

CRAIG PAEPER
Chairman

ANTHONY GIANNICO
Vice Chairman

BOARD MEMBERS

KIM KUGLER
RAYMOND COTE
ROBERT FRENKEL
MARK PORCELLI
VICTORIA CAUSA

**TOWN OF CARMEL
PLANNING BOARD**



60 McAlpin Avenue
Mahopac, New York 10541
Tel. (845) 628-1500 – Ext.190
www.ci.carmel.ny.us

MICHAEL CARNAZZA
*Director of Code
Enforcement*

RICHARD FRANZETTI, P.E.
Town Engineer

PATRICK CLEARY,
AICP, CEP, PP, LEED AP
Town Planner

PLANNING BOARD AGENDA
JULY 28, 2020 – 7:00 P.M.

TAX MAP # PUB. HEARING MAP DATE COMMENTS

RESOLUTION

1. Old Forge Estates – Baldwin Place Road	75.15-1-19-40	10/2/19	Cluster Subdivision SEQR Neg Dec
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SUBDIVISION

2. Carmel Fire Department – 94 Gleneida Ave	44.14-1-24	2/25/20	Lot Line Adjustment
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SITE PLAN

3. Carmel Fire Department – 94 Gleneida Ave	44.14-1-24	7/17/20	Amended Site Plan
4. 910 South Lake LLC – 910 South Lake Blvd	75.44-1-57 & 64	7/13/20	Amended Site Plan

MISCELLANEOUS

5. Yankee Development – Piggott Road	76.15-1-12		Extension of Preliminary Subdivision Approval
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July 17, 2020

Town of Carmel Planning Board
60 McAlpin Avenue
Mahopac, New York 10541

RE: Carmel Fire Department
94 Gleneida Avenue
Town of Carmel
TM# 44.14-1-24

Dear Chairman Paepre and Members of the Board:

Please find enclosed five (5) copies of the following plans and documents in support of an application for a site plan application for the above referenced project:

- Site Plans prepared by Insite Engineering, Surveying, and Landscape Architecture P.C. dated July 17, 2020.
- Elevations prepared by H2M Architects + Engineers dated July 16, 2020.
- CD containing pdfs of submitted plans and documents. (1 copy)

With respect to the comments received by the Town Engineering, Richard Franzetti, P.E., dated June 11, 2020 we offer the following:

General Comments

1. Referrals
 - a. No Comment.
 - b. No Comment.
 - c. No Comment.
 - d. No improvements or modifications are being proposed along Route 52. The signal light at the Route 52 and Vink Drive intersection will need to be modified. The Fire Department has had preliminary conversations with the Department of Transportation. When the new addition is complete, they requested that they be notified in order to allow additional time at the light.
2. Permits
 - a. No Comment
 - b. As previously mentioned, no improvements or modifications are being proposed along Route 52; therefore, no permits are required for this project.
 - c. No Comment
 - d. A permit from the NYCDEP is not required for this project.
3. Erosion Control Stormwater Prevention Pollution Plan (SWPPP) requirements are discussed on Drawing SP-3 .
4. All re-grading proposed is shown on SP-2. An additional cut fill calculation has been added to SP-2.
5. Traffic and Vehicle Movement Plans
 - a. Vehicular and Maneuvering Plans have been added to the drawing set as Drawings SP-4 and SP-5. Turning studies include a passenger vehicle, fire apparatus and refuse vehicle.
 - b. Site entrances have been included the turning study.

3 Garrett Place, Carmel, New York 10512 (845) 225-9690 Fax (845) 225-9717
www.insite-eng.com

July 17, 2020

- c. There are three curb cuts as part of this project along Vink Drive. All three are existing to remain. As two of the three curb cuts are not modified, updated site distance is not required for these locations. One curb cut is proposed to be slightly enlarged. This curb cut is located between a signalized intersection at Vink Drive & Route 52 and a dead end. The location of this curb cut provides sight distance from the signalized intersection to the end of the dead end. There is no existing or proposed vegetation along Vink Drive that would impede or change the existing sight distance condition.
 - d. A profile as shown on Drawing PR-1 has been added to the drawing set to show the new driveway entrance from the Ambulance Corps. The existing entrance slope is 7.1% and is shown to remain. The driveway transitions to 10.0% in order to meet the proposed FFE of the new building addition. The proposed FFE was chosen in order to maintain positive pitch away from the building along Vink Drive. The slopes at the existing driveway along Vink Drive range from 0.5% to 4.0%.
6. A lighting plan has been added to the drawing set as drawing LP-1.
7. Additional hatching and notes have been added to the plans EX-1 and SP-1 in order to clarify the easements.
8. The project does not require permanent stormwater management practices as less than 1 acre of disturbance is proposed; therefore, a maintenance agreement is not required.
9. No Comment.

Detailed Comments

1. Layout and Landscape
 - a. Additional landscape information and notes have been added to SP-1 and landscape details are shown on D-1. The proposed disturbance for the northern asphalt area is concentrated in the portion of the property which contains two grass areas and only several trees. The location was chosen in order to preserve the existing perimeter landscaping to utilize as screening. Additional screening is being provided at the cell tower.
 - b. Note has been added to Drawing SP-1.
 - c. Note has been added to Drawing SP-1.
 - d. Noise / Light buffers have been indicated on Drawing SP-1. The two lights near the northern property line include house side shields as shown on Drawing LP-1.
 - e. The Fire Department does not have employees. There are approximately 60 active member which will not be on site at the same time. The largest event of the year is the annual meeting which may have 45 members on site which is below the proposed parking provided. Outside of the Fire Department, the Town Board utilizes the meeting room once a year and a few community groups will hold meetings. Parking has never been an issue in the past for these events. Based on the proposed parking, the Fire Department does not believe parking will be in issue in the future. Although voting was once held at the Fire Department, the building is no longer utilized for that activity. The proposed agreement with the Ambulance Corps includes a provision that allows the Fire Department to utilize the Ambulance Corps if overflow parking is ever needed and visa versa.
 - f. Most of the proposed driveway will be collected by the proposed drain inlets. Approximately 1,400 sf of driveway will drain on to Vink Drive. The existing drainage pattern will be maintained. The Ambulance Corps driveway currently drains onto Vink Drive, along a low point in the road into an existing catch basin. Drawing SP-2 has been expanded to show that condition.
2. Grading and Utilities
 - a. A detail for the Oil Water Separator has been provided on Drawing D-2.
 - b. Drainage System profiles have been provided on Drawing PR-1.
3. Erosion and Sediment Control

July 17, 2020

- a. Construction Sequence Notes have been added to SP-3.
 - b. A construction entrance has been added to SP-3.
4. Details on Sheet D-1 and D-2
 - a. All sewers meet the Town of Carmel Town Code 120-29
 - b. A note has been added to the Asphalt Pavement details stating "Driveways shall meet construction requirements as outlined in the Town of Carmel Code Section §128 Streets and Sidewalks."
 - c. Manholes will be installed per §128 of the Town of Carmel code.
 - d. Inlet protection is provided at all proposed drain inlets. A label has been added to SP-3 to clarify the inlet protection.
 - e. The top layer of pavement has been changed to 2".

With respect to the comments received by the Town Planner, Patrick Cleary, AICP, dated June 17th, 2020 we offer the following:

Site Plan Review Comments

- No comment.
- No comment.
- Although the Fire Department currently trains on site, after the addition, most hands on training will be conducted at the County Fire Training center on Gypsy Trail Road. If training does occur on site, it will occur in the front parking lot on nights and weekends, when possible, and training area will be coned off to preserve necessary vehicular circulation. Notes and labels have been added to Drawings SP-1.
- The proposed parking has been reduced by 1 parking space since the last submission. There is an existing light pole on the south side of the property which the location is to remain. The space is currently stripped to protect the light pole and will remain.
- Dimensions have been added to the parking stalls in the front parking lot.
- The parking proposed is adequate to support the facility at full operation. There are approximately 60 active member which will not be on site at the same time. The largest event of the year is the annual meeting which may have 45 members on site which is below the proposed parking provided. Outside of the Fire Department, the Town Board utilizes the meeting room once a year and a few community groups will hold meetings. Parking has never been an issue in the past for these events. Based on the proposed parking, the Fire Department does not believe parking will be in issue in the future. Although voting was once held at the Fire Department, the building is no longer utilized for that activity. The proposed agreement with the Ambulance Corps includes a provision that allows the Fire Department to utilize the Ambulance Corps if overflow parking is ever needed and visa versa.
- No comment.
- No comment.
- The driveway accessing the site from TD bank has been clarified as one way. One way signs and a yield to fire apparatus sign is shown on Drawing SP-1. A detail of the yield sign has been added to D-1. The yield sign has a flashing component which will flash when a car approaches the sign.
- No comment.
- The painted "H" will not be relocated on site. There are several alternatives in Town including the High School, High School Field, Paladin Center and the Shoprite Plaza. The Fire Department does not have an ambulance and the Helicopter Zone has only been used for drills in the last several years.

July 17, 2020

- There is proposed light fixtures at the garage bay doors of the new addition. New light poles are proposed to replace the existing poles on site. The lighting plan, Drawing LP-1, has been added to the set for additional information.
- The existing and the proposed generators are for emergency power only. The proposed unit is a 180kw unit. Noise level has been added to Drawing SP-3.
- The existing fuel system is being replaced with the proposed 500 gallon fuel tank, pump and dispenser. A detail of the fuel system is shown on Drawing D-2. The tank is an above ground tank with less than 1,000 gallons storage so a Petroleum Bulk Storage Registration is not required by the New York State Department of Environmental Conservation.
- No alarms or bells are proposed on the building. There is an existing alarm horn on site but it is not hooked up and will be removed as part of this project.

With respect to the comments received by the Director of Code Enforcement, Michael Carnazza, dated June 17th, 2020 we offer the following:

- No comment.
- No comment.
- Architectural elevations are included in the attached submission.
- The Building will not interfere with the cell tower. The applicant is in communication with the cell tower group to coordinate both the proposed site plan and utility configuration.
- No comment.
- The refuse enclosure has been relocated as shown on Drawing SP-1.
- Vehicular maneuvering plans, drawings SP-4 and SP-5, have been added to the drawing set. Additional notes to show the TD Bank circulation is included on SP-5.
- The fuel pump is located in order for the Fire Trucks to easily pull up to the tank, fill up, and exit the site. In addition, it was placed to avoid any potential traffic conflicts with the TD Bank circulation along the north. The Fire Department understand the importance of keeping the northern TD bank access route clear as much as possible and therefore, located the pump to the south.
- No comment.
- No comment.
- Acknowledged. It is understood between counsel for the parties that the approvals can be issued at the same time but that the sequence will be the final subdivision approval then the site plan approval.
- No comment.

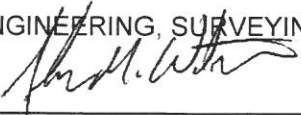
July 17, 2020

We respectfully request this project be placed on the July 28, 2020 Planning Board meeting. No changes have been proposed for the Lot Line Adjustment Application, but we kindly request the Lot Line Adjustment be included on the agenda in conjunction with the Site Plan Application. Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:

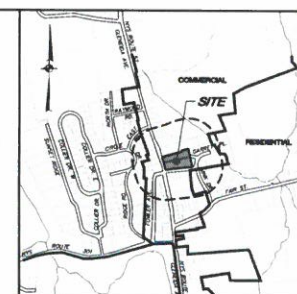
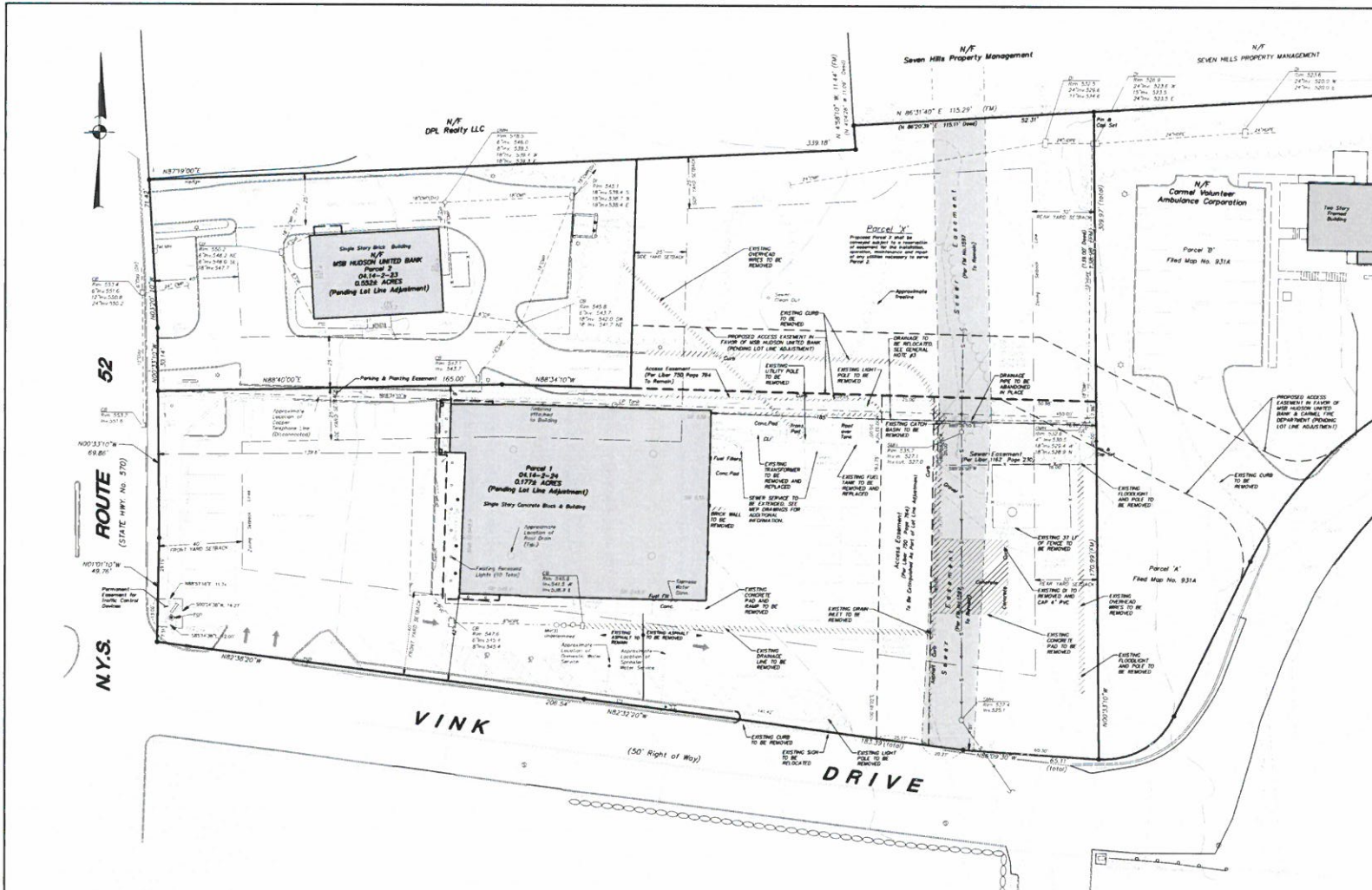


John M. Watson, PE
Principal Engineer

JMW/kms

Enclosures

Cc: Michael Hengel / Carmel Fire Department
Michael T. Liguori / Hogan & Rossi, Esqs.
Eric Neiler, H2M Architects

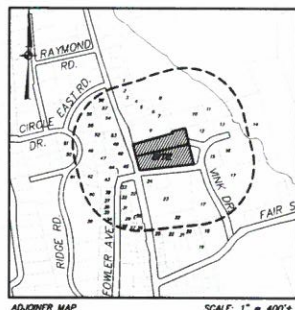


LOCATION MAP
SCALE: 1" = 800'

OWNER/APPLICANT:
CARMEL FIRE DEPARTMENT, INC.
24 ILLINOIS AVENUE
CARMEL, NY 12021

GENERAL NOTES:
1. Location map boundary information shown herein is taken from the Putnam County Tax Map.
2. Property boundaries, area features and existing easements shown herein are based upon information furnished by the owner. Engineering, Surveying & Landscaping Associates, P.C., completed a site visit on 10/15/2019. Easements shown herein are in red. The contour interval is 2 feet.
3. Contractor to determine roof drain and building drain locations and remove as required.

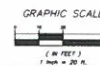
LEGEND	
---	EXISTING PROPERTY LINE
---	EXISTING EASEMENT
---	EXISTING STONE WALL
---	EXISTING CHAIN LINK FENCE
---	EXISTING STOCKADE FENCE
---	EXISTING CONCRETE CURB
---	EXISTING DRAIN ON CONCRETE CURB
---	EXISTING TRAFFIC SIGNAL BOX
---	EXISTING SIGN
---	EXISTING UNDERGROUND DRAINAGE PIPE
---	APPROXIMATE LOCATION OF EXISTING ROOF DRAIN
---	APPROXIMATE LOCATION OF EXISTING UNDERGROUND COMMUNICATION LINE
---	APPROXIMATE LOCATION OF EXISTING UNDERGROUND ELECTRIC LINE
---	APPROXIMATE LOCATION OF EXISTING UNDERGROUND WATER SERVICE LINE
---	EXISTING CATCH BASIN
---	EXISTING MANHOLE
---	EXISTING POST MOUNTED LIGHT
---	EXISTING RECESSED LIGHT
---	EXISTING WALKER VALVE
---	EXISTING CLEAN OUT
---	EXISTING UTILITY POLE
---	EXISTING 12' CONDUIT
---	EXISTING 2" CONDUIT
---	EXISTING SPOUT GRADE
---	EXISTING MEDIAN ROW
---	EXISTING FENCELINE



500' ADJACENTS:

1. Robert J. Basso
2. Steven A. Basso
3. Marcel Carillo
4. Louis DiStasio
5. Joseph DiStasio
6. Rick DiStasio
7. Edward J. DiStasio
8. RJ DiStasio Street Fund Co.
9. DPL Realty LLC
10. Joseph J. DiStasio
11. Michael DiStasio
12. Michael DiStasio
13. John DiStasio
14. Joseph DiStasio LLC
15. Michael DiStasio LLC
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100. Michael DiStasio LLC

IN WITNESS WHEREOF, I have hereunto set my hand and the official seal of the Engineering, Surveying & Landscaping Associates, P.C., a limited liability corporation, on this 10th day of November, 2019.



1. 2-11-20		PLANNING BOARD SUBMISSION		E.R.A.	
NO. 541		REVISED		BY	
PROJECT: CARMEL FIRE DEPARTMENT 24 ILLINOIS AVENUE, CARMEL, PUTNAM COUNTY, NEW YORK DRAWING: EXISTING CONDITIONS & REMOVALS PLAN PROJECT NUMBER: 181.35.100 PROJECT MANAGER: J.M.M. DRAWING NO.: 101 DATE: 3-20-20 DRAWN: C.R.T. CHECKED: K.M.C. SHEET: EX-1/10 SCALE: 1" = 20'					

PLANT LIST			
QUANTITY	KEY	BOTANICAL/COMMON NAME	SIZE
5	70	Tree: acerola / Yucca filifera / Yucca filifera	5'-6'

LEGEND	
---	EXISTING PROPERTY LINE
---	EXISTING FENCE
---	EXISTING STONE WALL
---	EXISTING CHAIN LINK FENCE
---	EXISTING STOCKADE FENCE
---	EXISTING CONCRETE CURB
---	EXISTING DRAIN IN CONCRETE CURB
---	EXISTING SIDEWALK
---	EXISTING INTERSECT
---	EXISTING FENCE
---	EXISTING POST MOUNTED LIGHT
---	EXISTING RECESSED LIGHT
---	EXISTING UTILITY POLE
---	PROPOSED # OF STALLS TO BE STRIPPED
---	PROPOSED CONCRETE CURB
---	PROPOSED PAINTED HANDCAP PARKING
---	PROPOSED STRIPED ISLAND
---	PROPOSED SHADE POLE SIGN
---	PROPOSED POLE MOUNTED LIGHT
---	PROPOSED BUILDING MOUNTED LIGHT

SIGN DATA TABLE			
LOCATION	TEXT	NUMBER	DESCRIPTION
1	1	12' x 18'	Sign on White Blue Symbol
2	2	12' x 18'	Sign on White
3	3	12' x 18'	Sign on White
4	4	12' x 18'	Sign on White
5	5	12' x 18'	Sign on White

C. ZONE REQUIREMENTS			
REQUIREMENT	MINIMUM	MAXIMUM	REMARKS
Minimum Lot Area	40,000 SF	84,000 SF	
Minimum Lot Depth	200'	400'	
Minimum Front Setback	100'	574.75'	
Minimum Front Setback	40'	424'	
Minimum Building Height	25'	8.9' x 1'	
Minimum Building Footprint	3,000 SF	15,000 SF	
Minimum Building Coverage	30%	100%	

PARKING SUMMARY	
REQUIRED	PROVIDED
1. Minimum 100 spaces (100 spaces)	100 spaces
2. Minimum 100 spaces (100 spaces)	100 spaces
3. Minimum 100 spaces (100 spaces)	100 spaces
4. Minimum 100 spaces (100 spaces)	100 spaces
5. Minimum 100 spaces (100 spaces)	100 spaces
6. Minimum 100 spaces (100 spaces)	100 spaces
7. Minimum 100 spaces (100 spaces)	100 spaces
8. Minimum 100 spaces (100 spaces)	100 spaces
9. Minimum 100 spaces (100 spaces)	100 spaces
10. Minimum 100 spaces (100 spaces)	100 spaces
11. Minimum 100 spaces (100 spaces)	100 spaces

OUTDOOR TRAINING NOTES:

- Outdoor training shall be conducted in the County Fire Training Center or other suitable facility.
- Training shall be conducted in a facility that is suitable for the training of fire fighters.
- Training shall be conducted in a facility that is suitable for the training of fire fighters.

GENERAL PLANTING NOTES:

- All proposed planting shall be installed in 12" hole depth of topsoil.
- Any new plants shall be installed in a facility that is suitable for the training of fire fighters.
- Any new plants shall be installed in a facility that is suitable for the training of fire fighters.

PLANTING NOTES:

- All proposed planting shall be installed in 12" hole depth of topsoil.
- Any new plants shall be installed in a facility that is suitable for the training of fire fighters.
- Any new plants shall be installed in a facility that is suitable for the training of fire fighters.

NO.	DATE	REVISION	BY
1	10/10/10	1	10/10/10

INSITE

PROJECT: CARMEL FIRE DEPARTMENT

BY: GLENDA HENNE, CARMEL, CALIFORNIA COUNTY, NEW YORK

DRAWING: LAYOUT AND LANDSCAPE PLAN

PROJECT: 18135 100

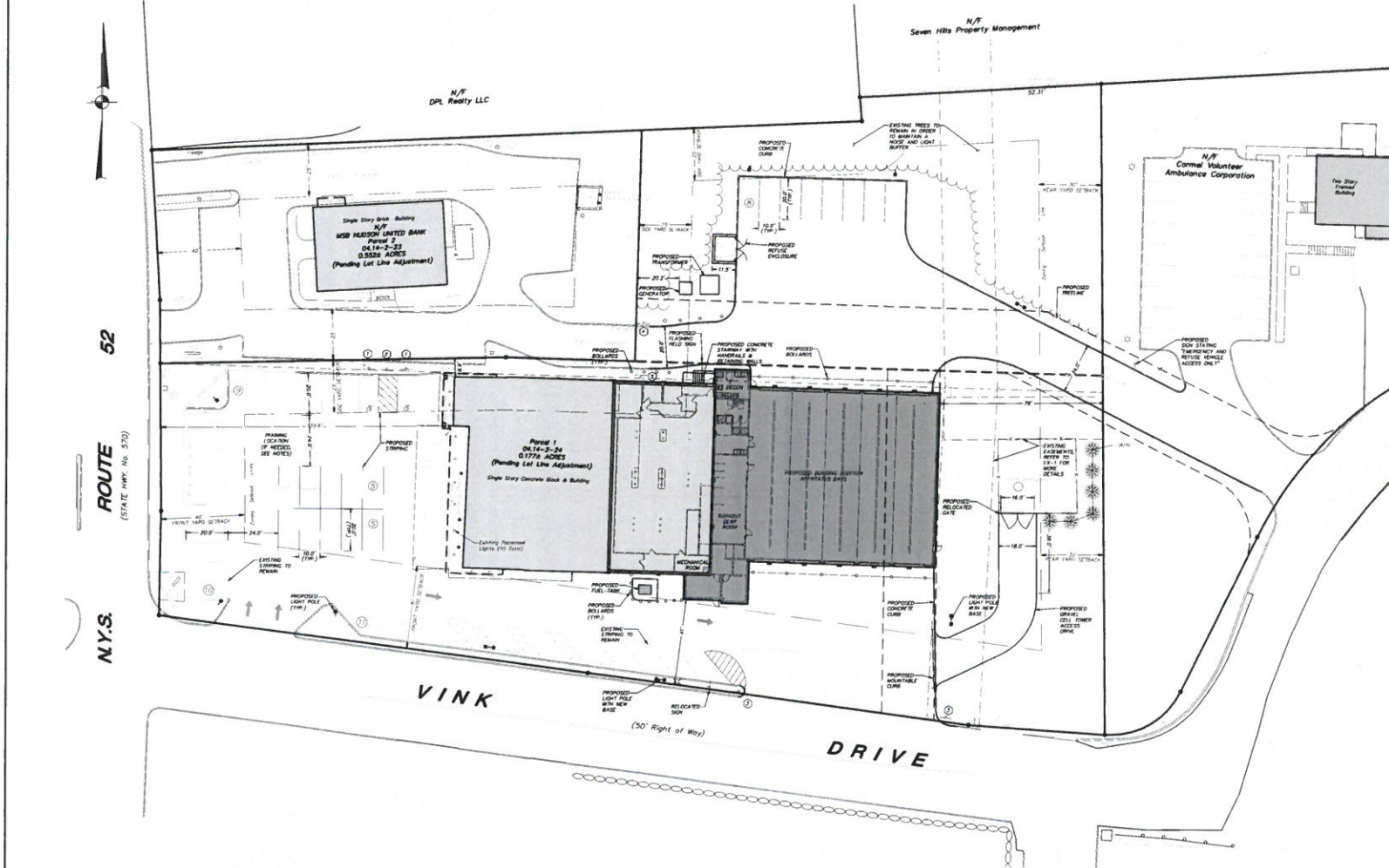
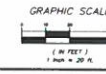
DATE: 3-20-20

SCALE: 1" = 20'

PROJECT: 18135 100

DATE: 3-20-20

SCALE: 1" = 20'



NOTATION: THIS DOCUMENT IS THE PROPERTY OF THE ARCHITECT. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

EARTHWORK SUMMARY:

CUT: 596 C.Y.
FILL: 1,760 C.Y.
TOTAL: 1,164 C.Y. (78.1)

EARTHWORK NOTES:

1. THE EARTHWORK CALCULATIONS SUBMITTED THE QUANTITIES AND FILL BASED ON THE DIFFERENCE BETWEEN THE EXISTING AND PROPOSED PROPOSED GRADES.
2. ALL VOLUMES WERE ROUNDED TO THE NEAREST TO CUBIC YARDS.
3. FACTORS FOR SWELL OR COMPACTION WERE NOT APPLIED IN THIS ANALYSIS.
4. THIS ANALYSIS IS PRELIMINARY AND PROVIDED FOR INFORMATION ONLY. THESE FIGURES SHOULD NOT BE USED BY A CONTRACTOR FOR BIDDING PURPOSES. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THEIR OWN EARTHWORK ANALYSIS.

LEGEND

	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	EXISTING STONE WALL
	EXISTING CHAIN LINK FENCE
	EXISTING BRICK/PAVEMENT FENCE
	EXISTING CONCRETE CURB
	EXISTING DRAIN IN CONCRETE CURB
	EXISTING TRAFFIC SIGNAL BOX
	EXISTING SIGN
	EXISTING UNDERGROUND DRAINAGE PIPE
	EXISTING CATCH BASIN
	EXISTING MANHOLE (12" DIA.)
	EXISTING POST-MOUNTED LIGHT
	EXISTING RECESSED LIGHT
	EXISTING WATER VALVE
	EXISTING CLEAN OUT
	EXISTING UTILITY POLE
	EXISTING 10" CONDUIT
	EXISTING 2" CONDUIT
	EXISTING SPOT DRAIN
	PROPOSED 2" CONDUIT
	PROPOSED SPOT ELEVATION
	PROPOSED TOP OF CURB & BOTTOM OF CURB ELEVATIONS
	PROPOSED DRAINAGE MANHOLE
	PROPOSED DRAIN RELIEF (DO) ON CATCH BASIN (CB)
	PROPOSED 12" HDPE DRAINAGE PIPE
	PROPOSED SERVICE LINE WITH CLEANOUT
	PROPOSED 8" DIAMETER PVC SOW 30' HOSE DRAIN

52

ROUTE
(STATE HWY. NO. 570)

N.Y.S.

VINK

(50' Right of Way)

DRIVE

N.Y.
Seven Hills Property Management

N.Y.
DPL Realty LLC

Single Story Brick Building
N.Y.
MSB HESKON UNITED BANK
Parcel 2
0.114-0-25
0.5532 ACRES
(Pending Lot Line Adjustment)

Parcel 1
0.114-0-26
0.1779 ACRES
(Pending Lot Line Adjustment)
Single Story Concrete Block & Building

N.Y.
Carmel Volunteer
Ambulance Corporation

Top Story
Paved Building

1095, 10173
11150, 11294, 11387

EXISTING
CATCH
BASIN

EXISTING
12" HDPE
DRAINAGE
PIPE

EXISTING
SERVICE
LINE WITH
CLEANOUT

EXISTING
8" DIAMETER
PVC SOW 30'
HOSE DRAIN

EXISTING
UNDERGROUND
DRAINAGE
PIPE

EXISTING
CATCH
BASIN

EXISTING
POST-MOUNTED
LIGHT

EXISTING
RECESSED
LIGHT

EXISTING
WATER
VALVE

EXISTING
CLEAN
OUT

EXISTING
UTILITY
POLE

EXISTING
10" CONDUIT

EXISTING
2" CONDUIT

EXISTING
SPOT
DRAIN

PROPOSED
2" CONDUIT

PROPOSED
SPOT
ELEVATION

PROPOSED
TOP OF CURB & BOTTOM
OF CURB ELEVATIONS

PROPOSED
DRAINAGE
MANHOLE

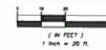
PROPOSED
DRAIN RELIEF (DO) ON
CATCH BASIN (CB)

PROPOSED
12" HDPE DRAINAGE
PIPE

PROPOSED
SERVICE LINE WITH
CLEANOUT

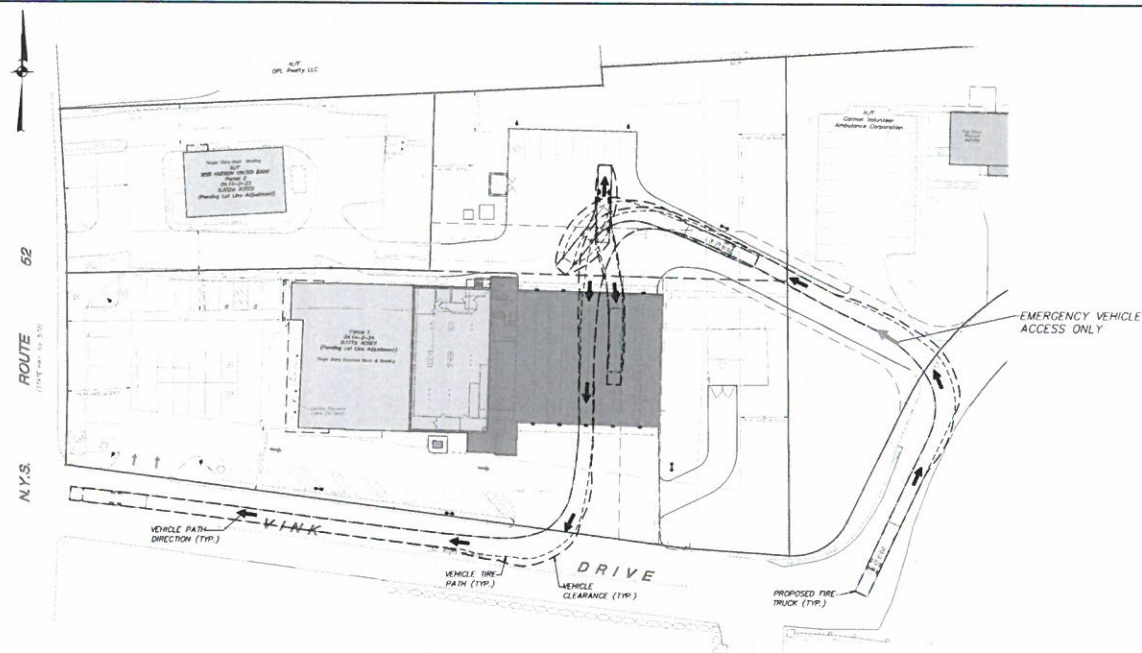
PROPOSED
8" DIAMETER PVC SOW 30'
HOSE DRAIN

GRAPHIC SCALE



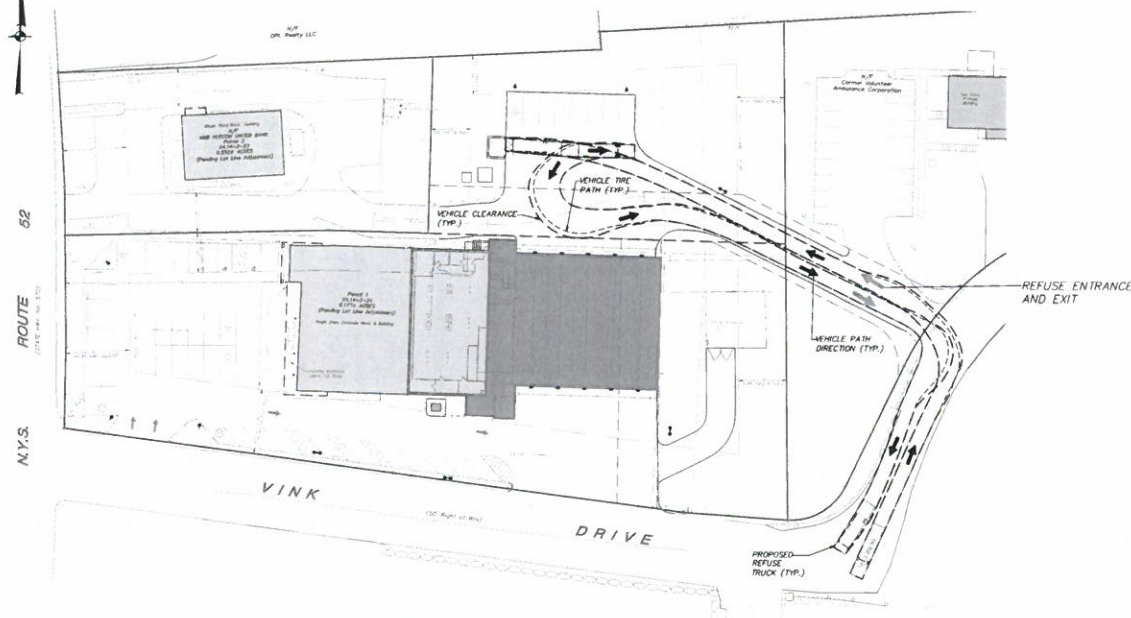
IN WITNESS WHEREOF, I have hereunto set my hand and the seal of the State of New York, this 1st day of April, 2020.

1	7-17-20	PLANNING BOARD SUBMISSION	C.H.A.
2	8-17-20	REVISION	BY
INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C. 300 West 10th Street Carmel, NY 12016 (518) 225-8800 (518) 225-8777 www.insite-ny.com			
PROJECT: CARMEL FIRE DEPARTMENT 10155 100th Street Carmel, NY 12016 (518) 225-8800 (518) 225-8777 www.insite-ny.com			
DRAWING: GRADING AND UTILITIES PLAN			
PROJECT NUMBER	10155 100	PROJECT MANAGER	J.M.W.
DATE	5-20-20	DRAWN BY	C.H.Z.
SCALE	1" = 20'	CHECKED BY	K.M.G.
DRAWING NO.		SHEET	
SP-2		3	



FIRE TRUCK VEHICLE MANEUVER

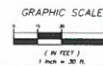
SCALE: 1" = 30'
NOTE: The fire truck used for vehicle maneuvering is a standard truck with an overall length of 47'-6" and width of 8'-6". These dimensions show that a fire truck of this size, or smaller, will be able to maneuver through the property.



REFUSE TRUCK VEHICLE MANEUVER

SCALE: 1" = 30'
NOTE: The refuse truck used for vehicle maneuvering is a standard truck with an overall length of 47'-6" and width of 8'-6". These dimensions show that a garbage truck of this size, or smaller, will be able to maneuver through the property.

LEGEND	
	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	EXISTING STONE WALL
	EXISTING CHAIN LINK FENCE
	EXISTING STOCKADE FENCE
	EXISTING CONCRETE CURB
	EXISTING DROP IN CONCRETE CURB
	EXISTING BOX
	EXISTING POST MOUNTED LIGHT
	EXISTING RECESSED LIGHT
	EXISTING UTILITY POLE
	PROPOSED 2' OR 3' WALLS TO BE STRIPED
	PROPOSED PAINTED HANDICAP PARKING SPACE
	PROPOSED STRIPED ISLAND
	PROPOSED SINGLE POLE SIGN
	PROPOSED POST MOUNTED LIGHT
	PROPOSED BUILDING MOUNTED LIGHT

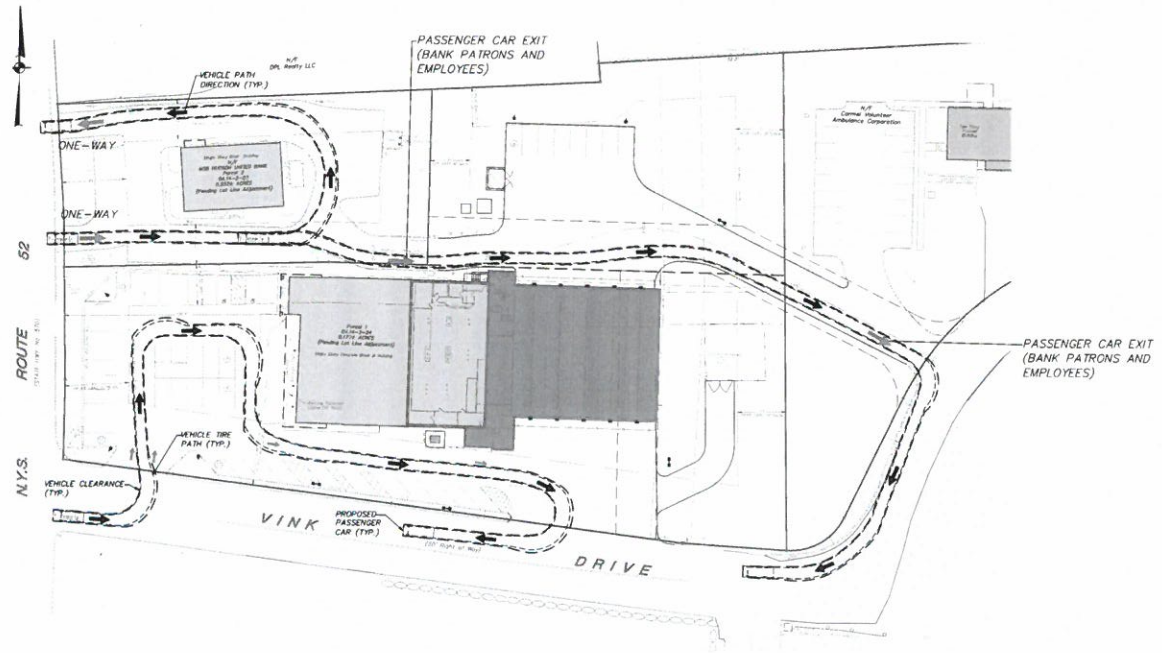


NO.	DATE	REVISION	BY
1	01/15/20		J.M.W.
2	01/15/20		J.F.R.
3	01/15/20		K.M.G.

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C. 3 Glenmont Plaza Carmel, NY 12016 (518) 338-8800 (518) 338-8801 fax www.insite-pc.com		
PROJECT: CARMEL FIRE DEPARTMENT BY: OLIVER PIERCE, CARMEL, PUTNAM COUNTY, NEW YORK		
DRAWING: VEHICLE MANEUVERING PLAN		
PROJECT NUMBER: 191.35.100 DATE: 7-17-20 SCALE: 1" = 30'	PROJECT MANAGER: J.M.W. DRAWN BY: J.F.R. CHECKED BY: K.M.G.	

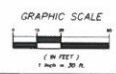
SP-4 5 10

LEGEND	
	EXISTING PROPERTY LINE
	EXISTING CASPARENT
	EXISTING STONE WALL
	EXISTING CHAIN LINK FENCE
	EXISTING STOCKADE FENCE
	EXISTING CONCRETE CURB
	EXISTING GRIP IN CONCRETE CURB
	EXISTING SIDEWALK
	EXISTING POST MOUNTED LIGHT
	EXISTING RECESSED LIGHT
	EXISTING UTILITY POLE
	PROPOSED # OF STALLS TO BE STRIPPED
	PROPOSED CONCRETE CURB
	PROPOSED PAINTED HANDICAP PARKING SYMBOL
	PROPOSED STRIPED ISLAND
	PROPOSED SINGLE POLE SIDEWALK
	PROPOSED POLE MOUNTED LIGHT
	PROPOSED BUILDING MOUNTED LIGHT

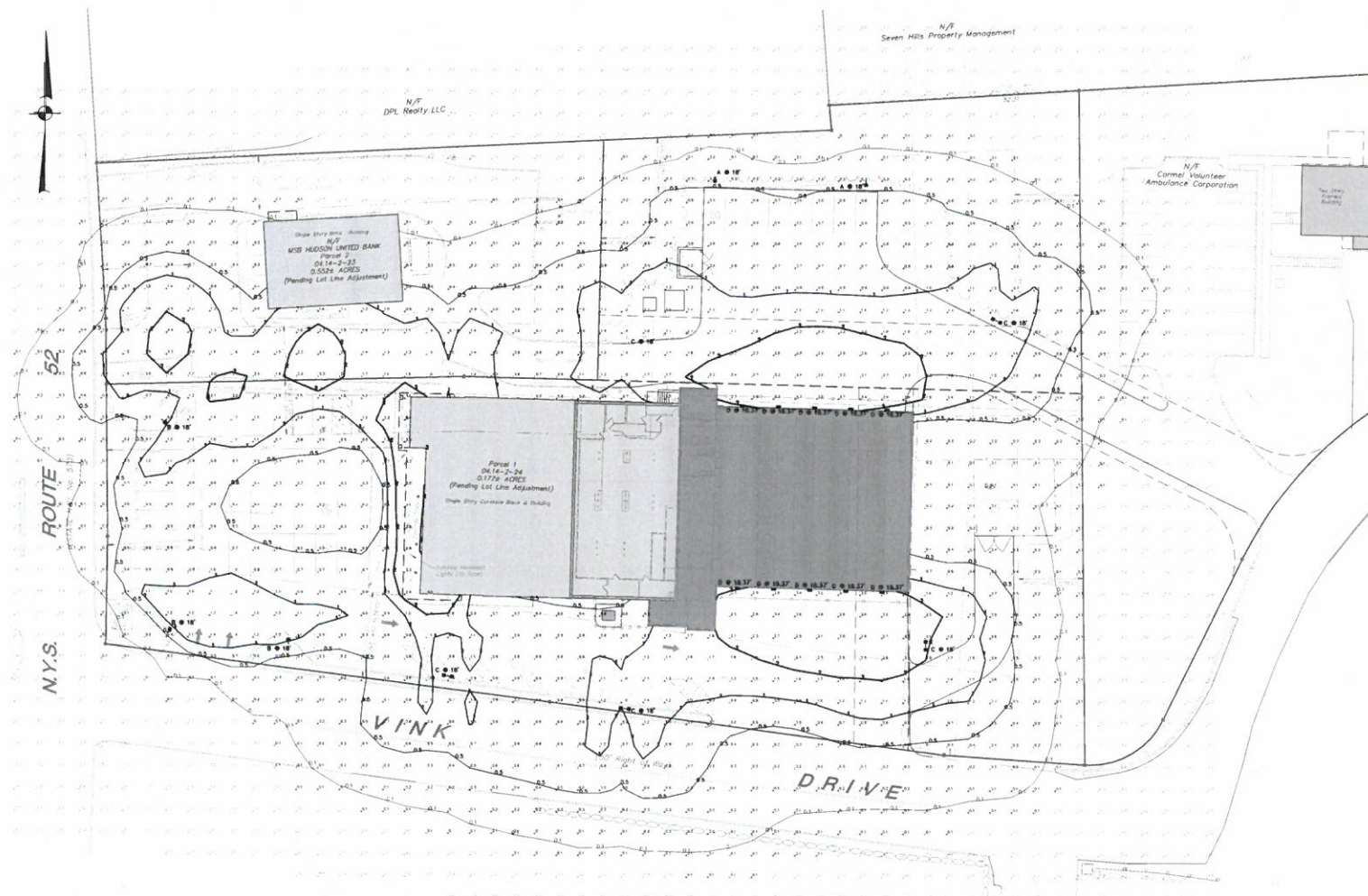


PASSENGER CAR VEHICLE MANEUVER

Scale: 1" = 30'
 NOTE: The passenger car used for vehicle maneuvering is a standard vehicle with an overall length of 18'-0" and width of 7'-0". These dimensions assume that a passenger car of this size, or smaller, will be able to maneuver through the property.



NO.	DATE	REVISION	BY
INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C. 200 West 10th Street Carmel, NY 12512 (518) 335-8800 (518) 335-8100 fax www.insite-ny.com			
PROJECT: CARMELO FIRE DEPARTMENT BY: OLIVERA, JENNIFER, CARMEL, PUTNAM COUNTY, NEW YORK			
DRAWING: VEHICLE MANEUVERING PLAN			
PROJECT NUMBER: 191.35.100	PROJECT MANAGER: J.M.W.	DRAWING NO: SP-5	SHEET: 6
DATE: 7-17-20	DRAWN: J.F.R.		
SCALE: 1" = 30'	CHECKED: K.M.C.		



Symbol	Qty	Category Number	Description	Comp	Mounting Height
A	2	UNIVERSAL-200-200	ARCHITECTURAL AREA LIGHTING UNIVERSE COLLECTION, MOUNT 2.0, MOUNT-200, 200	LED	18" - 0"
B	8	UNIVERSAL-200-200	ARCHITECTURAL AREA LIGHTING UNIVERSE COLLECTION, MOUNT 2.0	LED	AS NOTED
C	8	UNIVERSAL-200-200	ARCHITECTURAL AREA LIGHTING UNIVERSE COLLECTION, MOUNT 2.0	LED	18" - 4 1/2"
D	10	UNIVERSAL-200-200	ARCHITECTURAL AREA LIGHTING UNIVERSE COLLECTION, MOUNT 2.0	LED	18" - 4 1/2"
E	10	N/A	EXISTING REFLECTOR BEARING MOUNTED LIGHTING MODELS FOR REFERENCE ONLY	LED	N/A
F	3	N/A	EXISTING REFLECTOR BEARING MOUNTED LIGHTING MODELS FOR REFERENCE ONLY	LED	N/A

STATISTICS	DESCRIPTION	SYMBOL	QTY	SIZE	WATT	WATTAGE	WATTAGE
Project Area	0.3 N	5.4 N	0.0 N	N/A	N/A	N/A	N/A

LIGHT CONTOUR LEGEND	DESCRIPTION	SYMBOL	QTY	SIZE	WATT	WATTAGE	WATTAGE
0.0 Foot Contour	0.0 Foot Contour	0.0	0.0	0.0	0.0	0.0	0.0
0.5 Foot Contour	0.5 Foot Contour	0.5	0.5	0.5	0.5	0.5	0.5
1.0 Foot Contour	1.0 Foot Contour	1.0	1.0	1.0	1.0	1.0	1.0
2.0 Foot Contour	2.0 Foot Contour	2.0	2.0	2.0	2.0	2.0	2.0

architectural
illumination
UCM2
ARCHITECTURAL AREAS

- FEATURES**
- Reusable, uniform, glare free illumination
 - Types R, R/N, V and custom distributions
 - 3000K, 4000K, 5000K CCT
 - 0-10V dimming ready
 - Integral surge suppression
 - 1% standard powder coat finishers
 - Upgrade Kits



CONTROL TECHNOLOGY
WISCAPE **ADAMSON** **HUBBELL**
Lighting

UNIVERSE®



LEGEND	DESCRIPTION
---	EXISTING PROPERTY LINE
---	EXISTING FENCE
---	EXISTING STONE WALL
---	EXISTING CHAIN LINK FENCE
---	EXISTING STOCKADE FENCE
---	EXISTING CONCRETE CURB
---	EXISTING DRIVE IN CONCRETE CURB
---	EXISTING SIDEWALK
---	EXISTING HEDGE ROW
---	EXISTING TREELINE
---	EXISTING POST MOUNTED LIGHT
---	EXISTING RECESSED LIGHT
---	EXISTING UTILITY POLE
---	PROPOSED # OF STALLS TO BE STALLED
---	PROPOSED CONCRETE CURB
---	PROPOSED PAINTED HANDICAP PARKING SPACES
---	PROPOSED STORM IS AND
---	PROPOSED SINGLE POLE SIGN
---	PROPOSED POLE MOUNTED LIGHT
---	PROPOSED BUILDING MOUNTED LIGHT

- LIGHTING NOTES:**
1. All lighting shall be as noted on the plan or approved equal.
 2. Style and finish of all luminaires to be selected by owner.
 3. Calculation values shown in this plan are based on a horizontal plane of ground using a 0.50 foot loss factor for LED's. Topographical information and landscaping have not been accounted for in these calculations.
 4. Photometric modeling based on similar or specified fixtures.
 5. Lighting plan assumes that certain light fixtures will utilize existing foundations. Contractor verify prior to ordering fixtures and that nearby proper (concrete anchors) if not present, secure.
 6. Light levels generated from lighting on adjacent properties are approximate and shown for informational purposes only.

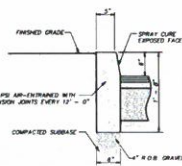
NO.	DATE	REVISION	BY
1	01/15/20	1	J.M.W.

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.	3 Canal Place Canal, NY 10515 (914) 231-8800 www.insite-eng.com
PROJECT: CARTEL FIRE DEPARTMENT BY: BLANCH ARDRE, CARTEL, ALBANY COUNTY, NEW YORK	
DRAWING: LIGHTING PLAN	
PROJECT NUMBER: 191.55.100	PROJECT MANAGER: J.M.W.
DATE: 7-17-20	DRAWN BY: J.F.R.
SCALE: 1" = 20'	CHECKED BY: K.M.C.

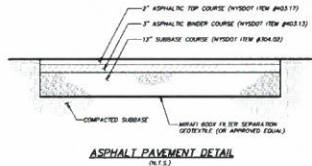


IN WITNESS WHEREOF, THE UNDERSIGNED HAVE HEREON SET THEIR HANDS AND SEALS OF OFFICE, THIS 15th DAY OF JANUARY, 2020.

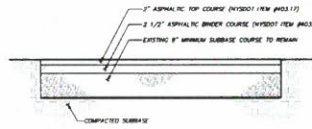
15 JAN 2020 10:00 AM



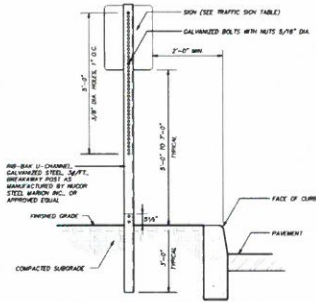
CONCRETE CURB DETAIL
(N.T.S.)



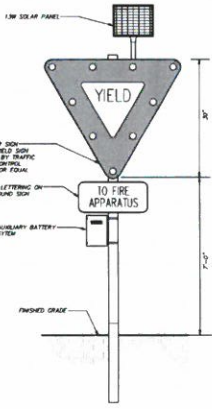
ASPHALT PAVEMENT DETAIL
(N.T.S.)



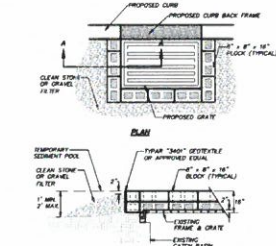
REPLACEMENT ASPHALT PAVEMENT DETAIL
(N.T.S.)



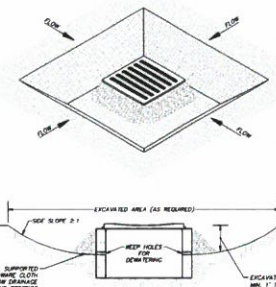
TRAFFIC SIGN DETAIL
(N.T.S.)



FLASHING YIELD SIGN DETAIL
(N.T.S.)



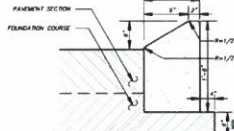
PROPOSED CURB DETAIL
(N.T.S.)



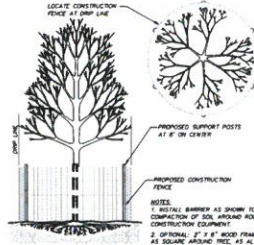
EXCAVATED DROP INLET PROTECTION DETAIL
(N.T.S.)



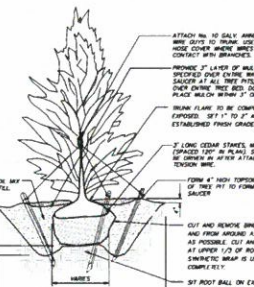
PAINTED NYS ACCESSIBLE PARKING DETAIL
(N.T.S.)



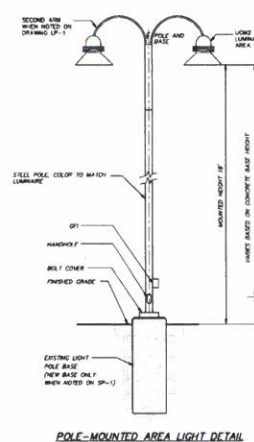
MOUNTABLE CONCRETE CURB DETAIL
(N.T.S.)



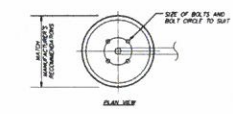
TREE PROTECTION DETAIL
(N.T.S.)



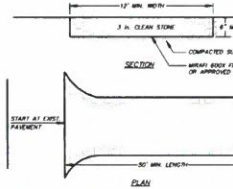
EVERGREEN TREE PLANTING DETAIL
(N.T.S.)



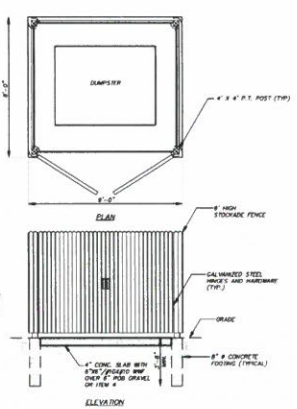
POLE-MOUNTED AREA LIGHT DETAIL
(N.T.S.)



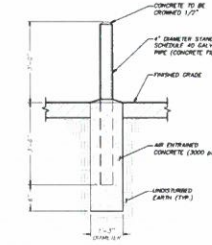
LIGHT POLE BASE DETAIL
(N.T.S.)



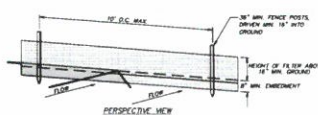
TEMPORARY SOIL STOCKPILE DETAIL
(N.T.S.)



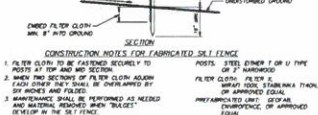
DUMPSTER ENCLOSURE DETAIL
(N.T.S.)



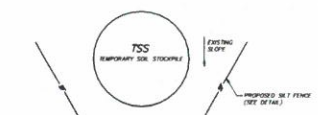
STEEL BOLLARD DETAIL
(N.T.S.)



PERSPECTIVE VIEW
(N.T.S.)



SILT FENCE DETAIL
(N.T.S.)



TEMPORARY SOIL STOCKPILE DETAIL
(N.T.S.)

INSTALLATION NOTES

1. STONE SIZE - USE 3" STONE
2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 30 FEET (EXCEPT ON A SLOPE WHERE 10' IS MINIMUM LENGTH REQUIRED)
3. PROPOSED - NOT LESS THAN 30" (3' MIN)
4. WIDTH - 12" (1' MIN) MINIMUM, BUT NOT LESS THAN 12" (1' MIN) MINIMUM
5. FILTER CLOTH - SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING STONE. CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING ON SLOPES SHOULD BE PREVENTED FROM ENTERING THE SLOPE. IF PREVENTED, IT SHOULD BE DIVERTED TO A DRAINAGE SYSTEM.
7. MAINTENANCE - THE FENCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT FLOWING OF STONE. STONE SHALL BE REPLACED AS REQUIRED TO MAINTAIN THE FENCE IN A CONDITION WHICH WILL PREVENT FLOWING OF STONE.
8. REMOVAL - FENCE SHALL BE REMOVED AS SOON AS POSSIBLE AFTER THE SLOPE IS STABILIZED. FENCE SHALL BE REMOVED AS SOON AS POSSIBLE AFTER THE SLOPE IS STABILIZED.
9. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AT 15 DAY INTERVALS.

STABILIZED CONSTRUCTION ENTRANCE DETAIL
(N.T.S.)

1	7-17-20	PLANNING BOARD SUBMISSION	F.P.A.
2	8-1-20	REVISION	BY
INSITE ENGINEERING & SURVEYING, P.C. LANDSCAPE ARCHITECTURE, P.C.			
PROJECT: CARROLL FIRE DEPARTMENT 1000 W. 10TH ST., CARROLL, NEW YORK 13619 DRAWING: DETAILS			
PROJECT NUMBER	19135.100	PROJECT NUMBER	J.M.W.
DATE	5-20-20	DATE	J.F.R.
SCALE	AS NOTED	SCALE	K.M.G.
DRAWN BY	DECKED BY	DRAWN BY	DECKED BY
CHECKED BY: D-1 10			

Version:	
----------	--

MARK	DATE	DESCRIPTION

DESIGNED BY:	Author	DESIGNED BY:	Author
PROJECT No:	CAM01902	DATE:	07/16/2020
SCALE:	AS SHOWN	SCALE:	AS SHOWN

CARMEL FIRE DEPARTMENT INC.

PROPOSED
ADDITION/RENOVATION



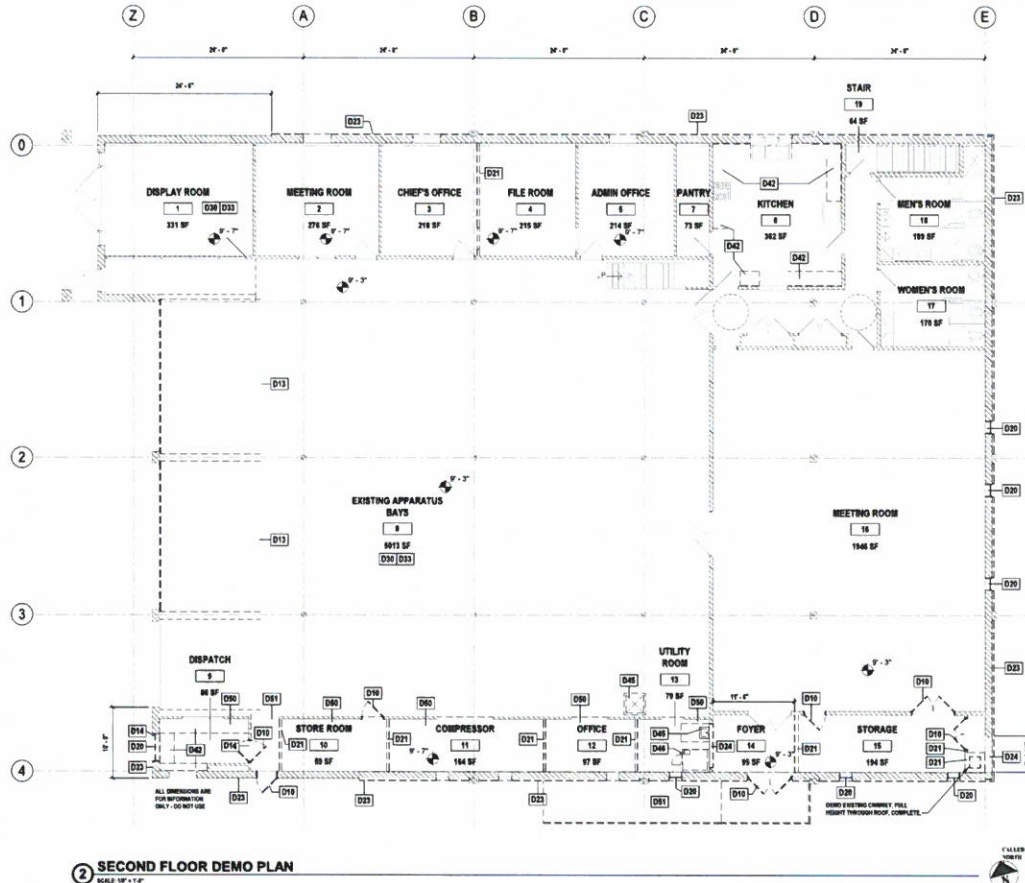
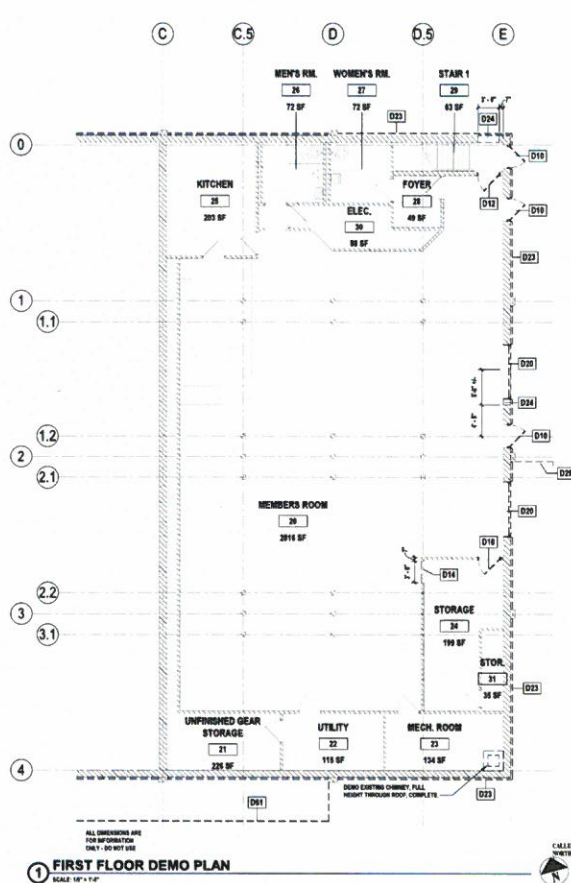
94 GLENEIDA AVE, CARMEL
HAMLET NY, 10512

CONTRACT G
GENERAL CONSTRUCTION

SD April/May 2020

DEMO FLOOR PLAN

D1.0

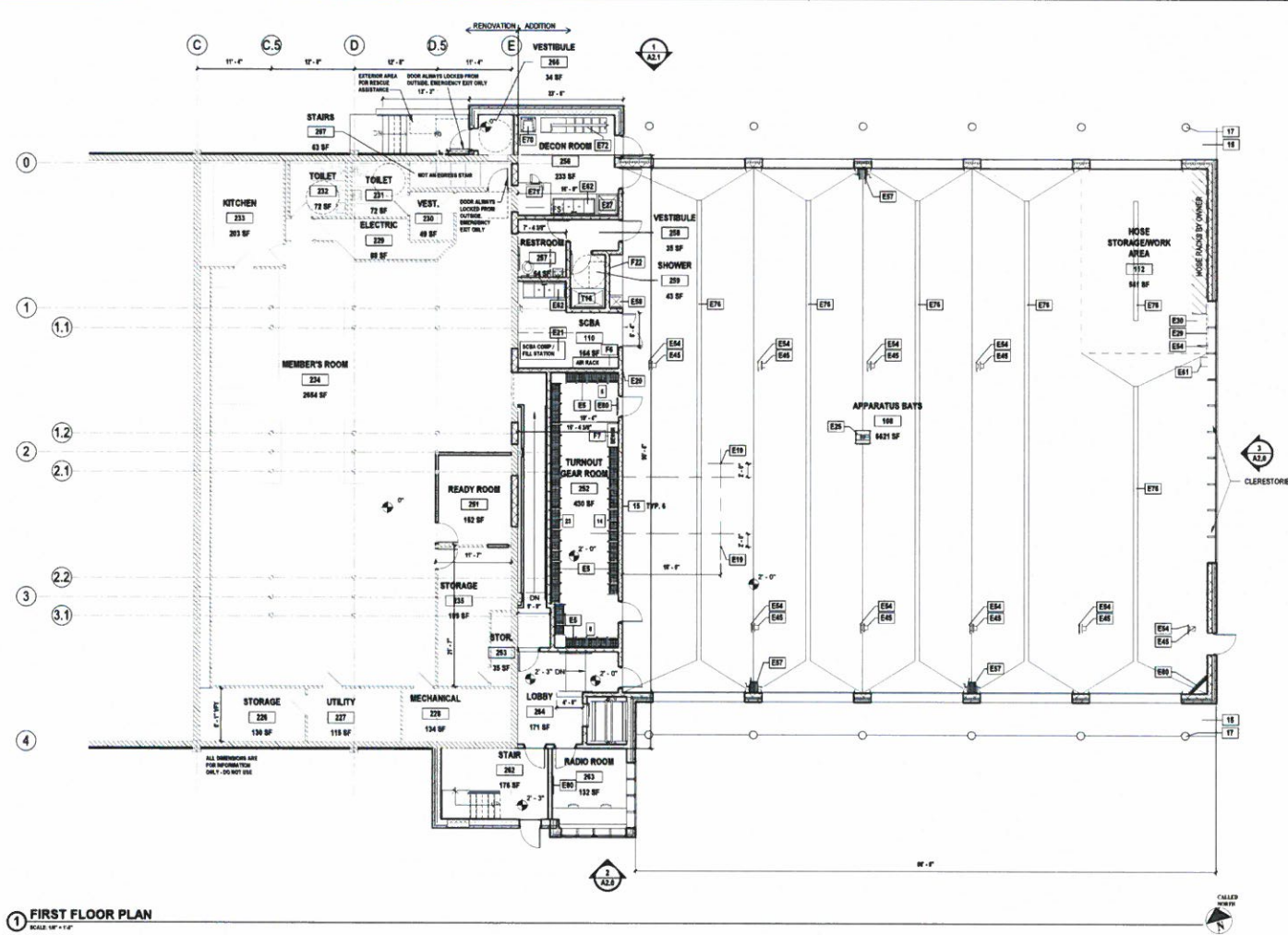


LEGEND

EXISTING WALLS
TO REMAIN

DEMO KEYNOTE LEGEND

#	DESCRIPTION
D10	CONTRACTOR SHALL REMOVE EXISTING DOOR COMPLETE, INCLUDING FRAME, HARDWARE, WALL ANCHORS, AND ALL DEVICES USED TO SECURE THE DOOR AND FRAME IN PLACE. PREPARE TO RECEIVE NEW CONSTRUCTION.
D12	CONTRACTOR SHALL REMOVE EXISTING DOOR AND HARDWARE. EXISTING FRAME TO REMAIN. PREPARE FOR NEW DOOR AND HARDWARE AS SHOWN ON PLANS. SEE DOOR SCHEDULE.
D13	CONTRACTOR SHALL COMPLETELY REMOVE OVERHEAD DOOR, FRAME AND HARDWARE. REMOVALS SHALL INCLUDE BUT NOT BE LIMITED TO ALL DEVICES USED TO SECURE DOOR AND FRAME IN PLACE. PREPARE EXISTING OPENING TO RECEIVE NEW CONSTRUCTION.
D14	CONTRACTOR SHALL SAW CUT, REMOVE AND DISPOSE OF PORTION OF EXISTING WALL CONSTRUCTION AS REQUIRED FOR INSTALLATION OF NEW DOOR AND FRAME. THE CONTRACTOR SHALL TEMPORARILY SUPPORT MASONRY OPENING AS REQUIRED FOR INSTALLATION OF NEWWORK. REFER TO LUNEL SCHEDULE AND DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
D20	CONTRACTOR SHALL REMOVE EXISTING WINDOW SYSTEM AND ALL ASSOCIATED CONSTRUCTION COMPLETE, INCLUDING SHADES OR CURTAINS. PREPARE FOR NEW CONSTRUCTION.
D21	CONTRACTOR SHALL REMOVE EXISTING WALL SYSTEM (SAW CUT AS NEEDED). COMPLETE. CONTRACTOR IS RESPONSIBLE TO VF EXISTING WALL TYPE AND IF ANY ADDITIONAL FRAMING OR SUPPORT IS NEEDED DURING DEMOLITION OR RECONSTRUCTION WHERE REQUIRED. PATCH EXISTING FLOOR, WALL AND CEILING IN AREAS WHERE WALLS ARE REMOVED WITH MATERIALS AND FINISHES TO MATCH EXISTING ADJACENT CONSTRUCTION.
D23	CONTRACTOR SHALL COMPLETELY REMOVE EXISTING SIDING AND OR STUCCO EXTERIOR FINISHES DOWN TO BACK OF BLOCK AND/OR SHEATHING OF FRAMED CONSTRUCTION AS SPECIFIED. PREPARE REMAINING SURFACES TO RECEIVE NEW CONSTRUCTION.
D24	CONTRACTOR SHALL REMOVE EXISTING WALL SYSTEM (SAW CUT AS NEEDED) FOR NEW OPENING. CONTRACTOR IS RESPONSIBLE TO VF EXISTING WALL TYPE AND IF ANY ADDITIONAL FRAMING OR SUPPORT IS NEEDED DURING DEMOLITION OR RECONSTRUCTION WHERE REQUIRED. PATCH EXISTING FLOOR, WALL AND CEILING IN AREAS WHERE WALLS ARE REMOVED WITH MATERIALS AND FINISHES TO MATCH EXISTING ADJACENT CONSTRUCTION.
D25	COMPLETELY REMOVE EXISTING RETAINING WALL COMPLETE INCLUDING ANY FOUNDATIONS AND CONNECTIONS TO REMAINING WALL.
D30	CONTRACTOR SHALL PREPARE ALL EXISTING SURFACES, INCLUDING BUT NOT LIMITED TO WALLS, CEILINGS, EXPOSED FRAMING, EXPOSED PIPING, STRUCTURAL MEMBERS SCHEDULED TO REMAIN, DECKS TO RECEIVE NEW FINISHES. SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
D33	CONTRACTOR SHALL PREPARE EXISTING CONCRETE FLOORING AS NECESSARY TO ACCOMMODATE NEW FLOOR FINISH. REFER TO FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
D42	CONTRACTOR TO REMOVE EXISTING CASEWORK COMPLETE.
D45	CONTRACTOR SHALL COMPLETELY REMOVE EXISTING PLUMBING FIXTURES IN THEIR ENTIRETY. REFER TO "P" DRAWINGS FOR ADDITIONAL INFORMATION.
D46	EXISTING SCBA EQUIPMENT & DISCONNECT. CONTRACTOR SHALL REMOVE, STORE AND PROTECT FOR REINSTALLATION. COORDINATE WITH OWNER.
D50	DEMO EXISTING RAISED SLAB/EQUIPMENT SLAB DOWN TO LEVEL OF ADJACENT SLAB.
D51	CONTRACTOR SHALL REMOVE EXISTING RAMP, COMPLETE. PREPARE ADJACENT WALL FOR NEW FINISHES.



1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

KEYNOTE LEGEND

#	DESCRIPTION
15	5'-0" CONCRETE BAY APRON
17	PRECAST CONCRETE BOLLARD
E5	INSTALL OWNERS GEAR LOCKERS
E10	ANCHOR PIT
E20	WALL HYDRANT
E21	RELOCATE OWNERS SCBA UNIT
E25	VEHICLE EXHAUST REMOVAL SYSTEM BY OWNER
E27	DRENCH SHOWER
E29	WIRE MOLD
E30	6 WORK BENCH BY OWNER
E45	ELECTRICAL DROP
E54	COMPRESSED AIR DROP
E57	HOSE REEL, GROUT CMU CORES AT FASTENING LOCATION IN CMU WALL
E58	MOP SINK
E61	EMERGENCY EYEWASH FENDALL 2000
E62	2 ROWL SINK WITH SIDEBOARDS
E70	RESIDENTIAL STACK WASHNER AND DRYER BY OWNER
E71	EXTRACTOR BY OWNER
E72	GEAR DRYER BY OWNER
E76	TRENCH DRAIN
E80	MONITOR FOR RESPONSE SYSTEM
F5	INSTALL OWNERS AIR TANK RACKS
F7	BENCH
F22	GEAR GRID BROOM CENTER, WALL MOUNTED
T16	ACCESSIBLE SHOWER STALL

LEGEND

	EXISTING WALLS
	TO REMAIN

H 2 architects + engineers

2700 Westchester Ave., Suite 418
Purchase, NY 10577
914.356.8822 • www.h2a.com

MARK	DATE	DESCRIPTION

DESIGNED BY	DESIGNED BY	DESIGNED BY
Author	Author	Author
PROJECT NO.	DATE	SCALE
CA0001002	07/16/2020	AS SHOWN

CARMEL FIRE DEPARTMENT INC.

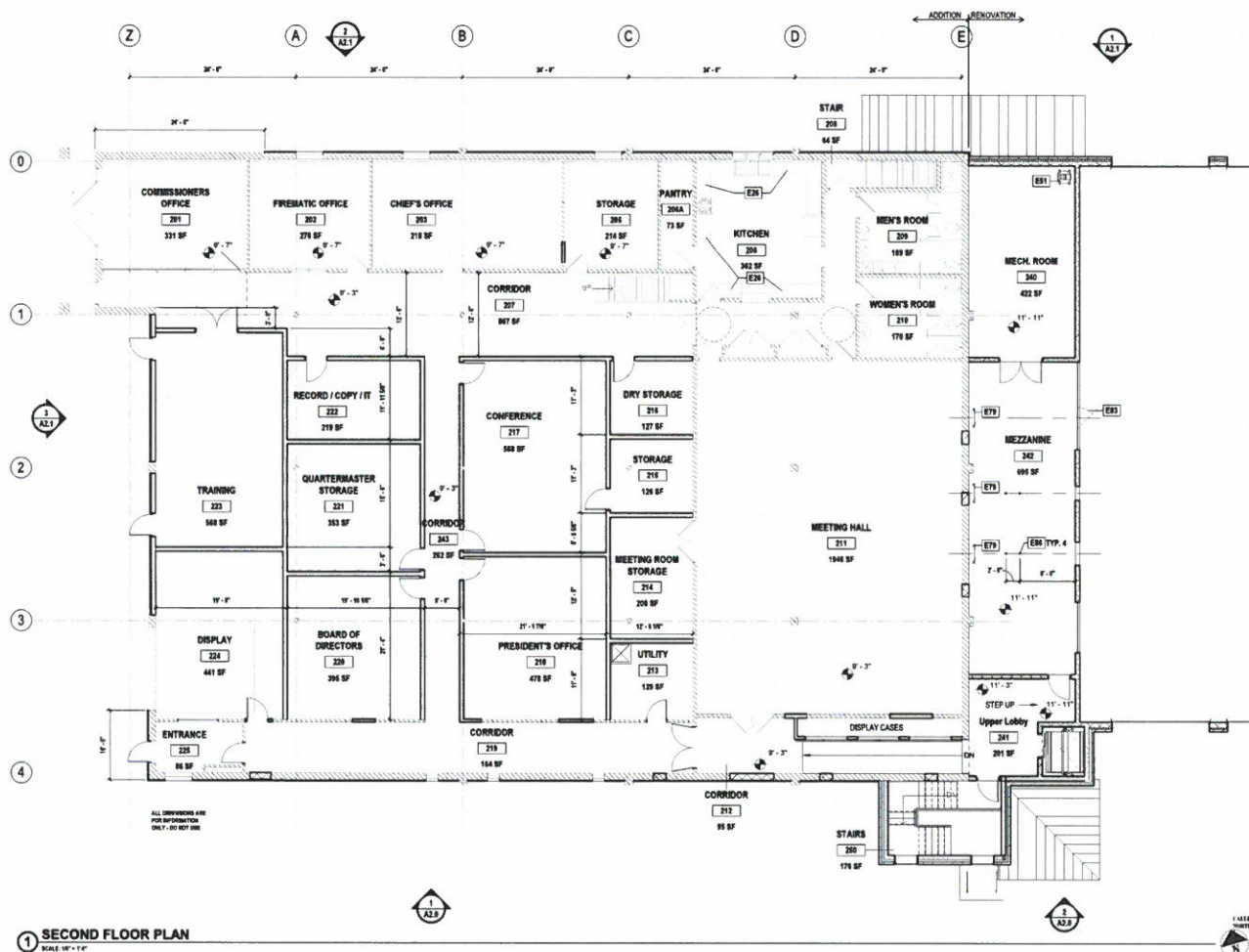
PROPOSED ADDITION/RENOVATION



94 GLENEIDA AVE. CARMEL
HAMLET NY, 10612

CONTRACT	CONTRACT G GENERAL CONSTRUCTION
STATUS	SD April/May 2020
PROJECT TITLE	FIRST FLOOR PLAN
SCALE	A1.1

C:\Users\james\Documents\Carmel Fire Department\CA0001002\CA0001002.dwg 11/16/2020 11:02 AM



1 SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"

#	DESCRIPTION
E24	NEW CASEWORK SEE DETAILS
E51	AIR COMPRESSOR BY OWNER
E79	TIE OFF RAIL
E83	OPERABLE GATE
E85	FLOOR MOUNTED DRINKS

LEGEND
EXISTING WALLS TO REMAIN

H 2 M architects + engineers


2700 Westchester Ave., Suite 415
Purchase, NY 10577
914.358.8833 • www.h2m.com

MARK	DATE	DESCRIPTION

DESIGNED BY Author	CHECKED BY Author	REVIEWED BY Author
PROJECT NO. CA0819102	DATE 07/16/2020	SCALE AS SHOWN

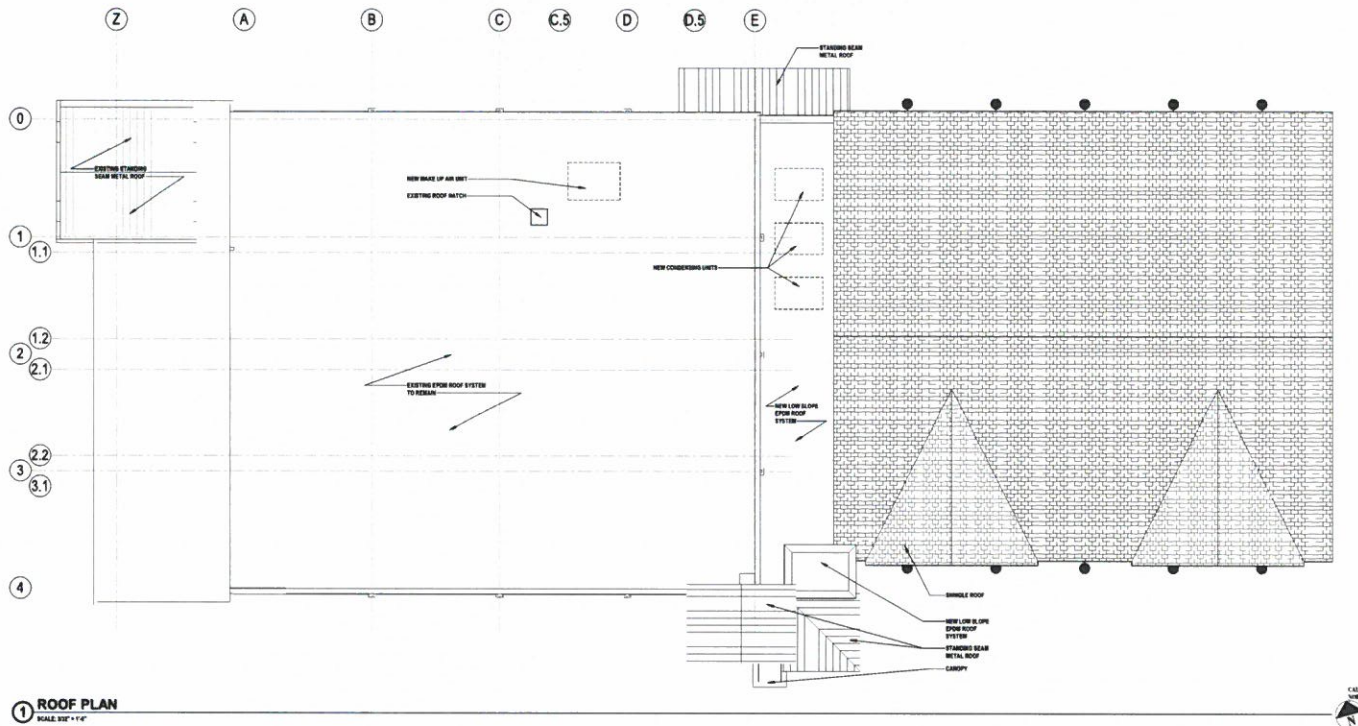
CARMEL FIRE DEPARTMENT INC.

PROPOSED
ADDITION/RENOVATION



94 GLENEIDA AVE, CARMEL
HAMLET NY, 10512

CONTRACT GENERAL CONSTRUCTION
DATE SD April/May 2020
SHEET TITLE SECOND FLOOR PLAN
PROJECT NO. A1.2



1 ROOF PLAN
SCALE 3/8" = 1'-0"

H

2

M

architects
+
engineers

2700 Westchester Ave., Suite 415
Purchase, NY 10577
914.355.5923 • www.h2m.com

MARK

DATE

DESCRIPTION

DESIGNED BY

DESIGNED BY

DESIGNED BY

Author

Author

Author

DATE

DATE

DATE

SCALE

SCALE

SCALE

DESIGNED BY

Author

DATE

07/16/2020

SCALE

AS SHOWN

CLIENT

CARMEL FIRE DEPARTMENT INC.

PROPOSED

ADDITION/RENOVATION

94 GLENEIDA AVE, CARMEL

HAMLET NY, 10512

CONTRACT

CONTRACT G

GENERAL CONSTRUCTION

DATE

SD April/May 2020

SHEET TITLE

ROOF PLAN AND DETAILS

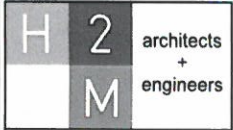
PROJECT NO.

A1.3

SHEET NO.

10

C:\Users\h2m\OneDrive\H2M\Projects\Carmel Fire Department\A1.3_Roof Plan.dwg



2700 Westchester Ave., Suite 418
Purchase, NY 10577
914.268.8922 • www.h2m.com

MARK	DATE	DESCRIPTION

MARK	DATE	DESCRIPTION

DESIGNED BY CARMEL1952	DRAWN BY CARMEL1952	CHECKED BY CARMEL1952	REVIEWED BY CARMEL1952
DATE 07/16/2020	SCALE AS SHOWN		

CARMEL FIRE DEPARTMENT INC.

PROPOSED
ADDITION/RENOVATION



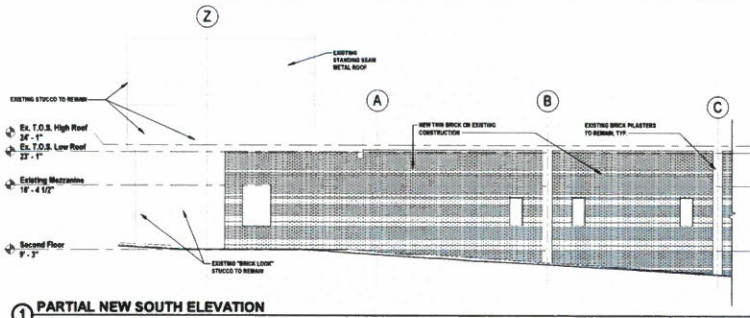
94 GLENEIDA AVE, CARMEL
HAMLET NY, 10512

CONTRACT
GENERAL CONSTRUCTION

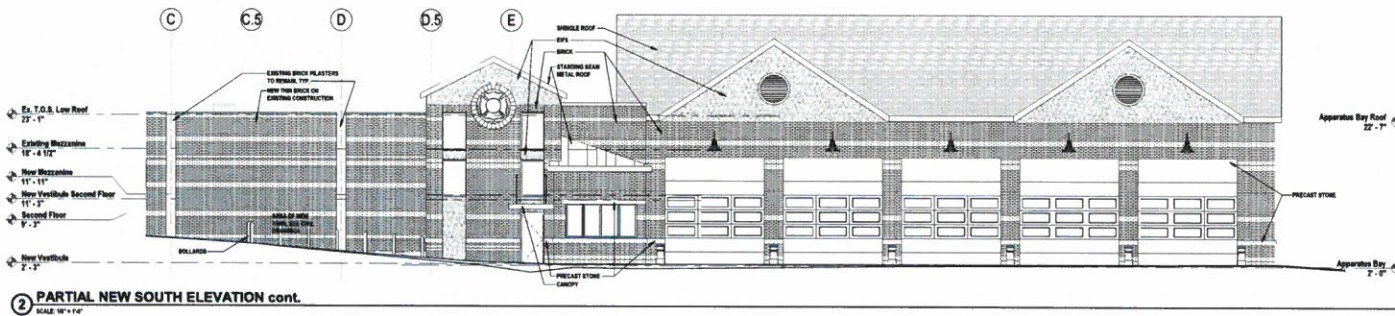
DATE
SD April/May 2020

PROJECT TITLE
EXTERIOR ELEVATIONS
AND DETAILS

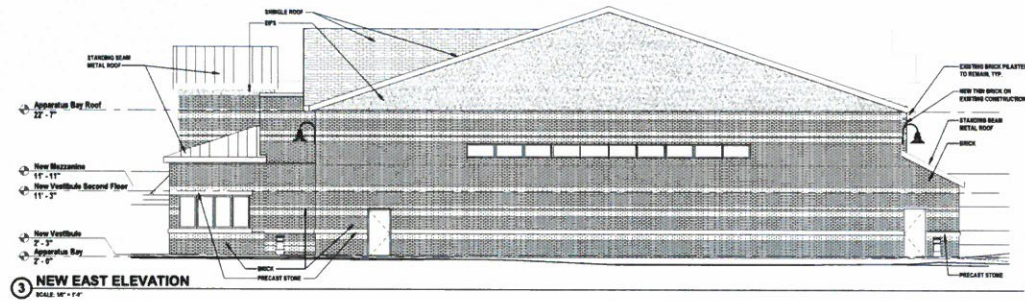
PROJECT NO.
A2.0



1 PARTIAL NEW SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 PARTIAL NEW SOUTH ELEVATION cont.
SCALE: 1/8" = 1'-0"



3 NEW EAST ELEVATION
SCALE: 1/8" = 1'-0"



TOWN OF CARMEL SITE PLAN APPLICATION INSTRUCTIONS



The Town of Carmel Planning Board meetings are held twice a month, on the second and fourth Wednesday's, at 7:00 PM at Carmel Town Hall, 60 McAlpin Avenue, Carmel

The submission deadline is 10 days prior to the Planning Board meeting. New site plan applications that have been deemed complete will be placed on the agenda in the order they are received.

No application will be placed on the agenda that is incomplete

Pre-Submission:

Prior to the formal submission of the site plan, a pre-submission conference may be requested by the applicant to be conducted with representatives from the Town, which may include the Town Planner, Town Engineer, Director of Code Enforcement and/or the Planning Board Attorney. This conference will serve to educate the applicant on the process he/she must follow, clarify the information required to submit a complete site plan application, and to highlight any specific areas of concern. You may arrange a pre-submission conference through the Planning Board Secretary at (845) 628-1500 extension 190.

Submission Requirements:

At least 10 days prior to the Planning Board meeting, the site plan application shall be submitted to the Planning Board Secretary as follows:

All site plans shall be signed, sealed and folded with the title box legible. The application package shall include:

- ☒ 11 copies of the Site Plan Application Form, signed and notarized.
- ☒ 11 copies of the SEQR Environmental Assessment Form (use of short form or long form shall be determined at pre-submission conference).
- ☒ 5 full size sets of the Site Plan (including floor plans and elevations)
- ☒ 1 CD (in pdf. format) containing an electronic version of the Site Plan
- ☒ 2 copies of the Disclosure Statement
- ☒ 11 copies of the Site Plan Completeness Certification Form
- ☒ All supplemental studies, reports, plans and renderings.
- ☒ 2 copies of the current deed.
- ☒ *n/a* 2 copies of all easements, covenants and restrictions.
- ☒ The appropriate fee, determined from the attached fee schedule. Make checks payable to the *Town of Carmel*.

Rose Yombetta 7/29/20
Planning Board Secretary; Date

Rudolf Vito 7/17/2020
Town Engineer; Date



TOWN OF CARMEL SITE PLAN APPLICATION



Per Town of Carmel Code – Section 156 - Zoning

SITE IDENTIFICATION INFORMATION		
Application Name: 910 SOUTH LAKE, LLC	Application # 20-0008	Date Submitted: 7/14/2020
Site Address: No. 910 Street: SOUTH LAKE BLVD Hamlet: MAHOPAC		
Property Location: (Identify landmarks, distance from intersections, etc.) 910 SOUTH LAKE BLVD ACROSS THE STREET FROM MAHOPAC MARINA		
Town of Carmel Tax Map Designation: Section 75.44 Block 1 Lot(s) 57&64	Zoning Designation of Site: C	
Property Deed Recorded in County Clerk's Office Date 7/24/85 Liber 858 Page 338	Liens, Mortgages or other Encumbrances Yes No	
Existing Easements Relating to the Site No Yes Describe and attach copies: X	Are Easements Proposed? No Yes Describe and attach copies: X	
Have Property Owners within a 500' Radius of the Site Been Identified? <input checked="" type="radio"/> Yes <input type="radio"/> No Attached List to this Application Form		
APPLICANT/OWNER INFORMATION		
Property Owner: 910 SOUTH LAKE, LLC	Phone #: Fax#: 914-804-4475	Email: LOU@REALVIO.COM
Owners Address: No. 57 Street: US RT 6 SUITE 204 Town: BALDWIN PLACE State: NY Zip: 10505		
Applicant (If different than owner): WILLIAM BESHARAT	Phone #: Fax#: 914-330-4999	Email: RAYEXDESIGN@GMAIL.COM
Applicant Address (If different than owner): No. 266 Street: Shear Hill Rd Town: Mahopac State: NY Zip: 10541		
Individual/ Firm Responsible for Preparing Site Plan: RAYEX DESIGN GROUP ROY A. FREDRIKSEN, PE	Phone #: 914 330 4999 Fax#: 845-628-7812	Email: RAYEXDESIGN@GMAIL.COM
Address: No. 266 Street: Shear Hill Rd Town: Mahopac State: NY Zip: 10541		
Other Representatives:	Phone #: Fax#:	Email:
Owners Address: No. Street: Town: State: Zip:		
PROJECT DESCRIPTION		
Describe the project, proposed use and operation thereof: REPLACE EXISTING TWO BUILDINGS WITH MIXED USE OCCUPANCY (RETAIL AND MULTI RESIDENCE) WITH NEW MULTI FAMILY USE BUILDING		

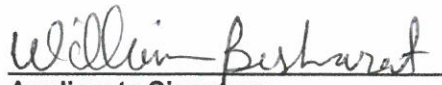
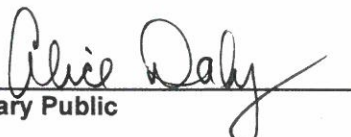
TOWN OF CARMEL SITE PLAN APPLICATION

PROJECT INFORMATION			
Lot size: Acres: <u>5.42</u> Square Feet: <u>2359</u>		Square footage of all existing structures (by floor): 4900 S.F.	
# of existing parking spaces: 30		# of proposed parking spaces: 30	
# of existing dwelling units: 14		# of proposed dwelling units: 15	
Is the site served by the following public utility infrastructure:			
<ul style="list-style-type: none"> ▪ Is project in sewer district or will private septic system(s) be installed? <u>YES</u> ▪ If yes to Sanitary Sewer answer the following: <ul style="list-style-type: none"> ▶ Does approval exist to connect to sewer main? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> ▶ Is this an in-district connection? <u>YES</u> Out-of district connection? _____ ▶ What is the total sewer capacity at time of application? <u>4500 GPD</u> ▶ What is your anticipated average and maximum daily flow <u>4500 GPD</u> 			
<i>For Town of Carmel Town Engineer</i> ▶ What is the sewer capacity <u>T.B. by NYCDOH</u>			
<ul style="list-style-type: none"> ▪ Water Supply Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> <li style="margin-left: 40px;">If Yes: <ul style="list-style-type: none"> ▶ Does approval exist to connect to water main? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> ▶ What is the total water capacity at time of application? <u>4500 GPD</u> ▶ What is your anticipated average and maximum daily demand <u>4500 GPD</u> ▪ Storm Sewer Yes: <input type="checkbox"/> No: <input type="checkbox"/> ▪ Electric Service Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> ▪ Gas Service Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> • Telephone/Cable Lines Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> 			
<i>For Town of Carmel Town Engineer</i>			
Water Flows <u>NA</u> Sewer Flows <u>T.B. by NYCDOH</u> <u>Revised 7/17/2020</u> Town Engineer, Date			
What is the predominant soil type(s) on the site? N/A		What is the approximate depth to water table? N/A	
Site slope categories: 15-25% ⁰ % 25-35% ⁰ % >35% ⁰ %			
Estimated quantity of excavation: Cut (C.Y.) <u>200 YD</u> Fill (C.Y.) _____			
Is Blasting Proposed Yes: <input type="checkbox"/> No: <input type="checkbox"/> Unknown: <input type="checkbox"/>			
Is the site located in a designated Critical Environmental Area? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Does a curb cut exist on the site? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>		Are new curb cuts proposed? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
What is the sight distance? Left <u>400'</u> Right <u>400'</u>			
Is the site located within 500' of:			
<ul style="list-style-type: none"> • The boundary of an adjoining city, town or village Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> • The boundary of a state or county park, recreation area or road right-of-way Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> • A county drainage channel line. Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> • The boundary of state or county owned land on which a building is located Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> 			

TOWN OF CARMEL SITE PLAN APPLICATION

Is the site listed on the State or Federal Register of Historic Place (or substantially contiguous) Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Is the site located in a designated floodplain? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Will the project require coverage under the Current NYSDEC Stormwater Regulations Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>			
Will the project require coverage under the Current NYCDEP Stormwater Regulations Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>			
Does the site disturb more than 5,000 sq ft		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
Does the site disturb more than 1 acre		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Does the site contain freshwater wetlands? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Jurisdiction: NYSDEC: <input type="checkbox"/> Town of Carmel: <input type="checkbox"/>			
<i>If present, the wetlands must be delineated in the field by a Wetland Professional, and survey located on the Site Plan.</i>			
Are encroachments in regulated wetlands or wetland buffers proposed? Yes: <input type="checkbox"/> No: <input type="checkbox"/>			
Does this application require a referral to the Environmental Conservation Board?		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
Does the site contain waterbodies, streams or watercourses? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Are any encroachments, crossings or alterations proposed? Yes: <input type="checkbox"/> No: <input type="checkbox"/>			
Is the site located adjacent to New York City watershed lands? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>			
Is the project funded, partially or in total, by grants or loans from a public source? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Will municipal or private solid waste disposal be utilized? Public: <input checked="" type="checkbox"/> Private: <input type="checkbox"/>			
Has this application been referred to the Fire Department? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
What is the estimated time of construction for the project? <div style="text-align: center; font-size: 1.2em; font-weight: bold;">18 MONTHS</div>			
ZONING COMPLIANCE INFORMATION			
Zoning Provision	Required	Existing	Proposed
Lot Area	40,000 SF	23,591 SF	
Lot Coverage	30%	17%	23%
Lot Width	200'	78'	
Lot Depth	200'	251'	
Front Yard	40'	64'	16'
Side Yard	25'	2.4'	12'
Rear Yard	30'	59'	142'
Minimum Required Floor Area	5,000 SF	4,850 S.F.	14,532 SF
Floor Area Ratio			
Height	60'	28'	37'
Off-Street Parking	30	30	30
Off-Street Loading			

TOWN OF CARMEL SITE PLAN APPLICATION

Will variances be required? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	If yes, identify variances: LOT AREA, SET BACKS , FRONTAGE, LOT WIDTH AND DRIVEWAY WIDTH
PROPOSED BUILDING MATERIALS	
Foundation	CONC
Structural System	WOOD
Roof	ASPHALT
Exterior Walls	HARDI-PLANK SIDING
APPLICANTS ACKNOWLEDGEMENT	
<p>I hereby depose and certify that all the above statements and information, and all statements and information contained in the supporting documents and drawings attached hereto are true and correct.</p>	
<u>WILLIAM BESHARAT</u> Applicants Name	 Applicants Signature
Sworn before me this <u>15th</u> day of <u>July</u> 20 <u>20</u>	
 Notary Public	<p>ALICE DALY Notary Public, State of New York No. 01DA6345218 Qualified in Putnam County Commission Expires July 25, 2020</p>



TOWN OF CARMEL SITE PLAN COMPLETENESS CERTIFICATION FORM



All Site Plans submitted to the Planning Board for review shall include the following information and details, as set forth in Section 156-61 B of the Town of Carmel Zoning Ordinance.

This form shall be included with the site plan submission

	Requirement Data	To Be Completed by the Applicant	Waived by the Town
1	Name and title of person preparing the site plan	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
2	Name of the applicant and owner (if different from applicant)	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
3	Original drawing date, revision dates, scale and north arrow	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
4	Tax map, block and lot number(s), zoning district	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5	All existing property lines, name of owner of each property within a 500' radius of the site	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
6	Contour lines at two-foot intervals, grades of all roads, driveways, sanitary and storm sewers	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
7	The location of all water bodies, streams, watercourses, wetland areas, wooded areas, rights-of-way, streets, roads, highways, railroads, buildings, structures	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
8	The location of all existing and proposed easements	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9	The location of all existing and proposed structures, their use, setback dimensions, floor plans, front, side and rear elevations, buildable area.	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
10	On site circulation systems, access, egress ways and service roads, emergency service access and traffic mitigation measures	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
11	Sidewalks, paths and other means of pedestrian circulation	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
12	On-site parking and loading spaces and travel aisles with dimensions	<input checked="" type="checkbox"/>	<input type="checkbox"/>
13	The location, height and type of exterior lighting fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>
14	Proposed signage	N/A <input checked="" type="checkbox"/> /	<input type="checkbox"/>
15	For non-residential uses, an estimate of the number of employees who will be using the site, description of the operation, types of products sold, types of machinery and equipment used	N/A <input type="checkbox"/> Residential only	<input type="checkbox"/>

*mixed
multifamily?
retail?*



TOWN OF CARMEL SITE PLAN COMPLETENESS CERTIFICATION FORM



	Requirement Data	To Be Completed by the Applicant	Waived by the Town
16	The location of clubhouses, swimming pools, open spaces, parks or other recreational areas, and identification of who is responsible for maintenance	N/A <input checked="" type="checkbox"/>	<input type="checkbox"/>
17	The location and design of buffer areas, screening or other landscaping, including grading and water management. A comprehensive landscaping plan in accordance with the Tree Conservation Law	EXISTING <input checked="" type="checkbox"/>	<input type="checkbox"/>
18	The location of public and private utilities, maintenance responsibilities, trash and garbage areas	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19	A list, certified by the Town Assessor, of all property owners within 500 feet of the site boundary	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20	Any other information required by the Planning Board which is reasonably necessary to ascertain compliance with this chapter	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Applicants Certification (to be completed by the licensed professional preparing the site plan:

I Roy A. Fredriksen hereby certify that the site plan to which I have attached my seal and signature, meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:



Professionals Seal

William Berhart
Signature - Applicant

7/14/2020
Date

[Signature]
Signature - Owner

7/14/2020
Date



TOWN OF CARMEL
SITE PLAN COMPLETENESS
CERTIFICATION FORM



Town Certification (to be completed by the Town)

I _____ hereby confirm that the site plan meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:

Rose Yonkette

Signature - Planning Board Secretary

7/23/20

Date

[Signature]

Signature - Town Engineer

7/23/2020

Date

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

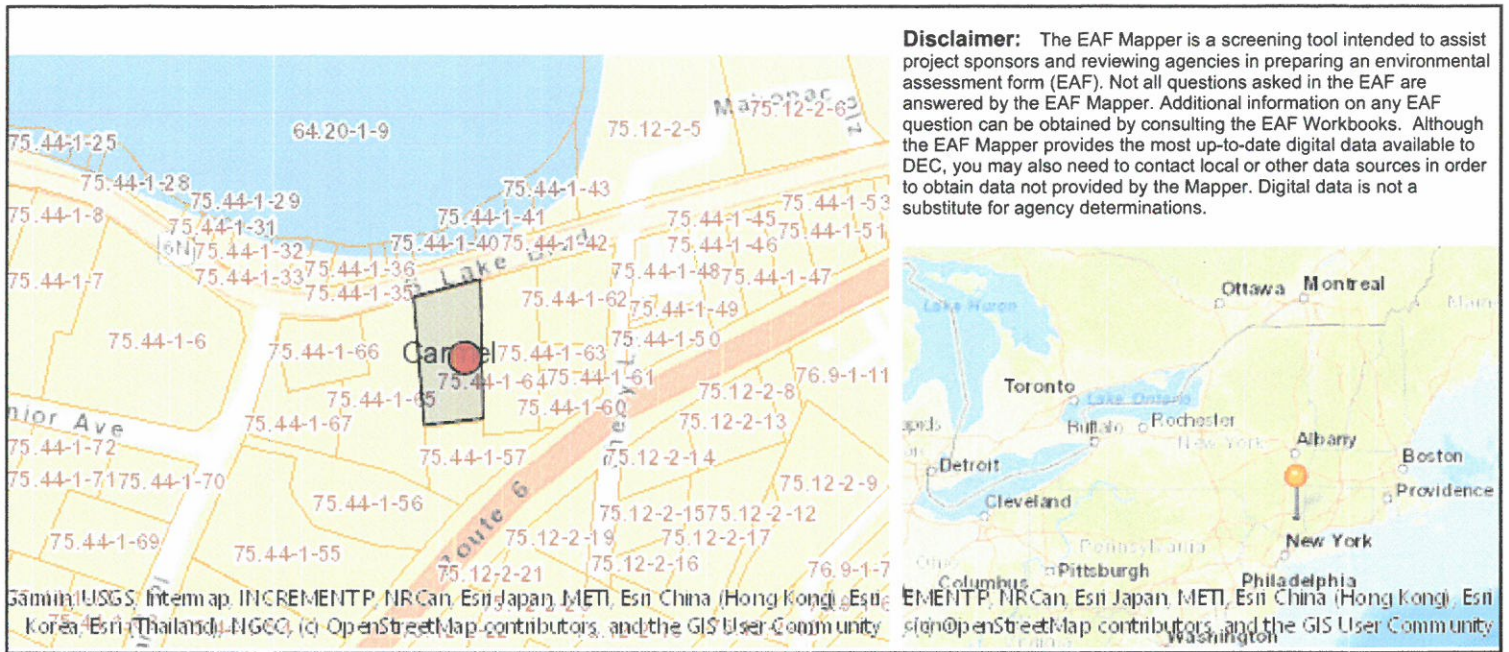
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

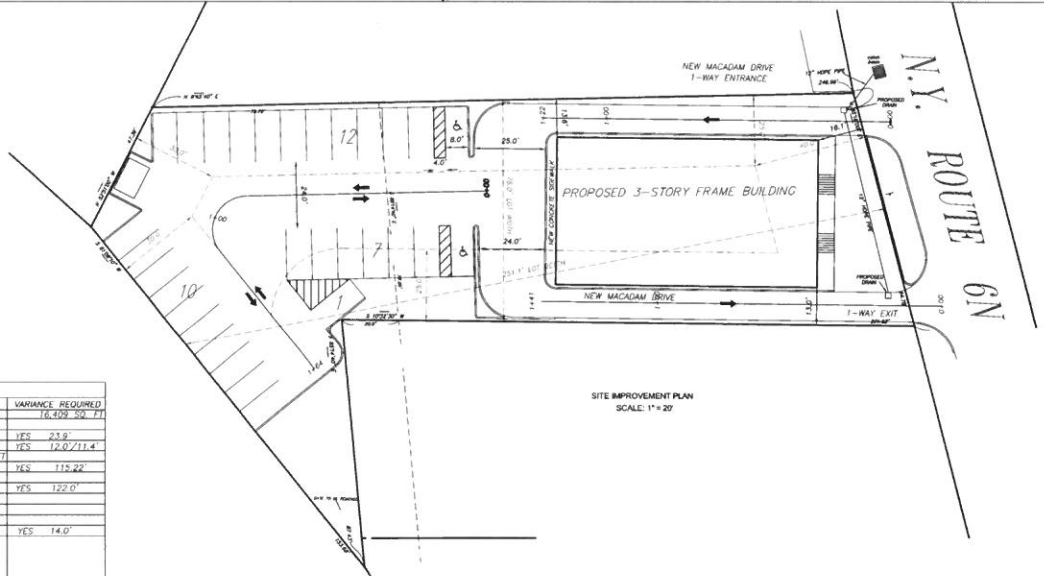
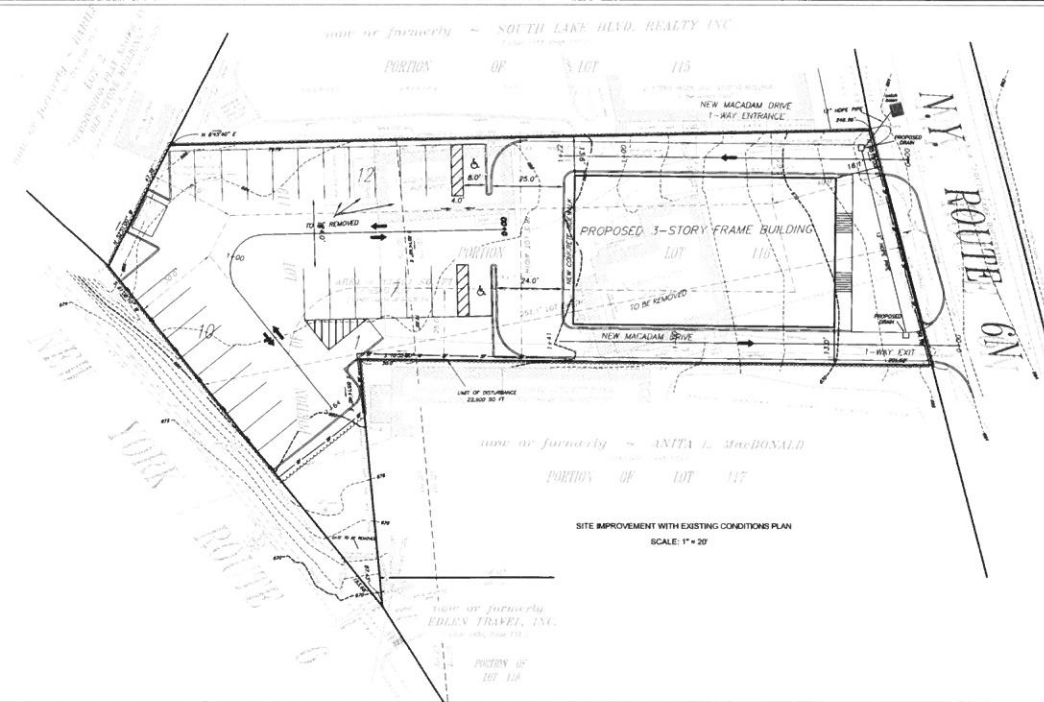
Part 1 – Project and Sponsor Information			
910 W. LAKE BLVD, LLC			
Name of Action or Project:			
910 W. LAKE BLVE MULTI FAMILY			
Project Location (describe, and attach a location map):			
910 South Lake Blvd, Mahopac, NY 10541			
Brief Description of Proposed Action:			
REPLACE TWO EXISTING BUILDINGS WITH MIXED USE (RETAIL AND MULTI FAMILY) WITH NEW MULTI-FAMILY SINGLE BUILDING			
Name of Applicant or Sponsor:		Telephone: 914-330-4999	
WILLIAM BESHARAT		E-Mail: RAYEXDESIGN@GMAIL.COM	
Address:			
266 SHEAR HILL ROAD			
City/PO:		State:	Zip Code:
MAHOPAC		NY	10541
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?			NO
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			YES
			<input checked="" type="checkbox"/>
			<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency?			NO
If Yes, list agency(s) name and permit or approval:			YES
			<input checked="" type="checkbox"/>
			<input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ .45 acres			
b. Total acreage to be physically disturbed? _____ .4 acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ .45 acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	N/A <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input checked="" type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO <input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/>	YES <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? Northern Long-eared Bat	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
EXISTING CATCH BASINS ON THE STREET. EXISTING STORM WATER IS ALREADY CONNECTED TO IT		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
GAS STATION NEXT DOOR HAD TANKS REMOVED		
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: <u>WILLIAM BESHARAT</u> Date: <u>7/13/2020</u> Signature: _____ Title: <u>AGENT</u>		

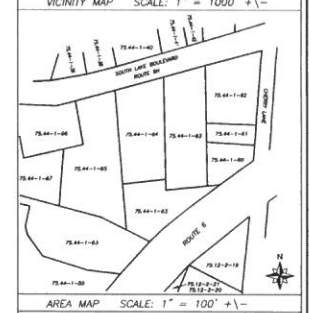
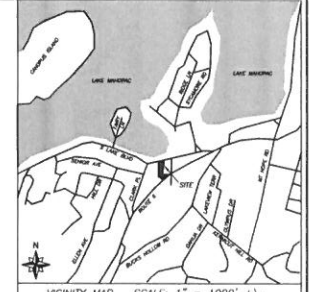


Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Northern Long-eared Bat
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes



ZONING TABLE

COMMERCIAL	REQUIRED	PROVIDED	VARIANCE REQUIRED
C	42,000 SQ. FT.	23,581 SQ. FT.	18,419 SQ. FT.
MIN. LOT AREA			
MIN. YARDS			
FRONT	40 FT	18.1 FT	YES 21.9'
SIDE	25 FT	12 FT	YES 12.0/11.4'
REAR	30 FT	GREATER THAN 30 FT	
MIN. FRONTAGE	200 FT	84.18 FT	YES 115.22'
MAX. BLDG. HEIGHT	35 FT		
MIN. LOT WIDTH	200 FT		
MIN. LOT DEPTH	200 FT		
MIN. REQ. FLOOR AREA	5000 SQ. FT.		
MAX. BLDG. COVERAGE	30%		
MAX. DRIVEWAY WIDTH	24 FT	10 FT (ONE WAY)	YES 14.0'
PARKING REQ. FOR		30 SPACES (9'X18')	
		2 HANDICAP SPACES	



White Hill Management Corp. 900 S. Lake Blvd. Mahopac, NY 10541 75.44-1-65	White Hill Management Corp. 900 S. Lake Blvd. Mahopac, NY 10541 75.44-1-67
Dynastie Properties Corp. 50 Papago Dr. Mahopac, NY 10541 75.44-1-66	Pollack Realty Mgmt. LLC PO Box 501 Brewster, NY 10509 75.44-1-68
Mr. Qui Group LLC 114 S. Lake Blvd. Mahopac, NY 10541 75.44-1-63	Joe & Kevin Corp. 215 East Harlem Ave. Fl. 2 Palisades Park, NY 10964 75.44-1-61
White Hill Management Corp. 900 S. Lake Blvd. Mahopac, NY 10541 75.44-1-64	Noble Properties 211 Shaw Hill Rd. Mahopac, NY 10541 75.44-1-62

ADJOINING OWNERS

TOPOGRAPHIC SURVEY PREPARED BY BAXTER LAND SURVEYING, P.C., DATED AUGUST 25, 2008

ALTERATION OF THIS DRAWING EXCEPT BY A LICENSED P.E. OR ARCHITECT OR LICENSED LAND SURVEYOR IS ILLEGAL. ANY ALTERATION BY A P.E. OR ARCHITECT OR SURVEYOR MUST BE INDICATED AND BEAR HIS/HER SIGNATURE AND DATE OF ALTERATION

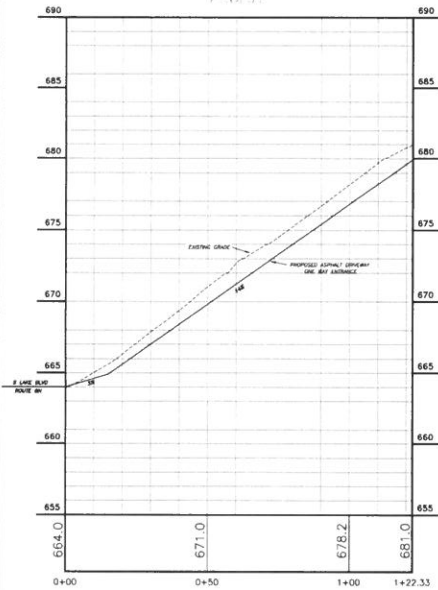


ROY A. FREDRIKSEN, PE
CONSULTING ENGINEER

278 RAPP RD • VALATIE, NY 12184 • 518-828-0285

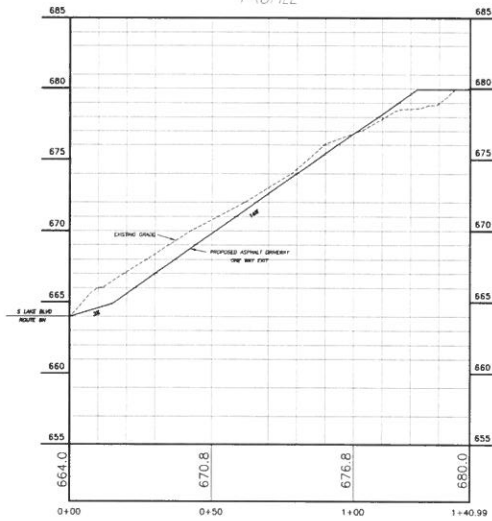
OWNER:	910 SOUTH LAKE, LLC. 61 HOURS RD-17-204 BALDWIN PLACE, NY 10505	JOB #	
PROJECT:	NEW MULTI-FAMILY BUILDING TO BE CONSTRUCTED AT 910 S. LAKE BLVD IN MAHOPAC, TOWN OF CARMEL, NY	DRN BY:	
		CHD BY:	
SHEET TITLE:	SITE PLAN	TAX MAP #	75.44-1-64 75.44-1-57
REVISIONS:		DATE:	JULY 13, 2020

DRIVEWAY ONE WAY ENTRANCE
PROFILE



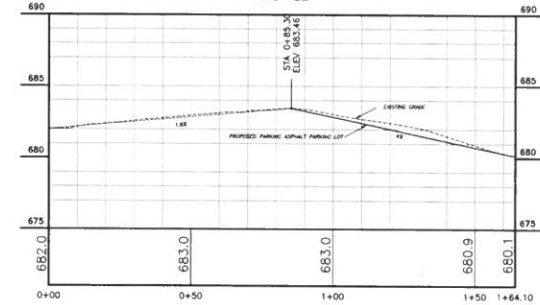
PROFILE SCALE:
HORIZ: 1"=20'
VERT: 1"=4'

DRIVEWAY ONE WAY EXIT
PROFILE



PROFILE SCALE:
HORIZ: 1"=20'
VERT: 1"=4'

PARKING LOT
PROFILE



PROFILE SCALE:
HORIZ: 1"=20'
VERT: 1"=4'

TOPOGRAPHIC SURVEY PREPARED BY BAXTER LAND SURVEYING, P.C., DATED AUGUST 28, 2020.
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RAYEX
DESIGN PLANNING CONSTRUCTION

ROY A. FREDRIKSEN, PE
CONSULTING ENGINEER

278 RAPP RD. • VALATIE, NY 12184 • 518-928-0265

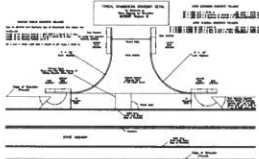
OWNER:	910 SOUTH LAKE, LLC. 17 ROUTE 8, SUITE 204 BALDWIN, PLAZA, NY 11503	JOB #	
DESIGNED BY:		DRAWN BY:	
CHECKED BY:		TAX MAP #:	75-44-1-64 75-44-1-67

PROJECT: NEW MULTIFAMILY BUILDING TO BE CONSTRUCTED AT 910 S. LAKE BLVD IN MANHATTAN, TOWN OF CARMEL, NY.

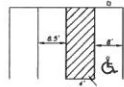
SHEET TITLE: PROFILES

REVISIONS: DATE: JULY 13, 2020

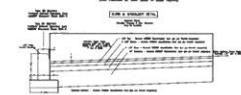
Roy A. Fredriksen



1 1/2" x 1/2" SQUARE HOT-DIP GALVANIZED STEEL SIGN POST
NOTE: ALL HARDWARE TO BE GALVANIZED. ALL BOLTS SHALL BE PROVIDED WITH VANDAL PROOF HARDWARE.



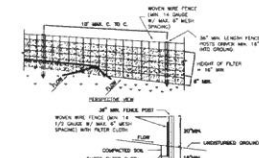
PAINTED HANDICAP PARKING DETAIL



PAINTED HANDICAP SYMBOL DETAIL



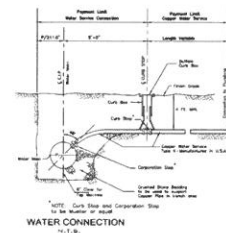
TRENCH DRAIN DETAIL (N.T.S.)



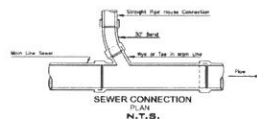
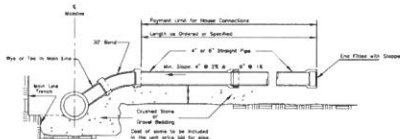
CONSTRUCTION SPECIFICATIONS

1. MANHOLE FRAME SHALL BE GALVANIZED STEEL TO RESIST RUST. WHEN USED FOR STORM DRAIN, FRAME SHALL BE GALVANIZED STEEL TO RESIST RUST. WHEN USED FOR SANITARY DRAIN, FRAME SHALL BE GALVANIZED STEEL TO RESIST RUST. WHEN USED FOR STORM DRAIN, FRAME SHALL BE GALVANIZED STEEL TO RESIST RUST. WHEN USED FOR SANITARY DRAIN, FRAME SHALL BE GALVANIZED STEEL TO RESIST RUST.
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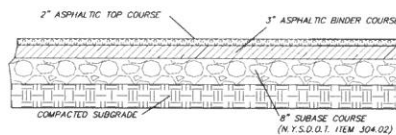
SAFETY FENCE



WATER CONNECTION
N.T.S.

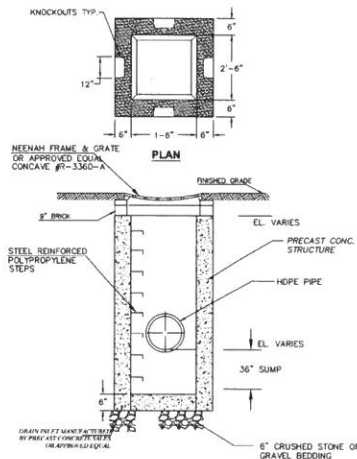


SEWER CONNECTION
N.T.S.



PARKING SPACE/PAVEMENT/DRIVEWAY SECTION DETAIL
(FOR ALL PARKING SPACES)
(N.T.S.)

DRAIN INLET (N.T.S.)



GENERAL NOTES

1. CONCRETE TO TEST 4000 P.S.I. @ 28 DAYS
2. REINFORCEMENT MEETS A.S.T.M. A-615, GRADE 60, A.S.T.M. A-185.

1. SOIL EROSION AND SEDIMENT CONTROL NOTES: ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE NEW YORK STATE SOIL AND WATER CONSERVATION DEPARTMENT'S EROSION AND SEDIMENT CONTROL MANUAL, AS PUBLISHED BY THE NEW YORK STATE SOIL AND WATER CONSERVATION DEPARTMENT AND RECOMMENDED BY THE U.S. DEPARTMENT OF AGRICULTURE - SOIL CONSERVATION SERVICE (REFERRED TO AS "EROSION CONTROL MANUAL").
2. ANY DISTURBED AREA THAT MAY BE LEFT UNDISTURBED FOR MORE THAN 30 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL BE SEED AND MULCHED WITHIN 14 DAYS OF THE LAST DISTURBANCE WITH TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREA SHALL BE MULCHED WITH STRAW OR COMPOST MATERIAL. THE SEEDING SHALL BE DONE IN ACCORDANCE WITH THE NEW YORK GUIDELINES, AS FOLLOWS:
 - (A) SEED SHALL BE APPLIED AT A RATE OF 30 LBS/1000 OTHER SELECT MIXTURE AS DESCRIBED IN THE NEW YORK GUIDELINES.
 - (B) SPRING, SUMMER OR EARLY FALL SEED WITH RYE GRASS (ANNUAL OR PERENNIAL) AT 30 LBS PER ACRE.
 - (C) LATE FALL OR EARLY WINTER SEED WITH CLOVER "SUNSHINE" MIXTURE RYE AT 100 LBS (CLOVER, RYE) PER ACRE.
 - (D) SEED SHALL BE APPLIED AT A RATE OF 3000 POUNDS PER ACRE.
 - (E) SEED SHALL BE APPLIED AT A RATE OF 3000 POUNDS PER ACRE.
 - (F) SEED SHALL BE APPLIED AT A RATE OF 3000 POUNDS PER ACRE.
 - (G) SEED SHALL BE APPLIED AT A RATE OF 3000 POUNDS PER ACRE.
 - (H) SEED SHALL BE APPLIED AT A RATE OF 3000 POUNDS PER ACRE.
 - (I) SEED SHALL BE APPLIED AT A RATE OF 3000 POUNDS PER ACRE.
 - (J) SEED SHALL BE APPLIED AT A RATE OF 3000 POUNDS PER ACRE.
 - (K) SEED SHALL BE APPLIED AT A RATE OF 3000 POUNDS PER ACRE.
 - (L) SEED SHALL BE APPLIED AT A RATE OF 3000 POUNDS PER ACRE.
 - (M) SEED SHALL BE APPLIED AT A RATE OF 3000 POUNDS PER ACRE.
 - (N) SEED SHALL BE APPLIED AT A RATE OF 3000 POUNDS PER ACRE.
 - (O) SEED SHALL BE APPLIED AT A RATE OF 3000 POUNDS PER ACRE.
 - (P) SEED SHALL BE APPLIED AT A RATE OF 3000 POUNDS PER ACRE.
 - (Q) SEED SHALL BE APPLIED AT A RATE OF 3000 POUNDS PER ACRE.
 - (R) SEED SHALL BE APPLIED AT A RATE OF 3000 POUNDS PER ACRE.
 - (S) SEED SHALL BE APPLIED AT A RATE OF 3000 POUNDS PER ACRE.
 - (T) SEED SHALL BE APPLIED AT A RATE OF 3000 POUNDS PER ACRE.
 - (U) SEED SHALL BE APPLIED AT A RATE OF 3000 POUNDS PER ACRE.
 - (V) SEED SHALL BE APPLIED AT A RATE OF 3000 POUNDS PER ACRE.
 - (W) SEED SHALL BE APPLIED AT A RATE OF 3000 POUNDS PER ACRE.
 - (X) SEED SHALL BE APPLIED AT A RATE OF 3000 POUNDS PER ACRE.
 - (Y) SEED SHALL BE APPLIED AT A RATE OF 3000 POUNDS PER ACRE.
 - (Z) SEED SHALL BE APPLIED AT A RATE OF 3000 POUNDS PER ACRE.
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 - (Z) SEED SHALL BE APPLIED AT A RATE OF 3000 POUNDS PER ACRE.
4. SLOPES GREATER THAN ONE ON THREE SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
5. PAVED ROADS SHALL BE KEPT CLEAR AT ALL TIMES.
6. THE SITE SHALL AT ALL TIMES BE GRAD AND MAINTAIN SUCH THAT ALL STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES. EXCEPT FOR MINOR PERMITTER ENVIRONMENTAL AREA, ALL DRAINAGE AREAS SHALL BE UNOCCUPIED THROUGHOUT ONE OF THE SEEDING PERIODS. DRAINAGE SHALL BE USED TO DIRECT DRAINAGE RUNOFF UNTIL PERMANENT STORM DRAINAGE SYSTEM IS IN PLACE.
7. DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS.
8. STOCKPILES SHALL NOT BE LOCATED WITHIN FIFTY FEET (50') OF ROADWAYS OR DRAINAGE FACILITIES. THE BASE OF ALL STOCKPILES SHALL BE PROTECTED BY A SALT FENCE AND SALT BARRIERS OF A COMBINATION OF BOTH.
9. SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED BY THE CONTRACTOR ON A DAILY BASIS TO ENSURE THAT TEMPORARY EROSION CONTROL MEASURES ARE MAINTAINED AND CLEAR OF DEBRIS THAT EROSIONS ARE NOT BREACHED AND THAT ALL BARRIERS ARE INTACT.
10. MAINTENANCE INSPECTIONS SHALL BE PERFORMED WEEKLY AND WITHIN 24 HOURS OF ANY PRECIPITATION EXCEPT PROHIBITIVE MORE THAN 1/2" OF PRECIPITATION OVER 24 HOUR PERIOD. INSPECTIONS ARE PERFORMED BY A LICENSED PROFESSIONAL.
11. ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL FINAL ACCEPTANCE OF THE SITE WORK BY THE OWNER. UPON CERTIFICATION OF FINAL ACCEPTANCE, THE OWNER SHALL ASSUME RESPONSIBILITY FOR THE CONTINUED MAINTENANCE OF PERMANENT SOIL EROSION AND SEDIMENTATION CONTROL MEASURES.
12. ALL DRAINAGE OUTLETS AND INLETS SHALL BE LINED WITH 18" MIN. AS SPECIFIED ON THE PLANS AND/OR PER EROSION.
13. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR IMPLEMENTATION OF ALL EROSION AND SEDIMENT CONTROL MEASURES.

TOPOGRAPHIC SURVEY PREPARED BY BAXTER LAND SURVEYING, P.C., DATED AUGUST 25, 2020

ALTERATION OF THIS DRAWING EXCEPT BY A LICENSED P.E. OR ARCHITECT OR LICENSED LAND SURVEYOR IS ILLEGAL. ANY ALTERATION BY A P.E. OR ARCHITECT OR SURVEYOR MUST BE INDICATED AND BEAR HIS SEAL SIGNATURE AND DATE OF ALTERATION.



ROY A. FREDRIKSEN, PE
CONSULTING ENGINEER

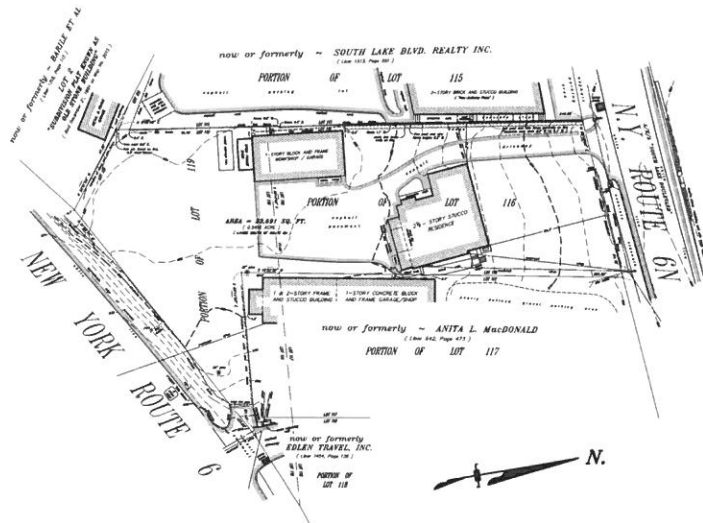
278 RAPP RD. • VALATIE, NY 12184 • 518-928-0265

OWNER	910 SOUTH LAKE, LLC. 37 ROUTE 6 SUITE 204 BALDWIN PLACE, NY 11505	JOB #	
PROJECT	NEW MULTI-FAMILY BUILDING TO BE CONSTRUCTED AT 810 S. LAKE BLVD IN MAHOPAC, TOWN OF CARMEL, NY.	DRN BY	
		CHND BY	
		TAX MAP #	75.44-1-64 75.44-1-67

SHEET TITLE: DETAILS

REVISIONS: [DATE: JULY 13, 2020]

Signature



Any portion of the subject of this survey map situated within the boundaries of a recorded easement and not shown on the map as such, shall remain as shown on the map.

Unrecorded easements, including, but not limited to, easements for utility lines, shall be shown on the map as such, unless they are shown on a recorded map.

Unrecorded easements for utility lines shall be shown on the map as such, unless they are shown on a recorded map.

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Unrecorded easements for utility lines shall be shown on the map as such, unless they are shown on a recorded map.

EXISTING CONDITIONS PLAN
SCALE: 1" = 15'

TOPOGRAPHIC SURVEY PREPARED BY BAXTER LAND SURVEYING, P.C., DATED AUGUST 25, 2009.
ALTERATION OF THIS DRAWING EXCEPT BY A LICENSED P.E. OR ARCHITECT OR LICENSED LAND SURVEYOR IS ILLEGAL. ANY ALTERATION BY A P.E. OR ARCHITECT OR SURVEYOR MUST BE INDICATED AND BEAR HIS SEAL, SIGNATURE AND DATE OF ALTERATION.



ROY A. FREDRIKSEN, PE
CONSULTING ENGINEER

278 RAPP RD • VALATIE, NY 12184 • 518-928-0285

OWNER:	910 SOUTH LAKE, LLC. 50 HICKORY STREET, 2ND BALDWIN PLACE, NY 10506	CAD #	
PROJECT:	NEW MULTI-FAMILY BUILDING TO BE CONSTRUCTED AT 910 S. LAKE BLVD IN MANHOPAC, TOWN OF CARMEL, NY	DRAWN BY:	
SHEET TITLE:	EXISTING CONDITIONS PLAN	CHECKED BY:	
REVISIONS:		TAX MAP #:	75-44-1-64 75-44-1-67

Signature of Roy A. Fredriksen

DATE: JULY 13, 2009

July 17, 2020

Town of Carmel Planning Board
60 McAlpin Avenue
Mahopac, NY 10541-2340

Attn: Mr. Craig Paepre, Chairman

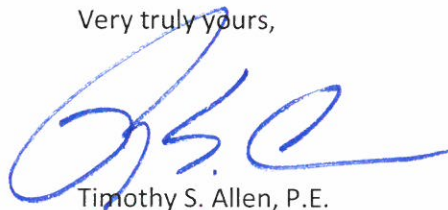
Re: Proposed 14-Lot Subdivision
Yankee Development, Piggott Road
TM # 76.15-1-12

Dear Chairman and Members of the Board:

On behalf of the owners of the above captioned property we are hereby requesting an additional 180-day extension of Preliminary Subdivision Approval. This project was granted a 180 day extension until August 15, 2020. Our client is proceeding with the DEP review process and will ultimately subdivide the property if the residential real estate market continues on its positive trend. A check in the amount of \$ 1,000 for the renewal fee is enclosed.

We respectfully request to be placed on your earliest available agenda. Should you require any additional information, please feel free to contact me.

Very truly yours,



Timothy S. Allen, P.E.

TSA/mme
Enclosure

cc: Angelo Luppino
Michael Sirignano
File