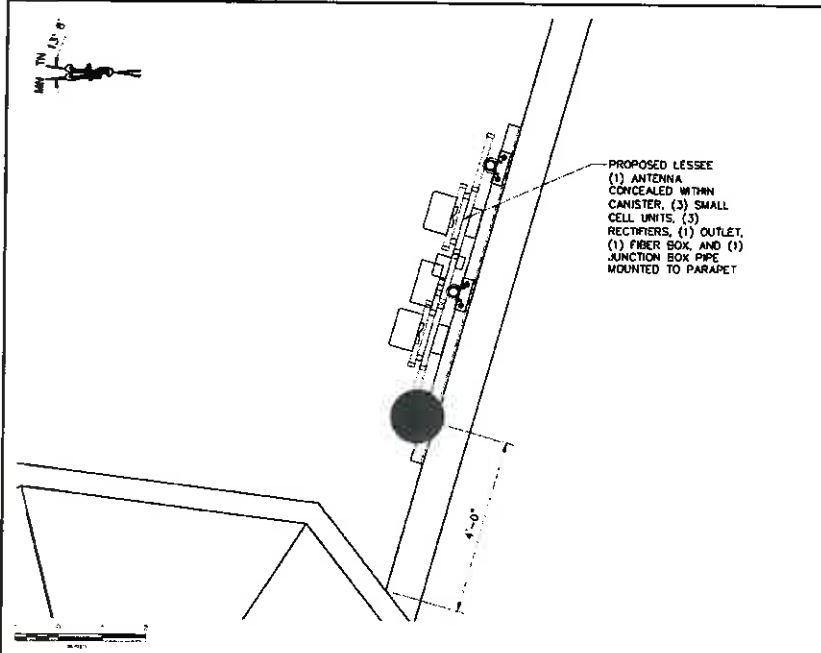


NY LICENSE 080054 7/12/16

PROJECT NUMBER	
321.0469	
SITE INFORMATION	
361 ROUTE 6 MAHOPAC, NY 10541 PUTNAM COUNTY	
MAHOPAC 3_SC	
DESIGN TYPE	
ROOFTOP	
DESIGNED BY	CHECKED BY DATE
RC	JRB 05-12-15
SHEET TITLE	
ROOF PLAN	
SHEET NUMBER	REV
Z02	7

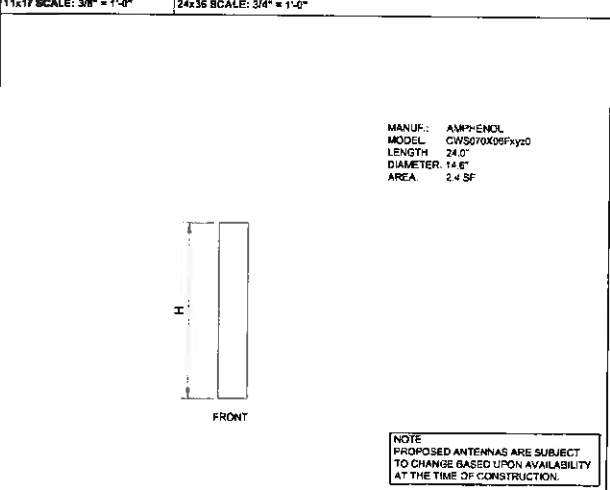
A1321 - 05/12/15 0449 - Mahopac 3_SC 361 Route 6 321.0469 CAD/ST/0449 0449 022 0449 7/12/2016 3:12:28 PM JRB/0449

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1 ANTENNA PLAN (BETA SECTOR)

2 ANTENNA PLAN (GAMMA SECTOR)



3 PANEL ANTENNA SPECIFICATIONS

SCALE: NTS

VERIZON WIRELESS

REV	DATE	REVISION DESCRIPTION	BY	CHKD
1	05-12-15	REVISION 1	JRB	
2	05-12-15	REVISION 2	JRB	
3	05-12-15	REVISION 3	JRB	
4	05-12-15	REVISION 4	JRB	
5	05-12-15	REVISION 5	JRB	
6	05-12-15	REVISION 6	JRB	
7	05-12-15	REVISION 7	JRB	
8	05-12-15	REVISION 8	JRB	
9	05-12-15	REVISION 9	JRB	
10	05-12-15	REVISION 10	JRB	

KMB DESIGN GROUP

Stephen A. Bray
PROFESSIONAL ENGINEER

NY LICENSE: 066064 7/12/18

PROJECT NUMBER: 321.0469

SITE INFORMATION:
361 ROUTE 6
MAHOPAC, NY 10541
PUTNAM COUNTY
MAHOPAC_3_SC

DESIGN TYPE: ROOFTOP

DESIGNED BY: RC CHECKED BY: JRB DATE: 05-12-15

SHEET TITLE: ANTENNA PLANS (ALL SECTORS) & DETAILS

SHEET NUMBER: Z04 7

4/24/21 10:00:00 AM 321.0469 MAHOPAC_3_SC 3/1/2018 11:30 AM 321.0469



STONEFIELD

engineering & design

September 2, 2016

Rose Trombetta
Planning Board Secretary
Carmel Town Hall
60 McAlpin Avenue
Mahopac, NY 10541

**RE: NY Fuel Distributors
Block 1, Lot 40
1923 US Route 6
Town of Carmel, Putnam County, New York**

Dear Ms. Trombetta:

Stonefield Engineering & Design, LLC is pleased to submit documents to address the comments contained within the Town Engineer's Review Letter dated July 11, 2016, the Town Planner's Review Letter dated July 13, 2016, and the Memorandum from the Director of Code Enforcement dated July 11, 2016. Please find the following items enclosed for review:

ITEM DESCRIPTION	DATED	COPIES	PREPARED BY
Site Plan	09-02-2016	5	Stonefield Engineering & Design
Environmental Assessment Form	09-02-2016	5	Stonefield Engineering & Design
Vehicular Circulation Exhibit	07-12-2016	5	Stonefield Engineering & Design
Architectural Plans	07-12-2016	5	GK&A Architects, PC
Subsurface Investigation and Groundwater Monitoring Report	09-23-2013	5	Tyree Environmental Corporation

The following is an itemized response to the comments contained within the Town Engineer's Review Letter:

General Comments:

1. *The following referrals would appear to be warranted:*
 - a. *The Town of Carmel Environmental Conservation Board*
 - b. *Putnam County Department of Planning (GML 239n referral; proximity to County highway)*
 - c. *Carmel Fire Department*
 - d. *New York Department of Environmental Protection (NYCDEP)*

Acknowledged. Applications have been filed to these agencies and review comments and/or approvals will be forwarded to the Planning Department upon receipt.

2. *Permits from the following would appear necessary:*
 - a. *New York State Department of Transportation - depending on improvements to the ingress/egress along Route 6*
 - b. *Town of Carmel Water Connection Permit*
 - c. *Town of Carmel Sewer Connection Permit*
 - d. *NYCDEP – Stormwater Pollution Prevention Plan*
 - e. *New York State Department of Environmental Conservation – Coverage under General Permit GP-0-15-002*

Acknowledged. Copies of all required permits will be forwarded to the Planning Department upon receipt.



3. *The existing and proposed site conditions should take into account the improvements recently made at the adjacent McDonalds site.*

The plans have been updated to include the improvements recently made at the adjacent McDonalds.

4. *The applicant should use the electronic version of the long environmental form as found on <http://www.dec.ny.gov/leafmapper/>. Additional back up information should be provided regarding the following:*

The long environmental form has been updated and also includes the electronic version. See below for expanded information on the requested topics.

- a. *Remediation which has occurred at the site*

There have been spill incidents (DEC ID #'s 0404621 & 0907948) according the NYCDEC Spill Incidents Database Search. A Subsurface Investigation and Groundwater Monitoring Report has been included as part of this submission with more information regarding these spill incidents and the remediation which has occurred.

- b. *Surface water features (streams and wetlands)*

Michael Brook (Class B) is located about 200 FT +/- from the site to the east. There are State-Regulated freshwater wetlands (Class 2) located about 250 FT from the site to the southeast. There are non-State-Regulated wetlands delineated by Ecological Solutions on March 9, 2014 located within 100 FT of the site. An application has been submitted to the Town Environmental Conservation Board due the proximity. Since the site is currently developed and no new impervious surfaces are proposed, no adverse impacts to the surrounding stream or wetlands are anticipated.

- c. *Endangered and threaten species*

A request has been submitted to the Natural Heritage Program to obtain data relevant to the endangered and threatened species within the vicinity of the site. The report will be forwarded to the Town upon receipt. It should be noted that no adverse impacts are anticipated to the endangered or threatened species since the site is currently developed and likely not a suitable habitat for any species. Additionally, a reduction in impervious areas is proposed.

- d. *Archeological sites*

There is a surveyed archeology area based on the NYS Cultural Resource Information System about 800 FT away from the site to the east. As the site is currently developed and no new impervious surfaces are proposed, no adverse impacts are anticipated to the archeology site.

5. *The stormwater management statement provided is insufficient. The applicant will need to provide the following:*
 - a. *Per the NYCDEP Watershed Rules and Regulations, §18-39(b)(3)(vi) a Stormwater Pollution Prevention Plans and Impervious Surfaces for the construction of a gasoline station is required. (Pending)*
 - b. *The overall disturbance for the project as proposed is 0.7 acre (30,536 sf), which therefore exceeds the threshold criteria of disturbance for New York State Department of Environmental Conservation (NYSDEC) stormwater regulations. This project is above the 5,000 sf threshold and below the 1 acre threshold and therefore requires coverage under the NYDEC SPDES General Permit for Stormwater Discharges and Construction Activity (GP-0-15-002) and the development of Stormwater Pollution Prevention Plan (SWPPP) that includes only erosion and sediment control and not permanent stormwater controls. (Pending)*

A Stormwater Pollution Prevention Plan (SWPPP) has been prepared and was submitted to the Planning Department as required by the NYCDEP for construction of a gasoline station. Additionally,



it is acknowledged that the proposed project will require coverage under the **NYDEC SPDES General Permit for Stormwater Discharges and Construction Activity (GP-0-15-002)**.

6. *The applicant should forward a copy of the June 2016 Traffic Impact Analysis to both the New York State Department of Transportation and Putnam County Highway and Facilities for review and approval. All findings from these organizations should be provided to the planning department.*

The applicant has submitted the Traffic Analysis as well as the Site Plan to the New York State Department of Transportation (NYSDOT) and Putnam County Department of Highway and Facilities. All findings from these agencies will be forwarded to the Planning Department upon receipt.

7. *The building elevation drawings do not include information regarding the canopy.*

Elevation drawings of the canopy can be found in the Construction Details (Sheet C-14) of the Site Plan Set.

8. *All re-grading required to accomplish the intended development should be provided. This includes areas where trees are being planted outside of the limit of disturbance.*

The Grading & Drainage Plan (Sheet C-5) has been updated to include the requested information.

9. *Vehicle Movement Plans should be provided which provide the following:*
- a. *Graphic representation of vehicle movements through the site should be provided to illustrate that sufficient space exists to maneuver vehicles through the site.*
 - b. *All turning radii for the site should be graphically provided. This includes the turning radii into the modified site entrances.*

A Vehicular Circulation Exhibit has been included as part of this submission which provides the requested graphical representation of vehicle movements throughout the site. Additionally, the Site Plan (Sheet C-4) has been updated to include the turning radii.

10. *The applicant may be required to supply a stormwater maintenance agreement and maintenance guarantee per Town Code (§156-85 and §156-87B respectively)*

Acknowledged.

11. *Should any public improvements be deemed necessary as part of the development of the tract, a Performance Bond and associated Engineering Fee must eventually be established for the work.*

Acknowledged.

Detailed Comments:

Site Plan C-4

- a) *Curbing for the island along Route 6 should be complete. Currently they are not lined up and not the full length of the island.*

This area is under the jurisdiction of the NYSDOT. Upon receipt of comments from the agency, Stonefield will attempt to address this matter.

- b) *Available sight distances at each driveway location should be specified on plan. Any clearing along the edge of the roadway R.O.W. that may be necessary to assure appropriate sight distances are provided, should be identified. All calculations should be provided.*

The Site Plan (Sheet C-4) has been updated to include the requested sight triangles.



- c) *Additional signage should be provided to help with traffic control at the site. This includes:*
- a. *Along the north entrance at Route 6 – do not enter signs (from the site onto Route 6).*
 - b. *Along the south east entrance at Route 6 – add a no left turn (from site onto Route 6)*
 - c. *Along the northwest exit/entrance along Stoneleigh Avenue – add no let turn (from site onto Stoneleigh)*

The Site Plan (Sheet C-4) has been updated to include the “Do Not Enter” and “No Left Turn” signs along Route 6. Left-turn egress onto Stoneleigh Avenue is not proposed to be restricted. The Traffic Impact Study submitted for the application demonstrates that this turning movement can be adequately accommodated. Further, placing such a restriction would force driver’s desires of traveling south to take a circuitous path along residential roadways along including Old Route 6, Hughson Road, and Kelly Road.

- d) *Drawing calls for a proposed landscape area outside the limits of disturbance. The landscaping plan shows trees being planted in this area. This area must be included as part of the overall disturbance of the site.*

The limit of disturbance has been updated to include all of the proposed landscaping.

- e) *Additional details and information should be provided regarding general note 9*

Based on the work within the public right-of-way, a Work Zone Traffic Control Plan will be prepared to promote an adequate work zone condition.

Utility Plan C-6

- a) *All proposed utilities (e.g., lights) should be provided on the drawing.*

The Utility Plan (Sheet C-6) includes all proposed utilities, including the location of the proposed light pole mounted light fixtures.

- b) *The signal light on Route 6 should be shown. Impacts regarding turning onto Route 6 and queuing on the site will need to be addressed.*

Refer to the Aerial Map on the Cover Sheet (C-1) which shows the signal. The Traffic Impact Study submitted for the application demonstrates that the anticipated queuing at the site driveway on US Route 6 would be minimal and would not interfere with on-site traffic flow and operations.

- c) *The use of trench drains is discouraged as, based on experience, these tend to fill up with sediment as they are not maintained.*

As the existing topography of the driveways is to remain, the trench drain is needed in order to collect all of the runoff. A note has been added to the Grading & Drainage Plan (Sheet C-5) to clean the trench drain and repair or replace as required.

- d) *The applicant does not address stormwater runoff from the canopy.*

The Grading & Drainage Plan (Sheet C-5) has been updated to include the proposed drainage design for the canopy.

- e) *The applicant should provide wind load calculations for the canopy.*

Construction Plans for the canopy, inclusive of the requested calculations, will be submitted as part of the Building Permit Application.

- f) *Details should be provided to identify roof leader connections.*



The Grading & Drainage Plan (Sheet C-5) has been updated to include the roof leader connection locations.

- g) *All sewers must meet the Town of Carmel Town Code §120-29.*

Acknowledged. A note has been added (Town Note 1) to the Utility Plan (Sheet C-7)

- h) *Sidewalks, manholes, and guiderails should be installed per §128 of the Town of Carmel Town code.*

Acknowledged. A note has been added (Town Note 2) to the Site Plan (Sheet C-4)

- i) *All water service connections must be K-copper.*

Acknowledged. A note has been added (Town Note 3) to the Utility Plan (Sheet C-7)

- j) *Gate valves shall be AWWA non-rising stem type, as manufactured by Mueller Company, Model A-2360-23 or approved equal, conforming to the latest AWA Standard Gate Valves – 3” through 48” – for Water and Other liquids, AWA Designation C-509.*

Acknowledged. A note has been added (Town Note 4) to the Utility Plan (Sheet C-7)

- k) *Sizes up to and including 12” shall be 250 psi working pressure. The valve body and bonnet shall be ductile iron. All interior and exterior metal surfaces shall be coated with a two-part thermosetting epoxy complying with AWWA C550.*

Acknowledged. A note has been added (Town Note 5) to the Utility Plan (Sheet C-7)

- l) *Valves shall have dual “O” ring seals, inside screw, resilient wedge seats in accordance with AWWA Designation C-550 and shall be constructed so as to provide unobstructed full port clearance when fully open and immediately complete closure when closed. The ends of the valves shall be mechanical joint.*

Acknowledged. A note has been added (Town Note 6) to the Utility Plan (Sheet C-7)

- m) *All valves shall be arranged to open in counter clockwise direction unless otherwise specifically indicated and operating nuts shall be 2” square.*

Acknowledged. A note has been added (Town Note 7) to the Utility Plan (Sheet C-7)

- n) *Valves shall be tested to a pressure of not less than two times the working pressure.*

Acknowledged. A note has been added (Town Note 8) to the Utility Plan (Sheet C-7)

- o) *Water Service Saddles shall be equal to those as manufactured by Mueller Company, Model 7 ½” x 1” SS Series Stainless Steel Saddle, Double Stud.*

Acknowledged. A note has been added (Town Note 9) to the Utility Plan (Sheet C-7)

- p) *Corporation stops shall be equal to those as manufactured by Mueller Company, Model B-25000 Series, NRS and of all size required. Such corporation stops shall meet the requirements of AWWA Specification No. C800.*

Acknowledged. A note has been added (Town Note 10) to the Utility Plan (Sheet C-7)

- q) *Curb valve (stops) shall be equal to those as manufactured by Mueller Company, Model H-15214 and shall conform to AWWA Specification NO. C800.*

Acknowledged. A note has been added (Town Note 11) to the Utility Plan (Sheet C-7)



- r) *Curb boxes shall be equal to those as manufactured by Mueller Company and similar to Mueller extension type with arch pattern base model H-10314 all extension rods shall be stainless steel.*

Acknowledged. A note has been added (Town Note 12) to the Utility Plan (Sheet C-7)

Soil Erosion and Sediment Control Plan C-8

- a) *The use of hay bales is not recommended.*

The plans have been updated and no longer propose the use of hay bales. Refer to the Soil Erosion & Sediment Control Plan (Sheet C-8) of the Site Plan Set.

Landscaping Plan and Details C-9 and C-10

- a) *All Plantings should be verified by the Town of Carmel Wetlands Inspector.*

Acknowledged.

- b) *All plantings shall be installed per §142 of the Town of Carmel Town Code.*

Acknowledged.

Miscellaneous

- a) *The applicant provided a water and wastewater use report.*

Acknowledged.

The following is an itemized response to comments 4-13 contained within the Town Planner's Review Letter:

4. Off-Street Parking:

- a) *As noted above, the proposed facility is comprised of 2 separate uses, the gas station and the retail convenience store. The cumulative off-street parking requirement for site must reflect both uses. §156-42 establishes an off-street parking requirement for the retail use of 1 space/200 square feet of gross floor area. A specific parking requirement is not established for the gas station use. A determination by the Director of Code Enforcement is required to establish the parking requirement for the gas station use. The total off-street parking requirement for the site is:*
- *1,824 square foot retail use – 10 spaces*
 - *Gas Station use – T.B.D.*

It has been determined by the Director of Code Enforcement that off-street parking is for the retail use only. Refer to the Site Plan (Sheet C-4) for the updated parking calculations. No variance is required for the number of off-street parking spaces.

- b) *15 Parking spaces are provided in striped parking spaces, and 12 spaces are available at the pumps for a total of 27 off-street parking spaces.*

Acknowledged. It has been determined that the 12 spaces at the pumps will not be considered in the proposed parking calculations. The plan is therefore compliant with respect to off-street parking.

- c) *The practicality of the 9 parking spaces on the northern side of the site, on the far side of the pump islands from the convenience store, is questioned. It would appear unlikely (and inconvenient) that a customer intending to purchase goods at the convenience store would park some 200' from the store, and cross through the gas pump island traffic to make their way to the store. If these spaces are required to support the convenience store, then they should be*



relocated closer to the store, or pedestrian access more clearly and safely defined. If these spaces will be reserved for employees, then they should be so designated, and perhaps the number of spaces reduced, and the pervious open space area of the site increased.

The additional parking spaces at the west end of the site are proposed to be utilized by employees and customers using the air pump, as well as overflow parking during peak hours. These spaces will accommodate demand that would otherwise have to use the prime parking spaces closest to the building which are intended for customers. A crosswalk and ADA compliant curb ramp have been added along with sidewalk in order to provide a pedestrian connection from the parking area to the convenience store. Additionally, it should be noted that the redevelopment results in an overall decrease of impervious areas and this area is impervious under existing conditions.

5. Off-Street Loading:

- a) *In accordance with §156-42 C. 1 off-street loading space is required. The site plan notes a loading area adjacent to the east side of the convenience store, however, it is enclosed by customer parking, making its use impractical during times when the store is operating. A more feasible loading area should be considered, unless deliveries can be regulated and scheduled during off-peak periods.*

The applicant plans to schedule all deliveries during off-peak periods.

6. Site Circulation:

- a) *A vehicle maneuvering plan is requested. This plan should depict vehicle maneuvering patterns around the site, and should document that adequate travel lanes are available and unimpeded. The maneuvering plan should also address fuel truck maneuvering, and if the presence of a fuel truck will prevent any areas of the site from being used, or prevent adequate vehicle circulation during times of fuel delivery.*

A Vehicular Circulation Exhibit is included as part of this submission which in order to provide a graphical representation of vehicle movements throughout the site.

- b) *As noted above, the practicality of the northern parking spaces is questioned. If they are indeed necessary, pedestrian circulation should be accounted for, whether via sidewalks, of designated pedestrian routes that do not conflict with the access driveways or vehicle movements.*

A sidewalk and crosswalk are proposed to provide a path for pedestrians to reach the convenience store. It should be noted that this parking area is anticipated to serve employees and customers using the air pump.

7. Traffic Impact Analysis:

- a) *No major changes to the existing site driveways have been proposed. A complete Traffic Impact Letter Report, prepared by Stonefield Engineering has been submitted in support of the application. The report notes that the proposed facility will result in an increase of 40 AM and 66 PM peak hour vehicle trips. While over half of this volume will result from pass-by traffic, or traffic already on the surrounding roadways, the levels-of-serve at the Route 6 driveways will be impacted, with levels-of-service E experienced for certain movements at certain times. Given the significance of this intersection, the history of problematic "cut-through" traffic, the Board should determine if it is necessary to retain its own traffic consultant to review the Stonefield traffic study.*

It has been determined that the Planning Board has retained its own traffic consultant and we await its comments.

8. Site Operational Characteristics:

- a) *The applicant should describe the operational characteristics of the site.*



Coco Farms offers its customers a variety of fresh products and merchandise at a clean modern convenience store. Customers are Coco Farm's priority and providing them with excellent friendly service is always Coco Farm's goal. Coco Farms is a one stop shop where you can gas up your vehicle with Shell quality gas and also get a fresh Columbian cup of coffee, a croissant, lottery ticket, and newspaper all in one place. All at a state of the art location with the latest equipment and best customer service.

- b) *What are the hours of operation? Will it operate 24 hours a day?*

The convenience store and gas station will operate 24 hours a day.

- c) *Is the gas station and convenience store operated under common management, or are separate operators/concessionaires responsible for the various uses?*

The gas station and convenience store are operated under common management.

- d) *Is Coco Farms a franchise? How many other facilities exist?*

Coco Farms is a privately owned retail business owning a total of five properties to date.

- e) *How many employees will work at this site?*

It is anticipated that two employees will work per shift. A note has been added to the Site Plan (Sheet C-4).

- f) *Will any vehicle services be provided at the site other than gas?*

No other vehicle services will be provided other than gas at the site.

9. Fuel Storage Tanks:

- a) *The site plan indicates that 2 new underground fuel storage tanks are proposed. The size of the existing tanks, as well as the status of the existing tanks should be clarified. Document DEC compliance.*

There are two existing tanks. One is 10,000 gallons of regular fuel, while the other is split into 6,000 gallons of super fuel and 4,000 gallons of diesel. The proposed tanks will include one 12,000 gallon tank and the other tank will be split into a 7,000 gallon super fuel and 5,000 gallons of diesel.

- b) *Is a propane tank sale facility proposed at the site? If so, its location should be noted on the Site Plan.*

A propane tank sale facility is proposed by the southwest corner of the proposed convenience store. The Site Plan (Sheet C-4) has been updated accordingly.

10. Site Utilities:

- a) *Will any unusual utility service demands result from the new facility?*

It is not anticipated that there will be any unusual utility service demands as a result of the new facility.

11. Site Lighting:

- a) *A site lighting plan (C-7) has been submitted in support of this application, which illustrates levels of illumination across the site. In certain locations the Town's illumination standard of 1 footcandle at the property line is exceeded. Can modifications be made to fixtures or illumination levels to bring this into compliance?*

The Lighting Plan (Sheet C-7) has been revised to propose new light poles throughout the site; Re-use of the existing light poles is no longer proposed. This will improve the light levels to further comply with the Town standard.



- b) *Building mounted light fixtures are not indicated. Are any proposed?*

A wall-mounted light is proposed on the eastern façade of the convenience store. Additionally, refer to the architectural plans for wall sconce light fixtures on the front face of the building.

- c) *What energy conservation measures have been incorporated into the lighting plan?*

The proposed light fixtures are all LED with photocell sensors, which enable the light to only be on at the appropriate times.

12. Landscaping:

- a) *A planting plan has been provided (C-9) which indicates proposed plantings. As noted above, the conditional use screening standard of 6' tall plantings, 10' deep has not been met. While taller plantings may interfere with sight distances at this site, measures should be considered to enhance the proposed planting plan at this location.*

The Landscaping Plan (Sheet C-9) has been revised to propose additional plantings in order to further screen and enhance the area. Due to the unusual lot configuration, and extents of the sight distance triangles, there is an inability to provide 10 FT of depth for screening. It should also be noted that the property is surrounded by commercial properties. Upon receipt of comments from the NYSDOT, the applicant will consider further landscaping enhancements.

- b) *It is noted that no landscaping is provided along the Route 6 side of the site. It may be possible to utilize the Route 6 DOT right-of-way for landscaping. The applicant is requested to reach out to the DOT to explore this possibility.*

The Site Plan has been sent to the DOT for review. Upon receipt of comments, we will forward to your office and address this comment.

- c) *The triangle of land formed by the intersection of Route 6 and Stoneleigh Avenue is left primarily as a lawn area, with 3 new maple trees next to the parking area. It is recommended that the landscaping of this very conspicuous area be significantly enhanced. An opportunity to create some type of landscape focal point is apparent.*

The Landscaping Plan (Sheet C-9) has been updated to significantly enhance this area.

13. Building Aesthetics:

- a) *A building elevation has been provided (A-2) which provides some indication of the proposed appearance of the building. Additional details are requested, including materials and colors to gain a better understanding of the proposal. The physical appearance of this site is of paramount importance.*

Updated Architectural Plans have been included as part of the submission which provide the requested information.

- b) *Where will HVAC and mechanical equipment be placed?*

The Site Plan (Sheet C-4) has been updated in to include the location of the HVAC and mechanical equipment, which will be located by the southwest façade of the building.

- c) *Given the prominent location of this site, it may be appropriate for the Board's architectural consultant to review the proposed building architecture.*

Acknowledged.



The following is an itemized response to comments contained within the Director of Code Enforcement's Memorandum:

1. *The applicant proposed to demo the existing Fuel/Repair Shop and rebuild a Fuel/Convenience Store and change the traffic pattern at the existing gas station on Rt. 6 in Carmel.*

Acknowledged.

2. *Provide Setbacks to property lines for all buildings and underground tanks to all property lines to ensure compliance with code.*

Refer to the Site Plan (Sheet C-4) for the requested information.

3. *Variances are required from the ZBA*

Acknowledged. The Site Plan (Sheet C-4) has been revised to include all noted variances.

4. *Provide measurements on the building elevations (include area of sign(s)). This is needed to ensure compliance with code for both the building and the sign ordinance.*

The Site Plan (Sheet C-4) has been updated to include the requested information.

5. *This project must be referred to ECB for comments.*

Acknowledged.

6. *Provide a list of all previously approved variances.*

Not applicable. The site is being redeveloped and processed accordingly.

Should you have any questions, please do not hesitate to contact our office.

Best regards,

Jeffrey Martell, PE, PP, CME, LEED AP
Stonefield Engineering and Design, LLC

Frank A. Filiciotto, PE
Stonefield Engineering and Design, LLC

Sent via FedEx

cc: Leo Napier, esq. – HKP LLP



Department of
Environmental
Conservation

Spill Incidents Database Search Details

Spill Record

Administrative Information

DEC Region: 3

Spill Number: 1008163

Spill Date/Time

Spill Date: 11/03/2010 **Spill Time:** 02:30:00 PM

Call Received Date: 11/03/2010 **Call Received Time:** 04:03:00 PM

Location

Spill Name: SHELL S/S # 138608

Address: 1923 BREWSTER AVE

City: CARMEL **County:** Putnam

Spill Description

Material Spilled Amount Spilled Resource Affected

gasoline UNKNOWN Soil

Cause: Equipment Failure

Source: Gasoline Station or other PBS Facility

Waterbody:

PBS #:

Record Close

Date Spill Closed: 09/25/2013

"Date Spill Closed" means the date the spill case was closed by the case manager in the Department of Environmental Conservation (the Department). The spill case was closed because either; a) the records and data submitted indicate that the necessary cleanup and removal actions have been completed and no further remedial activities are necessary, or b) the case was closed for administrative reasons (e.g., multiple reports of a single spill consolidated into a single spill number). The Department however reserves the right to require additional remedial work in relation to the spill, if in the future it determines that further action is necessary.

If you have questions about this reported incident, please contact the Regional Office where the incident occurred.

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Sponsor Information.

Name of Action or Project: Proposed Convenience Store and Fueling Station		
Project Location (describe, and attach a general location map): 1923 US Route 6, Town of Carmel, Putnam County, New York		
Brief Description of Proposed Action (include purpose or need): Proposed Commercial Redevelopment consisting of a 1,824 SF convenience store and a 3,600 gas canopy. Additional site improvements include on-site parking, utility services, lighting, and landscaping.		
Name of Applicant/Sponsor: Jeffrey Martell (Stonefield Engineering & Design, LLC)		Telephone: (201) 340-4468
		E-Mail: JMartell@Stonefieldeng.com
Address: 75 Orient Way; Suite 303		
City/PO: Rutherford	State: NJ	Zip Code: 07030
Project Contact (if not same as sponsor; give name and title/role):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor): NY Dealer Stations, LLC		Telephone:
		E-Mail:
Address: 25 St. Charles Street		
City/PO: Thornwood	State: NY	Zip Code: 10594

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	Town of Carmel Site Plan Approval	06/10/2016 (Projected)
b. City, Town or Village <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Planning Board or Commission	Town of Carmel Site Plan Approval	06/10/2016 (Projected)
c. City Council, Town or <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Village Zoning Board of Appeals		
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Town of Carmel Environmental Conservation Board, Water & Sewer Approval	07/10/2016 (Projected)
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Putnam County Planning Board	06/24/2016 (Projected)
f. Regional agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYCDEP SWPPP Approval	06/24/2016 (Projected)
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYSDOT Highway Work Permit NYSDC SPDES GP-0-15-002 Permit	06/24/2016 (Projected)
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? ☐ Yes ☒ No

- If Yes, complete sections C, F and G.
- If No, proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? ☒ Yes ☐ No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? ☒ Yes ☐ No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) ☒ Yes ☐ No

If Yes, identify the plan(s):

NYC Watershed Boundary

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? ☐ Yes ☒ No

If Yes, identify the plan(s):

C.3. Zoning	
a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. If Yes, what is the zoning classification(s) including any applicable overlay district?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Commercial (C) Zone _____	
b. Is the use permitted or allowed by a special or conditional use permit?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
c. Is a zoning change requested as part of the proposed action?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, i. What is the proposed new zoning for the site? _____	
C.4. Existing community services.	
a. In what school district is the project site located?	Carmel School District _____
b. What police or other public protection forces serve the project site?	Town of Carmel _____
c. Which fire protection and emergency medical services serve the project site?	Lake Carmel 17 Fire Department _____
d. What parks serve the project site?	N/A _____

D. Project Details

D.1. Proposed and Potential Development	
a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Commercial - Proposed Convenience Store and Fueling Station _____	
b. a. Total acreage of the site of the proposed action?	_____ 0.92 acres
b. b. Total acreage to be physically disturbed?	_____ 0.70 acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?	_____ 0.92 acres
c. Is the proposed action an expansion of an existing project or use?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____	
d. Is the proposed action a subdivision, or does it include a subdivision?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) _____	
ii. Is a cluster/conservation layout proposed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
iii. Number of lots proposed? _____	
iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____	
e. Will proposed action be constructed in multiple phases?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
i. If No, anticipated period of construction: _____ months	
ii. If Yes:	
<ul style="list-style-type: none"> • Total number of phases anticipated _____ • Anticipated commencement date of phase 1 (including demolition) _____ month _____ year • Anticipated completion date of final phase _____ month _____ year • Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____ 	

f. Does the project include new residential uses? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, show numbers of units proposed.				
	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes,	
i. Total number of structures <u>2</u>	
ii. Dimensions (in feet) of largest proposed structure: <u>18 FT</u> height; <u>50 FT</u> width; and <u>72 FT</u> length	
iii. Approximate extent of building space to be heated or cooled: <u>1,824</u> square feet	

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes,	
i. Purpose of the impoundment: _____	
ii. If a water impoundment, the principal source of the water: <input type="checkbox"/> Ground water <input type="checkbox"/> Surface water streams <input type="checkbox"/> Other specify: _____	
iii. If other than water, identify the type of impounded/contained liquids and their source. _____	
iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres	
v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length	
vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____	

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes:	
i. What is the purpose of the excavation or dredging? _____	
ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?	
• Volume (specify tons or cubic yards): _____	
• Over what duration of time? _____	
iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____	
iv. Will there be onsite dewatering or processing of excavated materials? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, describe. _____	
v. What is the total area to be dredged or excavated? _____ acres	
vi. What is the maximum area to be worked at any one time? _____ acres	
vii. What would be the maximum depth of excavation or dredging? _____ feet	
viii. Will the excavation require blasting? <input type="checkbox"/> Yes <input type="checkbox"/> No	
ix. Summarize site reclamation goals and plan: _____	

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes:	
i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____	

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will proposed action cause or result in disturbance to bottom sediments? ☐ Yes ☐ No
If Yes, describe: _____

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation? ☐ Yes ☐ No
If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? ☒ Yes ☐ No
If Yes:

i. Total anticipated water usage/demand per day: _____ 800 gallons/day

ii. Will the proposed action obtain water from an existing public water supply? ☒ Yes ☐ No
If Yes:

- Name of district or service area: Town of Carmel
- Does the existing public water supply have capacity to serve the proposal? ☒ Yes ☐ No
- Is the project site in the existing district? ☒ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☒ No
- Do existing lines serve the project site? ☒ Yes ☐ No

iii. Will line extension within an existing district be necessary to supply the project? ☐ Yes ☒ No
If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? ☐ Yes ☒ No
If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? ☒ Yes ☐ No
If Yes:

i. Total anticipated liquid waste generation per day: _____ 800 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____
Sanitary Wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities? ☒ Yes ☐ No
If Yes:

- Name of wastewater treatment plant to be used: Town of Carmel Wastewater Treatment Plant
- Name of district: Town of Carmel
- Does the existing wastewater treatment plant have capacity to serve the project? ☒ Yes ☐ No
- Is the project site in the existing district? ☒ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☒ No

<ul style="list-style-type: none"> • Do existing sewer lines serve the project site? _____ • Will line extension within an existing district be necessary to serve the project? If Yes: <ul style="list-style-type: none"> • Describe extensions or capacity expansions proposed to serve this project: _____ 	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? If Yes: <ul style="list-style-type: none"> • Applicant/sponsor for new district: _____ • Date application submitted or anticipated: _____ • What is the receiving water for the wastewater discharge? _____ 	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans): _____ _____	
vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____ _____ _____	
e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? If Yes: <ul style="list-style-type: none"> i. How much impervious surface will the project create in relation to total size of project parcel? _____ Square feet or _____ acres (impervious surface) _____ Square feet or _____ acres (parcel size) ii. Describe types of new point sources. _____ iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)? _____ _____ <ul style="list-style-type: none"> • If to surface waters, identify receiving water bodies or wetlands: _____ • Will stormwater runoff flow to adjacent properties? _____ 	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No
iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?	<input type="checkbox"/> Yes <input type="checkbox"/> No
f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? If Yes, identify: <ul style="list-style-type: none"> i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles) _____ ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers) _____ iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation) _____ 	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? If Yes: <ul style="list-style-type: none"> i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) ii. In addition to emissions as calculated in the application, the project will generate: <ul style="list-style-type: none"> • _____ Tons/year (short tons) of Carbon Dioxide (CO₂) • _____ Tons/year (short tons) of Nitrous Oxide (N₂O) • _____ Tons/year (short tons) of Perfluorocarbons (PFCs) • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆) • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs) • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs) 	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No

<p>h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Estimate methane generation in tons/year (metric): _____</p> <p>ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____</p>			
<p>i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____</p>			
<p>j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. When is the peak traffic expected (Check all that apply): <input type="checkbox"/> Morning <input type="checkbox"/> Evening <input type="checkbox"/> Weekend <input type="checkbox"/> Randomly between hours of _____ to _____.</p> <p>ii. For commercial activities only, projected number of semi-trailer truck trips/day: _____</p> <p>iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____</p> <p>iv. Does the proposed action include any shared use parking? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____</p>			
<p>vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>			
<p>k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Estimate annual electricity demand during operation of the proposed action: _____</p> <p>TBD</p> <p>ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____</p> <p>Grid/Local Utility</p> <p>iii. Will the proposed action require a new, or an upgrade to, an existing substation? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>			
<p>l. Hours of operation. Answer all items which apply.</p> <table style="width: 100%; border: none;"> <tr> <td style="width: 50%; vertical-align: top;"> <p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ * • Saturday: _____ * • Sunday: _____ * • Holidays: _____ * </td> <td style="width: 50%; vertical-align: top;"> <p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ * • Saturday: _____ * • Sunday: _____ * • Holidays: _____ * </td> </tr> </table>		<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ * • Saturday: _____ * • Sunday: _____ * • Holidays: _____ * 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ * • Saturday: _____ * • Sunday: _____ * • Holidays: _____ *
<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ * • Saturday: _____ * • Sunday: _____ * • Holidays: _____ * 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ * • Saturday: _____ * • Sunday: _____ * • Holidays: _____ * 		

(*) In Accordance with Town Requirements

<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration:</p> <p>HVAC Equipment _____</p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Describe: _____</p>	
<p>n. Will the proposed action have outdoor lighting? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:</p> <p>Please Refer to the Lighting Plan associated with the subject property. The proposed lighting includes wall mounted lights on building structures and pole mounted lights (mounting height = 20 FT) with full shielding.</p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Describe: _____</p>	
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____</p>	
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Product(s) to be stored Petroleum and diesel</p> <p>ii. Volume(s) 24,000 gal per unit time month (e.g., month, year)</p> <p>iii. Generally describe proposed storage facilities: _____</p> <p>underground storage tanks for gasoline fueling station</p>	
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe proposed treatment(s): _____</p>	
<p>ii. Will the proposed action use Integrated Pest Management Practices? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>	
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> • Construction: TBD tons per _____ (unit of time) • Operation : +/-20 tons per _____ Year (unit of time) <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> • Construction: TBD • Operation: Recycling Storage Provided On-Site <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> • Construction: TBD • Operation: 10'x10' Trash/Recycling Enclosure 	

s. Does the proposed action include construction or modification of a solid waste management facility? ☐ Yes ☒ No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? ☐ Yes ☒ No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? ☐ Yes ☐ No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

☐ Urban ☐ Industrial ☒ Commercial ☐ Residential (suburban) ☐ Rural (non-farm)

☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other (specify): _____

ii. If mix of uses, generally describe: _____

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0.58	0.51	-0.07
• Forested	N/A	N/A	N/A
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	0.34	0.41	+0.07
• Agricultural (includes active orchards, field, greenhouse etc.)	N/A	N/A	N/A
• Surface water features (lakes, ponds, streams, rivers, etc.)	N/A	N/A	N/A
• Wetlands (freshwater or tidal)	N/A	N/A	N/A
• Non-vegetated (bare rock, earth or fill)	N/A	N/A	N/A
• Other Describe: _____	N/A	N/A	N/A

c. Is the project site presently used by members of the community for public recreation? ☐ Yes ☒ No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? ☐ Yes ☒ No
If Yes,
i. Identify Facilities: _____

e. Does the project site contain an existing dam? ☐ Yes ☒ No
If Yes:
i. Dimensions of the dam and impoundment:
• Dam height: _____ feet
• Dam length: _____ feet
• Surface area: _____ acres
• Volume impounded: _____ gallons OR acre-feet
ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection: _____

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? ☐ Yes ☒ No
If Yes:
i. Has the facility been formally closed? ☐ Yes ☐ No
• If yes, cite sources/documentation: _____
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____

iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? ☐ Yes ☒ No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? ☒ Yes ☐ No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: ☒ Yes ☐ No
☒ Yes – Spills Incidents database Provide DEC ID number(s): 0404621 & 0907948
☐ Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
☐ Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? ☐ Yes ☒ No
If yes, provide DEC ID number(s): _____

iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): _____

v. Is the project site subject to an institutional control limiting property uses? ☐ Yes ☐ No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? ☐ Yes ☐ No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ 4 feet

b. Are there bedrock outcroppings on the project site? ☐ Yes ☒ No
If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site:

Uc - Udorthents, wet substratum	80 %
Uf - Urban land	20 %
	%

d. What is the average depth to the water table on the project site? Average: _____ 1.5 to 6 feet

e. Drainage status of project site soils: ☐ Well Drained: _____ % of site
☐ Moderately Well Drained: _____ % of site
☒ Poorly Drained 100 % of site

f. Approximate proportion of proposed action site with slopes: ☒ 0-10%: 100 % of site
☐ 10-15%: _____ % of site
☐ 15% or greater: _____ % of site

g. Are there any unique geologic features on the project site? ☐ Yes ☒ No
If Yes, describe: _____

h. Surface water features:

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? ☐ Yes ☒ No

ii. Do any wetlands or other waterbodies adjoin the project site? ☒ Yes ☐ No
If Yes to either i or ii, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? ☒ Yes ☐ No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

• Streams:	Name Michael Brook	Classification B
• Lakes or Ponds:	Name	Classification
• Wetlands:	Name	Approximate Size 31.4 Acres
• Wetland No. (if regulated by DEC)	LC-55	

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? ☐ Yes ☒ No
If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? ☐ Yes ☒ No

j. Is the project site in the 100 year Floodplain? ☐ Yes ☒ No

k. Is the project site in the 500 year Floodplain? ☐ Yes ☒ No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? ☒ Yes ☐ No
If Yes:
i. Name of aquifer: Principal Aquifer

<p>m. Identify the predominant wildlife species that occupy or use the project site: _____</p> <p style="margin-left: 20px;">Typical to Region _____</p> <p>_____</p>	
<p>n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Describe the habitat/community (composition, function, and basis for designation): _____</p> <p style="margin-left: 20px;">ii. Source(s) of description or evaluation: _____</p> <p style="margin-left: 20px;">iii. Extent of community/habitat:</p> <ul style="list-style-type: none"> • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres 	
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>	
<p>To be confirmed by Report.</p>	
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	
<p>To be confirmed by Report.</p>	
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If yes, give a brief description of how the proposed action may affect that use: _____</p> <p>_____</p>	
<p>E.3. Designated Public Resources On or Near Project Site</p>	
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, provide county plus district name/number: _____</p>	
<p>b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p style="margin-left: 20px;">i. If Yes: acreage(s) on project site? _____</p> <p style="margin-left: 20px;">ii. Source(s) of soil rating(s): _____</p>	
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature</p> <p style="margin-left: 20px;">ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____</p> <p>_____</p>	
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. CEA name: _____</p> <p style="margin-left: 20px;">ii. Basis for designation: _____</p> <p style="margin-left: 20px;">iii. Designating agency and date: _____</p>	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes: <ul style="list-style-type: none"> i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District ii. Name: _____ iii. Brief description of attributes on which listing is based: _____ 	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes: <ul style="list-style-type: none"> i. Describe possible resource(s): _____ ii. Basis for identification: _____ 	
h. Is the project site within fives miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes: <ul style="list-style-type: none"> i. Identify resource: _____ ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____ iii. Distance between project and resource: _____ miles. 	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes: <ul style="list-style-type: none"> i. Identify the name of the river and its designation: _____ ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? <input type="checkbox"/> Yes <input type="checkbox"/> No 	

F. Additional Information

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

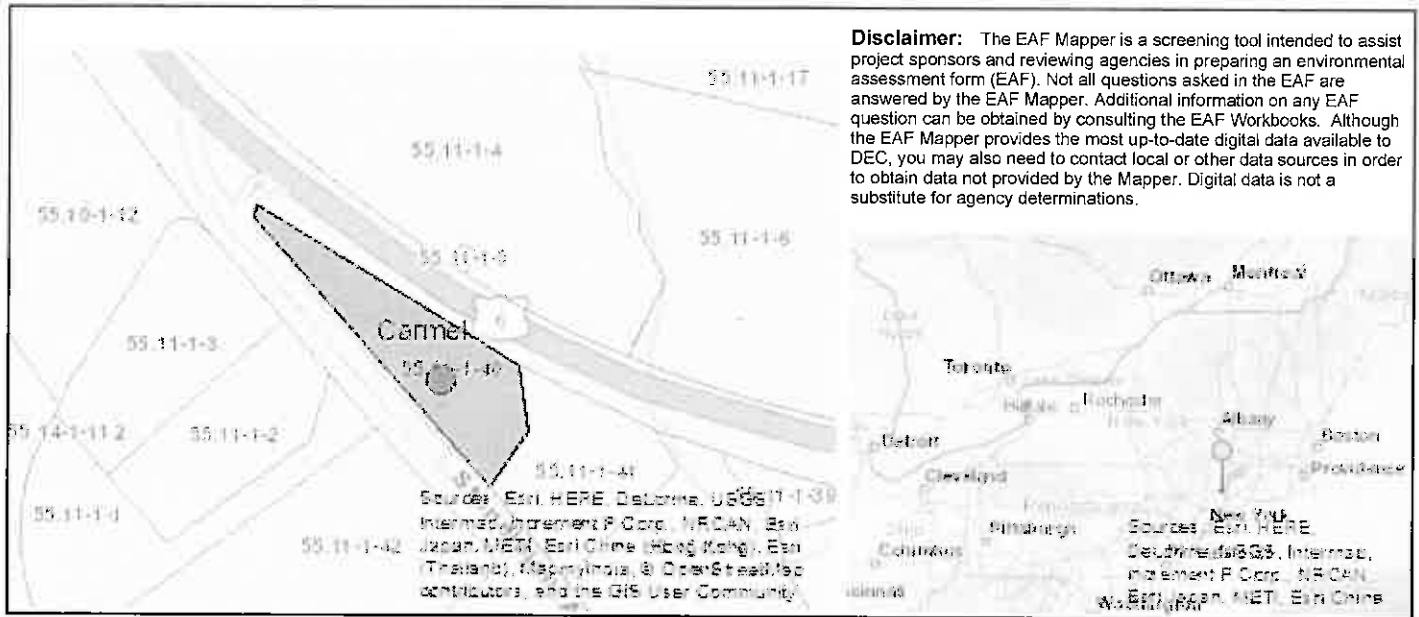
G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name NY Fuels Distributors, LLC Date 06/06/2016

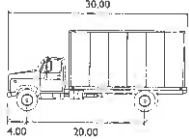
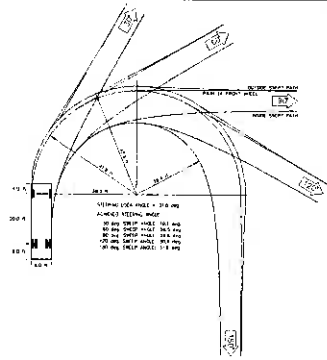
Signature _____ Title Project Engineer

PRINT FORM



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Yes - Digital mapping data are not available for all Special Planning Districts. Refer to EAF Workbook.
C.2.b. [Special Planning District - Name]	NYC Watershed Boundary
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.iv [Surface Water Features - Wetlands Name]	Federal Waters
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	Yes
E.2.l. [Aquifer Names]	Principal Aquifer

E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	Yes
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National Register of Historic Places]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No

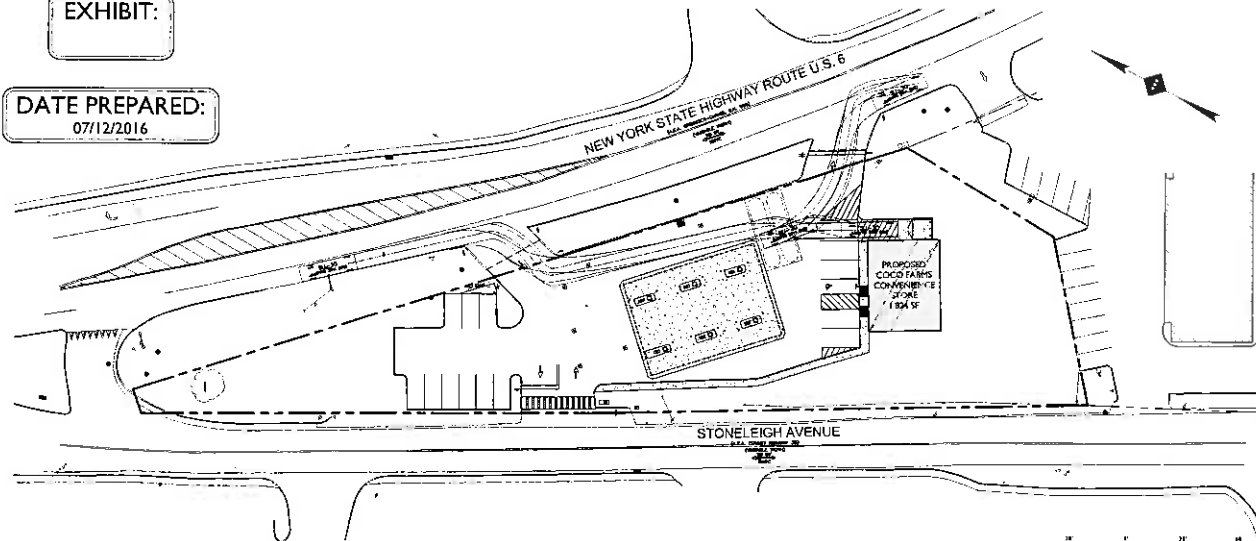


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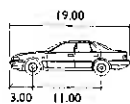
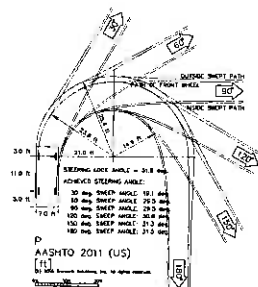
Width : 8.00
Track : 8.00
Lock to Lock Time : 6.0
Steering Angle : 31.8

EXHIBIT:

DATE PREPARED:
07/12/2016

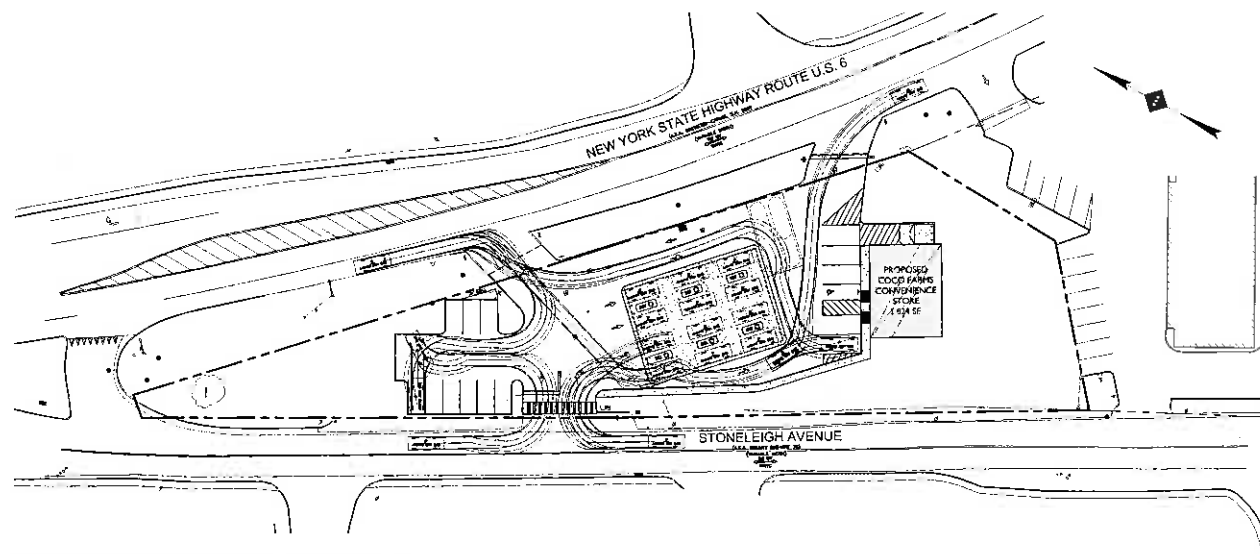


DELIVERIES/TRASH REMOVAL



LARGE CAR feet

Width : 7.00
Track : 6.00
Lock to Lock Time : 6.0
Steering Angle : 31.6



PASSENGER VEHICLE CIRCULATION

DATE	BY	REVISION
07/12/2016	JR	ISSUED FOR ROAD MEETING

NOT APPROVED FOR CONSTRUCTION

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Phone 201.340.4466 • Fax 201.340.4472

EXHIBIT

**PROPOSED CONVENIENCE
STORE AND FUELING
STATION**

BLOCK 1, LOT 48
1000 JUS ROYAL
PUTNAM COUNTY, NEW YORK

JONATHAN R. STRANNI
NEW JERSEY LICENSE NO. 13141
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

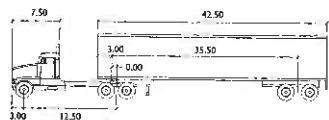
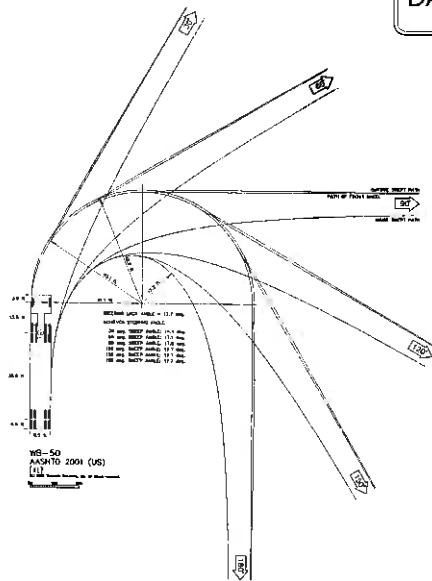
SCALE: 1" = 30' PROJECT NO. 141844

TITLE:
**VEHICULAR
CIRCULATION
EXHIBIT**

DRAWING:
1 OF 2

EXHIBIT:

DATE PREPARED:
07/12/2016



VB-50

Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 17.7
Tractor Track	: 8.00	Articulating Angle	: 70.8
Trailer Track	: 8.50		

TANK FUELING

GRAPHIC SCALE IN FEET
1" = 30'

NOT APPROVED FOR CONSTRUCTION

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Phone: 201.340.4468 • Fax: 201.340.4472

EXHIBIT
**PROPOSED CONVENIENCE
STORE AND FUELING
STATION**
BLOCK 1, LOT 49
TODD'S ROUTE 1
PUTNAM COUNTY, NEW YORK

JONATHAN R. STRANZI
NEW YORK LICENSE NO. 1816
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 30' PROJECT NO: T-1036

TITLE:
VEHICULAR
CIRCULATION
EXHIBIT

DRAWING:

2 OF 2



Proposed

COCO FARMS

CONVENIENCE STORE

AND FUELING STATION

1123 US ROUTE 6
TOWN OF CANCEL
PUTNAM COUNTY, NEA YORK

Gary Kleesch
AIA, AIA/NCI, NCID

Architect's Title

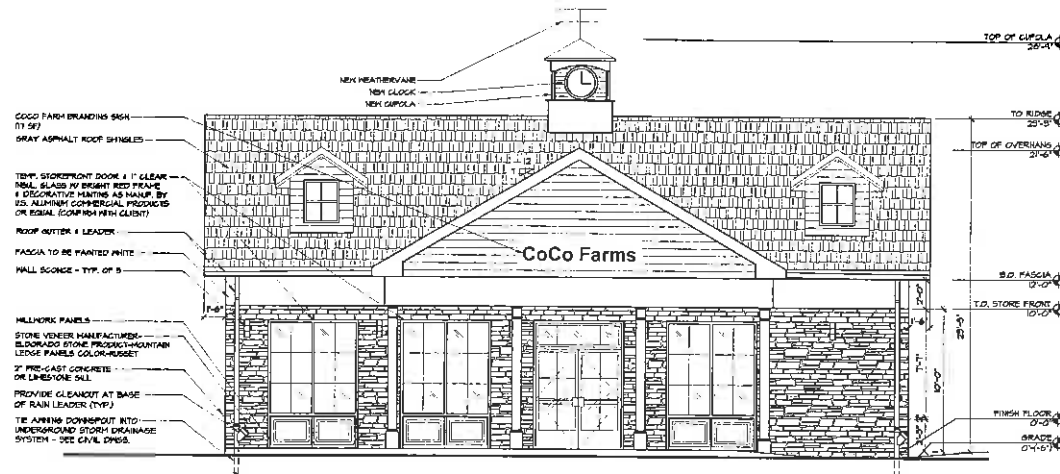
PROPOSED FLOOR PLAN

Date	Lang No.
07/12/16	A
Drawn by	
A.M.	
Checked by	
O.V.	
Job No.	
15-031	1 of 3

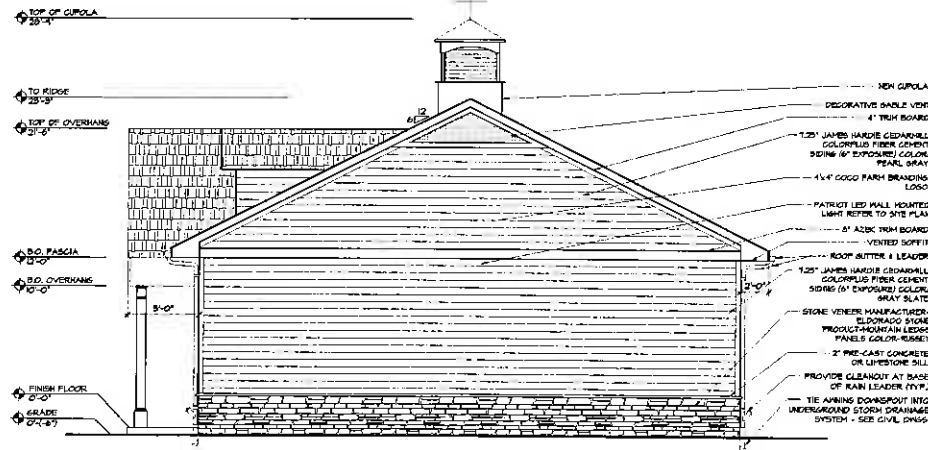
15-031

ARCHITECTS PC

36 Aunts Avenue
Rutherford, NJ 07070
Tel. 201.896.0333
Fax. 201.896.9969
enad@architects.pc



1 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"

36 Ames Avenue
Rutherford, NJ 07070
Tel. 201.896.0353
Fax 201.896.9469
email@garykiesch.com

garykiesch
ARCHITECTS, P.C.

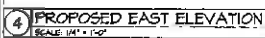
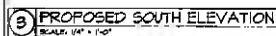
Gary Kiesch and Associate Architects

Date	
Drawn/Revised/Checked	

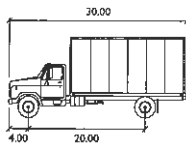
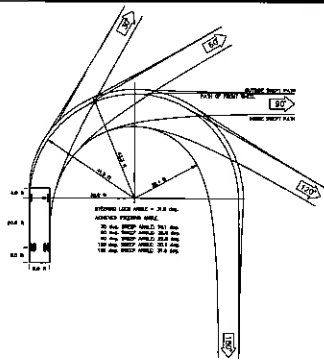
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N.Y. 025416	N.Y. 025416	FL. 065522	FL. 065522
PA. 111845	PA. 111845	MD. 14129	MD. 14129
PA. 111845	PA. 111845	DC. 11236	DC. 11236
PA. 111845	PA. 111845	MA. 10010	MA. 10010

Proposed
COCO FARMS
CONVENIENCE STORE
AND FUELING STATION
1225 US ROUTE 6
TOWN OF CARBELL
PUTNAM COUNTY, NEW YORK

Date	07/12/16	Drawn By	A.M.
Checked By	C.M.	Checked By	C.M.
Date	05-08	Page	2 of 3



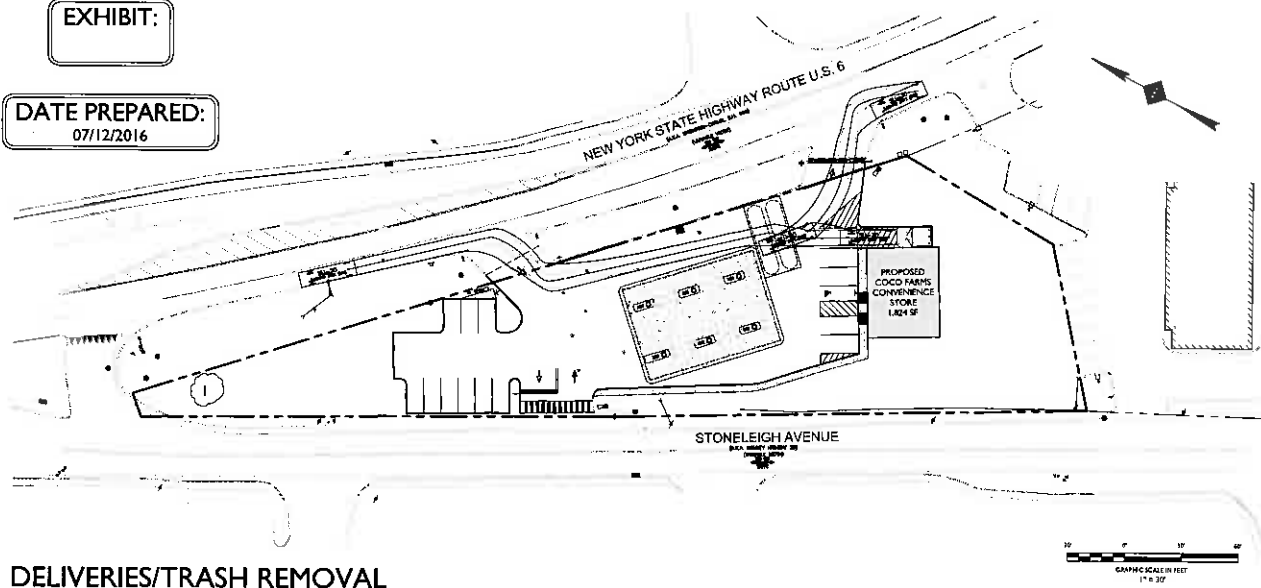
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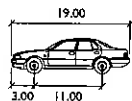
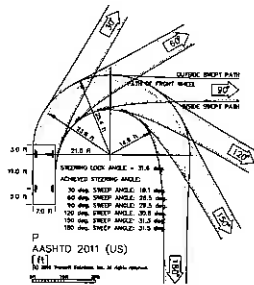
SU-30 feet
 Width : 8.00
 Track : 8.00
 Lock to Lock Time : 6.0
 Steering Angle : 31.8

EXHIBIT:

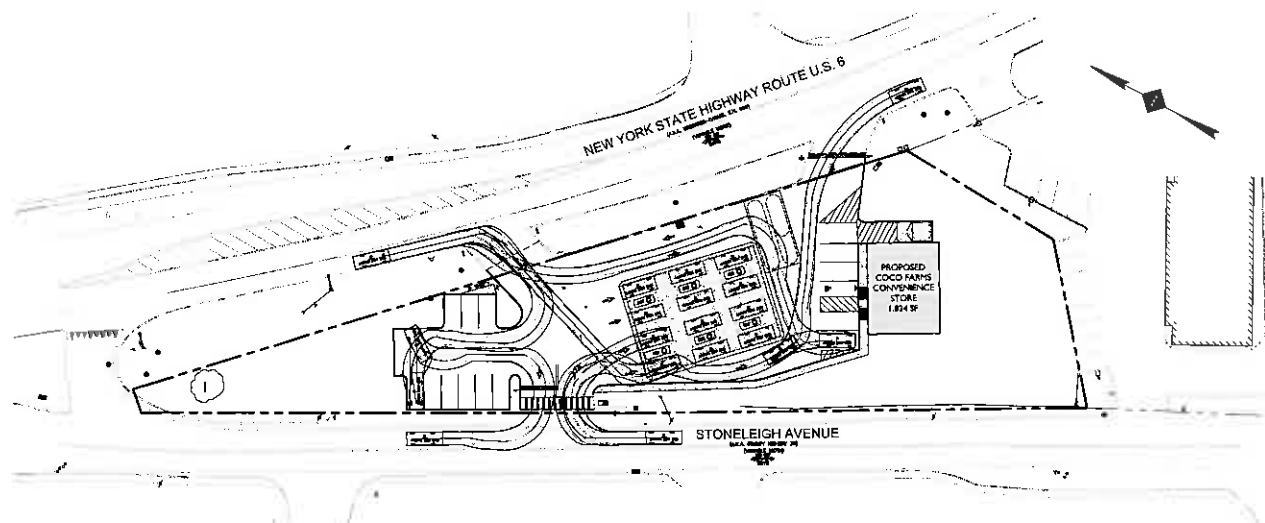
DATE PREPARED:
 07/12/2016



DELIVERIES/TRASH REMOVAL



LARGE CAR feet
 Width : 7.00
 Track : 7.00
 Lock to Lock Time : 6.0
 Steering Angle : 31.6



PASSENGER VEHICLE CIRCULATION

NO.	DATE	BY	DESCRIPTION
1	07/12/2016	JHE	INITIAL FOR BOARD MEETING

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
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 201 E. Main St., Suite 200
 Rockland, NJ 07866
 Phone: 201.346.4448 • Fax: 201.346.4472
 www.stonfieldeng.com

EXHIBIT
PROPOSED CONVENIENCE STORE AND FUELING STATION
 BLOCK 1, LOT 48
 1923 U.S. ROUTE 6
 PUTNAM COUNTY, NEW YORK

(JONATHAN R. ESTRAND)
 NEW YORK LICENSE NO. 5191
 LICENSED PROFESSIONAL ENGINEER

STONEFIELD
 engineering & design

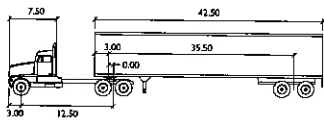
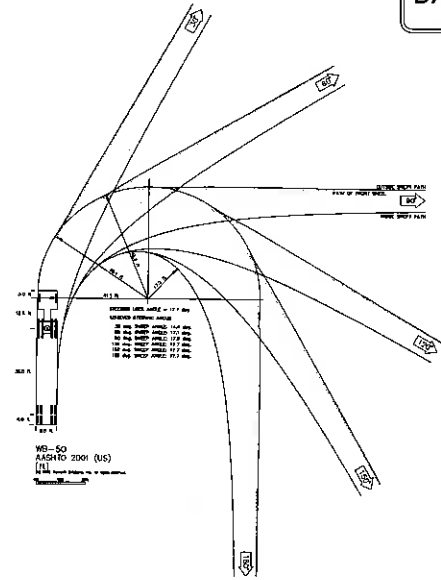
SCALE: 1" = 30' PROJECT ID: T-1084

TITLE: **VEHICULAR CIRCULATION EXHIBIT**

DRAWING:

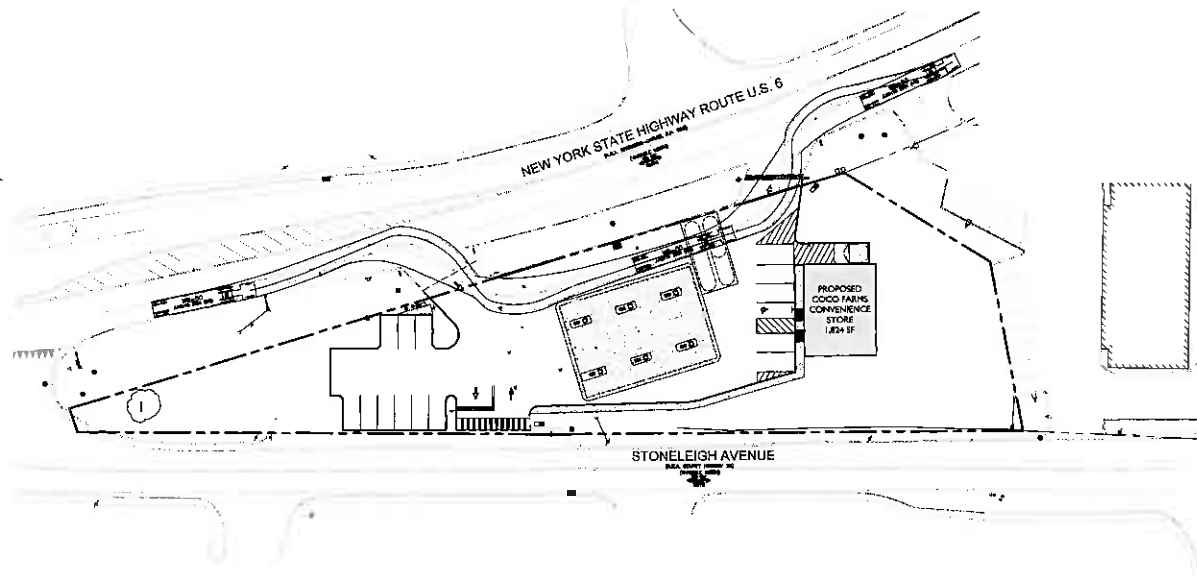
EXHIBIT:

DATE PREPARED:
07/12/2016



WB-50	feet		
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 17.7
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.50		

TANK FUELING



GRAPHIC SCALE IN FEET
1" = 30'

NOT APPROVED FOR CONSTRUCTION

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EXHIBIT

**PROPOSED CONVENIENCE
STORE AND FUELING
STATION**

BLUCKE LOT #4
1923 U.S. ROUTE 4
POCONO, NEW YORK
PUTNAM COUNTY, NEW YORK

JONATHAN R. ISTRANTY
NEW YORK LICENSE NO. 11961
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 30' PROJECT ID: T-15184

TITLE: VEHICULAR CIRCULATION EXHIBIT

DRAWING: 2 OF 2



LOCATION MAP
SCALE: 1" = 2,000'±



AERIAL MAP
SCALE: 1" = 100'±

SITE PLAN FOR NY FUEL DISTRIBUTORS, LLC PROPOSED CONVENIENCE STORE AND FUELING STATION

BLOCK I, LOT 40
1923 U.S. ROUTE 6
TOWN OF CARMEL
PUTNAM COUNTY, NEW YORK

TOWN CERTIFICATION	
I, SECRETARY, HEREBY CERTIFY THAT THE SITE PLAN MEETS ALL OF THE REQUIREMENTS OF THE TOWN OF CARMEL ZONING ORDINANCE.	
SECRETARY - PLANNING BOARD	DATE
TOWN ENGINEER	DATE

APPLICANT

GOOD FARMS
230 HAMARONCK AVENUE
SUITE 300
WHITE PLAINS, NY 10605

OWNER

NY DEALER STATIONS LLC
25 ST. CHARLES STREET
THORNWOOD, NY 10994

NO.	DATE	BY	DESCRIPTION
1	1/11/2011	STC	ISSUED FOR TOWN REVIEW
2	1/11/2011	STC	REVISED PER PLANNING BOARD REQUIREMENTS
3	1/11/2011	STC	ISSUED FOR TOWN REVIEW
4	1/11/2011	STC	REVISED PER PLANNING BOARD REQUIREMENTS
5	1/11/2011	STC	ISSUED FOR TOWN REVIEW
6	1/11/2011	STC	REVISED PER PLANNING BOARD REQUIREMENTS
7	1/11/2011	STC	ISSUED FOR TOWN REVIEW
8	1/11/2011	STC	REVISED PER PLANNING BOARD REQUIREMENTS
9	1/11/2011	STC	ISSUED FOR TOWN REVIEW
10	1/11/2011	STC	REVISED PER PLANNING BOARD REQUIREMENTS

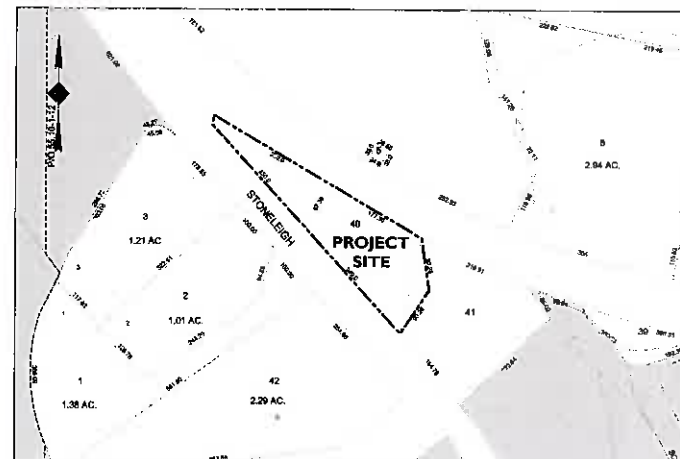
NOT APPROVED FOR CONSTRUCTION

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Headquarters: 75 Orient Way, Suite 303, Rutherford, NJ 07070
Phone 201.340.4468 • Fax 201.340.4472

NY FUEL DISTRIBUTORS, LLC
PROPOSED CONVENIENCE STORE
AND FUELING STATION
BLOCK I, LOT 40
1923 U.S. ROUTE 6
TOWN OF CARMEL
PUTNAM COUNTY, NEW YORK

STONEFIELD
engineering & design, llc
JEFFREY A. MARTELL, P.E.
NEW YORK LICENSE NO. 00000000000000000000
SCALE: AS SHOWN PROJECT BY: T-0000
TITLE: COVER SHEET
DRAWING: C-1

TAX MAP
SCALE: 1" = 100'±



PLANS PREPARED BY:

STONEFIELD
engineering & design
Rutherford, NJ • Long Island City, NY • Royal Oak, MI
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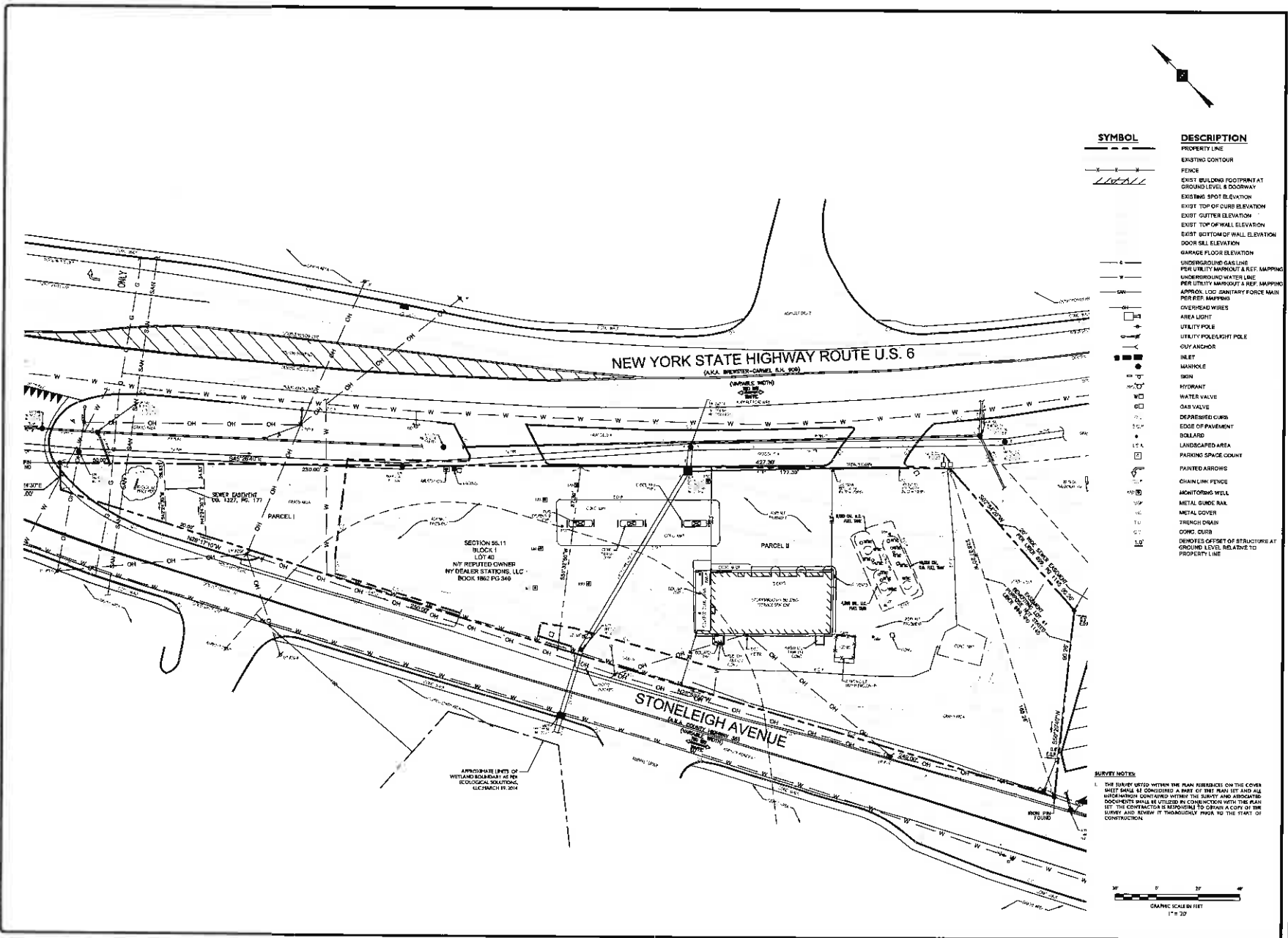
Headquarters: 75 Orient Way, Suite 303, Rutherford, NJ 07070
Phone 201.340.4468 • Fax 201.340.4472

PLAN REFERENCE MATERIALS:

1. THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
 - BOUNDARY & TOPOGRAPHIC SURVEY, PREPARED BY GALLAS ENGINEERING DATED OCTOBER 3, 2010.
 - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO, LANDSAT (PAGENCY DATE 5/20/2011)
 - LOCATION MAP OBTAINED FROM U.S. GEOLOGICAL SURVEY 7.5 MINUTE SERIES 1:62,500 CARMEL, NY QUADRANGLE 3013
2. ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

DRAWING TITLE	SHEET #
COVER SHEET	C-1
EXISTING CONDITIONS PLAN	C-2
DEMOLITION PLAN	C-3
SITE PLAN	C-4
GRADING & DRAINAGE PLAN	C-5
UTILITY PLAN	C-6
LIGHTING PLAN	C-7
SOIL EROSION & SEDIMENT CONTROL PLAN	C-8
LANDSCAPING PLAN & DETAILS	C-9 - C-10
CONSTRUCTION DETAILS	C-11 - C-14
500 FT. RADIUS PROPERTY OWNER MAP	1 OF 1

811
Know what's below
Call before you dig.



SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	EXISTING CONTOUR
---	FENCE
---	EXIST. BUILDING FOOTPRINT AT GROUND LEVEL & DOORWAY
---	EXISTING SPOT ELEVATION
---	EXIST. TOP OF CURB ELEVATION
---	EXIST. GUTTER ELEVATION
---	EXIST. TOP OF WALL ELEVATION
---	EXIST. BOTTOM OF WALL ELEVATION
---	DOOR SILL ELEVATION
---	GARAGE FLOOR ELEVATION
---	UNDERGROUND GAS LINE
---	PER UTILITY MARKOUT & REF. MAPPING
---	UNDERGROUND WATER LINE
---	PER UTILITY MARKOUT & REF. MAPPING
---	APPROX. LOC. SANITARY FORCE MAIN
---	PER REF. MAPPING
---	OVERHEAD WIRES
---	AREA LIGHT
---	UTILITY POLE
---	UTILITY POLE/LIGHT POLE
---	GUY ANCHOR
---	INLET
---	MANHOLE
---	SKIN
---	HYDRANT
---	WATER VALVE
---	GAS VALVE
---	DEPRESSED CURB
---	EDGE OF PAVEMENT
---	BOLLARD
---	LANDSCAPED AREA
---	PARKING SPACE COUNT
---	PAINTED ARROWS
---	CHAIN LINK FENCE
---	AGRICULTURAL WELL
---	METAL CURB RAIL
---	METAL COVER
---	TRENCH CHAIN
---	CONC. CURB
---	DEMOLISH EXIST. STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE

NO.	DATE	BY	DESCRIPTION
1	11/11/2011	JEFFREY A. MARTELL	REVISED PER TOWN ENGINEER COMMENTS
2	11/11/2011	JEFFREY A. MARTELL	REVISED PER PLANNING BOARD ACCEPTANCE COMMENTS
3	11/11/2011	JEFFREY A. MARTELL	REVISED PER TOWN ENGINEER COMMENTS
4	11/11/2011	JEFFREY A. MARTELL	REVISED PER PLANNING BOARD ACCEPTANCE COMMENTS
5	11/11/2011	JEFFREY A. MARTELL	REVISED PER TOWN ENGINEER COMMENTS
6	11/11/2011	JEFFREY A. MARTELL	REVISED PER PLANNING BOARD ACCEPTANCE COMMENTS
7	11/11/2011	JEFFREY A. MARTELL	REVISED PER TOWN ENGINEER COMMENTS
8	11/11/2011	JEFFREY A. MARTELL	REVISED PER PLANNING BOARD ACCEPTANCE COMMENTS
9	11/11/2011	JEFFREY A. MARTELL	REVISED PER TOWN ENGINEER COMMENTS
10	11/11/2011	JEFFREY A. MARTELL	REVISED PER PLANNING BOARD ACCEPTANCE COMMENTS

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
engineering & design, LLC

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NY FUEL DISTRIBUTORS, LLC
PROPOSED CONVENIENCE STORE AND FUELING STATION

BLOCK 1, LOT 49
TOWN OF CARROLL
PUTNAM COUNTY, NEW YORK

JEFFREY A. MARTELL, P.E.
NEW YORK LICENSE NO. 00026
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design, LLC

SCALE: 1" = 20' PROJECT ID: T10966

TITLE: EXISTING CONDITIONS PLAN

DRAWING: C-2

TABLE OF LAND USE AND ZONING			
BLOCK 1, LOT 46			
COMMERCIAL (C)			
PROPOSED USE	PERMITTED USE	PROPOSED USE	PROPOSED USE
CONVENIENCE STORE AND FUELING STATION	CONVENIENCE STORE	CONVENIENCE STORE	CONVENIENCE STORE
1. FUEL DISPENSING	1. FUEL DISPENSING	1. FUEL DISPENSING	1. FUEL DISPENSING
2. FUEL DISPENSING	2. FUEL DISPENSING	2. FUEL DISPENSING	2. FUEL DISPENSING
3. FUEL DISPENSING	3. FUEL DISPENSING	3. FUEL DISPENSING	3. FUEL DISPENSING
4. FUEL DISPENSING	4. FUEL DISPENSING	4. FUEL DISPENSING	4. FUEL DISPENSING
5. FUEL DISPENSING	5. FUEL DISPENSING	5. FUEL DISPENSING	5. FUEL DISPENSING
6. FUEL DISPENSING	6. FUEL DISPENSING	6. FUEL DISPENSING	6. FUEL DISPENSING
7. FUEL DISPENSING	7. FUEL DISPENSING	7. FUEL DISPENSING	7. FUEL DISPENSING
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11. FUEL DISPENSING	11. FUEL DISPENSING	11. FUEL DISPENSING	11. FUEL DISPENSING
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16. FUEL DISPENSING	16. FUEL DISPENSING	16. FUEL DISPENSING	16. FUEL DISPENSING
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19. FUEL DISPENSING	19. FUEL DISPENSING	19. FUEL DISPENSING	19. FUEL DISPENSING
20. FUEL DISPENSING	20. FUEL DISPENSING	20. FUEL DISPENSING	20. FUEL DISPENSING

PARKING REQUIREMENT	
ORDINANCE SECTION	PROPOSED
SECTION 15-4-1	CONVENIENCE STORE 1 SPACE PER 100 SF OF GROUND FLOOR AREA
SECTION 15-4-2	15 PARKING SPACES REQUIRED
SECTION 15-4-3	15 PARKING SPACES REQUIRED
SECTION 15-4-4	15 PARKING SPACES REQUIRED
SECTION 15-4-5	15 PARKING SPACES REQUIRED
SECTION 15-4-6	15 PARKING SPACES REQUIRED
SECTION 15-4-7	15 PARKING SPACES REQUIRED
SECTION 15-4-8	15 PARKING SPACES REQUIRED
SECTION 15-4-9	15 PARKING SPACES REQUIRED
SECTION 15-4-10	15 PARKING SPACES REQUIRED
SECTION 15-4-11	15 PARKING SPACES REQUIRED
SECTION 15-4-12	15 PARKING SPACES REQUIRED
SECTION 15-4-13	15 PARKING SPACES REQUIRED
SECTION 15-4-14	15 PARKING SPACES REQUIRED
SECTION 15-4-15	15 PARKING SPACES REQUIRED
SECTION 15-4-16	15 PARKING SPACES REQUIRED
SECTION 15-4-17	15 PARKING SPACES REQUIRED
SECTION 15-4-18	15 PARKING SPACES REQUIRED
SECTION 15-4-19	15 PARKING SPACES REQUIRED
SECTION 15-4-20	15 PARKING SPACES REQUIRED

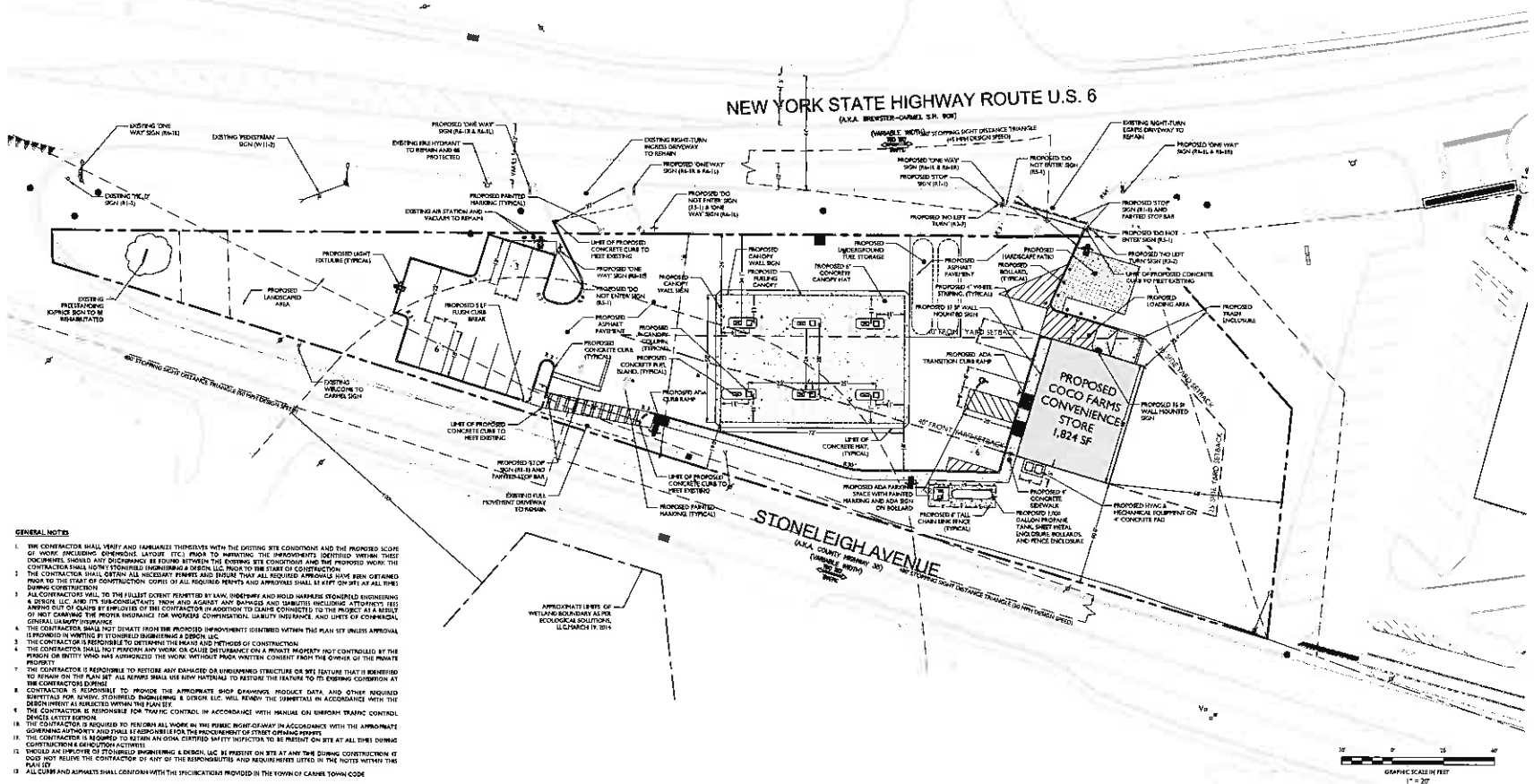
CONDITIONAL USE CRITERIA	
ORDINANCE SECTION	PROPOSED
SECTION 15-4-1	CONVENIENCE STORE 1 SPACE PER 100 SF OF GROUND FLOOR AREA
SECTION 15-4-2	15 PARKING SPACES REQUIRED
SECTION 15-4-3	15 PARKING SPACES REQUIRED
SECTION 15-4-4	15 PARKING SPACES REQUIRED
SECTION 15-4-5	15 PARKING SPACES REQUIRED
SECTION 15-4-6	15 PARKING SPACES REQUIRED
SECTION 15-4-7	15 PARKING SPACES REQUIRED
SECTION 15-4-8	15 PARKING SPACES REQUIRED
SECTION 15-4-9	15 PARKING SPACES REQUIRED
SECTION 15-4-10	15 PARKING SPACES REQUIRED
SECTION 15-4-11	15 PARKING SPACES REQUIRED
SECTION 15-4-12	15 PARKING SPACES REQUIRED
SECTION 15-4-13	15 PARKING SPACES REQUIRED
SECTION 15-4-14	15 PARKING SPACES REQUIRED
SECTION 15-4-15	15 PARKING SPACES REQUIRED
SECTION 15-4-16	15 PARKING SPACES REQUIRED
SECTION 15-4-17	15 PARKING SPACES REQUIRED
SECTION 15-4-18	15 PARKING SPACES REQUIRED
SECTION 15-4-19	15 PARKING SPACES REQUIRED
SECTION 15-4-20	15 PARKING SPACES REQUIRED

SIGNAGE REQUIREMENTS	
ORDINANCE SECTION	PROPOSED
SECTION 15-4-1	CONVENIENCE STORE 1 SPACE PER 100 SF OF GROUND FLOOR AREA
SECTION 15-4-2	15 PARKING SPACES REQUIRED
SECTION 15-4-3	15 PARKING SPACES REQUIRED
SECTION 15-4-4	15 PARKING SPACES REQUIRED
SECTION 15-4-5	15 PARKING SPACES REQUIRED
SECTION 15-4-6	15 PARKING SPACES REQUIRED
SECTION 15-4-7	15 PARKING SPACES REQUIRED
SECTION 15-4-8	15 PARKING SPACES REQUIRED
SECTION 15-4-9	15 PARKING SPACES REQUIRED
SECTION 15-4-10	15 PARKING SPACES REQUIRED
SECTION 15-4-11	15 PARKING SPACES REQUIRED
SECTION 15-4-12	15 PARKING SPACES REQUIRED
SECTION 15-4-13	15 PARKING SPACES REQUIRED
SECTION 15-4-14	15 PARKING SPACES REQUIRED
SECTION 15-4-15	15 PARKING SPACES REQUIRED
SECTION 15-4-16	15 PARKING SPACES REQUIRED
SECTION 15-4-17	15 PARKING SPACES REQUIRED
SECTION 15-4-18	15 PARKING SPACES REQUIRED
SECTION 15-4-19	15 PARKING SPACES REQUIRED
SECTION 15-4-20	15 PARKING SPACES REQUIRED

SYMBOL	
SYMBOL	DESCRIPTION
---	PROPERTY BOUNDARY
---	ADJACENT PROPERTY BOUNDARY
---	PROPOSED CURB
---	PROPOSED DRIVEWAY OR ALLEY OR BI
---	PROPOSED ADA PATH
---	PROPOSED BUILDING
---	PROPOSED CONCRAE AREA
---	PROPOSED SIGN
---	PARKING STALL COUNTER
---	PROPOSED TO BE REMOVED STRUCTURE

ESTIMATED NUMBER OF EMPLOYEES: TWO (2) PER SHIFT

NEW YORK STATE HIGHWAY ROUTE U.S. 6



- GENERAL NOTES**
- THE CONTRACTOR SHALL VERIFY AND GUARANTEE THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IN WRITING AND SHALL BE RESPONSIBLE FOR THE CORRECTION OF THE DISCREPANCY.
 - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON-SITE AT ALL TIMES DURING CONSTRUCTION.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NEW YORK STATE ENGINEERING DESIGN MANUAL, THE NEW YORK STATE CONSTRUCTION MANUAL, AND THE NEW YORK STATE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
 - THE CONTRACTOR SHALL NOT DISTURB OR REMOVE ANY EXISTING UTILITIES OR STRUCTURES IDENTIFIED WITHIN THE PLAN SET UNLESS APPROVAL IS OBTAINED FROM THE APPROPRIATE AGENCIES.
 - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS FOR THE PROPOSED WORK.
 - THE CONTRACTOR SHALL NOT PERFORM ANY WORK THAT COULD CAUSE DISTURBANCE OR INTERFERENCE TO THE ADJACENT PROPERTY OR TO THE PUBLIC RIGHT-OF-WAY.
 - THE CONTRACTOR IS RESPONSIBLE FOR RESTORING ANY EXISTING UTILITIES OR STRUCTURES TO THEIR ORIGINAL CONDITION OR BETTER.
 - THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED INFORMATION FOR THE PROPOSED WORK.
 - THE CONTRACTOR IS REQUIRED TO REMAIN ON-SITE AT ALL TIMES DURING CONSTRUCTION TO SUPERVISE THE WORK AND TO BE AVAILABLE FOR INSPECTION BY THE APPROPRIATE AGENCIES.
 - THE CONTRACTOR IS REQUIRED TO MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND TO THE PUBLIC RIGHT-OF-WAY AT ALL TIMES DURING CONSTRUCTION.
 - THE CONTRACTOR IS REQUIRED TO MAINTAIN THE PROPOSED WORK AREA AND TO BE AVAILABLE FOR INSPECTION BY THE APPROPRIATE AGENCIES.
 - THE CONTRACTOR IS REQUIRED TO MAINTAIN THE PROPOSED WORK AREA AND TO BE AVAILABLE FOR INSPECTION BY THE APPROPRIATE AGENCIES.
 - THE CONTRACTOR IS REQUIRED TO MAINTAIN THE PROPOSED WORK AREA AND TO BE AVAILABLE FOR INSPECTION BY THE APPROPRIATE AGENCIES.
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NY FUEL DISTRIBUTORS, LLC
PROPOSED CONVENIENCE STORE AND FUELING STATION

BLOCK 1, LOT 46
TOWN OF CANAUS
PUTNAM COUNTY, NEW YORK

STONEFIELD
engineering & design

SCALE: 1" = 30' PROJECT NO: 141066

TITLE: SITE PLAN

DRAWING: C-4

DRAINAGE AND UTILITY NOTES

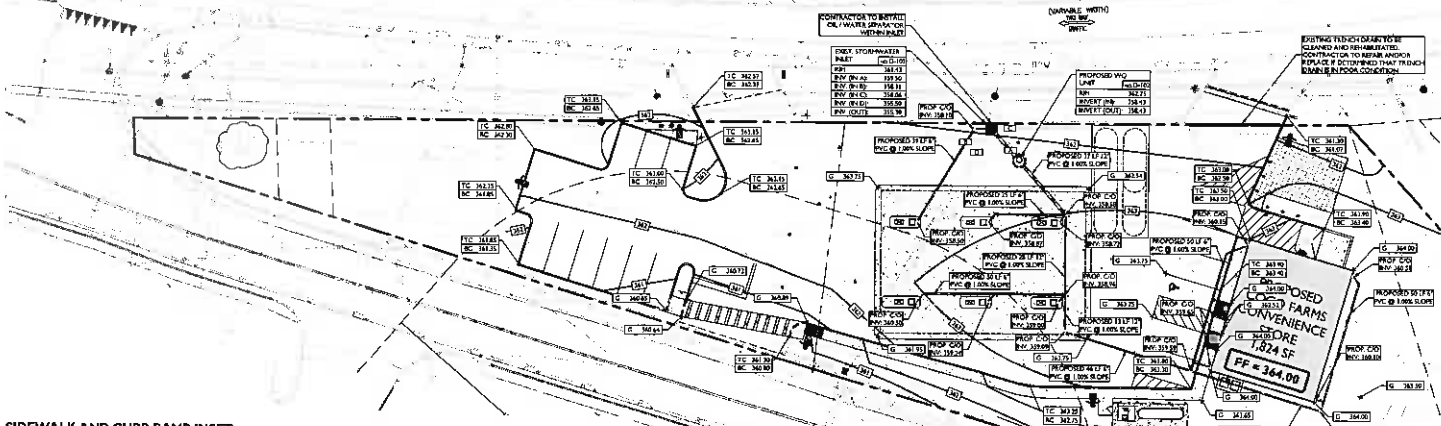
1. THE CONTRACTOR TO REMAIN A TEST AT PRIOR TO CONSTRUCTION (AS SHOWN IN PLAN) AT LOCATIONS OF EXISTING UTILITY CHANGES FOR DETERMINATION. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
2. THE CONTRACTOR SHALL START CONSTRUCTION OF STORM LINE AT THE LOWEST INVERT AND WORK UP AS NECESSARY.
3. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION (NOC) AND UTILITY MARK OFF PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO MAINTAIN THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF UTILITIES AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
4. THE CONTRACTOR IS RESPONSIBLE FOR INSURING THAT ALL OPEN EXCAVATIONS ARE PROTECTED AND PROTECTED IN ACCORDANCE WITH THE LATEST OSHA REGULATIONS.
5. THE CONTRACTOR IS RESPONSIBLE FOR ANY EXISTING DESIGN AND OPERATIONS AS REQUIRED TO CONSTRUCT THE PROPOSED IMPROVEMENT. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR EXISTING OPERATIONS AND CONSTRUCTION MATERIAL.

EXCAVATION, SOIL PREPARATION AND DEWATERING NOTES

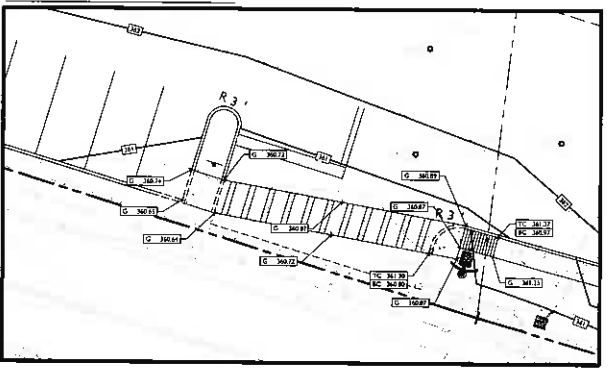
1. THE CONTRACTOR IS REQUIRED TO REVIEW THE REFERENCED GEOTECHNICAL DOCUMENTS PRIOR TO CONSTRUCTION. THESE DOCUMENTS SHALL BE CONSIDERED A PART OF THE PLAN SET.
2. THE CONTRACTOR IS REQUIRED TO PREPARE UNDERGROUND SOIL REMEDIATION IMPROVEMENTS AND BACKFILL ALL EXCAVATIONS IN ACCORDANCE WITH RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER OF RECORD.
3. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHORING FOR ALL EXCAVATIONS AS REQUIRED. CONTRACTOR SHALL HAVE THE SHORING DESIGN REVIEWED BY A QUALIFIED PROFESSIONAL ENGINEER. DESIGNS SHALL BE SUBMITTED TO STONEFIELD ENGINEERING & DESIGN, LLC AND THE OWNER PRIOR TO THE START OF CONSTRUCTION.
4. THE CONTRACTOR IS RESPONSIBLE FOR INSURING THAT ALL OPEN EXCAVATIONS ARE PROTECTED AND PROTECTED IN ACCORDANCE WITH THE LATEST OSHA REGULATIONS.
5. THE CONTRACTOR IS RESPONSIBLE FOR ANY EXISTING DESIGN AND OPERATIONS AS REQUIRED TO CONSTRUCT THE PROPOSED IMPROVEMENT. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR EXISTING OPERATIONS AND CONSTRUCTION MATERIAL.

SYMBOL	DESCRIPTION
	PROPOSED GRADING CONTOUR
	PROPOSED GRADING RIDGE
	PROPOSED DIRECTION OF DRAINAGE FLOW
	PROPOSED GRADE (POT SHOT)
	PROPOSED TOP OF CULVERT
	BOTTOM OF CULVERT (POT SHOT)

NEW YORK STATE HIGHWAY ROUTE U.S. 6 (A.K.A. BROOKLYN-QUEENSBORO PARKWAY)



SIDEWALK AND CURB RAMP INSET



GRADING NOTES

1. ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE REUSED OR IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY EXCESSIVE MATERIALS SHALL BE REMOVED FROM THE SITE AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXCESSIVE MATERIALS.
2. THE CONTRACTOR IS REQUIRED TO MAINTAIN THE EXISTING GRADING AND TO MAINTAIN THE EXISTING DRAINAGE SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE EXISTING DRAINAGE SYSTEM.
3. THE CONTRACTOR IS REQUIRED TO MAINTAIN THE EXISTING GRADING AND TO MAINTAIN THE EXISTING DRAINAGE SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE EXISTING DRAINAGE SYSTEM.
4. THE CONTRACTOR IS REQUIRED TO MAINTAIN THE EXISTING GRADING AND TO MAINTAIN THE EXISTING DRAINAGE SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE EXISTING DRAINAGE SYSTEM.
5. THE CONTRACTOR IS REQUIRED TO MAINTAIN THE EXISTING GRADING AND TO MAINTAIN THE EXISTING DRAINAGE SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE EXISTING DRAINAGE SYSTEM.

ADA NOTES

1. THE CONTRACTOR SHALL MAINTAIN A MINIMUM 3% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
2. THE CONTRACTOR SHALL PROVIDE COMPLIANT SURFAGE AT ALL ADA PARKING SPACES AND ACCESS AISLES. THE CONTRACTOR SHALL MAINTAIN A MINIMUM 3% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
3. THE CONTRACTOR SHALL MAINTAIN A MINIMUM 3% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES. THE CONTRACTOR SHALL MAINTAIN A MINIMUM 3% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
4. THE CONTRACTOR SHALL MAINTAIN A MINIMUM 3% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES. THE CONTRACTOR SHALL MAINTAIN A MINIMUM 3% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
5. THE CONTRACTOR SHALL MAINTAIN A MINIMUM 3% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES. THE CONTRACTOR SHALL MAINTAIN A MINIMUM 3% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.

GRAPHIC SCALE IN FEET



NO.	REVISION	DATE	BY
1	ISSUED FOR PERMITS	01/15/2024	ST
2	REVISED PER PLANNING BOARD COMMENTS	01/22/2024	ST
3	REVISED PER PLANNING BOARD COMMENTS	01/29/2024	ST
4	REVISED PER PLANNING BOARD COMMENTS	02/05/2024	ST
5	REVISED PER PLANNING BOARD COMMENTS	02/12/2024	ST
6	REVISED PER PLANNING BOARD COMMENTS	02/19/2024	ST
7	REVISED PER PLANNING BOARD COMMENTS	02/26/2024	ST
8	REVISED PER PLANNING BOARD COMMENTS	03/05/2024	ST
9	REVISED PER PLANNING BOARD COMMENTS	03/12/2024	ST
10	REVISED PER PLANNING BOARD COMMENTS	03/19/2024	ST

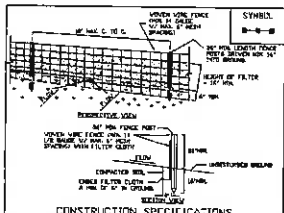
NOT APPROVED FOR CONSTRUCTION

STONEFIELD
engineering & design
Rutherford, NJ • Long Island City, NY • Royal Oak, MI
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Phone 201-460-4468 • Fax 201-460-4472

NY FUEL DISTRIBUTORS, LLC
PROPOSED CONVENIENCE STORE
AND FUELING STATION
BLOCK 1, LOT 4
1333 U.S. ROUTE 6
NATUNAK COUNTY, NEW YORK

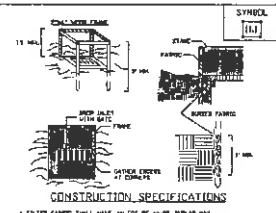
STONEFIELD
engineering & design, llc
SCALE: 1"=10' PROJECT NO: T41986
TITLE: GRADING & DRAINAGE PLAN
DRAWING: C-5

Figure SA.9
Silt Fence



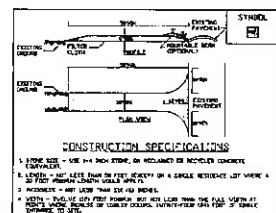
- CONSTRUCTION SPECIFICATIONS**
1. SILT FENCE SHALL BE CONSTRUCTED ACCORDING TO THE DETAILS SHOWN ON THIS SHEET. THE SILT FENCE SHALL BE INSTALLED IN THE LINE OF THE DISTURBED AREA.
 2. THE SILT FENCE SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" OF STONE CORE AND A MINIMUM OF 12" OF FILTER FABRIC.
 3. THE SILT FENCE SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" OF STONE CORE AND A MINIMUM OF 12" OF FILTER FABRIC.
 4. THE SILT FENCE SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" OF STONE CORE AND A MINIMUM OF 12" OF FILTER FABRIC.
 5. THE SILT FENCE SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" OF STONE CORE AND A MINIMUM OF 12" OF FILTER FABRIC.
 6. THE SILT FENCE SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" OF STONE CORE AND A MINIMUM OF 12" OF FILTER FABRIC.
 7. THE SILT FENCE SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" OF STONE CORE AND A MINIMUM OF 12" OF FILTER FABRIC.
 8. THE SILT FENCE SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" OF STONE CORE AND A MINIMUM OF 12" OF FILTER FABRIC.
 9. THE SILT FENCE SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" OF STONE CORE AND A MINIMUM OF 12" OF FILTER FABRIC.
 10. THE SILT FENCE SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" OF STONE CORE AND A MINIMUM OF 12" OF FILTER FABRIC.

Figure SA.10
Filter Fabric Edge Detail Protection



- CONSTRUCTION SPECIFICATIONS**
1. THE FILTER FABRIC SHALL BE CONSTRUCTED ACCORDING TO THE DETAILS SHOWN ON THIS SHEET.
 2. THE FILTER FABRIC SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" OF STONE CORE AND A MINIMUM OF 12" OF FILTER FABRIC.
 3. THE FILTER FABRIC SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" OF STONE CORE AND A MINIMUM OF 12" OF FILTER FABRIC.
 4. THE FILTER FABRIC SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" OF STONE CORE AND A MINIMUM OF 12" OF FILTER FABRIC.
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 7. THE FILTER FABRIC SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" OF STONE CORE AND A MINIMUM OF 12" OF FILTER FABRIC.
 8. THE FILTER FABRIC SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" OF STONE CORE AND A MINIMUM OF 12" OF FILTER FABRIC.
 9. THE FILTER FABRIC SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" OF STONE CORE AND A MINIMUM OF 12" OF FILTER FABRIC.
 10. THE FILTER FABRIC SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" OF STONE CORE AND A MINIMUM OF 12" OF FILTER FABRIC.

Figure SA.11
Stabilized Construction Entrance



- CONSTRUCTION SPECIFICATIONS**
1. THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED ACCORDING TO THE DETAILS SHOWN ON THIS SHEET.
 2. THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" OF STONE CORE AND A MINIMUM OF 12" OF FILTER FABRIC.
 3. THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" OF STONE CORE AND A MINIMUM OF 12" OF FILTER FABRIC.
 4. THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" OF STONE CORE AND A MINIMUM OF 12" OF FILTER FABRIC.
 5. THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" OF STONE CORE AND A MINIMUM OF 12" OF FILTER FABRIC.
 6. THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" OF STONE CORE AND A MINIMUM OF 12" OF FILTER FABRIC.
 7. THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" OF STONE CORE AND A MINIMUM OF 12" OF FILTER FABRIC.
 8. THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" OF STONE CORE AND A MINIMUM OF 12" OF FILTER FABRIC.
 9. THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" OF STONE CORE AND A MINIMUM OF 12" OF FILTER FABRIC.
 10. THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" OF STONE CORE AND A MINIMUM OF 12" OF FILTER FABRIC.

SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	LIMIT OF DISTURBANCE
---	SILT FENCE
---	SOIL DELINEATION LINE
---	PROPOSED SOIL STOCKPILE/ EQUIPMENT STORAGE AREA
---	INLET FILTER PROTECTION

- EROSION AND SEDIMENT CONTROL MEASURES**
1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE NEW YORK STATE EROSION AND SEDIMENT CONTROL MANUAL.
 2. THE CONTRACTOR SHALL FOLLOW THE NEW YORK STATE EROSION AND SEDIMENT CONTROL MANUAL FOR THE DESIGN AND CONSTRUCTION OF EROSION AND SEDIMENT CONTROL MEASURES.
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STONEFIELD
engineering & design

1000 ROUTE 90
SUITE 100
ROSELAND, NJ 07068
PHONE: 201.360.4444
FAX: 201.360.4472

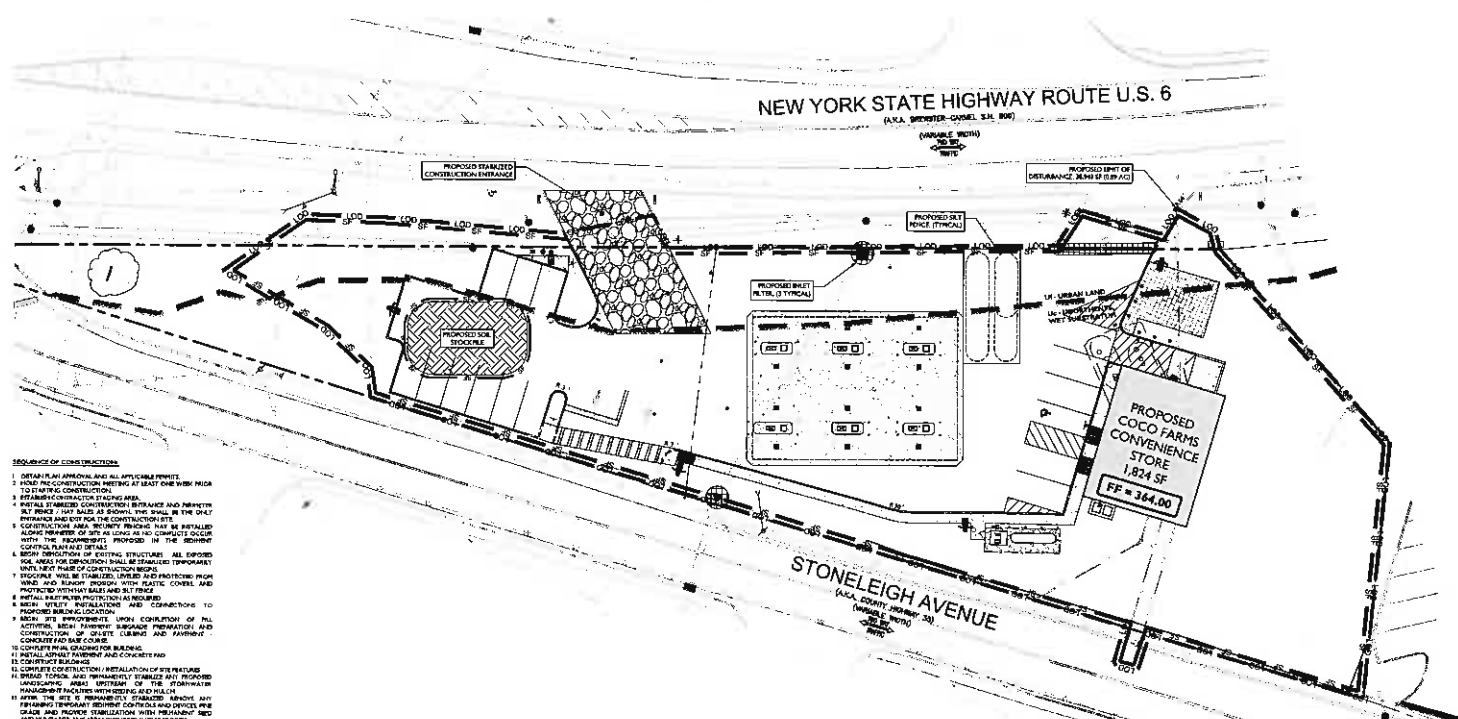
NY FUEL DISTRIBUTORS, LLC
PROPOSED CONVENIENCE STORE
AND FUELING STATION

1000 ROUTE 90
SUITE 100
ROSELAND, NJ 07068
PHONE: 201.360.4444
FAX: 201.360.4472

JEFFREY A. MARTELL, P.E.
NEW YORK LICENSE NO. 0802
NEW JERSEY LICENSE NO. 0802

STONEFIELD
engineering & design, Inc.

SCALE: 1" = 30'
PROJECT ID: 10000
TITLE: SOIL EROSION & SEDIMENT CONTROL PLAN
DRAWING: C-8

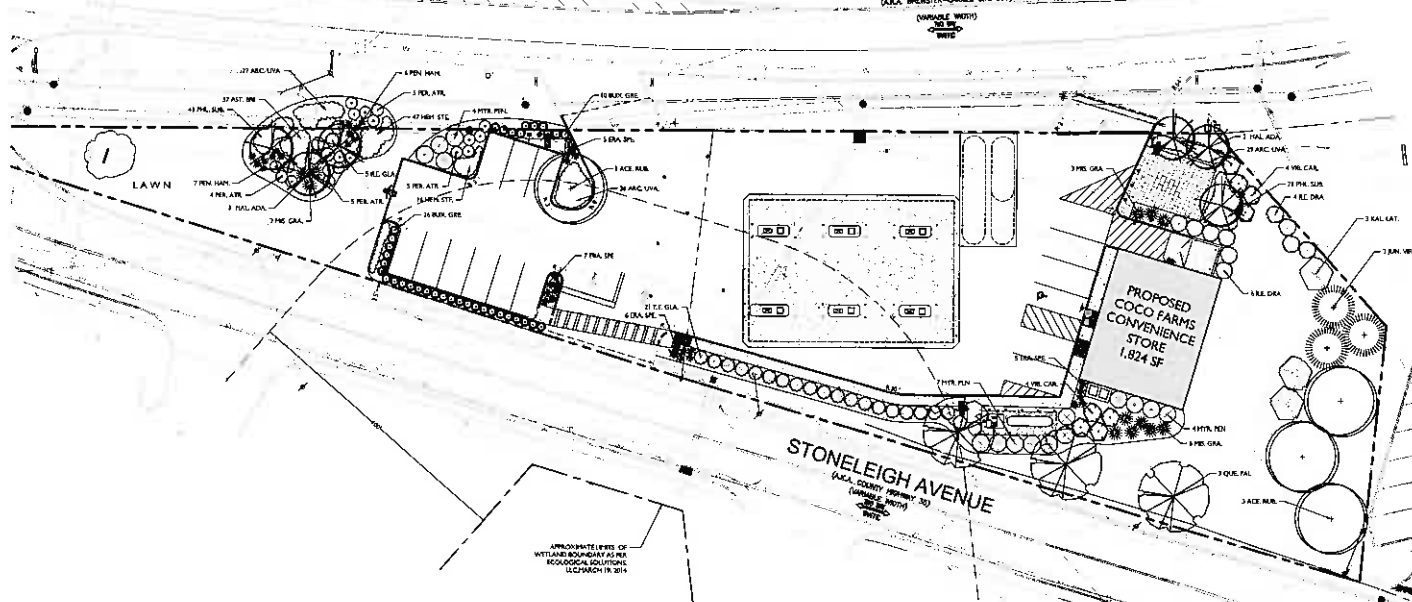


EROSION AND SEDIMENT CONTROL MEASURES

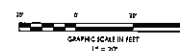
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NEW YORK STATE HIGHWAY ROUTE U.S. 6

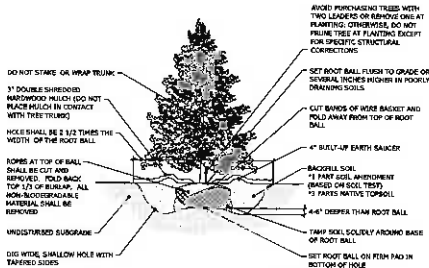


- THE CONTRACTOR SHALL REPOSE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL MAINTAIN ALL EXISTING LAYERS REMAINING UNDER THE GRASS AND LANDSCAPED AREAS WITH A MINIMUM 4" LAYER OF TOPSOIL AND SEED.
- THE CONTRACTOR SHALL REPOSE ALL MULCH AREAS WITH A MINIMUM 4" LAYER OF MULCH.
- THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION SHALL BE 1:1. SLOPES GREATER THAN 1:1 SHALL BE 1:1 SLOPES UNLESS OTHERWISE NOTED ON THE PLAN SET.
- THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS AT THE CORNER OF EACH LOT.
- THE CONTRACTOR SHALL REPOSE ALL SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION.
- THE CONTRACTOR SHALL REPOSE ALL DISTURBED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL REPOSE ALL DISTURBED LANDSCAPED AREAS AND GRASS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO APPROXIMATE GRASS OR GRADE ARE PLANTED IN DISTURBED LANDSCAPED AREAS.



Received 26 April 1997; accepted 10 July 1997

- NOTES:
1. FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL, THEN CUT OR PULL AWAY ANY ROOTS EXCEEDING THE CIRCUMFERENCE OF THE CONTAINER.
 2. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL, SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
 3. SOIL AMENDMENTS:
 - *MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED FINE BARK (UP TO 30% BY VOLUME) OR COMPOST.
 - *MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

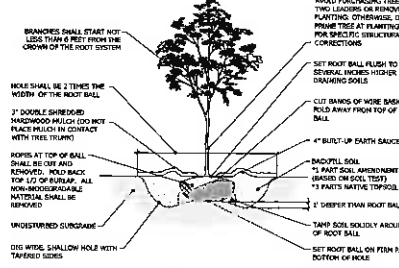


EVERGREEN TREE PLANTING DETAIL

NOT TO SCALE

NOTES:

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2. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL, SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
3. SOIL AMENDMENTS:
 - *MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED FINE BARK (UP TO 30% BY VOLUME) OR COMPOST.
 - *MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

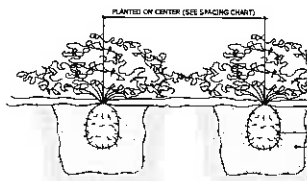
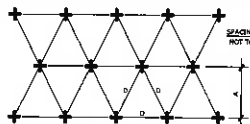


DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE

NOTES:

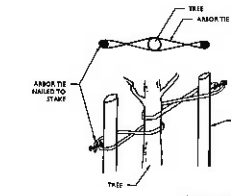
1. THOROUGHLY SOAK THE GROUND COVER ROOT BALL AND ADJACENT PREPARED SOIL, SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
2. SOIL AMENDMENTS:
 - *MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED FINE BARK (UP TO 30% BY VOLUME) OR COMPOST.
 - *MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
3. ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT FOR MANUFACTURER'S SPECIFICATIONS.



GROUND COVER/PERENNIAL/ANNUAL PLANTING DETAIL

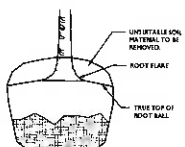
NOT TO SCALE

GENERAL SOIL PREPARATION REQUIREMENTS TABLE		
SOIL CONDITION	MIN. WIDTH OF PREPARED SOIL (IN)	TYPE OF PREPARATION
GOOD SOIL (NOT PREVIOUSLY GRADED OR COMPACTED, TOPSOIL LAYER EXTRACT)	6" FT. OR TWICE THE WIDTH OF THE ROOT BALL, WHICHEVER IS GREATER	EXPOSE THE EXISTING SOIL TO THE WIDTH AND DEPTH SHOWN ON PLANTING DETAILS
COMPACTED SOIL (NOT PREVIOUSLY GRADED, TOPSOIL LAYER EXTRACTED BUT NOT LUMPED)	12" FT.	MODIFY THE EXISTING SOIL TO THE WIDTH AND DEPTH SHOWN ON PLANTING DETAILS AND COMPOSTED ORGANIC MATTER TO BRING THE CONTENT UP TO 30% VOLUME
GRADED SUBSOIL AND CLEAN FILL WITH CLAY CONTENT BETWEEN 1 AND 25 %	18" FT.	TREATMENT: REMOVE TOP 8" TO 18" OF THE EXISTING NATURAL SOILS, EXISTING SOIL TO THE WIDTH AND DEPTH SHOWN IN THE PLANTING DETAIL, ADD 8" TO 18" OF SOIL TO TOPSOIL
POOR QUALITY FULL HEAVY CLAY SOILS CONTAMINATED WITH RUBBISH OR TOXIC MATERIAL	36" FT.	REMOVE EXISTING SOILS TO THE WIDTH AND DEPTH SHOWN, SURFACE WITH CLEAN AND TOPSOIL



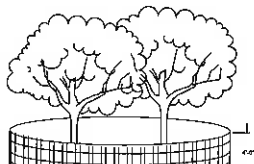
ARBORVITAE DETAIL

NOT TO SCALE



TREE ROOT FLARE DETAIL

NOT TO SCALE



TREE PROTECTION DETAIL

NOT TO SCALE

STONEFIELD
engineering & design

NOT APPROVED FOR CONSTRUCTION

NY FUEL DISTRIBUTORS, LLC
PROPOSED CONVENIENCE STORE
AND FUELING STATION

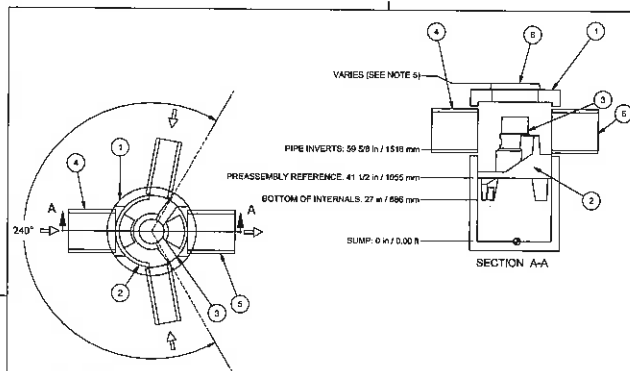
JEFFREY A. MARTELL, P.E.
NEW YORK LICENSE NO. 08105
LAWRENCE H. MARTELL, P.E.
NEW YORK LICENSE NO. 08106

SCALE: AS SHOWN PROJECT ID: T-1588

TITLE: LANDSCAPING DETAILS

DRAWING: C-10





Inlet pipe(s) can enter anywhere within 240° arc.

ITEM	SIZE (in)	DESCRIPTION
1	48	I.D. PRECAST MANHOLE
2		LEDGER SUPPORT
3		SEPARATION MODULE
4	24	INLET PIPE (BY OTHERS)
5	24	OUTLET PIPE (BY OTHERS)
6	30	FRAME AND COVER (OR GRATE) (ROUND)

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Hydro International

NOTE: CONTRACTOR TO USE HYDRO INTERNATIONAL FIRST DEFENSE OR APPROVED EQUAL.

WATER QUALITY UNIT DETAIL

NOT TO SCALE

Notes

1. MANHOLE WALL AND SLAB THICKNESSES ARE NOT TO SCALE.
2. CONTACT HYDRO INTERNATIONAL FOR A BOTTOM OF STRUCTURE ELEVATION PRIOR TO SETTING FIRST DEFENSE MANHOLE.
3. CONTRACTOR TO CONFIRM PIPE INVERTS, PIPE DIA. AND PIPE ORIENTATION PRIOR TO RELEASE OF UNIT TO FABRICATION.

REV	DATE	DESCRIPTION
1	11/25/15	1. SLUMP DEPTH

Scale: 1/4" = 1'-0"

Drawn: REC Checked: Approved:

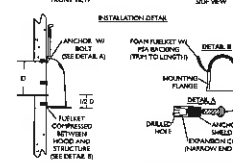
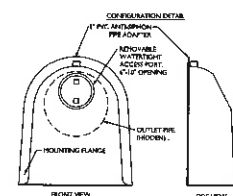
Time: 4-FT DIAMETER FIRST DEFENSE HC

HIGH CAPACITY GENERAL ARRANGEMENT

Hydro International

Southwest Solutions
94 Hutchins Drive
Portland, Maine 04102
Tel: (207) 756-6100
Fax: (207) 756-6112
hydro@hydro-int.com

CAD FILE: F41C-MAXIMUMS.dwg
Project No.: 08-0008
Drawing No.: 01-HGSI Rev. A



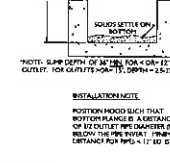
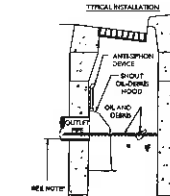
SNOUT OIL WATER SEPARATOR

NOT TO SCALE

Notes:

1. ALL HOODS SHALL BE CONSTRUCTED OF A GLASS REINFORCED RESIN COMPOSITE WITH ISO GEL COAT EXTERIOR FINISH WITH A MINIMUM 6/32" LAMINATE THICKNESS.
2. ALL HOODS SHALL BE EQUIPPED WITH A WATER-TIGHT ACCESS PORT, A MOUNTING FLANGE, AND AN ANTI-SIPHON VENT PIPE AND ELBOW AS SHOWN. (SEE CONFIGURATION DETAIL).
3. THE SIZE AND POSITION OF THE HOOD SHALL BE DETERMINED BY OUTLET PIPE SIZE AS PER MANUFACTURER'S RECOMMENDATION (SNOUT SIZE ALWAYS LARGER THAN PIPE SIZE).
4. THE BOTTOM OF THE HOOD SHALL EXTEND DOWNWARD A MINIMUM DISTANCE EQUAL TO 1/2 THE OUTLET PIPE DIAMETER WITH A MINIMUM DISTANCE OF 4" FOR PIPE 12" & LARGER.
5. THE ANTI-SIPHON VENT SHALL EXTEND ABOVE HOOD BY MINIMUM OF 3" AND A MAXIMUM OF 12" ACCORDING TO STRUCTURE CONFIGURATION.
6. THE SURFACE OF THE STRUCTURE WHERE THE HOOD IS MOUNTED SHALL BE FINISHED SMOOTH AND FREE OF LOOSE MATERIAL AND PIPE SHALL BE FINISHED FLUSH TO WALL.
7. THE HOOD SHALL BE SECURELY ATTACHED TO STRUCTURE WALL WITH 2"X STAINLESS STEEL BOLTS AND CHAIRS/ANT TUBES/ET AS SUPPLIED BY MANUFACTURER. (SEE INSTALLATION DETAIL).
8. INSTALLATION INSTRUCTIONS SHALL BE FURNISHED WITH MANUFACTURER SUPPLIED INSTALLATION KIT.

9. INSTALLATION KIT SHALL INCLUDE:
- A. PVC ANTI-SIPHON VENT PIPE AND ADAPTER
 - B. CHAIRS/ANT TUBES/ET WITH ISA BACKING
 - C. 2"X STAINLESS STEEL BOLTS
 - D. ANCHOR SHIELDS



SNOUT OIL WATER SEPARATOR

NOT TO SCALE

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REV	DATE	DESCRIPTION
1	11/25/15	1. SLUMP DEPTH

Scale: 1/4" = 1'-0"

Drawn: REC Checked: Approved:

Time: 4-FT DIAMETER FIRST DEFENSE HC

HIGH CAPACITY GENERAL ARRANGEMENT

Hydro International

Southwest Solutions
94 Hutchins Drive
Portland, Maine 04102
Tel: (207) 756-6100
Fax: (207) 756-6112
hydro@hydro-int.com

CAD FILE: F41C-MAXIMUMS.dwg
Project No.: 08-0008
Drawing No.: 01-HGSI Rev. A

NOT TO SCALE

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1. ALL HOODS SHALL BE CONSTRUCTED OF A GLASS REINFORCED RESIN COMPOSITE WITH ISO GEL COAT EXTERIOR FINISH WITH A MINIMUM 6/32" LAMINATE THICKNESS.
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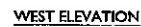
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 - D. ANCHOR SHIELDS



CANOPY DETAIL

SCALE 1-20



NOT TO SCALE

C-14



DANIEL J. DONAHUE, P.E.
CONSULTING ENGINEERS

120 Breckenridge Road
Mahopac, N.Y. 10541
845-628-7576

September 1, 2016
Planning Board
Town Hall
Mahopac NY 10541

RE: Response Letter
20 Day Road 55.06-1-41

Dear Members of the Board:

The following is a response to the comments we received at our last planning board:
Town Engineer:

Enclosed is a copy of an email received from Hudson Engineering which addresses your concerns regarding the SWMP as well as other comments pertaining to their aspect of the project.. Please review their responses. I have addressed the site plan comments. Responses are in the same order as your comments.

3. The NOI now refers the project as new.
5. While we will be removing substantial amount of rock, if blasting is necessary, we will apply for the necessary permits from the town, A note stating such has been placed on sheet S-2.
6. Both the sewer and water connections to the town system are existing.
7. The sewer and water connections details are now correct
8. The plans now show a closed loop of the limits of disturbance.
9. Addressed by Hudson Engineering.
10. Bollards have been provided and shown on the plan along with a note stating where they shall be placed.
11. A detail of the concrete bins is shown on the plan,
12. As in the case of the existing building a retaining wall will not be required as the hillside is all rock.
13. See Hudson Engineering response
14. Trees are staying in their present location
15. Note has been removed
16. The percolation test results are in chapter 10 of the report.
17. The drawings have been sealed,
18. Hay bale reference has been removed.
19. Hudson Engineering response.
20. The pavement section detail on C-3 has been removed,
21. See Hudson Engineering.

Building Department: Loading Space calculations are shown on S-2.

Town Planner Comments

We plan to hammer the rock out and if necessary blasting will be performed on the site. A note has been placed on the plan indicating a permit would be required by the applicant.

Borings are not needed. The site where the building will be located is all rock.

No outdoor storage other than the bins is anticipated.

The existing wooded buffer will remain.

At this point I would appreciate a lead agency determination by the board.

Regards,


Daniel J. Donahue, P.E.

Daniel J.

From: "Daniel Collins" <daniel@hudsonec.com>
To: "Daniel Donahue" <jaspereng@msn.com>
Cc: "William Lachenauer" <William@Hudsonec.com>; "Michael Stein" <michael@hudsonec.com>
Sent: Tuesday, July 26, 2016 12:13 PM
Attach: SWPPP - 2016-07-25.pdf; 20 Day Road (Revised 2016-07-25).pdf
Subject: 20 Day Road - Carmel

Dan,

I hope all is well,

We have not yet heard from the NYCDEP regarding our application, however, we were able to go through the Town Engineer's comment letter and address any comments which applied to our plans.

The following are our responses:

1. Referrals:

- All plans and reports will be provided to the Putnam County Department of Planning, as required.
- All stormwater design plans and reports have been provided to the NYCDEP and are currently under review.

2. All plans have been designed per the NYCDEP requirements. As previously mentioned, the NYCDEP is currently reviewing the design.\

3. Preliminary Review of Stormwater:

- Although the proposed application is considered a redevelopment project per NYSDEC standards, the NYCDEP requires that 100% of the disturbed area (both pervious and impervious) be treated.
- 11x17 copies of the Watershed Maps have been enclosed in the revised report attached herewith.
- All areas have been revised accordingly.
- All gravel areas within the HydroCAD calculations have been revised to be a CN value of 98.
- In the post-developed condition, all gravel areas that are not being converted into pavement are being replaced with lawn and landscaping. Therefore, no gravel area has been included in the post-developed calculations.
- No vegetated swales are being proposed as part of this design. The report has been revised accordingly.
- protection of the infiltration basin has been added to the construction sequencing.
- A Stormwater Control Facility Maintenance Agreement will be filed upon approval.

4. The plans have been revised to label the proposed storage building as 7,200 s.f.

5. Comment noted.

6. To be addressed by Daniel J. Donahue, P.E.

7. To be addressed by Daniel J. Donahue, P.E.

8. To be addressed by Daniel J. Donahue, P.E.

9. Additional protection has been added around the proposed infiltration basin, as requested. ✓

10. To be addressed by Daniel J. Donahue, P.E.

11. To be addressed by Daniel J. Donahue, P.E.

12. To be addressed by Daniel J. Donahue, P.E.

8/8/2016

13. Reinforced concrete pipe is being utilized for its durability due to limited cover provided within the parking area.

14. To be addressed by Daniel J. Donahue, P.E.

15. To be addressed by Daniel J. Donahue, P.E.

16. A backup report will be provided as requested.

17. All stormwater design drawings enclosed herewith have been signed and sealed by a Professional Engineer.

18. All references to haybales have been removed from the plans.

19. The proposed AquaSwirl has been sized to treat the runoff volume from the 1-year storm event per the NYCDEP requirements, as well as bypass the flows of additional storm events up to and including the 100-year storm. Although the device will be surcharged during the 100-year storm event, all flows are still being directed through the device towards the proposed bypass manhole. The proposed device has been designed to retain all sediment for the 1-year storm event, and prevent the re-suspension of this sediment for all storms of higher intensity.

20. The asphalt pavement section has been removed from detail sheet C-3.

21. It is the responsibility of the owner to procure a licensed engineer to inspect the installation and construction of all stormwater practices on-site. The design engineer is not responsible unless they are hired by the owner to do so.

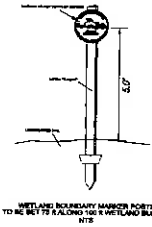
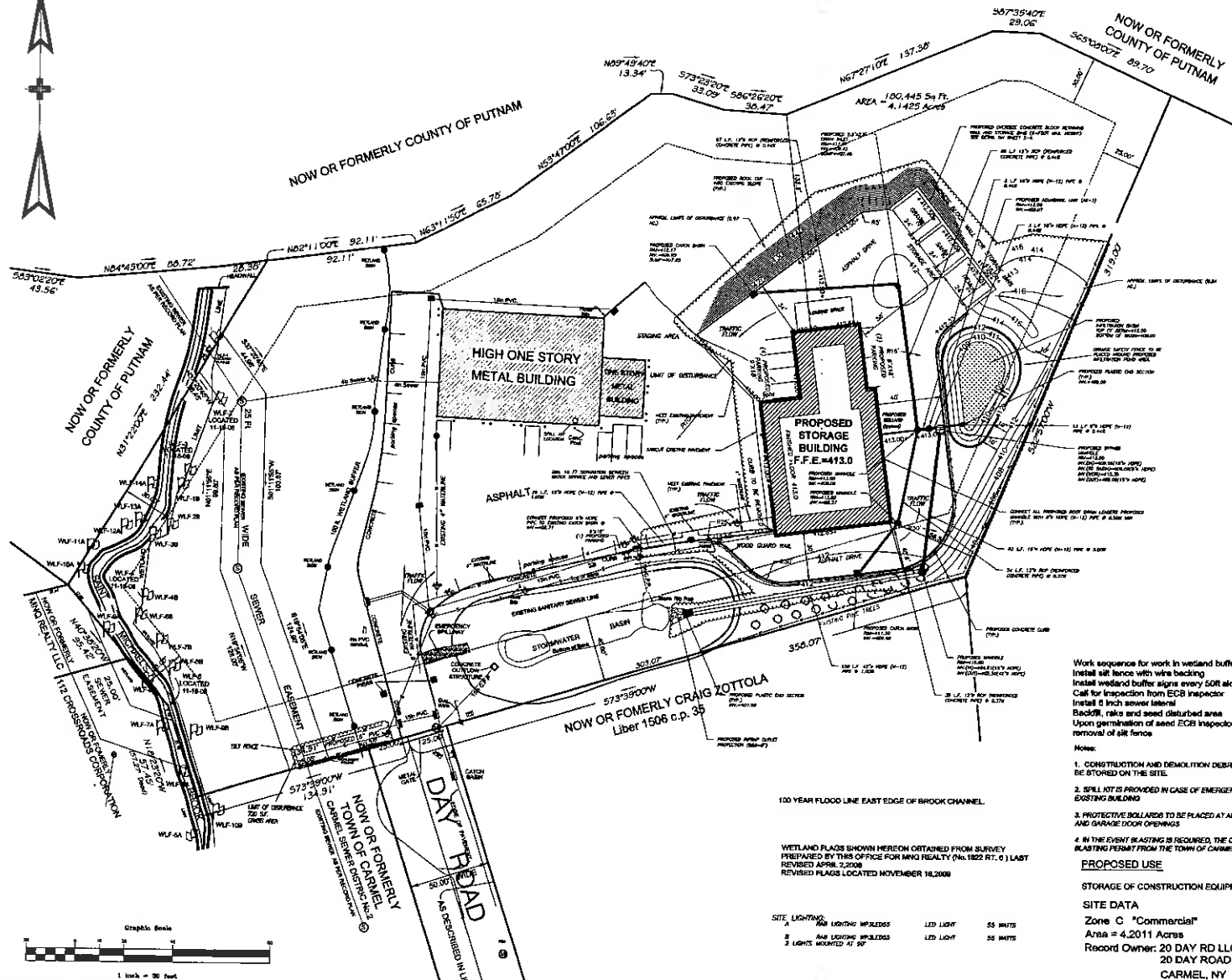
I have attached a PDF of the revised plans and report for your review. Once we hear from the NYCDEP we will be sure to let you know.

If you should have any questions, please let us know.

Regards,

Daniel C. Collins, EIT
Project Engineer
Hudson Engineering & Consulting, P.C.
45 Knollwood Road - Suite 201
Elmsford, New York 10523
(914) 909-0420
(914) 560-2086 (fax)

This e-mail message from Hudson Engineering & Consulting, P.C. is private and may contain privileged information. If you are not the intended recipient, please do not read, copy or use it or disclose it to others. If you have received this message in error, please notify the sender immediately by replying to this message and then delete it from your system. Thank you.



MARKER AS PER TOWN OF CARMEL
NY

Work sequence for work in wetland buffer:
Install all fence with wire backing
Install wetland buffer signs every 50ft along 100 ft buffer
Call for inspection from ECB inspector
Install 6 inch sewer lateral
Backfill, rake and seed disturbed area
Upon germination of seed ECB inspector to be called prior to removal of site fence

Notes:

1. CONSTRUCTION AND DEMOLITION DEBRIS OF ANY KIND WILL NOT BE STORED ON THE SITE.
2. SPILL KIT IS PROVIDED IN CASE OF EMERGENCY NEED, LOCATED IN EXISTING BUILDING.
3. PROTECTIVE BOLLARDS TO BE PLACED AT ALL OUTSIDE CORNERS AND GARAGE DOOR OPENINGS.
4. IN THE EVENT BLASTING IS REQUIRED, THE OWNER SHALL OBTAIN A BLASTING PERMIT FROM THE TOWN OF CARMEL, BEFORE BLASTING.

PROPOSED USE

STORAGE OF CONSTRUCTION EQUIPMENT AND VEHICLES

SITE DATA

Zone C "Commercial"
Area = 4.2011 Acres
Record Owner: 20 DAY RD LLC
20 DAY ROAD
CARMEL, NY 10512

"C" Zone Requirements

	Required	Provided
Minimum Lot Area:	40,000 Sq. Ft.	153,001 Sq. Ft.
Minimum Lot Depth:	200 Ft.	319.0'
Minimum Lot Width:	200 Ft.	493.0'
Minimum Road Frontage:	50' Ft. curb-to-curb	50.0'
Minimum Setbacks:		
Principal Building		
Front Yard:	40 Ft.	45.6'
Side Yard:	25 Ft.	56.6'
Rear Yard:	30 Ft.	132.6'
Maximum Building Height:	35 Ft.	30 Ft.
Minimum Building Floor Area:	5,000 Sq. Ft.	7,200 Sq. Ft.
Maximum Building Coverage:	30%	3%

Parking Requirements

1 space per 1000 Sq. Ft. 7200 Sq. Ft. =	Required 7 spaces	Provided 7 spaces
---	-------------------	-------------------

Loading Space Requirements

1 space per 10,000 sq. ft. - 7,200 sq. ft. =	1 space	1 space
--	---------	---------

PROPOSED
CONDITIONS
PLAN

S-2

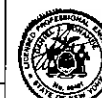


DANIEL J. DONAHUE P.E.
CONSULTING ENGINEERS
120 BRECKENRIDGE ROAD
MANTON, N.Y. 10041
(845) 628-7516

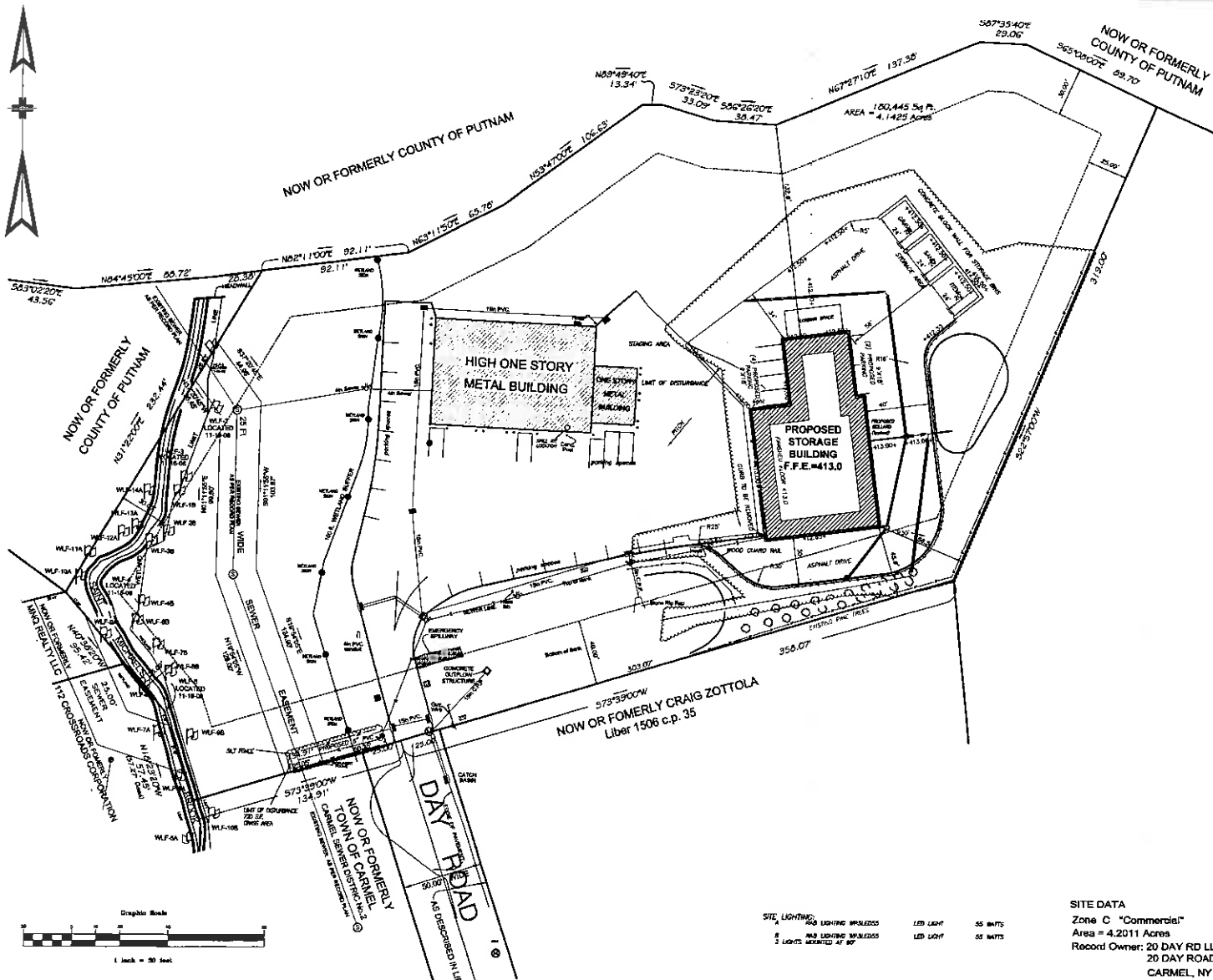
REVISIONS	DATE	DESCRIPTION
1	08/01/11	ISSUED FOR PERMIT
2	08/01/11	COMMENTS FROM TOWN OF CARMEL
3	08/01/11	COMMENTS FROM TOWN OF CARMEL
4	08/01/11	COMMENTS FROM TOWN OF CARMEL

TAX MAP 55.05 BLOCK 1 LOT 41 TOWN OF CARMEL

AMENDED SITE PLAN
20 DAY ROAD LLC
Putnam County



DATE: MARCH 9, 2012
PROJECT: 20 DAY RD
DRAWN BY: E. J. N.
CHECKED BY: D. J. D.
SCALE: AS SHOWN



SITE LIGHTING:
 1. ALL LIGHTING UNPOOLED
 2. LIGHTS MOUNTED AT 8'0"

LED LIGHT 55 WATTS
 LED LIGHT 55 WATTS

SITE DATA
 Zone C "Commercial"
 Area = 4.2011 Acres
 Record Owner: 20 DAY RD LLC
 20 DAY ROAD
 CARMEL, NY 10512



DANIEL J. DONAHUE P.E.
 CONSULTING ENGINEERS
 120 BRECKENRIDGE ROAD
 MANHATTAN, NY 10541
 (845) 628-7976

REV.	DATE	DESCRIPTION
1	JULY 11, 2014	COMMENTS FROM TOWN OF CARMEL
2	AUGUST 1, 2014	COMMENTS FROM TOWNSHIP
3	AUGUST 1, 2014	COMMENTS FROM TOWN OF CARMEL

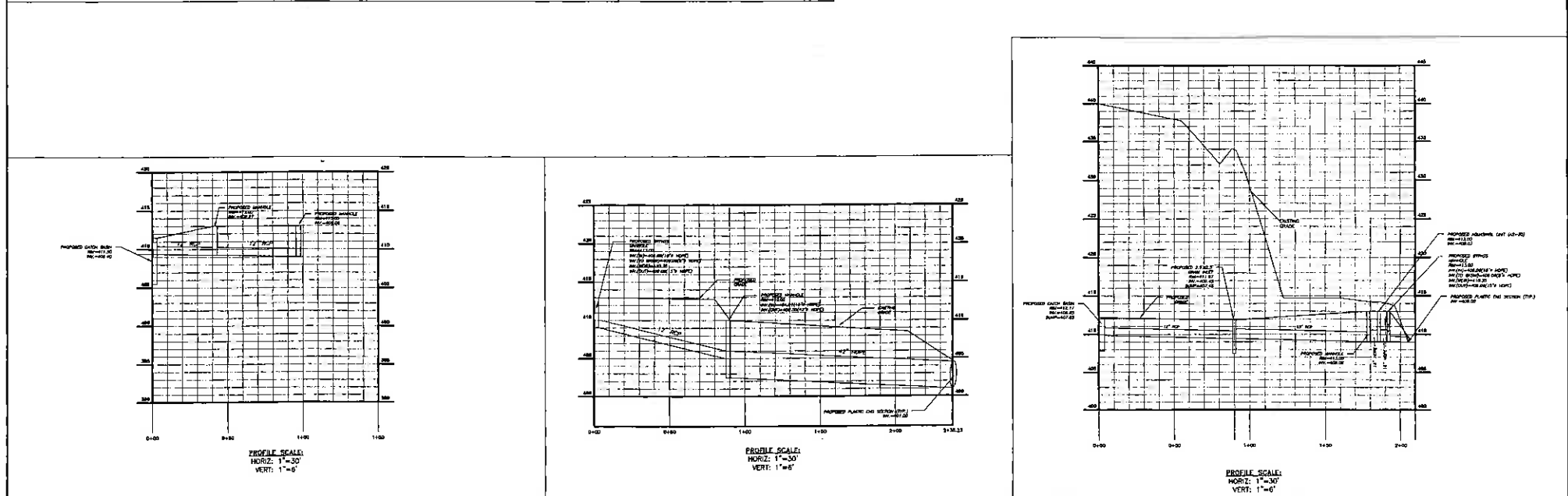
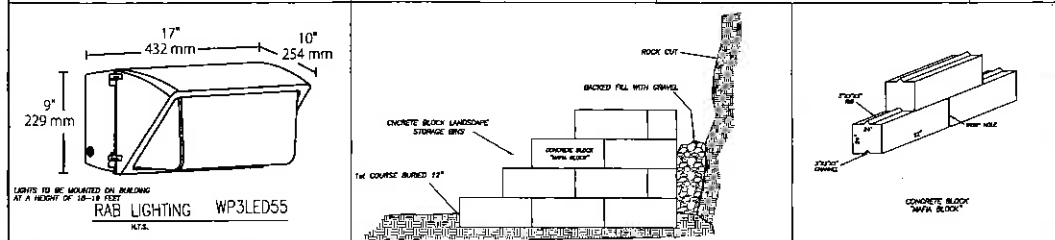
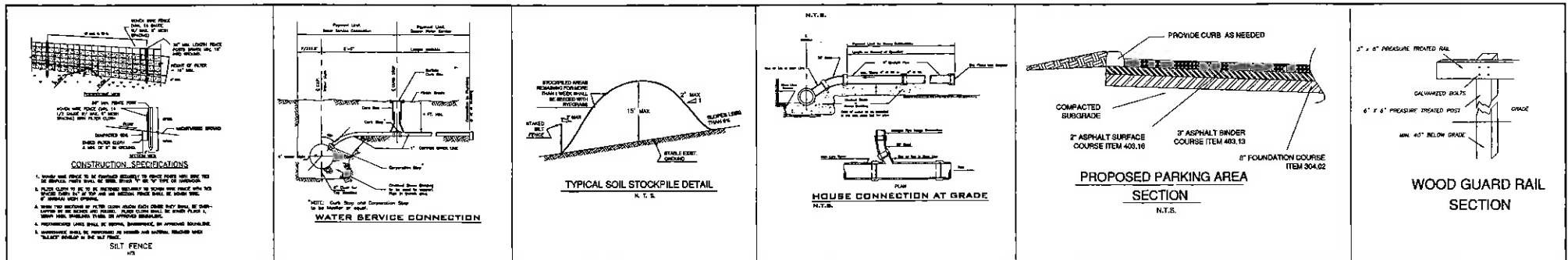
TAX MAP 55.08 BLOCK 1 LOT 41 TOWN OF CARMEL


AMENDED SITE PLAN 20 DAY ROAD LLC Putnam County

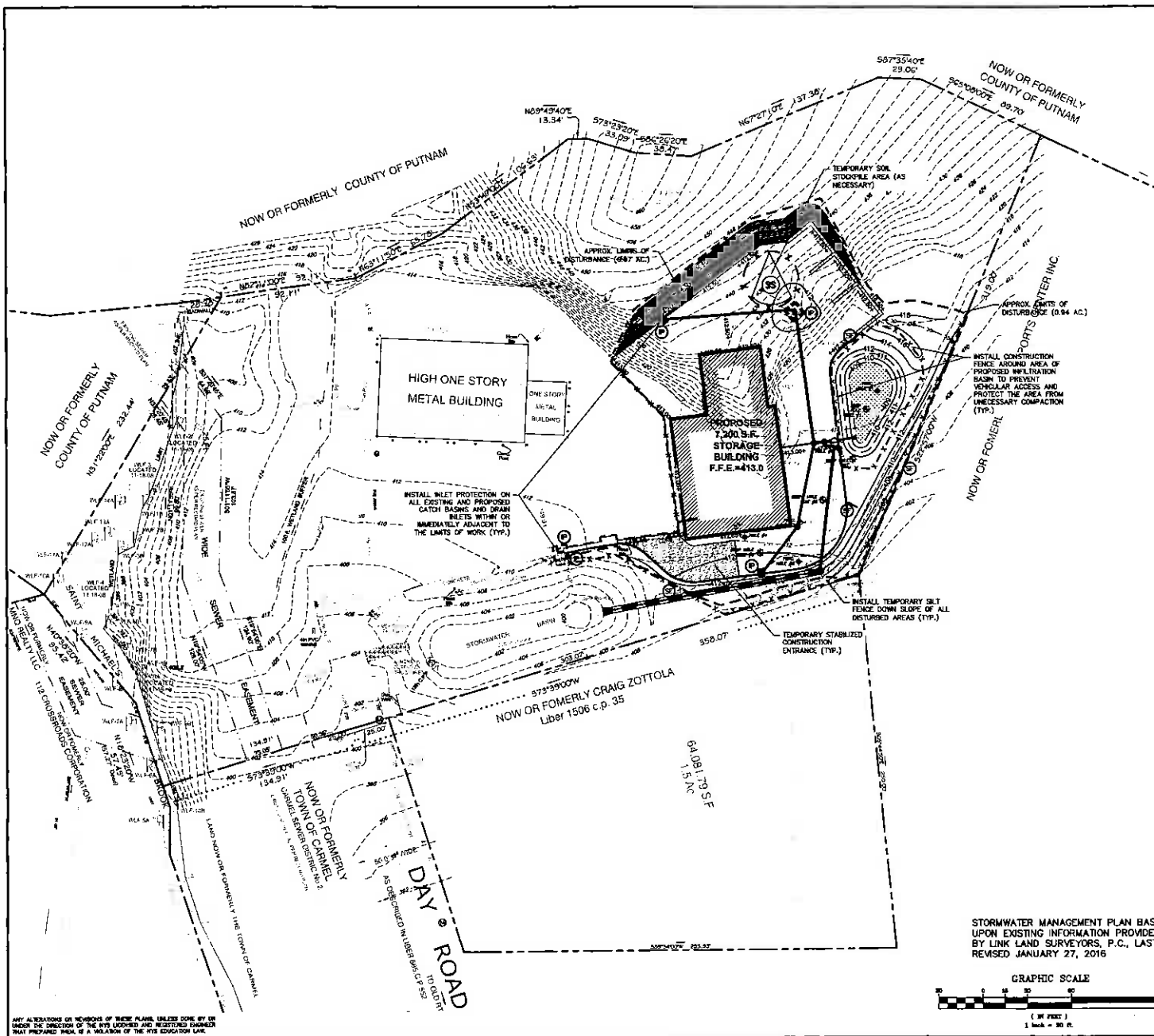
DATE	MARCH 9, 2015
PROJECT MANAGER	D. J. D.
DRAWN BY	E. J. M.
CHECKED BY	B. J. D.
SCALE	AS SHOWN

LIGHTING
 &
 PLANTING
 PLAN

PROJECT NUMBER	S-3
DATE	3/9/15



	DANIEL J. DONAHUE P.E. CONSULTING ENGINEERS 120 BRECKENRIDGE ROAD HAMPOG, NY 10541 (845) 628-7576	NO.	DATE	DESCRIPTION
				1
		2	AUGUST 11, 2018	COMMENTS FROM TOWN OF CARMEL
		1	AUGUST 4, 2019	COMMENTS FROM COB
		2	APRIL 20, 2018	COMMENTS FROM TOWN OF CARMEL
AMENDED SITE PLAN 20 DAY ROAD LLC Putnam County				
TAX MAP 55.06 BLOCK <u>1</u> LOT <u>41</u> TOWN OF CARMEL				
MARCH 9, 2013				
PROJECT MANAGER D. J. E				
DRAWN BY E. J. M.				
CHECKED BY D. J. O				
SCALE AS SHOWN				
DETAILS & PROFILES				
DRAWING NUMBER S-4				
SHEET <u>4</u> OF <u>4</u>				



INSTALLATION & MAINTENANCE OF EROSION CONTROL:

CONSTRUCTION SCHEDULE:
 NOTIFY APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 5 DAYS PRIOR TO START.

EROSION CONTROL MEASURES:
 INSTALL ALL EROSION CONTROL MEASURES PRIOR TO START OF CONSTRUCTION. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY:
 INSPECTIONS TO BE PERFORMED DURING ALL PHASES OF CONSTRUCTION.

INSPECTION BY MUNICIPALITY - FINAL:
 AFTER ANY FINAL CHANGING REPORT, CONTRACTOR TO REMOVE ALL FENCE, ETC., AND REMOVE ANY EXCESSIVE SEDIMENT AND INSPECT STOCKPILES AND EXISTING DRAIN PROBLEMS WITH SITE INSPECTOR.

INSPECTION BY MUNICIPALITY - FINAL:
 INSPECTIONS SHALL BE DOCUMENTED IN WRITING AND SUBMITTED TO THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION.

INSPECTION BY MUNICIPALITY - FINAL:
 REMOVE UNNEEDED EROSION CONTROL FROM SITE. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY - FINAL:
 REMOVE UNNEEDED EROSION CONTROL FROM SITE. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

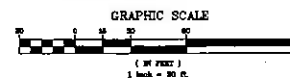
INSPECTION BY MUNICIPALITY - FINAL:
 GRASS ESTABLISHED. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 5 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY - FINAL:
 GRASS ESTABLISHED. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 5 DAYS PRIOR TO FINISH.

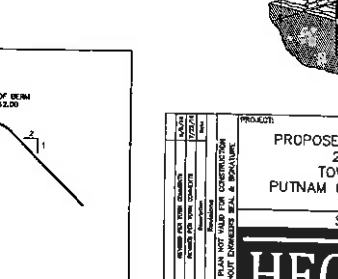
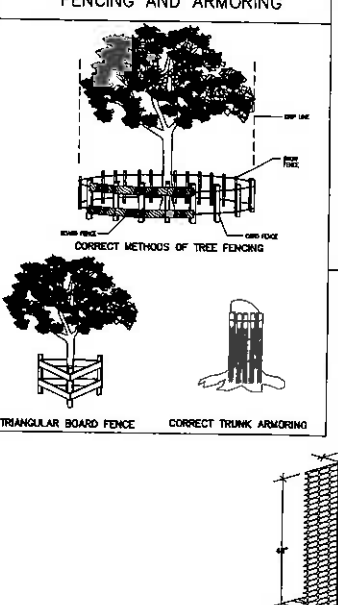
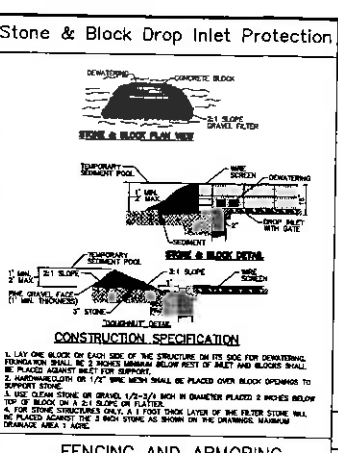
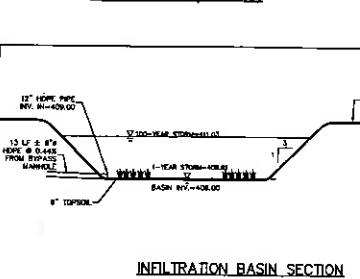
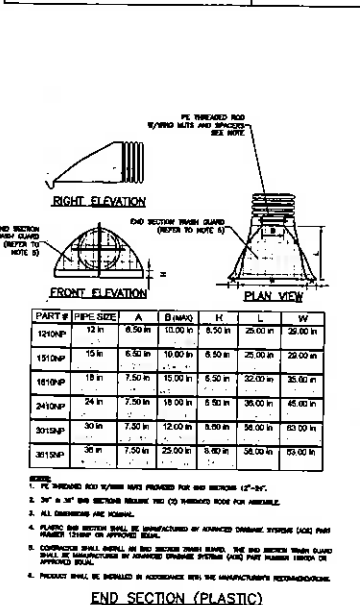
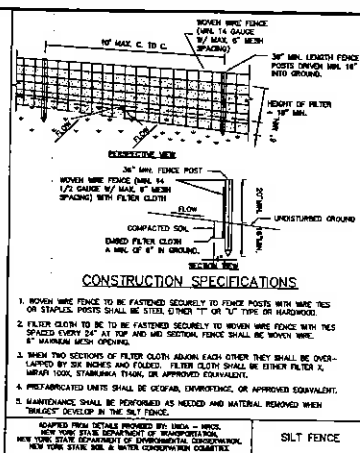
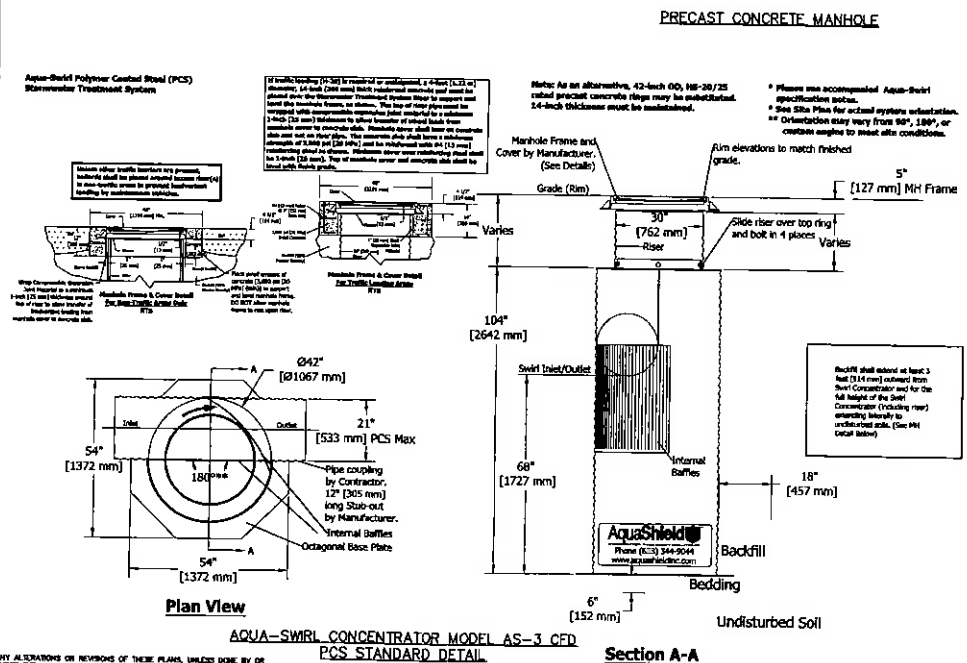
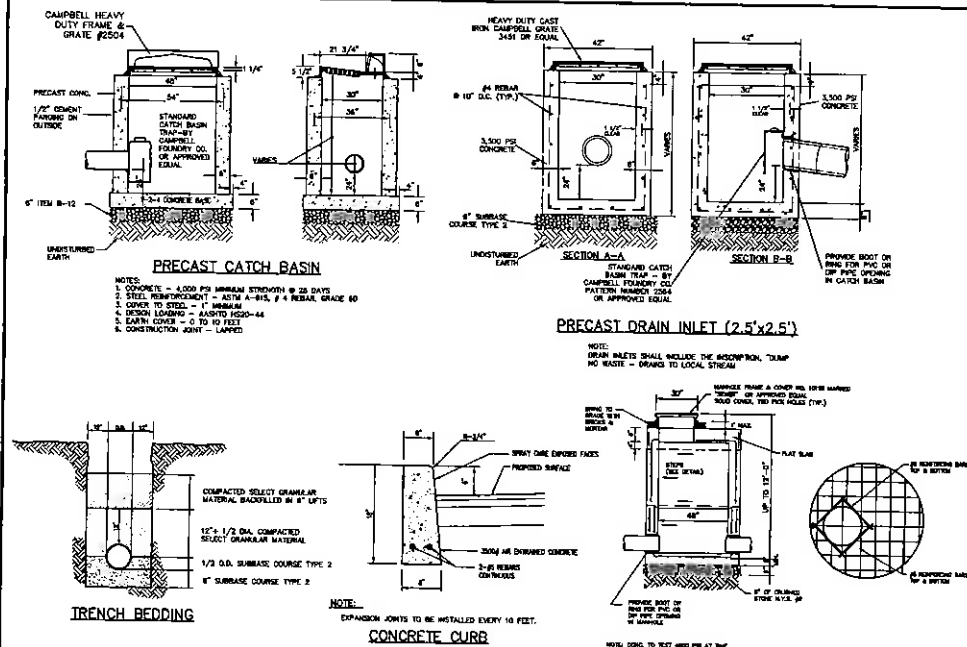
LEGEND

- TEMPORARY INLET PROTECTION
- TEMPORARY SILT FENCE
- TEMPORARY CONSTRUCTION FENCE
- TEMPORARY SOIL STOCKPILE AREA
- STABILIZED CONSTRUCTION ENTRANCE
- TEST PIT LOCATION
- PROPOSED LIMIT OF DISTURBANCE

STORMWATER MANAGEMENT PLAN BASED UPON EXISTING INFORMATION PROVIDED BY LINK LAND SURVEYORS, P.C., LAST REVISED JANUARY 27, 2016



PROJECT:		PROPOSED STORAGE BUILDING 20 DAY ROAD TOWN OF CARMEL PUTNAM COUNTY - NEW YORK
FROSION & SEDIMENT CONTROL PLAN		
HUDSON ENGINEERING CONSULTING, P.C.		
415 Southwood Boulevard, Suite 201 Bloomfield, New Jersey 07003 732-464-4400 732-464-4400		
C-2		



HEC HUDSON ENGINEERING CONSULTING, P.C.

48 Westchester Road - Suite 201
Yonkers, NY 10594
Tel: 914-968-0882
Fax: 914-968-0883

C-3

HOCHERMAN TORTORELLA & WEKSTEIN, LLP
ATTORNEYS AT LAW

ONE NORTH BROADWAY, SUITE 701
WHITE PLAINS, NEW YORK 10601-2319

GERALDINE N. TORTORELLA
ADAM L. WEKSTEIN

NOELLE CRISALLI WOLFSON

TEL: (914) 421-1800
FAX: (914) 421-1856
WEB: WWW.HTWLEGAL.COM

HENRY M. HOCHERMAN
RETIRED

August 25, 2016

Via Federal Express and Electronic Mail

Hon. Harold Gary, Chairman
and Members of the Planning Board
Town of Carmel
60 McAlpin Avenue
Mahopac, New York 10541

Re: *Application of Lake Plaza Shopping Center, LLC for
Site Plan and Stormwater Pollution Prevention Plan Approval
for the Lake Plaza Shopping Center
983-1005 Route 6, Route 6 and Baldwin Lane
Tax Identification Number: Section 65.10, Block 1, Lots 45 and 46*

Dear Chairman Gary and Members of the Planning Board:

Since we last met with your Board on July 13, 2016, Robert Heidenberg and I met with Chairman Gary and Pat Cleary, AICP, CEP, PP, LEED AP, to discuss the Kmart facade and proposed signs. Based upon our discussion at that meeting and your Members' comments at the July 13th meeting, the project architect, Jay Tuller, AIA, has revised the architectural plans and materials proposed for this project to create a more cohesive theme among the various "sections" of the Center (i.e. Stop & Shop, the central retail stores and the Kmart space) and to illustrate how the internally illuminated signage would appear on the Center's facade.¹ In addition, Lake Plaza Shopping Center, LLC commissioned Mr. Tuller to produce a video simulation of the Center, as renovated, from the perspective of one driving into and around it. As you know from our prior discussions, the Stop & Shop proposed for this location is Stop & Shop's new prototype and the first ever to be constructed; therefore, there is no existing location to which we could direct you for a first-hand inspection. The "drive-by" video simulation is intended to enable your Members to visualize the Center, as constructed.

As the Board requested, Messrs. Tuller and Heidenberg, Pablo Medeiros and I met with Vincent Franze, AIA and Michael Carnazza to review the revised elevations and materials and the video simulation.² Both of them reacted positively to the changes. We understand that Mr. Franze will

¹ The signage shown on the central portion of the Center is solely for illustrative purposes to show how conforming-sized signs will appear on the facade. It is not intended to identify actual tenants committed to the Center.

² Mr. Cleary was invited to, but unable to participate in, the meeting and urged us to go forward in his absence.

HOCHERMAN TORTORELLA & WEKSTEIN, LLP

Hon. Harold Gary, Chairman
and Members of the Planning Board

August 25, 2016

Page 2

provide his report on the meeting and his comments on the revised plans to the Board directly.

Enclosed for the Board's information are five (5) sets of the revised plans and one (1) CD, as follows:

1. Sheet A-1, Lake Plaza Shopping Center – Proposed Facade Renovation (Overall Elevation), prepared by Rosenbaum Design Group, last revised for the Board's September 14, 2016 meeting;
2. Sheet A-2, Lake Plaza Shopping Center – Proposed Facade Renovation (Enlarged Views A, B and C and a Schematic Section), prepared by Rosenbaum Design Group, last revised for the Board's September 14, 2016 meeting;
3. Sheet A-3, Lake Plaza Shopping Center – Proposed Facade Renovation (Sample Board), prepared by Rosenbaum Design Group, last revised for the Board's September 14, 2016 meeting;
4. Sheet A-4, Lake Plaza Shopping Center – Proposed Facade Renovation (Views 1 and 2), prepared by Rosenbaum Design Group, last revised for the Board's September 14, 2016 meeting; and
5. CD containing electronic copies of Sheets A-1 through A-4 and a high definition version of the "drive-by" video simulation of the Center, as renovated.

We sincerely hope the Board will be pleased with the revisions. Kindly schedule this application for your September 14, 2016 meeting, at which time we hope your Board will be prepared to schedule a public hearing on this application. Please let us know if you have any questions or require additional information in the interim.

Respectfully yours,

Hocherman Tortorella & Wekstein, LLP

By: 
Geraldine N. Tortorella

GNT:hc
Enclosures

cc: *Via Electronic Mail (with enclosures)*
Vincent Franze, AIA

HOCHERMAN TORTORELLA & WEKSTEIN, LLP

Hon. Harold Gary, Chairman
and Members of the Planning Board

August 25, 2016

Page 3

Patrick Cleary, AICP, CEP, PP, LEED AP

Richard Franzetti, P.E.

Mr. Michael Carnazza

Mr. Robert Heidenberg

Mr. Pablo Medeiros

Ms. Cynthia Hanenberg

Ms. Deborah Farr

Anthony Guzzo, AIA

Jay Tuller, AIA

Michael W. Junghans, P.E.

John Canning, P.E.

Noelle C. Wolfson, Esq.



EXISTING CONDITIONS

SCALE: 1" = 30'-0"



PROPOSED OVERALL FACADE

SCALE: 1" = 30'-0"



PROPOSED PARTIAL ELEVATION

SCALE: 3/32" = 1'-0"



PROPOSED PARTIAL ELEVATION

SCALE: 3/32" = 1'-0"

REFER TO A-2 FOR INFORMATION



PROPOSED PARTIAL ELEVATION

SCALE: 3/32" = 1'-0"

DATE	COMMENT
05.27.2016	REVISION 1: SEE SHEET A-2 FOR SIGNAGE



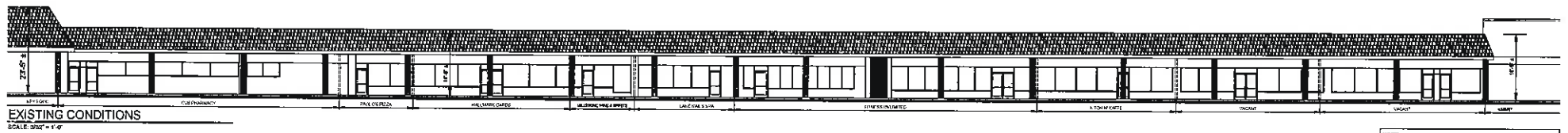
LAKE PLAZA SHOPPING CENTER - PROPOSED FACADE RENOVATION

U.S. ROUTE 6 & BALDWIN LANE - MAHOPAC, NEW YORK

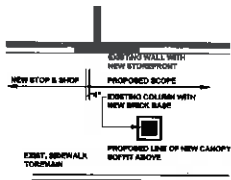
roosenbaum group
architects

2001 WARDEN AVENUE
LIVINGSTON, NEW YORK 10421-1011

TEL: 516.476.1111
FAX: 516.476.1122
WWW.RG-ARCH.COM



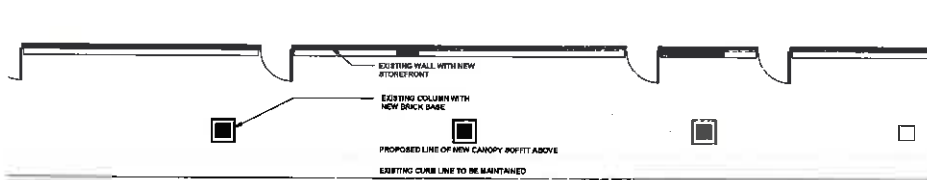
ENLARGED VIEW A
SCALE 3/16" = 1'-0"



PARTIAL PLAN VIEW A
SCALE 3/16" = 1'-0"



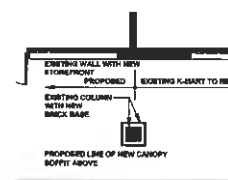
ENLARGED VIEW B
SCALE 3/16" = 1'-0"



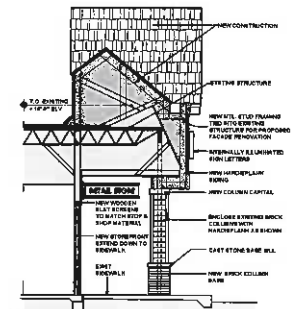
PARTIAL PLAN VIEW B
SCALE 3/16" = 1'-0"



ENLARGED VIEW C
SCALE 3/16" = 1'-0"



PARTIAL PLAN VIEW C
SCALE 3/16" = 1'-0"



SCHEMATIC SECTION
SCALE 3/16" = 1'-0"

DATE	COMMENTS
05.27.2016	REVISION 1: ADD SIGNAGE
	REVISION 2: ADD SIGNAGE
	REVISION 3: ADD SIGNAGE

H HEIDENBERG
PROPERTIES
GROUP

LAKE PLAZA SHOPPING CENTER - PROPOSED FACADE RENOVATION U.S. ROUTE 6 & BALDWIN LANE - MAHOPAC, NEW YORK

rosenbaum + ross group
architects
2001 MARCUS AVENUE
LUMP SUM CONTRACT
LAKE SUCCESS, NEW YORK 10422-1011
TEL: 516.461.1111
FAX: 516.461.1112
WWW.RBG-ARCH.COM

16050
A-2



PROPOSED FACADE RENOVATION
SCALE: 1/8" = 1'-0"



TRANSITION AT: STOP & SHOP / RETAIL
SCALE: 1/16" = 1'-0"

1: FAUX BRICK

MANUFACTURER: NICHHA
MODEL / COLOR: VINTAGE BRICK - ALEXANDRIA
LOCATION / USE: STOP & SHOP BUILDING



6: BRICK

MANUFACTURER: GLENK GORY
MODEL / COLOR: 26-40 R. MOLDEN BRICKS, ATLANTIC PLANT
LOCATION / USE: COLUMN BASES



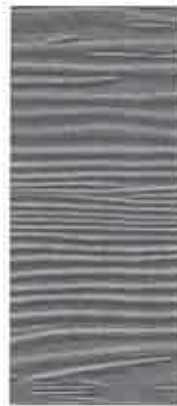
7: ROOF SHINGLE

MANUFACTURER: GAF
MODEL / COLOR: TIMBERLINE SERIES / WEATHERED WOOD
LOCATION / USE: CANOPY ROOF



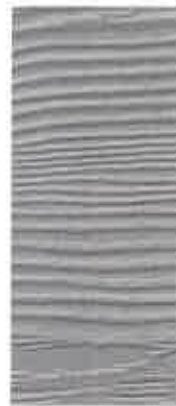
2: SIDING

MANUFACTURER: ALLURA
MODEL / COLOR: FLAGSTONE
LOCATION / USE: STOP & SHOP (FIELD) & RETAIL (FORMER ACCENT AREA)



3: SIDING

MANUFACTURER: ALLURA
MODEL / COLOR: PEPPER
LOCATION / USE: RETAIL CANOPY & COLUMNS



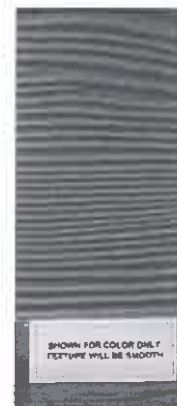
4: TRIM & FASCIA

MANUFACTURER: ALLURA (PLYOEM)
MODEL / COLOR: WHITE
LOCATION / USE: TRIM & FASCIA



5: SMOOTH PANEL

MANUFACTURER: ALLURA
MODEL / COLOR: FLAGSTONE
LOCATION / USE: RETAIL SIGN ACCENT BAND



8: EXTERIOR PAINT FINISH

MANUFACTURER: BENJAMIN MOORE
MODEL / COLOR: "GENESIS WHITE" #2134-70
LOCATION / USE: FAUX CORNICE & ACCENT MEDALLION



MANUFACTURER: BENJAMIN MOORE
MODEL / COLOR: "WHITE STONE" #2134-40
LOCATION / USE: LOWER BUILDING BODY PAINT



MANUFACTURER: BENJAMIN MOORE
MODEL / COLOR: "DULL WIND GRAY" #2134-50
LOCATION / USE: UPPER BUILDING BODY PAINT



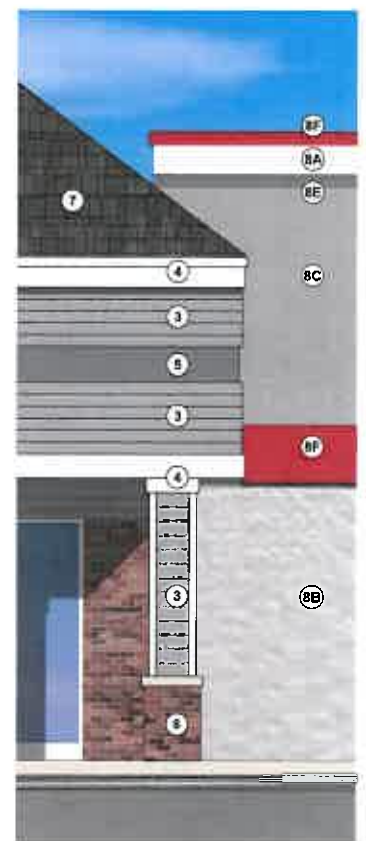
MANUFACTURER: BENJAMIN MOORE
MODEL / COLOR: "PRIVATE GRAY" #2134-40
LOCATION / USE: FAUX PLASTER & ENTRY ELEMENTS



MANUFACTURER: BENJAMIN MOORE
MODEL / COLOR: "IRON MOUNTAIN" #2134-30
LOCATION / USE: FAUX SHADOWS



MANUFACTURER: BENJAMIN MOORE
MODEL / COLOR: "MILK CHOCOLATE" #2134-10
LOCATION / USE: "MARKET" RED - ACCENT BAND & CORNICE



TRANSITION AT: RETAIL / K-MART
SCALE: 1/16" = 1'-0"

NOTE: COLORS AS PRINTED, ALTHOUGH CLOSE, MAY NOT BE TRUE TO THAT OF THE ORIGINAL SAMPLE DUE TO PRINTING LIMITATIONS. PLEASE REFER TO ACTUAL SAMPLES FOR ACCURATE COLORS.

DATE	COMMENT
08.03.2016	REVISION 1: CHANGES TO MATERIALS
08.03.2016	REVISION 2: CHANGES TO MATERIALS
08.03.2016	REVISION 3: CHANGES TO MATERIALS



LAKE PLAZA SHOPPING CENTER - PROPOSED FACADE RENOVATION
U.S. ROUTE 6 & BALDWIN LANE - MAHOPAC, NEW YORK

rosenbaum + group
architects

2001 MARCUS AVENUE
CORP. EAST BLDG.
LAKE SUCCESS, NEW YORK 11042-8011

TEL: 516.461.1111
FAX: 516.461.1122
WWW.RBG-ARCH.COM

10050
A-3



VIEW 1



VIEW 2

DATE	COMMENT
08.03.2016	REVISION 1 - 10' X 10' SIGN
	REVISION 2 - 10' X 10' SIGN
	REVISION 3 - 10' X 10' SIGN
	REVISION 4 - 10' X 10' SIGN
	REVISION 5 - 10' X 10' SIGN
	REVISION 6 - 10' X 10' SIGN
	REVISION 7 - 10' X 10' SIGN
	REVISION 8 - 10' X 10' SIGN
	REVISION 9 - 10' X 10' SIGN
	REVISION 10 - 10' X 10' SIGN

H HEIDENBERG
PROPERTIES
GROUP

LAKE PLAZA SHOPPING CENTER - PROPOSED FACADE RENOVATION U.S. ROUTE 6 & BALDWIN LANE - MAHOPAC, NEW YORK

rosenbaum + group architects	
2020 HARDSHIP LOBBY EAST WING LAKE PLAZA, NEW YORK 10542-0011	TEL: 516.436.8811 FAX: 516.436.8222 WWW.RG-ARCH.COM

10050
A4



September 2, 2016

Harold Gary, Chairman & Members of the Board
Town of Carmel
60 McAlpin Ave
Mahopac, NY 10541

Re: Bathhouse for Zef Smajlaj
803 South Lake Blvd
Mahopac, NY 10541
TM # 75.42-1-39

Dear Mr. Gary & Members of the Board,

Please note the following with regard to Pat Cleary's memo dated July 11, 2016:

1. The site will be used by the owner, his immediate family and guests.
2. A note indicating that no cooking, sleeping, or sanitary facilities has been added to the Site Plan.
3. A variance for the required two parking spaces in addition to the required area variances was granted by the ZBA on August 25, 2016.
4. No fences are proposed. The existing retaining walls shall remain.
5. At the appropriate time we will apply for a permit for the bathhouse from the state agency having jurisdiction.
6. The project was reviewed and accepted by the ECB on September 1, 2016. No NYSDOT permit is required since no highway work is proposed

Please note the following with regard to Mike Carnazza's memo dated July 11, 2016:

1. All the variances have been granted except that the side yard variance was reduced from 15 ft to 10 ft.
2. The project was reviewed and accepted by the ECB on September 1, 2016.
3. At the appropriate time we will apply for a permit for the bathhouse from the state agency having jurisdiction.

Please note the following with regard to Richard Franzetti's memo dated July 12, 2016:

1. At the appropriate time we will apply for a Town of Carmel Flood Plain Permit.
2. The project was reviewed and accepted by the ECB on September 1, 2016. No NYSDOT permit is required since no highway work is proposed.
3. All the necessary Site Plan information pertaining to this project are on the revised Site Plan.
4. You have approved the Rain Garden calculations.
5. The Zoning Board has approved all the necessary variances.

We look forward to reviewing this project at your meeting on September 14, 2016 and if everything is in order having the public hearing and resolution on September 28, 2016.

Very truly yours,

Joel Greenberg
JGL:tmz

Two Muscoot Road North
Mahopac, New York 10541
P: (845) 628-6613 F: (845) 628-2807
Email: joel.greenberg@arch-visions.com
www.arch-visions.com



SITE DATA NOTES

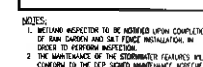
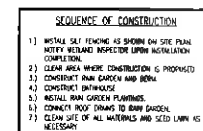
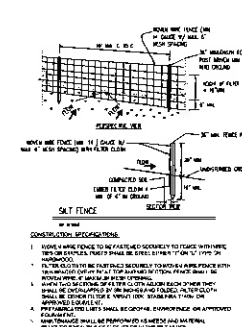
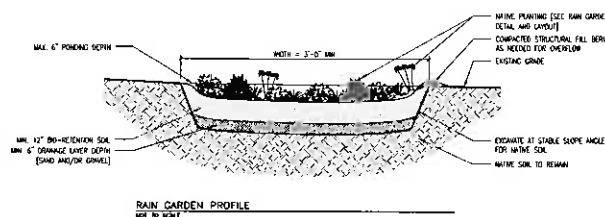
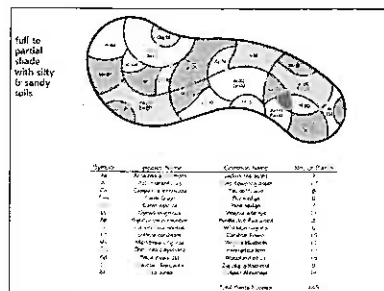
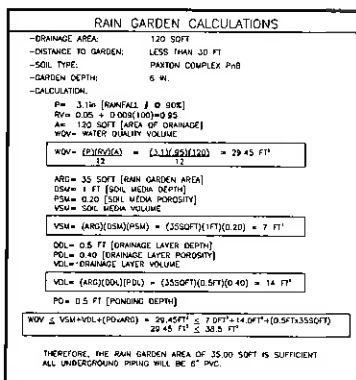
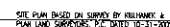
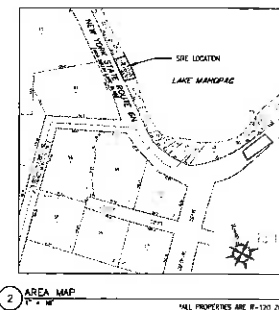
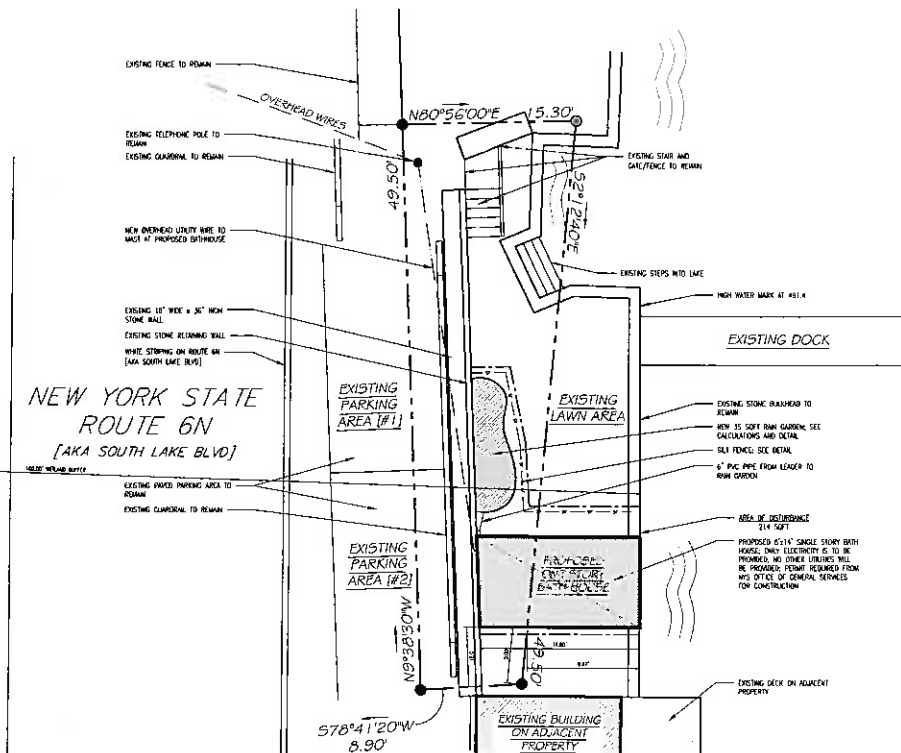
1. PROPERTY OWNER: ZEF SMAJLAJ
2. PROPERTY LOCATION: 803 SOUTH LAKE BLVD.
MAHOPAC, NEW YORK
3. ZONE: R-120
4. PROPOSED USE: BATH HOUSE, NO COOKING, SLEEPING,
SANITARY FACILITIES OR OTHER FUNCTIONS GENERALLY
OCCURRING IN A SWELLING FOR PRIVATE USE BY
OWNER, LESSEE THEIR FAMILIES OR GUESTS. ONLY
ELECTRIC TO BE INSTALLED
5. TAX MAP NO: 75.42-1-39
6. WATER/SEWER: NONE
7. DESIGN LOADS: FLOOR LIVE LOAD 40 PSF
8. SNOW LOADING: GROUND SNOW LD. 50 PSF
9. WIND LOADING:
BASIC WIND SPEED 110 MPH
WIND EXPOSURE CATEGORY C
10. SEISMIC DESIGN:
SEISMIC DESIGN CATEGORY DI
SITE CLASS D
SEISMIC USE GROUP I

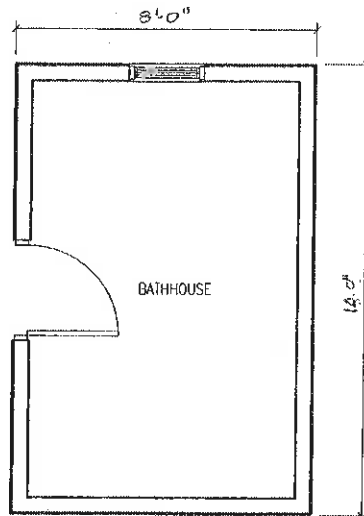
ZONING COMPLIANCE

<u>ZONING PROVISION</u>	<u>REQUIRED</u>	<u>EXISTING</u>	<u>PROPOSED</u>	<u>VARIANCE</u>
LOT AREA	3000 SF	1133 SF	1133 SF	1867 SF
LOT WIDTH	50 FT.	49.5 FT.	49.5 FT.	0.5 FT.
LOT DEPTH	30 FT.	12 FT.	12 FT.	18 FT.
FRONT YARD	15 FT.	N/A	5 FT.	10 FT.
SIDE YARD	15 FT.	N/A	5 FT.	10 FT.
REAR YARD	15 FT.	N/A	0 FT.	15 FT.
HEIGHT	10 FT.	N/A	10 FT.	
OFF-STREET PARKING	2	2	0	2

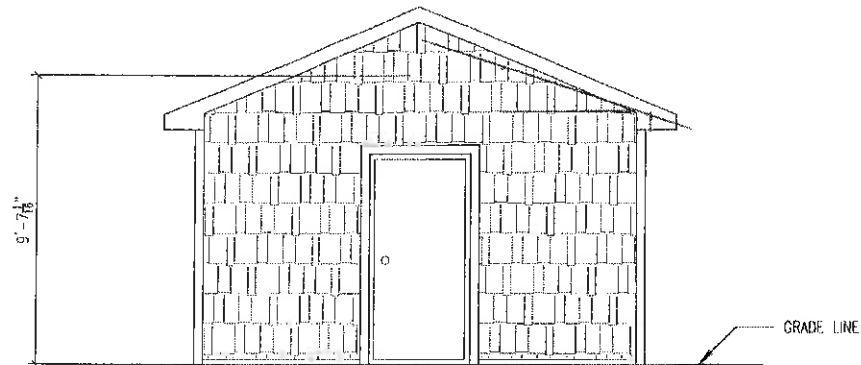
APPROVED
8/2/2024

ARCHITECTURAL VISIONS, INC. 2 MELROSE ROAD NORTH MAHOPAC, NY 10641 TEL: 914-938-8812 FAX: 914-938-8813	
PROJECT: ZEF SMAJLAJ PROJECT ADDRESS: 803 SOUTH LAKE BLVD. MAHOPAC, NY 10641 DESIGN NO. 75.42-1-39	
SITE PLAN NOTES	
DESIGNED BY: [Signature] REVISED BY: [Signature] REV 7/8/16	SEAL Professional Engineer No. 10407 State of New York S-2
SCALE: AS NOTED DRAWN BY: [Signature] PROJECT NO. 75.42-1-39	





1 FLOOR PLAN
1/4" = 1'-0"



2 ELEVATION
1/4" = 1'-0"

DO NOT SCALE DRAWINGS. ALL DIMENSIONS TO BE VERIFIED IN FIELD. IT IS A VIOLATION OF STATE LAW FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM ON THESE PLANS AND DOCUMENTS IN ANY WAY. PER STATE LAW, IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO HIS/HER ITEM THE SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS/HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION. THIS ARCHITECT DENIES ANY AND ALL RESPONSIBILITY FOR ALTERATIONS OF THESE PLANS AND DOCUMENTS BY OTHERS AND EXPRESSLY DENIES PERMISSION TO OTHERS TO ALTER THESE PLANS AND DOCUMENTS.



**ARCHITECTURAL
VISIONS, LLC**

2 MUSCOOT ROAD NORTH
MAHOPAC, NY, 10541
JOEL.GREENBERG@ARCHVISIONS.COM

P: 845-628-6613
F: 845-628-2807

PROJECT:
ZEF SMAJLAJ
PROJECT ADDRESS
003 SOUTH LAKE BLVD.
MAHOPAC, NY 10541
TAX MAP # 75.42-1-39

MAILING ADDRESS
510 PARK AVENUE,
NY, NY
10022

BATHHOUSE PLANS

ISSUANCE	
ISSUANCE	DATE
FOR REVIEW	0-30-16

SCALE
AS NOTED

DRAWN BY
JM /JLG

PROJECT NO.
03-16-039

A-101



August 31, 2016

Harold Gary, Chairman and Members of the Planning Board
Town of Carmel
60 Mcalpin Avenue
Mahopac, New York 10541

Re: NL & M Holding Corp.
936-942 South Lake Boulevard
Mahopac, New York 10541 - T.M. # 75.44-1-47

Dear Mr. Gary & Members of the Board,

The following is my response to Pat Cleary's memo dated August 10, 2016:

1. As stated by Mr. Cleary, multi – family apartments are not a permitted use in the C zone. Therefore we will apply for a use variance from the ZBA.
2. Numerous area variances are required since the existing building has non conforming setbacks and our proposed second story extends the existing non conformity.
3. Since the site cannot accommodate any additional parking spaces, a parking variance is required.

The following is my response to Mike Carnazza's memo dated August 8, 2016:

1. The distance from Route 6N to the second story addition has been added.
2. There is no ADA parking space.
3. No elevator is proposed or required.
4. No sprinklers are proposed.
5. The second floor construction will conform to the new building code.
6. The Zoning Chart has been amended. A variance will be requested from the NYSDOS regarding the lack of ADA spaces.

The following is my response to Richard Franzetti's memo dated August 4, 2016:

1. Total number of new bedrooms is 6 (i.e. (2) 2 bedroom apts. and (2) 1 bedroom apts) or 150 gallons per bedroom for a total of 900 gallons per day.
2. The proposed moratorium indicates that no new connections will be approved. However, we are not proposing a new connection. I have attempted to contact the NYCDEP to get a clarification. However, to this date, I have not received a response.
3. As mentioned in my memo of August 10, 2016, Mr. Mazzola does not own this 100ft strip of land. I have provided Joe Charbonneau with the several deeds, none of which indicate that the 100 ft strip is part of Mr. Mazzola's property.

Therefore based on the above and the revised drawings submitted, I respectfully request a referral to the Zoning Board of Appeals.

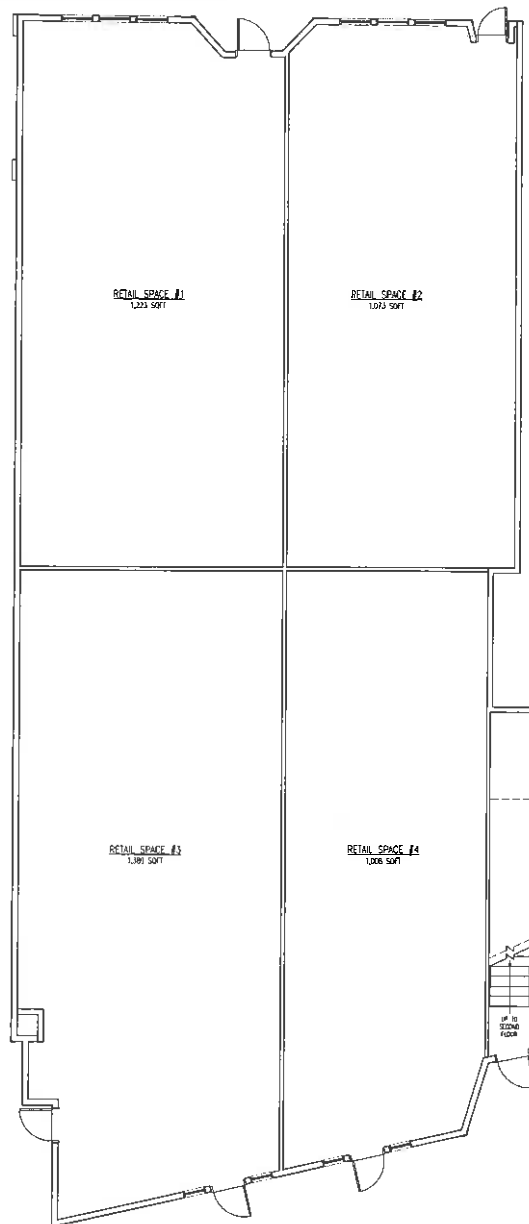
Very truly yours,

Joel Greenberg, AIA, NCARB
JLG:tmz

Two Muscote Road North
Mahopac, New York 10541
P: (845) 628-6613 F: (845) 628-2807
Email: joel.greenberg@arch-visions.com
www.arch-visions.com



THE STATE OF TEXAS, COUNTY OF DALLAS, ss. I, the undersigned, being a duly qualified Notary Public for said State, do hereby certify that the foregoing is a true and correct copy of the original of the same, as the same appears from the records of said County.



1 FIRST FLOOR PLAN
W/F - 1st

Architectural
VISIONS

2 MUSCOOT ROAD NORTH
MANHATTAN, NY 10041
TEL: 845-628-2807

PROJECT:
NL & M HOLDING CORP.

PROJECT ADDRESS: 600 WEST 14TH STREET
MANHATTAN, NY 10011

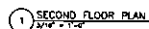
MANHATTAN ADDRESS: 600 WEST 14TH STREET
MANHATTAN, NY 10011

SCALE:
AS SHOWN

DRAWN BY: JAC

PROJECT NO.: 1-100-001

A-101

[illegible]

A-102

VIA FEDERAL EXPRESS

July 27, 2016

Planning Board
Town of Carmel
60 McAlpin Avenue
Mahopac, New York 10541

Attn: Mr. Harold Gray,
Chairman

RE: Western Bluff Subdivision
Section 66.14, Block 1, Lot 20
350 West Shore Drive

Dear Mr. Gray:

Please find enclosed eleven (11) copies of the following documents in support of Application for Subdivision Approval - Sketch Plan for the referenced project.

- ☐ Subdivision Sketch Plan, prepared by Kellard Sessions Consulting, P.C. dated (last revised) July 20, 2016
- ☐ Subdivision Application
- ☐ Subdivision Completeness Certification Form
- ☐ Disclosure Addendum Statement to Application, Petition & Request
- ☐ Short Environmental Assessment Form
- ☐ Application Fee in the amount of \$500.00
- ☐ List of Adjacent Property Owners
- ☐ CD of entire submission

Mr. Harold Gray
July 27, 2016
Page 2

Our proposal is a three (3) lot subdivision on 14.79 acres located on the eastern side of West Shore Drive. The parcel has 1,300 feet of frontage and portions of the site include steep slopes and wetlands. A residential dwelling is located within the southern portion of the parcel. The two (2) new lots have been designed to accommodate new single-family residences. The third lot has been designed to accommodate either the existing residence, a new residence or addition to the existing home. Each lot will be serviced by individual on-site wells and subsurface sewage disposal systems designed to accommodate four (4) bedroom residences. Access has been designed with a single curb cut. One (1) new residence will be accessed through a common driveway should a new residence be proposed on the lot with the existing home. Stormwater designs will be in conformance with Local, State and New York City stormwater regulations.

I would request being placed on the August 24, 2016 Planning Board agenda to begin discussions regarding our proposal.

Very truly yours,

A handwritten signature in black ink that reads "John Kellard / PC". The signature is written in a cursive, flowing style.

John Kellard, P.E.
Kellard Sessions Consulting, P.C.

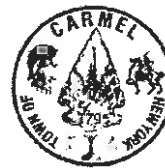
JK/pg

Enclosures

cc: Carl Kling
Dominick Santucci w/Enc.
Chief of Carmel Fire Department w/Enc.



TOWN OF CARMEL SUBDIVISION APPLICATION INSTRUCTIONS



The Town of Carmel Planning Board meetings are held twice a month, on the second and fourth Wednesday's, at 7:00 PM at Carmel Town Hall, 60 McAlpin Avenue, Carmel

The submission deadline is 10 days prior to the Planning Board meeting. New subdivision applications that have been deemed complete will be placed on the agenda in the order they are received.

Pre-Submission:

Prior to the formal submission of the subdivision, a pre-submission conference may be requested by the applicant to be conducted with representatives from the Town, which may include the Town Planner, Town Engineer, Director of Code Enforcement, Planning Board Attorney. This conference will serve to educate the applicant on the process he/she must follow, clarify the information required to submit a complete subdivision application, and to highlight any specific areas of concern. You may arrange a pre-submission conference through the Planning Board Secretary at (845) 628-1500.

Submission Requirements:

At least 10 days prior to the Planning Board meeting, the subdivision application shall be submitted to the Planning Board Secretary as follows:

All subdivisions shall be signed, sealed and folded with the title box legible. The application package shall include:

- ☒ 11 copies of the Subdivision Application Form signed and notarized.
- ☒ 11 copies of the SEQR Environmental Assessment Form (use of short form or long form shall be determined at pre-submission conference).
- ☒ 5 full size sets of the Subdivision Plan
- ☒ 1 CD (in pdf. format) containing an electronic version of the Subdivision Plan
- ☒ 2 copies of the Disclosure Statement
- ☒ 11 copies of the Subdivision Completeness Certification Form
- ☐ ☒ All supplemental studies, reports, plans and renderings.
- ☒ 2 copies of the current deed.
- ☐ ☒ 2 copies of all easements, covenants and restrictions.
- ☒ The appropriate fee, determined from the attached fee schedule. Make checks payable to the Town of Carmel.

Roseanne Miller 9/7/16
Planning Board Secretary; Date

[Signature] 9/7/16
Town Engineer; Date



TOWN OF CARMEL SUBDIVISION APPLICATION



Per Town of Carmel Code – Section 131 – Subdivision of Land

SITE IDENTIFICATION INFORMATION			
Application Name: Dominick Santucci		Application #: 16-0016	Date Submitted: July 14, 2016
Site Address: No. 15 Street: Travis Lane Hamlet: Montrose, New York 10548			
Property Location: (Identify landmarks, distance from intersections, etc.) 350 West Shore Drive, Across from Farview Road			
Town of Carmel Tax Map Designation: Section 66.14 Block 1 Lot(s) 20		Zoning Designation of Site: R-Residential	
Property Deed Recorded in County Clerk's Office Date Liber Page		Liens, Mortgages or other Encumbrances Yes No No	
Existing Easements Relating to the Site No Yes Describe and attach copies: No		Are Easements Proposed? No Yes Describe and attach copies: Yes - Common Driveway	
Have Property Owners within a 500' Radius of the Site Been Identified? Yes X No Attached List to this Application Form Yes			
APPLICANT/OWNER INFORMATION			
Property Owner: Carl Kling		Phone #:	Email:
Owners Address: No. 350 Street: West Shore Drive		Fax#:	
Town: Carmel		State: NY Zip: 10512	
Applicant (If different than owner): Dominick Santucci		Phone #: 914-447-1057 Fax#:	Email: dsantucci@santucciconstruction.com
Applicant Address (If different than owner): No. 15 Street: Travis Lane Town: Montrose State: NY Zip: 10548			
Individual/ Firm Responsible for Preparing Site Plan: Kellard Sessions Consulting, P.C.		Phone #: 914-273-2323 Fax#:	Email: jkellard@kelses.com
Address: No. 500 Street: Main Street Town: Armonk State: NY Zip: 10504			
Other Representatives:		Phone #: Fax#:	Email:
Owners Address: No. Street: Town: State: Zip:			
PROJECT DESCRIPTION			
Describe the project, proposed use and operation thereof: Existing 14.79 acre parcel with single-family residence. Proposed three (3) lot subdivision (Western Bluff Subdivision), serviced by individual wells and septic systems and common driveway.			

TOWN OF CARMEL SUBDIVISION APPLICATION

PROJECT INFORMATION			
Size of existing parcel to be subdivided:			
Acres: 14.79		Square Feet: 644,463	
Major Subdivision <input type="checkbox"/>		Minor Subdivision <input type="checkbox"/>	
Number of proposed lots: 3		Size of proposed lots: 200,923 s.f. - 237,138 s.f.	
Conventional Subdivision <input checked="" type="checkbox"/>		Cluster Subdivision <input type="checkbox"/>	
Will a 10% open space set aside be provided? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>		If no, will a payment in-lieu be provided? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
Will all new lots have frontage on a mapped street? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>		If not, how will this deficiency be addressed?	
Is the site served by the following public utility infrastructure:			
<div style="display: flex; justify-content: space-between;"> ▪ Sanitary Sewer Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> </div> <div style="margin-left: 40px;"> If Yes: <div style="display: flex; justify-content: space-between; margin-left: 20px;"> ▶ Does approval exist to connect to sewer main? Yes: <input type="checkbox"/> No: <input type="checkbox"/> ▶ Is this an in-district connection? _____ Out-of district connection? _____ </div> <div style="margin-left: 20px;"> ▶ What is the total sewer capacity at time of application? _____ ▶ What is your anticipated average and maximum daily flow _____ </div> </div>			
For Town of Carmel Town Engineer ▶ What is the sewer capacity _____			
<div style="display: flex; justify-content: space-between;"> ▪ Water Supply Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> </div> <div style="margin-left: 40px;"> If Yes: <div style="display: flex; justify-content: space-between; margin-left: 20px;"> ▶ Does approval exist to connect to water main? Yes: <input type="checkbox"/> No: <input type="checkbox"/> ▶ What is the total water capacity at time of application? _____ </div> <div style="margin-left: 20px;"> ▶ What is your anticipated average and maximum daily demand _____ </div> </div>			
<div style="display: flex; justify-content: space-between;"> ▪ Storm Sewer Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> </div>			
<div style="display: flex; justify-content: space-between;"> ▪ Electric Service Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> </div>			
<div style="display: flex; justify-content: space-between;"> ▪ Gas Service Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> </div>			
<div style="display: flex; justify-content: space-between;"> ▪ Telephone/Cable Lines Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> </div>			
Will any common areas be created outside of individual lots (road rights-of-way, recreation areas, stormwater management areas, etc.)? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Is a homeowners association proposed? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
What is the predominant soil type(s) on the site? Charlton/Paxton		What is the approximate depth to water table? 6+ feet	
Site slope categories:		15-25% 15 % 25-35% 10 % >35% 5 %	
Estimated quantity of excavation:		Cut (C.Y.) 45,237 Fill (C.Y.) 44,625	
Is Blasting Proposed Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> Unknown: <input type="checkbox"/> Hammer			
Is the site located on a designated Critical Environmental Area? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Does a curb cut exist on the site? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>		Are new curb cuts proposed? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
		What is the sight distance? Left ±350' Right ±350'	
Is the site located within 500' of:			
<div style="display: flex; justify-content: space-between;"> ▪ The boundary of an adjoining city, town or village Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> </div>			
<div style="display: flex; justify-content: space-between;"> ▪ The boundary of a state or county park, recreation area or road right-of-way Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> </div>			
<div style="display: flex; justify-content: space-between;"> ▪ A county drainage channel line. Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> </div>			

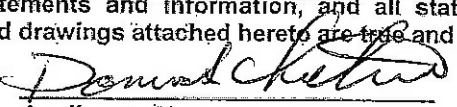
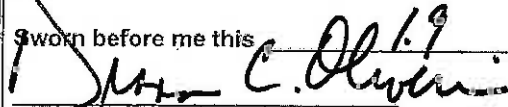
TOWN OF CARMEL SUBDIVISION APPLICATION

The boundary of state or county owned land on which a building is located Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Is the site listed on the State or Federal Register of Historic Place (or substantially (contiguous) Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Is the site located in a designated floodplain? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Does the site contain freshwater wetlands? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
Jurisdiction: NYSDEC: <input type="checkbox"/> Town of Carmel: <input checked="" type="checkbox"/>	
<i>If present, the wetlands must be delineated in the field by a Wetland Professional, and survey located on the Site Plan.</i>	
Are encroachments in regulated wetlands or wetland buffers proposed? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
Does this application require a referral to the Environmental Conservation Board? Yes: <input type="checkbox"/> No: <input type="checkbox"/>	
Does the site contain waterbodies, streams or watercourses? Yes: <input type="checkbox"/> No: <input type="checkbox"/>	
Are any encroachments, crossings or alterations proposed? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Is the site located adjacent to New York City watershed lands? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
Will municipal or private solid waste disposal be utilized? Public: <input checked="" type="checkbox"/> Private: <input type="checkbox"/>	
Has this application been referred to the Fire Department? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
What is the estimated time of construction for the project? Two (2) years	

ZONING COMPLIANCE INFORMATION							
Zoning Provision	Required	Existing	Lot 1	Lot 2	Lot 3	Lot 4	Lot 5
Lot Area	120,000	644,463	206,401	237,139	200,923		
Lot Coverage	15%		1.3%	7.1%	1.3%		
Lot Width	200		424	372	248		
Front Yard	40		302	552	328		
Side Yard (minimum of 1)	25		79	153	75		
Side Yard (total of both)	50		172	468	184		
Rear Yard	40		65	87	289		
Habitable Floor Area							
Height	35		<35	<35	<35		

(if more than 5 lots are proposed, include additional zoning compliance information on a separate sheet)

Will variances be required? Yes: <input type="checkbox"/> No: <input type="checkbox"/>	If yes, identify variances required for each lot:
---	---

APPLICANTS ACKNOWLEDGEMENT	
I hereby depose and certify that all the above statements and information, and all statements and information contained in the supporting documents and drawings attached hereto are true and correct.	
Dominick Santucci _____ Applicants Name	 _____ Applicants Signature
Sworn before me this <u>16th</u> day of <u>JULY</u> 20 <u>16</u>  _____ Notary Public	

DIANA C. OLIVERI
 Notary Public, State of New York
 No. 010L5067087
 Qualified in Westchester County
 Commission Expires October 7, 2018



TOWN OF CARMEL

SUBDIVISION COMPLETENESS CERTIFICATION FORM



All Subdivisions submitted to the Planning Board for review shall include the following information and details, as set forth in Section 131-11-14 of the Town of Carmel Subdivision Regulations.

This form shall be included with the subdivision submission

	Requirement Data	To Be Completed by the Applicant	Waived by the Town
General Requirements			
1	Key map at a scale of one inch equals 800 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2	Title block, including title of map; name of subdivision; name, address, seal and signature of professional engineer or land surveyor preparing the plat; written scale; date of original and all revisions.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3	A legend, including, names of all adjacent landowners and those within 500 feet of any property line; zoning district with the requirements of said zone; tax map, block and lot number; names and addresses of owner and subdivider; north point and graphic scale.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4	Location and identification of all zoning district boundaries.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5	Identification of all maps filed in the County Clerk's office affecting properties within 500 feet of the lot to be subdivided.	<input type="checkbox"/>	<input type="checkbox"/>
Sketch Plan Requirements			
1	All General Requirements	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2	Proposed subdivision layout at a scale of not less than one inch equals 100 feet.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3	All proposed lot lines, dimensions in feet and the areas of all lots in square feet and identifying numbers for each lot.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4	The location of existing and proposed setback lines, streets within 200 feet of the subdivision, buildings, watercourses, railroads and bridges, culverts, drainpipes and any natural features, such as wooded areas and rock formations.	<input type="checkbox"/>	<input type="checkbox"/>
5	Location and size of areas proposed to be reserved for recreation/open space.	<input type="checkbox"/>	<input type="checkbox"/>



TOWN OF CARMEL
**SUBDIVISION COMPLETENESS
CERTIFICATION FORM**



	<i>Requirement Data</i>	<i>To Be Completed by the Applicant</i>	<i>Waived by the Town</i>
Preliminary Plat Requirements			
1	All General and Sketch Plan Requirements	<input type="checkbox"/>	<input type="checkbox"/>
2	The area included in the subdivision, by area of lots, roads, reservations if any, and total acreage.	<input type="checkbox"/>	<input type="checkbox"/>
3	The existing and proposed contours (at an interval of not more than two feet), suitably designated to differentiate, with proposed first-floor elevations of the buildings.	<input type="checkbox"/>	<input type="checkbox"/>
4	Names of existing streets and proposed names of new streets.	<input type="checkbox"/>	<input type="checkbox"/>
5	Preliminary profiles of all proposed roads.	<input type="checkbox"/>	<input type="checkbox"/>
6	Location, type and size of curbs, sidewalks and bikeways.	<input type="checkbox"/>	<input type="checkbox"/>
7	For subdivisions of five or more lots, front building elevation sketches and distribution of dissimilar building types on the site to avoid excessive similarity of exterior design.	<input type="checkbox"/>	<input type="checkbox"/>
8	Plans of proposed utility layouts and all facilities, unsized.	<input type="checkbox"/>	<input type="checkbox"/>
9	The natural flow of surface drainage (indicated with arrows and the final disposal of surface waters); location of existing and proposed watercourses, culverts, bridges, drainpipes, lakes and ponds, detention or retention ponds; tentative location of storm drain inlets with the drainage areas tributary to each outlined and the area shown.	<input type="checkbox"/>	<input type="checkbox"/>
10	Existing or proposed covenants or deed restrictions applying to the site and a preliminary draft of homeowners' association documents, if applicable.	<input type="checkbox"/>	<input type="checkbox"/>
11	A stormwater pollution prevention plan (SWPPP) consistent with the requirements of Article X of Chapter 156 of the Code of the Town of Carmel.	<input type="checkbox"/>	<input type="checkbox"/>
Final Plat Requirements			
1	All General, Sketch and Preliminary Plat Requirements.	<input type="checkbox"/>	<input type="checkbox"/>



TOWN OF CARMEL
SUBDIVISION COMPLETENESS
CERTIFICATION FORM

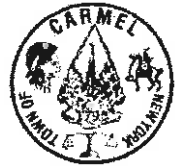


	<i>Requirement Data</i>	<i>To Be Completed by the Applicant</i>	<i>Waived by the Town</i>
2	Dimensions exactly with reference to monuments, bearings, distances in feet, radii, points of curvature and tangency of property lines, lot widths and depths and square feet of each lot.	<input type="checkbox"/>	<input type="checkbox"/>
3	Location of all proposed setback lines on each lot, with corner and irregular-shaped lots identified as to front, side and rear yards.	<input type="checkbox"/>	<input type="checkbox"/>
4	Location of all existing and proposed monuments.	<input type="checkbox"/>	<input type="checkbox"/>
5	All existing streets and streams within the subdivision and within 200 feet of the boundaries thereof, the width of the right-of-way of each street and existing public easements and municipal boundaries within 200 feet of the subdivision.	<input type="checkbox"/>	<input type="checkbox"/>
6	All proposed public easements or rights-of-way and the purposes thereof and proposed streets, identifying right-of-way width and names.	<input type="checkbox"/>	<input type="checkbox"/>
7	All parcels proposed for open space/recreation use, with a statement of the purpose of each.	<input type="checkbox"/>	<input type="checkbox"/>
8	Construction plat, which shall include, in addition to the above: final first-floor elevations of dwellings and outside grades at their corner; proposed curb elevations at all lot corners; all existing structures, including a note indicating those to be removed and yard dimensions of those to remain; plans and profiles and proposed improvements and utility layouts; paving widths and locations, section and profiles; sidewalk widths and locations and sections; road alignment, complete with stations, center line curve data and existing and finished contours of the road and all regraded areas; details of manholes, catch basins, headwalls and any other required structure; locations of all street trees, lights and signs; maximum anticipated extent of the areas of cuts and fills where grade	<input type="checkbox"/>	<input type="checkbox"/>



TOWN OF CARMEL

SUBDIVISION COMPLETENESS CERTIFICATION FORM



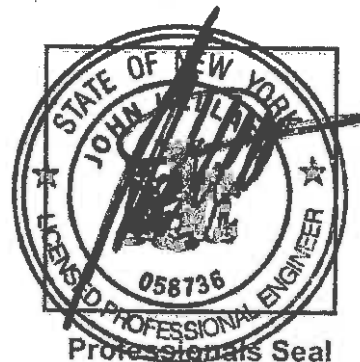
Requirement Data		To Be Completed by the Applicant	Waived by the Town
	changes are proposed; the natural flow of surface drainage and the final disposal of surface waters; slopes of banks of all watercourses, if defined, and boundaries of floodplains; specifications, locations, profiles and detailed cross sections of the proposed storm drains, including all inlets and size of the drainage area of the streets, including grades and all other improvements.		
9	Final copy of the homeowners' association documents, if applicable.	<input type="checkbox"/>	<input type="checkbox"/>
10	Deeds for land to be dedicated for road widening, recreation or other purposes.	<input type="checkbox"/>	<input type="checkbox"/>
11	Erosion control standards.	<input type="checkbox"/>	<input type="checkbox"/>
12	A stormwater pollution prevention plan (SWPPP) consistent with the requirements of Article X of Chapter 156 of the Code of the Town of Carmel and with the terms of preliminary plan approval.	<input type="checkbox"/>	<input type="checkbox"/>

Applicants Certification (to be completed by the licensed professional preparing the subdivision plan:

I John Kellard hereby certify that the site plan to which I have attached my seal and signature, meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:

Don Chiles
Signature - Applicant

7/23/16
Date



Carl C. Kling
Signature - Owner

7/23/16
Date



TOWN OF CARMEL
SUBDIVISION COMPLETENESS
CERTIFICATION FORM



Town Certification (to be completed by the Town)

I Rose Thonkutter hereby confirm that the site plan meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:

Rose Thonkutter

Signature - Planning Board Secretary

9/7/16

Date

[Signature]

Signature - Town Engineer

9/7/16

Date

Short Environmental Assessment Form

Part 1 - Project Information

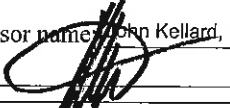
Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information							
Name of Action or Project: Western Bluff Subdivision							
Project Location (describe, and attach a location map): 350 West Shore Drive, Across from Farview Road, Section 66.14, Block 1, Lot 20							
Brief Description of Proposed Action: Existing 14.79 acre parcel with single-family residence. Proposed three (3) lot subdivision, serviced by individual wells and septs and common driveway.							
Name of Applicant or Sponsor: Dominick Santucci		Telephone: 914-447-1057 E-Mail: dsantucci@santucciconstruction.com					
Address: 15 Travis Lane							
City/PO: Montrose		State: NY	Zip Code: 10548				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; padding: 2px;">NO</td> <td style="width: 50%; padding: 2px;">YES</td> </tr> <tr> <td style="text-align: center; padding: 2px;"><input checked="" type="checkbox"/></td> <td style="text-align: center; padding: 2px;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: Wetland Permit - Town of Carmel			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; padding: 2px;">NO</td> <td style="width: 50%; padding: 2px;">YES</td> </tr> <tr> <td style="text-align: center; padding: 2px;"><input type="checkbox"/></td> <td style="text-align: center; padding: 2px;"><input checked="" type="checkbox"/></td> </tr> </table>	NO	YES	<input type="checkbox"/>	<input checked="" type="checkbox"/>
NO	YES						
<input type="checkbox"/>	<input checked="" type="checkbox"/>						
3.a. Total acreage of the site of the proposed action? 14.79 acres b. Total acreage to be physically disturbed? _____ acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 14.79 acres							
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input checked="" type="checkbox"/> Other (specify): Watershed <input type="checkbox"/> Parkland							

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	N/A <input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: <u>Individual wells</u>	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: <u>Individual septic</u>	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ <u>Permit required for work within wetland setback.</u>	NO <input type="checkbox"/> <input checked="" type="checkbox"/>	YES <input checked="" type="checkbox"/> <input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input checked="" type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES <u>Stormwater treatment systems in conformance with NYSDEC and NYCDEP stormwater regulations.</u>	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>John Kellard, P.E. (Applicant's Sponsor)</u>		Date: <u>July 20, 2016</u>
Signature: <u></u>		

SOIL LEGEND

Lc
 Ph
 Ct

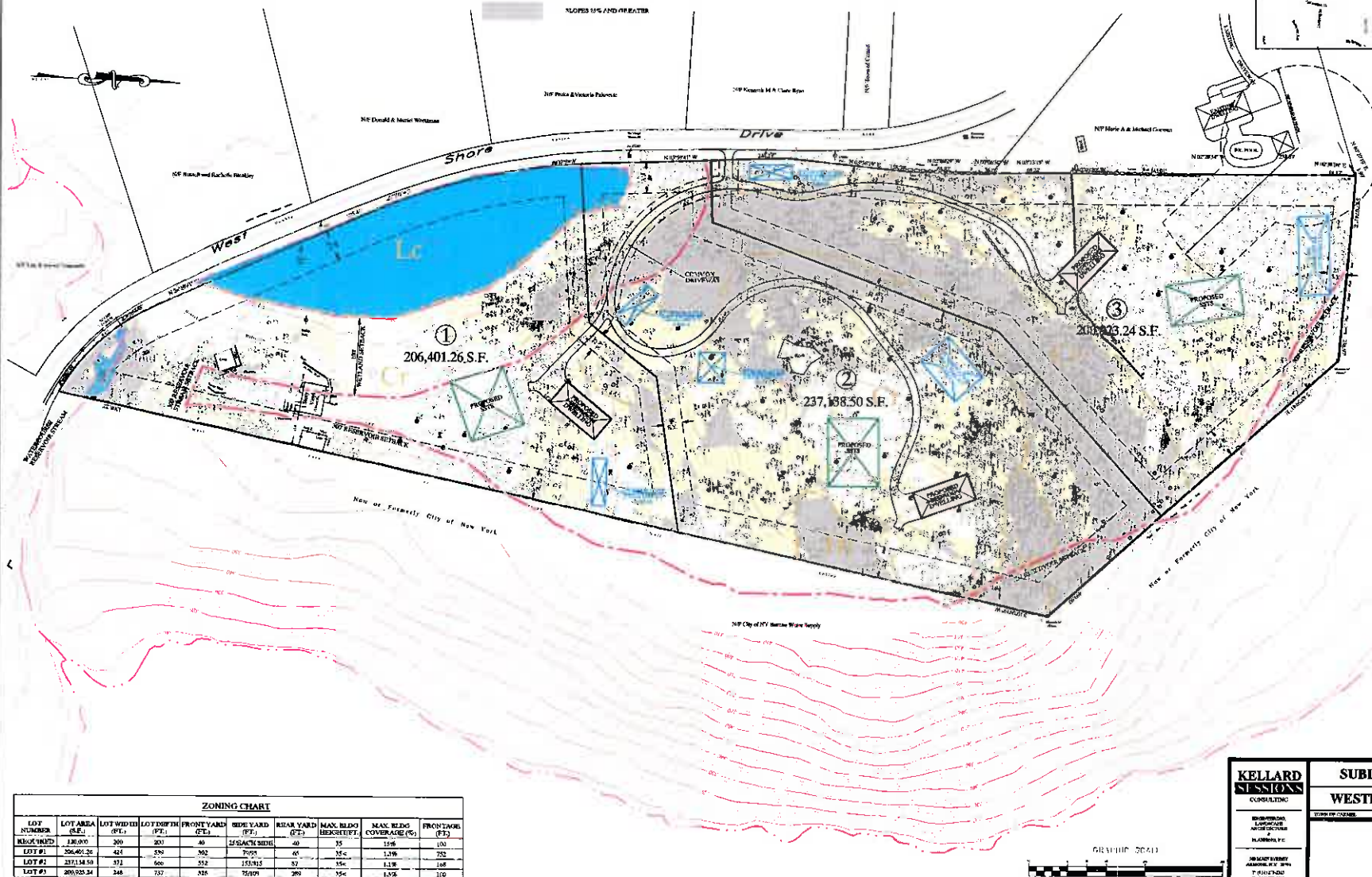
SOIL BOUNDARY
 LEICESTER LOAM
 PAXTON FINE SANDY LOAM
 CHATHFIELD - CHARLTON COMPLEX

LEGEND

EXISTING PROPERTY LINE
 EXISTING 20' CONTROLS
 EXISTING 2' CONTROLS
 EXISTING WETLAND
 EXISTING STREAM
 EXISTING TREE
 EXISTING STRUCTURE
 PROPOSED PROPERTY LINE
 PROPOSED YARD setback LINE
 PROPOSED STRUCTURES
 SLOPES 1% - 25%
 SLOPES 25% AND GREATER

SITE DATA

OWNER/APPLICANT: DOMINICK SANTUCCI
 15 TRAVIS LANE
 MONTROSE, N.Y. 10548
 PROPERTY ADDRESS: 150 WEST SHORE DRIVE
 FARMEL, N.Y.
 TAX MAP DESIGNATION: SECTION: 66.14, BLOCK: 1, LOT 20
 LOT AREA: 644,463 S.F. (14.79 AC.)
 ZONING DESIGNATION: R-RESIDENTIAL



ZONING CHART

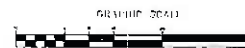
LOT NUMBER	LOT AREA (S.F.)	LOT WIDTH (FT.)	LOT DEPTH (FT.)	FRONT YARD (FT.)	SIDE YARD (FT.)	REAR YARD (FT.)	MAX. BLDG HEIGHT (FT.)	MAX. BLDG COVERAGE (%)	FRONTING (FT.)
REAR YARD	120,000	200	200	40	15	15	15	15	100
LOT #1	206,401.26	421	259	302	700	65	35	1.5%	732
LOT #2	237,188.50	372	400	312	15,815	37	35	1.5%	168
LOT #3	207,423.24	348	722	326	2600	390	35	1.5%	378

KELLARD
SESSIONS
 CONSULTING

REGISTERED PROFESSIONAL ENGINEER
 ARCHITECTURE
 PLANNING
 KELLARD, SESSIONS & ASSOCIATES, P.C.
 1000 WEST 10TH AVENUE
 SUITE 100
 DENVER, CO 80202
 TEL: 303.733.1111
 FAX: 303.733.1112
 WWW.KSAS.COM

SUBDIVISION SKETCH PLAN WESTERN BLUFF SUBDIVISION

DATE	BY	REVISION
1/1/2000	KS	1
1/1/2000	KS	2
1/1/2000	KS	3
1/1/2000	KS	4
1/1/2000	KS	5
1/1/2000	KS	6
1/1/2000	KS	7
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1/1/2000	KS	99
1/1/2000	KS	100



SUBDIVISION SKETCH PLAN FOR WESTERN BLUFF SUBDIVISION, FARMEL, NEW YORK, PREPARED BY KELLARD, SESSIONS & ASSOCIATES, P.C.

August 11, 2016

Town of Carmel Planning Board
60 McAlpin Avenue
Mahopac, NY 10541-2340

Attn: Mr. Harold Gary, Chairman

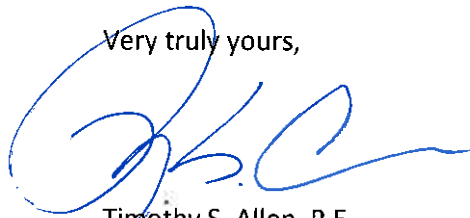
Re: Proposed 14-Lot Subdivision
Yankee Development, Piggott Road
TM # 76.15-1-12

Dear Members of the Board:

On behalf of the owners of the above captioned property we are hereby requesting an additional 180-day extension of Preliminary Subdivision Approval. This project was granted a 180 day extension until August 15, 2016. Given the current residential real estate climate our client is proceeding with the DEP review process and will ultimately subdivide the property if the residential real estate market continues on its positive trend. A check in the amount of \$500 for the renewal fee will be sent under separate cover.

We respectfully request to be placed on your September 14, 2016 agenda. Should you require any additional information, please feel free to contact me.

Very truly yours,



Timothy S. Allen, P.E.

TSA/mme
Enclosure

cc: Angelo Luppino
Michael Sirignano
File