

ROBERT LAGA
Chairman

ANTHONY DUSOVIC
Vice-Chair

ROSE TROMBETTA
Secretary

DAVID KLOTZLE
Wetland Inspector

TOWN OF CARMEL
ENVIRONMENTAL CONSERVATION BOARD



60 McAlpin Avenue
Mahopac, New York 10541
Tel. (845) 628-1500 - Ext. 190
www.ci.carmel.ny.us

BOARD MEMBERS

Edward Barnett
Marc Pekowsky
Vincent Turano
Nicholas Fannin
John Starace

ENVIRONMENTAL CONSERVATION BOARD AGENDA

SEPTEMBER 3, 2015 – 7:30 P.M.

ELIGIBLE FOR PERMIT

<u>APPLICANT</u>	<u>ADDRESS</u>	<u>TAX MAP #</u>	<u>COMMENTS</u>
1. Morales, Ignacio	32 Sycamore Road	76.5-1-34	Construct Addition

EXTENSION OF WETLAND PERMIT

2. Old Forge Estates	Baldwin Place Rd	75.15-1-19 – 40	Renew Wetland Permit #811
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SUBMISSION OF AN APPLICATION OR LETTER OR PERMISSION

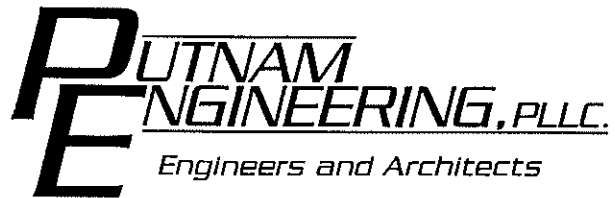
3. Random Ridge Subdivision	Kennicut Hill Rd	76.10-1-23	29 Lot Cluster Subdivision
4. Occhicone, Joseph	33 Somers Hill Rd	77.17-1-3	Install Inground Pool, Walkway And Fence
5. Frenkel, Robert	43 Tamarack Road	75.8-2-20	Replace & Expand Existing Boathouse

ESCROW RETURN

6. Kobu Asian Bistro	903 South Lake Blvd	75.12-2-5	Construct Patio
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MISCELLANEOUS

7. Minutes – 07/03/15



August 27, 2015

Mr. Robert Laga, Chairman
Town of Carmel Environmental Conservation Board
60 McAlpin Avenue
Mahopac, NY 10541

Re: Old Forge Estates
T.M. #75.15-1-19-40

Dear Mr. Laga and Members of the Board:

The Old Forge Estates wetland permit is expiring to September 2, 2015. We ask that E.C.B. entertain extending the approval at this time. There has been no change to the plans as previously approved.

Sincerely,

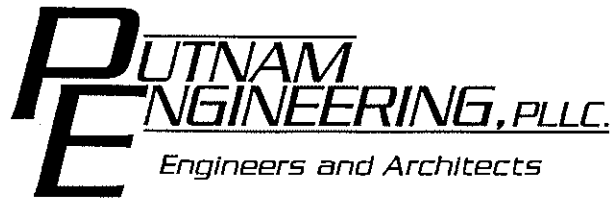
PUTNAM ENGINEERING, PLLC

A handwritten signature in black ink, appearing to be 'Paul M. Lynch', written over a horizontal line.

Paul M. Lynch, P.E.

PML/tal

(L01428)



August 27, 2015

Mr. Robert Laga, Chairman
Town of Carmel Environmental Conservation Board
60 McAlpin Avenue
Mahopac, NY 10541

Re: Wetland Permit Application
Random Ridge, Kennicut Hill Road

Dear Chairman Laga and Members of the Board:

On August 26, 2015 the Carmel Planning Board granted final approval for the Random Ridge 29 lot cluster subdivision.

It is therefore requested that this project be placed on the next available ECB agenda for acceptance of the Wetland Permit application as discussed when we last met on July 23, 2015.

Sincerely,

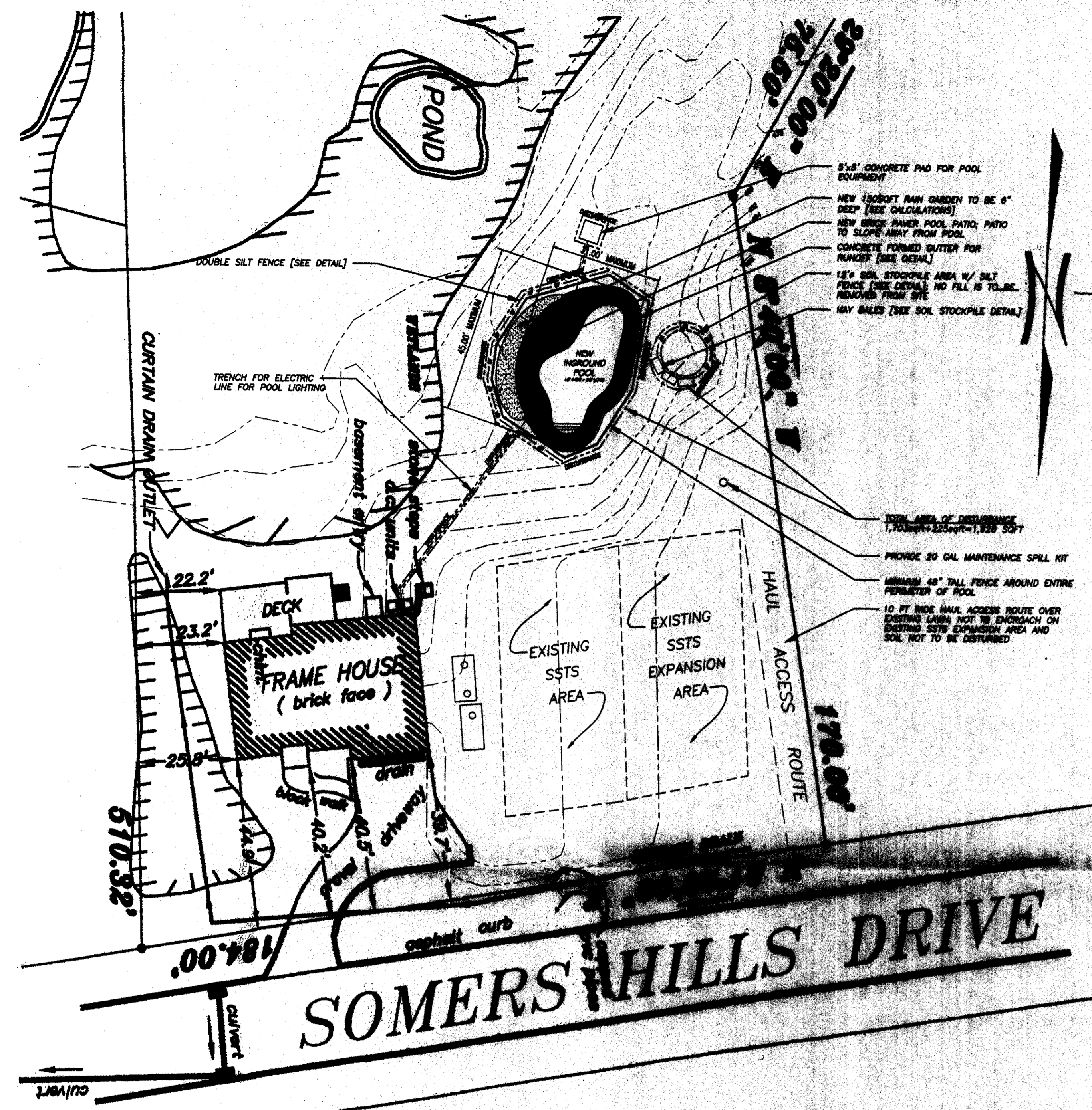
PUTNAM ENGINEERING, PLLC

A handwritten signature in black ink, appearing to read 'Paul M. Lynch', written over a horizontal line.

Paul M. Lynch, P.E.

cc: Mr. Ron York, Blitman Development Corp.

(L01533re)



SEQUENCE OF CONSTRUCTION

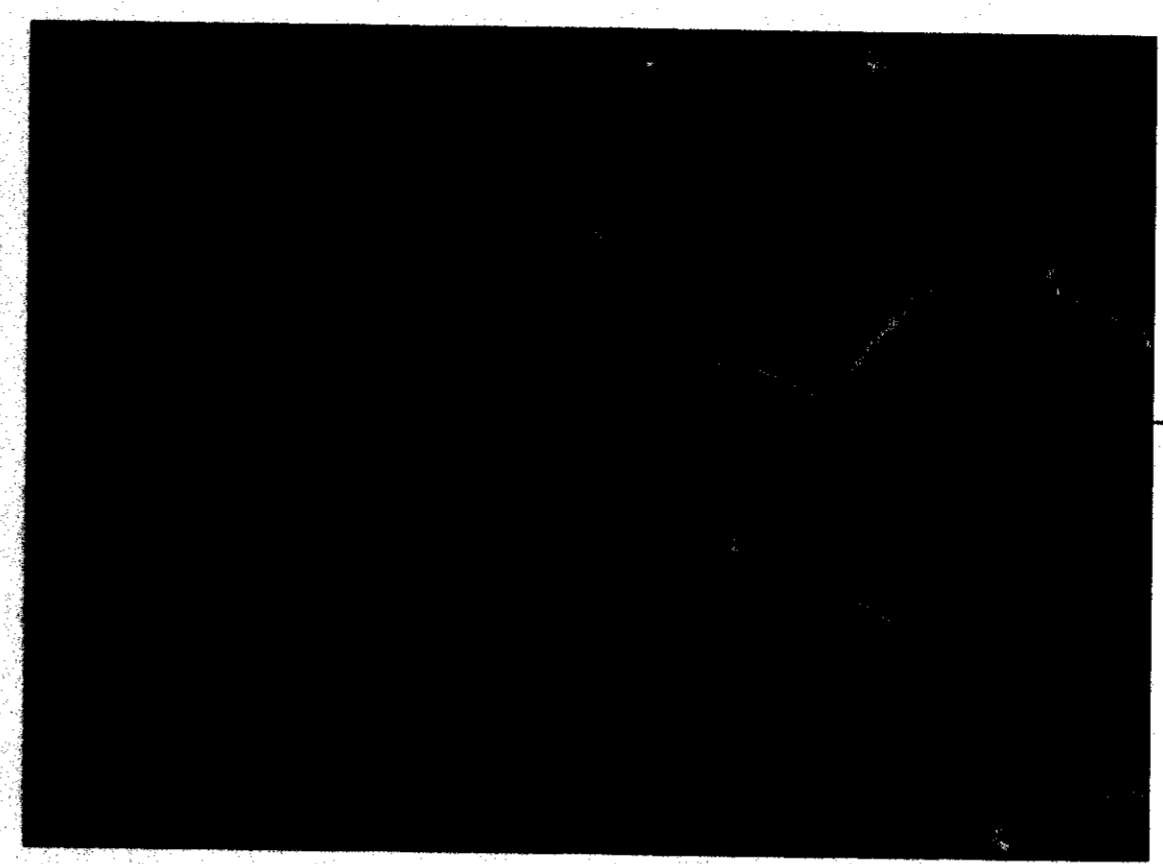
- 1) INSTALL DOUBLE SILT FENCE AT EAST SIDE OF POOL AND RAIN GARDEN; INSTALL SILT FENCE AND HAY BALES AND AROUND SOIL STOCKPILE AREA.
- 2) CLEAR AREA WHERE POOL, PATIO AND RAIN GARDEN ARE TO BE CONSTRUCTED AND BEGIN EXCAVATION.
- 3) INSTALL POOL, CONCRETE EQUIPMENT PAD AND ALL NECESSARY EQUIPMENT.
- 4) INSTALL UNLOCK PATIO, CONCRETE FORMED GUTTER AND RAIN GARDEN.
- 5) INSTALL 48" TALL (MINIMUM) FENCE AROUND PERIMETER OF POOL, PATIO AND RAIN GARDEN AS SHOWN.
- 6) INSTALL RAIN GARDEN PLANTINGS.

NOTES

- 1.) PROVIDE 20 GALLON MAINTENANCE SPILL KIT ON SITE.
- 2.) EXISTING SSTS EXPANSION AREA NOT TO BE DISTURBED BY HAUL ACCESS ROUTE.
- 3.) POOL PATIO TO BE SLOPED AWAY FROM POOL FOR STORMWATER RUNOFF.

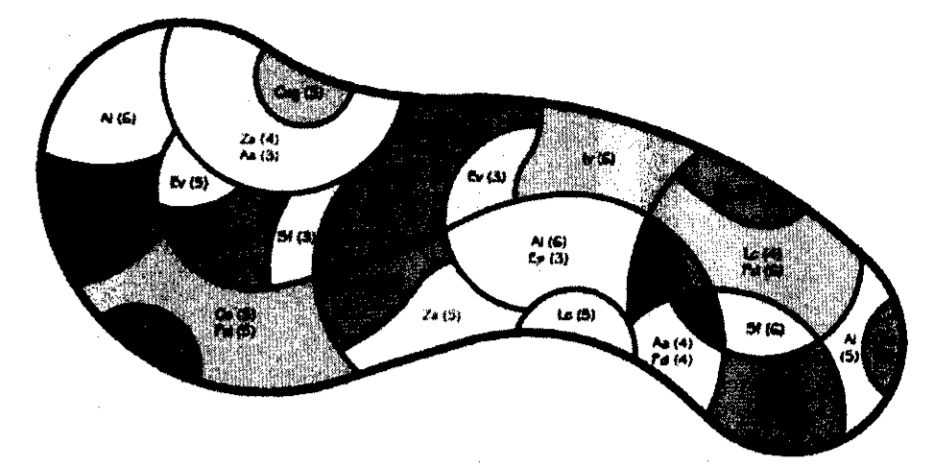
5" x 8" CONCRETE PAD FOR POOL EQUIPMENT
 NEW 1500FT RAIN GARDEN TO BE 6" DEEP (SEE CALCULATIONS)
 NEW BRICK PAVED POOL PATIO; PATIO TO SLOPE AWAY FROM POOL
 CONCRETE FORMED GUTTER FOR PATIO (SEE DETAIL)
 15' x 4' SOIL STOCKPILE AREA W/ SILT FENCE (SEE DETAIL); NO FILL IS TO BE REMOVED FROM SITE
 HAY BALES (SEE SOIL STOCKPILE DETAIL)

TOTAL AREA OF DISTURBANCE
 1,760.00 sq ft (176.00' x 10.00')
 PROVIDE 20 GAL MAINTENANCE SPILL KIT
 MINIMUM 48" TALL FENCE AROUND ENTIRE PERIMETER OF POOL
 10 FT WIDE HAUL ACCESS ROUTE OVER EXISTING TRENCH NOT TO ENCRUSH ON EXISTING SSTS EXPANSION AREA AND SOIL NOT TO BE DISTURBED



LOCATION MAP NOT TO SCALE

full to partial shade with silty & sandy soils



Symbol	Species Name	Common Name	No. of Plants
Aa	Asplenium platyneuron	Japanese spurge	7
Ai	Aster lateriflorus	Side flowering aster	17
Ca	Campanula americana	Tall bellflower	9
Cg	Carex grayi	Blue sedge	9
Cd	Carex lupulina	Blue sedge	9
Ev	Elymus virginicus	Virginia wild rye	11
Ep	Eupatorium purpureum	Purple Joe-Pye weed	3
Is	Impatiens sp.	White blue flag	6
Lc	Lobelia cardinalis	Cardinal flower	15
Mv	Mertensia virginica	Virginia bluebells	11
Oc	Osmunda claytoniana	Interrupted fern	12
Pd	Prunella americana	Woodland spirea	15
Sf	Solidago nemoralis	Yellow goldenrod	9
Za	Zizia aurea	Golden Alexander	14
Total Plants Noted			143

RAIN GARDEN DETAIL AND LAYOUT
NOT TO SCALE

RAIN GARDEN CALCULATIONS

- DRAINAGE AREA: 563 SQFT
- DISTANCE TO GARDEN: LESS THAN 30 FT
- SOIL TYPE: SILTY SOIL
- GARDEN DEPTH: 6 IN.
- CALCULATION:

$P = 3.1 \text{ in [RAINFALL } \# \text{ @ } 90\%]$
 $RV = 0.05 = 0.009(100) = 0.95$
 $A = 563 \text{ SQFT [AREA OF DRAINAGE]}$
 $WQV = \text{WATER QUALITY VOLUME}$

$WQV = \frac{(P)(RV)(A)}{12} = \frac{(3.1)(.95)(563)}{12} = 138.17 \text{ FT}^3$

$ARG = 150 \text{ SQFT [RAIN GARDEN AREA]}$
 $DSM = 1 \text{ FT [SOIL MEDIA DEPTH]}$
 $PSM = 0.20 \text{ [SOIL MEDIA POROSITY]}$
 $VSM = \text{SOIL MEDIA VOLUME}$

$VSM = (ARG)(DSM)(PSM) = (150 \text{ SQFT})(1 \text{ FT})(0.20) = 30 \text{ FT}^3$

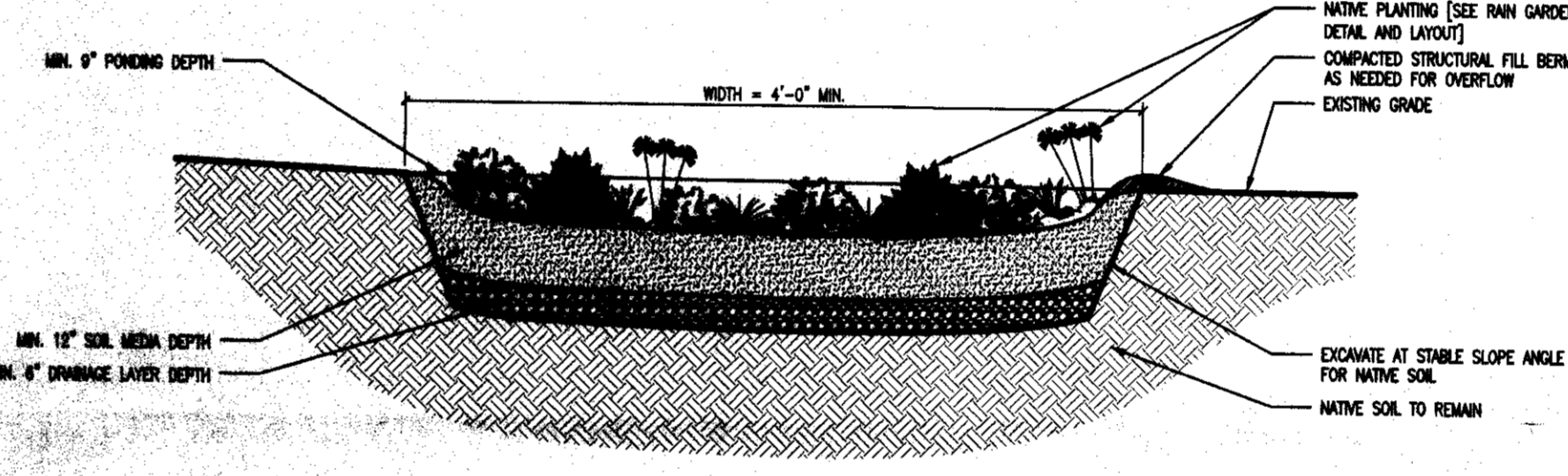
$DDL = 0.5 \text{ FT [DRAINAGE LAYER DEPTH]}$
 $PDL = 0.40 \text{ [DRAINAGE LAYER POROSITY]}$
 $VDL = \text{DRAINAGE LAYER VOLUME}$

$VDL = (ARG)(DDL)(PDL) = (150 \text{ SQFT})(0.5 \text{ FT})(0.40) = 30 \text{ FT}^3$

$PD = 0.75 \text{ FT [PONDING DEPTH]}$

$WQV \leq VSM + VDL + (PD \times ARG) = 138.17 \text{ FT}^3 \leq 30 \text{ FT}^3 + 30 \text{ FT}^3 + (0.75 \text{ FT} \times 150 \text{ SQFT})$
 $138.17 \text{ FT}^3 \leq 172.5 \text{ FT}^3$

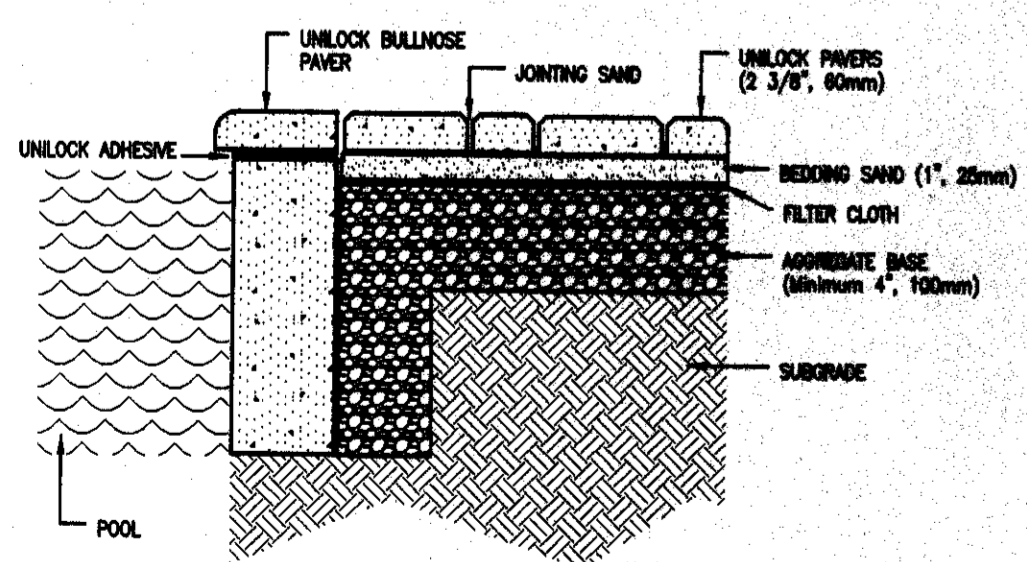
THEREFORE, THE RAIN GARDEN AREA OF 150.00 SQFT IS SUFFICIENT.



RAIN GARDEN PROFILE NOT TO SCALE

1 SITE PLAN
1"=60'

BASED ON SURVEY BY MEYER & ASSOCIATES
ON MARCH 29, 2007



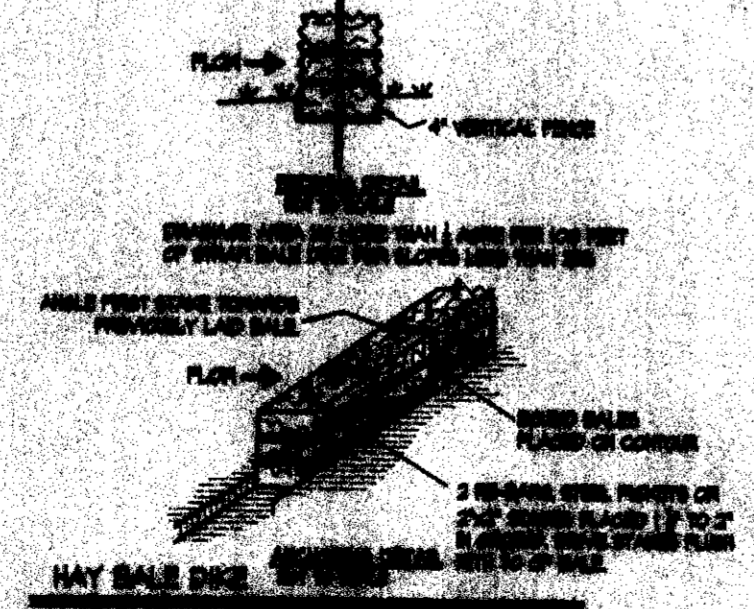
SCALE
1"=12"

POOL DECK w/ DRAINS

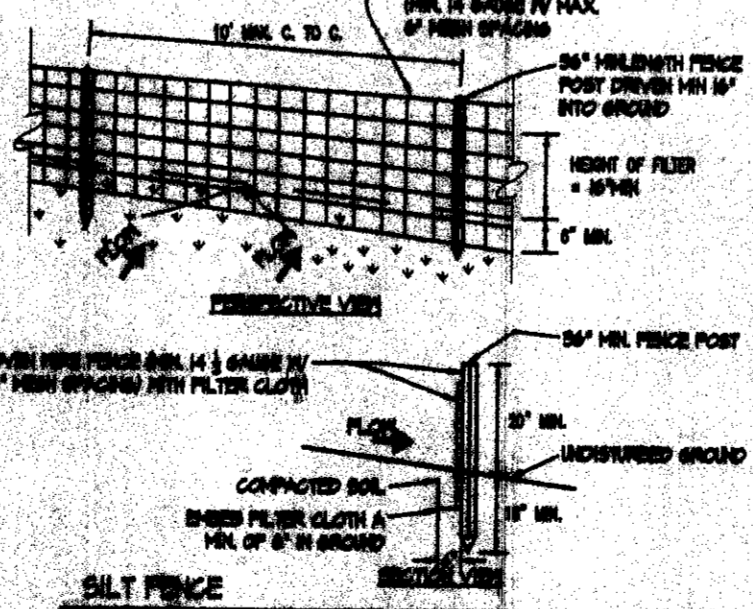
UNILOCK PAVES DETAIL Cross Section
Designed to be a step ahead

1-800-UNILOCK
www.unilock.com

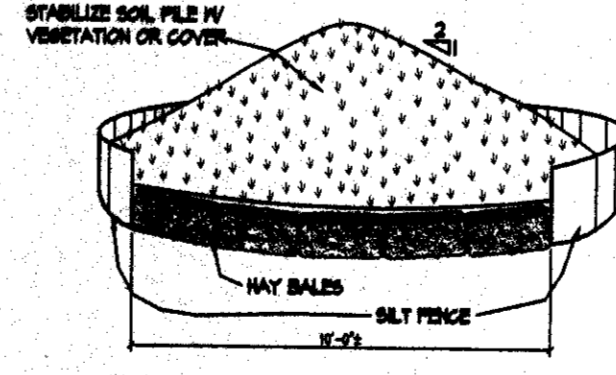
POOLDECK.DWG



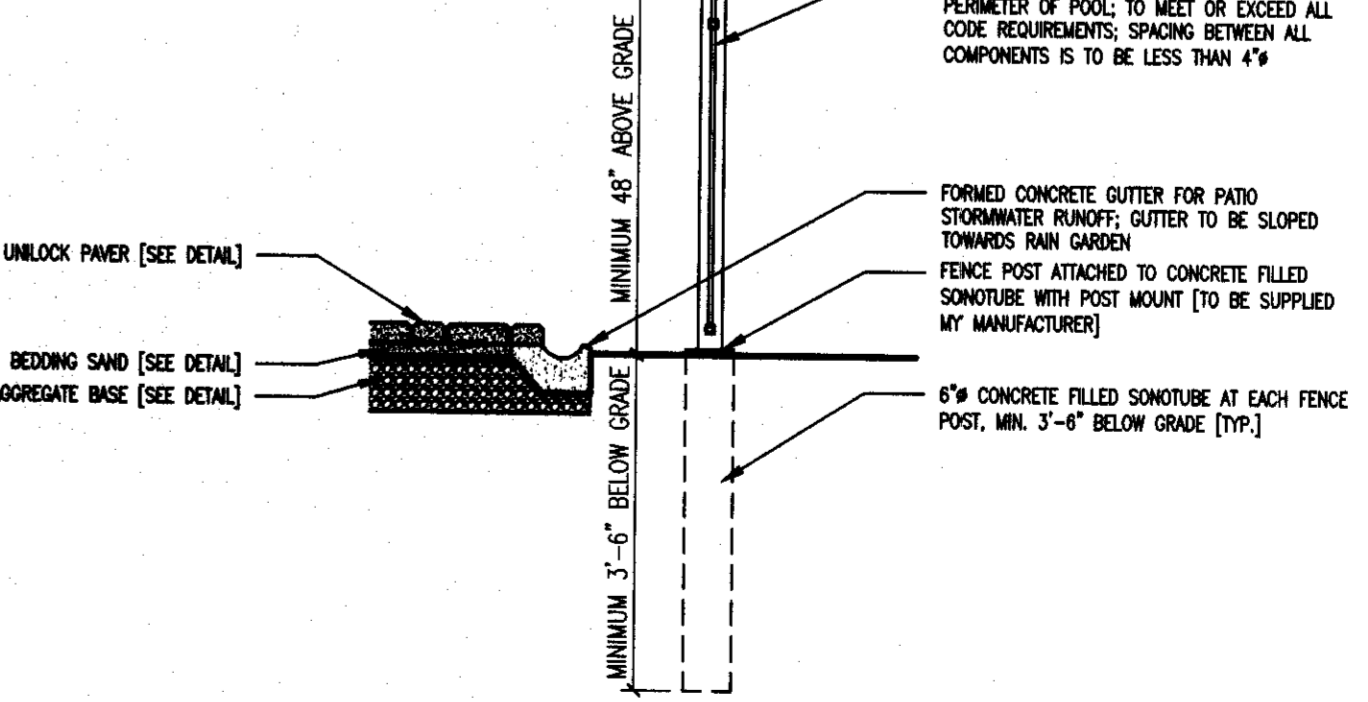
- CONSTRUCTION RECOMMENDATIONS**
1. HAY BALES SHALL BE PLACED ON THE TOP OF A SLAB OR BY THE CONCRETE AND A 2" MINIMUM THICKNESS OF 1/2" SAND SHALL BE PLACED UNDER THE HAY BALES.
 2. HAY BALES SHALL BE PLACED WITH THE LONG SIDE OF THE HAY BALE PARALLEL TO THE DRAINAGE DIRECTION.
 3. HAY BALES SHALL BE PLACED WITH THE LONG SIDE OF THE HAY BALE PARALLEL TO THE DRAINAGE DIRECTION.
 4. HAY BALES SHALL BE PLACED WITH THE LONG SIDE OF THE HAY BALE PARALLEL TO THE DRAINAGE DIRECTION.



- CONSTRUCTION RECOMMENDATIONS**
1. HAY BALES SHALL BE PLACED SECURELY TO FENCE WITH WIRE TIE OR STAPLE. POSTS SHALL BE DRIVEN EITHER 1" x 4" TYPE OR 2" x 4" TYPE.
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 4. HAY BALES SHALL BE PLACED SECURELY TO FENCE WITH WIRE TIE OR STAPLE. POSTS SHALL BE DRIVEN EITHER 1" x 4" TYPE OR 2" x 4" TYPE.



- NOTES**
1. AREA CHOSEN FOR STOCKPILE OPERATIONS SHALL BE SAFE AND STABLE.
 2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
 3. UPON COMPLETION OF SOIL STOCKPILE, EACH PILE SHALL BE STABILIZED WITH EITHER SILT FENCE OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.



POOL FENCE & GUTTER DETAIL

ARCHITECTURAL VISIONS LLC

2 MUSCOOT ROAD NORTH MAHOOPAC NY, 10541 P: 845-628-6613
33 SOMERS HILL ROAD CARMEL, NY 10512 F: 845-628-2807
JOEL.GREENBERG@ARCHVISIONS.COM

PROJECT: JOSEPH & JENNIFER OCCHICONE
PROJECT ADDRESS: 33 SOMERS HILL ROAD, CARMEL, NY 10512
MAILING ADDRESS: SAME AS PROJECT
TAX MAP NO. 77.17-1-3

SITE PLAN & DETAILS

ISSUANCE	DATE
ISSUANCE	2/26/2008
REVISION	

SCALE AS NOTED
DRAWN BY/CHKD BY NAF/-/JULG
PROJECT NO. 8-15-084

AS-101

IT IS A VIOLATION OF NY STATE LAW FOR ANY PERSON, FIRM OR ENTITY TO REPRODUCE OR TRANSMIT IN ANY MANNER THE CONTENTS OF THESE PLANS AND DOCUMENTS IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF ARCHITECTURAL VISIONS LLC. ANY SUCH VIOLATION SHALL BE SUBJECT TO THE PENALTIES PROVIDED BY LAW. THE ARCHITECT SHALL ACCEPT NO RESPONSIBILITY FOR ALTERATIONS OF THESE PLANS AND DOCUMENTS BY OTHERS AND EXPRESSLY DENIES PERMISSION TO OTHERS TO ALTER THESE PLANS AND DOCUMENTS.

Site Design Consultants

Civil Engineers • Land Planners

August 10, 2015

Mr. Robert Laga, Chairman
Members of the Environmental Conservation Board
Town of Carmel
60 McAlpin Avenue
Mahopac, NY 10541

Re: Robert Frenkel Boathouse
43 Tamarack Road - Mahopac, NY

Dear Chairman Laga and Members of the Environmental Conservation Board:

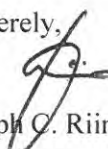
On behalf of our Client, we are requesting your review and approval from the Town of Carmel / Environmental Conservation Board for the purpose of replacing and expanding an existing boathouse on Lake Mahopac, Putnam County, NY. We have prepared and are forwarding you enclosed the following documents for review.

- Environmental Conservation Board "Application for Wetland Permit or Letter of Permission;"
- Associated fee of \$225.00;
- Short EAF;
- Copy of the property owner's deed;
- Copy of the survey indicating location of proposed work;
- Town of Carmel Tax Map;
- "Project Narrative Prepared for Robert Frenkel Waterfront Improvements;"
- Ten color photos of the site;
- One print of the 11 x 17 plan title A-100 prepared by Michael A. Piccirillo, AIA;
- One set of Site Plans titled "Site Plans Prepared for Robert Frenkel," prepared by Site Design Consultants, Sheets 1-5 of 5, dated 7/20/15;

As required, we have provided the above documents as follows: one original and three copies; and by copy of this letter, one copy is provided to the Carmel Town Clerk. In addition, we have enclosed copies of our submission cover letters to NYSDEC, US Army Corps of Engineers and the NYS Office of General Services for their review

We appreciate your consideration in reviewing this submission. Please advise this Office of the next available ECB Meeting. Thank you.

Sincerely,


Joseph C. Riina, P.E.

Cc: Carmel Town Clerk
R. Frenkel

JCR/cm/Enc./sdc 15-09

251-F Underhill Avenue • Yorktown Heights, New York 10598

60 Walnut Grove Road • Ridgefield, Connecticut 06877

(914) 962-4488

(203) 431-9504

Fax (914) 962-7386



ROBERT LAGA
Chairman

ANTHONY DUSOVIC
Vice Chair

ROSE TROMBETTA
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TOWN OF CARMEL
ENVIRONMENTAL CONSERVATION BOARD



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BOARD MEMBERS

Edward Barnett
Marc Pekowsky
Vincent Turano
Nicholas Fannin
John Starace

APPLICATION FOR WETLAND PERMIT OR LETTER OF PERMISSION

Name of Applicant: Robert Frankel

Address of Applicant: 38 Turner Drive, Chappaqua, NY 10514 Email: jriina@sitedesignconsultants.com

Telephone# 914-962-4488 Name and Address of Owner if different from Applicant: _____

Property Address: 43 Tamarack Rd., Mahopac Tax Map # 75.8-2-20

Agency Submitting Application if Applicable: N/A

Location of Wetland: 43 Tamarack Road

Size of Work Section & Specific Location: 425 +/- SF / Frontage on Lake Mahopac

Will Project Utilize State Owned Lands? If Yes, Specify: No

Type and extent of work (feet of new channel, yards of material to be removed, draining, dredging, filling, etc). A brief description of the regulated activity (attach supporting details).

See attached narrative and photos.

Proposed Start Date: 10/2015 Anticipated Completion Date: 7/2016 Fee Paid \$ 225.00

CERTIFICATION

I hereby affirm under penalty of perjury that information provided on this form is true to the best of my knowledge and belief, false statements made herein are punishable as a Class A misdemeanor pursuant to Section 210.45 of the Penal Law. As a condition to the issuance of a permit, the applicant accepts full legal responsibility for all damage, direct or indirect, or whatever nature, and by whomever suffered, arising out of the project described here-in and agrees to indemnify and save harmless the Town of Carmel from suits, actions, damages and costs of every name and description resulting from the said project.

SIGNATURE

8/10/15

DATE

Short Environmental Assessment Form

Part 1 - Project Information

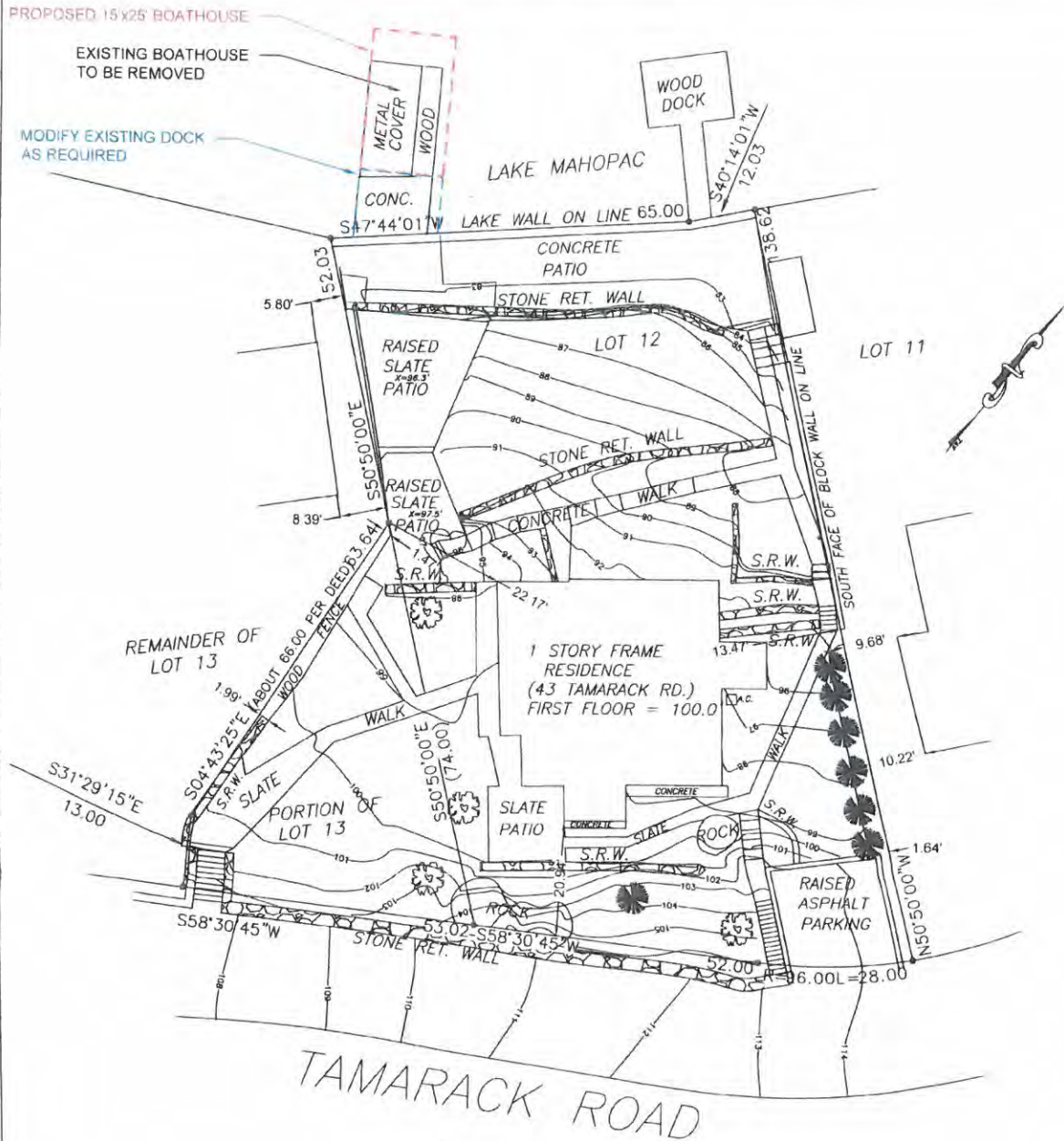
Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information							
Name of Action or Project: Robert Frenkel Boathouse							
Project Location (describe, and attach a location map): 43 Tamarack Road Mahopac, Putnam County, NY							
Brief Description of Proposed Action: See attached Narrative							
Name of Applicant or Sponsor: Robert Frenkel		Telephone: 914-522-7748					
		E-Mail: rifrenkel@gmail.com					
Address: 38 Turner Drive							
City/PO: Chappaqua		State: NY	Zip Code: 10514				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 50%; text-align: center;">NO</th> <th style="width: 50%; text-align: center;">YES</th> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: NYS DEC (Article 15), ACOE (Nationwide), NYS OGS (Docks, Moorings or Platforms), Town of Carmel (Administrative Wetland Permit)			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 50%; text-align: center;">NO</th> <th style="width: 50%; text-align: center;">YES</th> </tr> <tr> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input checked="" type="checkbox"/></td> </tr> </table>	NO	YES	<input type="checkbox"/>	<input checked="" type="checkbox"/>
NO	YES						
<input type="checkbox"/>	<input checked="" type="checkbox"/>						
3.a. Total acreage of the site of the proposed action?		0.23 acres					
b. Total acreage to be physically disturbed?		<0.01 acres					
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.23 acres					
4. Check all land uses that occur on, adjoining and near the proposed action.							
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)							
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____							
<input type="checkbox"/> Parkland							

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____ _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____ _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
<p>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor name: <u>Joseph C. Ruzza, P.E.</u> Date: <u>8/30/15</u></p> <p>Signature: _____</p>		



**TOPOGRAPHIC SURVEY
OF PROPERTY**

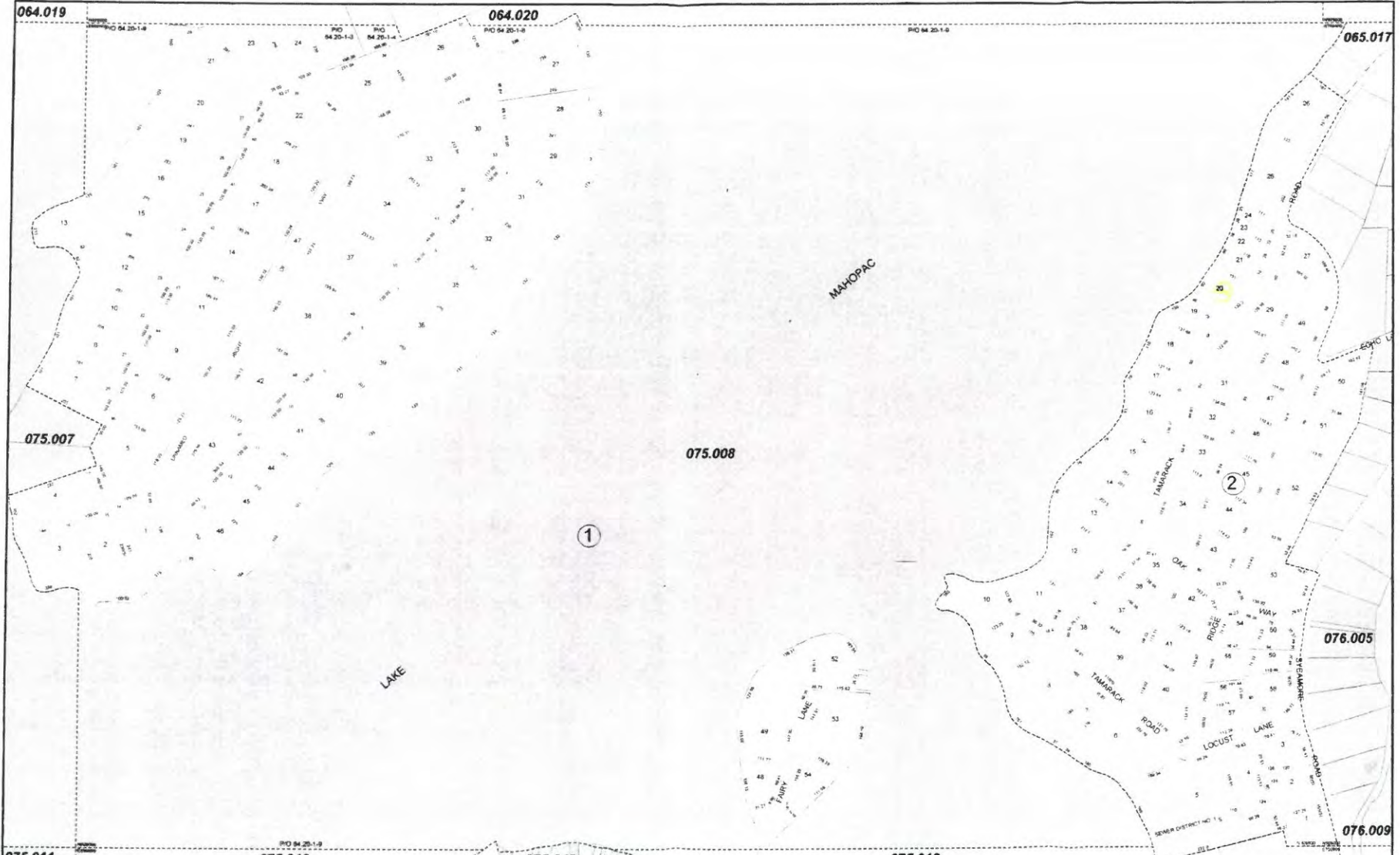
PREPARED FOR
ROBERT FRENKEL
BEING
LOT 12 AND A PORTION OF LOT 13
ON MAP ENTITLED
"MAHOPAC POINT CORPORATION"
SITUATE AT
**TOWN OF CARMEL
PUTNAM COUNTY, NEW YORK**

SAID MAP FILED IN THE PUTNAM COUNTY CLERKS OFFICE,
DIVISION OF LAND RECORDS ON OCTOBER 16, 1916 AS MAP # 57A

SCALE 1" = 20'
SURVEYED: OCTOBER 24, 2013

CERTIFIED TO: 1.) ROBERT FRENKEL
2.) STEWART TITLE INSURANCE COMPANY
3.) ALL NEW YORK TITLE AGENCY INC. #87615

NOTE: VERTICAL DATUM ASSUMED FIRST FLOOR = 100.0'



SEWALL		REVISIONS		SPECIAL DISTRICT INFORMATION		LEGEND		TOWN OF CARMEL PUTNAM COUNTY, NEW YORK			 DATE AERIAL PHOTOGRAPHY: 4-10-87 MAP 2-11-88 NY STATE PLANE COORD. 4' NAD83 IN FEET	 75 8
DATE	DESCRIPTION	DATE	DESCRIPTION	STATE LINE	UNIMPROVED AREA	IMPROVED AREA	64.19	64.20	65.17			
				COUNTY LINE	CONCRETE DRIVEWAY	PAVED DRIVEWAY	75.07	76.05				
				WATER MAIN	SEWER MAIN	SEWER MAIN	75.11	75.12	76.09			

Project Narrative Prepared for
Robert Frenkel Waterfront Improvements
43 Tamarack Road, Town of Carmel
Putnam County, NY

The application as proposed is for improvements regarding the repair, rehabilitation, and expansion of an existing waterfront on Lake Mahopac. There are two components to the project. First, it is proposed to replace and expand an existing boathouse. The existing boathouse is an aluminum arch structure which is supported by two steel beams which are cantilevered off an existing concrete dock. The size of the existing boathouse is 13' x 21' = 273 sf +/- . This will be totally removed. The proposed wood frame boathouse will sit over the existing footprint except for the expansion which will extend further to the west and north into the Lake. It will be 15' x 25' = 375 sf in overall footprint. The total increase in area will be approximately 132 sf or 24%. The height of the boathouse over the mean high water will be approximately 13 feet. To support the boathouse and internal mechanized boat lift, a quantity of six (6) 6-5/8" diameter stainless micro-piles will be installed to a depth of approximately 15 to 18 feet. Prior to installing the piles, a turbidity curtain will be installed to minimize the transport of suspended sediment into the Lake beyond the work area. The micro-piles will be installed from a boat or floating dock barge. It is expected that this operation will occur during two days.

The second aspect of this application is the repair and re-facing of 70 lf of the existing concrete seawall including an existing concrete dock from which the boathouse will be attached. The existing concrete structure is in disrepair with cracks, spalling, and voids due to missing concrete. The existing 138 sf concrete dock must be modified to meet the new boathouse size. The side which faces outward to the Lake is not square to the side wall where it meets the boathouse. This requires adding approximately 12" to the northwest side of the current dock. Further, the current width of 13' must be increased to meet the boathouse width of 15'. This work will be done by pouring a new concrete footing below the mudline against the existing wall and building a 12" stone and mortar veneer above it. The stone veneer will be tied to the existing wall with steel dowels. A capstone will be added to cover the existing wall and new veneer. This treatment will run the entire length of the seawall and east and north face of the concrete dock to the boathouse. The amount of excavation expected will be 6 c.y. and the amount of fill below the waterline due to the new wall facing will be 9.5 c.y. The disturbance below the waterline will be less than 0.001 acres. This work will be done between the late Fall and early Spring season when the Lake water level has been lowered and this area will no longer be submerged. To prevent any transport of sediment into the Lake a tight plywood sheeting barrier will be installed to separate the work zone from the Lake. The sheeting will go



Robert Frenkel Waterfront Improvements

July 29, 2015

Page 2 of 4

below the mudline and will be supported by 2" x 4" wood stakes. All work within this area will be done by hand labor and tools.

Additionally, it is proposed to install a bubbler system to protect the piles from ice damage. The bubbler system will run around the perimeter of the boat house at the mudline. The bubbler will consist of perforated flexible tubing into which a small compressor will pump air that will be dispersed into the water preventing ice to form. The bubbler system will be in place only during the Winter. The proposed construction activity is to take place in 2015-2016 once all approvals are obtained.



Recommended Sequence of Construction

Use of erosion and sediment control devices and practices are important for maintaining site stability under runoff and during daily construction activities. The Construction Sequence should be staged with erosion and sediment controls as follows with all controls in place and implemented prior to respective infrastructure construction. As construction proceeds, the controls should be monitored, maintained and replaced as needed. Additional controls may be required as needed to address unforeseen situations.

Refer to The Construction Drawings for all plans and details which relate to the Construction Sequence. This Sequence should be followed in conjunction with all Plans and Notes. Prior to the commencement of work, the Owner and General Contractor shall read and understand the Sequence for Construction. The Sequence shall be discussed at the time of the Pre-construction Meeting.

During construction of the project, the Contractor is responsible to coordinate all required inspections with various agencies and the Project Engineer.

General Sequence: The general sequence applies to the start of all Phases of the project. The requirements as such shall be applied as appropriate in that phase and shall be assumed in place prior to the start of the work outlined in the sequence for each Phase.

1. Prior to the beginning of any work the pile locations must be field-staked by a licensed surveyor.
2. Prior to the start of the project, an on-site pre-construction meeting will be held. This will be attended by the Project Owner, the Contractor responsible for complying with the approved construction drawings including the Erosion and Sediment Control (E&SC) Plan and Details, the Design Engineer, representatives from the Permitting Agencies.
3. Install all temporary erosion control measures as shown on the Erosion and Sediment Control Plan for the project's disturbance areas. This shall include, but not be limited to the silt fence, turbidity curtain and tight sheeting. This sequence must be followed to insure proper implementation of the Erosion and Sediment Control Plan (E&SC).
4. Upon installation of the E&SC measures, work may commence in any order which weather or environmental conditions permit.

Seawall Repair:

1. The seawall repair shall be done between the late Fall and early Spring when the Lake water level has been lowered below the work zone. The tight sheeting and turbidity curtain shall be in place.
2. Install pump in sump as per detail. Install pump-out pad and discharge line for the pump.



3. Begin removal of broken and deteriorated concrete from the existing wall. Concrete debris will be removed from the work area and placed in the waste container at the front of the site for removal.
4. Begin excavation with hand tools for the proposed footings for the new seawall facing. The excavated material shall be placed in the dewatering area up-grade from the work zone.
5. Place gravel base then pour concrete footing.
6. Upon proper curing of concrete backfill the footing to original mudline levels with native material.
7. Begin installation of stone and mortar facing. First install wall tie dowels by drilling and grouting into the existing wall. Begin building up wall facing. Fill any void between the stone and existing wall with mortar. Upon completion of facing install stone cap.
8. Upon completion and the approval of the Engineer the tight sheeting may be removed.

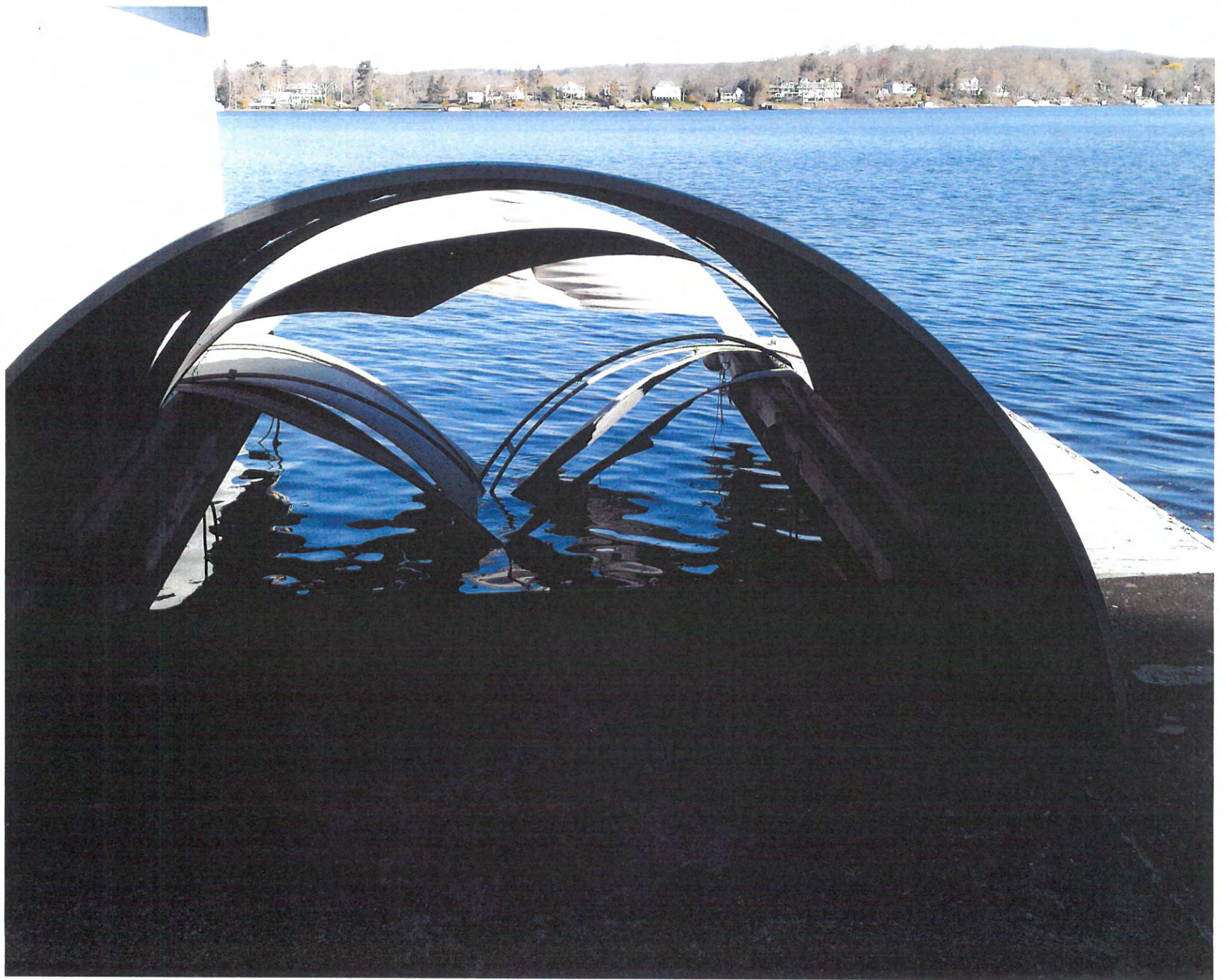
Boathouse/Pile Installation:

1. Prior to the installation of the piles the turbidity curtain shall be in place. The piles will be installed during mean high water elevations.
2. Piles will be installed from a floating barge or dock to the required depth.
3. Upon completion of the installation the pile cap shall be welded in place.
4. Begin the framing and construction of the boathouse. Install mechanical boatlift.
5. All construction debris shall be removed from the work area and deposited in the trash container at the front of the site.
6. Upon completion of all work and approval by the Engineer the turbidity curtain can be removed.



















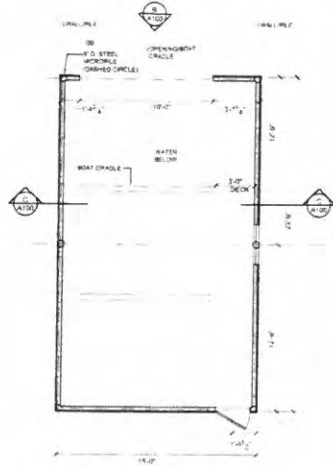




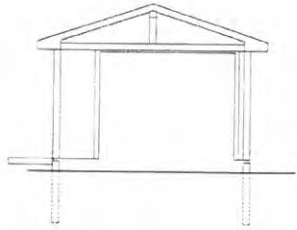


Michael Piccirillo Architecture

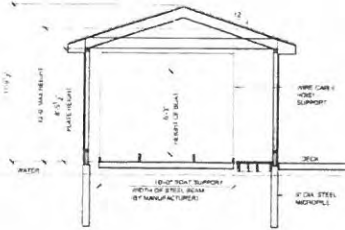
NOTE:
FOR ALL SCALE DRAWINGS, REFER TO WRITTEN MEASUREMENTS.
FOR THE BEST COPY OF TECHNICAL SPECIFICATIONS, CONTACT ARCHITECT.
UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS
A VIOLATION OF NEW YORK STATE EDUCATION LAW.
© Copyright 2013 MICHAEL PICCIRILLO ARCHITECTURE



A FLOOR PLAN



B ELEVATION



C SECTION

NO.	DATE

PROJECT NAME
PROJECT ADDRESS

PROJECT ADDRESS

MICHAEL A PICCIRILLO, AIA
345 KEAR STREET
YORKTOWN HEIGHTS NEW YORK 10598
TELEPHONE: 914-368-9878
FACSIMILE: 914-368-9879

DATE
DRAWN BY
CHECKED BY

A-100

Site Design Consultants

Civil Engineers • Land Planners

July 30, 2015

Ms. Melanie O'Meara
Regulatory Project Manager
Western Section
US Army Corps of Engineers, NY District
26 Federal Plaza
New York, NY 10278-0090

Re: Robert Frenkel Boathouse
43 Tamarack Road
Mahopac, NY – Putnam County

Dear Ms. O'Meara:

On behalf of our Client, we are requesting your review and approval from your Office for the purpose of replacing and expanding an existing boathouse on Lake Mahopac, Putnam County, NY. We have prepared and are forwarding you enclosed the following documents for a joint application with the NYSDEC, US Army Corps of Engineers and the NYS Office of General Services. Based on our email correspondence with you, we have enclosed the following items for your review and approval of the above referenced project:

- US Army Corps of Engineers "Joint Application Form;"
- Copy of the Short EAF;
- "Project Narrative Prepared for Robert Frenkel Waterfront Improvements;"
- Ten color photos of the site;
- One print of the 11 x 17 plan title A-100 prepared by Michael A. Piccirillo, AIA;
- One set of Site Plans titled "Site Plans Prepared for Robert Frenkel," prepared by Site Design Consultants, Sheets 1-5 of 5, dated 7/20/15; and one set of these plans in 11 x 17 size;

These plans, applications and descriptive documents have been prepared in accordance with the requirements of the noted agencies. By copy of this letter, we are submitting same to the two other agencies named below for their joint review.

251-F Underhill Avenue • Yorktown Heights, New York 10598

60 Walnut Grove Road • Ridgefield, Connecticut 06877

(914) 962-4488

(203) 431-9504

Fax (914) 962-7386



We appreciate your consideration in reviewing this submission, and please advise if additional information or copies are required. Thank you.

Sincerely,



Joseph C. Riina, P.E.

Cc: R. Frenkel
M. Piccirillo

Cc:

Ms. Jean McAvoy w/enc.
Environmental Analyst 1,
Division of Environmental Permits – Region 3
NYS DEC
21 So. Putt Corners Road
New Paltz, NY 12561

NYS Office of General Services w/enc.
Bureau of Land Management
Coming Tower, 26th Floor
Empire State Plaza
Albany, NY 12242

JCR/cm/Enc./sdc 15-09



Site Design Consultants

Civil Engineers • Land Planners

July 30, 2015

Ms. Nancy Dwyer
NYS Office of General Services
Bureau of Land Management
Corning Tower, 26th Floor
Empire State Plaza
Albany, NY 12242

Re: Robert Frenkel Boathouse
43 Tamarack Road
Mahopac, NY – Putnam County

Dear Ms. Dwyer:

On behalf of our Client, we are requesting your review and approval from your Office for the purpose of replacing and expanding an existing boathouse on Lake Mahopac, Putnam County, NY. We have prepared and are forwarding you enclosed the following documents for a joint application with the NYSDEC, US Army Corps of Engineers and the NYS Office of General Services. Based on our email correspondence with you, we have enclosed the following items for your review and approval of the above referenced project:

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- One copy of the Short EAF;
- “Project Narrative Prepared for Robert Frenkel Waterfront Improvements;”
- Ten color photos of the site;
- One print of the 11 x 17 plan title A-100 prepared by Michael A. Piccirillo, AIA;
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251-F Underhill Avenue • Yorktown Heights, New York 10598

60 Walnut Grove Road • Ridgefield, Connecticut 06877

(914) 962-4488

(203) 431-9504

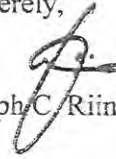
Fax (914) 962-7386



Ms. Nancy Dwyer
July 30, 2015
Page 2 of 2

We appreciate your consideration in reviewing this submission, and please advise if additional information or copies are required. Thank you.

Sincerely,



Joseph C. Riina, P.E.

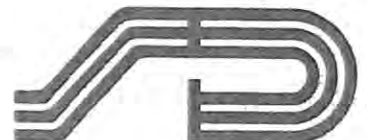
Cc: R. Frenkel
M. Piccirillo

Cc:

Ms. Melanie O'Meara
Regulatory Project Manager
Western Section
US Army Corps of Engineers, NY District
26 Federal Plaza
New York, NY 10278-0090

Ms. Jean McAvoy
Environmental Analyst 1,
Division of Environmental Permits – Region 3
NYS DEC
21 So. Putt Corners Road
New Paltz, NY 12561

JCR/cm/Enc./sdc 15-09



Site Design Consultants

Civil Engineers • Land Planners

July 30, 2015

Ms. Jean McAvoy
Environmental Analyst I,
Division of Environmental Permits – Region 3
NYS DEC
21 So. Putt Corners Road
New Paltz, NY 12561

Re: Robert Frenkel Boathouse
43 Tamarack Road
Mahopac, NY – Putnam County

Dear Ms. McAvoy:

On behalf of our Client, we are requesting your review and approval from your Office for the purpose of replacing and expanding an existing boathouse on Lake Mahopac, Putnam County, NY. We have prepared and are forwarding you enclosed the following documents for a joint application with the NYSDEC, US Army Corps of Engineers and the NYS Office of General Services. Based on our email correspondence with you, we have enclosed the following items for your review and approval of the above referenced project:

- US Army Corps of Engineers “Joint Application Form (one original and one copy);”
- NYS DEC “Permission to Inspect;”
- Two copies of the Short EAF;
- NYS DEC Mahopac Lake information sheet;
- “Project Narrative Prepared for Robert Frenkel Waterfront Improvements;”
- Ten color photos of the site;
- One print of the 11 x 17 plan title A-100 prepared by Michael A. Piccirillo, AIA;
- One set of Site Plans titled “Site Plans Prepared for Robert Frenkel,” prepared by Site Design Consultants, Sheets 1-5 of 5, dated 7/20/15; and one set of these plans in 11 x 17 size;

These plans, applications and descriptive documents have been prepared in accordance with the requirements of the noted agencies. By copy of this letter, we are submitting same to the two other agencies named below for their joint review.

251-F Underhill Avenue • Yorktown Heights, New York 10598

60 Walnut Grove Road • Ridgefield, Connecticut 06877

(914) 962-4488

(203) 431-9504

Fax (914) 962-7386



Ms. Jean McAvoy
July 30, 2015
Page 2 of 2

We appreciate your consideration in reviewing this submission, and please advise if additional information or copies are required. Thank you.

Sincerely,



Joseph C. Riina, P.E.

Cc: R. Frenkel
M. Piccirillo

Cc:

Ms. Melanie O'Meara w/enc.
Regulatory Project Manager
Western Section
US Army Corps of Engineers, NY District
26 Federal Plaza
New York, NY 10278-0090

NYS Office of General Services w/enc.
Bureau of Land Management
Corning Tower, 26th Floor
Empire State Plaza
Albany, NY 12242

JCR/cm/Enc./sdc 15-09





LOCATION MAP
NOT TO SCALE



SITE DATA:

OWNER / DEVELOPER: ROBERT FRENKEL
38 TURNER DRIVE
CHAPPAQUA, N.Y. 10514

PROJECT LOCATION: 43 TAMARACK ROAD
MAHOPAC, N.Y. 10561

EXISTING TOWN ZONING: R-4010 RESIDENTIAL

PROPOSED USE: R-4010 RESIDENTIAL

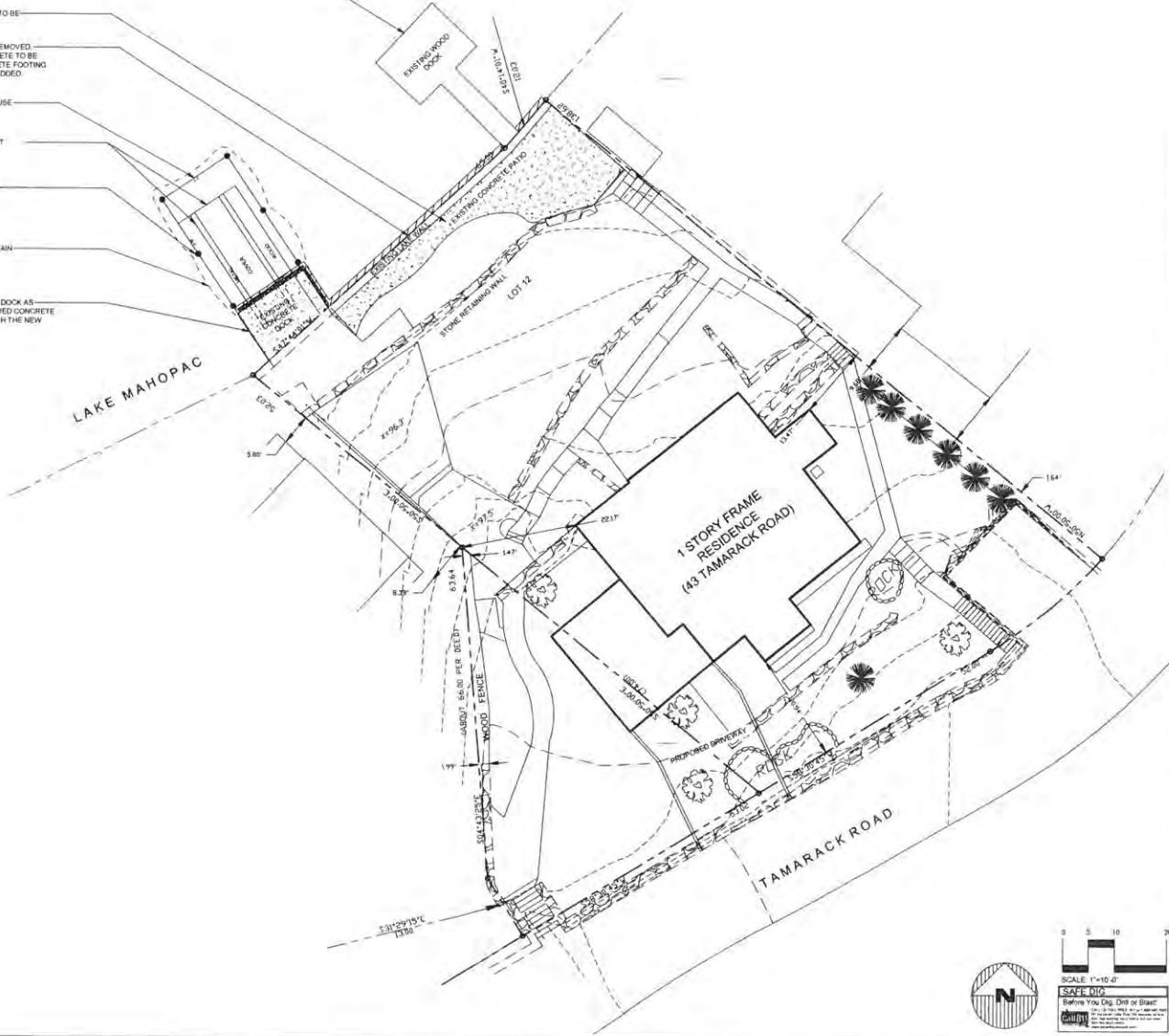
TOWN TAX MAP DATA: SECTION 75 B, BLOCK 2, LOT 20

SITE AREA: 0.203 ACRES (10,170.7 SF)

SEWAGE FACILITIES: PRIVATE SEWERS


WATER FACILITIES: PRIVATE WATER FACILITIES

- EXISTING WOOD DOCK TO BE REPAINTED
- EXISTING CONCRETE PATIO TO BE RESTORED
- EXISTING SEA WALL TO BE REMOVED
BROKEN AND LOOSE CONCRETE TO BE
REMOVED AND NEW CONCRETE FOOTING
AND STONE FACADE TO BE ADDED.
- PROPOSED 15' x 25' BOAT HOUSE
- FOOTPRINT OF EXISTING BOAT
HOUSE TO BE REMOVED
- 10 TON - 8" DIA. MICRO PILE
- PROPOSED AIR BUBBLE CURTAIN
- MODIFY EXISTING CONCRETE DOCK AS
REQUIRED THE NEWLY MODIFIED CONCRETE
DOCK SHALL BE FLUSHED WITH THE NEW
BOATHOUSE



NOTE:
THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN
TAKEN FROM SURVEY MAP PREPARED BY FRANK ANSOFF LIMITED 10/2016. THE
ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.





Site Design Consultants
Civil Engineers & Land Planners
251-F Finkelstein Avenue, Yorktown Heights, N.Y. 10588
(914) 962-4888 - Fax: (914) 962-7368
www.sitedesignconsultants.com

Joseph C. Reina, P.E.
3133 St. George Ave.
Mahopac, NY 10561

Revisions:

No.	Date	Description

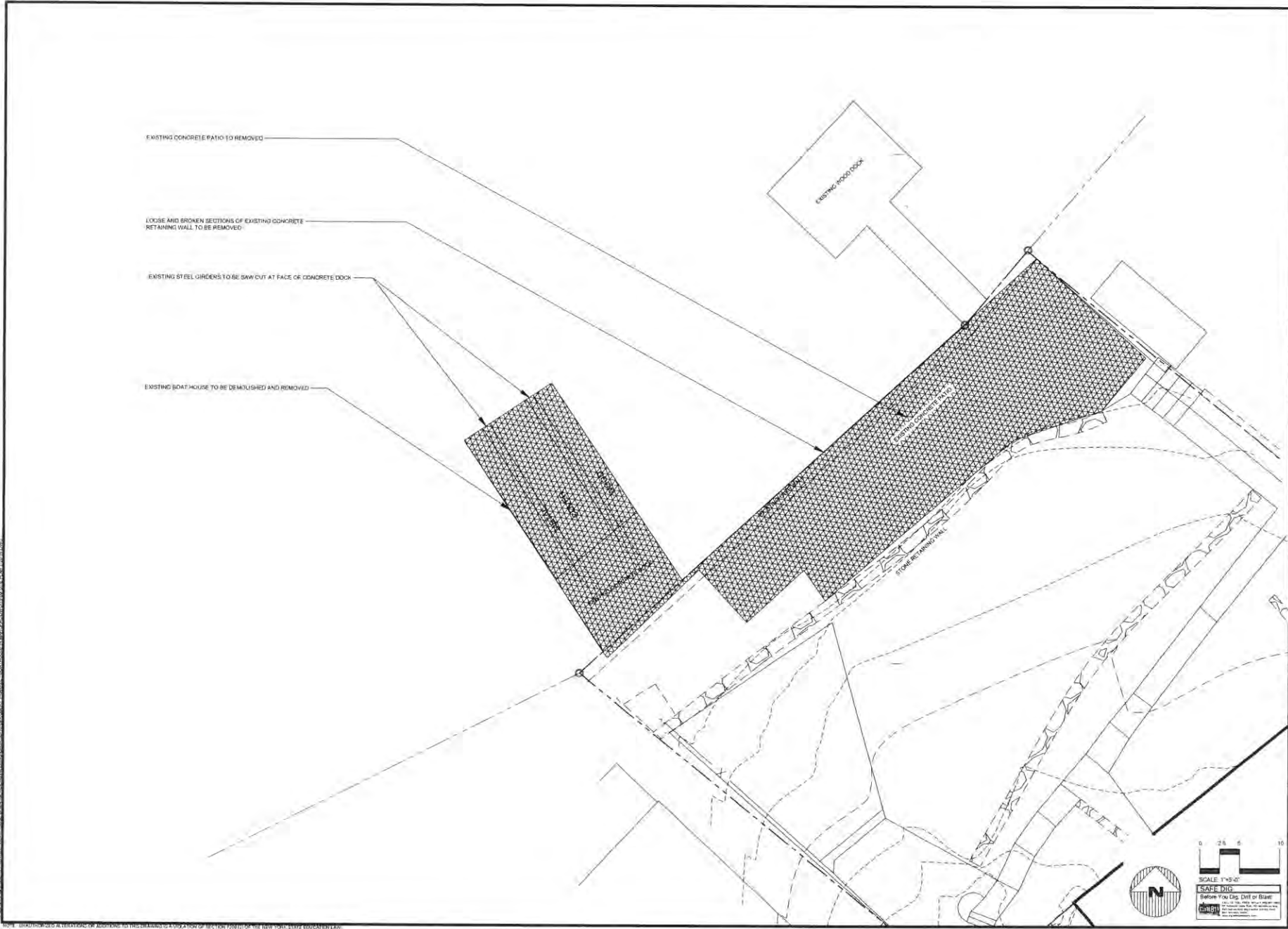
DATE: 11/15/16
SCALE: 1"=10'-0"
SHEET: 1 of 5

OVERALL SITE PLAN

SITE PLAN
PREPARED FOR:
ROBERT FRENKEL
38 TURNER DRIVE
CHAPPAQUA, NY 10514
Putnam Co., New York
Town of Carmel

Sheet 1 of 5

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EXISTING CONCRETE PAVEMENT TO BE REMOVED

LOOSE AND BROKEN SECTIONS OF EXISTING CONCRETE RETAINING WALL TO BE REMOVED

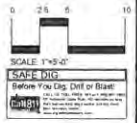
EXISTING STEEL GIRDERS TO BE SAW CUT AT FACE OF CONCRETE DOCK


EXISTING BOATHOUSE TO BE DEMOLISHED AND REMOVED

EXISTING WOOD DOCK

CONCRETE RETAINING WALL

STONE RETAINING WALL





PROJECT # 11-06

Site Design Consultants
 Civil Engineers • Land Planners
 251 E. Funderhill Avenue, Yorktown Heights, NY 10598
 (914) 962-4888 • Fax: (914) 962-7386
 www.sitedesignconsultants.com

Prepared by:
 Joseph C. Kinnel, P.E.
 833 E. 9th Street
 Yorktown Heights, NY 10598

Revisions:

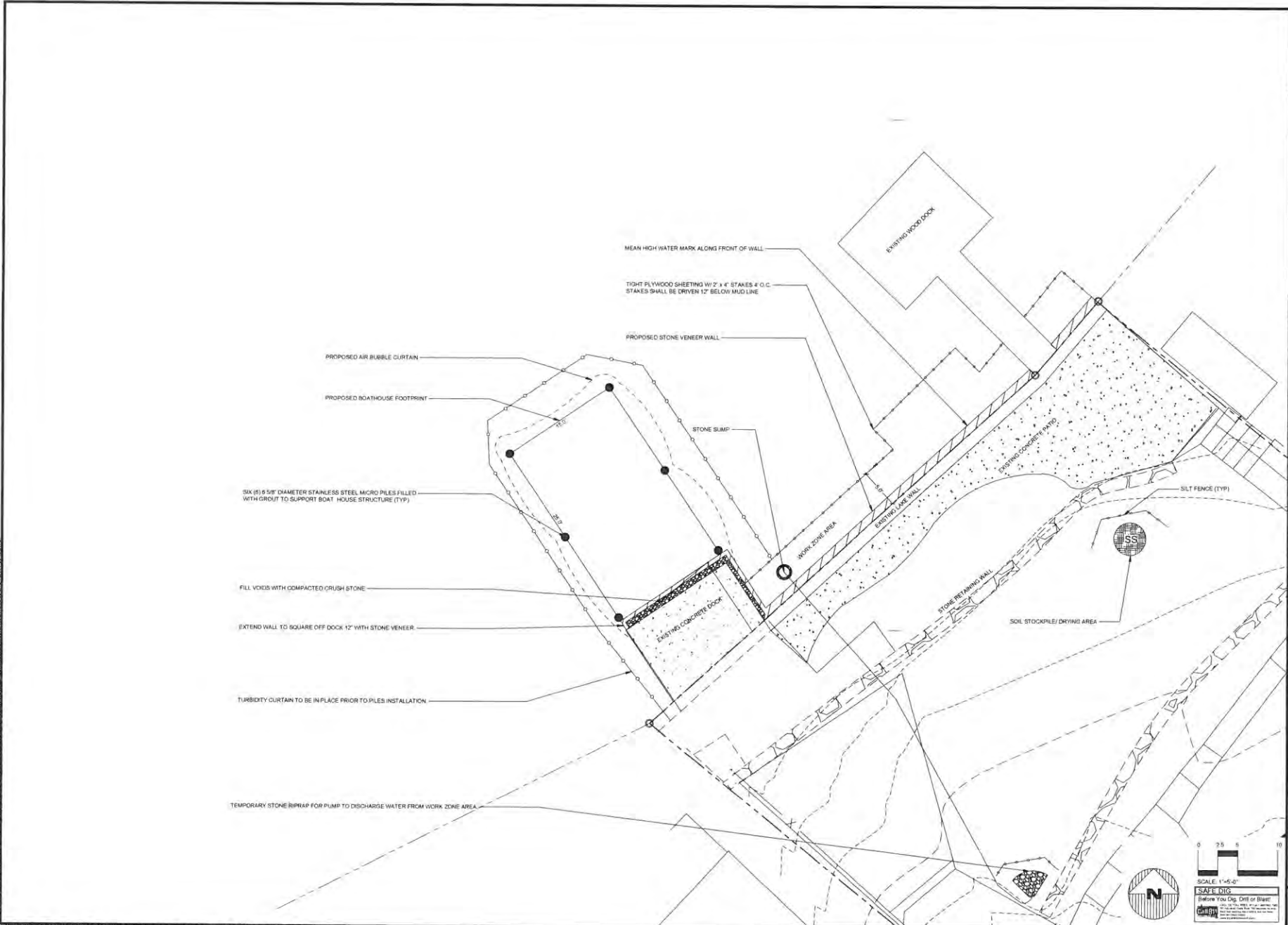
No.	Date	Comments

Scale: 1"=3'-0"
 Date: 08/11/15
 Project: EL
 Date: 08/11/15

**EXISTING SITE
&
DEMOLITION
PLAN**

SITE PLAN
 PREPARED FOR:
ROBERT FRENKEL
 38 TURNER DRIVE
 CHATTAQUA, NY 10514
 Putnam Co., New York
 Town of Carmel

Sheet
 2 of 5



Site Design Consultants
 Civil Engineers • Land Planners
 251-F Underhill Avenue, Yorktown Heights, NY 10598
 (914) 962-2488 - Fax (914) 962-7306
 www.sitedesignconsultants.com

Prepared by:
 Joseph C. Hines, P.E.
 02122-0001

REV.	DATE	COMMENTS

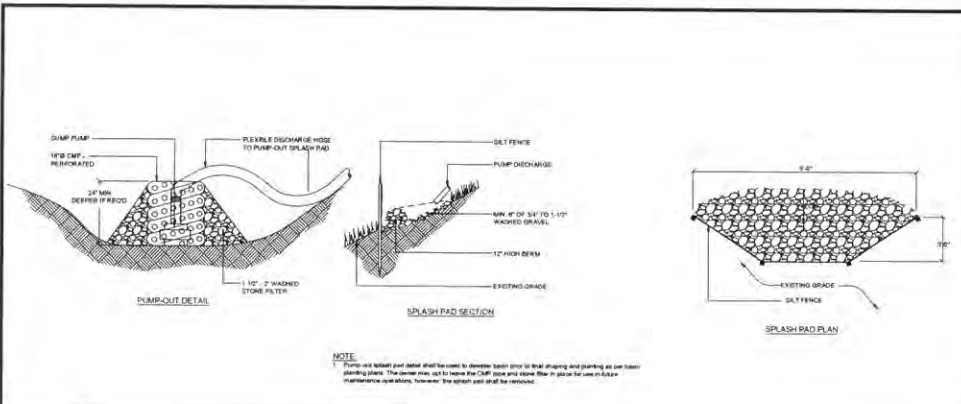
DATE: 1-1-15
 DRAWN BY: JCH
 CHECKED BY: JCH

IMPROVEMENT PLAN

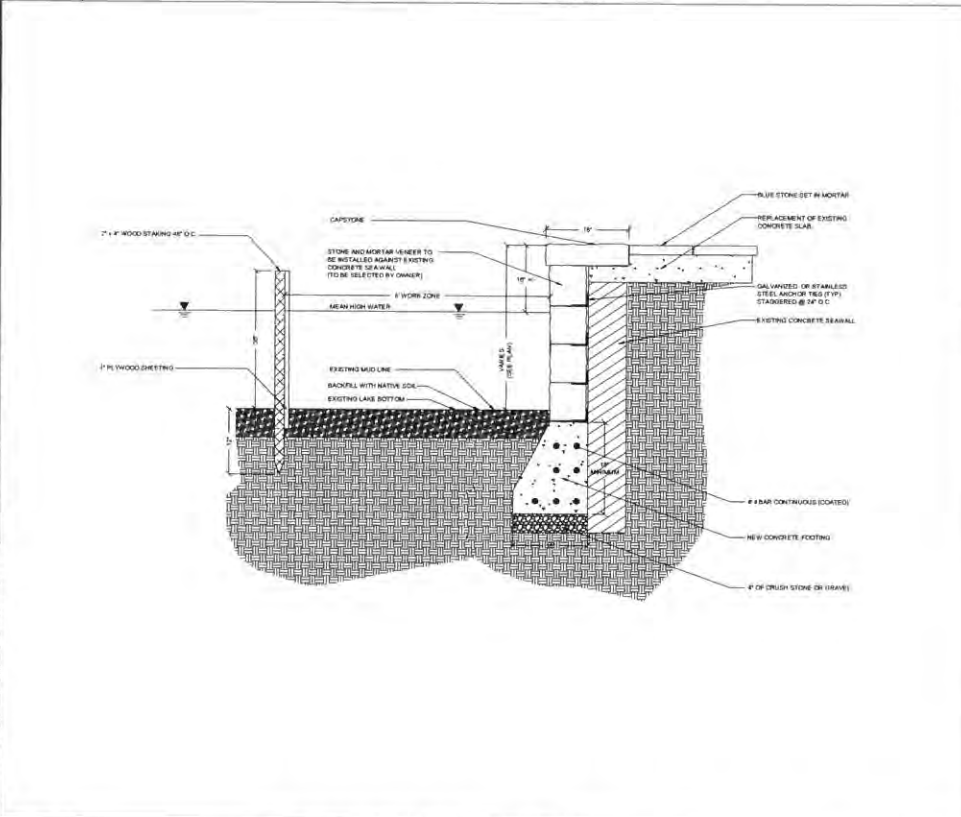
SITE PLAN
 PREPARED FOR:
ROBERT FRENKEL
 38 TURNER DRIVE
 CHAPPAQUA, NY 10514
 Putnam Co., New York

Sheet 3 of 5

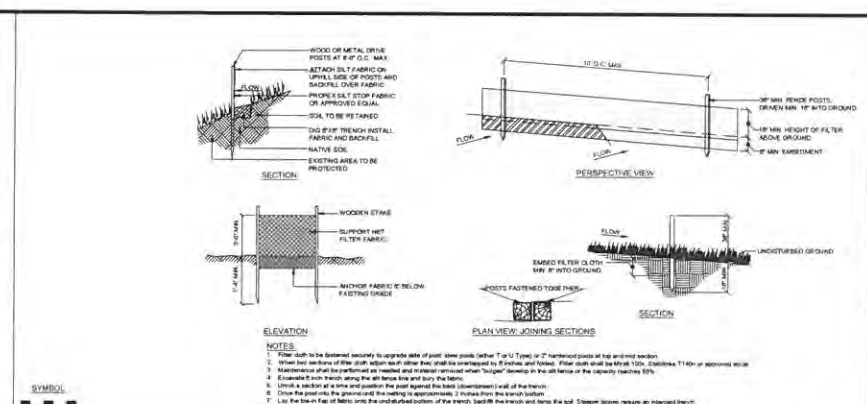
THIS PLAN IS UNLAWFUL IN ANY STATE OR JURISDICTION WHERE IT IS A VIOLATION OF SECTION 1700 OF THE NEW YORK STATE EDUCATION LAW.



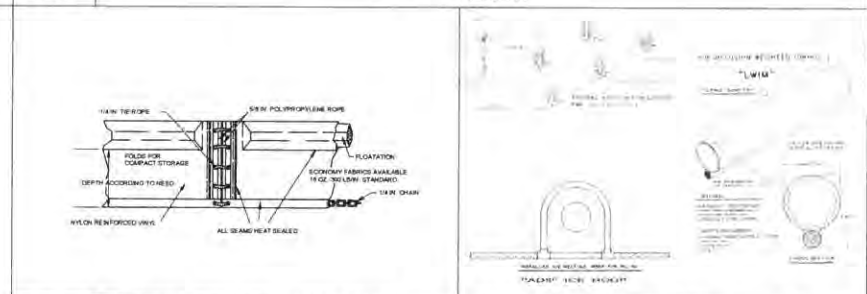
E-1 **PUMP-OUT SPLASH PAD DETAIL**
NOT TO SCALE



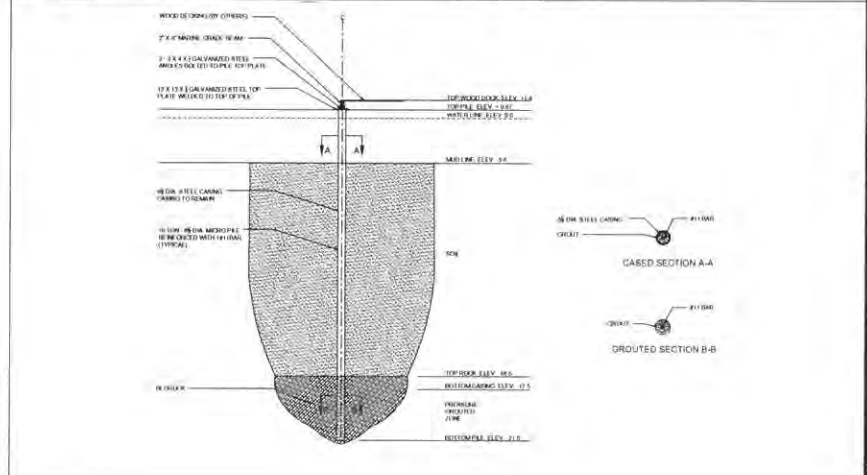
ST-1 **REINFORCED CONCRETE RETAINING WALL**
NOT TO SCALE



E-2 **SILT FENCE DETAIL**
NOT TO SCALE



E-3 **TYPE 1 TURBIDITY BARRIER DETAIL**
NOT TO SCALE



E-3 **AIR BUBBLE CURTAIN DETAIL**
NOT TO SCALE

ST-2 **MICRO PILE DETAIL**
NOT TO SCALE

Site Design Consultants
Civil Engineers & Land Planners
251-F Underhill Avenue, Yorktown Heights, NY 10588
(914) 962-4488 - FAX (914) 962-7396
www.sitedesignconsultants.com

PROJECT # 1149

Rev. No. Date Comments

DATE 7/2015

DETAILS

SITE PLAN PREPARED FOR
ROBERT FRENKEL
38 TURNER DRIVE
CHAPPAQUA, NY 10514
(www.STC.com) Putnam Co., New York

Sheet 5 of 5