

CRAIG PAEPER  
*Chairman*

ANTHONY GIANNICO  
*Vice Chairman*

**BOARD MEMBERS**

DAVE FURFARO  
CARL STONE  
KIM KUGLER  
RAYMOND COTE  
ROBERT FRENKEL

**TOWN OF CARMEL  
PLANNING BOARD**



60 McAlpin Avenue  
Mahopac, New York 10541  
Tel. (845) 628-1500 – Ext.190  
[www.ci.carmel.ny.us](http://www.ci.carmel.ny.us)

MICHAEL CARNAZZA  
*Director of Code  
Enforcement*

RICHARD FRANZETTI, P.E.  
*Town Engineer*

PATRICK CLEARY,  
AICP, CEP, PP, LEED AP  
*Town Planner*

**PLANNING BOARD AGENDA  
AUGUST 14, 2019 – 7:00 P.M.**

**MEETING ROOM #1**

**TAX MAP #   PUB. HEARING   MAP DATE   COMMENTS**

**SITE PLAN**

- |  |           |                           |
|--|-----------|---------------------------|
| 1. Taco Bell (Former Friendly's Site)<br>1081 Stoneleigh Ave | 55.11-1-3 | 8/07/19 Amended Site Plan |
|--|-----------|---------------------------|

**MISC.**

- |  |           |             |
|--|-----------|-------------|
| 2. Baker Residential (Countryscapes) – Wixon Pond Rd | 65.5-1-38 | Bond Return |
|--|-----------|-------------|

**PUBLIC HEARING**

- |   |            |         |                                |
|---|------------|---------|--------------------------------|
| 3. Homeland Towers Lake Casse – 254 Croton Falls Rd | 65.19-1-43 | 8/14/19 | 7/12/19 Site Plan (Cell Tower) |
| 4. Homeland Towers Dixon Lake - 36 Dixon Road       | 54.-1-6    | 8/14/19 | 7/12/19 Site Plan (Cell Tower) |



Site Planning	Environmental Studies
Civil Engineering	Entitlements
Landscape Architecture	Construction Services
Land Surveying	3D Visualization
Transportation Engineering	Laser Scanning

August 8, 2019

Chairman Craig Paepre and Members of the Planning Board  
Town of Carmel Planning Board  
60 McAlpin Avenue  
Mahopac, New York 10541

RE: JMC Project 18188  
Proposed Restaurant Redevelopment (Former Friendly's Site)  
1081 Stoneleigh Avenue  
Town of Carmel, NY

Dear Chairman Paepre and Members of the Board:

On behalf of Kai Carmel LLC, we are pleased to provide the following responses to comments contained in memorandums from your Board's architectural consultant, Director of Code Enforcement, and the Town Engineer, to your Board. Accordingly, we are pleased to provide the materials and responses enumerated below.

Enclosed please find a copy of the below listed materials for your review:

1. JMC PLLC Drawings:

<u>Dwg. No.</u>	<u>Title</u>	<u>Rev. #/Date</u>
C-000	"Cover Sheet"	4 08/07/2019
C-010	"Existing Conditions Map"	5 08/07/2019
C-100	"Layout Plan"	4 08/07/2019
C-101	"Truck Turning Plan"	3 08/07/2019
C-200	"Grading and Erosion & Sediment Control Plan"	4 08/07/2019
C-900	"Construction Details"	4 08/07/2019
C-901	"Construction Details"	4 08/07/2019
C-902	"Construction Details"	4 08/07/2019
L-100	"Landscaping Plan"	4 08/07/2019

2. Wiener Architecture Group, LLC Drawings:

<u>Dwg. No.</u>	<u>Title</u>	<u>Rev. #/Date</u>
A-1	"Exterior Elevations"	08/08/2019
A-2	"Exterior Elevations"	08/08/2019
A-3	"Trim Details and Notes, Pylon Sign Specs."	08/08/2019

3. Menu Board Detail, prepared by Everbrite LLC, dated 11/07/2016.
4. Photometric Lighting Plan, prepared by CREE Lighting, dated 05/07/2019.
5. Correspondence from the NYSDEC regarding the jurisdiction of the wetlands, dated 08/06/2019.

For ease of your review, we have repeated the comments in italics, followed by our responses:

*Memorandum from WMW Architects, Architectural Consultants to the Planning Board, dated 07/29/2019*

*Comment No. 1*

*Parapet cap accent trims: items 1 & 2 on the elevations are not completely defined; applicant should submit details and/or pictures to clarify; specifically, the shape and size.*

*Response No. 1*

The parapet cap accent trims have now been detailed on Wiener Architecture Group Drawing A-3, "Trim Details and Notes", dated 08/05/2019.

*Comment No. 2*

*Applicant should indicate all roof equipment and proposed screening method. Roof line should be indicated on elevations.*

*Response No. 2*

The roof is proposed to be screen via a parapet wall, which is now detailed on Wiener Architecture Group Drawings A-1 and A-2, "Exterior Elevations", dated 08/05/2019.

*Comment No. 3*

*On Drawing L-100; Entrance to the proposed tenant space is shown as a landscaped area, which is in front of doors. Landscape layout should be adjusted.*

*Response No. 3*

JMC Drawings C-100, "Layout Plan", and L-100, "Landscaping Plan", have been updated to coordinate the proposed door locations with the layout of the sidewalk and landscaped areas.

*Comment No. 4*

*On Drawing L-100; at the drive thru, a concrete pad is called for. Elevations do not show a door at this location. Applicant should confirm intent related to door. If no door is required, then the landscape area*

Comment No. 9

*Finish examples were submitted electronically. However real samples should be submitted for review.*

Response No. 9

We are in the process of preparing a sample board with examples of all proposed finishes and colors, and will be bringing this board to the next Planning Board meeting.

Memorandum from Richard J. Franzetti P.E., Town Engineer, dated 07/19/2019

Comment No. 1

*The following referrals would appear to be warranted:*

- a. The Town of Carmel Environmental Conservation Board (ECB)*
- b. Carmel Fire Department*

Response No. 1

This comment is so noted.

Comment No. 2

*Permits from the following would appear necessary:*

- a. ECB*

*The applicant has acknowledged comments 1 and 2. The project has met with the ECB and had received a wetland permit (#951 expires June 27, 2020). The applicant will work with this Department to determine if this requirement is needed as the wetland delineation validation from the NYSDEC is still in process.*

Response No. 2

Please see the attached e-mail correspondence from the NYSDEC. There are no state regulated wetlands or 100' adjacent areas on the property.

Comment No. 3

*Provide location of and calculations for grease trap sizing.*

*Applicant has noted that there is a grease trap onsite and that it will be inspected/cleaned. Documentation of this inspection/cleaning should be provided to the Engineering Department.*

Response No. 3

This comment is so noted. It is our understanding that the inspection / cleaning of the grease trap will be made a condition of approval and will occur prior to a CO being issued.

Comment No. 4

*Should any public improvements be deemed necessary as part of the development of the tract, a Performance Bond and associated Engineering Fee must eventually be established for the work.*

*The applicant has acknowledged this comment.*

Response No. 4

This comment is so noted.

*Memorandum Michael G. Carnazza, Director of Code Enforcement, dated 07/31/2019*

Comment No. 1

*The applicant proposes to change from the existing Friendly's restaurant to a Taco Bell (fast food) and a second proposed restaurant (Unclear if it will be a restaurant or a fast-food restaurant).*

Response No. 1

At this time, the second tenant is unknown. It is not planned to be another fast-food restaurant.

Comment No. 2

*Provide detail of all signage. The large "Accent Wall" is a sign by definition. I need a detail of that as well.*

Response No. 2

Wiener Architecture Group Drawings A-1 through A-3 detail the proposed signage including the building signage and the proposed pylon sign. In addition, the accent wall has been eliminated from the design based on input received from the Planning Board at the last meeting.

We trust that this information is sufficient for you to complete your review of this Application and look forward to discussing this matter with you further. If you have any questions or require additional information with regard to the information provided above, please do not hesitate to contact our office at 914-273-5225. Thank you for your consideration.

Sincerely,

JMC Planning Engineering Landscape Architecture & Land Surveying, PLLC

A handwritten signature in blue ink, appearing to read "James A. Ryan".

James A. Ryan, RLA  
Principal

A handwritten signature in blue ink, appearing to read "Paul J. Dumont".

Paul J. Dumont, EIT  
Senior Designer

**Paul J. Dumont, EIT**



---

**Subject:** RE: Carmel site

From: Fisher, Joshua M (DEC) <[Joshua.Fisher@dec.ny.gov](mailto:Joshua.Fisher@dec.ny.gov)>  
To: Michael Nowicki <[ecolsol@aol.com](mailto:ecolsol@aol.com)>  
Sent: Tue, Aug 6, 2019 10:28 am  
Subject: RE: Carmel site

There is no State regulated wetland or 100' adjacent area on the property at 1081 Stoneleigh Ave

**Josh Fisher**

Biologist, Bureau of Ecosystem Health  
**New York State Department of Environmental Conservation**  
21 South Putt Corners Rd., New Paltz, NY 12561  
Office: (845) 256-3113 | [joshua.fisher@dec.ny.gov](mailto:joshua.fisher@dec.ny.gov)  
Cell: (845) 220-8570  
[www.dec.ny.gov](http://www.dec.ny.gov) |  | 

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**From:** Michael Nowicki <[ecolsol@aol.com](mailto:ecolsol@aol.com)>  
**Sent:** Monday, August 05, 2019 9:05 AM  
**To:** Fisher, Joshua M (DEC) <[Joshua.Fisher@dec.ny.gov](mailto:Joshua.Fisher@dec.ny.gov)>  
**Subject:** Fwd: Carmel site

*ATTENTION: This email came from an external source. Do not open attachments or click on links from unknown senders or unexpected emails.*

Josh

see attached and below - This site has an existing restaurant building on it and wetlands that I delineated as shown. The Town is requesting info if the wetland on site is DEC or not.

Let me know when you can

thanks Mike



# SITE PLAN APPROVAL DRAWINGS

## PROPOSED RESTAURANT REDEVELOPMENT

TAX MAP SECTION 55.11 | BLOCK 1 | LOT 3  
1081 STONELEIGH AVENUE  
TOWN OF CARMEL, NEW YORK



Site Planner, Civil Engineer,  
and Landscape Architect:  
120 BEDFORD ROAD  
ARMONK, NY 10504  
(914) 273-5225

### Applicant:

KAI CARMEL LLC  
25 ROUTE 59  
NYACK, NY 10960  
(201) 315-3670

### Owner:

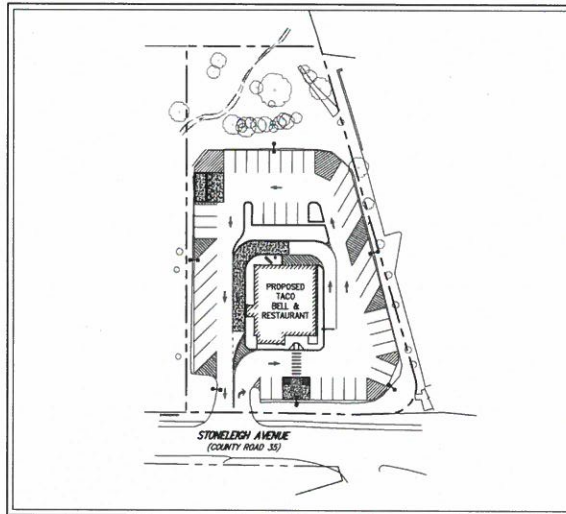
URSTADT BIDDLE PROPERTIES INC.  
321 RAILROAD AVE  
GREENWICH, CT 06830  
(203) 863-8200

### Attorney:

HARRIS BEACH, PLLC.  
445 HAMILTON AVE, SUITE 1206  
WHITE PLAINS, NY 10601  
(914) 683-1212

### Surveyor:

BADEY & WATSON SURVEYING & ENGINEERING, P.C.  
3063 ROUTE 9  
COLD SPRING, NY 10516  
(845) 265-9217



AREA MAP  
SCALE: N.T.S.



VICINITY MAP  
SCALE: 1" = 1,000'  
SOURCE: USGS / 2016

### GENERAL CONSTRUCTION NOTES APPLY TO ALL WORK HEREIN:

- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CALL 811 "DIG SAFELY" (1-800-485-7827) TO HAVE UNDERGROUND UTILITIES LOCATED. EXPLORATORY EXCAVATIONS SHALL COMPLY WITH CODED REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PUBLIC AND PRIVATE UNDERGROUND AND SURFACE UTILITIES AND STRUCTURES AT OR ADJACENT TO THE SITE OF CONSTRUCTION, WHETHER AS THEY MAY BE EXPOSED BY THE CONTRACTOR'S OPERATIONS. THIS SHALL HOLD TRUE WHETHER OR NOT THEY ARE SHOWN ON THE CONTRACT DRAWINGS. IF THEY ARE SHOWN ON THE DRAWINGS, THEIR LOCATIONS ARE NOT GUARANTEED EVEN THOUGH THE INFORMATION WAS OBTAINED FROM THE BEST AVAILABLE SOURCES, AND IN ANY CASE, OTHER UTILITIES IN THESE PLANS MAY BE DISCOVERED IN THE FIELD. THE CONTRACTOR SHALL AT HIS OWN RISK IMMEDIATELY REPAIR OR REPLACE ANY STRUCTURES OR UTILITIES THAT HE DAMAGES, AND SHALL CONSTANTLY PROCEED WITH CAUTION TO PREVENT UNLAME INTERFERENCE OF UTILITY SERVICE.
- CONTRACTOR SHALL HAVE NO TEST PITS TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL VERIFY EXISTING UTILITIES DEPTH AND ADEQUACY OF ANY CONFLICTS WITH PROPOSED UTILITIES. IF CONFLICTS ARE PRESENT, THE OWNER'S FIELD REPRESENTATIVE, AEC, PLLC, AND THE APPLICABLE MUNICIPALITY OR AGENCY SHALL BE NOTIFIED IN WRITING. THE EXISTING/PROPOSED UTILITIES RELOCATION SHALL BE DESIGNED BY AEC, PLLC.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL LOCAL PERMITS REQUIRED.
- ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, STANDARDS, ORDINANCES, RULES, AND REGULATIONS. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL SAFETY CODES, APPLICABLE SAFETY CODES, AND ALL AMENDMENTS, REVISIONS, AND ADDITIONS HERETO, TO THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S OCCUPATIONAL SAFETY AND HEALTH STANDARDS (OSHA), AND APPLICABLE SAFETY, HEALTH, REGULATIONS AND BUILDING CODES FOR CONSTRUCTION IN THE STATE OF NEW YORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GUARDING AND PROTECTING ALL OPEN EXCAVATIONS IN ACCORDANCE WITH THE PROVISIONS OF SECTION 107-45 (SAFETY AND HEALTH REQUIREMENTS) OF THE INTERIOR STANDARDS SPECIFICATIONS. IF THE CONTRACTOR PERFORMS ANY HAZARDOUS CONSTRUCTION PRACTICES, ALL OPERATIONS IN THE AFFECTED AREA SHALL BE DISCONTINUED AND IMMEDIATE ACTION SHALL BE TAKEN TO CORRECT THE SITUATION TO THE SATISFACTION OF THE APPROVAL AUTHORITY HAVING JURISDICTION.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES AFFECTED BY THE SCOPE OF WORK SHOWN HEREON AT ALL TIMES TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE. SWAPPING CONSTRUCTION TO PROVIDE ACCESS MAY BE CONDUCTED WITH SEISMIC MATERIAL EXCEPT THAT TEMPORARY ASPHALT CONCRETE SHALL BE PLACED AS DIRECTED BY THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE PEDESTRIAN ACCESS AT ALL TIMES.
- CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF EXISTING PAVEMENT TO REMAIN.

SUBSURFACE UTILITY LOCATIONS ARE BASED ON A COMPARISON OF FIELD EVIDENCE, AVAILABLE RECORD PLANS AND/OR UTILITY MAPS. THE LOCATION OR COMPLETENESS OF UNDERGROUND INFORMATION CANNOT BE GUARANTEED. VERIFY THE ACTUAL LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION OR CONSTRUCTION.



No.	Revision	Date	By
1.	REVISED PER TOWN COMMENTS	05/10/2019	JES
2.	REVISED AND ISSUED FOR WETLAND PERMIT	05/20/2019	JES
3.	REVISED PER TOWN COMMENTS	07/18/2019	PD
4.	REVISED PER TOWN COMMENTS	08/07/2019	PD

### JMC Drawing List:

- C-000 COVER SHEET
- C-010 EXISTING CONDITIONS MAP
- C-100 LAYOUT PLAN
- C-101 TRUCK TURNING PLAN
- C-200 GRADING AND EROSION & SEDIMENT CONTROL PLAN
- C-900 CONSTRUCTION DETAILS
- C-901 CONSTRUCTION DETAILS
- C-902 CONSTRUCTION DETAILS
- L-100 LANDSCAPING PLAN

### TABLE OF LAND USE

SECTION 55.11 BLOCK 1, LOT 3 ZONE "C" - "COMMERCIAL"				
DESCRIPTION	REQUIRED PERMITTED	EXISTING	PROPOSED	
LOT AREA	(FEET)	40,000	52,841	52,841
LOT WIDTH	(FEET)	200	164 <sup>75</sup>	164
LOT DEPTH	(FEET)	200	323	323
BUILDING HEIGHT	(FEET)	35	<35	<35
GROSS FLOOR AREA	(SQUARE FEET)	5,000	3,586 <sup>75</sup>	3,586
LOT COVERAGE BY BUILDING	(PERCENT)	30%	6.8	6.8
YARDS				
FRONT BUILDING SETBACK	(FEET)	40	61.5	61.5
REAR BUILDING SETBACK	(FEET)	30	192.3	192.3
SIDE BUILDING SETBACK	(FEET)	25	52.7	52.7
PARKING SUMMARY				
TOTAL SPACES	(SPACES)	45	55	45
STANDARD SPACES	(SPACES)	43	52	43
HANDICAP SPACES	(SPACES)	2	3	2

### NOTES:

- VARIANCES WERE OBTAINED IN 1984 FOR LOT WIDTH AND MINIMUM FLOOR AREA.
- PER SECTION 136-42 OF THE TOWN OF CARMEL ZONING CODE, FOR RESTAURANT USES, 1 PARKING SPACE IS REQUIRED FOR EACH 3 SEATS, INCLUDING BARSTOOLS. ON 1 PARKING SPACE IS REQUIRED FOR EACH 40 SQUARE FEET OF FLOOR AREA DEVOTED TO PATRON USE WHERE CAPACITY IS NOT DETERMINED BY THE NUMBER OF FIXED SEATS.  
TACO-BELL RESTAURANT: 38 SEATS / 3 = 13 PARKING SPACES  
880 S.F. OF FLOOR AREA DEVOTED TO PATRON USE / 40 = 22 PARKING SPACES  
FUTURE RESTAURANT TOWN: MAXIMUM 88 SEATS OR MAXIMUM 880 S.F. OF FLOOR AREA DEVOTED TO PATRON USE  
TOTAL: 45 PARKING SPACES REQUIRED

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7206 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR IN SECTION 7206, SUBSECTION 2.



JMC Planning, Engineering, Landscape Architecture & Civil Surveying, PLLC  
JMC Site Development Consultants, LLC  
JMC Surveying Consultants, Inc.  
120 BEDFORD ROAD - ARMONK, NY 10504  
914.273.5225 FAX 914.273.2782  
www.jmcpnc.com

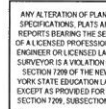
Drawn	PD	Revised	JES
Scale	AS SHOWN		
Date	04/10/2019		
Project No.	18188		
Sheet No.	C-000	Sheet	C-000



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LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING RETAINING WALL
	EXISTING FENCE
	EXISTING TREE AND DESIGNATION
	EXISTING TREE LINE
	EXISTING WETLAND LINE
	EXISTING WETLAND ADJACENT AREA BOUNDARY
	EXISTING DIRECTIONAL ARROWS
	EXISTING PAVT
	EXISTING PARKING WITH NUMBER OF SPACES
	EXISTING HANDICAP PARKING WITH NUMBER OF SPACES
	EXISTING PEDESTRIAN CROSSING
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING SANITARY LINE AND SIZE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRES
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING GAS VALVE
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN

1. EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "AS-BUILT & TOPOGRAPHIC SURVEY OF PROPERTY," PREP BY BADEY & WATSON SURVEYING & ENGINEERING, P.C., DATED 03/19/2011. LAST REVISED 05/01/2019.



No	Revision	Date
1.	REVISED PER TOWN COMMENTS	04/13/2019
2.	REVISED PER TOWN COMMENTS	05/10/2019
3.	REVISED AND ISSUED FOR WETLAND PERMIT	06/20/2019
4.	REVISED PER TOWN COMMENTS	07/16/2019
5.	REVISED PER TOWN COMMENTS	08/07/2019

EXISTING  
CONDITIONS MAP  
PROPOSED RESTAURANT  
REDEVELOPMENT  
1081 STONELEIGH AVENUE  
WILLOW BROOK, ILL. 60091

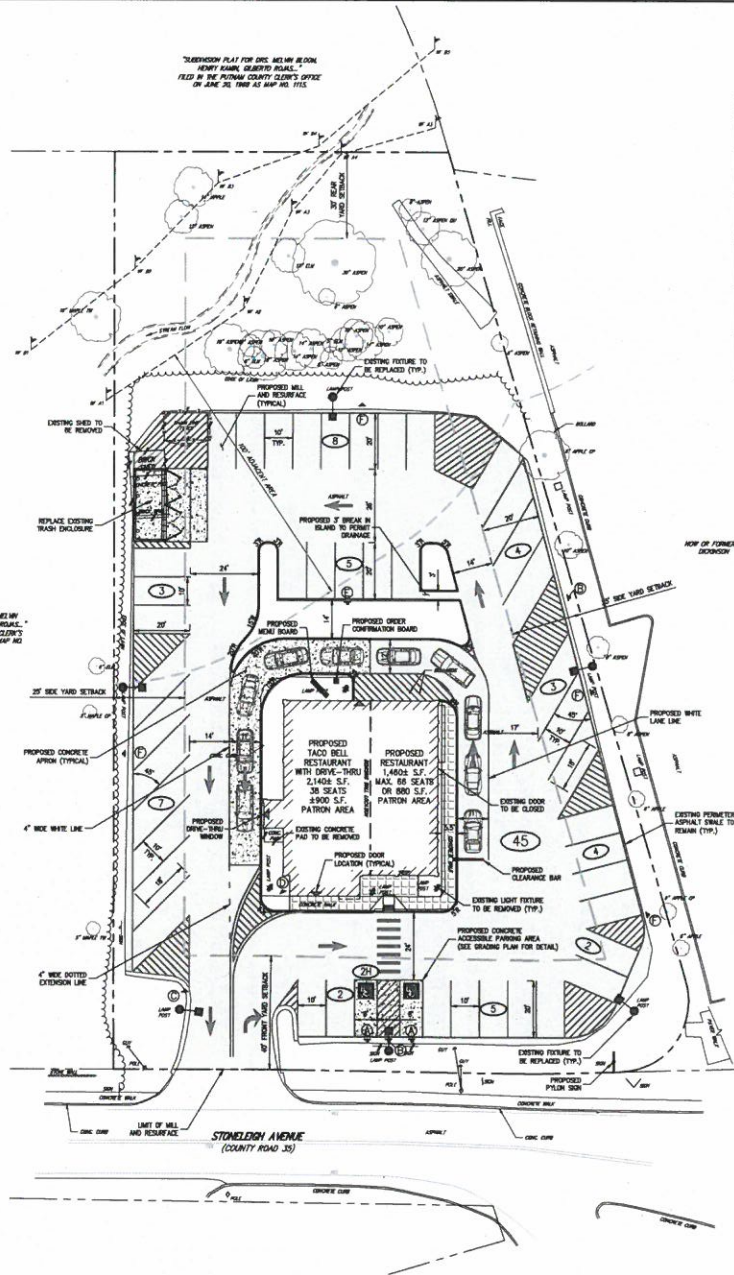
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Drawn	PD	Approved	JAB
Scale	1" = 20'		
Date	04/10/2019		
Project No.	18188		
WBS-CODE	EXT	S. JONES	
Drawing No.			
C-010			

NOT FOR CONSTRUCTION

"REDEVELOPMENT PLAN FOR ONE, MELVIN BLVD.,  
HENRY KARM, QUEENSBORO, NY."  
FILED IN THE FULTON COUNTY CLERK'S OFFICE  
ON JUNE 20, 1989 AS MAP NO. 1155.

"REDEVELOPMENT PLAN FOR ONE, MELVIN  
BLVD., HENRY KARM, QUEENSBORO, NY."  
FILED IN THE FULTON COUNTY CLERK'S  
OFFICE ON JUNE 20, 1989 AS MAP NO.  
1155.



SIGN TABLE

LOCATION	SIZE	DESCRIPTION	MOUNTING	ANCHORING	REGULATORY	NOTES
A	12"X18"	GREEN & BLUE ON WHITE	STEEL CHANNEL	7'-0"	RT-8	X
B	12"X18"	RED ON WHITE	STEEL CHANNEL	7'-0"	WYPI-2	X
C	36"X24"	RED ON WHITE	STEEL CHANNEL	7'-0"	RS-1	X
D	24"X36"	BLACK ON WHITE	STEEL CHANNEL	7'-0"	NYRS-14	X
E	18"X24"	BLACK ON WHITE	STEEL CHANNEL	7'-0"	RS-2	X
F	18"X24"	BLACK ON WHITE	STEEL CHANNEL	7'-0"	RS-2	X

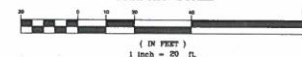
LEGEND

	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING SETBACK LINE
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING STONE WALL
	EXISTING RETAINING WALL
	EXISTING TREE AND VEGETATION
	EXISTING TREE LINE
	EXISTING WETLAND LINE
	EXISTING WETLAND ADJACENT AREA BOUNDARY
	EXISTING FENCE
	EXISTING PARKING WITH NUMBER OF SPACES
	EXISTING ACCESSIBLE PARKING WITH NUMBER OF SPACES
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED CONCRETE CURB
	PROPOSED DROP CURB & RAMP
	PROPOSED ACCESSIBLE PARKING SPACES WITH NUMBER OF SPACES INDICATED (REFER TO STOPPING DETAILS)
	PROPOSED PARKING SPACES WITH NUMBER OF SPACES INDICATED (REFER TO STOPPING DETAILS)
	PROPOSED CONCRETE SIDEWALK
	PROPOSED MONOLITHIC CONCRETE SIDEWALK & CURB
	PROPOSED MILL AND RESURFACE
	PROPOSED CONCRETE APRON
	PROPOSED FENCE
	PROPOSED ARROW MARKINGS ON PAVEMENT
	TRAFFIC SIGN LOCATION & DESIGNATION
	PEDESTRIAN CROSSING
	EXISTING FEATURE TO BE REMOVED

## NOTES

- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM A SURVEY TITLED "AS-BUILT A TOPOGRAPHIC SURVEY OF PROPERTY, PREPARED BY BARRY & WATSON SURVEYING & ENGINEERING, P.C., DATED 03/19/2016, LAST REVISED 05/05/2016.
- ALL CURBS AND ASPHALTS SHALL MEET THE SPECIFICATIONS PROVIDED IN THE TOWN OF CARMEL TOWN CODE.
- DURING THE PERMITTING PHASE, THE APPLICANT SHALL PROVIDE WIND LOAD CALCULATIONS FOR ALL PROPOSED CANOPIES.
- ALL SIGNAGE, MARKINGS, AND GUIDANCE SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 128 OF THE TOWN OF CARMEL TOWN CODE.

GRAPHIC SCALE



ANY ALTERATION OF PLANS,  
SPECIFICATIONS, PLATS AND  
REPORTS BEARING THE SEAL  
OF A LICENSED PROFESSIONAL  
ENGINEER OR LICENSED LAND  
SURVEYOR IS A VIOLATION OF  
SECTION 7208 OF THE NEW  
YORK STATE EDUCATION LAW,  
EXCEPT AS PROVIDED FOR BY  
SECTION 7208, SUBSECTION 2.

No.	Revision	Date	By	Drawn	PD	Approved	JAR
1.	REVISED PER TOWN COMMENTS	05/10/2019	JRS				
2.	REVISED AND ISSUED FOR WETLAND PERMIT	05/20/2019	JRS				
3.	REVISED PER TOWN COMMENTS	07/18/2019	PD				
4.	REVISED PER TOWN COMMENTS	08/07/2019	PD				
Previous Editions Obsolete							

KAI CARVEL LLC  
25 ROUTE 59  
NYACK, NY 10960

APPLICANT

JMC  
JMC Engineering, Inc.  
250 West 10th Street, Suite 100  
New York, NY 10011  
Tel: 212-251-1111  
Fax: 212-251-1112  
www.jmceng.com

JMC

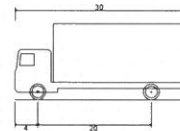


LAYOUT PLAN  
PROPOSED RESTAURANT  
REDEVELOPMENT  
1 MELVIN BLVD.  
TOWN OF CARMEL, NEW YORK

C-100

"SURVEYOR PLAT FOR DEED, MARY ANN BLOCK, HENRY KAMM, QUINCY ROAD," FILED IN THE PUTNAM COUNTY CLERK'S OFFICE ON JUNE 20, 1988 AS MAP NO. 1015.

"SURVEYOR PLAT FOR DEED, MARY ANN BLOCK, HENRY KAMM, QUINCY ROAD," FILED IN THE PUTNAM COUNTY CLERK'S OFFICE ON JUNE 20, 1988 AS MAP NO. 1015.

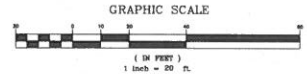


SU-30 - Single Unit Truck  
Overall Length 30.000ft  
Overall Width 8.000ft  
Overall Body Height 13.500ft  
Min Body Ground Clearance 1.367ft  
Track Width 8.000ft  
Lock-to-lock time 5.00s  
Max Steering Angle (Virtual) 31.80°

SU-30 PROFILE  
SCALE: N.T.S.

LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING SETBACK LINE
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING STONE WALL
	EXISTING RETAINING WALL
	EXISTING TREE LINE
	EXISTING WETLAND LINE
	EXISTING WETLAND ADJACENT AREA BOUNDARY
	EXISTING POINT
	EXISTING PARKING WITH NUMBER OF SPACES
	EXISTING ACCESSIBLE PARKING WITH NUMBER OF SPACES
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED CONCRETE CURB
	PROPOSED DROP CURB & RAMP
	PROPOSED ACCESSIBLE PARKING SPACES WITH NUMBER OF SPACES INDICATED (REFER TO STRIPING DETAILS)
	PROPOSED PARKING SPACES WITH NUMBER OF SPACES INDICATED (REFER TO STRIPING DETAILS)
	PROPOSED CONCRETE SIDEWALK
	PROPOSED WHEELING CONCRETE SIDEWALK & CURB
	PROPOSED DROP CURB AND RAMP
	PROPOSED WALL AND RETAINING SURFACE
	PROPOSED CONCRETE APRON
	PROPOSED FENCE
	PROPOSED ARROW MARKINGS ON PAVEMENT
	TRAFFIC SIGN LOCATION & DESIGNATION
	PEDESTRIAN CROSSING
	EXISTING FEATURE TO BE REMOVED

NOTES  
1. EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM A SURVEY TITLED, "AS-BUILT & TOPOGRAPHIC SURVEY OF PROPERTY," PREPARED BY BADEY & NATION SURVEYING & ENGINEERING, P.C., DATED 05/19/2016, LAST REVISED 05/01/2016.



ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7208 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7208, SUBSECTION 2.

No.	Revision	Date	By	Drawn	PD	Approved	JOB
1.	REVISED AND ISSUED FOR WETLAND PERMIT	05/20/2019	JES				
2.	REVISED PER TOWN COMMENTS	07/19/2019	PD				
3.	REVISED PER TOWN COMMENTS	08/27/2019	PD				

KAI CARMEL LLC  
205 ROUTE 59  
NYACK, NY 10960

APPLICANT  
JMC  
120 E. 10th Street, Suite 200  
New York, NY 10003  
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Fax: 212-365-1101  
www.jmc.com

JMC



TRUCK TURNING PLAN  
PROPOSED RESTAURANT  
REDEVELOPMENT  
100 E. 10th Street  
TOWN OF CARMEL, NEW YORK

C-101

CONSTRUCTION



10. DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.

17. THERE SHALL BE NO OVERNIGHT PARKING OF CONSTRUCTION VEHICLES IN THE WETLAND BUFFER.

**POSTING INFORMATION:**

- PROPOSED LIMIT OF DISTURBANCE

1. EXISTING CONDITIONS DETECTED ON THE BRAN NAME WITH TAKEN FROM

- DIRECTED BY THE OWNERS REPRESENTATIVE, INC. AND/OR ANY AUTHORITY  
HAVING JURISDICTION.

10 20 40



EXCEPT AS PROVIDED FOR BY  
SECTION 7209, SUBSECTION 2.

	Previous Editions Update		
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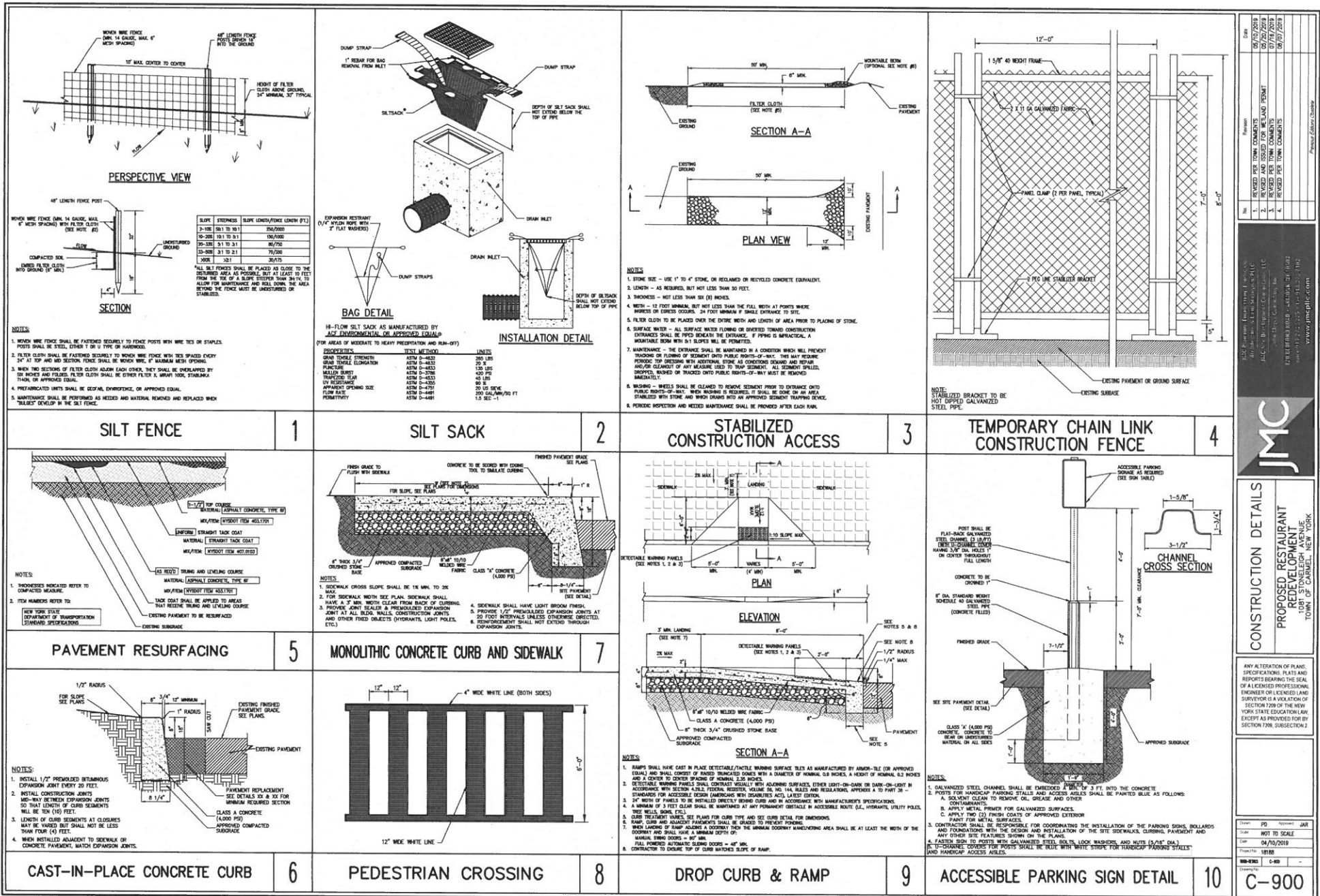
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C-200







### SHRUB PLANTING

**SECTION VIEW**

**PLAN VIEW**

**NOTES:**

1. ALL PLANTING BEDS SHALL BE FREE OF WEEDS AND GRASS PRIOR TO AND FOLLOWING INSTALLATION OF PLANTS.
2. PLANTS IN CONTAINERS MUST HAVE THE FIBROUS ROOTS PULLED APART.
3. PROPOSED PLANT MATERIAL SHALL BEAR THE SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS EXISTING GRADE.

### GROUNDCOVER PLANTING

**SECTION VIEW**

**PLAN VIEW**

**NOTES:**

1. SEE PLANTING PLAN FOR GROUNDCOVER SPECIES, SIZE, AND SPACING DIMENSION.
2. SETTLE SOIL AROUND ROOT BALL OF EACH GROUNDCOVER PLANT PRIOR TO MULCHING.
3. ALL PLANTING BEDS SHALL BE FREE OF WEEDS AND GRASS PRIOR TO AND FOLLOWING INSTALLATION OF PLANTS.
4. PLANTS IN CONTAINERS MUST HAVE THE FIBROUS ROOTS PULLED APART.
5. PROPOSED PLANT MATERIAL SHALL BEAR THE SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS EXISTING GRADE.

### TREE PLANTING

(DECIDUOUS AND EVERGREEN)

**SECTION VIEW**

**PLAN VIEW**

**NOTES:**

1. ALL PLANTING BEDS SHALL BE FREE OF WEEDS AND GRASS PRIOR TO AND FOLLOWING INSTALLATION OF PLANTS.
2. PLANTS IN CONTAINERS MUST HAVE THE FIBROUS ROOTS PULLED APART.
3. PROPOSED PLANT MATERIAL SHALL BEAR THE SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS EXISTING GRADE.
4. SEE TREE STAKING DETAIL IF STAKING IS REQUIRED.

### CONCRETE PAD

**SECTION VIEW**

**PLAN VIEW**

**NOTES:**

1. PROVIDE 3" PREMOULDED EXPANSION JOINTS AT 20' INTERVALS, UNLESS OTHERWISE DIRECTED.
2. REINFORCING SHALL NOT EXTEND THROUGH EXPANSION JOINTS.
3. REINFORCING SHALL NOT BE PLACED CLOSER THAN 2" FROM ANY EDGE OF CONCRETE.

NO.	REVISION	DATE
1	RECEIVED FOR TOWN COMMENTS	05/10/2019
2	RECEIVED AND ISSUED FOR ME AND PERMIT	05/20/2019
3	RECEIVED FOR TOWN COMMENTS	07/18/2019
4	RECEIVED FOR TOWN COMMENTS	08/27/2019

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SHRUB PLANTING	11	GROUNDCOVER PLANTING	12	TREE PLANTING (DECIDUOUS AND EVERGREEN)	13	CONCRETE PAD	14
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### TACO BELL MENU BOARD

**CORNER DIMENSIONS**

**CONDUIT SCHEDULE**

**ENLARGED MENU BOARD DETAIL @ CURVED CORNER**

**MENU BOARD FOOTING**

### TACO BELL CLEARANCE BAR

**EVOLUTION FOOTINGS**

**PORTAL PLACEMENT DETAIL**

**BOLLARD DETAIL**

TACO BELL MENU BOARD	15	TACO BELL CLEARANCE BAR	16
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**JMC**

CONSTRUCTION DETAILS

PROPOSED RESTAURANT REDEVELOPMENT

TOWN OF CARROLL, NEW YORK

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLANTS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 2309 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 2309, SUBSECTION 2.

Drawn: **PD** Approved: **JAR**

Date: **NOT TO SCALE**

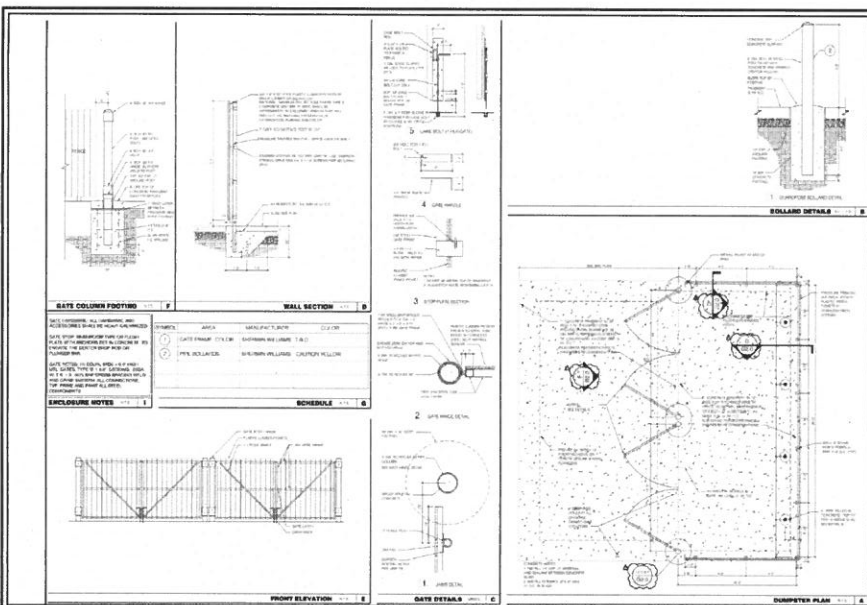
Rev: **04/16/2019**

Project No: **18188**

Sheet No: **C-901**

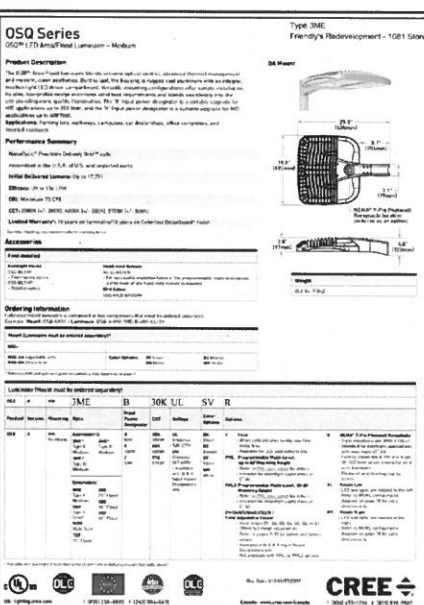
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NOT FOR CONSTRUCTION



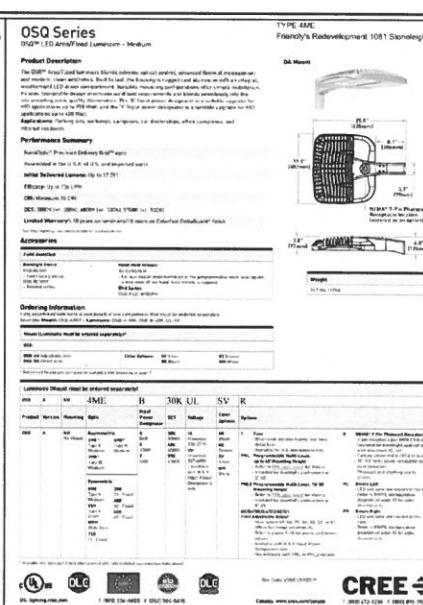
TACO BELL TRASH ENCLOSURE

17



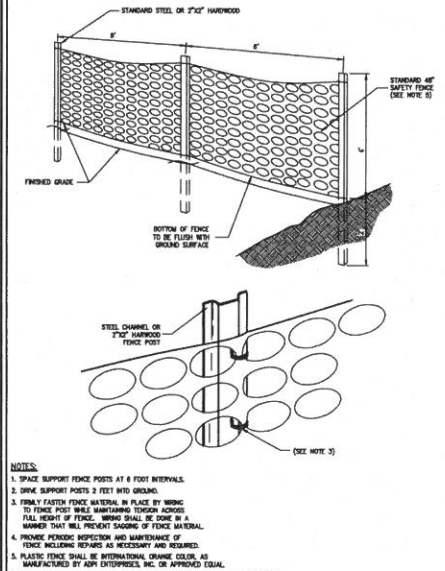
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CREE TYPE 4ME LUMINAIRE

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Rev	Description	Date
1	REVISED PER TOWN COMMENTS	06/17/2019
2	REVISED AND ISSUED FOR MEET AND PEAK	06/26/2019
3	REVISED PER TOWN COMMENTS	07/17/2019
4	REVISED PER TOWN COMMENTS	08/07/2019

JMC PROJECT CONSULTANTS, PLLC  
 100 WEST 17TH STREET, SUITE 100  
 NEW YORK, NY 10011  
 TEL: 212-255-1234 FAX: 212-255-1234  
 WWW.JMCPCLL.COM



CONSTRUCTION DETAILS  
 PROPOSED RESTAURANT  
 REDEVELOPMENT  
 100 WEST 17TH STREET  
 TOWN OF CHANEL, NEW YORK

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Drawn	PD	Approved	JMB
Scale	NOT TO SCALE		
Date	04/15/2019		
Project No.	18105		
Sheet No.	C-902		
Client	C-902		

C-902

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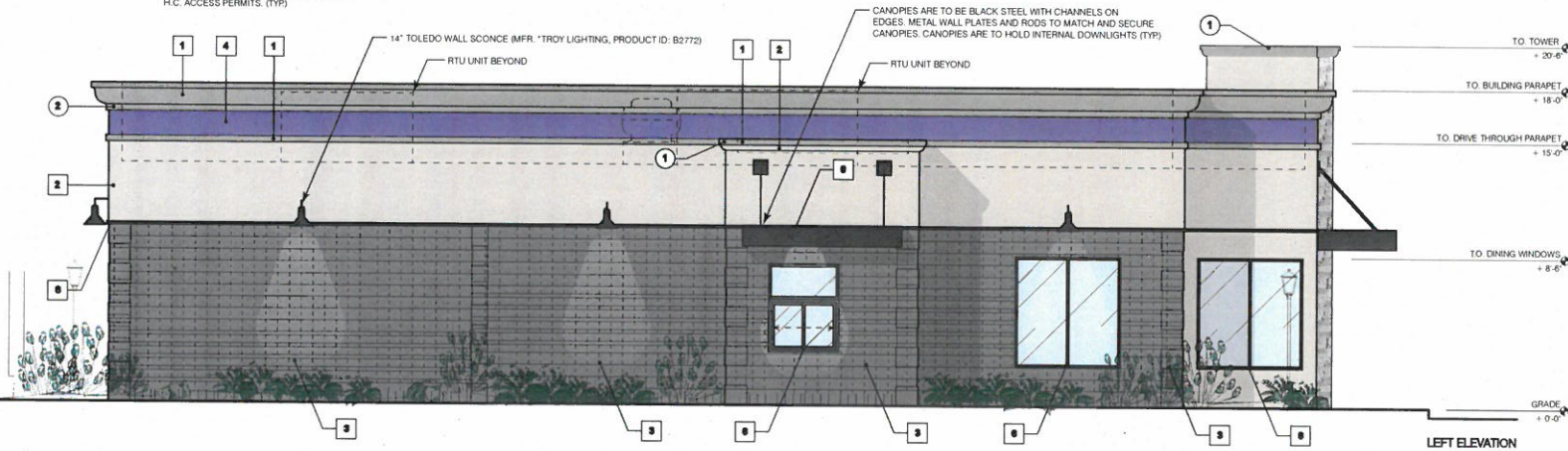
By  
JBS  
JBS  
PD  
PD

[www.jimspencer.com](http://www.jimspencer.com)

TOWN OF CARROLL, NEW YORK

15 SEPTEMBER 2006

10



FINISH SCHEDULE

SYMBOL	AREA	MANUFACTURER	COLOR/DESCRIPTION
1	PARAPET CAP AND ACCENT TRIM	SHERWIN WILLIAMS	DORIAN GRAY SW-7017
2	ACCENT/PARAPET WALLS	SHERWIN WILLIAMS	NATURAL CHOICE SW-7011
3	EXISTING BRICK TO BE PAINTED	SHERWIN WILLIAMS	GAUNTLET GRAY SW-7019
4	ACCENT ON PARAPET WALL	SHERWIN WILLIAMS	CLEMATIS SW-6831
5	TOWER	CORONADO STONE	PRO-LEDGE - HURON
6	TRIM, STOREFRONT WINDOW MULLIONS, AND CANOPIES		TO MATCH BLACK STEEL CANOPIES
7	6\" DIAMETER BOLLARDS		OSHA YELLOW
8	SIGNAGE: TACO BELL 3\"-6\" SWINGING BELL	TACO BELL	V-04 3640 - PURPLE, FACE LIT LOGO
9	SIGNAGE: TACO BELL 16\" CHANNEL LETTERS	TACO BELL	V-09 16W - WHITE, CHANNEL LETTERS

TRIM KEY

- 1 ACCENT TRIM, SEE DETAIL 1 ON A-3  
2 MAIN BUILDING CORNICE TRIM, SEE DETAIL 2 ON A-3

No.	Revision	Date
1		

wiener architecture group, LLC  
**WAGroup**  
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Principal Designer  
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Fax: 812.855.8122  
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3110 Whitehouse - Hamilton Square Road - Hamilton, NJ 08610

**Taco Bell**  
1081 Stoneleigh Avenue  
Carmel, New York

NY LICENSE #  
029493

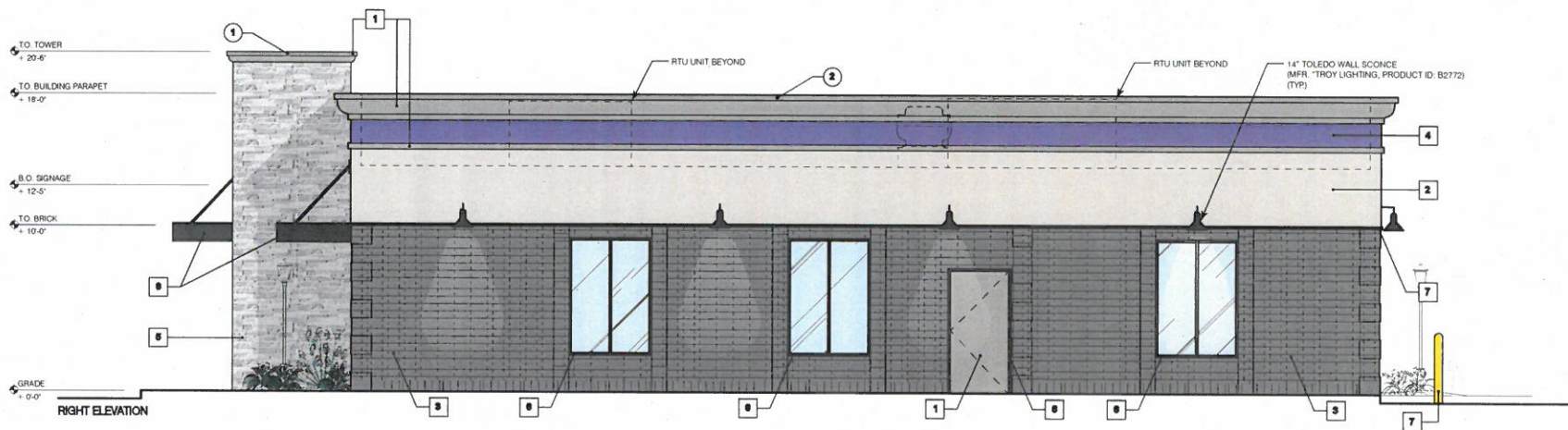
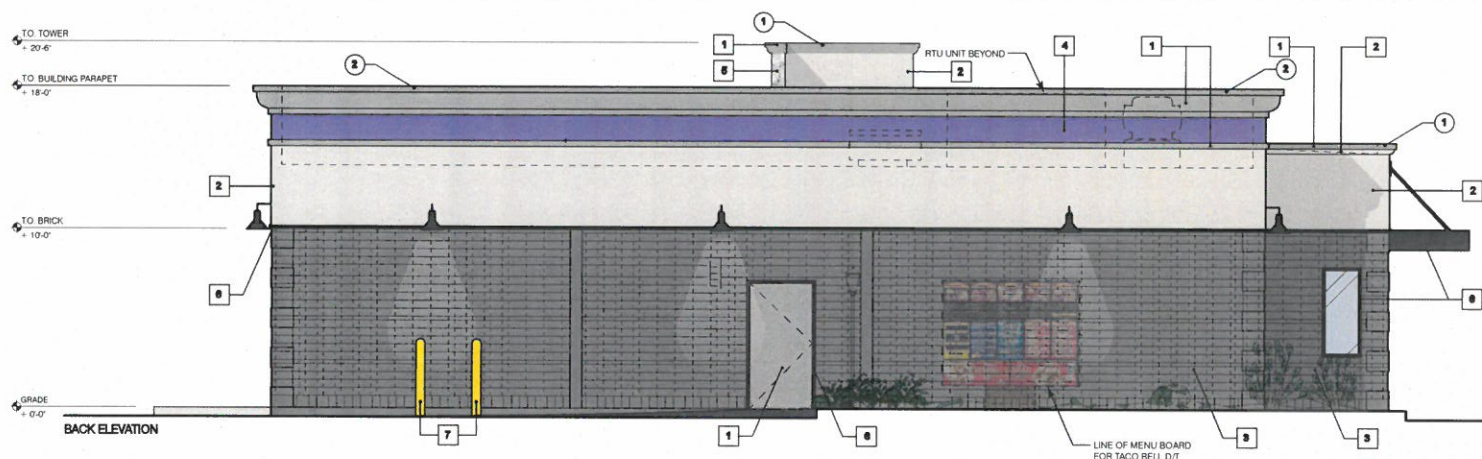
**EXTERIOR  
ELEVATIONS**

Date: 08/08/2019 Scale: As Noted  
Drawn By: Job #: W051-19

**A-1**

1 of 3





# FINISH SCHEDULE

SYMBOL	AREA	MANUFACTURER	COLOR/DESCRIPTION
1	PARAPET CAP AND ACCENT TRIM	SHERWIN WILLIAMS	DORIAN GRAY SW-7017
2	ACCENT/PARAPET WALLS	SHERWIN WILLIAMS	NATURAL CHOICE SW-7011
3	EXISTING BRICK TO BE PAINTED	SHERWIN WILLIAMS	GAUNTLET GRAY SW-7019
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5	TOWER	CORONADO STONE	PRO-LEDGE - HURON
6	TRIM, STOREFRONT, WINDOW MULLIONS, AND CANOPIES		TO MATCH BLACK STEEL CANOPIES
7	6" DIAMETER BOLLARDS		OSHA YELLOW
8	SIGNAGE: TACO BELL 3'-6" SWINGING BELL	TACO BELL	V-04 3640 - PURPLE, FACE LIT LOGO
9	SIGNAGE: TACO BELL 16" CHANNEL LETTERS	TACO BELL	V-09 16W - WHITE, CHANNEL LETTERS

# TRIM KEY

- 1 ACCENT TRIM. SEE DETAIL 1 ON A-3.
- 2 MAIN BUILDING CORNICE TRIM. SEE DETAIL 2 ON A-3.

No. Revision Date  
 wiener architecture group, LLC  
 WA Group  
 Josiah Wiener, RA  
 Architects  
 210 Wilshire - Hamilton Square Road / Hamilton, NJ 08060  
 Telephone: 609-403-8000  
 Fax: 609-403-8000  
 info@wienerarch.com  
 www.wienerarch.com

Taco Bell  
 1081 Stoneleigh Avenue  
 Carmel, New York

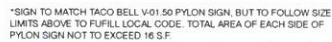
NY LICENSE #  
 029493

# EXTERIOR ELEVATIONS

Date: 08/08/2019 Scale: As Noted  
 Drawn By: Job #: W051-19

A-2  
 2 of 3





Luminaire Schedule						
Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts
■	2	OSO-3ME	SINGLE	1.000	10738	86
■	4	OSO-4ME	SINGLE	1.000	10738	86
				Part Number		
				OSO-A-NM-3ME-B-30K-_-_- w/OSO-DA_-_-		
				OSO-A-NM-4ME-B-30K-_-_- w/OSO-DA_-_-		

Calculation Summary (Footcandles calculated using predicted lumen values @ 50K hrs of operation)						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts	Fc	1.23	6.5	0.1	12.30	65.00

Fixtures to be mounted on existing poles.

Additional Equipment:  
(6) OSO-DA\_-\_- (Direct Arm Mount)

\*\*\* CUSTOMER TO VERIFY ORDERING INFORMATION AND CATALOGUE NUMBER PRIOR TO PLACING ORDER \*\*\*

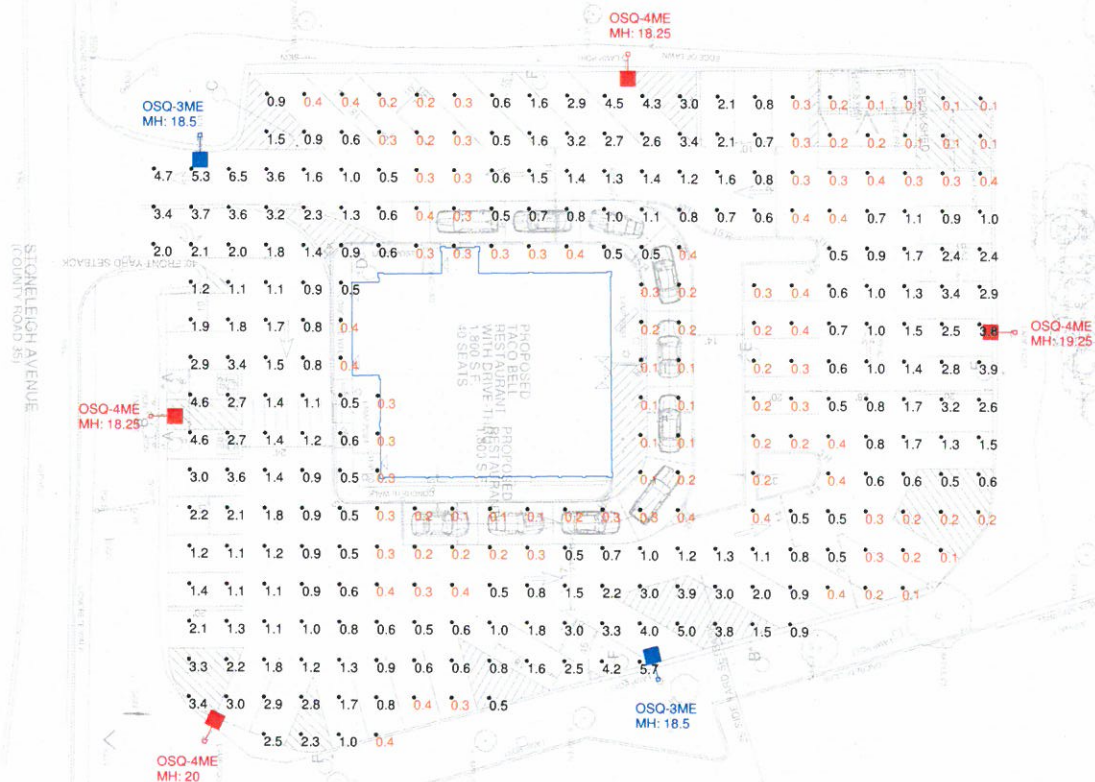


Illustration results shown on this lighting design are based on project parameters provided to Cree, Inc. used in conjunction with luminaire not provided under reference conditions. Actual project conditions affecting results. The customer is responsible for verifying dimensional accuracy along with compliance with any applicable electrical, lighting or energy code.

## Friendly's Redevelopment - 1081 Stoneleigh Ave., Carmel, NY 10512

SR-36824

Footcandles calculated at grade

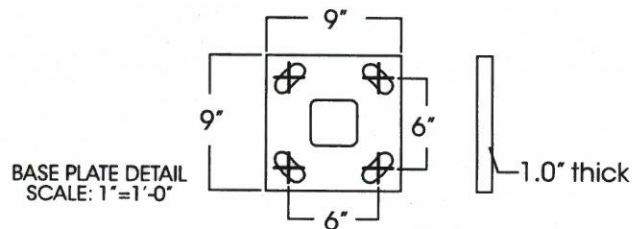
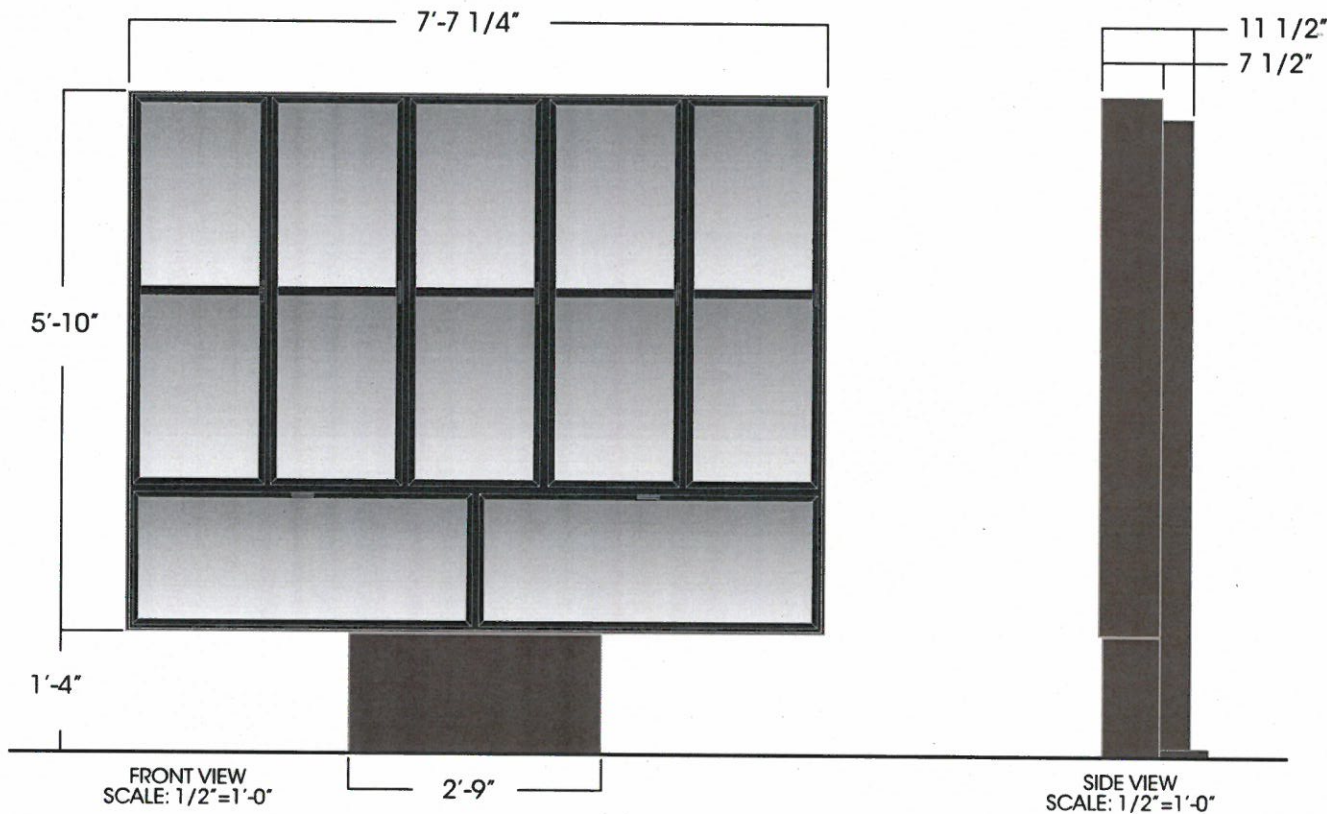
Filename: 190506DD1CIS.AGI

Layout By:  
Chris Schlitz

Date: 5/7/2019

Scale 1" = 16'





### GENERAL SPECIFICATIONS:

- Materials: Aluminum sheets & steel tubes  
 Decoration: Powder coat Taco Bell Bronze & black  
 Menu Board Area Squared: 44.50 Sq. Ft.  
 Weight (Est.):  
 • 745 lbs. (crated)  
 • 545 lbs. (uncrated)

### ELECTRICAL

- Illumination:  
 • White LEDs  
 Power Supplies:  
 • (2) 062-00008 Electronic LED Power Supplies  
 Line Load:  
 • 1.92 amps @ 120 vac-60Hz  
 • (1) 20 Amp circuit

### COLORS:

- Exterior:  
 Doors & Mullions: Powder coat Taco Bell Black  
 Cabinet: Powder coat Taco Bell Bronze

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**Everbrite**

Everbrite LLC  
 4949 S 110th Street, Greenfield, WI 53220  
 Phone: 414-529-3500 • Fax: 414-529-7191  
 Website: [www.everbrite.com](http://www.everbrite.com)

Part No: E003534P

**V-993**

Project No: 354393

Description:  
 Drive Thru Evolution LED VE Menuboard

Date: 11/7/16

Drawn By: RB







July 30, 2019

The Town of Carmel Planning Board  
Attn: Craig Paeper, Chair  
60 McAlpin Avenue  
Mahopac, NY 10541

**Re: Baker Residential Limited Partnership  
144 Wixon Pond Road, Tax Map #65.05-1-38  
Stone Pond Terrace/ Greenbriar Court**

Dear Mr. Paeper,

This correspondence is sent to request the release and return of Baker Residential's posted bond in connection with the above mentioned subdivision. The new owner is Wixon Pond Estates, LLC, managing member, Brian Hill.

A request is made for resolution at the August 14<sup>th</sup> board meeting that Baker Residential's Bond be returned upon receipt by the Town of replacement cash bond by Wixon Pond Estates.

Sincerely,

A handwritten signature in black ink, appearing to read 'John Dolan', is written over a faint, circular embossed seal.

John Dolan  
Vice President