

HAROLD GARY
Chairman

CRAIG PAEPRER
Vice-Chair

BOARD MEMBERS
CARL GREENWOOD
ANTHONY GIANNICO
DAVE FURFARO
CARL STONE
KIM KUGLER

**TOWN OF CARMEL
PLANNING BOARD**



60 McAlpin Avenue
Mahopac, New York 10541
Tel. (845) 628-1500 – Ext.190
www.ci.carmel.ny.us

MICHAEL CARNAZZA
*Director of Code
Enforcement*

RICHARD FRANZETTI, P.E.
Town Engineer

PATRICK CLEARY,
AICP, CEP, PP, LEED AP
Town Planner

PLANNING BOARD AGENDA
JULY 8, 2015 – 7:00 P.M.

MEETING ROOM #2

TAX MAP # PUB. HEARING MAP DATE COMMENTS

PUBLIC HEARING

1. Hynes Plaza (The Parting Glass) – 925 Route 6 65.13-1-66 07/08/15 07/01/15 Amended Site Plan (Deck)

RESOLUTION

2. Beachak Brothers, Inc. a/k/a Mahopac Motorcycles 75.16-1-15 05/11/15 Site Plan/Change of Use
485 Route 6

3. Random Ridge – Kennicut Hill Road 76.10-1-23 05/04/15 Cluster Subdivision

SITE PLAN

4. Wallauer's Carmel at Putnam Plaza – 1924 Route 6 55-11-1-4 06/29/15 Amended Site Plan

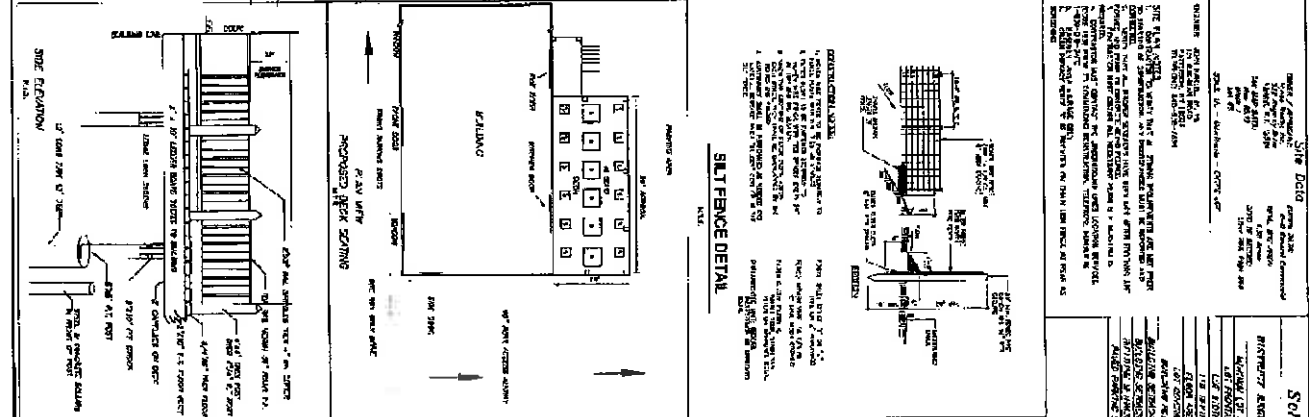
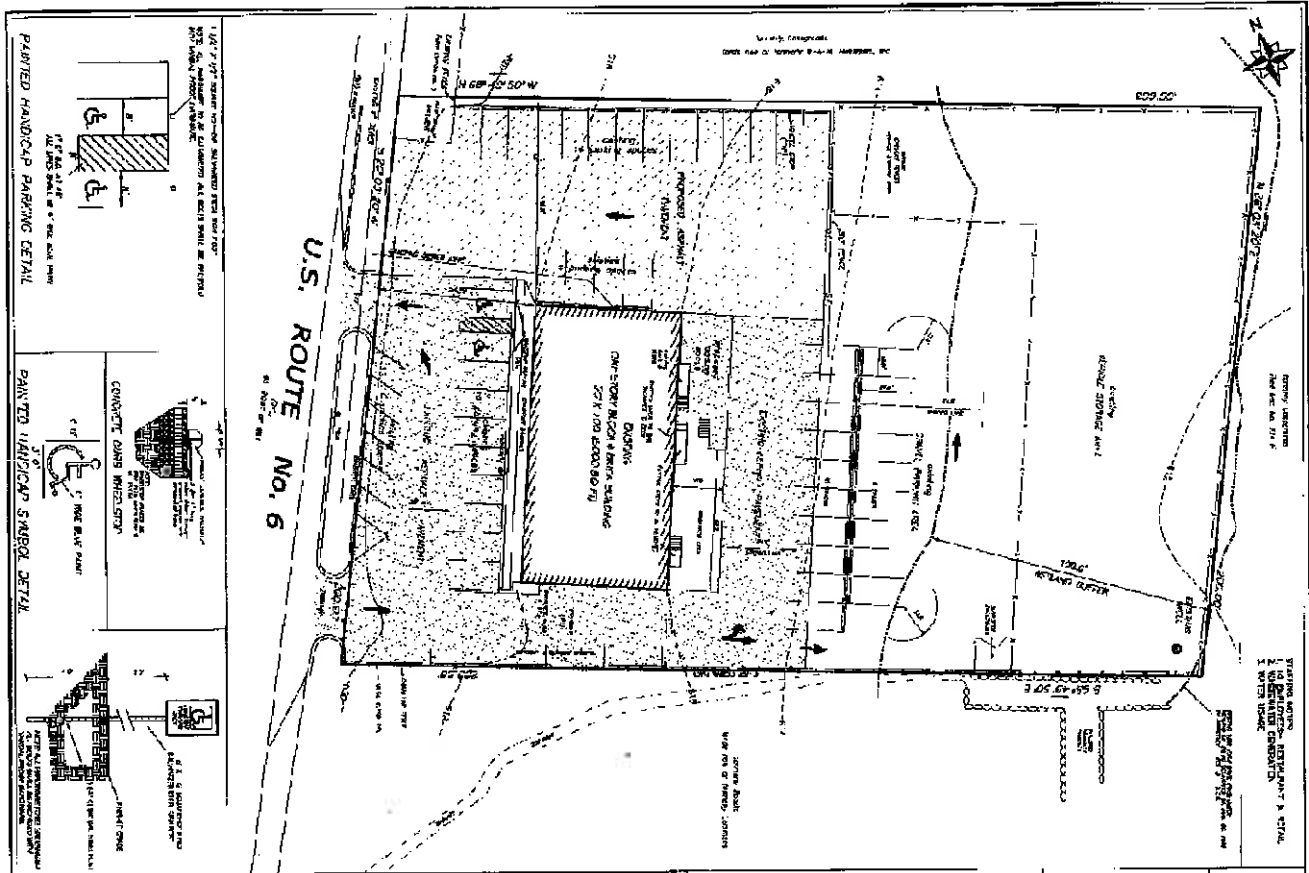
5. PCSB/Mahopac Branch – Lot 1 - 150 Route 6 86.11-1-1 06/24/15 Site Plan

6. Route 6 Retail – Lot 2 - 150 Route 6 86.11-1-1 06/24/15 Site Plan

SUBDIVISION

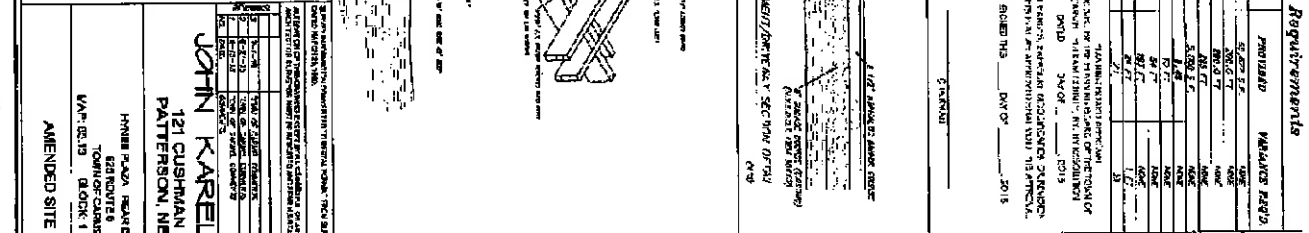
7. Baldwin Subdivision – 150 Route 6 86.11-1-1 06/24/15 Sketch Plan

The Panting Glass



Schedule of Zoning Requirements

REQUIREMENT	PROPOSED	VALUABLE USES
MAXIMUM BUILDING HEIGHT	40.00 FT.	35.00 FT.
MINIMUM SETBACK FROM FRONT YARD	10.00 FT.	10.00 FT.
MINIMUM SETBACK FROM SIDE YARD	5.00 FT.	5.00 FT.
MINIMUM SETBACK FROM REAR YARD	5.00 FT.	5.00 FT.
MINIMUM FRONT YARD OPEN SPACE	10.00 FT.	10.00 FT.
MINIMUM SIDE YARD OPEN SPACE	5.00 FT.	5.00 FT.
MINIMUM REAR YARD OPEN SPACE	5.00 FT.	5.00 FT.
MINIMUM LOT AREA	10,000 SQ. FT.	10,000 SQ. FT.
MINIMUM LOT WIDTH	40.00 FT.	40.00 FT.
MINIMUM LOT DEPTH	25.00 FT.	25.00 FT.
MINIMUM LOT AREA PER STRUCTURE	10,000 SQ. FT.	10,000 SQ. FT.
MINIMUM LOT AREA PER UNIT	10,000 SQ. FT.	10,000 SQ. FT.
MINIMUM LOT AREA PER GARAGE	10,000 SQ. FT.	10,000 SQ. FT.
MINIMUM LOT AREA PER DRIVEWAY	10,000 SQ. FT.	10,000 SQ. FT.
MINIMUM LOT AREA PER DRIVEWAY	10,000 SQ. FT.	10,000 SQ. FT.
MINIMUM LOT AREA PER DRIVEWAY	10,000 SQ. FT.	10,000 SQ. FT.



JOHN KARELL, JR. P.E.
121 CUSHMAN ROAD
PATTERSON, NEW YORK

HUBER PLAZA REAR DECK
 624 ROUTE 6
 TOWN OF CANTON
 VAN DER BRUG BLOCK 1 LOT 08
 AMENDED SITE PLAN

SCALE: 1" = 20'
 DATE: APRIL 2, 2015
 SHEET NO. 5-1

AREA MAP / LOCATION OF OWNERS

VICINITY MAP

APPROVED

SIGNATURE: _____ DATE: _____

Mahopae Motorcycles
T.M.# 75.16-1-15



EXISTING FRONT ELEVATION



EXISTING EAST ELEVATION



EXISTING WEST ELEVATION



June 24, 2015

Mr. Harold Gary, Chairman
Town of Carmel Planning Board
60 McAlpin Avenue
Mahopac, NY 10541

Re: Wallauer's Store ##10
Putnam Plaza Shopping Center
1924 Route 6
TM #55.11-1-4
P/E #8258

Dear Chairman Gary and Members of the Board:

Putnam Engineering is providing information in response to the comments of the Planning Board and its Consultants.

I) In response to the Building Inspector, Mr. Michael Carnazza:

1. Attached is a list of what the applicant will store outside. We will conform to the building code as directed by the Code Officials.
2. There will be no sprinklers.
3. An emergency exit will be provided. One leaf of the gate will be egress compliant.
4. We concur we need to be referred to the E.C.B.
5. Under New York State Building Code, Chapter 2, definitions, "Awnings", are considered Architectural Projections. They are not roofs or ceilings, and do not constitute added floor area.
6. We have provided clearances to the transformer per the National Electric Code. We have contacted N.Y.S.E.G. to confirm the clearances.

II) In response to the Town Engineer, Mr. Richard J. Franzeti, P.E.:

1. We have sent plans to Chief Vinny Ruggiero of the Carmel Fire Department.
2. A letter from Wallauers is attached. It describes the materials to be provided and indicates customers will be using the front doors. The back area will only be used for commercial deliveries and pick up.
3. We concur with Mr. Franzetti we need to be referred to the E.C.B.

(L01529)

III) In response to the Town Planner, Mr. Patrick Cleary, AICP:

1. We concur this is a permitted use.
2. There are no parking spaces or loading spaces required by code. We are not relocating any equipment.
3. We meet the Town Code for bulk setbacks.
4. A letter from Walluers clarifies the operations. It is seasonal from April through October, weather permitting. It is accessed by customers from the store. There is no public access through the fence (emergency exit only). There is no sales counter outside proposed. Materials will be purchased at the inside counter and carried out by the customer.

Please place this item on the next available Planning Board agenda. Please recommend this application to the E.C.B. for a wetland buffer permit.

Sincerely,

PUTNAM ENGINEERING, PLLC



Robert J. Cameron, Jr., RA

RJC/tal
Enclosures

Cc: Mr. Mark Peterson, Wallauer's



PAINTS • WALLCOVERING • WINDOW TREATMENTS • IN-HOME DECORATING

Corporate Headquarters
30 VIRGINIA ROAD, WHITE PLAINS, NEW YORK 10603
914-948-4000 FAX 914-948-0390 www.wallavers.com

BEDFORD HILLS
655 N. Bedford Rd.
914-241-1666
FAX 914-241-3045

June 29, 2015

CARMEL
1024 Route 6
845-621-1131
FAX 845-306-7541

Dear Robert,

The following is a list of merchandise that we intend to stock in the fenced in area of the Carmel, NY location.

MANOPAC
537 Route 6
845-621-1131
FAX 845-621-1123

All fertilizers, grass seed & bird seed will be stored inside. We will stock in the outside area the following:

Garden Hoses, sprinklers, gardening items (shovels, rakes, pitch forks, etc.), grills, garbage cans, Bird Houses, Bird feeders, mulch, potting soil, bagged top soil, planters, garden sprayers, fencing material & fence metal/wood posts, edging materials, a limited amount of hanging plants, ladders (step & extension).

MICROGAN LAKE
1940 East Main St.
914-528-6111
FAX 914-528-0468

This will also be the area where the Ace truck will unload; we want to use it as a staging area to break down the pallets, right now we are using the front sidewalk.

Our intension was to let customers enter and exit thru the store. We expect all merchandise to be loaded thru the front parking lot, not the back.

OSISING
Arcadian Shpg. Ctr.
914-941-1900
FAX 914-762-1414

It was not our intension to have a check out counter in this area.

We will utilize this area as a staging area for unloading freight as long as there isn't snow on the ground. Unloading of freight – just as we do for inside delivery, Ace truck drops the freight on a pallet and we move it with a pallet jack.

FORT CHESTER
143 North Main St.
914-933-7600
FAX 914-939-0046

Thank you,

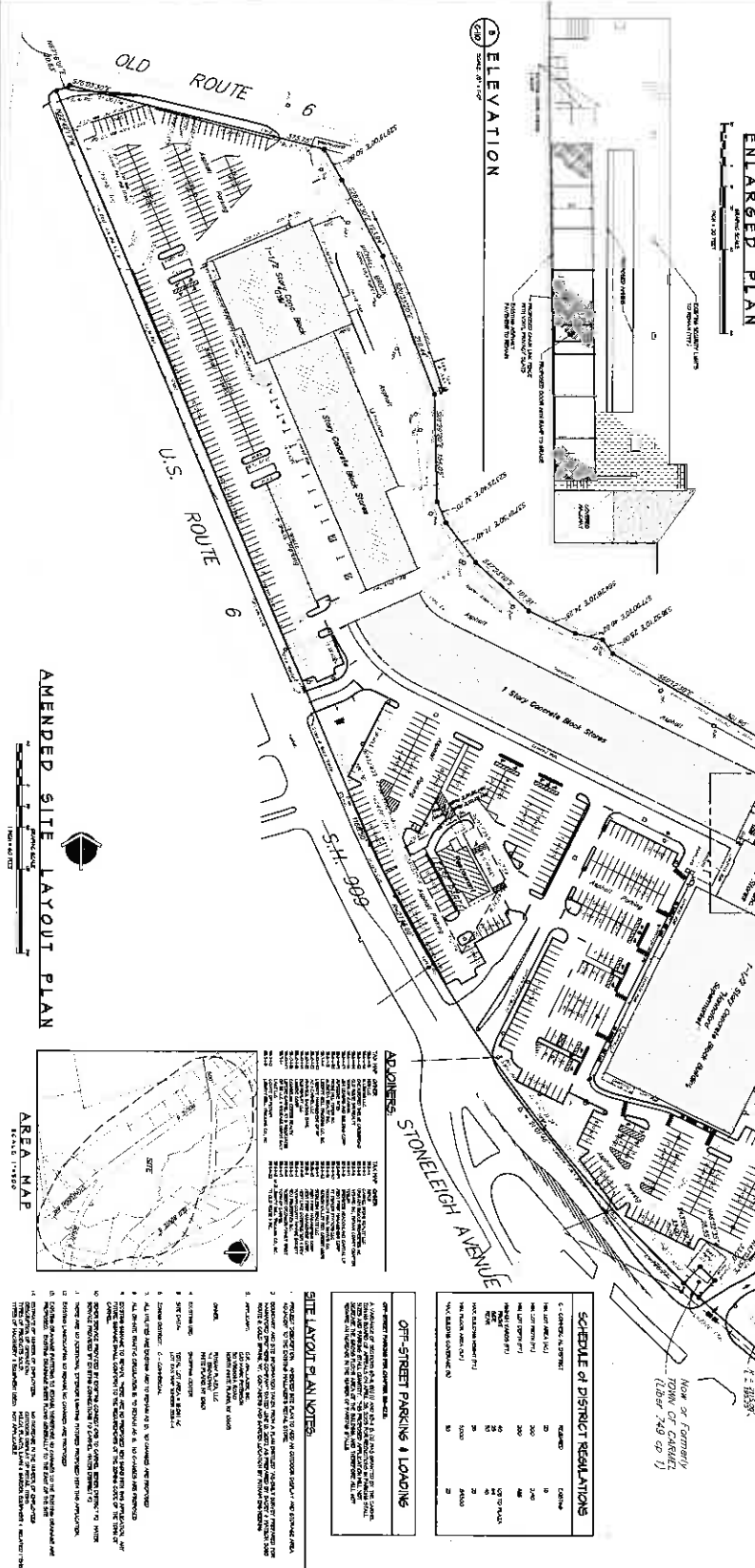
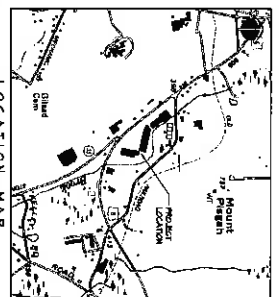
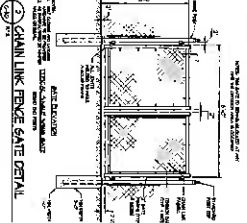
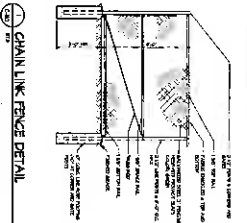
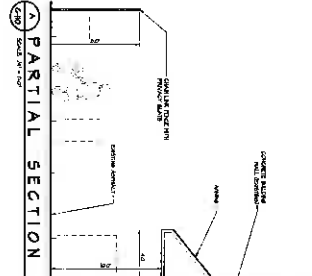
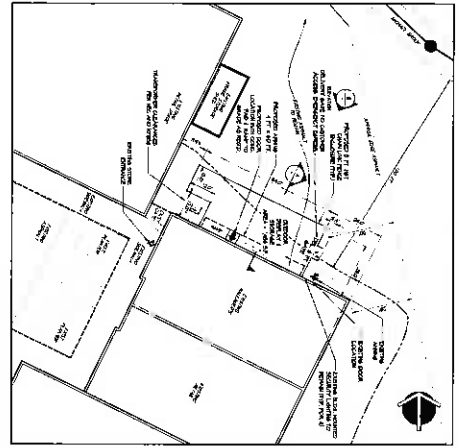
Mark Petersen

SCARSDALE
836 Post Road
914-723-4911
FAX 914-715-1071

N. WHITE PLAINS
30 Virginia Road
914-948-4000
FAX 914-948-0390

YONKERS
621 Tuckahoe Rd.
914-779-5767
FAX 914-357-4804

YORKTOWN HTS.
1965 Commerce St.
914-362-3000
FAX 914-362-8259



ELEVATION
Scale 1/8" = 1'-0"

ENLARGED PLAN
Scale 1/8" = 1'-0"

PARTIAL SECTION
Scale 1/8" = 1'-0"

CHAIN LINK FENCE DETAIL
Scale 1/8" = 1'-0"

CHAIN LINK FENCE GATE DETAIL
Scale 1/8" = 1'-0"

LOCATION MAP
Scale 1/8" = 1'-0"

AMENDED SITE LAYOUT PLAN
Scale 1/8" = 1'-0"

AREA MAP
Scale 1/8" = 1'-0"

ADONIS

SCHEDULE OF DISTRICT REGULATIONS

Regulation	Requirement	Compliance
1. DISTRICT
2. ZONING
3. SETBACKS
4. HEIGHT
5. AREA
6. LOT COVERAGE
7. PARKING
8. SIGNAGE
9. LANDSCAPE
10. UTILITIES
11. OTHER

OFF-STREET PARKING & LOADING

SITE LAYOUT PLAN NOTES

1. ALL UTILITIES SHALL BE SHOWN AND DELETED AS APPLICABLE.
2. ALL UTILITIES SHALL BE SHOWN AND DELETED AS APPLICABLE.
3. ALL UTILITIES SHALL BE SHOWN AND DELETED AS APPLICABLE.
4. ALL UTILITIES SHALL BE SHOWN AND DELETED AS APPLICABLE.
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11. ALL UTILITIES SHALL BE SHOWN AND DELETED AS APPLICABLE.
12. ALL UTILITIES SHALL BE SHOWN AND DELETED AS APPLICABLE.
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15. ALL UTILITIES SHALL BE SHOWN AND DELETED AS APPLICABLE.
16. ALL UTILITIES SHALL BE SHOWN AND DELETED AS APPLICABLE.
17. ALL UTILITIES SHALL BE SHOWN AND DELETED AS APPLICABLE.
18. ALL UTILITIES SHALL BE SHOWN AND DELETED AS APPLICABLE.
19. ALL UTILITIES SHALL BE SHOWN AND DELETED AS APPLICABLE.
20. ALL UTILITIES SHALL BE SHOWN AND DELETED AS APPLICABLE.

<p>C-110</p>	<p>AMENDED SITE LAYOUT PLAN</p>	<p>PROJECT: MALLAUER'S CARMEL at PUTNAM PLAZA</p> <p>1024 ROUTE 6 SOUTH OF CARROLL PUTNAM COUNTY, NEW YORK TAX MAP NO. 311, BLOCK LOT 4</p>	<p>DATE: 11/15/20</p> <p>SCALE: 1/8" = 1'-0"</p>	<p>DESIGNED BY: [Signature]</p> <p>CREATED BY: [Signature]</p> <p>CHECKED BY: [Signature]</p>	<p>DATE: 11/15/20</p> <p>SCALE: 1/8" = 1'-0"</p>	<p>PROJECT: [Signature]</p> <p>DATE: 11/15/20</p> <p>SCALE: 1/8" = 1'-0"</p>	<p>PUTNAM ENGINEERING ENGINEERS - ARCHITECTS</p> <p>4 OLD ROUTE 6, WESTPORT, NEW YORK 10988 PHONE: (845) 361-1234 FAX: (845) 361-1235 WWW.PUTNAMBUSINESS.COM</p>
	<p>DATE: 11/15/20</p> <p>SCALE: 1/8" = 1'-0"</p>	<p>DATE: 11/15/20</p> <p>SCALE: 1/8" = 1'-0"</p>	<p>DATE: 11/15/20</p> <p>SCALE: 1/8" = 1'-0"</p>	<p>DATE: 11/15/20</p> <p>SCALE: 1/8" = 1'-0"</p>			



June 24, 2015

Town of Carmel Planning Board
60 McAlpin Avenue
Mahopac, New York 10541

RE: PCSB Site Plan
Route 6
Tax Map No. 86.11-1-1 – Proposed Lot 1

Dear Chairman Gary and Members of the Board:

Please find enclosed the following plans and documents in support of an application for site plan approval for the above referenced project:

- Six (6) sheet Site Plan Set, dated June 24, 2015. (5 copies)
- Site Plan Application, June 24, 2015. (11 copies)
- SEQR Full EAF – Submitted under separate cover as part of the Baldwin Subdivision Application.
- Disclosure Addendum Statement, June 24, 2015. (2 copies)
- Site Plan Completeness Certification Form, June 24, 2015. (11 copies)
- Three (3) sheet Building floor plan and elevations, prepared by DEI / RSL Architecture. (5 copies)
- Deed for property. (2 copies)
- CD containing pdfs of submitted plans and documents. (1 copy)
- A \$4,000.00 check for the Site Plan Application Fee (\$2,000.00 fee plus \$100.00/parking space for 20 parking spaces)

The applicant seeks site plan approval for a new 2,656 s.f. commercial building with drive-up lanes and associated parking, to be located on Lot 1 of the proposed Baldwin Subdivision.


We trust the enclosed information will be found adequate. Please place the project on the agenda for the July 8, 2015 Planning Board meeting for discussion with the Board.

Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:



Jeffrey J. Contelmo, PE
Senior Principal Engineer

JJC/dlm

Enclosures

cc: Robert Farrier, w/enclosures
Fred Koelsch, w/enclosures

Insite File No. 15130.100

3 Garrett Place, Carmel, New York 10512 (845) 225-9690 Fax (845) 225-9717
www.insite-eng.com

062415cpb-site plan.doc



TOWN OF CARMEL SITE PLAN APPLICATION INSTRUCTIONS



The Town of Carmel Planning Board meetings are held twice a month, on the second and fourth Wednesday's, at 7:00 PM at Carmel Town Hall, 60 McAlpin Avenue, Carmel

The submission deadline is 10 days prior to the Planning Board meeting. New site plan applications that have been deemed complete will be placed on the agenda in the order they are received.

No application will be placed on the agenda that is incomplete

Pre-Submission:

Prior to the formal submission of the site plan, a pre-submission conference may be requested by the applicant to be conducted with representatives from the Town, which may include the Town Planner, Town Engineer, Director of Code Enforcement and/or the Planning Board Attorney. This conference will serve to educate the applicant on the process he/she must follow, clarify the information required to submit a complete site plan application, and to highlight any specific areas of concern. You may arrange a pre-submission conference through the Planning Board Secretary at (845) 628-1500 extension 190.

Submission Requirements:

At least 10 days prior to the Planning Board meeting, the site plan application shall be submitted to the Planning Board Secretary as follows:

All site plans shall be signed, sealed and folded with the title box legible. The application package shall include:

- 11 copies of the Site Plan Application Form, signed and notarized.
- 11 copies of the SEQR Environmental Assessment Form (use of short form or long form shall be determined at pre-submission conference).
- 5 full size sets of the Site Plan (including floor plans and elevations)
- 1 CD (in pdf. format) containing an electronic version of the Site Plan
- 2 copies of the Disclosure Statement
- 11 copies of the Site Plan Completeness Certification Form
- ~/A All supplemental studies, reports, plans and renderings.
- 2 copies of the current deed.
- N/A 2 copies of all easements, covenants and restrictions.
- The appropriate fee, determined from the attached fee schedule. Make checks payable to the *Town of Carmel*.

Rose Tronchetti 6/29/15
Planning Board Secretary; Date

Russell J. ... 6/30/15
Town Engineer; Date



TOWN OF CARMEL SITE PLAN APPLICATION



Per Town of Carmel Code – Section 156 - Zoning

SITE IDENTIFICATION INFORMATION		
Application Name: PCSB / MAHO PAC BRANCH	Application # 15-0007	Date Submitted: 6-24-15
Site Address: No. 150 Street: ROUTE 6 Hamlet:		
Property Location: (Identify landmarks, distance from intersections, etc.) 500' ± NORTH OF INTERSECTION OF ROUTE 6 + BALDWIN PLACE ROAD		
Town of Carmel Tax Map Designation: Section 86.11 Block Lot(s)	Zoning Designation of Site: C1B	
Property Deed Recorded in County Clerk's Office Date Liber 1730 Page 394	Liens, Mortgages or other Encumbrances Yes No	
Existing Easements Relating to the Site <input checked="" type="radio"/> No Yes Describe and attach copies:	Are Easements Proposed? No <input checked="" type="radio"/> Yes Describe and attach copies: ACCESS + UTILITY EASEMENT ON ADJACENT LOT	
Have Property Owners within a 500' Radius of the Site Been Identified? <input checked="" type="radio"/> Yes No Attached List to this Application Form		
APPLICANT/OWNER INFORMATION		
Property Owner: BALDWIN HILLS REALTY, LLC	Phone #: 228-1400 Fax#: 228-5400	Email: CRILLG@COMCAST.NET
Owners Address: No. 1619 Street: ROUTE 6, SUITE 1 Town: CARMEL State: NY Zip: 10512		
Applicant (if different than owner): PCSB	Phone #: 845-279-7101 Fax#: 845-279-9175	Email: ROBERTF@MYPCSB.COM
Applicant Address (if different than owner): No. Street: P.O. BOX 417 Town: BREWSTER State: NY Zip: 10509-0417		
Individual/ Firm Responsible for Preparing Site Plan: JEFFREY J. CONTELMO P.E., INSITE ENGINEERING SURVEYING + LANDSCAPE ARCHITECTURE, P.C.	Phone #: 845-225-9690 Fax#: 845-225-9717	Email: jcontelmo@insite-eng.com
Address: No. 3 Street: GARRETT PLACE Town: CARMEL State: NY Zip: 10512		
Other Representatives:	Phone #: Fax#:	Email:
Owners Address: No. Street: Town: State: Zip:		
PROJECT DESCRIPTION		
Describe the project, proposed use and operation thereof: PROPOSED RETAIL BANK ESTABLISHMENT ON PROPOSED LOT 1 OF THE BALDWIN SUBDIVISION		

TOWN OF CARMEL SITE PLAN APPLICATION



PROJECT INFORMATION			
Lot size: Acres: <u>9.8±</u> Square Feet: _____		Square footage of all existing structures (by floor): <u>0</u>	
# of existing parking spaces: <u>0</u>		# of proposed parking spaces: <u>20</u>	
# of existing dwelling units: <u>0</u>		# of proposed dwelling units: <u>0</u>	
Is the site served by the following public utility infrastructure:			
<ul style="list-style-type: none"> ▪ Is project in sewer district or will private septic system(s) be installed? <u>PRIVATE SEPTIC SYSTEM</u> ▪ If yes to Sanitary Sewer answer the following: <ul style="list-style-type: none"> ▶ Does approval exist to connect to sewer main? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> ▶ Is this an in-district connection? _____ Out-of district connection? <u>NA</u> ▶ What is the total sewer capacity at time of application? _____ ▶ What is your anticipated average and maximum daily flow _____ 			
For Town of Carmel Town Engineer			
<ul style="list-style-type: none"> ▪ What is the sewer capacity <u>NA</u> 			
<ul style="list-style-type: none"> ▪ Water Supply Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> <u>PRIVATE- ON-SITE WELL</u> 			
<ul style="list-style-type: none"> If Yes: <ul style="list-style-type: none"> ▶ Does approval exist to connect to water main? Yes: <input type="checkbox"/> No: <input type="checkbox"/> ▶ What is the total water capacity at time of application? _____ ▶ What is your anticipated average and maximum daily demand _____ 			
<ul style="list-style-type: none"> ▪ Storm Sewer Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> 			
<ul style="list-style-type: none"> ▪ Electric Service Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> 			
<ul style="list-style-type: none"> ▪ Gas Service Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> 			
<ul style="list-style-type: none"> • Telephone/Cable Lines Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> 			
For Town of Carmel Town Engineer			
Water Flows <u>NA</u>			
Sewer Flows <u>NA</u>			
<u>NOT 6/26/15</u>			
Town Engineer; Date _____			
What is the predominant soil type(s) on the site? <u>PnC, PnD, RdA</u>		What is the approximate depth to water table? <u>2'+</u>	
Site slope categories:		15-25% <u>25</u> %	25-35% <u>0</u> %
		>35% <u>0</u> %	
Estimated quantity of excavation:		Cut (C.Y.) <u>4,000 C.Y.</u>	Fill (C.Y.) <u>2,000 C.Y.</u>
Is Blasting Proposed Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> Unknown: <input type="checkbox"/>			
Is the site located in a designated Critical Environmental Area? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Does a curb cut exist on the site? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	Are new curb cuts proposed? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	What is the sight distance? (ONTO RTE 6 FROM ACCESS ROAD) Left <u>7500'</u> Right <u>7800'</u>	
Is the site located within 500' of: <u>TO BE DETERMINED</u>			
<ul style="list-style-type: none"> • The boundary of an adjoining city, town or village 		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
<ul style="list-style-type: none"> • The boundary of a state or county park, recreation area or road right-of-way 		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
<ul style="list-style-type: none"> • A county drainage channel line. 		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
<ul style="list-style-type: none"> • The boundary of state or county owned land on which a building is located 		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	

TOWN OF CARMEL SITE PLAN APPLICATION

Is the site listed on the State or Federal Register of Historic Place (or substantially contiguous) Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Is the site located in a designated floodplain? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Will the project require coverage under the Current NYSDEC Stormwater Regulations Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>			
Will the project require coverage under the Current NYDEP Stormwater Regulations Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>			
Does the site disturb more than 5,000 sq ft		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
Does the site disturb more than 1 acre		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
Does the site contain freshwater wetlands? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>			
Jurisdiction: NYSDEC: <input checked="" type="checkbox"/> Town of Carmel: <input checked="" type="checkbox"/>			
If present, the wetlands must be delineated in the field by a Wetland Professional, and survey located on the Site Plan. (100' Adjacent AREA ONLY)			
Are encroachments in regulated wetlands or wetland buffers proposed? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>			
Does this application require a referral to the Environmental Conservation Board?		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
Does the site contain waterbodies, streams or watercourses? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>			
Are any encroachments, crossings or alterations proposed? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Is the site located adjacent to New York City watershed lands? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Is the project funded, partially or in total, by grants or loans from a public source? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Will municipal or private solid waste disposal be utilized? Public: <input type="checkbox"/> Private: <input checked="" type="checkbox"/>			
Has this application been referred to the Fire Department? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
What is the estimated time of construction for the project? TWELVE MONTHS			
ZONING COMPLIANCE INFORMATION			
Zoning Provision	Required	Existing	Proposed
Lot Area	3 AC.	12.93 AC.	9.8 AC.
Lot Coverage		0	
Lot Width	200'		842'
Lot Depth	200'		487'
Front Yard	50'	N/A	67'
Side Yard	40'	N/A	65'
Rear Yard	40'	N/A	379'
Minimum Required Floor Area	5,000 SF	N/A	2,656 SF *
Floor Area Ratio		N/A	
Height	40'	N/A	440'
Off-Street Parking	14	0	20
Off-Street Loading	1	0	1

* VARIANCE NEEDED FOR MINIMUM FLOOR AREA.

TOWN OF CARMEL SITE PLAN APPLICATION

Will variances be required? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	If yes, identify variances: MIN. BUILDING FLOOR AREA VARIANCE
PROPOSED BUILDING MATERIALS	
Foundation	CONCRETE
Structural System	
Roof	ARCHITECTURAL ASPHALT SHINGLES
Exterior Walls	HARDIE BOARD SIDING W/ BRICK VENEER
APPLICANTS ACKNOWLEDGEMENT	
I hereby depose and certify that all the above statements and information, and all statements and information contained in the supporting documents and drawings attached hereto are true and correct.	
<u>ROBERT FARRIER</u> Applicants Name	 Applicants Signature
Sworn before me this <u>22nd</u> day of <u>June</u> 20 <u>15</u>	
 Notary Public	Alicia Hansen Notary Public, State of New York Reg. # 01H46086470 Qualified In Dutchess County Commission Expires January 21, 20 <u>19</u>



TOWN OF CARMEL SITE PLAN COMPLETENESS CERTIFICATION FORM



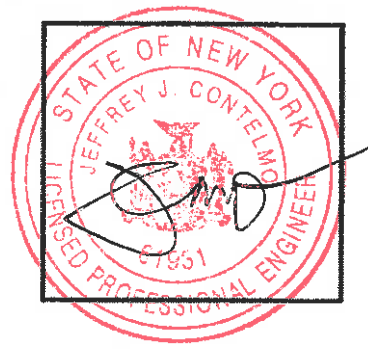
	Requirement Data	To Be Completed by the Applicant	Waived by the Town
16	The location of clubhouses, swimming pools, open spaces, parks or other recreational areas, and identification of who is responsible for maintenance	<input type="checkbox"/> N/A	<input type="checkbox"/>
17	The location and design of buffer areas, screening or other landscaping, including grading and water management. A comprehensive landscaping plan in accordance with the Tree Conservation Law	<input checked="" type="checkbox"/>	<input type="checkbox"/>
18	The location of public and private utilities, maintenance responsibilities, trash and garbage areas	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19	A list, certified by the Town Assessor, of all property owners within 500 feet of the site boundary	<input checked="" type="checkbox"/> TO BE PROVIDED LATER	<input type="checkbox"/>
20	Any other information required by the Planning Board which is reasonably necessary to ascertain compliance with this chapter	<input checked="" type="checkbox"/> TO BE DETERMINED	<input type="checkbox"/>

Applicants Certification (to be completed by the licensed professional preparing the site plan:

I JEFFREY J. CONTELMO P.E. hereby certify that the site plan to which I have attached my seal and signature, meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:

Signature - Applicant OWNER Date 6/25/15

 Signature - ~~Owner~~ / APPLICANT Date 6/22/15



Professionals Seal



TOWN OF CARMEL
 SITE PLAN COMPLETENESS
 CERTIFICATION FORM



Town Certification (to be completed by the Town)

I Rose Trombetta hereby confirm that the site plan meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:

Rose Trombetta
 Signature - Planning Board Secretary

6/29/15
 Date

[Signature]
 Signature - Town Engineer

6/29/15
 Date

**Full Environmental Assessment Form
Part 1 - Project and Setting**

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Sponsor Information.

Name of Action or Project: PCSB/Mahopac Branch - Site Plan		
Project Location (describe, and attach a general location map): Route 6, Town of Carmel, Putnam County - See Location Map		
Brief Description of Proposed Action (include purpose or need): Proposed commercial site plan on 9.8 acres in the C/BP (Commercial/Business Park) Zoning District, part of the proposed Baldwin Subdivision, 2-lot commercial subdivision.		
Name of Applicant/Sponsor: Putnam County Savings Bank		Telephone: 845-279-7101
		E-Mail: robertf@mypcsb.com
Address: P.O. Box 417		
City/PO: Brewster	State: New York	Zip Code: 10509
Project Contact (if not same as sponsor; give name and title/role): Jeffrey J. Contelmo, P.E./Senior Principal Engineer		Telephone: 845-225-9690
		E-Mail: jcontelmo@insite-eng.com
Address: 3 Garrett Place		
City/PO: Carmel	State: New York	Zip Code: 10512
Property Owner (if not same as sponsor): Baldwin Hills Realty LLC		Telephone: 845-228-1400
		E-Mail: crillc@comcast.net
Address: 1699 Route 6, Suite 1		
City/PO: Carmel	State: New York	Zip Code: 10512

B. Government Approvals

B. Government Approvals Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Planning Board or Commission	Town of Carmel Planning Board: Site Plan Approval	June 24, 2015
c. City Council, Town or <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Village Zoning Board of Appeals	Town of Carmel Zoning Board of Appeals Minimum Building Floor Area Variance	To Be Determined (TBD)
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Town of Carmel Building Permits, Town of Carmel ECB Wetland Permit, Town of Carmel MS4 SWPPP Acceptance	TBD
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	P. C. Dept. of Health - Individual well and SSTS approvals	TBD
f. Regional agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYCDEP: SWPPP and SSTS approvals	TBD
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYSDOT: Hwy. Work Permit, NYSDEC: GP-0-15-002 Coverage; NYSDEC Wetland Permit	TBD
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes,		
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

C. Planning and Zoning

C.1. Planning and zoning actions.	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<ul style="list-style-type: none"> If Yes, complete sections C, F and G. If No, proceed to question C.2 and complete all remaining sections and questions in Part 1 	
C.2. Adopted land use plans.	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, identify the plan(s):	
<u>NYC Watershed Boundary</u>	

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
If Yes, what is the zoning classification(s) including any applicable overlay district?
C/BP (Commercial/Business Park)

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No
If Yes,
i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? Mahopac Central School District

b. What police or other public protection forces serve the project site?
Carmel Police Department

c. Which fire protection and emergency medical services serve the project site?
Mahopac Volunteer Fire Department

d. What parks serve the project site?
None

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Commercial

b. a. Total acreage of the site of the proposed action? 9.8 ± acres
b. Total acreage to be physically disturbed? 1.5± acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 12.93± acres

c. Is the proposed action an expansion of an existing project or use? Yes No
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
If Yes,
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)
Commercial
ii. Is a cluster/conservation layout proposed? Yes No
iii. Number of lots proposed? 2
iv. Minimum and maximum proposed lot sizes? Minimum 3.2 +/- AC Maximum 9.8 +/- AC

e. Will proposed action be constructed in multiple phases? Yes No
i. If No, anticipated period of construction: 12 months
ii. If Yes:
• Total number of phases anticipated _____
• Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
• Anticipated completion date of final phase _____ month _____ year
• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No

If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No

If Yes,

- i. Total number of structures 1
- ii. Dimensions (in feet) of largest proposed structure: <40' height; 41± width; and 77± length
- iii. Approximate extent of building space to be heated or cooled: 2,600 s.f. ± square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No

If Yes,

- i. Purpose of the impoundment: _____
- ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____
- iii. If other than water, identify the type of impounded/contained liquids and their source. _____
- iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres
- v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length
- vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) Yes No

If Yes:

- i. What is the purpose of the excavation or dredging? _____
- ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?
 - Volume (specify tons or cubic yards): _____
 - Over what duration of time? _____
- iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____
- iv. Will there be onsite dewatering or processing of excavated materials? Yes No
If yes, describe. _____
- v. What is the total area to be dredged or excavated? _____ acres
- vi. What is the maximum area to be worked at any one time? _____ acres
- vii. What would be the maximum depth of excavation or dredging? _____ feet
- viii. Will the excavation require blasting? Yes No
- ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No

If Yes:

- i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): NYSDEC FWE ML-11-No disturbance to the wetland. Disturbance proposed within the 100' adjacent area.

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

Disturbance within the 100' adjacent area. Regrading to construct the stormwater management infiltration basin.

iii. Will proposed action cause or result in disturbance to bottom sediments?

Yes No

If Yes, describe: _____

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation?

Yes No

If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

The area will be utilized as a stormwater management basin and planted and seeded with native vegetation.

c. Will the proposed action use, or create a new demand for water?

Yes No

If Yes:

i. Total anticipated water usage/demand per day: _____ 400 gpd design flow gallons/day

ii. Will the proposed action obtain water from an existing public water supply?

Yes No

If Yes:

- Name of district or service area: _____
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project?

Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site?

Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), maximum pumping capacity: _____ 5 min. gallons/minute.

d. Will the proposed action generate liquid wastes?

Yes No

If Yes:

i. Total anticipated liquid waste generation per day: _____ 400 gpd design gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

Sanitary wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities?

Yes No

If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

• Do existing sewer lines serve the project site? Yes No
 • Will line extension within an existing district be necessary to serve the project? Yes No
 If Yes:
 • Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:
 • Applicant/sponsor for new district: _____
 • Date application submitted or anticipated: _____
 • What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans):
Individual subsurface sewage treatment systems

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____
None

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:
 i. How much impervious surface will the project create in relation to total size of project parcel?
 _____ Square feet or 0.6± acres (impervious surface)
 _____ Square feet or 9.8± acres (parcel size)

ii. Describe types of new point sources. Pipes

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?
To onsite stormwater management practices

• If to surface waters, identify receiving water bodies or wetlands: _____
To onsite NYSDEC Freshwater Wetland ML-11

• Will stormwater runoff flow to adjacent properties? Yes No

iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
 ii. In addition to emissions as calculated in the application, the project will generate:
 • _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 • _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 • _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
 • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

- i. Estimate methane generation in tons/year (metric): _____
- ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

- i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____
- ii. For commercial activities only, projected number of semi-trailer truck trips/day: _____ 0
- iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____
- iv. Does the proposed action include any shared use parking? Yes No
- v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe:
A traffic signal will be added with turning lanes on Route 6 at entrance to site in the adjacent Route 6 Retail project.
- vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No
- vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No
- viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

- i. Estimate annual electricity demand during operation of the proposed action: _____
To Be Determined
- ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):
Existing local/regional utilities
- iii. Will the proposed action require a new, or an upgrade to, an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

- i. During Construction: Potentially 8 am to 8 pm
 - Monday - Friday: _____
 - Saturday: _____
 - Sunday: _____
 - Holidays: _____
- ii. During Operations: TBD - Potential for 24 hrs/7 days per week for ATM
 - Monday - Friday: _____ 8-6
 - Saturday: _____ 8-5
 - Sunday: _____ closed
 - Holidays: _____ closed

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No

If yes:

i. Provide details including sources, time of day and duration:
During construction only.

ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
Describe: _____

n. Will the proposed action have outdoor lighting? Yes No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:
Building and pole-mounted light fixtures at heights, locations, and light levels that will provide safe access to and from vehicles, streets and buildings.

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
Describe: _____

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No
If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures:

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No

If Yes:

i. Product(s) to be stored _____

ii. Volume(s) _____ per unit time _____ (e.g., month, year)

iii. Generally describe proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No

If Yes:

i. Describe proposed treatment(s):

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: 1 to 2 tons per week (unit of time)
- Operation : 1 tons per week (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: Separate containers will be provided for recyclable materials
- Operation: Separate containers will be provided for recyclable materials

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: Approved hauler
- Operation: Approved hauler

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No

If Yes:

- i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____
- ii. Anticipated rate of disposal/processing:
 - _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
 - _____ Tons/hour, if combustion or thermal treatment
- iii. If landfill, anticipated site life: _____ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No

If Yes:

- i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____
- ii. Generally describe processes or activities involving hazardous wastes or constituents: _____
- iii. Specify amount to be handled or generated _____ tons/month
- iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

- a. Existing land uses.
 - i. Check all uses that occur on, adjoining and near the project site.
 - Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 - Forest Agriculture Aquatic Other (specify): _____
 - ii. If mix of uses, generally describe: _____

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0	0.6±	+0.6±
• Forested	7.63±	6.13±	-1.5±
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	0	0.5±	+0.5±
• Agricultural (includes active orchards, field, greenhouse etc.)	0	0	0
• Surface water features (lakes, ponds, streams, rivers, etc.)	*	*	*
• Wetlands (freshwater or tidal)	2.1±	2.1±	0
• Non-vegetated (bare rock, earth or fill)	0	0	0
• Other Describe: <u>Lawns, landscaping, stormwater management</u>	0	0.4±	+0.4±

* Surface water included in wetlands.

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities:
The Kohler Center and Senior Housing at Mahopac Hills

e. Does the project site contain an existing dam? (Existing pond outside of project area) Yes No
If Yes:
i. Dimensions of the dam and impoundment:
• Dam height: _____ TBD feet
• Dam length: _____ 220± feet
• Surface area: _____ 1.0± acres
• Volume impounded: _____ gallons OR acre-feet
ii. Dam's existing hazard classification: Unknown
iii. Provide date and summarize results of last inspection:
Unknown

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No
• If yes, cite sources/documentation: _____
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:

iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): 360023

iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):
Periodic monitoring and Plant 1 groundwater pump and GAC treatment remedial system ongoing at Somers Commons.

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? greater than 8± feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site:

PnB, PnC, PnD	_____	50 %
RdA	_____	30 %
Uf, W	_____	20 %

d. What is the average depth to the water table on the project site? Average: 4 feet

e. Drainage status of project site soils:

<input checked="" type="checkbox"/> Well Drained:	_____	50 % of site
<input type="checkbox"/> Moderately Well Drained:	_____	% of site
<input checked="" type="checkbox"/> Poorly Drained	_____	50 % of site

f. Approximate proportion of proposed action site with slopes:

<input checked="" type="checkbox"/> 0-10%:	_____	60 % of site
<input checked="" type="checkbox"/> 10-15%:	_____	30 % of site
<input checked="" type="checkbox"/> 15% or greater:	_____	10 % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No
 If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name 864-137, 864-138 Classification C, B
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name Federal Waters, NYSDEC Freshwater Wetland Approximate Size 85.8± acres
- Wetland No. (if regulated by DEC) ML-11

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100 year Floodplain? Yes No

k. Is the project site in the 500 year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:
 i. Name of aquifer: _____

m. Identify the predominant wildlife species that occupy or use the project site: _____
common and abundant bird species, small mammals such as squirrels and chipmunks, deer, reptiles and amphibians _____

n. Does the project site contain a designated significant natural community? Yes No

If Yes:

i. Describe the habitat/community (composition, function, and basis for designation): _____

ii. Source(s) of description or evaluation: _____

iii. Extent of community/habitat:

- Currently: _____ acres
- Following completion of project as proposed: _____ acres
- Gain or loss (indicate + or -): _____ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? Yes No

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? Yes No
Per NYSDEC Environmental Resource Mapper, the project area is within the vicinity of one or more rare animals and/or rare plants. This is pending correspondence with NY Natural Heritage Program.

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? Yes No

If yes, give a brief description of how the proposed action may affect that use: _____
animals and/or rare plants. This is pending correspondence with NY Natural Heritage Program.

E.3. Designated Public Resources On or Near Project Site

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? Yes No

If Yes, provide county plus district name/number: _____

b. Are agricultural lands consisting of highly productive soils present? Yes No

i. If Yes: acreage(s) on project site: _____

ii. Source(s) of soil rating(s): _____

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? Yes No

If Yes:
i. Nature of the natural landmark: Biological Community Geological Feature
ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? Yes No

If Yes:
i. CEA name: _____
ii. Basis for designation: _____
iii. Designating agency and date: _____

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places? Yes No

If Yes:

i. Nature of historic/archaeological resource: Archaeological Site Historic Building or District

ii. Name: _____

iii. Brief description of attributes on which listing is based: _____

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? Yes No
Per online mapper - pending correspondence with SHPO.

g. Have additional archaeological or historic site(s) or resources been identified on the project site? Yes No

If Yes:

i. Describe possible resource(s): _____

ii. Basis for identification: _____

h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? Yes No

If Yes:

i. Identify resource: _____

ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____

iii. Distance between project and resource: _____ miles.

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? Yes No

If Yes:

i. Identify the name of the river and its designation: _____

ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? Yes No

F. Additional Information


Attach any additional information which may be needed to clarify your project.

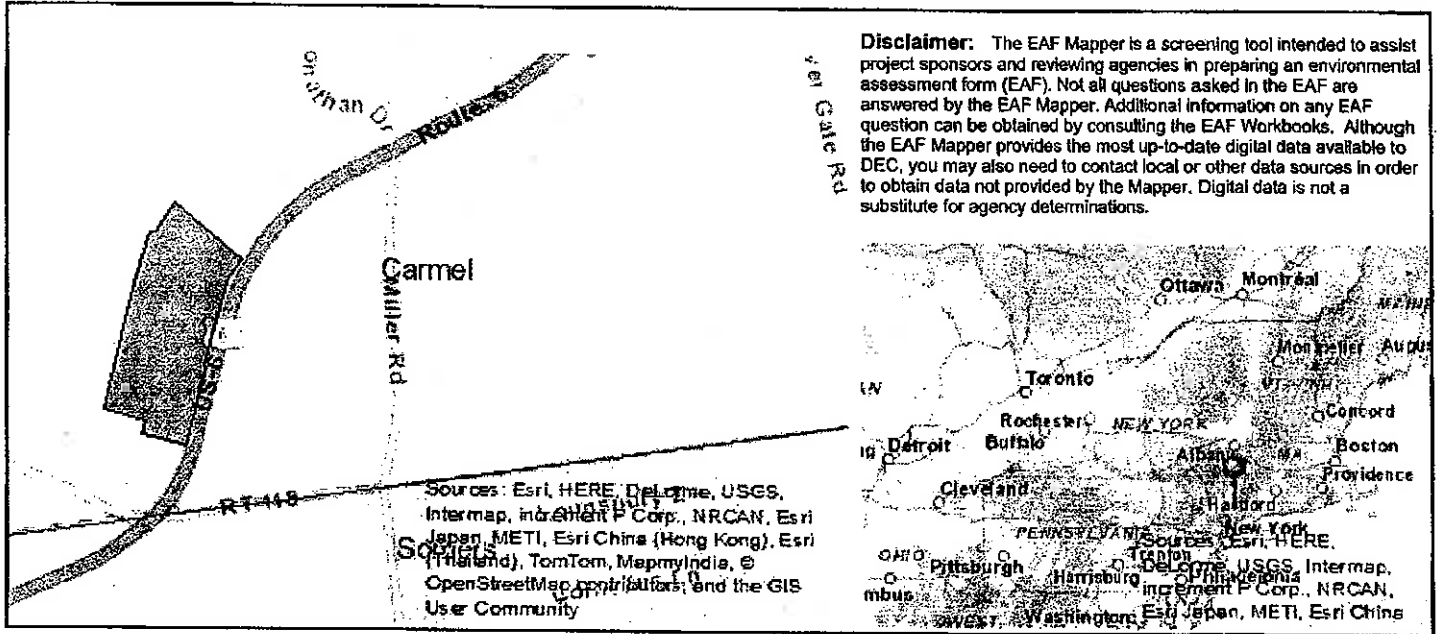
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

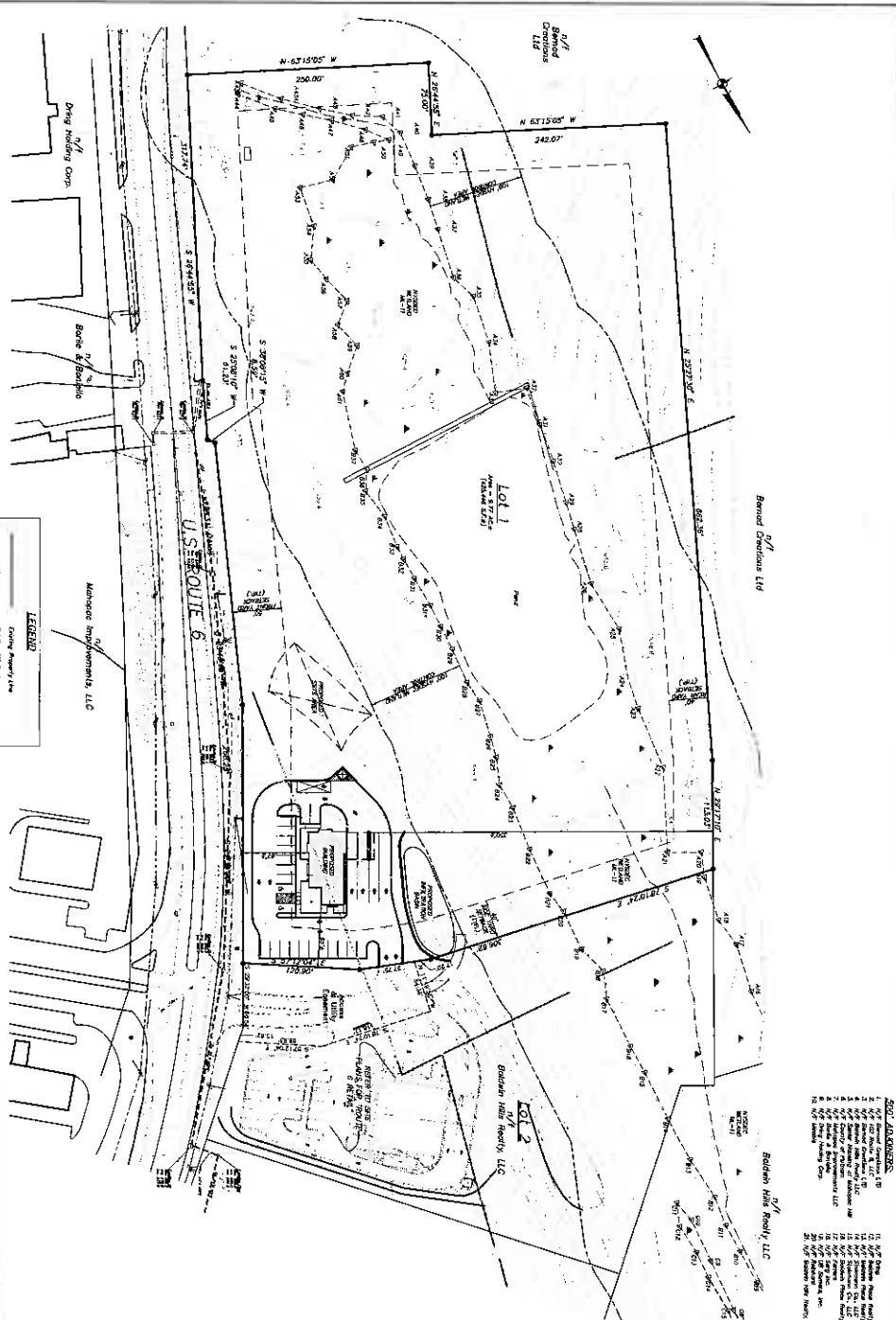
Applicant/Sponsor Name Jeffrey J. Contelmo, P.E. Date 6/29/15

Signature  Title Agent for Applicant



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Yes - Digital mapping data are not available for all Special Planning Districts. Refer to EAF Workbook.
C.2.b. [Special Planning District - Name]	NYC Watershed Boundary
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	Yes
E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID]	360023
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.iv [Surface Water Features - Stream Name]	864-137, 864-138
E.2.h.iv [Surface Water Features - Stream Classification]	C, B
E.2.h.iv [Surface Water Features - Wetlands Name]	Federal Waters, NYS Wetland
E.2.h.iv [Surface Water Features - Wetlands Size]	NYS Wetland (in acres):85.8

E.2.h.iv [Surface Water Features - DLO Wetlands Number]	ML-11
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	Yes
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	Yes
E.3.d [Critical Environmental Area - Name]	Baldwin Place Area
E.3.d.ii [Critical Environmental Area - Reason]	Difficulties w/ portable water source
E.3.d.iii [Critical Environmental Area – Date and Agency]	Date:9-26-90, Agency:Somers, Town of
E.3.e. [National Register of Historic Places]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No



U.S. ROUTE 6
 Daney Holdings Corp.
 Boone & Brando
 Manguard Improvements, LLC

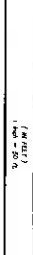
LEGEND

	Existing Property Line
	Existing Structure
	Existing Site Drive
	Existing Easement
	Existing Utility Line
	Existing Top of Finished Ground
	Existing Curb
	Proposed Structure
	Proposed Site Drive
	Proposed Easement
	Proposed Utility Line
	Proposed Top of Finished Ground
	Proposed Curb
	Proposed Property Line

ADJACENT OWNERS

1. M/V Belden, Belden Realty, LLC
2. M/V Belden, Belden Realty, LLC
3. M/V Belden, Belden Realty, LLC
4. M/V Belden, Belden Realty, LLC
5. M/V Belden, Belden Realty, LLC
6. M/V Belden, Belden Realty, LLC
7. M/V Belden, Belden Realty, LLC
8. M/V Belden, Belden Realty, LLC
9. M/V Belden, Belden Realty, LLC
10. M/V Belden, Belden Realty, LLC
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14. M/V Belden, Belden Realty, LLC
15. M/V Belden, Belden Realty, LLC
16. M/V Belden, Belden Realty, LLC
17. M/V Belden, Belden Realty, LLC
18. M/V Belden, Belden Realty, LLC
19. M/V Belden, Belden Realty, LLC
20. M/V Belden, Belden Realty, LLC
21. M/V Belden, Belden Realty, LLC

SITE DATA
 Project Name: [Blank]
 Client: [Blank]
 Date: [Blank]



CLIENT INFORMATION

DATE	1/24/2018	DRAWN BY	J.M.C.
DATE	1/24/2018	CHECKED BY	J.M.C.
DATE	1/24/2018	SCALE	1" = 30'
PROJECT		GENERAL PLAN	
CLIENT		BOONE & BRANDO	
PROJECT		COMMERCIAL DEVELOPMENT	
CLIENT		M/V BELDEN	
PROJECT		SHEET NO. 0P-1	
CLIENT		SHEET 1 OF 6	

GENERAL NOTES

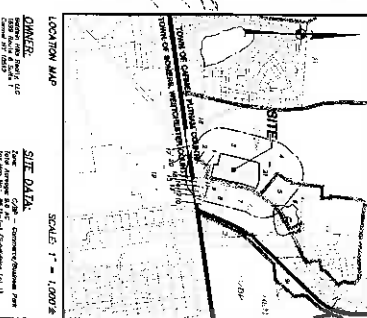
- The site plan is shown as a general indication of the proposed development and is not a final design. The final design shall be determined by the contractor after site inspection and consultation with the architect.
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CURB & PAVEMENT REQUIREMENTS

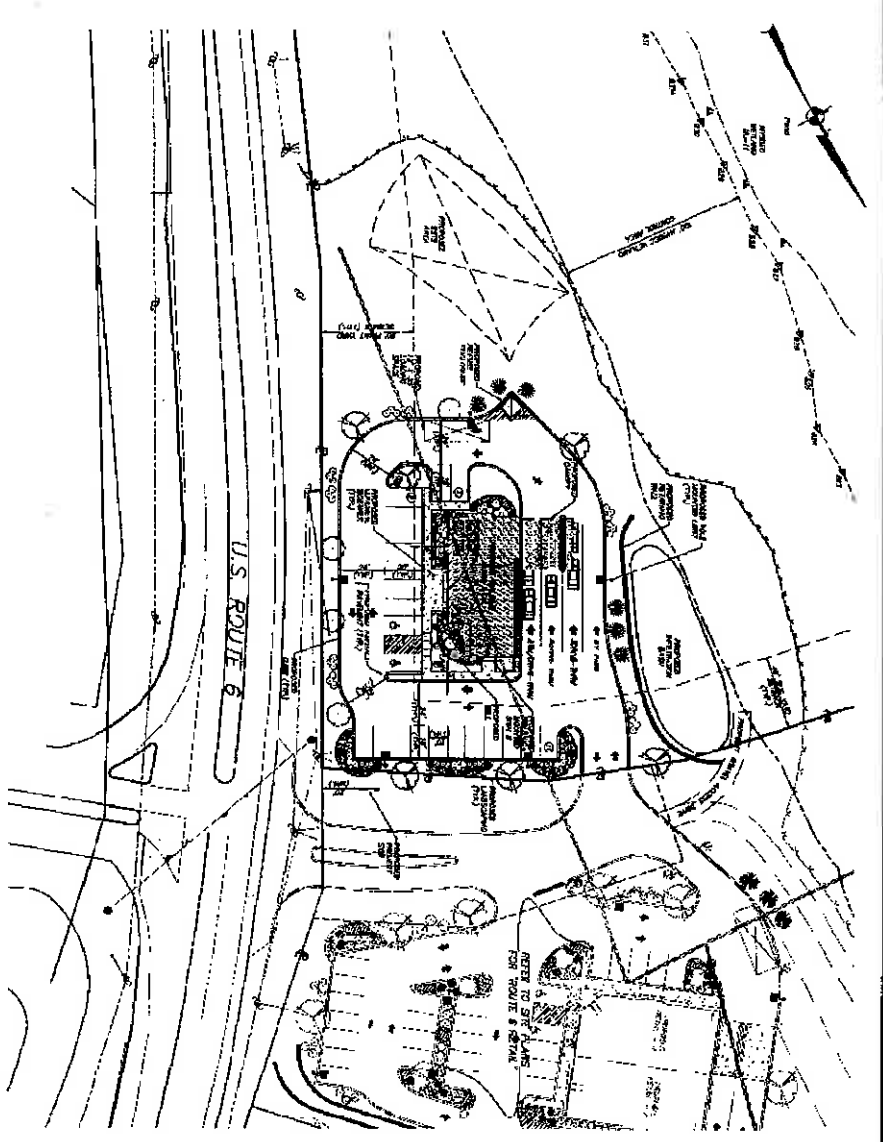
SECTION	REQUIREMENTS
1. DRIVEWAYS	4" AC Base, 2" AC Top Layer
2. PARKING LOTS	4" AC Base, 2" AC Top Layer
3. SIDEWALKS	4" AC Base, 2" AC Top Layer
4. CEMENT CONCRETE	4" AC Base, 2" AC Top Layer

PERMITS & COMPLIANCE

PERMIT	1/24/2018	DATE	1/24/2018
PERMIT	1/24/2018	DATE	1/24/2018
PERMIT	1/24/2018	DATE	1/24/2018
PERMIT	1/24/2018	DATE	1/24/2018
PERMIT	1/24/2018	DATE	1/24/2018
PERMIT	1/24/2018	DATE	1/24/2018
PERMIT	1/24/2018	DATE	1/24/2018
PERMIT	1/24/2018	DATE	1/24/2018
PERMIT	1/24/2018	DATE	1/24/2018
PERMIT	1/24/2018	DATE	1/24/2018
PERMIT	1/24/2018	DATE	1/24/2018
PERMIT	1/24/2018	DATE	1/24/2018



DATE: 11/15/83
 DRAWN BY: J. L. BROWN
 CHECKED BY: J. L. BROWN
 PROJECT NO. 83-01

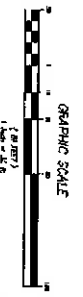


LEGEND

	Building Footprint
	Parking Area
	Driveway
	Utility Line
	Tree
	Path
	Fencing
	Proposed Driveway
	Proposed Utility Line
	Proposed Fencing
	Proposed Retaining Wall

Site Data

Project Name: _____
 Client: _____
 Date: _____
 Location: _____



SLANT LIST

NO.	DESCRIPTION	SIZE	QTY
01	1/2" x 4" x 8" Lumber	1/2" x 4" x 8"	1000
02	2" x 4" x 8" Lumber	2" x 4" x 8"	500
03	4" x 4" x 8" Lumber	4" x 4" x 8"	200
04	6" x 6" x 8" Lumber	6" x 6" x 8"	100
05	8" x 8" x 8" Lumber	8" x 8" x 8"	50
06	10" x 10" x 8" Lumber	10" x 10" x 8"	25
07	12" x 12" x 8" Lumber	12" x 12" x 8"	10
08	14" x 14" x 8" Lumber	14" x 14" x 8"	5
09	16" x 16" x 8" Lumber	16" x 16" x 8"	2
10	18" x 18" x 8" Lumber	18" x 18" x 8"	1

GENERAL NOTES

1. All dimensions are given in feet and inches. All measurements are to the center of the member unless otherwise noted.
2. All materials shall be of standard quality and shall conform to the specifications of the American Institute of Steel Construction, Inc. (AISC).
3. All steel members shall be painted with a rust-inhibiting primer and a protective finish.
4. All concrete shall be cast in place and shall conform to the specifications of the American Concrete Institute (ACI).
5. All masonry shall be laid in accordance with the specifications of the Masonry Institute of America (MIA).
6. All earth retaining walls shall be designed for a minimum safety factor of 1.5.
7. All foundations shall be designed for a minimum safety factor of 2.0.
8. All structural members shall be designed for a minimum safety factor of 1.5.
9. All connections shall be designed for a minimum safety factor of 1.5.
10. All materials shall be of standard quality and shall conform to the specifications of the American Institute of Steel Construction, Inc. (AISC).
11. All steel members shall be painted with a rust-inhibiting primer and a protective finish.
12. All concrete shall be cast in place and shall conform to the specifications of the American Concrete Institute (ACI).
13. All masonry shall be laid in accordance with the specifications of the Masonry Institute of America (MIA).
14. All earth retaining walls shall be designed for a minimum safety factor of 1.5.
15. All foundations shall be designed for a minimum safety factor of 2.0.
16. All structural members shall be designed for a minimum safety factor of 1.5.
17. All connections shall be designed for a minimum safety factor of 1.5.

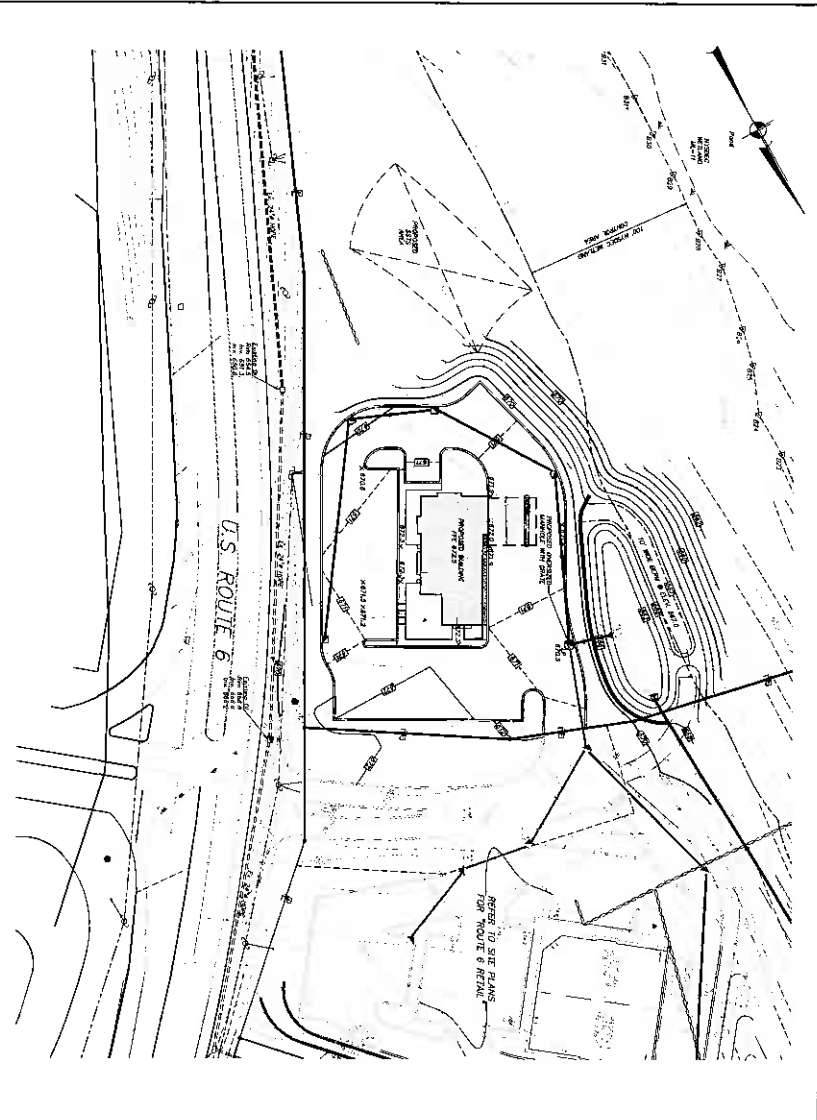
PROJECT
ECB ARCHITECTURAL
 ENGINEERING, ARCHITECTURE &
 LANDSCAPE ARCHITECTURE, P.C.

SITE
 LAYOUT & LANDSCAPE PLAN

DATE 5-2-83
SCALE 1" = 30'

NO. 1
TOTAL 5

SP-1



NO PART OF THIS DOCUMENT SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM THE ARCHITECT.

SITE PLAN

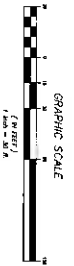
Approved for the project by the City of _____ on _____ at _____.

City of _____, _____, _____.

Scale: _____

Drawn by _____

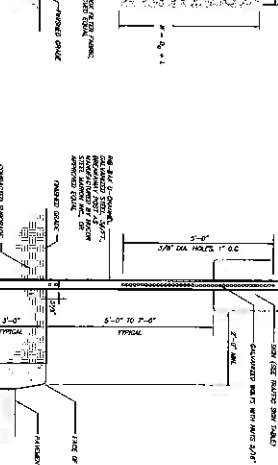
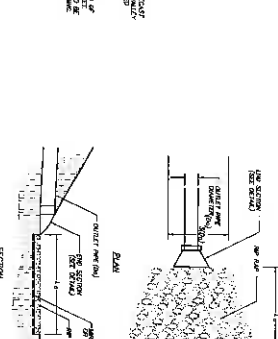
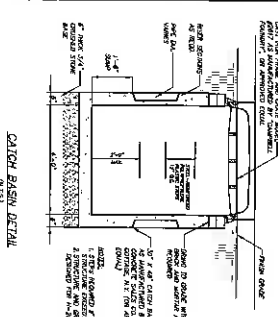
Checked by _____



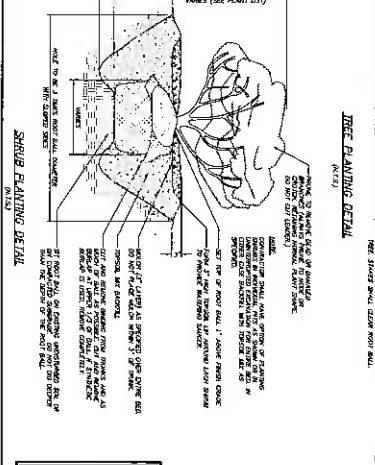
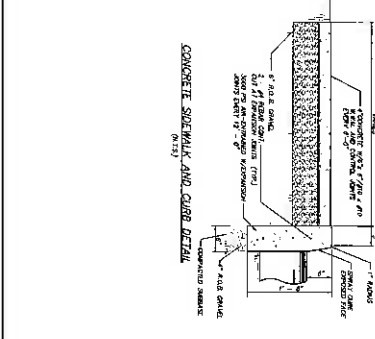
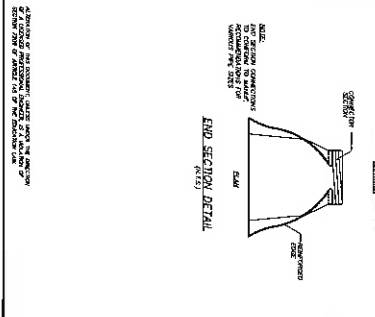
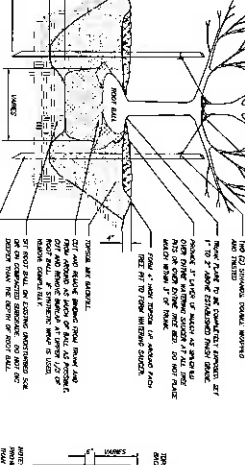
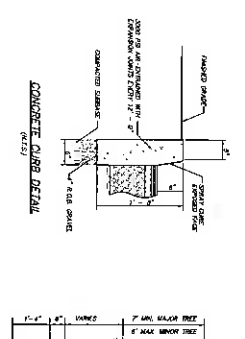
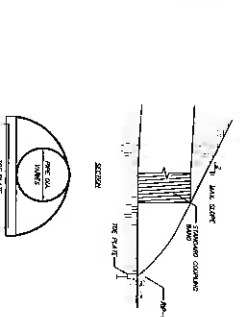
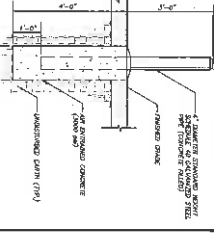
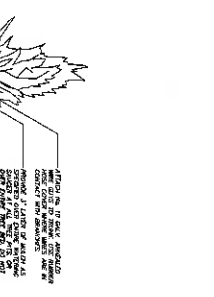
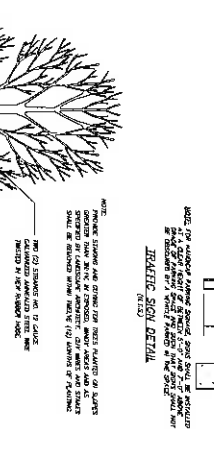
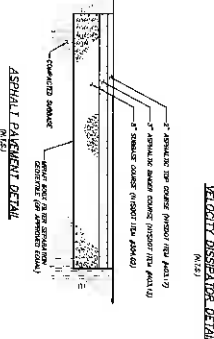
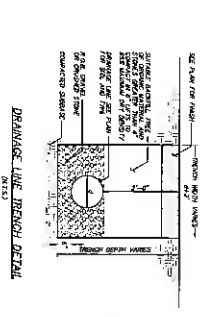
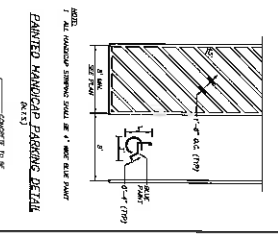
LEGEND

(Symbol)	Existing Property Line
(Symbol)	Existing Footing
(Symbol)	Existing Foundation
(Symbol)	Existing Structure
(Symbol)	Existing Utility
(Symbol)	Proposed Footing
(Symbol)	Proposed Foundation
(Symbol)	Proposed Structure
(Symbol)	Proposed Utility
(Symbol)	Proposed Retention Wall
(Symbol)	Proposed Erosion Control
(Symbol)	Proposed Storm Drain

NO.	DATE	DESCRIPTION
1	12/20/08	ISSUE FOR PERMITS
2	01/20/09	ISSUE FOR PERMITS
3	02/20/09	ISSUE FOR PERMITS
4	03/20/09	ISSUE FOR PERMITS
5	04/20/09	ISSUE FOR PERMITS
6	05/20/09	ISSUE FOR PERMITS
7	06/20/09	ISSUE FOR PERMITS
8	07/20/09	ISSUE FOR PERMITS
9	08/20/09	ISSUE FOR PERMITS
10	09/20/09	ISSUE FOR PERMITS
11	10/20/09	ISSUE FOR PERMITS
12	11/20/09	ISSUE FOR PERMITS
13	12/20/09	ISSUE FOR PERMITS
14	01/20/10	ISSUE FOR PERMITS
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85	12/20/15	ISSUE FOR PERMITS
86	01/20/16	ISSUE FOR PERMITS
87	02/20/16	ISSUE FOR PERMITS
88	03/20/16	ISSUE FOR PERMITS
89	04/20/16	ISSUE FOR PERMITS
90	05/20/16	ISSUE FOR PERMITS
91	06/20/16	ISSUE FOR PERMITS
92	07/20/16	ISSUE FOR PERMITS
93	08/20/16	ISSUE FOR PERMITS
94	09/20/16	ISSUE FOR PERMITS
95	10/20/16	ISSUE FOR PERMITS
96	11/20/16	ISSUE FOR PERMITS
97	12/20/16	ISSUE FOR PERMITS
98	01/20/17	ISSUE FOR PERMITS
99	02/20/17	ISSUE FOR PERMITS
100	03/20/17	ISSUE FOR PERMITS



LOCATION	ITEM	QUANTITY	SIZE OF SIGN	DESCRIPTION
1	HEAVY SIGN	1	12' x 18'	HEAVY SIGN
2	CONCRETE	1	12' x 18'	CONCRETE
3	STEEL	1	12' x 18'	STEEL
4	PAINT	1	12' x 18'	PAINT
5	GRASS	1	12' x 18'	GRASS
6	SOIL	1	12' x 18'	SOIL



NO.	DATE	REVISION	BY
1	10/10/20	ISSUED FOR PERMIT	JLM
2	10/10/20	ISSUED FOR PERMIT	JLM
3	10/10/20	ISSUED FOR PERMIT	JLM
4	10/10/20	ISSUED FOR PERMIT	JLM
5	10/10/20	ISSUED FOR PERMIT	JLM
6	10/10/20	ISSUED FOR PERMIT	JLM

INSITE

3 South Point Blvd
 Suite 200
 Fairfax, VA 22031
 (703) 261-1000
 www.insite.com

PROJECT: EPCB ANADOLIC BRANCH

DATE: 10/10/20

SCALE: 1/8" = 1'-0"

PROJECT NO.: 15831.001

DATE: 10/10/20

SCALE: 1/8" = 1'-0"

PROJECT NO.: 15831.001

DATE: 10/10/20

SCALE: 1/8" = 1'-0"

PROJECT NO.: 15831.001

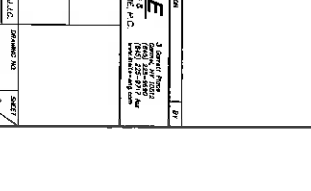
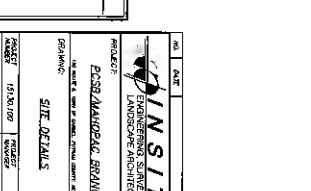
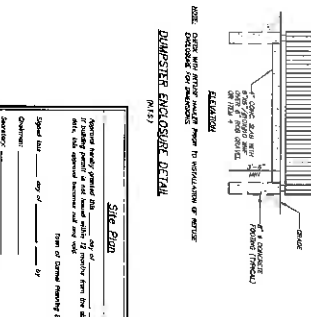
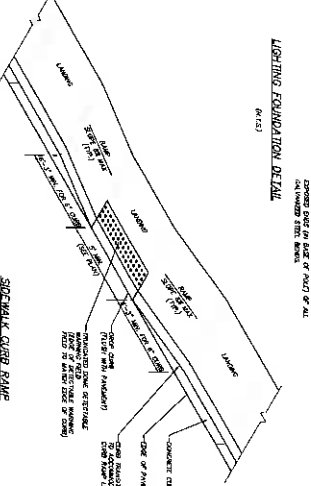
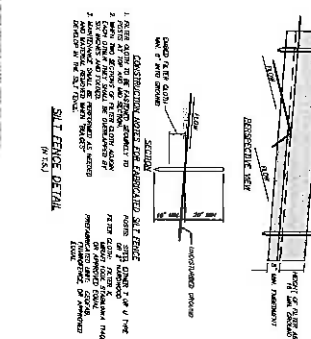
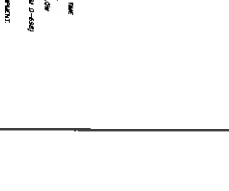
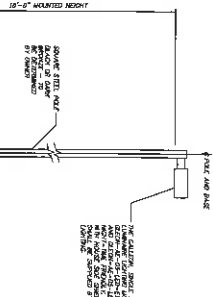
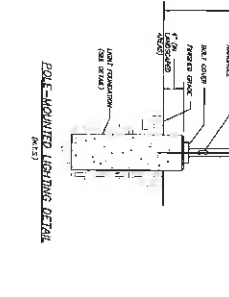
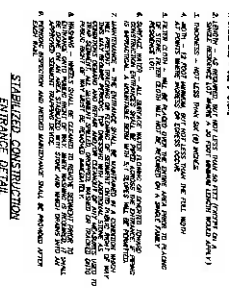
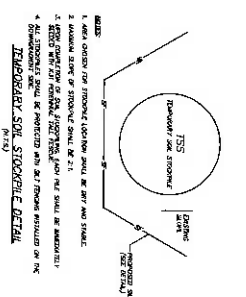
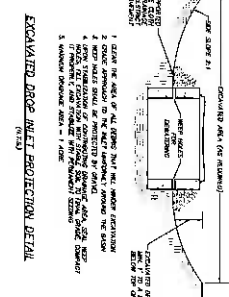
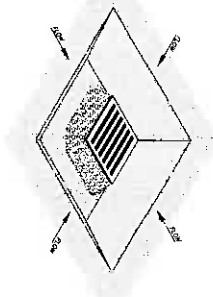
DATE: 10/10/20

SCALE: 1/8" = 1'-0"

PROJECT NO.: 15831.001

DATE: 10/10/20

SCALE: 1/8" = 1'-0"



EXCAVATED FLOOR PLATE PROTECTION DETAIL

1. EXCAVATE TO MINIMUM REQUIRED DEPTH FOR PROTECTION OF STRUCTURE BELOW.

2. EXCAVATION SHALL BE PROTECTED BY 18" MINIMUM THICKNESS OF CONCRETE SLAB WITH REINFORCING BARS.

3. ALL EXCAVATED AREAS SHALL BE PROTECTED BY 18" MINIMUM THICKNESS OF CONCRETE SLAB WITH REINFORCING BARS.

STABILIZED CONSTRUCTION ENTRANCE DETAIL

1. CONCRETE WALL SHALL BE REINFORCED WITH STEEL REINFORCEMENT.

2. REINFORCEMENT SHALL BE PLACED IN THE MIDDLE OF THE WALL.

3. WALL SHALL BE FINISHED WITH EXTERIOR FINISH.

POLE-ENCLOSED LIGHTING DETAIL

1. LIGHTING FIXTURE SHALL BE MOUNTED ON A CONCRETE FOOTING.

2. CONCRETE FOOTING SHALL BE REINFORCED WITH STEEL REINFORCEMENT.

3. LIGHTING FIXTURE SHALL BE PROTECTED BY A CONCRETE ENCLOSURE.

MODULAR BLOCK RETAINING WALL DETAIL

1. RETAINING WALL SHALL BE CONSTRUCTED WITH MODULAR BLOCKS.

2. BLOCKS SHALL BE INTERLOCKED AND REINFORCED WITH STEEL REINFORCEMENT.

3. WALL SHALL BE FINISHED WITH EXTERIOR FINISH.

SIDWALK CURB RAMP

1. CURB SHALL BE CONCRETE WITH 18" THICKNESS.

2. RAMP SHALL BE CONCRETE WITH 18" THICKNESS.

3. CURB SHALL BE FINISHED WITH EXTERIOR FINISH.

DISPENSER ENCLOSURE DETAIL

1. DISPENSER SHALL BE PROTECTED BY A CONCRETE ENCLOSURE.

2. ENCLOSURE SHALL BE REINFORCED WITH STEEL REINFORCEMENT.

3. ENCLOSURE SHALL BE FINISHED WITH EXTERIOR FINISH.

NO.	DATE	REVISION	BY
1			

SITE DATA

Name of Project: _____

Location: _____

Scale: _____

Prepared by: _____

Checked by: _____

Date: _____

Project: **PCSA MANPADS BRANCH**

Client: **3 Smart Space**

Address: **15000 W. BROADWAY, SUITE 1500, DENVER, CO 80202**

Project No: **PCSA-2000-001**

Sheet No: **D-2**

Total Sheets: **6**

Scale: **AS SHOWN**

Drawn by: **W.L.M.**

Checked by: **D.L.M.**

Date: **10/11/01**

Project: **PCSA MANPADS BRANCH**

Client: **3 Smart Space**

Address: **15000 W. BROADWAY, SUITE 1500, DENVER, CO 80202**

Project No: **PCSA-2000-001**

Sheet No: **D-2**

Total Sheets: **6**

Scale: **AS SHOWN**

Drawn by: **W.L.M.**

Checked by: **D.L.M.**

Date: **10/11/01**

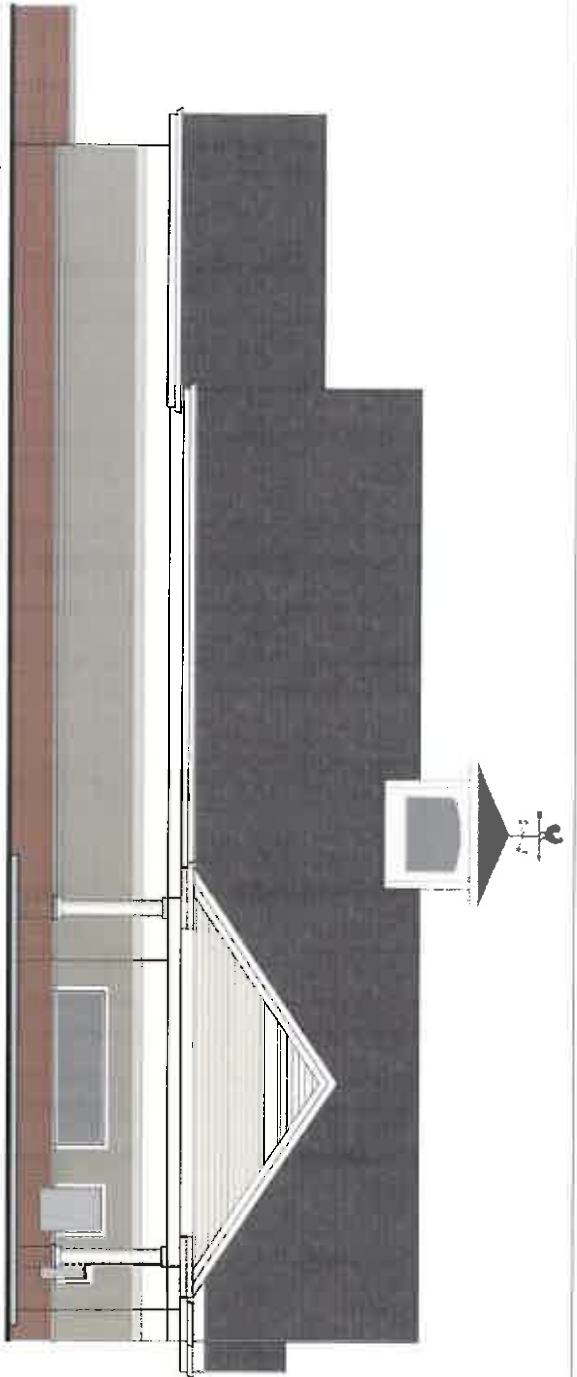


PCSB Putnam County Savings Bank

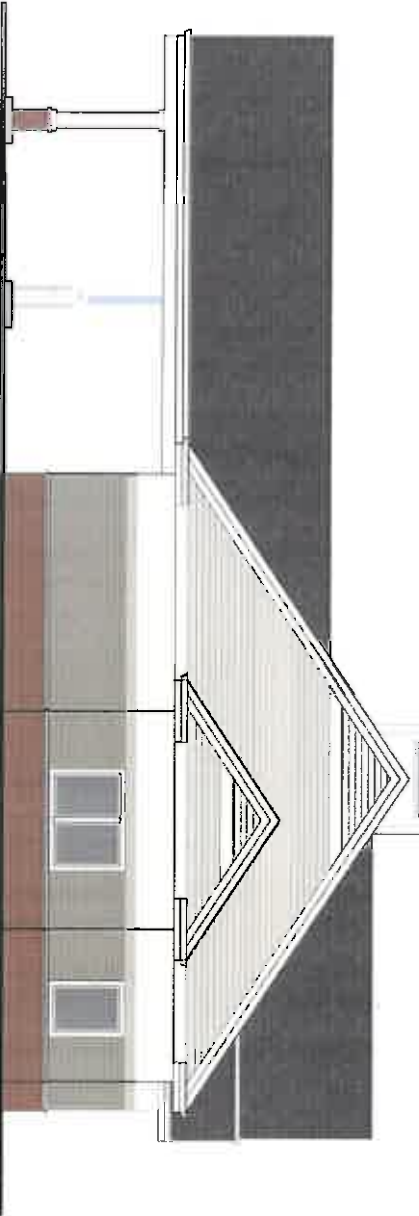
Monticello, NY
 155 #970
 5/6/2015
 Revised 04.15



EXTERIOR ELEVATIONS



West Elevation



South Elevation

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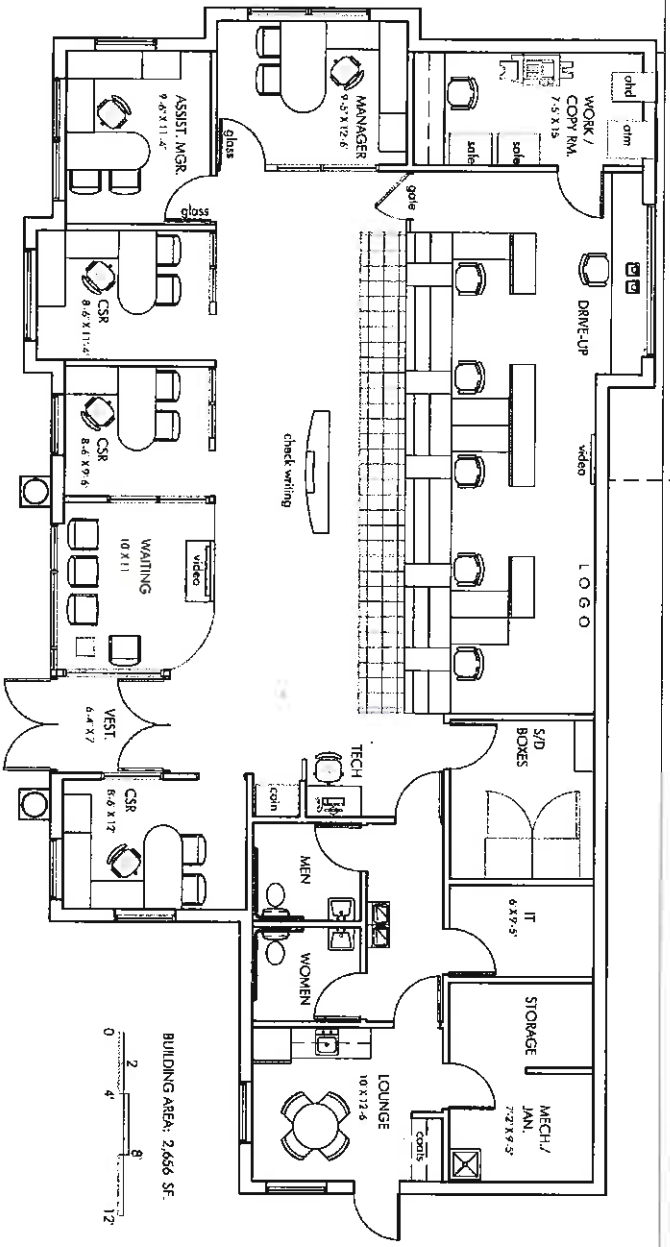
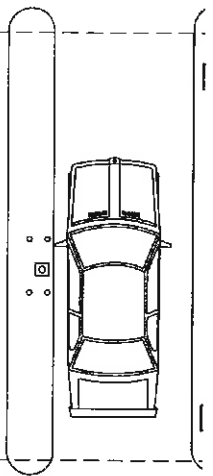
PCSB Putnam County Savings Bank

Midpooze, NY
 lot # 076
 5/16/2015

Revised 004-115



EXTERIOR ELEVATIONS



Preliminary Floor Plan
Scale: NTS



June 24, 2015

Town of Carmel Planning Board
60 McAlpin Avenue
Mahopac, New York 10541

RE: Route 6 Retail Site Plan
Route 6
Tax Map No. 86.11-1-1 – Proposed Lot 2

Dear Chairman Gary and Members of the Board:

Please find enclosed the following plans and documents in support of an application for site plan approval for the above referenced project:

- Five (5) sheet Site Plan Set, dated June 24, 2015. (5 copies)
- Site Plan Application, June 24, 2015. (11 copies)
- SEQR Full EAF – Submitted under separate cover as part of the Baldwin Subdivision Application.
- Disclosure Addendum Statement, June 24, 2015. (2 copies)
- Site Plan Completeness Certification Form, June 24, 2015. (11 copies)
- One (1) sheet Building floor plan and elevations, prepared by JFM Architect. (5 copies)
- Deed for property. (2 copies)
- CD containing pdfs of submitted plans and documents. (1 copy)
- A \$4,600.00 check for the Site Plan Application Fee (\$2,000.00 fee plus \$100.00/parking space for 26 parking spaces)

The applicant seeks site plan approval for a new 5,000 s.f. commercial building consisting of two (2) 2,500 s.f. retail spaces with a single drive-up window and associated parking, to be located on Lot 2 of the proposed Baldwin Subdivision.

We trust the enclosed information will be found adequate. Please place the project on the agenda for the July 8, 2015 Planning Board meeting for discussion with the Board.

Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:



Jeffrey J. Contemo, PE
Senior Principal Engineer

JJC/dlm

Enclosures

cc: Fred Koelsch, w/enclosures

Insite File No. 02119.100

3 Garrett Place, Carmel, New York 10512 (845) 225-9690 Fax (845) 225-9717
www.insite-eng.com



TOWN OF CARMEL
 SITE PLAN APPLICATION
 INSTRUCTIONS



The Town of Carmel Planning Board meetings are held twice a month, on the second and fourth Wednesday's, at 7:00 PM at Carmel Town Hall, 60 McAlpin Avenue, Carmel

The submission deadline is 10 days prior to the Planning Board meeting. New site plan applications that have been deemed complete will be placed on the agenda in the order they are received.

No application will be placed on the agenda that is incomplete

Pre-Submission:

Prior to the formal submission of the site plan, a pre-submission conference may be requested by the applicant to be conducted with representatives from the Town, which may include the Town Planner, Town Engineer, Director of Code Enforcement and/or the Planning Board Attorney. This conference will serve to educate the applicant on the process he/she must follow, clarify the information required to submit a complete site plan application, and to highlight any specific areas of concern. You may arrange a pre-submission conference through the Planning Board Secretary at (845) 628-1500 extension 190.

Submission Requirements:

At least 10 days prior to the Planning Board meeting, the site plan application shall be submitted to the Planning Board Secretary as follows:

All site plans shall be signed, sealed and folded with the title box legible. The application package shall include:

- 11 copies of the Site Plan Application Form, signed and notarized.
- 11 copies of the SEQR Environmental Assessment Form (use of short form or long form shall be determined at pre-submission conference).
- 5 full size sets of the Site Plan (including floor plans and elevations)
- 1 CD (in pdf. format) containing an electronic version of the Site Plan
- 2 copies of the Disclosure Statement
- 11 copies of the Site Plan Completeness Certification Form
- All supplemental studies, reports, plans and renderings.
- 2 copies of the current deed.
- N/A* 2 copies of all easements, covenants and restrictions.
- The appropriate fee, determined from the attached fee schedule. Make checks payable to the *Town of Carmel*.

Rose Yumbetta 6/29/15
 Planning Board Secretary; Date

Bill [Signature] 6/20/15
 Town Engineer; Date



TOWN OF CARMEL SITE PLAN APPLICATION



Per Town of Carmel Code – Section 156 - Zoning

SITE IDENTIFICATION INFORMATION		
Application Name: ROUTE 6 RETAIL	Application # 15-0008	Date Submitted: 6-24-15
Site Address: No. 150 Street: ROUTE 6 Hamlet:		
Property Location: (Identify landmarks, distance from intersections, etc.) 500'± NORTH OF INTERSECTION OF ROUTE 6 + BALDWIN PLACE ROAD		
Town of Carmel Tax Map Designation: Section 86.11 Block 1 Lot(s) 1	Zoning Designation of Site: C1BP	
Property Deed Recorded in County Clerk's Office Date _____ Liber 1730 Page 394	Liens, Mortgages or other Encumbrances Yes _____ No _____	
Existing Easements Relating to the Site <input checked="" type="radio"/> No Yes Describe and attach copies:	Are Easements Proposed? No <input checked="" type="radio"/> Yes Describe and attach copies: ACCESS AND UTILITY EASEMENT TO BE PROVIDED LATER.	
Have Property Owners within a 500' Radius of the Site Been Identified? <input checked="" type="radio"/> Yes <input type="radio"/> No Attached List to this Application Form		
APPLICANT/OWNER INFORMATION		
Property Owner: BALDWIN HILLS REALTY, LLC	Phone #: 228-1400 Fax#: 228-5400	Email: CRILLC@COMCAST.NET
Owners Address: No. 1699 Street: ROUTE 6, SUITE 1 Town: CARMEL State: NY Zip: 10512		
Applicant (If different than owner): SAME	Phone #: Fax#:	Email:
Applicant Address (If different than owner): No. _____ Street: _____ Town: _____ State: _____ Zip: _____		
Individual/ Firm Responsible for Preparing Site Plan: JEFFREY J. CARTELMO P.E., INSITE ENGINEERING SURVEYING & LANDSCAPE ARCHITECTURE, P.C.	Phone #: 845-225-9690 Fax#: 845-225-9717	Email: jcartelmo@insite-eng.com
Address: No. 3 Street: GARRETT PLACE Town: CARMEL State: NY Zip: 10512		
Other Representatives:	Phone #: Fax#:	Email:
Owners Address: No. _____ Street: _____ Town: _____ State: _____ Zip: _____		
PROJECT DESCRIPTION		
Describe the project, proposed use and operation thereof: PROPOSED COMMERCIAL BUILDING WITH TWO RETAIL ESTABLISHMENTS ON PROPOSED LOT 2 OF THE BALDWIN SUBDIVISION		

TOWN OF CARMEL SITE PLAN APPLICATION

PROJECT INFORMATION		
Lot size: Acres: <u>3.2±</u> Square Feet:		Square footage of all existing structures (by floor): <u>0</u>
# of existing parking spaces: <u>0</u>	# of proposed parking spaces: <u>26</u>	
# of existing dwelling units: <u>0</u>	# of proposed dwelling units: <u>0</u>	
Is the site served by the following public utility infrastructure:		
<ul style="list-style-type: none"> ▪ Is project in sewer district or will private septic system(s) be installed? <u>PRIVATE SEPTIC SYSTEM</u> ▪ If yes to Sanitary Sewer answer the following: <ul style="list-style-type: none"> ▶ Does approval exist to connect to sewer main? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> ▶ Is this an in-district connection? _____ Out-of district connection? _____ ▶ What is the total sewer capacity at time of application? _____ ▶ What is your anticipated average and maximum daily flow _____ 		
For Town of Carmel Town Engineer		
▶ What is the sewer capacity <u>NA</u>		
<ul style="list-style-type: none"> ▪ Water Supply Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> <u>PRIVATE ON-SITE WELL</u> 		
If Yes: ▶ Does approval exist to connect to water main? Yes: <input type="checkbox"/> No: <input type="checkbox"/>		
▶ What is the total water capacity at time of application? _____		
▶ What is your anticipated average and maximum daily demand _____		
<ul style="list-style-type: none"> ▪ Storm Sewer Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> ▪ Electric Service Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> ▪ Gas Service Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> • Telephone/Cable Lines Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> 		
For Town of Carmel Town Engineer		
Water Flows <u>NA</u>		
Sewer Flows <u>NA</u>		
<u>6/26/5</u>		
Town Engineer; Date		
What is the predominant soil type(s) on the site? <u>PnB, PnD, RDA, Sh</u>	What is the approximate depth to water table? <u>2'±</u>	
Site slope categories:	15-25% <u>30</u> %	25-35% <u>0</u> %
Estimated quantity of excavation:	Cut (C.Y.) <u>20,000 cy</u>	Fill (C.Y.) <u>400 cy</u>
Is Blasting Proposed Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> Unknown: <input type="checkbox"/>	Is the site located in a designated Critical Environmental Area? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Does a curb cut exist on the site? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	Are new curb cuts proposed? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	What is the sight distance? Left <u>> 500'</u> Right <u>> 800'</u> (ONTO RTE 6 FROM ACCESS ROAD)
Is the site located within 500' of: <u>TO BE DETERMINED</u>		
<ul style="list-style-type: none"> • The boundary of an adjoining city, town or village Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> • The boundary of a state or county park, recreation area or road right-of-way Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> • A county drainage channel line. Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> • The boundary of state or county owned land on which a building is located Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> 		

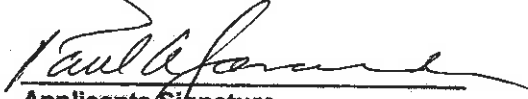
TOWN OF CARMEL SITE PLAN APPLICATION

Is the site listed on the State or Federal Register of Historic Place (or substantially contiguous)	
Yes: <input type="checkbox"/>	No: <input checked="" type="checkbox"/>
Is the site located in a designated floodplain?	
Yes: <input type="checkbox"/>	No: <input checked="" type="checkbox"/>
Will the project require coverage under the Current NYSDEC Stormwater Regulations	
Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
Will the project require coverage under the Current NYDEP Stormwater Regulations	
Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
Does the site disturb more than 5,000 sq ft	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>
Does the site disturb more than 1 acre	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>
Does the site contain freshwater wetlands?	
Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
Jurisdiction:	
NYSDEC: <input checked="" type="checkbox"/> Town of Carmel: <input checked="" type="checkbox"/>	
<i>If present, the wetlands must be delineated in the field by a Wetland Professional, and survey located on the Site Plan.</i>	
Are encroachments in regulated wetlands or wetland buffers proposed?	
Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
Does this application require a referral to the Environmental Conservation Board?	Yes: <input checked="" type="checkbox"/> No: <input checked="" type="checkbox"/>
Does the site contain waterbodies, streams or watercourses?	
Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
Are any encroachments, crossings or alterations proposed?	
Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Is the site located adjacent to New York City watershed lands?	
Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Is the project funded, partially or in total, by grants or loans from a public source?	
Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Will municipal or private solid waste disposal be utilized?	
Public: <input type="checkbox"/> Private: <input checked="" type="checkbox"/>	
Has this application been referred to the Fire Department?	
Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
What is the estimated time of construction for the project?	
12 MONTHS	

ZONING COMPLIANCE INFORMATION

Zoning Provision	Required	Existing	Proposed
Lot Area	3 AC.	12.93 AC	3.2 AC
Lot Coverage		0	
Lot Width	200'		292'
Lot Depth	200'		
Front Yard	50'	N/A	149'
Side Yard	40'	N/A	47'
Rear Yard	40'	N/A	204'
Minimum Required Floor Area	5,000 SF	N/A	5,000 s.f.
Floor Area Ratio		N/A	-
Height	40'	N/A	Less than 40'
Off-Street Parking	25	0	26
Off-Street Loading	2	0	2

TOWN OF CARMEL SITE PLAN APPLICATION

Will variances be required? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	If yes, identify variances:
PROPOSED BUILDING MATERIALS	
Foundation	CONCRETE
Structural System	METAL STUD FRAMING
Roof	ARCHITECTURAL ASPHALT SHINGLES
Exterior Walls	HARDIPANEL + HARDIPLANK SIDING
APPLICANTS ACKNOWLEDGEMENT	
I hereby depose and certify that all the above statements and information, and all statements and information contained in the supporting documents and drawings attached hereto are true and correct.	
<u>Paul A. Amanda</u> Applicants Name	 Applicants Signature
Sworn before me this <u>25th</u> day of <u>June</u> 20 <u>15</u>	
<u>Alicia Hansen</u> Notary Public	Alicia Hansen Notary Public, State of New York Reg. # 01H A6086470 Qualified In Dutchess County Commission Expires January 21, 20 <u>19</u>



**TOWN OF CARMEL
SITE PLAN COMPLETENESS
CERTIFICATION FORM**



All Site Plans submitted to the Planning Board for review shall include the following information and details, as set forth in Section 156-61 B of the Town of Carmel Zoning Ordinance.

This form shall be included with the site plan submission

<i>Requirement Data</i>		<i>To Be Completed by the Applicant</i>	<i>Waived by the Town</i>
1	Name and title of person preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2	Name of the applicant and owner (if different from applicant)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3	Original drawing date, revision dates, scale and north arrow	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4	Tax map, block and lot number(s), zoning district	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5	All existing property lines, name of owner of each property within a 500' radius of the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6	Contour lines at two-foot intervals, grades of all roads, driveways, sanitary and storm sewers	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7	The location of all water bodies, streams, watercourses, wetland areas, wooded areas, rights-of-way, streets, roads, highways, railroads, buildings, structures	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8	The location of all existing and proposed easements	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9	The location of all existing and proposed structures, their use, setback dimensions, floor plans, front, side and rear elevations, buildable area.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10	On site circulation systems, access, egress ways and service roads, emergency service access and traffic mitigation measures	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11	Sidewalks, paths and other means of pedestrian circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12	On-site parking and loading spaces and travel aisles with dimensions	<input checked="" type="checkbox"/>	<input type="checkbox"/>
13	The location, height and type of exterior lighting fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>
14	Proposed signage	<input checked="" type="checkbox"/>	<input type="checkbox"/>
15	For non-residential uses, an estimate of the number of employees who will be using the site, description of the operation, types of products sold, types of machinery and equipment used	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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TOWN OF CARMEL SITE PLAN COMPLETENESS CERTIFICATION FORM

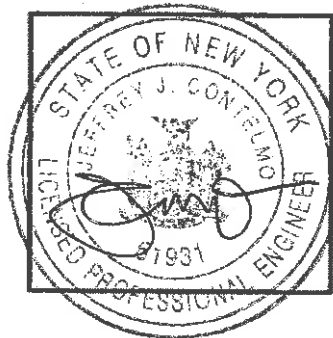


	Requirement Data	To Be Completed by the Applicant	Waived by the Town
16	The location of clubhouses, swimming pools, open spaces, parks or other recreational areas, and identification of who is responsible for maintenance	<input type="checkbox"/> N/A	<input type="checkbox"/>
17	The location and design of buffer areas, screening or other landscaping, including grading and water management. A comprehensive landscaping plan in accordance with the Tree Conservation Law	<input checked="" type="checkbox"/>	<input type="checkbox"/>
18	The location of public and private utilities, maintenance responsibilities, trash and garbage areas	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19	A list, certified by the Town Assessor, of all property owners within 500 feet of the site boundary	<input checked="" type="checkbox"/> TO BE PROVIDED LATER	<input type="checkbox"/>
20	Any other information required by the Planning Board which is reasonably necessary to ascertain compliance with this chapter	<input checked="" type="checkbox"/> TO BE DETERMINED	<input type="checkbox"/>

✓
✓
✓
✓
✓

Applicants Certification (to be completed by the licensed professional preparing the site plan:

I JEFFREY J. CONTELMO P.E. hereby certify that the site plan to which I have attached my seal and signature, meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:



Professionals Seal

Paul Camarda 6/25/15
Signature - Applicant Date

Paul Camarda 6/25/15
Signature - Owner Date

PAUL CAMARDA
OWNER/APPLICANT



TOWN OF CARMEL
 SITE PLAN COMPLETENESS
 CERTIFICATION FORM



Town Certification (to be completed by the Town)

I Rose Trombetta hereby confirm that the site plan meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:

Rose Trombetta
 Signature - Planning Board Secretary

6/29/15
 Date

[Signature]
 Signature - Town Engineer

6/29/15
 Date

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Sponsor Information.

Name of Action or Project: Route 6 Retail Site Plan		
Project Location (describe, and attach a general location map): Route 6, Town of Carmel, Putnam County - See Location Map		
Brief Description of Proposed Action (include purpose or need): Proposed commercial site plan on 3.2 acres in the C/BP (Commercial/Business Park) Zoning District, part of the proposed Baldwin Subdivision, 2-lot commercial subdivision.		
Name of Applicant/Sponsor: Baldwin Hills Realty, LLC	Telephone: 845-228-1400	
	E-Mail: crillc@comcast.net	
Address: 1699 Route 6, Suite 1		
City/PO: Carmel	State: New York	Zip Code: 10512
Project Contact (if not same as sponsor, give name and title/role): Jeffrey J. Contelmo, P.E./Senior Principal Engineer	Telephone: 845-225-9690	
	E-Mail: jcontelmo@insite-eng.com	
Address: 3 Garrett Place		
City/PO: Carmel	State: New York	Zip Code: 10512
Property Owner (if not same as sponsor): Baldwin Hills Realty LLC	Telephone: 845-228-1400	
	E-Mail: crillc@comcast.net	
Address: 1699 Route 6, Suite 1		
City/PO: Carmel	State: New York	Zip Code: 10512

B. Government Approvals

B. Government Approvals Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, or Village Board of Trustees <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Town of Carmel Planning Board: Site Plan Approval	June 24, 2015
c. City Council, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Town of Carmel Building Permits, Town of Carmel ECB Wetland Permit, Town of Carmel MS4 SWPPP Acceptance	TBD
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	P. C. Dept. of Health - Individual well and SSTS approvals	TBD
f. Regional agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYCDEP: SWPPP and SSTS approvals	TBD
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYSDOT: Hwy. Work Permit, NYSDEC: GP-0-15-002 Coverage; NYSDEC Wetland Permit	TBD
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes,		
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

C. Planning and Zoning

C.1. Planning and zoning actions.	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<ul style="list-style-type: none"> If Yes, complete sections C, F and G. If No, proceed to question C.2 and complete all remaining sections and questions in Part 1 	
C.2. Adopted land use plans.	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, identify the plan(s):	
<u>NYC Watershed Boundary</u> _____ _____	
c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	
_____ _____ _____	

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
 If Yes, what is the zoning classification(s) including any applicable overlay district?
C/BP (Commercial/Business Park)

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No
 If Yes,
 i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? Mahopac Central School District

b. What police or other public protection forces serve the project site?
Carmel Police Department

c. Which fire protection and emergency medical services serve the project site?
Mahopac Volunteer Fire Department

d. What parks serve the project site?
None

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Commercial

b. a. Total acreage of the site of the proposed action? 3.2 ± acres
 b. Total acreage to be physically disturbed? 2.0± acres
 c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 12.93± acres

c. Is the proposed action an expansion of an existing project or use? Yes No
 i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
 If Yes,
 i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)
Commercial
 ii. Is a cluster/conservation layout proposed? Yes No
 iii. Number of lots proposed? 2
 iv. Minimum and maximum proposed lot sizes? Minimum 3.2+/- AC Maximum 9.8+/-AC

e. Will proposed action be constructed in multiple phases? Yes No
 i. If No, anticipated period of construction: 12 months
 ii. If Yes:
 • Total number of phases anticipated _____
 • Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
 • Anticipated completion date of final phase _____ month _____ year
 • Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,

i. Total number of structures 1

ii. Dimensions (in feet) of largest proposed structure: <40' height; 70± width; and 75± length

iii. Approximate extent of building space to be heated or cooled: 5,000 s.f. ± square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: _____

ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: Stormwater runoff from proposed improvements

iii. If other than water, identify the type of impounded/contained liquids and their source. _____

iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres

v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) Yes No
 If Yes:

i. What is the purpose of the excavation or dredging? _____

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): _____
- Over what duration of time? _____

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____

iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): NYSDEC FWE ML-11-No disturbance to the wetland. Disturbance proposed within the 100' adjacent area.

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:
Disturbance within the 100' adjacent area. Regrading to construct the stormwater management infiltration basin.

iii. Will proposed action cause or result in disturbance to bottom sediments? Yes No
 If Yes, describe: _____

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No
 If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____
The area will be utilized as a stormwater management basin and planted and seeded with native vegetation.

c. Will the proposed action use, or create a new demand for water? Yes No
 If Yes:

i. Total anticipated water usage/demand per day: 500 gpd design flow gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No
 If Yes:

- Name of district or service area: _____
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No
 If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No
 If, Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), maximum pumping capacity: 5 min. gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No
 If Yes:

i. Total anticipated liquid waste generation per day: 500 gpd design gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): Sanitary wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No
 If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

• Do existing sewer lines serve the project site? Yes No
 • Will line extension within an existing district be necessary to serve the project? Yes No
 If Yes:
 • Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:
 • Applicant/sponsor for new district: _____
 • Date application submitted or anticipated: _____
 • What is the receiving water for the wastewater discharge? _____
 v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans):
Individual subsurface sewage treatment systems

 vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____
None

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:
 i. How much impervious surface will the project create in relation to total size of project parcel?
 _____ Square feet or 0.8± acres (impervious surface)
 _____ Square feet or 3.2± acres (parcel size)
 ii. Describe types of new point sources. Pipes

 iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?
To onsite stormwater management practices

 • If to surface waters, identify receiving water bodies or wetlands: _____
To onsite NYSDEC Freshwater Wetland ML-11

 • Will stormwater runoff flow to adjacent properties? Yes No

iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
 ii. In addition to emissions as calculated in the application, the project will generate:
 • _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 • _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 • _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
 • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____

ii. For commercial activities only, projected number of semi-trailer truck trips/day: _____ 1 _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe:
A traffic signal will be added with turning lanes on Route 6 at entrance to site.

vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____
To Be Determined

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):
Existing local/regional utilities

iii. Will the proposed action require a new, or an upgrade to, an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

i. During Construction: Potentially 8 am to 8 pm	ii. During Operations: TBD - Potential for 24 hrs/7 days per week
• Monday - Friday: _____	• Monday - Friday: _____
• Saturday: _____	• Saturday: _____
• Sunday: _____	• Sunday: _____
• Holidays: _____	• Holidays: _____

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No

If yes:

i. Provide details including sources, time of day and duration:
During construction only.

ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
 Describe: _____

n. Will the proposed action have outdoor lighting? Yes No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:
Building and pole-mounted light fixtures at heights, locations, and light levels that will provide safe access to and from vehicles, streets and buildings.

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
 Describe: _____

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No

If Yes:

i. Product(s) to be stored _____

ii. Volume(s) _____ per unit time _____ (e.g., month, year)

iii. Generally describe proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No

If Yes:

i. Describe proposed treatment(s):

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: _____ 1 to 3 tons per _____ week (unit of time)
- Operation : _____ 1 tons per _____ week (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: Separate containers will be provided for recyclable materials
- Operation: Separate containers will be provided for recyclable materials

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: Approved hauler
- Operation: Approved hauler

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No
 If Yes:
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____
 ii. Anticipated rate of disposal/processing:
 • _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
 • _____ Tons/hour, if combustion or thermal treatment
 iii. If landfill, anticipated site life: _____ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No
 If Yes:
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

 ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

 iii. Specify amount to be handled or generated _____ tons/month
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No
 If Yes: provide name and location of facility: _____

 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.
 i. Check all uses that occur on, adjoining and near the project site.
 Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 Forest Agriculture Aquatic Other (specify): _____
 ii. If mix of uses, generally describe:

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0	0.8±	+0.8±
• Forested	2.37±	0.37±	-2.0±
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	0	0.6±	+0.6±
• Agricultural (includes active orchards, field, greenhouse etc.)	0	0	0
• Surface water features (lakes, ponds, streams, rivers, etc.)	*	*	*
• Wetlands (freshwater or tidal)	0.83±	0.83±	0
• Non-vegetated (bare rock, earth or fill)	0	0	0
• Other Describe: <u>lawns, landscaping, stormwater management</u>	0	0.6±	+0.6±

* Surface water included in wetlands.

c. Is the project site presently used by members of the community for public recreation? Yes No
 i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
 If Yes,
 i. Identify Facilities:
 The Kohler Center and Senior Housing at Mahopac Hills

e. Does the project site contain an existing dam? Yes No
 If Yes:
 i. Dimensions of the dam and impoundment:
 • Dam height: _____ feet
 • Dam length: _____ feet
 • Surface area: _____ acres
 • Volume impounded: _____ gallons OR acre-feet
 ii. Dam's existing hazard classification: _____
 iii. Provide date and summarize results of last inspection:

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
 If Yes:
 i. Has the facility been formally closed? Yes No
 • If yes, cite sources/documentation: _____
 ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:

 iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
 If Yes:
 i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
 If Yes:
 i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
 ii. If site has been subject of RCRA corrective activities, describe control measures:

 iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
 If yes, provide DEC ID number(s): 360023
 iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):
 Periodic monitoring and Plant 1 groundwater pump and GAC treatment remedial system ongoing at Somers Commons.

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ greater than 8± feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site:

PnC, PnD	_____	60 %
RdA	_____	35 %
Sh	_____	5 %

d. What is the average depth to the water table on the project site? Average: _____ 4 feet

e. Drainage status of project site soils: Well Drained: _____ 60 % of site
 Moderately Well Drained: _____ % of site
 Poorly Drained _____ 40 % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: _____ 60 % of site
 10-15%: _____ 40 % of site
 15% or greater: _____ % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No

If Yes to either i or ii, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name 864-137, 864-138 Classification C, B
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name Federal Waters, NYSDEC Freshwater Wetland Approximate Size 85.8± acres
- Wetland No. (if regulated by DEC) ML-11

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100 year Floodplain? Yes No

k. Is the project site in the 500 year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:
 i. Name of aquifer: _____

m. Identify the predominant wildlife species that occupy or use the project site: _____
 Common and abundant songbird species, small mammals such as squirrels and chipmunks, deer, reptiles and amphibians _____

n. Does the project site contain a designated significant natural community? Yes No
 If Yes:
 i. Describe the habitat/community (composition, function, and basis for designation): _____
 ii. Source(s) of description or evaluation: _____
 iii. Extent of community/habitat:
 • Currently: _____ acres
 • Following completion of project as proposed: _____ acres
 • Gain or loss (indicate + or -): _____ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? Yes No

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? Yes No
 Per NYSDEC Environmental Resource Mapper, the project area is within the vicinity of one or more rare animals and/or rare plants. This is pending correspondence with NY Natural Heritage Program.

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? Yes No
 If yes, give a brief description of how the proposed action may affect that use: _____
 animals and/or rare plants. This is pending correspondence with NY Natural Heritage Program.

E.3. Designated Public Resources On or Near Project Site

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? Yes No
 If Yes, provide county plus district name/number: _____

b. Are agricultural lands consisting of highly productive soils present? Yes No
 i. If Yes: acreage(s) on project site? _____
 ii. Source(s) of soil rating(s): _____

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? Yes No
 If Yes:
 i. Nature of the natural landmark: Biological Community Geological Feature
 ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? Yes No
 If Yes:
 i. CEA name: _____
 ii. Basis for designation: _____
 iii. Designating agency and date: _____

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District	
ii. Name: _____	
iii. Brief description of attributes on which listing is based: _____	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? <small>Per online mapper - pending correspondence with SHPO.</small>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
i. Describe possible resource(s): _____	
ii. Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
i. Identify resource: _____	
ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____	
iii. Distance between project and resource: _____ miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
i. Identify the name of the river and its designation: _____	
ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
<input type="checkbox"/> Yes <input type="checkbox"/> No	

F. Additional Information

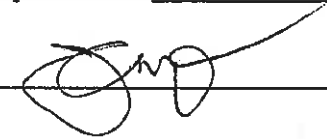
Attach any additional information which may be needed to clarify your project.

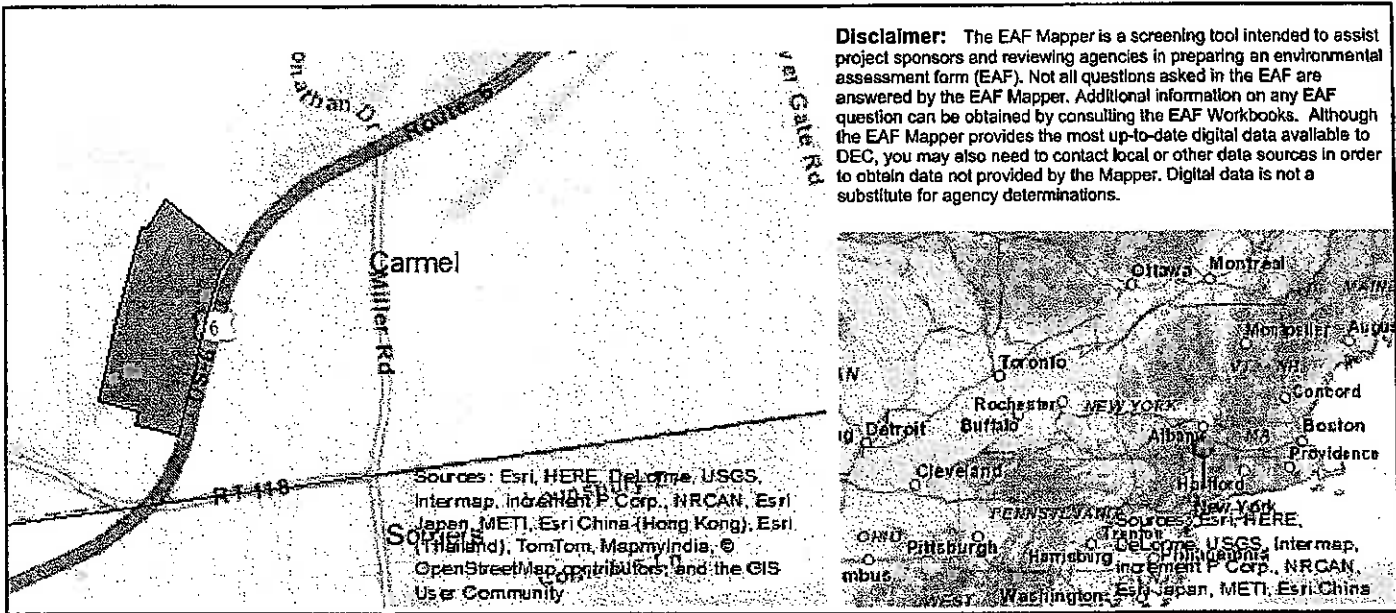
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

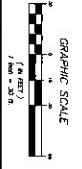
Applicant/Sponsor Name Jeffrey J. Contelmo, P.E. Date 6/29/15

Signature  Title Agent for Applicant



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Yes - Digital mapping data are not available for all Special Planning Districts. Refer to EAF Workbook.
C.2.b. [Special Planning District - Name]	NYC Watershed Boundary
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	Yes
E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID]	360023
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.iv [Surface Water Features - Stream Name]	864-137, 864-138
E.2.h.iv [Surface Water Features - Stream Classification]	C, B
E.2.h.iv [Surface Water Features - Wetlands Name]	Federal Waters, NYS Wetland
E.2.h.iv [Surface Water Features - Wetlands Size]	NYS Wetland (in acres):85.8

E.2.ii.iv [Surface Water Features - DEC Wetlands Number]	WLE-11
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	Yes
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	Yes
E.3.d [Critical Environmental Area - Name]	Baldwin Place Area
E.3.d.ii [Critical Environmental Area - Reason]	Difficulties w/ portable water source
E.3.d.iii [Critical Environmental Area – Date and Agency]	Date:9-26-90, Agency:Somers, Town of
E.3.e. [National Register of Historic Places]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No



LEGEND

1	DISTING PROPERTY LINE
2	EXISTING EASEMENT
3	EXISTING PROPERTY LINE
4	EXISTING DRIVE/STREET
5	EXISTING DRIVE/STREET W/IN LOT 2 (SEE PLAN)
6	EXISTING DRIVE/STREET
7	EXISTING DRIVE/STREET
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97	EXISTING DRIVE/STREET
98	EXISTING DRIVE/STREET
99	EXISTING DRIVE/STREET
100	EXISTING DRIVE/STREET

NO.	DATE	DESCRIPTION
1	01/15/10	ISSUE FOR PERMIT
2	01/15/10	ISSUE FOR PERMIT

PROJECT: ROUTE & RETAIL

SUBPROJECT: GRAVING & UTILITIES PLAN

DRAWING NO. SP-2

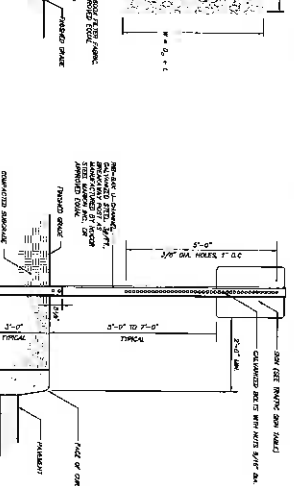
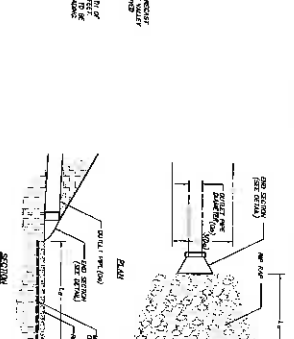
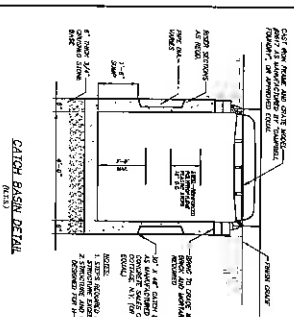
SHEET 5

SCALE: 1" = 30'

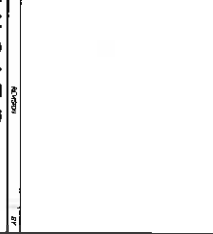
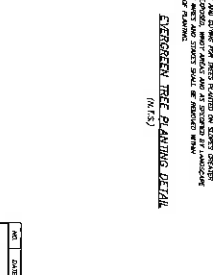
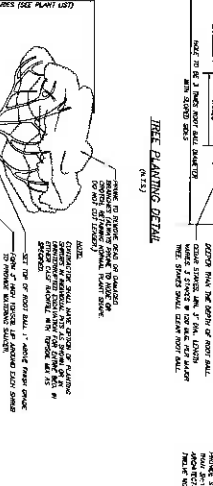
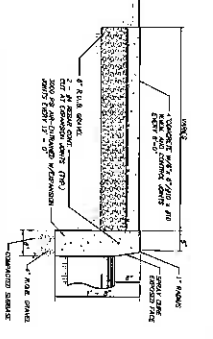
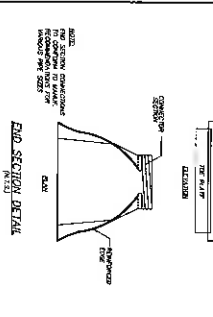
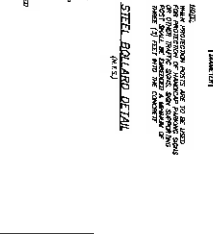
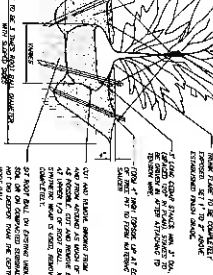
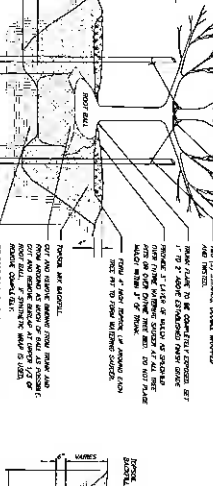
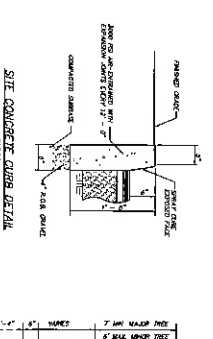
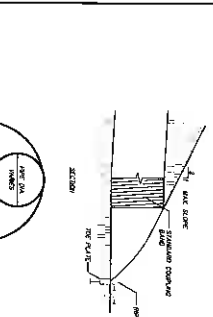
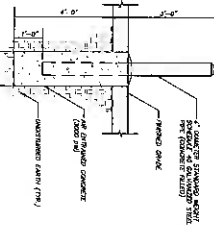
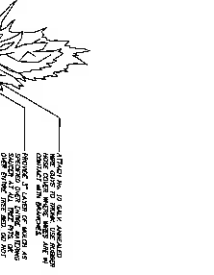
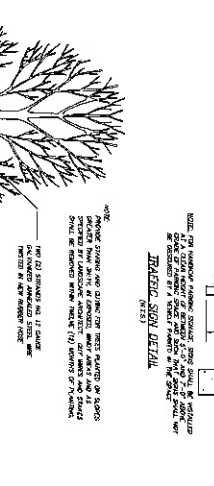
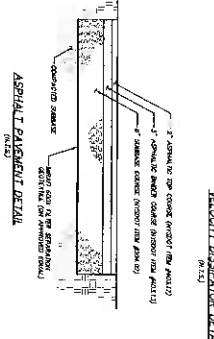
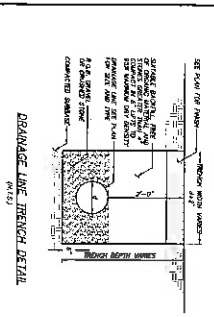
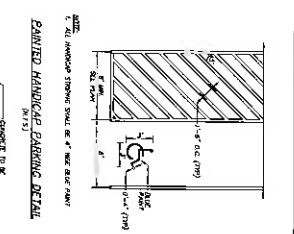
DATE: 01/15/10

DRAWN BY: JAC

CHECKED BY: JAC



LOOKING	KEY	SIZE	DESCRIPTION
1		12" x 12"	12" x 12" SIGN
2		18" x 18"	18" x 18" SIGN
3		24" x 24"	24" x 24" SIGN
4		36" x 36"	36" x 36" SIGN
5		48" x 48"	48" x 48" SIGN



CONCRETE CURB SHALL BE 4" MIN. THICK AND 12" MIN. HIGH. ALL CURBS SHALL BE FINISHED WITH A BEVELLED TOP EDGE. CURBS SHALL BE SET IN A 4" MIN. DEEP BED OF 1/2" SAND. CURBS SHALL BE SET IN A 4" MIN. DEEP BED OF 1/2" SAND. CURBS SHALL BE SET IN A 4" MIN. DEEP BED OF 1/2" SAND.

CONCRETE SIDEWALK SHALL BE 4" MIN. THICK AND 12" MIN. HIGH. ALL SIDEWALKS SHALL BE FINISHED WITH A BEVELLED TOP EDGE. SIDEWALKS SHALL BE SET IN A 4" MIN. DEEP BED OF 1/2" SAND. SIDEWALKS SHALL BE SET IN A 4" MIN. DEEP BED OF 1/2" SAND. SIDEWALKS SHALL BE SET IN A 4" MIN. DEEP BED OF 1/2" SAND.

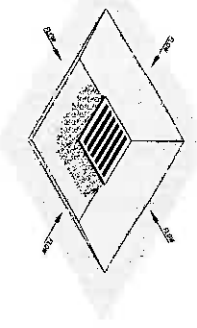
TREE PLANNING SHALL BE IN ACCORDANCE WITH THE CITY OF LOS ANGELES TREE PRESERVATION ORDINANCE. ALL TREES SHALL BE PROTECTED DURING CONSTRUCTION. ALL TREES SHALL BE PROTECTED DURING CONSTRUCTION. ALL TREES SHALL BE PROTECTED DURING CONSTRUCTION.

IMPERVED SIGN SHALL BE IN ACCORDANCE WITH THE CITY OF LOS ANGELES SIGN ORDINANCE. ALL SIGNS SHALL BE PROTECTED DURING CONSTRUCTION. ALL SIGNS SHALL BE PROTECTED DURING CONSTRUCTION. ALL SIGNS SHALL BE PROTECTED DURING CONSTRUCTION.

STEEL BALLARD SHALL BE IN ACCORDANCE WITH THE CITY OF LOS ANGELES BALLARD ORDINANCE. ALL BALLARDS SHALL BE PROTECTED DURING CONSTRUCTION. ALL BALLARDS SHALL BE PROTECTED DURING CONSTRUCTION. ALL BALLARDS SHALL BE PROTECTED DURING CONSTRUCTION.

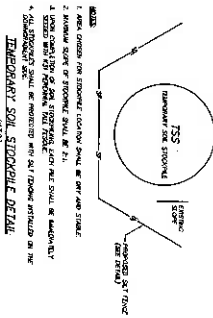
NO.	DATE	BY
1	02/15/10	J.L.C.
2	03/10/10	J.L.C.
3	03/10/10	J.L.C.
4	03/10/10	J.L.C.
5	03/10/10	J.L.C.

PROJECT: ROUTE 6 RETAIL
 CLIENT: LANDSCAPE ARCHITECTURE P.C.
 SHEET: D-1



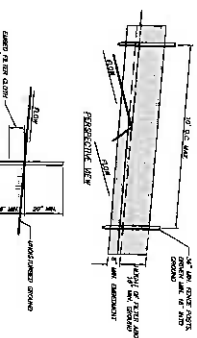
1. GRATE SHALL BE MADE OF 1/2" MESH GALV. STEEL WITH WELDED JOINTS.
2. GRATE SHALL BE SET IN A 1/2" GAP WITH 1/2" CURB.
3. 1/2" GAP SHALL BE FILL WITH 1/2" SAND.
4. 1/2" SAND SHALL BE FILL WITH 1/2" SAND.
5. 1/2" SAND SHALL BE FILL WITH 1/2" SAND.

EXCAVATED DROP INLET PROTECTION DETAIL (N12)



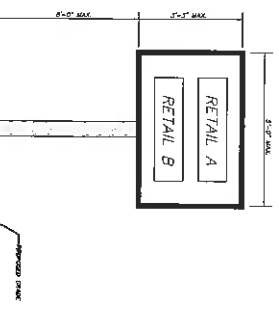
1. AREA UNDER THE STORAGE CURB SHALL BE 1/2" SAND.
2. AREA UNDER THE STORAGE CURB SHALL BE 1/2" SAND.
3. AREA UNDER THE STORAGE CURB SHALL BE 1/2" SAND.
4. AREA UNDER THE STORAGE CURB SHALL BE 1/2" SAND.

TEMPORARY SOIL STORAGE DETAIL (N13)



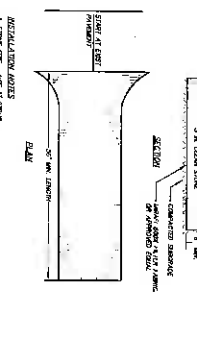
1. SILT FENCE SHALL BE MADE OF 1/2" MESH GALV. STEEL WITH WELDED JOINTS.
2. SILT FENCE SHALL BE SET IN A 1/2" GAP WITH 1/2" CURB.
3. 1/2" GAP SHALL BE FILL WITH 1/2" SAND.
4. 1/2" SAND SHALL BE FILL WITH 1/2" SAND.
5. 1/2" SAND SHALL BE FILL WITH 1/2" SAND.

SILT FENCE DETAIL (N14)



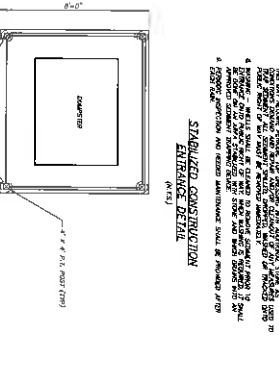
1. RETAINING WALL SHALL BE MADE OF 1/2" MESH GALV. STEEL WITH WELDED JOINTS.
2. RETAINING WALL SHALL BE SET IN A 1/2" GAP WITH 1/2" CURB.
3. 1/2" GAP SHALL BE FILL WITH 1/2" SAND.
4. 1/2" SAND SHALL BE FILL WITH 1/2" SAND.
5. 1/2" SAND SHALL BE FILL WITH 1/2" SAND.

RETAINING SOIL DETAIL (N15)



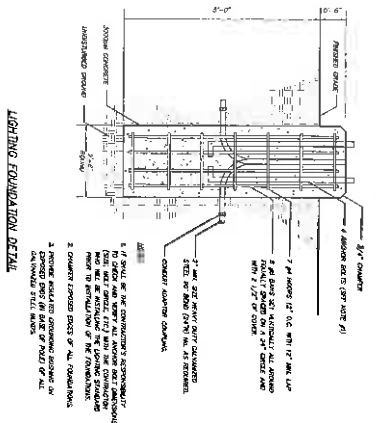
1. STABILIZED CONSTRUCTION ENTRANCE SHALL BE MADE OF 1/2" MESH GALV. STEEL WITH WELDED JOINTS.
2. STABILIZED CONSTRUCTION ENTRANCE SHALL BE SET IN A 1/2" GAP WITH 1/2" CURB.
3. 1/2" GAP SHALL BE FILL WITH 1/2" SAND.
4. 1/2" SAND SHALL BE FILL WITH 1/2" SAND.
5. 1/2" SAND SHALL BE FILL WITH 1/2" SAND.

STABILIZED CONSTRUCTION ENTRANCE DETAIL (N16)



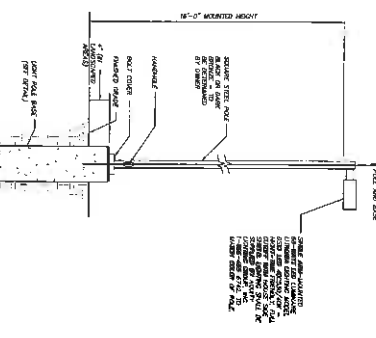
1. DUMBBELLS ENCLOSURE SHALL BE MADE OF 1/2" MESH GALV. STEEL WITH WELDED JOINTS.
2. DUMBBELLS ENCLOSURE SHALL BE SET IN A 1/2" GAP WITH 1/2" CURB.
3. 1/2" GAP SHALL BE FILL WITH 1/2" SAND.
4. 1/2" SAND SHALL BE FILL WITH 1/2" SAND.
5. 1/2" SAND SHALL BE FILL WITH 1/2" SAND.

DUMBBELLS ENCLOSURE DETAIL (N17)



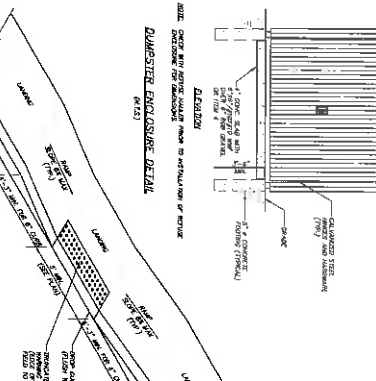
1. LIGHTING FOUNDATION SHALL BE MADE OF 1/2" MESH GALV. STEEL WITH WELDED JOINTS.
2. LIGHTING FOUNDATION SHALL BE SET IN A 1/2" GAP WITH 1/2" CURB.
3. 1/2" GAP SHALL BE FILL WITH 1/2" SAND.
4. 1/2" SAND SHALL BE FILL WITH 1/2" SAND.
5. 1/2" SAND SHALL BE FILL WITH 1/2" SAND.

LIGHTING FOUNDATION DETAIL (N18)



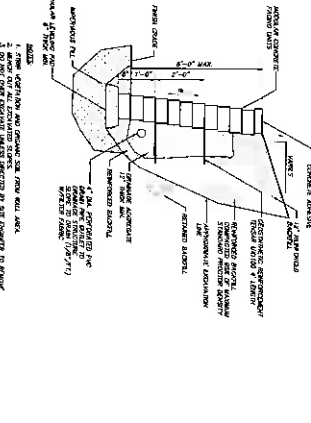
1. POLE-MOUNTED LIGHTING SHALL BE MADE OF 1/2" MESH GALV. STEEL WITH WELDED JOINTS.
2. POLE-MOUNTED LIGHTING SHALL BE SET IN A 1/2" GAP WITH 1/2" CURB.
3. 1/2" GAP SHALL BE FILL WITH 1/2" SAND.
4. 1/2" SAND SHALL BE FILL WITH 1/2" SAND.
5. 1/2" SAND SHALL BE FILL WITH 1/2" SAND.

POLE-MOUNTED LIGHTING DETAIL (N19)



1. SIDEWALK CURB RAMP SHALL BE MADE OF 1/2" MESH GALV. STEEL WITH WELDED JOINTS.
2. SIDEWALK CURB RAMP SHALL BE SET IN A 1/2" GAP WITH 1/2" CURB.
3. 1/2" GAP SHALL BE FILL WITH 1/2" SAND.
4. 1/2" SAND SHALL BE FILL WITH 1/2" SAND.
5. 1/2" SAND SHALL BE FILL WITH 1/2" SAND.

SIDEWALK CURB RAMP DETAIL (N20)



1. MASONRY BLOCK RETAINING WALL SHALL BE MADE OF 1/2" MESH GALV. STEEL WITH WELDED JOINTS.
2. MASONRY BLOCK RETAINING WALL SHALL BE SET IN A 1/2" GAP WITH 1/2" CURB.
3. 1/2" GAP SHALL BE FILL WITH 1/2" SAND.
4. 1/2" SAND SHALL BE FILL WITH 1/2" SAND.
5. 1/2" SAND SHALL BE FILL WITH 1/2" SAND.

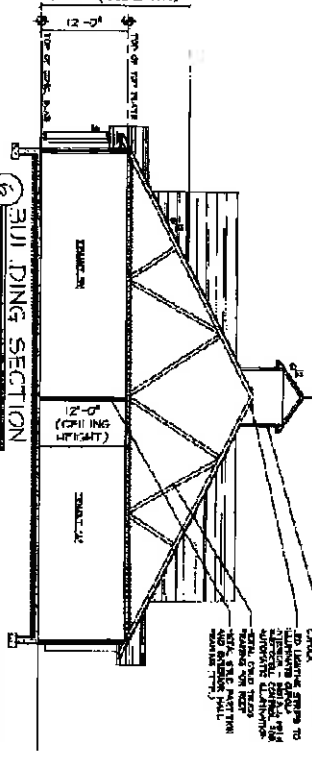
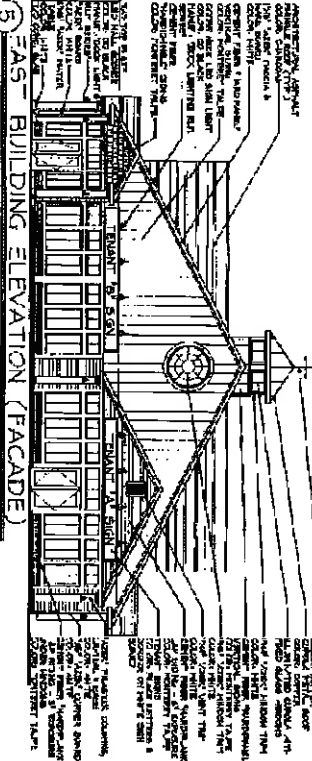
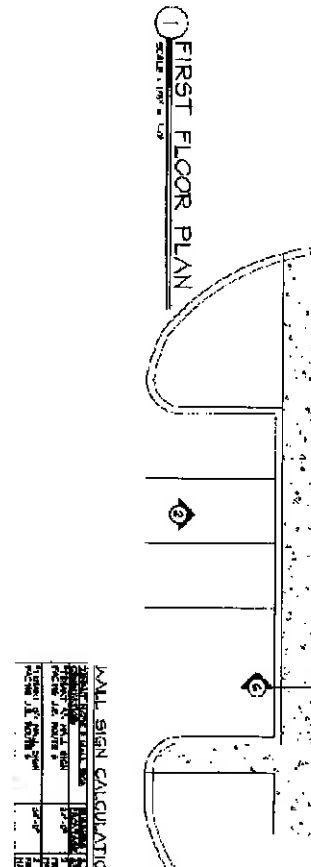
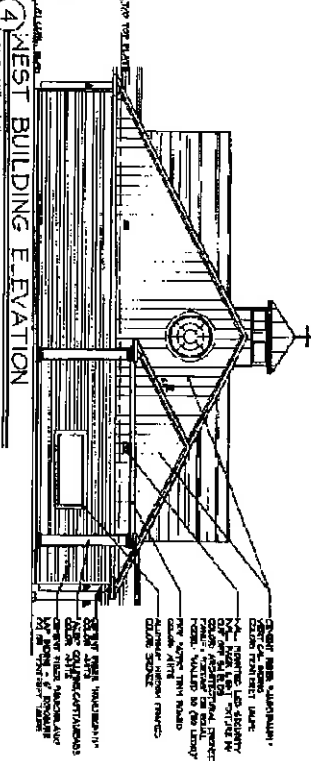
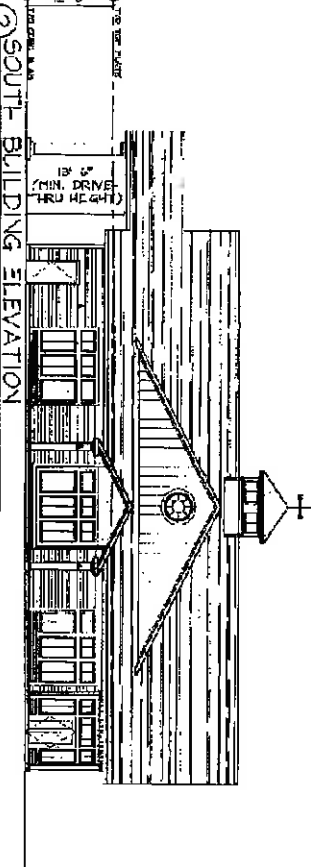
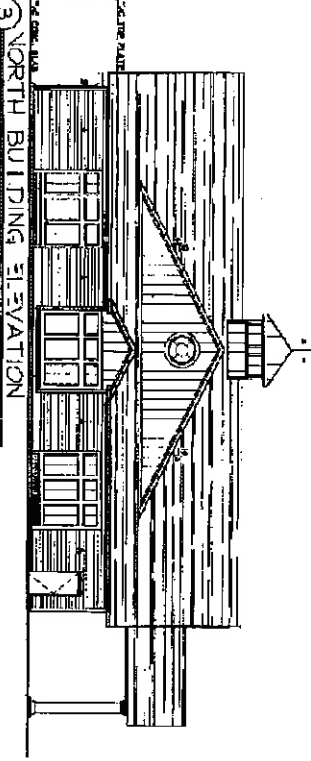
MASONRY BLOCK RETAINING WALL DETAIL (N21)

NO.	DATE	REVISION
1		

INSITE
 LANDSCAPE ARCHITECTURE P.C.
 2000 W. 10TH AVENUE, SUITE 100
 DENVER, CO 80202
 TEL: 303.733.1111
 FAX: 303.733.1112
 WWW: WWW.INSITE-PA.COM

PROJECT: **ROUTE 6 RETAIL**
 DRAWING: **DETAILS**
 SHEET: **D-2**

DATE	BY	CHECKED	SCALE	DATE
AS SHOWN			0.1" = 1'	



WALL SIGN CALCULATIONS:

NO.	TYPE	AREA (SQ. FT.)	WIND LOAD (PSF)	LOAD (LBS.)
1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20

CLEANED NUMBER
A-01

FIRST FLOOR PLAN,
BUILDING ELEVATIONS &
BUILDING SECTION

AS NOTED	JFM
DATE	11.02.2019

ROUTE 6 RETAIL
150 U.S. ROUTE 6
CATONAG, NEW YORK
(TOWN OF GARMEL)



JFM ARCHITECT
JES FANABELLA, REGISTERED ARCHITECT
P.O. BOX 501 BROADWAY #204
ROCHESTER, NY 14602
TEL: 585-432-5500 FAX: 585-432-5501
WWW.JFMARCHITECT.COM

REV

NO.	DATE	DESCRIPTION
01	11.02.2019	ISSUE FOR PERMITS
02	03.28.20	OWNER REVIEW
03	06.24.20	ISSUE TO OWNER



June 25, 2015

Town of Carmel Planning Board
60 McAlpin Avenue
Mahopac, New York 10541

RE: Baldwin Subdivision
Route 6
Tax Map No. 86.11-1-1

Dear Chairman Gary and Members of the Board:

Please find enclosed the following plans and documents in support of an application for a minor commercial subdivision for the above referenced site:

- Sketch Subdivision Plan, dated June 24, 2015. (5 copies)
- Subdivision Application, June 24, 2015. (11 copies)
- SEQR Full EAF, dated June 24, 2015. (11 copies)
- Disclosure Addendum Statement, June 24, 2015. (2 copies)
- Subdivision Completeness Certification Form, June 24, 2015. (11 copies)
- Deed for property. (2 copies)
- CD containing pdfs of submitted plans and documents. (1 copy)
- A \$500.00 check for the Sketch Subdivision Review Fee.

The applicant seeks approval for a two lot commercial subdivision of a 12.93 acre parcel along Route 6 in the CB/P zone. The proposed subdivision is to accommodate a proposed commercial site plan for a new commercial building for PCSB on Lot 1 and a proposed commercial site plan for a new commercial building for Route 6 Retail on Lot 2, which are concurrently under site plan review by your Board. The SEQR Full EAF included in this submission package is for the combined actions on the subject parcel including the Baldwin Subdivision, the PCSB Site Plan on proposed Lot 1 and the Route 6 Retail Site Plan on proposed Lot 2.

We trust the enclosed information will be found adequate for your consideration. Please place the project on the agenda for the July 8, 2015 Planning Board meeting for discussion with the Board. At that time, the applicant is looking for the Board to make a determination whether the proposal is a minor subdivision, to provide sketch subdivision approval and to determine whether the application can move right to final subdivision review with the next submission.

Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By: 

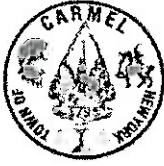
Jeffrey J. Contelmo, PE
Senior Principal Engineer

JJC/dlm

Enclosures

cc: Robert Farrier, w/enclosures
Fred Koelsch, w/enclosures

Insite File No. 15130.100



TOWN OF CARMEL SUBDIVISION APPLICATION INSTRUCTIONS



The Town of Carmel Planning Board meetings are held twice a month, on the second and fourth Wednesday's, at 7:00 PM at Carmel Town Hall, 60 McAlpin Avenue, Carmel

The submission deadline is 10 days prior to the Planning Board meeting. New subdivision applications that have been deemed complete will be placed on the agenda in the order they are received.

Pre-Submission:

Prior to the formal submission of the subdivision, a pre-submission conference may be requested by the applicant to be conducted with representatives from the Town, which may include the Town Planner, Town Engineer, Director of Code Enforcement, Planning Board Attorney. This conference will serve to educate the applicant on the process he/she must follow, clarify the information required to submit a complete subdivision application, and to highlight any specific areas of concern. You may arrange a pre-submission conference through the Planning Board Secretary at (845) 628-1500.

Submission Requirements:

At least 10 days prior to the Planning Board meeting, the subdivision application shall be submitted to the Planning Board Secretary as follows:

All subdivisions shall be signed, sealed and folded with the title box legible. The application package shall include:

- 11 copies of the Subdivision Application Form signed and notarized.
- 11 copies of the SEQR Environmental Assessment Form (use of short form or long form shall be determined at pre-submission conference).
- 5 full size sets of the Subdivision Plan
- 1 CD (in pdf. format) containing an electronic version of the Subdivision Plan
- 2 copies of the Disclosure Statement
- 11 copies of the Subdivision Completeness Certification Form
- All supplemental studies, reports, plans and renderings.
- 2 copies of the current deed.
- 2 copies of all easements, covenants and restrictions.
- The appropriate fee, determined from the attached fee schedule. Make checks payable to the Town of Carmel.

N/A

Dee Grimaldi 6/30/15
Planning Board Secretary; Date

[Signature] 6/30/15
Town Engineer; Date



TOWN OF CARMEL SUBDIVISION APPLICATION



Per Town of Carmel Code – Section 131 – Subdivision of Land

SITE IDENTIFICATION INFORMATION

Application Name: BALDWIN SUBDIVISION		Application # 15-0009	Date Submitted: 6-24-15
Site Address: No. 150 Street: ROUTE 6 Hamlet:			
Property Location: (Identify landmarks, distance from intersections, etc.) 500' ± NORTH OF INTERSECTION OF ROUTE 6 + BALDWIN PLACE ROAD			
Town of Carmel Tax Map Designation: Section 86.11 Block Lot(s)		Zoning Designation of Site: CIBP	
Property Deed Recorded in County Clerk's Office Date Liber 1730 Page 394		Liens, Mortgages or other Encumbrances Yes No	
Existing Easements Relating to the Site <input checked="" type="radio"/> No Yes Describe and attach copies:		Are Easements Proposed? No <input checked="" type="radio"/> Yes Describe and attach copies: ACCESS + UTILITY EASEMENT	
Have Property Owners within a 500' Radius of the Site Been Identified? <input checked="" type="radio"/> Yes No Attached List to this Application Form			

APPLICANT/OWNER INFORMATION

Property Owner: BALDWIN HILLS REALTY, LLC		Phone #: 228-1400 Fax#: 228-5400	Email: crillc@comcast.net
Owners Address: No. 699 Street: ROUTE 6, SUITE 1 Town: CARMEL State: NY Zip: 10512			
Applicant (if different than owner): PCSB		Phone #: Fax#:	Email:
Applicant Address (if different than owner): No. Street: P.O. BOX 417 Town: BREWSTER State: NY Zip: 10509-0417			
Individual/ Firm Responsible for Preparing Site Plan: JEFFREY J. CONTELMO, P.E. INSITE ENGINEERING, SURVEYING + LANDSCAPE ARCHITECTURE, P.C.		Phone #: 845-225-9600 Fax#: 845-225-4717	Email: jcontelmo@insite-eng.com
Address: No. 3 Street: GARRETT PLACE Town: CARMEL State: NY Zip: 10512			
Other Representatives:		Phone #: Fax#:	Email:
Owners Address: No. Street: Town: State: Zip:			

PROJECT DESCRIPTION

Describe the project, proposed use and operation thereof:

PROPOSED 2-LOT COMMERCIAL SUBDIVISION OF 12.93± ACRES IN THE CIBP (COMMERCIAL) BUSINESS PARK) ZONING DISTRICT.

TOWN OF CARMEL SUBDIVISION APPLICATION

PROJECT INFORMATION			
Size of existing parcel to be subdivided: <div style="display: flex; justify-content: space-between;"> 12.93± Acres: Square Feet: </div>			
Major Subdivision <input type="checkbox"/>		Minor Subdivision <input checked="" type="checkbox"/>	
Number of proposed lots: 2	Size of proposed lots: 3.2± ACRES + 9.8± ACRES		
Conventional Subdivision <input checked="" type="checkbox"/>		Cluster Subdivision <input type="checkbox"/>	
Will a 10% open space set aside be provided? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>		If no, will a payment in-lieu be provided? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
Will all new lots have frontage on a mapped street? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>		If not, how will this deficiency be addressed? N/A	
Is the site served by the following public utility infrastructure:			
<ul style="list-style-type: none"> ▪ Sanitary Sewer Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> <ul style="list-style-type: none"> If Yes: <ul style="list-style-type: none"> ▶ Does approval exist to connect to sewer main? Yes: <input type="checkbox"/> No: <input type="checkbox"/> ▶ Is this an in-district connection? _____ Out-of district connection? _____ ▶ What is the total sewer capacity at time of application? _____ ▶ What is your anticipated average and maximum daily flow _____ ▪ Water Supply Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> <ul style="list-style-type: none"> If Yes: <ul style="list-style-type: none"> ▶ Does approval exist to connect to water main? Yes: <input type="checkbox"/> No: <input type="checkbox"/> ▶ What is the total water capacity at time of application? _____ ▶ What is your anticipated average and maximum daily demand _____ ▪ Storm Sewer Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> ▪ Electric Service Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> ▪ Gas Service Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> ▪ Telephone/Cable Lines Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> 			
Will any common areas be created outside of individual lots (road rights-of-way, recreation areas, stormwater management areas, etc.)? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Is a homeowners association proposed? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
What is the predominant soil type(s) on the site? Y&B P&C, P&D		What is the approximate depth to water table? 2'±	
Site slope categories: 15-25% 25% 25-35% 0% >35% 0%			
Estimated quantity of excavation: Cut (C.Y.) N/A Fill (C.Y.) N/A			
Is Blasting Proposed Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> Unknown: <input checked="" type="checkbox"/>			
Is the site located ion a designated Critical Environmental Area? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Does a curb cut exist on the site? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>		Are new curb cuts proposed? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
What is the sight distance? TO BE DETERMINED Left GREATER THAN Right GREATER THAN			
Is the site located within 500' of: 500 feet 500 feet			
<ul style="list-style-type: none"> ▪ The boundary of an adjoining city, town or village Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> ▪ The boundary of a state or county park, recreation area or road right-of-way Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> ▪ A county drainage channel line. Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> 			

TOWN OF CARMEL SUBDIVISION APPLICATION

▪ The boundary of state or county owned land on which a building is located Yes: No:

Is the site listed on the State or Federal Register of Historic Place (or substantially (contiguous))
Yes: No:

Is the site located in a designated floodplain?
Yes: No:

Does the site contain freshwater wetlands?
Yes: No:

Jurisdiction:
NYDEC: Town of Carmel:

If present, the wetlands must be delineated in the field by a Wetland Professional, and survey located on the Site Plan.

Are encroachments in regulated wetlands or wetland buffers proposed? Yes: No:

Does this application require a referral to the Environmental Conservation Board? Yes: No:

Does the site contain waterbodies, streams or watercourses? Yes: No:

Are any encroachments, crossings or alterations proposed? Yes: No:

Is the site located adjacent to New York City watershed lands? Yes: No:

Will municipal or private solid waste disposal be utilized?
Public: Private:

Has this application been referred to the Fire Department? Yes: No:

What is the estimated time of construction for the project?

ZONING COMPLIANCE INFORMATION

Zoning Provision	Required	Existing	Lot 1	Lot 2	Lot 3	Lot 4	Lot 5
Lot Area	3 AC.	12.93 AC	9.8 AC	3.2 AC			
Lot Coverage							
Lot Width	200'		842'	292'			
Front Yard	50'		67'	149'			
Side Yard (minimum of 1)	40'		65'	47'			
Side Yard (total of both)							
Rear Yard	40'		350'	204'			
Habitable Floor Area	5,000 SF.		2,656 SF	5,000 SF.			
Height	40'		< 40'	< 40'			

(if more than 5 lots are proposed, include additional zoning compliance information on a separate sheet)

Will variances be required? Yes: No: If yes, identify variances required for each lot:
MIN. REQ'D FLOOR AREA VARIANCE REQUIRED FOR LOT 1.

APPLICANTS ACKNOWLEDGEMENT

I hereby depose and certify that all the above statements and information, and all statements and information contained in the supporting documents and drawings attached hereto are true and correct.

ROBERT FARRIOR
Applicants Name

[Signature]
Applicants Signature

Sworn before me this 22nd day of June 2015

Alicia Hansen
Notary Public

Alicia Hansen
Notary Public, State of New York
Reg. # 01046086470
Qualified In Dutchess County
Commission Expires January 21, 2019



TOWN OF CARMEL

SUBDIVISION COMPLETENESS CERTIFICATION FORM



All Subdivisions submitted to the Planning Board for review shall include the following information and details, as set forth in Section 131-11-14 of the Town of Carmel Subdivision Regulations.

This form shall be included with the subdivision submission

	Requirement Data	To Be Completed by the Applicant	Waived by the Town
General Requirements			
1	Key map at a scale of one inch equals 800 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2	Title block, including title of map; name of subdivision; name, address, seal and signature of professional engineer or land surveyor preparing the plat; written scale; date of original and all revisions.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3	A legend, including, names of all adjacent landowners and those within 500 feet of any property line; zoning district with the requirements of said zone; tax map, block and lot number; names and addresses of owner and subdivider; north point and graphic scale.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4	Location and identification of all zoning district boundaries.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5	Identification of all maps filed in the County Clerk's office affecting properties within 500 feet of the lot to be subdivided.	<input type="checkbox"/> TO BE PROVIDED LATER	<input type="checkbox"/>
Sketch Plan Requirements			
1	All General Requirements	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2	Proposed subdivision layout at a scale of not less than one inch equals 100 feet.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3	All proposed lot lines, dimensions in feet and the areas of all lots in square feet and identifying numbers for each lot.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4	The location of existing and proposed setback lines, streets within 200 feet of the subdivision, buildings, watercourses, railroads and bridges, culverts, drainpipes and any natural features, such as wooded areas and rock formations.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5	Location and size of areas proposed to be reserved for recreation/open space.	<input type="checkbox"/> N/A	<input type="checkbox"/>

Not included.
 ✓
 ✓
 ✓
 ✓
 ✓
 ✓
 ✓
 ✓



TOWN OF CARMEL SUBDIVISION COMPLETENESS CERTIFICATION FORM



	Requirement Data	To Be Completed by the Applicant	Waived by the Town
Preliminary Plat Requirements			
1	All General and Sketch Plan Requirements	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2	The area included in the subdivision, by area of lots, roads, reservations if any, and total acreage.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3	The existing and proposed contours (at an interval of not more than two feet), suitably designated to differentiate, with proposed first-floor elevations of the buildings.	<input type="checkbox"/> *	<input type="checkbox"/>
4	Names of existing streets and proposed names of new streets.	<input checked="" type="checkbox"/> N/A	<input type="checkbox"/>
5	Preliminary profiles of all proposed roads.	<input type="checkbox"/>	<input type="checkbox"/>
6	Location, type and size of curbs, sidewalks and bikeways.	<input checked="" type="checkbox"/> *	<input type="checkbox"/>
7	For subdivisions of five or more lots, front building elevation sketches and distribution of dissimilar building types on the site to avoid excessive similarity of exterior design.	<input type="checkbox"/> N/A	<input type="checkbox"/>
8	Plans of proposed utility layouts and all facilities, unsized.	<input type="checkbox"/> *	<input type="checkbox"/>
9	The natural flow of surface drainage (indicated with arrows and the final disposal of surface waters); location of existing and proposed watercourses, culverts, bridges, drainpipes, lakes and ponds, detention or retention ponds; tentative location of storm drain inlets with the drainage areas tributary to each outlined and the area shown.	<input type="checkbox"/> *	<input type="checkbox"/>
10	Existing or proposed covenants or deed restrictions applying to the site and a preliminary draft of homeowners' association documents, if applicable.	<input checked="" type="checkbox"/> TO BE PROVIDED LATER AS APPLICABLE	<input type="checkbox"/>
11	A stormwater pollution prevention plan (SWPPP) consistent with the requirements of Article X of Chapter 156 of the Code of the Town of Carmel.	<input type="checkbox"/> REFER TO INDIVIDUAL SITE PLAN APPLICATIONS	<input type="checkbox"/>
Final Plat Requirements			
1	All General, Sketch and Preliminary Plat Requirements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

NOT APPLICABLE @ THIS POINT BY

* REFER TO INDIVIDUAL SITE PLAN APPLICATIONS.



TOWN OF CARMEL SUBDIVISION COMPLETENESS CERTIFICATION FORM



	<i>Requirement Data</i>	<i>To Be Completed by the Applicant</i>	<i>Waived by the Town</i>
2	Dimensions exactly with reference to monuments, bearings, distances in feet, radii, points of curvature and tangency of property lines, lot widths and depths and square feet of each lot.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3	Location of all proposed setback lines on each lot, with corner and irregular-shaped lots identified as to front, side and rear yards.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4	Location of all existing and proposed monuments.	<input checked="" type="checkbox"/> <i>PROPOSED TO BE DETERMINED</i>	<input type="checkbox"/>
5	All existing streets and streams within the subdivision and within 200 feet of the boundaries thereof, the width of the right-of-way of each street and existing public easements and municipal boundaries within 200 feet of the subdivision.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6	All proposed public easements or rights-of-way and the purposes thereof and proposed streets, identifying right-of-way width and names.	<input type="checkbox"/> N/A	<input type="checkbox"/>
7	All parcels proposed for open space/recreation use, with a statement of the purpose of each.	<input type="checkbox"/> N/A	<input type="checkbox"/>
8	Construction plat, which shall include, in addition to the above: final first-floor elevations of dwellings and outside grades at their corner; proposed curb elevations at all lot corners; all existing structures, including a note indicating those to be removed and yard dimensions of those to remain; plans and profiles and proposed improvements and utility layouts; paving widths and locations, section and profiles; sidewalk widths and locations and sections; road alignment, complete with stations, center line curve data and existing and finished contours of the road and all regraded areas; details of manholes, catch basins, headwalls and any other required structure; locations of all street trees, lights and signs; maximum anticipated extent of the areas of cuts and fills where grade	<input checked="" type="checkbox"/> * <i>REFER TO INDIVIDUAL SITE PLANS FOR EACH PROPOSED LOT</i>	<input type="checkbox"/>

NOT APPLICABLE TO THIS PROJECT



TOWN OF CARMEL SUBDIVISION COMPLETENESS CERTIFICATION FORM



	Requirement Data	To Be Completed by the Applicant	Waived by the Town
	changes are proposed; the natural flow of surface drainage and the final disposal of surface waters; slopes of banks of all watercourses, if defined, and boundaries of floodplains; specifications, locations, profiles and detailed cross sections of the proposed storm drains, including all inlets and size of the drainage area of the streets, including grades and all other improvements.		
9	Final copy of the homeowners' association documents, if applicable.	<input type="checkbox"/> N/A	<input type="checkbox"/>
10	Deeds for land to be dedicated for road widening, recreation or other purposes.	<input type="checkbox"/> N/A	<input type="checkbox"/>
11	Erosion control standards.	<input checked="" type="checkbox"/> *	<input type="checkbox"/>
12	A stormwater pollution prevention plan (SWPPP) consistent with the requirements of Article X of Chapter 156 of the Code of the Town of Carmel and with the terms of preliminary plan approval.	<input checked="" type="checkbox"/> * TO BE PROVIDED IN LATER SUBMISSION.	<input type="checkbox"/>

NOT applicable @ this point

* REFER TO INDIVIDUAL SITE PLANS

Applicants Certification (to be completed by the licensed professional preparing the subdivision plan:

I JEFFREY J. CONTELMO P.E. hereby certify that the site plan to which I have attached my seal and signature, meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:



Professionals Seal

Robert Farrier
Signature - Applicant
ROBERT FARRIER (PCSB)

6/22/15
Date

Paul Cardarda
Signature - Owner
PAUL CARDARDA

6/25/15
Date



TOWN OF CARMEL
SUBDIVISION COMPLETENESS
CERTIFICATION FORM



Town Certification (to be completed by the Town)

I Rae Teombetta hereby confirm that the site plan meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:

Rae Teombetta
Signature - Planning Board Secretary

6/29/15
Date

[Signature]
Signature - Town Engineer

6/24/15
Date

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Sponsor Information.

Name of Action or Project: Baldwin Subdivision		
Project Location (describe, and attach a general location map): Route 6, Town of Carmel, Putnam County - See Location Map		
Brief Description of Proposed Action (include purpose or need): Proposed 2-lot commercial subdivision of 12.93± acres in the C/BP (Commercial/Business Park) Zoning District with no impacts proposed: Refer to EAF's for individual commercial site plan applications for project details.		
Name of Applicant/Sponsor: Putnam County Savings Bank		Telephone: 845-279-7101
		E-Mail: robertf@mypcsb.com
Address: P.O. Box 417		
City/PO: Brewster	State: New York	Zip Code: 10509
Project Contact (if not same as sponsor; give name and title/role): Jeffrey J. Contelmo, P.E./Senior Principal Engineer		Telephone: 845-225-9690
		E-Mail: jcontelmo@insite-eng.com
Address: 3 Garrett Place		
City/PO: Carmel	State: New York	Zip Code: 10512
Property Owner (if not same as sponsor): Baldwin Hills Realty LLC		Telephone: 845-228-1400
		E-Mail: crllc@comcast.net
Address: 1699 Route 6, Suite 1		
City/PO: Carmel	State: New York	Zip Code: 10512

B. Government Approvals

B. Government Approvals Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Town of Carmel Planning Board: Subdivision	June 24, 2015
c. City Council, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	P. C. Dept. of Health - Realty Subdivision approval - non-jurisdictional sign-off	TBD
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes,		
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

C. Planning and Zoning

C.1. Planning and zoning actions.	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<ul style="list-style-type: none"> If Yes, complete sections C, F and G. If No, proceed to question C.2 and complete all remaining sections and questions in Part 1 	
C.2. Adopted land use plans.	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, identify the plan(s):	
<u>NYC Watershed Boundary</u>	

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
 If Yes, what is the zoning classification(s) including any applicable overlay district?
C/BP (Commercial/Business Park)

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No
 If Yes,
 i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? Mahopac Central School District

b. What police or other public protection forces serve the project site?
Carmel Police Department

c. Which fire protection and emergency medical services serve the project site?
Mahopac Volunteer Fire Department

d. What parks serve the project site?
None

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Commercial

b. a. Total acreage of the site of the proposed action? 12.93 ± acres
 b. Total acreage to be physically disturbed? 0 acres
 c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 12.93± acres

c. Is the proposed action an expansion of an existing project or use? Yes No
 i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
 If Yes,
 i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)
Commercial
 ii. Is a cluster/conservation layout proposed? Yes No
 iii. Number of lots proposed? 2
 iv. Minimum and maximum proposed lot sizes? Minimum 3.2± AC Maximum 9.8± AC

e. Will proposed action be constructed in multiple phases? Yes No
 i. If No, anticipated period of construction: _____ months
 ii. If Yes:
 • Total number of phases anticipated _____
 • Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
 • Anticipated completion date of final phase _____ month _____ year
 • Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,
 i. Total number of structures _____
 ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length
 iii. Approximate extent of building space to be heated or cooled: _____ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,
 i. Purpose of the impoundment: _____
 ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____
 iii. If other than water, identify the type of impounded/contained liquids and their source. _____
 iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres
 v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length
 vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) Yes No
 If Yes:
 i. What is the purpose of the excavation or dredging? _____
 ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?
 • Volume (specify tons or cubic yards): _____
 • Over what duration of time? _____
 iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____

 iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____

 v. What is the total area to be dredged or excavated? _____ acres
 vi. What is the maximum area to be worked at any one time? _____ acres
 vii. What would be the maximum depth of excavation or dredging? _____ feet
 viii. Will the excavation require blasting? Yes No
 ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:
 i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will proposed action cause or result in disturbance to bottom sediments? Yes No

If Yes, describe: _____

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No

If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No

If Yes:

i. Total anticipated water usage/demand per day: _____ gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No

If Yes:

- Name of district or service area: _____
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No

If Yes:

i. Total anticipated liquid waste generation per day: _____ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

Sanitary wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No

If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

• Do existing sewer lines serve the project site? Yes No
 • Will line extension within an existing district be necessary to serve the project? Yes No
 If Yes:
 • Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:
 • Applicant/sponsor for new district: _____
 • Date application submitted or anticipated: _____
 • What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans):
Individual subsurface sewage treatment systems

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____
None

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:
 i. How much impervious surface will the project create in relation to total size of project parcel?
 _____ Square feet or _____ acres (impervious surface)
 _____ Square feet or _____ acres (parcel size)
 ii. Describe types of new point sources. _____

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

• If to surface waters, identify receiving water bodies or wetlands: _____

• Will stormwater runoff flow to adjacent properties? Yes No

iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
 ii. In addition to emissions as calculated in the application, the project will generate:
 • _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 • _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 • _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
 • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of semi-trailer truck trips/day: _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____

iii. Will the proposed action require a new, or an upgrade to, an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

<p>i. During Construction: N/A</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ 	<p>ii. During Operations: N/A</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____
--	---

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No

If yes:

i. Provide details including sources, time of day and duration:
 During construction only. _____

ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
 Describe: _____

n.. Will the proposed action have outdoor lighting? Yes No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
 Describe: _____

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No

If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures:

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No

If Yes:

i. Product(s) to be stored _____

ii. Volume(s) _____ per unit time _____ (e.g., month, year)

iii. Generally describe proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No

If Yes:

i. Describe proposed treatment(s):

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: _____ tons per _____ (unit of time)
- Operation : _____ tons per _____ (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: _____
- Operation: _____

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: _____
- Operation: _____

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No
 If Yes:
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____
 ii. Anticipated rate of disposal/processing:
 • _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
 • _____ Tons/hour, if combustion or thermal treatment
 iii. If landfill, anticipated site life: _____ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No
 If Yes:
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

 ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

 iii. Specify amount to be handled or generated _____ tons/month
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No
 If Yes: provide name and location of facility: _____

 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.
 i. Check all uses that occur on, adjoining and near the project site.
 Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 Forest Agriculture Aquatic Other (specify): _____
 ii. If mix of uses, generally describe:

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0	0	0
• Forested	10.0±	10.0±	0
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	0	0	0
• Agricultural (includes active orchards, field, greenhouse etc.)	0	0	0
• Surface water features (lakes, ponds, streams, rivers, etc.)	*	*	0
• Wetlands (freshwater or tidal)	2.93±	2.93±	0
• Non-vegetated (bare rock, earth or fill)	0	0	0
• Other Describe: <u>Lawns, landscaping, stormwater management</u>	0	0	

* Surface water included in wetlands.

c. Is the project site presently used by members of the community for public recreation? Yes No
 i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
 If Yes,
 i. Identify Facilities:
The Kohler Center and Senior Housing at Mahopac Hill

e. Does the project site contain an existing dam? (Existing pond outside of project area) Yes No
 If Yes:
 i. Dimensions of the dam and impoundment:
 • Dam height: _____ TBD feet
 • Dam length: _____ 220± feet
 • Surface area: _____ 1.0± acres
 • Volume impounded: _____ gallons OR acre-feet
 ii. Dam's existing hazard classification: Unknown
 iii. Provide date and summarize results of last inspection:
Unknown

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
 If Yes:
 i. Has the facility been formally closed? Yes No
 • If yes, cite sources/documentation: _____
 ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____
 iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
 If Yes:
 i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
 If Yes:
 i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
 ii. If site has been subject of RCRA corrective activities, describe control measures: _____
 iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
 If yes, provide DEC ID number(s): 360023
 iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):
Periodic monitoring and Plant 1 groundwater pump and GAC treatment remedial system ongoing at Somers Commons.

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? greater than 8± feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site:

PnB, PnC, PnD	_____	45 %
RdA	_____	45 %
Sh, Uf, W	_____	10 %

d. What is the average depth to the water table on the project site? Average: 4 feet

e. Drainage status of project site soils:

<input checked="" type="checkbox"/> Well Drained:	_____	57 % of site
<input type="checkbox"/> Moderately Well Drained:	_____	% of site
<input checked="" type="checkbox"/> Poorly Drained	_____	43 % of site

f. Approximate proportion of proposed action site with slopes:

<input checked="" type="checkbox"/> 0-10%:	_____	60 % of site
<input checked="" type="checkbox"/> 10-15%:	_____	15 % of site
<input checked="" type="checkbox"/> 15% or greater:	_____	25 % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No
 If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

• Streams:	Name <u>864-137, 864-138</u>	Classification <u>C, B</u>
• Lakes or Ponds:	Name _____	Classification _____
• Wetlands:	Name <u>Federal Waters, NYSDEC Freshwater Wetland</u>	Approximate Size <u>85.8± acres</u>
• Wetland No. (if regulated by DEC)	<u>ML-11</u>	

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100 year Floodplain? Yes No

k. Is the project site in the 500 year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:

i. Name of aquifer: _____

m. Identify the predominant wildlife species that occupy or use the project site: _____

 common and abundant species of birds, small mammals such as squirrels and chipmunks, deer, reptiles and amphibians

n. Does the project site contain a designated significant natural community? Yes No
 If Yes:
 i. Describe the habitat/community (composition, function, and basis for designation): _____

 ii. Source(s) of description or evaluation: _____
 iii. Extent of community/habitat:
 • Currently: _____ acres
 • Following completion of project as proposed: _____ acres
 • Gain or loss (indicate + or -): _____ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? Yes No

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? Yes No
 Per NYSDEC Environmental Resource Mapper, the project area is within the vicinity of one or more rare animals and/or rare plants. This is pending correspondence with NY Natural Heritage Program.

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? Yes No
 If yes, give a brief description of how the proposed action may affect that use: _____
 animals and/or rare plants. This is pending correspondence with NY Natural Heritage Program.

E.3. Designated Public Resources On or Near Project Site

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? Yes No
 If Yes, provide county plus district name/number: _____

b. Are agricultural lands consisting of highly productive soils present? Yes No
 i. If Yes: acreage(s) on project site? _____
 ii. Source(s) of soil rating(s): _____

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? Yes No
 If Yes:
 i. Nature of the natural landmark: Biological Community Geological Feature
 ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? Yes No
 If Yes:
 i. CEA name: _____
 ii. Basis for designation: _____
 iii. Designating agency and date: _____

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District	
ii. Name: _____	
iii. Brief description of attributes on which listing is based: _____	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<i>Per online mapper - pending correspondence with SHPO.</i>	
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
i. Describe possible resource(s): _____	
ii. Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
i. Identify resource: _____	
ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____	
iii. Distance between project and resource: _____ miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
i. Identify the name of the river and its designation: _____	
ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
<input type="checkbox"/> Yes <input type="checkbox"/> No	

F. Additional Information

Attach any additional information which may be needed to clarify your project.

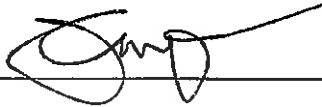
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

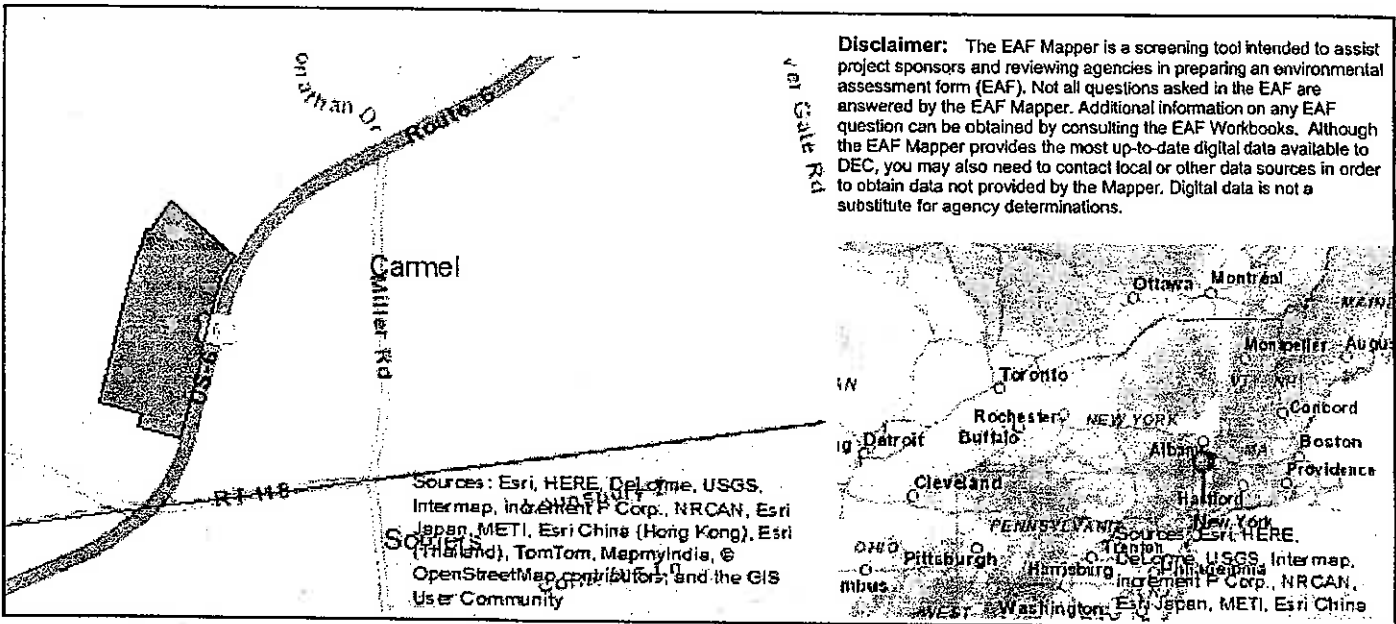
I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Jeffrey J. Contelmo, P.E.

Date 6/29/15

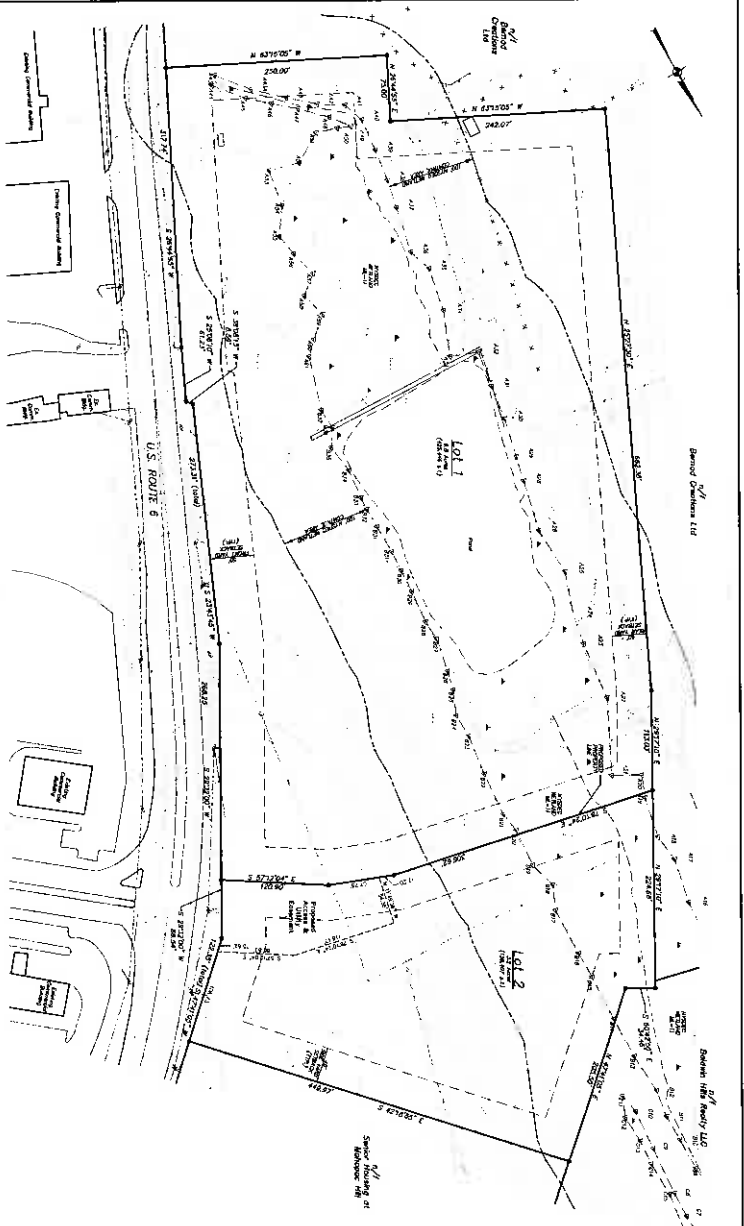
Signature 

Title Agent for Applicant _____



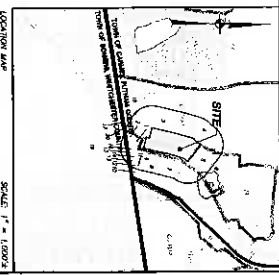
B.1.i [Coastal or Waterfront Area]	No
B.1.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Yes - Digital mapping data are not available for all Special Planning Districts. Refer to EAF Workbook.
C.2.b. [Special Planning District - Name]	NYC Watershed Boundary
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	Yes
E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID]	360023
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.iv [Surface Water Features - Stream Name]	864-137, 864-138
E.2.h.iv [Surface Water Features - Stream Classification]	C, B
E.2.h.iv [Surface Water Features - Wetlands Name]	Federal Waters, NYS Wetland
E.2.h.iv [Surface Water Features - Wetlands Size]	NYS Wetland (in acres):85.8

E.2.h.v [Surface Water Features - DEQ Wetlands Number]	MLP-1
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	Yes
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	Yes
E.3.d [Critical Environmental Area - Name]	Baldwin Place Area
E.3.d.ii [Critical Environmental Area - Reason]	Difficulties w/ portable water source
E.3.d.iii [Critical Environmental Area – Date and Agency]	Date:9-26-90, Agency:Somers, Town of
E.3.e. [National Register of Historic Places]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No



SEED PLANTINGS

1. 100' x 100' x 100' x 100'
2. 100' x 100' x 100' x 100'
3. 100' x 100' x 100' x 100'
4. 100' x 100' x 100' x 100'
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16. 100' x 100' x 100' x 100'
17. 100' x 100' x 100' x 100'
18. 100' x 100' x 100' x 100'
19. 100' x 100' x 100' x 100'
20. 100' x 100' x 100' x 100'



GENERAL NOTES

1. All dimensions are in feet and inches.
2. All setbacks are as shown on this plan.
3. All easements are as shown on this plan.
4. All utility lines are as shown on this plan.
5. All structures are as shown on this plan.
6. All materials are as shown on this plan.
7. All work shall be in accordance with the latest editions of the following codes:
 - a. International Building Code (IBC)
 - b. International Residential Code (IRC)
 - c. International Fire Code (IFC)
 - d. International Mechanical Code (IMC)
 - e. International Plumbing Code (IPC)
 - f. International Electrical Code (IEC)
 - g. International Energy Conservation Code (IECC)
 - h. International Fire and Safety Code (IFSC)
 - i. International Fire Marshals Association (IFMA)
 - j. International Fire Protection Association (IFPA)
 - k. International Fire and Life Safety Code (IFLS)
 - l. International Fire and Building Code (IFBC)
 - m. International Fire and Building Code (IFBC)
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 - y. International Fire and Building Code (IFBC)
 - z. International Fire and Building Code (IFBC)

LEGEND

Proposed Building Footprint	Existing Building Footprint
Proposed Driveway	Existing Driveway
Proposed Parking	Existing Parking
Proposed Easement	Existing Easement
Proposed Utility Line	Existing Utility Line
Proposed Setback Line	Existing Setback Line
Proposed Property Line	Existing Property Line
Proposed Boundary Line	Existing Boundary Line
Proposed Survey Line	Existing Survey Line
Proposed Elevation	Existing Elevation
Proposed Area	Existing Area
Proposed Volume	Existing Volume
Proposed Weight	Existing Weight
Proposed Length	Existing Length
Proposed Width	Existing Width
Proposed Height	Existing Height
Proposed Depth	Existing Depth
Proposed Diameter	Existing Diameter
Proposed Radius	Existing Radius
Proposed Circumference	Existing Circumference
Proposed Area	Existing Area
Proposed Volume	Existing Volume
Proposed Weight	Existing Weight
Proposed Length	Existing Length
Proposed Width	Existing Width
Proposed Height	Existing Height
Proposed Depth	Existing Depth
Proposed Diameter	Existing Diameter
Proposed Radius	Existing Radius
Proposed Circumference	Existing Circumference

Sketch Subdivision Plat
 Prepared for
Baldwin Subdivision
 Situate in
 Town of Carmel County of Putnam
 State of New York
 June 24, 2016

Town of Carmel Planning Board Approval

Approved by resolution of the Planning Board of the Town of Carmel, New York, on this _____ day of _____, 2016.

Putnam County Department of Health Approval

This is to certify that the health officer of Putnam County, New York, has reviewed the plans and specifications for the subdivision and has approved the same for the purpose of the health of the community.

Signed this _____ day of _____, 2016.

County of Putnam Filing Acceptance

I hereby certify that the subdivision is in accordance with the provisions of the Subdivision Law of the State of New York, and that the same is being filed for the purpose of the health of the community.

Signed this _____ day of _____, 2016.

Engineer's Certification

I hereby certify that I am a duly licensed Professional Engineer in the State of New York, and that I am the author of the plans and specifications for the subdivision.

Signed this _____ day of _____, 2016.

Site

Address: _____
 City: _____
 State: _____
 Zip: _____

CRZ ZONE REQUIREMENTS

Zone	Setback	Height	Area	Volume	Weight	Length	Width	Height	Depth	Diameter	Radius	Circumference
CRZ-1	10'	10'	100'	100'	100'	100'	100'	100'	100'	100'	100'	100'
CRZ-2	20'	20'	200'	200'	200'	200'	200'	200'	200'	200'	200'	200'
CRZ-3	30'	30'	300'	300'	300'	300'	300'	300'	300'	300'	300'	300'
CRZ-4	40'	40'	400'	400'	400'	400'	400'	400'	400'	400'	400'	400'
CRZ-5	50'	50'	500'	500'	500'	500'	500'	500'	500'	500'	500'	500'