

HAROLD GARY
Chairman

CRAIG PAEPRER
Vice-Chair

BOARD MEMBERS
ANTHONY GIANNICO
DAVE FURFARO
CARL STONE
KIM KUGLER
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**TOWN OF CARMEL
PLANNING BOARD**



60 McAlpin Avenue
Mahopac, New York 10541
Tel. (845) 628-1500 – Ext.190
www.ci.carmel.ny.us

MICHAEL CARNAZZA
*Director of Code
Enforcement*

RICHARD FRANZETTI, P.E.
Town Engineer

PATRICK CLEARY,
AICP, CEP, PP, LEED AP
Town Planner

VINCENT FRANZE
Architectural Consultant

PLANNING BOARD AGENDA
MARCH 8, 2017

MEETING ROOM #2

TAX MAP # PUB. HEARING MAP DATE COMMENTS

SITE PLAN

1. Putnam County Savings Bank – 150 Route 6	86.11-1-1	02/08/17	Amended Site Plan
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SUBDIVISION

2. Baldwin Subdivision -150 Route 6	86.11-1-1	02/08/17	Sketch Plan
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MISC.

3. MK Realty – Route 6 & Old Route 6	55.6-1-44 & 45		Re-Approval of Final Site Plan
4. Wixon Pond Estates – 243 Wixon Pond Road	53.20-1-19	01/11/16	Extension of Preliminary Subdivision Approval
5. Stoneleigh Woods at Carmel – Stoneleigh Ave	55.15-1-36,37		Bond Return
6. Minutes – 01/25/17 & 02/08/17			

P. C. S. B.



TOWN OF CARMEL SITE PLAN APPLICATION INSTRUCTIONS



The Town of Carmel Planning Board meetings are held twice a month, on the second and fourth Wednesday's, at 7:00 PM at Carmel Town Hall, 60 McAlpin Avenue, Carmel

The submission deadline is 10 days prior to the Planning Board meeting. New site plan applications that have been deemed complete will be placed on the agenda in the order they are received.

No application will be placed on the agenda that is incomplete

Pre-Submission:

Prior to the formal submission of the site plan, a pre-submission conference may be requested by the applicant to be conducted with representatives from the Town, which may include the Town Planner, Town Engineer, Director of Code Enforcement and/or the Planning Board Attorney. This conference will serve to educate the applicant on the process he/she must follow, clarify the information required to submit a complete site plan application, and to highlight any specific areas of concern. You may arrange a pre-submission conference through the Planning Board Secretary at (845) 628-1500 extension 190.

Submission Requirements:

At least 10 days prior to the Planning Board meeting, the site plan application shall be submitted to the Planning Board Secretary as follows:

All site plans shall be signed, sealed and folded with the title box legible. The application package shall include:

- ☒ 11 copies of the Site Plan Application Form, signed and notarized.
- ☒ 11 copies of the SEQR Environmental Assessment Form (use of short form or long form shall be determined at pre-submission conference).
- ☒ 5 full size sets of the Site Plan (including floor plans and elevations)
- ☒ 1 CD (in pdf. format) containing an electronic version of the Site Plan
- ☒ 2 copies of the Disclosure Statement
- ☒ 11 copies of the Site Plan Completeness Certification Form
- ☒ All supplemental studies, reports, plans and renderings.
- ☒ 2 copies of the current deed.
- ☒ 2 copies of all easements, covenants and restrictions.
- ☒ The appropriate fee, determined from the attached fee schedule. Make checks payable to the *Town of Carmel*.

Rose Grubbs 2/17/17
Planning Board Secretary; Date

Reda D. B. 2/17/17
Town Engineer; Date



February 8, 2017

Town of Carmel Planning Board
60 McAlpin Avenue
Mahopac, New York 10541

RE: PCSB Amended Site Plan
Route 6
Tax Map No. 86.11-1-1 – Proposed Lot 1

Dear Chairman Gary and Members of the Board:

Per the application previously discussed with the Board at the January 25, 2017 meeting, the applicant seeks amended site plan approval for the new 2,683 s.f. commercial building with drive-up lanes and associated parking, already under construction on Lot 1 of Baldwin Subdivision, also under review by the Board. The site plans and documents have been revised to provide a conforming 3-acre lot for the amended site plan.

Please find enclosed the following plans and documents in support of an application for amended site plan approval for the above referenced project:

- Eight (8) sheet Site Plan Set, dated February 8, 2017. (5 copies)
- Site Plan Application, February 8, 2017. (11 copies)
- SEQR Short EAF, last revised February 8, 2017. (11 copies).
- Site Plan Completeness Certification Form, February 8, 2017. (11 copies)
- Drawing EO1 Photometric Plan. (5 copies)
- CD containing pdfs of submitted plans and documents. (1 copy)

Items Previously Submitted on January 11, 2017:

- Disclosure Addendum Statement.
- Deed for property.

Please place the project on the agenda for the February 22, 2017 Planning Board meeting for discussion with the Board.

Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:



Jeffrey J. Contelmo, PE
Senior Principal Engineer

JJC/dlm

Enclosures

cc: Robert Farrier, w/enclosures
Fred Koelsch, w/enclosures

Insite File No. 15130.100



TOWN OF CARMEL SITE PLAN APPLICATION



Per Town of Carmel Code – Section 156 - Zoning

SITE IDENTIFICATION INFORMATION		
Application Name: Amended Site Plan for PCSB/Mahopac Branch	Application # 17-0002	Date Submitted: 2/8/17
Site Address: No. 150 Street: Route 6 Hamlet: Mahopac		
Property Location: (Identify landmarks, distance from intersections, etc.) 500' ± North of Intersection of Route 6 and Baldwin Place Road		
Town of Carmel Tax Map Designation: Section 86.11 Block 1 Lot(s) 1	Zoning Designation of Site: C/BP	
Property Deed Recorded in County Clerk's Office Date Liber 1730 Page 394	Liens, Mortgages or other Encumbrances Yes No	
Existing Easements Relating to the Site <input checked="" type="radio"/> No Yes Describe and attach copies:	Are Easements Proposed? No <input checked="" type="radio"/> Yes Describe and attach copies: Access and Utility Easement on Adjacent Lot	
Have Property Owners within a 500' Radius of the Site Been Identified? <input checked="" type="radio"/> Yes No Attached List to this Application Form		
APPLICANT/OWNER INFORMATION		
Property Owner: Baldwin Hills Realty, LLC	Phone #: 845-228-1400 Fax#: 845-228-5400	Email: crilic@comcast.net
Owners Address: No. 1699 Street: Route 6, Suite 1 Town: Carmel State NY Zip: 10512		
Applicant (If different than owner): PCSB Bank	Phone #: 845-279-7101 Fax#: 845-279-97175	Email: robertf@mypcsb.com
Applicant Address (If different than owner): No. Street: P.O. Box 417 Town: Brewster State: NY Zip: 10509		
Individual/ Firm Responsible for Preparing Site Plan: Jeffrey J. Contelmo, P.E. Insite Engineering, Surveying & Landscape Architecture, P.C.	Phone #: 845-225-9690 Fax#: 845-225-9717	Email: jcontelmo@insite-eng.com
Address: No. 3 Street: Garrett Place Town: Carmel State NY Zip: 10512		
Other Representatives:	Phone #: Fax#:	Email:
Owners Address: No. Street: Town: State: Zip:		
PROJECT DESCRIPTION		
Describe the project, proposed use and operation thereof: Proposed amendment to the previously approved site plan for the retail bank establishment on proposed 3.00 acre Lot 1 of the Baldwin Subdivision.		

TOWN OF CARMEL SITE PLAN APPLICATION


PROJECT INFORMATION			
Lot size: Acres: <u>3.00 ac ±</u> Square Feet: _____		Square footage of all existing structures (by floor): approved building currently under construction _____	
# of existing parking spaces: <u>21</u>		# of proposed parking spaces: <u>0</u>	
# of existing dwelling units: <u>0</u>		# of proposed dwelling units: <u>0</u>	
Is the site served by the following public utility infrastructure:			
<ul style="list-style-type: none"> ▪ Is project in sewer district or will private septic system(s) be installed? <u>Private Septic System</u> ▪ If yes to Sanitary Sewer answer the following: <ul style="list-style-type: none"> ▶ Does approval exist to connect to sewer main? Yes: <input type="checkbox"/> No: <input type="checkbox"/> ▶ Is this an in-district connection? _____ Out-of district connection? _____ ▶ What is the total sewer capacity at time of application? _____ ▶ What is your anticipated average and maximum daily flow _____ 			
For Town of Carmel Town Engineer ▶ What is the sewer capacity <u>Not applicable for 2/17/17</u>			
<ul style="list-style-type: none"> ▪ Water Supply Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> Private drilled well 			
If Yes: ▶ Does approval exist to connect to water main? Yes: <input type="checkbox"/> No: <input type="checkbox"/> } NOT Applied ▶ What is the total water capacity at time of application? _____ ▶ What is your anticipated average and maximum daily demand _____			
<ul style="list-style-type: none"> ▪ Storm Sewer Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> ▪ Electric Service Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> ▪ Gas Service Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> • Telephone/Cable Lines Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> 			
For Town of Carmel Town Engineer Water Flows <u>NA for 2/17/17</u> Sewer Flows <u>NA for 2/17/17</u>			
Town Engineer; Date			
What is the predominant soil type(s) on the site? PnC, PnD, RdA		What is the approximate depth to water table? 2'+	
Site slope categories: 15-25% <u>25</u> % 25-35% <u>0</u> % >35% <u>0</u> %			
Estimated quantity of excavation: Cut (C.Y.) <u>4,000 c.y.</u> Fill (C.Y.) <u>2,000 c.y.</u>			
Is Blasting Proposed Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> Unknown: <input type="checkbox"/>			
Is the site located in a designated Critical Environmental Area? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Does a curb cut exist on the site? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>		Are new curb cuts proposed? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
What is the sight distance? Left <u>7,500'</u> Right <u>7,800'</u>			
Is the site located within 500' of:			
Onto Route 6 from Access Road			
<ul style="list-style-type: none"> • The boundary of an adjoining city, town or village Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> • The boundary of a state or county park, recreation area or road right-of-way Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> • A county drainage channel line. Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> • The boundary of state or county owned land on which a building is located Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> 			

TOWN OF CARMEL SITE PLAN APPLICATION

Is the site listed on the State or Federal Register of Historic Place (or substantially contiguous) Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Is the site located in a designated floodplain? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Will the project require coverage under the Current NYSDEC Stormwater Regulations Project has coverage Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>			
Will the project require coverage under the Current NYDEP Stormwater Regulations Project has approved SWPPP Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>			
Does the site disturb more than 5,000 sq ft		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
Does the site disturb more than 1 acre		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
Does the site contain freshwater wetlands? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>			
Jurisdiction: NYCDEC: <input checked="" type="checkbox"/> Town of Carmel: <input checked="" type="checkbox"/>			
<i>If present, the wetlands must be delineated in the field by a Wetland Professional, and survey located on the Site Plan.</i>			
Are encroachments in regulated wetlands or wetland buffers proposed?		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Does this application require a referral to the Environmental Conservation Board?		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Does the site contain waterbodies, streams or watercourses? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>			
Are any encroachments, crossings or alterations proposed? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Is the site located adjacent to New York City watershed lands? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Is the project funded, partially or in total, by grants or loans from a public source? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Will municipal or private solid waste disposal be utilized? Public: <input type="checkbox"/> Private: <input checked="" type="checkbox"/>			
Has this application been referred to the Fire Department?		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
What is the estimated time of construction for the project? Twelve Months - Project currently under construction			
ZONING COMPLIANCE INFORMATION			
Zoning Provision	Required	Existing	Proposed
Lot Area	3 ac	12.93 ac	3.00 ac
Lot Coverage		0	N/A
Lot Width	200'		51' 658'
Lot Depth	200'		209'
Front Yard	50'	N/A	67'
Side Yard	40'	N/A	65'
Rear Yard	40'	N/A	147' ±
Minimum Required Floor Area	5,000 sf	N/A	2,683 s.f. *
Floor Area Ratio		N/A	
Height	40'	N/A	<40'
Off-Street Parking	14	0	20
Off-Street Loading	1	0	1

* Variance granted for minimum floor area on August 27, 2015.

TOWN OF CARMEL SITE PLAN APPLICATION

<p>Will variances be required? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/></p> <p>Variances have been granted for:</p>	<p>If yes, identify variances: Minimum building floor area variance. Minimum lot size. Minimum lot depth.</p>
PROPOSED BUILDING MATERIALS	
Foundation	Concrete
Structural System	
Roof	Architectural Asphalt Shingles
Exterior Walls	Hardie Board Siding with Brick Veneer
APPLICANTS ACKNOWLEDGMENT	
<p>I hereby depose and certify that all the above statements and information, and all statements and information contained in the supporting documents and drawings attached hereto are true and correct.</p>	
<p>Robert Farrier _____ Applicants Name</p>	<p style="text-align: center;"> _____ Applicants Signature</p>
<p>Sworn before me this <u>9th</u> day of <u>January</u> 20<u>17</u></p>	
<p><i>Alicia Hansen</i> Notary Public, State of New York Reg. # 0146086470 Qualified In Dutchess County Commission Expires January 21, 20<u>19</u></p>	
<p><u>Alicia Hansen</u> Notary Public</p>	



TOWN OF CARMEL SITE PLAN COMPLETENESS CERTIFICATION FORM



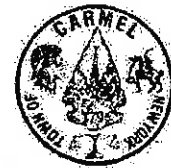
All Site Plans submitted to the Planning Board for review shall include the following information and details, as set forth in Section 156-61 B of the Town of Carmel Zoning Ordinance.

This form shall be included with the site plan submission

	Required by Ordinance	Submitted by Applicant
1	Name and title of person preparing the site plan	<input checked="" type="checkbox"/>
2	Name of the applicant and owner (if different from applicant)	<input checked="" type="checkbox"/>
3	Original drawing date, revision dates, scale and north arrow	<input checked="" type="checkbox"/>
4	Tax map, block and lot number(s), zoning district	<input checked="" type="checkbox"/>
5	All existing property lines, name of owner of each property within a 500' radius of the site	<input checked="" type="checkbox"/>
6	Contour lines at two-foot intervals, grades of all roads, driveways, sanitary and storm sewers	<input checked="" type="checkbox"/>
7	The location of all water bodies, streams, watercourses, wetland areas, wooded areas, rights-of-way, streets, roads, highways, railroads, buildings, structures	<input checked="" type="checkbox"/>
8	The location of all existing and proposed easements	<input checked="" type="checkbox"/>
9	The location of all existing and proposed structures, their use, setback dimensions, floor plans, front, side and rear elevations, buildable area.	<input checked="" type="checkbox"/>
10	On site circulation systems, access, egress ways and service roads, emergency service access and traffic mitigation measures	<input checked="" type="checkbox"/>
11	Sidewalks, paths and other means of pedestrian circulation	<input checked="" type="checkbox"/>
12	On-site parking and loading spaces and travel aisles with dimensions	<input checked="" type="checkbox"/>
13	The location, height and type of exterior lighting fixtures	<input checked="" type="checkbox"/>
14	Proposed signage	<input checked="" type="checkbox"/>
15	For non-residential uses, an estimate of the number of employees who will be using the site, description of the operation, types of products sold, types of machinery and equipment used	<input checked="" type="checkbox"/>



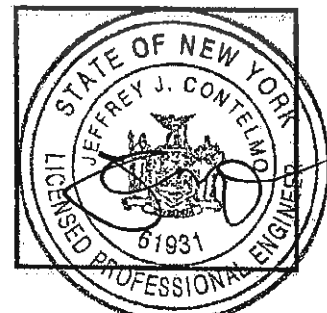
TOWN OF CARMEL SITE PLAN COMPLETENESS CERTIFICATION FORM



Requirements		To Be Completed By The Applicant	
16	The location of clubhouses, swimming pools, open spaces, parks or other recreational areas, and identification of who is responsible for maintenance	N/A <input type="checkbox"/>	<input type="checkbox"/>
17	The location and design of buffer areas, screening or other landscaping, including grading and water management. A comprehensive landscaping plan in accordance with the Tree Conservation Law	<input checked="" type="checkbox"/>	<input type="checkbox"/>
18	The location of public and private utilities, maintenance responsibilities, trash and garbage areas	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19	A list, certified by the Town Assessor, of all property owners within 500 feet of the site boundary	<input checked="" type="checkbox"/> To Be Provided Later	<input type="checkbox"/>
20	Any other information required by the Planning Board which is reasonably necessary to ascertain compliance with this chapter	<input checked="" type="checkbox"/> To Be Determined	<input type="checkbox"/>

Applicants Certification (to be completed by the licensed professional preparing the site plan:

I Jeffrey J. Contelmo, P.E. hereby certify that the site plan to which I have attached my seal and signature, meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:



Professionals Seal

Jeffrey J. Contelmo
Signature - Applicant

1/11/17
Date

Paul J. Contelmo
Signature - Owner

1-11-17
Date



TOWN OF CARMEL
SITE PLAN COMPLETENESS
CERTIFICATION FORM



Town Certification (to be completed by the Town)

I _____ hereby confirm that the site plan meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:

Rose Gonnella
Signature - Planning Board Secretary

2/17/17
Date

[Signature]
Signature - Town Engineer

2/17/17
Date

Short Environmental Assessment Form

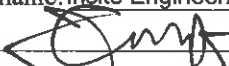
Part 1 - Project Information

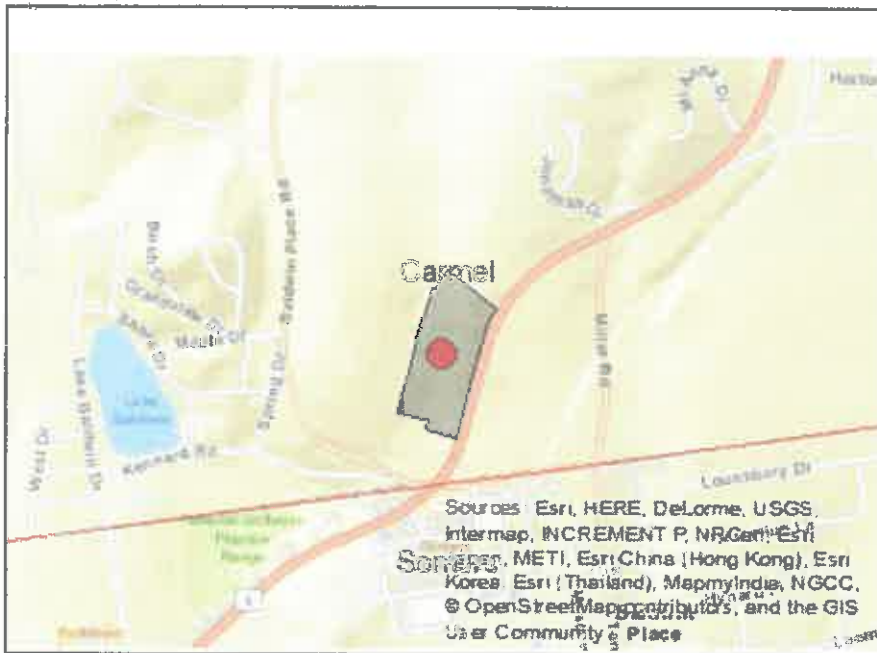
Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information							
Name of Action or Project: PCSB/Mahopac Branch - Amended Site Plan							
Project Location (describe, and attach a location map): Route 6, Town of Carmel, Putnam County - See Location Map							
Brief Description of Proposed Action: Proposed amendment to a commercial site plan on 3.0 acres in the C/BP (Commercial/Business Park) Zoning District, part of the proposed Baldwin Subdivision, 2-lot commercial subdivision.							
Name of Applicant or Sponsor: PCSB Bank		Telephone: 845-279-7101 E-Mail: robertf@mypcsb.com					
Address: P.O. Box 417							
City/PO: Brewster		State: NY	Zip Code: 10509				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; text-align: center;"> <tr> <td>NO</td> <td>YES</td> </tr> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<table border="1" style="width: 100%; text-align: center;"> <tr> <td>NO</td> <td>YES</td> </tr> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
3.a. Total acreage of the site of the proposed action?		3.0 ± acres					
b. Total acreage to be physically disturbed?		2.7 ± acres					
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		12.93 ± acres					
4. Check all land uses that occur on, adjoining and near the proposed action.							
<input type="checkbox"/> Urban <input checked="" type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland							

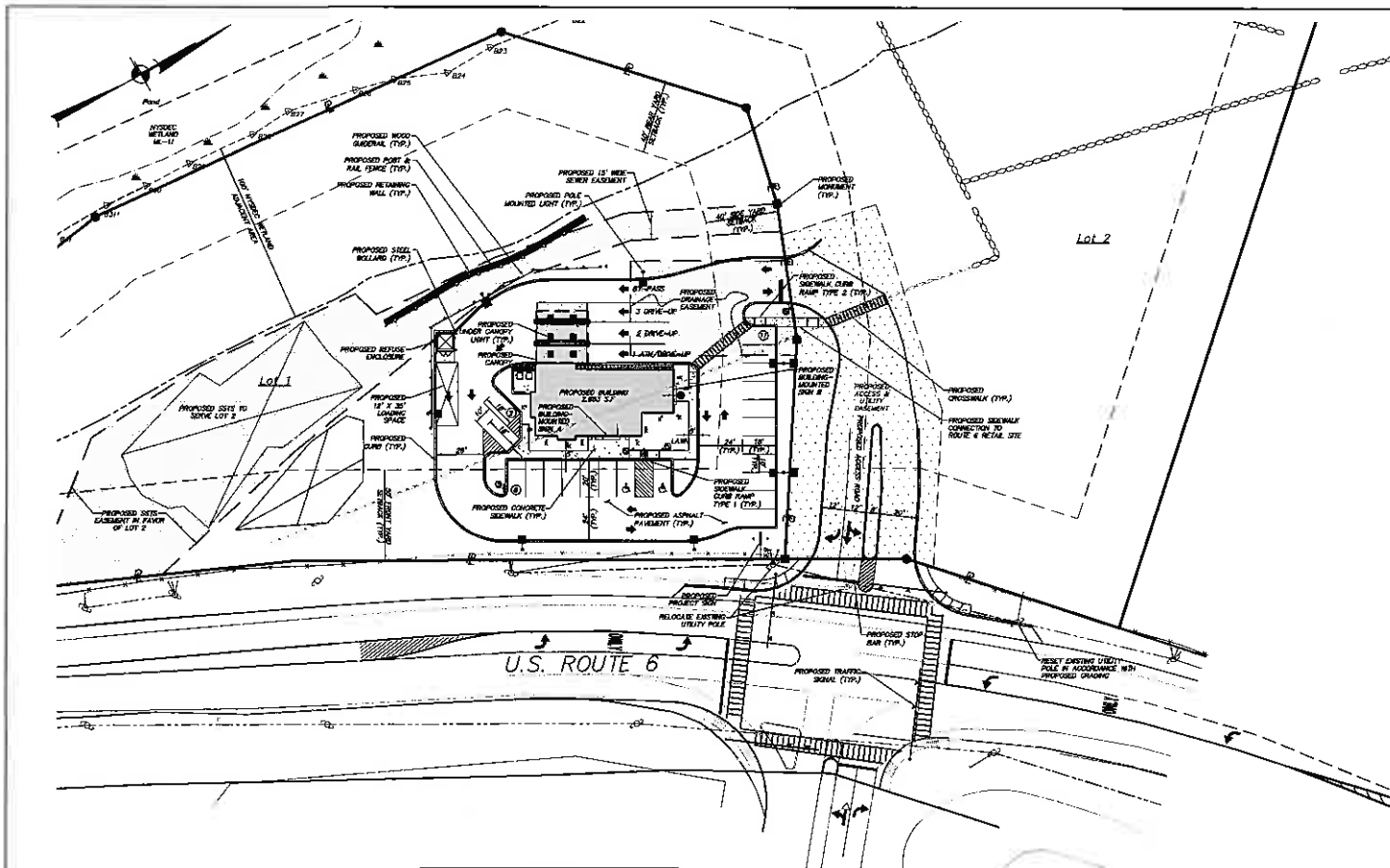
18. Does the proposed action include construction or other activities that result in the impoundment of • water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: <u>Per EAF mapper. Not on-site or adjacent to site.</u> DEC ID # 360023 in the NYSDEC Environmental Site Remediation database, is located within 2,000 feet of the project site. Periodic monitoring and Plant 1 groundwater pump and GAC treatment remedial system ongoing at Somers Commons.	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Jeffrey J. Contelmo, P.E., Project Engineer Applicant/sponsor name: <u>Insite Engineering, Surveying & Landscape Architecture, PC</u> Date: <u>January 11, 2017</u> Signature: <u></u> Revised February 8, 2017		



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Part 1 / Question 7 [Critical Environmental Area]	Yes
Part 1 / Question 7 [Critical Environmental Area - Identify]	Name:Baldwin Place Area, Reason:Difficulties w/ portable water source, Agency:Somers, Town of, Date:9-26-90
Part 1 / Question 12a [National Register of Historic Places]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes



SIGN DATA TABLE				
LOCATION	TEXT	MUTUAL	SIZE OF SIGN	DESCRIPTION
NO.		NUMBER	(F.T.)	
1		RS-10	12" x 36"	Black Background White Arrow Black Letters
2		RS-10	12" x 36"	Black Background White Arrow Black Letters
3		RS-10	30" x 30"	White on Red
4		RT-1	12" x 18"	Red on White
5		RT-2	12" x 18"	Red on White
6		RS-10	30" x 30"	White on Red

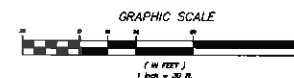
LEGEND	
	Existing Property Line
	Existing Watercourse
	Existing Wetland
	Existing Utility Pole With Overhead Wires
	Existing Edge of Pavement
	Existing White Line
	Existing Curb
	Existing Stone Wall
	Existing Stone Wall to be Removed
	Existing Fence
	Existing Fence to be Removed
	Proposed Curb
	Proposed Retaining Wall
	Proposed Concrete Wall
	Proposed Pole-mounted Area Light
	Proposed Building Mounted Light
	Proposed Under Canopy Light
	Proposed Ground Directional Light

Site Plan

Approved hereby granted this _____ day of _____
 If building permit is not issued within 15 months from the above
 date, this approval becomes null and void.

Town of Carroll Planning Board

Signed this _____ day of _____ by _____
 Chairman: _____
 Secretary: _____



NO.	DATE	REVISION	BY
10	2-8-17	SUBMISSION FOR AMENDED SITE PLAN ON 3 AC LOT	MEU
9	1-11-17	SUBMISSION FOR AMENDED SITE PLAN	CTD
8	9-28-16	REVISED PER HYCOOP COMMENTS	SJC
7	05-29-16	REVISED PER HYCOOP COMMENTS	SJC
6	04-21-16	REVISED PER HYCOOP COMMENTS	SJC
5	12-30-15	REVISED PER TOWN COMMENTS	SJC
4	11-25-15	REVISED PER TOWN COMMENTS	MEU
3	11-8-15	HYCOOP SUBMISSION	SJC
2	8-13-15	REVISED FOR 2DA SUBMISSION	DLH
1	7-29-15	REVISED PER TOWN COMMENTS	MEU

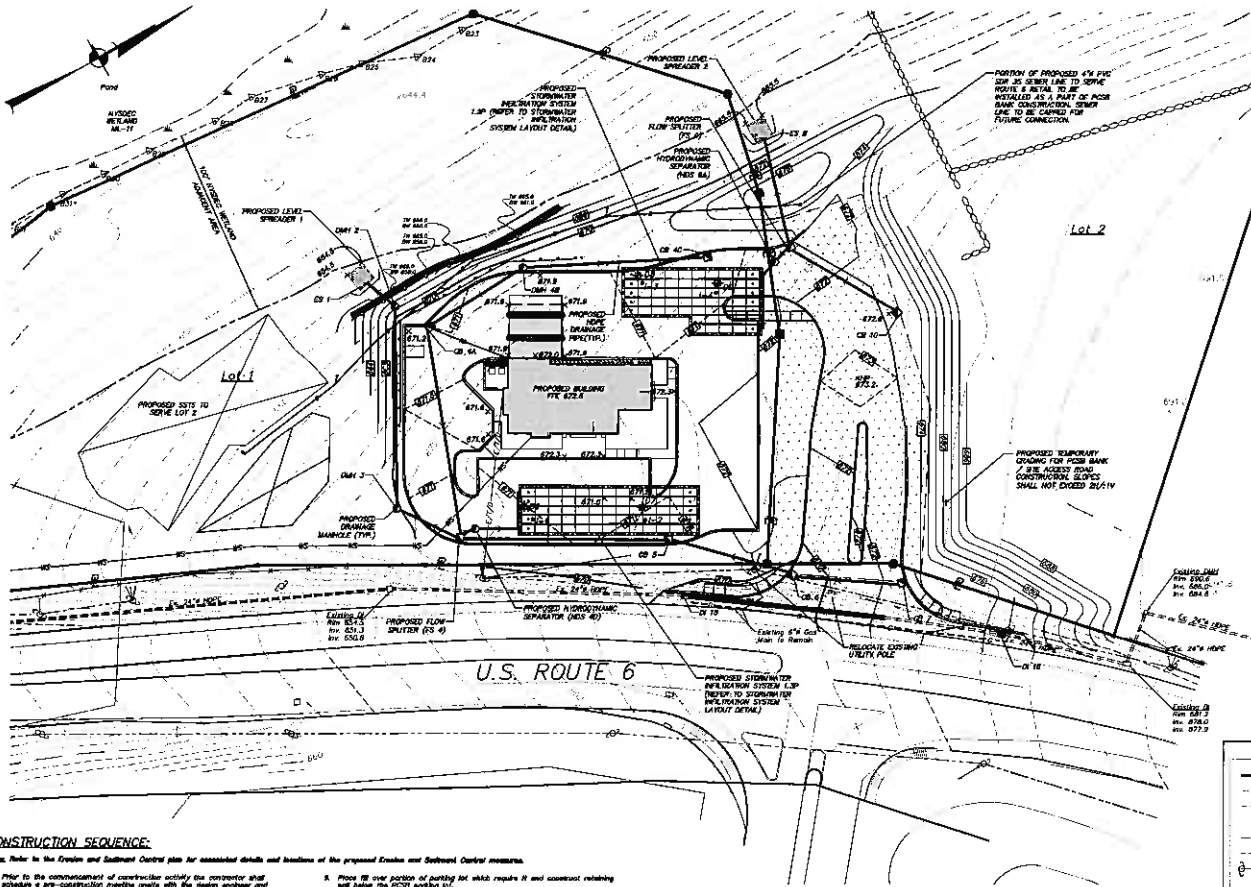
INSITE
 ENGINEERING, SURVEYING &
 LANDSCAPE ARCHITECTURE, P.C.

3 Carroll Place
 Carroll, NY 13612
 (845) 225-9890
 (845) 225-8777 Fax
 www.insite-ny.com

PROJECT:
**AMENDED SITE PLAN FOR
 PCSB/MAHOPAC BRANCH**
 180 ROUTE 6, TOWN OF CARROLL, POLK COUNTY, NEW YORK

DRAWING:
LAYOUT PLAN

PROJECT NUMBER	151302100	PROJECT MANAGER	J.J.C.	DRAWING NO.	SP-1	SHEET	2
DATE	6-24-15	DRAWN BY	M.E.U.	CHECKED BY	D.L.M.		
SCALE	1" = 30'						



CONSTRUCTION SEQUENCE:

Note: Refer to the Erosion and Sediment Control plan for associated details and locations of the proposed Erosion and Sediment Control measures.

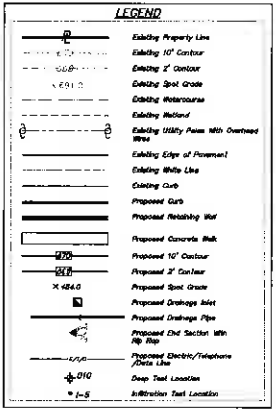
1. Prior to the commencement of construction activity, the contractor shall submit a pre-construction meeting agenda with the design engineer and representatives of the NJDEP and Town of Carmel.
2. Initial off-site and on-site construction shall be in the general locations shown on the Erosion and Sediment Control Plan. Measures shall be implemented to prevent erosion and sedimentation from the site during construction.
3. Clear and grub areas of disturbance for PCSD Base Site.
4. Coordinate with NJDEP on the retention of the existing utility pole at the proposed site entrance, and begin on-site construction activities consistent with the entrance, and begin on-site construction activities consistent with the entrance, and begin on-site construction activities consistent with the entrance.
5. Initial on-site construction shall be in the general locations shown on the Erosion and Sediment Control Plan.
6. Initial on-site construction shall be in the general locations shown on the Erosion and Sediment Control Plan.
7. Site and materials stored in locations shown on the Erosion and Sediment Control Plan, and begin on-site construction activities consistent with the entrance, and begin on-site construction activities consistent with the entrance.
8. Clear and grub areas of disturbance for PCSD Base Site.
9. Initial on-site construction shall be in the general locations shown on the Erosion and Sediment Control Plan.
10. Initial on-site construction shall be in the general locations shown on the Erosion and Sediment Control Plan.
11. Initial on-site construction shall be in the general locations shown on the Erosion and Sediment Control Plan.
12. Initial on-site construction shall be in the general locations shown on the Erosion and Sediment Control Plan.
13. Initial on-site construction shall be in the general locations shown on the Erosion and Sediment Control Plan.
14. Initial on-site construction shall be in the general locations shown on the Erosion and Sediment Control Plan.
15. Initial on-site construction shall be in the general locations shown on the Erosion and Sediment Control Plan.
16. Initial on-site construction shall be in the general locations shown on the Erosion and Sediment Control Plan.
17. Initial on-site construction shall be in the general locations shown on the Erosion and Sediment Control Plan.
18. Initial on-site construction shall be in the general locations shown on the Erosion and Sediment Control Plan.

MOISTURE TEST RESULTS

NO. / LOCATION	TEST RESULTS
1. HOLE 01: 0'-4"	TOPSOIL
2. HOLE 02: 0'-4"	TOPSOIL
3. HOLE 03: 0'-4"	TOPSOIL
4. HOLE 04: 0'-4"	TOPSOIL
5. HOLE 05: 0'-4"	TOPSOIL
6. HOLE 06: 0'-4"	TOPSOIL
7. HOLE 07: 0'-4"	TOPSOIL
8. HOLE 08: 0'-4"	TOPSOIL
9. HOLE 09: 0'-4"	TOPSOIL
10. HOLE 10: 0'-4"	TOPSOIL
11. HOLE 11: 0'-4"	TOPSOIL
12. HOLE 12: 0'-4"	TOPSOIL
13. HOLE 13: 0'-4"	TOPSOIL
14. HOLE 14: 0'-4"	TOPSOIL
15. HOLE 15: 0'-4"	TOPSOIL
16. HOLE 16: 0'-4"	TOPSOIL
17. HOLE 17: 0'-4"	TOPSOIL
18. HOLE 18: 0'-4"	TOPSOIL

INFILTRATION TEST RESULTS

NO. / LOCATION	TEST RESULTS
1. HOLE 01: 0'-4"	16.5 in./hr.
2. HOLE 02: 0'-4"	16.5 in./hr.
3. HOLE 03: 0'-4"	16.5 in./hr.
4. HOLE 04: 0'-4"	16.5 in./hr.
5. HOLE 05: 0'-4"	16.5 in./hr.
6. HOLE 06: 0'-4"	16.5 in./hr.
7. HOLE 07: 0'-4"	16.5 in./hr.
8. HOLE 08: 0'-4"	16.5 in./hr.
9. HOLE 09: 0'-4"	16.5 in./hr.
10. HOLE 10: 0'-4"	16.5 in./hr.
11. HOLE 11: 0'-4"	16.5 in./hr.
12. HOLE 12: 0'-4"	16.5 in./hr.
13. HOLE 13: 0'-4"	16.5 in./hr.
14. HOLE 14: 0'-4"	16.5 in./hr.
15. HOLE 15: 0'-4"	16.5 in./hr.
16. HOLE 16: 0'-4"	16.5 in./hr.
17. HOLE 17: 0'-4"	16.5 in./hr.
18. HOLE 18: 0'-4"	16.5 in./hr.



Site Plan

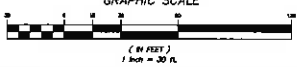
Approved hereby granted this _____ day of _____, 20____.

Signature: _____

Print Name: _____

Signature: _____

Print Name: _____



PHASE/FACILITY	MONTHLY	QUARTERLY	SEASONALLY	ANNUALLY	EVERY 5 TO 10 YEARS
INFILTRATION UNITS		Check for clogging and debris accumulation.	Impact & clean	Impact, clean, repair and/or replace.	Check for clogging and debris accumulation.
STORMWATER COLLECTION SYSTEMS			Impact & clean	Impact, clean, repair and/or replace.	Check for clogging and debris accumulation.
DRYING BASINS / DRAINAGE MANHOLES			Impact & clean	Impact, clean, repair and/or replace.	Check for clogging and debris accumulation.
LEVEL SPREADERS (LINE SPREADER 1, LEVEL SPREADER 2)		Check for any debris or obstructions. Check for damaged stones.	Impact & clean	Impact, clean, repair and/or replace.	Check for clogging and debris accumulation.
HYDROLOGICAL SEPARATORS (CB 18, CB 19)				Impact, clean, repair and/or replace.	Check for clogging and debris accumulation.

NOTE: The party responsible for implementation of the maintenance schedule during the construction phase shall be the contractor.

Design: J.M. Realty, LLC
 Civil: J.M. Realty, LLC
 Survey: J.M. Realty, LLC
 Date: 10/1/2012
 or its successors in interest

STATION	BM	PCSD	PCSD SIZE	LENGTH	SLOPE
CB 1	654.5	12" HDPE	16	1.00%	
CB 2	657.0	12" HDPE	107	1.00%	
CB 3	657.0	12" HDPE	37	1.00%	
CB 4	657.0	12" HDPE	108	0.87%	
CB 5	657.0	12" HDPE	65	0.50%	
CB 6	657.0	12" HDPE	80	0.87%	
CB 7	657.0	12" HDPE	117	0.51%	
CB 8	657.0	12" HDPE	25	0.81%	
CB 9	657.0	12" HDPE	120	0.58%	
CB 10	657.0	12" HDPE	7	1.00%	
CB 11	657.0	12" HDPE	23	0.43%	
CB 12	657.0	12" HDPE	58	0.83%	
CB 13	657.0	12" HDPE	40	1.00%	
CB 14	657.0	12" HDPE	40	1.00%	
CB 15	657.0	12" HDPE	10	1.00%	
CB 16	657.0	12" HDPE	10	1.00%	
CB 17	657.0	12" HDPE	20	1.00%	
CB 18	657.0	12" HDPE	12	1.00%	
CB 19	657.0	12" HDPE	12	1.00%	
CB 20	657.0	12" HDPE	165	0.55%	

NO.	DATE	REVISION
1	10-1-12	SUBMISSION FOR AMENDED SITE PLAN ON 3 AC LOT
2	10-1-12	REVISION FOR TOWN COMMENTS
3	10-1-12	REVISION FOR TOWN COMMENTS
4	10-1-12	REVISION FOR TOWN COMMENTS
5	10-1-12	REVISION FOR TOWN COMMENTS
6	10-1-12	REVISION FOR TOWN COMMENTS
7	10-1-12	REVISION FOR TOWN COMMENTS
8	10-1-12	REVISION FOR TOWN COMMENTS
9	10-1-12	REVISION FOR TOWN COMMENTS
10	10-1-12	REVISION FOR TOWN COMMENTS
11	10-1-12	REVISION FOR TOWN COMMENTS
12	10-1-12	REVISION FOR TOWN COMMENTS
13	10-1-12	REVISION FOR TOWN COMMENTS
14	10-1-12	REVISION FOR TOWN COMMENTS
15	10-1-12	REVISION FOR TOWN COMMENTS
16	10-1-12	REVISION FOR TOWN COMMENTS
17	10-1-12	REVISION FOR TOWN COMMENTS
18	10-1-12	REVISION FOR TOWN COMMENTS
19	10-1-12	REVISION FOR TOWN COMMENTS
20	10-1-12	REVISION FOR TOWN COMMENTS

AMENDED SITE PLAN FOR PCSD/MAHOPAC BRANCH

PROJECT: 15130.100 PROJECT MANAGER: J.J.C. DRAWING NO. SP-2 SHEET 3/8

DATE: 6-24-15 CHECKED BY: M.E.C. DATE: 6-24-15

SCALE: 1" = 30'

ALLOCATION OF THIS DOCUMENT, UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VALIDATION OF THE DESIGN OF THE PROJECT AND THE DESIGNER'S LIABILITY.

Pursuant to the NYSDEC "SP025 General Permit for Stormwater Discharges from Construction Activity" (GP-0-15-002), of Stormwater Pollution Prevention Plan (SWPPP) must include erosion and sediment control practices designed in conformance with the most current version of the Technical Standards - "New York State Standards for Erosion and Sediment Control." These standards and sediment control practices are not designed in conformance with the technical standards, the owner or operator must demonstrate equivalency to the technical standards. The following text regarding SWPPP compliance is provided in accordance with Part 8.8.1(c) of General Permit GP-0-15-002:

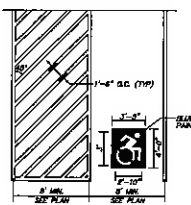
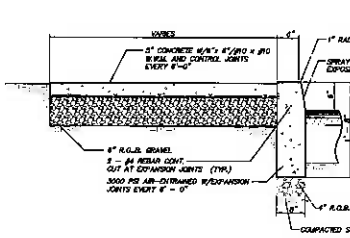
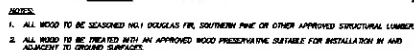
- B. Background information: The subject project consists of the construction of a new dam and passing with associated structural management, and associated water control and flood control structures.
- C. Site map / construction drawing: These plans serve to satisfy the SWPPP requirement.
- D. Description of the site present or the site shall exist located within the project limits of delineation (see Attachment A, Figure 1) as follows: (1) (R&B) and (Meadow Run (RM)), as identified on the SW Conservation Service District map. These sites (see plans) lie to the hydrologic SW of Group "C" and "D".
- E. Construction phasing plan / sequence of operations: The Construction Phasing Plan (see Attachment A, Figure 2) shows three distinct phases: A. Construction Site/Access and B. Construction of the Dam and C. Construction of the Reservoir. The Construction Phasing Plan also includes a description of the construction methods and equipment to be used. The Construction Phasing Plan also includes a description of the construction methods and equipment to be used. The Construction Phasing Plan also includes a description of the construction methods and equipment to be used.
- F. Description of erosion and sediment control practices: This plan, and details / notes show how erosion will be safely SWPPP requirement.
- G. Technical drawings: The Construction Phasing Plan (see Attachment A, Figure 2) includes a description of the construction methods and equipment to be used. The Construction Phasing Plan also includes a description of the construction methods and equipment to be used. The Construction Phasing Plan also includes a description of the construction methods and equipment to be used.
- H. Site map / construction drawing: This plan serves to satisfy the SWPPP requirement.
- I. The plans, material specifications, installation details, and operation and maintenance requirements for all erosion and sediment control practices are included in the Construction Phasing Plan (see Attachment A, Figure 2) and the Construction Phasing Plan (see Attachment A, Figure 2).
- J. An erosion control inspection is to be performed twice weekly and by a qualified professional as required by the OSHA Permit.
- K. The Construction Phasing Plan (see Attachment A, Figure 2) includes a description of the construction methods and equipment to be used. The Construction Phasing Plan also includes a description of the construction methods and equipment to be used. The Construction Phasing Plan also includes a description of the construction methods and equipment to be used.
- L. A description of pollution prevention measures that will be used to control all construction chemicals and construction debris is present as follows: The Construction Phasing Plan (see Attachment A, Figure 2) includes a description of the construction methods and equipment to be used. The Construction Phasing Plan also includes a description of the construction methods and equipment to be used. The Construction Phasing Plan also includes a description of the construction methods and equipment to be used.
- M. A description of the construction methods and equipment to be used is present as follows: The Construction Phasing Plan (see Attachment A, Figure 2) includes a description of the construction methods and equipment to be used. The Construction Phasing Plan also includes a description of the construction methods and equipment to be used. The Construction Phasing Plan also includes a description of the construction methods and equipment to be used.
- N. A description of the construction methods and equipment to be used is present as follows: The Construction Phasing Plan (see Attachment A, Figure 2) includes a description of the construction methods and equipment to be used. The Construction Phasing Plan also includes a description of the construction methods and equipment to be used. The Construction Phasing Plan also includes a description of the construction methods and equipment to be used.
- O. A description of the construction methods and equipment to be used is present as follows: The Construction Phasing Plan (see Attachment A, Figure 2) includes a description of the construction methods and equipment to be used. The Construction Phasing Plan also includes a description of the construction methods and equipment to be used. The Construction Phasing Plan also includes a description of the construction methods and equipment to be used.
- P. A description of the construction methods and equipment to be used is present as follows: The Construction Phasing Plan (see Attachment A, Figure 2) includes a description of the construction methods and equipment to be used. The Construction Phasing Plan also includes a description of the construction methods and equipment to be used. The Construction Phasing Plan also includes a description of the construction methods and equipment to be used.
- Q. A description of the construction methods and equipment to be used is present as follows: The Construction Phasing Plan (see Attachment A, Figure 2) includes a description of the construction methods and equipment to be used. The Construction Phasing Plan also includes a description of the construction methods and equipment to be used. The Construction Phasing Plan also includes a description of the construction methods and equipment to be used.
- R. A description of the construction methods and equipment to be used is present as follows: The Construction Phasing Plan (see Attachment A, Figure 2) includes a description of the construction methods and equipment to be used. The Construction Phasing Plan also includes a description of the construction methods and equipment to be used. The Construction Phasing Plan also includes a description of the construction methods and equipment to be used.
- S. A description of the construction methods and equipment to be used is present as follows: The Construction Phasing Plan (see Attachment A, Figure 2) includes a description of the construction methods and equipment to be used. The Construction Phasing Plan also includes a description of the construction methods and equipment to be used. The Construction Phasing Plan also includes a description of the construction methods and equipment to be used.
- T. A description of the construction methods and equipment to be used is present as follows: The Construction Phasing Plan (see Attachment A, Figure 2) includes a description of the construction methods and equipment to be used. The Construction Phasing Plan also includes a description of the construction methods and equipment to be used. The Construction Phasing Plan also includes a description of the construction methods and equipment to be used.
- U. A description of the construction methods and equipment to be used is present as follows: The Construction Phasing Plan (see Attachment A, Figure 2) includes a description of the construction methods and equipment to be used. The Construction Phasing Plan also includes a description of the construction methods and equipment to be used. The Construction Phasing Plan also includes a description of the construction methods and equipment to be used.
- V. A description of the construction methods and equipment to be used is present as follows: The Construction Phasing Plan (see Attachment A, Figure 2) includes a description of the construction methods and equipment to be used. The Construction Phasing Plan also includes a description of the construction methods and equipment to be used. The Construction Phasing Plan also includes a description of the construction methods and equipment to be used.
- W. A description of the construction methods and equipment to be used is present as follows: The Construction Phasing Plan (see Attachment A, Figure 2) includes a description of the construction methods and equipment to be used. The Construction Phasing Plan also includes a description of the construction methods and equipment to be used. The Construction Phasing Plan also includes a description of the construction methods and equipment to be used.
- X. A description of the construction methods and equipment to be used is present as follows: The Construction Phasing Plan (see Attachment A, Figure 2) includes a description of the construction methods and equipment to be used. The Construction Phasing Plan also includes a description of the construction methods and equipment to be used. The Construction Phasing Plan also includes a description of the construction methods and equipment to be used.
- Y. A description of the construction methods and equipment to be used is present as follows: The Construction Phasing Plan (see Attachment A, Figure 2) includes a description of the construction methods and equipment to be used. The Construction Phasing Plan also includes a description of the construction methods and equipment to be used. The Construction Phasing Plan also includes a description of the construction methods and equipment to be used.
- Z. A description of the construction methods and equipment to be used is present as follows: The Construction Phasing Plan (see Attachment A, Figure 2) includes a description of the construction methods and equipment to be used. The Construction Phasing Plan also includes a description of the construction methods and equipment to be used. The Construction Phasing Plan also includes a description of the construction methods and equipment to be used.

¹ *Argument in the Supreme Federal Court, Brazil, for the Constitutionality of the*

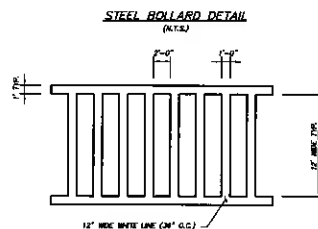
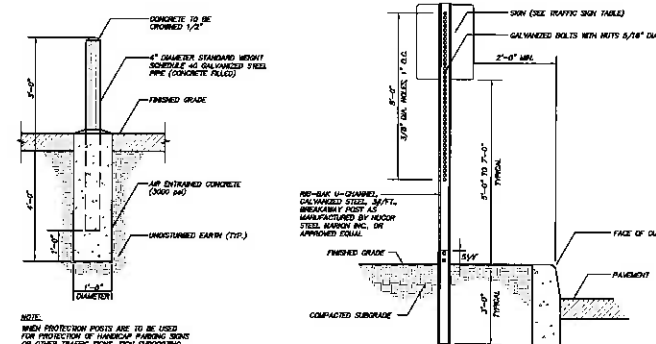
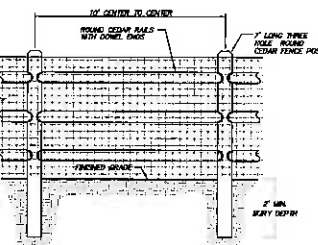
- [illegible]

1. The Erosion and Sediment Control Plan is only to be referred to for the installation of erosion and sediment control measures. For all other construction related activities, including, but not limited to, grading and utilities, refer to the appropriate drawings.
2. Each contractor or subcontractor responsible for not disturbance shall have a NYSDEC trained contractor onsite during any disturbing activities. The NYSDEC trained contractor will be responsible to comply with the stormwater pollution prevention plan and for the implementation of the erosion and sediment control measures. The contractor shall be on site prior to and during construction. The NYSDEC trained contractor shall sign a permit to disturb.

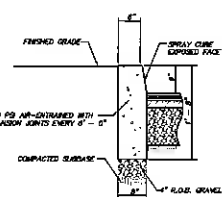
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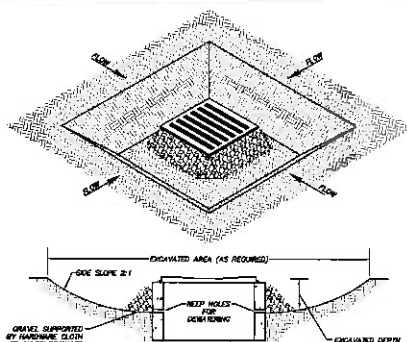


(10) *the* *book* *that* *John* *likes* *is* *on* *the* *table*

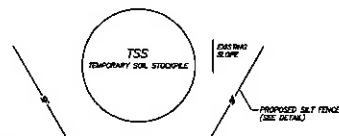


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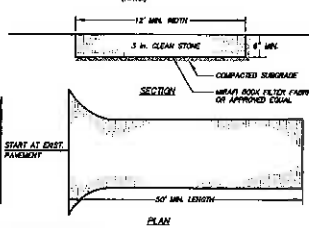


EXCAVATED DROP INLET PROTECTION DETAIL (N.T.S.)



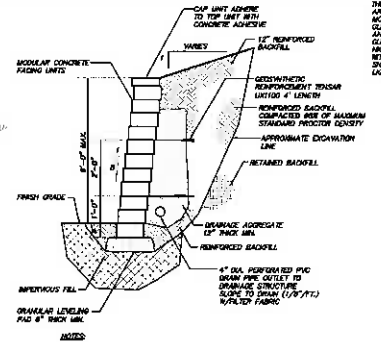
- NOTES:
1. AREA CHOSEN FOR STOOPPILE LOCATION SHALL BE DRY AND STABLE.
 2. MAXIMUM SLOPE OF STOOPPILE SHALL BE 2:1.
 3. UPON COMPLETION OF SIDE STOOPPILE, EACH PILE SHALL BE IMMEDIATELY COVERED WITH 10" FILLING, FULL FILLING.
 4. ALL STOOPPILES SHALL BE PROTECTED WITH SILT FENCING INSTALLED ON THE DOWNWIND SIDE.

TEMPORARY SOIL STOOPPILE DETAIL (N.T.S.)

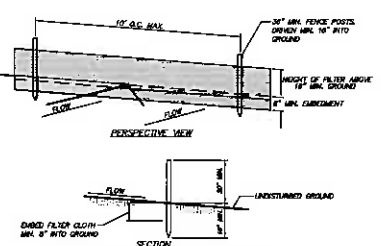


- INSTALLATION NOTES:
1. STONE SIZE - USE 3" STONE.
 2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 30 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
 3. THICKNESS - NOT LESS THAN 24" (6" INCHES).
 4. WIDTH - 12 FEET MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE ROADS OR EASEMENTS OCCUR.
 5. FILTER CLOTH - WILL BE PLACED OVER THE DRAINAGE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH SHALL NOT BE REUSED ON A SINGLE FAMILY RESIDENCE LOT.
 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DRIFTING TOWARD EXCAVATED AREA SHALL BE DIVERTED AWAY FROM THE EXCAVATED AREA. IF POSSIBLE, THE EXCAVATED AREA SHALL BE COVERED WITH A PERMEABLE SURFACE.
 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRAFFIC OF CLOSING OF STREETS OR PUBLIC RIGHT OF WAY. THE ONLY REASON FOR CLOSING OF STREETS OR PUBLIC RIGHT OF WAY SHALL BE FOR THE PURPOSE OF CONSTRUCTION. ALL STREETS SHALL BE KEPT OPEN AT ALL TIMES. ANY TRAFFIC OF CLOSING OF STREETS OR PUBLIC RIGHT OF WAY MUST BE NOTICED IMMEDIATELY.
 8. WARNING - SIGNS SHALL BE PLACED TO ADVISE TRAFFIC OF THE EXCAVATED AREA. SIGNS SHALL BE PLACED ON BOTH SIDES OF THE EXCAVATED AREA. SIGNS SHALL BE PLACED ON BOTH SIDES OF THE EXCAVATED AREA. SIGNS SHALL BE PLACED ON BOTH SIDES OF THE EXCAVATED AREA.
 9. FINISHING - FINISHING AND REPAIRS SHALL BE PROVIDED AFTER EACH PHASE.

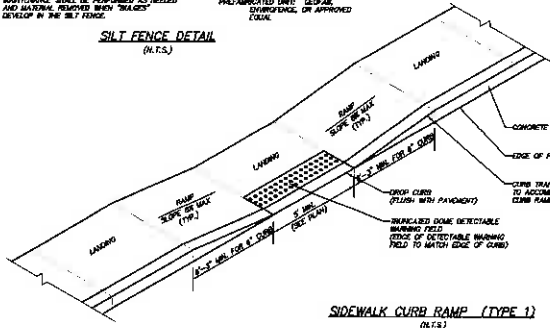
STABILIZED CONSTRUCTION ENTRANCE DETAIL (N.T.S.)



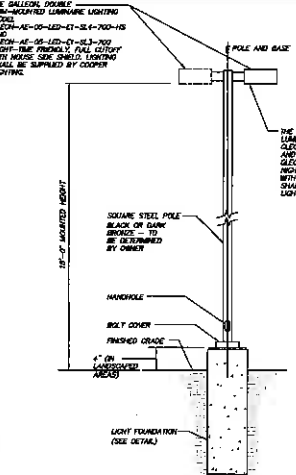
MODULAR BLOCK RETAINING WALL DETAIL (N.T.S.)



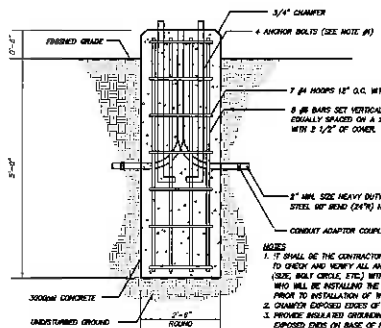
SILT FENCE DETAIL (N.T.S.)



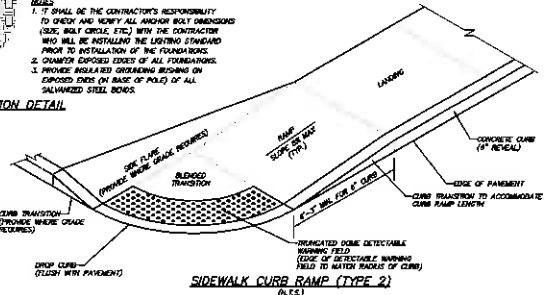
SIDEWALK CURB RAMP (TYPE 1) (N.T.S.)



POLE-MOUNTED LIGHTING DETAIL (N.T.S.)



LIGHTING FOUNDATION DETAIL (N.T.S.)



SIDEWALK CURB RAMP (TYPE 2) (N.T.S.)

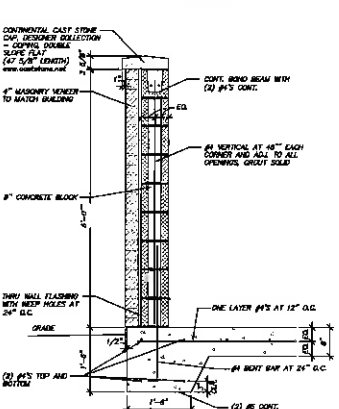
Site Plan

Approved hereby granted this _____ day of _____, 20____, if building permit is not issued within 12 months from the above date, this approval becomes null and void.

Signed this _____ day of _____, 20____, by _____, Town of Cornell Planning Board

Chairman: _____

Secretary: _____



DUMPESTER ENCLOSURE DETAIL (N.T.S.)

10	2-6-17	SUBMISSION FOR AMENDED SITE PLAN ON 3 AC. LOT	ME
9	1-11-17	SUBMISSION FOR AMENDED SITE PLAN	CT
8	8-3-16	REVISED PER HYDRO COMMENTS	DAV
7	10-26-16	REVISED PER HYDRO COMMENTS	DAV
6	10-26-16	REVISED PER HYDRO COMMENTS	DAV
5	12-30-15	REVISED PER TOWN COMMENTS	DAV
4	11-25-15	REVISED PER TOWN COMMENTS	ME
3	11-5-15	HYDRO SUBMISSION	SLT
2	6-13-15	REVISED FOR ZBA SUBMISSION	CLM
1	7-29-15	REVISED PER TOWN COMMENTS	ME
NO.	DATE	REVISION	BY

IN SITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

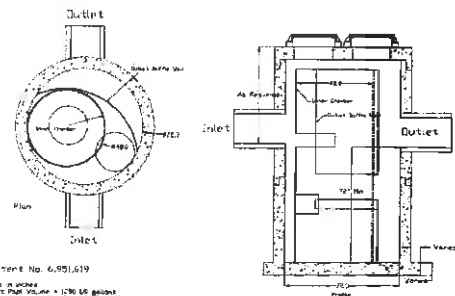
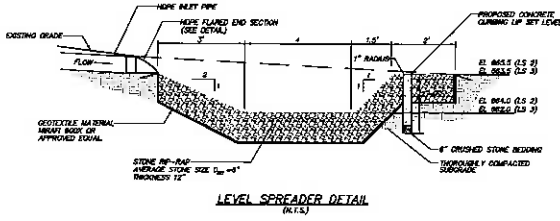
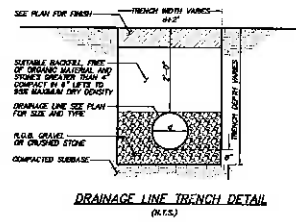
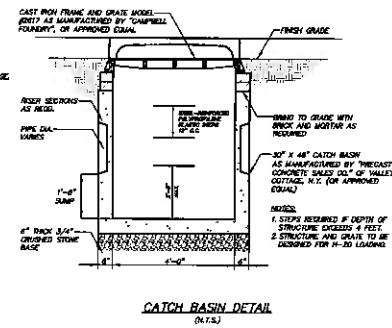
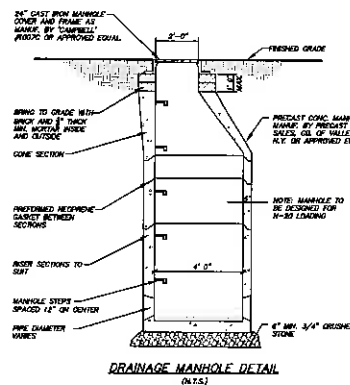
PROJECT: AMENDED SITE PLAN FOR PCOR/MAHOPAC BRANCH

DRAWING: SITE DETAILS

PROJECT NUMBER: 15130100 PROJECT NUMBER: J.L.C. DRAWING NO.: D-2 SHEET: 7/8

DATE: 6-24-15 M.E.V. D.L.M.

SCALE: AS SHOWN



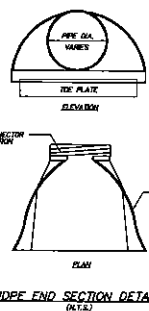
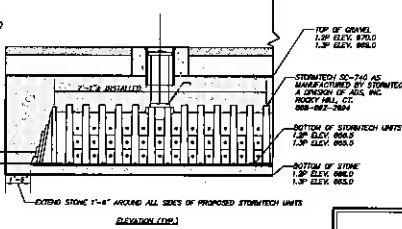
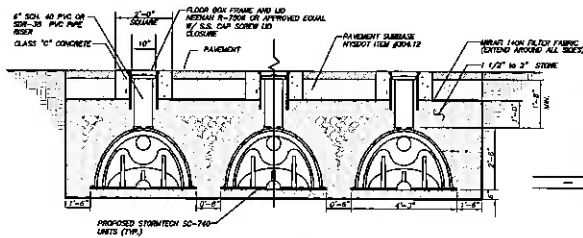
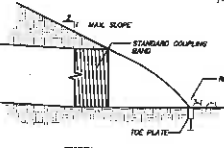
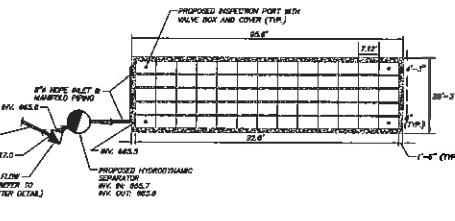
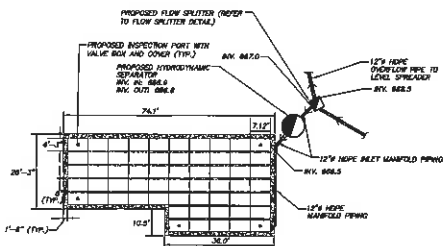
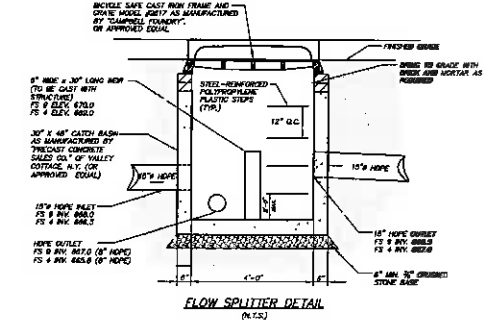
U.S. Patent No. 6,951,619

Dimensions in inches

Hydroguard HC-6 Separator

The Hydroguard HC-6 Separator is a device for separating oil and debris from wastewater. It is designed to be installed in a trench and to be used in conjunction with a flow splitter. The separator is made of high-strength plastic and is designed to be used in conjunction with a flow splitter. The separator is designed to be used in conjunction with a flow splitter.

HYDROGUARD HC-6 HYDRODYNAMIC SEPARATOR (HDS 40 & HDS 9A) (N.T.S.)



NOTE: 1. REFER TO STORMWATER INFILTRATION SYSTEM LAYOUT DETAIL FOR NUMBER OF UNITS PER ROW AND LAYOUT DIMENSIONS AND INSPECTION POINT LOCATIONS

STORMWATER INFILTRATION SYSTEM (NYSDEC DESIGN 1-1) SYSTEM DETAIL (N.T.S.)

Site Plan

Approved hereby granted this _____ day of _____, 20____

(If building project is not located within 12 months from the above date, this approval becomes null and void.)

Town of Carmel Planning Board

Signed this _____ day of _____, 20____

Chairman

Secretary

1	2-3-17	SUBMISSION FOR AMENDED SITE PLAN FOR 3 A.C. LOT	MEU
2	3-1-17	SUBMISSION FOR AMENDED SITE PLAN	CTD
3	8-11-18	REVISED PER HYDRO COMMENTS	ALD
4	05-26-18	REVISED PER HYDRO COMMENTS	ALD
5	04-21-18	REVISED PER HYDRO COMMENTS	SJC
6	12-20-18	REVISED PER TOWN COMMENTS	SJC
7	11-20-18	REVISED PER TOWN COMMENTS	MEU
NO.	DATE	REVISION	BY

INSITE

ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

3 Carroll Place
Carmel, NY 12032
(518) 226-8888
(518) 226-8889
www.insite-ny.com

PROJECT:

AMENDED SITE PLAN FOR
PCSB/MAHOPAC BRANCH

DRAWING:

SITE DETAILS

PROJECT NUMBER: 15130100

DATE: 11-5-18

SCALE: AS SHOWN

PROJECT MANAGER: J.J.C.

DESIGNER: M.E.U.

CHECKED: D.L.M.

DRAWING NO.: D-3

SHEET: 8/8

Baldwin Subdivision

TOWN OF CARMEL SUBDIVISION APPLICATION INSTRUCTIONS



The Town of Carmel Planning Board meetings are held twice a month, on the second and fourth Wednesday's, at 7:00 PM at Carmel Town Hall, 60 McAlpin Avenue, Carmel

The submission deadline is 10 days prior to the Planning Board meeting. New subdivision applications that have been deemed complete will be placed on the agenda in the order they are received.

Pre-Submission:

Prior to the formal submission of the subdivision, a pre-submission conference may be requested by the applicant to be conducted with representatives from the Town, which may include the Town Planner, Town Engineer, Director of Code Enforcement, Planning Board Attorney. This conference will serve to educate the applicant on the process he/she must follow, clarify the information required to submit a complete subdivision application, and to highlight any specific areas of concern. You may arrange a pre-submission conference through the Planning Board Secretary at (845) 628-1500.

Submission Requirements:

At least 10 days prior to the Planning Board meeting, the subdivision application shall be submitted to the Planning Board Secretary as follows:

All subdivisions shall be signed, sealed and folded with the title box legible. The application package shall include:

- ☒ 11 copies of the Subdivision Application Form signed and notarized.
- ☒ 11 copies of the SEQR Environmental Assessment Form (use of short form or long form shall be determined at pre-submission conference).
- ☒ 5 full size sets of the Subdivision Plan
- ☒ 1 CD (in pdf. format) containing an electronic version of the Subdivision Plan
- ☒ 2 copies of the Disclosure Statement
- ☐ 11 copies of the Subdivision Completeness Certification Form
- ☒ All supplemental studies, reports, plans and renderings.
- ☒ 2 copies of the current deed.
- ☒ 2 copies of all easements, covenants and restrictions.
- ☒ The appropriate fee, determined from the attached fee schedule. Make checks payable to the Town of Carmel.

Rose V. Verrill 2/17/17
Planning Board Secretary; Date

[Signature] 2/17/17
Town Engineer; Date



February 8, 2017

Town of Carmel Planning Board
60 McAlpin Avenue
Mahopac, New York 10541

RE: Baldwin Subdivision
Route 6
Tax Map Nos. 86.11-1-1

Dear Chairman Gary and Members of the Board:

The applicant seeks a revision to the previously approved 2-lot subdivision of the 12.93 acre parcel to provide a 3-acre Lot 1 and a 9.8 ac Lot 2.

Please find enclosed the following plans and documents in support of an application for a revision of the minor subdivision approval for the above referenced site:

- Sketch Subdivision Plat, last revised February 8, 2017. (5 copies)
- Subdivision Application, last revised February 8, 2017. (11 copies)
- SEQR Short EAF, dated February 8, 2017. (11 copies)
- CD containing pdfs of submitted plans and documents. (1 copy)

Items Previously Submitted on September 28, 2016:

- Subdivision Completeness Certification Form.
- Disclosure Addendum Statement.
- Deed for property.

We trust the enclosed information will be found adequate for your consideration. Please place the project on the agenda for the February 22, 2017 Planning Board meeting for discussion with the Board.

Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By: 
Jeffrey J. Contelmo, PE
Senior Principal Engineer

JJC/dim

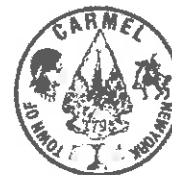
Enclosures

cc: Fred Koelsch, w/enclosures

Insite File No. 02119.100



TOWN OF CARMEL SUBDIVISION APPLICATION



Per Town of Carmel Code – Section 131 – Subdivision of Land

SITE IDENTIFICATION INFORMATION		
Application Name: Baldwin Subdivision	Application # 17-0003	Date Submitted: 2/8/17
Site Address: No. 150 Street: Route 6 Hamlet:		
Property Location: (Identify landmarks, distance from intersections, etc.) 500' ± north of intersection of Route 6 and Baldwin Place Road		
Town of Carmel Tax Map Designation: 86.6-1-4 and Section 86.11 Block 1 Lot(s) 1		Zoning Designation of Site: C/BP
Property Deed Recorded in County Clerk's Office Date Liber 1730 Page 394		Liens, Mortgages or other Encumbrances Yes No
Existing Easements Relating to the Site No Yes Describe and attach copies:		Are Easements Proposed? No <u>Yes</u> Describe and attach copies: Access and Utility Easement
Have Property Owners within a 500' Radius of the Site Been Identified? Yes No Attached List to this Application Form		
APPLICANT/OWNER INFORMATION		
Property Owner: Baldwin Hills Realty, LLC	Phone #: 845-228-1400 Fax#: 845-228-5400	Email: crilic@comcast.net
Owners Address: No. 1699 Street: Route 6, Suite 1 Town: Carmel State: NY Zip: 10512		
Applicant (if different than owner): Same as owner	Phone #: Fax#:	Email:
Applicant Address (if different than owner): No. Street: Town: State: Zip:		
Individual/ Firm Responsible for Preparing Site Plan: Jeffrey J. Contelmo, P.E. insite Engineering, Surveying & Landscape Architecture, P.C.	Phone #: 845-225-9690 Fax#: 845-225-9717	Email: jcontelmo@insite-eng.com
Address: No. 3 Street: Garrett Place Town: Carmel State: NY Zip: 10512		
Other Representatives:	Phone #: Fax#:	Email:
Owners Address: No. Street: Town: State: Zip:		
PROJECT DESCRIPTION		
Describe the project, proposed use and operation thereof: Proposed revision of the approved 2-Lot commercial subdivision of 12.93± acres in the C/BP (commercial/business park) zoning district. Lot 1: 3.0 AC ±; Lot 2: 9.93 AC ±.		

TOWN OF CARMEL SUBDIVISION APPLICATION

PROJECT INFORMATION			
Size of existing parcel to be subdivided: <div style="display: flex; justify-content: space-between;"> Acres: 12.93± Square Feet: </div>			
Major Subdivision <input type="checkbox"/>		Minor Subdivision <input checked="" type="checkbox"/>	
Number of proposed lots: 2	Size of proposed lots: Lot 1: 3.0 AC ±; Lot 2: 9.9 AC ±		
Conventional Subdivision <input type="checkbox"/>		Cluster Subdivision <input type="checkbox"/>	
Will a 10% open space set aside be provided? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>		If no, will a payment in-lieu be provided? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
Will all new lots have frontage on a mapped street? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>		If not, how will this deficiency be addressed? N/A	
Is the site served by the following public utility infrastructure:			
<div style="display: flex; justify-content: space-between;"> ▪ Sanitary Sewer Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> </div>			
<div style="display: flex; justify-content: space-between;"> If Yes: ▶ Does approval exist to connect to sewer main? Yes: <input type="checkbox"/> No: <input type="checkbox"/> ▶ Is this an in-district connection? _____ Out-of district connection? _____ ▶ What is the total sewer capacity at time of application? _____ ▶ What is your anticipated average and maximum daily flow _____ </div>			
<div style="display: flex; justify-content: space-between;"> ▪ Water Supply Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> </div>			
<div style="display: flex; justify-content: space-between;"> If Yes: ▶ Does approval exist to connect to water main? Yes: <input type="checkbox"/> No: <input type="checkbox"/> ▶ What is the total water capacity at time of application? _____ ▶ What is your anticipated average and maximum daily demand _____ </div>			
<div style="display: flex; justify-content: space-between;"> ▪ Storm Sewer Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> </div>			
<div style="display: flex; justify-content: space-between;"> ▪ Electric Service Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> </div>			
<div style="display: flex; justify-content: space-between;"> ▪ Gas Service Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> </div>			
<div style="display: flex; justify-content: space-between;"> ▪ Telephone/Cable Lines Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> </div>			
Will any common areas be created outside of individual lots (road rights-of-way, recreation areas, stormwater management areas, etc.)? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Is a homeowners association proposed? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
What is the predominant soil type(s) on the site? PnB, PnC, PnD		What is the approximate depth to water table? 2'+	
Site slope categories: 15-25% 25 % 25-35% 0 % >35% 0 %			
Estimated quantity of excavation: Cut (C.Y.) N/A Fill (C.Y.) N/A			
Is Blasting Proposed Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> Unknown: <input checked="" type="checkbox"/>			
Is the site located on a designated Critical Environmental Area? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Does a curb cut exist on the site? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>		Are new curb cuts proposed? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
What is the sight distance? To Be Determined Left >500' Right >800'			
Is the site located within 500' of:			
<div style="display: flex; justify-content: space-between;"> ▪ The boundary of an adjoining city, town or village Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> </div>			
<div style="display: flex; justify-content: space-between;"> ▪ The boundary of a state or county park, recreation area or road right-of-way Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> </div>			
<div style="display: flex; justify-content: space-between;"> ▪ A county drainage channel line. Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> </div>			

TOWN OF CARMEL SUBDIVISION APPLICATION

The boundary of state or county owned land on which a building is located Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
Is the site listed on the State or Federal Register of Historic Place (or substantially (contiguous)) Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Is the site located in a designated floodplain? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Does the site contain freshwater wetlands? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
Jurisdiction: NYCDEC: <input checked="" type="checkbox"/> Town of Carmel: <input checked="" type="checkbox"/>	
If present, the wetlands must be delineated in the field by a Wetland Professional, and survey located on the Site Plan.	
Are encroachments in regulated wetlands or wetland buffers proposed? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Does this application require a referral to the Environmental Conservation Board? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Does the site contain waterbodies, streams or watercourses? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
Are any encroachments, crossings or alterations proposed? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Is the site located adjacent to New York City watershed lands? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Will municipal or private solid waste disposal be utilized? Public: <input type="checkbox"/> Private: <input checked="" type="checkbox"/>	
Has this application been referred to the Fire Department? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
What is the estimated time of construction for the project?	

ZONING COMPLIANCE INFORMATION							
Zoning Provision	Required	Existing	Lot 1	Lot 2	Lot 3	Lot 4	Lot 5
Lot Area	3 ac	12.93 ac	3.0 ac ±	9.9 ac ±			
Lot Coverage Depth	200'		209' ±	460' ±			
Lot Width	200'		658' ±	280' ±			
Front Yard	50'		-	-			
Side Yard (minimum of 1)	40'		-	-			
Side Yard (total of both)			-	-			
Rear Yard	40'		-	-			
Habitable Floor Area	5,000 s.f.		-	-			
Height	40'		-	-			

(If more than 5 lots are proposed, include additional zoning compliance information on a separate sheet)

Will variances be required? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	If yes, identify variances required for each lot:
--	---

APPLICANTS ACKNOWLEDGEMENT	
I hereby depose and certify that all the above statements and information, and all statements and information contained in the supporting documents and drawings attached hereto are true and correct.	
Paul Camarda, Baldwin Hills Realty, LLC	
Applicants Name	Applicants Signature
Sworn before me this <u>27th</u> day of <u>September</u> 20 <u>16</u>	
 Alicia Hansen Notary Public, State of New York Reg. # 01H40086470 Qualified In Dutchess County Commission Expires January 23, 20 <u>17</u>	
Notary Public	



TOWN OF CARMEL

SUBDIVISION COMPLETENESS CERTIFICATION FORM



All Subdivisions submitted to the Planning Board for review shall include the following information and details, as set forth in Section 131-11-14 of the Town of Carmel Subdivision Regulations.

This form shall be included with the subdivision submission

Requirement Data		To Be Completed by the Applicant	Waived by the Town
General Requirements			
1	Key map at a scale of one inch equals 800 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2	Title block, including title of map; name of subdivision; name, address, seal and signature of professional engineer or land surveyor preparing the plat; written scale; date of original and all revisions.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3	A legend, including, names of all adjacent landowners and those within 500 feet of any property line; zoning district with the requirements of said zone; tax map, block and lot number; names and addresses of owner and subdivider; north point and graphic scale.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4	Location and identification of all zoning district boundaries.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5	Identification of all maps filed in the County Clerk's office affecting properties within 500 feet of the lot to be subdivided.	<input type="checkbox"/> To Be Provided Later	<input type="checkbox"/>
Stretch Plan Requirements			
1	All General Requirements	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2	Proposed subdivision layout at a scale of not less than one inch equals 100 feet.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3	All proposed lot lines, dimensions in feet and the areas of all lots in square feet and identifying numbers for each lot.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4	The location of existing and proposed setback lines, streets within 200 feet of the subdivision, buildings, watercourses, railroads and bridges, culverts, drainpipes and any natural features, such as wooded areas and rock formations.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5	Location and size of areas proposed to be reserved for recreation/open space.	<input type="checkbox"/> N/A	<input type="checkbox"/>

*show net
1" = 100'*



TOWN OF CARMEL SUBDIVISION COMPLETENESS CERTIFICATION FORM



Requirement Data		To Be Completed by the Applicant	Waived by the Town
Preliminary Plat Requirements			
1	All General and Sketch Plan Requirements	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2	The area included in the subdivision, by area of lots, roads, reservations if any, and total acreage.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3	The existing and proposed contours (at an interval of not more than two feet), suitably designated to differentiate, with proposed first-floor elevations of the buildings.	<input type="checkbox"/> *	<input type="checkbox"/>
4	Names of existing streets and proposed names of new streets.	N/A <input type="checkbox"/>	<input type="checkbox"/>
5	Preliminary profiles of all proposed roads.	<input type="checkbox"/>	<input type="checkbox"/>
6	Location, type and size of curbs, sidewalks and bikeways.	<input checked="" type="checkbox"/> *	<input type="checkbox"/>
7	For subdivisions of five or more lots, front building elevation sketches and distribution of dissimilar building types on the site to avoid excessive similarity of exterior design.	N/A <input type="checkbox"/>	<input type="checkbox"/>
8	Plans of proposed utility layouts and all facilities, unsized.	<input type="checkbox"/> *	<input type="checkbox"/>
9	The natural flow of surface drainage (indicated with arrows and the final disposal of surface waters); location of existing and proposed watercourses, culverts, bridges, drainpipes, lakes and ponds, detention or retention ponds; tentative location of storm drain inlets with the drainage areas tributary to each outlined and the area shown.	<input type="checkbox"/> *	<input type="checkbox"/>
10	Existing or proposed covenants or deed restrictions applying to the site and a preliminary draft of homeowners' association documents, if applicable.	<input type="checkbox"/> To Be Provided Later as Applicable	<input type="checkbox"/>
11	A stormwater pollution prevention plan (SWPPP) consistent with the requirements of Article X of Chapter 156 of the Code of the Town of Carmel.	<input type="checkbox"/> Refer to Individual Site Plan Applications	<input type="checkbox"/>
Final Plat Requirements			
1	All General, Sketch and Preliminary Plat Requirements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

* Refer to Individual Site Plan Applications.

Copy
Shane
be
Person
for file

only at photo



TOWN OF CARMEL SUBDIVISION COMPLETENESS CERTIFICATION FORM



Requirement Data		To Be Completed by the Applicant	Waived by the Town
2	Dimensions exactly with reference to monuments, bearings, distances in feet, radii, points of curvature and tangency of property lines, lot widths and depths and square feet of each lot.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3	Location of all proposed setback lines on each lot, with corner and irregular-shaped lots identified as to front, side and rear yards.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4	Location of all existing and proposed monuments.	<input checked="" type="checkbox"/> Proposed To Be Determined	<input type="checkbox"/>
5	All existing streets and streams within the subdivision and within 200 feet of the boundaries thereof, the width of the right-of-way of each street and existing public easements and municipal boundaries within 200 feet of the subdivision.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6	All proposed public easements or rights-of-way and the purposes thereof and proposed streets, identifying right-of-way width and names.	N/A <input type="checkbox"/>	<input type="checkbox"/>
7	All parcels proposed for open space/recreation use, with a statement of the purpose of each.	N/A <input type="checkbox"/>	<input type="checkbox"/>
8	Construction plat, which shall include, in addition to the above: final first-floor elevations of dwellings and outside grades at their corner; proposed curb elevations at all lot corners; all existing structures, including a note indicating those to be removed and yard dimensions of those to remain; plans and profiles and proposed improvements and utility layouts; paving widths and locations, section and profiles; sidewalk widths and locations and sections; road alignment, complete with stations, center line curve data and existing and finished contours of the road and all regraded areas; details of manholes, catch basins, headwalls and any other required structure; locations of all street trees, lights and signs; maximum anticipated extent of the areas of cuts and fills where grade	<input checked="" type="checkbox"/> * Refer to Individual Site Plans for Each Proposed Lot	<input type="checkbox"/>



TOWN OF CARMEL

SUBDIVISION COMPLETENESS CERTIFICATION FORM

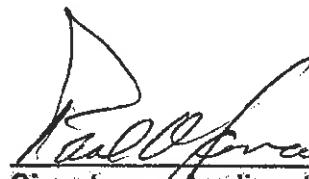


Requirement Data		To Be Completed by the Applicant	Waived by the Town
	changes are proposed; the natural flow of surface drainage and the final disposal of surface waters; slopes of banks of all watercourses, if defined, and boundaries of floodplains; specifications, locations, profiles and detailed cross sections of the proposed storm drains, including all inlets and size of the drainage area of the streets, including grades and all other improvements.		
9	Final copy of the homeowners' association documents, if applicable.	N/A <input type="checkbox"/>	<input type="checkbox"/>
10	Deeds for land to be dedicated for road widening, recreation or other purposes.	N/A <input type="checkbox"/>	<input type="checkbox"/>
11	Erosion control standards.	<input checked="" type="checkbox"/> *	<input type="checkbox"/>
12	A stormwater pollution prevention plan (SWPPP) consistent with the requirements of Article X of Chapter 156 of the Code of the Town of Carmel and with the terms of preliminary plan approval.	<input checked="" type="checkbox"/> * To Be Provided in Later Submission	<input type="checkbox"/>

* Refer to Individual Site Plans

Applicants Certification (to be completed by the licensed professional preparing the subdivision plan:

I Jeffrey J. Contelmo, P.E. hereby certify that the site plan to which I have attached my seal and signature, meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:


 Signature Applicant OWNER Date 9/27/16
 PAUL CAMARDA / BALDWIN HILLS REALTY, LLC.

Signature — Owner

Date



Professionals Seal



**TOWN OF CARMEL
SUBDIVISION COMPLETENESS
CERTIFICATION FORM**



Town Certification (to be completed by the Town)

I _____ hereby confirm that the site plan meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:

Rose Zumbly
Signature - Planning Board Secretary

2/17/17
Date

[Signature]
Signature - Town Engineer

2/17/17
Date

Short Environmental Assessment Form

Part 1 - Project Information

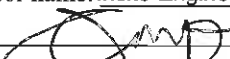
Instructions for Completing

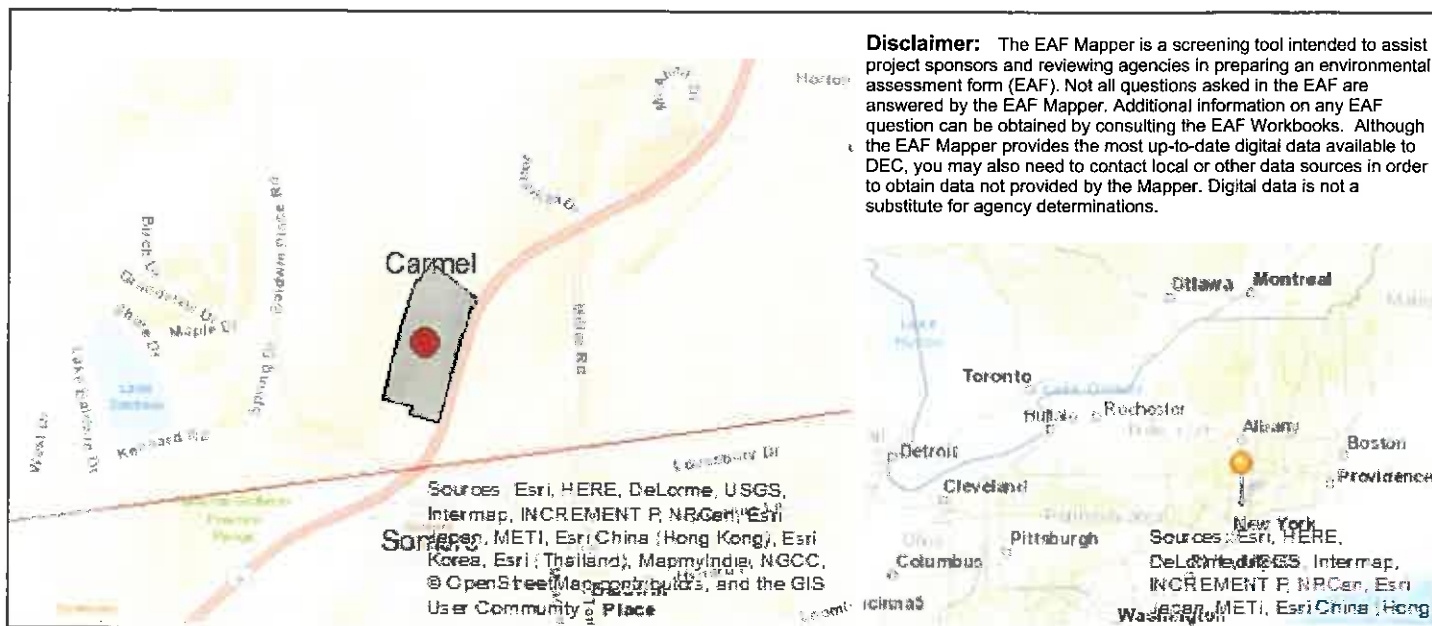
Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: Baldwin Subdivision			
Project Location (describe, and attach a location map): Route 6, Town of Carmel, Putnam County - See Location Map			
Brief Description of Proposed Action: Proposed 2-lot commercial subdivision of 12.93± acres in the C/BP (Commercial/Business Park) Zoning District with no impacts proposed: Refer to EAF's for individual commercial site plan applications for project details. Lot 1: 3.0 AC ±; Lot 2: 9.9 AC ±			
Name of Applicant or Sponsor: Baldwin Hills Realty, LLC		Telephone: 845-228-1400	
		E-Mail: crillc@comcast.net	
Address: 1699 Route 6, Suite 1			
City/PO: Carmel		State: NY	Zip Code: 10512
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/> YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO <input checked="" type="checkbox"/> YES <input type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		12.93± acres	
b. Total acreage to be physically disturbed?		0 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		12.93 ± acres	
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	N/A <input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: Name: Baldwin Place Area, Reason: Difficulties w/ portable water source, Agency: Somers, Town of, Date: 9-26-90	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies:	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: Refer to individual site plans Private well drilled on-site as part of project currently under construction under previous approval	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: refer to individual site plans Private subsurface sewage treatment system installed as part of project currently under construction under previous approval	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area? NYSOPRHP letter of no impact was previously submitted.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input checked="" type="checkbox"/> Early mid-successional <input checked="" type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: <u>Per EAF mapper. Not on-site or adjacent to site.</u>	NO	YES
DEC ID # 360023 in the NYSDEC Environmental Site Remediation database, is located within 2,000 feet of the project site. Periodic monitoring and Plant 1 groundwater pump and GAC treatment remedial system ongoing at Somers Commons.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Jeffrey J. Contelmo, P.E., Project Engineer Applicant/sponsor name: <u>Insite Engineering, Surveying & Landscape Architecture, PC</u> Date: <u>January 11, 2017</u> Signature: <u></u> Revised February 8, 2017		



Part 1 / Question 7 [Critical Environmental Area]	Yes
Part 1 / Question 7 [Critical Environmental Area - Identify]	Name:Baldwin Place Area, Reason:Difficulties w/ portable water source, Agency:Somers, Town of, Date:9-26-90
Part 1 / Question 12a [National Register of Historic Places]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes



February 7, 2017

Town of Carmel Planning Board
Carmel Town Hall
60 McAlpin Avenue
Mahopac, New York 10541

Via Email: Rose Trombetta - rtrombetta@ci.carmel.ny.us

RE: MK Realty Site Plan
U.S. Route 6 and Old Route 6
Tax Map No. 55.06-1-44 & 45

Dear Chairman Gary and Members of the Board:

The above referenced Site Plan was re-granted Site Plan Approval on March 11, 2015 and a one year extension of approval at the February 24, 2016 Planning Board meeting. Since the project was originally approved in 2006, the Bond amount was reviewed by the Board's consultants at the time of the last re-grant of approval (2015) and increased to reflect the current construction costs associated with the project. It should be noted that the applicant has kept all of the regulatory permits associated with the subject project current. Enclosed herewith please find an updated copy of the approval list for the project and showing that all permits are current and the updated expiration date for each outside agency approval.

It is respectfully requested that this project be placed on the Planning Board's next available agenda for consideration of a Re-Grant of Site Plan Approval. The \$1,500.00 fee for the re-grant of approval will be delivered to your office under separate cover.

Should you have any questions or comments regarding this information, please do not hesitate to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:


Jeffrey J. Contelmo, P.E.
President, Principal Engineer

JJC/zmp

Enclosure(s)

cc: Kevin Dwyer, Via Email: kevinbdwyer@msn.com

Insite File No. 04235.100



**MK REALTY
APPROVAL LIST
January 31, 2017**

AGENCY	APPROVAL	EXPIRATION DATE
Carmel Planning Board	Site Plan	March 11, 2017
Carmel Environmental Conservation Board	Wetland Permit	July 7, 2018
Putnam County Department of Health	Sewer	June 7, 2017
New York City Department of Environmental Protection	Sewer	March 29, 2021
New York City Department of Environmental Protection	Stormwater Pollution Prevention Plan	August 16, 2021
New York State Department of Transportation	Highway Work Permit	Transferred to the new NYSDOT Permit in May of 2015. (No Expiration Date)
New York State Department of Environmental Conservation	Stormwater Pollution Prevention Plan Coverage	General Permit Coverage obtained March 19, 2011. (No Expiration Date)



TWO MUSCOOT ROAD NORTH
MAHOPAC, NY 10541
P 845-628-6613
F 845-628-2807 e-mail: joel.greenberg@arch-visions.com

January 19, 2017

Harold Gary, Chairman and Members of the Planning Board
Town of Carmel
60 Mcalpin Avenue
Mahopac, New York 10541

Re; Wixon Pond Estates
Wixon Pond Road
T.M. # 53.20-1-19

Dear Mr. Gary and Members of the Board,

On behalf of my client, I respectfully request a six month extension of our preliminary approval. After many years, the project has finally been approved by the NYC-DEP. Our next step is to get Putnam County Health Department approval.

Thanking you in advance for your interest and cooperation in this matter. If you have any questions, please do not hesitate to contact me.

Very truly yours,

Joel Greenberg, AIA



February 8, 2017

Mr. Harold Gary, Chairman
Town of Carmel Planning Board
60 McAlpin Avenue
Mahopac, NY 10541

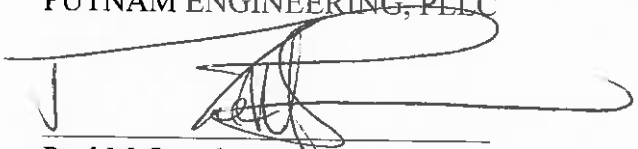
Re: Stoneleigh Woods at Carmel
Bond Return

Dear Chairman Gary and Members of the Board:

The Stoneleigh Woods at Carmel project has been completed. We request to be placed on the next available agenda so that we can start the process of having the bond released.

Sincerely,

PUTNAM ENGINEERING, PLLC



Paul M. Lynch, P.E.
PML/tal

(L01711)