

ROBERT LAGA  
*Chairman*

ANTHONY DUSOVIC  
*Vice-Chair*

ROSE TROMBETTA  
*Secretary*

DAVID KLOTZLE  
*Wetland Inspector*

**TOWN OF CARMEL**  
**ENVIRONMENTAL CONSERVATION BOARD**



60 McAlpin Avenue  
Mahopac, New York 10541  
Tel. (845) 628-1500 - Ext. 190  
www.ci.carmel.ny.us

**BOARD MEMBERS**

Edward Barnett  
Marc Pekowsky  
Vincent Turano  
Nicholas Fannin  
John Starace

**ENVIRONMENTAL CONSERVATION BOARD AGENDA**

**OCTOBER 1, 2015 – 7:30 P.M.**

**SUBMISSION OF AN APPLICATION OR LETTER OR PERMISSION**

<b><u>APPLICANT</u></b>	<b><u>ADDRESS</u></b>	<b><u>TAX MAP #</u></b>	<b><u>COMMENTS</u></b>
1. Dudyshyn Construction	31 Tamarack Road	75.8-2-14	Remove and Construct New Deck
2. Basli, Joseph	859 South Lake Blvd	75.44-1-21	Construct Retaining Wall and Deck
3. Wagner Millwork LLC - Corbelli	169 Barrett Hill Rd	53.18-1-28	Tree Cutting Permit

**PLANNING BOARD REFERRAL**

4. New York SMSA Limited Partnership d/b/a Verizon Wireless	946-954 S. Lake Blvd	75.44-1-46	Co-locate a Public Utility Wireless Communications Facility
---	----------------------	------------	--

**MISCELLANEOUS**

5. Minutes – 05/21/15

ROBERT LAGA  
Chairman  
ANTHONY DUSOVIC  
Vice Chair  
ROSE TROMBETTA  
Secretary

DAVID KLOTZLE  
Wetland Inspector

TOWN OF CARMEL  
ENVIRONMENTAL CONSERVATION BOARD



60 McAlpin Avenue  
Mahopac, New York 10541  
Tel. (845) 628-1500 - Ext. 190  
www.ci.carmel.ny.us

BOARD MEMBERS

Edward Barnett  
Marc Pekowsky  
Vincent Turano  
Nicholas Fannin  
John Starace

APPLICATION FOR WETLAND PERMIT OR LETTER OF PERMISSION

Name of Applicant: Richard Dudyszyn Construction  
Address of Applicant: 703 South Lakeshore Blvd Email: richard@rddc.com  
Telephone# \_\_\_\_\_ Name and Address of Owner if different from Applicant: \_\_\_\_\_

Property Address: 31 TAMARACK Tax Map # 75.8-2-14  
Agency Submitting Application if Applicable: \_\_\_\_\_  
Location of Wetland: Lake Mahopac  
Size of Work Section & Specific Location: 1 Rear deck cut 2 trees  
Will Project Utilize State Owned Lands? If Yes, Specify: 25' from the RLP  
No

Type and extent of work (feet of new channel, yards of material to be removed, draining, dredging, filling, etc). A brief description of the regulated activity (attach supporting details).  
Remove + Construct New Deck  
Cut 2 trees in buffer

Proposed Start Date: Oct 2016 Anticipated Completion Date: \_\_\_\_\_ Fee Paid \$ 225.00

CERTIFICATION

I hereby affirm under penalty of perjury that information provided on this form is true to the best of my knowledge and belief, false statements made herein are punishable as a Class A misdemeanor pursuant to Section 210.45 of the Penal Law. As a condition to the issuance of a permit, the applicant accepts full legal responsibility for all damage, direct or indirect, or whatever nature, and by whomever suffered, arising out of the project described here-in and agrees to indemnify and save harmless the Town of Carmel from suits, actions, damages and costs of every name and description resulting from the said project.

[Signature]  
SIGNATURE

9/16/15  
DATE

617.20  
Appendix B  
Short Environmental Assessment Form

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

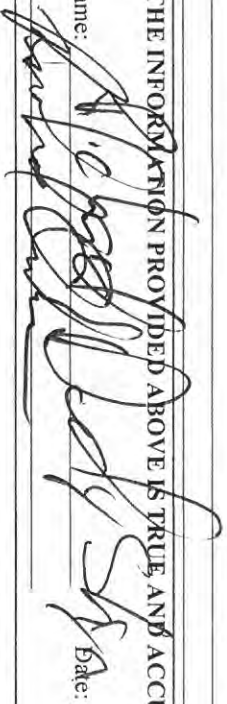
Part 1 - Project and Sponsor Information			
Name of Action or Project: <b>Dudyshyn Construction</b>			
Project Location (describe, and attach a location map): <b>31 TAMARACK Rd, Mahopac</b>			
Brief Description of Proposed Action: <b>Remove + replace existing deck</b>			
Name of Applicant or Sponsor: <b>Richard Dudyshyn</b>		Telephone:	
		E-Mail:	
Address: <b>703 South Lake Blvd, Mahopac, NY</b>			
City/PO: <b>Mahopac</b>		State: <b>NY</b>	Zip Code: <b>10541</b>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO	YES
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: <b>Building</b>		NO	YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		<b>640 S.F. acres</b>	
b. Total acreage to be physically disturbed?		<b>10 S.F. acres</b>	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			



18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	<input checked="" type="checkbox"/>	NO	YES
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	<input checked="" type="checkbox"/>	NO	YES
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	<input checked="" type="checkbox"/>	NO	YES

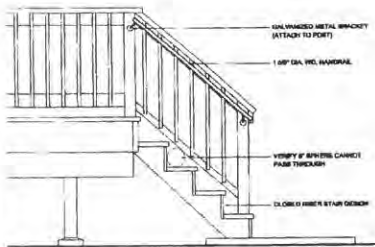
**I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE**

Applicant/sponsor name: \_\_\_\_\_

Signature:  Date: \_\_\_\_\_

**Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"**

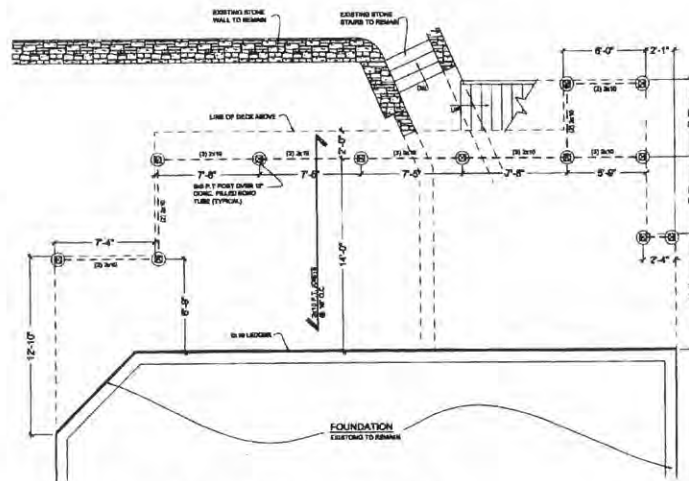
	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: <ul style="list-style-type: none"> <li>a. public / private water supplies?</li> <li>b. public / private wastewater treatment utilities?</li> </ul>		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		



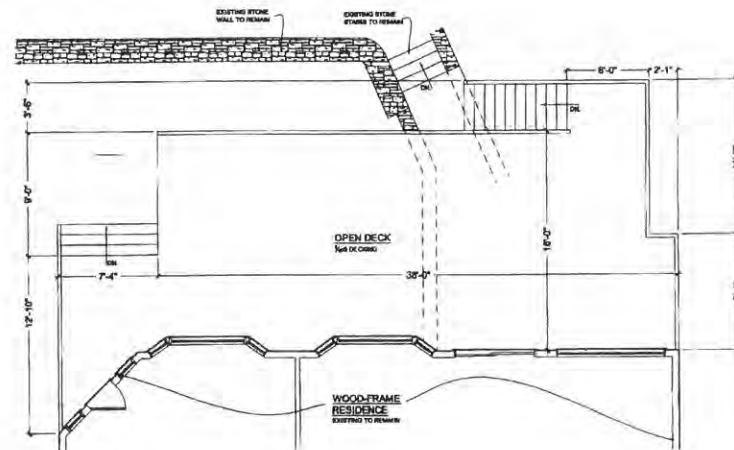
OPTIONAL DECK STAIR HANDRAIL DETAIL  
NOT TO SCALE



FLASHING DETAIL  
NOT TO SCALE



DECK FOUNDATION PLAN  
SCALE 1/4"=1'-0"

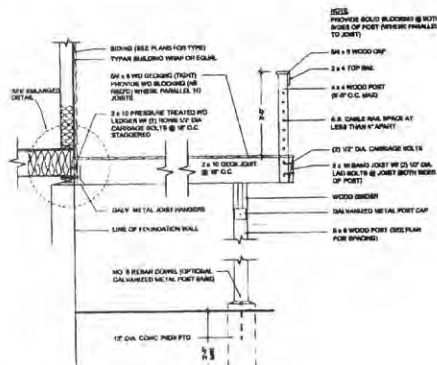


DECK PLAN

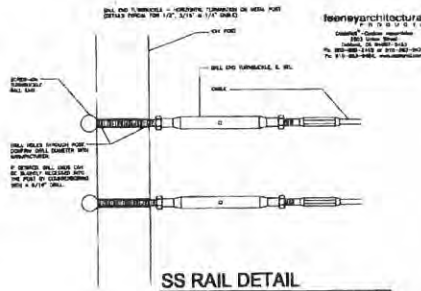
SCALE 1/4"=1'-0"

**GENERAL NOTES**

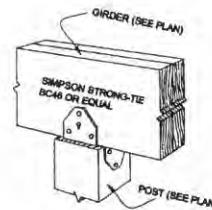
- 1- THESE ARE PLANS FOR REMOVAL AND REPLACEMENT OF AN EXISTING DECK. CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO COMPLETE ALL WORK, ETC., AS SHOWN ON THE DRAWINGS NECESSARY FOR A COMPLETE JOB, UNLESS OTHERWISE SPECIFIED. ALL MATERIAL AND WORKMANSHIP SHALL BE OF BEST QUALITY.
  - 2- ALL WRITTEN DIMENSIONS (NOTES AND DIMENSIONS) ON THE FLOOR PLANS OR SPECIFICATIONS SHALL TAKE PRECEDENCE OVER ANY GRAPH DIMENSIONS (ELEVATIONS). DO NOT SCALE DIMENSIONS. ALL DIMENSIONS MUST BE VERIFIED BY THE CONTRACTOR BEFORE START OF CONSTRUCTION.
  - 3- SITE CONDITIONS: THE GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS BEFORE SUBMITTING HIS PROPOSAL. THE CONTRACTOR SHALL VERIFY ALL LINES, LEVELS AND DIMENSIONS SHOWN ON THE DRAWINGS.
  - 4- CONTRACTOR AND/OR ANY SUB-CONTRACTOR ARE TO PERFORM ALL WORKS AS SHOWN, IMPLIED OR THAT IS REQUIRED TO PROVIDE A COMPLETE AND FINISHED KEY-IN LOCK JOB EVEN IF EACH AND EVERY SPECIFIC ITEM IS NOT SPECIFICALLY CALLED FOR.
  - 5- WHILE EVERY ATTEMPT HAS BEEN MADE IN PREPARATION OF THESE PLANS TO AVOID MISTAKES, THE PREPARER CANNOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR ON THE JOB MUST CHECK AND CONFIRM ALL DETAILMENTS AND DETAILS AND BE RESPONSIBLE FOR SAME.
- LUMBER AND FRAMING**
- 1- ALL FRAMING TO BE IN ACCORDANCE WITH THE BUILDING CODE.
  - 2- ALL FRAMING LUMBER TO BE CONSTRUCTION GRADE PRESSURE TREATED SOUTHERN YELLOW PINE.
  - 3- DECKY DESIGN CONDITION: SLIGHT-MODERATE.



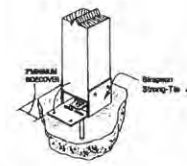
WOOD DECK DETAIL  
NOT TO SCALE



SS RAIL DETAIL  
NOT TO SCALE



GIRDER TIE DOWN DETAIL  
NOT TO SCALE



POST BASE TIE DETAIL  
NOT TO SCALE

**RAYEX**  
DESIGN PLANNING CONSTRUCTION

288 SHEAR HILL RD. MAHOPAC, NY 10641 • 845-821-4000

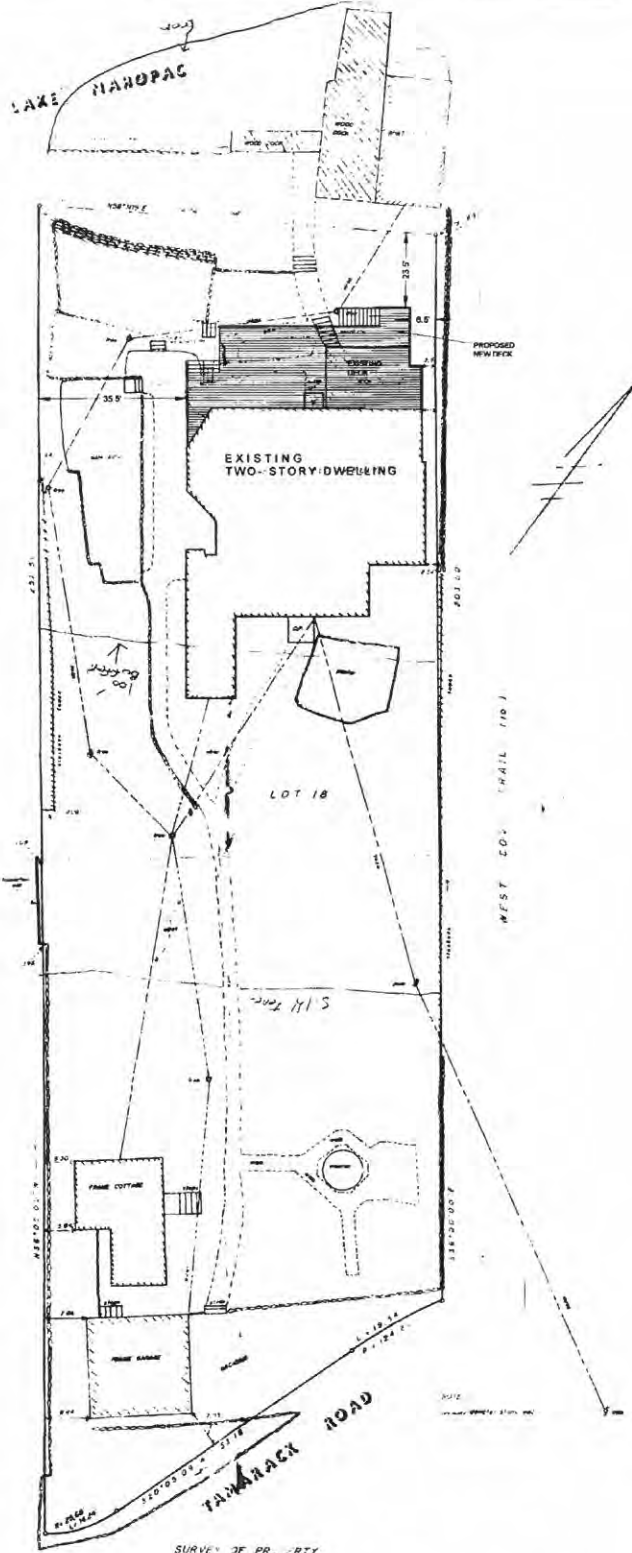
OWNER: MOTM INC. JOB #

PROJECT: NEW DECK TO REPLACE EXISTING AT TAMARACK RD. IN MAHOPAC, NY. DRAWN BY: TAX MAP #:

SHEET TITLE: DECK PLANS, NOTES TOP 1 AND DETAILS

REVISIONS: DATE: 8/16/2015





SURVEY OF PROPERTY  
 FOR  
 MORTON B. PATRICE YOUNG  
 IN  
 TOWN OF CARMEL  
 PULASKI COUNTY  
 MISSOURI

NOTICE TO ALL PERSONS INTERESTED IN THE PROPERTY SURVEYED: This survey was made by the undersigned on the 15th day of August, 1914, and the same is hereby certified to be correct and true to the best of his knowledge and belief. The same is subject to the approval of the Board of Surveyors of the County of Pulaski, Missouri, and the same shall be subject to the approval of the Board of Surveyors of the County of Pulaski, Missouri, and the same shall be subject to the approval of the Board of Surveyors of the County of Pulaski, Missouri.

INDEX  
 1. All measurements are made for this map and plan.  
 2. All measurements are made from the top of the wall of the building unless otherwise specified.  
 3. All measurements are made in feet and inches.  
 4. The true north is indicated by the arrow.  
 5. All measurements are made to the center of the line unless otherwise specified.  
 6. All measurements are made to the center of the line unless otherwise specified.  
 7. All measurements are made to the center of the line unless otherwise specified.  
 8. All measurements are made to the center of the line unless otherwise specified.

ROBERT LAGA  
Chairman

ANTHONY DUSOVIC  
Vice Chair

ROSE TROMBETTA  
Secretary

DAVID KLOTZLE  
Wetland Inspector

**TOWN OF CARMEL**  
**ENVIRONMENTAL CONSERVATION BOARD**



60 McAlpin Avenue  
Mahopac, New York 10541  
Tel. (845) 628-1500 - Ext. 190  
www.ci.carmel.ny.us

BOARD MEMBERS

Edward Barnett  
Marc Pekowsky  
Vincent Turano  
Nicholas Fannin  
John Starace

**APPLICATION FOR WETLAND PERMIT OR LETTER OF PERMISSION**

Name of Applicant: JOSEPH BASLI

Address of Applicant: 862 S LAKE BLVD, MAHOPAC Email: \_\_\_\_\_

Telephone# \_\_\_\_\_ Name and Address of Owner if different from Applicant: \_\_\_\_\_

Property Address: 859 S LAKE BLVD, MAHOPAC Tax Map # 75.44.-1-21

Agency Submitting Application if Applicable: N/A

Location of Wetland: Lake Mahopac

Size of Work Section & Specific Location: 22' x 24'

Will Project Utilize State Owned Lands? If Yes, Specify: NO

Type and extent of work (feet of new channel, yards of material to be removed, draining, dredging, filling, etc). A brief description of the regulated activity (attach supporting details).

CONSTRUCTION OF 1.5' TALL RETAINING WALL AND 22' x 24' DECK

Proposed Start Date: ASAP Anticipated Completion Date: \_\_\_\_\_ Fee Paid \$ 225.00

**CERTIFICATION**

I hereby affirm under penalty of perjury that information provided on this form is true to the best of my knowledge and belief, false statements made herein are punishable as a Class A misdemeanor pursuant to Section 210.45 of the Penal Law. As a condition to the issuance of a permit, the applicant accepts full legal responsibility for all damage, direct or indirect, or whatever nature, and by whomever suffered, arising out of the project described here-in and agrees to indemnify and save harmless the Town of Carmel from suits, actions, damages and costs of every name and description resulting from the said project.

Joseph Basli  
SIGNATURE

8/13/15  
DATE



617.20  
Appendix B  
Short Environmental Assessment Form

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
BASLI LAKE PROPERTY / CASEY PROFESSIONAL REMODELING CORP. <span style="float: right;">845-494-7157</span>			
Name of Action or Project:			
Project Location (describe, and attach a location map):			
LAKE FRONT OPPOSITE OWNERS HOME AT 359 S. LAKE BLVD. MAHOPAC			
Brief Description of Proposed Action:			
OBTAIN PERMITS NECESSARY TO INSTALL RETAINING WALL AND DECK ON LAKE PROPERTY.			
Name of Applicant or Sponsor:		Telephone: 8	
JOSEPH BASLI		E-Mail: :	
Address:			
862 S LAKE BLVD			
City/PO:		State:	Zip Code:
MAHOPAC		NY	10541
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?			NO
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			YES
X			
2. Does the proposed action require a permit, approval or funding from any other governmental Agency?			NO
If Yes, list agency(s) name and permit or approval:			YES
X			
3. a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? <u>0.0010</u> acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input checked="" type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			



18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	✓	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	✓	
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	✓	
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <u>Joseph Basli</u>	Date: <u>8/13/15</u>	
Signature: <u>Joseph Basli</u>		

**Part 2 - Impact Assessment.** The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	X	
2. Will the proposed action result in a change in the use or intensity of use of land?	X	
3. Will the proposed action impair the character or quality of the existing community?	X	
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	X	
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	X	
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	X	
7. Will the proposed action impact existing:		
a. public / private water supplies?	X	
b. public / private wastewater treatment utilities?	X	
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	X	
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	X	

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	X	
11. Will the proposed action create a hazard to environmental resources or human health?	X	

**Part 3 - Determination of significance.** The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

75,44-1-21

**PROJECT NARRATIVE**

for  
**Joseph Basli**  
**862 South Lake Blvd.**  
**Mahopac, NY 10541**  
**Lake Property**

8/14/2015

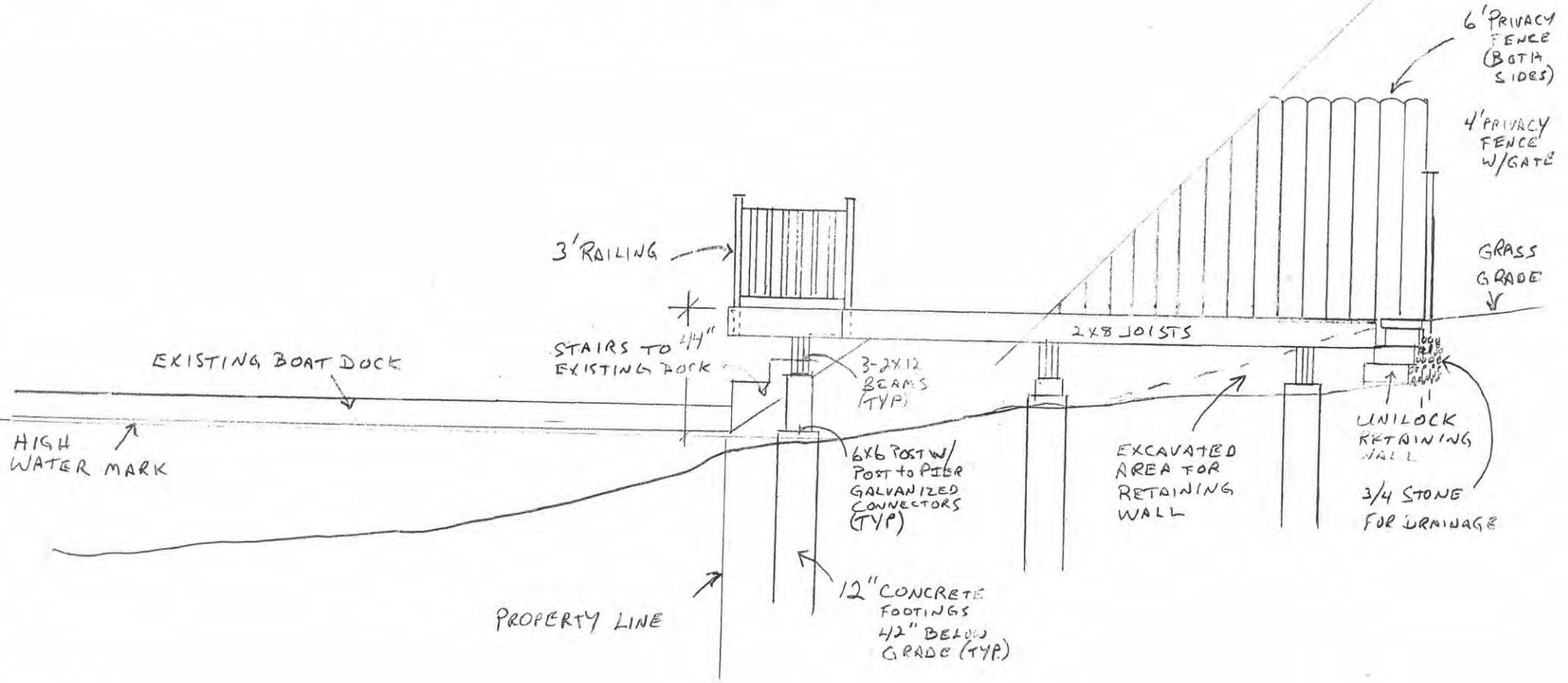
The premises being lands described in Liber 1180, Page 305 of Deeds; identified therein as being part of Lot 1A and part of a parcel designated as "Reserved" as shown on a certain map entitled "CHARLES GANTER," filed in Putnam County Clerks Office on September 6, 1956 as Map No. 785.

Seeking to obtain all necessary approvals and permits to:

1. Install necessary Erosion and Sediment Control measures on proposed work site.
2. Install Unilock retaining wall ( 1' high x 25' long, approx. 18' from shoreline).
3. Install necessary footings as described in plans included in this application and submitted to the Carmel Building Dept.
4. Construct a lake front deck (18' x 24') with boat dock ( 2-1/2' x 22')
5. Install 4' Privacy fence with self closing gate on south west side of deck.
6. Install 6' Privacy fence on north west side of deck.
7. Install 3' railing on water side of deck with 3 steps to boat dock.

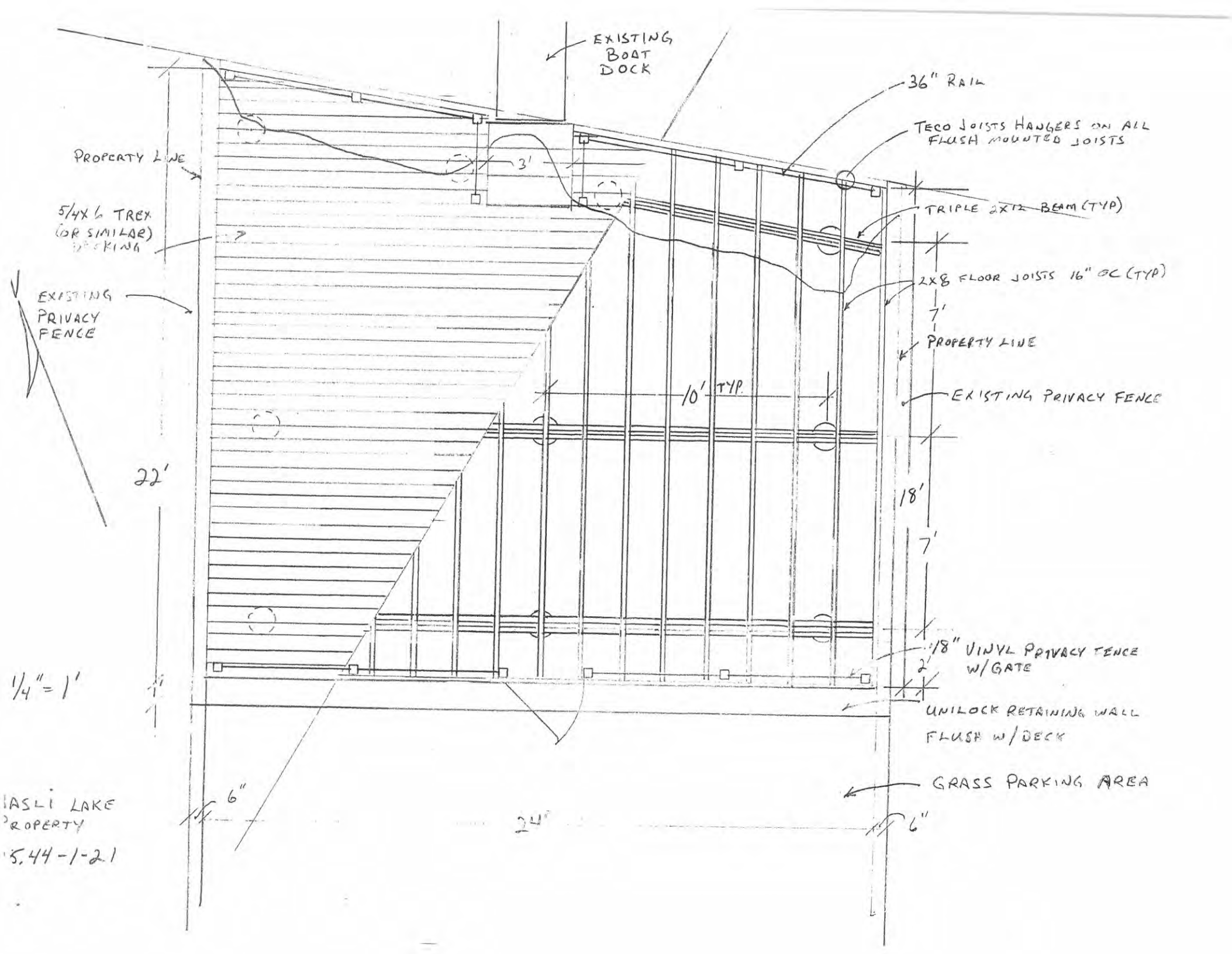


- ALL LUMBER WILL BE PRESSURE TREATED
- ALL FASTENERS, ANCHORS, HANGERS WILL BE WEATHER RESISTANT
- ALL RAILINGS AND FENCES WILL BE PRESSURE TREATED OR VINYL OR BOTH
- ALL DECKING WILL BE PRESSURE TREATED OR FACTORY MADE
- ALL FLUSH MOUNTED JOISTS WILL BE FASTENED WITH JOIST HANGERS

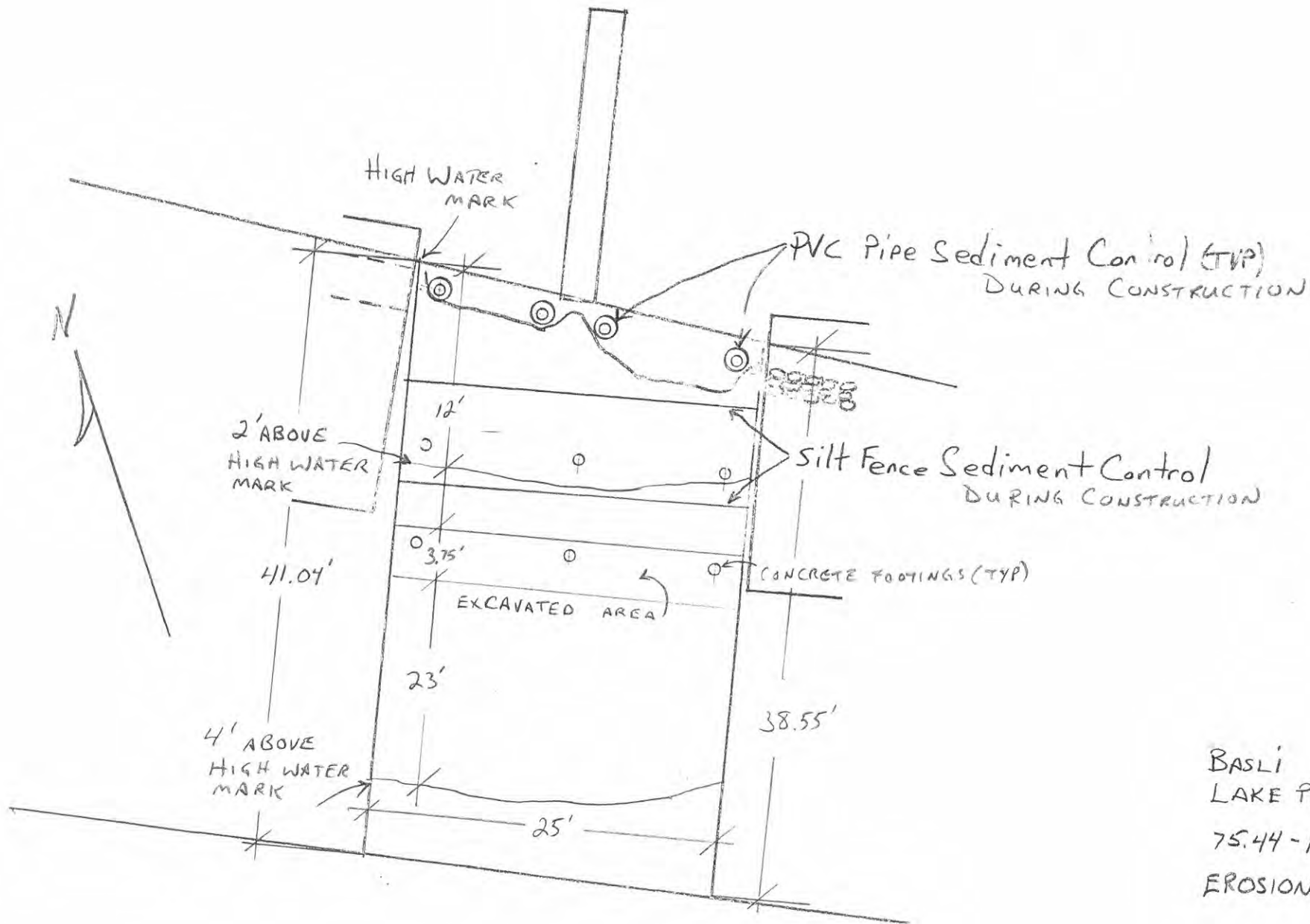


1/4" = 1'

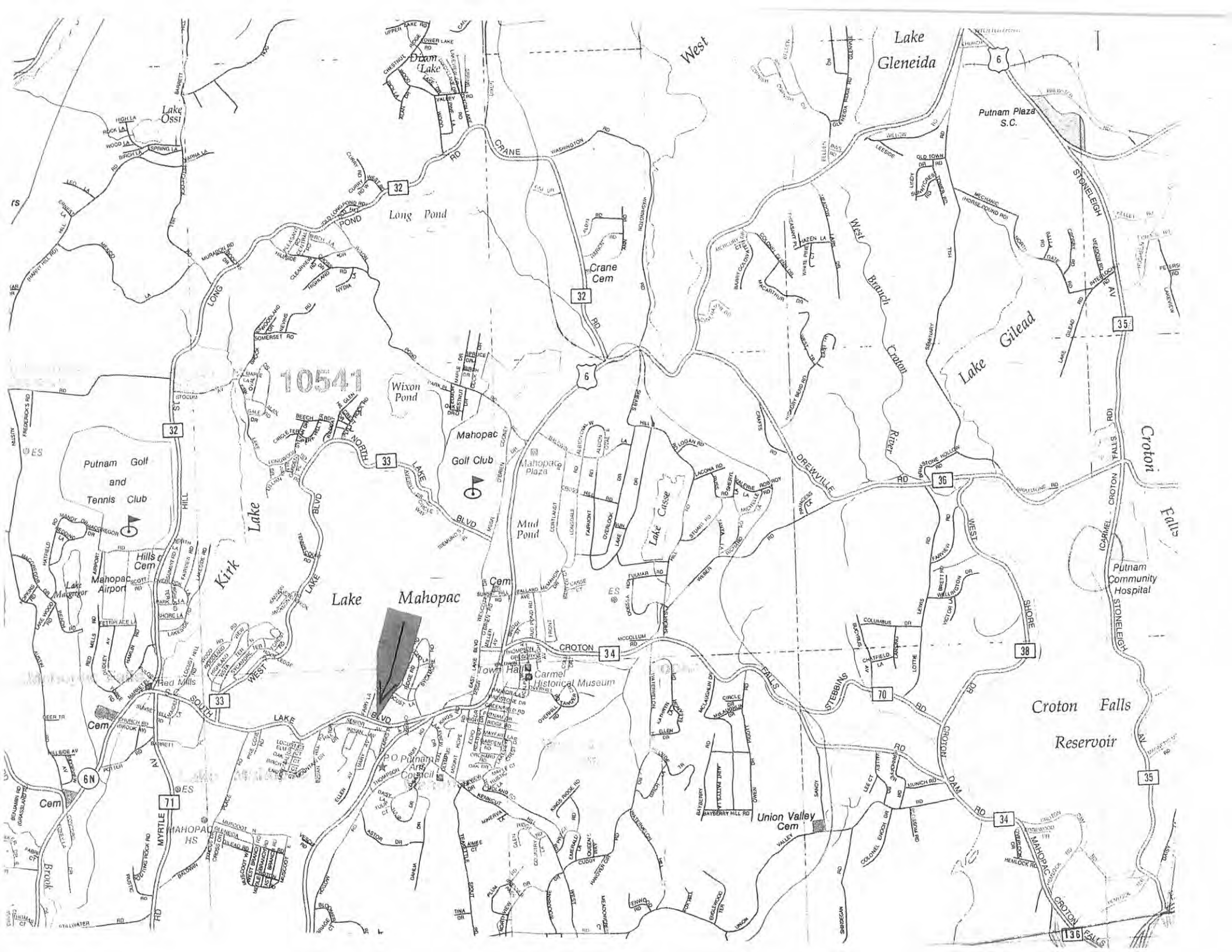
BASLI  
LAKE PROPERTY  
75.44-1-2.1







BASLI  
 LAKE PROPERTY  
 75.44-1-21  
 EROSION CONTROL



# Basli Property (currently also #859)





ROBERT LAGA  
Chairman  
ANTHONY DUSOVIC  
Vice-Chair  
ROSE TROMBETTA  
Secretary  
DAVID KLOTZLE  
Wetland Inspector

TOWN OF CARMEL  
ENVIRONMENTAL CONSERVATION BOARD



60 McAlpin Avenue  
Mahopac, New York 10541  
Tel. (845) 628-1500 - Ext. 190  
www.ci.carmel.ny.us

BOARD MEMBERS

Edward Barnett  
Marc Pekowsky  
Vincent Turano  
Nicholas Fannin  
John Starace

APPLICATION FOR A TREE CUTTING PERMIT

Name of Applicant: Wagner Millwork LLC - (Corbelli)  
Address: 4060 Gaskill Rd. Tel. No. 60  
Owner of Property: Albert and Elaine Corbelli  
Address: 169 Barrett Hill Rd. Mahopac, NY 10541 Tel. No. 9  
Tax Map Number: 53.18-1-28 Total Land Area Involved: 22.8 ac

Number of trees of each species to be cut: \_\_\_\_\_ Range, in inches, of diameter, measured 4 & 1/2 feet above the ground of the trees to be cut: \_\_\_\_\_  
Total Board Foot Volume for each species to be cut: \_\_\_\_\_

See attached sheet Table 1.

A Sketch Map drawn to scale must be attached showing: - Attached

- 1. Boundaries of Property.
- 2. Access Roads into property and proposed roads and skid trails in the property.
- 3. Area within the property where cutting will occur.
- 4. Location and size of product loading areas. - 1,250 FT<sup>2</sup>
- 5. Any area of the property defined as a wetland by the Town of Carmel Wetland Law.
- 6. If tree cutting operation is to be conducted in stages, each stage shall be shown on the sketch map.
- 7. Scale of map.

A written statement must be attached stating that each tree to be removed has been designated with paint or other distinctive means at two points so as to be readily visible. One point shall be low enough on the tree so as to be visible on the stump after the tree is removed.

Permit Fee is: - Up to 25 acres - \$300.00 -Over 25 acres - \$400.00 + \$50.00 an acre.

[Signature]  
SIGNATURE OF OWNER

[Signature] (Jordan Heller)  
SIGNATURE OF APPLICANT

All property owners within 500 feet of the subject property must be notified by U.S. Mail prior to commencement of the operation.

The Timber Marked for harvest within the woodlot owned by Albert and Elaine Corbelli is marked with blue paint. A horizontal line at chest height, and a dot below stump level, identifies the tress marked for harvest. Two stripes at chest height indicates the last tree before the boundary or to identify an area with no trees marked. Threes stripes indicates the property boundary line, along with orange flagging.

There will be one landing of approximately 1,250 sq. ft. and 2,000 sq. ft.

**SPECIES**

Tulip Poplar, <i>Liriodendron tulipifera</i>	86 trees
Red Oak, <i>Quercus rubra</i>	82 trees
Hard Maple, <i>Acer saccharum</i>	29 trees
Black Oak, <i>Quercus velutina</i>	10 trees
Chestnut Oak, <i>Quercus prinus</i>	13 trees
Soft Maple, <i>Acer rubrum</i>	5 trees
White Ash, <i>Fraxinus americana</i>	2 trees

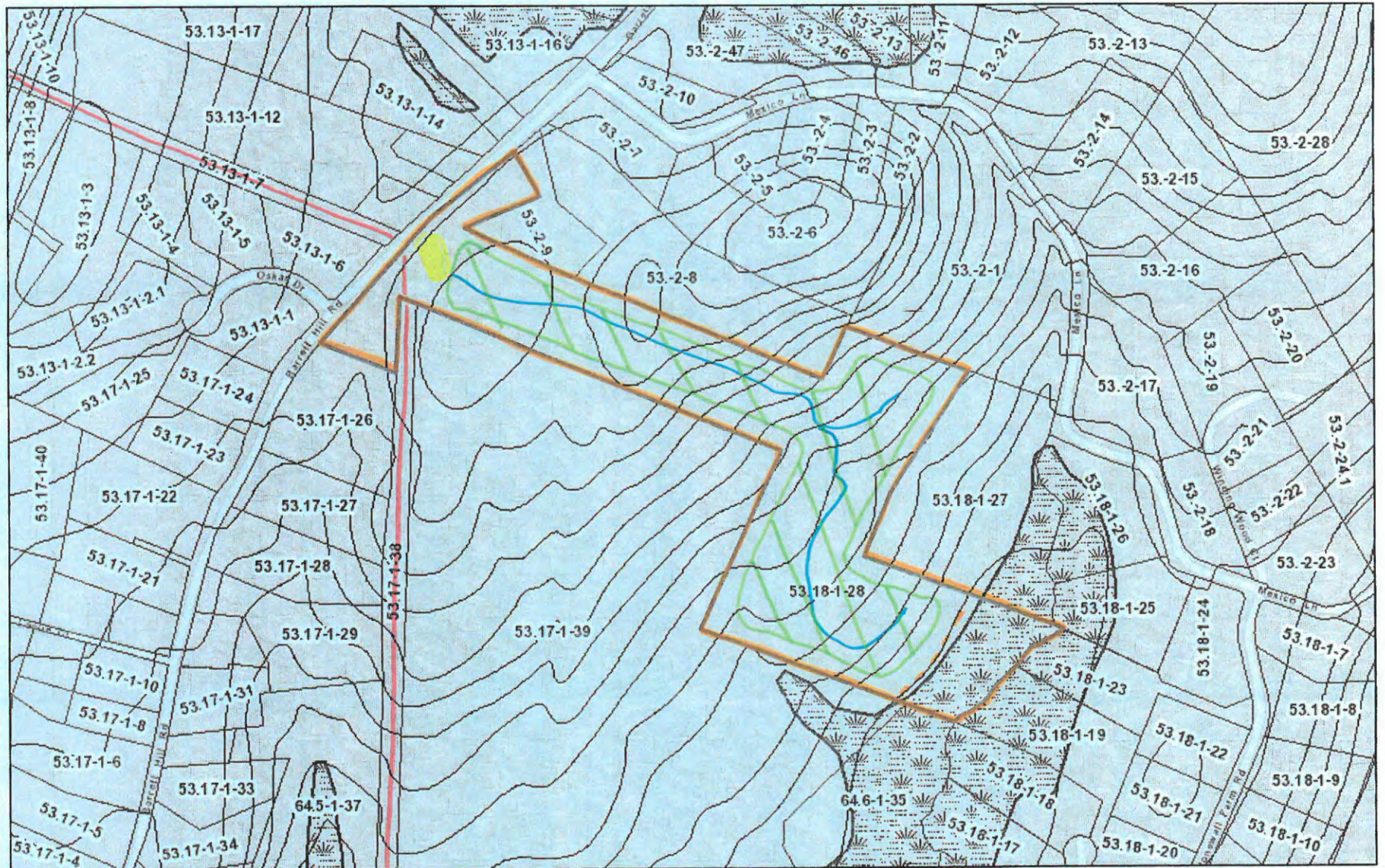
The timber marked for harvest within the woodlot owned by Albert and Elaine Corbelli is marked with a blue horizontal line and a blue stump dot. This is also stated in the timber harvesting contract between Wagner Millwork LLC and Albert and Elaine Corbelli.

There will be one landing and this landing area will be between 1,250ft<sup>2</sup> and 2,000ft<sup>2</sup>.

Table 1. Tree Species Information

Species	Number of Trees	Volume ( <del>board</del> feet <i>Thousand board feet</i> )	Range of Diameters (DBH-Inches)
Tulip Poplar	86	38.554	18-34
Red Oak	82	21.004	16-32
Hard Maple	29	6.196	18-26
Black Oak	10	1.6	16-22
Chestnut Oak	13	1.649	16-22
Soft Maple	5	0.825	16-24
Ash	2	0.372	18-20

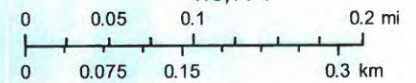
# Corbelli



September 24, 2015

- Parcels
- 121; 123
- 10ft Contours (Watershed Area Only)
- Property boundaries
- Wet land boundary
- landing
- Harvest area
- gas line
- skid roads

1:6,771



Putnam County IT/GIS  
Sources: Esri, HERE, DeLorme, USGS, Intermap, increment P Corp.,



LAW OFFICES OF  
**SNYDER & SNYDER, LLP**  
94 WHITE PLAINS ROAD  
TARRYTOWN, NEW YORK 10591

NEW YORK OFFICE  
445 PARK AVENUE, 9TH FLOOR  
NEW YORK, NEW YORK 10022  
(212) 749-1448  
FAX (212) 932-2693

LESLIE J. SNYDER  
ROBERT D. GAUDIOSO

DAVID L. SNYDER  
(1956-2012)

(914) 333-0700  
FAX (914) 333-0743

WRITER'S E-MAIL ADDRESS  
lsnyder@snyderlaw.net

NEW JERSEY OFFICE  
ONE GATEWAY CENTER, SUITE 2600  
NEWARK, NEW JERSEY 07102  
(973) 824-9772  
FAX (973) 824-9774

REPLY TO:

Westchester Office

September 17, 2015

Honorable Chairman Robert Laga  
and Members of the Environmental Conservation Board  
Town of Carmel Town Hall  
60 McAlpin Avenue  
Mahopac, New York 10541

RE: Application of New York SMSA Limited Partnership d/b/a Verizon Wireless to  
Co-locate a Public Utility Wireless Communications Facility on the Roof of the  
Building Located at 946-954 South Lake Boulevard, Mahopac, New York

Dear Honorable Chairman Laga  
and Members of the Environmental Conservation Board:

We are the attorneys for New York SMSA Limited Partnership d/b/a Verizon Wireless ("Verizon Wireless") in connection with Verizon Wireless' request to co-locate a public utility wireless communications facility ("Facility") on the roof of the building ("Building") located at the captioned property. As required by Section 156-37E of Zoning Code, on September 16<sup>th</sup> the Town of Carmel Planning Board referred Verizon Wireless' application to this Board for review.

The proposed Facility consists of antennas and related equipment to be installed on the roof of the Building. The Facility will enable Verizon Wireless to enhance its wireless services to the area surrounding the Property.

Thank you for your consideration. We look forward to discussing this matter at the Environmental Control Board's meeting on October 1, 2015. If you have any questions, please do not hesitate to contact me or Ed Teyber of my office at (914) 333-0700.

Very respectfully submitted,

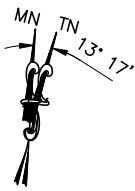
  
Leslie J. Snyder.

LJS:et

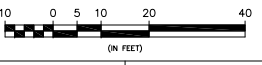
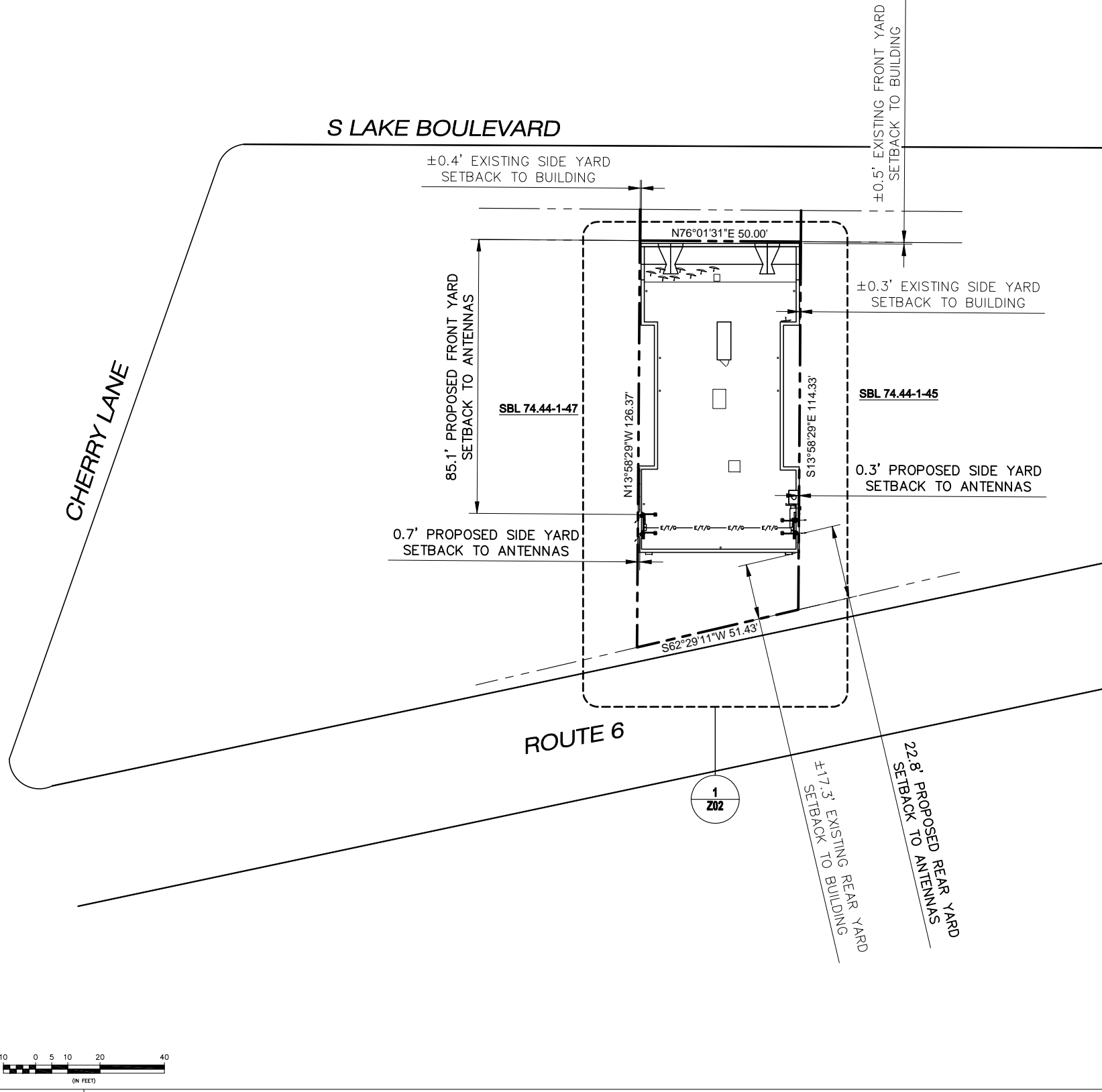
cc: Planning Board  
Verizon Wireless

Z:\SSDATA\WPDATA\SS4\WP\NEWBANM\BREYER\SMALL CELL SITES\MAHOPAC 5\ZONING\ECB LETTER.9.17.15.DOCX





OWNER OF DOCUMENTS: THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, ARE THE PROPERTY OF KMB DESIGN GROUP, LLC AND ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR OTHER PROJECTS WITHOUT THE WRITTEN AUTHORIZATION OF KMB DESIGN GROUP, LLC. IT IS UNLAWFUL FOR ANY PERSON TO AMEND ANY ASPECT OF THESE DRAWINGS UNLESS THEY HAVE THE APPROVAL OF THE LICENSED PROFESSIONAL IN WRITING.



**1** AREA PLAN

11x17 SCALE: 1" = 40'     24x36 SCALE: 1" = 20'

**GENERAL NOTES:**

1. THE SUBJECT PROPERTY IS KNOWN AS PARCEL ID # 75.44-1-46 IN THE TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK.
2. THE PROPOSED PROJECT IS A WIRELESS COMMUNICATIONS FACILITY. THE PROJECT CONSISTS OF INSTALLING FOUR (4) PANEL ANTENNAS, FOUR (4) SMALL CELL UNITS AND TWO (2) GPS ANTENNA TO AN EXISTING BUILDING ROOFTOP. THE PROPOSED FACILITY IS UNMANNED. OCCUPANCY WILL BE LIMITED TO PERIODIC INSPECTIONS BY RADIO TECHNICIANS APPROXIMATELY ONCE PER MONTH. THEREFORE, POTABLE WATER, SANITARY SEWERS, AND ADDITIONAL SITE PARKING ARE NOT REQUIRED.
3. FINAL CONNECTION TO ELECTRICAL AND TELEPHONE UTILITIES TO BE APPROVED BY THE APPROPRIATE UTILITY COMPANY.
4. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS HAS BEEN ISSUED FOR ZONING APPROVAL PURPOSES ONLY AND SHALL NOT BE USED AS CONSTRUCTION DOCUMENTS.
5. ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN SHALL BE IN ACCORDANCE WITH:
  - A. CURRENT PREVAILING MUNICIPAL AND/OR COUNTY AUTHORITY SPECIFICATIONS, STANDARDS AND REQUIREMENTS.
  - B. CURRENT PREVAILING UTILITY COMPANY AUTHORITY SPECIFICATIONS, STANDARDS AND REQUIREMENTS.
6. PROPERTY BOUNDARY AND EXISTING FEATURES INFORMATION SHOWN WAS OBTAINED FROM A SURVEY ENTITLED "EXISTING CONDITIONS SURVEY" BY COPPENS LAND SURVEYING, DATED 06-23-15 AND SUPPLEMENTED BY LIMITED FIELD OBSERVATIONS BY KMB ON 11-18-14.
7. NO ADDITIONAL SITE SIGNAGE IS PROPOSED WITH THE EXCEPTION OF A SIGN NOTING RF TRANSMISSION ON THE ROOFTOP.
8. THERE WILL BE NO CHANGE TO THE EXISTING SITE LANDSCAPING.

BULK REQUIREMENTS TABLE ZONING DISTRICT C			
ITEM	REQUIRED	EXISTING	PROPOSED
MIN LOT AREA (SF)	40,000	±6017.60 *	NO CHANGE
MIN LOT WIDTH (FT)	200	±50 *	NO CHANGE
MIN LOT DEPTH (FT)	200	±114.33 *	NO CHANGE
MIN FRONT YARD SETBACK (FT)	40	±0.5 *	NO CHANGE
MIN SIDE YARD SETBACK (FT)	25	±0.3 *	NO CHANGE
MIN REAR YARD SETBACK (FT)	30	±17.3 *	NO CHANGE
MIN REQUIRED FLOOR AREA OF BUILDINGS (SF)	5,000	±4,344 *	NO CHANGE
MAX HEIGHT (FT)	35	±43.75 *	NO CHANGE
MAX BUILDING COVERAGE (%)	30	±72.2 *	NO CHANGE

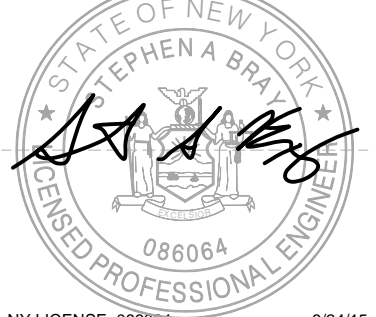
\* EXISTING NON-CONFORMANCE



REV.	DATE	REVISION DESCRIPTION	DRAWN BY	CHKD. BY
2	08-25-15	ISSUED AS FINAL	JLS	JRB
1	06-26-15	REVISED PER CLIENT COMMENTS	MCD	JRB
0	05-15-15	INITIAL SUBMISSION	RC	JRB



**Stephen A. Bray**  
PROFESSIONAL ENGINEER



NY LICENSE: 086064     8/24/15  
PROJECT NUMBER: **321.0470**

SITE INFORMATION:  
946-954 S LAKE BLVD  
MAHOPAC, NY 10541  
PUTNAM COUNTY  
**MAHOPAC 5\_SC**

DESIGN TYPE:  
**ROOFTOP**

DRAWN BY: RC     CHECKED BY: JRB     DATE: 05-12-15

SHEET TITLE:  
**AREA PLAN**

SHEET NUMBER: **Z01**     REV.: **2**

K:\321\_Verizon\321.0470\_Mahopac 5\_SC\_002 Route 6\321.0470\_CAD\321.0470\_Construction\321.0470.C01.dwg, 8/24/2015 5:20:11 PM, jspjnievski







