

ROBERT LAGA
Chairman

ANTHONY DUSOVIC
Vice-Chair

ROSE TROMBETTA
Secretary

DAVID KLOTZLE
Wetland Inspector

TOWN OF CARMEL
ENVIRONMENTAL CONSERVATION BOARD



60 McAlpin Avenue
Mahopac, New York 10541
Tel. (845) 628-1500 - Ext. 190
www.ci.carmel.ny.us

BOARD MEMBERS

Edward Barnett
Marc Pekowsky
Vincent Turano
Nicholas Fannin
John Starace

ENVIRONMENTAL CONSERVATION BOARD AGENDA

AUGUST 20, 2015 – 7:30 P.M.

PUBLIC HEARING

<u>APPLICANT</u>	<u>ADDRESS</u>	<u>TAX MAP #</u>	<u>COMMENTS</u>
1. NYCDEP	Drewville Road	66.-2-53	Install a Stormwater Detention System (Tree Cutting Permit)

ELIGIBLE FOR PERMIT

2. NYCDEP	Drewville Road	66.-2-53	Install a Stormwater Detention System (Wetland Permit)
3. Wallauer's at Putnam Plaza	1924 Route 6, Carmel	55.11-1-4	Add a 25 x 64 Outdoor Display And Storage Area

SUBMISSION OF AN APPLICATION OR LETTER OR PERMISSION

4. Occhicone, Joseph	33 Somers Hill Rd	77.17-1-3	Install Inground Pool, Walkway And Fence
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ESCROW RETURN

5. Hackett, David	433 Barrett Hill Rd	53.-1-60	Construct Modular Home
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PLANNING BOARD REFERRAL

6. PCSB/Mahopac Branch - Lot 1	150 Route 6	86.11-1-1	Site Plan (Discussion)
7. Route 6 Retail – Lot 2	150 Route 6	86.11-1-1	Site Plan (Discussion)

MISCELLANEOUS

8. Minutes – 04/09/15 & 07/03/15

August 17, 2015

To: Environmental Conservation Board
Town of Carmel
60 McAlpin Avenue
Mahopac, NY 10541

From: Mr. & Mrs. Joseph Occhicone
33 Somers Hills Rd
Carmel, NY 10512

Tax Map: 77.17-1-3

Re: Application for Installation of an in-ground Swimming Pool

The following is a project plan for the installation of an in ground swimming pool at 33 Somers Hills Road, Carmel NY 10512.

- The majority of the pool will be located on wetland buffer areas of the property. It is estimated that 900 sq.ft. of buffer area will be disturbed for installation of the pool.
- Silt fence will be erected as per diagram.
- Excavator will arrive and be stored in a non-buffer area near the construction location of 33 Somers Hills Road, Carmel NY 10512.
- Excavator will enter property through stabilized construction entrance at 33 Somers Hills Road, Carmel NY 10512.
- Fueling area and spill kit will be on non-buffer area near the construction location of 33 Somers Hills Road, Carmel NY 10512.
- Excavation will begin per plans to remove material for pool outline and over excavation of 3 ft. for structure of pool walls.
- Material will be held temporarily on grass of wetland buffer area.
- Pool dimensions are 16x35 and will be dug to 6.5ft in deep end and 3.5ft in shallow end.
- Steel or fiberglass walls will be erected to form the outline of the pool perimeter.
- All construction material will be stored in garage until needed.
- Steel bracing will be attached to concrete and anchored.
- Concrete truck will enter through stabilized construction entrance at 33 Somers Hills Road, Carmel NY 10512.
- Concrete truck will position itself and pour via extensions to the perimeter of the pool.
- Concrete will be poured from same vantage point to inside of pool to form the bottom of the pool.
- PVC piping and electric will be installed in over excavated areas.
- A trench will be dug to run PVC and electric to site of pool equipment.
- Upon curing of concrete excavator will be used to back fill the exterior of pool.
- Upon settling of backfilled area permeable patio will be installed.
- Upon curing of concrete pool will be filled with water.
- Filtration system will initiated upon completion of pool filling.
- After permeable patio has been installed, an aluminum fence will be installed per code.

ROBERT LAGA
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APPLICATION FOR WETLAND PERMIT OR LETTER OF PERMISSION

Name of Applicant: Joseph Ochioner

Address of Applicant: 33 Somers Hills Rd Email: _____

Telephone# _____ Name and Address of Owner if different from Applicant: _____

Property Address: 33 Somers Hills RD Tax Map # 77.17-1-3

Agency Submitting Application if Applicable: NA

Location of Wetland: BACK of property

Size of Work Section & Specific Location: GOOSE BACK SIDE

Will Project Utilize State Owned Lands? If Yes, Specify: NO

Type and extent of work (feet of new channel, yards of material to be removed, draining, dredging, filling, etc). A brief description of the regulated activity (attach supporting details).

INSTALL inground POOL, WALK WAY
AND Fence

Proposed Start Date: ASAP Anticipated Completion Date: 3 month Fee Paid \$ 225.00

CERTIFICATION

I hereby affirm under penalty of perjury that information provided on this form is true to the best of my knowledge and belief, false statements made herein are punishable as a Class A misdemeanor pursuant to Section 210.45 of the Penal Law. As a condition to the issuance of a permit, the applicant accepts full legal responsibility for all damage, direct or indirect, or whatever nature, and by whomever suffered, arising out of the project described here-in and agrees to indemnify and save harmless the Town of Carmel from suits, actions, damages and costs of every name and description resulting from the said project.

[Signature]
SIGNATURE

8-17-15
DATE

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information

Name of Action or Project: <u>Joseph Occhicone Installation Inground pool</u>	
Project Location (describe, and attach a location map): <u>33 Somers Hills RD Carmel 10512 N</u>	
Brief Description of Proposed Action: <u>fence, walkway</u>	
Name of Applicant or Sponsor: <u>Joseph Occhicone</u>	Telephone:
Address: <u>33 Somers Hill RD</u>	
City/PO: <u>Carmel NY 10512</u>	State: <u>NY</u> Zip Code: <u>10512</u>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.	NO YES
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:	NO YES <u>X</u>
3.a. Total acreage of the site of the proposed action? b. Total acreage to be physically disturbed? c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?	2.21 acres <u>2.21</u> 900 acres <u>900 sq ft</u> _____ acres <u>.21</u>
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Joseph Ochucane</u>	Date: <u>8-13-15</u>	
Signature: <u>[Signature]</u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	X	
2. Will the proposed action result in a change in the use or intensity of use of land?	X	
3. Will the proposed action impair the character or quality of the existing community?	X	
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	X	
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	X	
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	X	
7. Will the proposed action impact existing:		
a. public / private water supplies?	X	
b. public / private wastewater treatment utilities?	X	
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	X	
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	X	
11. Will the proposed action create a hazard to environmental resources or human health?	X	

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Name of Lead Agency

Date

Print or Type Name of Responsible Officer in Lead Agency

Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

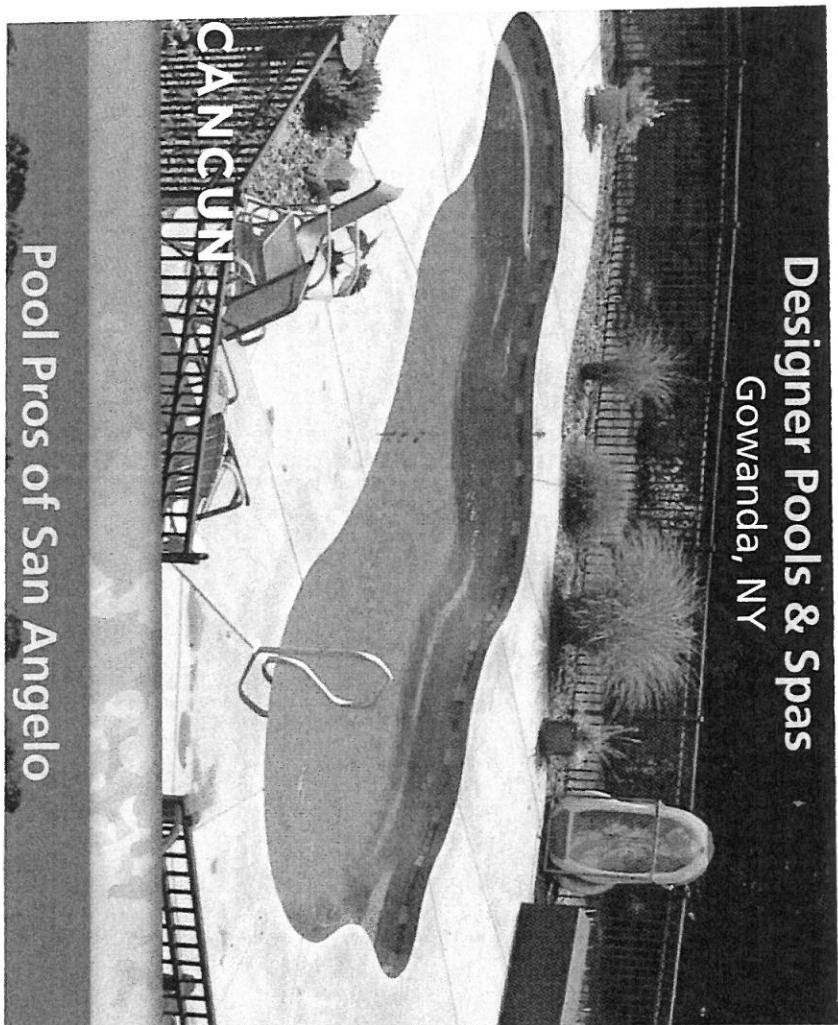
Signature of Preparer (if different from Responsible Officer)



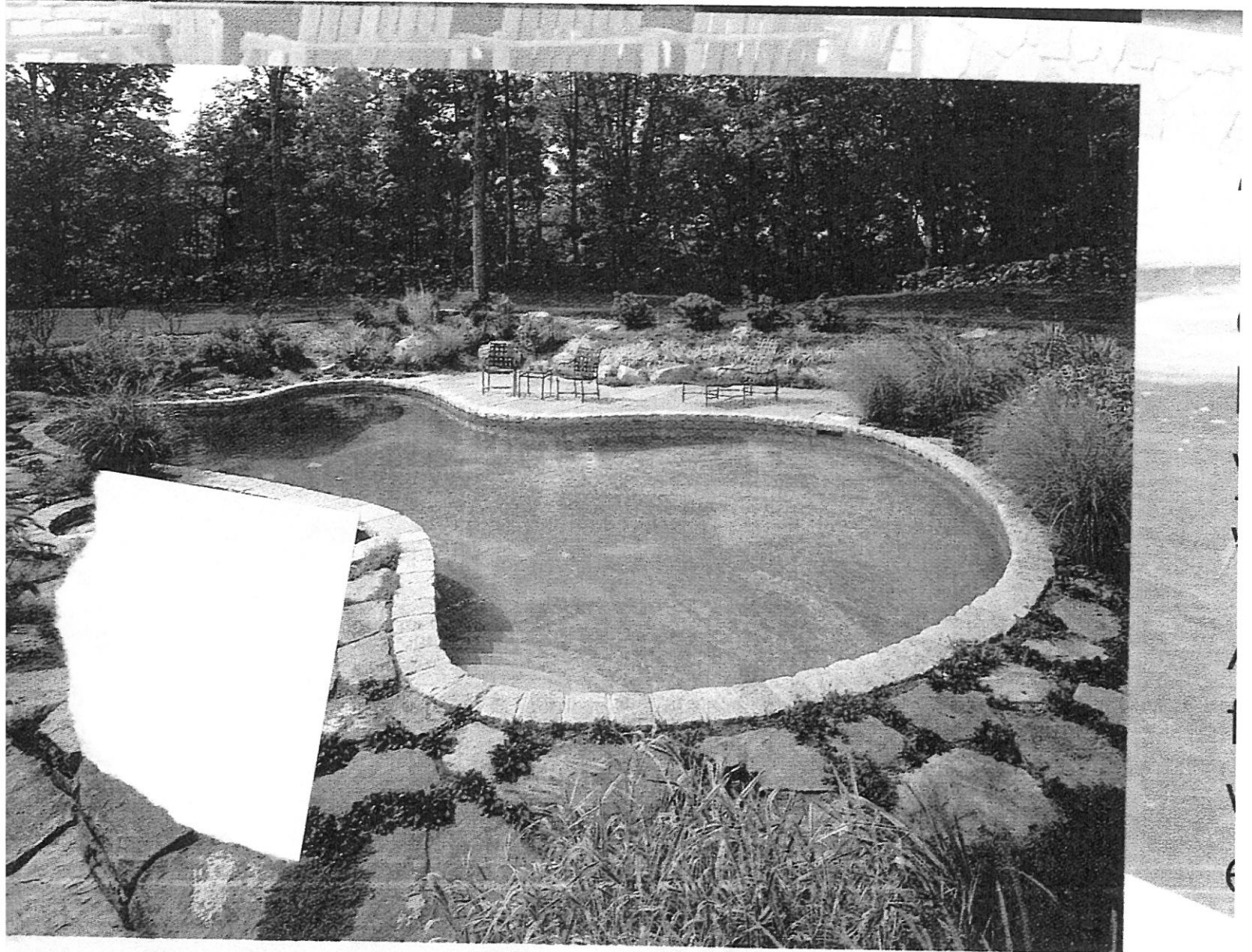




Designer Pools & Spas
Gowanda, NY



Pool Pros of San Angelo



OFFICIAL E-911 ADDRESS

AS PER TOWN OF CARMEL 911 COORDINATOR,
 VERIFIED ON : 9/27/07
 TAX MAP 77.17 BLOCK 1 LOT 3
 THE OFFICIAL E-911 ADDRESS:

**33 SOMERS HILL ROAD
 TOWN OF CARMEL**

**SURVEYOR
 INFORMATION**

THIS AS-BUILT PLAN IS BASED UPON
 AS-BUILT SURVEY PREPARED BY:
 NAME: BAXTER LAND SURVEYORS
 DATED: MARCH 28, 2007

UNAUTHORIZED ALTERATIONS AND ADDITIONS
 TO THIS DRAWING IS A VIOLATION OF
 SECTION 7206 (2) OF THE NEW YORK STATE
 EDUCATION LAW.

THIS IS TO CERTIFY THAT THE SEWAGE
 TREATMENT SYSTEM WAS CONSTRUCTED AS
 INDICATED ON THIS PLAN AND THAT THE
 SYSTEM WAS INSPECTED BY ME BEFORE IT
 WAS COVERED OVER. THE SYSTEM WAS
 CONSTRUCTED IN ACCORDANCE WITH ALL
 STANDARDS RULES AND REGULATIONS OF
 THE PUTNAM COUNTY DEPARTMENT OF
 HEALTH AND THE NEW YORK STATE
 DEPARTMENT OF HEALTH.

DOSING CHAMBER ON-OFF SET @ 8 3/4"
 PROVIDING 180 GAL/DOSE

LEGEND

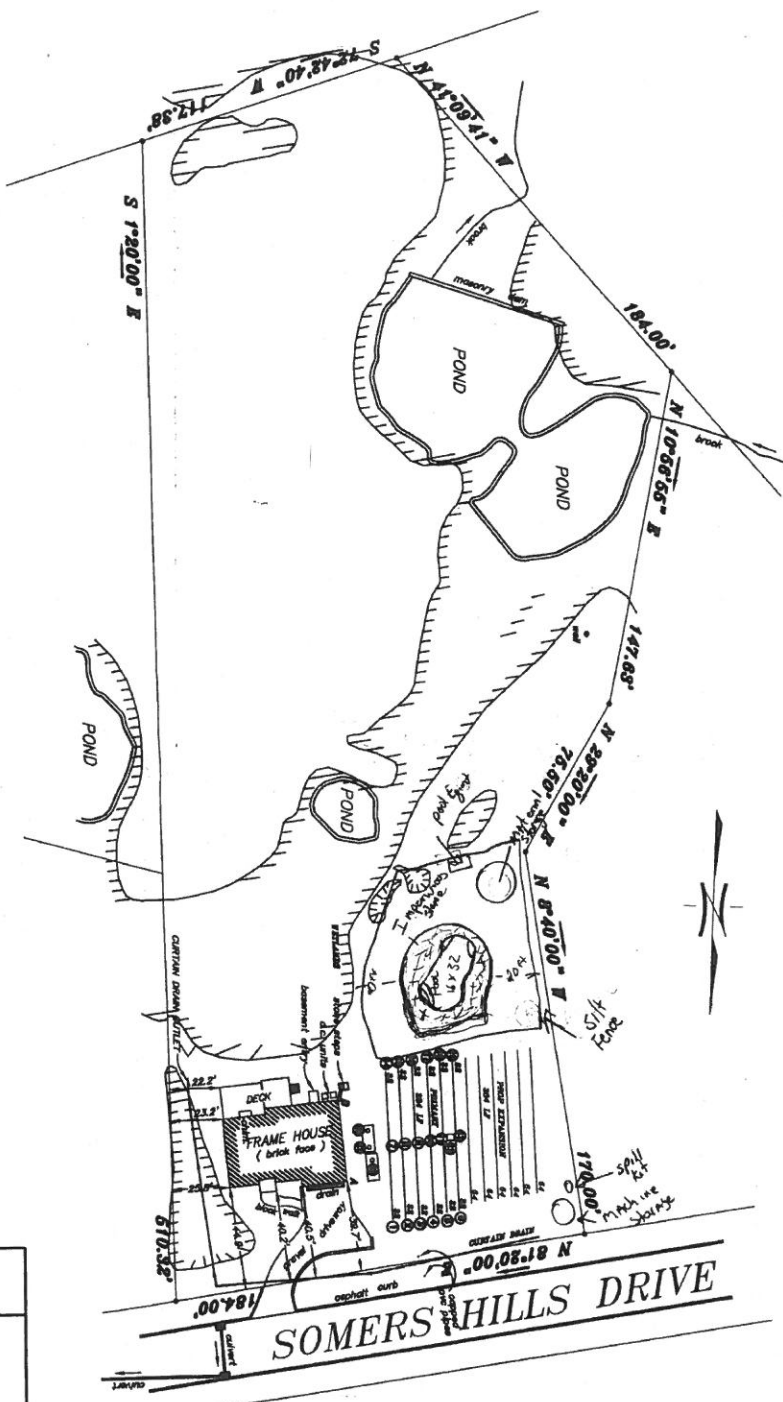
- PRIMARY ABSORPTION TRENCH
- - - - 100% EXPANSION AREA

These analyses were conducted by M. J. ...
 Water consumption records shall be used for
 determining the maximum flow rate for the
 drinking by people on severely restricted water consumption
 more than 90% of maximum flow rate.
 PUTNAM COUNTY DEPT. OF HEALTH
 Environmental Health Services

**PUTNAM COUNTY
 DEPARTMENT OF HEALTH**

Putnam County Department of Health
 Division of Environmental Health Services
 Approved as noted for conformance with
 applicable Rules and Regulations of the
 Putnam County Health Department.

Michael P. Beyer, P.E. 11-15-07
 Signature Date



SSTS AS-BUILT PLAN
 SCALE: 1" = 30'

SWING TIES TABLE (FT.)

	A	B	C	D
1	26.45	66.37		
2	31.85	61.98		
3	37.18	64.99		
4	42.40	67.95		
5	47.34	70.89		
6	52.85	74.88		
7	54.25	30.51		
8	59.36	36.59		
9	36.43	40.82		
10	40.16	45.26		
11	47.36	50.62		
12	50.85	54.62		
13	52.13	56.57		
14	51.30	24.57		
15	54.52	30.07		
16	57.89	35.73		
17	59.29	42.03		
18	56.43	47.69		
19	59.70	52.85		
20	24.29	19.09		
21	18.02	25.43		
22	14.81	31.09		
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45				
WELL	254.35	253.44		
CURB/IN DRAIN OUTLET				

ITEMS	REQUIRED	PROVIDED
SEPTIC TANK SIZE (GAL) (ABRABTON CHAMBER)	750 GAL	750 GAL
PRIMARY SSTS (LF)	384 LF	384 LF
EXPANSION SSTS (LF)	384 LF	384 LF
DOSING/PUMP CHAMBER (GAL)	1250 GAL	1250 GAL
OVERFLOW TANK (GAL)	N/A	N/A

REVISIONS				
NO.	LOCATION	DATE	BY	CHKD.

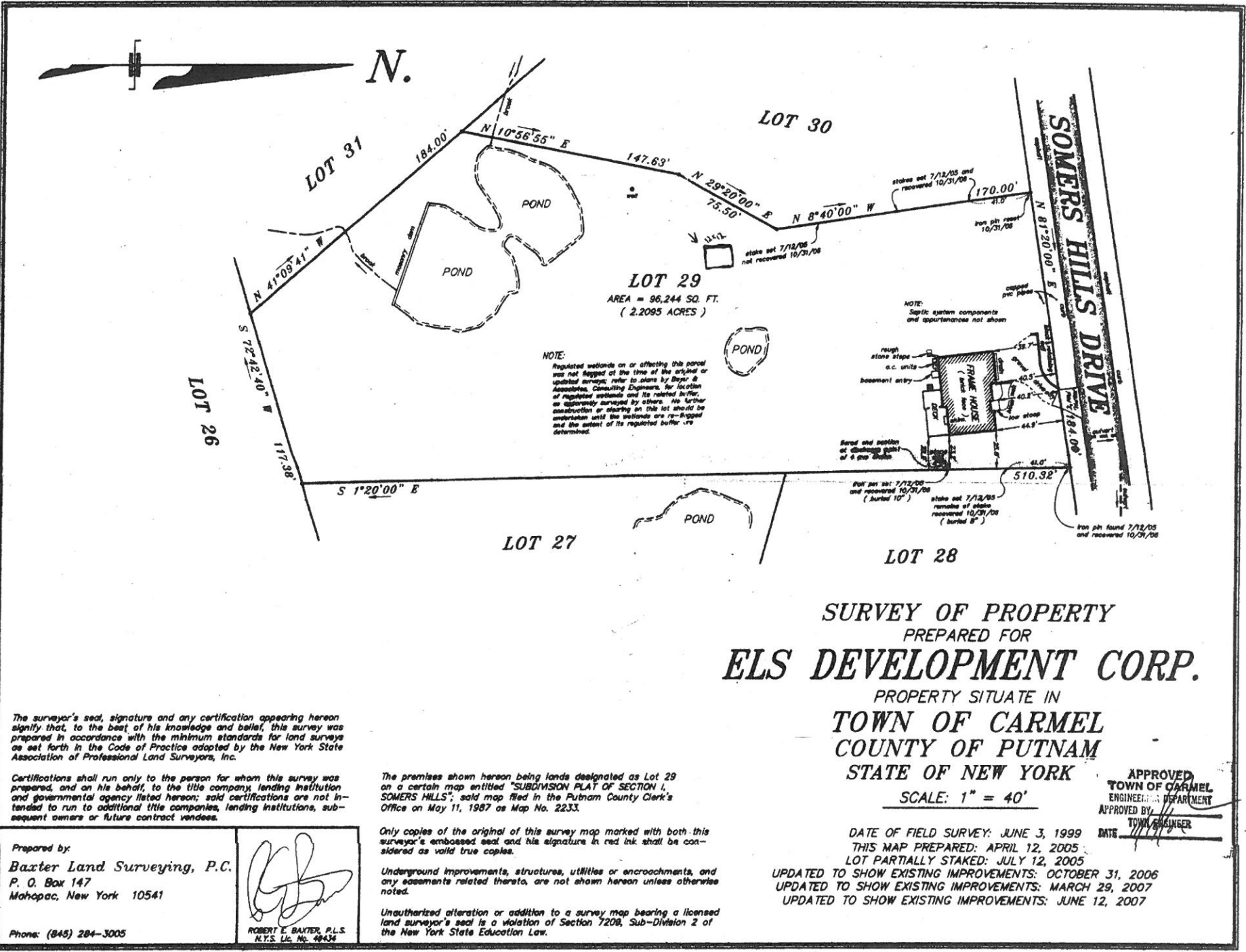
OWNER: ELS DEVELOPMENT CORP.
ADDRESS: 704 ROUTE 6, MAHOPAC, NY 10541
TAX MAP NO.: SECT 77.17 BLOCK 1 LOT 3
SUBDIVISION: SOMERS HILL SUBDIVISION
DESIGN PROFESSIONAL: BEYER AND ASSOCIATES
ADDRESS: 373 STARR RIDGE ROAD
 BREWSTER, NEW YORK 10509
PHONE: (845) 278-6212 **FAX:** (845) 278-0403

PROJECT: ELS DEVELOPMENT RESIDENCE
 SOMERS HILL ROAD
 TOWN OF CARMEL
 PUTNAM COUNTY

DRAWING: CONSTRUCTION COMPLIANCE
 AS-BUILT PLAN

PROJECT NO.	DATE	SCALE	DRAWING NO.	SHEET
05-01	9/26/07	AS NOTED	AS-1	1 OF 1

BEYER & ASSOCIATES
 CONSULTING ENGINEERS



LOT 29
 AREA = 96,244 SQ. FT.
 (2.2095 ACRES)

NOTE:
 Regulated wetlands on or affecting this parcel was not flagged at the time of the original or updated survey; refer to plans by Beyer & Associates, Consulting Engineers, for location of Regulated wetlands and its related buffer, as expressly surveyed by others. No further construction or clearing on this lot should be undertaken until the wetlands are re-flagged and the extent of its regulated buffers determined.

NOTE:
 Septic system components and appurtenances not shown

Found old position of discharge pipe of 6 inch diameter

stake set 7/12/05 remains of stake recovered 10/31/06 (buried 8")

iron pin found 7/12/05 and recovered 10/31/06

SURVEY OF PROPERTY
 PREPARED FOR
ELS DEVELOPMENT CORP.

PROPERTY SITUATE IN
TOWN OF CARMEL
COUNTY OF PUTNAM
STATE OF NEW YORK

SCALE: 1" = 40'

APPROVED
TOWN OF CARMEL
 ENGINEERING DEPARTMENT
 APPROVED BY: *[Signature]*
 TOWN ENGINEER
 DATE: *[Signature]*

DATE OF FIELD SURVEY: JUNE 3, 1999
 THIS MAP PREPARED: APRIL 12, 2005
 LOT PARTIALLY STAKED: JULY 12, 2005
 UPDATED TO SHOW EXISTING IMPROVEMENTS: OCTOBER 31, 2006
 UPDATED TO SHOW EXISTING IMPROVEMENTS: MARCH 29, 2007
 UPDATED TO SHOW EXISTING IMPROVEMENTS: JUNE 12, 2007

The surveyor's seal, signature and any certification appearing hereon signify that, to the best of his knowledge and belief, this survey was prepared in accordance with the minimum standards for land surveys as set forth in the Code of Practice adopted by the New York State Association of Professional Land Surveyors, Inc.

Certifications shall run only to the person for whom this survey was prepared, and on his behalf, to the title company, lending institution and governmental agency listed hereon; said certifications are not intended to run to additional title companies, lending institutions, subsequent owners or future contract vendees.

The premises shown hereon being lands designated as Lot 29 on a certain map entitled "SUBDIVISION PLAT OF SECTION 1, SOMERS HILLS", said map filed in the Putnam County Clerk's Office on May 11, 1987 as Map No. 2233.

Only copies of the original of this survey map marked with both this surveyor's embossed seal and his signature in red ink shall be considered as valid true copies.

Underground improvements, structures, utilities or encroachments, and any easements related thereto, are not shown hereon unless otherwise noted.

Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of Section 7208, Sub-Division 2 of the New York State Education Law.

Prepared by
Baxter Land Surveying, P.C.
 P. O. Box 147
 Mahopac, New York 10541

[Signature]
ROBERT E. BAXTER, P.L.S.
 N.Y.S. Lic. No. 44434

Phone: (845) 284-3005



August 14, 2015

Town of Carmel Environmental Conservation Board
60 McAlpin Avenue
Mahopac, New York 10541

RE: PCSB Site Plan
Route 6
Tax Map No. 86.11-1-1 – Proposed Lot 1

Dear Chairman Laga and Members of the Board:

Please find enclosed the following plans for the above referenced project:

- Six (6) sheet Site Plan Set, last revised August 13, 2015. (4 copies)

The project is currently under review by the Planning Board for site plan approval. The applicant seeks site plan approval for a new 2,683 s.f. commercial building with drive-up lanes and associated parking, to be located on Lot 1 of the proposed Baldwin Subdivision.

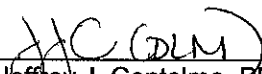
The bank is proposed to be located on a 9.77 acre newly subdivided parcel. The majority of the parcel is constrained by the presence of a Town and NYSDEC wetland ML-11. The only portion of the site that is not environmentally constrained lies along the Route 6 frontage. The building, parking lot and associated site improvements are proposed within the wider area of the unconstrained triangular portion of the site, with the septic system located in the narrower portion located to the south. Little flexibility exists to adjust or relocate the building / parking areas. The project will require a wetland permit from the Town of Carmel and a wetland permit from the New York State Department of Environmental Conservation for proposed grading within the 100' wetland adjacent area. Both of these wetland permits will be applied for later in the project. At this time, the Planning Board has requested that the applicant meet with the Environmental Conservation Board for a preliminary discussion of the project.

We trust the enclosed information will be found adequate. Should you require additional copies or information, let us know. Please place the project on the agenda for the August 20, 2015 Environmental Conservation Board meeting for preliminary discussion with the Board.

Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By: 
Jeffrey J. Contelmo, PE
Senior Principal Engineer

JJC/dlm

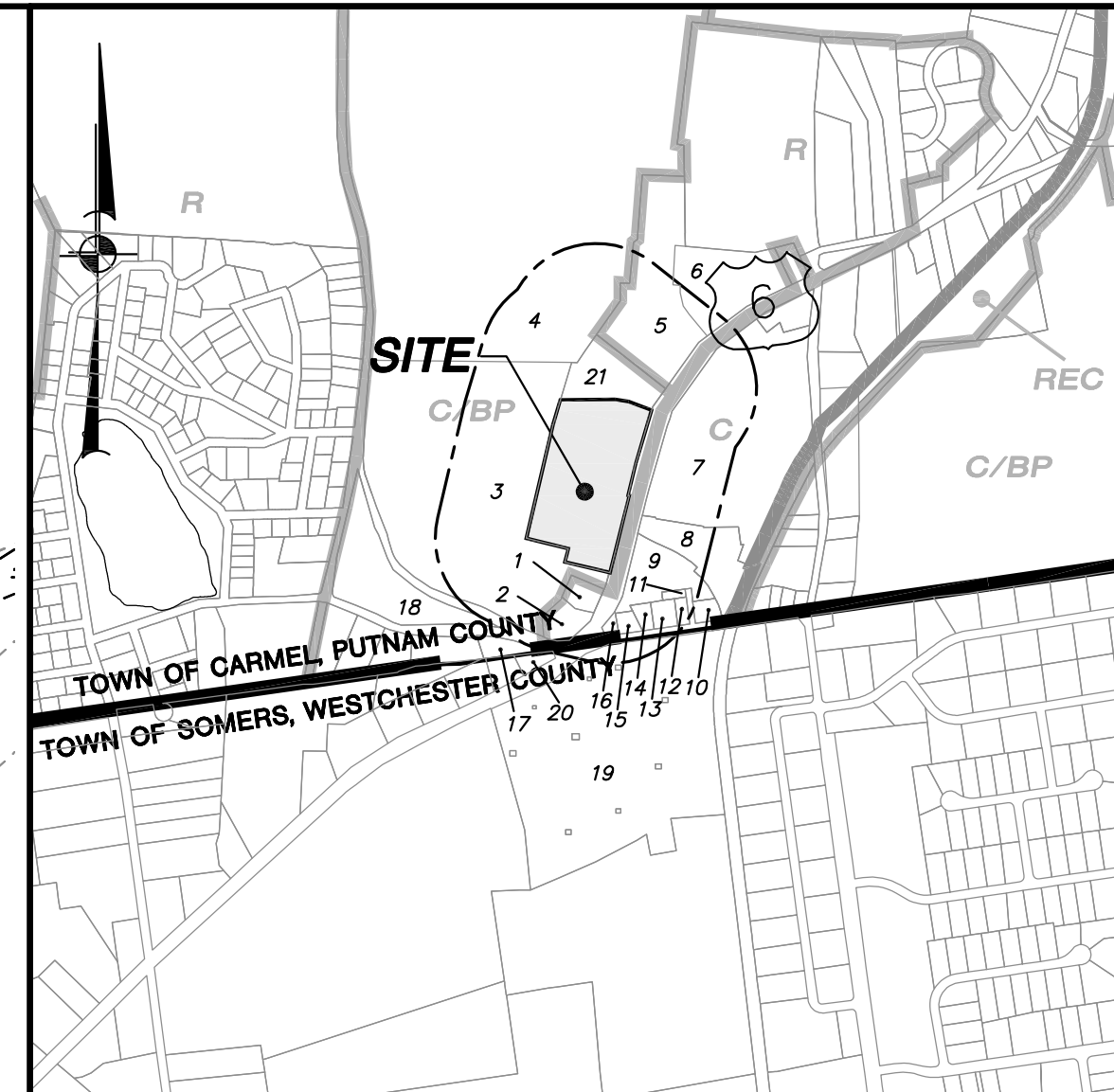
Enclosures

cc: Robert Farrier, w/enclosures
Fred Koelsch, w/enclosures

Insite File No. 15130.100

500' ADJOINERS:

- | | |
|---------------------------------------|-----------------------------------|
| 1. N/F Bernad Creations LTD | 11. N/F Dring |
| 2. N/F 102 Route 6, LLC | 12. N/F Baldwin Place Realty LLC |
| 3. N/F Bernad Creations LTD | 13. N/F Baldwin Place Realty LLC |
| 4. N/F Baldwin Hills Realty LLC | 14. N/F Stakmann Co., LLC |
| 5. N/F Senior Housing at Mahopac Hill | 15. N/F Stakmann Co., LLC |
| 6. N/F County of Putnam | 16. N/F Baldwin Place Realty LLC |
| 7. N/F Mahopac Improvements LLC | 17. N/F Ferrara |
| 8. N/F Barile & Boniello | 18. N/F Serg Inc. |
| 9. N/F Dring Holding Corp. | 19. N/F UB Somers, Inc. |
| 10. N/F Mirable | 20. N/F Reinhard |
| | 21. N/F Baldwin Hills Realty, LLC |



LOCATION MAP

SCALE: 1" = 1,000'±

OWNER:

Baldwin Hills Realty, LLC
1699 Route 6 Suite 1
Carmel NY 10512

SITE DATA:

Zone: C/BP - Commerce/Business Park
Total Acreage: 9.8 AC
Tax Map No.: 86.11-1-1 (Subdivision Lot 1)
Proposed Use: Retail Bank

APPLICANT:

PCSB
P.O. Box 417
Brewster, New York 10509

GENERAL NOTES:

- Property line as shown hereon based on boundary survey prepared by Insite Engineering, Surveying & Landscape Architecture, P.C. dated June 19, 2015.
- Topography shown hereon is based on aerial photography dated December 10, 2001 and is photogrammetrically compiled at a scale of 1" = 50'. The contour interval is 2 feet.
- The wetland flagging as shown hereon is taken from a "Map of Wetlands Prepared for Union Place", as prepared by Terry Bergendorff Collins, last revised April 7, 2009.
- Estimated number of employees on-site at any time shall be nine(9).

C/BP ZONE REQUIREMENTS

	REQUIRED	PROPOSED (LOT 1)
Minimum Lot Area:	3 AC.	9.8 AC. ±
Minimum Lot Width:	200'	842' ±
Minimum Lot Depth:	200'	487' ±
Minimum Setbacks:		
Principal Bldg:	Front Yard: 50'	67' ±
	Side Yard: 40'	65' ±
	Rear Yard: 40'	350' ±
Maximum Building Height:	40'	Less Than 40'
Minimum Building Floor Area:	5,000 sf	2,683 sf ± *
Maximum Building Coverage:	40%	0.6%

* Variance required for minimum floor area.

PARKING & LOADING REQUIREMENTS

PARKING - Retail	2,656 s.f. / 1 Space per 200 s.f.	= 14 Spaces Required
		22 Spaces Provided
LOADING - Retail	1 Space for each establishment	= 1 Space Required
		1 Space Provided



LEGEND

—	Existing Property Line
— 670 —	Existing 10' Contour
— 668 —	Existing 2' Contour
x 637.1	Existing Spot Grade
—	Existing Watercourse
—	Existing Wetland
—	Existing Utility Poles With Overhead Wires
—	Existing Edge of Pavement
—	Existing White Line
—	Existing Curb
—	Existing Stonewall
—	Existing Stonewall to be Removed
—	Proposed Curb
—	Proposed Pole Mounted Light

Site Plan

Approval hereby granted this ___ day of _____
If building permit is not issued within 12 months from the above date, this approval becomes null and void.

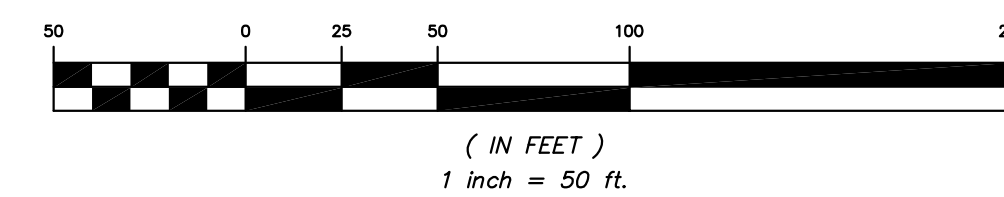
Town of Carmel Planning Board

Signed this ___ day of _____ by _____

Chairman: _____

Secretary: _____

GRAPHIC SCALE

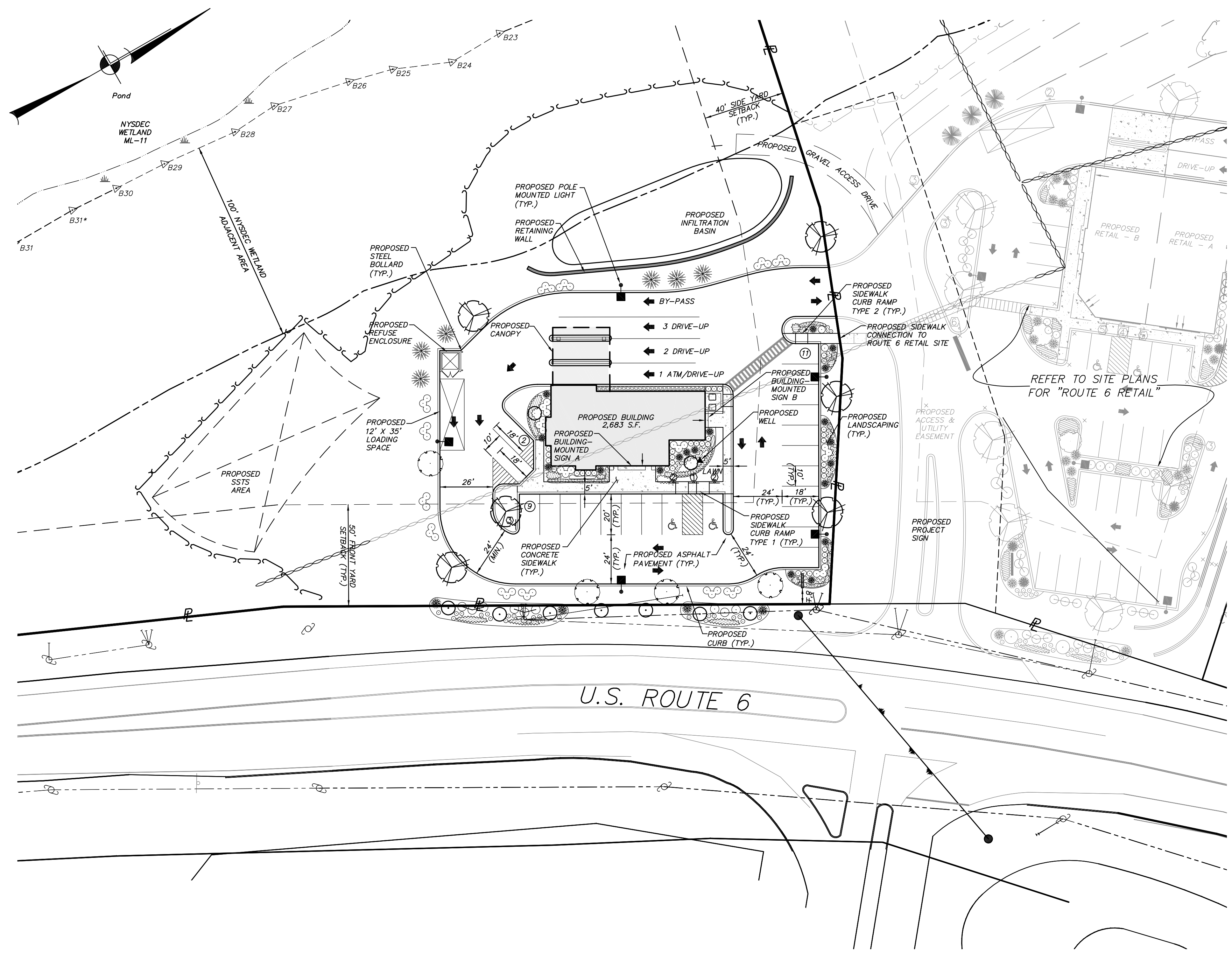


ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

2	8-13-15	REVISED FOR ZBA SUBMISSION	DLM
1	7-29-15	REVISED PER TOWN COMMENTS	MEU
NO.	DATE	REVISION	BY

INSITE
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.
3 Garrett Place
Carmel, NY 10512
(845) 225-9690
(845) 225-9717 fax
www.insite-eng.com

PROJECT: PCSB/MAHOPAC BRANCH		DRAWING: OVERALL PLAN	
150 ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK			
PROJECT NUMBER	15130.100	PROJECT MANAGER	J.J.C.
DATE	6-24-15	DRAWN BY	M.E.U.
SCALE	1" = 50'	CHECKED BY	D.L.M.
DRAWING NO.		SHEET	
OP-1		1/6	



- GENERAL SITE SEEDING NOTES:**
- All proposed seeded areas to receive 4" min. depth of topsoil. Soil amendments and fertilizer application rates shall be determined based on specific testing of topsoil material.
 - Upon final grading and placement of topsoil and any required soil amendments, areas to receive permanent vegetation cover in combination with suitable mulch as follows:
 - select seed mixture per drawings and seeding notes.
 - fertilizer applied at the manufacturer's recommended rate using Lesco 10-0-18 (no phosphorous) fertilizer or equivalent.
 - mulch: salt hay or small grain straw applied at a rate of 90 lbs./1000 s.f. or 2 tons/acre, to be applied and anchored according to New York State Standards and Specifications for Erosion and Sediment Control, August 2005.
 - if the season prevents the establishment of a permanent vegetation cover, the disturbed areas will be mulched with straw or equivalent.
 - The seed mixes as specified on these drawings are as follows:
 - Seed Mix for lawn areas and mow strip along roads at a rate of 100 lbs. per acre:
 - Kentucky Bluegrass 20%
 - Creeping Red Fescue 40%
 - Perennial Ryegrass 20%
 - Annual Ryegrass 20%
 - Seed Mix for Meadow areas as shown on the drawings, including tops of berms and backstops of stormwater basins at a rate of 35 lbs. per acre:
 - New England Erosion Control/Restoration Mix (for Dry Sites) from New England Wetland Plants, Inc. of Amherst, MA.

- GENERAL PLANTING NOTES:**
- All proposed planting beds to receive a 12" min. depth of topsoil. Soil amendments and fertilizer application rates shall be determined based on specific testing of topsoil material.
 - Any new soils added will be amended as required by results of soil testing and placed using a method that will not cause compaction.
 - No fertilizer shall be added in stormwater basin plantings. Nutrient requirements to be met by incorporation of acceptable organic matter.
 - All plant material to be nursery grown.
 - Plants shall conform with ANSI Z60.1 American Standard for Nursery Stock in all ways including dimensions.
 - Plant material shall be taken from healthy nursery stock.
 - All plants shall be grown under climate conditions similar to those in the locality of the project.
 - Plants shall be planted in all locations designed on the plan or as staked in the field by the Landscape Architect.
 - The location and layout of landscape plants shown on the site plan shall take precedence in any discrepancies between the quantities of plants shown on the plans and the quantity of plants in the Plant List.
 - Provide a 3" layer of shredded bark mulch (or as specified) over entire watering saucer at all tree pits or over entire planting bed. Do not place mulch within 3" of tree or shrub trunks.
 - All landscape plantings shall be maintained in a healthy condition at all times. Any dead or diseased plants shall immediately be replaced "in kind" by the contractor (during warranty period) or project owner.

PLANT LIST

SYMBOL	KEY	BOTANICAL/Common NAME	SIZE	ROOT
		SHADE TREES		
PO		Plantanus occidentalis / Planetree	2.5" CAL.	B & B
TC		Tilia cordata 'Greenspire' / Littleleaf Linden	2.5" CAL.	B & B
		FLOWERING TREES		
AG		Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Serviceberry	8'-10" HT.	B & B
		EVERGREEN TREES		
PG		Picea glauca / White Spruce	5'-6" HT.	B & B
TO		Thuja occidentalis 'Techny' / Techny Arborvitae	5'-6" HT.	B & B
		SHRUBS & PERENNIALS		
CA		Cornus alba 'Elegantissima' / Variegated Red Twig Dogwood	18"-24" HT.	#3 CONT.
CV		Careopsis vert. 'Moonbeam' / Moonbeam Careopsis	#2 CONT.	18" O.C.
HS		Hemerocallis 'Stella D'Oro' / Daylily	#2 CONT.	18" O.C.
IG		Ilex glabra 'Shamrock' / Compact Inkberry	18"-24" HT.	#3 CONT.
JV		Juniperus virginiana 'Grey Owl' / Grey Owl Juniper	15"-18" SPR.	#2 CONT.
PV		Panicum virg. 'Shenandoah' / Shenandoah Switchgrass	#2 CONT.	CONT.
PN		Picea abies nidiformis / Birdsnest Spruce	15"-18" SPR.	#3 CONT.
SB		Spirea bumalda 'Gold Mound' / Gold Mound Spirea	15"-18" SPR.	#3 CONT.

LEGEND

	Existing Property Line
	Existing Watercourse
	Existing Wetland
	Existing Utility Poles With Overhead Wires
	Existing Edge of Pavement
	Existing White Line
	Existing Curb
	Existing Stonewall
	Existing Stonewall to be Removed
	Proposed Curb
	Proposed Retaining Wall
	Proposed Concrete Walk
	Proposed Tree Line
	Proposed Landscaping
	Proposed Pole-mounted Area Light

Site Plan

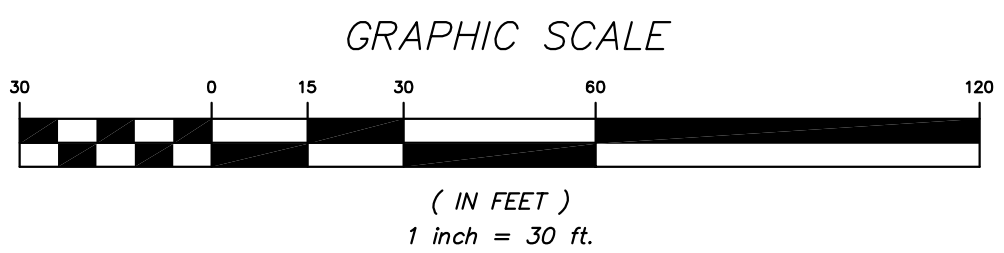
Approval hereby granted this _____ day of _____, _____
 If building permit is not issued within 12 months from the above date, this approval becomes null and void.

Town of Carmel Planning Board

Signed this _____ day of _____, _____ by _____

Chairman: _____

Secretary: _____



2	8-13-15	REVISED FOR ZBA SUBMISSION	DLM
1	7-29-15	REVISED PER TOWN COMMENTS	MEU
NO.	DATE	REVISION	BY

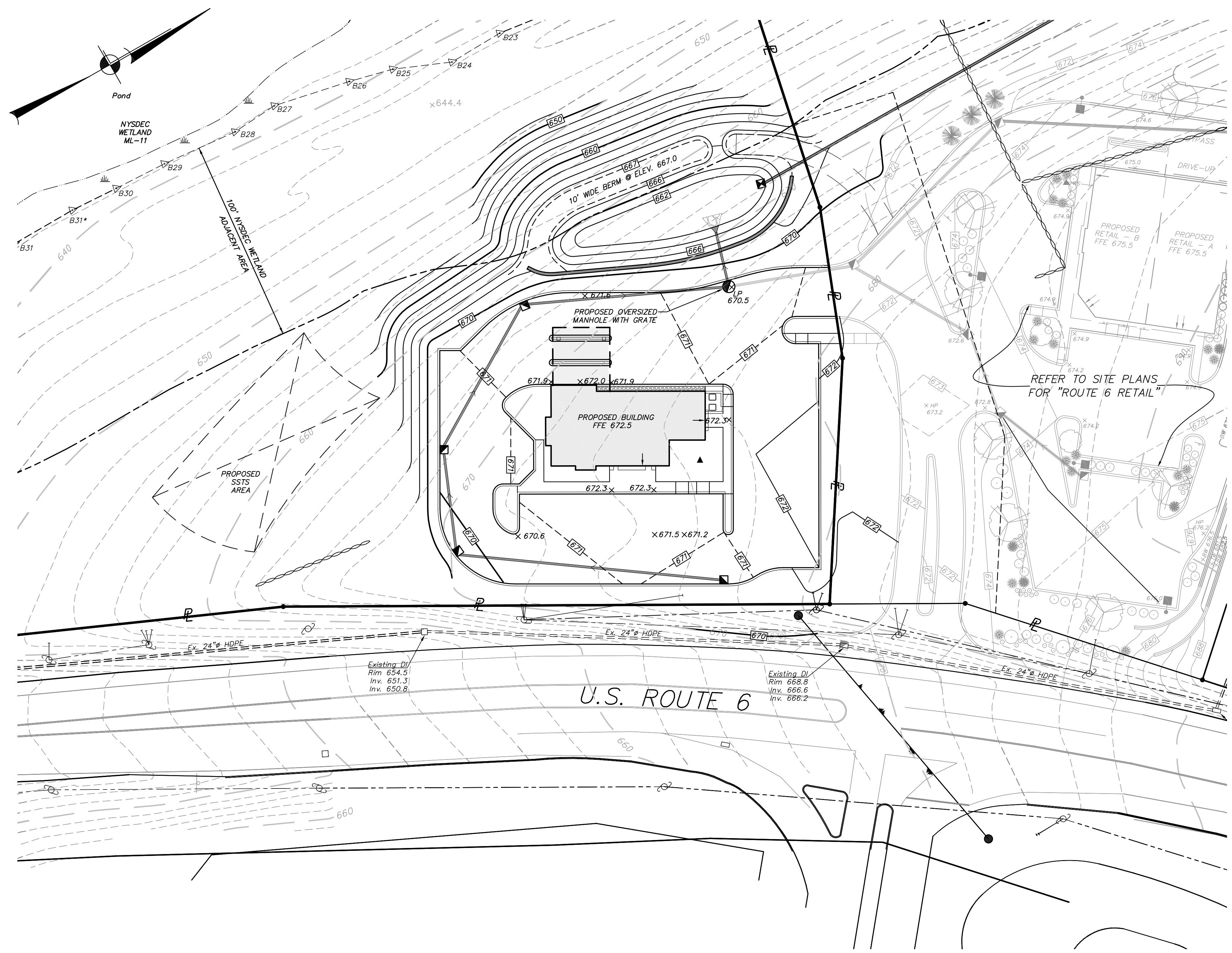
INSITE
 ENGINEERING, SURVEYING &
 LANDSCAPE ARCHITECTURE, P.C.

3 Garrett Place
 Carmel, NY 10512
 (845) 225-0690
 (845) 225-9717 fax
 www.insite-eng.com

PROJECT: PCSB/MAHOPAC BRANCH		150 ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK	
DRAWING: LAYOUT & LANDSCAPE PLAN			
PROJECT NUMBER	15130.100	PROJECT MANAGER	J.J.C.
DATE	6-24-15	DRAWN BY	M.E.U.
SCALE	1" = 30'	CHECKED BY	D.L.M.
DRAWING NO.	SHEET		
	SP-1		2 / 6

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

2015/03/20 09:00 AM 15130.100 15130.100 15130.100 15130.100 15130.100



LEGEND	
	Existing Property Line
	Existing 10' Contour
	Existing 2' Contour
	Existing Spot Grade
	Existing Watercourse
	Existing Wetland
	Existing Utility Poles With Overhead Wires
	Existing Edge of Pavement
	Existing White Line
	Existing Curb
	Proposed Curb
	Proposed Retaining Wall
	Proposed Concrete Walk
	Proposed 10' Contour
	Proposed 2' Contour
	Proposed Spot Grade

Site Plan

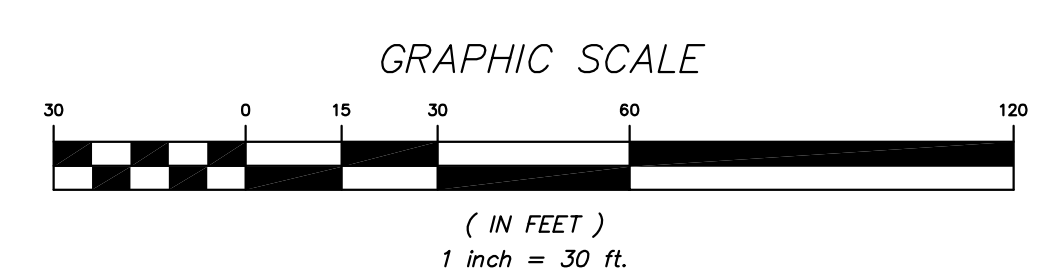
Approval hereby granted this _____ day of _____
 If building permit is not issued within 12 months from the above
 date, this approval becomes null and void.

Town of Carmel Planning Board

Signed this _____ day of _____, _____ by _____

Chairman: _____

Secretary: _____



2	8-13-15	REVISED FOR ZBA SUBMISSION	DLM
1	7-29-15	REVISED PER TOWN COMMENTS	MEU
NO.	DATE	REVISION	BY

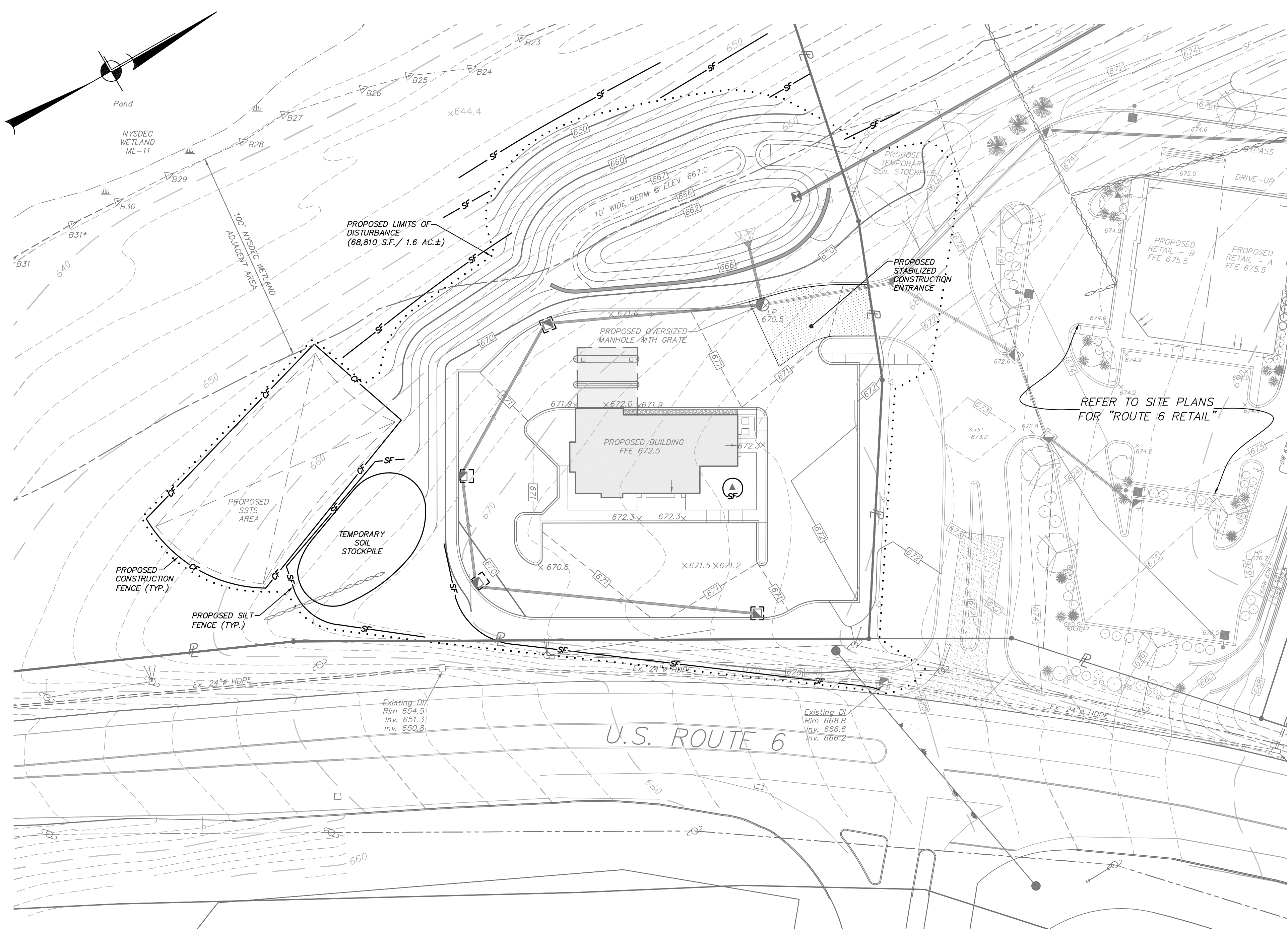
INSITE
 ENGINEERING, SURVEYING &
 LANDSCAPE ARCHITECTURE, P.C.

3 Garrett Place
 Carmel, NY 10512
 (845) 225-0690
 (845) 225-9717 fax
 www.insite-eng.com

PROJECT:			
PCSB/MAHOPAC BRANCH			
ROUTE 6 & BALDWIN PLACE ROAD, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK			
DRAWING:			
GRADING & DRAINAGE PLAN			
PROJECT NUMBER	15130.100	PROJECT MANAGER	J.J.C.
DATE	6-24-15	DRAWN BY	M.E.U.
SCALE	1" = 30'	CHECKED BY	D.L.M.
DRAWING NO.	SHEET		
	SP-2		3
			6

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

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LEGEND

	Existing Property Line
	Existing 10' Contour
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	Proposed Curb
	Proposed Retaining Wall
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	Proposed 10' Contour
	Proposed 2' Contour
	Proposed Spot Grade

EROSION AND SEDIMENT CONTROL MAINTENANCE SCHEDULE

PRACTICE	MONITORING REQUIREMENTS			MAINTENANCE REQUIREMENTS	
	DAILY	WEEKLY	AFTER RAINFALL	DURING CONSTRUCTION	AFTER CONSTRUCTION
SILT FENCE BARRIER	Inspect	Inspect	Inspect	Clean/Replace	Remove
STABILIZED CONSTRUCTION ENTRANCE	Inspect	Inspect	Inspect	Clean/Replace Stone and Fabric	Remove
DUST CONTROL	Inspect	Inspect	Inspect	Mulching/Spraying Water	N/A
*VEGETATIVE ESTABLISHMENT	Inspect	Inspect	Inspect	Water/Reseed/Renrich	Reseed to 80% Coverage
INLET PROTECTION	Inspect	Inspect	Inspect	Clean/Repair/Replace	Remove
SOIL STOCKPILES	Inspect	Inspect	Inspect	Mulching/Silt Fence Repair	Remove
SWALES	Inspect	Inspect	Inspect	Clean/Mulch/Repair	Mow Permanent Grass/Replace/Repair Rip Rap
CHECK DAMS	Inspect	Inspect	Inspect	Clean/Replace Stones/Repair	Clean/Replace Stones/Repair
CONCRETE DRAINAGE STRUCTURES	Inspect	Inspect	Inspect	Clean Sumps/Remove Debris/Repair/Replace	Clean Sumps/Remove Debris/Repair/Replace
DRAINAGE PIPES	Inspect	Inspect	Inspect	Clean/Repair	Clean/Repair
ROAD & PAVEMENT	Inspect	Inspect	Inspect	Clean	Clean
*STORMWATER TRAP/BASIN	Inspect	Inspect	Inspect	Clean/Mulch/Repair/Reseed	See Permanent Stormwater Facilities Maintenance Schedule

CONSTRUCTION SEQUENCE:

- Install silt fence and orange construction fence around the SSTS area and along the wetland buffer in general locations as shown on the plans.
- Install stabilized construction entrance/anti-tracking pad in general location as shown on the plan.
- Begin clearing and grubbing operations associated with access road and building pads.
- Strip and stockpile topsoil on site for later use in lawn and landscape areas.
- Cut in for access road and stabilize with Item 4. Maintain stabilized construction entrance.
- Continue earthwork for building pad and parking area and begin excavation for foundation.
- Install storm drainage systems and underground utilities, drill well and install SSTS in accordance with the plan and details. Install inlet protection.
- Construction building, construct roof leader drains, install concrete curbs and sidewalks.
- Upon completion of grading operations, install finished driveway surfaces.
- Install landscaping and topsoil, seed, and mulch all disturbed areas as soon as practical in accordance with the Erosion and Sediment Control Notes and seeding notes.
- Once the site has received final stabilization, remove all temporary erosion and sediment control measures.

Site Plan

Approval hereby granted this _____ day of _____, _____, if building permit is not issued within 12 months from the above date, this approval becomes null and void.

Town of Carmel Planning Board

Signed this _____ day of _____, _____ by _____

Chairman: _____

Secretary: _____

REQUIRED EROSION CONTROL SWPPP CONTENTS:

- Pursuant to the NYSDEC "SPDES General Permit for Stormwater Discharges from Construction Activity" (GP-0-15-002), all Stormwater Pollution Prevention Plan's (SWPPP) shall include erosion and sediment control practices designed in conformance with the most current version of the technical standard, "New York Standards and Specifications for Erosion and Sediment Control." Where erosion and sediment control practices are not designed in conformance with this technical standard, the owner or operator must demonstrate equivalence to the technical standard. The following list of required SWPPP components is provided in accordance with Part III.B.1a-1 of General Permit GP-0-15-002:
- Background information: The subject project consists of the construction of a new bank and parking with associated stormwater management, on-site septic system and drilled well.
 - Site map / construction drawing: These plans serve to satisfy this SWPPP requirement.
 - Description of the soils present at the site: Onsite soils located within the proposed limits of disturbance consist of Paxton Fine Sandy Loam (PnB) & (PnD), Ridgebury Loam (RdA) and Sun Loam (Sh), as identified on the Soil Conservation Service Web Soil Survey. These soil types belong to the Hydrologic Soil Group "B" and "D."
 - Construction phasing plan / sequence of operations: The Construction Sequence and phasing found on these plans provide the required phasing. A Construction Sequence and Erosion and Sediment Control Maintenance Schedule has been provided. The Sedimentation and Erosion Control Notes contained hereon outline a general sequence of operations for the proposed project in general all erosion and sediment control facilities shall be installed prior to commencement with land disturbing activities, and areas of disturbance shall be limited to the shortest period of time as practicable.
 - Description of erosion and sediment control practices: This plan, and details / notes shown hereon serve to satisfy this SWPPP requirement.
 - Temporary and permanent soil stabilization plan: The Sedimentation and Erosion Control Notes and details provided hereon identify temporary and permanent stabilization measures to be employed with respect to specific elements of the project, and at the various stages of development.
 - Site map / construction drawing: This plan serves to satisfy this SWPPP requirement.
 - The dimensions, material specifications, installation details, and operation and maintenance requirements for all erosion and sediment control practices: The details, Erosion and Sediment Control Notes, and Erosion and Sediment Control Maintenance Schedule serve to satisfy this SWPPP requirement.
 - An inspection schedule: Inspections are to be performed twice weekly and by a qualified professional as required by the General Permit GP-0-15-002. In addition the NYSDEC Trained Contractor shall perform additional inspections as cited in the Sedimentation and Erosion Control Notes.
 - A description of pollution prevention measures that will be used to control litter, construction chemicals and construction debris: In general, all construction litter / debris shall be collected and removed from the site. The general contractor shall supply either waste barrels or dumpster for proper waste disposal. Any construction chemicals utilized during construction shall either be removed from site daily by the contractor or stored in a structurally sound and weatherproof building. No hazardous waste shall be disposed of onsite, and shall ultimately be disposed of in accordance with all federal, state and local regulations. Material Safety Data Sheets (MSDS), material inventory, and emergency contact numbers shall be maintained by the general contractor for all construction chemicals utilized onsite. Finally, temporary sanitary facilities (portable toilets) shall be provided onsite during the entire length of construction, and inspected weekly for evidence of leaking holding tanks.
 - A description and location of any stormwater discharges associated with industrial activity other than construction at the site: There are no known industrial stormwater discharges present or proposed at the site.
 - Identification of any elements of the design that are not in conformance with the technical standard, "New York Standards and Specifications for Erosion and Sediment Control." All proposed elements of this SWPPP have been designed in accordance with the "New York Standards and Specifications for Erosion and Sediment Control."

REQUIRED POST-CONSTRUCTION STORMWATER MANAGEMENT PRACTICE COMPONENTS:

- Pursuant to the NYSDEC "SPDES General Permit for Stormwater Discharges from Construction Activity" (GP-0-15-002), all construction projects needing post-construction stormwater management practices shall prepare a SWPPP that also includes practices designed in conformance with the most current version of the technical standard, "New York State Stormwater Management Design Manual (Design Manual)." Where post-construction stormwater management practices are not designed in conformance with this technical standard, the owner or operator must demonstrate equivalence to the technical standard. The following list of SWPPP components is provided in accordance with Part III.B.2a-g and III.B.3:
 - Identification of all post-construction stormwater management practices to be constructed as part of the project; This plan, and details/notes shown hereon serve to satisfy this SWPPP requirement.
 - A site map/construction drawing(s) showing the specific location and size of each post-construction stormwater management practice; This plan, and details/notes shown hereon serve to satisfy this SWPPP requirement.
 - A Stormwater Modeling and Analysis Report including pre-development conditions, post-development conditions, the results of the stormwater modeling, a summary table demonstrating that each practice has been designed in conformance with the sizing criteria, identification of any justifications for any deviations from the Design Manual, and identification of any design criteria that are not required. The required analysis is provided in the report titled Stormwater Pollution Prevention Plan for PCSB/Mahopac Branch.
 - Soil testing results and locations. This SWPPP requirement is provided in the report titled Stormwater Pollution Prevention Plan for PCSB/Mahopac Branch.
 - Infiltration testing results. This SWPPP requirement is provided in the report titled Stormwater Pollution Prevention Plan for PCSB/Mahopac Branch.
 - An operations and maintenance plan that includes inspection and maintenance schedules and actions to ensure continuous and effective operation of each post-construction stormwater management practice. The plan shall identify the entity that will be responsible for the long term operation and maintenance of each practice. The Permanent Stormwater Facilities Maintenance Schedule provided on these plans serves to satisfy this requirement.
- Enhanced Phosphorus Removal Standards - Beginning on September 30, 2008, all construction projects identified in Table 2 of Appendix B that are located in the watersheds identified in Appendix C shall prepare a SWPPP that includes post-construction stormwater management practices designed in conformance with the Enhanced Phosphorus Removal Standards included in the most current version of the technical standard, "New York Stormwater Management Design Manual." At a minimum, the post-construction stormwater management practice components of the SWPPP shall include items 2.a - 2.f. above. The permanent stormwater practices for this project have been sized according to chapter 10 of the Design Manual Enhanced Phosphorus Removal Standards. Please see 2.a - 2.f. above.

EROSION & SEDIMENT CONTROL NOTES:

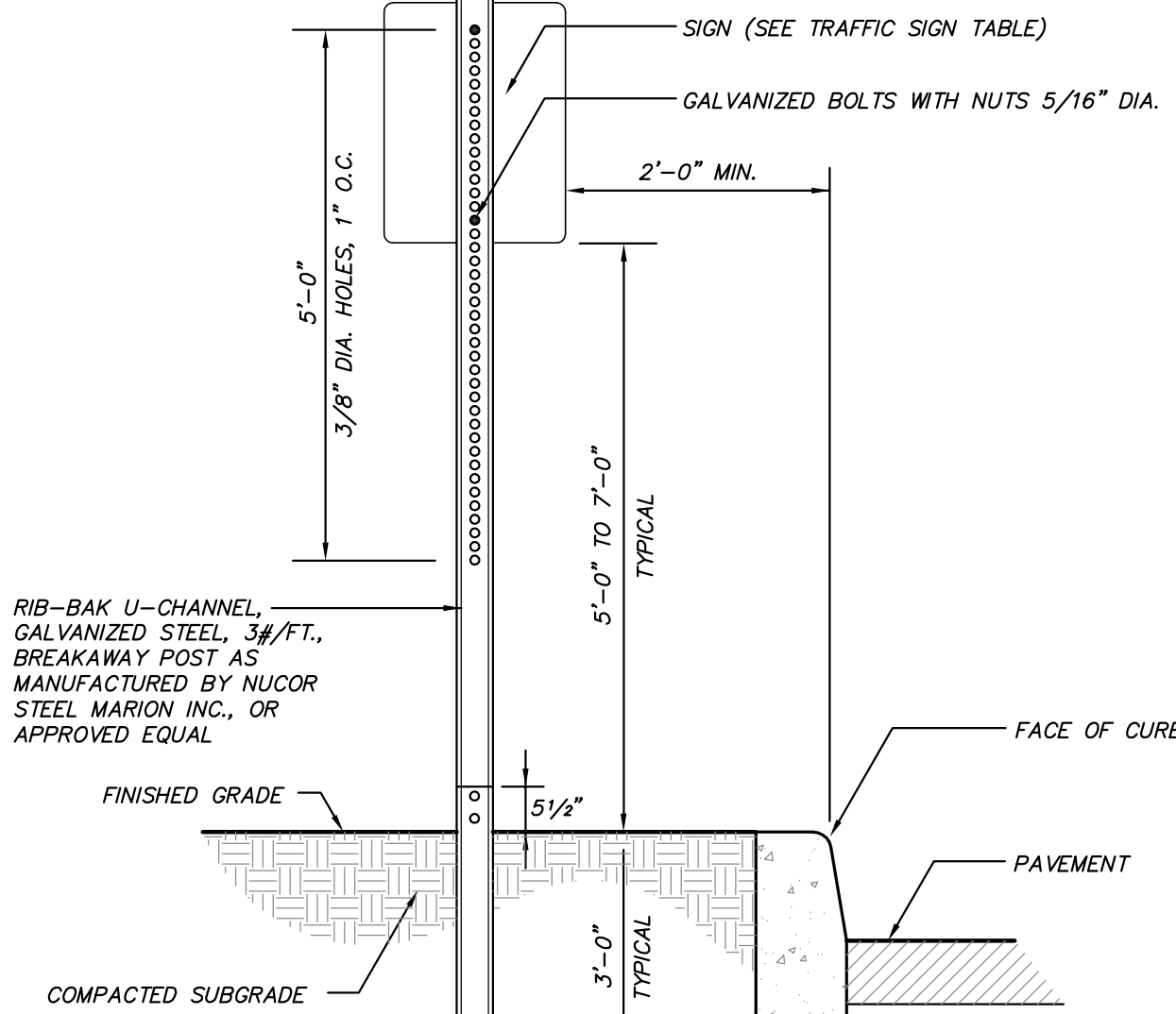
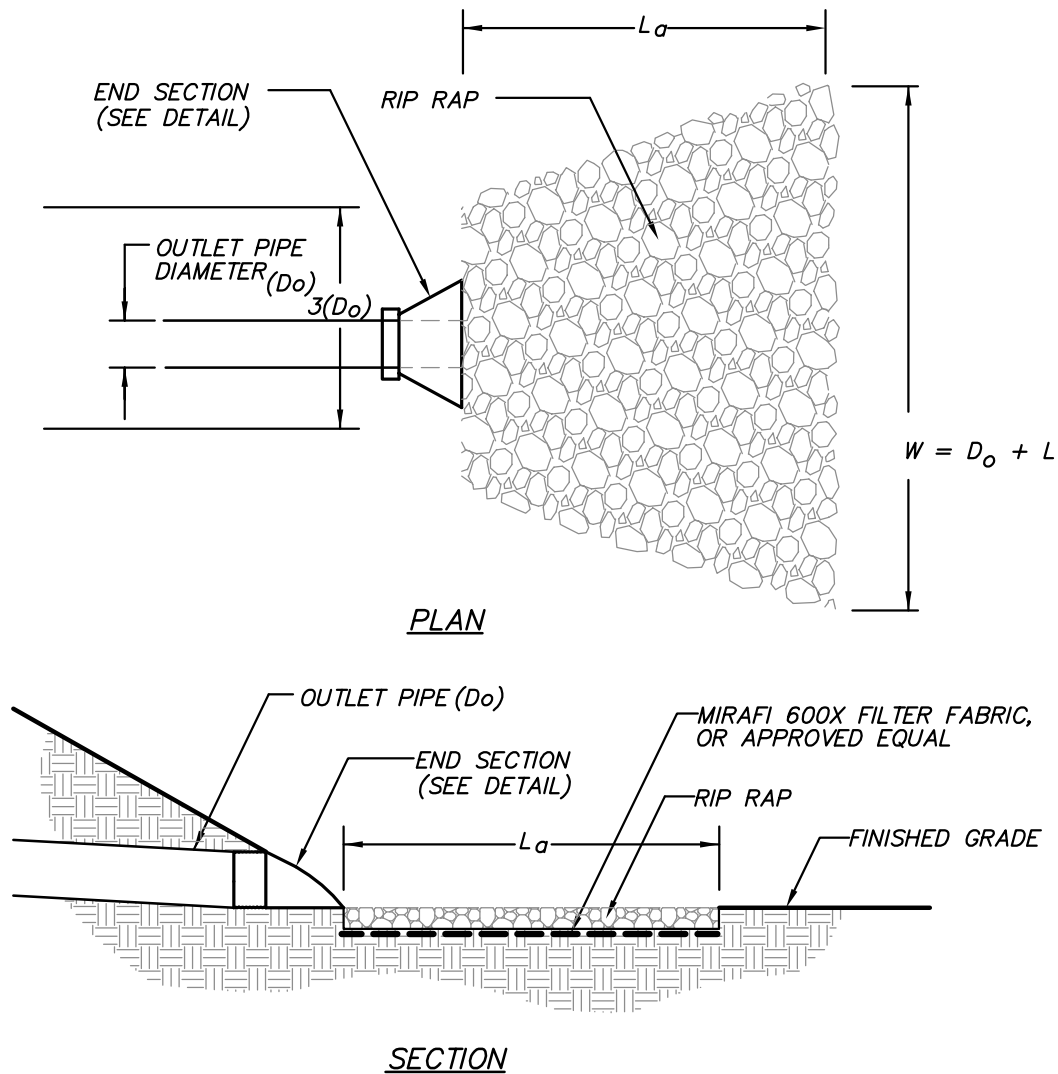
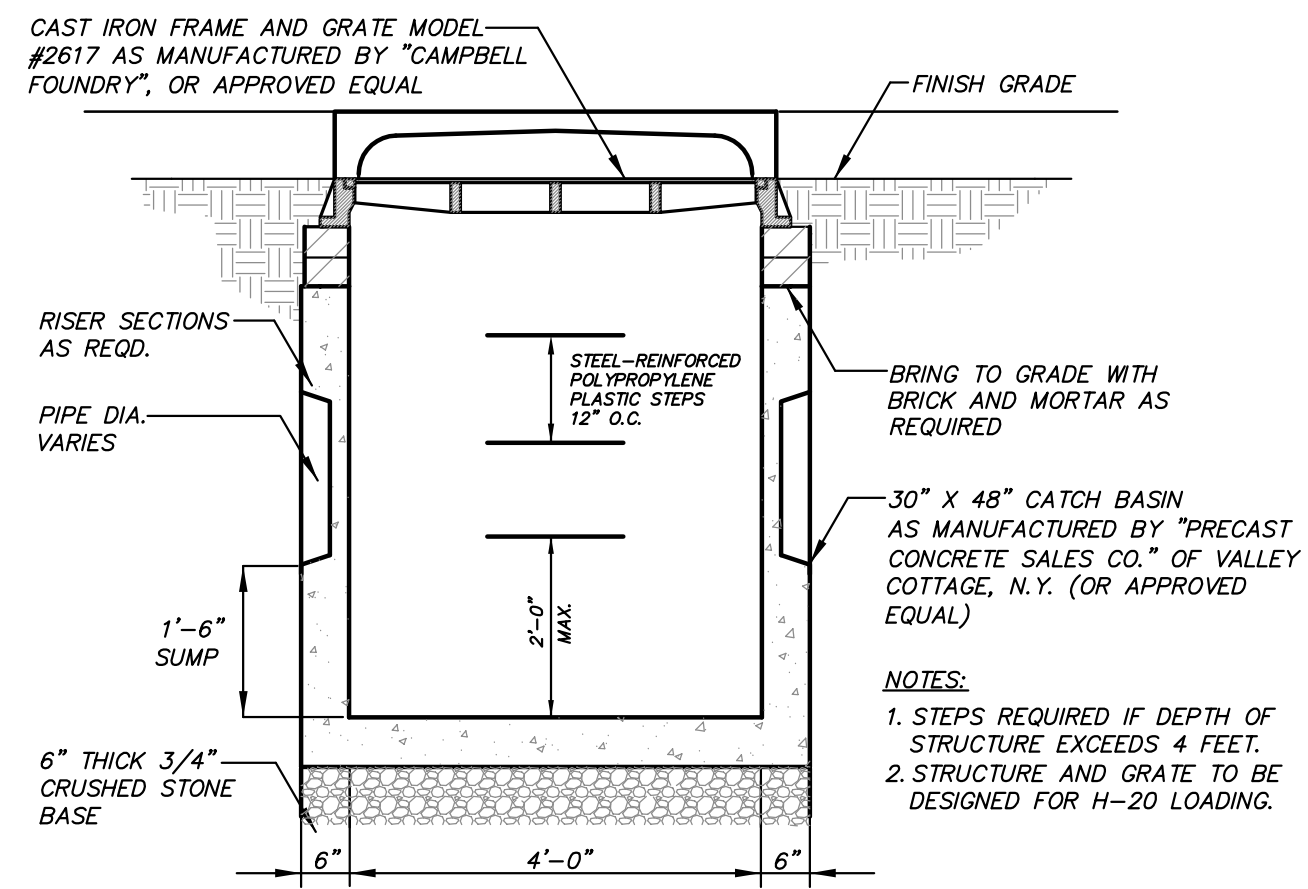
- The Erosion and Sediment Control Plan is only to be referred to for the installation of erosion and sediment control measures. For all other construction related activities, including, but not limited to, grading and utilities, refer to the appropriate drawings.
- Each contractor or subcontractor responsible for soil disturbance shall have a NYSDEC trained contractor onsite during soil disturbing activities. The NYSDEC trained contractor will be responsible for the stormwater pollution prevention plan and for the implementation and maintenance of erosion and sediment control measures on this site prior to and during construction. The NYSDEC trained contractor shall sign a certification statement required by GP-0-15-002.
- All construction activities involving the removal or disposition of soil are to be provided with appropriate protective measures to minimize erosion and contain sediment disposition within. Minimum soil erosion and sediment control measures shall be implemented as shown on the plans and shall be installed in accordance with "New York Standards and Specifications For Erosion and Sediment Control," latest edition.
- Wherever feasible, natural vegetation should be retained and protected. Disturbance shall be minimized in the areas required to perform construction. No more than 5 acres of unprotected soil shall be exposed at any one time.
- When land is exposed during development, the exposure shall be kept to the shortest practical period of time, but in no case more than 7 days after the construction activity in that portion of the site has ceased. Disturbance shall be minimized in the areas required to perform construction.
- All construction vehicles shall be kept clear of the watercourses and wetland control areas outside the areas of proposed development. Silt fence and orange construction fence shall be installed in the areas where the grading is in close proximity of the watercourses or wetland control areas.
- The stabilized construction entrances, silt fence, and orange construction fence shall be installed as shown on the plans prior to beginning any clearing, grubbing or earthwork.
- All topsoil to be stripped from the area being developed shall be stockpiled and immediately seeded with Ryegrass for temporary stabilization. Winter (Grain) Rye shall be used for winter seeding and Annual or Perennial Ryegrass shall be used for spring and summer seeding.
- Any graded areas not subject to further disturbance or construction traffic shall, within 7 days of final grading, receive permanent vegetation cover in combination with a suitable mulch. All seeded areas to receive a minimum 4" topsoil (from stockpile area) and be seeded and mulched between March 21 and May 20 or between August 15 and October 15 or as directed by project representative, with specified seed mixes as shown in the General Site Seeding Notes.
 - Mulch: Silt hay or small grain straw applied at a rate of 90 lbs./1000 S.F. or 2 tons/acre, to be applied and anchored according to "New York Standards and Specification For Erosion and Sediment Control," latest edition.
- Grass seed mix may be applied by either mechanical or hydrosowing methods. Seeding shall be performed in accordance with the current edition of the "NYSDEC Standard Specification, Construction and Materials, Section 610-3.02, Method No. 1". Hydrosowing shall be performed using materials and method as approved by project engineer.
- Cut or fill slopes steeper than 3H:1V shall be stabilized immediately after grading with Curlex I Single Net Erosion Control Blanket, or approved equal.
- Paved roadways shall be kept clean at all times.
- The site shall at all times be graded and maintained such that all stormwater runoff is diverted to soil erosion and sediment control facilities.
- All storm drainage outlets shall be stabilized, as required, before the discharge points become operational.
- Stormwater from disturbed areas must be passed through erosion control barriers before discharge beyond disturbed areas or discharged into other drainage systems.
- Erosion and sediment control measures shall be inspected and maintained on a daily basis by the NYSDEC Trained Contractor to insure that channels, temporary and permanent ditches and pipes are clear of debris, that embankments and berms have not been breached and that all straw bales and silt fences are intact. Any failure of erosion and sediment control measures shall be immediately repaired by the contractor and inspected for approval by the site engineer.
- Dust shall be controlled by sprinkling or other approved methods as necessary, or as directed by the trained contractor or site engineer.
- Cut and fills shall not endanger adjoining property, nor divert water onto the property of others.
- All fills shall be placed and compacted in 6" lifts to provide stability of material and to prevent settlement.
- The NYSDEC Trained Contractor shall inspect downstream conditions for evidence of sedimentation on a weekly basis and after rainstorms.
- As warranted by field conditions, special additional erosion and sediment control measures, as specified by the site engineer, the Wetlands Inspector, the Town Engineer and/or NYCDPEP shall be installed by the contractor.
- Erosion and sediment control measures shall remain in place until all disturbed areas are suitably stabilized.
- After completion of the site improvements, the owner will assume responsibility for maintenance of the roads, parking lots, drainage systems and stormwater facilities. Each spring the paved areas shall be cleaned to remove the winter accumulation of traction sand. After this is completed all drain inlet and catch basin sumps should be cleaned. All pipes should be checked for debris and blockage and cleaned as required. During the cleaning process, the drain inlets, catch basins and pipes should be inspected for structural integrity and overall condition. Repairs and/or replacements should be made as required.
- Inspection of the stormwater basins should be performed every 6 months and after large storm events. These inspections should, at a minimum, check the outlet pipes for blockage and the general overall integrity of the basin and appurtenances.
- Maintain basin vegetation including removal of trees and replacement of vegetation that should die. After this is completed all drain inlet and catch basin sumps should be cleaned. Accumulated silt will be required to be removed every 10 to 20 years. Any accumulated silt shall be removed from the stormwater basins once the site has been stabilized.
- Refer to the Stormwater Pollution Prevention Plan for additional details regarding long-term maintenance of the storm drainage facilities.

2	8-13-15	REVISED FOR ZBA SUBMISSION	DLM
1	7-29-15	REVISED PER TOWN COMMENTS	MEU
NO.	DATE	REVISION	BY
PROJECT:		PCSB/MAHOPAC BRANCH	
150 ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK			
DRAWING:		EROSION & SEDIMENT CONTROL PLAN	
PROJECT NUMBER	15130.100	PROJECT MANAGER	J.J.C.
DATE	6-24-15	DRAWN BY	M.E.U.
SCALE	1" = 30'	CHECKED BY	D.L.M.
DRAWING NO.	SHEET		
	SP-3		4/6

3 Garrett Place
Carmel, NY 10512
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www.insite-eng.com

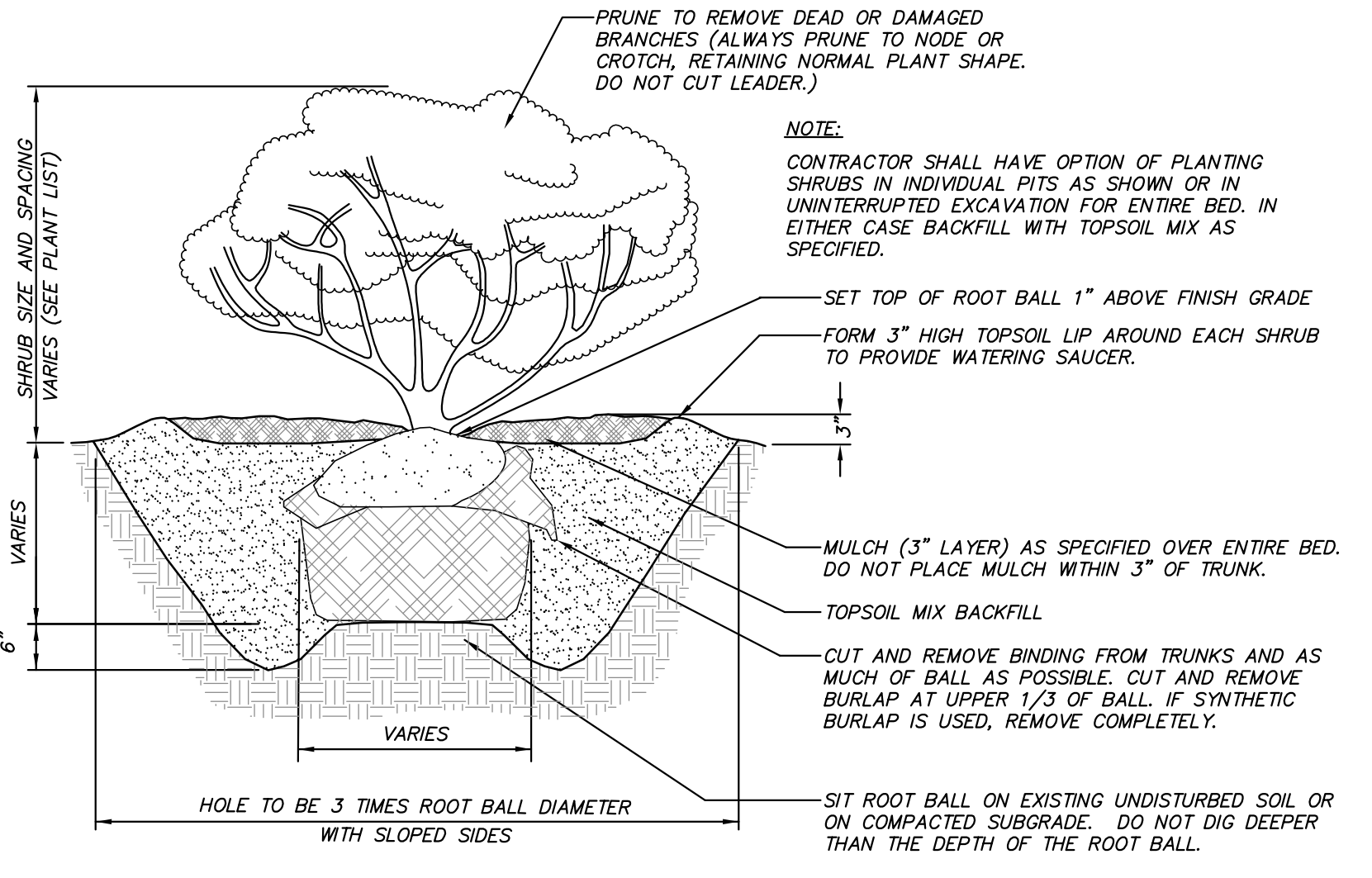
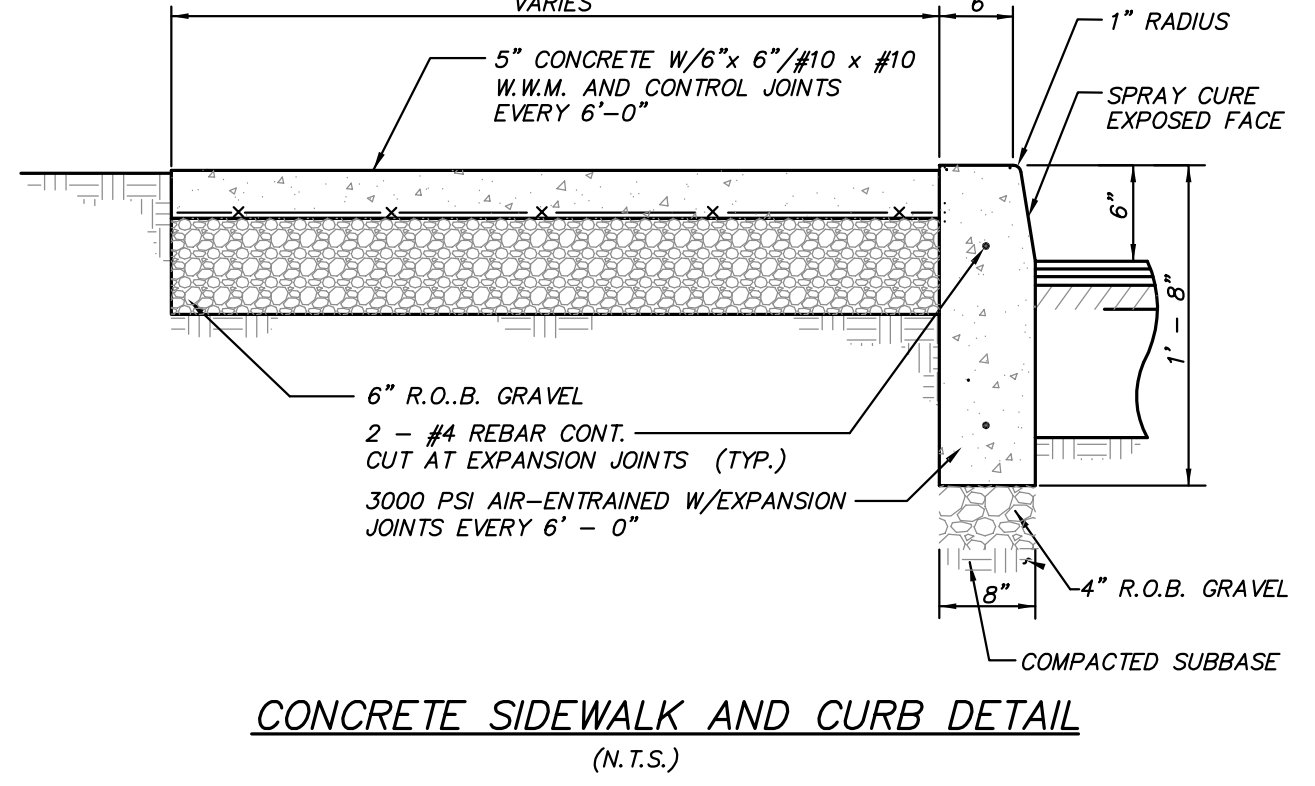
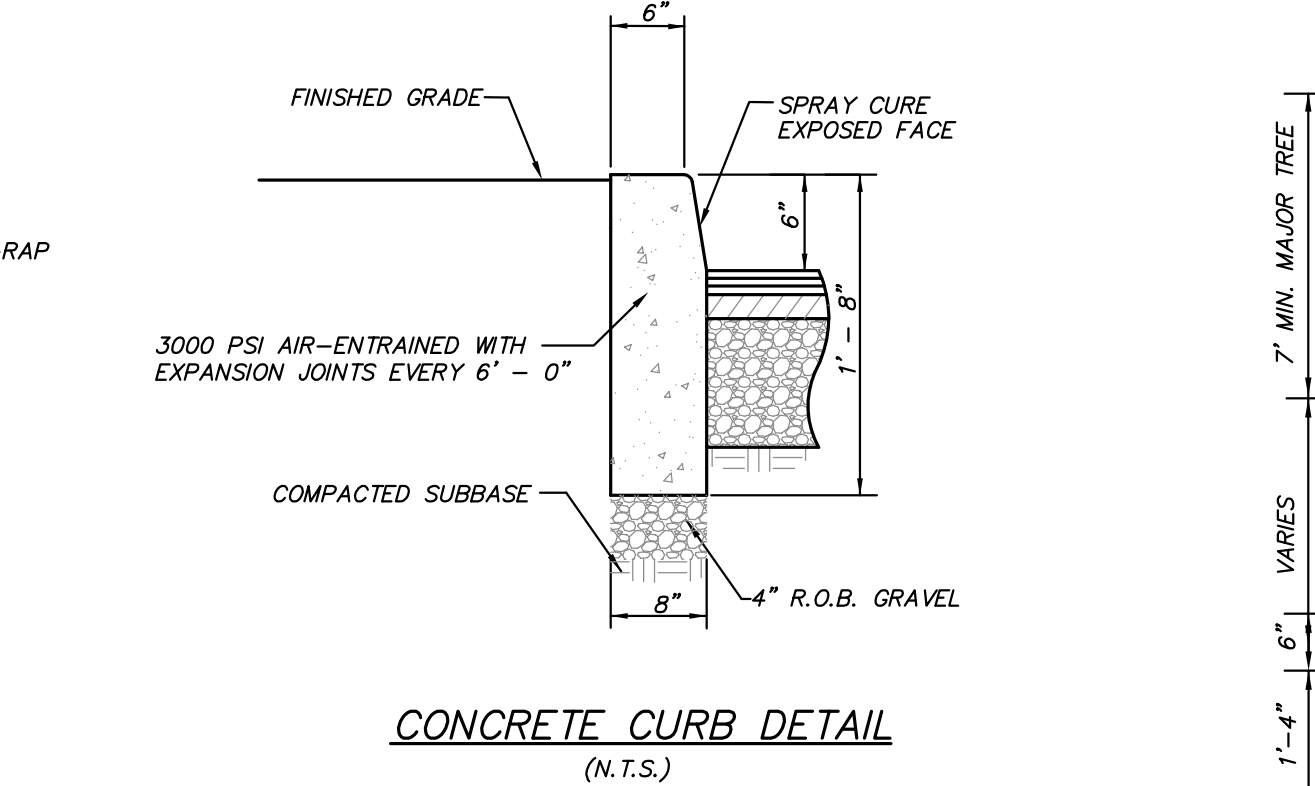
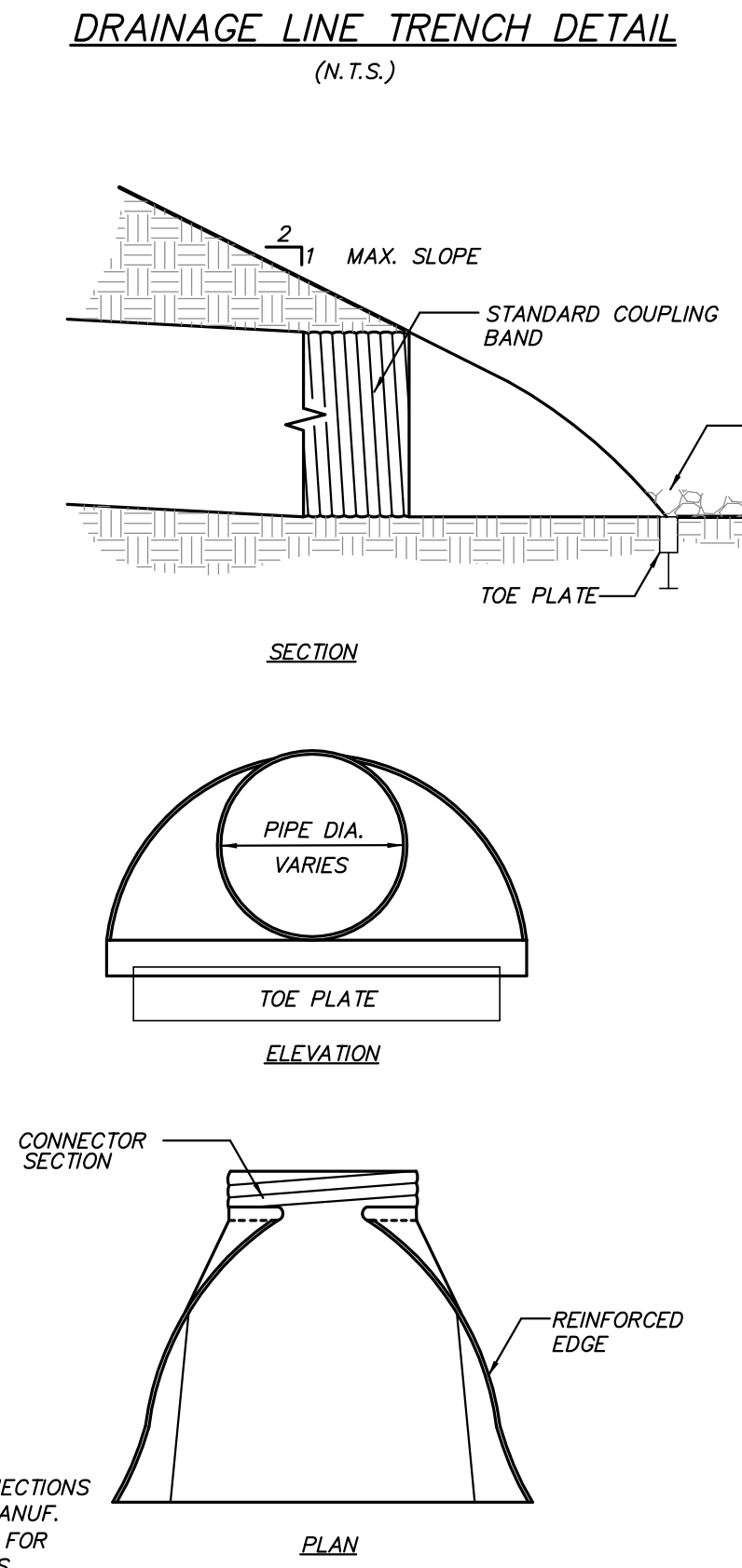
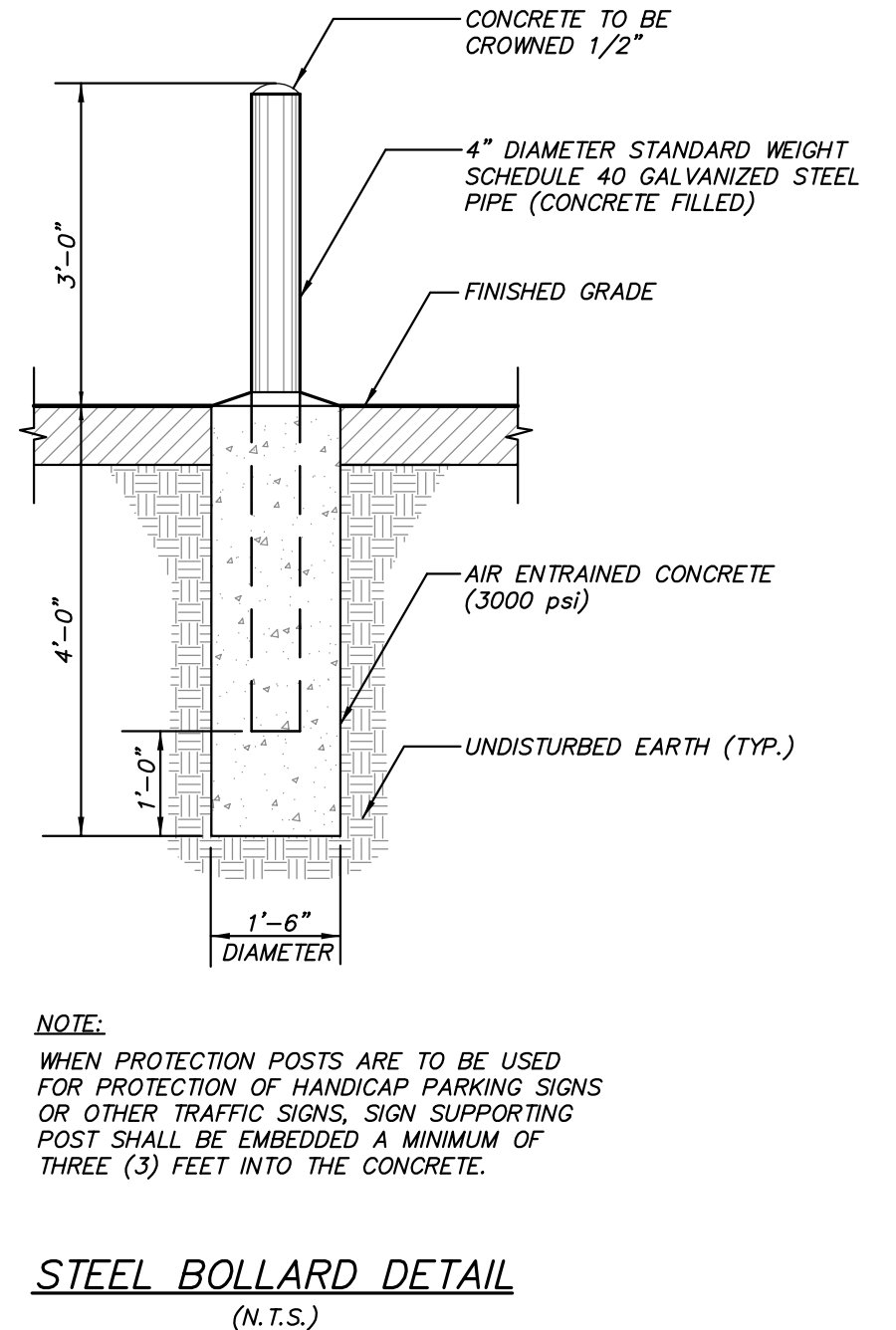
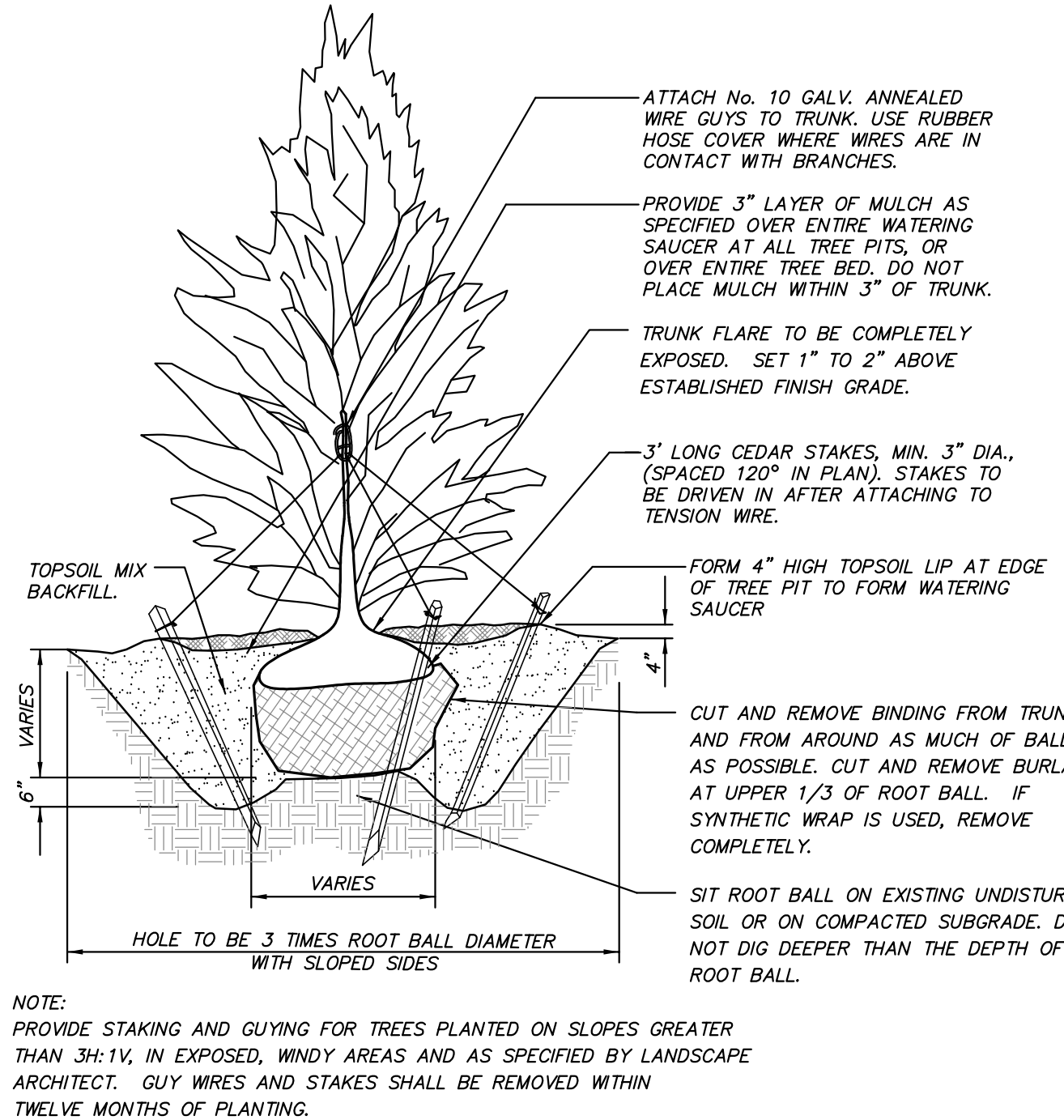
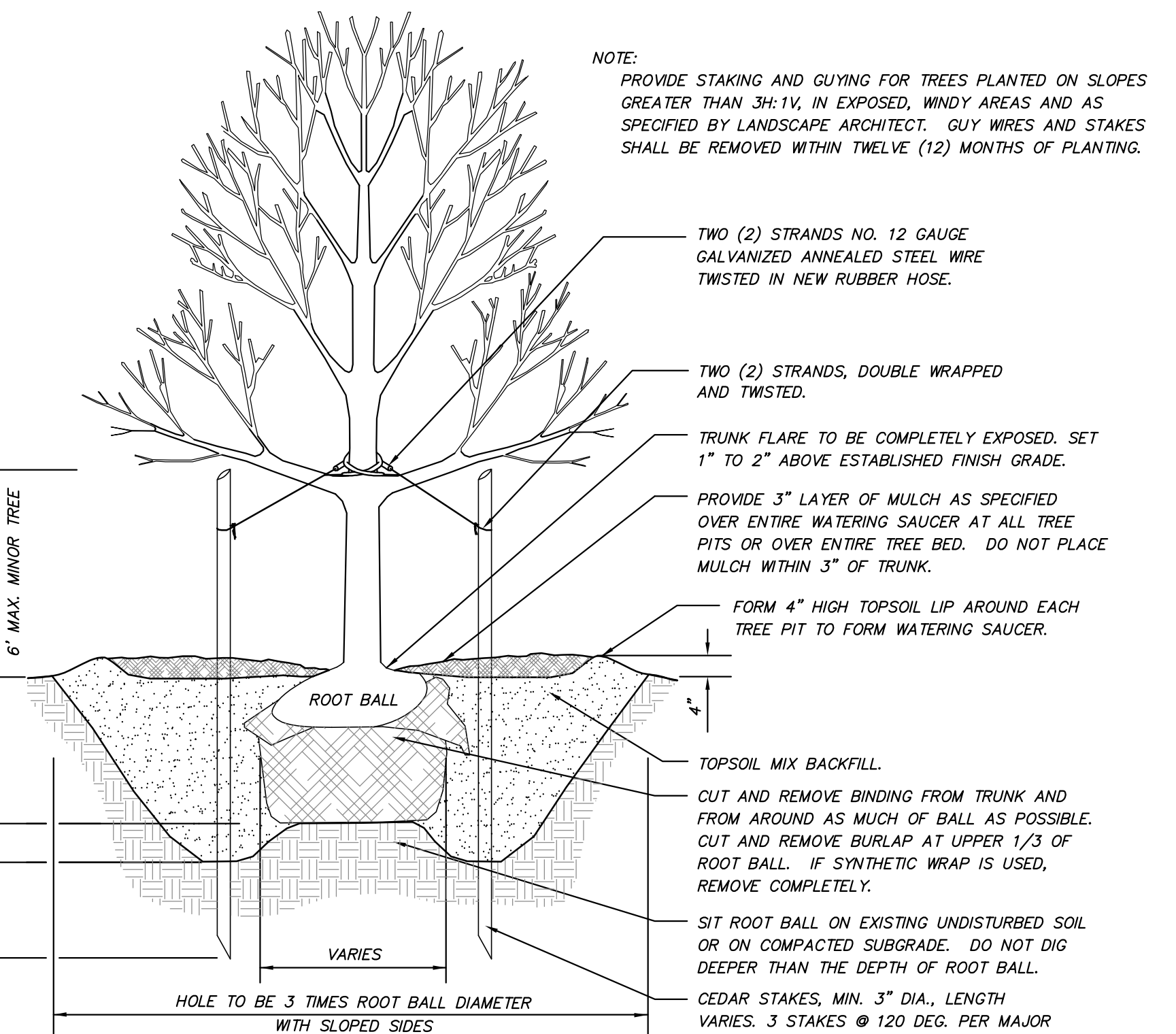
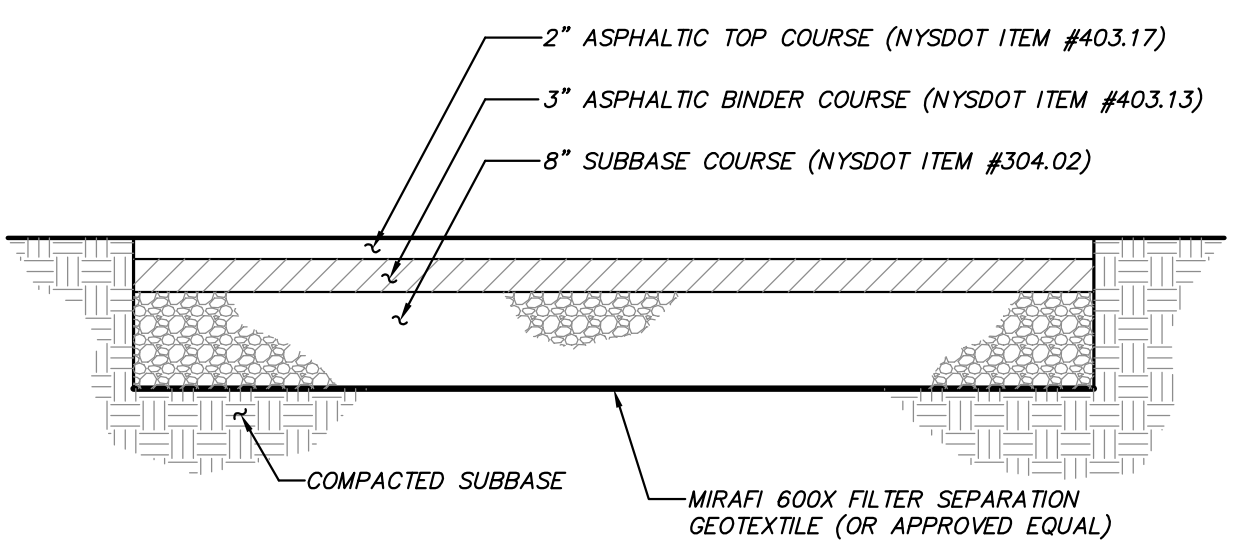
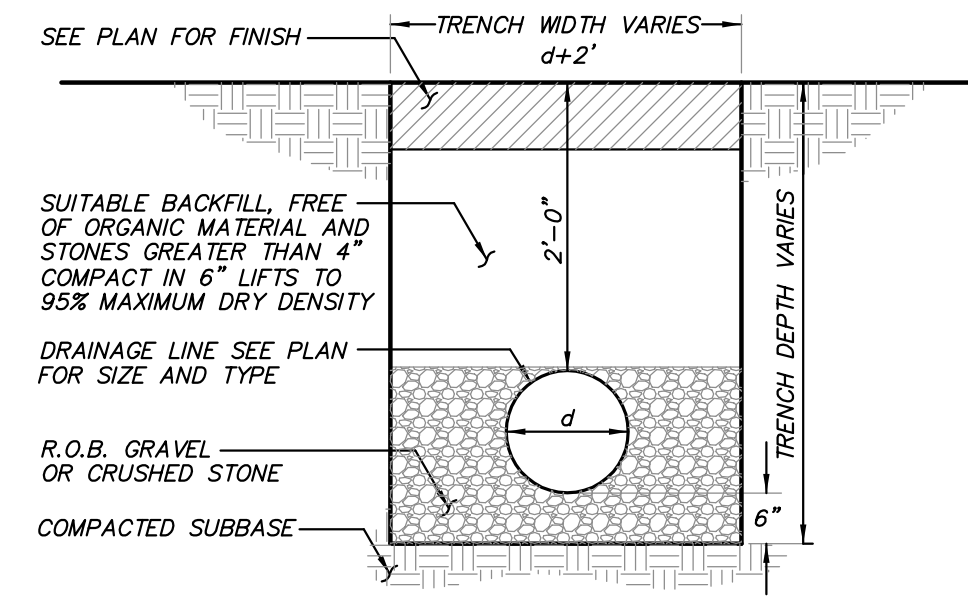
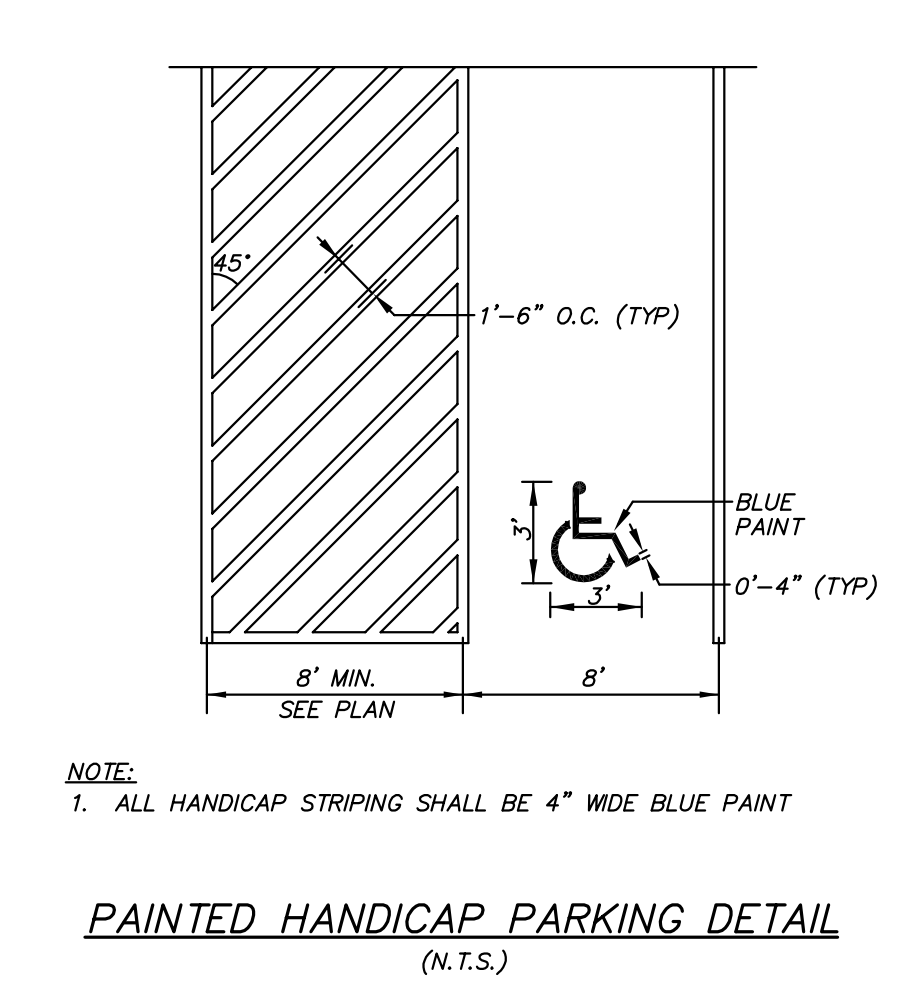
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* Permanent vegetation is considered stabilized when 80% of the plant density is established. Erosion control measures shall remain in place until all disturbed areas are permanently stabilized. Note: The party responsible for implementation of the maintenance schedule during and after construction is:
PCSB
P.O. BOX 417
Brewster, NY 10509
and/or the current owner(s) of the subject property.



SIGN DATA TABLE

LOCATION NO.	TEXT	M.U.T.C.D. NUMBER	SIZE OF SIGN (S.F.)	DESCRIPTION
1		R6-1C	12" x 36"	Black Background White Arrow Black Letters
2		R6-1C	12" x 36"	Black Background White Arrow Black Letters
3		R5-1C	30" x 30"	White on Red
4		R7-1	12" x 18"	Red on White
5		R7-8	12" x 18"	Blue on White
6		R1-1C	30" x 30"	White on Red



Site Plan

Approval hereby granted this _____ day of _____, _____, If building permit is not issued within 12 months from the above date, this approval becomes null and void.

Town of Carmel Planning Board

Signed this _____ day of _____, _____ by _____

Chairman: _____

Secretary: _____

2	8-13-15	REVISED FOR ZBA SUBMISSION	DLM
1	7-29-15	REVISED PER TOWN COMMENTS	MEU
NO.	DATE	REVISION	BY

INSITE
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

3 Garrett Place
Carmel, NY 10512
(845) 225-0690
(845) 225-9717 fax
www.insite-eng.com

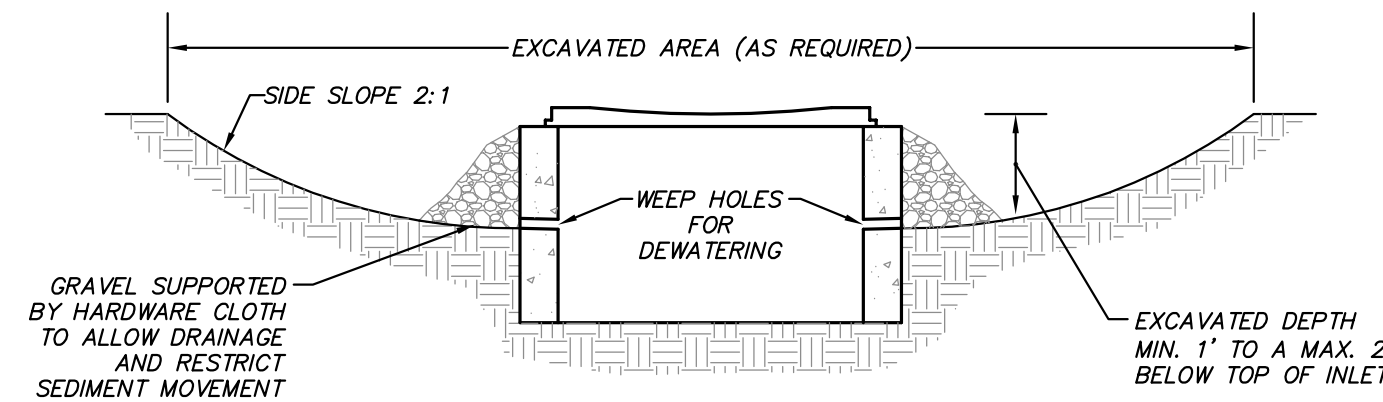
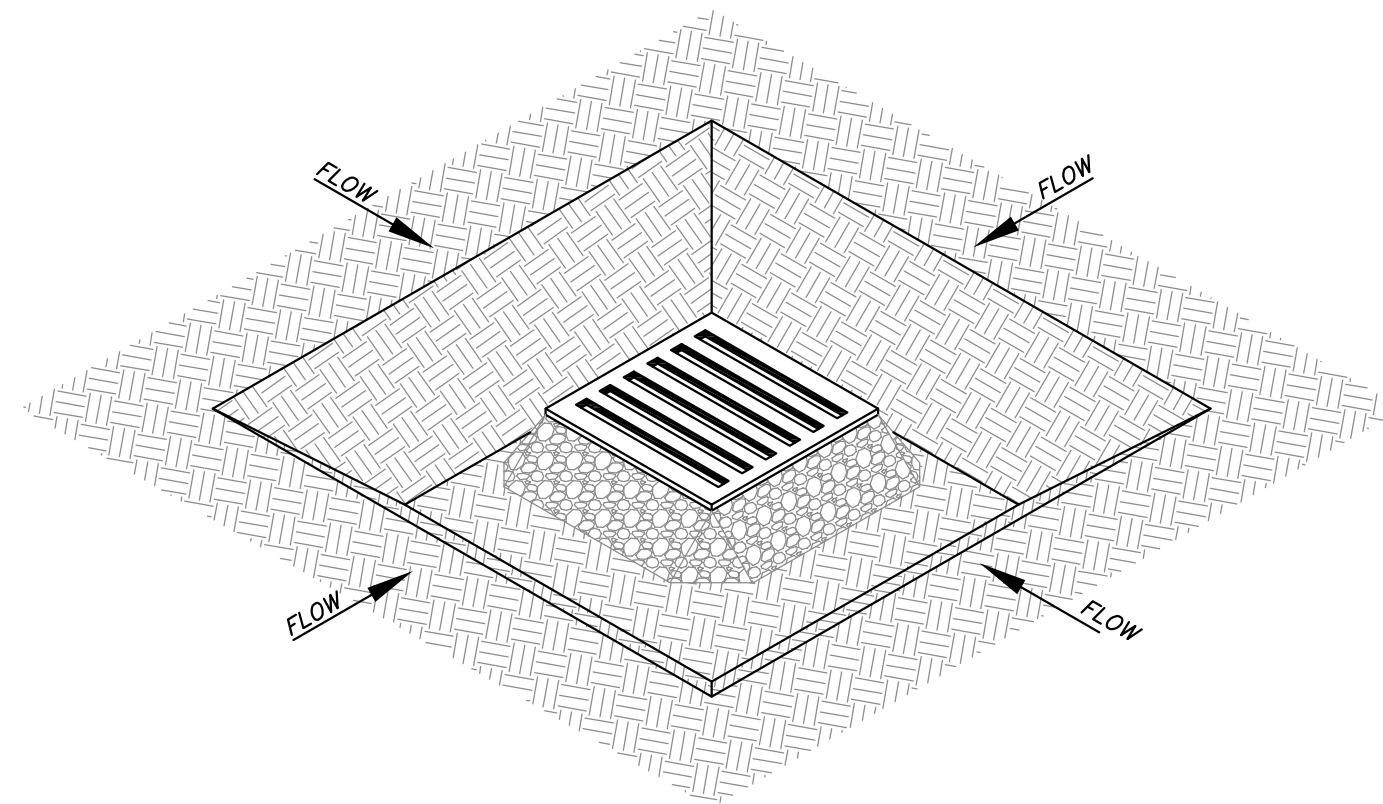
PROJECT:
PCSB/MAHOPAC BRANCH

150 ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING:
SITE DETAILS

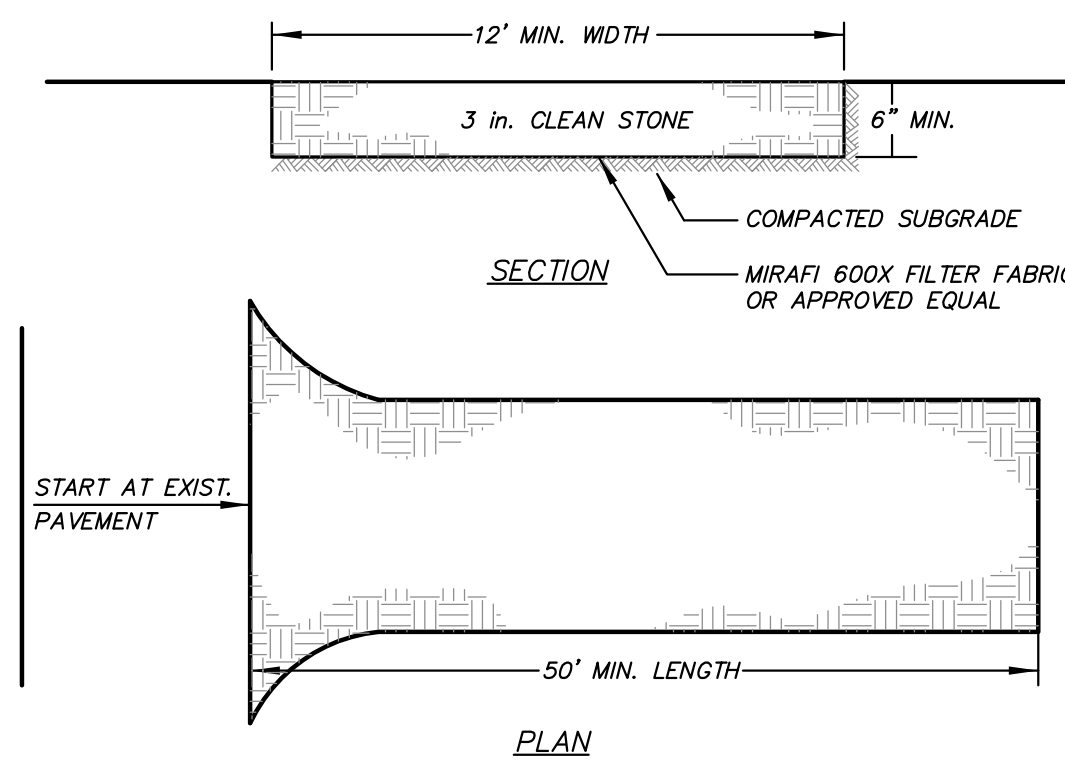
PROJECT NUMBER	15130.100	PROJECT MANAGER	J.J.C.	DRAWING NO.	SHEET
DATE	6-24-15	DRAWN BY	M.E.U.	D-1	5
SCALE	AS SHOWN	CHECKED BY	D.L.M.		6

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.



- CLEAR THE AREA OF ALL DEBRIS THAT WILL HINDER EXCAVATION
- GRADE APPROACH TO THE INLET UNIFORMLY AROUND THE BASIN
- WEEP HOLES SHALL BE PROTECTED BY GRAVEL
- UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA, SEAL WEEP HOLES, FILL EXCAVATION WITH STABLE SOIL TO FINAL GRADE, COMPACT IT PROPERLY, AND STABILIZE WITH PERMANENT SEEDING
- MAXIMUM DRAINAGE AREA = 1 ACRE

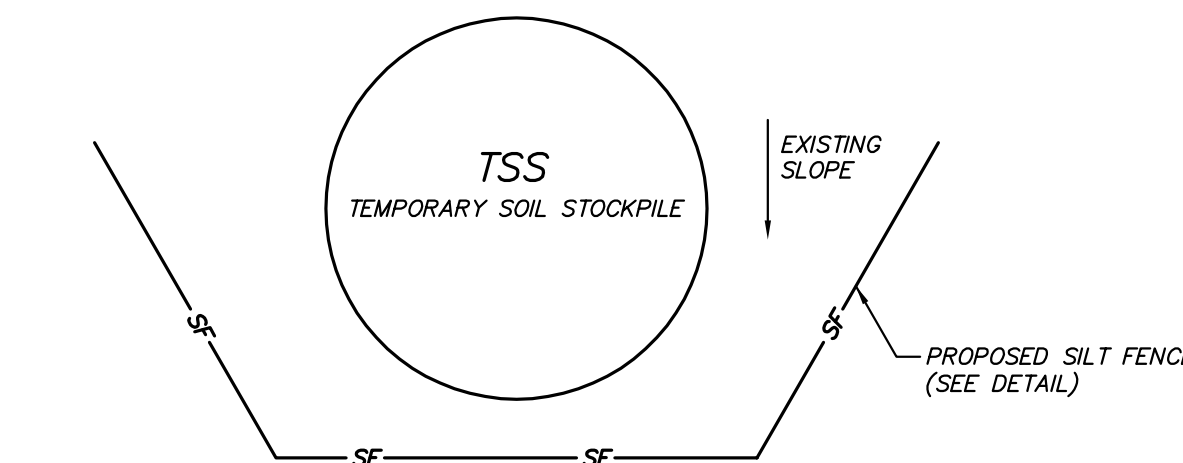
EXCAVATED DROP INLET PROTECTION DETAIL
(N.T.S.)



INSTALLATION NOTES

- STONE SIZE - USE 3" STONE
- LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.)
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SKILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
- WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

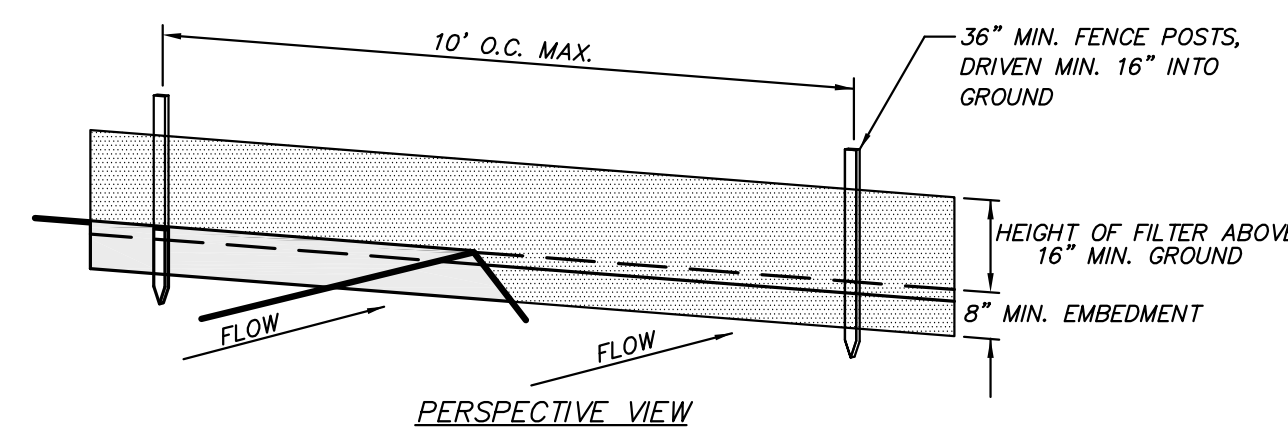
STABILIZED CONSTRUCTION ENTRANCE DETAIL
(N.T.S.)



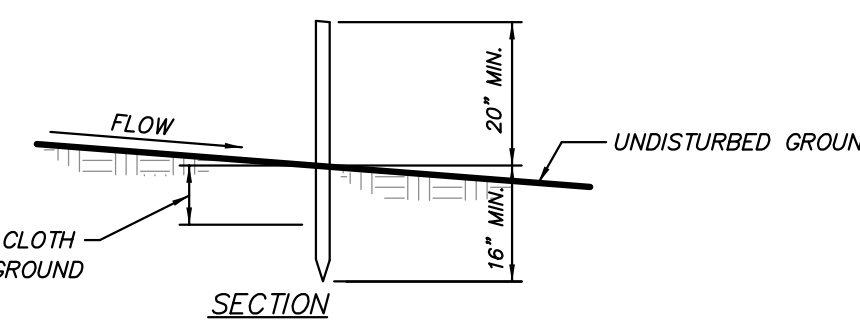
NOTES:

- AREA CHOSEN FOR STOCKPILE LOCATION SHALL BE DRY AND STABLE.
- MAXIMUM SLOPE OF STOCKPILE SHALL BE 2:1.
- UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE IMMEDIATELY SEEDING WITH K31 PERENNIAL TALL FESCUE.
- ALL STOCKPILES SHALL BE PROTECTED WITH SILT FENCING INSTALLED ON THE DOWNGRADIENT SIDE.

TEMPORARY SOIL STOCKPILE DETAIL
(N.T.S.)



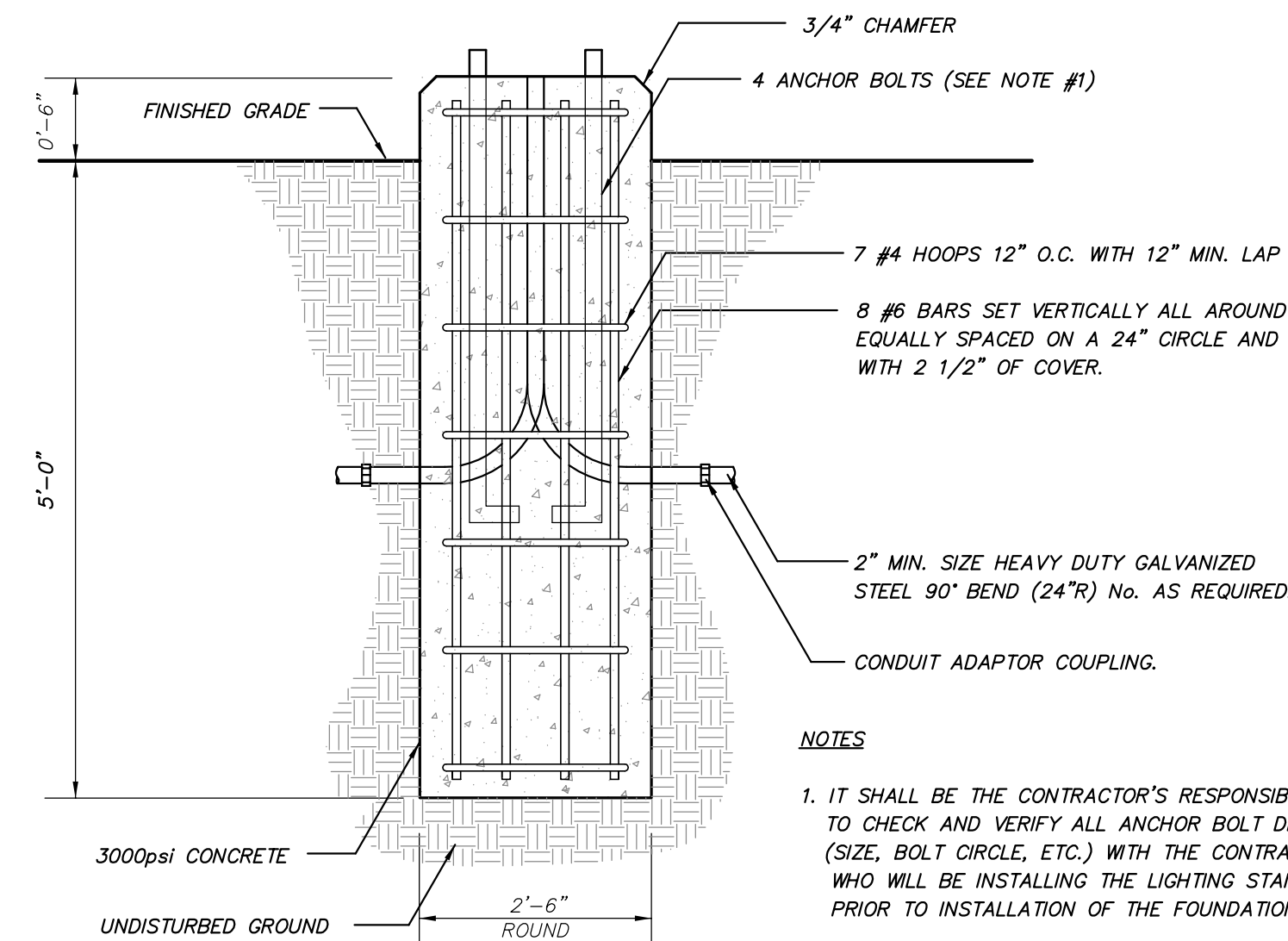
PERSPECTIVE VIEW



CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

- FILTER CLOTH TO BE FASTENED SECURELY TO POSTS AT TOP AND MID SECTION.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

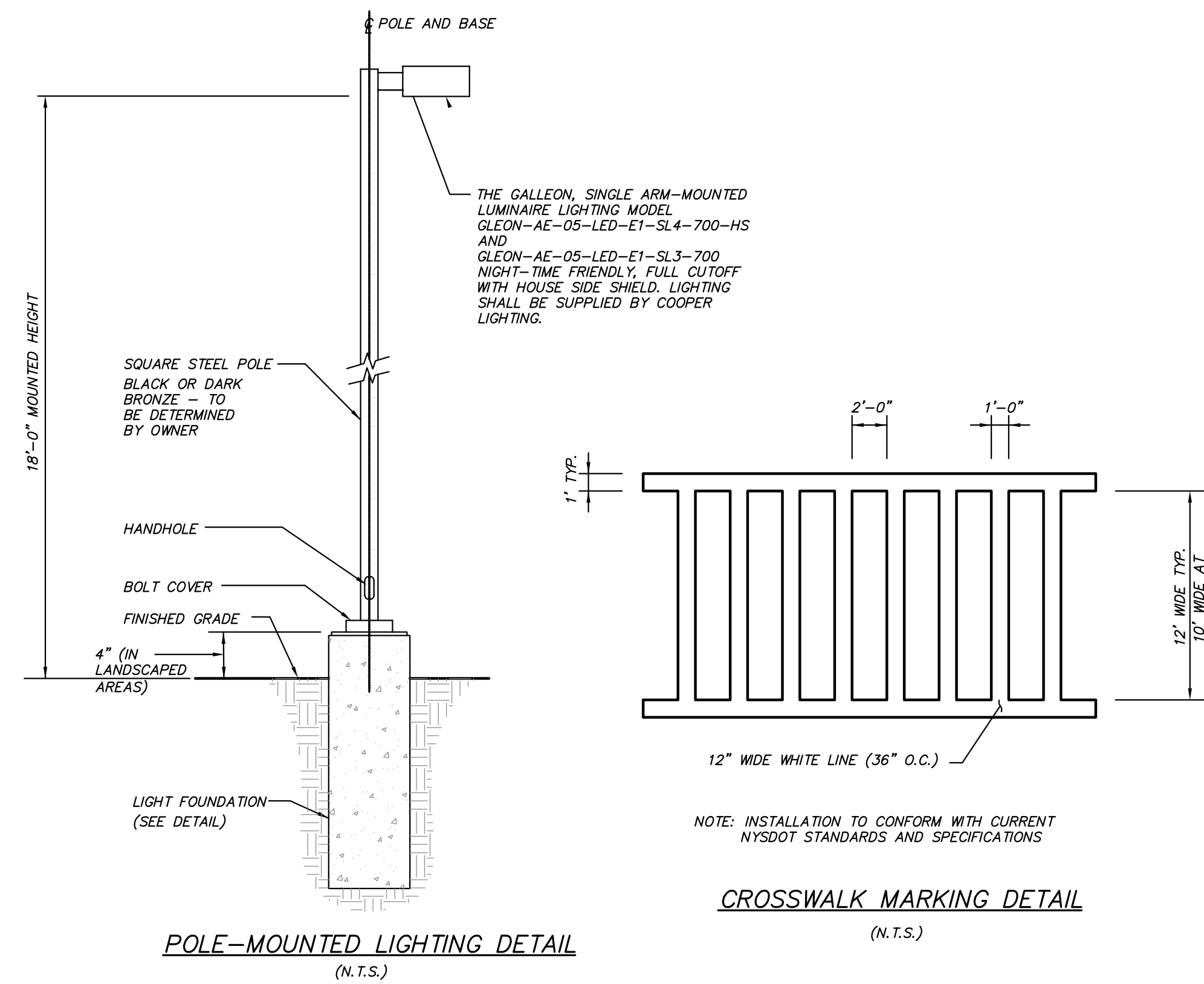
SILT FENCE DETAIL
(N.T.S.)



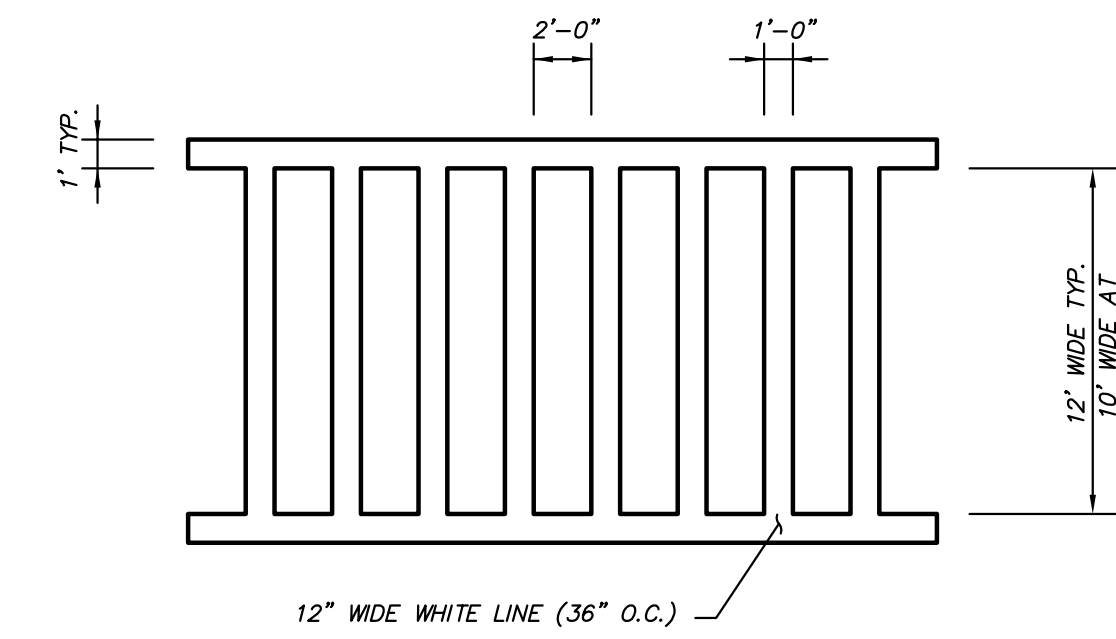
NOTES:

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ALL ANCHOR BOLT DIMENSIONS (SIZE, BOLT CIRCLE, ETC.) WITH THE CONTRACTOR WHO WILL BE INSTALLING THE LIGHTING STANDARD PRIOR TO INSTALLATION OF THE FOUNDATIONS.
- CHAMFER EXPOSED EDGES OF ALL FOUNDATIONS.
- PROVIDE INSULATED GROUNDING BUSHING ON EXPOSED ENDS (IN BASE OF POLE) OF ALL GALVANIZED STEEL BENDS.

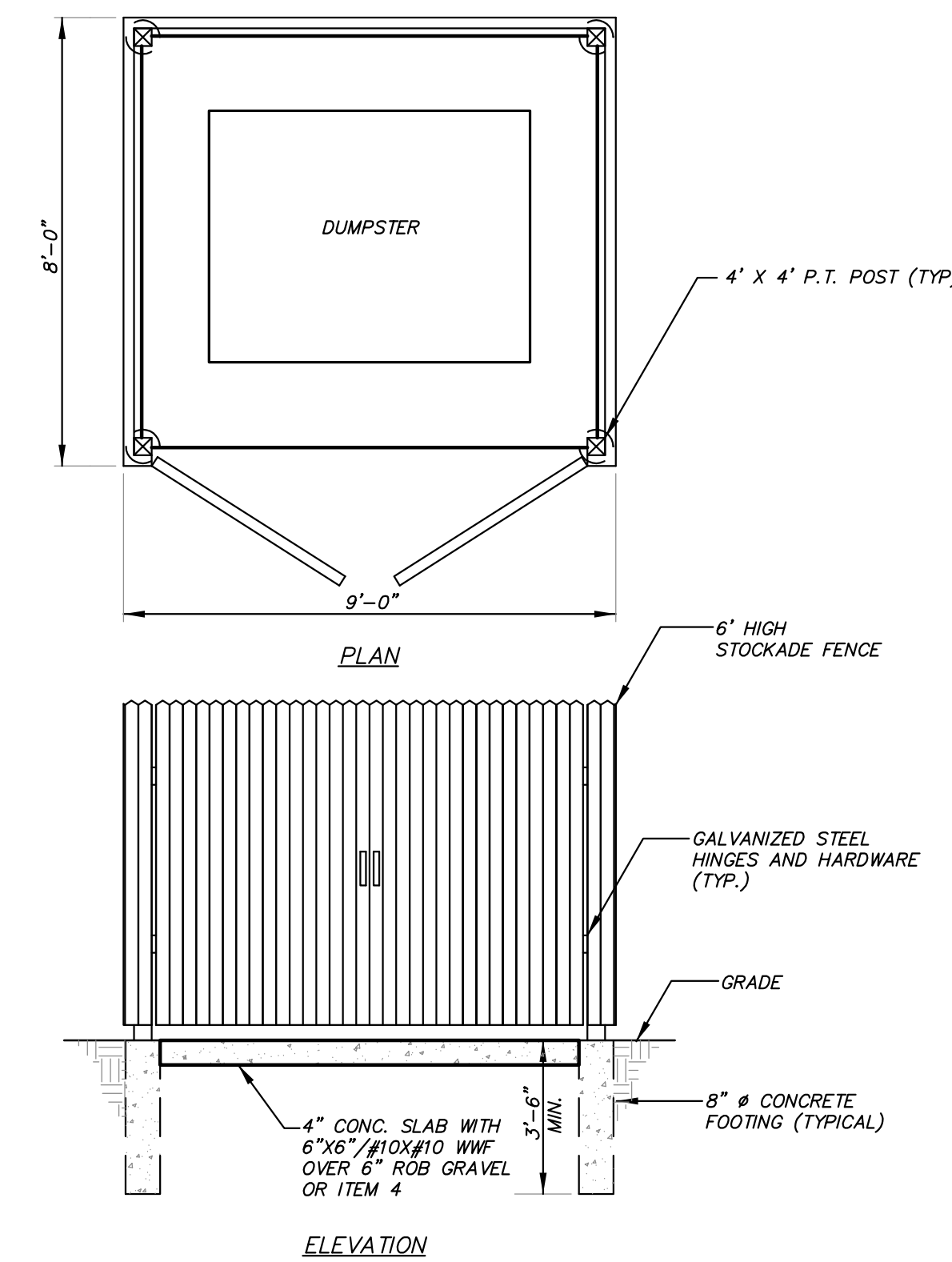
LIGHTING FOUNDATION DETAIL
(N.T.S.)



POLE-MOUNTED LIGHTING DETAIL
(N.T.S.)

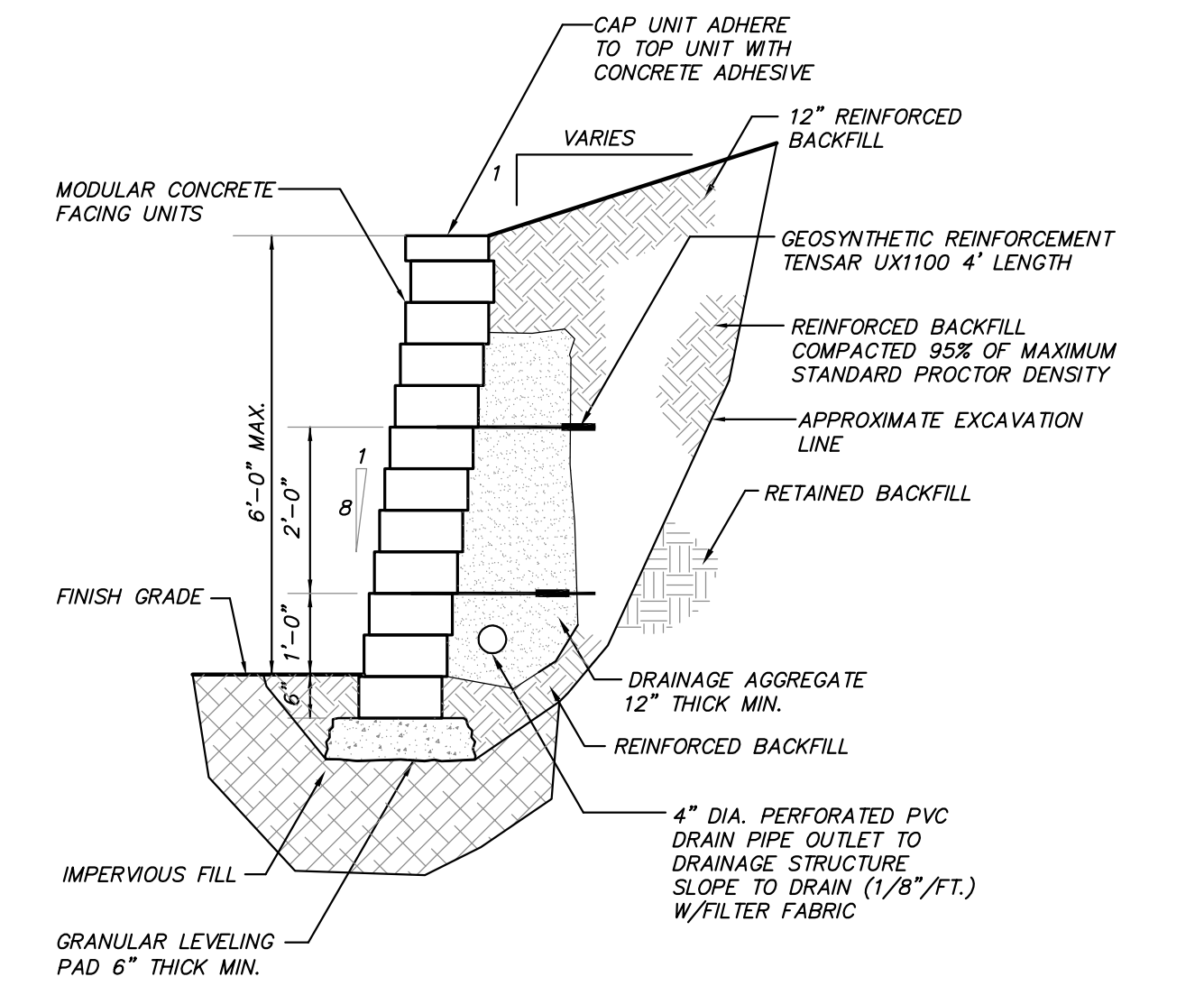


CROSSWALK MARKING DETAIL
(N.T.S.)



NOTE: CHECK WITH REFUSE HAULER PRIOR TO INSTALLATION OF REFUSE ENCLOSURE FOR DIMENSIONS.

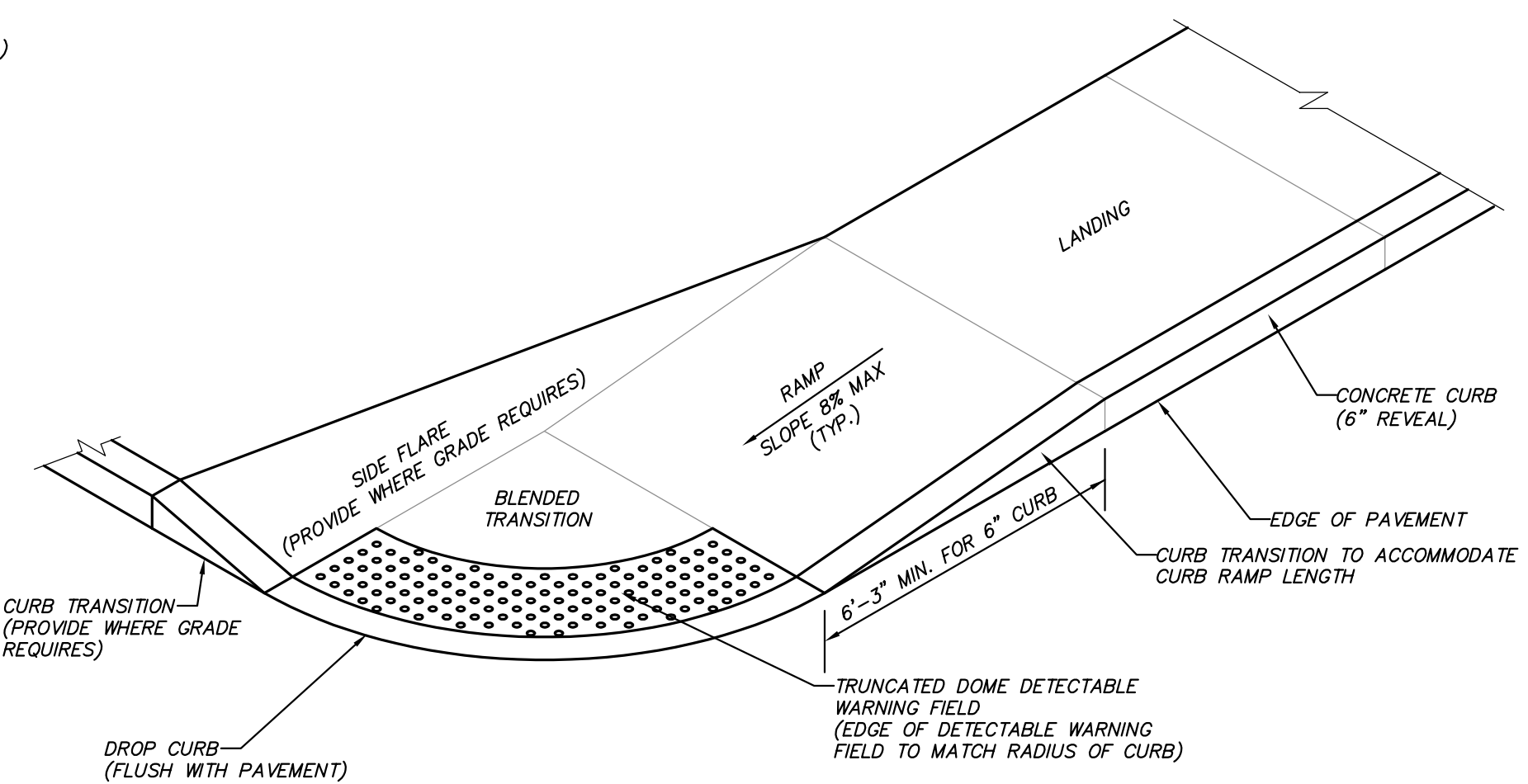
DUMPSTER ENCLOSURE DETAIL
(N.T.S.)



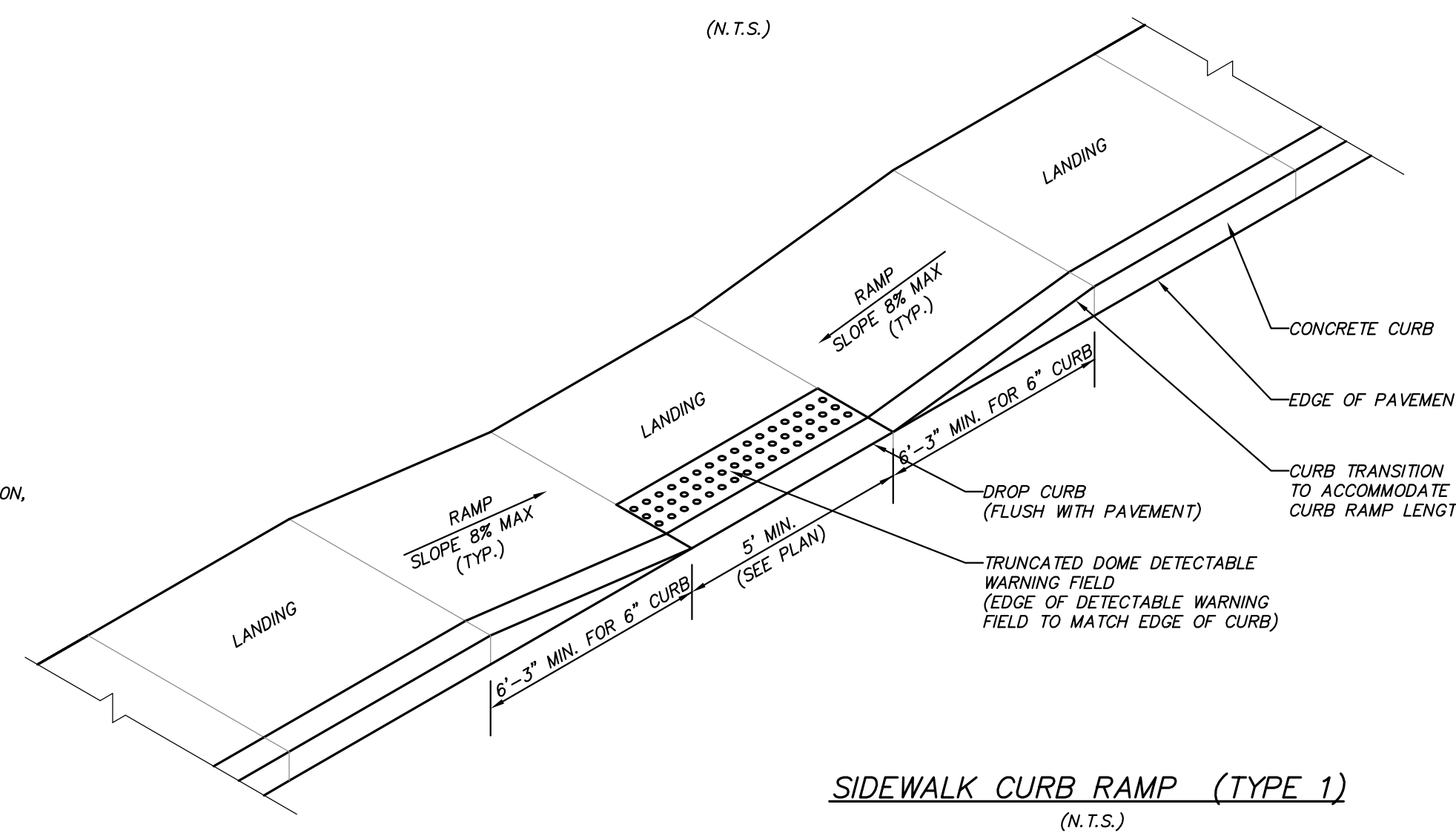
NOTES:

- STRIP VEGETATION AND ORGANIC SOIL FROM WALL AREA.
- BENCH CUT ALL EXCAVATED SLOPES.
- DO NOT OVER EXCAVATE UNLESS DIRECTED BY SITE ENGINEER TO REMOVE UNSUITABLE SOIL.
- SITE ENGINEER SHALL VERIFY FOUNDATION SOILS AS BEING COMPETENT PER THE DESIGN STANDARDS AND PARAMETERS.
- LEVELING PAD SHALL CONSIST OF COMPACTED COARSE SAND OR CRUSHED GRAVEL, 6" THICK MIN.
- CONTRACTOR MAY OPT FOR A LEAN CONCRETE PAD. CONCRETE PAD SHALL BE UNREINFORCED, 3" THICK MAXIMUM.
- MINIMUM EMBEDMENT OF WALL BELOW FINISH GRADE SHALL BE 6".
- FOR UNITS TO BE EMBEDDED, COMPACT FILL IN FRONT OF UNITS AT THE SAME TIME FILL BEHIND UNITS IS COMPACTED.
- DRAINAGE AGGREGATE SHALL BE INSTALLED DIRECTLY BEHIND THE WALL WITHIN 12" OF THE TOP OF THE WALL. DRAINAGE AGGREGATE SHALL NOT EXTEND BELOW FINAL GRADE IN FRONT OF WALL.
- COMPACTION SHALL BE TO 95% OF MAXIMUM STANDARD PROCTOR DENSITY (ASTM D-698)
- COMPACTION TESTS SHALL BE TAKEN AS THE WALL IS INSTALLED. THE MINIMUM NUMBER OF TESTS SHALL BE DETERMINED BY THE SITE SOILS ENGINEER.
- COMPACTION WITHIN 3 FT. OF WALL SHALL BE LIMITED TO HAND OPERATED EQUIPMENT.
- CONTRACTOR SHALL DIRECT SURFACE RUNOFF TO AVOID DAMAGING WALL WHILE UNDER CONSTRUCTION.
- ANY SURFACE DRAINAGE FEATURES, FINISH GRADING, PAVEMENT, OR TURF SHALL BE INSTALLED IMMEDIATELY AFTER WALL IS COMPLETED.
- FOLLOW APPLICABLE PROVISIONS OF THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND WRITTEN SPECIFICATIONS.

MODULAR BLOCK RETAINING WALL DETAIL
(N.T.S.)



SIDEWALK CURB RAMP (TYPE 2)
(N.T.S.)



SIDEWALK CURB RAMP (TYPE 1)
(N.T.S.)

Site Plan

Approval hereby granted this _____ day of _____, _____.

If building permit is not issued within 12 months from the above date, this approval becomes null and void.

Town of Carmel Planning Board

Signed this _____ day of _____, _____ by _____

Chairman: _____

Secretary: _____

2	8-13-15	REVISED FOR ZBA SUBMISSION	DLM
1	7-29-15	REVISED PER TOWN COMMENTS	MEU
NO.	DATE	REVISION	BY

INSITE
ENGINEERING, SURVEYING &
LANDSCAPE ARCHITECTURE, P.C.

3 Garrett Place
Carmel, NY 10512
(845) 225-9890
(845) 225-9717 fax
www.insite-eng.com

PROJECT: PCSB/MAHOPAC BRANCH			
DRAWING: SITE DETAILS			
PROJECT NUMBER	15130.100	PROJECT MANAGER	J.J.C.
DATE	6-24-15	DRAWN BY	M.E.U.
SCALE	AS SHOWN	CHECKED BY	D.L.M.
DRAWING NO.		SHEET	
D-2		6/6	



August 14, 2015

Town of Carmel Environmental Conservation Board
60 McAlpin Avenue
Mahopac, New York 10541

RE: Route 6 Retail Site Plan
Route 6
Tax Map No. 86.11-1-1 – Proposed Lot 2

Dear Chairman Laga and Members of the Board:

Please find enclosed the following plans for the above referenced project:

- Six (6) sheet Site Plan Set, last revised July 29, 2015. (4 copies)

The project is currently under review by the Planning Board for site plan approval. The applicant seeks site plan approval for a new 5,000 s.f. commercial building consisting of two (2) 2,500 s.f. retail spaces with a single drive-up window and associated parking, to be located on Lot 2 of the proposed Baldwin Subdivision.

The proposed retail building is to be located on a 3.2 acre newly subdivided parcel. The western half of this parcel is constrained by Town and NYSDEC wetland ML-11. The portion of the site that is not environmentally constrained lies along the Route 6 frontage, which is where the building, parking lot and associated site improvements are proposed. The project will require a wetland permit from the Town of Carmel and a wetland permit from the New York State Department of Environmental Conservation for proposed grading within the 100' wetland adjacent area. Both of these wetland permits will be applied for later in the project. At this time, the Planning Board has requested that the applicant meet with the Environmental Conservation Board for a preliminary discussion of the project.

We trust the enclosed information will be found adequate. Should you require additional copies or information, let us know. Please place the project on the agenda for the August 20, 2015 Environmental Conservation Board meeting for preliminary discussion with the Board.

Should you have any questions or comments regarding this information, please feel free to contact our office.
Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By: 
Jeffrey J. Contelmo, PE
Senior Principal Engineer

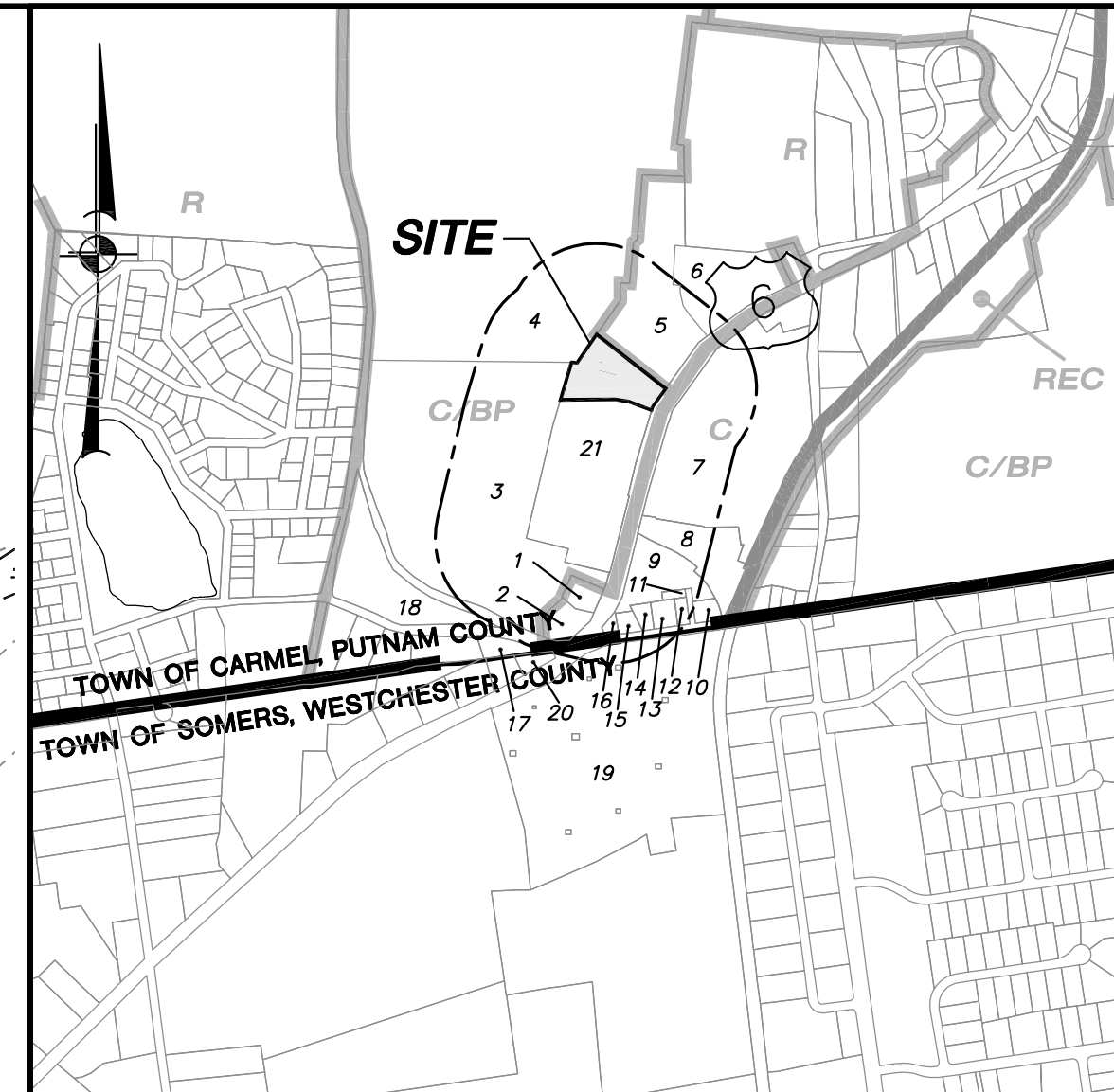
JJC/dlm

Enclosures
cc: Fred Koelsch, w/enclosures

Insite File No. 02119.100

500' ADJOINERS:

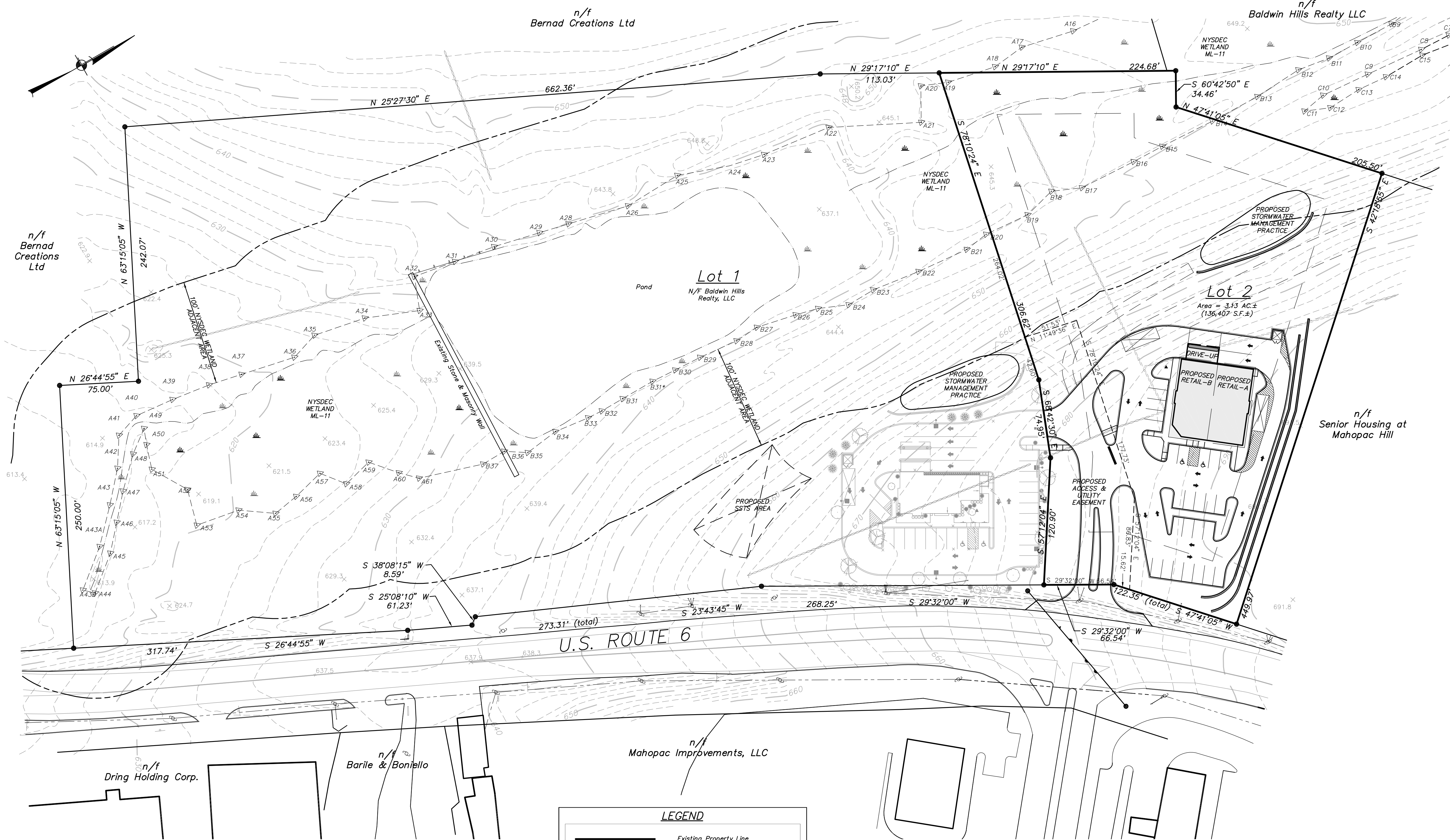
- | | |
|---------------------------------------|-----------------------------------|
| 1. N/F Bernad Creations LTD | 11. N/F Dring |
| 2. N/F 102 Route 6, LLC | 12. N/F Baldwin Place Realty LLC |
| 3. N/F Bernad Creations LTD | 13. N/F Baldwin Place Realty LLC |
| 4. N/F Baldwin Hills Realty LLC | 14. N/F Stokmann Co., LLC |
| 5. N/F Senior Housing at Mahopac Hill | 15. N/F Stokmann Co., LLC |
| 6. N/F County of Putnam | 16. N/F Baldwin Place Realty LLC |
| 7. N/F Mahopac Improvements LLC | 17. N/F Ferrara |
| 8. N/F Barile & Boniello | 18. N/F Serg Inc. |
| 9. N/F Dring Holding Corp. | 19. N/F UB Somers, Inc. |
| 10. N/F Mirable | 20. N/F Reinhard |
| | 21. N/F Baldwin Hills Realty, LLC |



LOCATION MAP SCALE: 1" = 1,000'±

OWNER/APPLICANT: Site Data:
 Baldwin Hills Realty, LLC
 C/o Camarda Realty Investments, LLC
 1699 Route 6 Suite 1
 Carmel NY 10512
 Zone: C/BP - Commerce/Business Park
 Total Acreage: 3.13 AC
 Tax Map No.: 86.11-1-1 (Subdivision Lot 2)
 Proposed Use: Retail Sales and Service Establishments

- GENERAL NOTES:**
- Property line as shown hereon is based on a boundary survey prepared by Insite Engineering, Surveying & Landscape Architecture, P.C., dated June 19, 2015.
 - Topography as shown hereon is based on aerial photography dated December 10, 2001 and is photogrammetrically compiled at a scale of 1" = 50'. The contour interval is 2 feet.
 - The wetland flagging as shown hereon is taken from a "Map of Wetlands Prepared for Union Place", as prepared by Terry Bergendorff Collins, last revised April 7, 2009.
 - Up to ten (10) employees are estimated to be on-site at any time (up to 5 employees per establishment).
 - The Subsurface Sewage Treatment System (SSTS) for the subject property (Baldwin Subdivision - Lot 2) will utilize the absorption fields to be provided on Baldwin Subdivision - Lot 1.



C/BP ZONE REQUIREMENTS		
	REQUIRED	PROPOSED (LOT 2)
Minimum Lot Area:	3 AC.	3.13 AC. ±
Minimum Lot Width:	200'	292' ±
Minimum Lot Depth:	200'	497' ±
Minimum Setbacks:		
Principal Bldg:	Front Yard: 50'	149' ±
	Side Yard: 40'	47' ±
	Rear Yard: 40'	204' ±
Maximum Building Height:	40'	Less Than 40'
Minimum Building Floor Area:	5,000 sf	5,000 sf
Maximum Building Coverage:	40%	3.6%

PARKING & LOADING REQUIREMENTS		
PARKING - Retail	5,000 s.f. / 1 Space per 200 s.f.	= 25 Spaces Required 26 Spaces Provided
LOADING - Retail	1 Space for each establishment x 2	= 2 Spaces Required 2 Space Provided

LEGEND

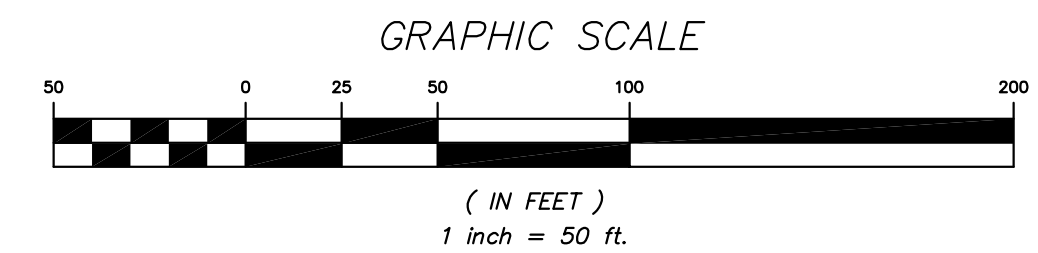
	Existing Property Line
	Existing 10' Contour
	Existing 2' Contour
	Existing Spot Grade
	Existing Watercourse
	Existing Wetland
	Existing Utility Poles With Overhead Wires
	Existing Edge of Pavement
	Existing White Line
	Existing Curb
	Proposed Curb
	Proposed Retaining Wall

Site Plan

Approval hereby granted this _____ day of _____
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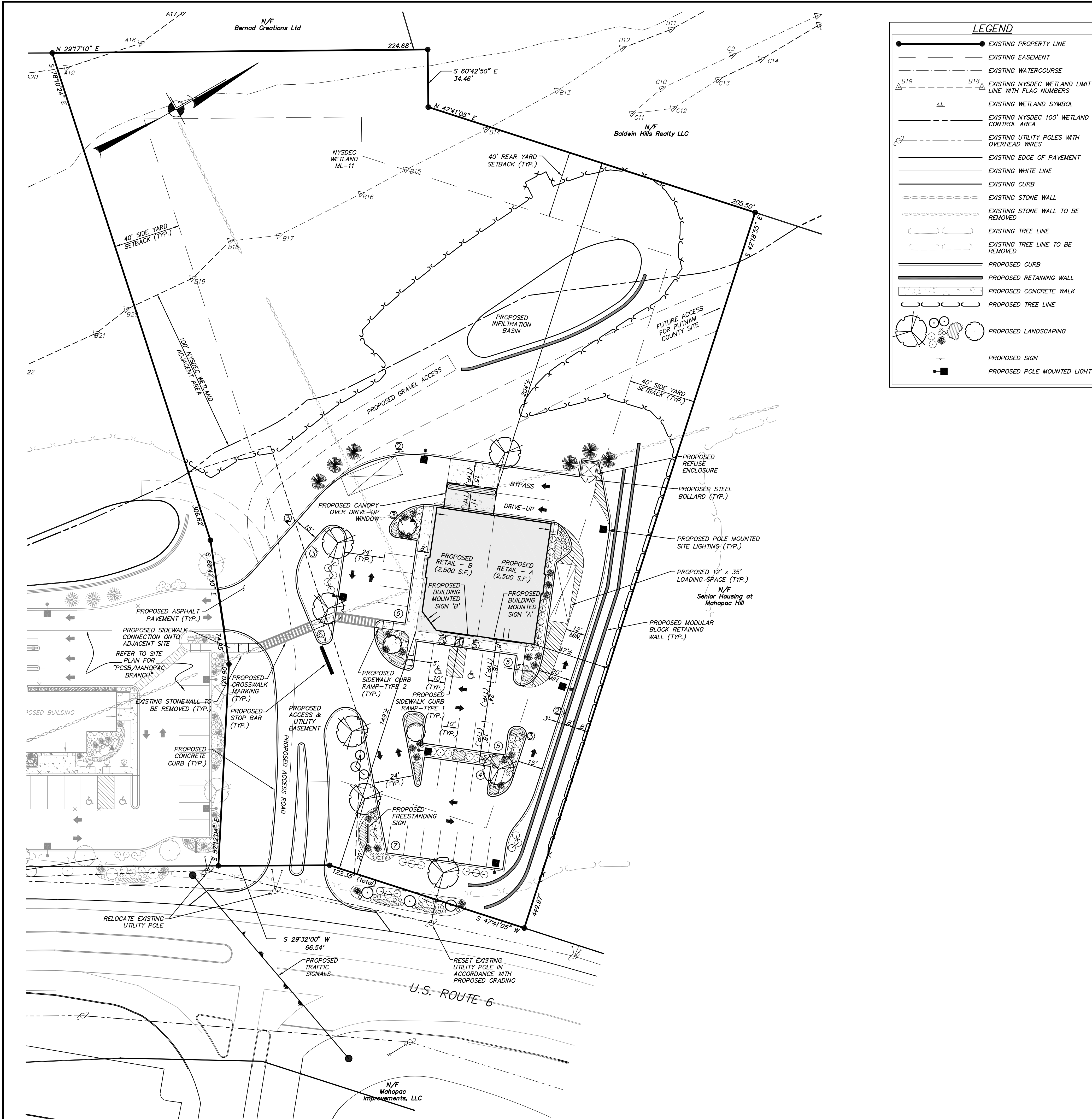
Town of Carmel Planning Board

Signed this _____ day of _____ by _____
 Chairman: _____
 Secretary: _____



ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

NO.	DATE	REVISION	BY
 INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C. 3 Garrett Place Carmel, NY 10512 (845) 225-9690 (845) 225-9717 fax www.insite-eng.com			
PROJECT:		ROUTE 6 RETAIL	
DRAWING:		OVERALL PLAN	
PROJECT NUMBER	02119.100	PROJECT MANAGER	J.J.C.
DATE	7-29-15	DRAWN BY	M.E.U.
SCALE	1" = 50'	CHECKED BY	D.L.M.
			DRAWING NO. SHEET OP-1 / 6



LEGEND

- EXISTING PROPERTY LINE
- EXISTING EASEMENT
- EXISTING WATERCOURSE
- △ EXISTING NYSDEC WETLAND LIMIT LINE WITH FLAG NUMBERS
- EXISTING WETLAND SYMBOL
- EXISTING NYSDEC 100' WETLAND CONTROL AREA
- EXISTING UTILITY POLES WITH OVERHEAD WIRES
- EXISTING EDGE OF PAVEMENT
- EXISTING WHITE LINE
- EXISTING CURB
- EXISTING STONE WALL
- EXISTING STONE WALL TO BE REMOVED
- EXISTING TREE LINE
- EXISTING TREE LINE TO BE REMOVED
- PROPOSED CURB
- PROPOSED RETAINING WALL
- PROPOSED CONCRETE WALK
- PROPOSED TREE LINE
- PROPOSED LANDSCAPING
- PROPOSED SIGN
- PROPOSED POLE MOUNTED LIGHT

SCHEMATIC PLANT LIST

KEY	BOTANICAL/COMMON NAME	SIZE	ROOT
SHADE TREES			
PO	<i>Plantanus occidentalis</i> / Planetree	2.5" CAL.	B & B
TC	<i>Tilia cordata</i> "Greenspire" / Littleleaf Linden	2.5" CAL.	B & B
FLOWERING TREES			
AG	<i>Amelanchier x grandiflora</i> "Autumn Brilliance" / Autumn Brilliance Serviceberry	8"-10" HT.	B & B
EVERGREEN TREES			
PG	<i>Picea glauca</i> / White Spruce	5"-6" HT.	B & B
TO	<i>Thuja occidentalis</i> "Techny" / Techny Arborvitae	5"-6" HT.	B & B
SHRUBS & PERENNIALS			
CA	<i>Cornus alba</i> "Elegantissima" / Variegated Red Twig Dogwood	18"-24" HT.	#3 CONT.
CV	<i>Careopsis vert.</i> "Moonbeam" / Moonbeam Coreopsis	#2 CONT.	18" O.C.
HS	<i>Hemerocallis</i> "Stella D'Oro" / Daylily	#2 CONT.	18" O.C.
IG	<i>Ilex glabra</i> "Shamrock" / Compact Inkberry	18"-24" HT.	#3 CONT.
JV	<i>Juniperus virginiana</i> "Grey Owl" / Grey Owl Juniper	15"-18" SPR.	#2 CONT.
PV	<i>Panicum virg.</i> "Shenandoah" / Shenandoah Switchgrass	#2 CONT.	CONT.
PN	<i>Picea abies</i> <i>nidiformis</i> / Birdsnest Spruce	15"-18" SPR.	#3 CONT.
SB	<i>Spiraea bumalda</i> "Gold Mound" / Gold Mound Spiraea	15"-18" SPR.	#3 CONT.

GENERAL SITE SEEDING NOTES:

- All proposed seeded areas to receive 4" min. depth of topsoil. Soil amendments and fertilizer application rates shall be determined based on specific testing of topsoil material.
- Upon final grading and placement of topsoil and any required soil amendments, areas to receive permanent vegetation cover in combination with suitable mulch as follows:
 - select seed mixture per drawings and seeding notes.
 - fertilizer applied at the manufacturer's recommended rate using Lesco 10-0-18 (no phosphorous) fertilizer or equivalent.
 - mulch: salt hay or small grain straw applied at a rate of 90 lbs./1000 s.f. or 2 tons/acre, to be applied and anchored according to New York State Standards and Specifications for Erosion and Sediment Control, August 2005.
 - if the season prevents the establishment of a permanent vegetation cover, the disturbed areas will be mulched with straw or equivalent.
- The seed mixes as specified on these drawings are as follows:
 - Seed Mix for lawn areas and mow strip along roads at a rate of 100 lbs. per acre:
 - Kentucky Bluegrass 20%
 - Creeping Red Fescue 40%
 - Perennial Ryegrass 20%
 - Annual Ryegrass 20%
 - Seed Mix for Meadow areas as shown on the drawings, including tops of berms and backspalls of embankments of stormwater basins at a rate of 35 lbs. per acre:
 - New England Erosion Control/Restoration Mix (for Dry Sites) from New England Wetland Plants, Inc. of Amherst, MA.

GENERAL PLANTING NOTES:

- All proposed planting beds to receive a 12" min. depth of topsoil. Soil amendments and fertilizer application rates shall be determined based on specific testing of topsoil material.
- Any new soils added will be amended as required by results of soil testing and placed using a method that will not cause compaction.
- No fertilizer shall be added in stormwater basin plantings. Nutrient requirements to be met by incorporation of acceptable organic matter.
- All plant material to be nursery grown.
- Plants shall conform with ANSI Z60.1 American Standard for Nursery Stock in all ways including dimensions.
- Plant material shall be taken from healthy nursery stock.
- All plants shall be grown under climate conditions similar to those in the locality of the project.
- Plants shall be planted in all locations designed on the plan or as staked in the field by the Landscape Architect.
- The location and layout of landscape plants shown on the site plan shall take precedence in any discrepancies between the quantities of plants shown on the plans and the quantity of plants in the Plant List.
- Provide a 3" layer of shredded bark mulch (or as specified) over entire watering saucer at all tree pits or over entire planting bed. Do not place mulch within 3" of tree or shrub trunks.
- All landscape plantings shall be maintained in a healthy condition at all times. Any dead or diseased plants shall immediately be replaced "in kind" by the contractor (during warranty period) or project owner.

SITE PLAN

Approval hereby granted this _____ day of _____, _____.

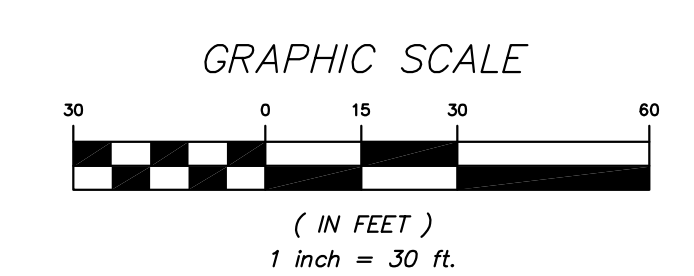
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Town of Carmel Planning Board

Signed this _____ day of _____, _____ by _____

Chairman: _____

Secretary: _____



NO.	DATE	REVISION	COMMENTS	BY
1	7-29-15		REVISED PER TOWN COMMENTS	MEU

INSITE
ENGINEERING, SURVEYING &
LANDSCAPE ARCHITECTURE, P.C.

3 Garrett Place
Carmel, NY 10512
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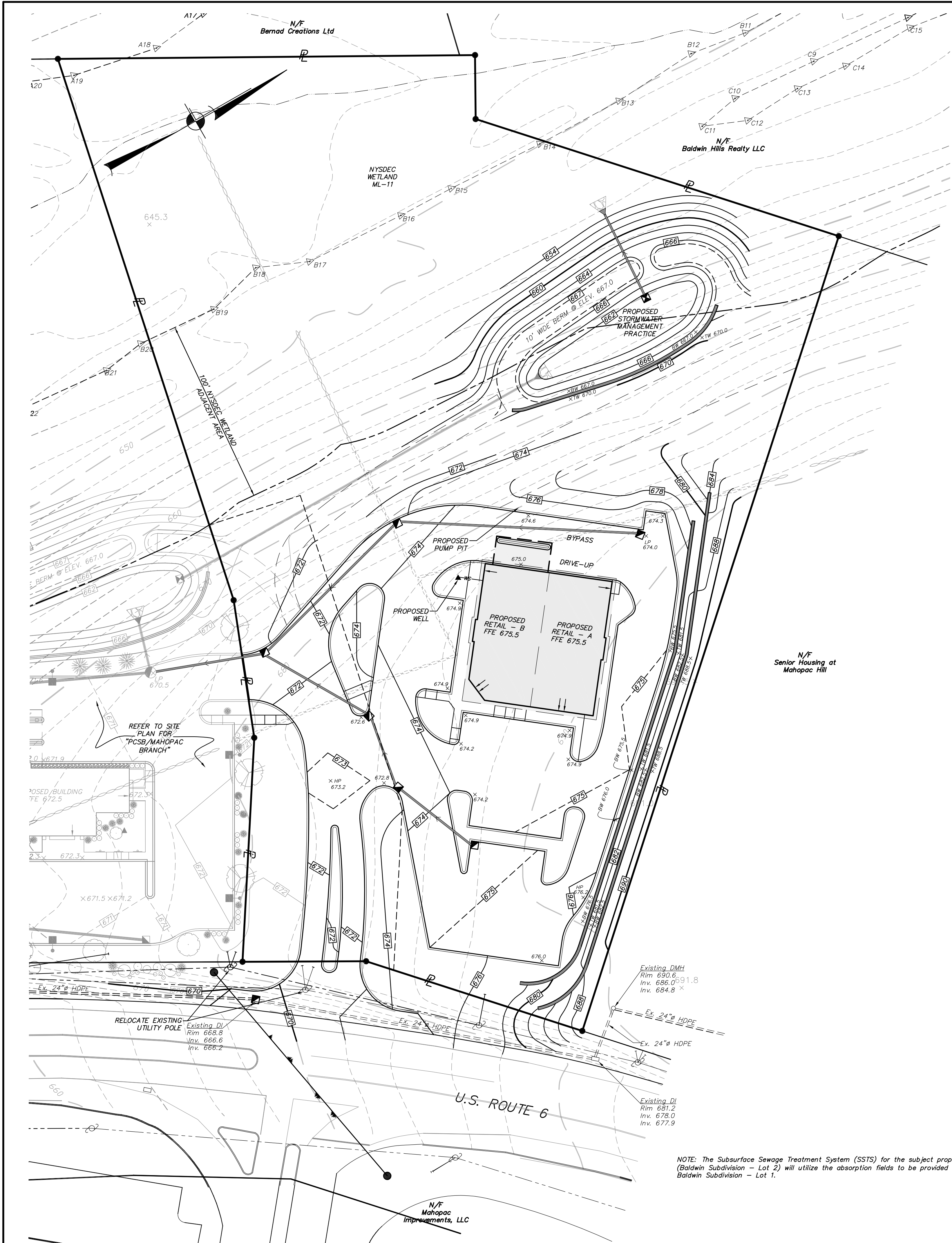
PROJECT: **ROUTE 6 RETAIL**

150 ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING: **LAYOUT & LANDSCAPE PLAN**

PROJECT NUMBER	02119.100	PROJECT MANAGER	J.J.C.	DRAWING NO.	SHEET
DATE	6-24-15	DRAWN BY	M.E.U.	SP-1	2
SCALE	1" = 30'	CHECKED BY	D.L.M.		

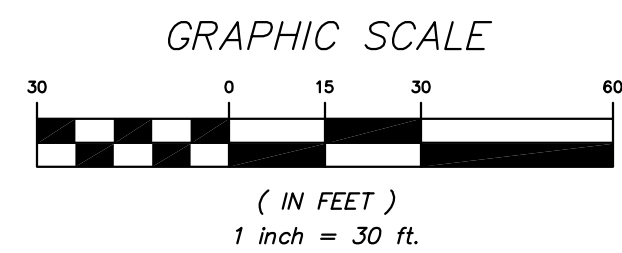
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LEGEND

	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	EXISTING WATERCOURSE
	EXISTING NYSDEC WETLAND LIMIT LINE WITH FLAG NUMBERS
	EXISTING WETLAND SYMBOL
	EXISTING NYSDEC 100' WETLAND CONTROL AREA
	EXISTING UTILITY POLES WITH OVERHEAD WIRES
	EXISTING EDGE OF PAVEMENT
	EXISTING WHITE LINE
	EXISTING CURB
	EXISTING STONE WALL
	EXISTING STONE WALL TO BE REMOVED
	EXISTING 10' CONTOUR
	EXISTING 2' CONTOUR
	EXISTING SPOT GRADE
	EXISTING DRAINAGE INLET
	EXISTING DRAINAGE MANHOLE
	EXISTING DRAINAGE PIPE
	PROPOSED CURB
	PROPOSED RETAINING WALL
	PROPOSED CONCRETE WALK
	PROPOSED 10' CONTOUR
	PROPOSED 2' CONTOUR
	PROPOSED 1' CONTOUR
	PROPOSED SPOT GRADE
	PROPOSED DRAINAGE INLET
	PROPOSED DRAINAGE PIPE
	PROPOSED END SECTION WITH RIP RAP

NOTE: The Subsurface Sewage Treatment System (SSTS) for the subject property (Baldwin Subdivision - Lot 2) will utilize the absorption fields to be provided on Baldwin Subdivision - Lot 1.



NO.	DATE	REVISION	REVISOR	MEU
1	7-29-15	REVISED PER TOWN COMMENTS		MEU
				BY

INSITE
ENGINEERING, SURVEYING &
LANDSCAPE ARCHITECTURE, P.C.

3 Garrett Place
Carmel, NY 10512
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PROJECT: **ROUTE 6 RETAIL**

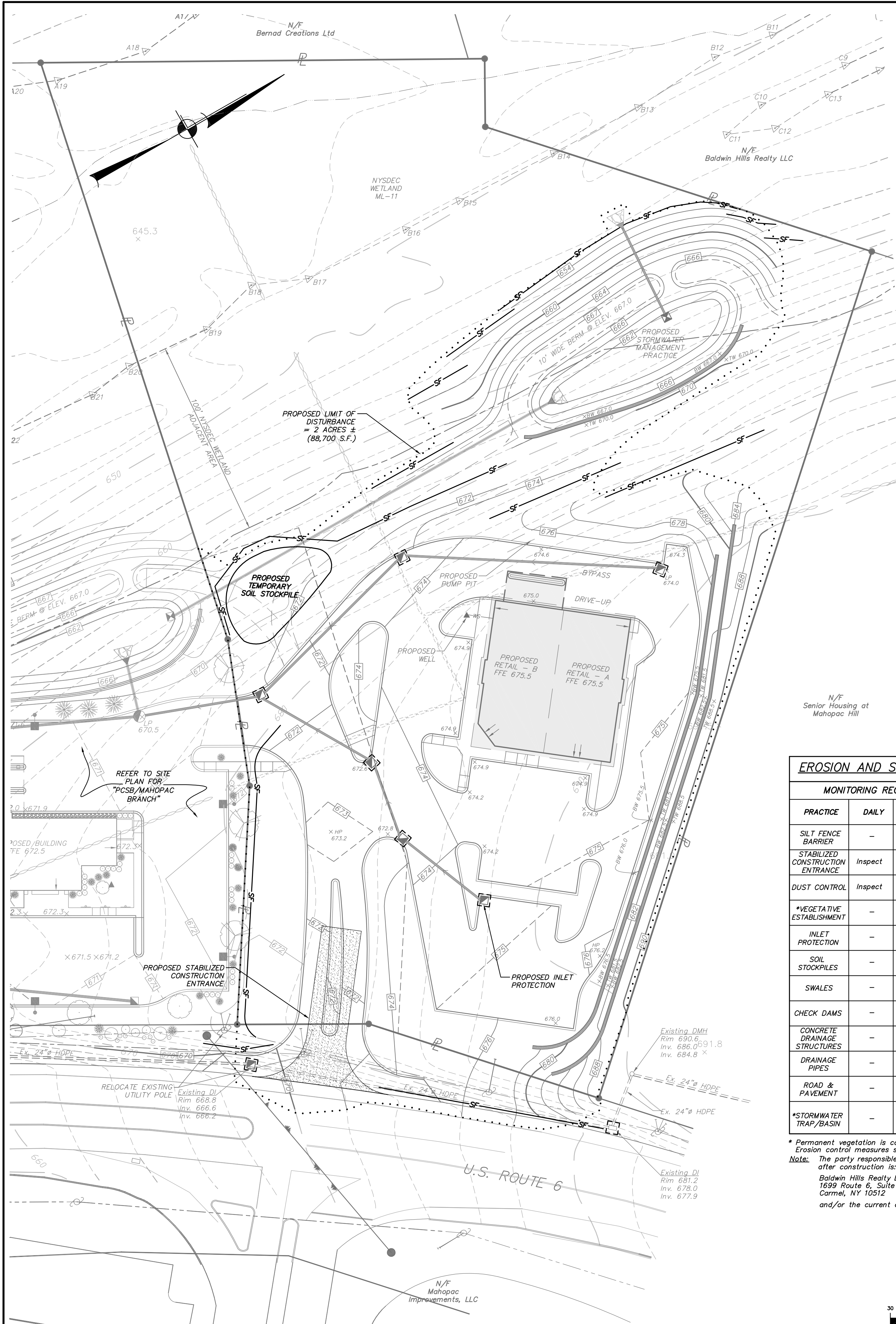
150 ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING: **GRADING & UTILITIES PLAN**

PROJECT NUMBER	02119.100	PROJECT MANAGER	J.J.C.	DRAWING NO.	SP-2	SHEET	3
DATE	6-24-15	DRAWN BY	M.E.U.	CHECKED BY	D.L.M.		6
SCALE	1" = 30'						

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

2501019100.dwg 2:14:03 PM 7/29/15 150 ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK



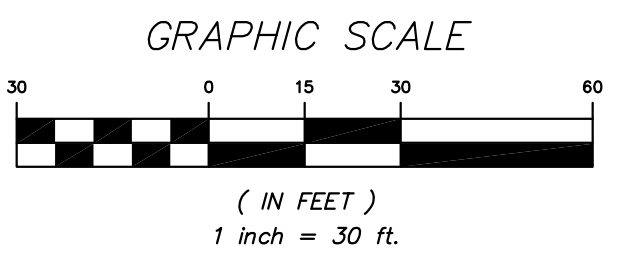
LEGEND

[Symbol]	EXISTING PROPERTY LINE
[Symbol]	EXISTING EASEMENT
[Symbol]	EXISTING WATERCOURSE
[Symbol]	EXISTING NYSDEC WETLAND LIMIT LINE WITH FLAG NUMBERS
[Symbol]	EXISTING WETLAND SYMBOL
[Symbol]	EXISTING NYSDEC 100' WETLAND CONTROL AREA
[Symbol]	EXISTING UTILITY POLES WITH OVERHEAD WIRES
[Symbol]	EXISTING EDGE OF PAVEMENT
[Symbol]	EXISTING WHITE LINE
[Symbol]	EXISTING CURB
[Symbol]	EXISTING STONE WALL
[Symbol]	EXISTING STONE WALL TO BE REMOVED
[Symbol]	EXISTING 10' CONTOUR
[Symbol]	EXISTING 2' CONTOUR
[Symbol]	EXISTING SPOT GRADE
[Symbol]	EXISTING DRAINAGE INLET
[Symbol]	EXISTING DRAINAGE MANHOLE
[Symbol]	EXISTING DRAINAGE PIPE
[Symbol]	PROPOSED CURB
[Symbol]	PROPOSED RETAINING WALL
[Symbol]	PROPOSED CONCRETE WALK
[Symbol]	PROPOSED 10' CONTOUR
[Symbol]	PROPOSED 2' CONTOUR
[Symbol]	PROPOSED 1' CONTOUR
[Symbol]	PROPOSED SPOT GRADE
[Symbol]	PROPOSED DRAINAGE INLET WITH INLET PROTECTION
[Symbol]	PROPOSED DRAINAGE PIPE
[Symbol]	PROPOSED END SECTION WITH RIP RAP
[Symbol]	PROPOSED LIMITS OF DISTURBANCE
[Symbol]	PROPOSED SILT FENCE

EROSION AND SEDIMENT CONTROL MAINTENANCE SCHEDULE

PRACTICE	MONITORING REQUIREMENTS			MAINTENANCE REQUIREMENTS	
	DAILY	WEEKLY	AFTER RAINFALL	DURING CONSTRUCTION	AFTER CONSTRUCTION
SILT FENCE BARRIER	-	Inspect	Inspect	Clean/Replace	Remove
STABILIZED CONSTRUCTION ENTRANCE	Inspect	-	Inspect	Clean/Replace Stone and Fabric	Remove
DUST CONTROL	Inspect	-	Inspect	Mulching/Spraying Water	N/A
*VEGETATIVE ESTABLISHMENT	-	Inspect	Inspect	Water/Reseed/Remulch	Reseed to 80% Coverage
INLET PROTECTION	-	Inspect	Inspect	Clean/Repair/Replace	Remove
SOIL STOCKPILES	-	Inspect	Inspect	Mulching/Silt Fence Repair	Remove
SWALES	-	Inspect	Inspect	Clean/Mulch/Repair	Mow Permanent Grass/Replace/Repair Rip Rap
CHECK DAMS	-	Inspect	Inspect	Clean/Replace Stones/Repair	Clean/Replace Stones/Repair
CONCRETE DRAINAGE STRUCTURES	-	Inspect	Inspect	Clean Sumps/Remove Debris/Repair/Replace	Clean Sumps/Remove Debris/Repair/Replace
DRAINAGE PIPES	-	Inspect	Inspect	Clean/Repair	Clean/Repair
ROAD & PAVEMENT	-	Inspect	Inspect	Clean	Clean
*STORMWATER TRAP/BASIN	-	Inspect	Inspect	Clean/Mulch/Repair/Reseed	See Permanent Stormwater Facilities Maintenance Schedule on Drawing SP-x

* Permanent vegetation is considered stabilized when 80% of the plant density is established. Erosion control measures shall remain in place until all disturbed areas are permanently stabilized. Note: The party responsible for implementation of the maintenance schedule during and after construction is: Baldwin Hills Realty LLC 1699 Route 6, Suite 1 Carmel, NY 12512 and/or the current owner(s) of the subject property.



REQUIRED EROSION CONTROL SWPPP CONTENTS:

- Pursuant to the NYSDEC "SPDES General Permit for Stormwater Discharges from Construction Activity" (GP-0-15-002), all Stormwater Pollution Prevention Plan (SWPPP) shall include erosion and sediment control practices designed in conformance with the most current version of the technical standard, "New York Standards and Specifications for Erosion and Sediment Control." Where erosion and sediment control practices are not designed in conformance with this technical standard, the owner or operator must demonstrate equivalence to the technical standard. The following list of required SWPPP components is provided in accordance with Part III.B.10-1 of General Permit GP-0-15-002:
- Background Information: The subject project consists of the construction of a 5,000 S.F. retail building with associated parking, well, septic system and stormwater management.
 - Site map / construction drawing: These plans serve to satisfy this SWPPP requirement.
 - Description of the soils present at the site: Onsite soils located within the proposed limits of disturbance consist of Patton fine sandy loam (PnB and PnD), Ridgebury loam (RdA), and Sun loam (Su), as identified on the Soil Conservation Service Web Soil Survey. These soil types belong to the Hydrologic Soil Group "B" and "D."
 - Construction phasing plan / sequence of operations: The Construction Sequence and phasing found on these plans provide the required phasing. A Construction Sequence and Erosion and Sediment Control Maintenance Schedule has been provided. The Sedimentation and Erosion Control Notes contained herein outline a general sequence of operations for the proposed project. In general all erosion and sediment control facilities shall be installed prior to commencement with land disturbing activities, and areas of disturbance shall be limited to the shortest period of time as practicable.
 - Description of erosion and sediment control practices: This plan, and details / notes shown herein serve to satisfy this SWPPP requirement.
 - Temporary and permanent soil stabilization plan: The Sedimentation and Erosion Control Notes and Details provided herein identify temporary and permanent stabilization measures to be employed with respect to specific elements of the project, and at the various stages of development.
 - Site map / construction drawing: This plan serves to satisfy this SWPPP requirement.
 - The dimensions, material specifications, installation details, and operation and maintenance requirements for all erosion and sediment control practices: The details, Erosion and Sediment Control Notes, and Sedimentation and Erosion Control Maintenance Schedule serve to satisfy this SWPPP requirement.
 - An inspection schedule: Inspections are to be performed twice weekly and by a qualified professional as required by the General Permit GP-0-15-002. In addition the NYSDEC Trained Contractor shall perform additional inspections as cited in the Sedimentation and Erosion Control Notes.
 - A description of pollution prevention measures that will be used to control litter, construction chemicals and construction debris: In general, all construction litter / debris shall be collected and removed from the site. The general contractor shall supply either waste barrels or dumpster for proper waste disposal. Any construction chemicals utilized during construction shall either be removed from site daily by the contractor or stored in a structurally sound and weatherproof building. No hazardous waste shall be disposed of onsite, and shall ultimately be disposed of in accordance with all federal, state and local regulations. Material Safety Data Sheets (MSDS), material inventory, and emergency contact numbers shall be maintained by the general contractor for all construction chemicals utilized onsite. Finally, temporary sanitary facilities (portable toilets) shall be provided onsite during the entire length of construction, and inspected weekly for evidence of leaking holding tanks.
 - A description and location of any stormwater discharges associated with industrial activity other than construction at the site: There are no known industrial stormwater discharges present or proposed at the site.
 - Identification of any elements of the design that are not in conformance with the technical standard, "New York Standards and Specifications for Erosion and Sediment Control." All proposed elements of this SWPPP have been designed in accordance with the "New York Standards and Specifications for Erosion and Sediment Control."

REQUIRED POST-CONSTRUCTION STORMWATER MANAGEMENT PRACTICE COMPONENTS:

- Pursuant to the NYSDEC "SPDES General Permit for Stormwater Discharges from Construction Activity" (GP-0-15-002), all construction projects needing post-construction stormwater management practices shall prepare a SWPPP that also includes practices designed in conformance with the most current version of the technical standard, New York State Stormwater Management Design Manual ("Design Manual"). Where post-construction stormwater management practices are not designed in conformance with this technical standard, the owner or operator must demonstrate equivalence to the technical standard. The following list of SWPPP components is provided in accordance with Part III.B.20-a and III.B.3:
 - Identification of all post-construction stormwater management practices to be constructed as part of the project; This plan, and details/notes shown herein serve to satisfy this SWPPP requirement.
 - A site map/construction drawing(s) showing the specific location and size of each post-construction stormwater management practice; This plan, and details/notes shown herein serve to satisfy this SWPPP requirement.
 - A Stormwater Modeling and Analysis Report including pre-development conditions, post-development conditions, the results of the stormwater modeling, a summary table demonstrating that each practice has been designed in conformance with the sizing criteria, identification of any deviations from the Design Manual and identification of any design criteria that are not required. The required analysis is provided in the report titled Stormwater Pollution Prevention Plan for Route 6 Retail.
 - Soil testing results and locations. This SWPPP requirement is provided in the report titled Stormwater Pollution Prevention Plan for Route 6 Retail.
 - Infiltration testing results. This SWPPP requirement is provided in the report titled Stormwater Pollution Prevention Plan for Route 6 Retail.
 - An operations and maintenance plan that includes inspection and maintenance schedules and actions to ensure continuous and effective operation of each post-construction stormwater management practice. The plan shall identify the entity that will be responsible for the long term operation and maintenance of each practice. The Permanent Stormwater Facilities Maintenance Schedule provided on these plans serves to satisfy this requirement.
- Enhanced Phosphorus Removal Standards - Beginning on September 30, 2008, all construction projects identified in Table 2 of Appendix B that are located in the watersheds identified in Appendix C shall prepare a SWPPP that includes post-construction stormwater management practices designed in conformance with the Enhanced Phosphorus Removal Standards included in the most current version of the technical standard, New York Stormwater Management Design Manual. At a minimum, the post-construction stormwater management practice component of the SWPPP shall include items 2.a - 2.f above. The permanent stormwater practices for this project have been sized according to chapter 10 of the Design Manual Enhanced Phosphorus Removal Standards. Please see 2.a - 2.f above.

CONSTRUCTION SEQUENCE:

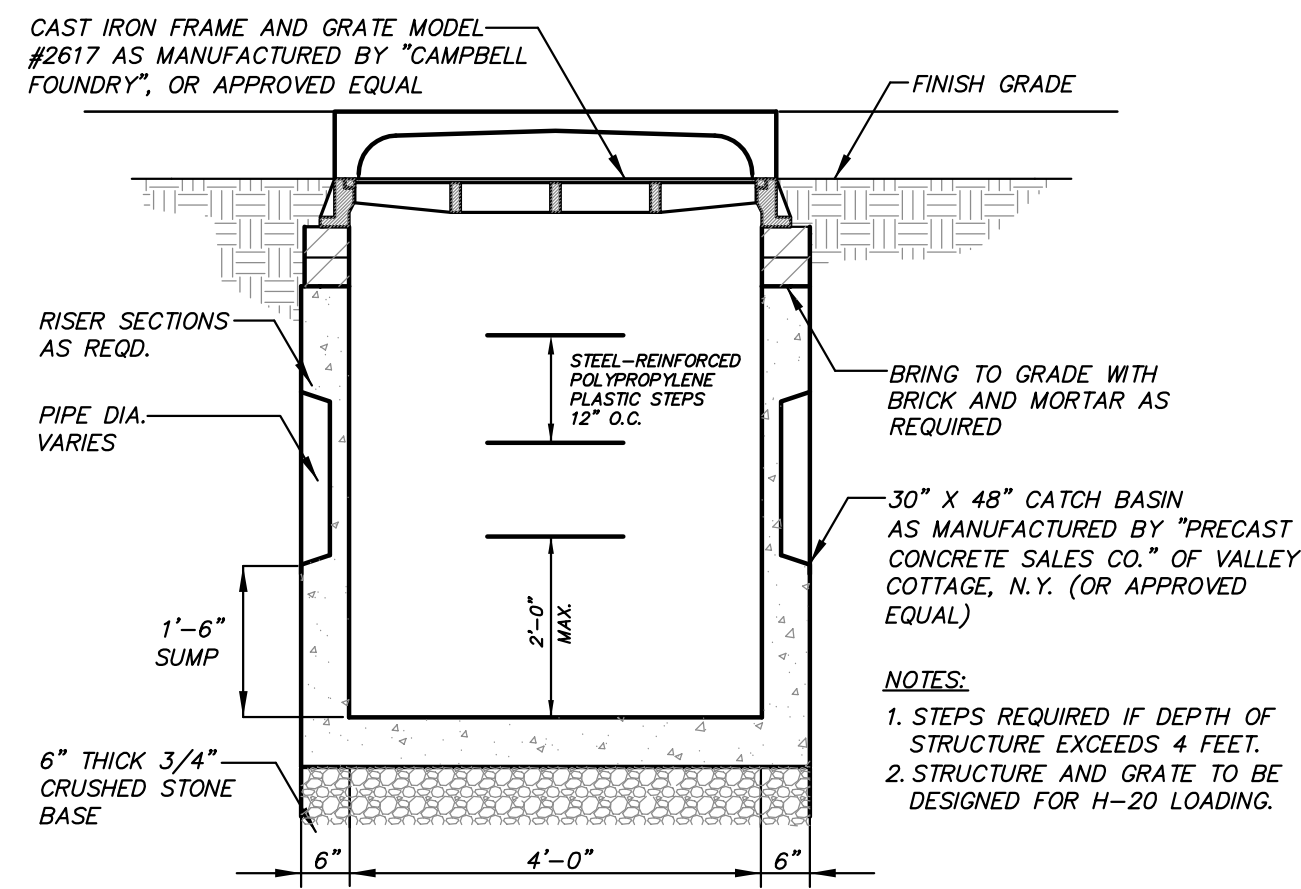
- Install silt fence and orange construction fence around the SSTS area and along the wetland buffer in general locations as shown on the plans.
- Install stabilized construction entrance/anti-tracking pad in general location as shown on the plan.
- Begin clearing and grubbing operations associated with access road and building pads.
- Strip and stockpile topsoil on site for later use in lawn and landscape areas.
- Cut in for access road and stabilize with Item 4. Maintain stabilized construction entrance.
- Continue earthwork for building pad and parking area and begin excavation for foundation.
- Install storm drainage systems and underground utilities, drill well and install SSTS in accordance with the plan and details. Install inlet protection.
- Construction building, construct roof leader drains, install concrete curbs and sidewalks.
- Upon completion of grading operations, install finished driveway surfaces.
- Install landscaping and topsoil, seed, and mulch all disturbed areas as soon as practical in accordance with the Erosion and Sediment Control Notes and seeding notes.
- Once the site has received final stabilization, remove all temporary erosion and sediment control measures.

EROSION & SEDIMENT CONTROL NOTES:

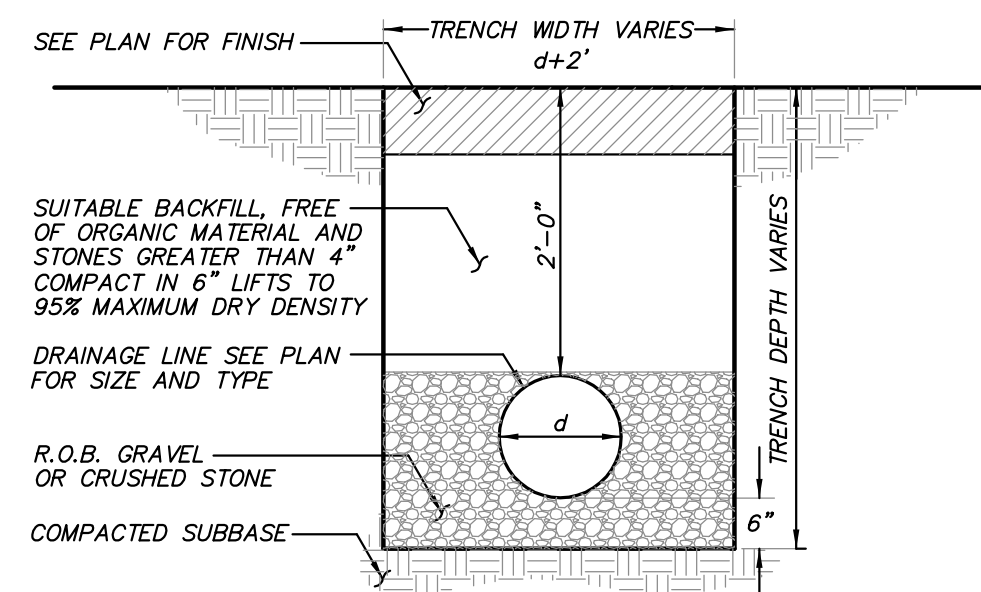
- The Erosion and Sediment Control Plan is only to be referred to for the installation of erosion and sediment control measures. For all other construction related activities, including, but not limited to, grading and utilities, refer to the appropriate drawings.
- Each contractor or subcontractor responsible for soil disturbance shall have a NYSDEC trained contractor onsite during soil disturbing activities. The NYSDEC trained contractor will be responsible to comply with the stormwater pollution prevention plan and for the implementation and maintenance of erosion and sediment control measures on this site prior to and during construction. The NYSDEC trained contractor shall sign a certification statement required by GP-0-15-002.
- All construction activities involving the removal or disposition of soil are to be provided with appropriate protective measures to minimize erosion and contain sediment disturbance within. Minimum soil erosion and sediment control measures shall be implemented as shown on the plans and shall be installed in accordance with "New York Standards and Specifications For Erosion and Sediment Control," latest edition.
- Wherever feasible, natural vegetation should be retained and protected. Disturbance shall be minimized in the areas required to perform construction. No more than 5 acres of unprotected soil shall be exposed at any one time.
- When land is exposed during development, the exposure shall be kept to the shortest practical period of time, but in no case more than 7 days after the construction activity in that portion of the site has ceased. Disturbance shall be minimized in the areas required to perform construction.
- All construction vehicles shall be kept clear of the watercourses and wetland control areas outside the areas of proposed development. Silt fence and orange construction fence shall be installed in the areas where the grading is in close proximity of the watercourses or wetland control areas.
- The stabilized construction entrances, silt fence, and orange construction fence shall be installed as shown on the plans prior to beginning any clearing, grubbing or earthwork.
- All topsoil to be stripped from the area being developed shall be stockpiled and immediately seeded with Annual, Perennial or Winter Rye for temporary stabilization. Winter Rye (Grain Rye) shall be used for winter seeding and Annual or Perennial Rye shall be used for spring and summer seeding.
- Any graded areas not subject to further disturbance or construction traffic shall, within 7 days of final grading, receive permanent vegetation cover in combination with a suitable mulch. All seeded areas to receive a minimum 4" topsoil (from stockpile area) and be seeded and mulched between March 21 and May 20 or between August 15 and October 15 or as directed by project representative, with specified seed mixes as shown in the General Site Seeding Notes.
 - Mulch: Silt hay or small grain straw applied at a rate of 90 lbs./1000 S.F. or 2 tons/acre, to be applied and anchored according to "New York Standards and Specification For Erosion and Sediment Control," latest edition.
- Grass seed mix may be applied by either mechanical or hydroseeding methods.
- Cut or fill slopes steeper than 3H:1V shall be stabilized immediately after grading with Curlex I Single Net Erosion Control Blanket, or approved equal.
- Paved roadways shall be kept clean at all times.
- The site shall at all times be graded and maintained such that all stormwater runoff is diverted to soil erosion and sediment control facilities.
- All storm drainage outlets shall be stabilized, as required, before the discharge points become operational.
- Stormwater from disturbed areas must be passed through erosion control barriers before discharge beyond disturbed areas or discharged into other drainage systems.
- Erosion and sediment control measures shall be inspected and maintained on a daily basis by the contractor. In addition, the contractor shall install, maintain and permanent ditches and pipes are clear of debris, that embankments and berms have not been breached and that all straw bales and silt fences are intact. Any failure of erosion and sediment control measures shall be immediately repaired by the contractor and inspected for approval by the site engineer.
- Dust shall be controlled by sprinkling or other approved methods as necessary, or as directed by the trained contractor or site engineer.
- Cut and fills shall not endanger adjoining property, nor divert water onto the property of others.
- All fills shall be placed and compacted in 6" lifts to provide stability of material and to prevent settlement.
- The NYSDEC Trained Contractor shall inspect downstream conditions for evidence of sedimentation on a weekly basis and after rainstorms.
- As warranted by field conditions, special additional erosion and sediment control measures, as specified by the site engineer, the Wetlands Inspector, the Town Engineer and/or NYCDER shall be installed by the contractor.
- Erosion and sediment control measures shall remain in place until all disturbed areas are suitably stabilized.
- After completion of the site improvements, the owner will assume responsibility for maintenance of the roads, parking lots, drainage systems and stormwater facilities. Each spring the paved areas shall be cleaned to remove the winter accumulation of traction sand. After this is completed all drain inlet and catch basin sumps should be cleaned. All pipes should be checked for debris and blockage and cleaned as required. During the cleaning process, the drain inlets, catch basins and pipes should be inspected for structural integrity and overall condition. Repairs and/or replacements should be made as required.
- Inspection of the stormwater basins should be performed every 6 months and after large storm events. These inspections should, at a minimum, check the outlet pipes for blockage and the general overall integrity of the basin and appurtenances.
- Maintain basin vegetation including removal of trees and replacement of vegetation that should die. Remove any litter which accumulates as necessary. Typically, the accumulated silt will be required to be removed every 10 to 20 years. Any accumulated silt shall be removed from the stormwater basins once the site has been stabilized.
- Refer to the Stormwater Pollution Prevention Plan for additional details regarding long-term maintenance of the storm drainage facilities.

		3 Garrett Place Carmel, NY 12512 (845) 225-9690 (845) 225-9717 fax www.insite-eng.com	
PROJECT: ROUTE 6 RETAIL 150 ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK			
DRAWING: EROSION & SEDIMENT CONTROL PLAN			
PROJECT NUMBER	02119.100	PROJECT MANAGER	J.J.C.
DATE	6-24-15	DRAWN BY	M.E.U.
SCALE	1" = 30'	CHECKED BY	D.L.M.
DRAWING NO.	SHEET		
	SP-3		4/6

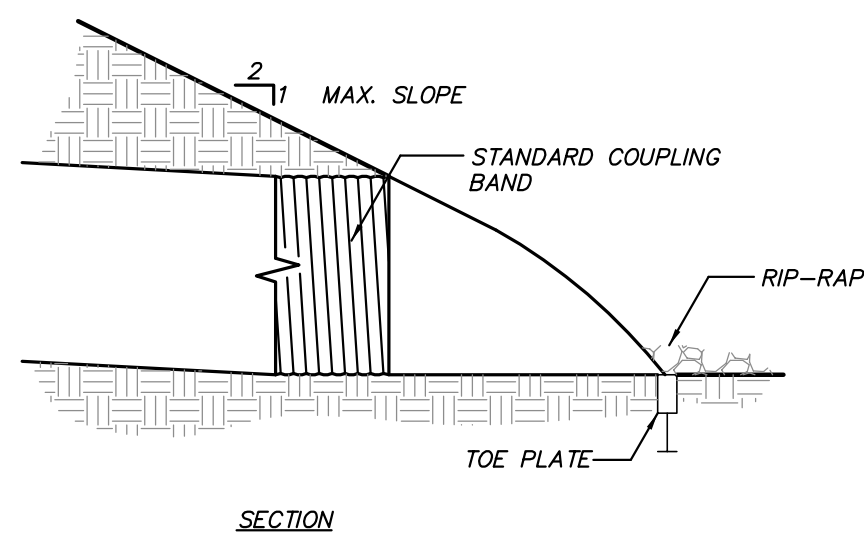
ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.



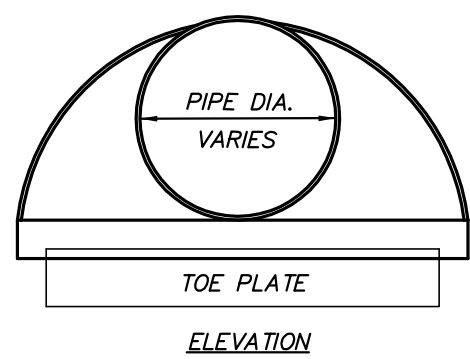
CATCH BASIN DETAIL
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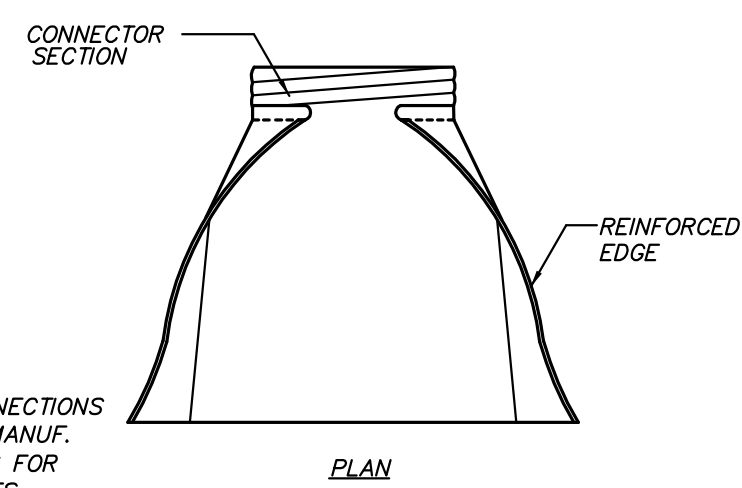
DRAINAGE LINE TRENCH DETAIL
(N.T.S.)



SECTION

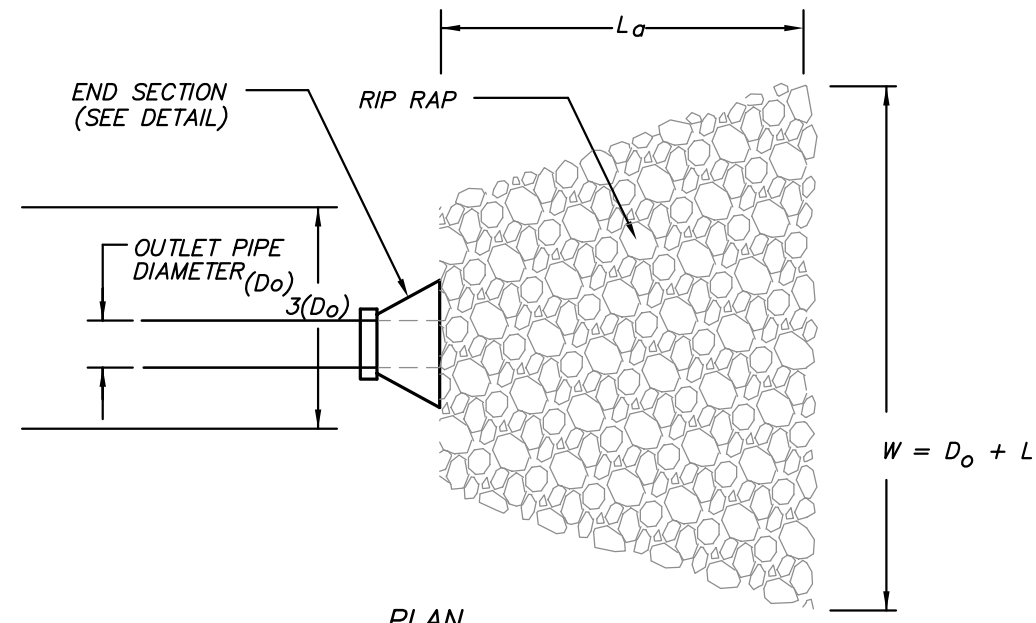


ELEVATION

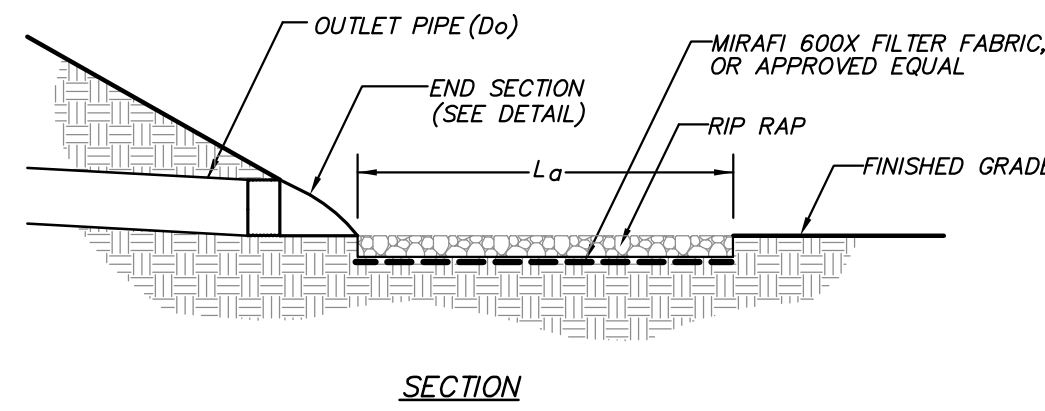


HDPE END SECTION DETAIL
(N.T.S.)

NOTE:
END SECTION CONNECTIONS TO CONFORM TO MANUF. RECOMMENDATIONS FOR VARIOUS PIPE SIZES

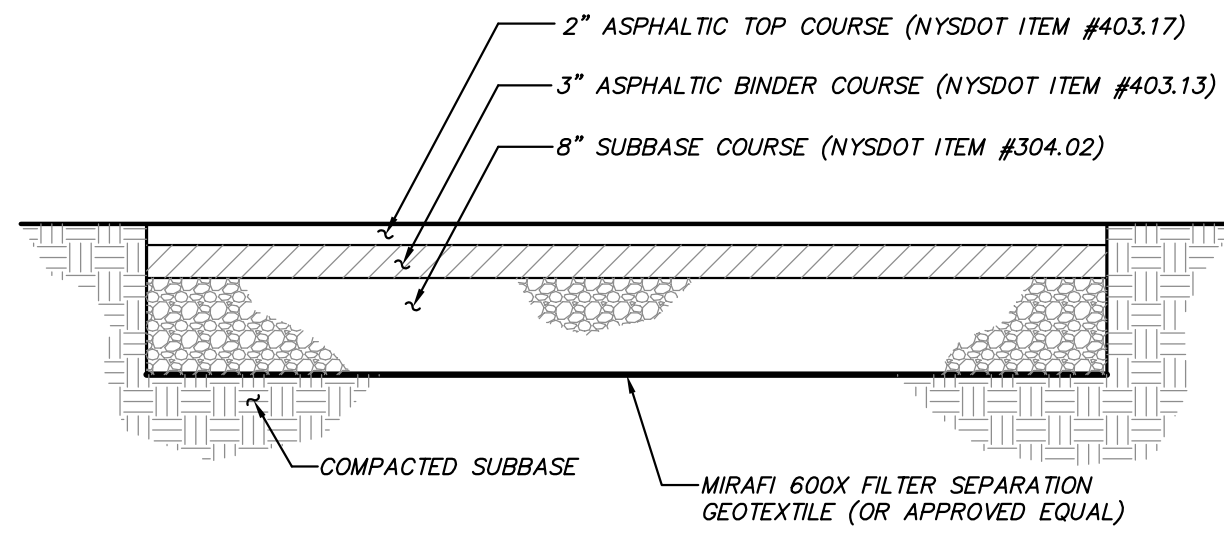


PLAN

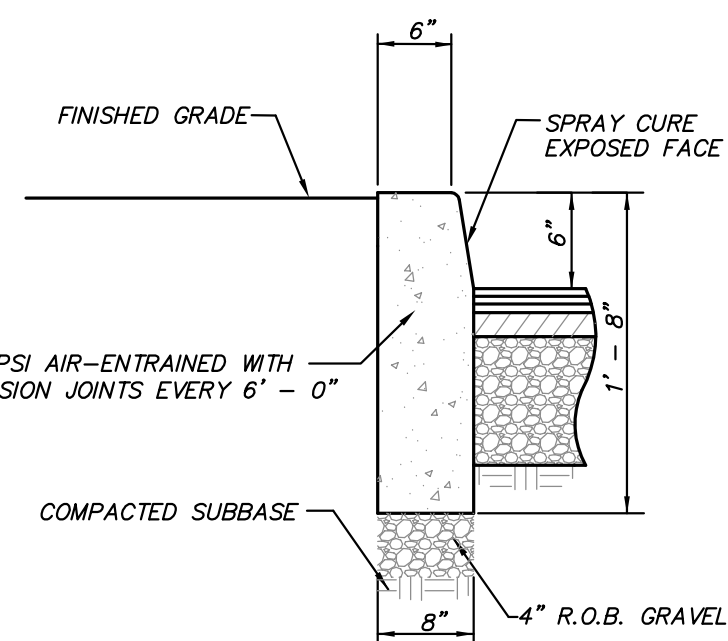


SECTION

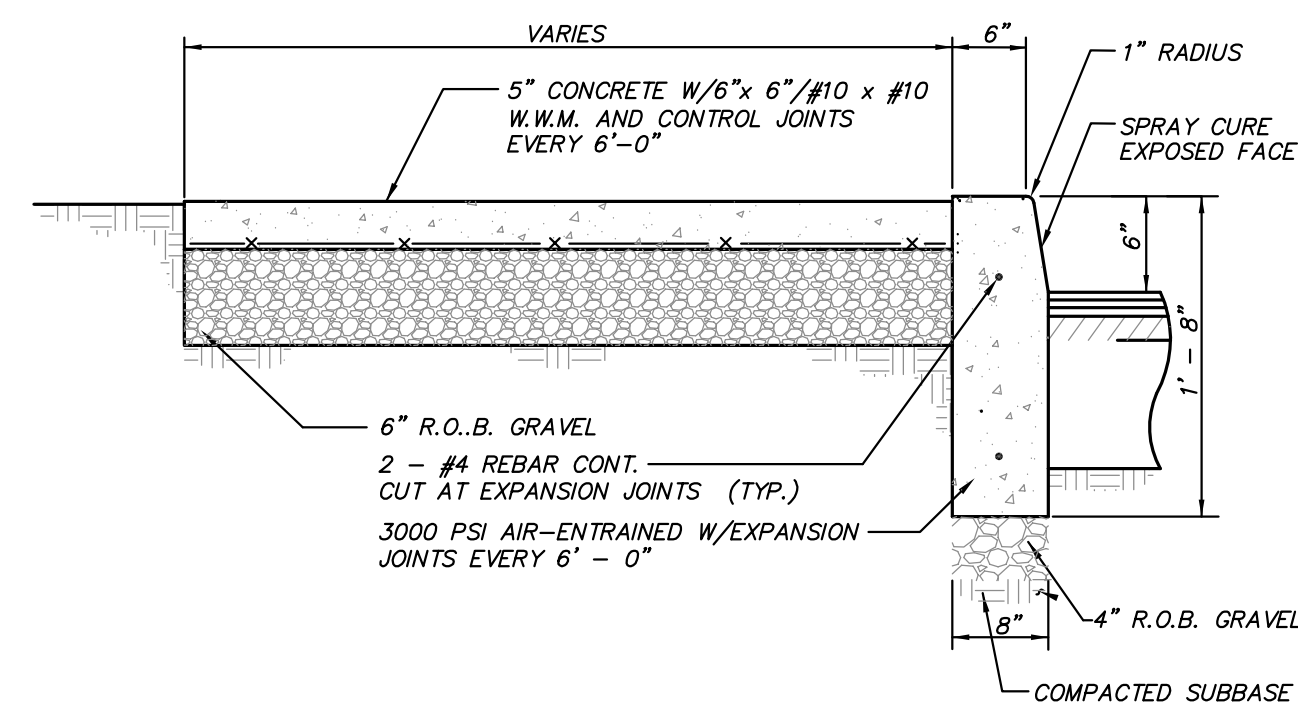
VELOCITY DISSIPATOR DETAIL
(N.T.S.)



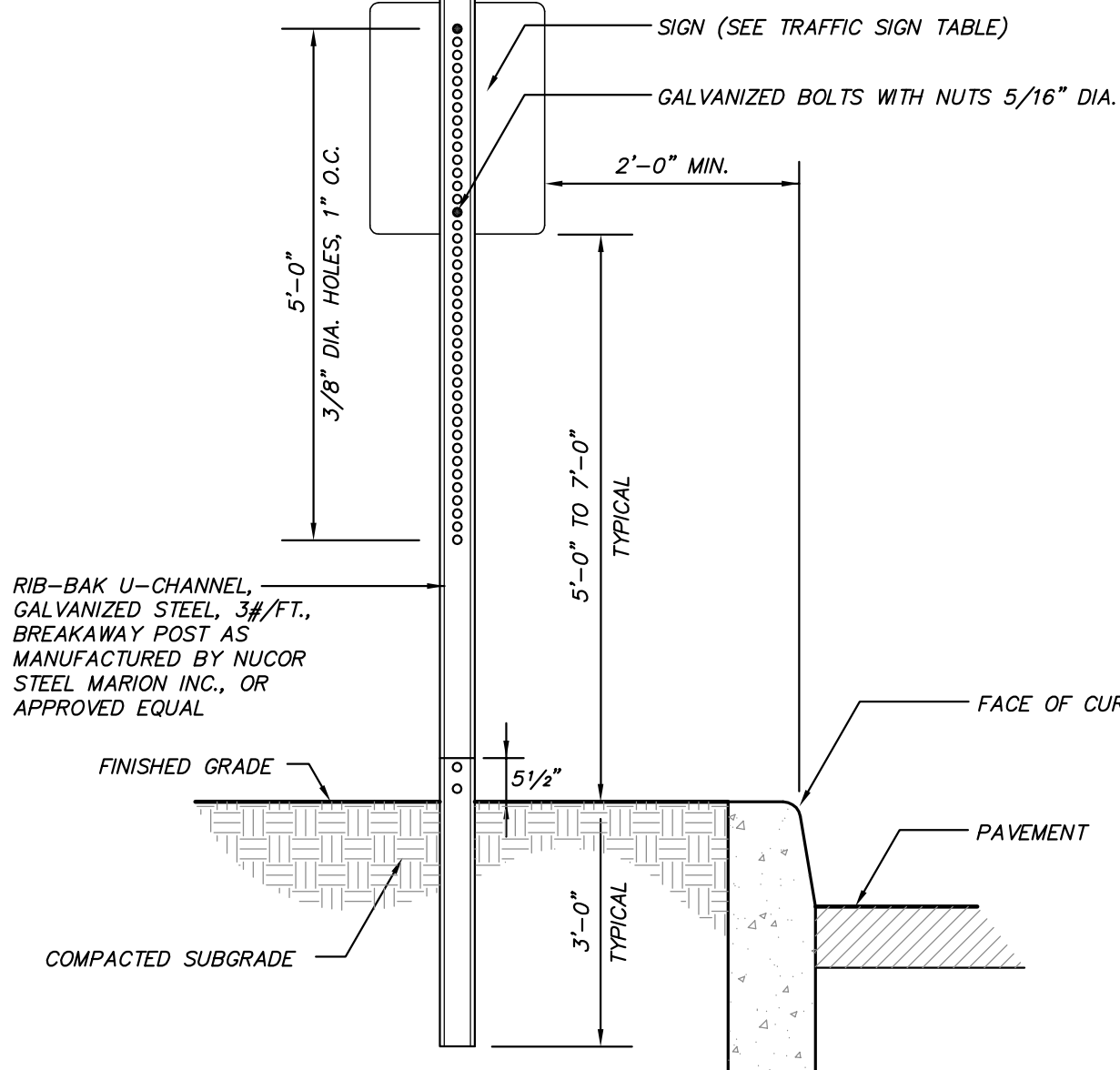
ASPHALT PAVEMENT DETAIL
(N.T.S.)



SITE CONCRETE CURB DETAIL
(N.T.S.)



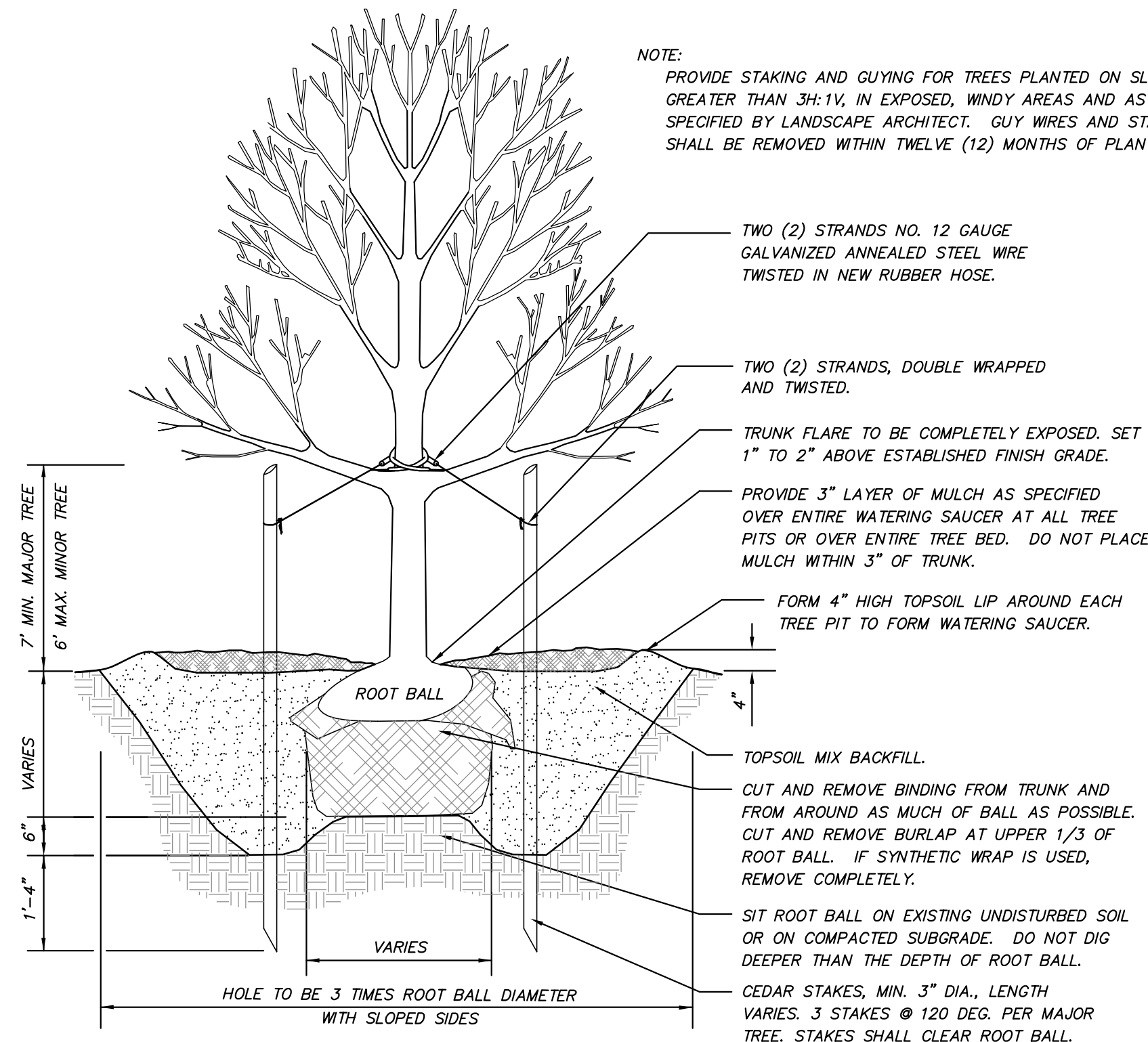
CONCRETE SIDEWALK AND CURB DETAIL
(N.T.S.)



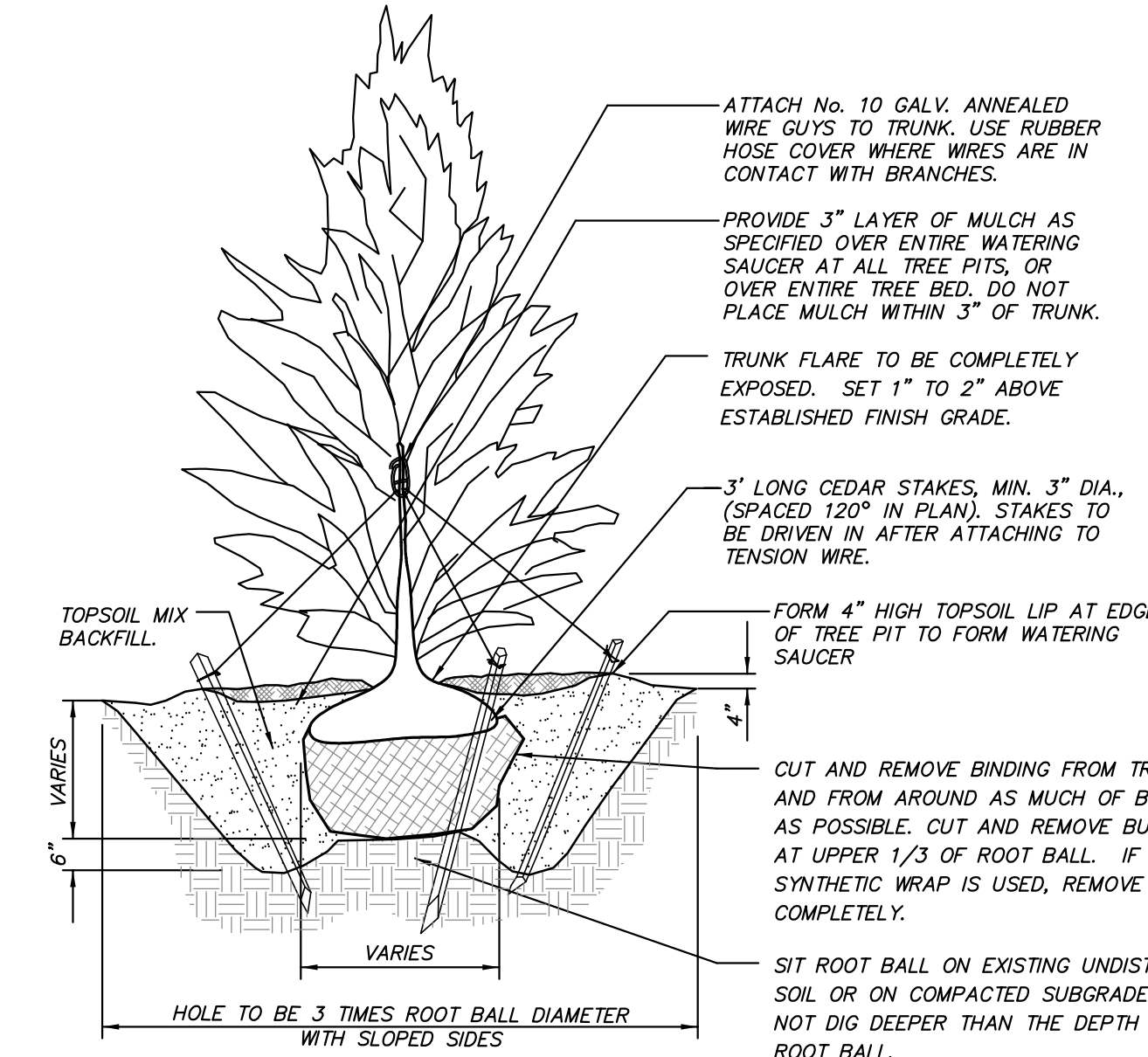
TRAFFIC SIGN DETAIL
(N.T.S.)

NOTE: FOR HANDICAP PARKING SIGNAGE, SIGNS SHALL BE INSTALLED AT A CLEAR HEIGHT OF BETWEEN 5'-0" AND 7'-0" ABOVE GRADE OF PARKING SPACE AND SUCH THAT SIGNS SHALL NOT BE OBTURED BY A VEHICLE PARKED IN THE SPACE.

NOTE:
PROVIDE STAKING AND GUYING FOR TREES PLANTED ON SLOPES GREATER THAN 3H:1V, IN EXPOSED, WINDY AREAS AND AS SPECIFIED BY LANDSCAPE ARCHITECT. GUY WIRES AND STAKES SHALL BE REMOVED WITHIN TWELVE (12) MONTHS OF PLANTING.

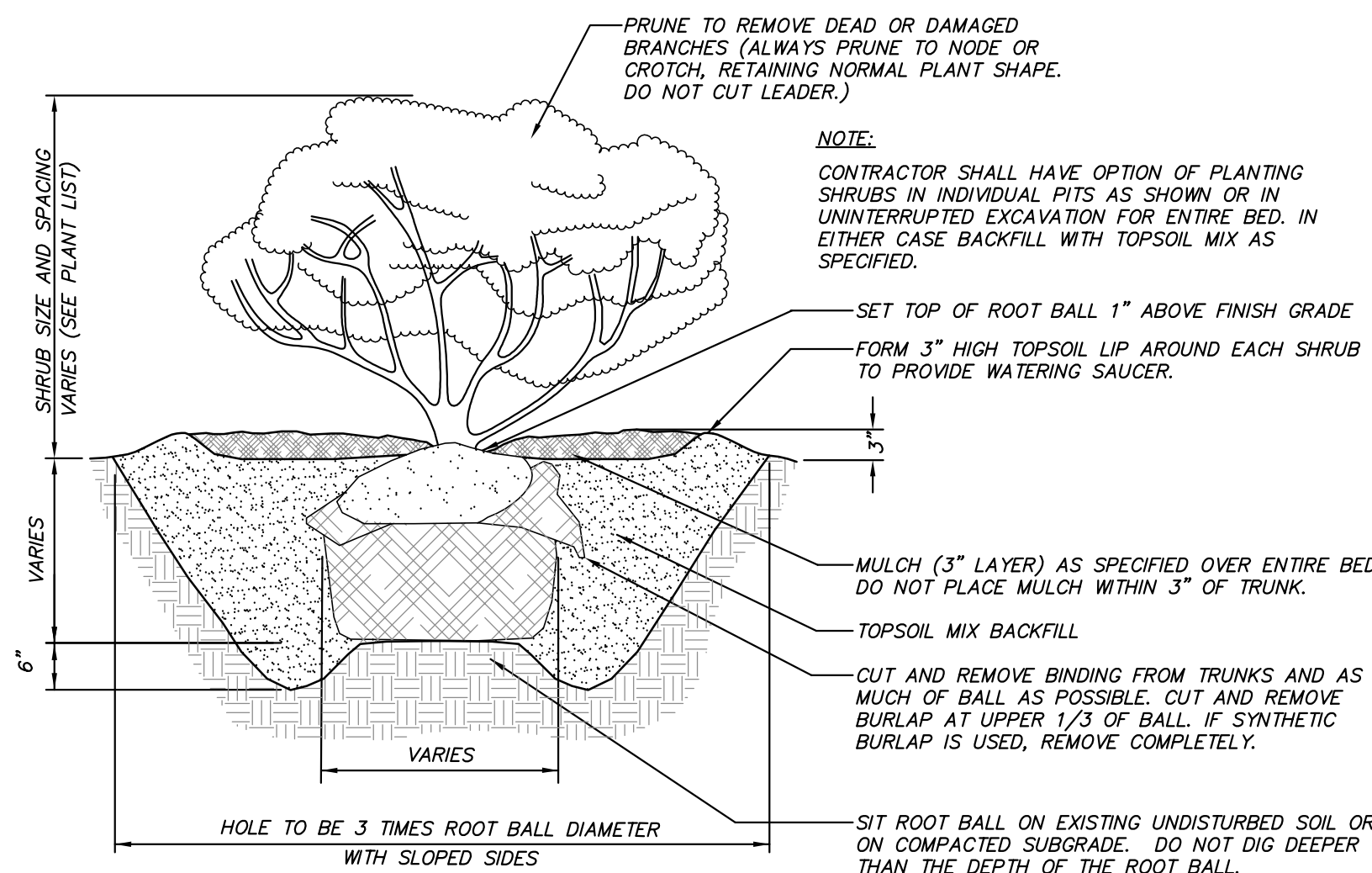


TREE PLANTING DETAIL
(N.T.S.)



EVERGREEN TREE PLANTING DETAIL
(N.T.S.)

NOTE:
PROVIDE STAKING AND GUYING FOR TREES PLANTED ON SLOPES GREATER THAN 3H:1V, IN EXPOSED, WINDY AREAS AND AS SPECIFIED BY LANDSCAPE ARCHITECT. GUY WIRES AND STAKES SHALL BE REMOVED WITHIN TWELVE MONTHS OF PLANTING.



SHRUB PLANTING DETAIL
(N.T.S.)

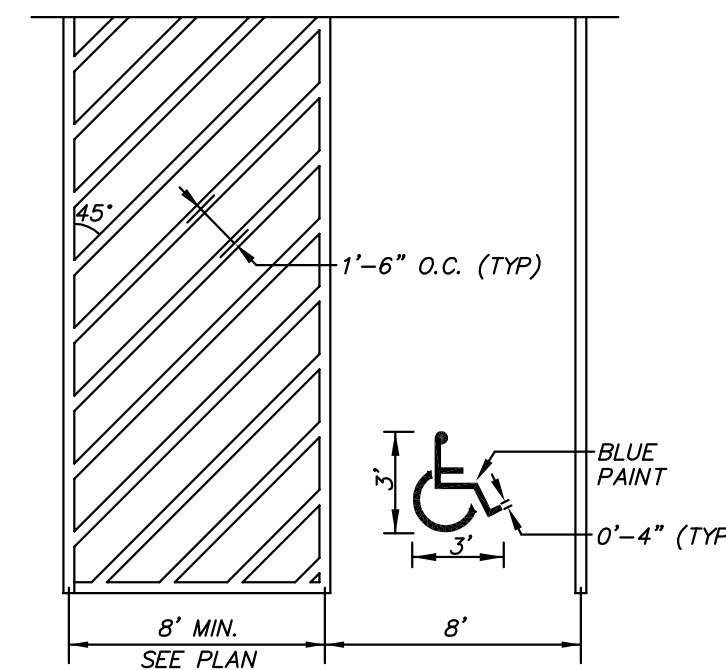
NOTE:
CONTRACTOR SHALL HAVE OPTION OF PLANTING SHRUBS IN INDIVIDUAL PITS AS SHOWN OR IN UNINTERRUPTED EXCAVATION FOR ENTIRE BED, IN EITHER CASE BACKFILL WITH TOPSOIL MIX AS SPECIFIED.

SET TOP OF ROOT BALL 1" ABOVE FINISH GRADE
FORM 3" HIGH TOPSOIL LIP AROUND EACH SHRUB TO PROVIDE WATERING SAUCER.

MULCH (3" LAYER) AS SPECIFIED OVER ENTIRE BED. DO NOT PLACE MULCH WITHIN 3" OF TRUNK.
TOPSOIL MIX BACKFILL
CUT AND REMOVE BINDING FROM TRUNKS AND AS MUCH OF BALL AS POSSIBLE. CUT AND REMOVE BURLAP AT UPPER 1/3 OF BALL. IF SYNTHETIC BURLAP IS USED, REMOVE COMPLETELY.

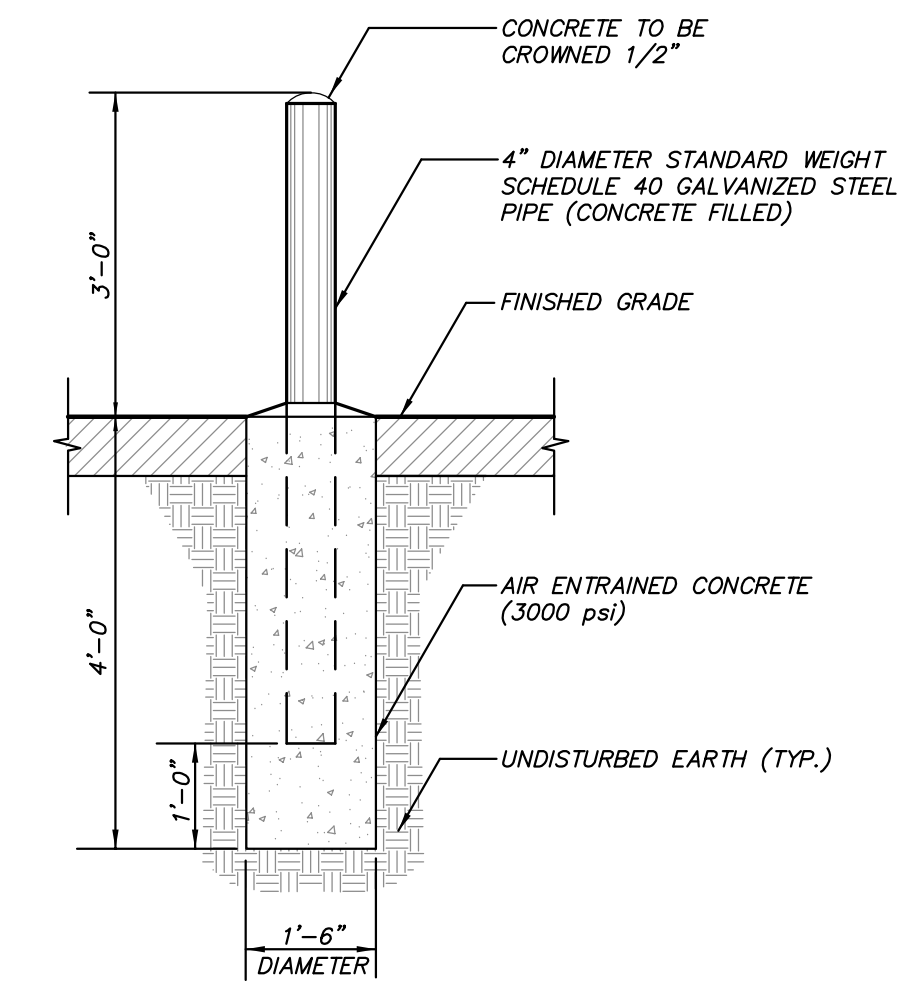
SIT ROOT BALL ON EXISTING UNDISTURBED SOIL OR ON COMPACTED SUBGRADE. DO NOT DIG DEEPER THAN THE DEPTH OF THE ROOT BALL.

SIGN DATA TABLE				
LOCATION NO.	TEXT	M.U.T.C.D. NUMBER	SIZE OF SIGN (S.F.)	DESCRIPTION
1	ONE WAY	R6-1C	12" x 36"	Black Background White Arrow Black Letters
2	ONE WAY	R6-1C	12" x 36"	Black Background White Arrow Black Letters
3	NO LEFT TURN	R5-1C	30" x 30"	White on Red
4	NO PARKING	R7-1	12" x 18"	Red on White
5	RESERVED PARKING	R7-8	12" x 18"	Blue on White
6	STOP	R1-1C	30" x 30"	White on Red



PAINTED HANDICAP PARKING DETAIL
(N.T.S.)

NOTE:
1. ALL HANDICAP STRIPING SHALL BE 4" WIDE BLUE PAINT



STEEL BOLLARD DETAIL
(N.T.S.)

NOTE:
WHEN PROTECTION POSTS ARE TO BE USED FOR PROTECTION OF HANDICAP PARKING SIGNS OR OTHER TRAFFIC SIGNS, SIGN SUPPORTING POST SHALL BE EMBEDDED A MINIMUM OF THREE (3) FEET INTO THE CONCRETE.

NO.	DATE	REVISION	COMMENTS	BY
1	7-29-15		REVISED PER TOWN COMMENTS	MEU

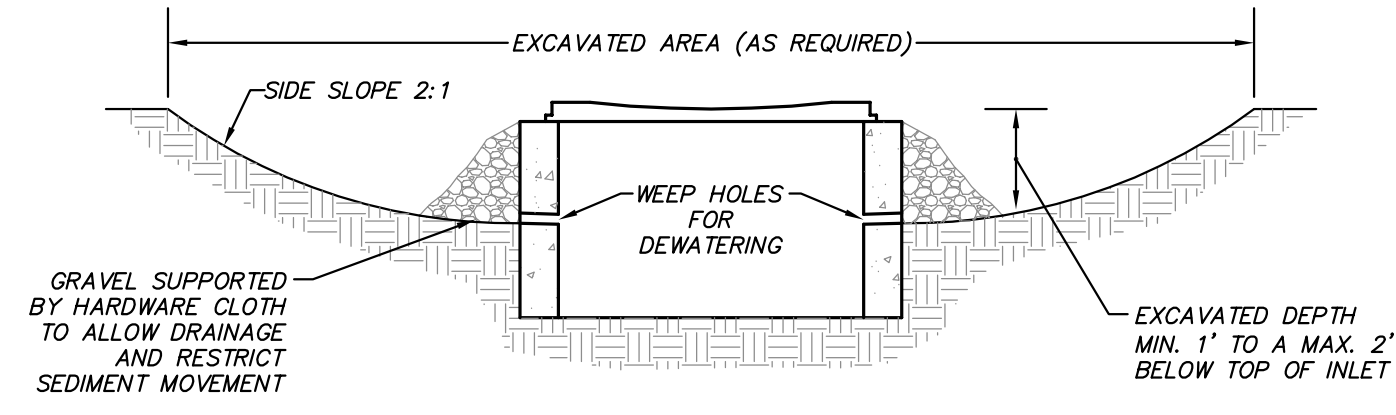
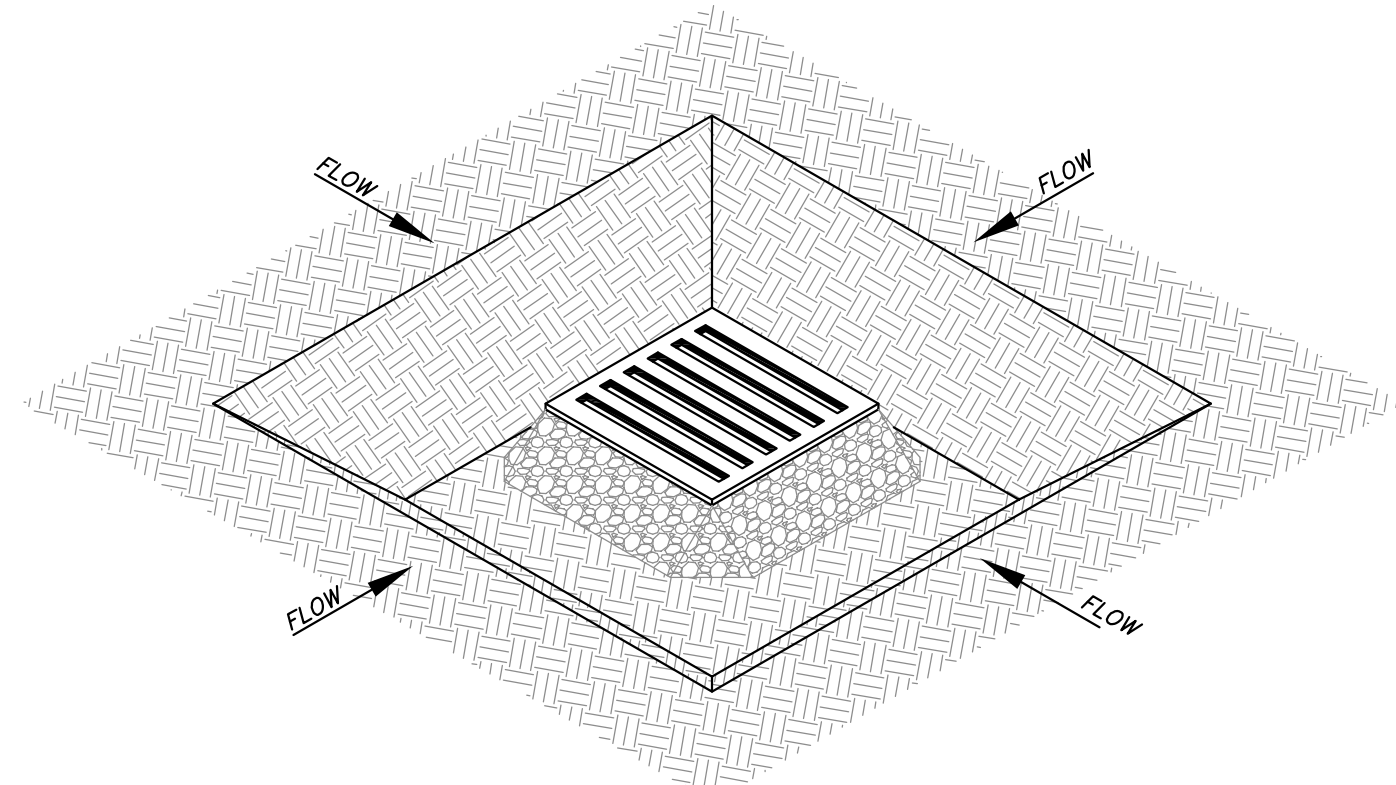
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ENGINEERING, SURVEYING &
LANDSCAPE ARCHITECTURE, P.C.

3 Garrett Place
Carmel, NY 10512
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(845) 225-9717 fax
www.insite-eng.com

PROJECT: **ROUTE 6 RETAIL**
150 ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

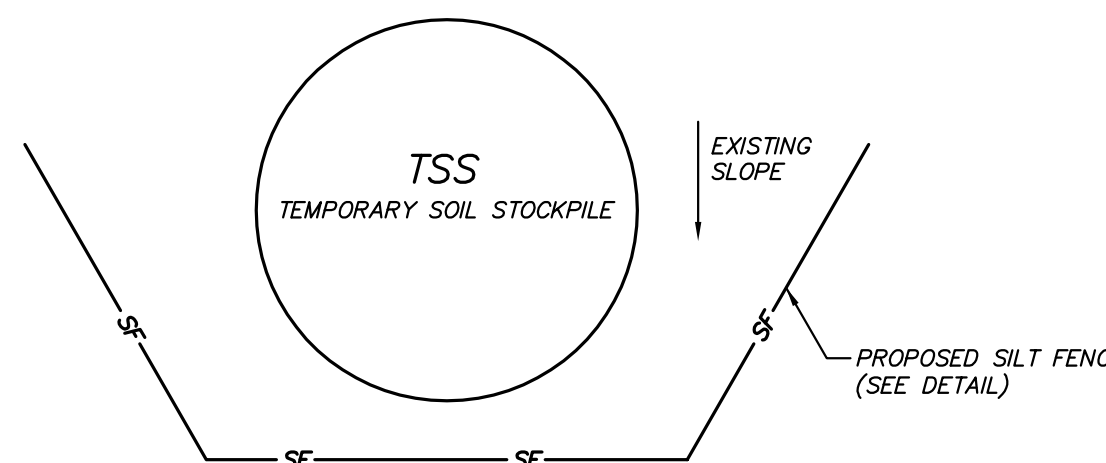
DRAWING: **DETAILS**

PROJECT NUMBER	02119.100	PROJECT MANAGER	J.J.C.	DRAWING NO.	SHEET
DATE	6-24-15	DRAWN BY	M.E.U.	D-1	5
SCALE	AS SHOWN	CHECKED BY	D.L.M.		6



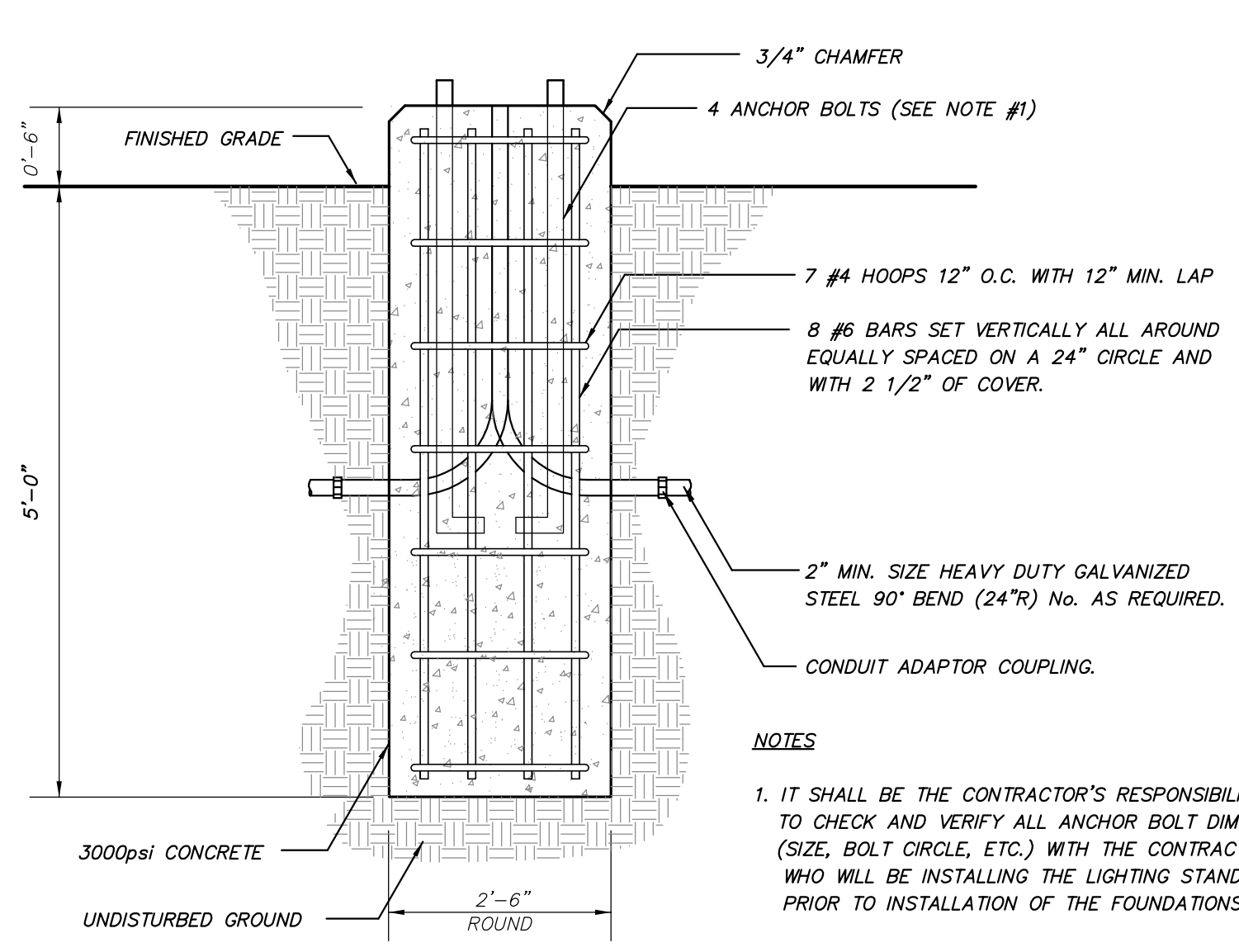
- CLEAR THE AREA OF ALL DEBRIS THAT WILL HINDER EXCAVATION
- GRADE APPROACH TO THE INLET UNIFORMLY AROUND THE BASIN
- WEEP HOLES SHALL BE PROTECTED BY GRAVEL
- UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA, SEAL WEEP HOLES, FILL EXCAVATION WITH STABLE SOIL TO FINAL GRADE, COMPACT IT PROPERLY, AND STABILIZE WITH PERMANENT SEEDING
- MAXIMUM DRAINAGE AREA = 1 ACRE

EXCAVATED DROP INLET PROTECTION DETAIL
(N.T.S.)



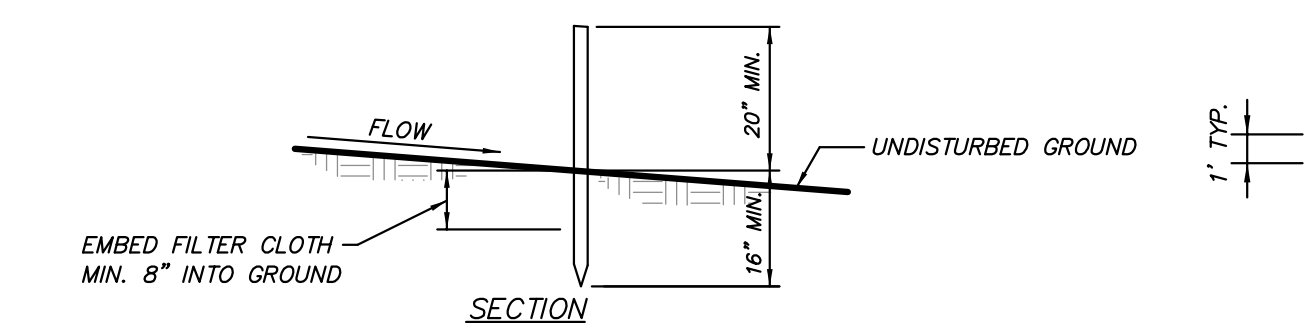
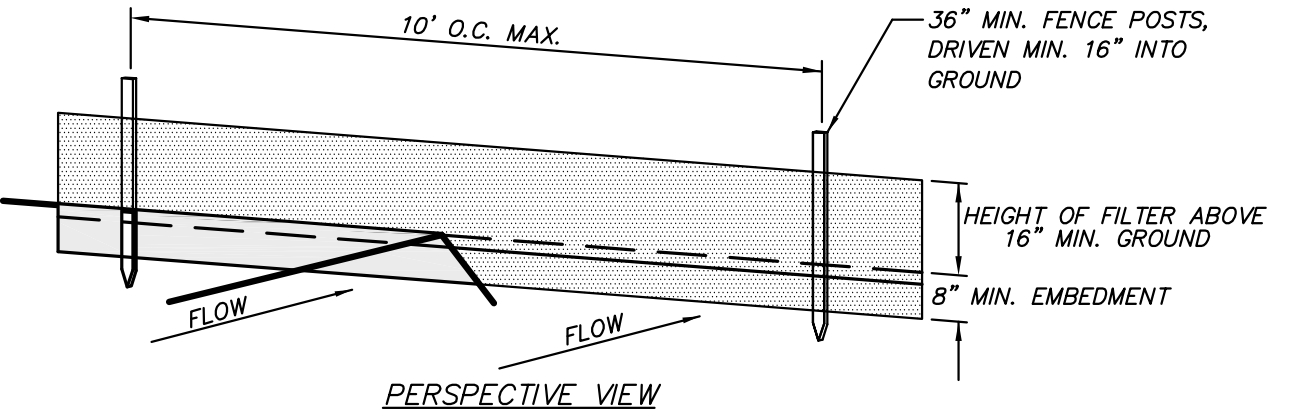
- NOTES:**
- AREA CHOSEN FOR STOCKPILE LOCATION SHALL BE DRY AND STABLE.
 - MAXIMUM SLOPE OF STOCKPILE SHALL BE 2:1.
 - UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE IMMEDIATELY SEEDED WITH K31 PERENNIAL TALL FESCUE.
 - ALL STOCKPILES SHALL BE PROTECTED WITH SILT FENCING INSTALLED ON THE DOWNGRADIENT SIDE.

TEMPORARY SOIL STOCKPILE DETAIL
(N.T.S.)



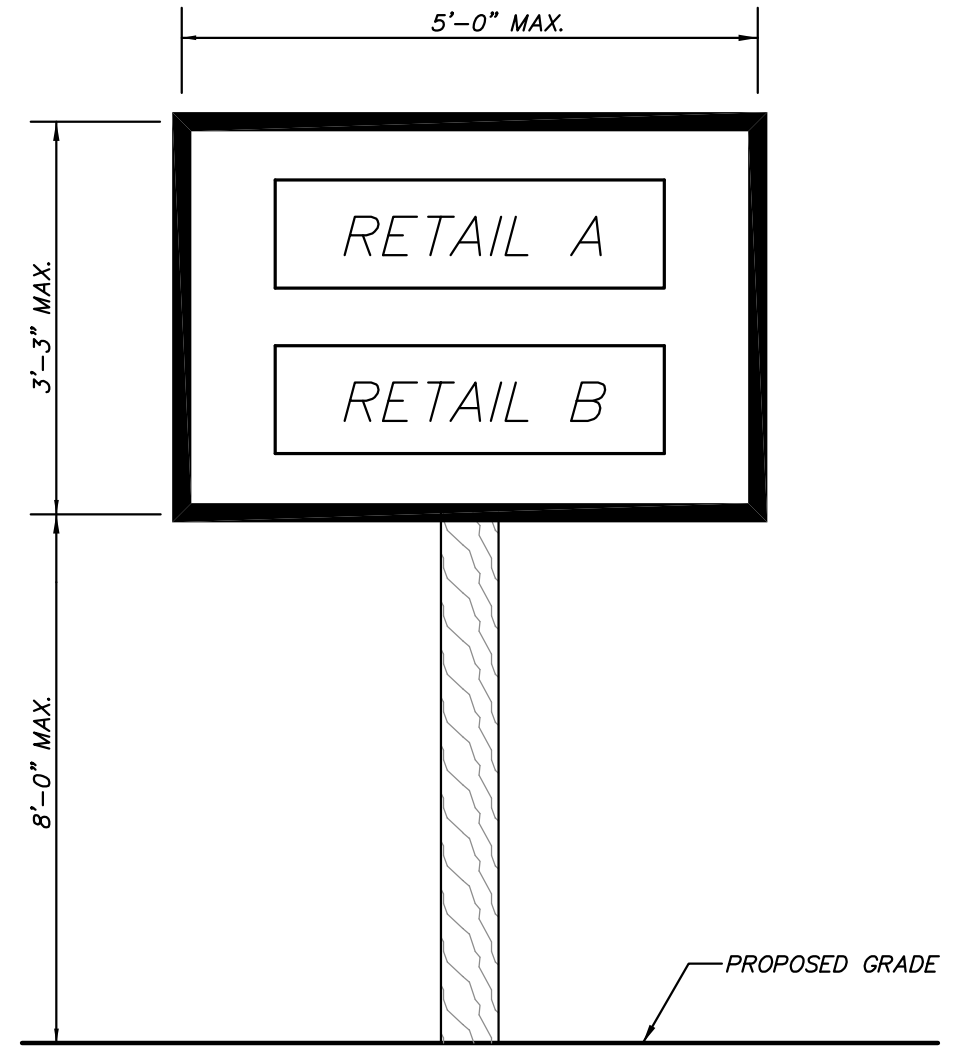
- NOTES:**
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ALL ANCHOR BOLT DIMENSIONS (SIZE, BOLT CIRCLE, ETC.) WITH THE CONTRACTOR WHO WILL BE INSTALLING THE LIGHTING STANDARD PRIOR TO INSTALLATION OF THE FOUNDATIONS.
 - CHAMFER EXPOSED EDGES OF ALL FOUNDATIONS.
 - PROVIDE INSULATED GROUNDING BUSHING ON EXPOSED ENDS (IN BASE OF POLE) OF ALL GALVANIZED STEEL BENDS.

LIGHTING FOUNDATION DETAIL
(N.T.S.)

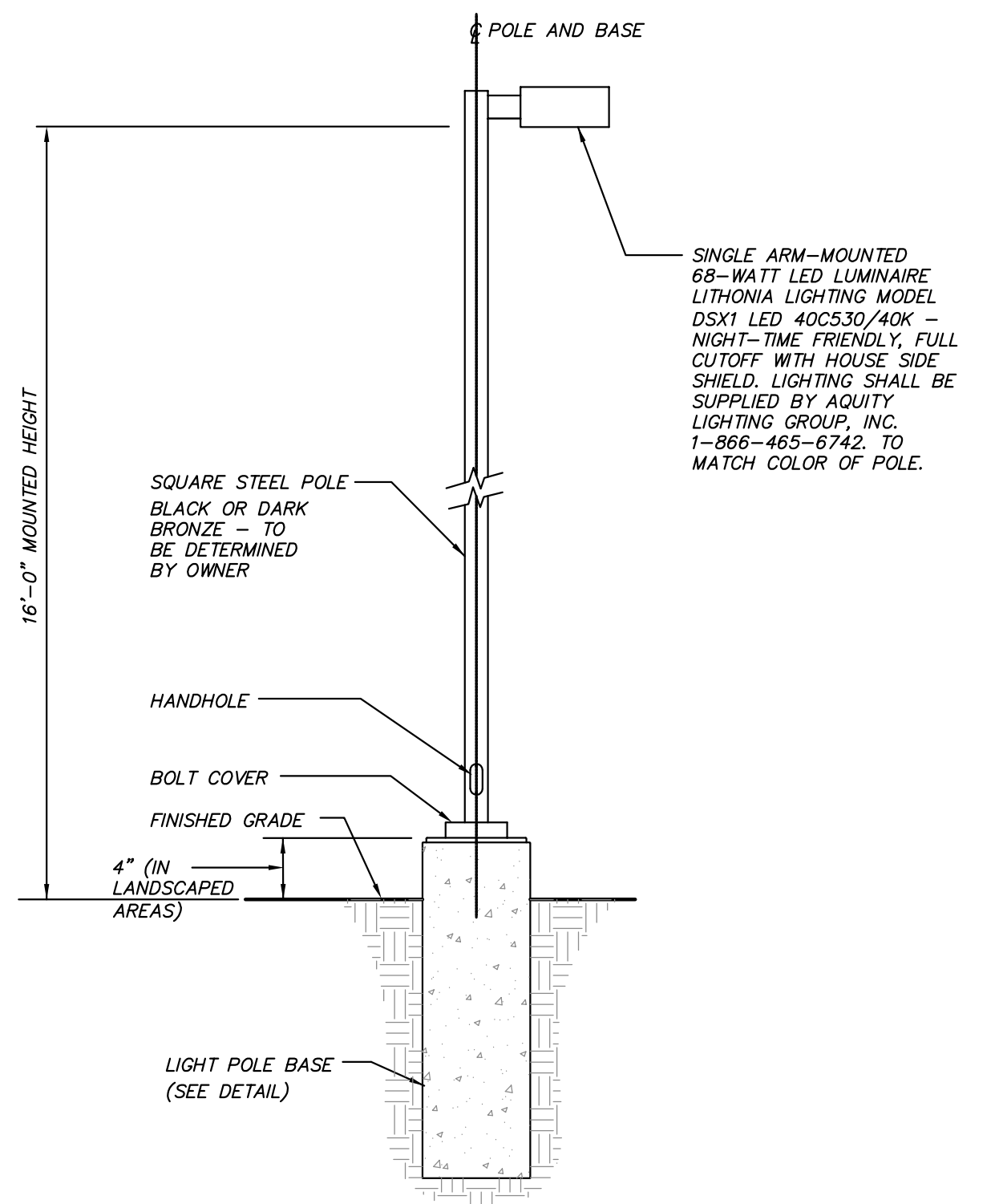


- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**
- FILTER CLOTH TO BE FASTENED SECURELY TO POSTS AT TOP AND MID SECTION.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- POSTS: STEEL EITHER T OR U TYPE OR 2" HARDWOOD
 FILTER CLOTH: FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUAL
 PREFABRICATED UNIT: GEOFAB, ENVIROFENCE, OR APPROVED EQUAL

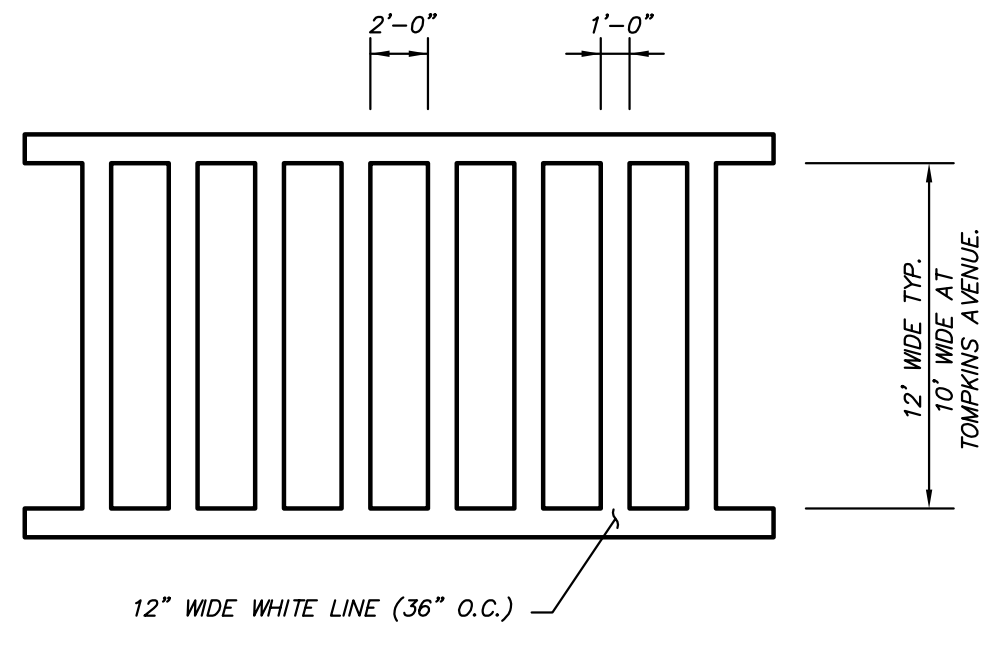
SILT FENCE DETAIL
(N.T.S.)



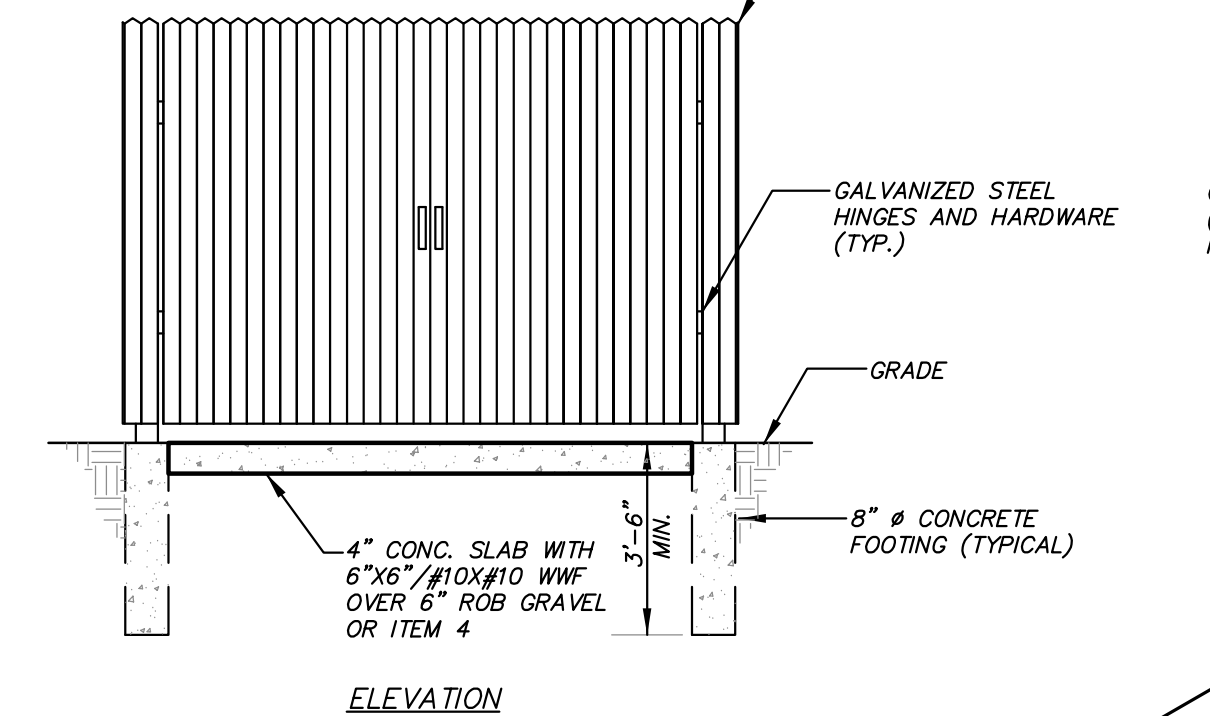
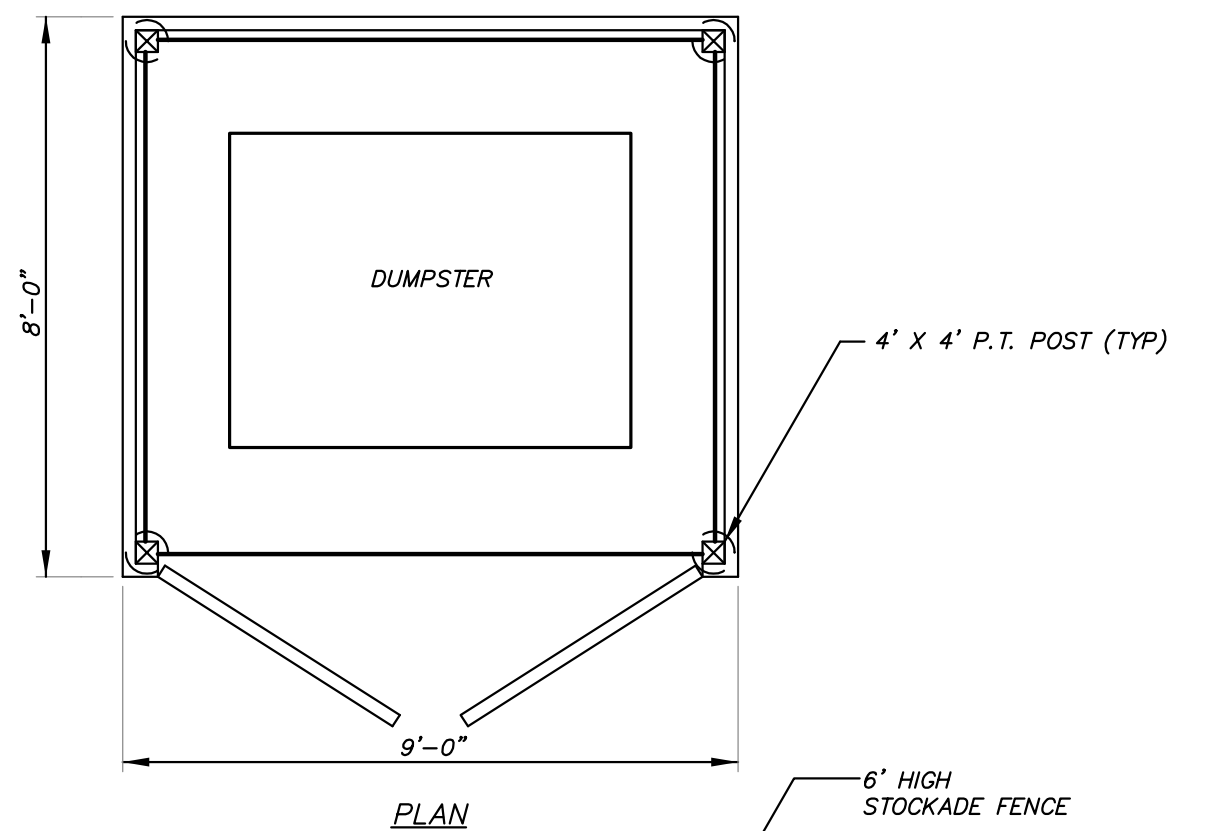
FREESTANDING SIGN DETAIL
(N.T.S.)



POLE-MOUNTED LIGHTING DETAIL
(N.T.S.)

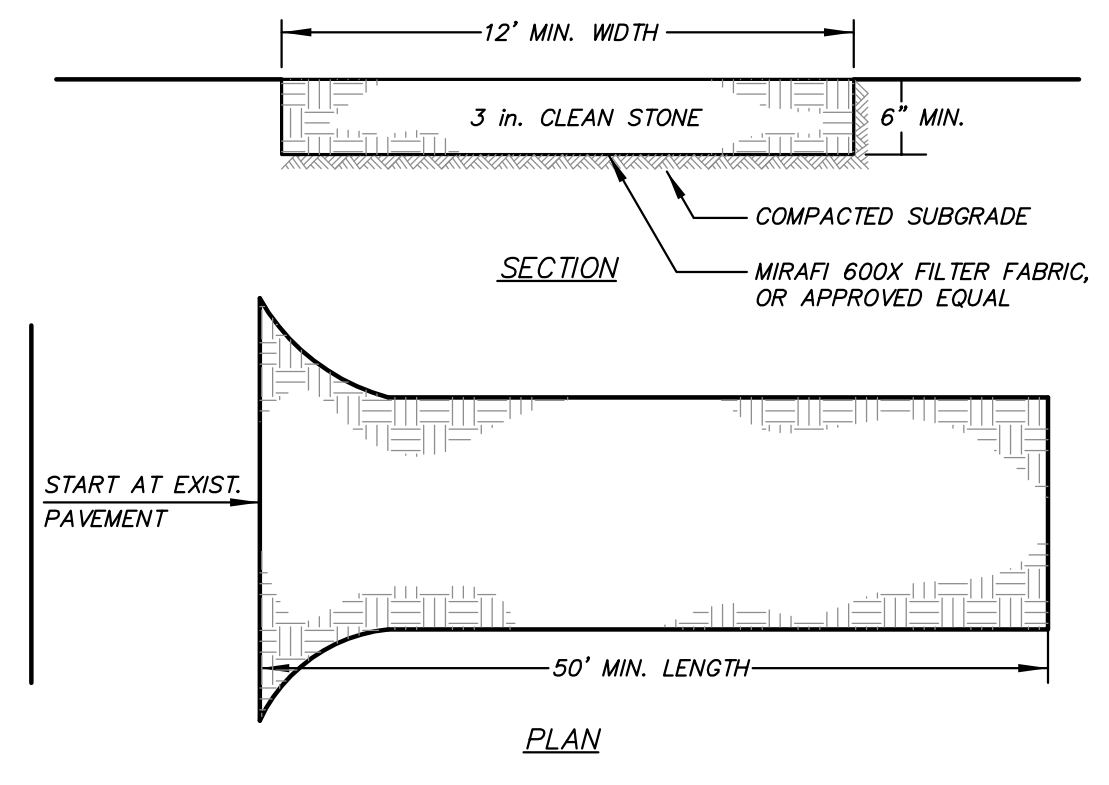


CROSSWALK MARKING DETAIL
(N.T.S.)



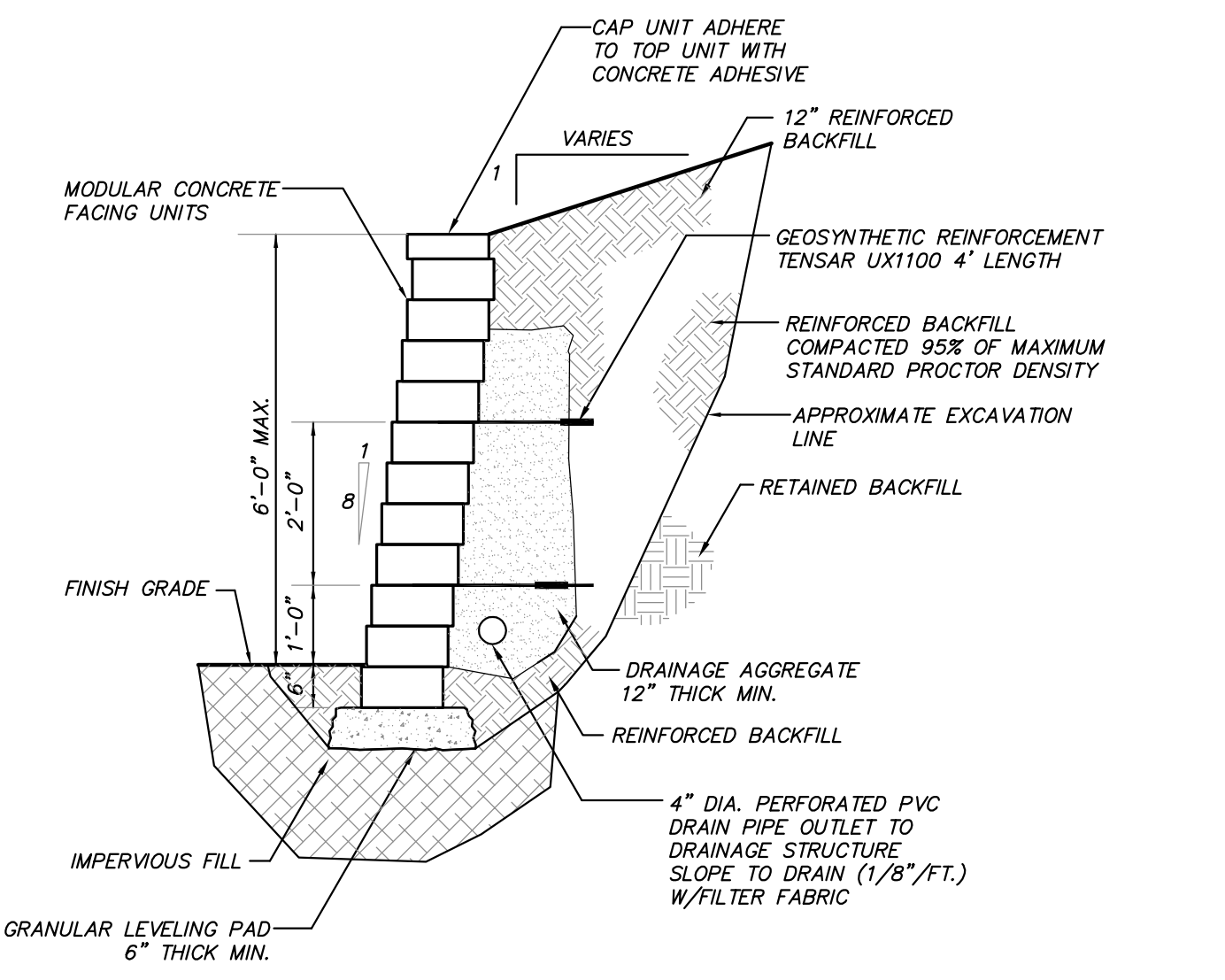
NOTE: CHECK WITH REFUSE HAULER PRIOR TO INSTALLATION OF REFUSE ENCLOSURE FOR DIMENSIONS.

DUMPSTER ENCLOSURE DETAIL
(N.T.S.)



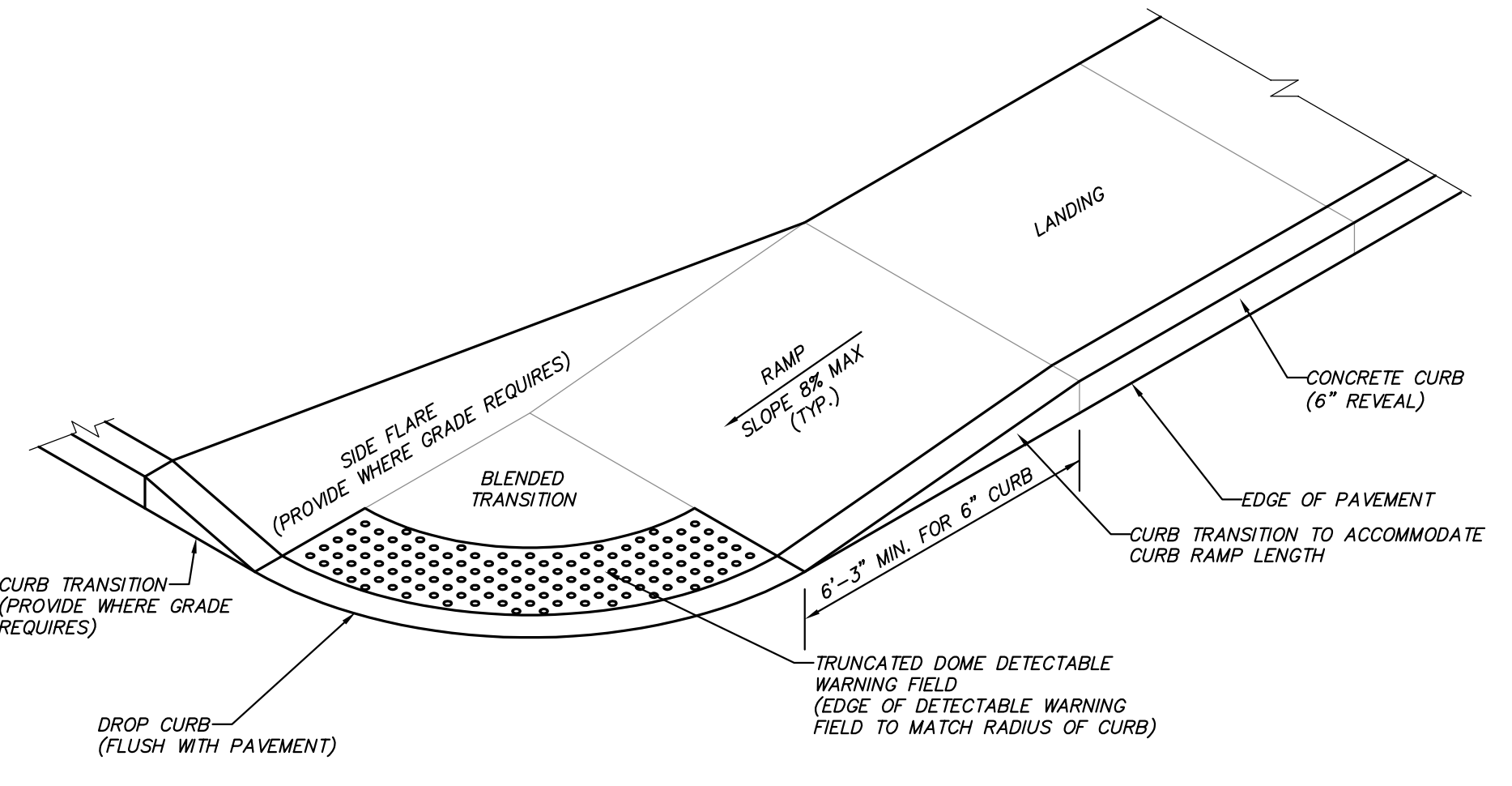
- INSTALLATION NOTES**
- STONE SIZE - USE 3" STONE
 - LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.)
 - THICKNESS - NOT LESS THAN SIX (6) INCHES.
 - WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR.
 - FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 3:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
 - WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE DETAIL
(N.T.S.)

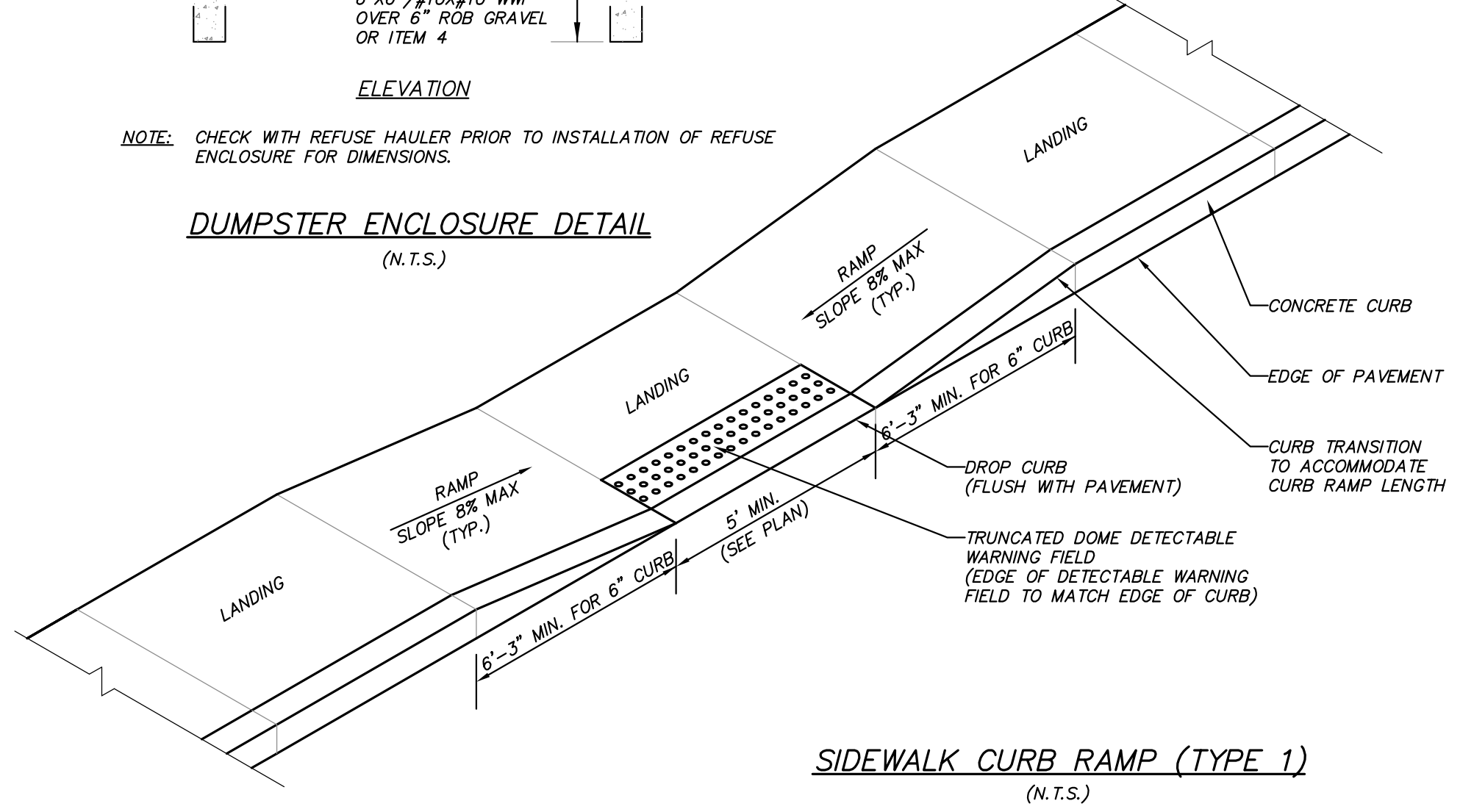


- NOTES:**
- STRIP VEGETATION AND ORGANIC SOIL FROM WALL AREA.
 - BENCH CUT ALL EXCAVATED SLOPES.
 - DO NOT OVER EXCAVATE UNLESS DIRECTED BY SITE ENGINEER TO REMOVE UNSUITABLE SOIL.
 - SITE ENGINEER SHALL VERIFY FOUNDATION SOILS AS BEING COMPETENT PER THE DESIGN STANDARDS AND PARAMETERS.
 - LEVELING PAD SHALL CONSIST OF COMPACTED COARSE SAND OR CRUSHED GRAVEL, 6" THICK MIN.
 - CONTRACTOR MAY OPT FOR A LEAN CONCRETE PAD. CONCRETE PAD SHALL BE UNREINFORCED, 3" THICK MAXIMUM.
 - MINIMUM EMBEDMENT OF WALL BELOW FINISH GRADE SHALL BE 6".
 - FOR UNITS TO BE EMBEDDED, COMPACT FILL IN FRONT OF UNITS AT THE SAME TIME FILL BEHIND UNITS IS COMPACTED.
 - DRAINAGE AGGREGATE SHALL BE INSTALLED DIRECTLY BEHIND THE WALL WITHIN 12" OF THE TOP OF THE WALL. DRAINAGE AGGREGATE SHALL NOT EXTEND BELOW FINAL GRADE IN FRONT OF WALL.
 - COMPACTION SHALL BE TO 95% OF MAXIMUM STANDARD PROCTOR DENSITY.(ASTM D-698)
 - COMPACTION TESTS SHALL BE TAKEN AS THE WALL IS INSTALLED. THE MINIMUM NUMBER OF TESTS SHALL BE DETERMINED BY THE SITE SOILS ENGINEER.
 - COMPACTION WITHIN 3 FT. OF WALL SHALL BE LIMITED TO HAND OPERATED EQUIPMENT.
 - CONTRACTOR SHALL DIRECT SURFACE RUNOFF TO AVOID DAMAGING WALL WHILE UNDER CONSTRUCTION.
 - ANY SURFACE DRAINAGE FEATURES, FINISH GRADING, PAVEMENT, OR TURF SHALL BE INSTALLED IMMEDIATELY AFTER WALL IS COMPLETED.
 - FOLLOW APPLICABLE PROVISIONS OF THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND WRITTEN SPECIFICATIONS.

MODULAR BLOCK RETAINING WALL DETAIL
(N.T.S.)



SIDEWALK CURB RAMP (TYPE 2)
(N.T.S.)



SIDEWALK CURB RAMP (TYPE 1)
(N.T.S.)

NO.	DATE	REVISION	COMMENTS	MEU	BY
1	7-29-15		REVISED PER TOWN		

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 (845) 225-9890
 (845) 225-9717 fax
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PROJECT: **ROUTE 6 RETAIL**
 150 ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING: **DETAILS**

PROJECT NUMBER	02119.100	PROJECT MANAGER	J.J.C.	DRAWING NO.	SHEET
DATE	6-24-15	DRAWN BY	M.E.U.	D-2	6
SCALE	AS SHOWN	CHECKED BY	D.L.M.		