HAROLD GARY Chairman

CRAIG PAEPRER Vice-Chair

BOARD MEMBERS
ANTHONY GIANNICO
DAVE FURFARO
CARL STONE
KIM KUGLER
RAYMOND COTE

TOWN OF CARMEL PLANNING BOARD



60 McAlpin Avenue Mahopac, New York 10541 Tel. (845) 628-1500 – Ext.190 www.ci.carmel.ny.us MICHAEL CARNAZZA

Director of Code

Enforcement

RICHARD FRANZETTI, P.E.

Town Engineer

PATRICK CLEARY, AICP,CEP, PP, LEED AP Town Planner

VINCENT FRANZE Architectural Consultant

PLANNING BOARD AGENDA MARCH 8, 2017

MEETING ROOM #2

TAX MAP # PUB. HEARING MAP DATE COMMENTS

SITE PLAN

1. Putnam County Savings Bank – 150 Route 6

86.11-1-1

02/08/17 Amended Site Plan

SUBDIVISION

2. Baldwin Subdivision -150 Route 6

86.11-1-1

02/08/17 Sketch Plan

MISC.

3. MK Realty - Route 6 & Old Route 6

55.6-1-44 & 45

Re-Approval of Final Site Plan

4. Wixon Pond Estates - 243 Wixon Pond Road

53.20-1-19

01/11/16 Extension of Preliminary

Subdivision Approval

5. Stoneleigh Woods at Carmel – Stoneleigh Ave

55.15-1-36,37

Bond Return

6. Minutes - 01/25/17 & 02/08/17



TOWN OF CARMEL SITE PLAN APPLICATION INSTRUCTIONS



The Town of Carmel Planning Board meetings are held twice a month, on the second and fourth Wednesday's, at 7:00 PM at Carmel Town Hall, 60 McAlpin Avenue, Carmel

The submission deadline is 10 days prior to the Planning Board meeting. New site plan applications that have been deemed complete will be placed on the agenda in the order they are received.

No application will be placed on the agenda that is incomplete

Pre-Submission:

Prior to the formal submission of the site plan, a pre-submission conference may be requested by the applicant to be conducted with representatives from the Town, which may include the Town Planner, Town Engineer, Director of Code Enforcement and/or the Planning Board Attorney. This conference will serve to educate the applicant on the process he/she must follow, clarify the information required to submit a complete site plan application, and to highlight any specific areas of concern. You may arrange a presubmission conference through the Planning Board Secretary at (845) 628-1500 extension 190.

Submission Requirements:

Planning Board Secretary; Date

At least 10 days prior to the Planning Board meeting, the site plan application shall be submitted to the Planning Board Secretary as follows:

All	site plans shall be signed, sealed and folded with the title box legible. The
ap	plication package shall include:
	11 copies of the Site Plan Application Form, signed and notarized.
V	11 copies of the SEQR Environmental Assessment Form (use of short form or
A COL	long form shall be determined at pre-submission conference).
	5 full size sets of the Site Plan (including floor plans and elevations)
回	1 CD (in pdf. format) containing an electronic version of the Site Plan
	2 copies of the Disclosure Statement
口	11 copies of the Site Plan Completeness Certification Form
10	All supplemental studies, reports, plans and renderings.
	2 copies of the current deed.
	2 copies of all easements, covenants and restrictions.
	The appropriate fee, determined from the attached fee schedule. Make checks
	payable to the Town of Carmel.
V	one mind atte 2/0/10 Republic 2/17/12



February 8, 2017

Town of Carmel Planning Board 60 McAlpin Avenue Mahopac, New York 10541

RE: PCSB Amended Site Plan

Route 6

Tax Map No. 86.11-1-1 - Proposed Lot 1

Dear Chairman Gary and Members of the Board:

Per the application previously discussed with the Board at the January 25, 2017 meeting, the applicant seeks amended site plan approval for the new 2,683 s.f. commercial building with drive-up lanes and associated parking, already under construction on Lot 1 of Baldwin Subdivision, also under review by the Board. The site plans and documents have been revised to provide a conforming 3-acre lot for the amended site plan.

Please find enclosed the following plans and documents in support of an application for amended site plan approval for the above referenced project:

- Eight (8) sheet Site Plan Set, dated February 8, 2017. (5 copies)
- Site Plan Application, February 8, 2017. (11 copies)
- SEQR Short EAF, last revised February 8, 2017. (11 copies).
- Site Plan Completeness Certification Form, February 8, 2017. (11 copies)
- Drawing EO1 Photometric Plan. (5 copies)
- CD containing pdfs of submitted plans and documents. (1 copy)

Items Previously Submitted on January 11, 2017:

- Disclosure Addendum Statement.
- Deed for property.

Please place the project on the agenda for the February 22, 2017 Planning Board meeting for discussion with the Board.

Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:

Jeffrey J. Contelmo, PE Senior Principal Engineer

JJC/dim

Enclosures

cc: Robert Farrier, w/enclosures

Fred Koelsch, w/enclosures

Insite File No. 15130.100



TOWN OF CARMEL SITE PLAN APPLICATION



Per Town of Carmel Code - Section 156 - Zoning

SITE IDENTIFICAT	TON INFO	RMATION	- San il Salad San -
Application Name:		Application #	Date Submitted:
Amended Site Plan for PCSB/Mahopac Branch		17-0002	2/8/17
Site Address: No. 150 Street: Route 6 Ha	amlet: Ma	ahopac	
Property Location: (Identify landmarks, distance from	intersectio	ns, etc.)	
500' ± North of Intersection of Route 6 and Baldwin P	Place Road	ı	
Town of Carmel Tax Map Designation: Section 86.11 Block 1 Lot(s) 1	Zoning D	esignation of Site:	
Property Deed Recorded in County Clerk's Office Date Liber 1730 Page 394	Liens, M	ortgages or other E No	ncumbrances
Existing Easements Relating to the Site	Are Ease	ments Proposed?	
(No) Yes Describe and attach copies:	No (Ye		attach copies:
		nd Utility Easement	on Adjacent Lot
Have Property Owners within a 500' Radius of the S	ite Been I	dentified?	
Yes No Attached List to this Appl			
APPLICANT/O		The second secon	
Property Owner:	Phone #:	845-228-1400	Email:
Baldwin Hills Realty, LLC Owners Address:	Fax#: 84	5-228-5400	crillc@comcast.net
1000	uni Carra		0(11)11/ =1 40540
Applicant (If different than owner):	vn: Carme		StateNY Zip: 10512
PCSB Bank	Fav# 044	845-279-7101 5-279-97175	Email:
Applicant Address (If different than owner):	1 UAT. 04:	0-2/9-9/1/0	robertf@mypcsb.com
No. Street: P.O. Box 417 Tov	vn: Brewst	er	State: NYZip: 10509
Individual/ Firm Responsible for Preparing Site		845-225-9690	Email:
Plan: Jeffrey J. Contelmo, P.E.	Fax#:		
Insite Engineering, Surveying & Landscape Architecture, P.C.	845-225-9	717	jcontelmo@insite-eng.com
Address: No. 3 Street: Garrett Place Toy	0	1	
No. 3 Street: Garrett Place Tov Other Representatives:	vn: Carme		StateNY Zip: 10512
Other Representatives.	Phone #:		Email:
Owners Address:	Fax#:		
No. Street: Tow	vn:		State: Zip:
PROJECT D			Otale. 21p.
Describe the project, proposed use and operation to			
Proposed amendment to the previously approved site plan f		hank octablishment	an proposed 2 00 core liet
1 of the Baldwin Subdivision.	or the retail	Dalik Golabilolilielit (in proposed 5.00 acre Lot
1. 27 11 - 711 -11			

TOWN OF CARMEL SITE PLAN APPLICATION

	CT INFORMATION
Lot size:	Square footage of all existing structures (by floor):
Acres: 3.00 ac ± Square Feet:	approved building currently under construction
# of existing parking spaces: 21	# of proposed parking spaces: 0
# of existing dwelling units: () Is the site served by the following public utili	# of proposed dwelling units 0
Is project in sewer district or will priv	ate septic system(s) be installed? Private Septic System
If yes to Sanitary Sewer answer the form	ollowing:
Does approval exist to	connect to sewer main? Yes: No:
Is this an in-district co	nnection? Out-of district connection?
P What is your anticipate	r capacity at time of application?ed average and maximum daily flow
I Fan Tarres of Osmark 学 だっぺっぺ	
> What is the sewer cap	acity Not applian mylyly
 Water Supply 	Yes: ☐ No: ☑ Private drilled well
➤ What is the total water ➤ What is your anticipate	connect to water main? Yes: No: No: Capacity at time of application?
Storm Sewer	Yes: ✓ No: □
Electric Service	Yes: ✓ No: □ $2/(7/(7)^3)$
■ Gas Service	Yes: V No: C
Telephone/Cable Lines	Yes: ☑ No: □
For Town of Carmel Town Engineer	
Water Flows Sewer Flows 11/13	
Town Engineer; Date	
What is the predominant soil type(s) on the	What is the approximate depth to water table?
site? PnC, PnD, RdA	2'+
Site slope categories: 15-25% 25 % Estimated quantity of excavation: Cut (C	25-35% <u>0</u> % >35% <u>0</u> %
Is Blasting Proposed Yes: □	Y.) 4 000 c v Fill (C.Y.) 2 000 c v No:
Is the site located in a designated Critical Env	
Does a curb cut exist on the Are new curb	o cuts proposed? What is the sight distance?
site? Yes: ☐ No: ✓ Yes: ✓ No: ☐	
Is the site located within 500' of:	Onto Route 6 from Access Roa
The boundary of an adjoining city, town o	
The boundary of a state or county park, re	
A county drainage channel line.	Yes: ☐ No: 🗸
The boundary of state or county owned la	nd on which a building is located Yes: ✓ No: □

TOWN OF CARMEL SITE PLAN APPLICATION

I la Alea aide di a di a di a di a			
Is the site listed on the State or Federal Register of Historic Place (or substantially contiguous) Yes: □ No: ✓			
Is the site located in a designated floo Yes; ☐ No: ✓	•		
Will the project require coverage under	er the Current NYSD	EC Stormwater Regu	lations
	t has coverage		
1 10,000	i nas coverage		Yes: ✓ No: □
ACH Alexander			
Will the project require coverage unde	er the Current NYDE	P Stormwater Regula	ntions
Project	has approved St	WPPP	
	11		Yes: ✓ No: □
Does the site disturb more than 5,000	sa ft	Yes: ✓ No: □	
	Out It	ies. V No.	
Does the site disturb more than 1 acre	;	Yes: ✓ No: 🗆	
		140.12	
Does the site contain freshwater wetla	ınds?		
Yes: ✓ No: □			
Jurisdiction:	. 🖂		
NYCDEC: Town of Carr	nel: [✓]		
If present, the wetlands must be delineat the Site Plan.	ted in the field by a v	Vetland Professional,	and survey located on
Are encroachments in regulated wetla	nds or watland buff	ore proposed? V	T V T
Does this application require a	referral to the	Environmental Yes	es: No: 🗸
Conservation Board?	10.01.01	remanorumental 162	: 🔲 No: 🗸
Does the site contain waterbodies, stre			
and the opposite water bodies, 211	eams or watercours	es? Yes: 🗸 N	o- []
		_	o: 🛘
Are any encroachments, crossings or	alterations propose	— d? Yes:□ N	
Are any encroachments, crossings or is the site located adjacent to New Yor	alterations propose	d? Yes:□ N	o: 🗸
Are any encroachments, crossings or is the site located adjacent to New Yor is the project funded, partially or in tot	alterations propose	d? Yes:□ N	o: 🗸
Are any encroachments, crossings or is the site located adjacent to New Yor is the project funded, partially or in tot Yes:	alterations propose k City watershed lan al, by grants or loan	d? Yes:□ N	o: 🗸
Are any encroachments, crossings or is the site located adjacent to New Yorks the project funded, partially or in tot Yes: No: 7 Will municipal or private solid waste di Public: Private: 7	alterations propose k City watershed land al, by grants or loand isposal be utilized?	d? Yes: ☐ Nonds? Yes: ☐ Nonds? Yes: ☐ Nonds? Nonds Public sour	o: 🗸
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Are any encroachments, crossings or Is the site located adjacent to New Yor Is the project funded, partially or in tot Yes: No: V Will municipal or private solid waste di Public: Private: V Has this application been referred to the What is the estimated time of construct Twelve Months - Project currently under Zoning Provision Lot Area Lot Coverage Lot Width Lot Depth Front Yard Side Yard Rear Yard Minimum Required Floor Area Floor Area Ratio	alterations propose k City watershed land al, by grants or loan isposal be utilized? The Fire Department? Stion for the project? Construction Required 3 ac 200' 200' 50' 40' 40' 5,000 sf	Yes: Nonds? Yes: Nonds? Yes: Nonds? Nonds. N	o:

^{*} Variance granted for minimum floor area on August 27, 2015.

TOWN OF CARMEL SITE PLAN APPLICATION

Will variances be required? Yes: ☐ No: ☑	If yes, identify variances: Minimum building floor area variance.
Variances have been granted for:	Minimum lot size.
	Minimum lot depth.
Foundation	Concrete
Structural System	
Roof	Architectural Asphalt Shingles
Exterior Walls	Hardie Board Siding with Brick Veneer
West Committee of the C	ANTIS VEXAMONALED OF VENT
I hereby depose and certify that all the information contained in the supporticorrect. Robert Farrier	s above statements and information, and all statements and ing documents and drawings attached hereto are true and
Applicants Name	Applicants Signature
Sworn before me this 9th	licia Hansen 2017
Neigra Publ	lie. State of New York
Notary Publ Reg. # Qualified to Qualified to Land Commission Exp	on HA6086470
Olara Louise Qualified!	In Dutchess County
Notary Public	ires January 21, 20 17



TOWN OF CARMEL SITE PLAN COMPLETENSS CERTIFICATION FORM



All Site Plans submitted to the Planning Board for review shall include the following information and details, as set forth in Section 156-61 B of the Town of Carmel Zoning Ordinance.

This form shall be included with the site plan submission

SSEE	Constitution of the second distance of the se	NAME AND DESCRIPTION OF THE OWNER, WHEN PERSONS AND THE OW	The Cold Chicagonian in any any and an area
	是自己文字。 在2000年	in the California sale The California sales in the California	
1	Name and title of person preparing the site plan	V	
2	Name of the applicant and owner (if different from applicant)	V	
3	Original drawing date, revision dates, scale and north arrow	V	
4	Tax map, block and lot number(s), zoning district	V	
5	All existing property lines, name of owner of each property within a 500' radius of the site	V	
6	Contour lines at two-foot intervals, grades of all roads, driveways, sanitary and storm sewers	V	J.
7	The location of all water bodies, streams, watercourses, wetland areas, wooded areas, rights-of-way, streets, roads, highways, railroads, buildings, structures	V	
8	The location of all existing and proposed easements	V	
9	The location of all existing and proposed structures, their use, setback dimensions, floor plans, front, side and rear elevations, buildable area.	V	
10	On site circulation systems, access, egress ways and service roads, emergency service access and traffic mitigation measures	V	
11	Sidewalks, paths and other means of pedestrian circulation	V	
12	On-site parking and loading spaces and travel aisles with dimensions	V	
13	The location, height and type of exterior lighting fixtures	V	
14	Proposed signage	7	
15	For non-residential uses, an estimate of the number of employees who will be using the site, description of the operation, types of products sold, types of machinery and equipment used	V	



TOWN OF CARMEL SITE PLAN COMPLETENSS CERTIFICATION FORM



	Rendremon Deva	To the Carry labels by the Continent	Maine by the
16	The location of clubhouses, swimming pools, open spaces, parks or other recreational areas, and identification of who is responsible for maintenance	N/A	
17	The location and design of buffer areas, screening or other landscaping, including grading and water management. A comprehensive landscaping plan in accordance with the Tree Conservation Law	, 🗸	
18	The location of public and private utilities, maintenance responsibilities, trash and garbage areas	Z	
19	A list, certified by the Town Assessor, of all property owners within 500 feet of the site boundary	To Be Provided Later	
20	Any other information required by the Planning Board which is reasonably necessary to ascertain compliance with this chapter	To Be Determined	

Applicants Certification (to be completed by the licensed professional preparing the site plan:

I <u>Jeffrey J. Contelmo, P.E.</u> hereby certify that the site plan to which I have attached my seal and signature, meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:

Signature - Applicant

Signature/- Owner

1/11/17

Date

FOF NEW LOOP LICENSTONE STORESTONE STORESTON

Professionals Seal



TOWN OF CARMEL SITE PLAN COMPLETENSS CERTIFICATION FORM



Town Certification (to be complete	ed by the Town)
her	reby confirm that the site plan meets all of the
requirements of §156-61B of the To	own of Carmel Zoning Ordinance:
Rose Fromlytte	2/17/12
Signature - Planning Board Secre	tary Date
BUIDA	2/17/17
Signature/ - Yown Engineer	Date

Short Environmental Assessment Form Part 1 - Project Information

Instructions for Completing

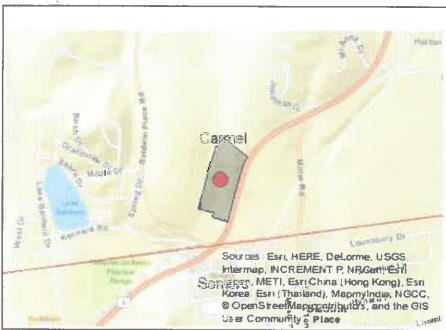
Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project:			
PCSB/Mahopac Branch - Amended Site Plan			
Project Location (describe, and attach a location map):			·
Route 6, Town of Carmel, Putnam County - See Location Map			
Brief Description of Proposed Action:			
Proposed amendment to a commercial site plan on 3.0 acres in the C/BP (Commercial/l Baldwin Subdivision, 2-lot commercial subdivision.	Business Park) Zoning District, part	of the propo	sed
Name of Applicant or Sponsor:	Telephone: 845-279-7101		
PCSB Bank	E-Mail: robertf@mypcsb.com		
Address:	Toperti@mypcsb.com		
P.O. Box 417			ļ
City/PO:	State:	Zip Code:	
Brewster		10509	
1. Does the proposed action only involve the legislative adoption of a plan, l	ocal law, ordinance,	NO	YES
administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and	#lan amerimanna autol massarra dh		
may be affected in the municipality and proceed to Part 2. If no, continue to		at 🗸	
2. Does the proposed action require a permit, approval or funding from any	other governmental Agency?	NO	YES
If Yes, list agency(s) name and permit or approval:			
3.a. Total acreage of the site of the proposed action? b. Total acreage to be physically disturbed? c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?	3.0 ± acres 2.7 ± acres 12.93 ± acres	- !	
4. Check all land uses that occur on, adjoining and near the proposed action			
☐ Urban ☑ Rural (non-agriculture) ☐ Industrial ☑ Comm		ın)	
☑Forest ☐Agriculture ☐Aquatic ☐Other	(specify):		
☐ Parkland			

5. Is the proposed action,	YES	N/A
a. A permitted use under the zoning regulations?		IVA
b. Consistent with the adopted comprehensive plan?		
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: Name:Baldwin Place Area, Reason:Difficulties w/ portable water source, Agency:Somers, Town of, Date: 26-90	9- NO	YES
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES
b. Are public transportation service(s) available at or near the site of the proposed action?		V
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		√
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies:	NO	YES
10. Will the proposed action connect to an existing public/private water supply?	NO	YES
If No, describe method for providing potable water: Private well drilled on-site as part of project currently under construction under previous approval		V
11. Will the proposed action connect to existing wastewater utilities?	NO	YES
If No, describe method for providing wastewater treatment: Private subsurface sewage treatment system installed as part of project currently under construction under previous approva	,	V
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES
b. Is the proposed action located in an archeological sensitive area? NYSOPRHP letter of no impact was previously submitted.		7
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres:	V	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that Shoreline Forest Agricultural/grasslands Early mid-successional Wetland Urban Suburban	nt apply:	<u> </u>
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed	NO	YES
by the State or Federal government as threatened or endangered?		
16. Is the project site located in the 100 year flood plain?	NO	YES
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes, a. Will storm water discharges flow to adjacent properties? NO YES		V
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: YNO YES		
stormwater runoff will be directed to approved on-site stormwater management practices		

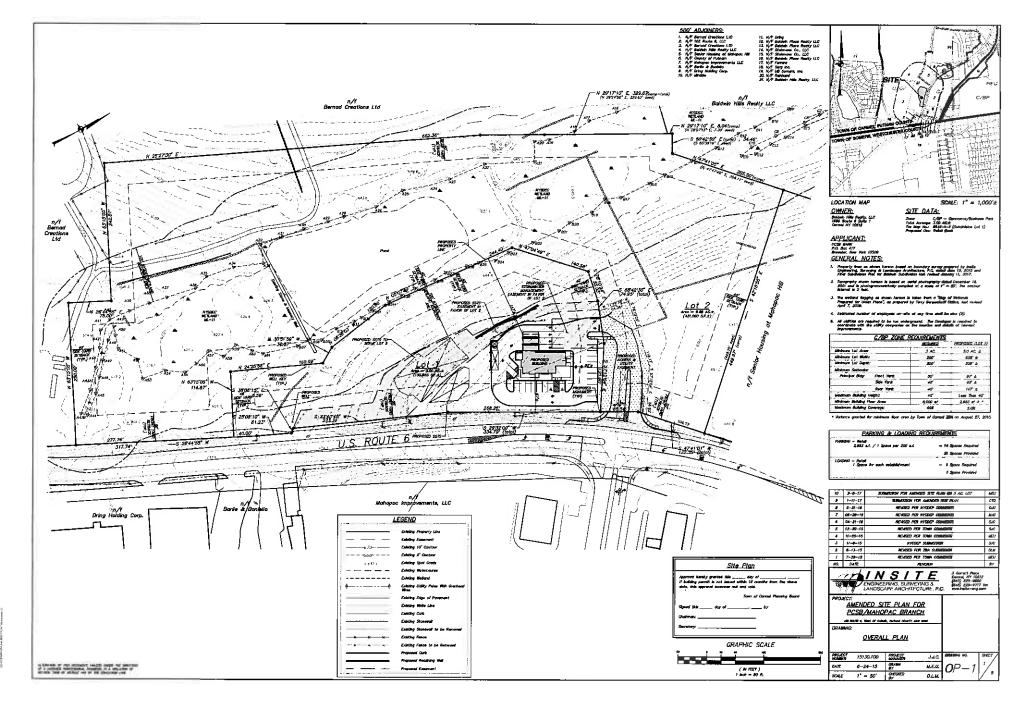
18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain purpose and size:		_
	V	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe:	\checkmark	
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or	NO	YES
completed) for hazardous waste?		
If Yes, describe: Per EAF mapper. Not on-site or adjacent to site. DEC ID # 360023 in the NYSDEC Environmental Site Remediation database, is located within 2,000 feet of the project site. Periodic monitoring and Plant 1 groundwater pump and GAC treatment remedial system ongoing at Somers Commons.		√
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE I KNOWLEDGE Jeffrey J. Contelmo, P.E., Project Engineer Applicant/sponsor name: Insite Engineering, Surveying & Landscape Architecture, PCDate: January 11, 2017		F MY
Signature: Revised February 8, 2	017	

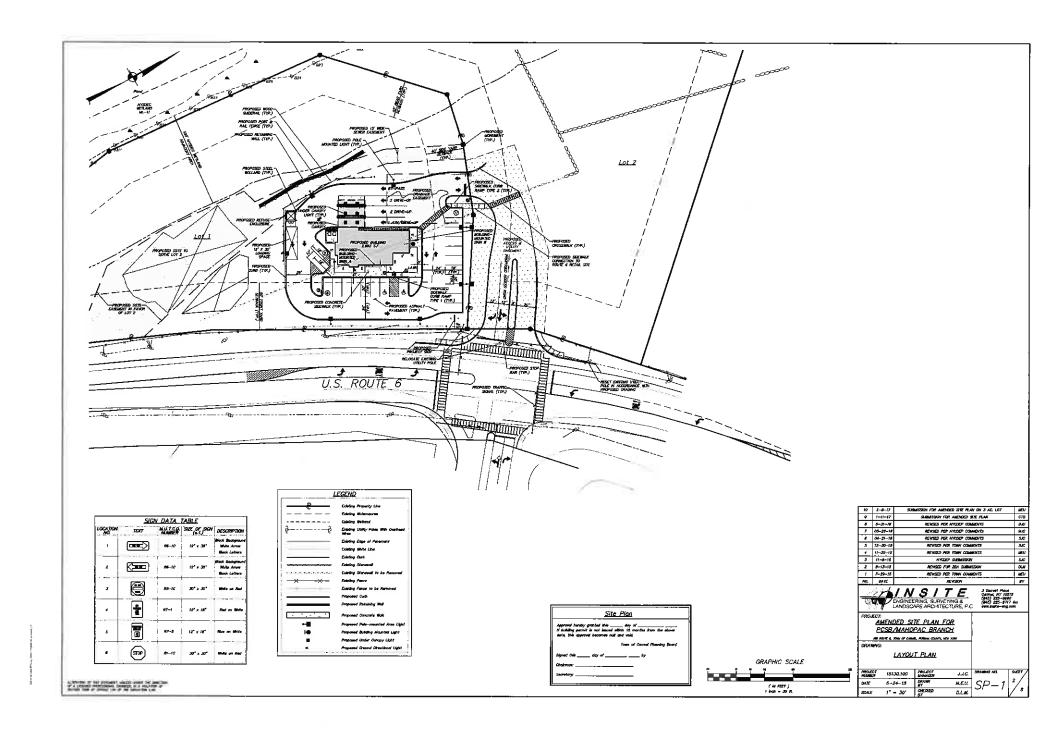


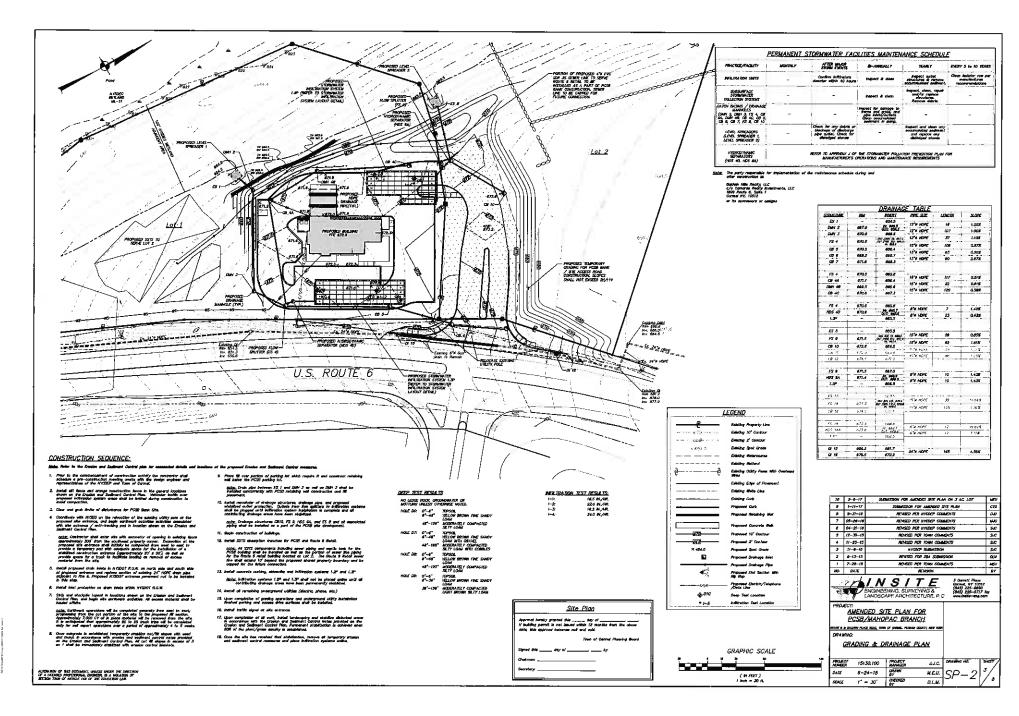
Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

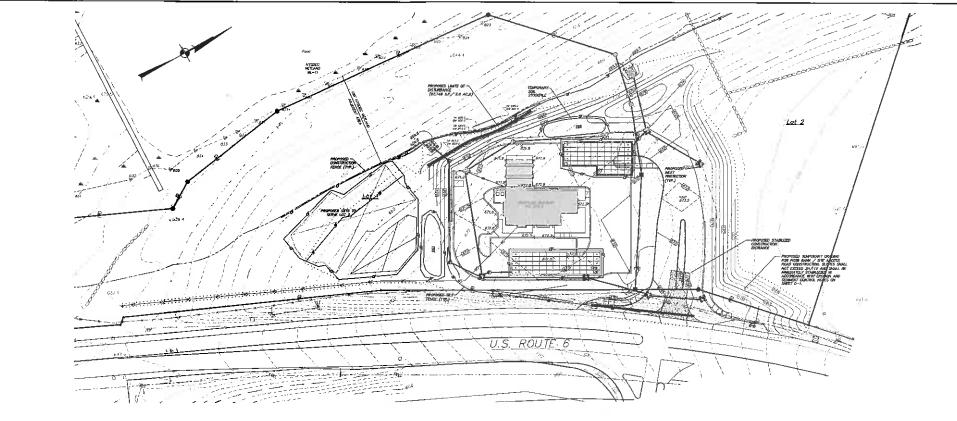


Part 1 / Question 7 [Critical Environmental Area]	Yes
Part 1 / Question 7 [Critical Environmental Area - Identify]	Name:Baldwin Place Area, Reason:Difficulties w/ portable water source, Agency:Somers, Town of, Date:9-26-90
Part 1 / Question 12a [National Register of Historic Places]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes











MONT	MARING RE	CURRENE	MAINTENANCE REQUIREMENTS		
MACRE	DALY	HELDELY	DUMMU CONSTRUCTOR	AFTION CONSTRUCTION	
SET PENCE SARRIER	-	Impact	Juspect	Clean/Replace	Леточе
STABILIZED CONSTRUCTION ENTRANCE	haped	-	hapad	Dean/Mapieca Stone and Fourit	Потоне
DUST CONTROL	impect	-	Inspect	Spraying Water	N/A
MEDITATIVE ESTABLISHENT	-	Inspect	Impact	Mariar /Research/ Restrictes	Remod to ACK Coverage
PROTECTION	-	Inspect	inspect	Gen/Repair/ Replects	Remove
SOIL STOCKPILES	-	anapeat .	Inspect	Shifahing/ SRt Fence Report	Remove
CONCRETE DRAMACE STRUCTURES	-	- Inspect	Auport	Clean Surrow Remove Debrie/ Report / Replace	Remove Debre
ORANAGE PRIES	-	Impact	ingsect	Clean/Repair	Chan/Repor
ROAD & PANEARYT	-	Aspect	impact	Clean	Clean

Parts	asent repelation is considered platitized when 80% of the plant density is established.
Erne	So existed measures what remain in place unit of disturbed gross area permanently stabilish.
Notec	The party responsible for implementation of the meintenance schedule during and effor construction in:

after coverinación les Baldeles Hills Realty, ILC c/o Comartic Realty, Invisitmente, ILC RES Reute 6, Suite 1 Comma Mr. (10512 Or Na successions or assigna

	Site Plan
Approval hereby gran. If building permit in a date, this approval b	ted this day of
	from of Carnel Marning Board
Speed \$40 de	ny of by
Скантан:	

10	2-8-17	SUBMISSION FOR AMENDED SHE PLANT ON 3 AC. LOT	100
9	1-11-17	SUBMISSION FOR AMERICAL SITE PLAN	CTG
	5-31-16	PENSED FOR INTEXES CRIMINATES	D.E.
,	Q\$-26-16	REVISED PER MYCDET CRIMINATI	1 KC
•	06-21-18	HEMISED PER HYDDEP CHIMBING	SK
,	12-30-15	MEVINIO PER TOWN COMMENTS	SAC
+	11-25-15	REVISED PER TOWN COMMENTS	MEX
3	11-0-15	NYCOOC [®] SURMISSION	Sec
2	8-13-18	ACHISED FOR 284 SUBMISSION	DC+
,	7-29-15	ACVISED ACT TOWN COMMENTS	40.
NO.	DATE:	AEVISION	BY

ENGINEERING, SURVEYING & 640) 225-010 to LANDSCAPE ARCHITECTURE, P.C.

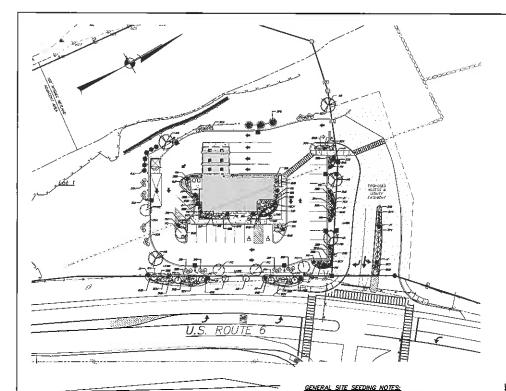
AMENDED SITE PLAN FOR PCSB/MAHOPAC BRANCH ME ROVE & THE OF CLASS, FARMS CLASS, MEN HINC

ORAMHO: EROSION & SEDIMENT CONTROL ELAN

(M FEET) 1 Inch = 30 ft.

PROJECT NUMBER	15130.100	PROJECT UNIVACES	TTC	ERMINO NO.	SHEET
DATE	6-24-15	OFFAME!	M.E.U.	SP = .3	4/
SCALE	1" = 50"	BY BY	D.L.M.	o. 0	/ 8

ALTERNATOR OF THE SCHOLARS CHEEN WE OPERATE OF A LICENSED PROFESSIONAL ENGINEER, SE A WOLARCH OF SECTION 7200 OF ARTICLE 146 OF THE EDUCATION LAN





SZZ ROOT

2.8" CH

5'-6' HT.

8'-10' HE 8 # 8

5'-6' HT. 8 4 5

#2 CONT. | 18" C.C.

18" -94" HT. | #1 CONT.

15" -18" SPR. | #2 CONT.

#2 CONT. | CONT.

16" -18" SPR. | #3 CONT.

15" -18" SPR. | #3 CONT.

- All proposed seeded cross to receive 4" min. depth of topsoil. Sel amendments and fertilizer application rates that he determined bland on secolia hardner of formal
- The graving and physicisms of logical and any required and amendments, crisis to make the self-address per develope and sanding self-amendments of forms of institute spikes to the numericalism's commonwhile often deep leaves to fill the spikes of the numericalism's commonwhile often deep leaves to fill the spikes of the numerical self-amendment of the spikes of the self-address makes, and hay as made upon selver applied at a rate of 10 the J/1000 of 10 the J/1000 of the applied and selveral according to \$10 the J/1000 of 10 the J/1000 of the applied and self-address according to \$10 the J/1000 of 20 the J/1000 of the applied and self-address according to \$10 the J/1000 of 20 the J/1000 of the applied and self-address according to \$10 the J/1000 of 20 the J/1000 of the J/1000 of the J/1000 of the J/1000 of 20 the J/1000 of the J/1000
- 3. The same motion on amounted on those disturbed on an informal.

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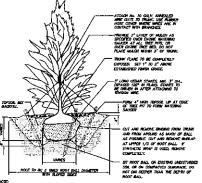
GENERAL PLANTING NOTES:

- All plantings what he hertailed per Section 142 of the Torm of Cormel Code. The section injector should be notified 10 days prior to alle preparation and fractifiction of foreigness plantings to ensure that proper processions are followed:
- All prepared plotting bads to receive a 12" min, depth of topeal. Sail amendments and furtilizer application return shall be determined based on specific tenting of lessal

- Plante shall condition with ANSI 200.1 American Standard for Harmey Stock in all ways

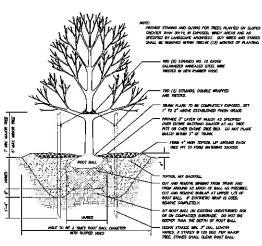
- 10. The location and injust of hindecope plants shown on the ells plan shot take precedence in any distripancials between the quantities of plants shown on the plans and the quantity of plants is the Mint Lief.
- Provide e 3' layer al abrasions both motion (or as specified) over antire vectoring sources at oil tree pits or over entire planting less. On not place mutch within 3" of tree or struck trustee.
- 12. All introducine plantings shall be moistained in a healthy condition at all times. Any deed in discount plants shall immediately be replaced "to idea" by the earliening (arting manufact period) or private count.



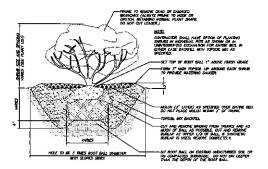


MORE: PROVIDE STANDAG AND COUNTS FOR THEES PLANTED ON SLEMES GREATER THAN 3611% IN COPUSED, RINGTY AREAS AND AS SPECIARED BY LANDSCAPE ARCHITECT. CAT RINGS AND STANDS SHALL BE REMOVED INTOHIN THE WE WASHING OF PLANTED.

EVERGREEN TREE PLANTING DETAIL



TREE PLANTING DETAIL



SHRUB PLANTING DETAIL

Site Plan Approved hereby granted this ______ day of _____ If building permit is not issued within 12 months from the above strip, this approved becomes out and wait Sum of Ownel Almoho Board

	GF	RAPHIC	SCALE	
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		(NFE		

, .	SUBMISSION FOR AMERICAN SIN PLOY OF SINCE LOT							
4	4 1-11-17 SUBMISSION FOR AMERICAD SITE PLAN							
. 3	3 5-31-18 REMISED PER HITCOUT COMMUNITS							
2	05-26-16		REVESED I	ER ANGOEP COL	MD(TS	ue.		
1	04-21-26		MEN SED I	PER ATTORNEY OUR	MONTS	S.C		
MG	04年			AEXISON		BY.		
72	74. 7	ENGINE	S / ERING, SURI APE ARCHIT		(843) 225-98 (845) 225-98 (845) 225-97 www.buile-eng	90 17 Fear		
	PCSB,	/MAHO	TE PLAN PAC BRA	NCH.				
		NDSCA	YPE PLAN					
PROJ	F07	70 400	PROFEET		DRAWING NO.	9427 /		

12-30-15 ORANN MEU SP-4 ME I" = 30" OEOED D.L.W.

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PLANT LIST

BOENHOU /COMMON HAME

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Pyrus caferyana "Chantidear" / Chantidear Pear

cedia State O'Cro' / Copery Hemmonalli Slalia (Dom' / Ogyty Haz glain Sharmoul' / Integrate Holmany Janjama procombana inno / Jaganssa Gardan Juniya Anajamaa siyihinee Tany Dal - Tang Dal Juliya Pankara visp. Sharmadodi / Sharmado Galchyroos Pinar alian sidilimmla / Bernand Sprood Oghra Samadoli Talel Haurel / Dalel Mooral Sprina

Phase atrobae / White Pitra Sentatis & PERDANALS Camuna albo "Disportiseimo" / Varingolad Red Tirig Day Consequiar west, "Moonbeam" / Moonbeam Gareapale

SHOE INCE

JC PS

REQUIRED EROSION CONTROL SWPPP CONTENTS:

Pursuant is the NTOPC "SPEE Council Princil for Stammouter Discharges from Contribution Address" (198—415—500), of Stammouter Publics Prevention Princil Princ

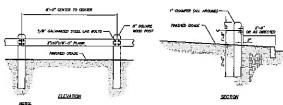
- Bookground information: The moject project consists of the construction of a new bank and partiting with onecolated atominater management, on-site applic system and diffed end.
- Site map / construction drawing: These pione series to ecilely trie SWPPP reculierment.
- c. Description of the spile present of the elber Chains adia located within the proposed limits of disturbance consist of Pacture File Sandy-Logar ((PM)) as (PM) and Replacely Logar ((PM)) and Replaced on the Soft Conservation Sandac Rich Soft Survey. These and types belong to the Hydrologic Sof Group C^{*} and Ta.*
- Constitution should plan of washingt of considers. The Constitution Sciences and Colombia State (Constitution Sciences and Constitution Sciences and Constitution and Sciences Constitution Sciences and Constitution and Sciences Constitution Sciences and Constitution Sciences and
- Description of erosion and sediment control procincer. This plan, and details / notes shown horson series to action this SWPPP regularment.
- Temperary and permanent and stabilization plan: The Sedimentation and Erasian Control Hotes and Detate provided heren identify temporary and permanent stabilization measures to be employed with respect to specific elements of the project, and at the various steppes of development.
- p. Site map / construction drawing: This pion serves to solity this SWPPP requirement.
- h. The dimensions, material specifications, installatin details, and operation and mathinance requirements for all enaism and sections control proctions. The sholids, Toreian and Sestiment County Holes, and Erosian and Sediment Control Maintenance Schedule cervs to satisfy this SMPPP Mathinant.
- I. An inspection acheckie: Inspections are to be performed twice weekly and by a qualified professional on required by the General Permit. 2019—015-002, in addition the NYSSOC Professional permit perform additional Inspections as arted in the Sedimentation and Evalor Control Materials.
- A monotonic of subsidiar primarilar miserare that of the used to contribute controlled enteriors and controlled enteriors from controlled enteriors and comparition fifther. A death such the collected under miserare flower in particular subsidiaries and supplies from the primary controlled enteriors. A supplies for considerates shall either to remove that the subsidiaries of the primary primary and controlled enterior to study. So the controlled enterior is a shall enterior primary and and subsidiaries and the subsidiaries and th
- k. A description and location of any stammenter discharges associated with inclustrial obtainy other than construction at the site. There are as its inclusival stammenter discharges present or proposed at the after.
- Membilication at any elements of the design that are not in conformance with the technical standard, Treer Trees Standards and Specificulation for Treests and Sediment Count.²⁸ All proposed elements of this SHEPP harbeen designed in occordance with the Titles York Standards and Specificalizes for Design and Sediment Courts.³⁸

REQUIRED POST—CONSTRUCTION STORMWATER MANAGEMENT PRACTICE COMPONENTS:

- Armont to the MISSET "STEES Growed Furnit for Submovine Glockregoe from Construction Artiflety" (On-On-In-COS), an construction projects meeting period on Artiflety (On-On-In-COS), an construction projects meeting for last on Artifleting providing reported it construction cold the steed structure value of the bitalized standard, then Tree Steen Strummer's Missequence George Security (Change elastyset & statisticum with 3th In-Cost ordering in the other structure of considerate and statisticum with 3th In-Cost ordering in the structure of update count considerate and statisticum with 3th In-Cost ordering in the structure of update count considerate and statistics of the In-On-In-Cost ordering in the Structure of update composers application for the In-On-In-Cost ordering in the Structure of Update composers to provide an occurrence of Part & Statistics or of Update progressive to provide an occurrence of Part & Statistics or of Update Statistics or the In-Cost of Update Statistics or the In-Cost ordering in the In-Cost order provides and In-Cost ordering in the In-Cost ordering in
- fornUncetton of all point—constitucities information prompagament provides to be associated as part of the project. This plan, and details/notes shown hamper serve to settley this SMTPT regularization.
- a. A alla map/construction drawing(a) showing the specific location and size of manpart-construction elementer remogrammic procedur. This plan, and details/hotes shown former same is multiply this SIPPP reportment.
- C. Sicromater biodiling and independancy including pre-minetispheri conditions, and continued and
- Soil teating inserts and locations. This SWPP requirement is provided in the report titled Starmwoler Pollubor Provention Prior for Route & Retail in PCSS_Histopous Branch.
- Inflitration Limiting results, This SWPPP requirement to provided in the report lith Standarder Pollution Prevention Flore for Route 8 Robel & PCSS/Addropse Bress
- In operations and molthermore plan that betaken impaction and molthermore enhanced and extract to chairs continuous and whether operating of polipour-construction intermedial monogenest practice. The plan shot identity the entity that the reasonable for the large form operation and moltiference of each provide. The Farmanest Distriction Fundation Mathematica Schools and provided as these states after Serva to making the resolutions.
- Debander Phashirian Rimmerk (Standark Repoling or September SS, 2006, del condecidos september hamilles in ham al or depende for or second in the condecidos september hamilles in hamilles and ordered and order or second in the post-condecidos sharmonin condecidos challes and second and contenuor and post-condecidos sharmonin condecidos challes a los secondos contenuor and of the challes and contenuor contenuor contenuor contenuor contenuor and the post-construction principale management protein contenuor of the Statistic and the contenuor contenuor

EROSION & SEDIMENT CONTROL NOTES:

- The Greeken and Sediment Central Man is only to be referred to for the installation of mains and sediment control measures. For all other construction related architise, including, but not striked to, growing and attition, refer to the appropriate drawing.
- 2. Each continuous or autocontractor responsible for soil disturbance shall have a NYSIXC brained contractor make during pail disturbing soil/hills. The NYSIXC brained contractor will be responsible to contract with the elementary politicity presention place and for the Implementation and manipularyous of arouting and automatic contract makes are in this pet while it is all during committeed, The NYSIXC trained contractor that may a continuous.
- 3. All construction activities braining the removal or disposition of sail are to be provided with appropriate protection moneumer to minimize straight and control authorities depending within Literatury and control and authorities control manageres shall be implemental as almost on the potest and what to installed in construction of the control of the control of the control of the control control of the control control. Send of the first and control of the control of the control control of the control control.
- Wherever Receible, natural impoletion whosel the religions and protected. Disturbance shall be minimized in the street reported to perform construction. He more than 5 once of unprotected and shall be absounded of any run time.
- A little introl is expected starting development, the appealance should be legal to the shockest procedure profession and the legal to the cases more specific 7 days after the constitution withing in their persions of this after has constant. Disturbance shall be mislectured in the create charge in a project of the preference construction.
- 4. All construction whiches shall be legal clear of the individual and reviews control or manufacture or between the prepared development. SN, force and energy construction force and the installed in the cross when the grading is in clear productly of the uniformization or mediant control case.
- The solubilitud construction entraces, set fance, and arrange constitution fence that be listedled in about on the place prior to beginning any clearing, grabbing or earthwest.
- 3. Al (optiol to be stigged from the error being developed stuff to stockplied and immediately seeded with Pylogram for immersing administration. Maker (Carlor) the shall a commercial administration of developed or Personnial Pylograms shall be used for girthy and commercial administration.
- 2. Any graded areas not adopted to further distribution or constructions tende and, within 7 Jan. of their growing, receive personance specification could be consideration with a satisfaction match. At assettin areas is received a religious form of specific form and adopted to the satisfaction match. At assetting sense is received as religious form if specific form and adopted to the satisfaction form and adopted to the satisfaction form and produced to the satisfaction of the satisfaction form and adopted to the satisfaction of the sati
- 10. Drace seed role rivey to applied by either processing or included, motivation. Seeding shell be arrivable to occurring with a committee of the committee
- Cut or III shops a larger than 3K-1V shot be arbitract immediately offer grading with Clarks I Single Net Erector Central Brainet, or approved appeal.
 Prival productive shot to head claim is at Elema.
- 13. The elle shall at all times be graded and maintained such that of economician cusoff is alverted to self-arcean and sediment control feathful.
- All sterm stratege outlets stall be elablized, as required, before the discharge points became operations.
- 15. Stormweler from disturbed arms must be passed through proping control barriers before discharge beyond disturbed arms or stack-upod into other drollings systems.
- 86. Denotes and appropriate confirm innocurate shall be imported and methodologic or a deep bank by the ATCOCO Trained Contractor to prace that the changes, becapacing and methodologic or an appropriate processor of the contractor and their district and all records and processor of the contractor and their district and the following the contractor and the contractor control measurements while be immediately repering by the contractor and important for approved by the attention and important processor.
- Gual aboil is controlled by sprinting of other sparwed methods on recovery or an directed by the trained contractor or alle engineer.
- 16. Cut and file shall not endanger adjaining property, nor direct value onto the property of others.
- At the staff be placed and acomposited in 4" lifts to provide stability of material and to provent settlement.
- The MYSDEC Prohed Contractor shall impact describes conditions for midence of sedimentation on a weekly basis and after relustration.
- As variabled by field conditions, quantif additional engine and seekment control recourses, or specified by the after engineer, the fieldener inspector, the Tom Engineer and for IntODF that the Institute in the controller.
- 22. Erostor and employer control measures shall remeit to place until all stelerhood areas are authority attailated.
- 23. After comparing of the risk inversements, the power off courses represently for modification of the crosks, perhaps the devices content one of inverseme that has colored to inverse this other contents. Each great of the course of the contents of the course of the
- Mapación of the underground infitration systems about de partomed every di montas and other large storm events.
- Refer to the Stemmeter Policiton Prevention Flan for additional details reparating langulation maintaneous of the storm drainings facilities.

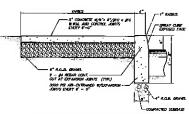


SOTES.

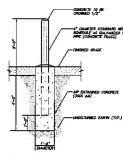
1. ALL MODO TO BE SEASCHED NO.1 DOUGLAS FIR, SOUTHERN PAIR OR OTHER APPROVED STRUCTURAL LUMBER.

2 ALL WOOD TO BE TREATED WITH AN APPROVED WOOD PRESERVATIVE SHITKEE FOR HISTALLATION IN AND ADJUSTED TO GROUND SUPPLICES.

WOOD GUIDE RAIL DETAIL (N.T.S.)

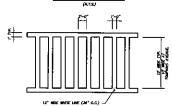


CONCRETE SIDEWALK AND CURB DETAIL



MOTE: MINN PROTECTION POSTS ARE TO BE USED FOR PROTECTION OF HANDLOW PARKING SIGNS OR OTHER TRUFFIC SIGNS, SIGN SUPPORTING

STEEL BOLLARD DETAIL



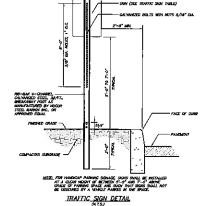
PAINTED HANDICAP PARKING DETAIL

HOTE: HISTALLATION TO CONFORM WITH CUMBERT HISDOT STANDARDS AND SPECIFICATIONS

CROSSWALK MARKING DETAIL (N.I.S.)

Site Plan

Time of Carnel Planning Sound



ASPHALT PAVEMENT DETAIL

ASPHALTIC TOP COURSE (HYSDOT ITEM #402.17)

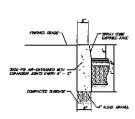
-3" ASPHALTIC BINDER GOURSE (HYSDOT HEM \$HOLLIS)

400

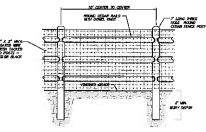
10 2-17 SUBMISSION FOR AMENDED SITE FLAN ON 3 AC. LOT # 1-61-67 SENSON FOR MENDED SITE PUNI cro 0.07 7 05-25-MILESTE BED ANOTHER COMMENTS 5.00 Ø 04-25-18 NEWSEE PER MYCDEP COMMENTS 6 12-30-15 REVESED PER TOWN COMMENTS SJC 4 11-25-15 REMISED PER TOWN COMMENTS ₩U SAC 3 11-6-13 REVISED FOR ZBA SLABASSIC DIM MEU BY 1 7-29-10 REWSED PER TOWN COMMENTS **AKMSKN**

PROBLET PLAN FOR PCS MANOPAR BRANCH

AMENDED SITE PLAN FOR
PCSB/MAHOPAC BRANCH
WE HOUR A THE OF DEELE PURSUE COUNTY TOWN
RAINING:
SITE DETAILS



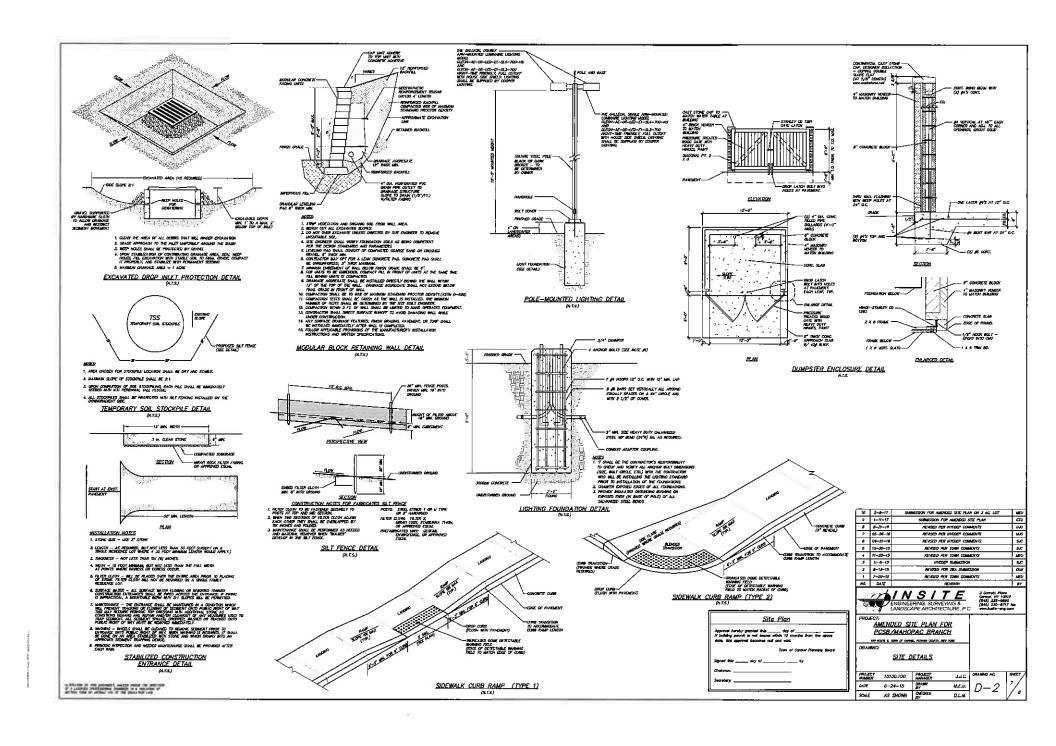
CONCRETE CURB DETAIL

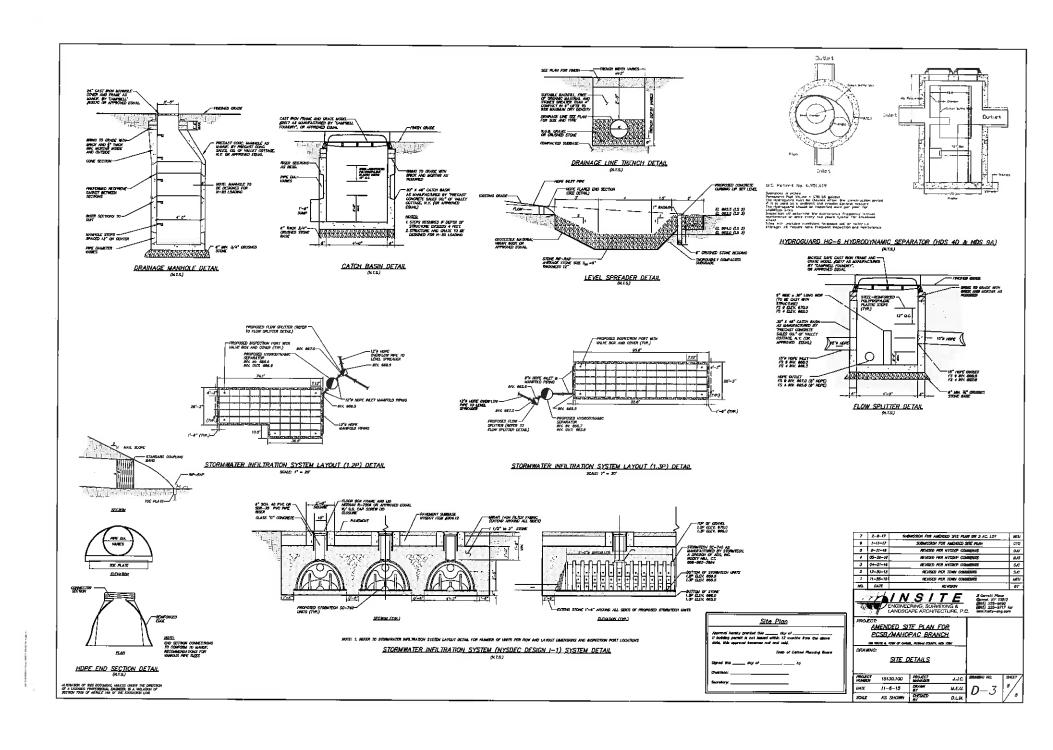


MOTE: 1. ALL HANDICAP STRPING SHALL BE 4" NEE BLUE PAINT

POST AND RAIL FENCE DETAIL

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Baldwin Subduession



SUBDIVISION APPLICATION INSTRUCTIONS



The Town of Carmel Planning Board meetings are held twice a month, on the second and fourth Wednesday's, at 7:00 PM at Carmel Town Hall, 60 McAlpin Avenue, Carmel

The submission deadline is 10 days prior to the Planning Board meeting. New subdivision applications that have been deemed complete will be placed on the agenda in the order they are received.

Pre-Submission:

Prior to the formal submission of the subdivision, a pre-submission conference may be requested by the applicant to be conducted with representatives from the Town, which may include the Town Planner, Town Engineer, Director of Code Enforcement, Planning Board Attorney. This conference will serve to educate the applicant on the process he/she must follow, clarify the information required to submit a complete subdivision application, and to highlight any specific areas of concern. You may arrange a pre-submission conference through the Planning Board Secretary at (845) 628-1500.

Submission Requirements:

At least 10 days prior to the Planning Board meeting, the subdivision application shall be submitted to the Planning Board Secretary as follows:

All subdivisions shall be signed, sealed and folded with the title box legible. The

application package shall include:
11 copies of the Subdivision Application Form signed and notarized.
11 copies of the SEQR Environmental Assessment Form (use of short form or long form shall be determined at pre-submission conference).
5 full size sets of the Subdivision Plan
1 CD (in pdf. format) containing an electronic version of the Subdivision Plan
2 copies of the Disclosure Statement
11 copies of the Subdivision Completeness Certification Form
All supplemental studies, reports, plans and renderings.
2 copies of the current deed.
2 copies of all easements, covenants and restrictions.
The appropriate fee, determined from the attached fee schedule. Make
Checks payable to the Town of Carmel.
Planning Board Secretary; Date Town Engineer: Date



February 8, 2017

Town of Carmel Planning Board 60 McAlpin Avenue Mahopac, New York 10541

RE: Baldwin Subdivision

Route 6

Tax Map Nos. 86.11-1-1

Dear Chairman Gary and Members of the Board:

The applicant seeks a revision to the previously approved 2-lot subdivision of the 12.93 acre parcel to provide a 3-acre Lot 1 and a 9.8 ac Lot 2.

Please find enclosed the following plans and documents in support of an application for a revision of the minor subdivision approval for the above referenced site:

- Sketch Subdivision Plat, last revised February 8, 2017. (5 copies)
- Subdivision Application, last revised February 8, 2017. (11 copies)
- SEQR Short EAF, dated February 8, 2017. (11 copies)
- CD containing pdfs of submitted plans and documents. (1 copy)

Items Previously Submitted on September 28, 2016:

- Subdivision Completeness Certification Form.
- Disclosure Addendum Statement.
- Deed for property.

We trust the enclosed information will be found adequate for your consideration. Please place the project on the agenda for the February 22, 2017 Planning Board meeting for discussion with the Board.

Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:

Jeffrey J. Contelino, PË Senior Principal Engineer

JJC/dlm

Enclosures

cc: Fred Koelsch, w/enclosures

Insite File No. 02119.100



TOWN OF CARMEL SUBDIVISION APPLICATION



Per Town of Carmel Code - Section 131 - Subdivision of Land

SITE IDENTIFIC	ATION INFORMATION					
Application Name:	Application #	Date Submitted:				
Baldwin Subdivision	17-0003	2/8/17				
Site Address:						
No. 150 Street: Route 6 Ha	mlet:					
Property Location: (Identify landmarks, distance from	intersections, etc.)					
500' ± north of intersection of Route 6 and Ba	aldwin Place Road					
Town of Carmel Tax Map Designation: 86.6-1-4 and	Zoning Designation of S	Site:				
Section 86.11 Block 1 Lot(s) 1	C/BP					
Property Deed Recorded in County Clerk's Office	Liens, Mortgages or oth	er Encumbrances				
Date Liber 1730 Page 394	Yes No Are Easements Propose	42				
Existing Easements Relating to the Site No Yes Describe and attach copies:		and attach copies:				
The second different copies.		·				
	Access and Utility Ea	asement				
Have Property Owners within a 500' Radius of the S Yes No Attached List to this Appli						
and the second s	OWNER INFORMATION					
Property Owner:	Phone #: 845-228-1400	Email:				
Baldwin Hills Realty, LLC	Fax#: 845-228-5400	crillc@comcast.net				
Owners Address:						
No. 1699 Street: Route 6, Suite 1 Том	m: Carmel	State: NY Zip: 10512				
Applicant (If different than owner):	Phone #:	Email:				
Same as owner	Fax#:					
Applicant Address (If different than owner): No. Street: Tow	un:	State: Zip:				
Individual/ Firm Responsible for Preparing Site	Phone #: 845-225-9690	Emaîl:				
Plan: Jeffrey J. Contelmo, P.E.	Fax#:	icentelmo@ineita.ong.com				
nsite Engineering, Surveying & Landscape Architecture, P.C.	845-225-9717	jcontelmo@insite-eng.com				
Address:		10540				
	m: Carmel	State: NY Zip: 10512				
Other Representatives:	Phone #: Fax#:	Email:				
Owners Address:	a second o					
No. Street: Tou	vn:	State: Zip:				
PROJECT DESCRIPTION						
Describe the project, proposed use and operation the	nereof:					
Proposed revision of the approved 2-Lot com	mercial subdivision of 1	2 93+ acres in the C/RP				
(commercial/business park) zoning district. Le						
(commercial backing party zorning district. Li		00 / .0 4.				

TOWN OF CARMEL SUBDIVISION APPLICATION

PROJECT INFORMATION					
Size of existing parcel to be subdivided:					
Acres: 12.93± Square					
Major Subdivision Number of proposed lots: Size of proposed lots	inor Subdivision ✓				
2 Lot 1: 3.0 AC ±; Lot 2: 9.9					
	r Subdivision				
Will a 10% open space set aside be provided? Yes: □ No: ✓	If no, will a payment in-lieu be provided? Yes: ☑ No: □				
Will all new lots have frontage on a mapped street?	If not, how will this deficiency be addressed?				
Yes: ☑ No: □					
	N/A				
Is the site served by the following public utility infrasti	ucture:				
■ Sanitary Sewer Yes: □	No: 🗸				
If Yes: ▶ Does approval exist to conn	ect to sewer main? Yes: ☐ No: ☐				
▶ Is this an in-district conne	ction? Out-of district connection?				
▶ What is the total sewer capa	city at time of application?				
▶ What is your anticipated ave	rage and maximum daily flow				
Water Supply Yes: □	No:				
If Yes: ▶ Does approval exist to connect	to water main? Yes: □ No: □				
▶ What is the total water capacity:	at time of application?				
▶ What is your anticipated average	and maximum daily demand				
Storm Sewer Yes:	o: 🛘				
■ Electric Service Yes: ✓ N	o: 🛘				
■ Gas Service Yes: 📝 N	o: 🗆				
Telephone/Cable Lines Yes: ✓	No: 🗆				
Will any common areas be created outside of in	dividual lots (road rights-of-way, recreation areas,				
stormwater management areas, etc.)?	Yes: ☐ No: ✓				
	s: 🗆 No: 🗸				
What is the predominant soil type(s) on the site? PnB, PnC, PnD	What is the approximate depth to water table? 2'+				
Site slope categories: 15-25% 25_%	25-35% n % >35% n %				
	Y.) N/A Fill (C.Y.) N/A				
Is Blasting Proposed Yes: ☐ No: ✓	Unknown: ✓				
Is the site located ion a designated Critical Environment					
	o cuts proposed? What is the sight distance? To Be Determined				
Yes: ☐ No: ✓ Yes: ✓ No: ☐	Left <u>>500'</u> Right <u>>800'</u>				
Is the site located within 500' of:	·				
 The boundary of an adjoining city, town or villa 	ge Yes: ☑ No: □				
 The boundary of a state or county park, recreat 	ìon area or road right-of-way Yes: ☑ No: ☐				
A county drainage channel line.	Yes: ☐ No: 🗸				

TOWN OF CARMEL SUBDIVISION APPLICATION

 The boundary of st 	ate or county	owned land	on which a b	ouliding is	ocated	Yes: ✓ N	₩
is the site listed on the Sta Yes: ☐ No:	te or Federal I	Register of H	istoric Place	or substa	antially (cor	ntiguous)	
Is the site located in a desi		lain?			······		
Yes: No:	7						
Does the site contain fresh		is?					
Yes: ✓ No:							
Jurisdiction:							
NYCDEC: ✓ T	own of Carme		A STATE OF	5 7. NO 2			
If present, the wetlands mus	st be delineate	d in the field	by a Wetland	d Profession	nal, and sur	vey located	on the Site
	face of manifes and		House Walley and the	and the second second	Britis	478	
Are encroachments in regu Does this application red	liateo Wetlano	is or wetland	butters pro	posed?	Yes: L	No: ✓	
Bosidis	Author Commission	a standard communication		ii Conserv	ation Yes	No.	·N
Does the site contain water	rbodies, strea	ms or waterc	ourses? Y	es: ✓	No: □		
Are any encroachments, ci	ossings or al	terations pro	posed? Y	′es: □	No: 🗸		
Is the site located adjacent	to New York	City watersho	ed lands? Y	es: 🗆	No: 🗸		
Will municipal or private so	olid waste dis	posal be utili:	zed?				
	No. 1						ļ
	vate: ✓						
Has this application been r	eferred to the	Fire Departn	nent?	∕es: 🛘	No: ✓	5 T - 17	
What is the estimated time	of construction	on for the pro	ject?	Teles of the Control of the	J. J		
			•				
	Transition (NAME OF TAXABLE PARTY.	To the second state of the second	**************************************	The same of the sa	- III - II	
	ZONI	NG COMPLIA	INCE INFOR	UNITANII			I / LD-6
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Zening Provision	Kequired	Existing	Lot 1	Lot 2	Lot 3	Lot 4	Lot 5
Lot Area	3 ac	THE RESIDENCE OF THE PARTY OF T	Lot 1	Lot 2	Lot 3	Lot 4	Lot 5
Lot Area Lot Geverage Depth	3 ac 200'	Existing	Lot 1 3,0 ac ± 20(' ±	Lot 2 9,9 ac ± 100' ±	Lot-3	Lot 4	Lor 5
Lot Geverage Depth Lot Width	3 ac 200' 200'	Existing	Lot 1	Lot 2	Lot 3	Lot 4	Lot 5
Lot Area Lot Geverage Depth Lot Width Front Yard	3 ac 200' 200' 50'	Existing	Lot 1 3,0 ac ± 20(' ±	Lot 2 9,9 ac ± 100' ±	Lot3	Lot 4	Lot 5
Lot Area Lot Governge Depth Lot Width Front Yard Side Yard (minimum of 1)	3 ac 200' 200'	Existing	Lot 1 3,0 ac ± 20(' ±	Lot 2 9.9 ac ± UpC' ± 2.8cr =	Lot 3	Lot 4	Lot 5
Lot Area Lot Geverage Depth Lot Width Front Yard	3 ac 200' 200' 50'	Existing	Lot 1 3,0 ac ± 20(' ±	Lot 2 9.9 ac ± HoC' ± 286 ± -	Lot 3	Lot 4	Lot 5
Lot Area Lot Governge Depth Lot Width Front Yard Side Yard (minimum of 1) Side Yard (total of both)	3 ac 200' 200' 50' 40'	Existing	Lot 1 3,0 ac ± 20(' ±	Lot 2 9.9 ac ± UpC' ± 2.8cr =	Lot 3	Lot 4	Lot 5
Lot Area Lot Geverage Depth Lot Width Front Yard Side Yard (minimum of 1) Side Yard (total of both) Rear Yard	3 ac 200' 200' 50' 40'	Existing	Lot 1 3,0 ac ± 20(' ±	Lot 2 9.9 ac ± HoC' ± 286 ± -	Lot 3	Lot 4	Loi 5
Lot Area Lot Geverage Depth Lot Width Front Yard Side Yard (minimum of 1) Side Yard (total of both) Rear Yard Habitable Floor Area Height (if more than 5 lots are p.	3 ac 200' 200' 50' 40' 40' 5,000 s.f. 40'	Existing 12.93 ac	Lot 1 3,0 ac ± 2 4 ' ± 658' ±	Lot 2 9.9 ac ± 19.0° ± 2.80° ± - - - - - - - - - - - - -	formation		
Lot Area Lot Geverage Depth Lot Width Front Yard Side Yard (minimum of 1) Side Yard (total of both) Rear Yard Habitable Floor Area Height (if more than 5 lots are p	3 ac 200' 200' 50' 40' 5,000 s.f. 40' 70posed, inclu	Existing 12.93 ac	Lot 1 3,0 ac ± 2 4 ' ± 658' ±	Lot 2 9.9 ac ± 19.0° ± 2.80° ± - - - - - - - - - - - - -	formation		
Lot Area Lot Geverage Depth Lot Width Front Yard Side Yard (minimum of 1) Side Yard (total of both) Rear Yard Habitable Floor Area Height (if more than 5 lots are p. Will variances be required	3 ac 200' 200' 50' 40' 40' 5,000 s.f. 40' 70pcsed, inclication	Existing 12.93 ac	Lot 1 3,0 ac ± 2 4 ' ± 658' ±	Lot 2 9.9 ac ± 19.0° ± 2.80° ± - - - - - - - - - - - - -	formation		
Lot Area Lot Geverage Depth Lot Width Front Yard Side Yard (minimum of 1) Side Yard (total of both) Rear Yard Habitable Floor Area Height (if more than 5 lots are p	3 ac 200' 200' 50' 40' 5,000 s.f. 40' 70posed, included	Existing 12.93 ac 12.93 ac vide additionantify variance	Lot 1 3.0 ac ± 2.04 ' ± 6.58 ' ± I zoning construction	Lot 2 Qq ac ± UpC' ± 28cr ± - - - mpliance in	formation		
Lot Area Lot Geverage Depth Lot Width Front Yard Side Yard (minimum of 1) Side Yard (total of both) Rear Yard Habitable Floor Area Height (If more than 5 lots are power of the second o	3 ac 200' 200' 50' 40' 5,000 s.f. 40' 70 posed, included the second seco	Existing 12.93 ac 12.93 ac ode additionantly variance	Lot 1 3,0 ac ± 2.04 ' ± 6.58 ± I zoning cor s required f	Lot 2 Q. q ac ± UoC' ± 28cr = - - mpliance in or each lot	formation	on a separat	te sheet)
Lot Area Lot Geverage Depth Lot Width Front Yard Side Yard (minimum of 1) Side Yard (total of both) Rear Yard Habitable Floor Area Height (if more than 5 lots are power of the second o	3 ac 200' 200' 50' 40' 5,000 s.f. 40' 70 posed, included here and the second se	12.93 ac 12.93 ac 12.93 ac The additional of the above s	Lot 1 3.0 ac ± 2.04 ' ± 6.58 ± I zoning cor s required f	Lot 2 Q. q ac ± UoC' ± 28cr = - - mpliance in or each lot	formation	on a separat	ie sheet)
Lot Area Lot Geverage Depth Lot Width Front Yard Side Yard (minimum of 1) Side Yard (total of both) Rear Yard Habitable Floor Area Height (if more than 5 lots are p. Will variances be required	3 ac 200' 200' 50' 40' 5,000 s.f. 40' 70 posed, included here and the second se	12.93 ac 12.93 ac 12.93 ac The additional of the above s	Lot 1 3.0 ac ± 2.04 ' ± 6.58 ± I zoning cor s required f	Lot 2 Q. q ac ± UoC' ± 28cr = - - mpliance in or each lot	formation	on a separat	ie sheet)
Lot Area Lot Geverage Depth Lot Width Front Yard Side Yard (minimum of 1) Side Yard (total of both) Rear Yard Habitable Floor Area Height (if more than 5 lots are power of the second o	3 ac 200' 200' 50' 40' 5,000 s.f. 40' 70posed, included in the supporting	12.93 ac 12.93 ac 12.93 ac The additional of the above s	Lot 1 3.0 ac ± 2.04 ' ± 6.58 ± I zoning cor s required f	Lot 2 Q. q ac ± UoC' ± 28cr = - - mpliance in or each lot	formation	on a separat	ie sheet)
Lot Area Lot Geverage Depth Lot Width Front Yard Side Yard (minimum of 1) Side Yard (total of both) Rear Yard Habitable Floor Area Height (If more than 5 lots are power of the second o	3 ac 200' 200' 50' 40' 5,000 s.f. 40' 70posed, included in the supporting	12.93 ac 12.93 ac 12.93 ac The additional of the above s	Lot 1 3.0 ac ± 2.4 '± 6.58 ±	Lot 2 Q. q ac ± UoC' ± 28cr = - - mpliance in or each lot	nation, and	on a separat	ie sheet)
Lot Area Lot Geverage Depth Lot Width Front Yard Side Yard (minimum of 1) Side Yard (total of both) Rear Yard Habitable Floor Area Height (if more than 5 lots are p) Will variances be required hereby depose and certiformation contained in the Paul Carnarda, Baldwin Hille	3 ac 200' 200' 50' 40' 5,000 s.f. 40' 70posed, included in the supporting	12.93 ac	Lot 1 3.0 ac ± 2.04 ' ± 6.58 ±	Lot 2 Q.9 ac ± Unc' ± 28c = - - mpliance in or each lot settached Missignati	nation, and	on a separal	le sheet)
Lot Area Lot Geverage Depth Lot Width Front Yard Side Yard (minimum of 1) Side Yard (total of both) Rear Yard Habitable Floor Area Height (if more than 5 lots are power of the second o	3 ac 200' 200' 50' 40' 5,000 s.f. 40' 70posed, including that all se supporting is Realty, LLC	ide additionantify variance the above sidocuments a	Lot 1 3.0 ac ± 2.4 ' ± 6.52 ±	Lot 2 Q() ac ± U() () ± 28() ± - - - mpliance in or each lot end inform entached	nation, and	on a separat	le sheet)
Lot Area Lot Geverage Depth Lot Width Front Yard Side Yard (minimum of 1) Side Yard (total of both) Rear Yard Habitable Floor Area Height (if more than 5 lots are p) Will variances be required interesty depose and certaformation contained in the Paul Camarda, Baldwin Hill Applicants Name Sworn before me this August Hause	3 ac 200' 200' 50' 40' 5,000 s.f. 40' ropesed, incli ropesed, incl	tide additionantify variance LICANTS AC the above s documents a	Lot 1 3.0 ac ± 2.9 ' ± 6.52 ±	Lot 2 Q.9 ac ± Unc' ± 28c = - - mpliance in or each lot settached Missignati	nation, and	on a separal	le sheet)
Lot Area Lot Geverage Depth Lot Width Front Yard Side Yard (minimum of 1) Side Yard (total of both) Rear Yard Habitable Floor Area Height (if more than 5 lots are power of the second o	3 ac 200' 200' 50' 40' 5,000 s.f. 40' ropesed, incli rif yes, ider APE tiry that all is supporting is Realty, LLC	ide additionantify variance the above sidocuments a	Lot 1 3.0 ac ± 2.4 '± 6.58 ±	Lot 2 Q.9 ac ± Unc' ± 28c = - - mpliance in or each lot settached Missignati	nation, and	on a separal	le sheet)



TOWN OF CARMEL SUBDIVISION COMPLETENESS CERTIFICATION FORM



All Subdivisions submitted to the Planning Board for review shall include the following information and details, as set forth in Section 131-11-14 of the Town of Carmel Subdivision Regulations.

This form shall be included with the subdivision submission

	Requirement Data	To Be Completed by the Applicant	Waived by the Town	l x
Ge	neral Requirements			A PLINO
1	Key map at a scale of one inch equals 800 feet	V	D	Share 100
2	Title block, including title of map; name of subdivision; name, address, seal and signature of professional engineer or land surveyor preparing the plat; written scale; date of original and all revisions.	V	.	
3	A legend, including, names of all adjacent landowners and those within 500 feet of any property line; zoning district with the requirements of said zone; tax map, block and lot number; names and addresses of owner and subdivider; north point and graphic scale.	L		
4	Location and identification of all zoning district boundaries.	V		
5	Identification of all maps filed in the County Clerk's office affecting properties within 500 feet of the lot to be subdivided.	☐ To Be Provided L	iler v	
Si	etch-Plan Requirements			
1	All General Requirements		200km, 7	
2	Proposed subdivision layout at a scale of not less than one inch equals 100 feet.	✓		
3	All proposed lot lines, dimensions in feet and the areas of all lots in square feet and identifying numbers for each lot.			
4	The location of existing and proposed setback lines, streets within 200 feet of the subdivision, buildings, watercourses, railroads and bridges, culverts, drainpipes and any natural features, such as wooded areas and rock formations.	✓		
5	Location and size of areas proposed to be reserved for recreation/open space.	N/A		



TOWN OF CARMEL SUBDIVISION COMPLETENESS CERTIFICATION FORM



	Requirement Data	To Be Completed by the Applicant	Waived by the Town
Pre	liminary Plat Requirements 🕽 💮 💮	1	
7	All General and Sketch Plan Requirements	./	
2	The area included in the subdivision, by area of lots, roads, reservations if any, and total acreage.	✓	
3	The existing and proposed contours (at an interval of not more than two feet), suitably designated to differentiate, with proposed first-floor elevations of the buildings.	□ *	□ 1 7
4	Names of existing streets and proposed names of new streets.	N/A □	THE PARTY
5	Preliminary profiles of all proposed roads.		
6	Location, type and size of curbs, sidewalks and bikeways.	✓ *	· June
7	For subdivisions of five or more lots, front	N/A	
8	Plans of proposed utility layouts and all facilities, unsized.	⊡ *	
9	The natural flow of surface drainage (indicated with arrows and the final disposal of surface waters); location of existing and proposed watercourses, culverts, bridges, drainpipes, lakes and ponds, detention or retention ponds; tentative location of storm drain inlets with the drainage areas tributary to each outlined and the area shown.	□ *	Coth Sh
10	Existing or proposed covenants or deed restrictions applying to the site and a preliminary draft of homeowners' association documents, if applicable.	To Be Provided Later as Applicable	The Authority of the Au
	A stormwater pollution prevention plan (SWPPP) consistent with the requirements of Article X of Chapter 156 of the Code of the Town of Carmel.	Refer to Individual Site Plan Applications	
Fin	al Plat Requirements	- 6	
1	All General, Sketch and Preliminary Plat Requirements.	✓	

^{*} Refer to Individual Site Plan Applications.

only at shali

2 of 5



TOWN OF CARMEL SUBDIVISION COMPLETENESS GERTIFICATION FORM



	Requirement Data	To Be Completed by the Applicant	Waived by the Town
2	Dimensions exactly with reference to monuments, bearings, distances in feet, radii, points of curvature and tangency of property lines, lot widths and depths and square feet of each lot.	✓	
3	Location of all proposed setback lines on each lot, with comer and irregular-shaped lots identified as to front, side and rear yards.	V	(3 日)
4	Location of all existing and proposed monuments.	Proposed To Be Dete	maraed.
5	All existing streets and streams within the subdivision and within 200 feet of the boundaries thereof, the width of the right-of-way of each street and existing public easements and municipal boundaries within 200 feet of the subdivision.	✓	
6	All proposed public easements or rights-of- way and the purposes thereof and proposed streets, identifying right-of-way width and names.	N/A	
7	All parcels proposed for open space/recreation use, with a statement of the purpose of each.	N/A	
8	Construction plat, which shall include, in addition to the above: final first-floor elevations of dwellings and outside grades at their corner; proposed curb elevations at all lot corners; all existing structures, including a note indicating those to be removed and yard dimensions of those to remain; plans and profiles and proposed improvements and utility layouts; paving widths and locations, section and profiles; sidewalk widths and locations and sections; road alignment, complete with stations, center line curve data and existing and finished contours of the road and all regraded areas; details of manholes, catch basins, headwalls and any other required structure; locations of all street trees, lights and signs; maximum anticipated extent of the areas of cuts and fills where grade	Individual Site Plans for Each Proposed Lot	



TOWN OF CARMEL SUBDIVISION COMPLETENESS CERTIFICATION FORM



	Requirement Data	To Be Completed by the Applicant	Waived by the Town
	changes are proposed; the natural flow of surface drainage and the final disposal of surface waters; slopes of banks of all watercourses, if defined, and boundaries of floodplains; specifications, locations, profiles and detailed cross sections of the proposed storm drains, including all inlets and size of the drainage area of the streets, including grades and all other improvements.		
9	Final copy of the homeowners' association documents, if applicable.	N/A 🗆	
10	Deeds for land to be dedicated for road widening, recreation or other purposes.	N/A O	
11	Erosion control standards.	1	
12	A stormwater pollution prevention plan (SWPPP) consistent with the requirements of Article X of Chapter 156 of the Code of the Town of Carmel and with the terms of preliminary plan approval.	To Be Provided in	, D

* Refer to Individual Site Plans

Applicants Certification (to be completed by the licensed professional preparing the subdivision plan:

Jeffrey J. Contelmo, P.E.	nereby certify that the site pla	an to which I have attached
my seal and signature, meet	s all of the requirements of	§156-61B of the Town of
Carmel Zoning Ordinance:		75.415

Signature Applicant JOHNER Date PAUL CAMARDA BALDWIN HIUS REALTY, LLC.

Date

Signature -- Owner

Professionals Seal



TOWN OF CARMEL SUBDIVISION COMPLETENESS CERTIFICATION FORM



Town Certification (to be comple	eted by	the Towi	n)	
1	nereby	confirm	that the site pla	an meets all of the
requirements of §156-61B of the	Town	of Carme	l Zoning Ordinanc	e:
Rese Frombathe	Sastan sa g an sa sa sa sa		2/11/1-	
Signature - Planning Board Sec	retary		Date	
Signature - Town Engineer	v		2/11/17 Date	<u>?</u>

Short Environmental Assessment Form Part 1 - Project Information

Instructions for Completing

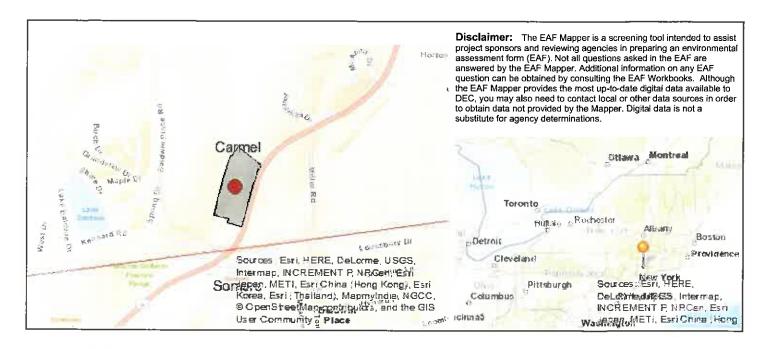
Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

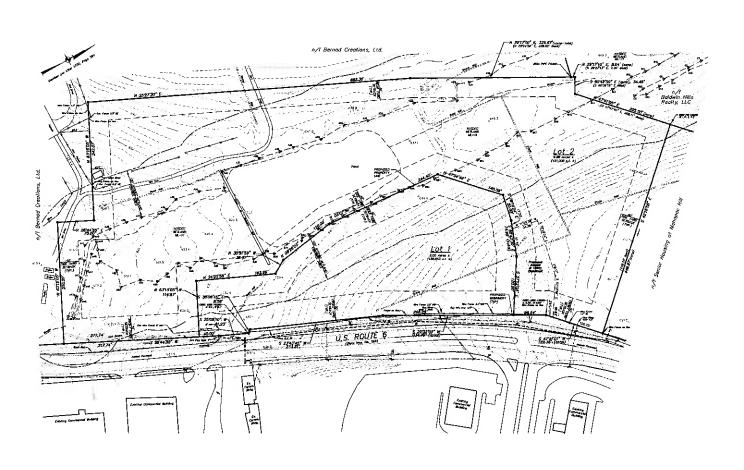
Part 1 - Project and Sponsor Information					
Name of Action or Project:					
Baldwin Subdivision					
Project Location (describe, and attach a location map):			-		
Route 6, Town of Carmel, Putnam County - See Location Map					
Brief Description of Proposed Action:					
Proposed 2-lot commercial subdivision of 12.93± acres in the C/BP (Commercial/Busine			npacts	propose	∍d:
Refer to EAF's for individual commercial site plan applications for project details. Lot 1: 3	3.0 AC ±;	, LOI 2: 9.9 AC ±			:
Name of Applicant or Sponsor:	Telepl	none: 845-228-1400			
Baldwin Hills Realty, LLC	E-Mai	l: crilic@comcast.net			
Address:					
1699 Route 6, Suite 1					
City/PO:		State:	Zip	Code:	
Carmel		NY	1051	2	
1. Does the proposed action only involve the legislative adoption of a plan, le	ocal law	, ordinance,		NO	YES
administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and	the env	ironmental resources t	hat		
may be affected in the municipality and proceed to Part 2. If no, continue to	questio	n 2.			
2. Does the proposed action require a permit, approval or funding from any	other go	overnmental Agency?		NO	YES
If Yes, list agency(s) name and permit or approval:				1	
				ت	
3.a. Total acreage of the site of the proposed action?	12.93	3± acres			
b. Total acreage to be physically disturbed? c. Total acreage (project site and any contiguous properties) owned		0 acres			
or controlled by the applicant or project sponsor?	12.93	±acres			
A Charlatte day and the same an					
4. Check all land uses that occur on, adjoining and near the proposed action. Urban Rural (non-agriculture) Industrial Comme		✓ Residential (suburb	oan)		
✓ Forest ☐ Agriculture ☐ Aquatic ☐ Other (•	-,		
Parkland		·	-		

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?		V	
b. Consistent with the adopted comprehensive plan?	片	V	
6. Is the proposed action consistent with the predominant character of the existing built or natural		NO	YES
landscape?			V
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Ar	rea?	NO	YES
If Yes, identify: Name:Baldwin Place Area, Reason:Difficulties w/ portable water source, Agency:Somers, Town of,	Date:9-		\
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		NO	YES
b. Are public transportation service(s) available at or near the site of the proposed action?			
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed ac	tion?	H	
9. Does the proposed action meet or exceed the state energy code requirements?		NO	YES
If the proposed action will exceed requirements, describe design features and technologies:		~	
10. Will the proposed action connect to an existing public/private water supply?		NO	YES
TCNI 1 1 4 10 11 11 11 11 11 11 11 11 11 11 11 11		_	
If No, describe method for providing potable water: Refer to individual site plans Private well drilled on-site as part of project currently under construction under previous approval		Ш	'
11. Will the proposed action connect to existing wastewater utilities?		NO	YES
If No, describe method for providing wastewater treatment: refer to individual site plans Private subsurface sewage treatment system installed as part of project currently under construction under previous as			~
	provar	NO	NAMEO
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?		NO NO	YES
b. Is the proposed action located in an archeological sensitive area? NYSOPRHP letter of no impact was previously submitted.			V
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain	n	NO	YES
wetlands or other waterbodies regulated by a federal, state or local agency?			V
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres:		V	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check a	all that a	apply:	
☐ Shoreline ☐ Forest ☐ Agricultural/grasslands ☐ Early mid-successi			
✓ Wetland ☐ Urban ✓ Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed		NO	YES
by the State or Federal government as threatened or endangered?		V	
16. Is the project site located in the 100 year flood plain?		NO	YES
		1	
17. Will the proposed action create storm water discharge, either from point or non-point sources?		NO	YES
If Yes, a. Will storm water discharges flow to adjacent properties? NO YES		V	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drain If Yes, briefly describe: NO YES	ıs)? 		

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain purpose and size:	~	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe:	~	
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe: Per EAF mapper. Not on-site or adjacent to site. DEC ID # 360023 in the NYSDEC Environmental Site Remediation database, is located within 2,000 feet of the project site. Periodic monitoring and Plant 1 groundwater pump and GAC treatment remedial system ongoing at Somers Commons.		V
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE I KNOWLEDGE Jeffrey J. Contelmo, P.E., Project Engineer Applicant/sponsor name: Insite Engineering, Surveying & Landscape Architecture, PCDate: January 11, 2017 Revised February 8, 2		F MY



Part 1 / Question 7 [Critical Environmental Area]	Yes
Part 1 / Question 7 [Critical Environmental Area - Identify]	Name:Baldwin Place Area, Reason:Difficulties w/ portable water source, Agency:Somers, Town of, Date:9-26-90
Part 1 / Question 12a [National Register of Historic Places]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes



500' ADJOINERS:

- 2 A/T 100 Roule E LLC
- 2 N/F Barned Creature LTD

- 4. N/T Casely of Pulners
- 5 ×/7 8=1+ 8 800000
- Z A/F Gray Halling Corp.
- H. N/T Oring
- 12. Hyf. Bolott Place Really LLC
- 14. NA Statement Ga. LLC 12. NA Statement Ga. LLC 18. NA desirate Place Bushy LLC
- 17. NF Ferrers
- th soft Samp Sec.
- 14 A/F 48 Servery, 21 20 M/F Reshort



- Cand Relicator: Liber 1233, Page 394; recorded January 4, 2006. Contact Baldon Hills Realty, LLC
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- The weight thappey on whom Arrato is rates from a "Map of Weights Property Place" on property by Party Derporter's Colling Seal review Jensery 11, 2010.

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Aper Tang	40"	-	-
Mediture Building Height:	40'/80"-		-
Minimum Bubbing Floor Afee:	5,000 pf	111111111111111111111111111111111111111	1.2
Marinum Building Countries	400		

"Missimum building height in 40", sunget for Research Lake, Doto Processing and Stongarler Centers, Office Suitables and Solds, which shall not exceed 60".

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Unarithmized attention or addition to this survey it is weleter of Section 7200, automition 2 at the New York State Followship

SIGN EQUICATOR COR.	
Town of Cormel Planning Board Approval	Putnam County Department of Health Approval
Approved by resolution of the Promising Blood of the Teen of Cornel, New York, on the day of day of Shiplict to directed resolutions of social resolution. Any change, extreme, modification or remains of the plot, as approved, shall vaid this approved. Signed (his	This is to conflict that the shields of long as represented on this map does not fail within the definition of substitute are specified in Section 1113 of the Places Health Lead on and Section 1117 of the Places Health Lead on the Section 1117 of the shields are specified to Places Lead on the Section 1117 of the Arthur Country Department of Health Represent of this part is Arthur Country Department of Health Represent of this part is Section 2014.
B):	
By:Secretary	By Date:

Land Surveyor's Certification	County of Putnam Filing Acceptance		Consent to File
I healy catily that the survey stoom harmon was completed by us on May 2, 2015; that this may reas completed any 24, 2015; and full first purply below propertied in sociations with time working. Association of Professional Land Surveyors, inc.	To Real Property Tox Department: People cartify that the following fair step Namber, 88 11—1—1, in the Town of Contest, IVI is the carsed for Map number for the attoched substaining map.	Putnom Causty Commissioner of Finance The Commissioner of Finance funds you filled that at these Chamby and William Causty and Causty an	The underlayed owner of the property hereon states that in it funds with the mag, its contents on it is legency, or of meany occanata to all its said terms and conditions as strind hereon to the fine of the major to the right of the major is the Office of the Chris of the David of Human. Support this
NICHOLAS C. CHAPIS, L.S. New York State License No. 049330	of fruit Property Tours	Signed:	Bjc Shidole Mills Bruite (Suffe) Germal MY 10512

Sketch Subdivision Plat

Baldwin Subdivision

Situate in the Town of Carmel Putnam County, New York

September 28, 2016 Revised: January 11, 2017 Revised: February 8, 2017

GRAPHIC SCALE



February 7, 2017

Town of Carmel Planning Board Carmel Town Hall 60 McAlpin Avenue Mahopac, New York 10541

Via Email: Rose Trombetta - rtrombetta@ci.carmel.ny.us

RE: MK Realty Site Plan

U.S. Route 6 and Old Route 6 Tax Map No. 55.06-1-44 & 45

Dear Chairman Gary and Members of the Board:

The above referenced Site Plan was re-granted Site Plan Approval on March 11, 2015 and a one year extension of approval at the February 24, 2016 Planning Board meeting. Since the project was originally approved in 2006, the Bond amount was reviewed by the Board's consultants at the time of the last re-grant of approval (2015) and increased to reflect the current construction costs associated with the project. It should be noted that the applicant has kept all of the regulatory permits associated with the subject project current. Enclosed herewith please find an updated copy of the approval list for the project and showing that all premits are current and the updated expiration date for each outside agency approval.

It is respectfully requested that this project be placed on the Planning Board's next available agenda for consideration of a Re-Grant of Site Plan Approval. The \$1,500.00 fee for the re-grant of approval will be delivered to your office under separate cover.

Should you have any questions or comments regarding this information, please do not hesitate to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

ву

Jeffrey J. Contelrho P.E. President Principal Engineer

JJC/zmp

Enclosure(s)

cc: Kevin Dwyer, Via Email: kevinbdwyer@msn.com

Insite File No. 04235.100



MK REALTY APPROVAL LIST January 31, 2017

AGENCY	APPROVAL	EXPIRATION DATE
Carmel Planning Board	Site Plan	March 11, 2017
Carmel Environmental Conservation Board	Wetland Permit	July 7, 2018
Putnam County Department of Health	Sewer	June 7, 2017
New York City Department of Environmental Protection	Sewer	March 29, 2021
New York City Department of Environmental Protection	Stormwater Pollution Prevention Plan	August 16, 2021
New York State Department of Transportation	Highway Work Permit	Transferred to the new NYSDOT Permit in May of 2015. (No Expiration Date)
New York State Department of Environmental Conservation	Stormwater Pollution Prevention Plan Coverage	General Permit Coverage obtained March 19, 2011. (No Expiration Date)



TWO MUSCOOT ROAD NORTH
MAHOPAC, NY 10541
P 845-628-6613
F 845-628-2807 e-mail: joel.greenberg@arch-visions.com

January 19, 2017

Harold Gary, Chairman and Members of the Planning Board Town of Carmel 60 Mcalpin Avenue Mahopac, New York 10541

Re:

Wixon Pond Estates Wixon Pond Road T.M. # 53.20-1-19

Dear Mr. Gary and Members of the Board,

On behalf of my client, I respectfully request a six month extension of our preliminary approval. After many years, the project has finally been approved by the NYC-DEP. Our next step is to get Putnam County Health Department approval.

Thanking you in advance for your interest and cooperation in this matter. If you have any questions, please do not hesitate to contact me.

Very truly yours,

Joel Greenberg, AIA



February 8, 2017

Mr. Harold Gary, Chairman Town of Carmel Planning Board 60 McAlpin Avenue Mahopac, NY 10541

Re:

Stoneleigh Woods at Carmel

Bond Return

Dear Chairman Gary and Members of the Board:

The Stoneleigh Woods at Carmel project has been completed. We request to be placed on the next available agenda so that we can start the process of having the bond released.

Sincerely,

PUTNAM ENGINEERING, PLLC

Paul M. Lynch, P.E.

PML/tal

(L01711)