

ROBERT LAGA
Chairman

ANTHONY DUSOVIC
Vice-Chair

ROSE TROMBETTA
Secretary

DAVID KLOTZLE
Wetland Inspector

TOWN OF CARMEL
ENVIRONMENTAL CONSERVATION BOARD



60 McAlpin Avenue
Mahopac, New York 10541
Tel. (845) 628-1500 - Ext. 190
www.ci.carmel.ny.us

BOARD MEMBERS

Edward Barnett
Marc Pekowsky
Vincent Turano
Nicholas Fannin
John Starace

ENVIRONMENTAL CONSERVATION BOARD AGENDA

MAY 5, 2016 – 7:30 P.M.

ELIGIBLE FOR A PERMIT

<u>APPLICANT</u>	<u>ADDRESS</u>	<u>TAX MAP #</u>	<u>COMMENTS</u>
1. Random Ridge Subdivision	Kennicut Hill Rd	76.10-1-23	29 Lot Cluster Subdivision
2. Panny, Michael	61 Sandy Street	76.16-1-26	Construct Single Family Home
3. Meyers, Paul	56 Sycamore Rd	76.5-1-21	Partial 2 nd floor Addition and Deck
4. Cavallaro, Jane	284 West Lake Blvd.	64.16-1-22	New Foyer to Existing House

SUBMISSION OF AN APPLICATION OR LETTER OF PERMISSION

5. Manfred, Ashley & Francis	9 Lakeside Road	64.15-1-14	Install Hot Tub
6. Kleinschmidt, Leslie & Ned	41 Averill Drive	64.16-1-33	Renovations to Existing Home
7. Willow Wood Country Club d/b/a Willow Wood Gun Club	551 Union Valley Rd	87.7-1-7	Tree Harvesting
8. Lake Plaza Shopping Center (Proposed Stop & Shop)	983-1005 Route 6	65.10-1-45 & 46	Planning Board Referral (Amended Site Plan)

ESCROW RETURN

9. Plewinski, Michael & Sharon	49 Lakeside Road	64.19-1-16	Construct 2 nd Floor Addition
--------------------------------	------------------	------------	--

MISCELLANEOUS

10. Minutes – 04/21/16

Ashley and Francis (Michael) Manfred
9 Lakeside Road
Mahopac, NY 10541
Ashley: 845-351-1111
Mike: 845-351-1111

Project Description and Purpose

We are requesting permission to level out our property to install a hot tub. The hot tub will be placed on a hill so the hill needs to be dug out and leveled.

1. Dig into the side of the hill.
2. Railroad ties will be installed to prevent erosion.
3. Concrete tiles will be laid down to act as a base for the hot tub.
4. Electricity will be run out to hot tub.

ROBERT LAGA
Chairman

ANTHONY DUSOVIC
Vice Chair

ROSE TROMBETTA
Secretary

DAVID KLOTZLE
Wetland Inspector

**TOWN OF CARMEL
ENVIRONMENTAL CONSERVATION BOARD**



60 McAlpin Avenue
Mahopac, New York 10541
Tel. (845) 628-1500 - Ext. 190
www.ci.carmel.ny.us

BOARD MEMBERS

Edward Barnett
Marc Pekowsky
Vincent Turano
Nicholas Fannin
John Starace

APPLICATION FOR WETLAND PERMIT OR LETTER OF PERMISSION

Name of Applicant: ASHLEY + FRANCIS MANFRED

Address of Applicant: 9 LAKESIDE ROAD Email: _____

Telephone# _____ Name and Address of Owner if different from Applicant: _____

Property Address: 9 LAKESIDE ROAD Tax Map # 64.15-1-14

Agency Submitting Application if Applicable: NIA

Location of Wetland: KIRK LAKE

Size of Work Section & Specific Location: 60 SQUARE FEET

Will Project Utilize State Owned Lands? If Yes, Specify: NO

Type and extent of work (feet of new channel, yards of material to be removed, draining, dredging, filling, etc). A brief description of the regulated activity (attach supporting details).

INSTALLING A HOT TUB

Proposed Start Date: ASAP Anticipated Completion Date: _____ Fee Paid \$ 225.00

CERTIFICATION

I hereby affirm under penalty of perjury that information provided on this form is true to the best of my knowledge and belief, false statements made herein are punishable as a Class A misdemeanor pursuant to Section 210.45 of the Penal Law. As a condition to the issuance of a permit, the applicant accepts full legal responsibility for all damage, direct or indirect, or whatever nature, and by whomever suffered, arising out of the project described here-in and agrees to indemnify and save harmless the Town of Carmel from suits, actions, damages and costs of every name and description resulting from the said project.

Ashley J Manfred
SIGNATURE

3/7/16
DATE

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: HOT TUB INSTALL			
Project Location (describe, and attach a location map): 9 LAKESIDE ROAD			
Brief Description of Proposed Action: INSTALL A HOT TUB.			
Name of Applicant or Sponsor: ASHLEY MANFRED		Telephone: _____	
Address: 9 LAKESIDE ROAD		E-Mail: _____	
City PO: MAHDPAC		State: NY	Zip Code: 10541
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO YES X
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO YES X
3.a. Total acreage of the site of the proposed action?		0.5 acres	
b. Total acreage to be physically disturbed?		<0.5 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<0.5 acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

5. Is the proposed action:		NO	YES	N/A
a. A permitted use under the zoning regulations?			<input checked="" type="checkbox"/>	
b. Consistent with the adopted comprehensive plan?			<input checked="" type="checkbox"/>	
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		NO		YES
				<input checked="" type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		NO	YES	
		<input checked="" type="checkbox"/>		
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		NO	YES	
b. Are public transportation service(s) available at or near the site of the proposed action?		<input checked="" type="checkbox"/>		
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		<input checked="" type="checkbox"/>		
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____		NO	YES	
		<input checked="" type="checkbox"/>		
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____		NO	YES	
		<input checked="" type="checkbox"/>		
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____		NO	YES	
		<input checked="" type="checkbox"/>		
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?		NO	YES	
b. Is the proposed action located in an archeological sensitive area?		<input checked="" type="checkbox"/>		
		<input checked="" type="checkbox"/>		
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		NO	YES	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____		<input checked="" type="checkbox"/>		
		<input checked="" type="checkbox"/>		
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:				
<input checked="" type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban				
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?		NO	YES	
		<input checked="" type="checkbox"/>		
16. Is the project site located in the 100 year flood plain?		NO	YES	
		<input checked="" type="checkbox"/>		
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,		NO	YES	
a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES		<input checked="" type="checkbox"/>		
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____		<input checked="" type="checkbox"/>		
		<input checked="" type="checkbox"/>		

8C 40

MODEL DETAILS

Series	EL Series
Total Jets	40
Power <i>North America</i>	2x 4BHP
Power <i>International</i>	2x 4BHP
Seats	8 Adults
Brand	NorthWind
Style	Non-Lounge

SPECIFICATIONS

METRIC

Dims (cm)	229 x 228 x 91
Capacity (l)	1614
Dry Weight (kg)	408
Wet Weight (kg)	2022

SPECIFICATIONS

IMPERIAL

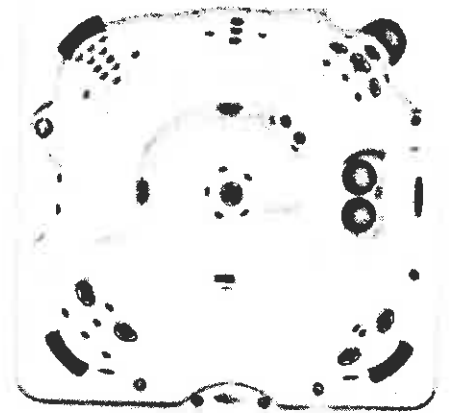
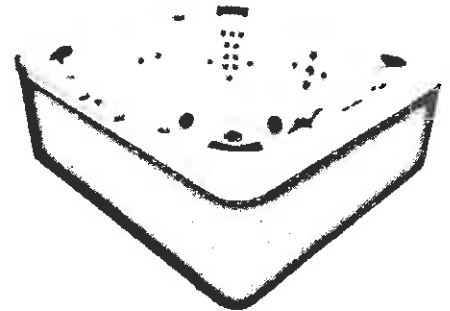
Dims (in)	90 x 90 x 36
Capacity (us gal)	426
Dry Weight (lbs)	900
Wet Weight (lbs)	4458

ENERGY USAGE estimated per month

Warm 75°F | 24°C	\$10.64
Cool 45°F | 7°C	\$23.66

FEATURES

-  NorthWind Digital Control Panel ①
-  Designer Water Diverter ①
-  Easy Grip Air Controls ①
-  Exa Massage Jets (threaded) | 40 ①
-  Laminar Water Ropes ①
-  7" Blade Waterfall ①
-  100 sq.ft. Filtration System (Dual 50 sq.ft.) ①



SPA COMFORTS

- Headrests
- Beverage Holders
- Anti-Slip Textured Floor
- Ergonomic Seating
- Multi Level Seating
- Large Footwells
- Programmable Filtration
- Filter Grate


BUILT TO LAST

- Freeze Protection
- Thread-In Jets
- Owens Corning Fiberglass Shell
- Steel Reinforced Acrylic Shell
- Pressure Treated Frame
- Gate Valves
- Recessed Floor Drain
- Recessed Jetting
- Hand Built Cabinets

Build Your Own 8C 40 & Get Pricing Information

Choose from a wide selection of optional features for the 8C 40 model. Clicking on '...more' will give you additional information on each feature. Once you've made your selections you can submit your build for a hassle-free quotation using the form at the bottom of the page.

Lighting



3" Safety Light
Allows safety and comfort
...more



Multi Color Main Light
Switch out the single col
...more






EL Series Lighting Package
Add a beautiful lighting
...more

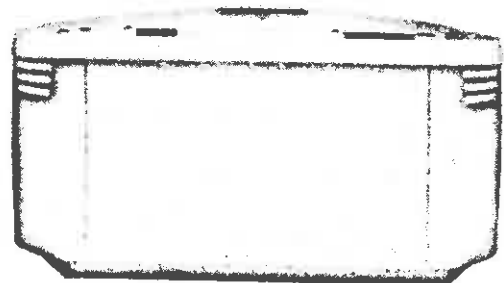
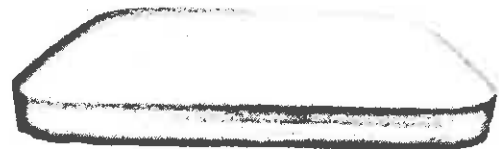
Acrylic and Cabinet Finish

ACRYLIC SELECTION

				
Sterling Silver see large swatch	Pearl Shadow see large swatch	Snow White see large swatch	Tuscan Sun see large swatch	Midnight Canyon see large swatch

DURABLE SYNTHETIC

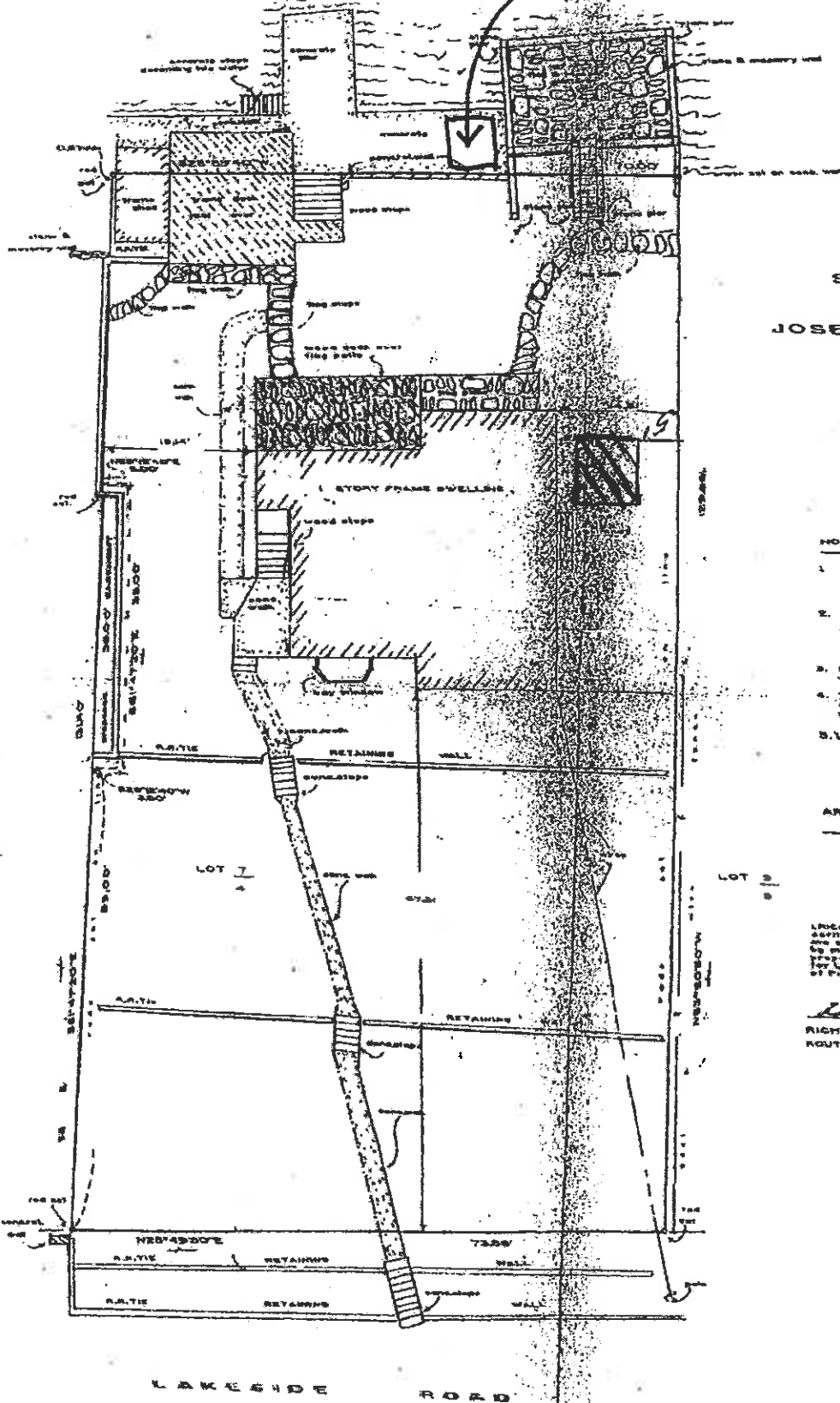
		
Grey Synthetic Cabinet see large swatch	Chestnut Synthetic Cabinet see large swatch	Black Synthetic Cabinet see large swatch



Above is a representation of your color selections only and does not necessarily reflect the model or additional features you've selected. The spa shown above is part of the Curve Series by Coast Spas.

me.

KIRK LAKE



SURVEY OF PROPERTY
 PREPARED FOR
JOSEPH & CHARLENE TRENK
 SITUATE THE
 TOWN OF CARMEL
 PUTNAM COUNTY
 NEW YORK
 SCALE 1" = 10'

NOTES.

1. All certifications are void for this map and copies thereof and if said map and copies bear the printed seal of the surveyor whose signature appears hereon.
2. Alteration of this document, except by a Licensed Land Surveyor, is held to be a violation of Section 7-203 of Subchapter 2 of the New York State Education Law.
3. Location of underground improvements and/or attachments herewith are not certified.
4. This map and copies thereof are recorded in the Office of the County Clerk, Putnam County and being in violation thereof herein and in those parties only.
5. LOT 7 is shown on map called "LAKEVIEW COTTAGE, 1927" filed in the Putnam County Clerk's Office June 22, 1927 on Map 880.

AREA 0.253 ACS.
 or 2276 S.F.

RICHARD H. SOHR, the surveyor who made this map, certifies that the survey shown hereon was completed by me on June 8, 1958 and that this map was prepared and approved in accordance with the existing Code of Practice for Land Surveyors adopted by the New York State Board of Professional Land Surveyors.

Richard H. Sohr
 RICHARD H. SOHR, P.L.S., N.Y. 21, License No. 6012
 ROUTE 2, P.O. BOX 218 HANOVER, N.Y. 10881



me

NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Division of Environmental Permits, Region 3
21 South Platt Corners Road, New Paltz, NY 12561-1620
P: (845) 256-3054 | F: (845) 255-4659
www.dec.ny.gov



**Department of
Environmental
Conservation**

March 18, 2016

Ashley Manfred
9 Lakeside Road
Mahopac, NY 10541

**RE: Hot Tub Installation
Permit Jurisdiction Determination
Town of Carmel, Putnam County
CH#: 6360**

Dear Ms. Manfred:

The New York State Department of Environmental Conservation (DEC) has received the submitted materials regarding the above referenced project. The proposal is to install a 426 gallon hot tub at 9 Lakeside Drive in the Town of Carmel, Putnam County. The location of the hot tub is adjacent to Kirk Lake on previously disturbed surface.

Based upon our review of your inquiry dated March 9, 2016, we offer the following comments:

PROTECTION OF WATERS

The following waterbody is located within or near the site you indicated: Kirk Lake, DEC Water Index ID No. H-31-P44-14-7-P52, Class B, and considered protected and navigable.

Please note, according to 6 NYCRR Part 608, a permit is required for excavation or fill below the mean high water level of navigable waterbodies. The proposed hot tub installation is above the mean high water level; therefore a permit is not required.

If a permit is not required, please note, however, you are still responsible for ensuring that work shall not pollute any stream or waterbody. Care shall be taken to stabilize any disturbed areas promptly after construction, and all necessary precautions shall be taken to prevent contamination of the stream or waterbody by silt, sediment, fuels, solvents, lubricants, or any other pollutant associated with the project.

FRESHWATER WETLANDS

The identified project site is not within a New York State protected Freshwater Wetland. However, please contact your town officials and the United States Army Corps of Engineers in New York City, telephone (917) 790-8511 (Westchester/Rockland Counties), or (917) 790-8411 (other counties), for any permitting they might require.



-OVER PLEASE -

STATE-LISTED SPECIES

No records of sensitive resources were identified by this review.

The absence of data does not necessarily mean that rare or state-listed species, natural communities or other significant habitats do not exist on or adjacent to the proposed site. Rather, our files currently do not contain information which indicates their presence. For most sites, comprehensive field surveys have not been conducted. We cannot provide a definitive statement on the presence or absence of all rare or state-listed species or significant natural communities. Depending on the nature of the project and the conditions at the project site, further information from on-site surveys or other sources may be required to fully assess impacts on biological resources.

CULTURAL RESOURCES

We have reviewed the statewide inventory of archaeological resources maintained by the New York State Museum and the New York State Office of Parks, Recreation, and Historic Preservation. These records indicate that the project is located within an area considered to be sensitive with regard to archaeological resources. For more information, please visit the New York State Office of Historic Preservation website at <http://www.nysparks.com/shpo/>.

FEMA FLOODPLAINS/FLOODWAYS

The project site indicated is located within a Federal Emergency Management Agency (FEMA) Floodplain/Floodway. The project sponsor should contact the local municipality to determine if any additional jurisdictions are applicable to the proposal.

OTHER

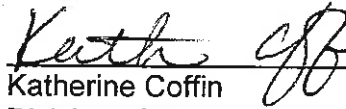
Please note that this letter only addresses the requirements for the following permits from the Department: Protection of Waters, State-listed Species, and Freshwater Wetlands. Other permits from this Department or other agencies may be required for projects conducted on this property now or in the future. Also, regulations applicable to the location subject to this determination occasionally are revised and you should, therefore, verify the need for permits if your project is delayed or postponed. This determination regarding the need for permits will remain effective for a maximum of one year unless you are otherwise notified. Applications may be downloaded from our website at www.dec.ny.gov under "Programs" then "Division of Environmental Permits."

RE: Hot Tub Installation
Permit Jurisdiction Determination
Town of Carmel, Putman County
CH#: 6360

Date: March 18, 2016

Please contact this office if you have questions regarding the above information. Thank you.

Sincerely,



Katherine Coffin
Division of Environmental Permits
Region 3, Telephone No. (845) 256-3158

NOTE: Regarding erosion/sedimentation control requirements:

Stormwater discharges require a State Pollutant Discharge Elimination System (SPDES) Stormwater permit from this Department if they either:

- occur at industrial facilities and contain either toxic contaminants or priority pollutants OR
- result from construction projects involving the disturbance of 5000 square feet or more of land within the NYC Department of Environmental Protection East of Hudson Watershed or for proposed disturbance of 1 acre or more of land outside the NYC DEP Watershed

Your project may be covered by one of two Statewide General Permits or may require an individual permit. For information on stormwater and the general permits, see the DEC website at <http://www.dec.ny.gov/chemical/8468.html>.

For construction permits, if this site is within an MS4 area (Municipal Separate Storm Sewer System), the stormwater plan must be reviewed and accepted by the municipality and the MS-4 Acceptance Form must be submitted to the Department. If the site is not within an MS4 area and other DEC permits are required, please contact the regional Division of Environmental Permits.

ROBERT LAGA
Chairman

ANTHONY DUSOVIC
Vice Chair

ROSE TROMBETTA
Secretary

DAVID KLOTZLE
Wetland Inspector

TOWN OF CARMEL
ENVIRONMENTAL CONSERVATION BOARD



60 McAlpin Avenue
Mahopac, New York 10541
Tel. (845) 628-1500 - Ext. 190
www.ci.carmel.ny.us

BOARD MEMBERS

Edward Barnett
Marc Pekowsky
Vincent Turano
Nicholas Fannin
John Starace

APPLICATION FOR WETLAND PERMIT OR LETTER OF PERMISSION

Name of Applicant: LESLIE & NED KLEINSCHMIDT

Address of Applicant: 1943 BEEKMAN CT Email: _____
YORKTOWN HEIGHTS 10508

Telephone# _____ Name and Address of Owner if different from Applicant: _____

Property Address: 41 AVERILL DRIVE Tax Map # 64.16-1-33

Agency Submitting Application if Applicable: _____

Location of Wetland: LAKE MAHOPAC

Size of Work Section & Specific Location: _____

Will Project Utilize State Owned Lands? If Yes, Specify: No

Type and extent of work (feet of new channel, yards of material to be removed, draining, dredging, filling, etc). A brief description of the regulated activity (attach supporting details).

SEE ATTACHED NARRATIVE

Proposed Start Date: 05/01 Anticipated Completion Date: 12/01 Fee Paid \$ 225.00

CERTIFICATION

I hereby affirm under penalty of perjury that information provided on this form is true to the best of my knowledge and belief, false statements made herein are punishable as a Class A misdemeanor pursuant to Section 210.45 of the Penal Law. As a condition to the issuance of a permit, the applicant accepts full legal responsibility for all damage, direct or indirect, or whatever nature, and by whomever suffered, arising out of the project described here-in and agrees to indemnify and save harmless the Town of Carmel from suits, actions, damages and costs of every name and description resulting from the said project.

L. A. Kleinschmidt
SIGNATURE

4/4/2016
DATE

Short Environmental Assessment Form Part 1 - Project Information


Instructions for Completing

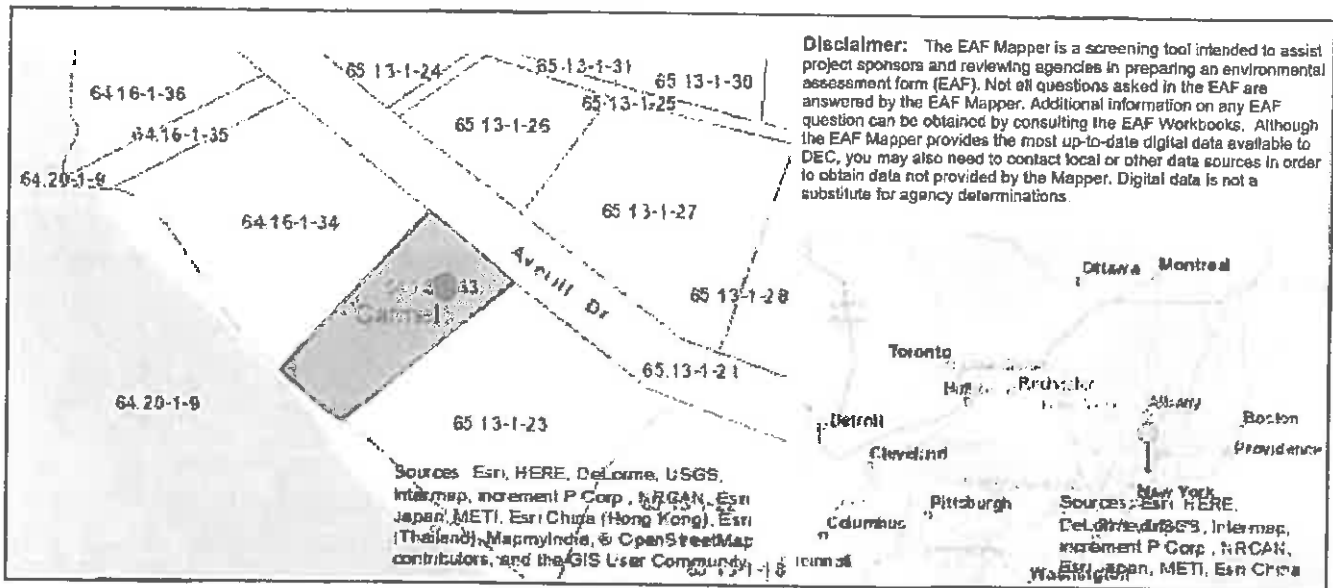
Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project:			
Project Location (describe, and attach a location map): 41 AVEBILL DRIVE MAHOPAC NY			
Brief Description of Proposed Action: RENOVATIONS / REDEVELOPMENT OF AN EXISTING 2,360 SF RESIDENCE TO 3591 SF. PORTIONS OF THE PROPOSED IMPROVEMENTS TO OCCUR WITHIN 100 FEET OF LAKE MAHOPAC			
Name of Applicant or Sponsor: NATHANIEL J. HOLT, PE		Telephone: 914 760 1800	
		E-Mail: DANOHOLT@ENGINEERING.NY	
Address: 592 ROUTE 22 SUITE 4C			
City/PO: PAWLING		State: NY	Zip Code: 12564
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		0.416 acres	
b. Total acreage to be physically disturbed?		0.10 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.416 acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: <u>ON-SITE SEPTIC</u>	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input checked="" type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES		

<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?</p> <p>If Yes, explain purpose and size: _____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?</p> <p>If Yes, describe: _____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?</p> <p>If Yes, describe: _____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor name: <u>MATTHEW J HOLT</u> Date: <u>3/23/16</u></p> <p>Signature: <u></u></p>		



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National Register of Historic Places]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 16 [100 Year Flood Plain]	Yes
Part 1 / Question 20 [Remediation Site]	No

GENERAL NOTES

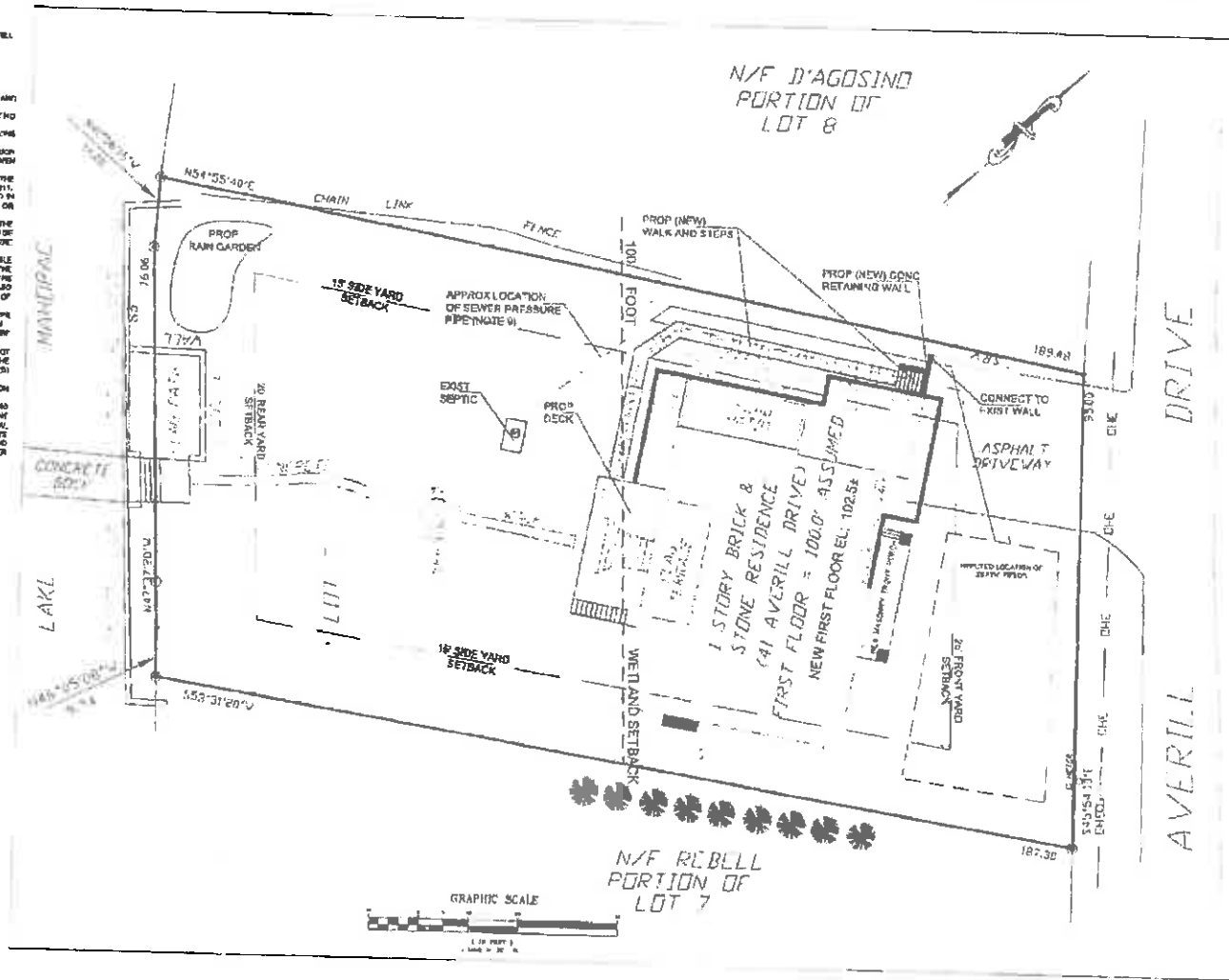
1. SITE PLAN FROM A L&P PREPARED BY MICHAEL HORNFIELD, R.A. PROPERTY LINE AND TOPOGRAPHIC INFORMATION FROM A SURVEY BOUNDARY TOPOGRAPHIC SURVEY OF PROPERTY PREPARED FOR AN AVERRILL DRIVE AND HANCOCK BY JOHN J. MAJONE, L.S. DATE: 05/21/2003 MAY 6, 2016.

NOTES

1. ENDORSE CONTRACTS MUST BE PROPERLY DETALLED, MAINTAINED AND SUBJECT TO AGENCIES THE WORK SPEC.
2. CONSTRUCTION ENTRANCES MUST BE PROPERLY MAINTAINED SO THAT NO DEBRIS OR DIRT IS DEPOSITED ON THE STREETS.
3. EXPOSED AREAS MUST BE STABILIZED AS SOON AS LAND IS EXPOSED AND COMPLETED.
4. ANY UNDERGROUND PIPES OR STRUCTURES MUST BE EXPOSED PRIOR TO BACKFILLING. A MINIMUM OF 48 HOURS ADVANCE NOTICE SHALL BE GIVEN TO THE TOWN ENGINEER TO SCHEDULE ANY INSPECTIONS.
5. PRIOR TO THE START OF ANY EXCAVATION OPERATIONS THE CONTRACTOR SHALL CALL "800 SAFELY AHEAD" AT 1-800-455-6111.
6. THE NATIONAL, FULL OR CONSTRUCTION EQUIPMENT IS TO BE STORED IN THE AREA AS SERVED FOR ANY STORMWATER MITIGATION SYSTEM OR EXISTING EROSION CONTROL MEASURES.
7. PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL LOCATE THE LIMITS OF THE EXISTING BOUNDARY OF THE AREA AND INSTALL CONSTRUCTION MARKS AROUND THE ENTIRE AREA.
8. THE CONTRACTOR IS ADVISED THAT BASED UPON AVAILABLE INFORMATION THE EXISTING SEWER DISPOSAL AREA IS LOCATED IN THE FRONT YARD OF THE PROPERTY AND THEREFORE IS NOT AVAILABLE FOR THE STORAGE OF ANY MATERIALS OR EQUIPMENT. THE CONTRACTOR IS ALSO PROHIBITED FROM DRIVING ANY CONSTRUCTION VEHICLES REGARDLESS OF DIMENSIONS OVER THE EXCAVATION AREA.
9. CONTRACTOR TO LOCATE AND PROTECT EXISTING SEWER EXISTING FROM PRIOR TO THE START OF ANY EXCAVATION OR CONSTRUCTION. ALL HOLES AND OPENINGS NOT DESIGNATED FOR DISPOSITION ARE TO BE REPAIRED AS APPROVED BY THE ENGINEER.
10. CONTRACTOR TO MAINTAIN EXISTING SEWER LINES ON SITE AT ALL TIMES. ALL SPOIL SHALL BE KEPT IN THE CONTRACTOR'S TRAILER IF SO PROVIDED FOR IN THE BASIS OF THE BIDDING AT ALL TIMES.
11. THERE SHALL BE NO IN-SITE STORAGE OF FUEL FOR CONSTRUCTION EQUIPMENT.
12. COMPANIMENT BODY TO BE "SMALL ROOM" AS MANUFACTURED BY P&D CORP OR APPROVED EQUAL. ROOM TO BE SECURED TO THE UNDERMINY AS INDICATED ON THE PLANS. PRIOR TO THE INSTALLATION OF THE ROOM, THE CONTRACTOR SHALL PROVIDE "PROP. CURT. MANUFACTURED" INFORMATION AND INFORMATION RELATIVE TO THE INSTALLATION AND MAINTENANCE OF THE ROOM TO THE SATISFACTION OF THE TOWN ENGINEER AND THE ENGINEER OF RECORD.

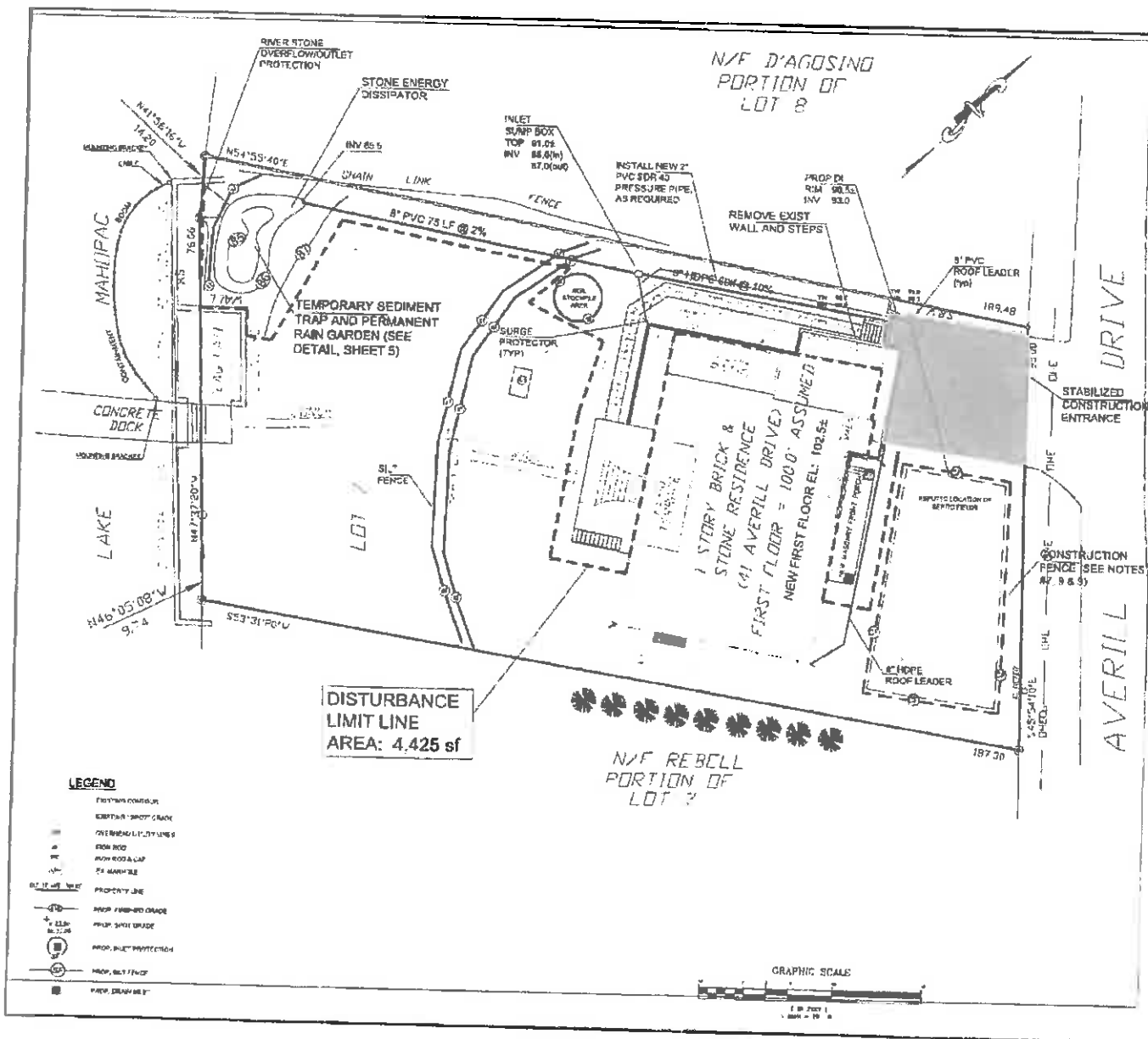
LEGEND

- EXISTING CONTOUR
- EXISTING "PROP. GRADE"
- CHANGING UTILITY LINES
- SHOW NO
- SHOW ADD & CAP
- EX. MANHOLE
- PROPERTY LINE
- PROP. FINISHED GRADE
- PROP. PROP. GRADE
- PROP. SILT PROTECTION
- PROP. SILT FENCE



<p>2</p> <p>6</p>
<p>NATHANIEL J. HOLT, P.E.</p> <p>562 ROUTE 22 PAWLING, NEW YORK 11754 (810) 790-1800</p>
<p>SITE PLAN</p>
<p>KLEINSCHMIDT RESIDENCE RENOVATIONS</p> <p>41 AVERILL ROAD MANHATTAN, N.Y. 10501</p>

Copyright © 2016 N.J. ENGINEERING & DESIGN, INC. PA. ALL RIGHTS RESERVED. UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF ANY PART OF THIS DOCUMENT IS PROHIBITED. THE INFORMATION CONTAINED HEREIN IS FOR THE EXCLUSIVE USE OF THE CLIENT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.



GENERAL NOTES

1. THIS PLAN/SET IS MAN PREPARED BY MICHAEL, PETERLIN & PA.
2. PROPERTY LINE AND TOPOGRAPHIC INFORMATION FROM A SURVEY CAPTURED THROUGH A SURVEY OF PROPERTY PREPARED FOR AT "ATLAS DRIVE" AND PREPARED BY JOHN J. WALSHON, LL, DATE 11/24/2016.
3. REFER TO SHEET 3 FOR THE REMAINING NOTES.
4. ANY UNDERGROUND PIPING OR STRUCTURES MUST BE PROTECTED PRIOR TO THE START OF ANY CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL CALL THE UTILITY LOCATOR PRIOR TO ANY EXCAVATION OPERATIONS. THE CONTRACTOR SHALL CALL THE UTILITY LOCATOR PRIOR TO ANY EXCAVATION OPERATIONS. THE CONTRACTOR SHALL CALL THE UTILITY LOCATOR PRIOR TO ANY EXCAVATION OPERATIONS.
5. PRIOR TO THE START OF ANY CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL LOCATE THE LIMITS OF THE EXISTING SERVICE AREAS AND INSTALL CONSTRUCTION FENCES AROUND THE EXISTING SERVICE AREAS.
6. THE CONTRACTOR IS ADVISED THAT THESE NOTES ARE AVAILABLE FOR THE STORAGE OF ANY MATERIALS OR EQUIPMENT. THE CONTRACTOR IS ALSO ADVISED THAT THESE NOTES ARE AVAILABLE FOR THE STORAGE OF ANY MATERIALS OR EQUIPMENT.
7. PRIOR TO THE START OF ANY CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL LOCATE THE LIMITS OF THE EXISTING SERVICE AREAS AND INSTALL CONSTRUCTION FENCES AROUND THE EXISTING SERVICE AREAS.
8. THE CONTRACTOR IS ADVISED THAT THESE NOTES ARE AVAILABLE FOR THE STORAGE OF ANY MATERIALS OR EQUIPMENT. THE CONTRACTOR IS ALSO ADVISED THAT THESE NOTES ARE AVAILABLE FOR THE STORAGE OF ANY MATERIALS OR EQUIPMENT.
9. THE CONTRACTOR IS ADVISED THAT THESE NOTES ARE AVAILABLE FOR THE STORAGE OF ANY MATERIALS OR EQUIPMENT. THE CONTRACTOR IS ALSO ADVISED THAT THESE NOTES ARE AVAILABLE FOR THE STORAGE OF ANY MATERIALS OR EQUIPMENT.
10. THE CONTRACTOR IS ADVISED THAT THESE NOTES ARE AVAILABLE FOR THE STORAGE OF ANY MATERIALS OR EQUIPMENT. THE CONTRACTOR IS ALSO ADVISED THAT THESE NOTES ARE AVAILABLE FOR THE STORAGE OF ANY MATERIALS OR EQUIPMENT.
11. THE CONTRACTOR IS ADVISED THAT THESE NOTES ARE AVAILABLE FOR THE STORAGE OF ANY MATERIALS OR EQUIPMENT. THE CONTRACTOR IS ALSO ADVISED THAT THESE NOTES ARE AVAILABLE FOR THE STORAGE OF ANY MATERIALS OR EQUIPMENT.
12. THE CONTRACTOR IS ADVISED THAT THESE NOTES ARE AVAILABLE FOR THE STORAGE OF ANY MATERIALS OR EQUIPMENT. THE CONTRACTOR IS ALSO ADVISED THAT THESE NOTES ARE AVAILABLE FOR THE STORAGE OF ANY MATERIALS OR EQUIPMENT.
13. THE CONTRACTOR IS ADVISED THAT THESE NOTES ARE AVAILABLE FOR THE STORAGE OF ANY MATERIALS OR EQUIPMENT. THE CONTRACTOR IS ALSO ADVISED THAT THESE NOTES ARE AVAILABLE FOR THE STORAGE OF ANY MATERIALS OR EQUIPMENT.

CONSTRUCTION FENCE (SEE NOTES 10 & 11)

STABILIZED CONSTRUCTION ENTRANCE

DRIVE

DRIVE

CONSTRUCTION FENCE (SEE NOTES 10 & 11)

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

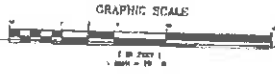
DRIVE

DRIVE

DRIVE

LEGEND

	EXISTING CONCRETE
	EXISTING SPOT DRAIN
	EXISTING UTILITY LINES
	EXISTING MANHOLE
	EXISTING CATCH BASIN
	EXISTING CURB
	PROPERTY LINE
	PROP. FINISHED GRADE
	PROP. SPOT DRAIN
	PROP. MANHOLE
	PROP. CATCH BASIN
	PROP. CURB
	PROP. DRIVEWAY



3

6

NATHANIEL J. HOLT, P.E.

689 ROUTE 22
HAWAII, NEW YORK 17664
(717) 760-1400

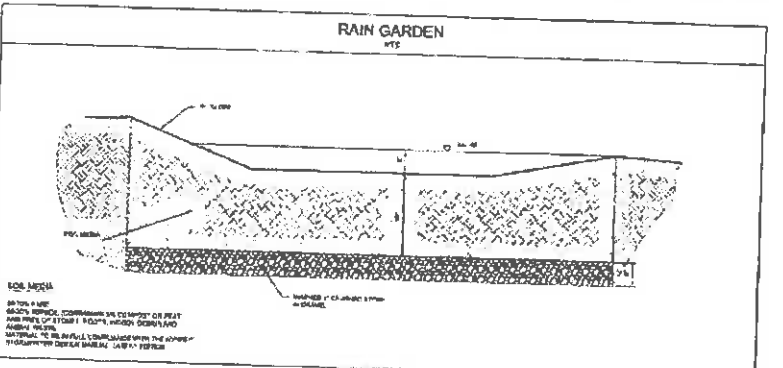
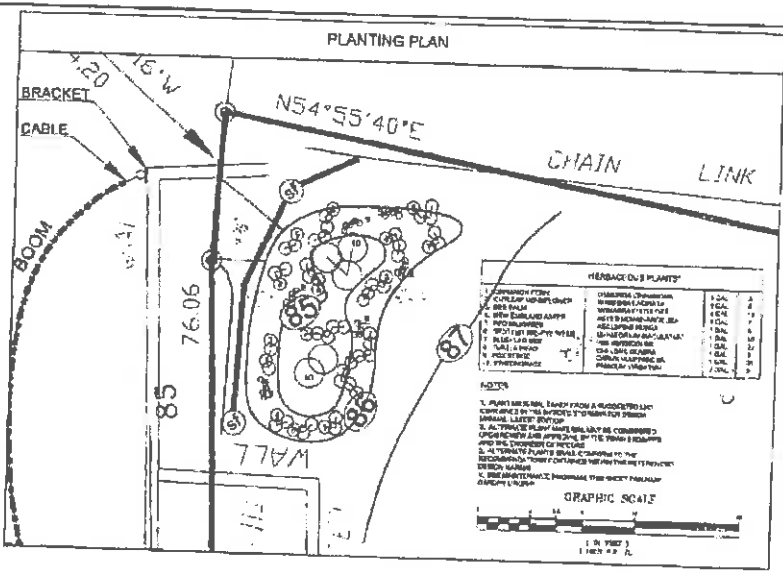
STORMWATER MITIGATION PLAN

KLEINSCHMIDT RESIDENCE RENOVATIONS

MAHOPAC, N.Y. 10641
41 AVERILL ROAD

CONTRACT NO. 2016-0111 PREPARED BY MICHAEL, PETERLIN & PA. ALL RIGHTS RESERVED. THIS DOCUMENT IS A PROPERTY OF MICHAEL, PETERLIN & PA.

UNAUTHORIZED REPRODUCTION OR ALTERATION OF THIS PLAN OR ANY PART OF IT IS STRICTLY PROHIBITED.



STORMWATER ANALYSIS

REQUIRED: MITIGATE THE 30% OF OVERFLOW OR INCREASE IN IMPROVEMENTS

EXISTING CONDITIONS	PROPOSED CONDITIONS
AREA: 16,108 SF = 0.37 AC	SUPERFICIAL IMPAV. AREA: 8,871 SF = 0.20 AC
RUNOFF COEFFICIENT (C): 0.75	RUNOFF COEFFICIENT (C): 0.70
WATERWAY AREA: 4,897 SF = 0.11 AC	WATERWAY AREA: 4,897 SF = 0.11 AC
WATERWAY RUNOFF COEFFICIENT (C): 0.50	WATERWAY RUNOFF COEFFICIENT (C): 0.50
WATERWAY AREA: 4,897 SF = 0.11 AC	WATERWAY AREA: 4,897 SF = 0.11 AC
WATERWAY RUNOFF COEFFICIENT (C): 0.50	WATERWAY RUNOFF COEFFICIENT (C): 0.50
TOTAL: 16,108 SF = 0.37 AC	TOTAL: 16,108 SF = 0.37 AC
10 YR: 11.17 CFS	10 YR: 11.17 CFS
2 YR: 7.74 CFS	2 YR: 7.74 CFS
1 YR: 5.86 CFS	1 YR: 5.86 CFS
RUNOFF DEPTH (INCH): 0.537	RUNOFF DEPTH (INCH): 0.537
TIMING DELAYS INTERPOLATED FROM TABLE 11 OF THE RUNOFF HANDBOOK	TIMING DELAYS INTERPOLATED FROM TABLE 11 OF THE RUNOFF HANDBOOK
	17.7' x 17.7' x 18' VOLUME = 5,113.0

NOTE: IMPROVEMENTS FOR THE EXISTING AND PROPOSED CONDITIONS ARE GRAPHICALLY DEPICTED ON SHEETS AND RESPECTIVELY.

RAINGARDEN CALCULATIONS

PROPOSED MITIGATION: RAINGARDEN, NEED TO ACCOMMODATE THE VOLUME OF STORMWATER RUNOFF ASSOCIATED WITH THE INCREASE IN IMPAV. AREA ASSOCIATED WITH THE NEW MITIGATION.

VOLUME FROM AS-BUILT: 511.01

DRAINAGE LAYER AND SOIL MEDIA STORAGE VOLUME

Volume = Avg. Depth x Area
 Volume = 0.20 x 8,871 = 1,774.2

NOTE: RAINGARDEN VOLUME: 5,113.0

511.01 - 1,774.2 = 1,262.79

511.01

10 YR: 11.17 CFS
 2 YR: 7.74 CFS
 1 YR: 5.86 CFS

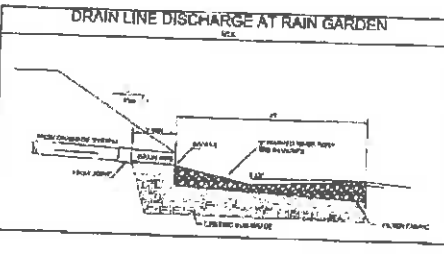
RAIN GARDEN MAINTENANCE PROGRAM

GENERAL: THE MAINTENANCE PROGRAM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE MAINTENANCE PROGRAM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

MAINTENANCE: THE MAINTENANCE PROGRAM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE MAINTENANCE PROGRAM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

THE MAINTENANCE PROGRAM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE MAINTENANCE PROGRAM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

THE MAINTENANCE PROGRAM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE MAINTENANCE PROGRAM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.



DESIGNED BY NATHANIEL J. HOLT, P.E.

1/20/14

PROJECT NO. 14001

DATE: 1/20/14

SHEET **4** OF 6

PROJECT: KLEINSCHMIDT RESIDENCE RENOVATIONS

PROJECT NO. 14001

DATE: 1/20/14

DESIGNED BY: NATHANIEL J. HOLT, P.E.

1/20/14

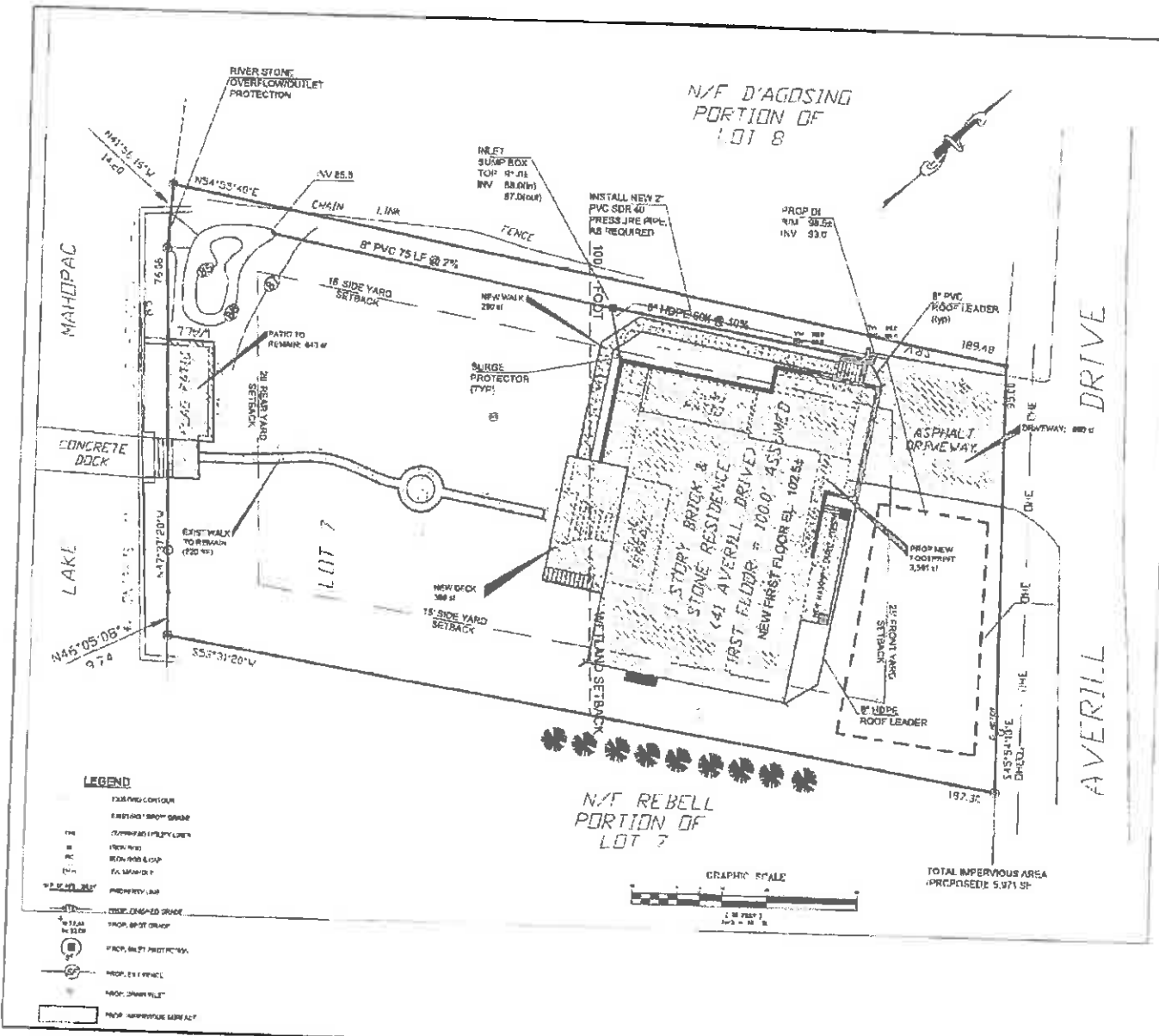
PROJECT: KLEINSCHMIDT RESIDENCE RENOVATIONS

PROJECT NO. 14001

DATE: 1/20/14

DESIGNED BY: NATHANIEL J. HOLT, P.E.

1/20/14



GENERAL NOTES

1. SITE PLAN FROM A MAP PREPARED BY MICHAEL PICCOLI, P.E.
2. PROPERTY LINE AND TOPOGRAPHIC INFORMATION FROM A SURVEY BY THE TOPOGRAPHIC SURVEY OF PROPERTY PREPARED FOR AN EASEMENT AND FIRE PART D BY JOHN MAULDOON, L.S., DATE: LAST REVISION MAY 6, 2016.

		5 SHEET NO. 5 OF 6
NATHANIEL J. HOLT, P.E. 502 ROUTE 22 PALM BEACH, NEW YORK 17684 (717) 700-1100		
HYDROLOGY (FUTURE) PLAN		
KLEINSCHMIDT RESIDENCE RENOVATIONS PLAN 41 AVERILL ROAD MAHOPAC, N.Y. 10581		

MICHAEL PICCOLI, P.E.
 12345
 STATE OF NEW YORK
 PROFESSIONAL ENGINEER

SEQUENCE OF CONSTRUCTION

WEEK 1 THROUGH 4

WEEK 5 THROUGH 6

WEEK 7 THROUGH 8

WEEK 9 THROUGH 10

WEEK 11 THROUGH 12

WEEK 13 THROUGH 14

WEEK 15 THROUGH 16

WEEK 17 THROUGH 18

WEEK 19 THROUGH 20

WEEK 21 THROUGH 22

WEEK 23 THROUGH 24

WEEK 25 THROUGH 26

WEEK 27 THROUGH 28

WEEK 29 THROUGH 30

WEEK 31 THROUGH 32

WEEK 33 THROUGH 34

WEEK 35 THROUGH 36

WEEK 37 THROUGH 38

WEEK 39 THROUGH 40

WEEK 41 THROUGH 42

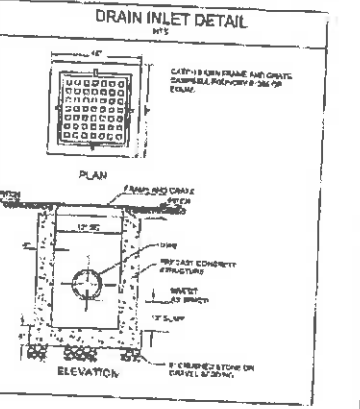
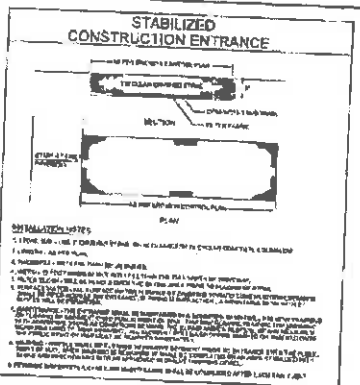
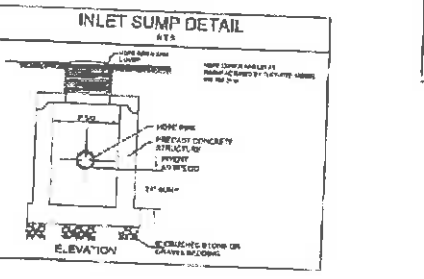
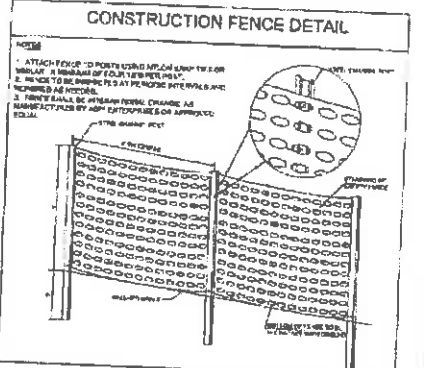
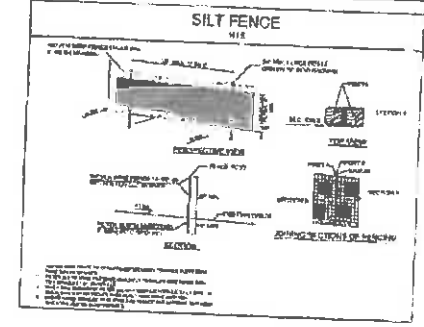
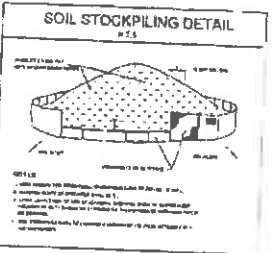
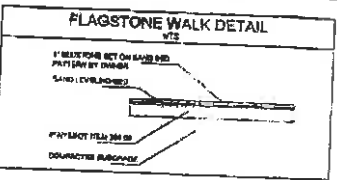
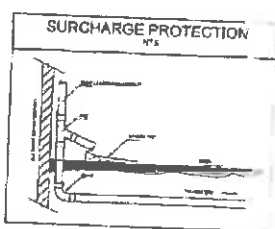
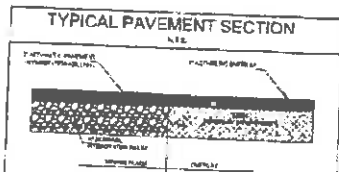
WEEK 43 THROUGH 44

WEEK 45 THROUGH 46

WEEK 47 THROUGH 48

WEEK 49 THROUGH 50

WEEK 51 THROUGH 52



CONSTRUCTION © 2015 NATHANIEL J. HOLT, P.E. ALL RIGHTS RESERVED. UNAUTHORIZED REPRODUCTION IS A VIOLATION OF APPLICABLE LAW.

6

NATHANIEL J. HOLT, P.E.
592 ROUTE 22
PARKING NEW YORK 12554
(517) 690-1800

DETAILS

KLEINSCHMIDT RESIDENCE
RENOVATIONS
41 AVE HILL ROAD
MANHATTAN, N.Y. 10561



LOWER HUDSON FORESTRY SERVICES

P.O. Box 756, Nyack, NY 10960
(845) 270-2071
www.lowerhudsonforestry.com

April 29, 2016

To The ECB:

The following are the items that you requested at the April 21, 2016 meeting for the Willow Wood Gun Club tree harvest application:

1. Contractor's liability and workers compensation insurance
2. I am waiting for a signed contract at this time but I have included an unsigned copy. - Rec'd Signed Copy
3. Copy of the deed for tax parcel 87.7-1-7
4. Excerpt from the NYS DEC "Best Management Practices BMP) manual pertaining to the location and construction of water bars and rolling dips to prevent erosion. This guide also shows the suggested waterbar spacing guidelines in regards to slope.
5. Map of the approximate location of waterbars.
6. Fueling plan: The contractor will be using both diesel and saw gas mixture. The fueling of the skidder is done once a day in the morning. Transfer from an approved 50 gallon tank mounted to the back of a pickup is done with an electric pump. This 50 gallon tank is permanently mounted to the pickup and is never removed or left on site other than when the truck is on the job. The skidder usually is filled with 15-25 gallons of diesel fuel per day. The filling of the chainsaws is done with small 1 ½ gallon approved fuel containers. The chainsaw bar oil is filled from 1 gallon bar oil containers.
7. Landing schematic and spill kit location.
8. I spoke to the Town Highway department (Michael Simone) about the road bond on April 27, 2016 and as of the submission of this paperwork have not heard back from him on how much the bond is. The planned truck route is leaving Willow Wood and heading east on Union Valley Road for one mile and then turning south on County Route 135 (Croton Falls Road).

If you have any questions please let me know. Thank you.

Sincerely,

Christopher Prentis, CF

ROBERT LAGA
Chairman

ANTHONY DUSOVIC
Vice-Chair

ROSE TROMBETTA
Secretary

DAVID KLOTZLE
Wetland Inspector

TOWN OF CARMEL
ENVIRONMENTAL CONSERVATION BOARD



60 McAlpin Avenue
Mahopac, New York 10541
Tel. (845) 628-1500 - Ext. 190
www.ci.carmel.ny.us

BOARD MEMBERS

Edward Barnett
Marc Pekowsky
Vincent Turano
Nicholas Fannin
John Starace

APPLICATION FOR A TREE CUTTING PERMIT

Name of Applicant: Willow Wood Country Club, Inc. d/b/a Willow Wood Gun Club

Address: 551 Union Valley Road, Mahopac, NY Tel. No. (845) 621-0200

Owner of Property: Same as Applicant

Address: 551 Union Valley Road, Mahopac, NY Tel. No. (845) 621-0200

Tax Map Number: 87.7-1-7 Total Land Area Involved: 15 acres to be cut of the 74.15

Number of trees of each species to be cut: see att. Range, in inches, of diameter, measured 4 & 1/2 feet acre tax
lot.

above the ground of the trees to be cut: see attached

Total Board Foot Volume for each species to be cut: see attached

A Sketch Map drawn to scale must be attached showing:

1. Boundaries of Property.
2. Access Roads into property and proposed roads and skid trails in the property.
3. Area within the property where cutting will occur.
4. Location and size of product loading areas.
5. Any area of the property defined as a wetland by the Town of Carmel Wetland Law.
6. If tree cutting operation is to be conducted in stages, each stage shall be shown on the sketch map.
7. Scale of map.

A written statement must be attached stating that each tree to be removed has been designated with paint or other distinctive means at two points so as to be readily visible. One point shall be low enough on the tree so as to be visible on the stump after the tree is removed.

Permit Fee is: - Up to 25 acres - \$300.00 - Over 25 acres - \$400.00 + \$50.00 an acre.

Willow Wood Country Club, Inc.
By: [Signature]
SIGNATURE OF OWNER
MICHAEL SABATINI, Pres.

Willow Wood Country Club, Inc.
By: [Signature]
SIGNATURE OF APPLICANT
MICHAEL SABATINI, Pres.

All property owners within 500 feet of the subject property must be notified by U.S. Mail prior to commencement of the operation.

April 4, 2016

Lands of Willow Wood Gun Club

Town of Carmel

Putnam County, NY

VOLUME REPORT

Species	DBH Range	# Trees	Volume Scribner	Vol/Tree
Red oak <i>Quercus rubra</i>	14" - 32"	179	32,784	183
Black oak <i>Quercus velutina</i>	14" - 32"	18	2,779	154
Black birch <i>Betula lenta</i>	14" - 22"	27	2,379	88
White oak <i>Quercus alba</i>	14" - 21"	25	2,209	88
White ash <i>Fraxinus americana</i>	14" - 22"	15	1,909	127
Chestnut oak <i>Quercus prinus</i>	14" - 22"	14	1,495	107
Hickory <i>Carya glabra</i>	14" - 20"	12	1,197	100
Scarlet oak <i>Quercus coccinea</i>	16" - 24"	6	1,056	176
Sugar maple <i>Acer saccharum</i>	15" - 20"	6	437	73
Red maple <i>Acer rubrum</i>	17"	1	<u>66</u>	<u>66</u>
Sawtimber Totals		303	46,311	153

The timber is marked with a horizontal **BLUE** stripe of paint approximately 4.5' above the ground and at the base. The timber is marked on approximately 15 acres.

Trees per acre to be harvested = 20

Volume per acre to be harvested = 3,087 Board feet



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
4/28/2016

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER W. J. COX ASSOCIATES, INC. 9600 MAIN ST., SUITE 3 Clarence, NY 14031-2093	(716) 759-9606	CONTACT NAME: PHONE (A/C, No, Ext): FAX (A/C, No): E-MAIL ADDRESS:
	INSURER(S) AFFORDING COVERAGE	
	INSURER A : Selective Insurance Company of Southeast	
		NAIC # 39926
INSURED County Logging & Landclearing Inc 3 Kaprolet Ln Walden, NY 12586		
INSURER B : INSURER C : INSURER D : INSURER E : INSURER F :		

COVERAGES CERTIFICATE NUMBER: REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:	N	N	S 2091488 02	12/14/2015	12/14/2016	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 \$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS						COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
	<input type="checkbox"/> UMBRELLA LIAB <input type="checkbox"/> EXCESS LIAB OCCUR CLAIMS-MADE DED RETENTION \$						EACH OCCURRENCE \$ AGGREGATE \$ \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N	N/A				PER STATUTE OTH-ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

CERTIFICATE HOLDER Willow Wood Club 551 Union Valley Rd Mahopac, NY 10541-	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE
---	--

**CERTIFICATE OF PARTICIPATION IN WORKERS' COMPENSATION
GROUP SELF-INSURANCE**

<p>1a. Legal Name and Address of Business Participating in Group Self-Insurance (Use Street Address Only)</p> <p>County Logging & Landclearing Inc 3 Kaprolet Ln Walden NY 12586</p>	<p>1d. Business Telephone Number of Business referenced in box "1a"</p> <p>(845) 778-0177</p>
<p>1b. Effective Date of Membership in the Group <u>02/04/1998</u></p>	<p>1e. NYS Unemployment Insurance Employer Registration Number of Business referenced in box "1a"</p> <p>45-46146</p>
<p>1c. The Proprietor, Partners or Executive Officers are</p> <p><input checked="" type="checkbox"/> included in the coverage provided by this group self-insurance</p> <p><input type="checkbox"/> excluded. Form C-105.51 must be filed with the Self insurance office.</p>	<p>1f. Federal Employer Identification Number of Business referenced in Box "1a"</p> <p>14-1821371</p>
<p>2. Name and Address of the Entity Requesting Proof of Coverage (Entity Being Listed as Certificate Holder)</p> <p>Willow Wood Club 551 Union Valley Rd Mahopac NY 10541</p>	<p>3. Name and Address of Group Self-Insurer</p> <p>New York Lumbermen's Insurance Trust Fund 9600 Main Street - Suite 3 Clarence, NY 14031-2093</p>

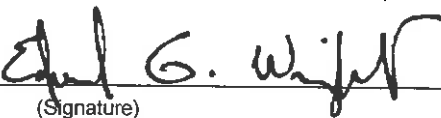
This certifies that the business referenced above in box "1a" is complying with the mandatory coverage requirements of the New York State Workers' Compensation Law as a participating member of the Group Self-Insurer listed above in box "3" and participation in such group self-insurance is still in force. The Group Self-Insurer's Administrator will send this Certificate of Participation to the entity listed above as the certificate holder in box "2".

The Group Self-Insurers' Administrator will notify the above certificate holder within 10 days IF the membership of the participant listed in box "1a" is terminated. (These notices may be sent by regular mail.) Otherwise, this Certificate is valid for a maximum of one year from the date certified by the group self-insurer.

If this certificate is no longer valid according to the above guidelines and the business referenced in box "1a" continues to be named on a permit, license or contract issued by the certificate holder, the business must provide the certificate holder either with a new certificate or other authorized proof the business is complying with the mandatory coverage requirements of the New York State Workers' Compensation Law.

Under penalty of perjury, I certify that I am an authorized representative of the Group Self-Insurer referenced above and that the business referenced in box "1a" has the coverage as depicted on this form.

Certified by: Edward G. Wright
(Print name of authorized representative of the Group Self-Insurer)

Certified by: 
(Signature) 04/28/2016
(Date)

Title: President - W. J. Cox Associates, Inc.

Telephone Number: (716) 759-9606

WORKERS' COMPENSATION LAW

Section 57 Restriction on issue of permits and the entering into contracts unless compensation is secured.

1. The head of a state or municipal department, board, commission or office authorized or required by law to issue any permit for or in connection with any work involving the employment of employees in a hazardous employment defined in this chapter, and notwithstanding any general or special statute requiring or authorizing the issue of such permits, shall not issue such permit unless proof duly subscribed by an insurance carrier is produced in a form satisfactory to the chair, that compensation for all employees has been secured as provided by this chapter. Nothing herein, however, shall be construed as creating any liability on the part of such state or municipal department, board, commission or office to pay any compensation to any such employee if so employed.

2. The head of a state or municipal department, board, commission or office authorized or required by law to enter into any contract for or in connection with any work involving the employment of employees in a hazardous employment defined by this chapter, notwithstanding any general or special statute requiring or authorizing any such contract, shall not enter into any such contract unless proof duly subscribed by an insurance carrier is produced in a form satisfactory to the chair, that compensation for all employees has been secured as provided by this chapter.

Please Note: This Certificate is valid only for a maximum of one year after this form is approved by the authorized representative of the Group Self-Insurer. At the expiration of that date, if the business continues to be named on a permit or contract issued by the above government entity, the business must provide that government entity with a new Certificate. The business must also provide a new Certificate upon notice of cancellation or change in status of such participation in group self-insurance.



**County Logging
Complete Forest Management
3 Kaprolet Ln.
Walden, NY. 12586
845-778-0177**

Timber Sale Contract

This agreement entered into this 28th day of April, 2016 between Willow Wood Rifle & Pistol Club, Inc., d/b/a Willow Wood Gun Club, located at 551 Union Valley Road, Mahopac, New York, with a mailing address of at P.O. Box 181 Lincolndale, NY 10540 for the property located off of 545 Union Valley Road, Mahopac, NY 10541, designated on the Tax Map as Parcel ID# 87.7-1-7, herein after called seller, and Tom Immel, doing business as County Logging of 3 Kaprolet Ln Walden, NY, 12586, herein known as the buyer.

Witness to:

The seller agrees to sell and the buyer agrees to buy and cut all timber marked for cutting by a blue paint mark approximately 4 ½ feet above the ground and on the stump approximately 6 inches from the ground, located on the tract of land belonging to the Owner situated in the Town of Carmel, Putnam County, New York, which site consists of approximately 15 acres. Said timber comprises a total of approximately 47,000 board feet as set forth in the report by Chris Prentis of Lower Hudson Forestry Services, LLC, a copy of which has been furnished to the Purchaser.

It is mutually agreed and understood that:

A. The seller

1. Guarantees title to said timber and agrees to defend it against any and all claims whatsoever.
2. Agrees to allow the buyer, to enter upon the above described land, for the purpose of this agreement and to do such other things as may be necessary in connection with such purpose, including the right and privilege of the buyer to use sufficient and necessary space in and upon said land, to skid, to load, and haul all timber covered by this agreement and not other subject to approval.
3. Agrees to allow the buyer to construct suitable skidding trails and log loading decks from which said timber will be removed from the above described land, the location of such log loading decks to be by mutual agreement subject to approval.

B. The Buyer:

1. Agrees to pay the seller 50% on all saw log timber and other revenues from the logging. Payment to Seller will be made on the completion of the job.
2. The buyer further agrees to cut and remove said timber in accordance with the following conditions:
 - A. Only trees designed for removal under the terms of this contract shall be cut.
 - B. The stumps shall be as close to the ground as possible.
 - C. All tops and branches will be broken down to a maximum breast height of three to four feet from the ground to facilitate early decomposition, and will remain the property of the seller.
 - D. Young trees shall be protected against unnecessary injury: only dead trees may be used for the construction purposes in connection with the logging operation and all existing roads shall be kept clear of top, logs, brush and other obstructions.
 - E. The buyer will use due care to prevent fires, will use his equipment to extinguish all fires endangering the woodland described in this agreement, and shall be responsible for damage resulting from fires caused by his negligence.
 - F. The buyer agrees to repair logging damages to roads, bridges, ditches, fences, trails or other improvements, especially roads, be in good condition after cutting is complete. In particular, the buyer agrees to back blade all permanent roads and to clear off debris and plant rye grass crop cover on all log loading landings so as to minimize erosion.
 - G. The buyer will conduct harvesting of timber in conformity with New York State Timber Harvesting Guidelines and will comply with all municipal county, state or federal ordinance pertaining to the harvesting and removal of timber, including installing waterbars where required.
 - H. The buyer will be responsible for seeing that all boundary lines of the above described lands are respected and assumes responsibility for any and all damage which may arise in the harvesting or removal of said timber.
 - I. Cull trees/firewood trees marked by the Forester shall be cut. Cull trees not cut will be charged at \$50/tree.
 - J. The buyer will post the bond required by the Town of Carmel Highway Department to cover any damage caused by the buyer to roads in the Town.


3. The buyer agrees to indemnify and save harmless the seller against any claim for property damage and personal injury to any person resulting from the execution and performance of this agreement liability insurance in the amount of 1,000,000 per accident, and will provide the seller will be named as an additional insured on said property. Purchaser shall also maintain in full force and effect all required Workers Compensation insurance covering Purchaser's employees and/or the employees of any sub-contractors performing the logging work on the premises.

C. Further, it is mutually agreed that:

1. All saw timber will be scaled by international rule.
2. This contract, and all provisions, terms and conditions thereof, shall be binding upon the parties hereto, and likewise upon their legal representatives, successors and assignees and said contract shall be assigned without the written consent of the seller.
3. In the event of a dispute over the terms of this contract, final decision shall rest with the two (2) arbitrators, one (1) of whom shall be selected by the seller and another to be selected by the buyer and in case the two (2) selected shall disagree they may select a third arbitrator, and the decision of the majority of the three arbitrators shall be final, or at the sellers option, seller may have any dispute heard in the County Supreme Court by way of ordinary suit.
4. The seller's agent for the supervision of the cutting operations contemplated hereby and the compliance of the buyer with all the terms of this agreement is:

In witness whereof, the parties hereto have hereunto set their hands and seals this 28th day of April, 2016.

WILLOW WOOD RIFLE AND PISTOL CLUB, INC.
d/b/a Willow Wood Gun Club

By: 
MICHAEL SABATINI, President
Seller

 4/28/16
Buyer
Thomas Immel

SKID TRAILS - EROSION CONTROL TECHNIQUES WATER DEFLECTION

WATER BARS

Water bars are mounds of soil excavated across the width of a skid trail at a 30 degree downward angle. Effective water bars extend the entire width of the skid trail and possess a clear outlet which facilitates the drainage of water from the compacted surface of a skid trail into undisturbed forest soil. The number of water bars installed on a skid trail is contingent upon the trail slope. The steeper the slope, the greater the number of water bars necessary to control runoff on the skid trail. Water bars control the volume and velocity of water that flows down skid trails, intercepting runoff and returning it to its natural place within the landscape where it can be absorbed by undisturbed forest soils. Water bars can accommodate ATV traffic, although annual maintenance is necessary to insure continued functionality. Water bars are a necessary tool for controlling the forces of erosion associated with storm water runoff on skid trails.

FIGURE 3: WATER BAR

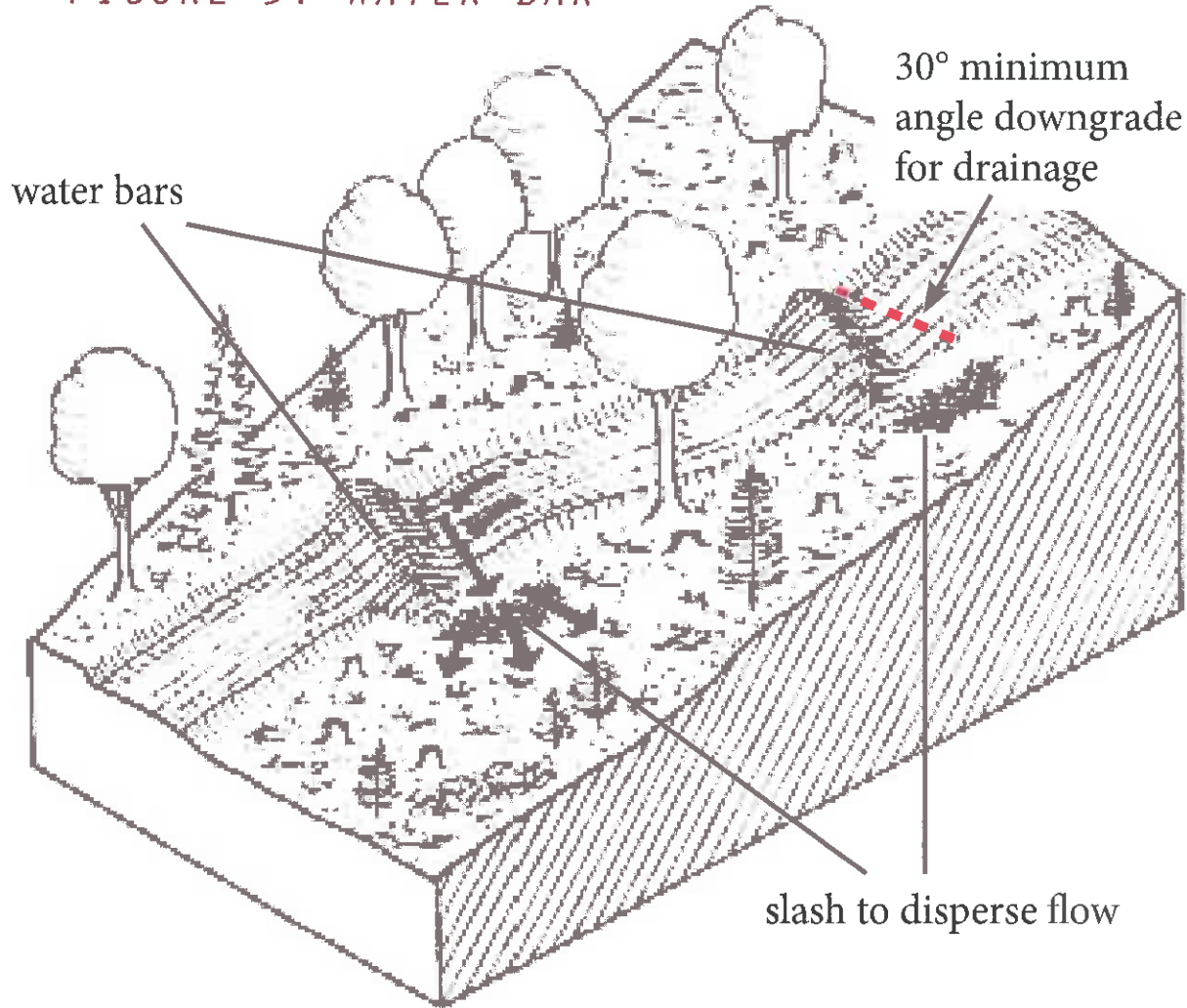


TABLE 2:
WATER BAR
SPACING
GUIDELINES

Slope (percent)	Spacing (feet)
2	250
5	135
10	80
15	60
20	45
25	30
30	35

PHOTO 1: WATER BAR

30° minimum
angle downgrade
for drainage

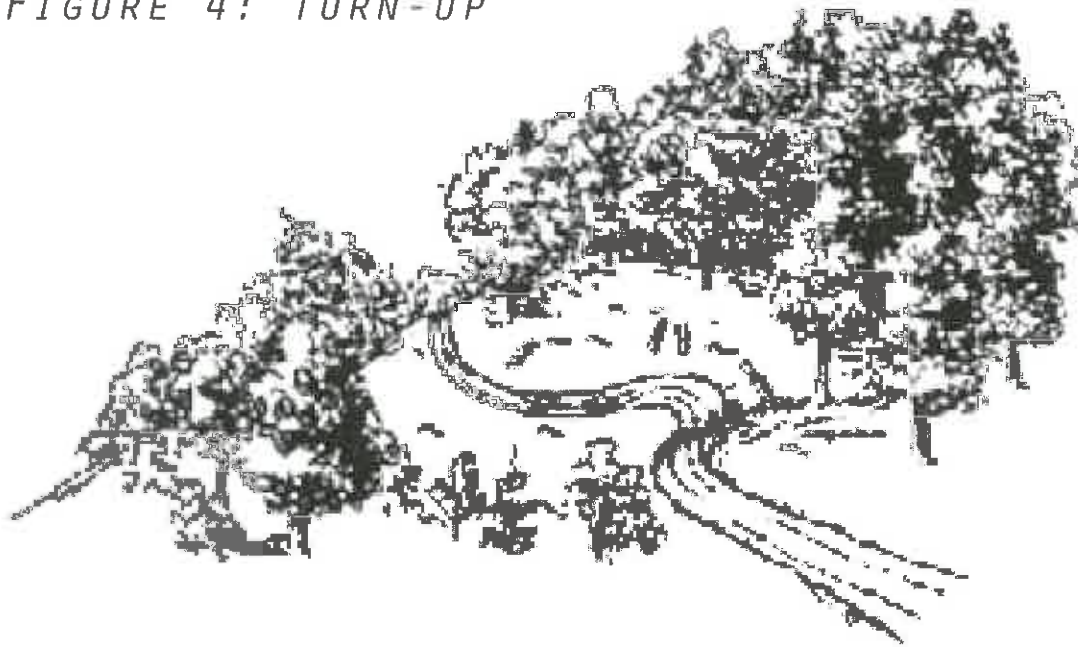
30°



TURN - UP

A turn-up in a skid trail takes advantage of natural topography to interrupt the flow of water. Loggers can locate a turn-up by turning the trail briefly uphill prior to resuming the trails downward course. A turn-up in the skid trail can reduce water velocity. It is a good technique in steep terrain when it is used in conjunction with water bars or diversion ditches.

FIGURE 4: TURN-UP



ROLLING DIP

Rolling dips are a cross between a water bar and a broad based dip (see Forest Roads section, page 36). Like broad based dips, they have a reverse grade (although shorter) and direct water off the road. Like water bars, they may rely on a mound of soil at the downhill side. Rolling dips should be used on truck haul roads and heavily-used skid trails having a gradient of 15 percent or less. Rolling dips should not be used for crossing streams, springs and seeps.

Purpose

- To gather water and direct it safely off the road to prevent build-up of surface runoff and subsequent erosion, while allowing the passage of traffic.

Specifications

- Installation follows basic clearing and grading for road bed construction or on skid trails after logging is complete.
- A 10-15 foot long, 3 to 8 percent reverse grade is constructed into the road bed by cutting upgrade to the dip location and then using cut material to build the mound for the reverse grade.

FIGURE 5: ROLLING DIP

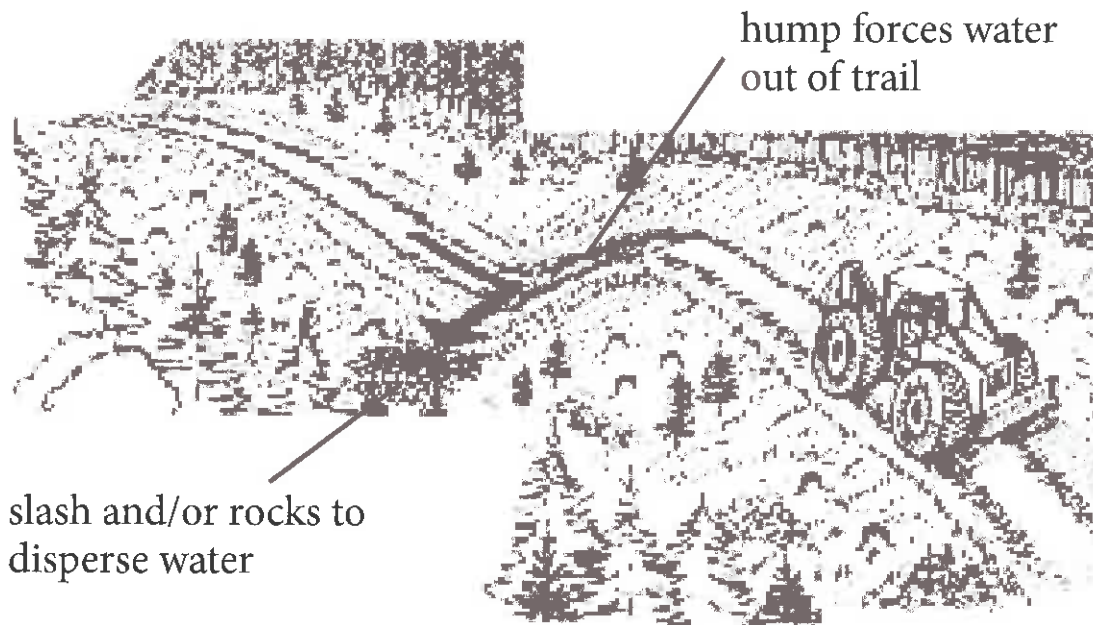
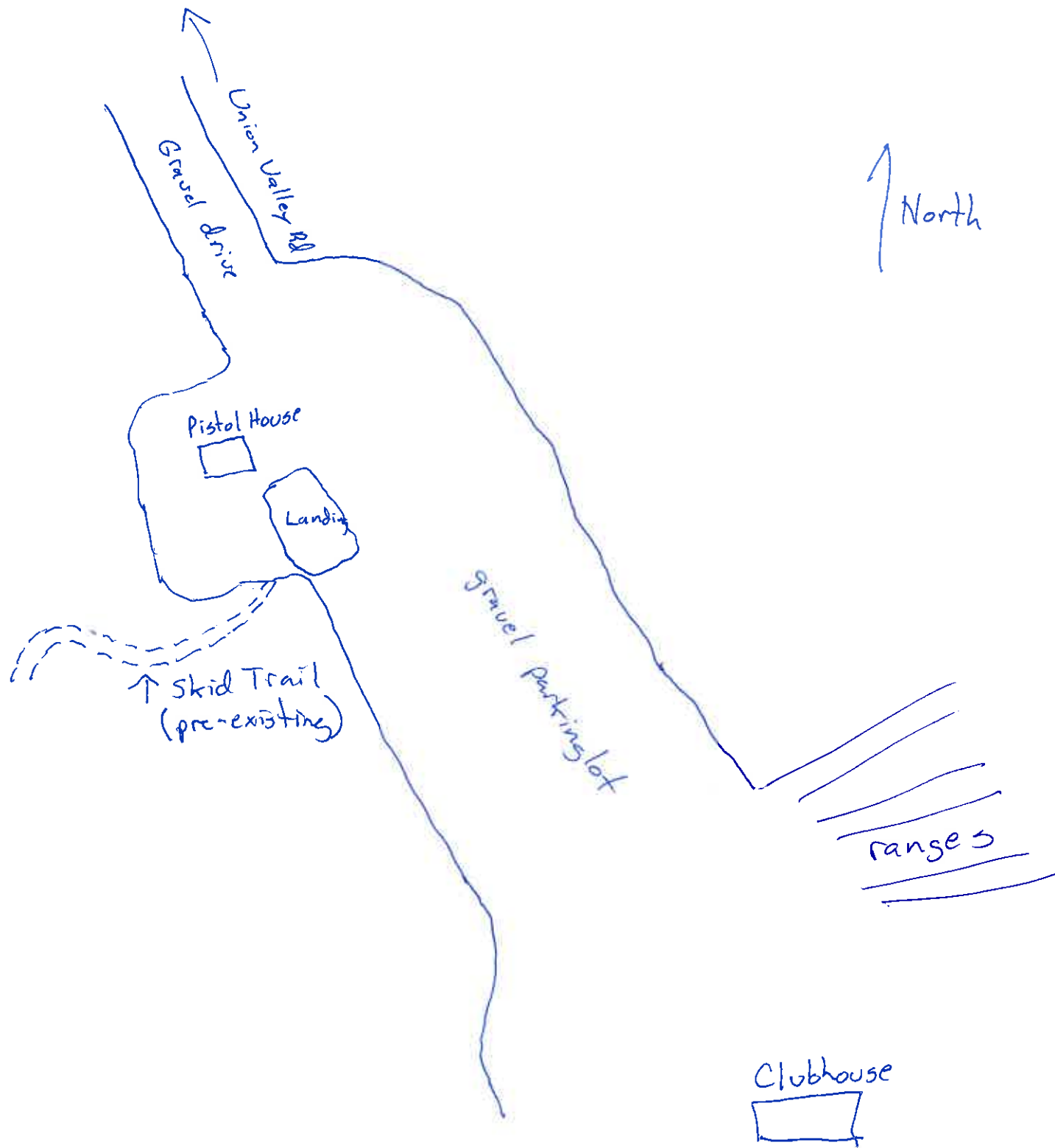


TABLE 3: ROLLING DIP SPACING GUIDELINES

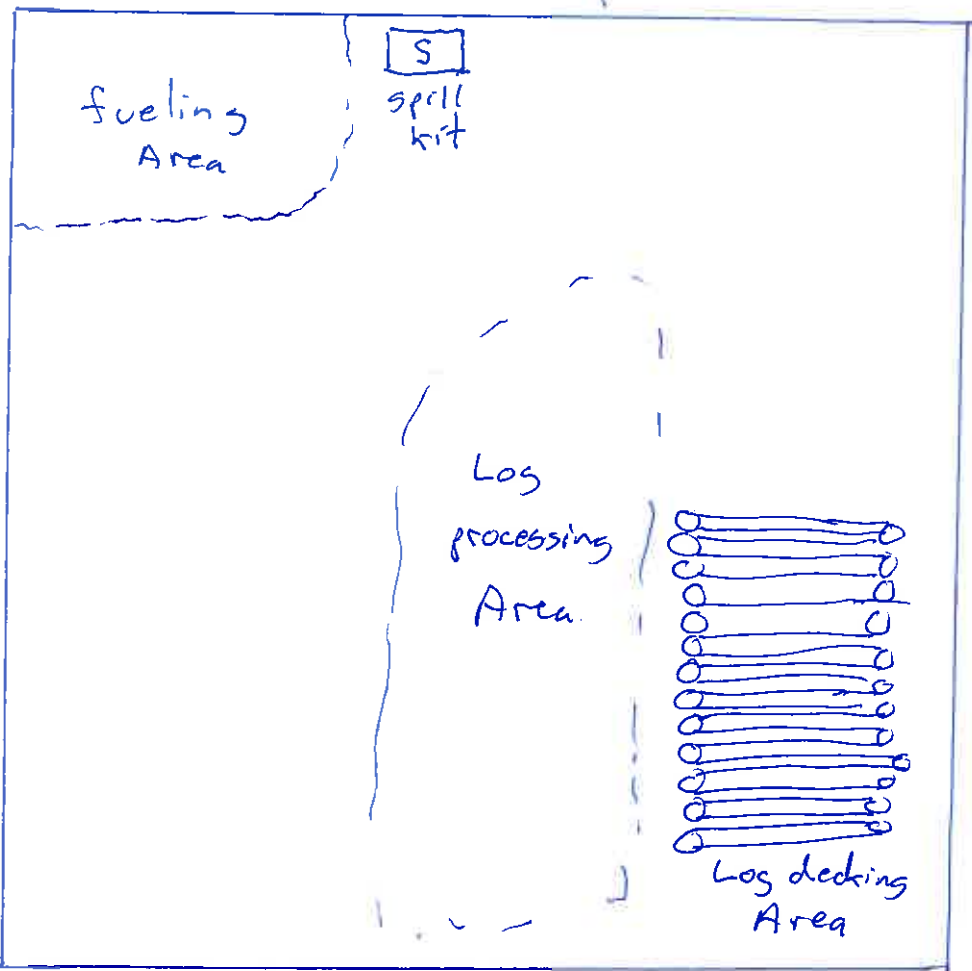
Slope (percent)	Spacing (feet)
2	250
5	135
10	80
15	60
20	45
25	30
30	35



pistol house



gravel Road









skid Trail

North

1" = 15'



Willow Wood Gun Club

-  Property Boundary
-  Harvest Area
-  Skid Trails
-  Waterbar Location
-  Landing Area
-  Structures



1 inch = 400 feet

Waterbar Location Map

The locations of waterbars on this map are only approximate locations that will vary as the job progresses. The ground conditions on this site are very rocky and though the slope may determine on the map that a water bar should be placed, it may not be needed or feasible to do so at every location. If the ground is solid rock and the skidder passes over it numerous times but does not cause disturbance, then there is no need for a waterbar. Conversely, if a water bar is needed, but the ground is extremely rocky, a waterbar may not be able to be constructed at that exact location. The contractor will find a suitable location as close to the spacing requirements set forth in the BMP manual and construct a water bar in that location.

**EAST-WEST FORESTRY ASSOCIATES
CONSULTING FORESTERS
22 DEANA LOOP
LAGRANGEVILLE NY 12540
(845)226-2628**

May 2, 2016

Environmental Conservation Board
Town of Carmel
Town Hall
Mahopac, NY 10541

RE: Application for Tree Cutting Permit for Willow Wood Rifle & Pistol Club

Dear Environmental Conservation Board :

At your request, I have reviewed the application materials submitted by Chris Prentis of Lower Hudson Forestry Services for the above referenced project. I also walked the site on Friday (4/29) with Chris Prentis. The following report addresses my findings and recommendations concerning this project in relation to the guidelines found in the town code.

My review shows that this project has been adequately planned and laid out on the site, and that it can be accomplished in an environmentally sound manner with certain precautions. The key concern is that the project be undertaken with the proper ground and weather conditions to avoid site disturbances which could lead to erosion problems. Ground conditions at the time of my inspection were acceptable for the planned project. Inspections during the actual work period are recommended to assess changing conditions and to catch any developing problem areas. The anticipated time frame for the project is late summer or early fall of this year.

The proposed project would have little impact on the community due to the location of the property. The property is located to the south of Union Valley Road. The 15 acre harvest area is surrounded by other club woodlands on three sides and a power line right-of-way to the south. The boundaries of the property are posted and the harvest area is marked with flagging.

The following section details my findings, concerns and recommendations for the project, pertaining to each of the eight listed guidelines in the town code.

1. Stream crossings - There are no streams within the proposed harvest area. There is a wetland area along the eastern border of the property but the harvest area would have no effect on this wetland. The club's gravel parking area separates the harvest area from the wetland.

2. Cutting and skidding near streams - No concerns.

3. Road locations - The main skid trails proposed for this operation are shown on the applicant's map. These trails appear to be well placed and I don't have any concerns with their layout. The applicant states that the contractor will use a bull dozer to prepare the skid road for use. This will result in less impact to the ground and less concern of erosion issues. Water diversions should be constructed as necessary during the work and at project completion to prevent any erosion problems.

4. Steep slopes - Areas of the project site do have steep slopes. The removal of trees on these slopes should not be a problem with proper ground conditions, well constructed logging roads and with proper operation of the logging equipment. The construction of the skid trails and erosion control measures should be confirmed before the project starts and monitored during the work.

5. Landing areas - The proposed landing is located in the gravel parking area. I have no concerns with the landing area. The application states that the landing area will be cleared of debris and smoothed off and seeded at project completion and this should be adequate reclamation.

6. Landing locations - No concerns other than that stated above.

7. Protection of roads - Log trucks will exit the landing area onto the club's driveway and then onto Union Valley Road. No concerns.

8. Buffer Zones - There are no areas with residential properties close to the proposed harvest area. The project area is fully within the club's property and will not be visible from outside the property.

Recommendations: I would require the following as conditions of any permit.

1. The board, through their inspector, will approve the start up of the project based on existing ground conditions. The inspector could temporarily stop the project, including the truck access on Union Valley Road, in the case of poor weather and ground conditions.
2. The boards inspector would perform certain inspections for compliance with the permit during operations
 - A. Initial and periodic inspections to confirm:
 1. Landing area, logging road layout, construction and maintenance
 2. Ground and weather condition
 - B. Final inspection to confirm:
 1. Road grading, landing reclamation and erosion control

It is my opinion that this project can be successfully accomplished with minimum environmental impacts by following these guidelines and recommendations.

Respectfully submitted,


Doug Raney

cc. Chris Prentis



April 28, 2016

Ref: 41929.00

Via Hand Delivery

Hon. Harold Gary, Chairman
and Members of the Planning Board
Town of Carmel
60 McAlpin Avenue
Mahopac, New York 10541

Richard Franzetti, PE
Town Engineer
Town of Carmel
60 McAlpin Avenue
Mahopac, New York 10541

**Re: Lake Plaza Shopping Center
983-1005 Route 6,
Mahopac, NY 10541
Tax Map #65.10-1-45 & 46 – Site Plan Review**

Dear Chairman Gary and Members of the Planning Board and Mr. Franzetti,

VHB Engineering, Surveying and Landscape Architecture, P.C. ("VHB") is the civil and traffic engineer for Lake Plaza Shopping Center, LLC ("the Applicant") on its request for Site Plan and stormwater pollution prevention plan approval for the proposed Stop & Shop Supermarket and other improvements in the Lake Plaza Shopping Center (the "Project"). As you will recall, your Board is the lead agency responsible for conducting a coordinated environmental review of the Project under the New York State Environmental Quality Review Act ("SEQRA"). When we were last before your Board, counsel for the Applicant requested that the Board make its determination of significance under SEQRA (which the Applicant believes should be a Negative Declaration), explaining that the SEQRA determination is necessary for us to advance this application before other agencies from which the Applicant requires permits and approvals, such as the New York City Department of Environmental Protection ("DEP"). At that time, the Applicant was asked to address two topics to aid the Board in making its determination of significance under SEQRA – (i) the comments in the review memorandum by Town Engineer Richard Franzetti, P.E., originally

50 Main Street

Suite 360

Engineers | Scientists | Planners | Designers

White Plains, New York 10606

P 914.467.6600

F 914 761.3759



dated January 8, 2016 and last updated March 10, 2016; and (ii) traffic measures to control vehicles entering the Project site from the Dunkin Donuts property. This submission is made to address those items and in further support of this application.

A. Responses to Engineering Review Comments

Enclosed are the following plans and information upon which the specific responses to Town Engineer Franzetti's comments, set forth below, are based:

- 11 copies: Proposed Stop & Shop Site Plans issued for Site Plan Approval, Sheets C-00 to C-20, prepared by VHB, last revised April 27, 2016.
- 11 copies: Stormwater Pollution Prevention Plan (SWPPP), prepared by VHB, last revised April 2016
- 11 copies: Comment Memorandum from Richard Franzetti, PE, Town Engineer, updated March 10, 2016
- 11 copies: Report from David J. Klotzle, Town Wetland Inspector, to Richard Franzetti, P.E., dated January 22, 2016, regarding landscaping plan
- 11 copies: Report from David J. Klotzle, Town Wetland Inspector, to the Environmental Conservation Board, dated March 29, 2016, confirming wetland delineation and regarding landscaping plan
- 11 copies: Putnam County Department of Health Review Letter addressed to Richard Franzetti, P.E., dated January 26, 2016
- 1 copy: Easement documents (previously submitted with the initial Site Plan Application package on November 30, 2015 (the "Initial Submission").
- 1 copy: CD (Pdf of all attached materials)

I. General Comments

- Comment #1: The applicant acknowledges that the following referrals are required:
- a. New York State Department of Environmental Conservation (NYSDEC)
 - b. New York City Department of Environmental Protection (NYCDEP).
 - c. Putnam County Department of Health (PCDOH).
 - d. The Town of Carmel Environmental Conservation Board (ECB).
 - e. Mahopac Fire Department



Response #1: Comment noted. No action by the Applicant is required. The noted referrals need to be made by the Town, which the Applicant assumes has been done.

Comment #2: The applicant acknowledges that the following permits are required:

- a. NYSDEC - for stormwater and wetlands;
- b. NYCDEP for stormwater;
- c. PCDOH for well and SSTS.

Response #2: Comment noted. The Applicant has conferred with the NYSDEC, ECB, NYCDEP and PCDOH regarding the permits referred to in this comment but formal applications for the permits cannot be processed until a SEQRA determination of significance has been made by the Planning Board.

Comment #3: Copies of the November 2015 Traffic Impact Analysis have been forward to the New York State Department of Transportation and Town of Carmel Highway Department for review.

Response #3: Comment noted. No action by the Applicant is required. However, the Applicant notes that no activity is proposed that requires a permit from the New York State Department of Transportation or the Town of Carmel Highway Department, therefore no action is required.

Comment #4: The applicant acknowledges this comment and will provide verification of the wetland mapping and delineations by the NYSDEC upon receipt from the State. A copy of the wetland mapping has been forwarded to the Town of Carmel Wetlands Inspector.

Response #4: The applicant will forward the verification of the wetland mapping and delineation upon receipt from the NYSDEC. The Town's Wetland Inspector, David J. Klotzle, has confirmed that the Applicant's wetland delineation is accurate. A copy of Mr. Klotzle's Report to the Environmental Conservation Board ("ECB") to that effect, dated March 29, 2016, is enclosed.

Comment #5: A copy of the planting plan has been forwarded to the Town of Carmel Wetlands Inspector for review and comment.

Response #5: Comments noted. Planting Note 14 has been added stating, "Temporary 8 foot high deer exclusion fencing will be installed along the project's perimeter and maintained during the planting plan monitoring period to allow plants to become established." Planting Note 10 and Seeding Note 3



has been revised to require a 3-year warranty on all plants. Planting Note 15 has been added stating, "The contractor shall notify town wetlands inspector David Klotzle at least 10 days prior to site preparation and installation of the proposed plantings to ensure that proper procedures are followed." Please refer to revised Planting Plan (Sheet C-18).

Comment #6 The applicant has scheduled a meeting with the NYCDEP to discuss the Stormwater Pollution Prevention Plan (SWPPP). Review from this Department is ongoing.

Response #6: The statement is correct. The Applicant has had several meetings with NYCDEP to review the SWPPP and has received several comments. However, NYCDEP has made it clear that its review has been strictly conceptual in nature because no formal application has yet been filed because no SEQRA determination has been made. The Applicant needs a SEQRA determination to proceed with a formal, binding review process with the NYCDEP.

Comment #7: The applicant provided a water. Review from this Department is ongoing. The applicant has acknowledged that a wastewater report will be developed and that they will submit report to the NYCDEP for review.

Response #7: A Wastewater Report was prepared by Keane Coppelman Gregory Engineers and submitted to the Town, PCDOH and NYCDEP. (If additional copies are desired, please let us know.) Comments were issued to the Town Engineer by the PCDOH (copy enclosed) but a SEQRA determination is required in order to formalize and advance the reviews by the NYCDEP and the PCDOH.

Comment #8: All easements (water, sewer stormwater etc.) should be provided;

Response #8: An additional copy of all easement instruments is provided. (See attachment) (Two other copies were provided in the Initial Submission. If additional copies are required, please let us know.)



Comment #9: The applicant acknowledge that a stormwater maintenance agreement and maintenance guarantee per Town Code (§156-85 and §156-87 B respectively) is required.

Response #9: **Comment noted. These agreements/guarantees will be provided by the Applicant once the site plan is approved. The Applicant assumes the delivery of them will be a condition of site plan approval. Please let us know if you would like a draft of the agreement sooner.**

Comment #10: Should any public improvements be deemed necessary as part of the development of the tract, a Performance Bond and associated Engineering Fee must eventually be established for the work. The applicant will need to develop a quantity take off for bonding purposes.

Response #10: **Comment noted. No action by the Applicant is required at this time.**

II. Detailed Comments

Comment #1: Applicant has acknowledged that Zoning/Parking Chart on Drawing C04 should identify the number of employees. The count is needed for the total future proposed number of employees for wastewater and number of parking spaces.

Response #1: **As indicated in Table 2-2 of the Urban Land Institute's publication, Shared Parking, 2nd Edition, a community shopping center such as the Lake Plaza facility would be expected to provide 4 parking spaces per 1000 sf of gross leasable area, of which 0.8 spaces per 1,000 sf would typically be provided for employees. Applying this value to the 164,000 sf center would suggest a maximum of 131 employees on site at any given time. Excluding K-Mart, the remaining approximately 82,000 sf of leasable retail space at Lake Plaza would need to provide 66 parking spaces to accommodate employees. A total of 86 spaces are provided in the rear of the center, which is more than adequate to accommodate this need. A note has been added to sheet C-04 indicating the number of employee.**

Comment #2: Drawing C-05 identifies a retaining wall on the east side of the property. In some areas the walls are nine (9) foot tall. The applicant has acknowledged that the wall calculations will be certified by a structural engineer.

Response #2: **Comment noted.**



Comment #3: The stormwater design must consider the existing regulatory approved (NYCDEP) stormwater infrastructure. The applicant must meet with the NYCDEP to discuss the proposed stormwater design.

Response #3: **The Applicant has met with the NYCDEP regarding the proposed stormwater design. The proposed stormwater design has incorporated the comments informally received from NYCDEP. However, as noted above, NYCDEP will not formally consider an application for the Project until the SEQRA determination is made by the Planning Board.**

Comment #4: Construction Sequence should be provided.

Response #4: **Construction sequence notes are provided in Drawing C-07.**

Comment #5: Adequate protection should be provided in the stormwater management practice (SMP) areas to minimize disturbance during construction. Details should be provided to show how the infiltration system will be protected during construction.

Response #5: **A more comprehensive erosion and sediment control plan is provided on Drawing C-07. Construction will occur in three phases to minimize the disturbance during construction. Silt fences, drainage inlet protections and soil stockpiling areas are proposed throughout the site for erosion and sediment control. Drawing C-14 show the details of the erosion and sediment control.**

Comment #6: Drawing C-07 identifies the limit of work as 5.2 acres. The SWPPP identifies the total disturbance of 4.8 acres. Please clarify. It should also be noted that any disturbance over 5 acres requires permission from the NYSDEC.

Response #6: **The latest total limit of work is now 5.64 acres. Both Drawing C-07 and SWPPP have been updated accordingly to reflect the latest limit of work. As noted above, construction will occur in three phases, none of which will exceed five acres of disturbance.**

Comment #7: All sewers must meet the Town of Carmel Town Code § 120-29.

Response #7: **A note has been added to Utility Plan (Sheet C-06) to reflect this comment.**



Comment #8: Sidewalks, manholes and guiderails should be installed per §128 of the Town of Carmel Town Code.

Response #8: A note has been added to Utility Plan (Sheet C-06) to reflect this comment.

Comment #9: All water service connections must be K-copper.

Response #9: A note has been added to Utility Plan (Sheet C-06) to reflect this comment.

Comment #10: Gate valves shall be AWWA non-rising stem type, as manufactured by Mueller Company, Model A-2360-23, or approved equal, conforming to the latest AWWA Standard for Gate Valves - 3" through 48" - for Water and Other Liquids, AWWA Designation C-509.

Response #10: A note has been added to Utility Plan (Sheet C-06) to reflect this comment.

Comment #11: Sizes up to and including 12" shall be 250 psi working pressure. The valve body and bonnet shall be ductile iron. All interior and exterior metal surfaces shall be coated with a two-part thermosetting epoxy complying with AWWA C550.

Response #11: A note has been added to Utility Plan (Sheet C-06) to reflect this comment.

Comment #12: Valves shall have dual "O" ring seals, inside screw, resilient wedge seats in accordance with AWWA Designation C-550 and shall be constructed so as to provide unobstructed full port clearance when fully open and immediate complete closure when closed. The ends of the valves shall be mechanical joint.

Response #12: A note has been added to Utility Plan (Sheet C-06) to reflect this comment.

Comment #13: All valves shall be arranged to open in counter clockwise direction unless otherwise specifically indicated and operating nuts shall be 2" square.

Response #13: A note has been added to Utility Plan (Sheet C-06) to reflect this comment.

Comment #14: Valves shall be tested to a pressure of not less than two times the working pressure.

Response #14: A note has been added to Utility Plan (Sheet C-06) to reflect this comment.



Comment #15: All hydrants shall be six inches in size with six-inch mechanical joint inlet connection and shall be equal to the Mueller Centurion A-421, with one (1) 4.5" pumper nozzle and two (2) 2.5" hose nozzles.

Response #15: A note has been added to Utility Plan (Sheet C-06) to reflect this comment.

Comment #16: Water Service Saddles shall be equal to those manufactured by Mueller, Model 7.5" x 1" SS Series Stainless Steel Saddle, Double Stud.

Response #16: A note has been added to Utility Plan (Sheet C-06) to reflect this comment.

Comment #17: Corporation stops shall be equal to those as manufactured by Mueller Company, Model B- 2500Series, NRS and of the size required. Such corporation stops shall meet the requirements of AWWA Specification No. C800.

Response #17: A note has been added to Utility Plan (Sheet C-06) to reflect this comment.

Comment #18: Curb valves (stops) shall be equal to those as manufactured by Mueller Company, Model H- 15214 and shall conform to AWWA Specification No. C800.

Response #18: A note has been added to Utility Plan (Sheet C-06) to reflect this comment.

Comment #19: Curb boxes shall be equal to those as manufactured by Mueller Company and similar to Mueller extension type with arch pattern base model H-10314 all extension rods shall be stainless steel.

Response #19: A note has been added to Utility Plan (Sheet C-06) to reflect this comment.

Comment #20: All fire hydrants shall be the approved AWWA type fire hydrants in conformance with the American Water Works Association Standard for Fire Hydrants for Ordinary Water Works Service, AWWA Designation C502, and shall have a 5-1/4" valve opening, a 6" mechanical joint inlet complete with an auxiliary gate valve (close coupled), a 6" mechanical joint shoe, and all appurtenances.

Response #20: A note has been added to Utility Plan (Sheet C-06) to reflect this comment.

Comment #21: Fire hydrants shall be rated for a working pressure of 250 Psi. Fire hydrants shall be sized for a 4'-6" bury.

Response #21: A note has been added to Utility Plan (Sheet C-06) to reflect this comment.



B. Controlling Vehicles from the Dunkin Donuts Driveway

As the Board requested, the Applicant had VHB investigate whether there were measures that could be implemented on the Project site to discourage vehicles from driving from Dunkin Donuts directly into the main parking area in the Center, or at least control those movements. You may recall that the Applicant does not own or control the Dunkin Donuts site and it has no authority to make changes to that site. In addition, there exists a cross-access easement between the Lake Plaza property and the Dunkin Donuts/Valvoline property which permits vehicles to travel between the sites and the Applicant has no authority to interfere with the parties' rights under that easement. VHB's investigation could not ignore these legal realities.

John Canning, P.E. from VHB and Pablo Medeiros (on behalf of the Applicant) met with Chairman Gary and Patrick Cleary, AICP, DEP, PP, LEED AP to discuss some concepts VHB developed to address the Board's concern. At the conclusion of the meeting, Mr. Canning was asked to examine what other options might be viable to control traffic entering the Project site from Dunkin Donuts, taking into consideration the cross-access agreement and the requirement under the Applicant's agreement with Stop & Shop to provide a certain number of parking spaces in front of its store.

Specifically, VHB examined variations of a circulation pattern suggested at the meeting that was premised upon reconfiguring and extending the travel lane from Dunkin Donuts into the Project site to make it more restrictive and difficult to navigate and, therefore, less attractive to use. VHB discounted the alternatives because each would significantly extend the travel lane into the area designated for Stop & Shop parking and reduce the number of parking spaces available for Stop & Shop and the Center from that approved by the ZBA. In addition, each alternative would make moving through the Shopping Center and moving between the Center and Dunkin Donuts unnecessarily more complicated. This effect is problematic and undesirable because it creates more potential conflicts between movements at the point at which the Dunkin Donuts driveway and Shopping Center roadway converge. VHB is reluctant to support these types of non-standard solutions as the additional complexity they introduce could have unintended, negative consequences.

It became clear from this analysis of alternatives that, on balance, the most effective approach to controlling the existing traffic condition at the Dunkin Donuts driveway is to implement measures originally requested by your Board which have already been incorporated into the Site Plans. They include the raised concrete islands adjacent to and directly opposite the Dunkin Donuts driveway which will have the effect of preventing vehicles entering the Project site from Dunkin Donuts to shoot straight into the parking lot and travel at unacceptable rates of speed. Instead, those vehicles will have to slow to walking speed so they can negotiate the new safety features.

In addition, the Applicant proposes a new raised island through the middle of the parking lot which will prevent K-Mart shoppers from making a bee-line between K-Mart and the Center's main signalized



driveway. It is VHB's professional opinion that these measures represent a vast improvement over, and will dramatically improve, the existing condition, that site operating conditions will be significantly safer than they are now and that the measures should, on their own, resolve the concerns expressed by the Board without any additional measures of the type suggested to or considered by VHB. For these reasons, VHB endorses the existing Site Plan and the measures incorporated therein as the "preferred plan" for addressing the Board's concern about vehicle movements between the Dunkin Donuts and Project site.

We ask that you schedule this matter for further consideration at the Board's May 11, 2016 meeting at which time we would be pleased to address any of the foregoing items and the SEQRA determination with you. In the interim, please feel free to contact either of us (Michael Junghans, P.E. at (914) 467-6607 or mwjunghans@vhb.com or John Canning, P.E. at (914) 467-6605 or jcanning@VHB.com) if you have any questions or require further information.

C. Additional Changes per discussions with the Town Environmental Conservation Board:

- Updated the wetland buffer impact areas.
- Updated the Soil Erosion and Control Plan (Sheet C-07) to provide the area of disturbance within the 100-foot wetland buffer.
- Updated the Soil Erosion and Control Plan (Sheet C-07) to include silt fence locations, drainage inlet protection locations, a fuel-staging location, and a spill kit location.
- Updated the SWPPP to include the "Catch Basin Construction Checklist" found in Attachment F.
- Updated the Soil Erosion and Control Plan (Sheet C-07) to provide construction phasing notes.
- Landscaping plan was reviewed by David J Klotzle as requested. Comments included in Report prepared by David J. Klotzle Wetland Inspector, to Richard Franzetti, P.E., dated January 22, 2016.
- Report from David J. Klotzle, Town Wetland Inspector, to the Environmental Conservation Board, dated March 29, 2016, confirming wetland delineation and regarding landscaping plan and mitigation area.
- Confirmed with Town of Carmel on April 21, 2016 via email with Rose Trombetta and David J. Klotzle that no tree count or tree clearing permit is necessary, per Town of Carmel Chapter 142-8.A (1). Tree clearing activities are covered by the Planning Board site plan approval.

Hon. Harold Gary Chairman
and Members of the Planning Board
Richard Franzetti, P.E
Ref: 41929.00
April 28, 2016
Page 11



Sincerely,

A handwritten signature in black ink, appearing to read "R. Franzetti", with a long horizontal stroke extending to the right.

Director of Land Engineering
VHB Engineering, Land Survey and Landscape Architecture PC

A handwritten signature in blue ink, appearing to read "Richard Franzetti", with a long horizontal stroke extending to the right.

Director of Transportation
VHB Engineering, Land Survey and Landscape Architecture PC

cc: **Mr. Robert Laga and Members of the Environmental Conservation Board**

Mr. Robert Heidenberg

Mr. Pablo Medeiros

Ms. Deborah Farr

Geraldine N. Tortorella, Esq.

Richard J. Franzetti, P.E.
Town Engineer



(845) 628-1500
(845) 628-2087
Fax (845) 628-7085

*Office of the Town Engineer
60 McAlpin Avenue
Mahopac, New York 10541*

MEMORANDUM

To: Carmel Planning Board
From: Richard J. Franzetti P.E. Town Engineer ^{A.3}
Date: January 8, 2016
Re: Lake Plaza – Amended Site Plan 65.10-1-45 and 46

DOCUMENTS REVIEWED:

- 1 C-00 Cover Sheet, prepared by VHB Engineering, Surveying and Landscape Architecture, P.C., revised to December 31, 2015
- 2 C-01 Legend & General Notes, prepared by VHB Engineering, Surveying and Landscape Architecture, P.C., revised to December 31, 2015
- 3 C-02 Abutters List & Maps, prepared by VHB Engineering, Surveying and Landscape Architecture, P.C., revised to December 31, 2015
- 4 C-03 Existing Conditions Plan, prepared by VHB Engineering, Surveying and Landscape Architecture, P.C., revised to December 31, 2015.
5. **C-04 Layout & Materials Plan, prepared by VHB Engineering, Surveying and Landscape Architecture, P.C., revised to March 4, 2016.**
6. **C-05 Grading & Drainage Plan, prepared by VHB Engineering, Surveying and Landscape Architecture, P.C., revised to March 4, 2016.**
7. C-06 Utility Plan, prepared by VHB Engineering, Surveying and Landscape Architecture, P.C., revised to December 31, 2015.
8. C-07 Erosion & Sediment Control Plan, prepared by VHB Engineering, Surveying and Landscape Architecture, P.C., revised to December 31, 2015.
9. C-08 Delivery Truck & Pedestrian Maneuvering Plan, prepared by VHB Engineering, Surveying and Landscape Architecture, P.C., revised to December 31, 2015
10. C-09 Fire Truck Maneuvering Plan, prepared by VHB Engineering, Surveying and Landscape Architecture, P.C., revised to December 31, 2015
11. C-09.1 Passenger Car Maneuvering Plan, prepared by VHB Engineering, Surveying and Landscape Architecture, P.C., .
12. C-10 Site Details 1, prepared by VHB Engineering, Surveying and Landscape Architecture, P.C., revised to December 31, 2015.
13. C-11 Site Details 2, prepared by VHB Engineering, Surveying and Landscape Architecture, P.C., revised to December 31, 2015
14. C-12 Site Details 3, prepared by VHB Engineering, Surveying and Landscape Architecture, P.C., revised to December 31, 2015.
15. C-13 Site Details 4, prepared by VHB Engineering, Surveying and Landscape Architecture, P.C., revised to December 31, 2015

Tel (845) 628-1500 Fax (845) 628-7085 email rjfranzetti@townofcarmel.com

1

March 10, 2016

Lake Plaza – Amended Site Plan 65.10-1-45 and 46

16. C-14 Site Details 5, prepared by VHB Engineering, Surveying and Landscape Architecture, P.C., revised to December 31, 2015
17. C-15 Site Lighting Photometric Plan, prepared by VHB Engineering, Surveying and Landscape Architecture, P.C., revised to December 31, 2015
18. C-16 Site Lighting Plan Details 1, prepared by VHB Engineering, Surveying and Landscape Architecture, P.C., revised to December 31, 2015.
19. C-17 Site Lighting Plan Details 2, prepared by VHB Engineering, Surveying and Landscape Architecture, P.C., revised to December 31, 2015
20. C-18 Planting Plan and Notes, prepared by VHB Engineering, Surveying and Landscape Architecture, P.C., revised to December 31, 2015.
21. C-19 Planting Details, prepared by VHB Engineering, Surveying and Landscape Architecture, P.C., revised to December 31, 2015.

This application involves renovations and expansion of the Lake Plaza Center Shopping Center, including the demolition of the existing 24,000 square foot an existing supermarket and the adjacent 7,800 square foot store. These are to be replaced by a new 53,595 square foot supermarket and a new 3,785 square foot tenant space (no tenant identified). Additionally, the applicant proposes to renovate the façade along the entire shopping center, install new signage for the Stop & Shop, construct additional parking spaces to replace those lost due to the building expansion, repave the parking area, upgrade site lighting and landscaping and to construct new stormwater and utility improvements.

As part of this submission this Department has only reviewed the updated drawings (in bold above).

The applicant has provided additional information based on discussions with the New York Department of Environmental Protection (NYCDEP). At present the NYCDEP is requiring additional bioretention areas on both the north (Baldwin Road) and east (rear) sides of the property.

Comments from the 01/08/16 memorandum are provided on the following pages and will need to be addressed prior to final approval.

March 10, 2016

Lake Plaza – Amended Site Plan 65.10-1-45 and 46

Based upon our review of this submittal, the Engineering Department offers the following comments:

I. General Comments

1. The applicant acknowledges that the following referrals are required:
 - a. New York State Department of Environmental Conservation (NYSDEC)
 - b. NYCDEP
 - c. Putnam County Department of Health (PCDOH).
 - d. The Town of Carmel Environmental Conservation Board (ECB).
 - e. Mahopac Fire Department
2. The applicant acknowledges that the following permits are required:
 - a. NYSDEC - for stormwater and wetlands;
 - b. NYCDEP for stormwater;
 - c. PCDOH for well and SSTS.
3. Copies of the November 2015 Traffic Impact Analysis have been forward to the New York State Department of Transportation and Town of Carmel Highway Department for review.
4. The applicant acknowledges this comment and will provide verification of the wetland mapping and delineations by the NYSDEC upon receipt from the State. A copy of the wetland mapping has been forwarded to the Town of Carmel Wetlands Inspector.
5. A copy of the planting plan has been forwarded to the Town of Carmel Wetlands Inspector for review and comment.
6. The applicant has scheduled a meeting with the NYCDEP to discuss the Stormwater Pollution Prevention Plan (SWPPP). Review from this Department is ongoing.
7. The applicant provided a water use report. Review from this Department is ongoing. The applicant has acknowledged that a wastewater report will be developed and that they will submit report to the NYCDEP for review.
8. All easements (water, sewer stormwater etc.) should be provided;
9. The applicant acknowledge that a stormwater maintenance agreement and maintenance guarantee per Town Code (§156-85 and §156-87 B respectively) is required.
10. Should any public improvements be deemed necessary as part of the development of the tract, a Performance Bond and associated Engineering Fee must eventually be established for the work. The applicant will need to develop a quantity take off for bonding purposes.

I trust that this is adequate for the Board's needs. Should you have any questions, do not hesitate to contact me.

The Engineering Department will work directly with the applicants engineer to address the following preliminary detailed comments:

II. Detailed Comments:

March 10, 2016

Lake Plaza -- Amended Site Plan 65.10-1-45 and 46

1. Applicant has acknowledged that Zoning/Parking Chart on Drawing C04 should identify the number of employees. The count is needed for the total future proposed number of employees for wastewater and number of parking spaces.
2. Drawing C-05 identifies a retaining wall on the east side of the property. In some areas the walls are nine (9) foot tall. The applicant has acknowledged that the wall calculations will be certified by a structural engineer.
3. The stormwater design must consider the existing regulatory approved (NYCDEP) stormwater infrastructure. The applicant must meet with the NYCDEP to discuss the proposed stormwater design.
4. Construction Sequence should be provided
5. Adequate protection should be provided in the stormwater management practice (SMP) areas to minimize disturbance during construction. Details should be provided to show how the infiltration system will be protected during construction.
6. Drawing C-07 identifies the limit of work as 5.2 acres. The SWPPP identifies the total disturbance of 4.8 acres. Please clarify. It should also be noted that any disturbance over 5 acres requires permission from the NYSDEC.

The applicant notes that the items 10 through 24 will be complies with - notes/details should be provided on the drawings for these.

7. All sewers must meet the Town of Carmel Town Code § 120-29.
8. Sidewalks, manholes and guiderails should be installed per §128 of the Town of Carmel Town Code
9. All water service connections must be K-copper.
10. Gate valves shall be AWWA non-rising stem type, as manufactured by Mueller Company, Model A-2360-23, or approved equal, conforming to the latest AWWA Standard for Gate Valves - 3" through 48" - for Water and Other Liquids, AWWA Designation C-509.
11. Sizes up to and including 12" shall be 250 psi working pressure. The valve body and bonnet shall be ductile iron. All interior and exterior metal surfaces shall be coated with a two-part thermosetting epoxy complying with AWWA C550.
12. Valves shall have dual "O" ring seals, inside screw, resilient wedge seats in accordance with AWWA Designation C-550 and shall be constructed so as to provide unobstructed full port clearance when fully open and immediate complete closure when closed. The ends of the valves shall be mechanical joint.
13. All valves shall be arranged to open in counter clockwise direction unless otherwise specifically indicated and operating nuts shall be 2" square.
14. Valves shall be tested to a pressure of not less than two times the working pressure.
15. All hydrants shall be six inches in size with six-inch mechanical joint inlet connection and shall be equal to the Mueller Centurion A-421, with one (1) 4 ½ " pumper nozzle and two (2) 2 ½ " hose nozzles.
16. Water Service Saddles shall be equal to those manufactured by Mueller, Model 7 ½" x 1" SS Series Stainless Steel Saddle, Double Stud.
17. Corporation stops shall be equal to those as manufactured by Mueller Company, Model B-25000Series, NRS and of the size required. Such corporation stops shall meet the requirements of AWWA Specification No. C800.

March 10, 2016

Lake Plaza – Amended Site Plan 65.10-1-45 and 46

18. Curb valves (stops) shall be equal to those as manufactured by Mueller Company, Model H-15214 and shall conform to AWWA Specification No. C800.
19. Curb boxes shall be equal to those as manufactured by Mueller Company and similar to Mueller extension type with arch pattern base model H-10314 all extension rods shall be stainless steel.
20. All fire hydrants shall be the approved AWWA type fire hydrants in conformance with the American Water Works Association Standard for Fire Hydrants for Ordinary Water Works Service, AWWA Designation C502, and shall have a 5-1/4" valve opening, a 6" mechanical joint inlet complete with an auxiliary gate valve (close coupled), a 6" mechanical joint shoe, and all appurtenances.
21. Fire hydrants shall be rated for a working pressure of 250 Psi. Fire hydrants shall be sized for a 4'-6" bury.

David J Klotzle Wetland
Inspector

Carmel Town Hall
60 McAlpin
Avenue Mahopac
New York , 10541
845 628-1500
E-Mail: dklotzle@bestweb.net

To: Carmel ECB

Date: 3/29/16

Re: Lake Plaza Shopping Center Rt. 6 Mahopac TM # 65.10-1-45 & 46

Lake Plaza /Stop and Shop Planting / Landscape Plans & Wetland Determinations.

My review of these plans by Michael Younghans PE and dated as 12/31/15

1. All plant materials are well chosen for this site.
2. Plans should include deer fencing to protect the young woody perennials like the Red Twig Dogwoods and Red Maples.
- 3) As always I recommend site plans should require a three-year warrantee on all plants. The typical one-year warrantee does not account for the second and third year root growth beyond the root ball and prepared planting pit.
4. The wetland inspector should be notified at least 10 days prior to site preparation and instillation of these plant materials to insure proper procedures are followed

Wetland Delineations

Wetlands are correctly flagged in the field on this site and properly portrayed on a site plan titled Existing Conditions by Michael Younghans PE and dated 3/31/15
Wetland areas should be protected with orange construction fencing .

David J Klotzle Wetland
Inspector

Carmel Town Hall
60 McAlpin
Avenue Mahopac
New York , 10541
845 628-1500
E-Mail: dklotzle@bestweb.net

TO: RICHARD FRANZETTI
Date: 1/22/16

Review of landscape Plan for the Lake Plaza Shopping Center (TM 65.10-1-45)
My review of these plans by Juan Carlos Vargas Jr. dated 11/23/15

1. All plant materials are native and well selected for the site.
2. Plans should include deer fencing to protect the young woody perennials where necessary.
3. PB should require a three-year warranty on all plants.
4. The wetland inspector should be notified 10 days prior to site preparation and installation of these plant materials to insure proper procedures are followed.

The following is reprinted here from the Carmel Tree Code regarding tree planting in public areas as a guideline for these and future plantings.

§ 142-7

Specifications and requirements. *(for trees not shrubs)*

A.

Trees shall be B&B and shall not be less than two to 2 1/2 inches caliper, measured six inches above the top of the ball, nor less than 10 feet high. They must be well-branched, the branches to start not less than six feet from the crown of the root system. Trees shall be nursery-grown, and a nursery inspection certificate shall be available covering all trees.

B.

In general, excavations for planting shall be at least one foot deeper and two feet wider than the ball of earth supplied with the tree. The pit shall be rock free and refilled with seven parts topsoil and one part humus and the parent soil discarded. Hardpan shall be loosened for an additional 12 inches from the bottom of the pit. Trees shall be adequately fertilized and watered at the time of planting and mulched with three inches of approved mulch immediately after planting. Mulch shall be placed within a topsoil saucer three inches deep and as large as the pit in diameter

C.

Trees shall be staked and guyed immediately after planting. Stakes shall be cedar or oak eight feet long, no less than two inches in diameter and driven into the bottom of the tree pit. Trees shall be guyed to the stakes using No. 10 wire covered with rubber hose or equal. The wire shall be fastened to the stake in such a manner that it will not slip or come into contact with the tree trunk. The trunk of the tree shall be protected with tree wrapping paper.

D.

Removal of debris is required. The property must be left in a neat and orderly condition in accordance with good and accepted planting and tree surgery practice.

E.

Trees shall not be planted between May 15 and September 15 without specific authorization of the Planning Board.

F.

Notice must be given to the Planning Board 30 days prior to the start of planting in order that the plants and trees may be inspected and approved for tree variety, condition, size and quality. All work shall be subject to the general supervision and approval of the Planning Board and the Town Engineer.

G.

Any tree improperly planted or not meeting the specifications of the tree plan and this chapter will be removed upon written demand of the Planning Board and replaced with properly planted tree(s) that meet the specifications of the tree plan and this chapter. Any tree that does not survive or is in an unhealthy condition at the end of one year shall be replaced by the owner of the property at no cost to the Town of Carmel. Said replacement shall be made within 60 days following written demand for such replacement or within a more extended period as may be specified by the Planning Board.

MICHAEL NESHEIWAT, M.D.
Interim Commissioner of Health



MARYELLEN ODELL
County Executive

ROBERT MORRIS, P.E., MPH
Director of Environmental Health

DEPARTMENT OF HEALTH

1 Geneva Road, Brewster, New York 10509
Phone # (845) 808-1390 Fax # (845) 278-7921

January 26, 2016

Mr. Richard Franzetti, P.E.
Town of Carmel
Town Hall
60 McAlpin Avenue
Mahopac, NY 10541

Re: Lake Plaza Shopping Center Expansion
(T) Carmel, TM 65.10-1-45

Dear Mr. Franzetti:

This Department has received the water and wastewater facility reports for the Lake Plaza Shopping Center as prepared by Peter Gregory, P.E. Upon review of the submitted reports, this Department offers the following comments:

1. The wastewater report should clarify that the tabulated average daily flow of 14,000 gpd is based on maximum expected hydraulic loading rates and is not the existing usage.
2. The wastewater report needs to demonstrate how the anticipated flow increase of 4,000 gpd was derived for the shopping center expansion.
3. The wastewater report should include actual water usage data from similar sized Stop and Shop Supermarkets.
4. The wastewater report should address how grease from food service operations will be treated.
5. It appears the design flow of the shopping center on page 3 of the water facilities report was based on the existing 155,000 SF shopping center instead of the proposed expansion to 180,000 SF.
6. Why was 2 gpm used as a well yield for Well #2 in Section C on page 3 of the water facilities report?
7. The proposed water system design specifies a 10,000 gallon storage tank which may not provide a minimum of one days storage.
8. The water facilities report does not address how the distribution system will be pressurized.
9. Why was a well cycle yield of 100 gpm used in the disinfection calculations in Section G of the water facilities report?
10. A well permit(s) is to be obtained from this Department for any proposed source well prior to installation.

Upon completion of the above, this Department will continue its review. Kindly advise us if there are any questions.

Respectfully,

A handwritten signature in black ink, appearing to read "Michael J. Budzinski".

Michael J. Budzinski, P.E.
Director of Engineering

MJB:cml

cc: Peter Gregory, P.E.

Site Plans

Issued for Site Plan Approval
 Date Issued November 30, 2015
 Latest Issue April 27, 2016

Proposed Stop & Shop

983-1005 Route 6
 (Route 6 & Baldwin Lane)
 Town of Carmel, Mahopac,
 Putnam County, New York
 10541



Owner/Applicant

Lake Plaza Shopping Center, LLC
 Heidenberg Properties Group
 234 Closter Dock Rd
 Closter, NJ 07624

Tax Parcels (Map-Block-Lot)

65.10-1-45
 65.10-1-46

Sheet Index

No.	Drawing Title	Latest Issue
C-01	Legend And General Notes	April 27, 2016
C-02	Abutter's List and Map	April 27, 2016
C-03	Existing Conditions Plan	April 27, 2016
C-04	Layout and Materials Plan	April 27, 2016
C-04.1	Signage Summary	April 27, 2016
C-04.2	Stop & Shop Elevation Plan	April 27, 2016
C-05	Grading and Drainage Plan	April 27, 2016
C-06	Utility Plan	April 27, 2016
C-07	Erosion and Sediment Control Plan	April 27, 2016
C-08	Delivery Truck and Pedestrian Maneuvering Plan	April 27, 2016
C-09	Fire Truck Maneuvering Plan	April 27, 2016
C-09.1	Passenger Car Maneuvering Plan	April 27, 2016
C-10	Site Details 1	April 27, 2016
C-11	Site Details 2	April 27, 2016
C-12	Site Details 3	April 27, 2016
C-13	Site Details 4	April 27, 2016
C-14	Site Details 5	April 27, 2016
C-15	Site Lighting Photometric Plan	April 27, 2016
C-16	Site Lighting Plan Details 1	April 27, 2016
C-17	Site Lighting Plan Details 2	April 27, 2016
C-18	Planting Plan and Notes	April 27, 2016
C-19	Planting Details	April 27, 2016
C-20	Sight Line Triangle Plan	April 27, 2016



Surveyor

Insite Engineering, Surveying &
 Landscape Architecture, P.C.
 3 Garret Place
 Carmel, New York, 10512

Architect

Michels & Waldron Associates LLC
 645 Westwood Avenue
 River Vale, New Jersey, 07675

Sewer/Water Engineer

Keane Coppelman Gregory Engineer, P.C.
 113 Smith Avenue
 Mt. Kisco, New York 10549



Legend table with columns for 'Exist' and 'Prop' symbols and their corresponding descriptions for various construction elements like property lines, curbs, drains, and utilities.

Abbreviations

Abbreviations table listing symbols and their corresponding terms such as ABAN (Abandon), ADJ (Adjust), APP (Approximate), and others.

Notes:

- 1. CONTRACTOR SHALL SHOW THE SAFETY PLAN (1-800-762-7663) AT LEAST 72 HOURS BEFORE THE START OF ANY CONSTRUCTION ACTIVITY.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REGULATIONS.
3. ACCESSIBLE WALKWAYS, RAMPING, CURBS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL ACCESSIBILITY REGULATIONS (EMERGENCY AND WAREHOUSE).

Construction Details

- 1. EXISTING ALL NECESSARY APPROVALS AND APPROVED PLANS.
2. A TIME CONSTRUCTION METHOD SHALL BE USED THROUGHOUT THE CONSTRUCTION PERIOD TO MAINTAIN THE INDIVIDUAL RESPONSIBILITY FOR MAINTAINING THE PROTECTION AND TEMPORARY CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
3. ALL CONSTRUCTION MEASURES SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT AND SHALL BE AVAILABLE FOR REVIEW AT ALL TIMES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS AND APPROVED PLANS FOR THE CONSTRUCTION OF THE PROJECT.

Top Panels 6510-1-45 6510-1-46

Proposed Stop & Shop 983-1005 Route 6, North Creek, Mahanac, New York, 10541

Table with columns for 'No.', 'Description', and 'Date' listing various construction items and their completion dates.

Site Plan Approval November 30, 2015

Official site plan approval stamp from the Town of Mahanac, New York, dated November 30, 2015, for project 11220100.dwg.

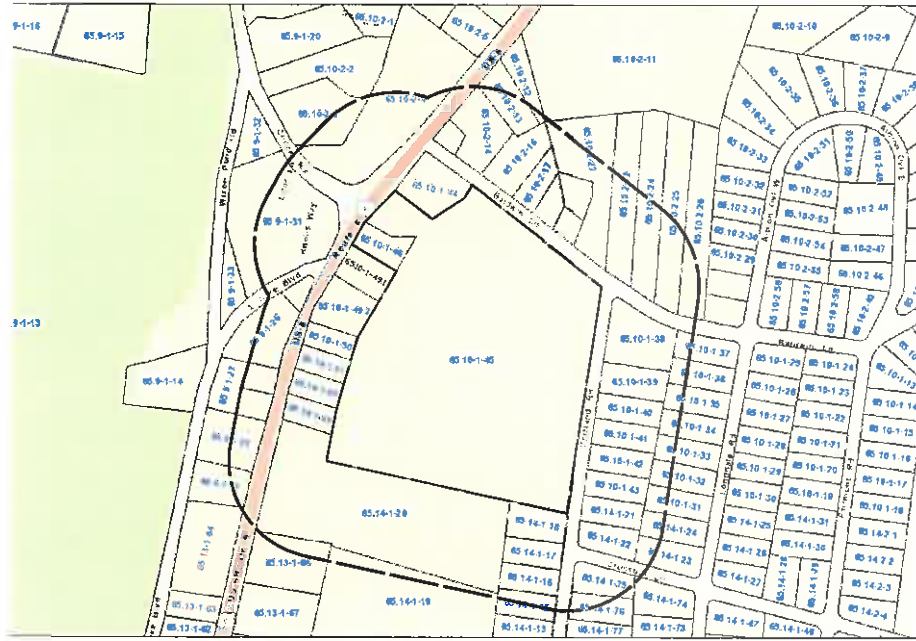
C-01

500-Foot Abutter's List

NAME	COMPANY	ADDRESS	CITY/STATE/ZIP	PARCEL ID#
	MAHOAC MOBILE PARK LLC	PO BOX 143	MAHOAC NY 10542	05-9-1-31
ROBERT BUTTIGIONE		RTE 128 BOX 13	BALDWIN PLACE, NY 10505	05-10-2-4
CARL ENGLISH		1007 RT 6	MAHOAC, NY 10541	05-10-2-34
BRIAN GALLAGHER		14 BALDWIN LN	MAHOAC, NY 10541	05-10-2-18
GEORGE PALANEO		16 CONEY RD	MAHOAC, NY 10541	05-10-2-1
STEPHEN WITTEBERG		18 BALDWIN LN	MAHOAC, NY 10541	05-10-2-17
KATHLEEN EDWARDS		2 BALDWIN LN	MAHOAC, NY 10541	05-10-2-15
EILEEN MARIE ZOTTOLI		22 BALDWIN LN	MAHOAC, NY 10541	05-10-2-19
GEORGE PALANEO		24 CONEY RD	MAHOAC, NY 10541	05-10-2-2
REGINA GUSS		20 HAYDEN FORD RD	MAHOAC, NY 10541	05-9-1-32
CARLOS TENARAGUAY		390 EAST LAKE BLVD	MAHOAC, NY 10541	05-9-1-33
ANTHONY MORABEO		PO BOX 962	MAHOAC, NY 10541	05-204-62
NICKOLE STEIN		738 RT 6	MAHOAC, NY 10541	05-9-1-26
ANTHONY MORABEO		PO BOX 962	MAHOAC, NY 10541	05-10-1-51
	ISLAND DREAM ASSOCIATES, LLC	110 CHERRY HILL RD	CARMEL, NY 10512	05-10-1-50
	916 EAST LAKE BOULEVARD LLC	PO BOX 907	BALDWIN PLACE, NY 10505	05-9-1-28
	BATISTA FAMILY LTD PARTNERSHIP	28 EAGLE RD	DANBURY, CT 06810	05-10-1-49-3
	ROAMING BROOK LLC	25 MAAN ST FL 4TH	HARTFORD, CT 06180	05-10-1-49-1
LAWRENCE VELLA		35 MINOR CT	BREWSTER, NY 10509	05-10-1-44

Parcel Information Source: Town of Carmel Planning Office

500-Foot Abutter's Map



Tax Parish
05-10-1-45
05-10-1-46

Proposed Stop & Shop

983-1005 Route 6
Town of Carmel, Mahopac, New York, 10541

No.	Description	Date	By
1	PLANNING BOARD RESOLUTION	12/29/2013	WHL
2	TRC APPROVAL	03/01/2014	WHL
3	PLANNING BOARD RESOLUTION	05/24/2014	WHL
4	TRC & PLANNING BOARD RESOLUTION	04/27/2014	WHL

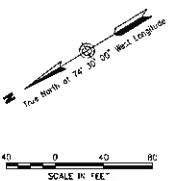
Source: DRUC (Date: 3/16/13)
Site Plan Approval November 30, 2015

Not Approved for Construction



C-02

Save: Tuesday, April 14, 2016 11:48:07 AM CADWATER PLOTTER Submittal - April 27, 2016 11:57:11 AM Change - Save



Tax Parcels
65.10-1-45
65.10-1-46

Proposed Stop & Shop

989-1005 Route 6
Town of Carmel, Mohopac, New York, 10541

No.	Name	Date	Notes
1	PLANNING BOARD RESOLUTION	12/01/2015	ADOPT
2	ENVIRONMENTAL REVIEW	09/01/2016	ADOPT
3	PLANNING BOARD RESOLUTION	03/01/2016	ADOPT
4	CEA & PLANNING BOARD SUBMITTAL	04/01/2014	REV

Site Plan Approval November 20, 2015



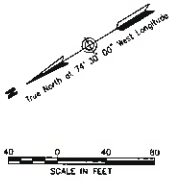
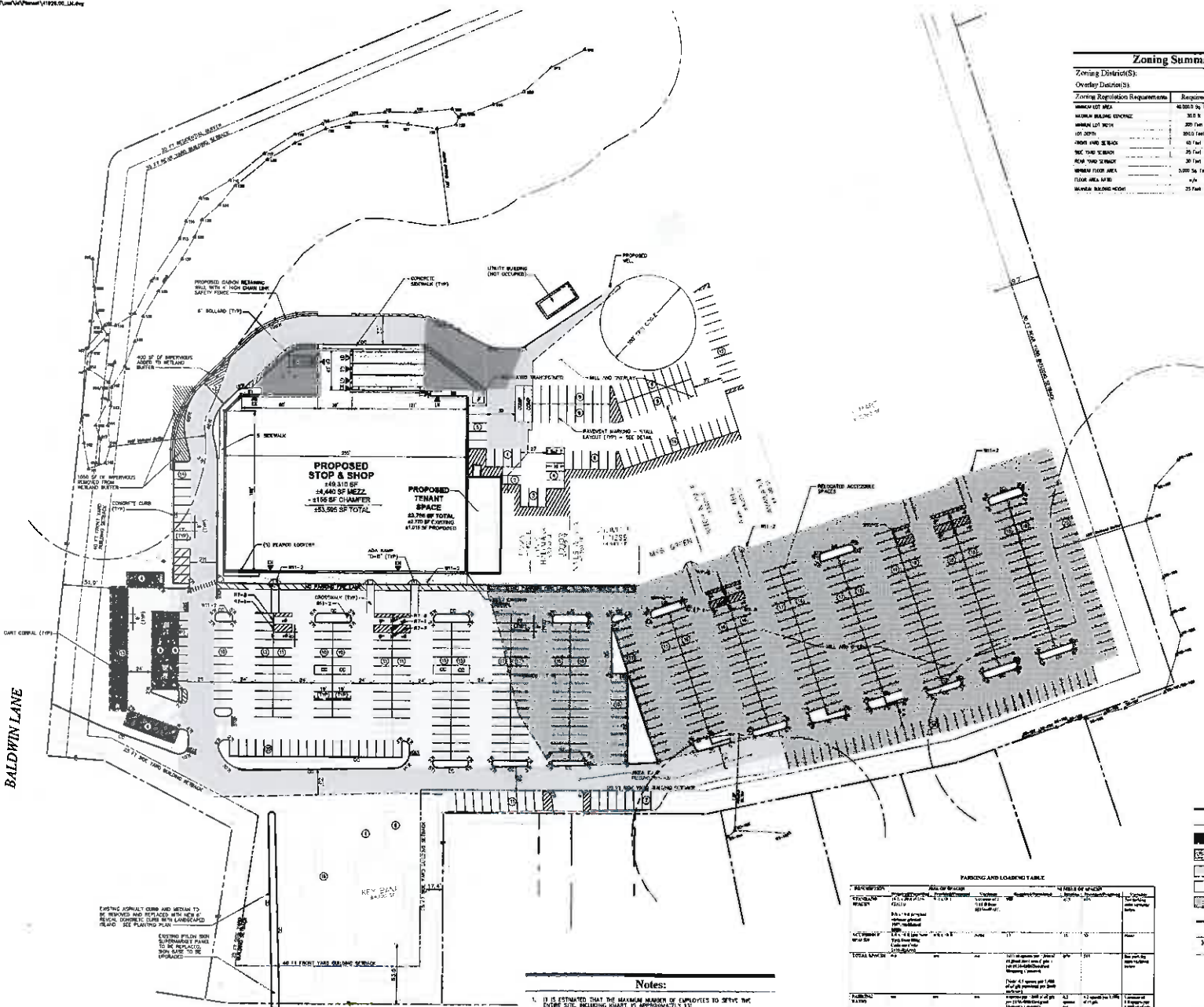
Richard W. Zanghera
E.S. Professional Engineer
NY Lic. No. 072972 41929.00



Zoning Summary Chart

Zoning District(S): C-Commercial

Zoning Regulation Requirements	Required	Existing	Provided
MINIMUM LOT AREA	40,000 Sq. Feet	40,000 Sq. Feet	40,000 Sq. Feet
MINIMUM BUILDING COVERAGE	30.0 %	15.0 %	15.0 %
MINIMUM LOT WIDTH	200 Feet	400 Feet	300 Feet
MIN. FRONT SETBACK	20 Feet	30 Feet	30 Feet
MIN. SIDE SETBACK	10 Feet	10 Feet	10 Feet
MIN. REAR SETBACK	20 Feet	10 Feet	10 Feet
MINIMUM FRONT YIELD	5.00 %	4.2 %	4.2 %
MINIMUM BUILDING HEIGHT	40 Feet	28 Feet	28 Feet



Date: Wednesday, April 27, 2016 10:00:05 PM. Created: Monday, March 14, 2016 10:00:05 PM. Drawing: 11228_001.dwg

EXISTING SIGNAL CORD AND MESH TO BE REMOVED AND REPLACED WITH NEW 3" BLACK SIGNAL CORD WITH LAMINATED ISLAND. SEE PLANNING PLAN.

EXISTING SIGNAL CORD AND MESH TO BE REMOVED AND REPLACED WITH NEW 3" BLACK SIGNAL CORD WITH LAMINATED ISLAND. SEE PLANNING PLAN.

- Notes:**
- IT IS ESTIMATED THAT THE MAXIMUM NUMBER OF EMPLOYEES TO SERVE THE ENTIRE SITE, INCLUDING DRIVE-IN, IS APPROXIMATELY 131.
 - IT IS ESTIMATED THAT THE MAXIMUM NUMBER OF EMPLOYEES TO SERVE THE DRIVE-IN SITE, EXCLUDING DRIVE-IN, IS APPROXIMATELY 61.

PARKING AND LOADING TABLE

FUNCTION	VEHICLE TYPE	VEHICLE SIZE	VEHICLE COUNT	VEHICLE AREA (SQ. FT.)	VEHICLE LENGTH (FEET)	VEHICLE WIDTH (FEET)	VEHICLE HEIGHT (FEET)	VEHICLE WEIGHT (LBS.)
PARKING	Passenger	Standard	100	100	18	6	6	3,000
LOADING	Truck	Standard	10	100	28	8	8	10,000
TOTAL			110	110	20	7	7	13,000

Legend

	PERVIOUS PAVER
	CONCRETE
	HEAVY DUTY FLEXIBLE BITUMINOUS PAVEMENT
	STANDARD DUTY FLEXIBLE BITUMINOUS PAVEMENT
	MILL AND OVERLAY

Sign Summary

MUTCD Number	Specification	Color
10-1	10' x 12'	Blue
10-2	10' x 12'	White
10-3	10' x 12'	White
10-4	10' x 12'	White
10-5	10' x 12'	White

Tax Parcel:
 65.10 1-45
 65.10 1-46

Proposed Stop & Shop
 983 Route 6
 Town of Carmel, Mahopac, New York, 10541

Legend

1	As-built ground	1/28/2015	MSW
2	Site Application	06/16/2015	MSW
3	Planning Board Presentation	02/05/2016	MSW
4	100' x 150' Board Session	04/27/2016	MSW

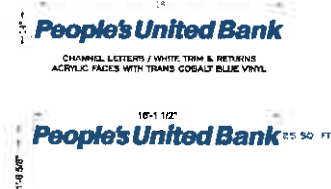
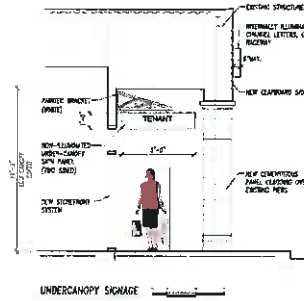
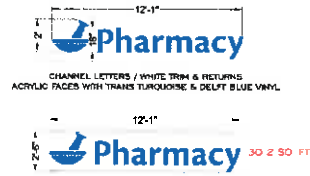
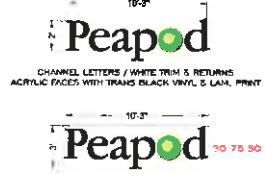
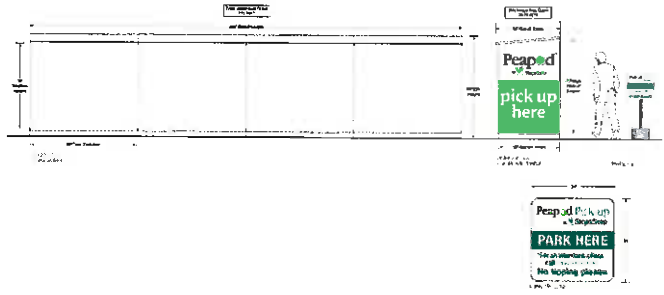
Site Plan Approval November 30, 2015

Not Approved for Construction

C-04

Michael W. Hughes
 61 Planning Board Presentation
 NY Lic. No. 672072

41975.00



NO.	DESCRIPTION	REMARKS	QUANTITY	UNIT	PRICE	TOTAL	DATE	BY
1	Signage for Stop & Shop		1	sq ft	1250	1250		
2	Signage for Peapod		1	sq ft	3000	3000		
3	Starbucks Coffee logo		1	sq ft	1000	1000		
4	Pharmacy sign		1	sq ft	3000	3000		
5	Fast Care sign		1	sq ft	3000	3000		
6	People's United Bank sign		1	sq ft	3500	3500		

vhb.com

vhb

Engineering, Surveying & Landscape Architecture, P.C.

Suite 300
White Plains, NY 10606
p. 914.467.6600
f. 914.761.3759

Site Plan Approval November 30, 2015

Project Name: FAST CARE

Location: 983-1005 Route 6, Town of Carmel, Mahopac, New York, 10541

Site Plan Approval Date: 11/30/2015

Project No: C-04.1

Scale: 1" = 10'-0"

Prepared by: [Name]

Checked by: [Name]

Site Plan Approval November 30, 2015

Map Reference to Construction

City of Carmel

Project No: C-04.1

Scale: 1" = 10'-0"

Prepared by: [Name]

Checked by: [Name]

Site Plan Approval November 30, 2015

RT 6 ELEVATION



Tax Parcel:
 65.30-1-45
 65.30-1-46

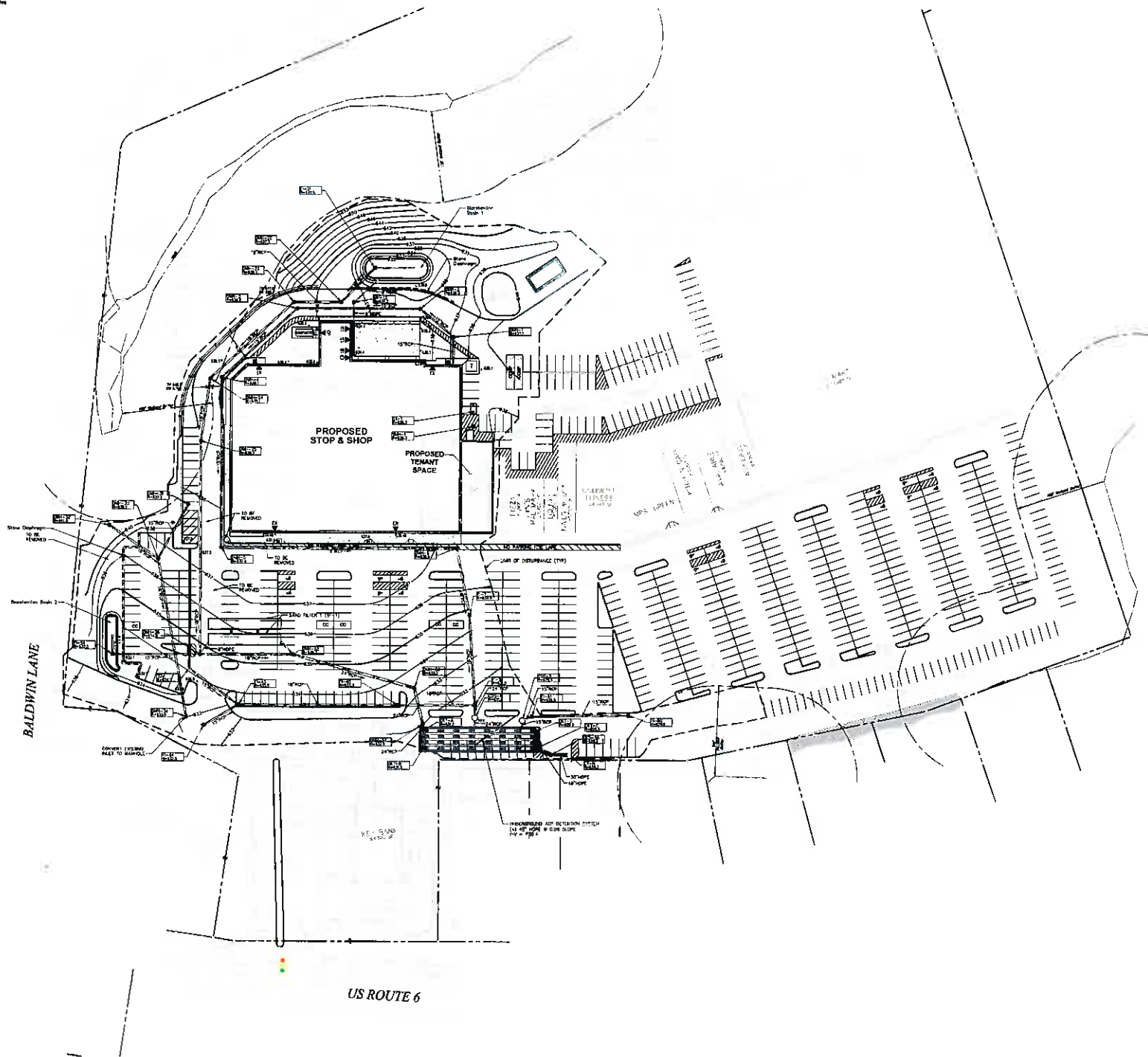
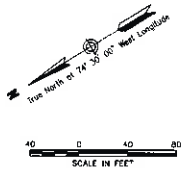
Proposed Stop & Shop
 983-1005 Route 6
 Town of Carmel, Mahopac, New York, 10541

No.	Description	Date	By
1	PLANNING BOARD REVIEW/ISSUE	12/29/2015	HW
2	DP & APPROVAL	02/02/2016	HW
3	PLANNING BOARD REVIEW/ISSUE	02/04/2016	HW
4	DP & APPROVAL REVIEW/ISSUE	04/27/2016	HW

DP/PC: HW
 Date: 11/30/15
Site Plan Approval November 30, 2015



State of New York
 County of Westchester
C-4.2
 Scale: 1/8" = 1'-0"
 Michael W. Agreba
 Professional Engineer
 NY Lic. No. 67202
 41928.00



Tax Parish
 65-10-1-45
 65-10-1-46

Proposed Stop & Shop
 989-1005 Route 6
 Town of Carmel, Mahopac, New York, 10541

No.	Revised	By	Date
1	PLANNING BOARD APPROVAL		11/20/2015
2	PLANNING BOARD APPROVAL		04/20/2016
3	PLANNING BOARD APPROVAL		03/04/2016
4	TOWNSHIP BOARD SUPERVISION		04/21/2016

Status: CIVIC PUBLIC NEW

Site Plan Approval November 20, 2015

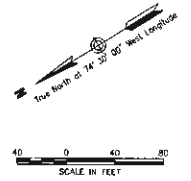
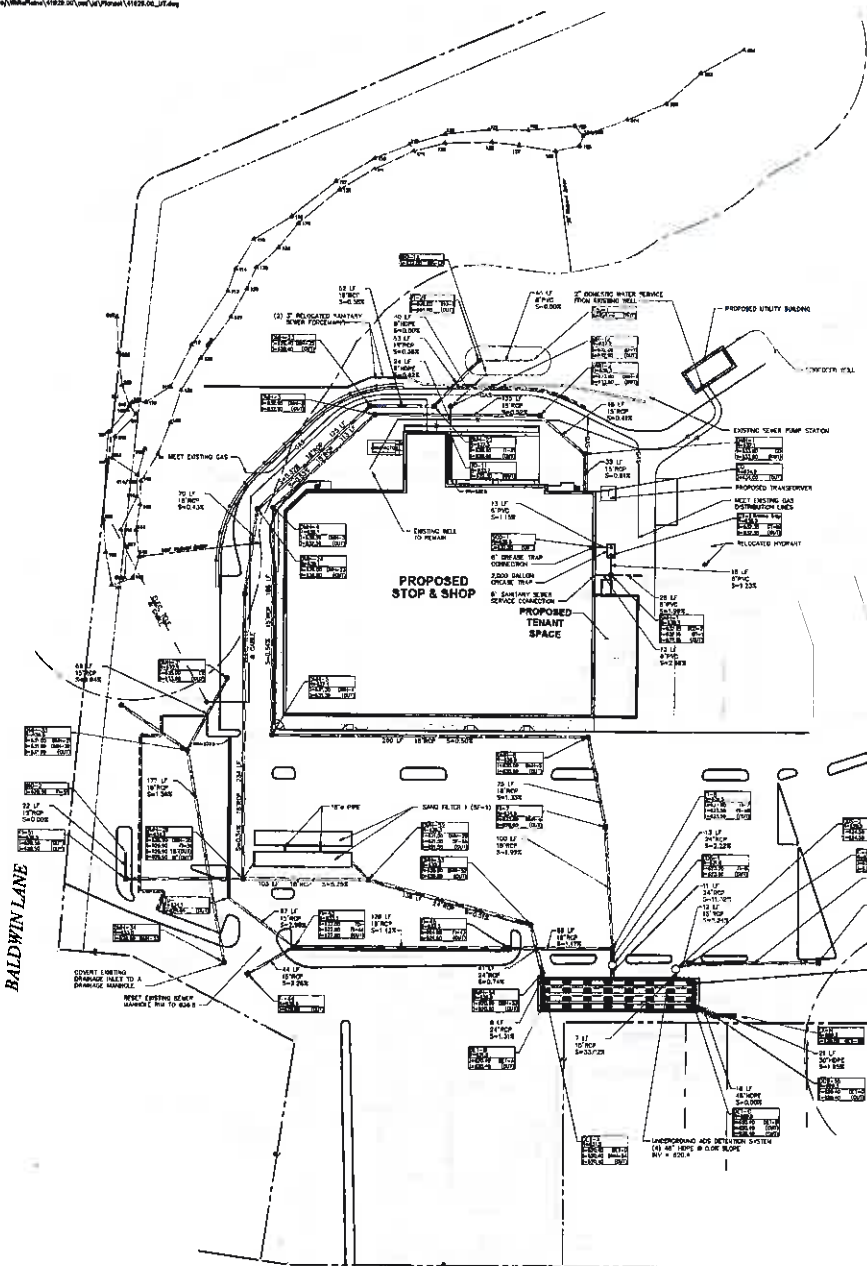
Plan Approved for Construction
 Grading and Drainage
 Plan



 STATE OF NEW YORK
C-05
 6

Richard W. Tompkins
 R.S. Professional Engineer
 NY Lic. No. 072072

November 20, 2015
 11221.00



BALDWIN LANE

US ROUTE 6

Notes

- ALL TRADING UTILITY CONNECTION POINTS ARE PRELIMINARY AND SHALL BE DETERMINED BY OWNER'S MECHANICAL ENGINEER, PLUMBING (MPE) ENGINEER AND/OR ARCHITECT.
- GAS, TELEPHONE, CABLE, AND OTHER CONNECTIONS TO BE COORDINATED WITH PROVIDING UTILITY COMPANIES FOLLOWING THE DEVELOPMENT OF THE FINAL BUILDING PLANS AND UTILITY CONNECTION POINTS BY OWNER'S MECHANICAL ENGINEER.
- GAS METER LOCATIONS SHOWN ON THE PLANS ARE PRELIMINARY AND SHALL BE DETERMINED BY THE MPE ENGINEER AND ARCHITECT.
- WATER PUMP SERVICE SHOWN ON THE PLANS ARE PRELIMINARY AND SHALL BE DETERMINED BY OWNER'S MPE ENGINEER BASED ON AVAILABLE TOWN FIRE PROTECTION AND DOMESTIC NEEDS OF THE BUILDING AND SITE CONDITIONS.
- SAFETY MANHOLE LOCATIONS ARE BASED ON ANTICIPATED SERVICE LOCATIONS. OWNER'S MPE ENGINEER TO PROVIDE FINAL SERVICE LOCATIONS AT FINISH AND COORDINATE PUMP SIZES AND FLOW VOLUMES WITH SITE CONDITIONS.
- LENGTH OF PIPE BEHIND THE PLUM SHALL BE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING REQUIRED PIPE LENGTHS BEFORE.
- A SHOP DRAW TO BE PROVIDED FOR SEWERS EXTERIOR MANHOLES 3 FEET OR MORE ABOVE MANHOLE INVERT.
- ALL SANITARY SEWER LINES TO BE INSTALLED WITH AT LEAST 4 FEET OF COVER.
- ALL SANITARY SEWER LINES TO BE INSTALLED AT LEAST 10 FEET HORIZONTALLY FROM POISSON WATER BRICKS AND/OR AT LEAST 18" FROM POISSON WATER BRICKS AND IN SEPARATE UNDISTURBED EARTHWORK. IF AT COVERING, THE 18" VERTICAL CLEARANCE CANNOT BE OBTAINED SANITARY SEWER SHALL BE INSTALLED AT LEAST 18" FROM POISSON WATER BRICKS AND IN SEPARATE UNDISTURBED EARTHWORK. THE SEWER SHALL BE PRESURE TESTED AT 200 PSI PER AREA PLAN OR A DEPTH OF THE TOWN PIPE SHALL BE COVERED BY A CONCRETE DIVULGE FOR A MIN OF 30 FEET EACH WAY FROM THE COVERAGE OF THE CURBLINE.
- ALL SEWERS MUST MEET THE TOWN OF CARMEL TOWN CODE § 100-20.
- SEWERAGE MANHOLES AND DIVULGES SHOULD BE INSTALLED PER FTOM OF CARMEL TOWN CODE.
- ALL WATER SERVICE CONNECTIONS MUST BE 1/2-CORNER.
- DATE VALVES SHALL BE ANNA HYDRANTS STEEL TYPE, AS MANUFACTURED BY MUELLER COMPANY, MODEL ANNA H-2500S-150 OR APPROVED EQUAL CONFORMANCE TO THE LATEST ANNA SPECIFICATION FOR DATE VALVES - 3" THROUGH 4" - FOR WATER AND OTHER LIQUIDS. ANNA DESIGNATION C-009.
- SIZE OF 10 AND WELLSHOES "D" SHALL BE 500 PSI WORKING PRESSURE. THE VALVE BODY AND BONNET SHALL BE DUSTLE WITH. ALL EXTERIOR AND EXTERIOR METAL SURFACES SHALL BE COATED WITH A TWO-PART EPOXY/URETHANE TYPICAL COLOR TWO NEW JERSEY 5500.
- VALVES SHALL HAVE EQUAL TOP AND BOTTOM BODIES. SEWER REPLACEMENT WEDGE SEATS IN ACCORDANCE WITH ANNA DESIGNATION C-200 AND SHALL BE CONTINUED SO AS TO PROVIDE UNRESTRICTED FLOW THROUGH VALVE WITH FULLY OPEN AND ANNEALD COMPLETE CLOSURE WITH CLOSED. THE ENDS OF THE VALVE SHALL BE MECHANICAL JOINT.
- ALL VALVES SHALL BE ARRANGED TO OPEN IN COUNTER CLOCKWISE DIRECTION UNLESS OTHERWISE SPECIFICALLY INDICATED AND OPERATING RULES SHALL BE 2" SQUARE.
- VALVES SHALL BE TESTED TO A PRESSURE OF NOT LESS THAN TWO TIMES THE WORKING PRESSURE, AND SHALL BE EQUAL TO THE MUELLER COMPANY ANNA-2 WITH ONE (1) 1/4" FPOUR INCHES AND TWO (2) 2" FPOUR INCHES.
- ALL HYDRANTS SHALL BE 500 PSI WORKING PRESSURE, 10" WITH 10" W-NO.10 MECHANICAL JOINT INLET CONNECTION AND SHALL BE EQUAL TO THE MUELLER COMPANY ANNA-2 WITH ONE (1) 1/4" FPOUR INCHES AND TWO (2) 2" FPOUR INCHES.
- 60" WATER SERVICE RADIOLUX SHALL BE EQUAL TO THOSE MANUFACTURED BY MUELLER MODEL 7 1/2" X 1" 32 SERIES STAINLESS STEEL SPOOLS DOWNSIDE VIEW.
- CORROSION STOPS SHALL BE EQUAL TO THOSE AS MANUFACTURED BY MUELLER COMPANY MODEL 10-1000-1500 AND OF SIZE REQUIRED. SUCH CORROSION STOPS SHALL MEET THE REQUIREMENTS OF ANNA SPECIFICATION NO. C-009.
- CURB VALVES (SIZES) SHALL BE EQUAL TO THOSE AS MANUFACTURED BY MUELLER COMPANY MODEL 10-1000-1500 AND OF SIZE REQUIRED. SUCH CORROSION STOPS SHALL MEET THE REQUIREMENTS OF ANNA SPECIFICATION NO. C-009.
- DRIP INDICATORS SHALL BE EQUAL TO THOSE AS MANUFACTURED BY MUELLER COMPANY AND SHALL TO MUELLER EXTENSION TYPE WITH ARCH-PATTERN BASE MODEL H-1000. ALL EXTENSION WOOD SHALL BE STAINLESS STEEL.
- ALL FIRE HYDRANTS SHALL BE APPROVED ANNA TYPE FIRE HYDRANTS IN CONFORMANCE WITH THE AMERICAN WATER WORKS ASSOCIATION STANDARDS FOR FIRE HYDRANTS FOR COMPATIBILITY WITH WORKING SERVICE. ANNA DESIGNATION C-009 AND SHALL HAVE A 3/4" NPT VALVE OPERATED BY MECHANICAL JOINT INLET COMPLETE WITH AN ANNA TYPE VALVE CLOSURE COMPLETELY A MECHANICAL JOINT SPACE, AND ALL APPURTENANCES.
- FIRE HYDRANTS SHALL BE RATED FOR A WORKING PRESSURE OF 200 PSI. FIRE HYDRANTS SHALL BE SIZED FOR A 4" 1/2" BURN.

Tax Dollars
 63,130 1.45
 63,130 1.46

Proposed Stop & Shop
 983-1005 Route 6
 Town of Carmel, Mahopac, New York, 10541

No.	Date	Revised
1	12/29/2015	MWJ
2	03/02/2016	MWJ
4	04/27/2016	MWJ

Site Plan Approval November 30, 2015

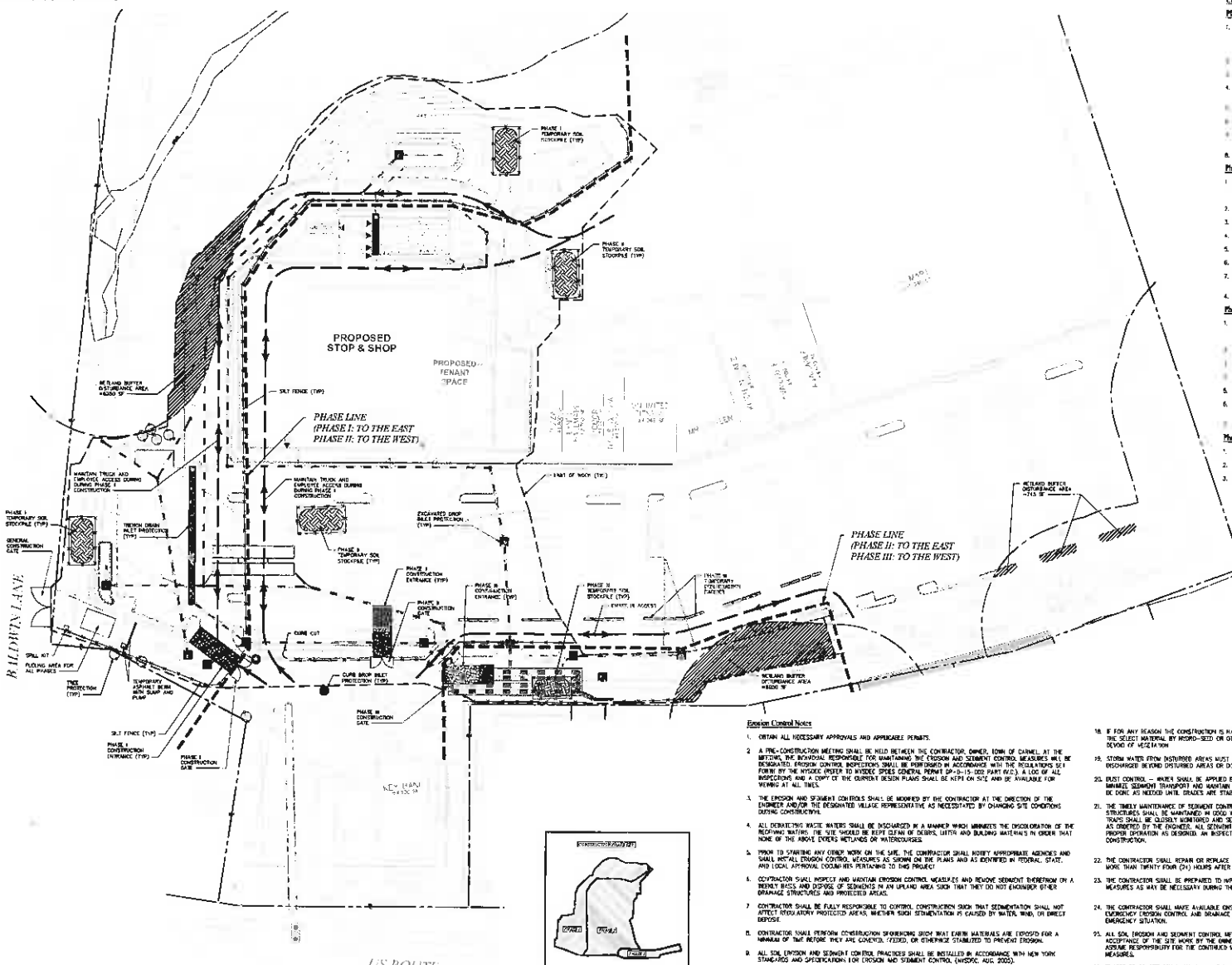
Department of Construction

C-06

7

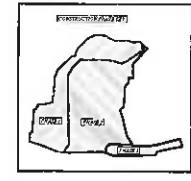
Mahopac, NY 10541
 NY Lic No. 07092
 41920.00

\\vss01\proj\1700\1700.dwg (1/18/18) 2/23/18



Erosion Control Notes

1. OBTAIN ALL NECESSARY APPROVALS AND APPLICABLE PERMITS.
2. A PRE-CONSTRUCTION MEETING SHALL BE HELD BETWEEN THE CONTRACTOR, OWNER, TOWN OF CARMEL AT THE OFFICE OF THE ENVIRONMENTAL RESPONSE FOR MAINTAINING THE EROSION AND SEDIMENT CONTROL MEASURES THAT BE DISSEMINATED. EROSION CONTROL INSPECTORS SHALL BE PRESENTED IN ACCORDANCE WITH THE REGULATIONS SET FORTH BY THE INSPECTOR ORDER TO INSPECT SITES GENERAL PERMIT SP-19-100 PART I, 1, & LOG OF ALL INSPECTORS AND A COPY OF THE CURRENT DESIGN PLANS SHALL BE KEPT ON SITE AND AVAILABLE FOR REVIEW AT ALL TIMES.
3. THE EROSION AND SEDIMENT CONTROLS SHALL BE MONITORED BY THE CONTRACTOR AT THE DISCRETION OF THE ENGINEER AND FOR THE DESIGNATED VULNERABILITY REPRESENTATIVE AS DESCRIBED BY CHANGING SITE CONDITIONS DURING CONSTRUCTION.
4. ALL DIVERTING WHITE WATER SHALL BE DISCHARGED IN A MANNER WHICH MINIMIZES THE CONTAMINATION OF THE RECEIVING WATER. THE SITE SHOULD BE KEPT CLEAN OF DEBRIS, LITTER AND BUILDING MATERIALS IN ORDER THAT NONE OF THE ABOVE NOTES APPLICABLE TO THIS PROJECT.
5. PRIOR TO INITIATING ANY CONSTRUCTION ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS DESCRIBED IN FEDERAL, STATE, AND LOCAL APPLICABLE ORDINANCES PERTAINING TO THIS PROJECT.
6. CONSTRUCTION SHALL MONITOR AND MAINTAIN EROSION CONTROL MEASURES AND REMOVE SEDIMENT THEREFROM ON A DAILY BASIS AND DEPOSIT OF SEDIMENTS IN AN UPLAND AREA OTHER THAN THE NOT ENDORSED BY THE DRAINAGE STRUCTURES AND PROTECTED AREAS.
7. CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT PROXIMATE PROTECTED AREAS, WATERWAYS OR WATER QUALITY CAUSED BY WATER RUNOFF OR DIRECT DEPOSIT.
8. CONSTRUCTION SHALL MAINTAIN PROXIMATE PROTECTED AREAS AND WATERWAYS AS DESCRIBED BY FEDERAL, STATE, AND LOCAL APPLICABLE ORDINANCES PERTAINING TO THIS PROJECT.
9. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL COMPLETION OF CONSTRUCTION AND SHALL BE IN ACCORDANCE WITH THE APPLICABLE REGULATIONS.
10. THE TOWN OF CARMEL, INSPECTOR ON THE SITE OWNER MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE THE POTENTIAL FOR DEPOSIT OF DEBRIS, LITTER OR DEBRIS PRODUCTS THAT MAY OCCUR DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THESE MEASURES.
11. NO DISTURBED AREA SHALL BE LEFT EXPOSED FOR MORE THAN 14 DAYS AFTER WORK STOPPAGE. THESE AREAS MUST IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE EXPOSED AREAS SHALL BE MULCHED WITH STRAW OR COMPOST MATERIAL. THE SEEDING WILL BE DONE IN ACCORDANCE WITH NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL. AREAS SUBJECT TO CONSTRUCTION TRAFFIC AND TRUCKS SHALL BE MULCHED AND PROTECTED BY DIRECTING THE SURFACE WATER FLOW TO TREATMENT AREAS. THESE AREAS ARE NOT SUBJECT TO THE TEMPORARY SEEDING REQUIREMENT DUE TO THE CONSTRUCTION AND SEDIMENT CONTROL TREATMENTS AS DESCRIBED HEREIN.
12. ANY EXPOSED AREAS NOT SUBJECT TO FURTHER DISTURBANCE OF CONSTRUCTION TRAFFIC SHALL BE MOWED TO DATE OF FINAL GRADING, RECEIVE PERMANENT VEGETATIVE COVER IN CONFORMANCE WITH APPLICABLE REGULATIONS.
13. OVER 10% SLOPE STREETS SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
14. THE SITE SHALL AT ALL TIMES BE COVERED AND MAINTAINED SUCH THAT ALL STOPWATER REMOVED IS OVERTO to SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
15. ALL STORM DRAINAGE OUTLETS SHALL BE STABILIZED AS REQUIRED. BEFORE THE OVERFLOW POINT IN SOME OPERATIONAL.
16. CONSTRUCTION FENCING SHALL BE USED TO PROTECT EXISTING TREES TO REMAIN WELFARE AND OTHER SENSITIVE AREAS. REFER TO TREE PROTECTION NOTES ON LANDSCAPE PLAN FOR ADDITIONAL INFORMATION.



Construction Phasing Notes

- Phase I:**
1. CONSTRUCT THE GENERAL SITE CONSTRUCTION ENTRANCE, GATE, FENCE, AREA AND TEMPORARY ASPHALT DRIVE AT THE BUILDING LINE (ENTRANCE AREA AFTER PROVIDED ALL NECESSARY EROSION CONTROL PRACTICE/TEMPORARY STOCKPILE AREA).
 2. CONSTRUCT PHASE I CONSTRUCTION ENTRANCE, GATE AND FENCE.
 3. REMOVE EXISTING PAVEMENT AND UTILITIES.
 4. INSTALL RETAINING WALLS, PROTECTIVE BASINS AND UTILITIES AS PROPOSED.
 5. ROUGH GRADE THE PHASE I AREA AS PROPOSED.
 6. CONSTRUCT THE PROPOSED PAVEMENT AREA-BASE COURSE.
 7. PROVIDE TEMPORARY SEEDING AND STABILIZED THE ENTIRE PHASE I AREA.
 8. REMOVE PHASE I CONSTRUCTION ENTRANCE AND GATE.
- Phase II:**
1. CONSTRUCT THE PHASE II CONSTRUCTION ENTRANCE, GATE AND FENCE, AFTER INSTALLED ALL NECESSARY EROSION CONTROL PRACTICE/TEMPORARY STOCKPILE AREA.
 2. DEMOLISH THE EXISTING BUILDING.
 3. REMOVE EXISTING PAVEMENT AND UTILITIES.
 4. DEMOLISH THE NEW BUILDING AND PROPOSED UTILITIES.
 5. ROUGH GRADE THE PHASE II AREA AS PROPOSED.
 6. CONSTRUCT THE PROPOSED PAVEMENT AREA-BASE COURSE.
 7. PROVIDE TEMPORARY SEEDING AND STABILIZED THE ENTIRE PHASE II AREA.
 8. REMOVE PHASE II CONSTRUCTION ENTRANCE AND GATE.
- Phase III:**
1. CONSTRUCT THE PHASE III CONSTRUCTION ENTRANCE, GATE AND FENCE, AFTER INSTALLED ALL NECESSARY EROSION CONTROL PRACTICE/TEMPORARY STOCKPILE AREA.
 2. REMOVE EXISTING PAVEMENT.
 3. DEMOLISH THE EXISTING UTILITIES.
 4. ROUGH GRADE THE PHASE III AREA.
 5. CONSTRUCT THE PROPOSED PAVEMENT AREA-BASE COURSE.
 6. PROVIDE TEMPORARY SEEDING AND STABILIZED THE ENTIRE PHASE III AREA.
 7. REMOVE PHASE III CONSTRUCTION ENTRANCE AND GATE.
- Phase IV:**
1. MILL REMAINING PAVEMENT SURFACES.
 2. DEMOLISH EXISTING SITE PARKING AREA.
 3. PERFORM STREPPING OVER EXISTING PARKING AREA.

Conditions:

1 WEEK
2 WEEKS
1 MONTH
2 WEEKS
2 WEEKS
2 WEEKS
2 DAYS
1 WEEK
3 WEEKS
2 WEEKS
3 WEEKS
2 WEEKS
1 WEEK
2 DAYS
1 WEEK
3 DAYS
2 WEEKS
2 DAYS
3 DAYS
2 DAYS
1 WEEK
3 DAYS
3 DAYS
1 WEEK

Phase I Disturbance = 2.07 AC
Phase II Disturbance = 3.15 AC
Phase III Disturbance = 0.42 AC
Total Disturbance Within 100 foot Wetland Buffer = 0.3 AC

Legend

- Excessed Drop Inlet Protection
- Chub Drop Inlet Protection
- French Drain Inlet Protection
- Construction Entrance
- Temporary Soil Stockpile Area
- Silt Fence

18. IF FOR ANY REASON THE CONSTRUCTION IS HALTED FOR EXTENDED PERIODS, THE CONTRACTOR SHALL STABILIZE THE EXPOSED MATERIAL BY MOWING OR OTHER MEANS, TO THE SATISFACTION OF THE ENGINEER FOR ALL AREAS EXPOSED TO WIND-BLOWN.
19. STORM WATER FROM DISTURBED AREAS MUST BE PASSED THROUGH AN APPROVED CONTROL DEVICE BEFORE BEING DISCHARGED INTO RECEIVING AREAS OR DISCHARGED INTO DRAINAGE SYSTEMS.
20. BEST CONTROL - WATER SHALL BE APPLIED BY SPRINKLER OR WATER DURING DRAINAGE OPERATIONS TO MAINTAIN SEDIMENT TRANSPORT AND MAINTAIN ACCEPTABLE AIR QUALITY CONDITIONS. PREVENTIVE TREATMENTS SHALL BE DONE AS NEEDED UNTIL DRAINS ARE STABILIZED.
21. THE TIMELY MAINTENANCE OF SEDIMENT CONTROL STRUCTURES IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL STRUCTURES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. THE SEDIMENT LEVEL IN ALL SEDIMENT TRAPS SHALL BE CLOSELY MONITORED AND SEDIMENT REMOVED PROMPTLY WHEN MAXIMUM LEVELS IN ALL SEDIMENT TRAPS ARE REACHED BY THE ENGINEER. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED REGULARLY TO INSURE PROPER OPERATION AS DESCRIBED IN INSPECTION SCHEDULES. SILENT BELL SHALL BE SET FORTH PRIOR TO THE START OF CONSTRUCTION.
22. THE CONTRACTOR SHALL REPAIR OR REPLACE DAMAGED EROSION CONTROL DEVICES IMMEDIATELY, AND IN NO CASE, MORE THAN TWENTY-FOUR (24) HOURS AFTER OCCURRING SUCH DEFICIENCIES.
23. THE CONTRACTOR SHALL BE PREPARED TO IMPLEMENT INTERIM DRAINAGE CONTROLS AND EROSION CONTROL MEASURES AS MAY BE NECESSARY DURING THE COURSE OF CONSTRUCTION.
24. THE CONTRACTOR SHALL HAVE AVAILABLE ON-SITE ALL EQUIPMENT, MATERIALS AND LABOR NECESSARY TO PERFORM EMERGENCY EROSION CONTROL AND DRAINAGE IMPROVEMENTS WITHIN FOUR (4) HOURS OF ANY WORKING AND EMERGENCY SITUATION.
25. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL FINAL ACCEPTANCE OF THE SITE WORK BY THE OWNER. UPON COMPLETION OF FINAL ACCEPTANCE, THE OWNER SHALL ASSUME RESPONSIBILITY FOR THE CONTINUED MAINTENANCE OF PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES.
26. PHASES OF CONSTRUCTION INCLUDING CLEANING AND GRUBBING, PRELIMINARY SITE PREPARATION, UTILITY INSTALLATION, PRELIMINARY GRADING, ETC., REQUIRE TREE PROTECTION MEASURES TO BE IN PLACE.
27. NO CONSTRUCTION ACTIVITIES OF ANY KIND SHALL OCCUR WITHIN THE LIMITS OF THE PROTECTED AREAS INCLUDING, BUT NOT LIMITED TO, GRADING, ELEVATION, STOCKPILING OF MATERIALS, STORAGE OF CONSTRUCTION EQUIPMENT, VEHICLE PARKING, MOVEMENT OF MACHINERY OR EQUIPMENT, OR OVERLAP OF CONSTRUCTION DEBRIS.
28. CONTRACTOR SHALL REFER TO THE PROJECT DETAILS FOR THE PROTECTION MEASURES PROPOSED.
29. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES. THE SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REGULATED PRIOR TO ANY MAJOR SOIL DISTURBANCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
30. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AS DESCRIBED IN THE PLANS.
31. ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND PLACED IN A STABILIZED STOCKPILE OR FILL AREA. TOPSOIL REQUIRED FOR FINAL GRADING AND STORED ON SITE SHALL BE LIMED, FERTILIZED, TEMPORARILY SEEDING AND MULCHED WITHIN 14 DAYS.
32. THE CONTRACTOR IS RESPONSIBLE FOR ANY TREES CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.
33. SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE REPAIRED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROTECTED BY PERMANENT MEASURES.
34. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GRASSING COVER, CONTRACTOR SHALL REMOVE AND REPORT OF EROSION CONTROL MEASURES AND CLEAN DEBRIS AND DEBRIS FROM ENTIRE DISTURBED DISTURBANCE AREA.
35. CONTRACTOR SHALL MAINTAIN THE PROJECT'S ESTABLISHED POLLUTION PREVENTION PLAN, DATED NOVEMBER 2015 FOR COMPLETE PROJECT STOPWATER MANAGEMENT REQUIREMENTS AND EROSION AND SEDIMENT CONTROLS.
36. CONSTRUCTION FENCE TO BE PROVIDED ON PHASE LIST FOR EACH PHASE.

Site Plan Approval November 30, 2015

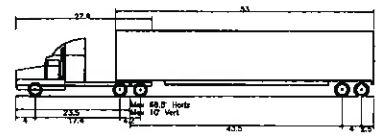
Proposed Stop & Shop
983-1005 Route 6
Town of Carmel, Mahopac, New York, 10541

No.	Description	DATE	BY
1	Planning Board	12/19/2015	WLF
2	Zoning Board	01/19/2016	WLF
3	Planning Board	06/16/2016	WLF
4	ED & Planning Board	10/16/2016	WLF

Site Plan Approval November 30, 2015

C-07

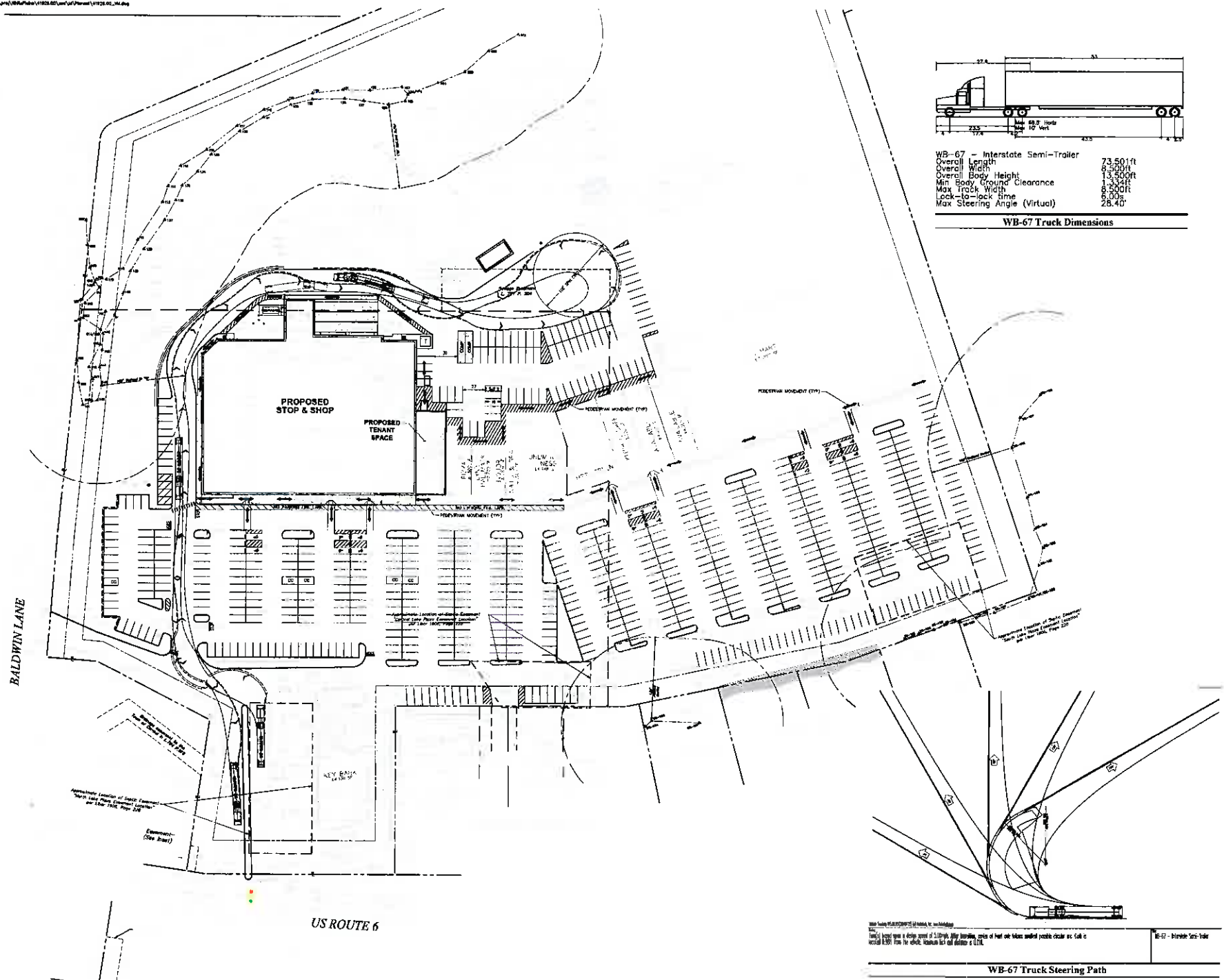
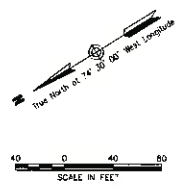
Michael W. Nepelewski
415 Peninsula Boulevard
NY 11790-6202 415.200.9000



WB-67 - Interstate Semi-Trailer

Overall Length	73.50ft
Overall Width	8.50ft
Overall Body Height	13.50ft
Min Body Ground Clearance	1.35ft
Max Track Width	8.50ft
Lock-to-lock time	6.00s
Max Steering Angle (Virtual)	28.40

WB-67 Truck Dimensions



Tax Parcels

65.10-1-45
65.10-1-46

Proposed Stop & Shop
983-1005 Route 6
Town of Carmel, Mahopac, New York, 10541

No.	Name	Date	Sheet
1	PRELIMINARY SITE PLAN	02/27/2013	1001
2	2ND APPLICATION	08/02/2014	1002
3	REVISIONS	09/04/2014	1003
4	3RD & FINALISED SITE PLAN	01/27/2015	1004


Site Plan Approval November 30, 2015

Delivered To: Customer
City: Mahopac

Site Plan Approval November 30, 2015

Delivered To: Customer
City: Mahopac

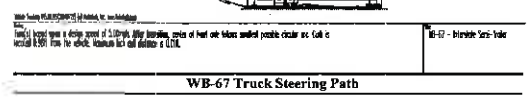
Delivery Truck and Pedestrian Manuevering Plan

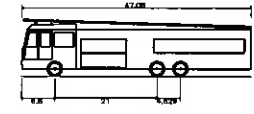


C-08

9

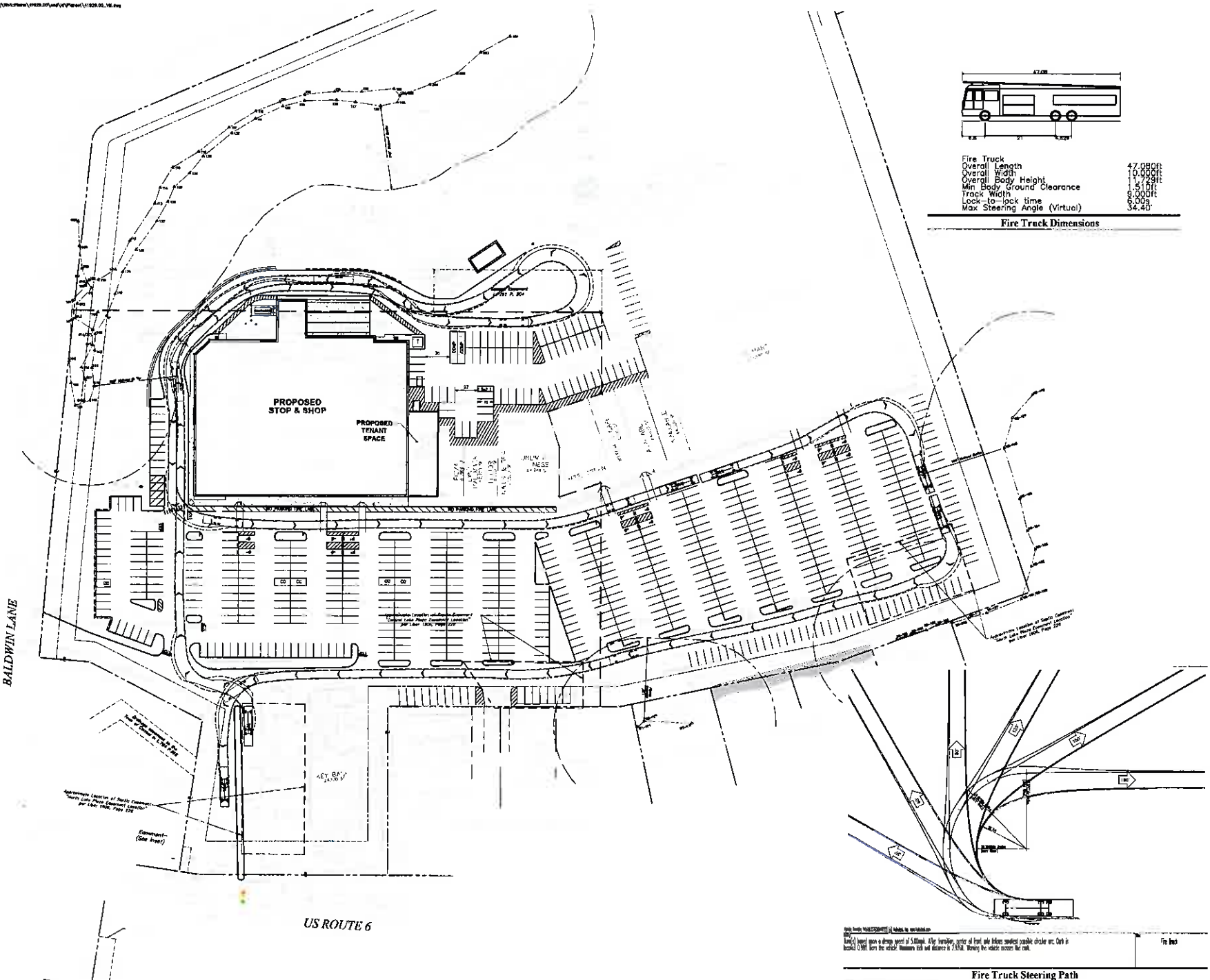
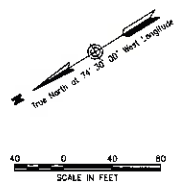
11/30/2015





Fire Truck	
Overall Length	47.00ft
Overall Width	10.00ft
Overall Body Height	11.75ft
Min Body Ground Clearance	1.51ft
Track Width	8.00ft
Lock-to-lock time	6.00s
Max Steering Angle (Virtual)	34.40

Fire Truck Dimensions




Tax Parcels
65.10-1.45
65.10-1.46

Proposed Stop & Shop
983-1005 Route 6
Town of Carmel, Mahopac, New York, 10541

No.	DATE	BY	DESCRIPTION
1	12/10/2013	...	...
2	02/10/2014	...	...
3	02/10/2014	...	...
4	02/10/2014	...	...

Site Plan Approval November 30, 2015

Not Approved for Construction
[Redacted Signature Area]

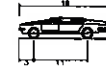


C-09
10
41929.00

Fire Truck Steering Path

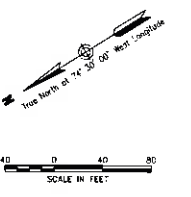
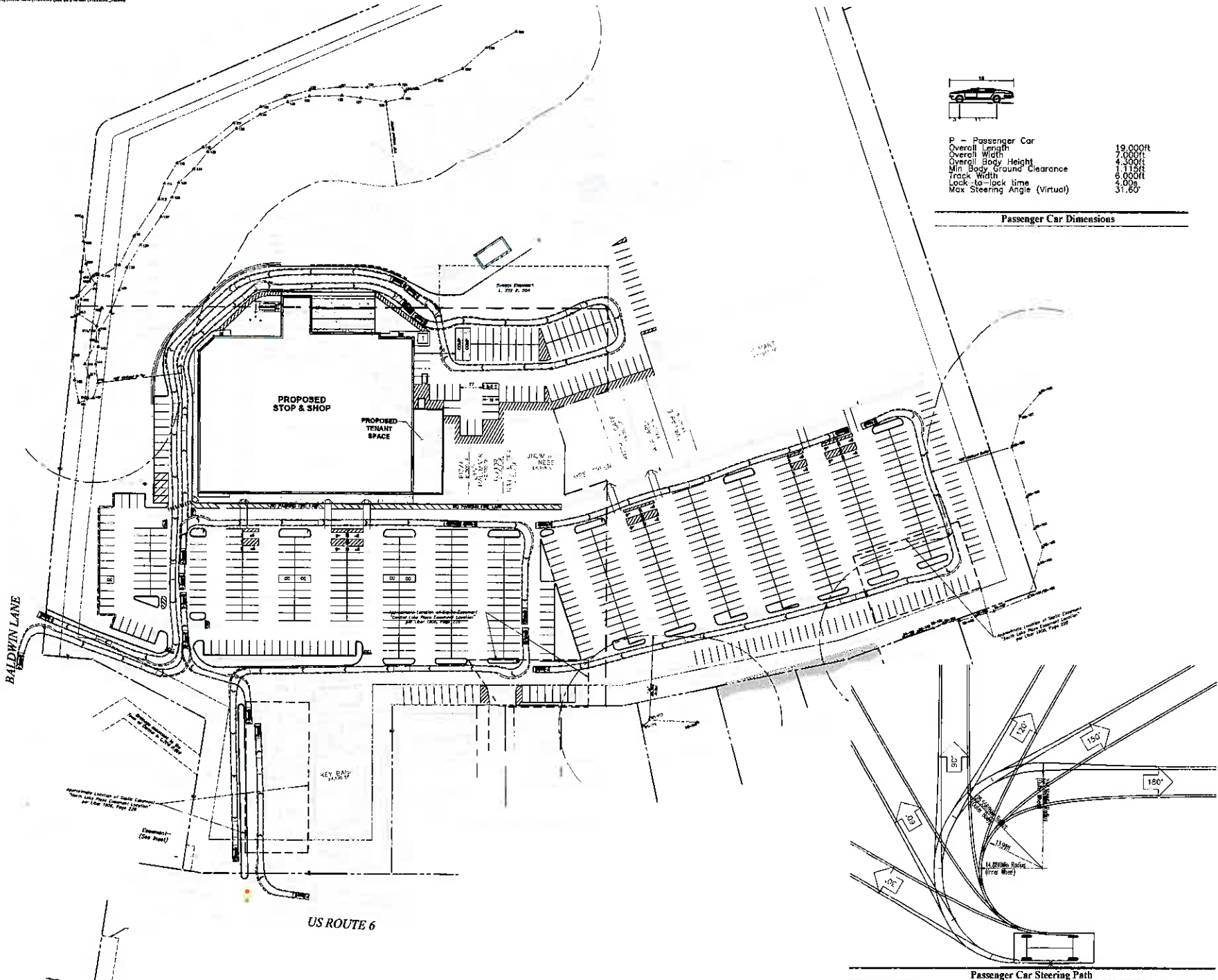


vhb.com
Engineering, Surveying &
Landscape Architecture, PC
50 Main Street
Suite 360
White Plains, NY 10606
p. 914-667-6600
f. 914-761-3759



P - Passenger Car	18.000ft
Overall Length	7.000ft
Overall Width	4.300ft
Overall Body Height	1.115ft
Min. Body Ground Clearance	6.000ft
Track Width	4.00ft
Lock-to-lock time	31.60
Max Steering Angle (Virtual)	

Passenger Car Dimensions



Tax Parcels
65.1D-1.45
65.1D-1.46

Proposed Stop & Shop
983-1005 Route 6
Town of Carmel, Mahopac, New York, 10541

Item	Description	Date	Drawn	Checked
1	PLANNING BOARD MEETING	12/21/2015	MLW	MLW
2	TOWN BOARD MEETING	09/29/2016	MLW	MLW
3	TOWN BOARD MEETING	09/29/2016	MLW	MLW
4	SC & PLANNING BOARD MEETING	04/27/2016	MLW	MLW

DRAWN: DW/C
 CHECKED: MLW
 DATE: 11/11/15

Site Plan Approval November 10, 2015

Not Approved for Construction

Passenger Car
Steering Path

County of...

C-9.1

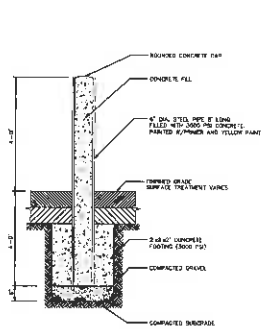
11

Michael W. Jungbluth
E.P. Professional Engineer
NY Lic. No. 072672

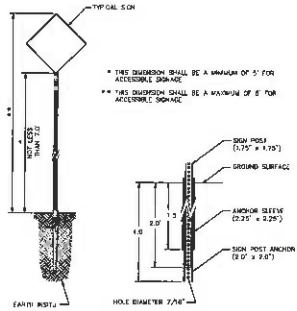
EXAMINER
41929.00

Printed: Tuesday, April 08, 2015 3:40:57 PM at \\hbs\proj\000\AutoCAD\102720\102720.dwg
 Plot: 11/11/15 Plot 112

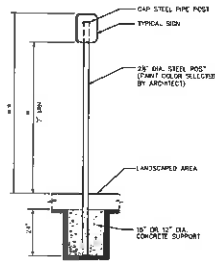
Passenger Car Steering Path



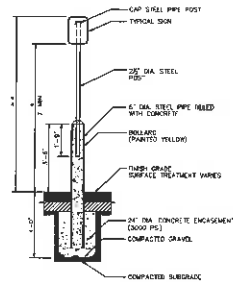
Bollard 4/17
N.T.S. Source: VHB 12.308



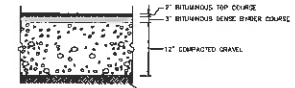
Sign Post - Type 'B' 4/17
N.T.S. Source: VHB 12.312



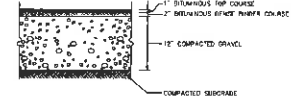
Sign Post - Type 'A' 4/17
N.T.S. Source: VHB 12.310



Bollard Mounted Sign 4/17
N.T.S. Source: VHB 12.309



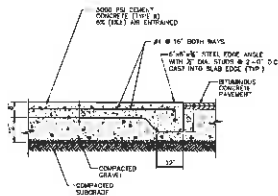
Heavy Duty Flexible Pavement



Standard Duty Flexible Pavement

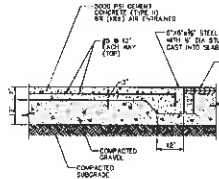
PAVEMENT SECTIONS ARE SUBJECT TO CHANGE AND WILL BE SUBJECT TO THE RULES OF FURTHER GEOLOGICAL INVESTIGATIONS.

Bituminous Concrete Pavement Sections 12/11
N.T.S. Source: VHB 12.348



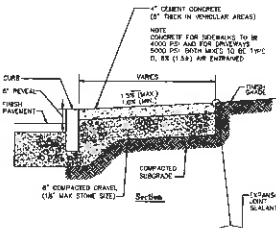
- Notes:**
1. SIZE OF PAD TO BE AS INDICATED ON PLANS.
 2. CONSTRUCTION JOINTS SHALL BE SPACED NO MORE THAN 30 FEET ON CENTER AND SHALL BE EQUALLY SPACED OVER THE LENGTH AND WIDTH OF THE PAD.

Loading Dock Pad 4/17
N.T.S. Source: VHB 12.318



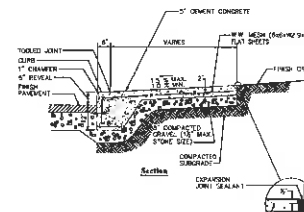
- Notes:**
1. SIZE OF COMPACTOR PAD TO BE AS INDICATED ON PLANS.
 2. CONSTRUCTION JOINTS SHALL BE SPACED NO MORE THAN 30 FEET ON CENTER AND SHALL BE EQUALLY SPACED OVER THE LENGTH AND WIDTH OF THE PAD.

Compactor Pad 4/17
N.T.S. Source: VHB 12.316



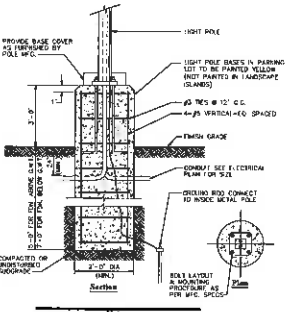
- Notes:**
1. PROVIDE EXPANSION JOINTS AT 10 FT. WITH PRE-FORMED JOINT FILLER.
 2. PROVIDE TOoled CONTROL JOINTS AT 8 FT. O.C.
 3. PROVIDE BROWN FINISH IN DIRECTION PERPENDICULAR TO CURB.

Concrete Sidewalk 4/17
N.T.S. Source: VHB 12.349



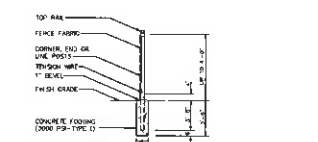
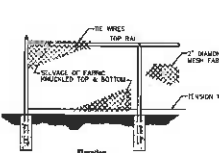
- Notes:**
1. CONCRETE FOR SIDEWALKS TO BE 4000 PSI AND FOR CURBS TO BE 5000 PSI AND FOR DRIVEWAYS TO BE 5000 PSI. ALL CONCRETE TO BE TYPE II, 45-85 AIR ENTRAINMENT FILLER AS SCALER.
 2. PROVIDE EXPANSION JOINTS AT 10 FT. O.C. WITH PRE-FORMED EXPANSION JOINT FILLER AS SCALER.
 3. PROVIDE TOoled CONTROL JOINTS AT 8 FT. O.C.
 4. PROVIDE BROWN FINISH IN DIRECTION PERPENDICULAR TO CURB.

Monolithic Concrete Curb (MCC) & Sidewalk 12/11
N.T.S. Source: VHB 12.347

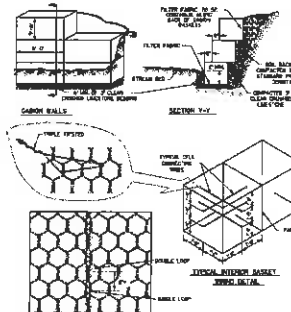


- Notes:**
1. LIGHT POLE FORMATION DESIGN IS SUBJECT TO CHANGE BASED ON FINAL POLE AND TOWER SELECTION AND GEOTECHNICAL SAFETY INVESTIGATION.
 2. CONCRETE SHALL HAVE MINIMUM COMPRESSIVE STRENGTH OF 5000 PSI, AIR ENTRAINMENT TYPE II CONCRETE.

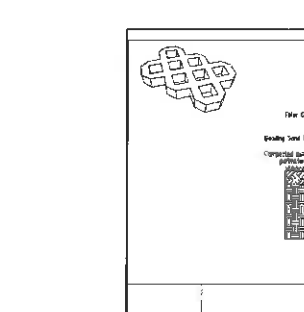
Light Pole 4/17
N.T.S. Source: VHB 12.314



Chain Link Fence up to 4' 4/17
N.T.S. Source: VHB 12.346



Gabion Retaining Wall 4/17
N.T.S. Source: VHB 12.345



Pervious Pavers 4/17
N.T.S. Source: VHB 12.344

Proposed Stop & Shop
983-1005 Route 6
Town of Carmel, Manhasset, New York, 10541

PLANNING BOARD MEETING	12/17/2015	10:00 AM
COM. APPROVAL	12/22/2015	10:00 AM
PLANNING BOARD MEETING	01/06/2016	10:00 AM
ECB & PLANNING BOARD REVIEW	01/27/2016	10:00 AM

Site Plan Approval November 30, 2015

Best Approved for Construction

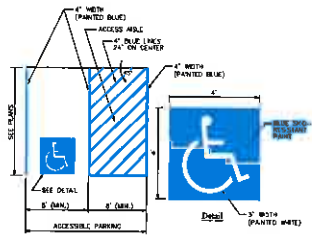


UNILOCK
1 800-746-0000
TORONTO • NEW YORK
CHICAGO • DENVER • ST. PAUL
CLEVELAND

C-10

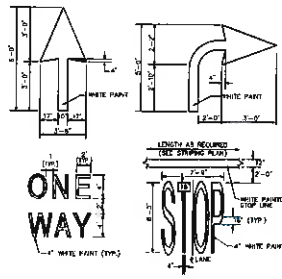
12

4193.00



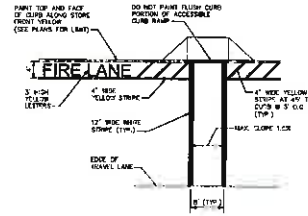
- Notes:**
1. ALL DIMENSIONS TO EDGES OF 4" PAINTED STRIPING.
 2. 5' STALL WIDTH ACCESS TO BE CLEAR BETWEEN INSIDE EDGES OF PAVEMENT MARKINGS.
 3. ALL SLOPES THROUGHOUT THE ACCESSIBLE PARKING AND WHEEL AREAS SHALL NOT EXCEED 1:50.

Accessible Parking Space 11/20 12.000
N.T.S. Scale: 1/8" = 1'-0"



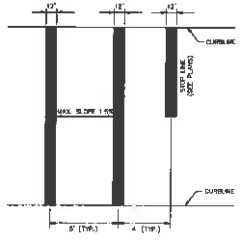
- Notes:**
1. PAVERS/PAINTERS TO BE INSTALLED FOR ON SITE WORK IN LOCATION SHOWN.

Painted Pavement Markings - On Site 1/16 12.000
N.T.S. Scale: 1/8" = 1'-0"



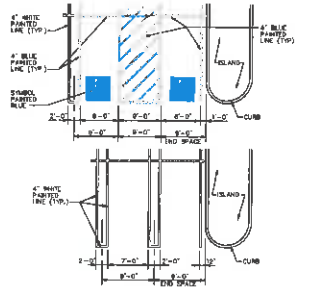
- Notes:**
1. WHEEL WAYS (12") SHALL BE STRIPPED IN ONE APPLICATION AND COMPOSITION OF LINES (12" - 8" HIGH LINES) WILL BE ACCEPTED.
 2. CROWN POLLS (SMALL) SHALL NOT EXCEED 1/4".
 3. THE WORDS "NO PARKING FIRE LANE" SHALL BE PAINTED IN THE CENTER OF THE FIRE LANE IN 3" HIGH LETTERS. ALL LETTERS SHALL BE 3/4" HIGH. ALL LETTERS SHALL BE 3/4" HIGH. ALL LETTERS SHALL BE 3/4" HIGH.
 4. STRIPPED ACCESSIBLE CURB PORTION SHALL BE LOCATED AT THE FRONT CURB EDGE FROM THE FIRE LANE BACK TO THE ACCESSIBLE PARKING SPACE.

Crosswalk and Fire Lane Striping 0/16 12.000
N.T.S. Scale: 1/8" = 1'-0"



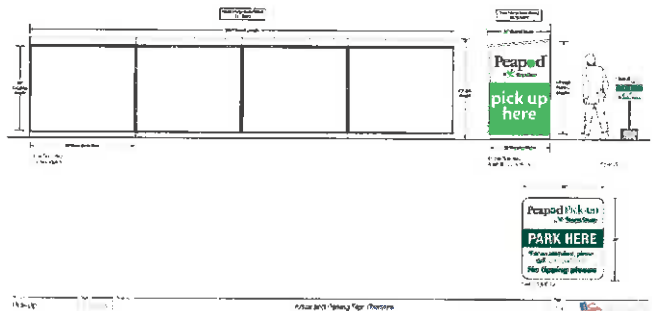
- Notes:**
1. WHEEL WAYS (12") LINES SHALL BE APPLIED IN ONE APPLICATION. NO COMPOSITION OF LINES (12" - 8" HIGH LINES) WILL BE ACCEPTED.
 2. CURB RAMP SLOPES SHALL NOT EXCEED 1:50.

Crosswalk 0/16 12.000
N.T.S. Scale: 1/8" = 1'-0"



- Notes:**
1. ALL PAINT SHALL BE FABRICATION GRADE SHALL MEET THE REQUIREMENTS OF AASHTO M287. PAINT SHALL BE APPLIED AS SPECIFIED BY THE MANUFACTURER.
 2. SYMBOLS & PAINTING SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT.
 3. ALL SLOPES THROUGHOUT THE ACCESSIBLE PARKING AND WHEEL AREAS SHALL NOT EXCEED 1:50.

Pavement Markings - Stall Layout 1/16 12.000
N.T.S. Scale: 1/8" = 1'-0"



Stop and Shop Peapod Lockers 1/16 12.000
N.T.S. Scale: 1/8" = 1'-0"

Stop and Shop Peapod Lockers

- Materials:**
- ACM - Aluminum Composite Material
Slide Panels, Doors, Roof
 - Aluminum Tube
Aluminum Angle
Interior framework construction
 - Stainless Steel Hardware
for assembly
 - Galvanized Steel Bi-Pass Door Track
 - EPS Foam Insulation Panel
 - Aluminum Diamond Plate
Flooring surface
 - 715v AC Impeller Fans

Stop and Shop Peapod Lockers' Materials 1/16 12.000
N.T.S. Scale: 1/8" = 1'-0"

Tax Parcel
65.10-1-45
65.10-1-46

Proposed Stop & Shop
983-1005 Route 6
Town of Carmel, Mahopac, New York, 10541

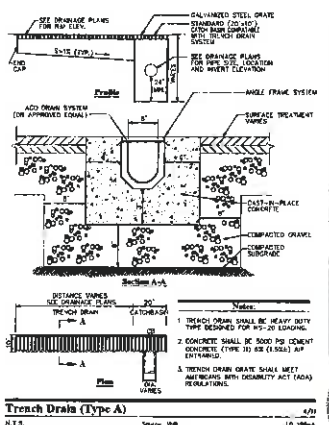
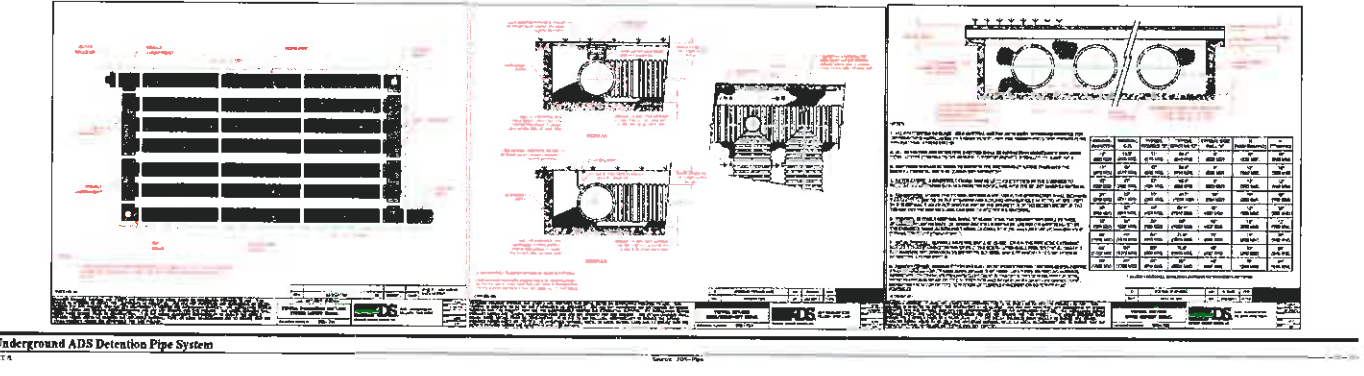
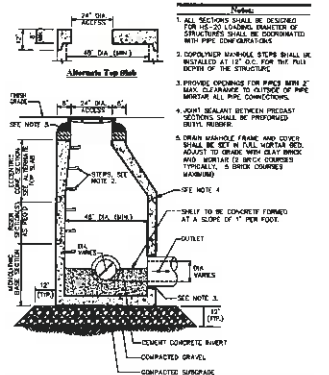
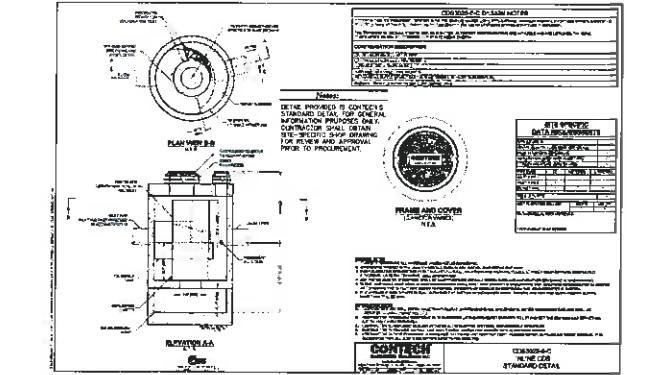
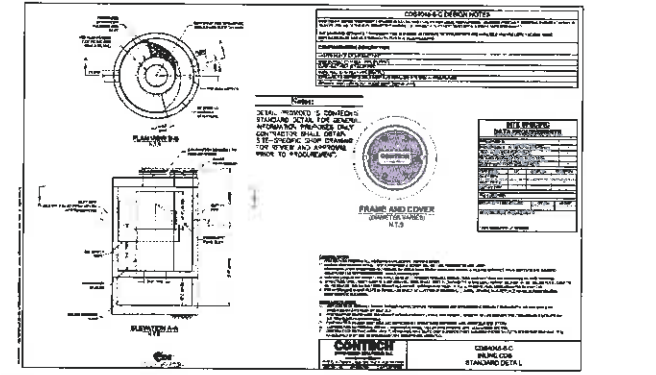
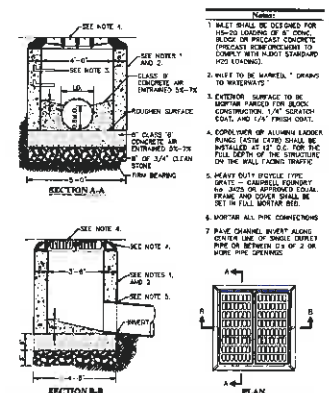
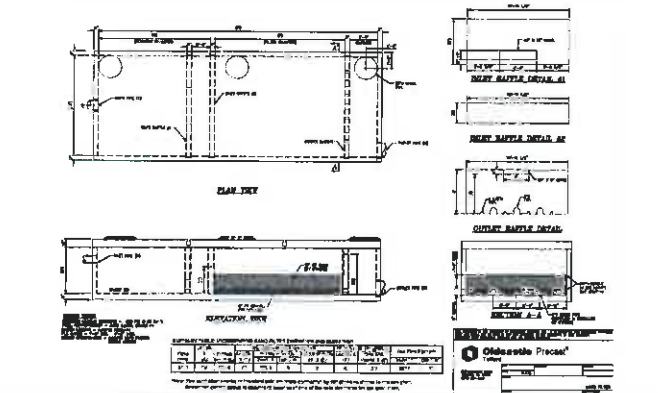
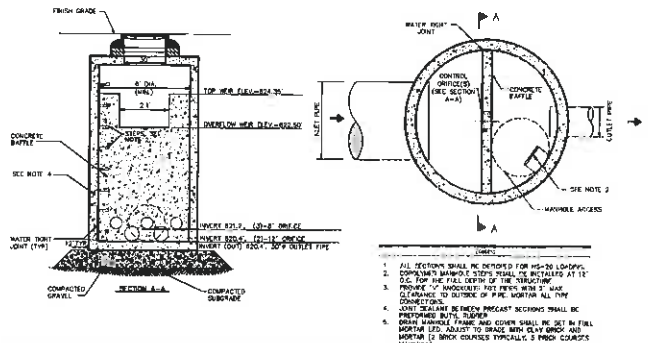
No.	Description	Date	Scale
1	PLANNING BOARD REVIEW	12/14/2012	AS SHOWN
2	SEALED FOR PERMITS	02/15/2013	AS SHOWN
3	PLANNING BOARD REVIEW	03/21/2013	AS SHOWN
4	SEALED FOR PERMITS	04/25/2013	AS SHOWN

Site Plan Approval November 10, 2015

Not Approved for Construction
Site Plan Approval

13

Michael W. Jungmann
A.E. Professional Engineer
NY Lic. No. 012012 41929.00



Site Plan Approval
November 30, 2015

Site Preparation
Construction

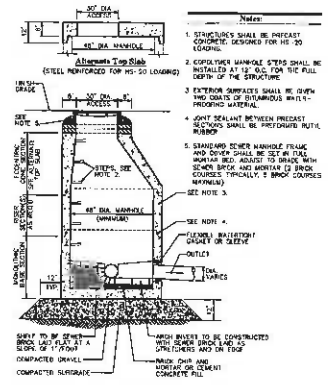
Proposed Stop & Shop
983-2005 Route 6
Town of Carmel, Mahopac, New York, 10541

Site Plan Approval
November 30, 2015

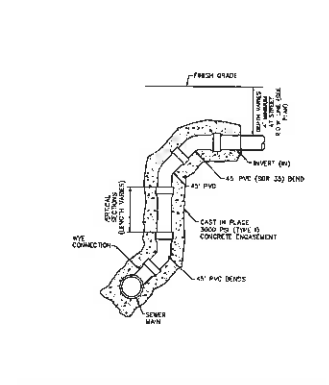
Construction

C-12
14

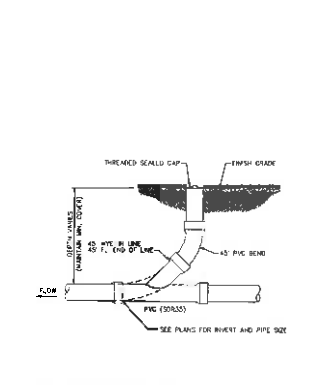
Michael W. Jurek
P.E. Professional Engineer
NY Lic No. 072072
43929.00



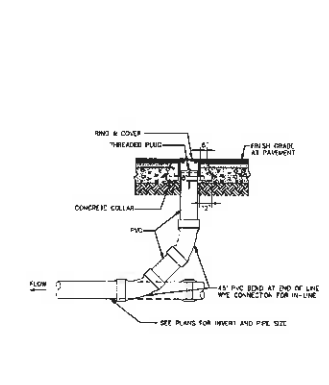
Sanitary Sewer Manhole (SMH) 6/10
NTS Source: VHB 10.283



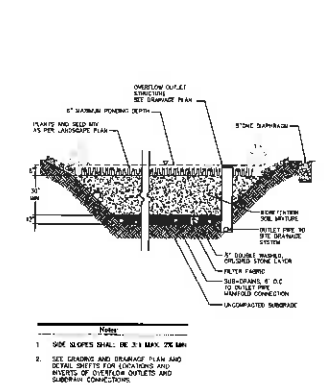
Sewer Service Chimney 6/10
NTS Source: VHB 10.283



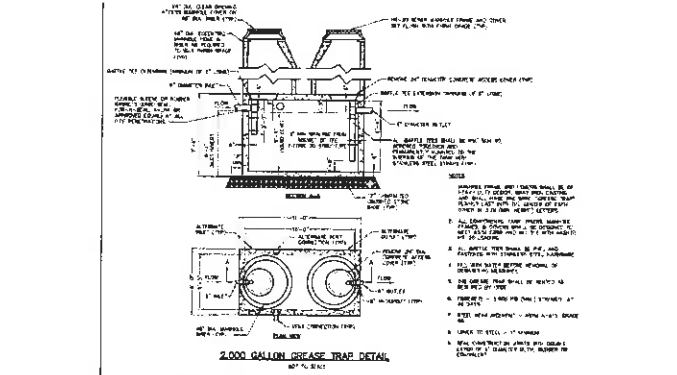
Cleanout - Landscape Area 6/10
NTS Source: VHB 10.283



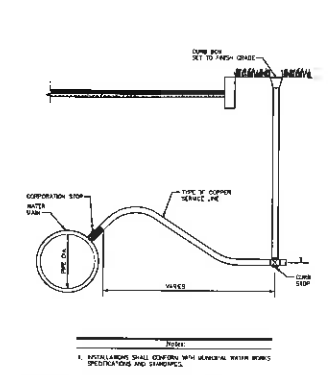
Cleanout - Paved Area 6/10
NTS Source: VHB 10.283



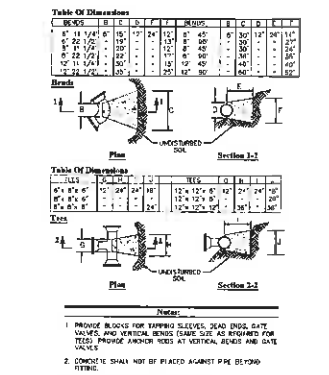
Bioretention Basin 6/10
NTS Source: VHB 10.283



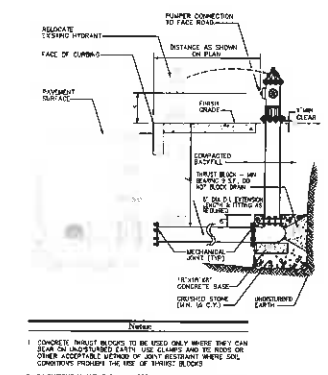
Precast Concrete Grease Trap (GT) 6/10
NTS Source: VHB 10.283



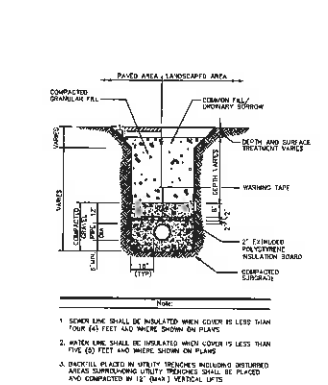
Corporation/Curb Stop with Box 6/10
NTS Source: VHB 10.283



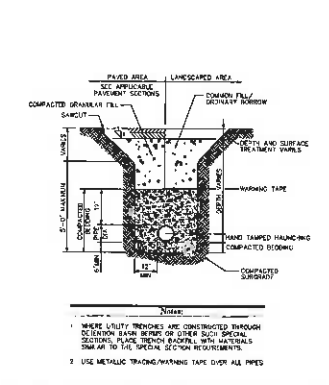
Concrete Thrust Block 6/10
NTS Source: VHB 10.283



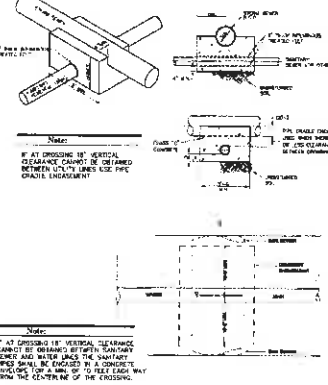
Hydrant Relocation Detail 6/10
NTS Source: VHB 10.283



Utility Trench - Pipe Insulation 6/10
NTS Source: VHB 10.283



Utility Trench 6/10
NTS Source: VHB 10.283



Utility Crossings 6/10
NTS Source: VHB 10.283

Per Details
65.10-1-45
65.10-1-46

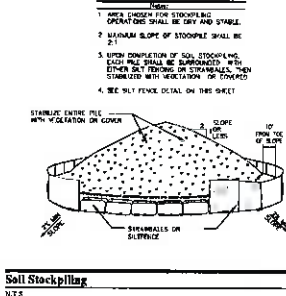
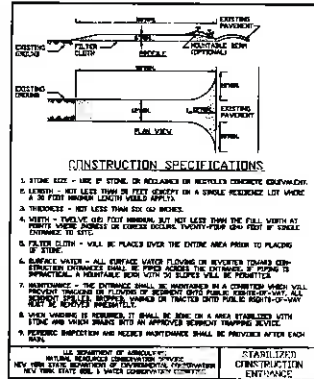
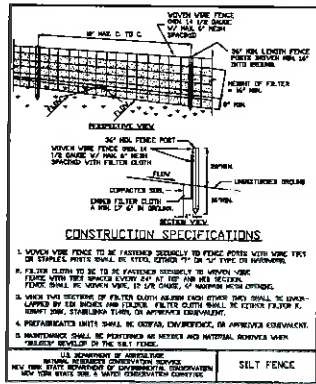
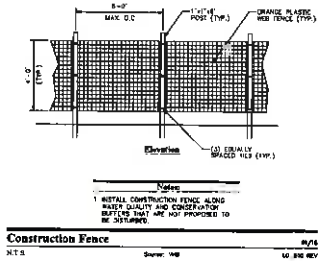
Proposed Stop & Shop
985-1005 Route 6
Town of Carmel, Mahopac, New York, 10541

NO.	DESCRIPTION	DATE	BY
1	PLANNING BOARD REVISION	12/15/2015	SM
2	JOB APPROVAL	02/17/2016	SM
3	PLANNING BOARD REVISION	02/20/2016	SM
4	JOB APPROVAL	05/21/2016	SM

Site Plan Approval November 30, 2015

Not Approved for Construction





Construction Fence

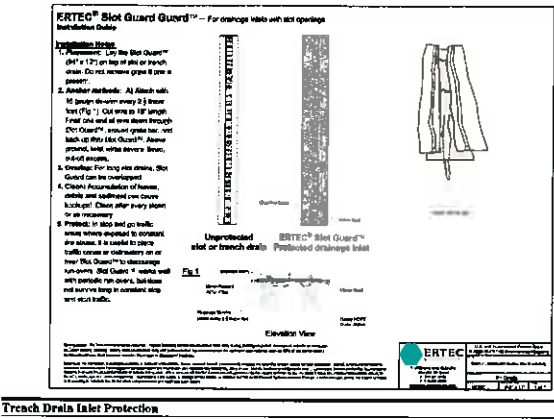
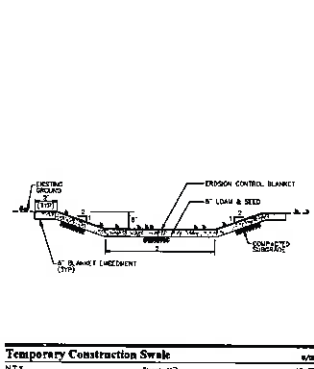
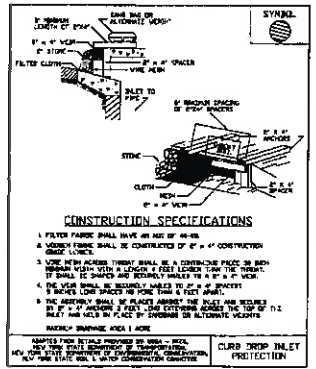
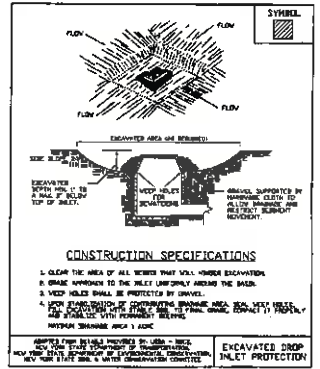
N.T.S. Date: 08/10/14 10:20 AM

SILT FENCE

STABILIZED CONSTRUCTION ENTRANCES

Silt Stockpiling

N.T.S.



CONSTRUCTION SPECIFICATIONS

1. CLEAR THE AREA OF ALL WEEDS THAT WILL HINDER EXCAVATION.
2. BRACE APPROACHES TO THE INLET (AND ONLY) AROUND THE BASIN.
3. HOOD HOLES SHALL BE PROTECTED BY DIVERTERS.
4. HOOD HOLES SHALL BE REINFORCED WITH 2" X 2" REBAR.
5. HOOD HOLES SHALL BE REINFORCED WITH 2" X 2" REBAR.
6. HOOD HOLES SHALL BE REINFORCED WITH 2" X 2" REBAR.
7. HOOD HOLES SHALL BE REINFORCED WITH 2" X 2" REBAR.
8. HOOD HOLES SHALL BE REINFORCED WITH 2" X 2" REBAR.

CONSTRUCTION SPECIFICATIONS

1. FILTER FABRIC SHALL HAVE AN ARE OF 40-50.
2. SLOPE FABRIC SHALL BE COMPLETED BY 4" X 4" CONSTRUCTION BRICK LOTS.
3. SLOPE FABRIC SHALL BE COMPLETED BY 4" X 4" CONSTRUCTION BRICK LOTS.
4. SLOPE FABRIC SHALL BE COMPLETED BY 4" X 4" CONSTRUCTION BRICK LOTS.
5. SLOPE FABRIC SHALL BE COMPLETED BY 4" X 4" CONSTRUCTION BRICK LOTS.

CONSTRUCTION SPECIFICATIONS

1. CLEAR THE AREA OF ALL WEEDS THAT WILL HINDER EXCAVATION.
2. BRACE APPROACHES TO THE INLET (AND ONLY) AROUND THE BASIN.
3. HOOD HOLES SHALL BE PROTECTED BY DIVERTERS.
4. HOOD HOLES SHALL BE REINFORCED WITH 2" X 2" REBAR.
5. HOOD HOLES SHALL BE REINFORCED WITH 2" X 2" REBAR.
6. HOOD HOLES SHALL BE REINFORCED WITH 2" X 2" REBAR.
7. HOOD HOLES SHALL BE REINFORCED WITH 2" X 2" REBAR.
8. HOOD HOLES SHALL BE REINFORCED WITH 2" X 2" REBAR.

Trench Drain Inlet Protection

N.T.S.

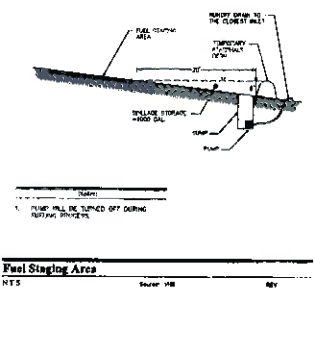
Excavated Drop Inlet Protection

N.T.S. Date: 08/10/14 10:20 AM

CLUB DROP INLET PROTECTION

Temporary Construction Swale

N.T.S. Date: 08/10/14 10:20 AM



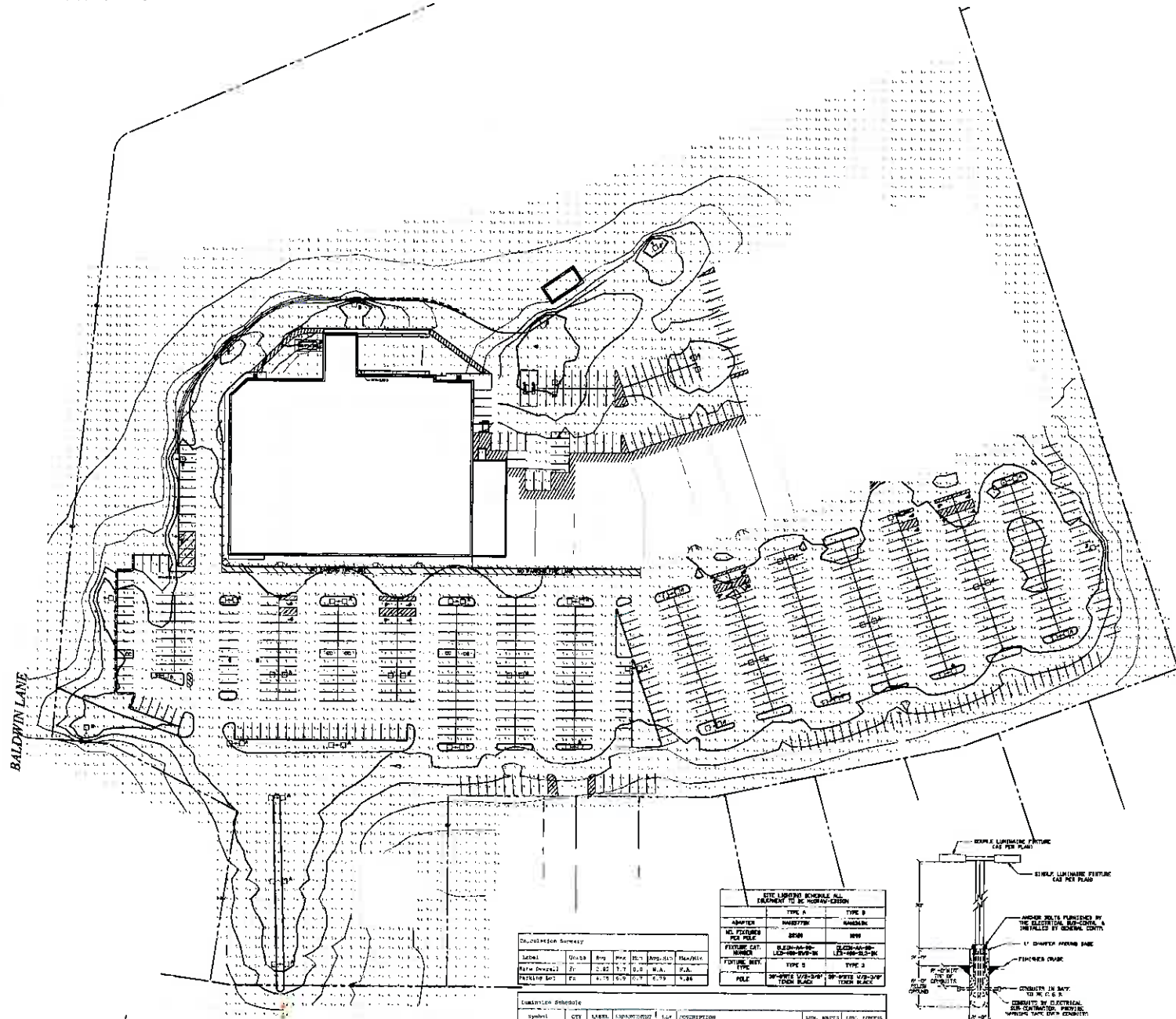
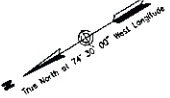
Fuel Staging Area

N.T.S. Date: 08/10/14 10:20 AM

Fuel Staging Area

Fuel Staging Area

N.T.S. Date: 08/10/14 10:20 AM



BALDWIN LANE

US ROUTE 6

Calculation Summary

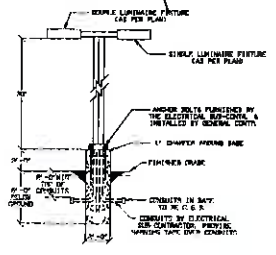
Label	Units	Req.	Min.	Max.	Actual	Min./Max.
Area	Sq. Ft.	2,827	1,717	4,544	2,827	1.65/1.65
Perim. Deviation	%	4.78	0.77	8.79	4.78	0.88/0.88

Location Schedule

Symbol	Qty	Label	Description	Lot	Notes	100' GRID
PL-41	308	A	2000000000	2.97	2000000000-0000000000 137' 00"	25
PL-42	11	A	2000000000	2.97	2000000000-0000000000 137' 00"	25

ETC LIGHTING SCHEDULE ALL EQUIPMENT TO BE SUPPLY LISTED

ADAPTER	MANUFACTURER	MANUFACTURE
TYPE A	SCOR	NEW
TYPE B	BLAN-AN-20-LED-100-100-100	LED-100-100-100
TYPE C	BLAN-AN-20-LED-100-100-100	LED-100-100-100



LIGHTING FIXTURE SHALL BE SUPPLY LISTED. NOT TO SCALE.
 MIN. 2\"/>

Ten Dates:
 65.10-1-45
 65.10-1-46


Proposed Stop & Shop
 983-1005 Route 6
 Town of Carmel, Mahopac, New York, 10543

No.	Date	By	For
1	02/27/2015	MMW	PLAN SET APPROVAL
2	03/10/2015	MMW	PLAN SET APPROVAL
3	03/24/2015	MMW	PLAN SET APPROVAL
4	04/07/2015	MMW	PLAN SET APPROVAL

Site Plan Approval November 30, 2015

Not Reapproved for Construction

Lighting Plan



C-15

Michael W. Jurgens
 P.E., Professional Engineer
 374 Lee St. #12072
 41829-00

vhb
 Engineering, Surveying & Landscape Architecture, P.C.
 50 Main Street
 Suite 300
 White Plains, NY 10606
 p: 914.467.6600
 f: 914.763.3759

EA ENGINEERING ADVANTAGE, INC.
 800 MAIN STREET 310 FLOOR
 HOLLAND MASSACHUSETTS 01930
 PHONE: 417 739-3949

McGRAW-EDISON®

McGRAW-EDISON® LED
 3-Watt Output
 300 Lumens

LED LIGHT SOURCE

TYPE A

Lighting calculations and fixture specifications for Type A fixture.

McGRAW-EDISON®

McGRAW-EDISON® LED
 3-Watt Output
 300 Lumens

LED LIGHT SOURCE

TYPE B

Lighting calculations and fixture specifications for Type B fixture.

TABLE A-1 LIGHTING FIXTURE FOOTCANDLE DATA

Fixture	Beam Angle	Beam Diameter (ft)	Beam Area (sq ft)	Beam Diameter (m)	Beam Area (sq m)	Beam Area (sq ft) / sq m	Beam Area Ratio
10	30	3.14	3.14	0.96	0.92	3.42	0.29
20	60	6.28	12.57	1.92	3.69	3.42	0.29
30	90	9.42	28.27	2.88	8.21	3.42	0.29
40	120	12.57	50.27	3.84	14.52	3.42	0.29
50	150	15.71	78.50	4.80	22.70	3.42	0.29
60	180	18.85	113.10	5.76	33.18	3.42	0.29
70	210	21.99	154.21	6.72	45.83	3.42	0.29
80	240	25.13	201.82	7.68	60.87	3.42	0.29
90	270	28.27	256.93	8.64	79.37	3.42	0.29
100	300	31.42	319.62	9.60	100.36	3.42	0.29

TABLE B-1 LIGHTING FIXTURE FOOTCANDLE DATA

Fixture	Beam Angle	Beam Diameter (ft)	Beam Area (sq ft)	Beam Diameter (m)	Beam Area (sq m)	Beam Area (sq ft) / sq m	Beam Area Ratio
10	30	3.14	3.14	0.96	0.92	3.42	0.29
20	60	6.28	12.57	1.92	3.69	3.42	0.29
30	90	9.42	28.27	2.88	8.21	3.42	0.29
40	120	12.57	50.27	3.84	14.52	3.42	0.29
50	150	15.71	78.50	4.80	22.70	3.42	0.29
60	180	18.85	113.10	5.76	33.18	3.42	0.29
70	210	21.99	154.21	6.72	45.83	3.42	0.29
80	240	25.13	201.82	7.68	60.87	3.42	0.29
90	270	28.27	256.93	8.64	79.37	3.42	0.29
100	300	31.42	319.62	9.60	100.36	3.42	0.29

Parking Lot LED Light Detail "Type A" 11/15

Parking Lot LED Light Detail "Type B" 11/15

Tax Parcels
 05.10-1-45
 05.10-1-46

Proposed Stop & Shop
 983-1005 Route 6
 Town of Carmel, Mahopac, New York, 10541

No.	Issue	Date	Status
1	Planned Board Submittal	01/27/2014	NEW
2	City Approval	02/03/2014	NEW
3	Planned Board Submittal	05/15/2014	NEW
4	City Approval	06/07/2014	NEW

Site Plan Approval November 10, 2015



C-16

18

Michael W. Anglim
 No. 41929.00
 NY Lic. No. 4-2012

Sheet created: April 16, 2015 at 10:28:11 PM. 2015/04/16 10:28:11 AM 11/15/15 11/15/15

**80% STEEL
ROUND TAPERED**

IN VUE

ITEM	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	Steel Pole	1	EA	150.00	150.00
2	...	...	...	...	...

Notes:
 1. Material to be used is 80% Steel Pole.
 2. All dimensions are in feet and inches.
 3. All dimensions are to be finished.

Cooper Lighting
 Cooper Lighting
 11/18

Straight Round Steel Pole Detail 11/18
 R.T.D. Sorce Engineering Advantage, Inc.

vhb
 Engineering, Surveying &
 Landscape Architecture, PC
 50 Main Street
 Suite 350
 White Plains, NY 10606
 p: 914.467.6600
 f: 914.763.3759

EA
 ENGINEERING ADVANTAGE, INC.
 ONE MAIN STREET SUITE 350
 WHITE PLAINS, NY 10606
 PH: 914.763.3759

Ter Petrus
 65.10-1-45
 65.10-1-46

Proposed Stop & Shop
 983-1005 Route 6
 Town of Carmel, Mahopac, New York, 10542

No.	Name	Date	Appr.
1	As-said design submittal	10/21/2015	DPH
2	Final design submittal	10/21/2015	DPH
3	As-said design submittal	02/19/2016	MDR
4	As-said design submittal	02/19/2016	MDR

Site Plan Approval November 30, 2015

Site Plan Approval

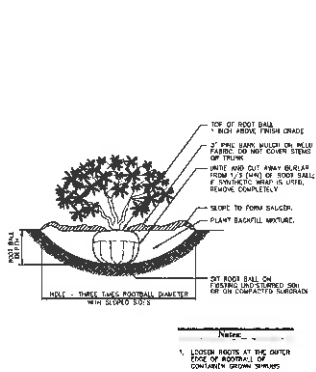
11/18

11/18

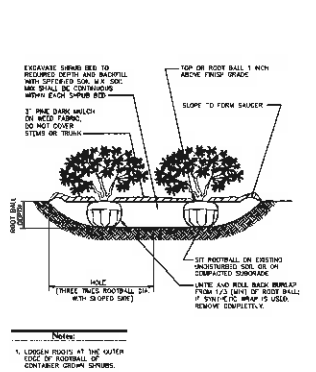
11/18

C-17

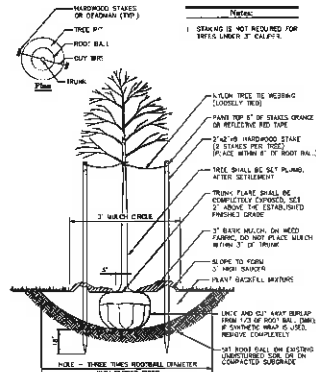
Michael W. Janczura
 44 Professional Design
 NY Lic. No. 67072
 11/18
 11/18
 11/18
 11/18



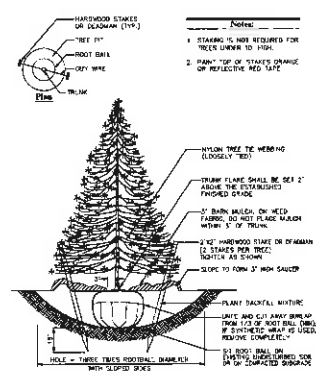
Shrub Planting
Scale: 1/8" = 1'-0"
DATE: 12/10/09



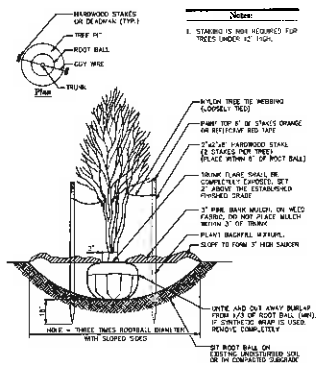
Shrub Bed Planting
Scale: 1/8" = 1'-0"
DATE: 12/10/09



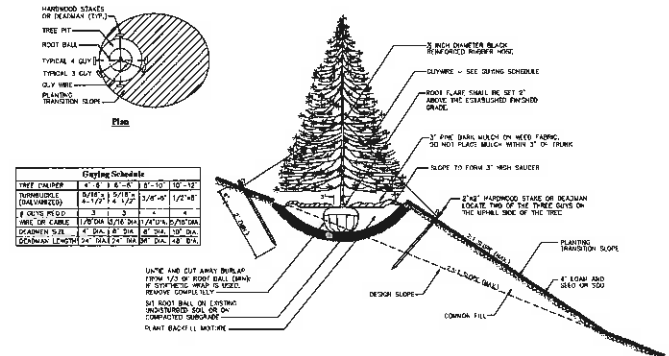
Tree Planting (For Trees Under 4" Caliper)
Scale: 1/8" = 1'-0"
DATE: 12/10/09



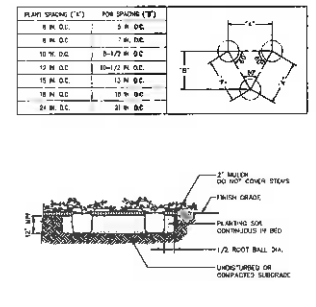
Evergreen Tree Planting
Scale: 1/8" = 1'-0"
DATE: 12/10/09



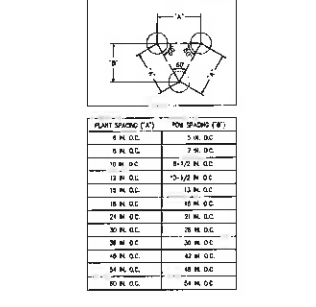
Multistem Tree Planting
Scale: 1/8" = 1'-0"
DATE: 12/10/09



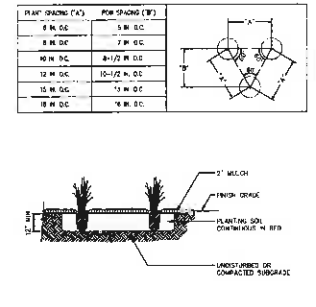
Tree Planting on Slope
Scale: 1/8" = 1'-0"
DATE: 12/10/09



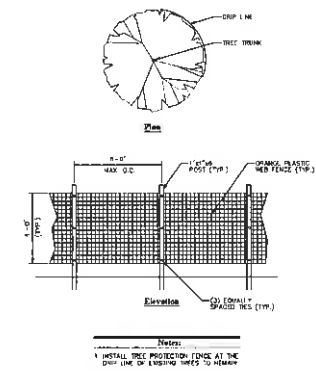
Ground Cover Planting
Scale: 1/8" = 1'-0"
DATE: 12/10/09



Ground Cover and Shrub Spacing Chart
Scale: 1/8" = 1'-0"
DATE: 12/10/09



Perennial Plug Planting
Scale: 1/8" = 1'-0"
DATE: 12/10/09



Tree Protection Fence
Scale: 1/8" = 1'-0"
DATE: 12/10/09

Tax Permits
05.10-1.45
05.10-1.46

Proposed Stop & Shop

983-1005 Route 6
Town of Carmel, Mahopac, New York, 10543

No.	Revision	Revised By	Date
1	ISSUED FOR PERMITS	11/12/2011	JAG
2	FOR A PLANNING BOARD SUBMITTAL	06/27/2014	MRJ

Site Plan Approval November 30, 2015

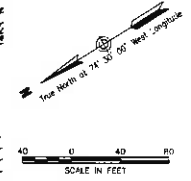
Site Plan Approval

Construction

Planting Details



C-19



Tax Parcel:
 65.10-1-45
 65.10-1-46

Proposed Stop & Shop
 983-1005 Route 6
 Town of Carmel, Mahopac, New York, 10541

NO.	DATE	DESCRIPTION
1	12/27/2012	PLANNING BOARD SUBMISSION
2	02/22/2013	REV. SUBMISSION
3	02/29/2013	PLANNING BOARD SUBMISSION
4	04/27/2013	TOP & PLANNING BOARD SUBMISSION

Author: DRAC
 Designer: MWJ
 Date: November 30, 2015
 Title: Site Plan Approval



C-20
 22
 Michael W. Jungbluth
 Professional Engineer
 NY Lic. No. 10000
 4/19/2010

- General Notes**
1. SIGHT LINES SHOWN AT THE INTERSECTION ARE BASED UPON TABLE 6-8 AND 6-9 FROM THE LATEST GEOMETRIC DESIGN OF HIGHWAYS AND STREETS MANUAL, 2011 EDITION, PAGES 6-26 AND 6-27.
 2. THE FOLLOWING DESIGN SPEEDS WERE USED: DESIGN SPEED - POSTED SPEED = 10 MPH; US ROUTE 6 = 40 MPH & 10 MPH = 50 MPH.
 3. THE FOLLOWING DESIGN SPEEDS WERE USED: DESIGN SPEED - POSTED SPEED = 10 MPH; BALDWIN LANE = 30 MPH & 10 MPH = 40 MPH.