

**HAROLD GARY**  
*Chairman*

**CRAIG PAEPRER**  
*Vice-Chair*

**BOARD MEMBERS**  
**ANTHONY GIANNICO**  
**DAVE FURFARO**  
**CARL STONE**  
**KIM KUGLER**  
**RAYMOND COTE**

**TOWN OF CARMEL**  
**PLANNING BOARD**



60 McAlpin Avenue  
Mahopac, New York 10541  
Tel. (845) 628-1500 – Ext.190  
[www.ci.carmel.ny.us](http://www.ci.carmel.ny.us)

**MICHAEL CARNAZZA**  
*Director of Code  
Enforcement*

**RICHARD FRANZETTI, P.E.**  
*Town Engineer*

**PATRICK CLEARY,**  
AICP, CEP, PP, LEED AP  
*Town Planner*

**VINCENT FRANZE**  
*Architectural Consultant*

**PLANNING BOARD AGENDA**  
**MAY 10, 2017**

**MEETING ROOM #2**

**TAX MAP #   PUB. HEARING   MAP DATE   COMMENTS**

**SITE PLAN**

- |  |           |         |                   |
|--|-----------|---------|-------------------|
| 1. Putnam Hospital Center/Emergency Department Addition – 670 Stoneleigh Ave | 66.-2-57  | 4/12/17 | Amended Site Plan |
| 2. Jan-El Properties, Inc. – 7 Lupi Plaza                                    | 86.7-1-25 | 4/28/17 | Amended Site Plan |

**SUBDIVISION**

- |  |                 |         |                     |
|--|-----------------|---------|---------------------|
| 3. Lincks, Joseph & Lynda & Colonial Park Assoc<br>771 & 775 South Lake Blvd | 75.42-1-46 & 47 | 3/30/17 | Lot Line Adjustment |
|--|-----------------|---------|---------------------|

**MISC.**

- |                                    |           |         |  |
|------------------------------------|-----------|---------|--|
| 4. Woodcrest Gardens - 675 Route 6 | 76.9-1-19 |         | Bond Return  |
| 5. 250/254 Route 6                 | 86.7-1-8  | 4/11/17 | Waiver of Site Plan Application<br>(Relocation of Refuse<br>Enclosure) |
| 6. Minutes – 03/29/17 & 04/12/17   |           |         |  |



April 12, 2017

Town of Carmel Planning Board  
60 McAlpin Avenue  
Mahopac, New York 10541

RE: Putnam Hospital Center / Emergency Department Expansion  
670 Stoneleigh Avenue  
Tax Map No. 66.-2-57

Dear Chairman Gary and Members of the Board:

Please find enclosed the following plans and documents in support of an application for amended site plan approval for the above referenced project:

- Seven (7) sheet Site Plan Set, dated April 12, 2017. (5 copies)
- Six (6) sheet architectural plans and elevations, prepared by Steffian Bradley Architects, dated March 10, 2017.
- Site Plan Application, dated April 12, 2017. (11 copies)
- SEQR Short EAF (11 copies).
- Disclosure Addendum Statement. (2 copies)
- Site Plan Completeness Certification Form, dated April 12, 2017. (11 copies)
- CD containing pdfs of submitted plans and documents. (1 copy)
- A \$3,000.00 check for the Amended Site Plan Application Fee.

The Hospital seeks Amended Site Plan approval for the Emergency Department Expansion project to improve patient and visitor services and experience. The project involves redevelopment of the existing Emergency Department and proximate parking on the south side of the Hospital, and includes a new building addition, removal and reconfiguration of existing parking and Emergency access roads with associated drainage improvements.

Please place the project on the agenda for the April 26th, 2017 Planning Board meeting for discussion of this very important project with the Board.

Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:

  
Jeffrey J. Contelmo, PE  
Senior Principal Engineer

JJC/dlm

Enclosures

cc: Joseph Sinisi, PHC, w/enclosures  
Karri May, SBA, w/enclosures (via email)

Insite File No. 17118.100



# TOWN OF CARMEL SITE PLAN APPLICATION INSTRUCTIONS



The Town of Carmel Planning Board meetings are held twice a month, on the second and fourth Wednesday's, at 7:00 PM at Carmel Town Hall, 60 McAlpin Avenue, Carmel

The submission deadline is 10 days prior to the Planning Board meeting. New site plan applications that have been deemed complete will be placed on the agenda in the order they are received.

**No application will be placed on the agenda that is incomplete**

### Pre-Submission:

Prior to the formal submission of the site plan, a pre-submission conference may be requested by the applicant to be conducted with representatives from the Town, which may include the Town Planner, Town Engineer, Director of Code Enforcement and/or the Planning Board Attorney. This conference will serve to educate the applicant on the process he/she must follow, clarify the information required to submit a complete site plan application, and to highlight any specific areas of concern. You may arrange a pre-submission conference through the Planning Board Secretary at (845) 628-1500 extension 190.

### Submission Requirements:

At least 10 days prior to the Planning Board meeting, the site plan application shall be submitted to the Planning Board Secretary as follows:

All site plans shall be signed, sealed and folded with the title box legible. The application package shall include:

- ☒ 11 copies of the Site Plan Application Form, signed and notarized.
- ☒ 11 copies of the SEQR Environmental Assessment Form (use of short form or long form shall be determined at pre-submission conference).
- ☒ 5 full size sets of the Site Plan (including floor plans and elevations)
- ☒ 1 CD (in pdf. format) containing an electronic version of the Site Plan
- ☒ 2 copies of the Disclosure Statement
- ☒ 11 copies of the Site Plan Completeness Certification Form
- ☒ All supplemental studies, reports, plans and renderings.
- ☒ 2 copies of the current deed.
- ☒ 2 copies of all easements, covenants and restrictions.
- ☒ The appropriate fee, determined from the attached fee schedule. Make checks payable to the Town of Carmel.

*To be provided*  
  
Planning Board Secretary; Date 5/1/17

Town Engineer; Date 5/1/17



# TOWN OF CARMEL SITE PLAN APPLICATION



Per Town of Carmel Code – Section 156 - Zoning

SITE IDENTIFICATION INFORMATION			
Application Name: <u>Putnam Hospital Center EDE Expansion</u>		Application # <u>17-0005</u>	Date Submitted: <u>4-12-17</u>
Site Address: No. <u>670</u> Street: <u>Stoneleigh Ave</u> Hamlet: <u>Carmel</u>			
Property Location: (Identify landmarks, distance from intersections, etc.) <u>East side of Stoneleigh Avenue</u>			
Town of Carmel Tax Map Designation: Section <u>66</u> Block <u>2</u> Lot(s) <u>57</u>		Zoning Designation of Site: <u>R Zone</u>	
Property Deed Recorded in County Clerk's Office Date <u>Liber 1731 Page 374</u>		Liens, Mortgages or other Encumbrances Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> <u>un</u>	
Existing Easements Relating to the Site No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Describe and attach copies: <u>Access and utility easements to property to the South</u>		Are Easements Proposed? No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Describe and attach copies:	
Have Property Owners within a 500' Radius of the Site Been Identified? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Attached List to this Application Form			
APPLICANT/OWNER INFORMATION			
Property Owner: <u>Heath West / Putnam Hospital Center</u>		Phone #: Fax#:	Email:
Owners Address: <u>Attn: Joe Sinisi, Project Manager, 3rd Floor</u> No. <u>670</u> Street: <u>Stoneleigh Ave</u> Town: <u>Carmel</u> State: <u>NY</u> Zip: <u>10512</u>			
Applicant (If different than owner): <u>same</u>		Phone #: <u>845-224-5375</u> Fax#:	Email: <u>jsinisi@heath-west.org</u>
Applicant Address (If different than owner): No. _____ Street: _____ Town: _____ State: _____ Zip: _____			
Individual/ Firm Responsible for Preparing Site Plan: <u>Insite Engineering, Surveying + Landscape Architecture PC</u>		Phone #: <u>845-225-9690</u> Fax#: <u>845-225-9717</u>	Email: <u>Jcontelmo@insite-eng.com</u>
Address: No. <u>3</u> Street: <u>Garrett Place</u> Town: <u>CARMEL</u> State: <u>NY</u> Zip: <u>10512</u>			
Other Representatives:		Phone #: Fax#:	Email:
Owners Address: No. _____ Street: _____ Town: _____ State: _____ Zip: _____			
PROJECT DESCRIPTION			
Describe the project, proposed use and operation thereof: <u>Proposed building addition to Emergency Department to improve patient/guest services and experience. Project includes removal and reconfiguration of existing parking area, with associated drainage improvements. All proposed improvements are within areas of previous disturbance.</u>			

# TOWN OF CARMEL SITE PLAN APPLICATION

PROJECT INFORMATION			
Lot size: Acres: <u>43.18 AC ±</u> Square Feet:		Square footage of all existing structures (by floor): <u>To be provided if needed.</u>	
# of existing parking spaces: <u>1,092 sp</u>		# of proposed parking spaces: <u>NO NEW SPACES - Reduce to 1,024 sp.</u>	
# of existing dwelling units: <u>N/A</u>		# of proposed dwelling units: <u>N/A</u>	
Is the site served by the following public utility infrastructure:			
<ul style="list-style-type: none"> <li>Is project in sewer district or will private septic system(s) be installed?</li> <li>If yes to Sanitary Sewer answer the following: <u>Existing Connection - CSD #8</u> <ul style="list-style-type: none"> <li>Does approval exist to connect to sewer main? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/></li> <li>Is this an in-district connection? <u>Yes</u> Out-of district connection? <u>      </u></li> <li>What is the total sewer capacity at time of application? <u>Unknown</u></li> <li>What is your anticipated average and maximum daily flow <u>avg. 52,000 gpd</u></li> </ul> </li> </ul>			
For Town of Carmel Town Engineer			
<ul style="list-style-type: none"> <li>What is the sewer capacity <u>No change in use 5/1/17</u> Max. <u>104,000 gpd</u> (based on 2x Avg.).</li> </ul>			
<ul style="list-style-type: none"> <li>Water Supply</li> </ul>		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> <u>Existing Connection - CWD #2</u>	
If Yes: <ul style="list-style-type: none"> <li>Does approval exist to connect to water main? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/></li> <li>What is the total water capacity at time of application? <u>Unknown</u></li> <li>What is your anticipated average and maximum daily demand <u>avg 52,000 gpd</u></li> </ul>			
<ul style="list-style-type: none"> <li>Storm Sewer</li> </ul>		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> <u>Max 104,000 gpd</u> (based on 2x Avg.)	
<ul style="list-style-type: none"> <li>Electric Service</li> </ul>		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
<ul style="list-style-type: none"> <li>Gas Service</li> </ul>		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
<ul style="list-style-type: none"> <li>Telephone/Cable Lines</li> </ul>		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> <u>No change in use 5/1/17</u>	
For Town of Carmel Town Engineer			
Water Flows <u>ROP 9/1/17</u> Sewer Flows <u>5/1/17</u>			
Town Engineer, Date			
What is the predominant soil type(s) on the site? <u>Project Area - 100% U+ project (urban land)</u>		What is the approximate depth to water table? <u>&gt;10'</u>	
Site slope categories: <u>area</u> 15-25% <u>0</u> % 25-35% <u>0</u> % >35% <u>0</u> %			
Estimated quantity of excavation: Cut (C.Y.) <u>      </u> Fill (C.Y.) <u>To be determined</u>			
Is Blasting Proposed Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> Unknown: <input type="checkbox"/>			
Is the site located in a designated Critical Environmental Area? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Does a curb cut exist on the site? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>		Are new curb cuts proposed? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
What is the sight distance? <u>N/A</u> For <u>current project -</u>		Left <u>      </u> Right <u>      </u>	
Is the site located within 500' of: <u>Overall site has existing, approved curb cuts.</u>			
<ul style="list-style-type: none"> <li>The boundary of an adjoining city, town or village</li> </ul>		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
<ul style="list-style-type: none"> <li>The boundary of a state or county park, recreation area or road right-of-way</li> </ul>		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
<ul style="list-style-type: none"> <li>A county drainage channel line.</li> </ul>		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
<ul style="list-style-type: none"> <li>The boundary of state or county owned land on which a building is located</li> </ul>		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	

# TOWN OF CARMEL SITE PLAN APPLICATION

Is the site listed on the State or Federal Register of Historic Place (or substantially contiguous)  
 Yes: ☐ No: ☒

Is the site located in a designated floodplain?  
 Yes: ☐ No: ☒

Will the project require coverage under the Current NYSDEC Stormwater Regulations  
 Yes: ☒ No: ☐

Will the project require coverage under the Current NYCDEP Stormwater Regulations  
 Yes: ☐ No: ☒

Does the site disturb more than 5,000 sq ft  
 Yes: ☒ No: ☐

Does the site disturb more than 1 acre  
 Yes: ☐ No: ☒

Does the site contain freshwater wetlands?  
 Yes: ☐ No: ☒

Jurisdiction:  
 NYSDEC: ☐ Town of Carmel: ☐

If present, the wetlands must be delineated in the field by a Wetland Professional, and survey located on the Site Plan.

Are encroachments in regulated wetlands or wetland buffers proposed? Yes: ☐ No: ☒

Does this application require a referral to the Environmental Conservation Board? Yes: ☐ No: ☒

Does the site contain waterbodies, streams or watercourses? Yes: ☐ No: ☒

Are any encroachments, crossings or alterations proposed? Yes: ☐ No: ☒

Is the site located adjacent to New York City watershed lands? Yes: ☒ No: ☐

Is the project funded, partially or in total, by grants or loans from a public source?  
 Yes: ☐ No: ☒

Will municipal or private solid waste disposal be utilized?  
 Public: ☐ Private: ☒

Has this application been referred to the Fire Department? Yes: ☒ No: ☐



What is the estimated time of construction for the project?  
 18 Months - START (10-1-2017)

## ZONING COMPLIANCE INFORMATION

Zoning Provision	Required	Existing	Proposed
Lot Area MIN	120,000 sq ft	1,880,968 sq ft (43.18 AC)	unchanged
Lot Coverage Building Coverage Max	15%	6.7%	6.3%
Lot Width Min.	200'	greater than 200'	> 200'
Lot Depth Min.	200'	greater than 200'	> 200'
Front Yard Min.	40'	38'	unchanged
Side Yard Min.	25'	109'	unchanged
Rear Yard Min.	40'	155'	unchanged
Minimum Required Floor Area			
Floor Area Ratio			
Height max.	35'	61' ±	61' ±
Off-Street Parking		1,092 spaces	1,024 spaces
Off-Street Loading			

\* Variance granted by the Zoning Board of Appeals on August 24, 2006.

# TOWN OF CARMEL SITE PLAN APPLICATION

Will variances be required? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>		If yes, identify variances:	
PROPOSED BUILDING MATERIALS			
Foundation	CAST IN PLACE CONCRETE		
Structural System	STEEL		
Roof	(TO BE DETERMINED) EITHER CONCRETE COMPOSITE OR JUST 1/2" DECK		
Exterior Walls	MAJORITY UTILITY BRICK w/6" STUD BACKUP WALL		
APPLICANTS ACKNOWLEDGEMENT			
I hereby depose and certify that all the above statements and information, and all statements and information contained in the supporting documents and drawings attached hereto are true and correct.			
JOSEPH SINISI, PROJECT MANAGER		 Applicants Signature	
Applicants Name HEALTH QUEST CONSTRUCTION			
Sworn before me this 12 <sup>th</sup>		day of April 2017	
		Alicia Hansen Notary Public, State of New York Reg. # 0146086470 Qualified In Dutchess County Commission Expires January 21, 2019	
 Notary Public			

decking  
STOREFRONT  
@ WAITING  
ROOM





TOWN OF CARMEL  
**SITE PLAN COMPLETENESS  
CERTIFICATION FORM**



All Site Plans submitted to the Planning Board for review shall include the following information and details, as set forth in Section 156-61 B of the Town of Carmel Zoning Ordinance.

This form shall be included with the site plan submission

	Requirement Data	To Be Completed by the Applicant	Waived by the Town
1	Name and title of person preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2	Name of the applicant and owner (if different from applicant)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3	Original drawing date, revision dates, scale and north arrow	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4	Tax map, block and lot number(s), zoning district	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5	All existing property lines, name of owner of each property within a 500' radius of the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6	Contour lines at two-foot intervals, grades of all roads, driveways, sanitary and storm sewers	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7	The location of all water bodies, streams, watercourses, wetland areas, wooded areas, rights-of-way, streets, roads, highways, railroads, buildings, structures	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8	The location of all existing and proposed easements <i>To be provided</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9	The location of all existing and proposed structures, their use, setback dimensions, floor plans, front, side and rear elevations, buildable area.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10	On site circulation systems, access, egress ways and service roads, emergency service access and traffic mitigation measures	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11	Sidewalks, paths and other means of pedestrian circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12	On-site parking and loading spaces and travel aisles with dimensions	<input checked="" type="checkbox"/>	<input type="checkbox"/>
13	The location, height and type of exterior lighting fixtures <i>To be provided</i>	<input type="checkbox"/>	<input type="checkbox"/>
14	Proposed signage - <i>To be provided</i>	<input type="checkbox"/>	<input type="checkbox"/>
15	For non-residential uses, an estimate of the number of employees who will be using the site, description of the operation, types of products sold, types of machinery and equipment used	<input type="checkbox"/>	<input type="checkbox"/>



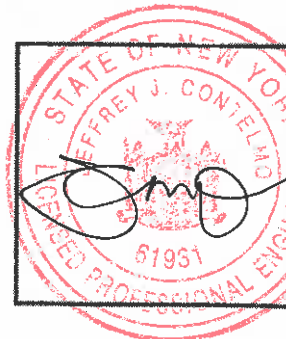
# TOWN OF CARMEL SITE PLAN COMPLETENESS CERTIFICATION FORM



	Requirement Data	To Be Completed by the Applicant	Waived by the Town
16	The location of clubhouses, swimming pools, open spaces, parks or other recreational areas, and identification of who is responsible for maintenance	<input type="checkbox"/> NOT APPLICABLE	<input type="checkbox"/>
17	The location and design of buffer areas, screening or other landscaping, including grading and water management. A comprehensive landscaping plan in accordance with the Tree Conservation Law	<input checked="" type="checkbox"/>	<input type="checkbox"/>
18	The location of public and private utilities, maintenance responsibilities, trash and garbage areas	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19	A list, certified by the Town Assessor, of all property owners within 500 feet of the site boundary	<input type="checkbox"/> TO BE PROVIDED	<input type="checkbox"/>
20	Any other information required by the Planning Board which is reasonably necessary to ascertain compliance with this chapter	<input type="checkbox"/> WILL BE PROVIDED AS REQUIRED	<input type="checkbox"/>

**Applicants Certification (to be completed by the licensed professional preparing the site plan:**

I JEFFREY J. CONTELMO, P.E. hereby certify that the site plan to which I have attached my seal and signature, meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:



**Professionals Seal**

John M. S. J. PM  
Signature - Applicant / OWNER  
HEATH QUEST CONSTRUCTION

04.12.17  
Date

\_\_\_\_\_  
Signature - Owner

\_\_\_\_\_  
Date



TOWN OF CARMEL  
SITE PLAN COMPLETENESS  
CERTIFICATION FORM



Town Certification (to be completed by the Town)

I Richard Farn 2017 hereby confirm that the site plan meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:

Rose Yonkitta  
Signature - Planning Board Secretary

5/1/17  
Date

Ray D. D.  
Signature Town Engineer

5/1/17  
Date

# Short Environmental Assessment Form

## Part 1 - Project Information

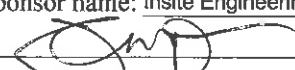
### Instructions for Completing

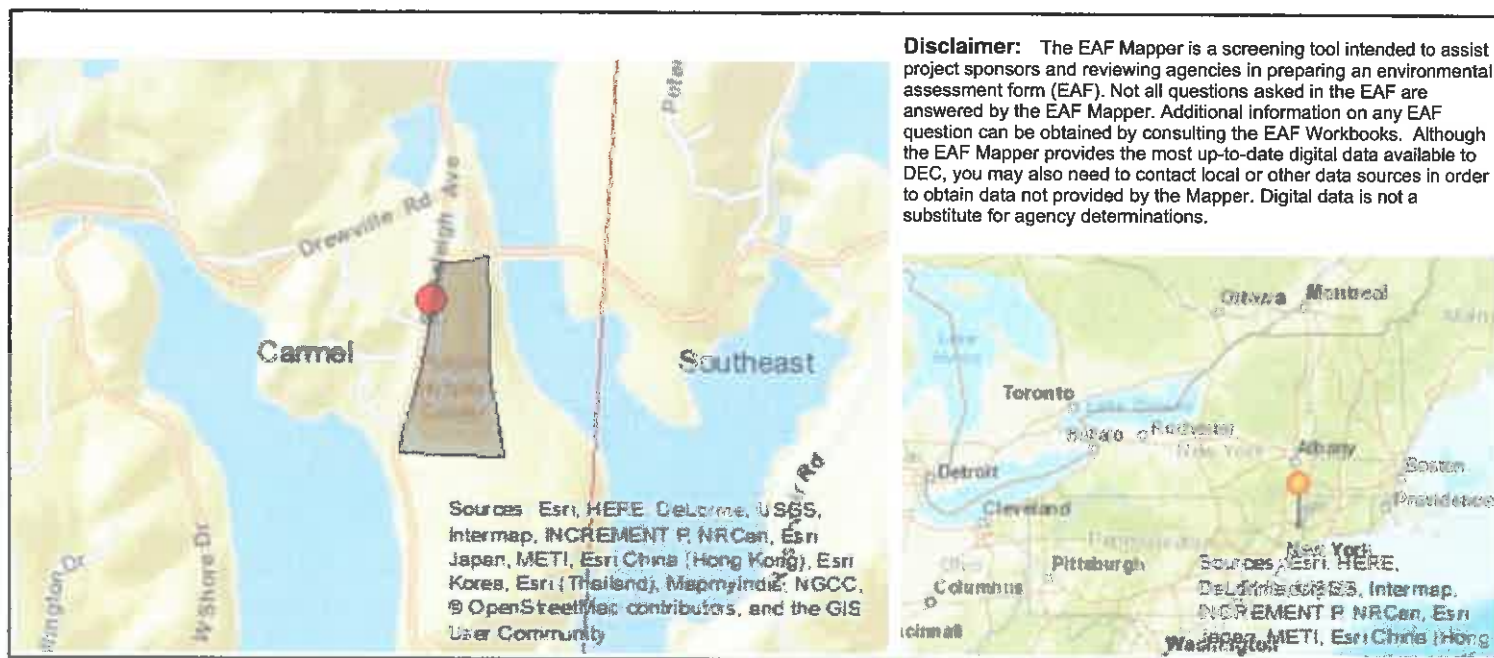
**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>							
<b>Name of Action or Project:</b> Putnam Hospital Center - Emergency Department Expansion							
<b>Project Location (describe, and attach a location map):</b> East Side of Stoneleigh Avenue							
<b>Brief Description of Proposed Action:</b> Redevelopment of portion of existing Hospital site to improve patient/guest services and experience. Project includes removal and reconfiguration of existing parking area, and associated drainage improvements. All proposed improvements are within previously disturbed area.							
<b>Name of Applicant or Sponsor:</b> Health Quest / Putnam Hospital Center. Attn: Joe Sinisi, Project Manager, 3rd Floor		<b>Telephone:</b> 845-225-9690 <b>E-Mail:</b> jsinisi@health-quest.org					
<b>Address:</b> 670 Stoneleigh Ave							
<b>City/PO:</b> Carmel		<b>State:</b> NY	<b>Zip Code:</b> 10512				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="text-align: center; padding: 2px;">NO</th> <th style="text-align: center; padding: 2px;">YES</th> </tr> <tr> <td style="text-align: center; padding: 5px;"><input checked="" type="checkbox"/></td> <td style="text-align: center; padding: 5px;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: Town of Carmel Building Permit; MS4 SWPPP Acceptance, NYCDEP SWPPP Approval, NYSDEC GP-0-15-002 Coverage			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="text-align: center; padding: 2px;">NO</th> <th style="text-align: center; padding: 2px;">YES</th> </tr> <tr> <td style="text-align: center; padding: 5px;"><input type="checkbox"/></td> <td style="text-align: center; padding: 5px;"><input checked="" type="checkbox"/></td> </tr> </table>	NO	YES	<input type="checkbox"/>	<input checked="" type="checkbox"/>
NO	YES						
<input type="checkbox"/>	<input checked="" type="checkbox"/>						
3.a. Total acreage of the site of the proposed action? <span style="float: right;">43.18 acres</span> b. Total acreage to be physically disturbed? <span style="float: right;">0.8 acres</span> c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? <span style="float: right;">43.18 acres</span>							
4. Check all land uses that occur on, adjoining and near the proposed action. <div style="display: flex; flex-wrap: wrap;"> <div style="width: 50%;"> <input checked="" type="checkbox"/> Urban    <input type="checkbox"/> Rural (non-agriculture)    <input type="checkbox"/> Industrial             </div> <div style="width: 50%;"> <input checked="" type="checkbox"/> Commercial    <input checked="" type="checkbox"/> Residential (suburban)             </div> <div style="width: 50%;"> <input checked="" type="checkbox"/> Forest    <input type="checkbox"/> Agriculture    <input checked="" type="checkbox"/> Aquatic (off-site)             </div> <div style="width: 50%;"> <input type="checkbox"/> Parkland    <input checked="" type="checkbox"/> Other (specify): Hospital             </div> </div>							

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Connection exists CWD #2			
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Connection exists to CSD #8			
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? Per EAF mapper. Outside of project area.	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____			
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:			
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional			
<input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? Per EAF mapper. Outside of project area which is existing parking lot and previously developed	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES	
If Yes,			
a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?			
If Yes, briefly describe: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES			
Relocated and proposed storm drains/roof drains to tie into existing storm system			

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____ _____	NO  <input checked="checked" type="checkbox"/>	YES  <input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____ _____	NO  <input checked="checked" type="checkbox"/>	YES  <input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____ _____	NO  <input checked="checked" type="checkbox"/>	YES  <input type="checkbox"/>
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b> <div style="display: flex; justify-content: space-between;"> <div>             Jeffrey J. Contelmo, P.E.              Applicant/sponsor name: Insite Engineering, Surveying &amp; Landscape Architecture, PC              Signature:  </div> <div>             Date: April 12, 2017           </div> </div>		



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National Register of Historic Places]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No

# HEALTHQUEST

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## Putnam Hospital Center Emergency Department Expansion Project

### Summary of Project

Putnam Hospital Center is proposing to expand their existing Emergency Department by constructing an 8,400 +/- sf one story addition adjacent to their existing 8,600 +/- sf Emergency Department as a result of the growing need for Healthcare service for the residents of the Town of Carmel and surrounding communities. It is the intent of Putnam Hospital Center to increase the size of their existing Emergency Department in order to provide the current volume demands and to improve the efficiencies of the current Emergency Room with a goal to enhance the patient experience when utilizing PHC's services.

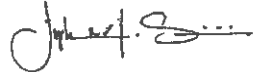
This project will include the following:

- Increase the number and type of specialty treatment rooms from 17 to 28 with state of the art equipment.
- Provide a new nurse station that will better serve the staff and patients.
- Repurpose some of the existing adjoining treatment rooms.
- Provide additional support service amenities to serve the new expansion.
- New separate walk in entrance and waiting room for patients.
- Establish a separate and distinct ambulance entrance that will be physically separated from the walk-in entrance.
- Reworked access drive to the new Emergency Department creating a harmonious vehicular flow around the new addition and with the existing surrounding parking areas.

By increasing the amount of treatment rooms with a new nurse station more patients can be fast tracked and diagnosed quicker leading to shorter waiting periods when entering the Emergency Department. Once completed this project will increase the level of health care services already provided while enhancing both the staff and patient experience.

Sincerely,

By: \_\_\_\_\_



Joseph M. Sinisi, Project Manager  
Health Quest Construction

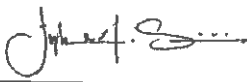


# HEALTHQUEST

## Putnam Hospital Center Emergency Department Expansion Project

### Available Parking Space Count -Week of 03.06.17 to 03.10.17

<u>Date</u>	<u>Lot Location</u>	<u># of Available Spaces</u>
Monday 03.06.17	South Back Lot	105 spaces
	Doctors Lot	<u>12 spaces</u>
	<b>Total</b>	<b>117 spaces</b>
Tuesday 03.07.17	South Back Lot	100 spaces
	Doctors Lot	<u>8 spaces</u>
	<b>Total</b>	<b>108 spaces</b>
Wednesday 03.08.17	South Back Lot	120 spaces
	Doctors Lot	<u>10 spaces</u>
	<b>Total</b>	<b>130 spaces</b>
Thursday 03.09.17	South Back Lot	110 spaces
	Doctors Lot	<u>10 spaces</u>
	<b>Total</b>	<b>120 spaces</b>
Friday 03.10.17	South Back Lot	140 spaces
	South Lower Lot	35 Spaces
	Doctors Lot	<u>20 spaces</u>
	<b>Total</b>	<b>195 spaces</b>

By: 

Joseph M. Sinisi, Project Manager  
Health Quest Construction

## PARKING CALCULATION:

### EXISTING HOSPITAL BUILDING:

4 PARKING SPACES FOR EACH 5 BEDS  
1 LOADING SPACE FOR EACH 50 BEDS

164 BEDS = 132 PARKING SPACES REQUIRED  
4 LOADING SPACES REQUIRED

### EXISTING MEDICAL OFFICE BUILDING:

4 PARKING SPACES FOR EACH DOCTOR  
1 PARKING SPACE FOR EACH EMPLOYEE

5 DOCTORS = 20 PARKING SPACES  
15 EMPLOYEES = 15 PARKING SPACES

### RADIOLOGY STORAGE:

1 PARKING SPACE FOR EACH 1000 SF OF STORAGE SPACE  
1,250 SF OF STORAGE SPACE = 2 PARKING SPACES

### MEDICAL OFFICES IN AMBULATORY CARE CENTER:

4 PARKING SPACES FOR EACH DOCTOR  
1 PARKING SPACE FOR EACH EMPLOYEE

15 DOCTORS = 60 PARKING SPACES  
45 EMPLOYEES = 45 PARKING SPACES

### MEDICAL OFFICES IN EMERGENCY ROOM ADDITION:

4 PARKING SPACES FOR EACH DOCTOR  
1 PARKING SPACE FOR EACH EMPLOYEE

6 DOCTORS = 24 PARKING SPACES  
18 EMPLOYEES = 18 PARKING SPACES

### MEDICAL OFFICES IN ONCOLOGY ADDITION:

4 PARKING SPACES FOR EACH DOCTOR  
1 PARKING SPACE FOR EACH EMPLOYEE

14 DOCTORS = 56 PARKING SPACES  
50 EMPLOYEES = 50 PARKING SPACES

TOTAL PARKING REQUIRED	422 SPACES
TOTAL PARKING EXISTING	1,092 SPACES
TOTAL PARKING PROPOSED	1,024 SPACES

\\01CADD Drawing Files\Site Plan Drawings\01 OP-1.dwg, 5/1/2017 2:42:33 PM, dmdsgr26, 1:1

PROJECT: **PUTNAM HOSPITAL CENTER**  
EMERGENCY DEPARTMENT EXPANSION  
STONELEIGH AVENUE, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING:

PARKING CALCULATIONS

PREPARED BY:

 **INSITE**  
ENGINEERING, SURVEYING &  
LANDSCAPE ARCHITECTURE, P.C.  
3 Garrett Place • Carmel, New York 10512  
Phone (845) 225-8890 • Fax (845) 225-8717  
www.insite-eng.com

DATE: 5-1-17

SCALE: N.T.S.

PROJECT NO.: 17118.100

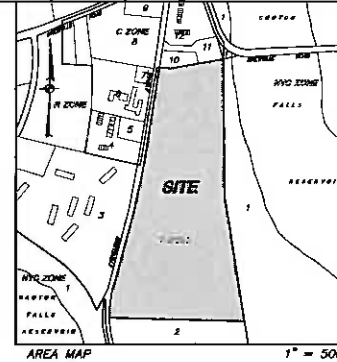
FIGURE:

1

LEGEND	
	Property Line
	Existing Street Wall
	Existing Curb
	Existing Edge of Pavement
	Existing Sign

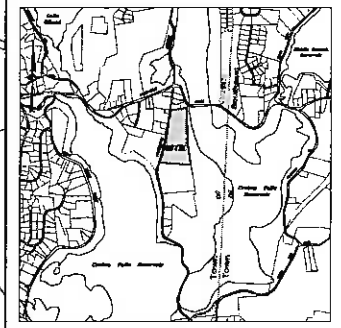
#### 500' ADJOINERS

1. N.Y. CITY OF NEW YORK
2. N.Y. THE HAMLET AT CANTER ASSOCIATES LLC
3. N.Y. NED PROPERTIES - SOUTHWEST INC
4. N.Y. CHALISTE
5. N.Y. ALDEN
6. N.Y. BUNNY CREEK CENTER
7. N.Y. MAGNANIM
8. N.Y. WEST 8 STREET
9. N.Y. OLIPH
10. N.Y. HAN STONELAND AVENUE CORP.
11. N.Y. HERRICK
12. N.Y. SPYRBERG COMPASS LLC



AREA MAP

1" = 500'



LOCATION MAP

SCALE: 1" = 2000'

#### RECORD OWNER/APPLICANT: SITE DATA:

Putnam Hospital Center  
670 Stonelands Avenue  
Canaan, NY 12023

Total Area: 43.18 AC. ±  
Net Site Area: 36.5-42.7  
Zoning District: R (Residential)  
Use: Community Hospital & Medical Office Building

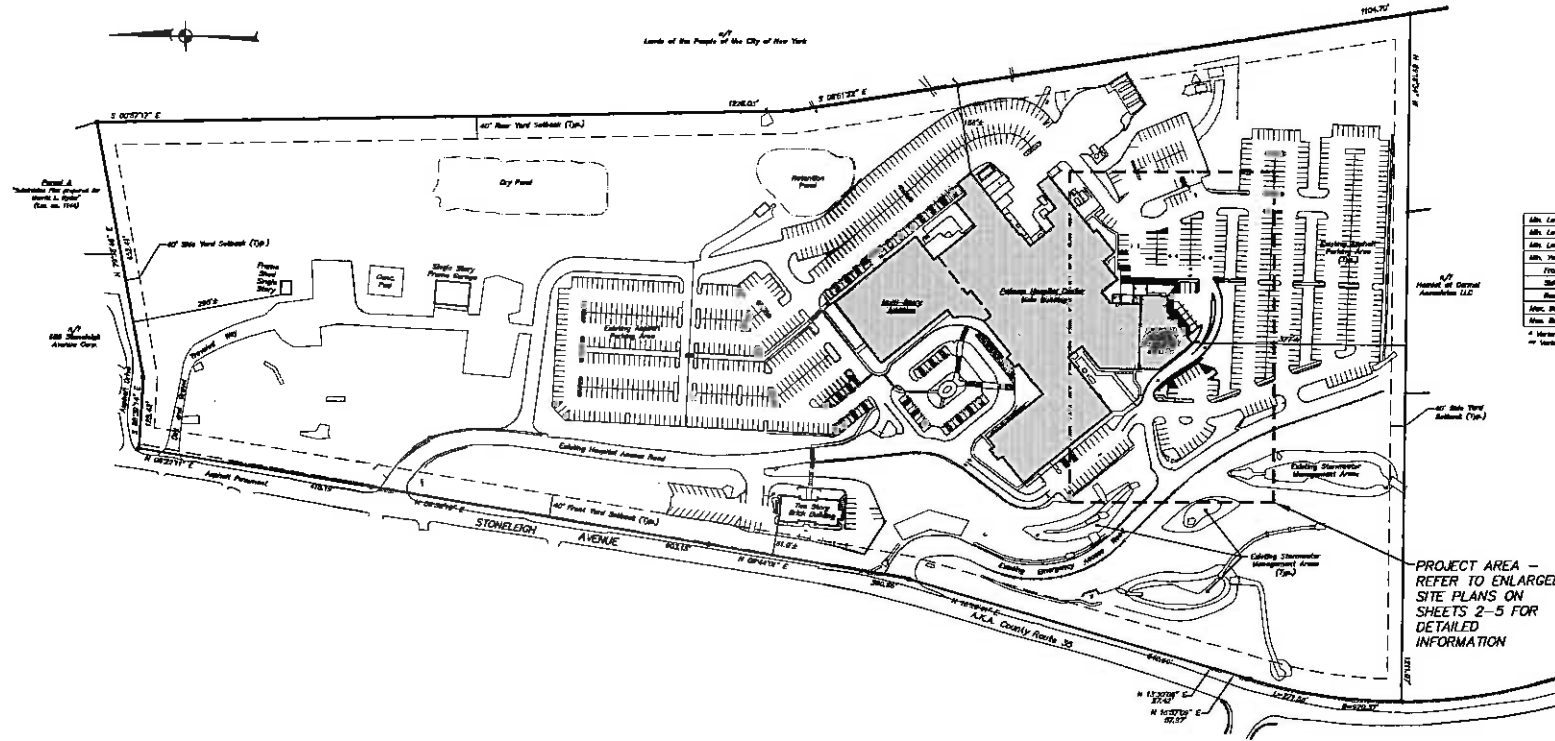
#### GENERAL NOTES:

1. Property boundary shown herein takes data established plot entitled "Boundary Line Adjustment Map prepared for Putnam Community Foundation and Putnam Hospital Center, etc." dated January 4, 2008 for use on 2008.
2. Existing conditions shown herein takes data survey entitled "As-built Survey prepared for Putnam Hospital Center, etc." dated May 21, 2008. Additional information per supplemental field notes completed March 1, 2017.

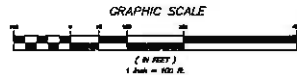
#### R - ZONE REQUIREMENTS:

	Standard	Enlarged	Enlarged
Min. Lot Area	125,000 SF	1,000,000 SF (43.18 AC)	Unchanged
Min. Lot Width	> 200'	> 200'	> 200'
Min. Lot Depth	> 200'	> 200'	> 200'
Min. Front Setback	40'	40'	Unchanged
Side	25'	250' ±	Unchanged
Rear	40'	180' ±	Unchanged
Max. Building Height	35'	90'	90' ±
Max. Building Coverage	15.5%	4.25%	7-25%

± Variance granted by the Zoning Board of Appeals on August 26, 2008.  
± Variance granted for 8" x 18" parking spaces.



PROJECT AREA -  
REFER TO ENLARGED  
SITE PLANS ON  
SHEETS 2-5 FOR  
DETAILED  
INFORMATION



**Site Plan**

Approved hereby granted this \_\_\_\_\_ day of \_\_\_\_\_  
if building period is not longer within 18 months from the above  
date this approval becomes null and void.

Time of Expiry Planning Board

Spent this \_\_\_\_\_ day of \_\_\_\_\_ by \_\_\_\_\_

Chairman: \_\_\_\_\_

Secretary: \_\_\_\_\_

NO. DATE REVISION BY

**INSITE**  
ENGINEERING, SURVEYING &  
LANDSCAPE ARCHITECTURE, P.C.

PROJECT:  
**PUTNAM HOSPITAL CENTER  
EMERGENCY DEPARTMENT EXPANSION**

STONELAND AVENUE, CITY OF CANTER, PUTNAM COUNTY, NEW YORK

DRAWING:  
**OVERALL PLAN**


PROJECT NUMBER: 17116.100 PROJECT OWNER: J.L.C. DRAWING NO.: WEST  
DATE: 6-12-17 DRAWN BY: M.E.L. OP-1  
SCALE: 1" = 100' CHECKED BY: D.L.M.

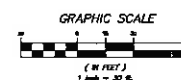
ALLEGATION OF THIS DOCUMENT MADE UNDER THE SECTION  
OF A LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF  
SECTION 210 OF ARTICLE 146 OF THE EMBROIDERY LAW.



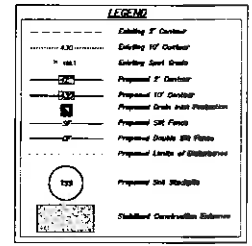
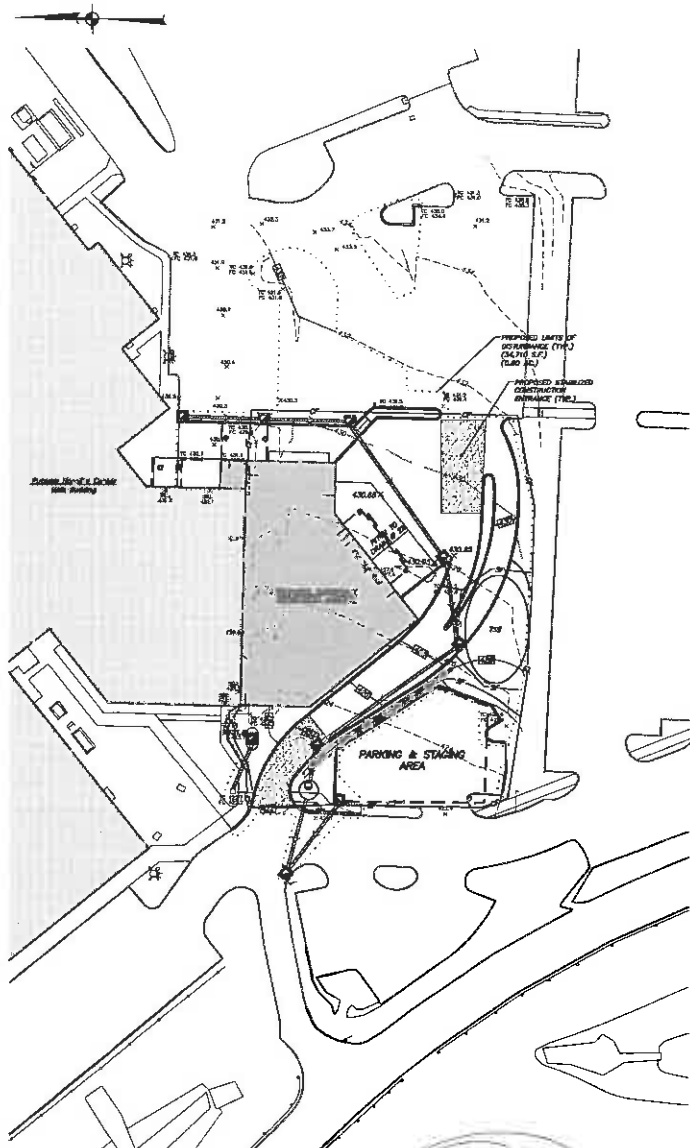


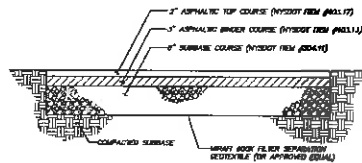
- 1. All perennial plant species listed in Annex A to this Annex, depth of rooting, and irrigation and fertilizer application rates shall be determined based on equivalent loading of organic material.
- 2. Any new non listed species shall be assessed or approved by results of root testing and ground water extraction that indicate that the species is not likely to be harmful to the ecosystem.
- 3. Any new species to be added to the list of perennial plants shall be approved by the Department of Water Resources after the Department has received and approved the written approval of the Department of Water Resources and the Department of Public Works and Highways and the Department of Transportation and Infrastructure and the Department of Environment and Nature Conservation and the Department of Planning and Development and the Department of Health and Human Services and the Department of Community Development and the Department of Education and the Department of Labour and Human Resources and the Department of Finance and the Department of Health and Human Services and the Department of Community Development and the Department of Education and the Department of Labour and Human Resources and the Department of Finance and the Department of Health and Human Services and the Department of Community Development and the Department of Education and the Department of Labour and Human Resources and the Department of Finance and the Department of Health and Human Services and the Department of Community Development and the Department of Education and the Department of Labour and Human Resources and the Department of Finance and the Department of Health and Human Services and the Department of Community Development and the Department of Education and the Department of Labour and Human Resources and the Department of Finance and the Department of Health and Human Services and the Department of Community Development and the Department of Education and the Department of Labour and Human Resources and the Department of Finance and the Department of Health and Human Services and the Department of Community Development and the Department of Education and the Department of Labour and Human Resources and the Department of Finance and the Department of Health and Human Services and the Department of Community Development and the Department of Education and the Department of Labour and Human Resources and the Department of Finance and the Department of Health and Human Services and the Department of Community Development and the Department of Education and the Department of Labour and Human Resources and the Department of Finance and the Department of Health and Human Services and the Department of Community Development and the Department of Education and the Department of Labour and Human Resources and the Department of Finance and the Department of Health and Human Services and the Department of Community Development and the Department of Education and the Department of Labour and Human Resources and the Department of Finance and the Department of Health and Human Services and the Department of Community Development and the Department of Education and the Department of Labour and Human Resources and the Department of Finance and the Department of Health and Human Services and the Department of Community Development and the Department of Education and the Department of Labour and Human Resources and the Department of Finance and the Department of Health and Human Services and the Department of Community Development and the Department of Education and the Department of Labour and Human Resources and the Department of Finance and the Department of Health and Human Services and the Department of Community Development and the Department of Education and the Department of Labour and Human Resources and the Department of Finance and the Department of Health and Human Services and the Department

NO.	DATE	REVISION	BY
 <b>INSITE</b> ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.		3 Bayview Plaza, Orem, UT 84058 (801) 226-8800 (801) 225-1717 fax <a href="http://www.insite-utj.com">www.insite-utj.com</a>	
PROJECT			
<b>PUTNAM HOSPITAL CENTER</b> <b>EMERGENCY DEPARTMENT EXPANSION</b> EXISTING AVENUE, TOWN OF CORRAL, PUTNAM COUNTY, NEW JERSEY			
DRAWING			
<b>LAYOUT &amp; LANDSCAPE PLAN</b>			
PROJECT NUMBER	17116.100	PROJECT MANAGER	J.L.C.
DATE	4-12-17	DRAWN BY	M.C.U.
SCALE	1" = 30'	CHECKED BY	D.L.M.
DRAWING NO.		SHEET 3 /	
SP-1			

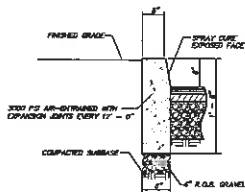




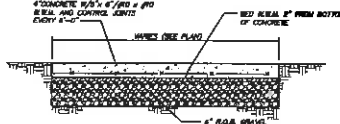




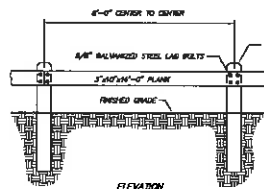
ASPHALT PAVEMENT DETAIL  
(N.T.S.)



CONCRETE CURB DETAIL  
(N.T.S.)



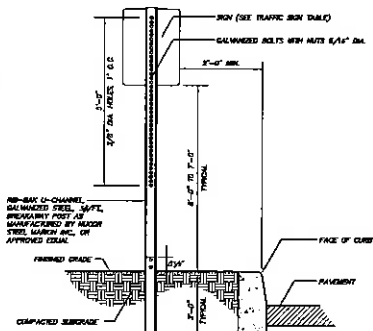
CONCRETE SIDEWALK DETAIL  
(N.T.S.)



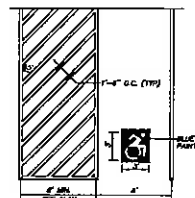
ELEVATION

- NOTES:
1. ALL WOOD TO BE SEASONED NOT DOUGLAS FIR, SOUTHERN PINE OR OTHER APPROVED SUBSTITUTE LAMBER.
  2. ALL WOOD TO BE TREATED WITH AN APPROVED ROAD PRESERVATIVE BEFORE INSTALLATION IN AND ADJACENT TO EXISTING SURFACES.

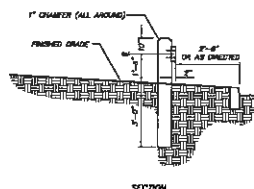
WOOD GUIDE RAIL DETAIL  
(N.T.S.)



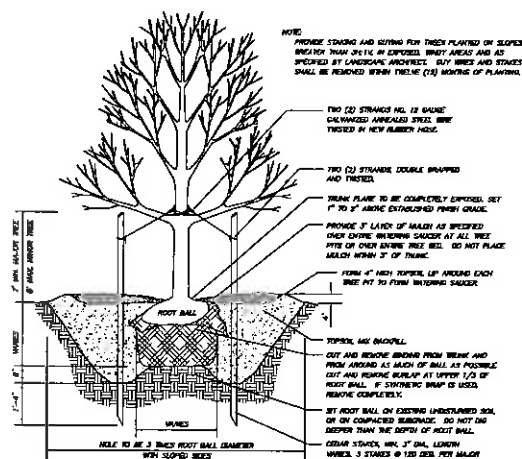
TRAFFIC SIGN DETAIL  
(N.T.S.)



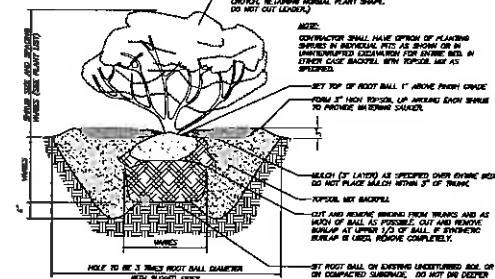
PAINTED NYS ACCESSIBLE PARKING DETAIL  
(N.T.S.)



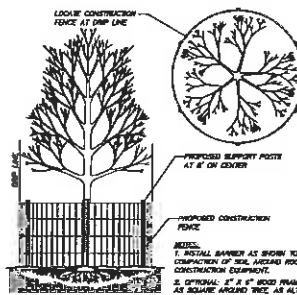
SECTION



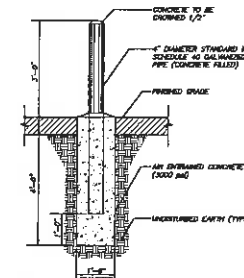
TREE PLANTING DETAIL  
(N.T.S.)



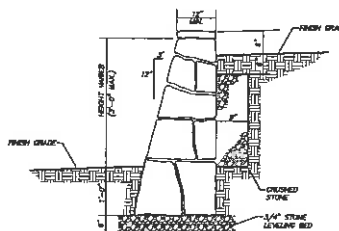
SHRUB PLANTING DETAIL  
(N.T.S.)



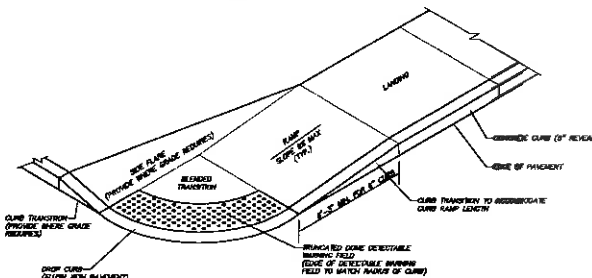
TREE PROTECTION DETAIL  
(N.T.S.)



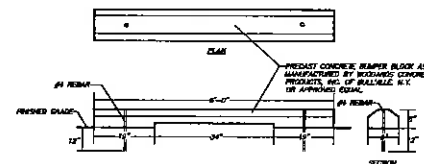
STEEL ROLLARD DETAIL  
(N.T.S.)



STONE RETAINING WALL  
(N.T.S.)



SIDEWALK CURB RAMP (TYPE 3B)  
(N.T.S.)



PRECAST CONCRETE BUMPER BLOCK DETAIL  
(N.T.S.)

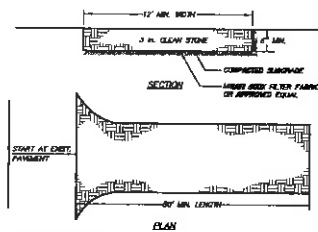
NO.	DATE	REVISION	BY
1	4-12-17	REVISED	J.L.C.
2	4-12-17	REVISED	J.L.C.
3	4-12-17	REVISED	J.L.C.
4	4-12-17	REVISED	J.L.C.
5	4-12-17	REVISED	J.L.C.
6	4-12-17	REVISED	J.L.C.
7	4-12-17	REVISED	J.L.C.

PROJECT:	PUINAM HOSPITAL CENTER EMERGENCY DEPARTMENT EXPANSION
LOCATION:	1000 ROUTE 9W, SUITE 100, PUINAM, NEW YORK
DESIGNED BY:	J.L.C.
CHECKED BY:	J.L.C.
DATE:	4-12-17
SCALE:	AS SHOWN
PROJECT NUMBER:	17116100
PROJECT MANAGER:	J.L.C.
DATE:	4-12-17
SCALE:	AS SHOWN
PROJECT NUMBER:	17116100
PROJECT MANAGER:	J.L.C.
DATE:	4-12-17
SCALE:	AS SHOWN

SITE DETAILS

D-1

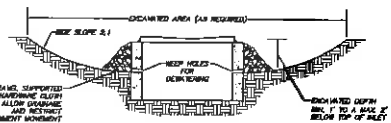
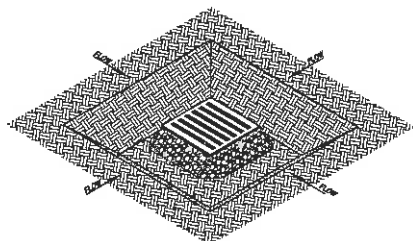




INSTALLATION NOTES

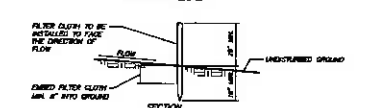
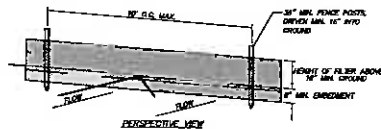
1. FENCE LINE - LINE OF STONE
2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 30 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY)
3. ENDPOINTS - NOT LESS THAN SIX (6) INCHES
4. WIDTH - 12 FEET MINIMUM, BUT NOT LESS THAN THE FILL WIDTH
5. FILL - FILLING MATERIAL SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILLER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT
6. SURFACE WATER - ALL SURFACE WATER FLOWING ON UNPAVED TOWNSHIP CONSTRUCTION ENTRANCES SHALL BE OPENED UP TO THE STREET OR DRAINAGE DITCH. A REMEDIABLE DRAIN WITH 5:1 SLOPES WILL BE PROVIDED
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT FLOWING OF SEDIMENT OVER PUBLIC RIGHT OF WAY. AS CONDITIONS CHANGE AND NECESSARY MAINTENANCE OF THE ENTRANCE USED TO PREVENT FLOWING OF SEDIMENT OVER PUBLIC RIGHT OF WAY MUST BE MAINTAINED
8. DRAINAGE - SEDIMENT SHALL BE CLEARED TO REDUCE SEDIMENT PRIOR TO FLOWING OVER PUBLIC RIGHT OF WAY. SEDIMENT SHALL BE REMOVED BY HAND OR BY OTHER MEANS. SEDIMENT SHALL BE REMOVED BY HAND OR BY OTHER MEANS. SEDIMENT SHALL BE REMOVED BY HAND OR BY OTHER MEANS
9. PERIODIC INSPECTION AND NECESSARY MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN

STABILIZED CONSTRUCTION ENTRANCE DETAIL (N.T.S.)



1. CLEAR THE AREA OF ALL DEBRIS THAT WILL HINDER DRAINAGE
2. GRADE APPROACH TO THE INLET THRESHOLD USING THE BLOCK
3. KEEP HOLES FROM BEING COVERED BY GRADE
4. UPON ESTABLISHMENT OF DRAINAGE DRAINAGE AREA, KEEP HOLES, ALL TOWNSHIP NEW STONE, SOLE TO SEAL, GRADE, COMPACT IF REQUIRED, AND STABILIZE WITH PERMANENT SEEDING
5. MAINTAIN DRAINAGE AREA 1:1 SLOPE

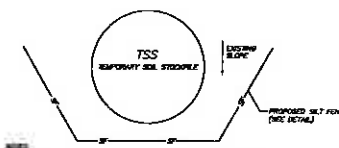
EXCAVATED DROP INLET PROTECTION DETAIL (N.T.S.)



CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

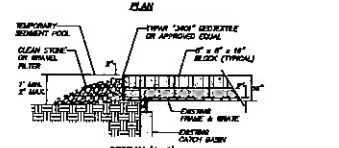
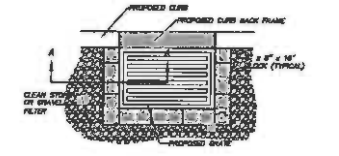
1. FILLER CLOTH TO BE INSTALLED AGAINST FLOW
2. WHEN TWO SECTIONS OF FILLER CLOTH ARE USED, EACH OTHER MUST BE OVERLAPPED BY SIX INCHES AND TIED
3. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGE" DEVELOPS IN THE SILT FENCE

SILT FENCE DETAIL (N.T.S.)



1. AREA CHOSEN FOR STOCKPILE LOCATION SHALL BE DRY AND STABLE
2. MINIMUM SLOPE OF STOCKPILE SHALL BE 2:1
3. UPON COMPLETION OF SOIL STOCKPILE, EACH PILE SHALL BE BARELY COVERED WITH 100 PERCENT TALL FENCING
4. ALL STOCKPILES SHALL BE PROTECTED WITH NATURAL VEGETATION OR THE EQUIVALENT

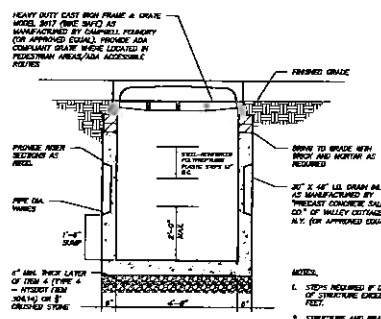
TEMPORARY SOIL STOCKPILE DETAIL (N.T.S.)



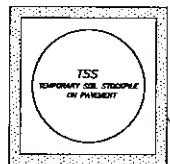
CONSTRUCTION NOTES

1. LAY ONE LAYER OF BLOCKS ON EACH SIDE OF THE STRUCTURE ON BOTH SIDES FOR DRAINAGE. SIDES OF BLOCK SHALL BE 3 INCHES MINIMUM BELOW THE GRADE. BLOCKS SHALL BE PLACED AGAINST THE INLET FOR SUPPORT. PLACE A SECOND LAYER OF BLOCKS ON TOP OF THE FIRST LAYER WITH HOLES FACING UP
2. GEOTEXTILE SHALL BE PLACED OVER BLOCKS TO SUPPORT STONE
3. USE CLEAN STONE OR GRAVEL 1/2 TO 3/4 INCH IN DIAMETER PLACED ON A 30:1 SLOPE OR FLATTER TO WITHIN 3 INCHES OF THE TOP OF THE BLOCKS

CATCH BASIN IN EXISTING PAVEMENT STONE AND BLOCK DROP INLET PROTECTION DETAIL (N.T.S.)

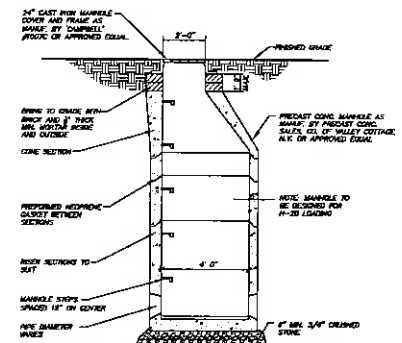


30" X 48" CATCH BASIN DETAIL (N.T.S.)

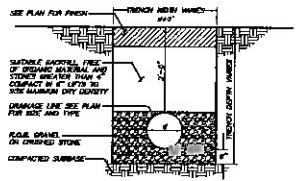


1. AREA CHOSEN FOR STOCKPILE LOCATION SHALL BE DRY AND STABLE
2. UPON COMPLETION OF SOIL STOCKPILE, EACH PILE SHALL BE BARELY COVERED WITH 100 PERCENT TALL FENCING
3. ALL STOCKPILES SHALL BE PROTECTED WITH NATURAL VEGETATION. BLOCKS SHALL BE PLACED IN A ROW WITH OTHER TALL FENCING ADJACENT BLOCKS

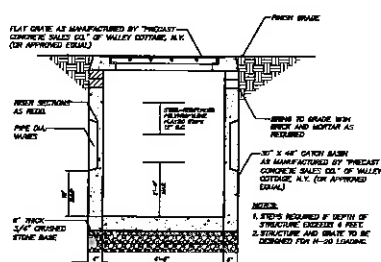
TEMPORARY SOIL STOCKPILE IN PAVEMENT DETAIL (N.T.S.)



DRAINAGE MANHOLE DETAIL (N.T.S.)



DRAINAGE LINE TRENCH DETAIL (N.T.S.)

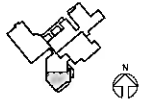


DRAIN INLET DETAIL (N.T.S.)

NO.	DATE	REVISION	BY
1	12-12-17	1. SITE DETAILS	J.C.C.
2	12-12-17	2. SITE DETAILS	M.E.U.
3	12-12-17	3. SITE DETAILS	D.L.M.

PROJECT NUMBER	17118.100	PROJECT MANAGER	J.C.C.	DRAWING NO.	D-2	SHEET	7
DATE	4-12-17	DATE	4-12-17	DATE	4-12-17	DATE	4-12-17
SCALE	AS SHOWN	SCALE	AS SHOWN	SCALE	AS SHOWN	SCALE	AS SHOWN

ALLOCATION OF THIS PROVISIONAL BUDGET IS SUBJECT TO THE APPROVAL OF A LICENSED PROFESSIONAL ENGINEER, A MEMBER OF THE BOARD OF ENGINEERS OF THE STATE OF NEW YORK.

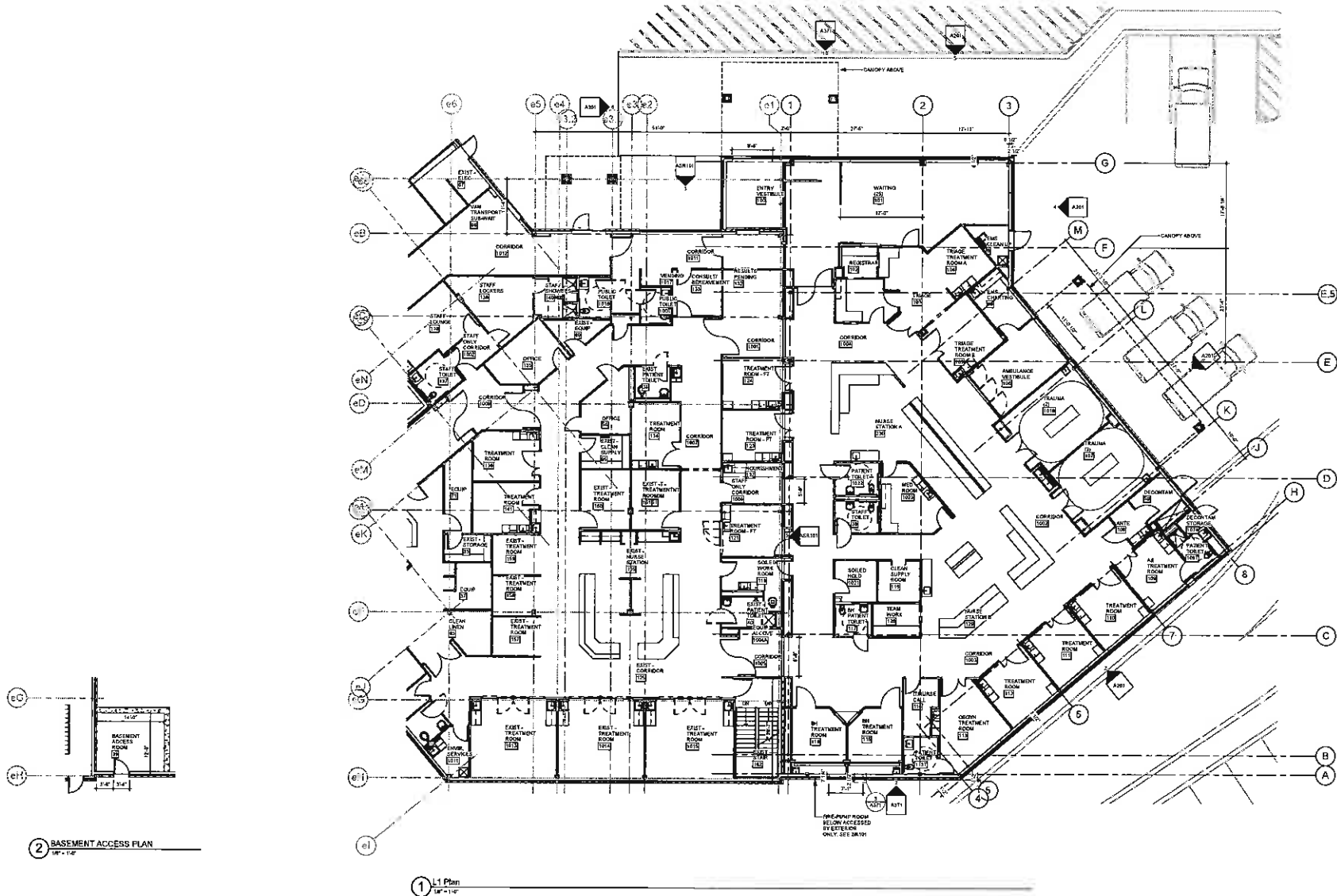


HEALTH QUEST  
PUTNAM HOSPITAL CENTER -  
EMERGENCY DEPARTMENT  
EXPANSION

Project Number  
0316.000  
DATE  
03/10/17  
ISSUE

Date  
03/10/17

Drawn  
3D Modeling Set



Key Plan



Scale

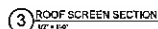
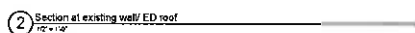
HEALTH QUEST  
PUTNAM HOSPITAL CENTER -  
EMERGENCY DEPARTMENT  
EXPANSION

Project Number  
0106.000  
DATE  
03/10/17  
ISSUE

Date  
03/10/17  
Issue  
03/10/17

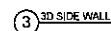
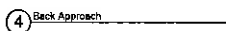
Title  
L1 FLOOR PLAN

**A101**  
© Stefan Eiseley Architects  
Revised 01/10/17 3.41.21.19



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 0000-0001-4441-0000



Degree	Female
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**A200-1**

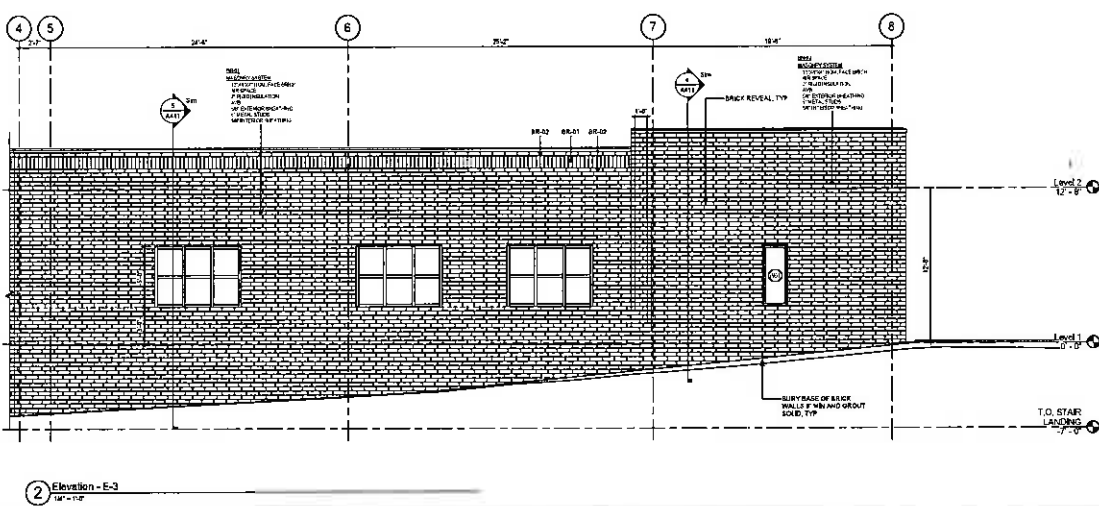
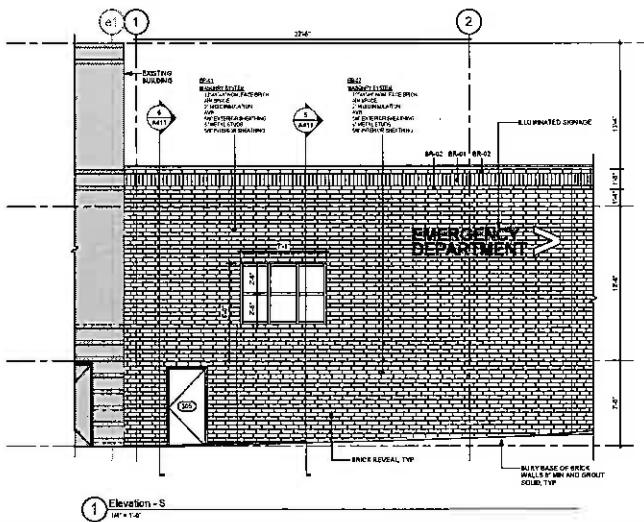
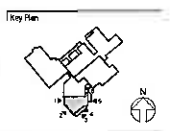
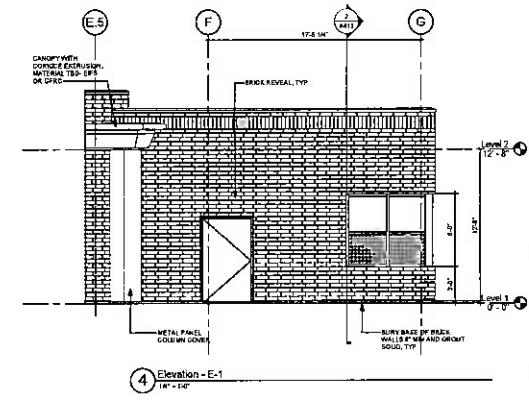
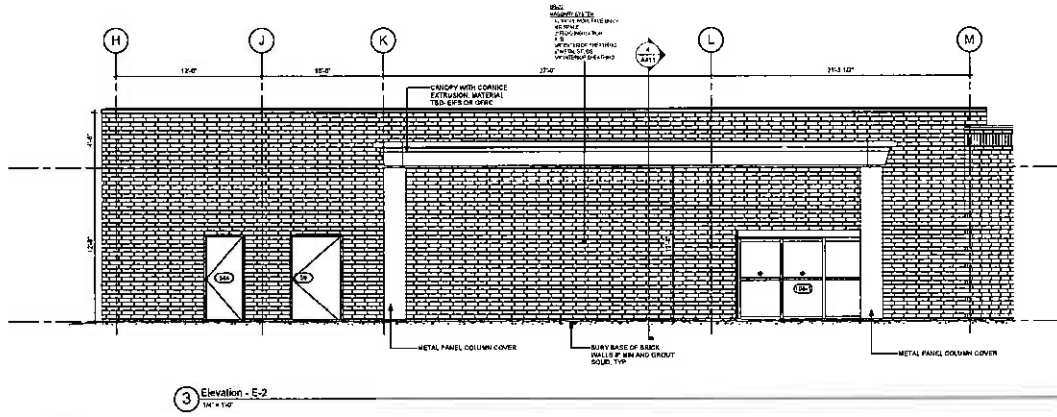
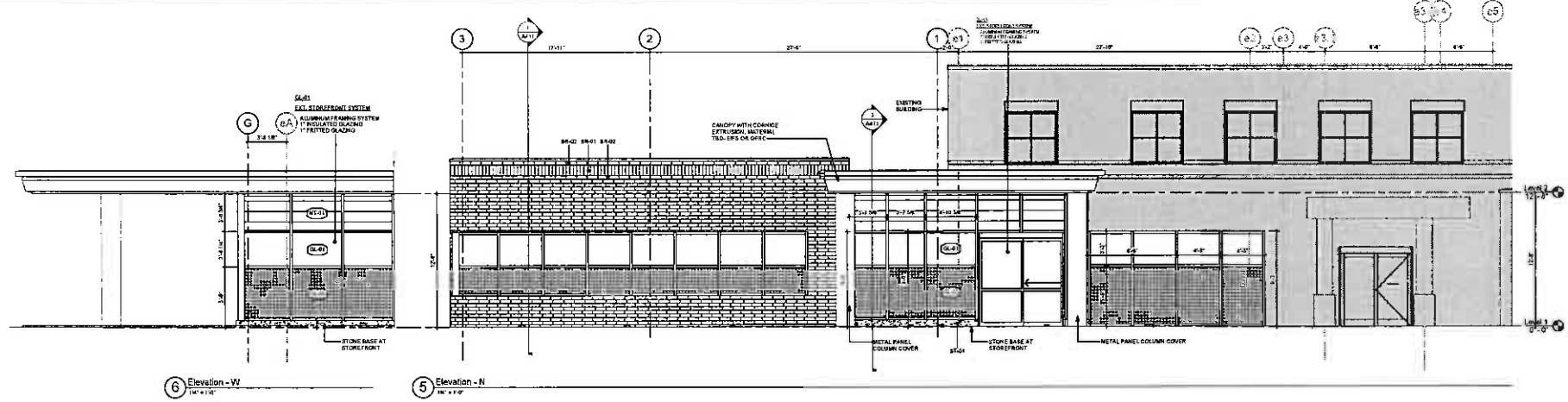
© Stefan Bradley Architects  
Revised 4/4/17 10:17:34 AM

Notes

**EXTERIOR MATERIAL LEGEND**

SEE HAND FOR WALL SECTIONS AND DETAILS

MT-01	METAL PANEL
BR-01	MASONRY BRICK - 175/24" NOM. JOINT
BR-02	MASONRY BRICK - 175/24" NOM. JOINT
GL-01	CLEAR GLASS
GL-02	FRITTER GLASS
CT-01	CP CONCRETE
ST-01	STONE BASE
	EXISTING ELEMENTS TO STAY



**HEALTH QUEST  
PUTNAM HOSPITAL CENTER -  
EMERGENCY DEPARTMENT  
EXPANSION**

Project Number: 03184-000  
Scale: As Indicated  
DATE: 03/10/17  
ISSUE:

Date	Issue
03/10/17	001 Initial Set

File: EXTERIOR ELEVATIONS

**EXTERIOR MATERIAL LEGEND**

SEE A411 FOR WALL SECTIONS AND DETAILS

MT-01	METAL PANEL
BR-01	MASONRY BRICK - 12"X8"X8" NOM. LIGHT
BR-02	MASONRY BRICK - 12"X8"X8" NOM. DARK
GL-01	GLASS
GL-02	FRIETED GLASS
CT-01	CONCRETE
ST-01	STONE BASE

EXISTING ELEMENTS TO REMAIN

**Key Plan**

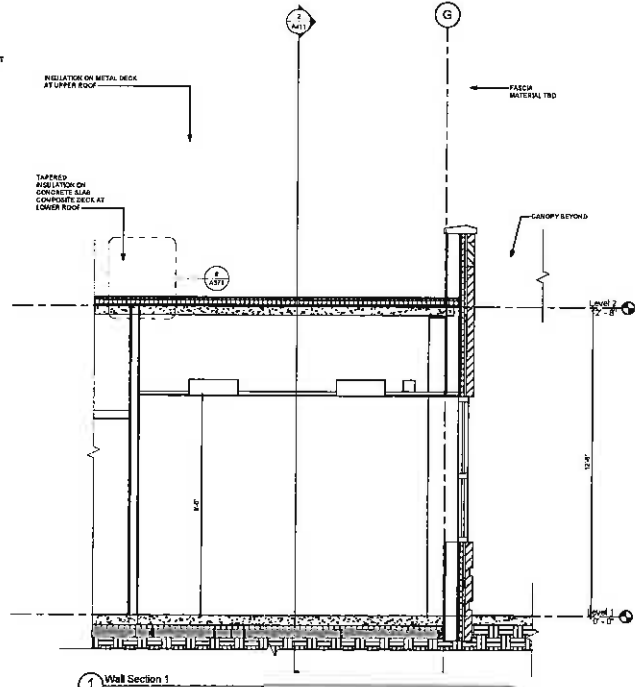
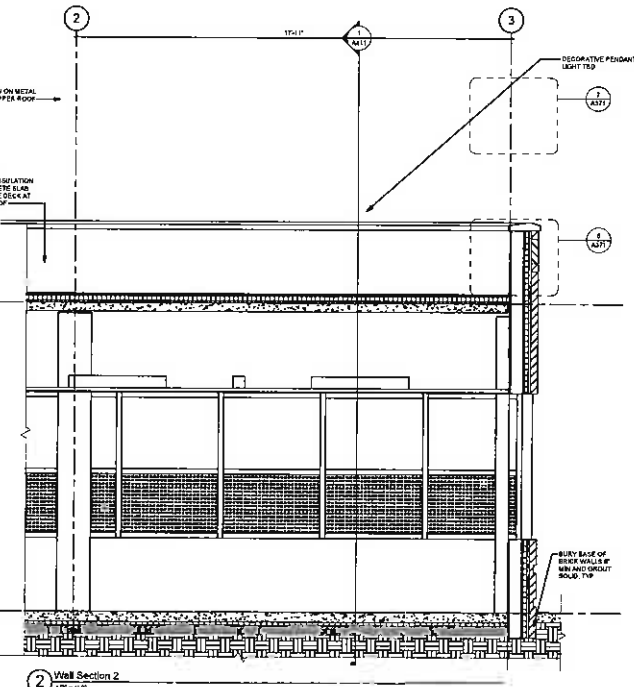
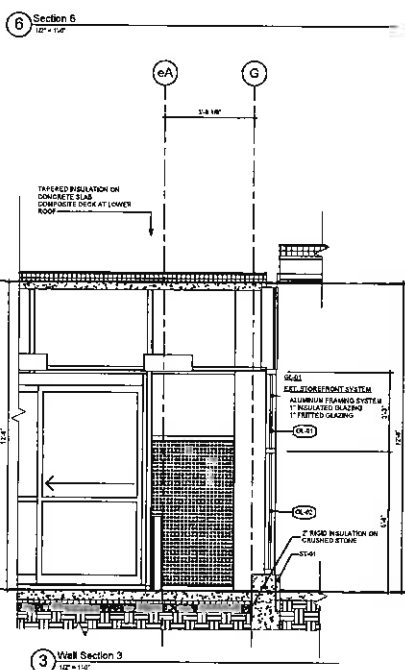
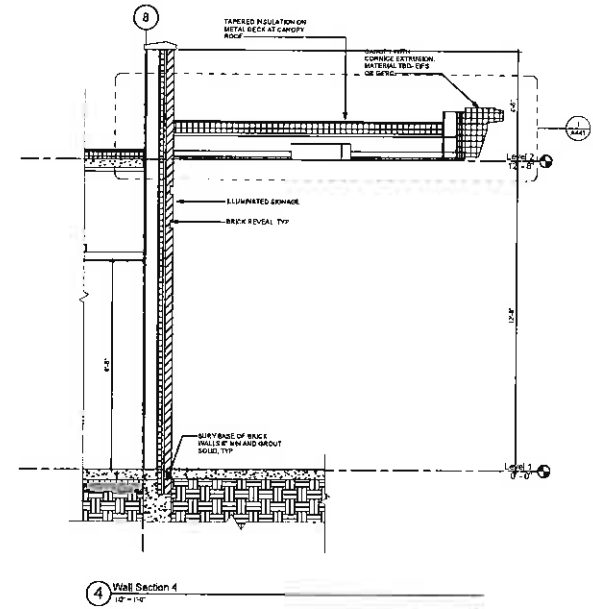
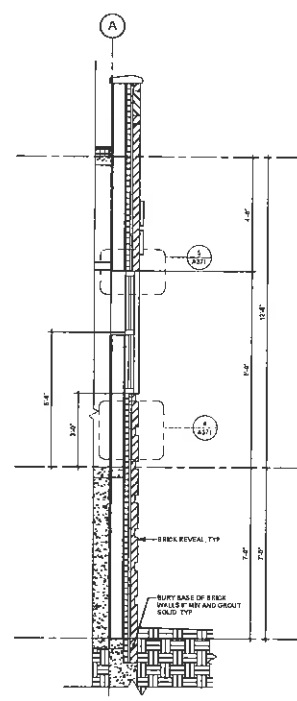
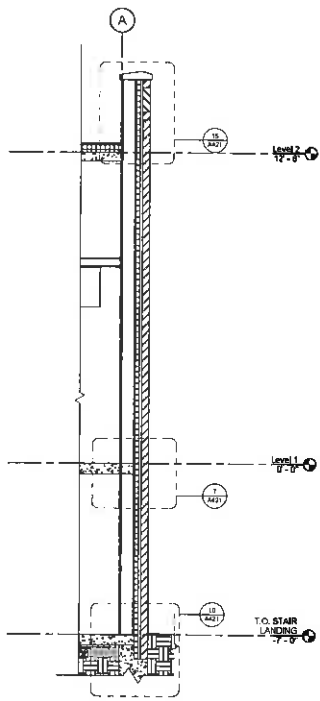


Scale

**HEALTH QUEST  
PUTNAM HOSPITAL CENTER -  
EMERGENCY DEPARTMENT  
EXPANSION**

Project Number	8178-000	Scale
DATE	03/10/17	
ISSUE		
Date	03/10/2017	Issue
	03/10/2017	

**EXTERIOR WALL SECTIONS**



Jan-EL Properties



TOWN OF CARMEL  
SITE PLAN APPLICATION  
INSTRUCTIONS



The Town of Carmel Planning Board meetings are held twice a month, on the second and fourth Wednesday's, at 7:00 PM at Carmel Town Hall, 60 McAlpin Avenue, Carmel

The submission deadline is 10 days prior to the Planning Board meeting. New site plan applications that have been deemed complete will be placed on the agenda in the order they are received.

**No application will be placed on the agenda that is incomplete**

**Pre-Submission:**

Prior to the formal submission of the site plan, a pre-submission conference may be requested by the applicant to be conducted with representatives from the Town, which may include the Town Planner, Town Engineer, Director of Code Enforcement and/or the Planning Board Attorney. This conference will serve to educate the applicant on the process he/she must follow, clarify the information required to submit a complete site plan application, and to highlight any specific areas of concern. You may arrange a pre-submission conference through the Planning Board Secretary at (845) 628-1500 extension 190.

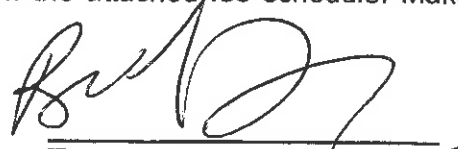
**Submission Requirements:**

At least 10 days prior to the Planning Board meeting, the site plan application shall be submitted to the Planning Board Secretary as follows:

All site plans shall be signed, sealed and folded with the title box legible. The application package shall include:

- ☒ 11 copies of the Site Plan Application Form, signed and notarized.
- ☒ 11 copies of the SEQR Environmental Assessment Form (use of short form or long form shall be determined at pre-submission conference).
- ☒ 5 full size sets of the Site Plan (including floor plans and elevations)
- ☐ 1 CD (in pdf. format) containing an electronic version of the Site Plan
- ☐ 2 copies of the Disclosure Statement
- ☒ 11 copies of the Site Plan Completeness Certification Form
- ☐ N/A All supplemental studies, reports, plans and renderings.
- ☒ 2 copies of the current deed.
- ☐ N/A 2 copies of all easements, covenants and restrictions.
- ☒ The appropriate fee, determined from the attached fee schedule. Make checks payable to the *Town of Carmel*.

  
Planning Board Secretary; Date

  
Town Engineer; Date





# TOWN OF CARMEL SITE PLAN APPLICATION



Per Town of Carmel Code – Section 156 - Zoning

SITE IDENTIFICATION INFORMATION		
<b>Application Name:</b> Jan-El Properties, Inc.	<b>Application #</b> 17-0006	<b>Date Submitted:</b> 5/1/17
<b>Site Address:</b> No. 7 Street: Lupi Plaza Hamlet: Mahopac, NY 10541		
<b>Property Location:</b> (Identify landmarks, distance from intersections, etc.) 400 Ft North of Route 6		
<b>Town of Carmel Tax Map Designation:</b> Section 86.7 Block 1 Lot(s) 25	<b>Zoning Designation of Site:</b> C	
<b>Property Deed Recorded in County Clerk's Office</b> Date 8/3/87 Liber 966 Page 219	<b>Liens, Mortgages or other Encumbrances</b> Yes No X	
<b>Existing Easements Relating to the Site</b> No Yes Describe and attach copies: access & Utility Easement	<b>Are Easements Proposed?</b> <input checked="" type="radio"/> No Yes Describe and attach copies:	
<b>Have Property Owners within a 500' Radius of the Site Been Identified?</b> Yes No Attached List to this Application Form		
APPLICANT/OWNER INFORMATION		
<b>Property Owner:</b> Jan-El Properties Inc	<b>Phone #:</b> 845 628 7760 <b>Fax#:</b>	<b>Email:</b>
<b>Owners Address:</b> No. 7 Street: Lupi Plaza Town: Mahopac State: NY Zip: 10541		
<b>Applicant (If different than owner):</b> Same as Owner	<b>Phone #:</b> <b>Fax#:</b>	<b>Email:</b>
<b>Applicant Address (If different than owner):</b> Same as Owner No. Street: Town: State: Zip:		
<b>Individual/ Firm Responsible for Preparing Site Plan:</b> Architectural Visions PLLC	<b>Phone #:</b> 845 628 6613 <b>Fax#:</b>	<b>Email:</b>
<b>Address:</b> No. 2 Street: Muscoot Road North Town: Mahopac State: NY Zip: 10541		
<b>Other Representatives:</b> None	<b>Phone #:</b> <b>Fax#:</b>	<b>Email:</b>
<b>Owners Address:</b> No. Street: Town: State: Zip:		
PROJECT DESCRIPTION		
<b>Describe the project, proposed use and operation thereof:</b>  Instal 6 Pre Fab storage units		


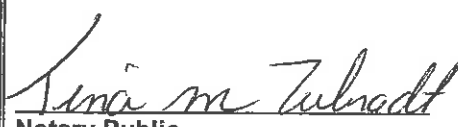
# TOWN OF CARMEL SITE PLAN APPLICATION

PROJECT INFORMATION			
Lot size: Acres: <u>0.5693</u> Square Feet: <u>24,800</u>		Square footage of all existing structures (by floor): <u>none</u>	
# of existing parking spaces: <u>0</u>		# of proposed parking spaces: <u>1</u>	
# of existing dwelling units: <u>0</u>		# of proposed dwelling units: <u>0</u>	
Is the site served by the following public utility infrastructure:			
<ul style="list-style-type: none"> <li>▪ Is project in sewer district or will private septic system(s) be installed? <u>No</u></li> <li>▪ If yes to Sanitary Sewer answer the following: <ul style="list-style-type: none"> <li>▶ Does approval exist to connect to sewer main? Yes: <input type="checkbox"/> No: <input type="checkbox"/></li> <li>▶ Is this an in-district connection? _____ Out-of district connection? _____</li> <li>▶ What is the total sewer capacity at time of application? _____</li> <li>▶ What is your anticipated average and maximum daily flow _____</li> </ul> </li> </ul>			
For Town of Carmel Town Engineer			
<ul style="list-style-type: none"> <li>▶ What is the sewer capacity <u>NOT Applicable - PO 5/2/17</u></li> </ul>			
▪ Water Supply		Yes: <input type="checkbox"/> No: <input type="checkbox"/>	
If Yes: <ul style="list-style-type: none"> <li>▶ Does approval exist to connect to water main? Yes: <input type="checkbox"/> No: <input type="checkbox"/></li> <li>▶ What is the total water capacity at time of application? _____</li> <li>▶ What is your anticipated average and maximum daily demand _____</li> </ul>			
▪ Storm Sewer		Yes: <input type="checkbox"/> No: <input type="checkbox"/>	
▪ Electric Service		Yes: <input type="checkbox"/> No: <input type="checkbox"/>	
▪ Gas Service		Yes: <input type="checkbox"/> No: <input type="checkbox"/>	
• Telephone/Cable Lines		Yes: <input type="checkbox"/> No: <input type="checkbox"/>	
For Town of Carmel Town Engineer			
Water Flows <u>N/A - PO 5/2/17</u>			
Sewer Flows <u>N/A - PO 5/2/17</u>			
Town Engineer; Date _____			
What is the predominant soil type(s) on the site? <u>Sandy Loam</u>		What is the approximate depth to water table? <u>7 ft. +</u>	
Site slope categories:	15-25% <u>100</u> %	25-35% _____%	>35% _____%
Estimated quantity of excavation:	Cut (C.Y.) <u>0</u>	Fill (C.Y.) <u>0</u>	
Is Blasting Proposed	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	Unknown: <input type="checkbox"/>	
Is the site located in a designated Critical Environmental Area?		Yes: <input type="checkbox"/>	No: <input checked="" type="checkbox"/>
Does a curb cut exist on the site? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	Are new curb cuts proposed? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	What is the sight distance? Left <u>N/A</u> Right <u>N/A</u>	
Is the site located within 500' of:			
• The boundary of an adjoining city, town or village		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
• The boundary of a state or county park, recreation area or road right-of-way		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
• A county drainage channel line.		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
• The boundary of state or county owned land on which a building is located		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	

## TOWN OF CARMEL SITE PLAN APPLICATION

Is the site listed on the State or Federal Register of Historic Place (or substantially contiguous) Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Is the site located in a designated floodplain? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Will the project require coverage under the Current NYSDEC Stormwater Regulations <div style="text-align: right;">Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/></div>			
Will the project require coverage under the Current NYDEP Stormwater Regulations <div style="text-align: right;">Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/></div>			
Does the site disturb more than 5,000 sq ft		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Does the site disturb more than 1 acre		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Does the site contain freshwater wetlands? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Jurisdiction: NYSDEC: <input checked="" type="checkbox"/> NO Town of Carmel: <input type="checkbox"/> NO <i>If present, the wetlands must be delineated in the field by a Wetland Professional, and survey located on the Site Plan.</i>			
Are encroachments in regulated wetlands or wetland buffers proposed? Yes: <input type="checkbox"/> N/A No: <input type="checkbox"/>			
Does this application require a referral to the Environmental Conservation Board?		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Does the site contain waterbodies, streams or watercourses? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Are any encroachments, crossings or alterations proposed? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Is the site located adjacent to New York City watershed lands? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Is the project funded, partially or in total, by grants or loans from a public source? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Will municipal or private solid waste disposal be utilized? Public: <input type="checkbox"/> Private: <input type="checkbox"/> N/A			
Has this application been referred to the Fire Department?		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
What is the estimated time of construction for the project? <div style="text-align: center;">One Month</div>			
ZONING COMPLIANCE INFORMATION			
Zoning Provision	Required	Existing	Proposed
Lot Area	40,000sf	24,800sf	24,800sf
Lot Coverage	30%	0	3%
Lot Width	200sf	248ft	248ft
Lot Depth	200 ft	100 ft	100ft
Front Yard	40 ft	0	8ft
Side Yard	25ft	0	25ft
Rear Yard	30 ft	0	82ft
Minimum Required Floor Area	5,000	0	960
Floor Area Ratio	NONE		
Height	35ft	0	8.5 ft
Off-Street Parking	1	0	1
Off-Street Loading	N/A		

# TOWN OF CARMEL SITE PLAN APPLICATION

Will variances be required? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	If yes, identify variances:  <div style="text-align: center;">Front &amp; Side Yard</div>
<b>PROPOSED BUILDING MATERIALS</b>	
Foundation	no
Structural System	Pre fabricated
Roof	
Exterior Walls	
<b>APPLICANTS ACKNOWLEDGEMENT</b>	
I hereby depose and certify that all the above statements and information, and all statements and information contained in the supporting documents and drawings attached hereto are true and correct.	
<u>Wayne DeRosa</u> Applicants Name	 Applicants Signature <span style="margin-left: 20px;">President</span>
Sworn before me this <u>28<sup>th</sup></u> day of <u>April</u> 20 <u>17</u>	
 Notary Public	TINA M. ZUBRADT Notary Public, State of New York No. 01ZU6103694 Qualified in Dutchess County Commission Expires January 5, 20 <u>20</u>



TOWN OF CARMEL  
**SITE PLAN COMPLETENESS  
CERTIFICATION FORM**



All Site Plans submitted to the Planning Board for review shall include the following information and details, as set forth in Section 156-61 B of the Town of Carmel Zoning Ordinance.

This form shall be included with the site plan submission

	Requirement Data	To Be Completed by the Applicant	Waived by the Town
1	Name and title of person preparing the site plan	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
2	Name of the applicant and owner (if different from applicant)	<input type="checkbox"/> N/A	<input type="checkbox"/>
3	Original drawing date, revision dates, scale and north arrow	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
4	Tax map, block and lot number(s), zoning district	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
5	All existing property lines, name of owner of each property within a 500' radius of the site	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
6	Contour lines at two-foot intervals, grades of all roads, driveways, sanitary and storm sewers	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
7	The location of all water bodies, streams, watercourses, wetland areas, wooded areas, rights-of-way, streets, roads, highways, railroads, buildings, structures	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
8	The location of all existing and proposed easements	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
9	The location of all existing and proposed structures, their use, setback dimensions, floor plans, front, side and rear elevations, buildable area.	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
10	On site circulation systems, access, egress ways and service roads, emergency service access and traffic mitigation measures	<input type="checkbox"/> N/A ✓	<input type="checkbox"/>
11	Sidewalks, paths and other means of pedestrian circulation	<input type="checkbox"/> N/A ✓	<input type="checkbox"/>
12	On-site parking and loading spaces and travel aisles with dimensions	<input type="checkbox"/> None ✓	<input type="checkbox"/>
13	The location, height and type of exterior lighting fixtures	<input type="checkbox"/> None ✓	<input type="checkbox"/>
14	Proposed signage	<input type="checkbox"/> None ✓	<input type="checkbox"/>
15	For non-residential uses, an estimate of the number of employees who will be using the site, description of the operation, types of products sold, types of machinery and equipment used	<input type="checkbox"/> None ✓	<input type="checkbox"/>



TOWN OF CARMEL  
**SITE PLAN COMPLETENESS  
CERTIFICATION FORM**



	Requirement Data	To Be Completed by the Applicant	Waived by the Town
16	The location of clubhouses, swimming pools, open spaces, parks or other recreational areas, and identification of who is responsible for maintenance	<input type="checkbox"/> None ✓	<input type="checkbox"/>
17	The location and design of buffer areas, screening or other landscaping, including grading and water management. A comprehensive landscaping plan in accordance with the Tree Conservation Law	<input type="checkbox"/> None ✓	<input type="checkbox"/>
18	The location of public and private utilities, maintenance responsibilities, trash and garbage areas	<input type="checkbox"/> N/A ✓	<input type="checkbox"/>
19	A list, certified by the Town Assessor, of all property owners within 500 feet of the site boundary	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
20	Any other information required by the Planning Board which is reasonably necessary to ascertain compliance with this chapter	<input type="checkbox"/>	<input type="checkbox"/>

-----

**Applicants Certification (to be completed by the licensed professional preparing the site plan:**

I Joel Greenberg hereby certify that the site plan to which I have attached my seal and signature, meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:



\_\_\_\_\_  
Signature - Applicant

\_\_\_\_\_  
Date

Wayne A. DeRosa  
Signature - Owner

4/28/17  
Date

**Professionals Seal**



TOWN OF CARMEL  
SITE PLAN COMPLETENESS  
CERTIFICATION FORM



Town Certification (to be completed by the Town)

I Rose Tronchetti hereby confirm that the site plan meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:

Rose Tronchetti

Signature - Planning Board Secretary

5/2/17

Date

Burt J. [Signature]

Signature - Town Engineer

5/2/17

Date

# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

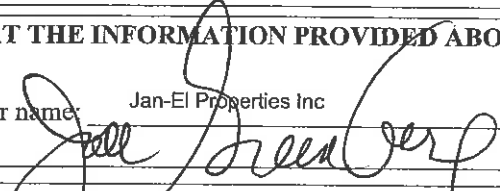
**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

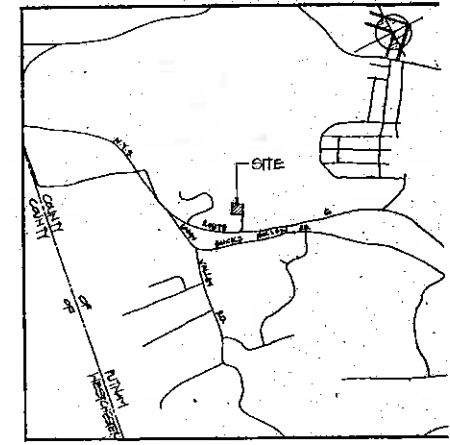
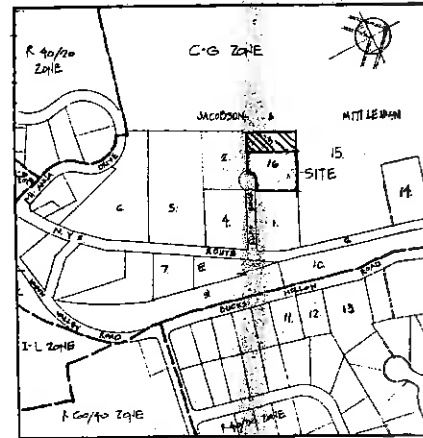
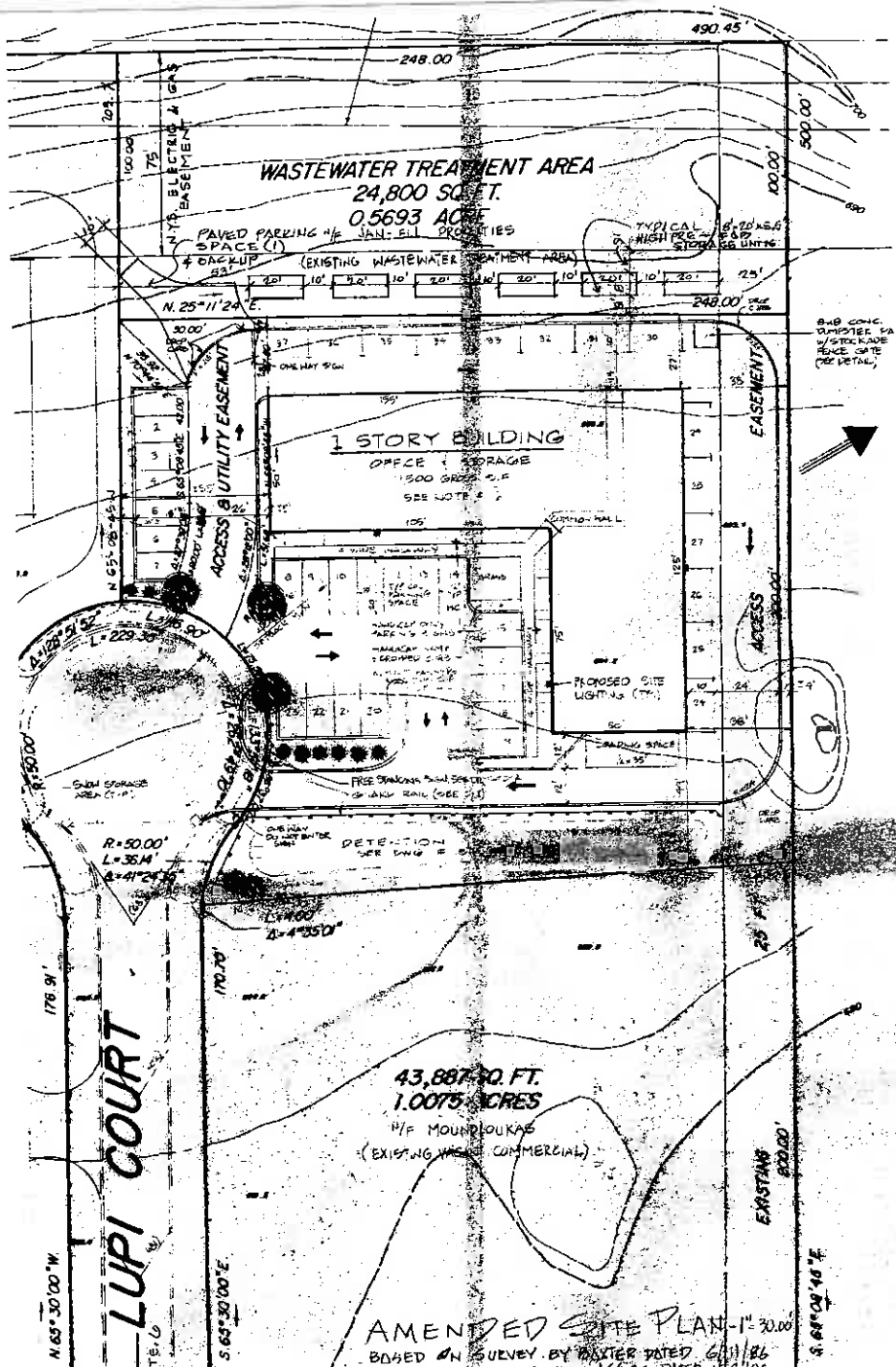
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>							
Name of Action or Project: Jan-El Properties, Inc							
Project Location (describe, and attach a location map): 7 Lupi Plaza							
Brief Description of Proposed Action: Install 6 Pre-Fab Storage Units							
Name of Applicant or Sponsor: Jan-El Properties, Inc.		Telephone: 845-628-7760					
		E-Mail:					
Address: 7 Lupi Plaza							
City/PO: Mahopac		State: NY	Zip Code: 10541				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center;">NO</td> <td style="text-align: center;">YES</td> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: Carmel ZBA & Building Dept.			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center;">NO</td> <td style="text-align: center;">YES</td> </tr> <tr> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input type="checkbox"/>	<input type="checkbox"/>						
3.a. Total acreage of the site of the proposed action?		0.5693 acres					
b. Total acreage to be physically disturbed?		0 acres					
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.5693 acres					
4. Check all land uses that occur on, adjoining and near the proposed action.							
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland							



5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: N/A	<input type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: NONE REQUIRED	<input type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: NONE REQUIRED	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____			
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:			
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional			
<input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES	
If Yes,			
a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?			
If Yes, briefly describe: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES			

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____ _____	NO   <input checked="checked" type="checkbox"/>	YES   <input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____ _____	NO   <input checked="checked" type="checkbox"/>	YES   <input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____ _____	NO   <input checked="checked" type="checkbox"/>	YES   <input type="checkbox"/>
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <u>Jan-El Properties Inc</u> Date: <u>4/20/17</u> Signature: <u></u>		



#### ADJOINERS:

1. MOUNDLOUKAS
2. LUPINACCI
3. JAN. ELL PROPERTIES
4. MAHOPAC SELF STORAGE
5. DE FRANCO
6. DE FRANCO
7. LE FURGY
8. PETROLANE
9. STATE OF NEW YORK
10. STATE OF NEW YORK
11. SPANGO
12. FREY
13. BLOOMER
14. U.S.P. ENTERPRISES
15. JACKSON & MITCHELL
16. WAYNE TOWNSHIP

SITE DATA TAX MAP 66.7 BLOCK 1 LOT 25			
C- ZONE	REQUIRED	PROVIDED	VARIANCE
MIN. LOT SIZE	40,000 SF	24,800 SF	15,200 SF
MIN. LOT WIDTH	200 FT.	248 FT.	NONE
MIN. LOT DEPTH	200 FT.	100 FT.	100 FT.
MIN. FRONT YR. SETBACK	40 FT.	10 FT.	30 FT.
MIN. SIDE YR. SETBACK	25 FT.	25 FT.	25 FT.
MIN. REAR YR. SETBACK	30 FT.	82 FT.	NONE
MAX. LOT COVERAGE	30%	3%	NONE
MAX. BLDG. HEIGHT	35 FT.	8.5 FT. MAX	NONE
STORAGE PARKING	1 PS / 1000 SF	1 PS	NONE
MIN. FLOOR AREA	5,000 SF	960 SF	4040 SF

**ARCHITECTURAL VISIONS**  
A GREENBERG DESIGN GROUP  
2 MUSCOT ROAD NORTH  
MAHOPAC, NY 10541  
P: 845-828-0813  
F: 845-828-2807

6 STORAGE UNITS FOR:  
JAN. ELL PROPERTIES INC.  
7 LUPU PLAZA  
MAHOPAC, NEW YORK 10541  
TOWN OF CARMEL TWP 66.7-1-24

**AMENDED SITE PLAN & NOTES**

ISSUANCE PD - 4-28-17	
SCALE AS NOTED	
DRAWN BY: [Signature]	
PROJECT NO. 2-17-017	5-1



# TOWN OF CARMEL SUBDIVISION APPLICATION



Per Town of Carmel Code – Section 131 – Subdivision of Land

SITE IDENTIFICATION INFORMATION			
Application Name: Linda & Joe Lincks & Colonial Park Assoc.		Application # 17-0004	Date Submitted: 3/1/17
Site Address: No. 771 Street: South Lake B'lv'd Hamlet: Mahopac			
Property Location: (Identify landmarks, distance from intersections, etc.) Opposite Colonial Drive			
Town of Carmel Tax Map Designation: Section 75.42 Block 1 Lot(s) 46		Zoning Designation of Site: R-120	
Property Deed Recorded in County Clerk's Office Date Liber Page		Liens, Mortgages or other Encumbrances Yes No	
Existing Easements Relating to the Site <input checked="" type="checkbox"/> Yes Describe and attach copies:		Are Easements Proposed? No ** Yes Describe and attach copies:	
Have Property Owners within a 500' Radius of the Site Been Identified? Yes ** No Attached List to this Application Form			
APPLICANT/OWNER INFORMATION			
Property Owner: Linda & Joe Lincks & Colonial Park Assoc.		Phone #: 845 628 Fax #: 5723	Email:
Owners Address: No. Street: 3 Richard Rd & PO Box 103 Town: Mahopac State: NY Zip: 10541			
Applicant (if different than owner):		Phone #: Fax#:	Email:
Applicant Address (if different than owner): No. Street: Town: State: Zip:			
Individual/ Firm Responsible for Preparing Site Plan: Architectural Visions PLLC		Phone #: 845 628 6613 Fax#:	Email: joel.greenberg@arch.visions.com
Address: No. 2 Street: Muscoot Rd North Town: Mahopac State: NY Zip: 10541			
Other Representatives:		Phone #: Fax#:	Email:
Owners Address: No. Street: Town: State: Zip:			
PROJECT DESCRIPTION			
Describe the project, proposed use and operation thereof:  Lot Line Change between Lincks & the Colonial Park Assoc.			

# TOWN OF CARMEL SUBDIVISION APPLICATION

PROJECT INFORMATION			
<b>Size of existing parcel to be subdivided:</b> <div style="display: flex; justify-content: space-between;"> <span>Acre: 0.0648</span> <span>Square Feet: 2824</span> <span>Lot Lane</span> </div>			
<b>Major Subdivision</b> <input type="checkbox"/>		<b>Minor Subdivision</b> <input type="checkbox"/>	
<b>Number of proposed lots:</b> <div style="text-align: center;">0</div>		<b>Size of proposed lots:</b> <div style="text-align: center;">N/A</div>	
<b>Conventional Subdivision</b> <input type="checkbox"/>		<b>Cluster Subdivision</b> <input type="checkbox"/>	
<b>Will a 10% open space set aside be provided?</b> Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>		<b>If no, will a payment in-lieu be provided?</b> Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
<b>Will all new lots have frontage on a mapped street?</b> Yes: <input type="checkbox"/> No: <input type="checkbox"/>		<b>If not, how will this deficiency be addressed?</b> <div style="text-align: center;">N/A</div>	
<b>Is the site served by the following public utility infrastructure:</b>			
<div style="display: flex; justify-content: space-between;"> <span>▪ Sanitary Sewer</span> <span>Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/></span> </div>			
<div style="display: flex;"> <div style="flex: 1;"> <b>If Yes:</b> </div> <div style="flex: 3;">                 ▶ Does approval exist to connect to sewer main? Yes: <input type="checkbox"/> No: <input type="checkbox"/>                  ▶ Is this an in-district connection? _____ Out-of district connection? _____                  ▶ What is the total sewer capacity at time of application? _____                  ▶ What is your anticipated average and maximum daily flow _____                  For Town of Carmel Town Engineer                  ▶ What is the sewer capacity <u>N/A</u> <u>3/8/17</u> </div> </div>			
<div style="display: flex; justify-content: space-between;"> <span>▪ Water Supply</span> <span>Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/></span> </div>			
<div style="display: flex;"> <div style="flex: 1;"> <b>If Yes:</b> </div> <div style="flex: 3;">                 ▶ Does approval exist to connect to water main? Yes: <input type="checkbox"/> No: <input type="checkbox"/>                  ▶ What is the total water capacity at time of application? _____                  ▶ What is your anticipated average and maximum daily demand _____             </div> </div>			
<div style="display: flex; justify-content: space-between;"> <span>▪ Storm Sewer</span> <span>Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/></span> </div>			
<div style="display: flex; justify-content: space-between;"> <span>▪ Electric Service</span> <span>Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/></span> </div>			
<div style="display: flex; justify-content: space-between;"> <span>▪ Gas Service</span> <span>Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/></span> </div>			
<div style="display: flex; justify-content: space-between;"> <span>▪ Telephone/Cable Lines</span> <span>Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/></span> </div>			
<b>Will any common areas be created outside of individual lots (road rights-of-way, recreation areas, stormwater management areas, etc.)?</b> Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
<b>Is a homeowners association proposed?</b> Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
<b>What is the predominant soil type(s) on the site?</b> <div style="text-align: center;">N/A</div>		<b>What is the approximate depth to water table?</b> <div style="text-align: center;">N/A</div>	
<b>Site slope categories:</b> 0-15% _____ 15-25% _____ % 25-35% _____ % >35% _____ %			
<b>Estimated quantity of excavation:</b> Cut (C.Y.) <u>None</u> Fill (C.Y.) <u>None</u>			
<b>Is Blasting Proposed</b> Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> Unknown: <input type="checkbox"/>			
<b>Is the site located on a designated Critical Environmental Area?</b> Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
<b>Does a curb cut exist on the site?</b> Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>		<b>Are new curb cuts proposed?</b> Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
<b>What is the sight distance?</b> Left <u>N/A</u> Right <u>N/A</u>			
<b>Is the site located within 500' of:</b>			
<div style="display: flex; justify-content: space-between;"> <span>▪ The boundary of an adjoining city, town or village</span> <span>Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/></span> </div>			
<div style="display: flex; justify-content: space-between;"> <span>▪ The boundary of a state or county park, recreation area or road right-of-way</span> <span>Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/></span> </div>			
<div style="display: flex; justify-content: space-between;"> <span>▪ A county drainage channel line.</span> <span>Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/></span> </div>			

# TOWN OF CARMEL SUBDIVISION APPLICATION

The boundary of state or county owned land on which a building is located Yes: ☐ No: ☒

Is the site listed on the State or Federal Register of Historic Place (or substantially (contiguous))  
 Yes: ☐ No: ☒

Is the site located in a designated floodplain?  
 Yes: ☒ No: ☐

Does the site contain freshwater wetlands?  
 Yes: ☒ No: ☐

Jurisdiction:  
 NYSDEC: ☐ Town of Carmel: ☒ N/A  
*If present, the wetlands must be delineated in the field by a Wetland Professional, and survey located on the Site Plan.*

Are encroachments in regulated wetlands or wetland buffers proposed? Yes: ☐ No: ☒

Does this application require a referral to the Environmental Conservation Board? Yes: ☐ No: ☒

Does the site contain waterbodies, streams or watercourses? Yes: ☒ No: ☐ Lake Mahopac

Are any encroachments, crossings or alterations proposed? Yes: ☐ No: ☒

Is the site located adjacent to New York City watershed lands? Yes: ☒ No: ☐

Will municipal or private solid waste disposal be utilized?  
 Public: ☐ Private: ☐ N/A

Has this application been referred to the Fire Department? Yes: ☐ No: ☒

What is the estimated time of construction for the project?  
 N/A

ZONING COMPLIANCE INFORMATION							
Zoning Provision	Required	Existing	Lot 1	Lot 2	Lot 3	Lot 4	Lot 5
Lot Area	3000SF		244SF	2,582SF			
Lot Coverage N/A	Lot area variance		2756sf	420sf			
Lot Width @ Lake	50ft		12.5 ft	90.75ft			
	Lot width variance		37.5ft	NONE			
Rear Yard Lot Depth	30FT		18FT	12.83FT			
	Lot depth Variance		12FT	17.17FT			

*(If more than 5 lots are proposed, include additional zoning compliance information on a separate sheet)*

Will variances be required? Yes: ☒ No: ☐  
 If yes, identify variances required for each lot:  
 See Above

**APPLICANTS ACKNOWLEDGEMENT**

I hereby depose and certify that all the above statements and information, and all statements and information contained in the supporting documents and drawings attached hereto are true and correct.

Applicants Name: John Fink Lynda Linck Applicants Signature: John Fink Pres of C.P.C.

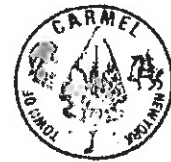
Sworn before me this 27th day of October 2016

Notary Public: Tina M. Zubradt

TINA M. ZUBRADT  
 Notary Public, State of New York  
 No. 012U6103494  
 Qualified in Dutchess County  
 Commission Expires January 5, 2008



TOWN OF CARMEL  
**SUBDIVISION COMPLETENESS  
CERTIFICATION FORM**



All Subdivisions submitted to the Planning Board for review shall include the following information and details, as set forth in Section 131-11-14 of the Town of Carmel Subdivision Regulations.

This form shall be included with the subdivision submission

Requirement Data		To Be Completed by the Applicant	Waived by the Town
<b>General Requirements</b>			
1	Key map at a scale of one inch equals 800 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2	Title block, including title of map; name of subdivision; name, address, seal and signature of professional engineer or land surveyor preparing the plat; written scale; date of original and all revisions.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3	A legend, including, names of all adjacent landowners and those within 500 feet of any property line; zoning district with the requirements of said zone; tax map, block and lot number; names and addresses of owner and subdivider; north point and graphic scale.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4	Location and identification of all zoning district boundaries.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5	Identification of all maps filed in the County Clerk's office affecting properties within 500 feet of the lot to be subdivided.	<input type="checkbox"/> N/A	<input type="checkbox"/>
<b>Sketch Plan Requirements</b>			
1	All General Requirements	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2	Proposed subdivision layout at a scale of not less than one inch equals 100 feet.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3	All proposed lot lines, dimensions in feet and the areas of all lots in square feet and identifying numbers for each lot.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4	The location of existing and proposed setback lines, streets within 200 feet of the subdivision, buildings, watercourses, railroads and bridges, culverts, drainpipes and any natural features, such as wooded areas and rock formations.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5	Location and size of areas proposed to be reserved for recreation/open space.	N/A <input type="checkbox"/>	<input type="checkbox"/>



# TOWN OF CARMEL

## SUBDIVISION COMPLETENESS

### CERTIFICATION FORM



Requirement Data		To Be Completed by the Applicant	Waived by the Town
<b>Preliminary Plat Requirements</b>			
1	All General and Sketch Plan Requirements	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2	The area included in the subdivision, by area of lots, roads, reservations if any, and total acreage.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3	The existing and proposed contours (at an interval of not more than two feet), suitably designated to differentiate, with proposed first-floor elevations of the buildings.	<input type="checkbox"/> N/A	<input type="checkbox"/>
4	Names of existing streets and proposed names of new streets.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5	Preliminary profiles of all proposed roads.	N/A <input type="checkbox"/>	<input type="checkbox"/>
6	Location, type and size of curbs, sidewalks and bikeways.	N/A <input type="checkbox"/>	<input type="checkbox"/>
7	For subdivisions of five or more lots, front building elevation sketches and distribution of dissimilar building types on the site to avoid excessive similarity of exterior design.	<input type="checkbox"/> N/A	<input type="checkbox"/>
8	Plans of proposed utility layouts and all facilities, unsized.	N/A <input type="checkbox"/>	<input type="checkbox"/>
9	The natural flow of surface drainage (indicated with arrows and the final disposal of surface waters); location of existing and proposed watercourses, culverts, bridges, drainpipes, lakes and ponds, detention or retention ponds; tentative location of storm drain inlets with the drainage areas tributary to each outlined and the area shown.	<input type="checkbox"/> N/A	<input type="checkbox"/>
10	Existing or proposed covenants or deed restrictions applying to the site and a preliminary draft of homeowners' association documents, if applicable.	<input type="checkbox"/> N/A	<input type="checkbox"/>
11	A stormwater pollution prevention plan (SWPPP) consistent with the requirements of Article X of Chapter 156 of the Code of the Town of Carmel.	<input type="checkbox"/> N/A	<input type="checkbox"/>
<b>Final Plat Requirements</b>			
1	All General, Sketch and Preliminary Plat Requirements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>







**TOWN OF CARMEL**  
**SUBDIVISION COMPLETENESS**  
**CERTIFICATION FORM**



Requirement Data		To Be Completed by the Applicant	Waived by the Town
	changes are proposed; the natural flow of surface drainage and the final disposal of surface waters; slopes of banks of all watercourses, if defined, and boundaries of floodplains; specifications, locations, profiles and detailed cross sections of the proposed storm drains, including all inlets and size of the drainage area of the streets, including grades and all other improvements.		
9	Final copy of the homeowners' association documents, if applicable.	N/A <input type="checkbox"/>	<input type="checkbox"/>
10	Deeds for land to be dedicated for road widening, recreation or other purposes.	N/A <input type="checkbox"/>	<input type="checkbox"/>
11	Erosion control standards.	N/A <input type="checkbox"/>	<input type="checkbox"/>
12	A stormwater pollution prevention plan (SWPPP) consistent with the requirements of Article X of Chapter 156 of the Code of the Town of Carmel and with the terms of preliminary plan approval.	<input type="checkbox"/> N/A	<input type="checkbox"/>

Applicants Certification (to be completed by the licensed professional preparing the subdivision plan:

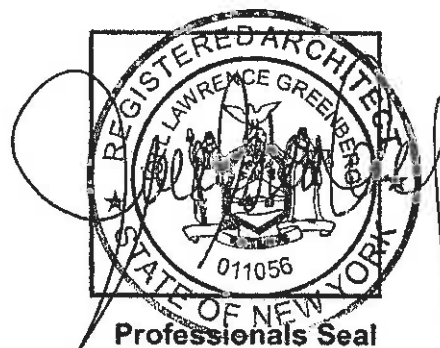
I Joel Greenberg hereby certify that the site plan to which I have attached my seal and signature, meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:

Joel Greenberg  
Dynada Lincks  
Signature - Applicant

\_\_\_\_\_  
Date

Jan Rodney Bus of CPO.  
Signature - Owner

\_\_\_\_\_  
Date





TOWN OF CARMEL  
SUBDIVISION COMPLETENESS  
CERTIFICATION FORM



Town Certification (to be completed by the Town)

I Rose Trombetta hereby confirm that the site plan meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:

Rose Trombetta  
Signature - Planning Board Secretary

3/20/17  
Date

[Signature]  
Signature - Town Engineer

3/20/17  
Date

617.20  
Appendix B  
Short Environmental Assessment Form

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

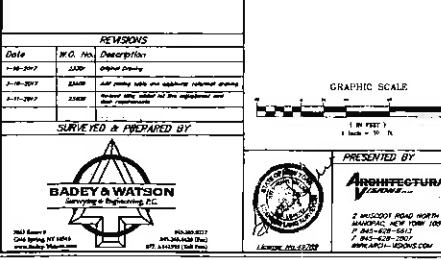
<b>Part 1 - Project and Sponsor Information</b>							
Name of Action or Project: Linda & Joe Lincks & Colonial Park Assoc., Inc							
Project Location (describe, and attach a location map): 771 South Lake B'lv'd							
Brief Description of Proposed Action:  Lot Line Change							
Name of Applicant or Sponsor: Linda & Joe Lincks & Colonial Park Assoc., Inc.		Telephone: 845-628-5723					
		E-Mail:					
Address: 3 Richard Road & PO Box 103							
City/PO: Mahopac		State: NY	Zip Code: 10541				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; text-align: center;">NO</td> <td style="width: 50%; text-align: center;">YES</td> </tr> <tr> <td style="text-align: center;">X</td> <td></td> </tr> </table>	NO	YES	X	
NO	YES						
X							
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; text-align: center;">NO</td> <td style="width: 50%; text-align: center;">YES</td> </tr> <tr> <td style="text-align: center;">X</td> <td></td> </tr> </table>	NO	YES	X	
NO	YES						
X							
3.a. Total acreage of the site of the proposed action?		0.0648 acres					
b. Total acreage to be physically disturbed?		0 acres					
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.0648 acres					
4. Check all land uses that occur on, adjoining and near the proposed action.							
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland							

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	N/A <input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ N/A	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?  If No, describe method for providing potable water: _____ N/A	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?  If No, describe method for providing wastewater treatment: _____ N/A	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	NO <input checked="" type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	NO <input type="checkbox"/> <input checked="" type="checkbox"/>	YES <input checked="" type="checkbox"/> <input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	X	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	X	
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	X	
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b> Applicant/sponsor name: <u>Lincks &amp; Colonial Park Assoc., Inc.</u> Date: <u>10/18/16</u> Signature: <u>[Signature] Proj. ARCHT.</u>		

**Part 2 - Impact Assessment.** The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing:		
a. public / private water supplies?		
b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		



**LAKE MAHOPAC**

**COLONIAL DRIVE**

**LANDS OF LINDA**

**LANDS OF COLONIAL PARK ASSOCIATION, INC.**

**NEW OR FORMERLY BOYER**

**NEW OR FORMERLY (LANDS OF LINDA)**

**NEW OR FORMERLY (LANDS OF COLONIAL PARK ASSOCIATION, INC.)**

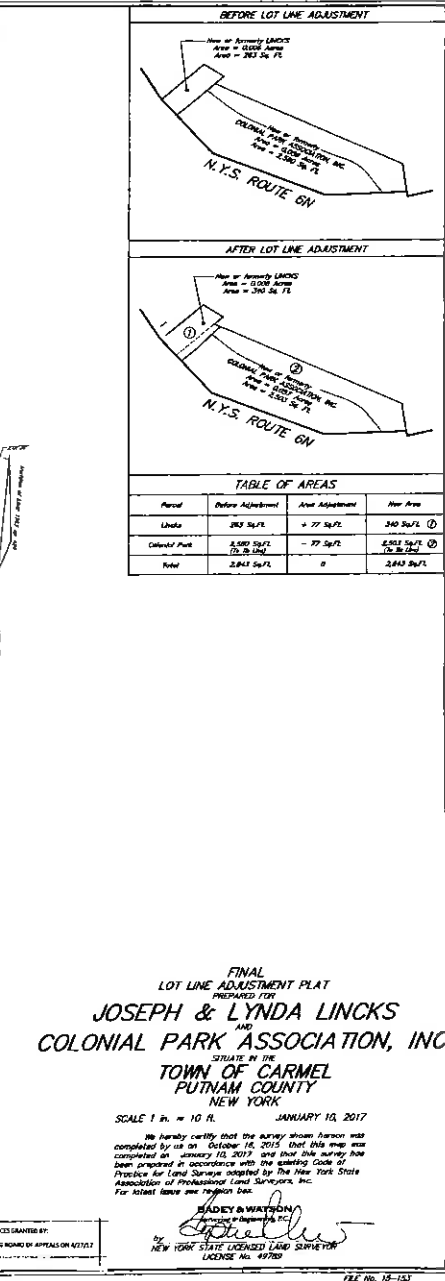
**SETBACK FROM FRONT YARD**

**SETBACK FROM SIDE YARD**

**SETBACK FROM REAR YARD**

**North Arrow**

OWNERS & APPLICANTS	OWNERS' APPROVAL	PROPERTY DATA	ZONING REQUIREMENTS (R)
<b>JOSEPH &amp; LINDA LANDS</b> 3 Richard Road Mahopac, New York, 12512  <b>COLONIAL PARK ASSOCIATION, INC.</b> PO Box 151 Mahopac, New York, 12512	The undersigned owner of the property herein, states that he is a female with full title to the property and he agrees and hereby consents to the filing of this map. Signed this _____ day of _____, 2017. <b>JOSEPH &amp; LINDA LANDS</b> _____ <b>COLONIAL PARK ASSOCIATION, INC.</b> _____	Tax Map Designation: 75-62-1-66 Zoning District: R 75-62-1-67  Total Area: 2,813 Sq.Ft.	Min. Lot Area : 120,000 Sq. Ft. Min. Lot Frontage : 100 Ft. Width : 200 Ft. Depth : 200 Ft. Min. Setback from Front Yard : 40 Ft. Min. Setback from Side Yard : 25 Ft. Min. Setback from Rear Yard : 40 Ft.





April 19, 2017

Harold Gary, Chairman  
Planning Board  
60 McAlpin Avenue  
Mahopac, New York 10541

RE: **Woodcrest Gardens**  
**675 Route 6**  
**Mahopac, New York 10541**

Dear Mr. Gary,

Please be advised that we would like to withdraw our pool permit at this time. We are requesting our Bond be returned to us and relinquish all approvals for the project.

If you have any questions, please do not hesitate to contact Heritage Management Services (914) 276-2509.

Very truly yours,

**Kevin Cullen**  
**Property Manager on behalf of**  
**WOODCREST BOARD OF DIRECTORS**

HERITAGE MANAGEMENT SERVICES  
PO BOX 265  
SOMERS, NEW YORK 10589  
(914) 276-2509





**PLANNING BOARD**  
**Town of Carmel - Town Hall**  
**Mahopac, NY 10541**  
**(845) 628-1500**

# WAIVER OF SITE PLAN APPLICATION

**To: Town of Carmel Planning Board**

I would like to request a waiver of the site plan requirements in connection with a change of use on the property located at:

250/ 254 US Route 6, Mahopac, NY 10541

Tax Map # 86.07-1-8 in the C (Commercial) Zone.

**For the following reasons:** No Change in use, relocation of existing refuse enclosure

**I do not plan to make any exterior changes to the building.**

My proposed use of the site is existing to remain

The present use of the site is Commercial

I will employ 0 people (number).

**There is (is not) a loading dock to receive my supplies.** There is currently a loading space

Signs will conform to the code. Yes

### Special Comments

**In support of my request, I have attached the following:**

**Requirements:**

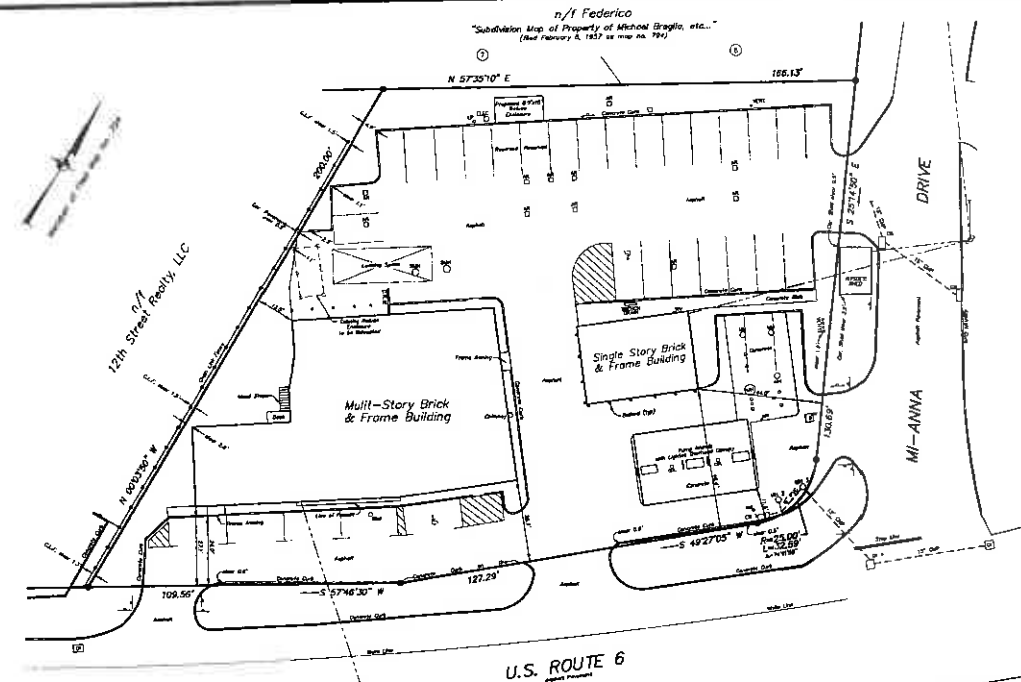
- 5 copies of this waiver request.
- 5 copies of a floor layout drawn to scale.
- 5 copies of a parking layout drawn to scale on your survey.
- 5 copies of a location map.

Andrew Borek / 235 Main St, Suite 330, White Plains, NY 10601 / 917-887-3569

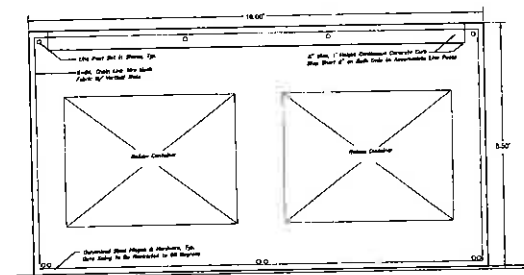
**Print Applicant's Name, Address & Telephone Number**

**Applicant's Signature & Date**

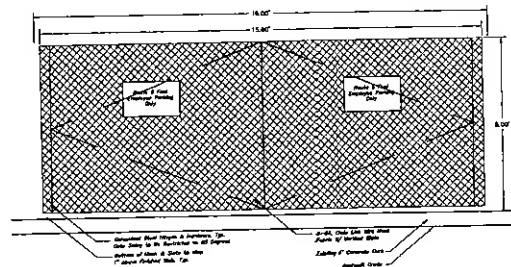
9.11.17



1 SITE PLAN  
SCALE: 1" = 20' - 0"



3 ENLARGED PLAN - REFUSE ENCLOSURE  
SCALE: 6" = 1' - 0"



4 FRONT ELEVATION - REFUSE ENCLOSURE  
SCALE: 6" = 1' - 0"

#### Notes:

- The word "Contractor" refers to the "General Contractor" and, where applicable for trade, subcontractors.
- Work shall conform with applicable requirements of the Code of Ordinances of the Town of Carmel and the latest Edition of the New York Building Code including subsequent supplements. Prior to the start of site operations, the Contractor shall obtain and pay for a building permit from the Town of Carmel, as well as all other permits necessary for the execution of the Work.
- The Contractor shall maintain existing conditions of the site and requirements of the Contract Documents. The Contractor hereby warrants that conditions and requirements, and assumes full responsibility and expense resulting from failure to maintain them.
- The submission of a Bid Proposal will be construed as evidence that the Contractor has made such investigation and independent claims for labor, equipment and materials required for completion of the Work as would have been furnished had a thorough examination been made, and will not be recognized by the Owner or Architect.
- Prior to the start of work, the Contractor shall verify conditions, dimensions, locations, and details, and shall report any discrepancies to the Architect.
- Written dimensions prevail over dimensions noted from the Drawings.
- Except where Work and materials are specifically indicated as not included in the Contract (N.C.), they will be assumed to be included in the Contract Work.
- Prior to the start of operations at the site, the Contractor shall prepare and submit a Construction Schedule to the Architect. The Schedule shall include a summary and phases of site preparation and construction.
- The Contractor shall leave the site broom clean & hand ready upon completion of the project. All existing paving, existing, existing, and other structures shall be protected throughout construction. Any damage will need to be remedied by the Contractor at their sole expense.
- All contractors shall carry property damage and public liability insurance as required by owner, building management and government agencies governing jurisdiction as well as statutory requirements for disability by job conditions and/or owner's requirements. Insurance shall protect owner, architect, and any other third party from liability due to contractor's negligence. Certificates of insurance shall be sent to owner and department of building prior to commencement of any work.
- During the Contract period, the Contractor shall maintain the premises clean, free of hazard, and shall maintain equipment, materials and Work in a orderly and safe condition.
- The Contractor shall erect and maintain temporary site enclosure fence and other enclosures as appropriate for the safety of personnel and protection of the Work from damage or loss during the Contract period.
- If required by the Town, the Contractor shall prepare and submit a construction staging and parking plan.
- The Contractor shall not use inherently hazardous materials or products in the construction.
- Details are intended to show final effect of parts of construction, where modifications may be required to suit site conditions and field dimensions, and are included as part of the Work. Where modifications are required, the Contractor shall submit the proposed modifications for the Architect's review and confirmation prior to commencement of Work at the affected area.
- The Contractor shall immediately notify the Owner and Architect of any additional work arising from the execution of the Contract and shall obtain Owner's written approval of same prior to commencing additional Work.
- The Contractor shall indemnify the Owner and be liable for and against all suits, claims, and liability on account of personal injuries and property damages arising from the operations of, and negligence of, the Contractor.
- The Contractor guarantees all Work for a period of one year following date of final acceptance of the Work, and certifies by the acceptance of the Contract that the Work shall be good and all Work which is or becomes defective, as to the quality of the materials and workmanship, for any cause other than ordinary wear and tear.
- Existing release enclosures to be removed. All fencing and associated posts to be replaced or, and all material affected by the removal enclosures to be replaced. New, and replacing of same level of quality of surrounding asphalt.

#### Legend:

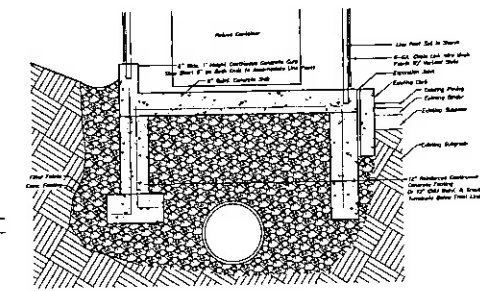
	Chain Line Fence
	Concrete Curb
	Concrete Retaining Wall
	Curb Road
	Drive Well
	Manhole
	Sanitary Manhole
	Vent
	Monitoring Well
	Water Valve
	Access Road Manhole
	Underground Pipe
	Utility Pole With Guy & Overhead Wire
	Lightpole Base
	Excavate Spot
	Sign
	Cavity Support Column

#### Site Data:

Zone: C (Commercial)  
Block: 145  
Lot: 1-7  
Tax Map No.: 80.07-1-8  
Owner(s): Tarent & Entertainment Unlimited Corp. / Vidal Realty



2 LOCATION MAP  
SCALE: 1" = 200' - 0"



5 SECTION - REFUSE ENCLOSURE  
SCALE: 6" = 1' - 0"



1 04/11/17 Subdividing Set Title  
Author Date Description

Project: V110.1  
250 / 254 US ROUTE 6

Mahopac, New York 10541  
County of Putnam  
Development Strategies Company, LLC.  
Andrew J. Bonk, P.E. (A.E.A.)

Date: 04/11/17 Sheet: AS NOTED

SITE PLAN - PROPOSED REFUSE ENCLOSURE RELOCATION

Sheet No. A-100.00

SHEET: 2 OF 2