

HAROLD GARY  
*Chairman*

CRAIG PAEPRER  
*Vice-Chair*

**BOARD MEMBERS**  
CARL GREENWOOD  
ANTHONY GIANNICO  
DAVE FURFARO  
CARL STONE  
KIM KUGLER

**TOWN OF CARMEL  
PLANNING BOARD**



60 McAlpin Avenue  
Mahopac, New York 10541  
Tel. (845) 628-1500 – Ext.190  
www.ci.carmel.ny.us

MICHAEL CARNAZZA  
*Director of Code  
Enforcement*

RICHARD FRANZETTI, P.E.  
*Town Engineer*

PATRICK CLEARY,  
AICP, CEP, PP, LEED AP  
*Town Planner*

**PLANNING BOARD AGENDA**  
**MAY 27, 2015 – 7:00 P.M.**

**MEETING ROOM #2**

**TAX MAP #   PUB. HEARING   MAP DATE   COMMENTS**

**PUBLIC HEARING**

1. Meadowland GM Showroom – 1952 Route 6      55.11-1-8-10      05/27/15      Bond Return

**SITE PLAN**

2. VIP Wash & Lube – 118 Old Route 6, Carmel      55.12-2-5      5/23/12      Re-approval of Final Site Plan

**MISC.**

3. Hosch & Torres Subdivison – 490 Long Pond Rd      53.15-1-40      1<sup>st</sup> Extension of Final Subdivision Approval

4. Teakettle Heights Realty – Teakettle Spout Rd      76.17-1-19      4/1/14      Amendment to Resolution



May 13, 2015

Town of Carmel Planning Board  
Carmel Town Hall  
60 McAlpin Avenue  
Mahopac, New York 10541

RE: VIP Wash & Lube  
118 Old Route 6  
Carmel, New York  
Tax Map ID No. 55.12-2-5

Dear Chairman Gary and Members of the Board:

Enclosed please find copies of the following documents in support of the above referenced project:

- 11 copies of the Site Plan Instructions.
- 11 copies of the Site Plan Application dated May 13, 2015.
- 11 copies of the Site Plan Completeness Certification Form dated May 13, 2015.
- 2 copies of the Disclosure Addendum Statement to Application, Petition & Request dated May 13, 2015.
- 11 copies of the Short Environmental Assessment form dated May 13, 2015.
- 11 copies of the Project Description prepared by VIP Group Inc. dated May 23, 2011.
- 11 copies of the List of Property Owners Within 500 Feet dated May 13, 2015.
- 5 copies of the Stormwater Management Report revised March 30, 2012.
- 2 copies of the current deed.
- 1 CD containing the Site Plans in pdf format.
- 5 sets of Site Plans (6 sheets) last revised May 23, 2012.
- 5 sets of Architectural Plans (4 sheets) last revised April 13, 2012.
- 5 copies of Drawing A-001-0, "Preliminary Exterior Lighting Plan," prepared by Rocco DeFranco, R.A., P.C., issued March 30, 2011.

Also enclosed is the application fee in the amount of \$1,500.00.

The enclosures are being submitted in connection with a request for a Re-grant of Site Plan Approval to replace an existing car wash facility with a new car wash and oil change facility on the subject property. The applicant was granted Final Site Plan Approval for this project on May 9, 2012, which expired on March 9, 2013. No changes have been made to the enclosed plans since the afore-mentioned approval was granted.

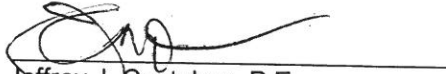
In this regard, we respectfully request that this project be placed on the Planning Board's May 27th, 2015 agenda for review and discussion of the project.

If you should have any questions or comments, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:

  
Jeffrey J. Contelmo, P.E.  
Senior Principal Engineer

JJC/tr

Enclosures

cc: Sergio Santos, w/enclosures  
Mark Earle, Carmel Fire Chief, w/enclosure

Insite File No. 10167.100



TOWN OF CARMEL  
**SITE PLAN APPLICATION  
 INSTRUCTIONS**



The Town of Carmel Planning Board meetings are held twice a month, on the second and fourth Wednesday's, at 7:00 PM at Carmel Town Hall, 60 McAlpin Avenue, Carmel

The submission deadline is 10 days prior to the Planning Board meeting. New site plan applications that have been deemed complete will be placed on the agenda in the order they are received.

**No application will be placed on the agenda that is incomplete**

**Pre-Submission:**

Prior to the formal submission of the site plan, a pre-submission conference may be requested by the applicant to be conducted with representatives from the Town, which may include the Town Planner, Town Engineer, Director of Code Enforcement and/or the Planning Board Attorney. This conference will serve to educate the applicant on the process he/she must follow, clarify the information required to submit a complete site plan application, and to highlight any specific areas of concern. You may arrange a pre-submission conference through the Planning Board Secretary at (845) 628-1500 extension 190.

**Submission Requirements:**

At least 10 days prior to the Planning Board meeting, the site plan application shall be submitted to the Planning Board Secretary as follows:

All site plans shall be signed, sealed and folded with the title box legible. The application package shall include:

- 11 copies of the Site Plan Application Form, signed and notarized. ✓
- 11 copies of the SEQR Environmental Assessment Form (use of short form or long form shall be determined at pre-submission conference). ✓
- 5 full size sets of the Site Plan (including floor plans and elevations) ✓
- 1 CD (in pdf. format) containing an electronic version of the Site Plan ✓
- 2 copies of the Disclosure Statement ✓
- 11 copies of the Site Plan Completeness Certification Form ✓
- All supplemental studies, reports, plans and renderings. ✓
- 2 copies of the current deed. ✓
- 2 copies of all easements, covenants and restrictions. ✓
- The appropriate fee, determined from the attached fee schedule. Make checks payable to the *Town of Carmel*.

Rose Trombetta  
 Planning Board Secretary; Date

Brian J. [Signature] 5/20/10  
 Town Engineer; Date





# TOWN OF CARMEL SITE PLAN APPLICATION



Per Town of Carmel Code – Section 156 - Zoning

SITE IDENTIFICATION INFORMATION		
Application Name: <b>VIP WASH + LUBE</b>	Application # <b>15-0004</b>	Date Submitted: <b>5-13-15</b>
Site Address: No. <b>118</b> Street: <b>OLD ROUTE 6</b> Hamlet: <b>Carmel, NY</b>		
Property Location: (Identify landmarks, distance from intersections, etc.) <b>SEE LOCATION MAP</b>		
Town of Carmel Tax Map Designation: Section <b>55.12</b> Block <b>2</b> Lot(s) <b>5</b>	Zoning Designation of Site: <b>C1BP</b>	
Property Deed Recorded in County Clerk's Office Date <b>Liber 1884 Page 458</b>	Liens, Mortgages or other Encumbrances Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Existing Easements Relating to the Site <input checked="" type="radio"/> No <input type="radio"/> Yes Describe and attach copies:	Are Easements Proposed? <input checked="" type="radio"/> No <input type="radio"/> Yes Describe and attach copies:	
Have Property Owners within a 500' Radius of the Site Been Identified? <input checked="" type="radio"/> Yes <input type="radio"/> No Attached List to this Application Form <input checked="" type="checkbox"/>		
APPLICANT/OWNER INFORMATION		
Property Owner: <b>118 OLD ROUTE 6 REALTY CORP.</b>	Phone #: <b>917-731-4758</b>	Email: <b>ssantos@vipwash.com</b>
Owners Address: No. <b>114</b> Street: <b>OLD ROUTE 6</b>	Town: <b>CARMEL</b>	State: <b>NY</b> Zip: <b>10512</b>
Applicant (If different than owner):	Phone #: Fax#:	Email:
Applicant Address (If different than owner): No. Street: Town: State: Zip:		
Individual/ Firm Responsible for Preparing Site Plan: <b>INSITE ENGINEERING, SURVEYING &amp; LANDSCAPE ARCHITECTURE, P.C.</b>	Phone #: <b>225-9690</b> Fax#: <b>225-9717</b>	Email: <b>jcantelmo@insite-eng.com</b>
Address: No. <b>3</b> Street: <b>GARRETT PLACE</b> Town: <b>CARMEL</b> State: <b>NY</b> Zip: <b>10512</b>		
Other Representatives:	Phone #: Fax#:	Email:
Owners Address: No. Street: Town: State: Zip:		
PROJECT DESCRIPTION		
Describe the project, proposed use and operation thereof:  <b>PROPOSED CAR WASH + OIL CHANGE FACILITY TO REPLACE EXISTING CAR WASH.</b>		

## TOWN OF CARMEL SITE PLAN APPLICATION

PROJECT INFORMATION			
Lot size: Acres: <u>1.0±</u> Square Feet: <u>-</u>		Square footage of all existing structures (by floor): <u>2,100± S.F.</u>	
# of existing parking spaces: <u>8</u>		# of proposed parking spaces: <u>17</u>	
# of existing dwelling units: <u>0</u>		# of proposed dwelling units: <u>0</u>	
Is the site served by the following public utility infrastructure:			
<ul style="list-style-type: none"> <li>▪ Is project in sewer district or will private septic system(s) be installed? <u>YES - IN SEWER DIST.</u></li> <li>▪ If yes to Sanitary Sewer answer the following: <ul style="list-style-type: none"> <li>▶ Does approval exist to connect to sewer main? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/></li> <li>▶ Is this an in-district connection? <u>YES</u> Out-of district connection? <u>NO</u></li> <li>▶ What is the total sewer capacity at time of application? <u>UNKNOWN</u></li> <li>▶ What is your anticipated average and maximum daily flow <u>1,560 GPD / 3,900 GPD</u></li> </ul> </li> </ul>			
For Town of Carmel Town Engineer			
<ul style="list-style-type: none"> <li>▪ Water Supply      Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/></li> <li> <ul style="list-style-type: none"> <li>▶ Does approval exist to connect to water main? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/></li> <li>▶ What is the total water capacity at time of application? <u>UNKNOWN</u></li> <li>▶ What is your anticipated average and maximum daily demand <u>3,720 GPD / 8,160 GPD</u></li> </ul> </li> <li>▪ Storm Sewer      Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/></li> <li>▪ Electric Service      Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/></li> <li>▪ Gas Service      Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/></li> <li>• Telephone/Cable Lines      Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/></li> </ul>			
For Town of Carmel Town Engineer			
Water Flows _____ ) <u>Pravinsky approved</u> Sewer Flows _____ )  Town Engineer; Date <u>5/20/19</u>			
What is the predominant soil type(s) on the site? <u>UG (UORTHENTS)</u>		What is the approximate depth to water table? <u>0' TO 5'+</u>	
Site slope categories:		15-25% <u>2.0%</u>	25-35% <u>0.8%</u>
Estimated quantity of excavation:		Cut (C.Y.) <u>150±</u>	Fill (C.Y.) <u>690±</u>
Is Blasting Proposed    Yes: <input type="checkbox"/> No: <input type="checkbox"/> Unknown: <input checked="" type="checkbox"/>			
Is the site located in a designated Critical Environmental Area?    Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Does a curb cut exist on the site?    Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	Are new curb cuts proposed?    Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	What is the sight distance? Left <u>700'+</u> Right <u>540'+</u>	
Is the site located within 500' of:			
• The boundary of an adjoining city, town or village		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
• The boundary of a state or county park, recreation area or road right-of-way		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
• A county drainage channel line.		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
• The boundary of state or county owned land on which a building is located		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	

## TOWN OF CARMEL SITE PLAN APPLICATION


Is the site listed on the State or Federal Register of Historic Place (or substantially contiguous) Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Is the site located in a designated floodplain? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Will the project require coverage under the Current NYSDEC Stormwater Regulations <i>FOR EROSION CONTROL ONLY</i> Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
Will the project require coverage under the Current NYDEP Stormwater Regulations Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Does the site disturb more than 5,000 sq ft	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>
Does the site disturb more than 1 acre	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
Does the site contain freshwater wetlands? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
Jurisdiction: NYCDEC: <input checked="" type="checkbox"/> Town of Carmel: <input checked="" type="checkbox"/>	
<i>If present, the wetlands must be delineated in the field by a Wetland Professional, and survey located on the Site Plan.</i>	
Are encroachments in regulated wetlands or wetland buffers proposed? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
Does this application require a referral to the Environmental Conservation Board?	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> <i>ALREADY HAS A PERMIT</i>
Does the site contain waterbodies, streams or watercourses?	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
Are any encroachments, crossings or alterations proposed?	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> <i>N/A</i>
Is the site located adjacent to New York City watershed lands?	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>
Is the project funded, partially or in total, by grants or loans from a public source? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Will municipal or private solid waste disposal be utilized? Public: <input type="checkbox"/> Private: <input checked="" type="checkbox"/>	
Has this application been referred to the Fire Department?	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>
What is the estimated time of construction for the project? <i>1 YEAR</i>	

*Regulation  
extensive*

ZONING COMPLIANCE INFORMATION			
Zoning Provision	Required	Existing	Proposed
Lot Area	3 AC	43,559 SF ±	43,559 SF ±
Lot Coverage	N/A	60% ±	59% ±
Lot Width	200'	100' *	100' *
Lot Depth	200'	242' ±	242' ±
Front Yard	50'	60' ±	56.9' ±
Side Yard	40'	34' ±	12.9' ± *
Rear Yard	40'	252' ±	180.0' ±
Minimum Required Floor Area	5,000 SF	2,091 SF	7,238 SF ±
Floor Area Ratio	N/A	5% ±	17% ±
Height	40'	15' ±	28'
Off-Street Parking	17	8	17
Off-Street Loading	N/A	0	0

\* VARIANCE GRANTED BY THE ZBA ON 8-25-11.

## TOWN OF CARMEL SITE PLAN APPLICATION

Will variances be required? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> GRANTED 8-25-11	If yes, identify variances: —
<b>PROPOSED BUILDING MATERIALS</b>	
<b>Foundation</b>	CONCRETE
<b>Structural System</b>	METAL, CONCRETE
<b>Roof</b>	METAL
<b>Exterior Walls</b>	E.I.F.S, BRICK, ALUMINUM
<b>APPLICANTS ACKNOWLEDGEMENT</b>	
I hereby depose and certify that all the above statements and information, and all statements and information contained in the supporting documents and drawings attached hereto are true and correct.	
<u>Sergio Santos</u> Applicants Name	 Applicants Signature
Sworn before me this <u>6<sup>th</sup></u> day of <u>May</u> 20 <u>15</u>	
<u>Alicia Hansen</u> Notary Public	Alicia Hansen Notary Public, State of New York Reg. # 01A6086470 Qualified In Dutchess County Commission Expires January 21, 20 <u>19</u>



## TOWN OF CARMEL SITE PLAN COMPLETENESS CERTIFICATION FORM



All Site Plans submitted to the Planning Board for review shall include the following information and details, as set forth in Section 156-61 B of the Town of Carmel Zoning Ordinance.

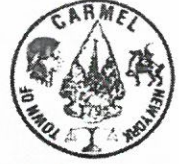
This form shall be included with the site plan submission

	<i>Requirement Data</i>	<i>To Be Completed by the Applicant</i>	<i>Waived by the Town</i>
1	Name and title of person preparing the site plan	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
2	Name of the applicant and owner (if different from applicant)	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
3	Original drawing date, revision dates, scale and north arrow	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4	Tax map, block and lot number(s), zoning district	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
5	All existing property lines, name of owner of each property within a 500' radius of the site	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
6	Contour lines at two-foot intervals, grades of all roads, driveways, sanitary and storm sewers	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
7	The location of all water bodies, streams, watercourses, wetland areas, wooded areas, rights-of-way, streets, roads, highways, railroads, buildings, structures	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
8	The location of all existing and proposed easements	<input checked="" type="checkbox"/> NA	<input type="checkbox"/>
9	The location of all existing and proposed structures, their use, setback dimensions, floor plans, front, side and rear elevations, buildable area.	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
10	On site circulation systems, access, egress ways and service roads, emergency service access and traffic mitigation measures	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
11	Sidewalks, paths and other means of pedestrian circulation	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
12	On-site parking and loading spaces and travel aisles with dimensions	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
13	The location, height and type of exterior lighting fixtures	<input checked="" type="checkbox"/> ?	<input type="checkbox"/>
14	Proposed signage	<input checked="" type="checkbox"/> ?	<input type="checkbox"/>
15	For non-residential uses, an estimate of the number of employees who will be using the site, description of the operation, types of products sold, types of machinery and equipment used	<input checked="" type="checkbox"/> ?	<input type="checkbox"/>





# TOWN OF CARMEL SITE PLAN COMPLETENESS CERTIFICATION FORM



	Requirement Data	To Be Completed by the Applicant	Waived by the Town
16	The location of clubhouses, swimming pools, open spaces, parks or other recreational areas, and identification of who is responsible for maintenance	<input type="checkbox"/> NA	<input type="checkbox"/>
17	The location and design of buffer areas, screening or other landscaping, including grading and water management. A comprehensive landscaping plan in accordance with the Tree Conservation Law	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
18	The location of public and private utilities, maintenance responsibilities, trash and garbage areas	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
19	A list, certified by the Town Assessor, of all property owners within 500 feet of the site boundary	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
20	Any other information required by the Planning Board which is reasonably necessary to ascertain compliance with this chapter	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>

-----  
**Applicants Certification (to be completed by the licensed professional preparing the site plan:**

I JEFFREY J. CONTELMO PE hereby certify that the site plan to which I have attached my seal and signature, meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:

Sergio Santos  
 Signature - Applicant

5-13-15  
 Date

Sergio Santos  
 Signature - Owner

5-13-15  
 Date



Professionals Seal



TOWN OF CARMEL  
SITE PLAN COMPLETENESS  
CERTIFICATION FORM



Town Certification (to be completed by the Town)

I RICHARD TRAMBETTA  
Rose Trombetta hereby confirm that the site plan meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:

Rose Trombetta  
Signature - Planning Board Secretary

5/21/15  
Date

[Signature]  
Signature - Town Engineer

5/21/15  
Date

617.20  
Appendix B  
Short Environmental Assessment Form

**Instructions for Completing**

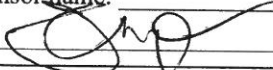
**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project: VIP Wash & Lube			
Project Location (describe, and attach a location map): 118 Old Route 6, Carmel, NY 10512 - See location map			
Brief Description of Proposed Action: Proposed car wash and oil change facility to replace existing car wash.			
Name of Applicant or Sponsor: VIP Car Wash		Telephone: 917-731-4758	
		E-Mail: ssantos@vipwash.com	
Address: 114 Old Route 6			
City/PO: Carmel		State: New York	Zip Code: 10512
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: Carmel Zoning Board of Appeals - Variances granted 8-25-11; Carmel ECB - Wetland Permit granted 5-16-13; NYSDEC - Wetland Permit granted 6-5-12;			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		_____ 1.0 +/- acres	
b. Total acreage to be physically disturbed?		_____ 0.8 +/- acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ 1.0 +/- acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			



5. Is the proposed action, a. A permitted use under the zoning regulations?  b. Consistent with the adopted comprehensive plan?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	N/A <input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?  b. Are public transportation service(s) available at or near the site of the proposed action?  c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: N/A	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?  If No, describe method for providing potable water: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?  If No, describe method for providing wastewater treatment: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: <u>NYSDEC Freshwater Wetland LC-31. Approximately 0.15 acres of disturbance within the 100-foot adjacent area, which is approximately the same amount of disturbance in existing conditions.</u>	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input checked="" type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES  b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES <u>Town of Carmel drainage system.</u>	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b> Jeffrey J. Contelmo, P.E. Agent for Applicant Applicant/sponsor name: _____ Date: <u>5/13/15</u> Signature: 		

**Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2.** Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

**Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3.** For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

**PRINT**



1650 BUSHWICK AVENUE  
BROOKLYN, NY 11207  
Phone (718) 919 - 4100  
Fax (718) 919 - 1076  
vipwash.com

May 23, 2011

**Re: Project Description**  
**VIP Wash & Lube**  
**118 Old Route 6**  
**Town of Carmel**  
**Tax Map #55.12.-2-5**

### ***Introduction***

VIP Wash & Lube currently owns and operates 5 existing car wash/oil change facilities in New York and Connecticut. Specifically, our facilities are located in Stratford, Bridgeport and East Hartford, Connecticut and in Brooklyn and Staten Island, New York. These operations are state-of-the-art, well run, neatly kept facilities. Photographs of some of these existing facilities are attached herewith. Also attached is a Merit Award from the Stratford, Connecticut Zoning Commission for improving the overall appearance of the Town, for an exemplary construction and development project that has a meaningful impact on the physical and economic environment of the larger community, and for constructing a new automotive center with distinctive architectural elements as well as site and landscaping improvements of significant magnitude. All of our existing facilities have been redevelopment projects, where unsightly structures and pavement were removed and replaced with new structures, pavement and landscaping. All of our facilities are well maintained and kept up to our strict standards. For all of the locations noted above, we invested significant amounts of time and resources to obtain the properties, to pursue the necessary approvals, to demolish existing facilities, and to reconstruct from the bottom up.

VIP Wash & Lube is proposing a new state-of-the-art car wash and oil change facility on a 1.0+/- acre parcel that presently contains an existing car wash facility on Old Route 6 in the Town of Carmel. The type of facility that is proposed for the subject property is consistent with the type of water-saving, efficient operations combining oil changes with car washes that can be found across the country.

It is proposed to completely replace the existing car wash (a low, concrete block, non-descript building) and appurtenances with a new, architecturally pleasing building, new

asphalt accesses and parking, new pervious pavement employee parking, and new landscaping.

### ***Existing Conditions***

The subject property contains 1.0+/- acre and is located in the C/BP Zoning District at 118 Old Route 6 in the Town of Carmel. The subject lot contains an existing 1-story, 2,100+/- s.f. concrete car wash building and associated asphalt access and parking, queuing, drying and vacuuming areas, and a small landscaped area along Old Route 6. The remainder of the subject property is meadow and woods on the southern portion of the site, part of which was previously disturbed. There is a New York State Department of Environmental Conservation (NYSDEC) and Town-regulated wetland located in the southernmost portion of the site.

### ***Proposed Conditions***

The proposal is to completely demolish the existing car wash facility and appurtenances and to redevelop the subject property with a new car wash and oil change facility, amended access, parking, queuing, drying and vacuuming areas, a new pervious parking area for employees, and improved landscaping.

The proposed building will contain an automatic car wash and an oil change center. There is anticipated to be a maximum of 8 employees on the site at any given time. The site is currently served by public water (Carmel Water District #2) and public sewer (Carmel Sewer District #2). The parking requirements are based on the actual area of the proposed building to be used for a small retail area, bathrooms and waiting areas for the patrons of the car wash and/or oil change facilities (approximately 2,190 s.f.) that is located between the car wash and oil change bays. The remaining space (approximately 4,404 s.f.) is classified as storage area.

### ***Site Access & Circulation***

The site currently contains ingress in the northwestern portion of the site and egress on the northeastern portion of the site with a small planted island in the middle. The proposal is to slightly reconfigure these points of ingress/egress to convert the northeast ingress to 2-way traffic. The egress will remain relatively similar to the existing condition. The island in the middle will also be reconfigured slightly and more heavily planted.

The proposed facility will operate the same way the current VIP Wash & Lube facilities operate, where the vast majority of patrons entering the site are directed to queuing locations for an oil change and/or car wash. It is atypical for a client to visit the site for the sole purpose of patronizing the retail component of the facility. The parking spaces are typically utilized only for employees and for drying vehicles exiting the car wash tunnel.



The proposed VIP Wash & Lube would not contain any self-serve facilities. For efficiency and quality of service VIP Wash & Lube would handle the vehicle from start to finish. Patrons entering the site would have three (3) options. One option would be to have an oil change only and queue in the designated area. A second option would be to have a car wash only and queue in the designated area. The third and most frequently chosen option would be to obtain an oil change and a car wash. For all options the patron would leave his/her vehicle with an employee in front of the quick lube area and then enter the building waiting area. For the first option, the employee would take the vehicle through the oil change facility then through the by-pass lane to the east of the car wash area. For the second option, the employee would take the vehicle through the by-pass lane to the west of the oil change area, through the outdoor vacuuming area, then through the car wash tunnel to the drying area. For the third option, the employee would take the patron's vehicle through the oil change area first, then through the outdoor vacuuming area, then through the car wash, ending up at the drying area. In all options the patron would pick up his/her vehicle when their service is completed.

### ***Car Wash Operations***

The existing VIP Wash & Lubes are state-of-the art facilities with water-recycling car washes. In excess of 70 percent of the water from the car wash is reused and supplemented with fresh water. The attached manufacturer's literature explains how the water recycling operation works.

In addition to providing full service car washing, the VIP facilities also provide a retail area that offer many automotive accessories such as Air Freshners, Floor Mats, Antenas, Wipers, Windshield Washer Fluid, Detail Waxes, etc.

### ***Oil Change Operations***

About half of the new oil is purchased in bulk and the remainder in individual containers. The bulk oil will be contained in bulk storage tanks with a secondary containment system. These bulk storage containers will be registered the NYSDEC. Used oil will also be stored in the same type of bulk storage systems, and will be collected periodically by licensed haulers and removed from the site.

The services offered to customers are mainly Preventive Maintenance services. These services include Oil Changes, Transmission Fluid Changes, Differential Fluid Changes, Radiator Coolant Change, Air Filter Replacement, Wiper Replacement, Tire Rotation, and other Preventive Maintenance services that does NOT include mechanical work such as Brake Service, Parts Replacement, Tire Sales, etc.

### ***Site Drainage, Utilities & Lighting***

Presently the stormwater runoff from the site sheet flows to the south and east and is collected by a subsurface collection system and discharged to an existing drainage system in Old Route 6 to the north. The proposal would be to install a formal

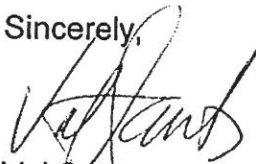
stormwater runoff collection system to discharge the majority of the runoff to stormwater management practices to treat the water quality.

The site is presently served by overhead electric. The proposed would be to install underground electric service to the facility. Existing connections to the central water and sewer systems would remain.

The proposal would be to remove all existing pole-mounted lighting fixtures and replace them with down-shielded, pole-mounted and building-mounted lighting fixtures that meet the Town of Carmel's requirements.

It is expected that there will be no adverse impacts on adjoining properties, the neighborhood, or community facilities and services as a result of this project. On the contrary, we believe this project will have less impact on the existing infrastructure and environment than the current car wash facility. The project site presently does not contain any stormwater management treatment facilities. This project would be considered a redevelopment project with a reduction in imperviousness pursuant to the New York State Stormwater Design Manual (NYSSDM). Although not required by the NYSDEC regulations, permanent stormwater management practices would be provided to address stormwater runoff quality, such as a rain garden and/or a proprietary hydrodynamic separator.

Sincerely,



Val Santos  
President, CEO

**LEGEND**

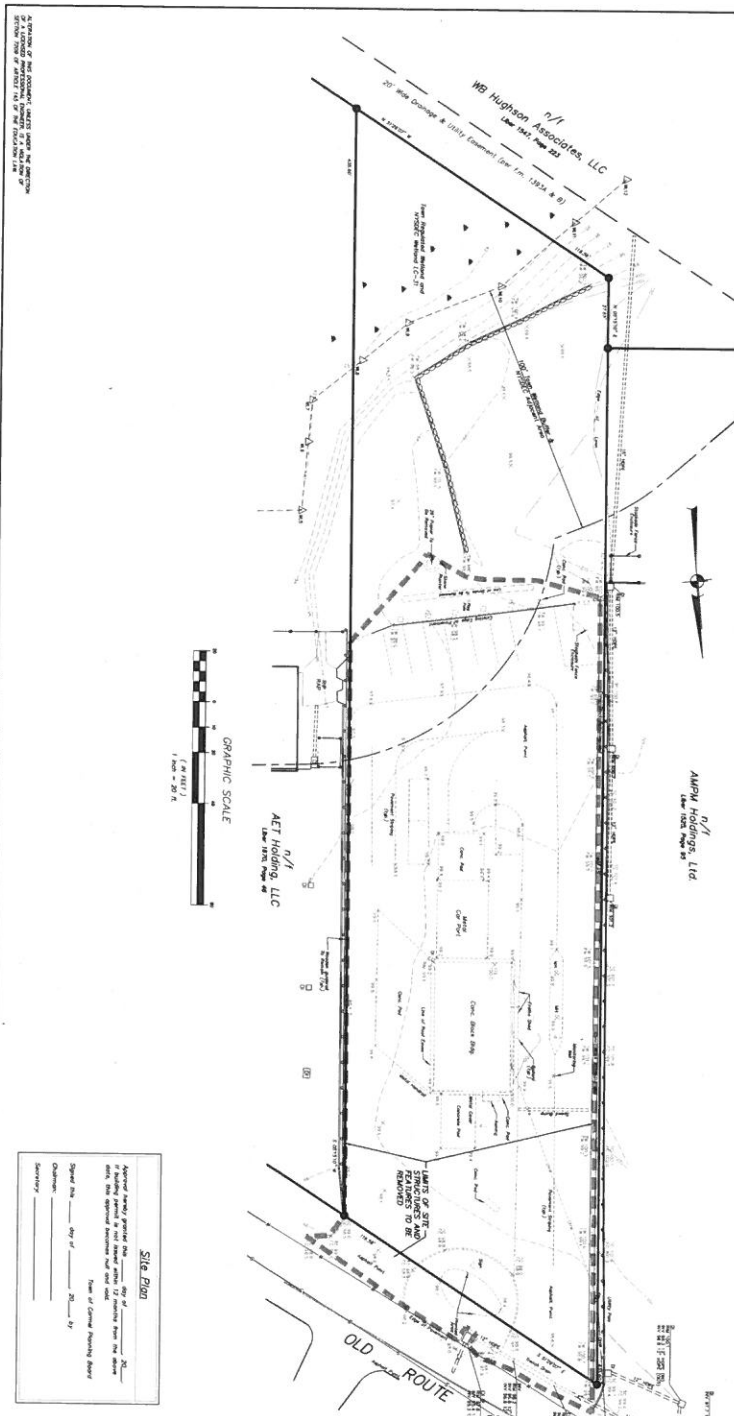
---	Existing Property Line
---	Proposed Property Line
---	Proposed Easement
---	Proposed Right-of-Way
---	Proposed Utility Line
---	Proposed Storm Sewer
---	Proposed Sanitary Sewer
---	Proposed Water Main
---	Proposed Gas Line
---	Proposed Cable TV Line
---	Proposed Telephone Line
---	Proposed Fencing
---	Proposed Driveway
---	Proposed Walkway
---	Proposed Pathway
---	Proposed Accessway
---	Proposed Utility Easement
---	Proposed Storm Sewer Easement
---	Proposed Sanitary Sewer Easement
---	Proposed Water Main Easement
---	Proposed Gas Easement
---	Proposed Cable TV Easement
---	Proposed Telephone Easement
---	Proposed Fencing Easement
---	Proposed Driveway Easement
---	Proposed Walkway Easement
---	Proposed Pathway Easement
---	Proposed Accessway Easement

**GENERAL NOTES:**

1. Review all applicable laws, codes, ordinances, regulations, and rules of the local, state, and federal government.
2. The information contained herein is based on the information provided by the client and is not to be construed as a warranty of accuracy or completeness.
3. The information contained herein is not to be construed as a warranty of accuracy or completeness.
4. The information contained herein is not to be construed as a warranty of accuracy or completeness.
5. The information contained herein is not to be construed as a warranty of accuracy or completeness.
6. The information contained herein is not to be construed as a warranty of accuracy or completeness.
7. The information contained herein is not to be construed as a warranty of accuracy or completeness.
8. The information contained herein is not to be construed as a warranty of accuracy or completeness.
9. The information contained herein is not to be construed as a warranty of accuracy or completeness.
10. The information contained herein is not to be construed as a warranty of accuracy or completeness.

**SOFT ADDRESS:**

1. 10000 N. 100th Ave., Suite 100, Overland Park, KS 66213
2. 10000 N. 100th Ave., Suite 100, Overland Park, KS 66213
3. 10000 N. 100th Ave., Suite 100, Overland Park, KS 66213
4. 10000 N. 100th Ave., Suite 100, Overland Park, KS 66213
5. 10000 N. 100th Ave., Suite 100, Overland Park, KS 66213
6. 10000 N. 100th Ave., Suite 100, Overland Park, KS 66213
7. 10000 N. 100th Ave., Suite 100, Overland Park, KS 66213
8. 10000 N. 100th Ave., Suite 100, Overland Park, KS 66213
9. 10000 N. 100th Ave., Suite 100, Overland Park, KS 66213
10. 10000 N. 100th Ave., Suite 100, Overland Park, KS 66213



**Site Plan**

Approved: \_\_\_\_\_ Date: \_\_\_\_\_

Prepared by: \_\_\_\_\_ Date: \_\_\_\_\_

Checked by: \_\_\_\_\_ Date: \_\_\_\_\_

**Location Map**

Scale: 1" = 800' ±

**Site Data:**

Project: \_\_\_\_\_

Site: \_\_\_\_\_

Address: \_\_\_\_\_

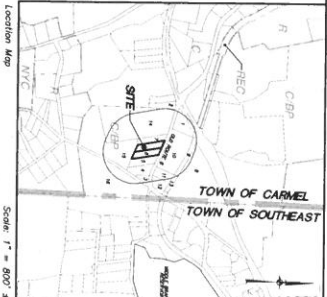
City: \_\_\_\_\_

State: \_\_\_\_\_

Zip: \_\_\_\_\_

County: \_\_\_\_\_

Country: \_\_\_\_\_



NO.	DATE	REVISION	BY
1	8-10-11	REVISION FOR TOWN OF SOUTHWEST COMMENTS	WJL
2	9-13-12	REVISION FOR TOWN OF SOUTHWEST COMMENTS	WJL
3	10-11-11	REVISION FOR TOWN OF SOUTHWEST COMMENTS	WJL
4	1-20-12	REVISION FOR TOWN OF SOUTHWEST COMMENTS	WJL
5	1-20-12	REVISION FOR TOWN OF SOUTHWEST COMMENTS	WJL
6	1-20-12	REVISION FOR TOWN OF SOUTHWEST COMMENTS	WJL
7	1-20-12	REVISION FOR TOWN OF SOUTHWEST COMMENTS	WJL
8	1-20-12	REVISION FOR TOWN OF SOUTHWEST COMMENTS	WJL
9	1-20-12	REVISION FOR TOWN OF SOUTHWEST COMMENTS	WJL
10	1-20-12	REVISION FOR TOWN OF SOUTHWEST COMMENTS	WJL

**PROJECT:** WP WASH & LUBE

**OWNER:** EX-1

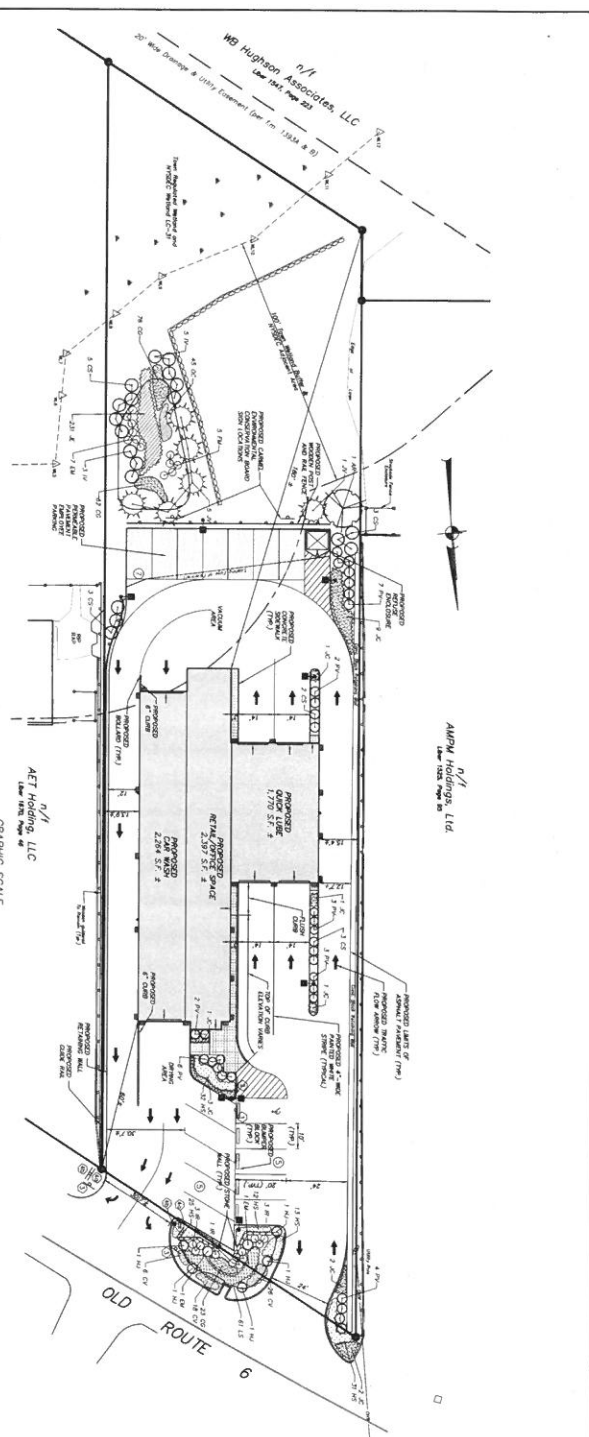
**DATE:** 4-1-12

**SCALE:** 1" = 20'

APPROVED BY THE ENGINEER:

DATE: \_\_\_\_\_



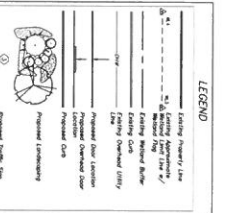


**EXAMINER'S LIST**

NO.	NAME	TYPE	CLASSIFICATION
1	ARCHITECT	Professional	Professional
2	ENGINEER	Professional	Professional
3	LANDSCAPE ARCHITECT	Professional	Professional
4	PLANNING	Professional	Professional
5	ENVIRONMENTAL SCIENTIST	Professional	Professional
6	CONSTRUCTION SUPERVISOR	Professional	Professional
7	CONSTRUCTION SUPERVISOR	Professional	Professional
8	CONSTRUCTION SUPERVISOR	Professional	Professional
9	CONSTRUCTION SUPERVISOR	Professional	Professional
10	CONSTRUCTION SUPERVISOR	Professional	Professional
11	CONSTRUCTION SUPERVISOR	Professional	Professional
12	CONSTRUCTION SUPERVISOR	Professional	Professional
13	CONSTRUCTION SUPERVISOR	Professional	Professional
14	CONSTRUCTION SUPERVISOR	Professional	Professional
15	CONSTRUCTION SUPERVISOR	Professional	Professional
16	CONSTRUCTION SUPERVISOR	Professional	Professional
17	CONSTRUCTION SUPERVISOR	Professional	Professional
18	CONSTRUCTION SUPERVISOR	Professional	Professional
19	CONSTRUCTION SUPERVISOR	Professional	Professional
20	CONSTRUCTION SUPERVISOR	Professional	Professional

**LRP Zone Requirements**

Requirement	Standard	Existing	Proposed
Minimum Lot Area	3 Acres	4,500 S.F.	4,500 S.F.
Minimum Lot Width	100'	100'	100'
Minimum Front Setback	100'	100'	100'
Minimum Side Setback	100'	100'	100'
Minimum Rear Setback	100'	100'	100'
Maximum Building Height	30'	30'	30'
Maximum Building Footprint	5,000 S.F.	5,000 S.F.	5,000 S.F.
Maximum Building Area	10,000 S.F.	10,000 S.F.	10,000 S.F.
Maximum Building Volume	150,000 S.F.F.	150,000 S.F.F.	150,000 S.F.F.
Maximum Building Density	10 S.F.F./Acre	10 S.F.F./Acre	10 S.F.F./Acre



**Site Plan**

Shaded Area: Proposed Building Footprint

Line of Proposed Property Lines

Other: \_\_\_\_\_

**GENERAL NOTES**

1. All dimensions are in feet and inches.
2. All areas are in square feet.
3. All areas are in square feet.
4. All areas are in square feet.
5. All areas are in square feet.
6. All areas are in square feet.
7. All areas are in square feet.
8. All areas are in square feet.
9. All areas are in square feet.
10. All areas are in square feet.
11. All areas are in square feet.
12. All areas are in square feet.

**PROJECT: JWP WASH & LUBE**

**OWNER: JWP WASH & LUBE**

**DESIGNER: JWP WASH & LUBE**

**DATE: 03-11-17**

**SCALE: 1" = 20'**

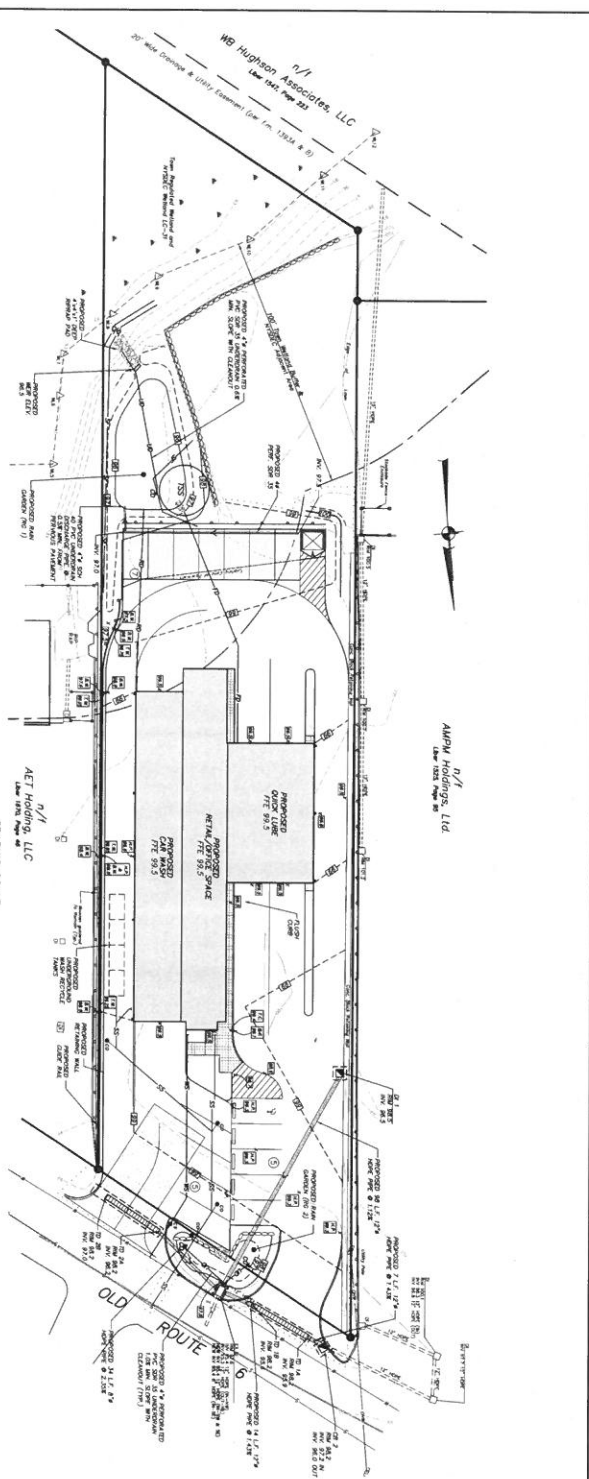
**PROJECT NO: SP-1**

**SHEET NO: 2**

**TOTAL SHEETS: 6**

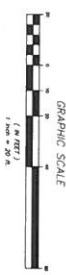
**NOTICE:** THE DESIGNER'S LIABILITY IS LIMITED TO THE DESIGN OF THE LAYOUT AND LANDSCAPE PLAN ONLY. THE DESIGNER DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED BY THE CLIENT OR ANY OTHER SOURCE.

REVISIONS TO THE DOCUMENT SHALL BE MADE BY THE ARCHITECT AND SHALL BE INDICATED BY A CIRCLED NUMBER AND DATE. ALL REVISIONS SHALL BE APPROVED BY THE ARCHITECT AND THE ENGINEER.



n/i  
Alpha Holdings, LLC  
Lot 100, Page 31

n/i  
AET Holdings, LLC  
Lot 100, Page 31



- Construction Schedule:**
1. Mobilize site, clear, and grade as shown in plan, under existing conditions.
  2. Excavate and construct foundation and footings for all structures.
  3. Erect steel framing for all structures.
  4. Erect masonry walls, exterior and interior, and install window and door units.
  5. Erect roof structure and install roof decking and waterproofing.
  6. Erect interior partitions, walls, and ceiling.
  7. Erect exterior walls, roof, and finish exterior.
  8. Erect site improvements, including parking areas, walkways, and landscaping.
  9. Final site cleanup and preparation for occupancy.

**LEGEND**

Existing Property Line	Proposed Property Line
Existing Structure	Proposed Structure
Existing Parking	Proposed Parking
Existing Drive	Proposed Drive
Existing Utility	Proposed Utility
Existing Tree	Proposed Tree
Existing Fence	Proposed Fence
Existing Wall	Proposed Wall
Existing Gate	Proposed Gate
Existing Sign	Proposed Sign
Existing Light	Proposed Light
Existing Other	Proposed Other

**Site Plan**

Showing the location of the proposed structures, parking areas, and other site improvements. The site plan is shown in accordance with the approved site plan and shall be subject to the approval of the appropriate authorities.

Signed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Architect: \_\_\_\_\_

Engineer: \_\_\_\_\_

NO.	DATE	REVISION
1	4-1-12	REVISED FOR SUBMITTAL
2	4-1-12	REVISED FOR SUBMITTAL
3	4-1-12	REVISED FOR SUBMITTAL
4	4-1-12	REVISED FOR SUBMITTAL
5	4-1-12	REVISED FOR SUBMITTAL
6	4-1-12	REVISED FOR SUBMITTAL
7	4-1-12	REVISED FOR SUBMITTAL
8	4-1-12	REVISED FOR SUBMITTAL
9	4-1-12	REVISED FOR SUBMITTAL
10	4-1-12	REVISED FOR SUBMITTAL

**PROJECT:** VPP WASHIL & LUBE

**OWNER:** GARDENS UTILITIES & SERVICES & SERVICES CONTRACTORS

**ARCHITECT:** J&K ARCHITECTS

**ENGINEER:** S.L.C. ENGINEERS

**DATE:** 03-11-11

**SCALE:** 1" = 20'

**SHEET:** SP-2



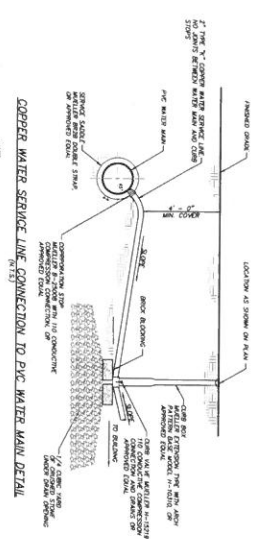


### Required Erosion Control SWPPP Contents:

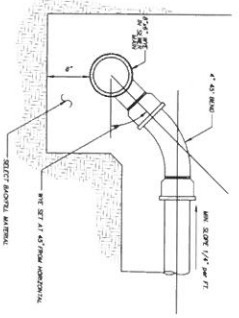
1. Erosion Control Plan (ECP)
2. Sedimentation & Erosion Control Notes
3. Erosion Control Details
4. Erosion Control Schedule
5. Erosion Control Checklist
6. Erosion Control Log
7. Erosion Control Report
8. Erosion Control Training
9. Erosion Control Inspection
10. Erosion Control Maintenance
11. Erosion Control Record Keeping
12. Erosion Control Emergency Response
13. Erosion Control Best Management Practices (BMPs)
14. Erosion Control Best Management Practices (BMPs)
15. Erosion Control Best Management Practices (BMPs)
16. Erosion Control Best Management Practices (BMPs)
17. Erosion Control Best Management Practices (BMPs)
18. Erosion Control Best Management Practices (BMPs)
19. Erosion Control Best Management Practices (BMPs)
20. Erosion Control Best Management Practices (BMPs)
21. Erosion Control Best Management Practices (BMPs)
22. Erosion Control Best Management Practices (BMPs)

### Sedimentation & Erosion Control Notes:

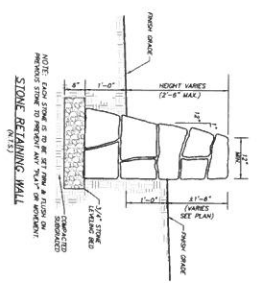
1. The purpose of this document is to provide detailed instructions for the implementation and maintenance of sedimentation and erosion control measures on the project site.
2. All construction activities shall be planned and executed in accordance with the approved Erosion Control Plan (ECP) and these notes.
3. The contractor shall be responsible for the design, construction, and maintenance of all sedimentation and erosion control structures.
4. The contractor shall ensure that all sedimentation and erosion control structures are properly installed and maintained throughout the duration of the project.
5. The contractor shall be responsible for the removal and disposal of all sediment and debris from the project site.
6. The contractor shall be responsible for the maintenance of all sedimentation and erosion control structures throughout the duration of the project.
7. The contractor shall be responsible for the inspection and reporting of all sedimentation and erosion control structures.
8. The contractor shall be responsible for the training of all personnel involved in the implementation and maintenance of sedimentation and erosion control measures.
9. The contractor shall be responsible for the record keeping of all sedimentation and erosion control measures.
10. The contractor shall be responsible for the emergency response to any sedimentation and erosion control issues.
11. The contractor shall be responsible for the best management practices (BMPs) for sedimentation and erosion control.
12. The contractor shall be responsible for the best management practices (BMPs) for sedimentation and erosion control.
13. The contractor shall be responsible for the best management practices (BMPs) for sedimentation and erosion control.
14. The contractor shall be responsible for the best management practices (BMPs) for sedimentation and erosion control.
15. The contractor shall be responsible for the best management practices (BMPs) for sedimentation and erosion control.
16. The contractor shall be responsible for the best management practices (BMPs) for sedimentation and erosion control.
17. The contractor shall be responsible for the best management practices (BMPs) for sedimentation and erosion control.
18. The contractor shall be responsible for the best management practices (BMPs) for sedimentation and erosion control.
19. The contractor shall be responsible for the best management practices (BMPs) for sedimentation and erosion control.
20. The contractor shall be responsible for the best management practices (BMPs) for sedimentation and erosion control.
21. The contractor shall be responsible for the best management practices (BMPs) for sedimentation and erosion control.
22. The contractor shall be responsible for the best management practices (BMPs) for sedimentation and erosion control.



**COPPER WATER SERVICE LINE CONNECTION TO PVC WATER MAIN DETAIL**  
 NOTE: PROVIDE 2 MINIMUM GRANULAR DRAINAGE FILL WITH 1/4\"/>



**SANITARY SEWER SERVICE CONNECTION**  
 NOTE: PROVIDE 2 MINIMUM GRANULAR DRAINAGE FILL WITH 1/4\"/>



**STONE RETAINING WALL**  
 NOTE: STONE SHALL BE 4\"/>

**SITE PLAN**  
 Approved hereby printed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_  
 in full and true belief and true faith that the above  
 is a true and correct copy of the original as shown to me  
 by \_\_\_\_\_  
 Signed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

NO.	1	2-13-11	REVISED THE TITLE & SYMBOL CHANGE	WJL
DATE				BT
<b>INSITE</b>				
LANDSCAPE ARCHITECTURE P.C.				
PROJECT: <b>VP WASH &amp; LUBE</b>				
148 010 DRIVE, S. CORNER OF JEWELL, CHANDLER HEIGHTS, OHIO 43025				
OWNER: <b>NOTES &amp; DETAILS</b>				
PROJECT	10/17/10	ISSUED	LAW	DRAWING NO.
DATE	4-13-11	PROJ	2.4	6
SCALE	AS SHOWN	REVISED	1/8"	D-3
				SHEET
				6

**LUMINAIRE SCHEDULE**

1	100W 120V	100W 120V	100W 120V
2	100W 120V	100W 120V	100W 120V
3	100W 120V	100W 120V	100W 120V
4	100W 120V	100W 120V	100W 120V
5	100W 120V	100W 120V	100W 120V

NOTE: LUMINAIRE SHALL BE AS SHOWN OR APPROVED EQUAL.

**LIGHT CONTOUR LEGEND**

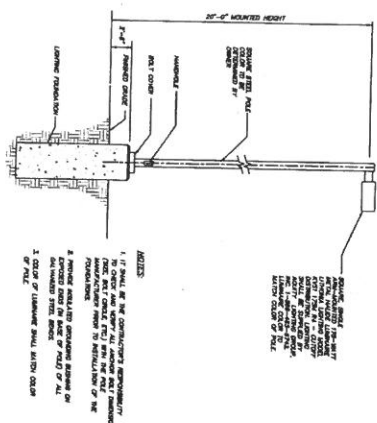
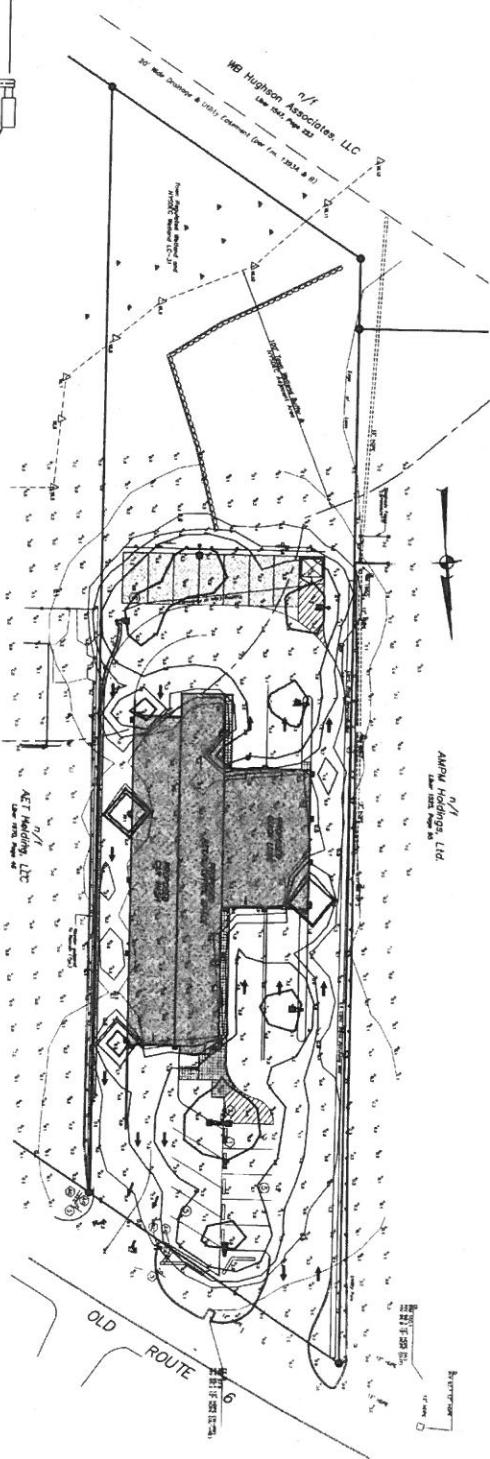
1	1.50 FT RADIUS
2	3.00 FT RADIUS
3	4.50 FT RADIUS
4	6.00 FT RADIUS
5	7.50 FT RADIUS
6	9.00 FT RADIUS
7	10.50 FT RADIUS
8	12.00 FT RADIUS
9	13.50 FT RADIUS
10	15.00 FT RADIUS
11	16.50 FT RADIUS
12	18.00 FT RADIUS
13	19.50 FT RADIUS
14	21.00 FT RADIUS
15	22.50 FT RADIUS
16	24.00 FT RADIUS
17	25.50 FT RADIUS
18	27.00 FT RADIUS
19	28.50 FT RADIUS
20	30.00 FT RADIUS

**Lighting Notes:**

1. Refer to Section 26.00 for fixture details.
2. Refer to Section 26.00 for fixture details.
3. Refer to Section 26.00 for fixture details.
4. Refer to Section 26.00 for fixture details.
5. Refer to Section 26.00 for fixture details.
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16. Refer to Section 26.00 for fixture details.
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18. Refer to Section 26.00 for fixture details.
19. Refer to Section 26.00 for fixture details.
20. Refer to Section 26.00 for fixture details.

**General Notes:**

1. Refer to Section 26.00 for fixture details.
2. Refer to Section 26.00 for fixture details.
3. Refer to Section 26.00 for fixture details.
4. Refer to Section 26.00 for fixture details.
5. Refer to Section 26.00 for fixture details.
6. Refer to Section 26.00 for fixture details.
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11. Refer to Section 26.00 for fixture details.
12. Refer to Section 26.00 for fixture details.
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15. Refer to Section 26.00 for fixture details.
16. Refer to Section 26.00 for fixture details.
17. Refer to Section 26.00 for fixture details.
18. Refer to Section 26.00 for fixture details.
19. Refer to Section 26.00 for fixture details.
20. Refer to Section 26.00 for fixture details.



**INSTALLATION SPECIFICATIONS**

1. LUMINAIRE SHALL BE INSTALLED AS SHOWN OR APPROVED EQUAL.

2. LUMINAIRE SHALL BE INSTALLED AS SHOWN OR APPROVED EQUAL.

3. LUMINAIRE SHALL BE INSTALLED AS SHOWN OR APPROVED EQUAL.

4. LUMINAIRE SHALL BE INSTALLED AS SHOWN OR APPROVED EQUAL.

5. LUMINAIRE SHALL BE INSTALLED AS SHOWN OR APPROVED EQUAL.

6. LUMINAIRE SHALL BE INSTALLED AS SHOWN OR APPROVED EQUAL.

7. LUMINAIRE SHALL BE INSTALLED AS SHOWN OR APPROVED EQUAL.

8. LUMINAIRE SHALL BE INSTALLED AS SHOWN OR APPROVED EQUAL.

9. LUMINAIRE SHALL BE INSTALLED AS SHOWN OR APPROVED EQUAL.

10. LUMINAIRE SHALL BE INSTALLED AS SHOWN OR APPROVED EQUAL.

11. LUMINAIRE SHALL BE INSTALLED AS SHOWN OR APPROVED EQUAL.

12. LUMINAIRE SHALL BE INSTALLED AS SHOWN OR APPROVED EQUAL.

13. LUMINAIRE SHALL BE INSTALLED AS SHOWN OR APPROVED EQUAL.

14. LUMINAIRE SHALL BE INSTALLED AS SHOWN OR APPROVED EQUAL.

15. LUMINAIRE SHALL BE INSTALLED AS SHOWN OR APPROVED EQUAL.

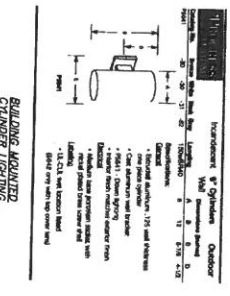
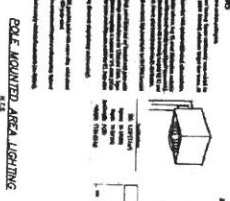
16. LUMINAIRE SHALL BE INSTALLED AS SHOWN OR APPROVED EQUAL.

17. LUMINAIRE SHALL BE INSTALLED AS SHOWN OR APPROVED EQUAL.

18. LUMINAIRE SHALL BE INSTALLED AS SHOWN OR APPROVED EQUAL.

19. LUMINAIRE SHALL BE INSTALLED AS SHOWN OR APPROVED EQUAL.

20. LUMINAIRE SHALL BE INSTALLED AS SHOWN OR APPROVED EQUAL.



**GRAPHIC SCALE**

1" = 10'-0"

1" = 20'-0"

1" = 30'-0"

1" = 40'-0"

1" = 50'-0"

1" = 60'-0"

1" = 70'-0"

1" = 80'-0"

1" = 90'-0"

1" = 100'-0"

**PROJECT INFORMATION**

PROJECT: **AMPS HOLDINGS, LTD.**

ARCHITECT: **LANSCAPE ARCHITECTURE, P.A.**

DATE: **01-12-12**

SCALE: **1" = 20'-0"**

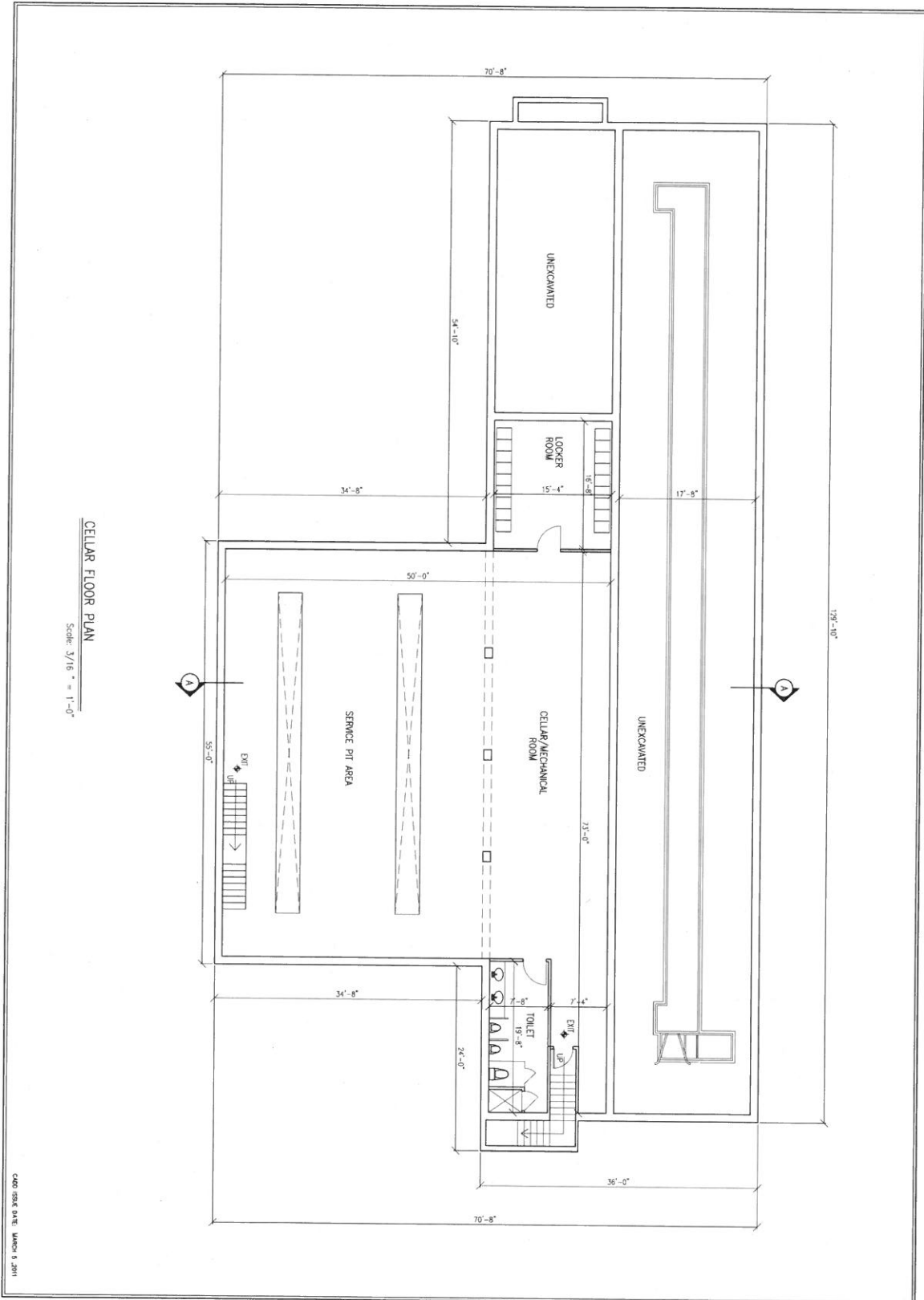
PROJECT NO: **LP-1**

DATE: **01-12-12**

SCALE: **1" = 20'-0"**

**NOTE:** THIS PLAN TO BE USED AS A LIGHTING PHOTOGRAPHIC DESIGN. OTHER INFORMATION REFER TO THE DESIGN DEVELOPMENT.





CELLAR FLOOR PLAN  
Scale: 3/16" = 1'-0"

CADD ISSUE DATE: MARCH 9, 2011



ROCCO BERTINICO S.A. K.  
715 Convent Ave., 10th Fl., 10039  
Salem, NJ  
Phone: 718-539-4850

E-mail: [rocco@bertinicosk.com](mailto:rocco@bertinicosk.com)  
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REVISIONS

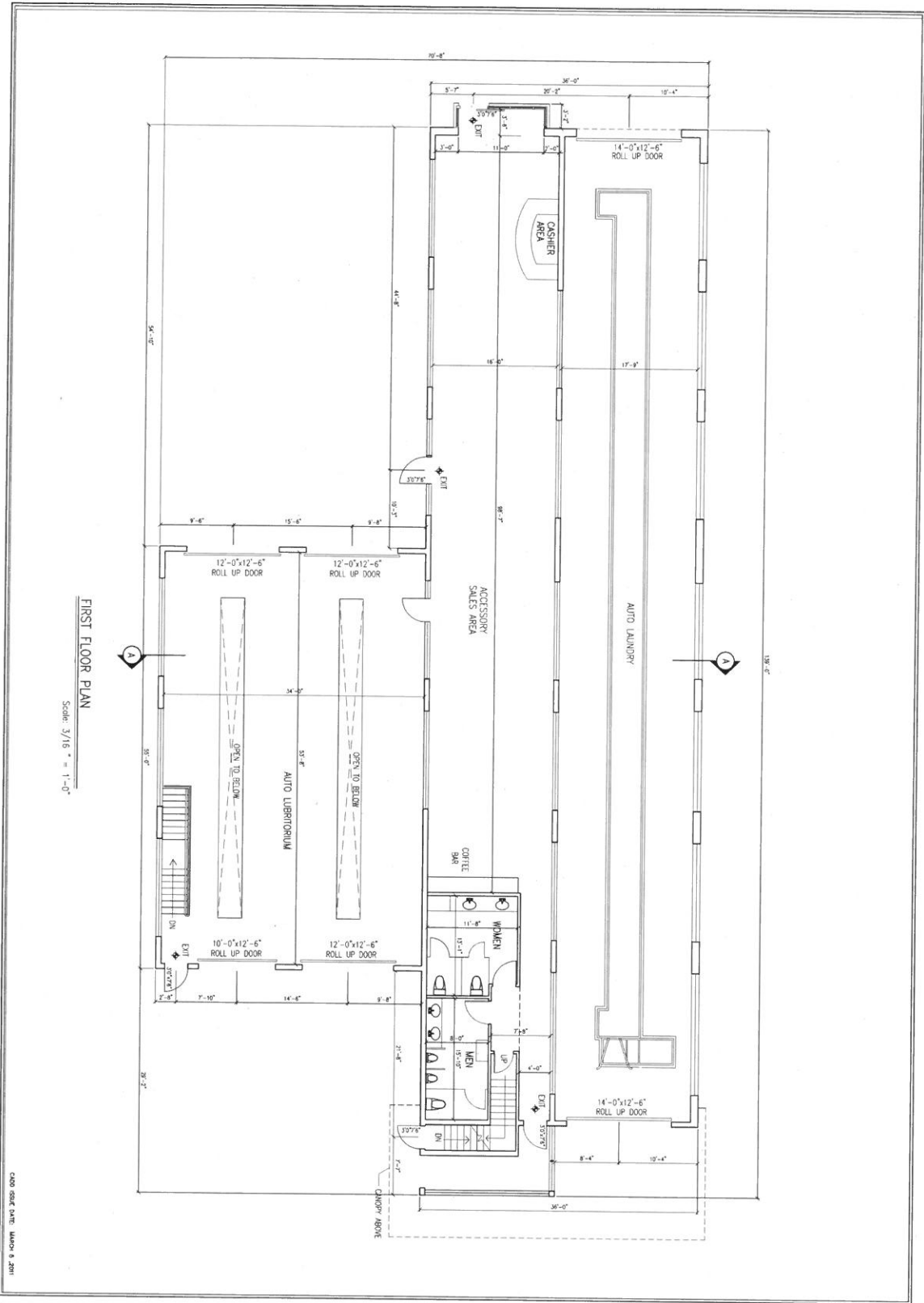
NO.	DATE	DESCRIPTION
1	03/27/11	Issued for the Submitter
2	03/27/11	Issued for the Submitter
3	04/11/11	Issued for the Submitter
4	04/11/11	Issued for the Submitter

CAD SCALE CODE	

PROJECT: W.P. WASH AND LUBE  
181 OLD STATE ST  
NEW YORK, NY 10014  
OWNER: STANLEY SERVICE COMPANY  
DASH NO.:  
DRAWING TITLE: PROPOSED CELLAR FLOOR PLAN  
SCALE & CONTAINED:  
DATE: 03/27/11



DATE: 03/27/11  
PROJECT NO: 110751  
DRAWING BY: MB / WJ  
CHECKED BY: MB / WJ  
SCALE: 3/16" = 1'-0"  
SHEET NO: 1 OF 4  
A-001100



FIRST FLOOR PLAN

Scale: 3/16" = 1'-0"

CAD: SSK: DATE: MARCH 5, 2011

**REVISIONS**

NO.	DATE	DESCRIPTION
01	02/07/11	ISSUED FOR PERMIT
02	02/07/11	ISSUED FOR PERMIT
03	02/07/11	ISSUED FOR PERMIT

**PROJECT**  
 WET WASH AND LUBE  
 116 00 ROUTE 6  
 NEW YORK  
 NEW YORK  
 COUNTY  
 JOB NO.  
 DRAWING TITLE  
**PROPOSED FIRST FLOOR PLAN**

SCALE: AS SHOWN

2 OF 4

**A-002.00**



WASH AND LUBE  
 116 00 ROUTE 6  
 NEW YORK  
 NEW YORK  
 COUNTY  
 JOB NO.  
 DRAWING TITLE  
**PROPOSED FIRST FLOOR PLAN**

**REVISIONS**

NO.	DATE	DESCRIPTION
01	02/07/11	ISSUED FOR PERMIT
02	02/07/11	ISSUED FOR PERMIT
03	02/07/11	ISSUED FOR PERMIT

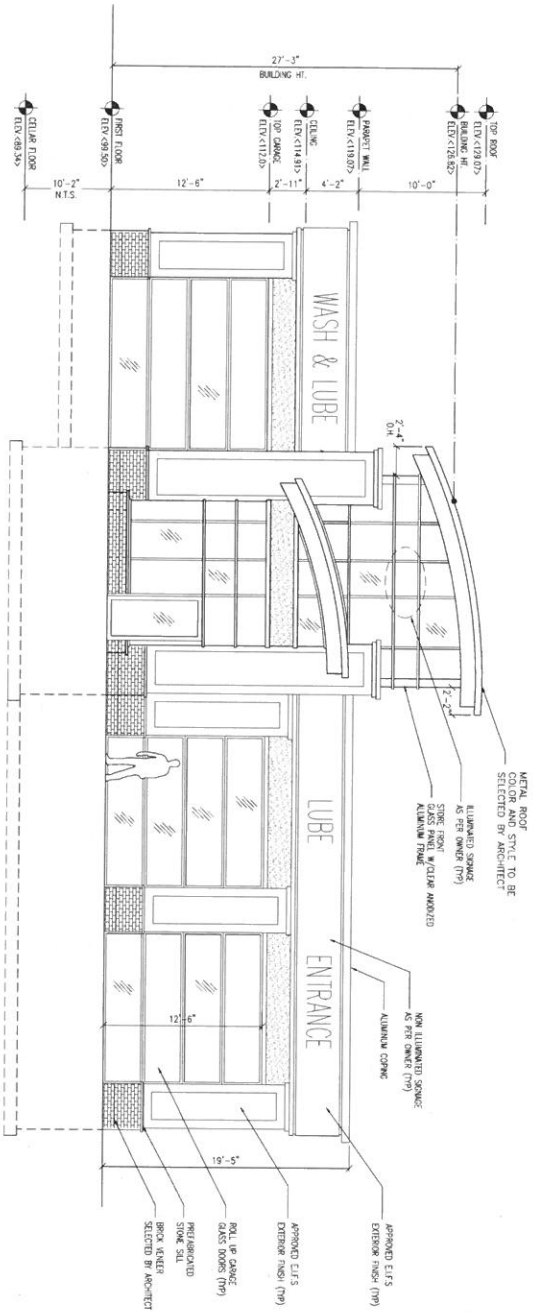
**PROJECT**  
 WET WASH AND LUBE  
 116 00 ROUTE 6  
 NEW YORK  
 NEW YORK  
 COUNTY  
 JOB NO.  
 DRAWING TITLE  
**PROPOSED FIRST FLOOR PLAN**

SCALE: AS SHOWN

**A-002.00**

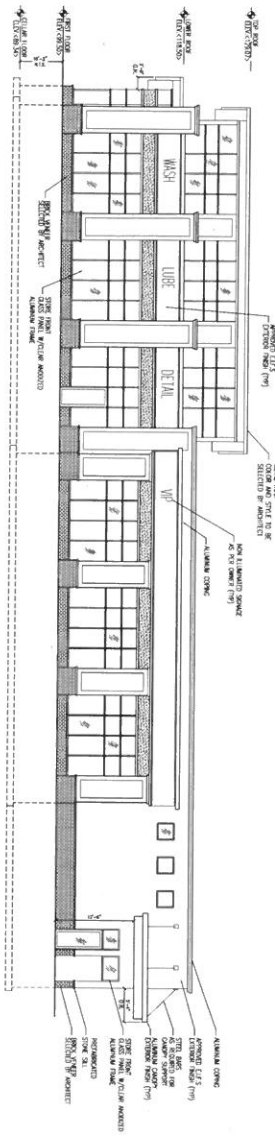
2 OF 4





NORTHEAST ELEVATION

Scale: 1/4" = 1'-0"



NORTHWEST ELEVATION

Scale: 1/8" = 1'-0"

COAD SOAK CARE, JANUARY 3, 2011



SOCO DESIGN P.A.C.  
743 Canal Ave.  
Staten Island, New York, 10309  
Phone: 718-228-5214  
Fax: 718-228-5888

E-mail: [info@socodesign.com](mailto:info@socodesign.com)  
[www.socodesign.com](http://www.socodesign.com)  
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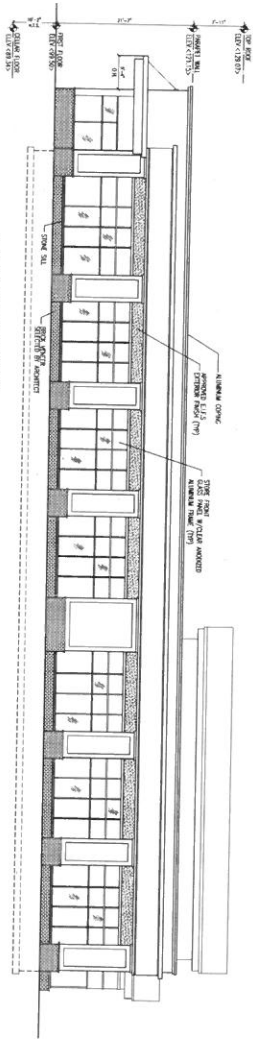
NO.	DATE	DESCRIPTION
01	12/01/10	Issue for the Submission
02	02/01/11	Issue for Reference Bids
03	02/17/11	Issue for Reference Bids

NO.	DATE	DESCRIPTION
01	12/01/10	Issue for the Submission
02	02/01/11	Issue for Reference Bids
03	02/17/11	Issue for Reference Bids

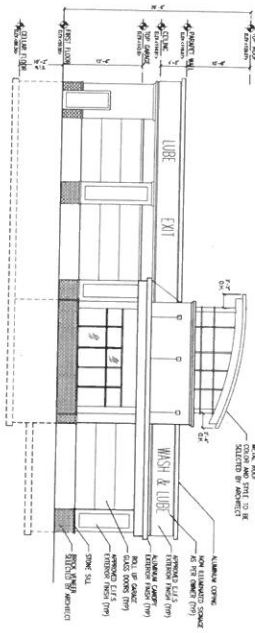
DATE: 01/25/11  
PROJECT NO.: NY-1008  
DRAWING BY: RD / AV  
SCALE:

PROJECT: WASH AND LUBE  
TOWN OF SOAR, NINTAL COURT  
NEW YORK  
OWN NO.  
DRAWING TITLE:  
PROPOSED ELEVATIONS  
SCALE: 3/8" = 1'-0"

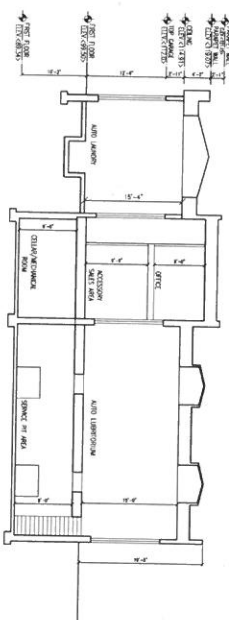
NY STATE ARCHITECTURE BOARD  
Seal and stamp for the State of New York, Department of State, Division of State and Local Government.



**SOUTHEAST ELEVATION**  
Scale: 1/8" = 1'-0"



**SOUTHWEST ELEVATION**  
Scale: 1/8" = 1'-0"



**CROSS SECTION A-A**  
Scale: 1/8" = 1'-0"



**MEZZANINE FLOOR PLAN**  
Scale: 1/4" = 1'-0"

CAD: ROSE PATR. MARCH 5 2011



ROSCO BERTINICO S.A. K.  
243 Central Ave.  
Rosco, Delaware 19384  
Phone: 917-238-3924 (1038)  
718-438-4950

©-mail: [rosco@roscoarchitect.com](mailto:rosco@roscoarchitect.com)  
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**REVISIONS**

NO.	DATE	DESCRIPTION
01	06/27/12	Issue for Construction
02	06/27/12	Issue for Construction
03	06/27/12	Issue for Construction
04	06/27/12	Issue for Construction
05	06/27/12	Issue for Construction
06	06/27/12	Issue for Construction
07	06/27/12	Issue for Construction
08	06/27/12	Issue for Construction
09	06/27/12	Issue for Construction
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11	06/27/12	Issue for Construction
12	06/27/12	Issue for Construction
13	06/27/12	Issue for Construction
14	06/27/12	Issue for Construction
15	06/27/12	Issue for Construction
16	06/27/12	Issue for Construction
17	06/27/12	Issue for Construction
18	06/27/12	Issue for Construction
19	06/27/12	Issue for Construction
20	06/27/12	Issue for Construction

DWG SCALE: AS SHOWN

**PROJECT:** WASHU AND LUBE  
116 OLD SOUTH 6  
TOWN OF CAROL, PRIMA COUNTY  
FLORIDA 32081  
JOB NO. 12-001

**PROPOSED ELEVATION SECTION AND MEZZANINE PLAN**



DATE: 03/05/11  
PROJECT NO: 12-001  
DRAWING NO: 02 / 01  
DWG NO: 12-001

**A-004.00**

1 of 4



May 13, 2015

Town of Carmel Planning Board  
60 McAlpin Avenue  
Mahopac, New York 10541

RE: Hosch & Torres Subdivision  
490 Long Pond Road  
Tax Map No. 53.15-1-40

Dear Chairman Gary and Members of the Board:

As the Board is aware, the subject project received a Conditional Final Subdivision Approval on December 10, 2014. Since that time, the applicant and their attorney have been working with the Town with respect to the bond. Please refer to the attached letter from William Shilling for information relative to the bond.

At this time, the applicant requests reconsideration of **the bonding and a 180-day extension of the** Conditional Final Subdivision Approval, extending the approval to December 10, 2015. Please place this item on the Board's upcoming May 27<sup>th</sup> agenda for consideration of an extension of approval.

Check enclosed for \$1,000.00 fee for extension.

Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:

  
\_\_\_\_\_  
Jeffrey J. Contelmo, P.E.  
Senior Principal Engineer

JJC/dlm

Enclosure

cc: Kristina Hosch, w/enclosure  
William Shilling, w/enclosure

Insite File No. 13106.100

*William A. Shilling, Jr., P.C.*

*Attorney at Law*

*122 Old Route 6*

*Carmel, New York 10512*

*E-Mail was.law@comcast.net*

*Michael V. Caruso*

*\*Also admitted in CT*

*Phone (845) 225-7500*

*Fax (845) 225-5692*

May 5, 2015

Planning Board of the Town of Carmel  
60 McAlpin Avenue  
Mahopac, New York 10541

Re: Hosch/Torres Subdivision  
Long Pond Road, Mahopac, New York

Dear Members of the Planning Board,

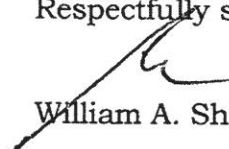
The above-referenced subdivision, which is being extended, provides for "A performance bond, prepared in form to the satisfaction of the Town Attorney, and in the amount of \$33,000.00 in accordance with the requirements of set forth in §131-15E(1) of the Subdivision of Land Regulations, shall be provided to assure the completion of all improvements."

I have had repeated conversations with the Town Attorneys Charbonneau and Folchetti regarding the deferment of the bond until the owner applies for the building permit. While I hesitate to speak for them, they each were not opposed to same provided there was no municipal improvements set forth in the resolution. This is the case herein.

My client's position is that §131G of your code provides the authority to provide the relief sought herein. As further authority, please refer to Town Law 277, and Peckham Industries v. Ross, 306 NYS 2d 1006.

Respectfully, simultaneous with our request for an extension is a request for an amendment to the resolution providing for the performance bond to be posted upon application for building permit.

Respectfully submitted,

  
William A. Shilling, Jr., Esq

WAS/bm

cc: Ms. Kristina Hosch & Mr. Eddie Torres