

ROBERT LAGA  
*Chairman*

ANTHONY DUSOVIC  
*Vice-Chair*

ROSE TROMBETTA  
*Secretary*

**TOWN OF CARMEL**  
**ENVIRONMENTAL CONSERVATION BOARD**



60 McAlpin Avenue  
Mahopac, New York 10541  
Tel. (845) 628-1500 - Ext. 190  
www.ci.carmel.ny.us

BOARD MEMBERS

Edward Barnett  
Vincent Turano  
Nicholas Fannin  
John Starace

**ENVIRONMENTAL CONSERVATION BOARD AGENDA**

**OCTOBER 6, 2016 – 7:30 P.M.**

**ELIGIBLE FOR A PERMIT**

<b><u>APPLICANT</u></b>	<b><u>ADDRESS</u></b>	<b><u>TAX MAP #</u></b>	<b><u>COMMENTS</u></b>
1. Smajlaj, Zef	803 South Lake Blvd	75.42-1-39	Planning Board Referral (Construct Bathhouse)

**SUBMISSION OF AN APPLICATION OR LETTER OF PERMISSION**

2. NY Fuel Distributors, LLC (Coco Farms)	1923 Route 6, Carmel	55.11-1-40	Planning Board Referral (Redevelopment of Existing Fueling Station)
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**MISCELLANEOUS**

3. Minutes – 06/16/16, 08/04/16, 09/01/16 & 09/15/16



**STONEFIELD**  
engineering & design

## Project Narrative

RE: NY Fuel Distributors, LLC  
Proposed Convenience Store & Fueling Station  
1923 US Route 6  
Town of Carmel, Putnam County, New York

DATE: July 26, 2016

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The Subject Property is located within the Commercial (C) zoning district at the intersection of US Route 6 and Stoneleigh Avenue. The Subject Property is presently improved with a motor vehicle filling and service station, with three (3) fuel pumps, and unstriped parking/storage areas which can accommodate approximately twenty-one (21) vehicles. The existing filling station use is a Conditional Use in the Commercial zoning district. The Subject Property is entirely surrounded by commercial uses.

The Applicant is proposing to remove the existing improvements on the Subject Property and construct a new filling station and convenience store, along with a new canopy, six (6) fueling pumps, parking, lighting and landscaping improvements.

A portion of the Subject Property lies within a 100 foot adjacent area of an off-site wetland located across Stoneleigh Avenue. The proposed redevelopment of the Subject Property will result in a net reduction of impervious surfaces on the site of approximately 0.07 acres and no increase in impervious surfaces within the adjacent area. Accordingly, there are no anticipated adverse impacts to downstream water bodies and/or conveyance systems or the offsite wetland.

The Applicant is also proposing to install new landscaping on the eastern and western portions of the Subject Property as well as along the southern property boundary to improve the aesthetics.

We look forward to addressing any questions or comments at your upcoming meeting.  
Thank you for your attention to this matter.

T:\2015\T-15086 NY Fuel Distributors, LLC - Coco Farms Gas Station, 1923 Route 6, Carmel, NY\Correspondence\Outgoing\Memorandums\2016-07-26\_Project Narrative.docx

ROBERT LAGA  
Chairman

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Vice Chair

ROSE TROMBETTA  
Secretary

DAVID KLOTZLE  
Wetland Inspector

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John Starace

**APPLICATION FOR WETLAND PERMIT OR LETTER OF PERMISSION**

Name of Applicant: NY FUEL DISTRIBUTORS, LLC  
235 MAMORONECK AVE, STE LL,  
Address of Applicant: WHITE PLAINS, NY Email: danny.porco@nyfueldistributors.com

Telephone# (914) 848-7337 Name and Address of Owner if different from Applicant:  
NY Fuel Distributors, LLC 235 Mamaroneck ave Suite LL White Plains NY 10605

Property Address: 1923 ROUTE 6, CARMEL, NY Tax Map # 55.11-1-40  
Agency Submitting Application if Applicable: STONEFIELD ENGINEERING & DESIGN, LLC  
Location of Wetland: SOUTHWEST OF SITE  
Size of Work Section & Specific Location: 9,260 SF IN THE SOUTHWEST REGION OF THE LOT  
Will Project Utilize State Owned Lands? If Yes, Specify: NO

Type and extent of work (feet of new channel, yards of material to be removed, draining, dredging, filling, etc). A brief description of the regulated activity (attach supporting details).  
PROPOSED REDEVELOPMENT OF EXISTING FUELING STATION, WITH AN OVERALL DECREASE IN

IMPERVIOUS AREAS. EXISTING GRADES ARE TO REMAIN AND PROPER SOIL EROSION MEASURES WILL BE ADMINISTERED.

Proposed Start Date: 12/15/2017 Anticipated Completion Date: 12/15/2018 Fee Paid \$ 1,000

**CERTIFICATION**

I hereby affirm under penalty of perjury that information provided on this form is true to the best of my knowledge and belief, false statements made herein are punishable as a Class A misdemeanor pursuant to Section 210.45 of the Penal Law. As a condition to the issuance of a permit, the applicant accepts full legal responsibility for all damage, direct or indirect, or whatever nature, and by whomsoever suffered, arising out of the project described herein and agrees to indemnify and save harmless the Town of Carmel from suits, actions, damages and costs of every name and description resulting from the said project.

[Signature]  
SIGNATURE

7-26-16  
DATE

**Full Environmental Assessment Form  
Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Sponsor Information.**

Name of Action or Project: Proposed Convenience Store and Fueling Station		
Project Location (describe, and attach a general location map): 1923 US Route 6, Town of Carmel, Putnam County, New York		
Brief Description of Proposed Action (include purpose or need): Proposed Commercial Redevelopment consisting of a 1,824 SF convenience store and a 3,600 gas canopy. Additional site improvements include on-site parking, utility services, lighting, and landscaping.		
Name of Applicant/Sponsor: Jeffrey Martell (Stonefield Engineering & Design, LLC)		Telephone: (201) 340-4468
		E-Mail: JMartell@Stonefieldeng.com
Address: 75 Orient Way, Suite 303		
City/PO: Rutherford	State: NJ	Zip Code: 07030
Project Contact (if not same as sponsor, give name and title/role):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor): NY Dealer Stations, LLC		Telephone:
		E-Mail:
Address: 25 St. Charles Street		
City/PO: Thornwood	State: NY	Zip Code: 10594

**B. Government Approvals**

<b>B. Government Approvals, Funding, or Sponsorship.</b> (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)		
<b>Government Entity</b>	<b>If Yes: Identify Agency and Approval(s) Required</b>	<b>Application Date (Actual or projected)</b>
a. City Council, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	Town of Carmel Site Plan Approval	06/10/2016 (Projected)
b. City, Town or Village <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Planning Board or Commission	Town of Carmel Site Plan Approval	06/10/2016 (Projected)
c. City Council, Town or <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Village Zoning Board of Appeals		
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Town of Carmel Environmental Conservation Board, Water & Sewer Approval	07/10/2016 (Projected)
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Putnam County Planning Board	06/24/2016 (Projected)
f. Regional agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYCDEP SWPPP Approval	06/24/2016 (Projected)
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYS DOT Highway Work Permit NYS DEC SPDES GP-0-15-002 Permit	06/24/2016 (Projected)
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**C. Planning and Zoning**

<b>C.1. Planning and zoning actions.</b>	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<ul style="list-style-type: none"> <li>• If Yes, complete sections C, F and G.</li> <li>• If No, proceed to question C.2 and complete all remaining sections and questions in Part 1</li> </ul>	
<b>C.2. Adopted land use plans.</b>	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, identify the plan(s): NYC Watershed Boundary _____ _____ _____	
c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s): _____ _____ _____	

**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
 If Yes, what is the zoning classification(s) including any applicable overlay district?  
 Commercial (C) Zone

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No  
 If Yes,  
 i. What is the proposed new zoning for the site? \_\_\_\_\_

**C.4. Existing community services.**

a. In what school district is the project site located? Carmel School District

b. What police or other public protection forces serve the project site?  
 Town of Carmel

c. Which fire protection and emergency medical services serve the project site?  
 Lake Carmel 17 Fire Department

d. What parks serve the project site?  
 N/A

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Commercial - Proposed Convenience Store and Fueling Station

b. a. Total acreage of the site of the proposed action? \_\_\_\_\_ 0.92 acres  
 b. Total acreage to be physically disturbed? \_\_\_\_\_ 0.70 acres  
 c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? \_\_\_\_\_ 0.92 acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
 i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
 If Yes,  
 i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) \_\_\_\_\_  
 ii. Is a cluster/conservation layout proposed?  Yes  No  
 iii. Number of lots proposed? \_\_\_\_\_  
 iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_

e. Will proposed action be constructed in multiple phases?  Yes  No  
 i. If No, anticipated period of construction: \_\_\_\_\_ months  
 ii. If Yes:  
 • Total number of phases anticipated \_\_\_\_\_  
 • Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year  
 • Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year  
 • Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

f. Does the project include new residential uses?  Yes  No  
 If Yes, show numbers of units proposed.

	One Family	Two Family	Three Family	Multiple Family (four or more)
Initial Phase	_____	_____	_____	_____
At completion of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No  
 If Yes,

i. Total number of structures 2  
 ii. Dimensions (in feet) of largest proposed structure: 18 FT height; 50 FT width; and 72 FT length  
 iii. Approximate extent of building space to be heated or cooled: 1,824 square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No  
 If Yes,

i. Purpose of the impoundment: \_\_\_\_\_  
 ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_  
 iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_  
 iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres  
 v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length  
 vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): \_\_\_\_\_

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both?  Yes  No  
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)  
 If Yes:

i. What is the purpose of the excavation or dredging? \_\_\_\_\_  
 ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?  
 • Volume (specify tons or cubic yards): \_\_\_\_\_  
 • Over what duration of time? \_\_\_\_\_  
 iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. \_\_\_\_\_  
 iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
 If yes, describe. \_\_\_\_\_  
 v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres  
 vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres  
 vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet  
 viii. Will the excavation require blasting?  Yes  No  
 ix. Summarize site reclamation goals and plan: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No  
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_  
 \_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Will proposed action cause or result in disturbance to bottom sediments?  Yes  No

If Yes, describe: \_\_\_\_\_

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No

If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No

If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ 800 gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No

If Yes:

- Name of district or service area: Town of Carmel
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No

If Yes:

• Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_

• Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No

If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No

If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ 800 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_

Sanitary Wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No

If Yes:

- Name of wastewater treatment plant to be used: Town of Carmel Wastewater Treatment Plant
- Name of district: Town of Carmel
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No



• Do existing sewer lines serve the project site?  Yes  No  
 • Will line extension within an existing district be necessary to serve the project?  Yes  No  
 If Yes:  
 • Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:  
 • Applicant/sponsor for new district: \_\_\_\_\_  
 • Date application submitted or anticipated: \_\_\_\_\_  
 • What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:  
 i. How much impervious surface will the project create in relation to total size of project parcel?  
 \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (impervious surface)  
 \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (parcel size)  
 ii. Describe types of new point sources. \_\_\_\_\_  
 \_\_\_\_\_

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
 \_\_\_\_\_  
 • If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_  
 \_\_\_\_\_  
 • Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:  
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)  
 \_\_\_\_\_  
 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)  
 \_\_\_\_\_  
 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)  
 \_\_\_\_\_

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:  
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No  
 ii. In addition to emissions as calculated in the application, the project will generate:  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)  
 • \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No  
 If Yes:  
 i. Estimate methane generation in tons/year (metric): \_\_\_\_\_  
 ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

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i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No  
 If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

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j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No  
 If Yes:  
 i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.  
 ii. For commercial activities only, projected number of semi-trailer truck trips/day: \_\_\_\_\_  
 iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_  
 iv. Does the proposed action include any shared use parking?  Yes  No  
 v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

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vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site?  Yes  No  
 vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No  
 viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

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k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No  
 If Yes:  
 i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_  
 TBD  
 ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): \_\_\_\_\_  
 Grid/Local Utility  
 iii. Will the proposed action require a new, or an upgrade to, an existing substation?  Yes  No

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l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____ *</li> <li>• Saturday: _____ *</li> <li>• Sunday: _____ *</li> <li>• Holidays: _____ *</li> </ul>	<p>ii. During Operations:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____ *</li> <li>• Saturday: _____ *</li> <li>• Sunday: _____ *</li> <li>• Holidays: _____ *</li> </ul>
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(\*) In Accordance with Town Requirements

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No

If yes:

i. Provide details including sources, time of day and duration:  
 HVAC Equipment \_\_\_\_\_

ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_

---

n. Will the proposed action have outdoor lighting?  Yes  No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  
 Please Refer to the Lighting Plan associated with the subject property. The proposed lighting includes wall mounted lights on building structures and pole mounted lights (mounting height = 20 FT) with full shielding.

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_

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o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No  
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: \_\_\_\_\_

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p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No

If Yes:

i. Product(s) to be stored Petroleum and diesel

ii. Volume(s) 24,000 gal per unit time \_\_\_\_\_ month (e.g., month, year)

iii. Generally describe proposed storage facilities: \_\_\_\_\_  
 underground storage tanks for gasoline fueling station

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q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No

If Yes:

i. Describe proposed treatment(s): \_\_\_\_\_

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

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r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: \_\_\_\_\_ TBD tons per \_\_\_\_\_ (unit of time)
- Operation : \_\_\_\_\_ +/-20 tons per \_\_\_\_\_ Year (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: TBD
- Operation: Recycling Storage Provided On-Site

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: TBD
- Operation: 10'x10' Trash/Recycling Enclosure

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_

ii. Anticipated rate of disposal/processing:

- \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or
- \_\_\_\_\_ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: \_\_\_\_\_ years

---

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_

\_\_\_\_\_

ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_

\_\_\_\_\_

iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_

\_\_\_\_\_

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No

If Yes: provide name and location of facility: \_\_\_\_\_

\_\_\_\_\_

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: \_\_\_\_\_

\_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)

Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_

ii. If mix of uses, generally describe: \_\_\_\_\_

\_\_\_\_\_

b. Land uses and covertsypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0.58	0.51	-0.07
• Forested	N/A	N/A	N/A
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	0.34	0.41	+0.07
• Agricultural (includes active orchards, field, greenhouse etc.)	N/A	N/A	N/A
• Surface water features (lakes, ponds, streams, rivers, etc.)	N/A	N/A	N/A
• Wetlands (freshwater or tidal)	N/A	N/A	N/A
• Non-vegetated (bare rock, earth or fill)	N/A	N/A	N/A
• Other Describe: _____	N/A	N/A	N/A

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
If Yes,  
i. Identify Facilities: \_\_\_\_\_

e. Does the project site contain an existing dam?  Yes  No  
If Yes:  
i. Dimensions of the dam and impoundment:  
• Dam height: \_\_\_\_\_ feet  
• Dam length: \_\_\_\_\_ feet  
• Surface area: \_\_\_\_\_ acres  
• Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection: \_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
If Yes:  
i. Has the facility been formally closed?  Yes  No  
• If yes, cite sources/documentation: \_\_\_\_\_  
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: \_\_\_\_\_  
iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: \_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): 0404621 & 0907948  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
If yes, provide DEC ID number(s): \_\_\_\_\_  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): \_\_\_\_\_

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_

---

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ 4 feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ %

c. Predominant soil type(s) present on project site:

Uc - Udorthents, wet substratum	_____	80 %
Uf - Urban land	_____	20 %
	_____	%

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ 1.5 to 6 feet

e. Drainage status of project site soils:  Well Drained: \_\_\_\_\_ % of site  
 Moderately Well Drained: \_\_\_\_\_ % of site  
 Poorly Drained 100 % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: \_\_\_\_\_ 100 % of site  
 10-15%: \_\_\_\_\_ % of site  
 15% or greater: \_\_\_\_\_ % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name \_\_\_\_\_ Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
 If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_

---

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100 year Floodplain?  Yes  No

k. Is the project site in the 500 year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No

If Yes:

i. Name of aquifer: Principal Aquifer \_\_\_\_\_

m. Identify the predominant wildlife species that occupy or use the project site: \_\_\_\_\_  
 Typical to Region \_\_\_\_\_  
 \_\_\_\_\_

n. Does the project site contain a designated significant natural community?  Yes  No  
 If Yes:  
 i. Describe the habitat/community (composition, function, and basis for designation): \_\_\_\_\_  
 \_\_\_\_\_  
 ii. Source(s) of description or evaluation: \_\_\_\_\_  
 iii. Extent of community/habitat:  
 • Currently: \_\_\_\_\_ acres  
 • Following completion of project as proposed: \_\_\_\_\_ acres  
 • Gain or loss (indicate + or -): \_\_\_\_\_ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species?  Yes  No  
 To be confirmed by Report.

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern?  Yes  No  
 To be confirmed by Report.

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing?  Yes  No  
 If yes, give a brief description of how the proposed action may affect that use: \_\_\_\_\_  
 \_\_\_\_\_

**E.3. Designated Public Resources On or Near Project Site**

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304?  Yes  No  
 If Yes, provide county plus district name/number: \_\_\_\_\_

b. Are agricultural lands consisting of highly productive soils present?  Yes  No  
 i. If Yes: acreage(s) on project site? \_\_\_\_\_  
 ii. Source(s) of soil rating(s): \_\_\_\_\_

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark?  Yes  No  
 If Yes:  
 i. Nature of the natural landmark:  Biological Community  Geological Feature  
 ii. Provide brief description of landmark, including values behind designation and approximate size/extent: \_\_\_\_\_  
 \_\_\_\_\_

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area?  Yes  No  
 If Yes:  
 i. CEA name: \_\_\_\_\_  
 ii. Basis for designation: \_\_\_\_\_  
 iii. Designating agency and date: \_\_\_\_\_

<p>e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places?</p> <p>If Yes:</p> <p>i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site    <input type="checkbox"/> Historic Building or District</p> <p>ii. Name: _____</p> <p>iii. Brief description of attributes on which listing is based: _____</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?</p>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<p>g. Have additional archaeological or historic site(s) or resources been identified on the project site?</p> <p>If Yes:</p> <p>i. Describe possible resource(s): _____</p> <p>ii. Basis for identification: _____</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?</p> <p>If Yes:</p> <p>i. Identify resource: _____</p> <p>ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____</p> <p>iii. Distance between project and resource: _____ miles.</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?</p> <p>If Yes:</p> <p>i. Identify the name of the river and its designation: _____</p> <p>ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? _____</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No  <input type="checkbox"/> Yes <input type="checkbox"/> No

**F. Additional Information**

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name NY Fuels Distributors, LLC Date 06/06/2016

Signature \_\_\_\_\_ Title Project Engineer

**PRINT FORM**





SOURCE: US DEPT. OF THE INTERIOR, GEOLOGICAL SURVEY 7.5 MINUTE SERIES 7.5 MINUTE SERIES LAKE CARMEL, NY QUADRANGLE 2013

**LOCATION MAP**

SCALE: 1" = 2,000'±

**SITE PLAN  
FOR  
NY FUEL DISTRIBUTORS, LLC  
PROPOSED CONVENIENCE STORE  
AND FUELING STATION**

BLOCK I, LOT 40  
1923 U.S. ROUTE 6  
TOWN OF CARMEL  
PUTNAM COUNTY, NEW YORK

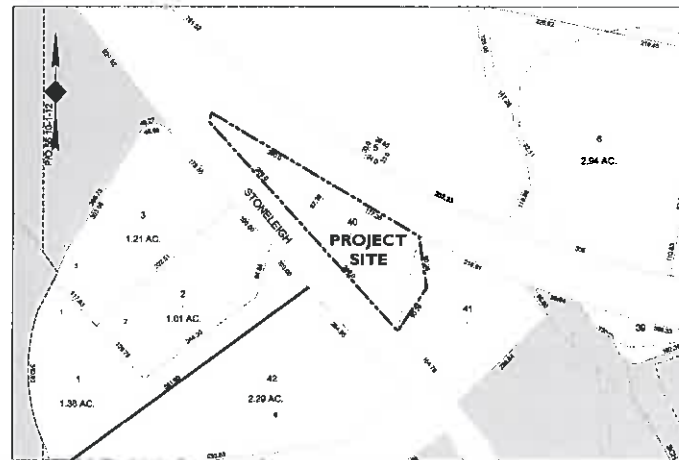
TOWN CERTIFICATION	
1. I, _____, SECRETARY OF THE TOWN OF CARMEL, NY, HEREBY CERTIFY THAT THE SITE PLAN MEETS ALL OF THE REQUIREMENTS OF SEALS OF THE TOWN OF CARMEL ZONING ORDINANCE.	
SECRETARY - PLANNING BOARD	GATE
TOWN ENGINEER	GATE



SOURCE: AERIAL MAP FROM GOOGLE EARTH PRO, LANDSAT IMAGERY DATE 09/2015

**AERIAL MAP**

SCALE: 1" = 100'±



SOURCE: TOWN OF CARMEL TAX MAP 5/11 LAST REVISED FEBRUARY 21, 2013

**TAX MAP**

SCALE: 1" = 100'±

PLANS PREPARED BY:



Rutherford, NJ · Long Island City, NY · Royal Oak, MI  
www.stonefieldeng.com

Headquarters: 75 Orient Way, Suite 303, Rutherford, NJ 07070  
Phone 201.340.4468 · Fax 201.340.4472



Know what's below  
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**APPLICANT**

COCO FARMS  
235 MAHARONECK AVENUE  
SUITE 300  
WHITE PLAINS, NY 10605

**OWNER**

NY DEALER STATIONS LLC  
15 ST. CHARLES STREET  
THORNWOOD, NY 10914

NO.	DATE	BY	DESCRIPTION
1	10/20/15	SC	REVISED PER PLANNING BOARD SECRETARY COMMENTS
2	10/20/15	SC	DRAFT SET

NOT APPROVED FOR CONSTRUCTION

**STONEFIELD**  
engineering & design

Rutherford, NJ · Long Island City, NY · Royal Oak, MI  
www.stonefieldeng.com  
Headquarters: 75 Orient Way, Suite 303, Rutherford, NJ 07070  
Phone 201.340.4468 · Fax 201.340.4472

**NY FUEL DISTRIBUTORS, LLC**

**PROPOSED CONVENIENCE STORE  
AND FUELING STATION**

BLOCK I, LOT 40  
1923 U.S. ROUTE 6  
TOWN OF CARMEL  
PUTNAM COUNTY, NEW YORK

SITE PLAN

JEFFREY A. MARTELL, P.E.  
1917 YORK STREET, SUITE 100  
LEWIS & CLARK, BUSINESS



SCALE: AS SHOWN PROJECT NO. T2086

COVER SHEET

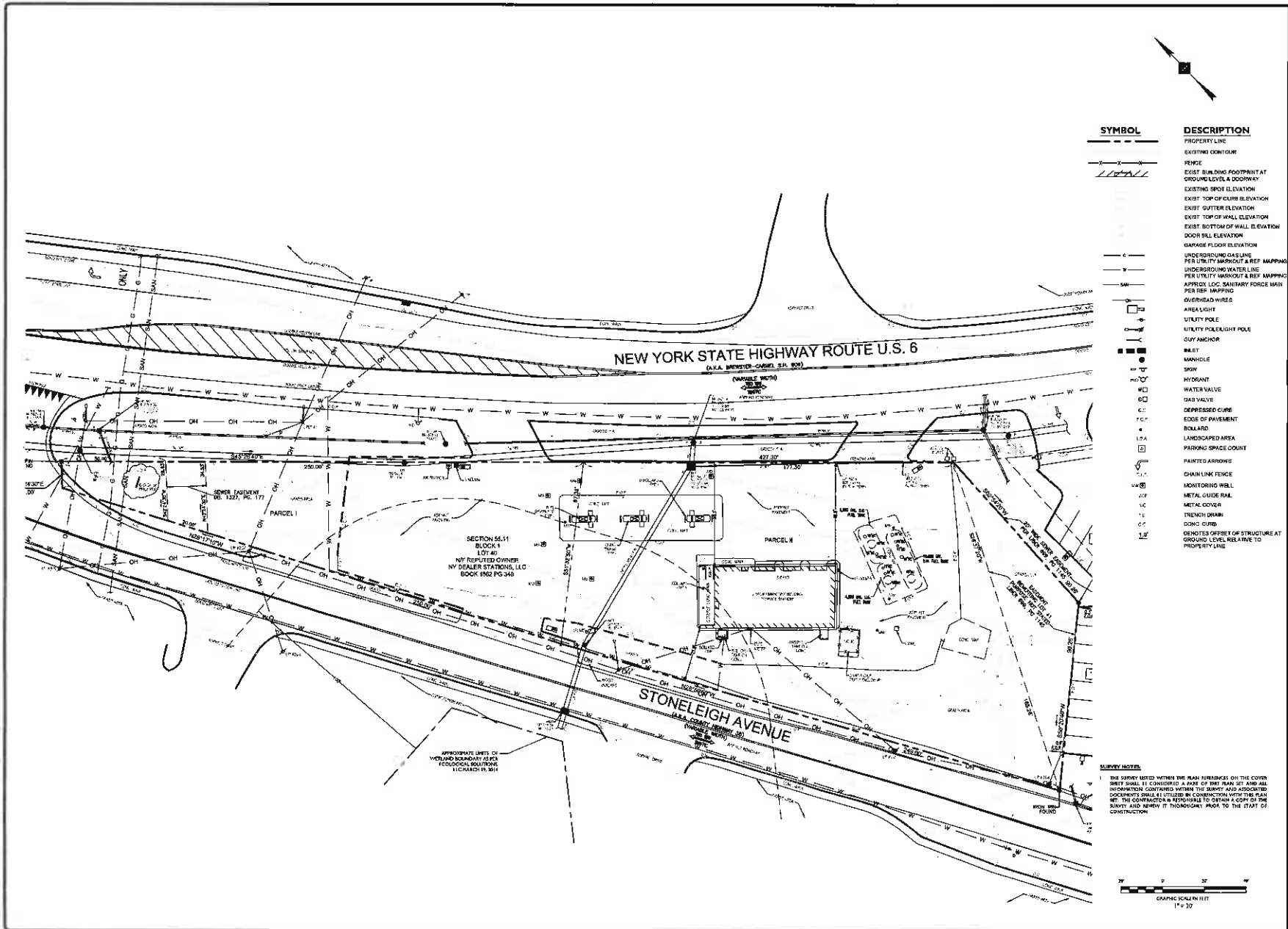
DATE: 10/20/15

C-1

SHEET INDEX	
DRAWING TITLE	SHEET #
COVER SHEET	C-1
EXISTING CONDITIONS PLAN	C-2
DEMOLITION PLAN	C-3
SITE PLAN	C-4
GRADING & DRAINAGE PLAN	C-5
LUTILITY PLAN	C-6
LIGHTING PLAN	C-7
SOIL EROSION & SEDIMENT CONTROL PLAN	C-8
LANDSCAPING PLAN & DETAILS	C-9 - C-10
CONSTRUCTION DETAILS	C-11 - C-13
500 FT RADIUS PROPERTY OWNER MAP	1 OF 1

**PLAN REFERENCE MATERIALS:**

1. THIS PLAN SET IMPROVES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
  - BOUNDARY & TOPOGRAPHIC SURVEY, PREPARED BY GALLAS ENGINEERING DATED OCTOBER 3, 2013.
  - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO, LANDSAT IMAGERY DATE 09/2015.
  - LOCATION MAP OBTAINED FROM US GEOLOGICAL SURVEY 7.5 MINUTE SERIES LAKE CARMEL, NY QUADRANGLE 2013.
2. ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET. ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONSTRUCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.



SYMBOL	DESCRIPTION
---	PROPERTY LINE
- - - -	EXISTING CONTOUR
X X X X	FENCE
▭	EXIST BUILDING FOOTPRINT AT GROUND LEVEL & DOORWAY
○	EXISTING SPOT ELEVATION
○	EXIST TOP OF CURB ELEVATION
○	EXIST GUTTER ELEVATION
○	EXIST TOP OF WALL ELEVATION
○	EXIST BOTTOM OF WALL ELEVATION
○	DOOR SILL ELEVATION
○	GARAGE FLOOR ELEVATION
○	UNDERGROUND GAS LINE PER UTILITY MARKOUT & REF. MAPPING
○	UNDERGROUND WATER LINE PER UTILITY MARKOUT & REF. MAPPING
○	APPROX. LOC. SANITARY FORCE MAIN PER REF. MAPPING
○	OVERHEAD WIRES
○	AREA LIGHT
○	UTILITY POLE
○	UTILITY POLE/RIGHT POLE
○	GUY ANCHOR
○	WALLET
○	MANHOLE
○	SEWER
○	WATER VALVE
○	GAS VALVE
○	DEPRESSED CURB
○	EDGE OF PAVEMENT
○	BOLLARD
○	LANDSCAPED AREA
○	PARKING SPACE COUNT
○	PAINTED ARROWS
○	CHAINLINE FENCE
○	MONITORING WELL
○	METAL GUIDE RAIL
○	METAL COVER
○	TRENCH DRAIN
○	DRIVE CURB
○	IDENTIFIED CENTER OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE

**NOTICE:**  
THE SURETY LISTED WITHIN THIS PLAN REFERENCE ON THE COVER SHEET SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THE SURETY AND ASSOCIATED DOCUMENTS SHALL BE UTILIZED IN CONNECTION WITH THE PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE SURETY AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

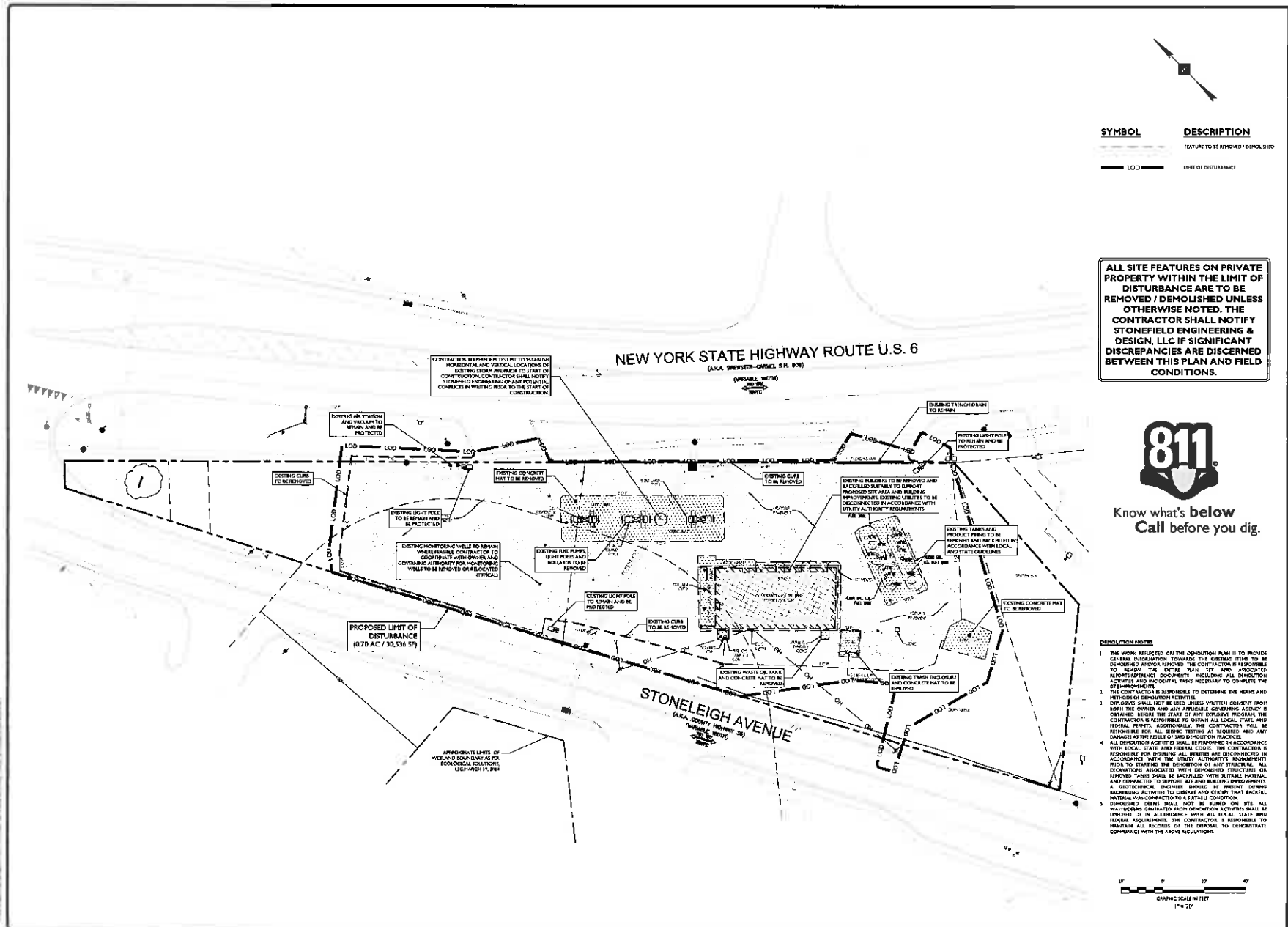
SCALE: 1" = 30'  
PROJECT NO. 1438M  
TITLE: EXISTING CONDITIONS PLAN  
DRAWING: C-2

<b>NY FUEL DISTRIBUTORS, LLC</b> <b>PROPOSED CONVENIENCE STORE AND FUELING STATION</b> BUSSELL LOT #6 1703 U.S. ROUTE 6 PUTNAM COUNTY, NEW YORK	
JEFFREY A. MARTELL, P.E. NEW YORK LICENSE NO. 08157 LICENSE PROFESSIONAL ENGINEER	
SCALE: 1" = 30' PROJECT NO. 1438M TITLE: EXISTING CONDITIONS PLAN DRAWING: C-2	
REVISIONS NO. DATE DESCRIPTION	REVISIONS PER PLANNING BOARD SECRETARY COMMENTS NO. DATE DESCRIPTION

**NOT APPROVED FOR CONSTRUCTION**

**STONEFIELD**  
engineering & design  
Rochester, NY • Long Island City, NY • Royal Oak, MI  
www.stonefielddesign.com

Headquarters: 73 Chancery Way, Suite 303, Rochester, NY 14620  
Phone: 201-346-4488 • Fax: 201-346-4472



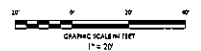
SYMBOL	DESCRIPTION
---	TEXTURE TO BE REMOVED / DEMOLISHED
---	LINE OF DISTURBANCE
---	LOD

**ALL SITE FEATURES ON PRIVATE PROPERTY WITHIN THE LIMIT OF DISTURBANCE ARE TO BE REMOVED / DEMOLISHED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS.**



Know what's below  
Call before you dig.

- DEMOLITION NOTES**
1. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE WORKING STATE TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO VERIFY THE EXISTENCE, DEPTH AND ASSOCIATED IMPORTANCE DOCUMENTS, INCLUDING ALL DEMOLITION ACTIVITIES AND NECESSARY PERMITS NECESSARY TO COMPLETE THE DEMOLITION.
  2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
  3. DEMOLITION SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED BEFORE THE START OF ANY DEMOLITION PROGRAM. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL DEMOLITION ACTIVITIES AND ANY DAMAGE AS THE RESULT OF SAID DEMOLITION PRACTICES.
  4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS AND TO COMPLY WITH ALL APPLICABLE REGULATIONS AND REQUIREMENTS OF ANY STRUCTURE, INCLUDING ASSOCIATED WITH DEMOLITION STRUCTURES OR REMOVED TRASH SHALL BE PACKAGED WITH ROTATED MATERIAL AND CONTACTED TO REMOVE SITE AND BUILDING IMPROVEMENTS A. GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING DEMOLITION ACTIVITIES TO DETERMINE AND ADVISE THAT ANCHORING MATERIALS ARE CONTACTED TO A SATISFACTORY CONDITION.
  5. DEMOLISHED DEBRIS SHALL NOT BE KURD ON SITE. ALL MATERIALS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DEPOSITED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DEMOLITION TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.



NO.	DATE	ISSUE	DESCRIPTION
1	10/20/2023	ISSUE	DRAWING LIST
2	10/20/2023	ISSUE	REVISED PER PLANNING BOARD SECRETARY COMMENTS

NOT APPROVED FOR CONSTRUCTION

**STONEFIELD**  
engineering & design  
Rutherford, NJ · Long Island City, NY · Royal Oak, MI  
www.stonefieldeng.com  
Headquarters: 75 Ocean Way, Suite 303, Rutherford, NJ 07070  
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**NY FUEL DISTRIBUTORS, LLC**  
PROPOSED CONVENIENCE STORE  
AND FUELING STATION  
BLACK LICK ROAD  
PUTNAM COUNTY, NEW YORK

JEFFREY A. MARTPELL, P.E.  
NEW YORK LICENSE NO. 28602  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
engineering & design, llc

SCALE: 1" = 20'  
PROJECT ID: T-1536A  
TITLE: DEMOLITION PLAN

DRAWING: C-3

TABLE OF LAND USE AND ZONING			
BLOCK 1, LOT 49			
COMMERCIAL (C)			
PROPOSED USE	MINIMUM USE	CONDITIONAL USE	
COMMERCIAL STORE AND FUELING STATION	40,000 SF	40,000 SF	40,000 SF
1. FUEL STORAGE REQUIREMENT	REQUIRED	REQUIRED	PROPOSED
2. FUEL CANOPY AREA	4,800 SF	4,800 SF	4,800 SF
3. FUEL TANK WIDTH	20 FT	20 FT	20 FT
4. FUEL TANK DEPTH	20 FT	20 FT	20 FT
5. FUEL TANK COVER	30 FT	30 FT	30 FT
6. FUEL TANK AREA	1,800 SF	1,800 SF	1,800 SF
7. FUEL TANK HEIGHT	11 FT	11 FT	11 FT
8. FUEL TANK TRACK	10 FT	10 FT	10 FT
9. FUEL TANK TRACK	10 FT	10 FT	10 FT

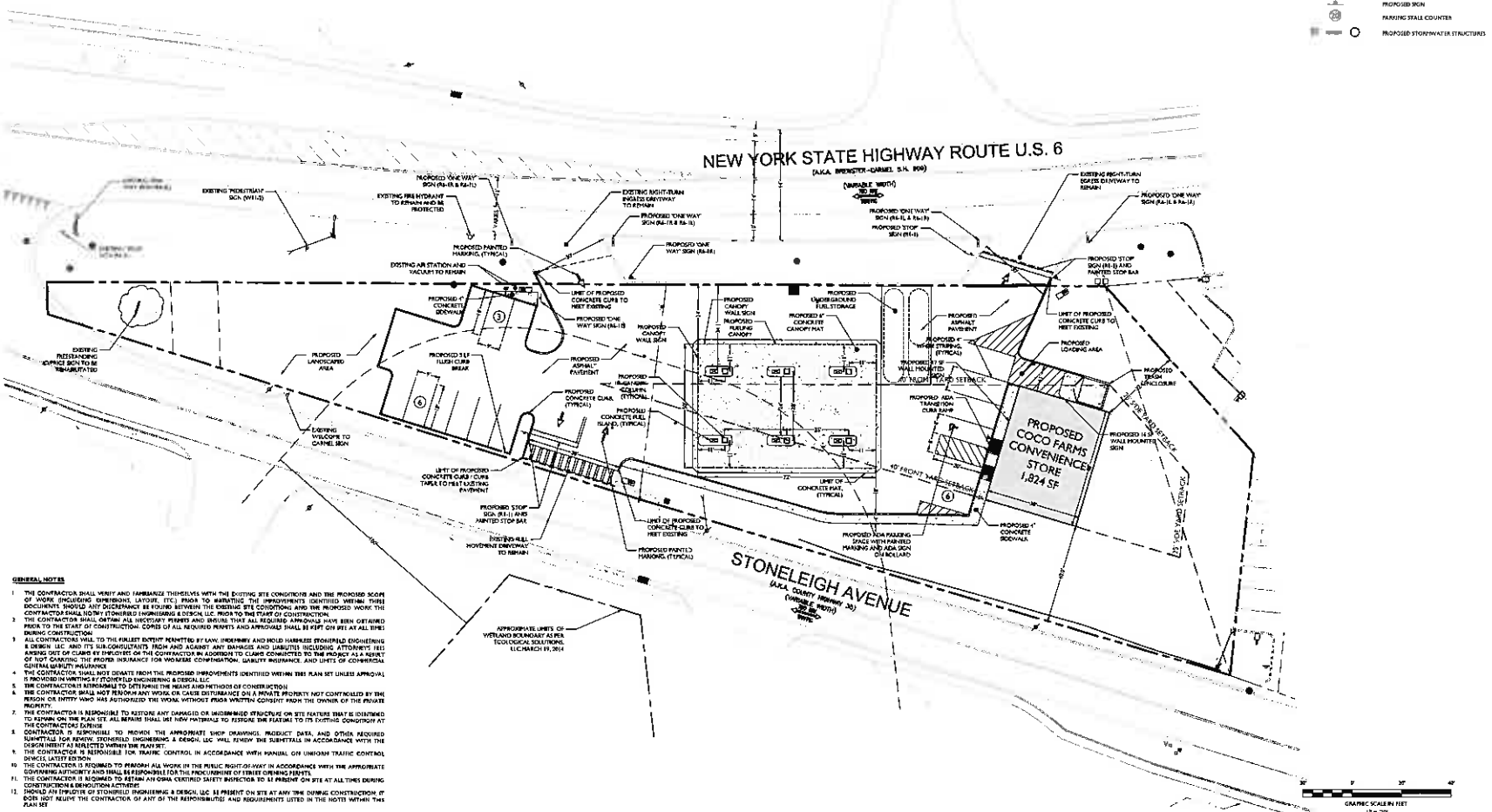
PARKING REQUIREMENT		
ORDINANCE SECTION	REQUIRED	PROPOSED
SECTION 16-4-1	COMMERCIAL (C) 1 SPACE PER 100 SF OF GROSS FLOOR AREA	11 PARKING SPACES
SECTION 16-4-2	FUEL CANOPY 1 SPACE PER 100 SF OF GROSS FLOOR AREA	11 FT
	IF PARKING SPACES ARE REQUIRED	11 FT
	PARKING STALL DEPTH 10 FT	10 FT

CONDITIONAL USE CRITERIA		
SECTION	REQUIRED	PROPOSED
SECTION 16-4-1	FUEL STORAGE AREA 1,800 SF	1,800 SF
	FUEL STORAGE CANOPY 4,800 SF	4,800 SF
	FUEL TANK WIDTH 20 FT	20 FT
	FUEL TANK DEPTH 20 FT	20 FT
	FUEL TANK COVER 30 FT	30 FT
	FUEL TANK AREA 1,800 SF	1,800 SF
	FUEL TANK HEIGHT 11 FT	11 FT
	FUEL TANK TRACK 10 FT	10 FT
	FUEL TANK TRACK 10 FT	10 FT

SIGNAGE REQUIREMENTS		
ORDINANCE SECTION	REQUIRED	PROPOSED
SECTION 16-4-1	NOT MORE THAN ONE EXTERIOR SIGN SHALL BE PERMITTED FOR EACH COMMERCIAL ESTABLISHMENT ON EACH WALL FACING A STREET	1 BUILDING MOUNTED SIGN (AND) CANOPY MOUNTED WALL SIGN
SECTION 16-4-2	MAXIMUM AREA OF SIGNAGE SHALL NOT EXCEED 10% OF THE TOTAL AREA OF THE BUILDING FACADE	EASTERN BUILDING FACADE 1,500 SF WESTERN BUILDING FACADE 1,500 SF NORTHERN CANOPY FACADE 1,500 SF WESTERN CANOPY FACADE 1,500 SF
SECTION 16-4-3	NO SIGN ON BUILDING SHALL BE PLACED AGAINST THE EXTERIOR WALL AND SHALL BE PROJECTED FROM THE WALL TO WHICH IT IS ATTACHED TO A MINIMUM OF 12 INCHES FROM THE WALL TO WHICH IT IS ATTACHED	COMPLIES
SECTION 16-4-4	THE TOTAL AREA OF ALL SIGNS OF A FREESTANDING SIGN SHALL NOT EXCEED 10% OF THE TOTAL AREA OF THE SIGN	COMPLIES

ESTIMATED NUMBER OF EMPLOYEES: TWO (2) PER SHIFT

SYMBOL	DESCRIPTION
---	PROPERTY BOUNDARY
- - - -	ADJACENT PROPERTY BOUNDARY
---	PROPOSED CURB
---	PROPOSED DRIVEWAY OR FLOOR CURB
---	PROPOSED ADA PATH
---	PROPOSED BUILDING
---	PROPOSED CONCRETE AREA
---	PROPOSED SIGN
---	PARKING STALL CENTER
---	PROPOSED STORM WATER STRUCTURES



- GENERAL NOTES**
- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE PROPOSED WORK. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
  - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
  - ALL CONTRACTORS SHALL TO THE FULLEST EXTENT PERMITTED BY LAW, PROTECT AND MAINTAIN EXISTING UTILITIES (INCLUDING WATER, GAS, AND TELEPHONE LINES) AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO SUCH UTILITIES. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO ANY WORK THAT MAY AFFECT SUCH UTILITIES.
  - THE CONTRACTOR SHALL NOT CONDUIT FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS FOR CONSTRUCTION.
  - THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK, WITHOUT FIRST OBTAINING THE WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
  - THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGE OR IMPROVED PROPERTIES ON SITE FEATURES THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL BE NEW MATERIALS TO RESTORE THE EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
  - CONTRACTOR IS RESPONSIBLE TO REMOVE THE APPROPRIATE TRAFFIC CONTROL DEVICES, SIGNAGE, AND OTHER REQUIRED DEVICES AS DIRECTED BY THE CONTRACTOR.
  - THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION.
  - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AGENCY AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THESE OPENED EVENTS.
  - THE CONTRACTOR IS RESPONSIBLE TO OBTAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION OF THIS PROJECT.
  - STONEFIELD ENGINEERING & DESIGN, LLC IS PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION IF NOT OTHERWISE NOTIFIED BY THE CONTRACTOR. ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.

NO.	REVISION	DATE	BY	DESCRIPTION
1	ISSUE			
2	REVISION			
3	REVISION			

NOT APPROVED FOR CONSTRUCTION

**STONEFIELD**  
engineering & design

Rutherford, NJ • Long Island City, NY • Royal Oak, MI  
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**STONEFIELD**  
engineering & design

**NY FUEL DISTRIBUTORS, LLC**  
**PROPOSED CONVENIENCE STORE AND FUELING STATION**

Block 1, Lot 49  
100 U.S. ROUTE 6  
MUNICIPALITY OF STONELEIGH, NEW YORK

JEFFREY A. MARTELL, P.E.  
NEW YORK LICENSE NO. 18834  
LICENSED PROFESSIONAL ENGINEER

SCALE: 1"=30' PROJECT NO: T419M

SITE PLAN

DRAWING

C-4

**DEMARKING AND UTILITY NOTES**

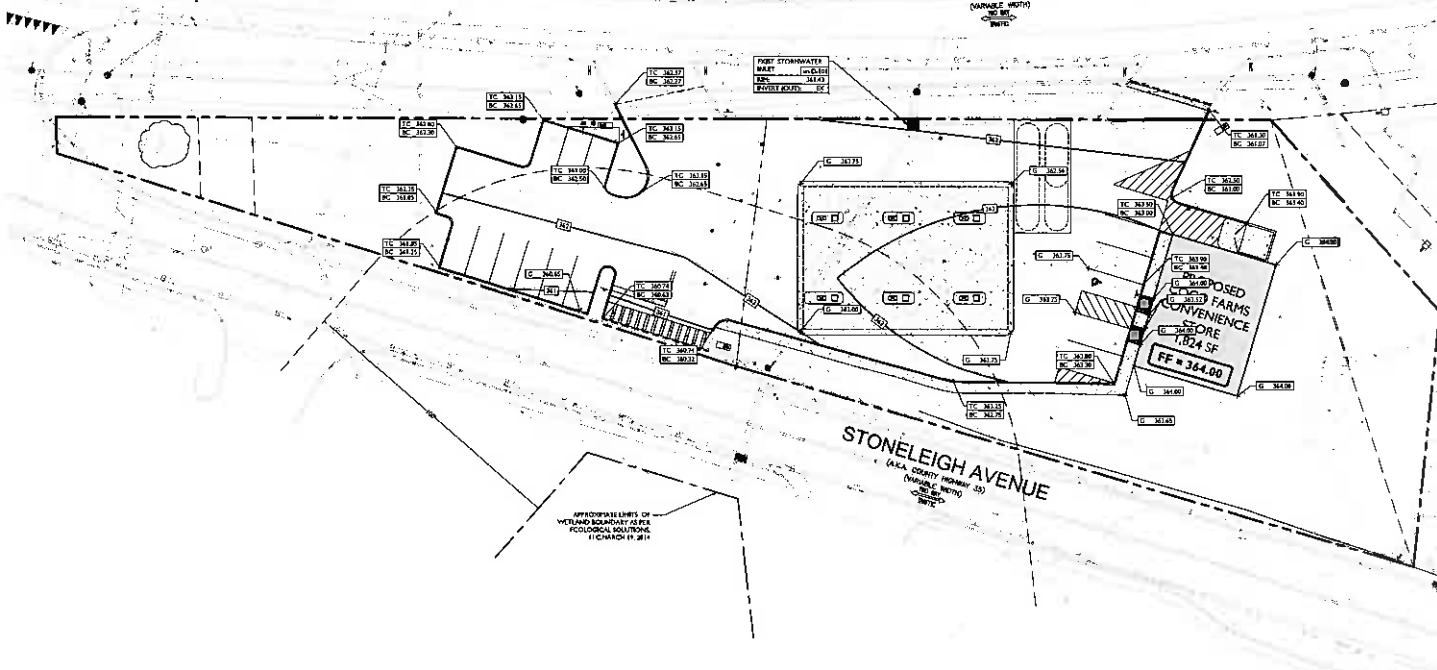
1. THE CONTRACTOR TO VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION (RECOMMEND 6 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CASING(S) FOR FRESHWATER IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC BY WRITING.
2. CONSTRUCTION SHALL START CONSTRUCTION OF STORM LINES AT THE LOWEST INVERT AND WORK UP GRADIENT.
3. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AGENCY FOR NOTICE OF CONSTRUCTION/CAUTION AND STREETS MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO OBTAIN THE HORIZONTAL AND VERTICAL LOCATIONS OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATIONS OF A UTILITY AND THE LOCATIONS SHOWN ON THE PLAN SET OR TIE-IN, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY BY WRITING. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS SHOWN ON THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

**EXCAVATION, SOIL PREPARATION AND DEWATERING NOTES**

1. THE CONTRACTOR IS REQUIRED TO VERIFY THE RELEVANT GEOLOGICAL DOCUMENTS PRIOR TO CONSTRUCTION. THESE DOCUMENTS SHALL BE CONSIDERED A PART OF THE PLAN SET.
2. THE CONTRACTOR IS REQUIRED TO REMOVE EXCESSIVE SOIL BEHIND ALL PROPOSED IMPROVEMENTS AND BACKFILL ALL EXCAVATIONS IN ACCORDANCE WITH RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER OF RECORD.
3. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHORING FOR ALL EXCAVATIONS AS REQUIRED. CONTRACTOR SHALL HAVE THE SHORING DESIGN PROVIDED BY A QUALIFIED PROFESSIONAL SHORING DESIGNER. THIS SHALL BE SUBMITTED TO STONEFIELD ENGINEERING & DESIGN, LLC AND THE OWNER PRIOR TO THE START OF CONSTRUCTION.
4. THE CONTRACTOR IS RESPONSIBLE FOR DESIGNING (OR DESIGNING THAT ALL OPEN EXCAVATIONS ARE PERFORMED AND PROTECTED IN ACCORDANCE WITH THE LATEST OSHA REGULATIONS).
5. THE CONTRACTOR IS RESPONSIBLE FOR ANY Dewatering DESIGN AND OPERATIONS AS REQUIRED TO CONTRIBUTE TO THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEWATERING OPERATIONS AND GROUNDWATER DISPOSAL.

SYMBOL	DESCRIPTION
	PROPERTY LINE
	PROPOSED GRADING CONTOUR
	PROPOSED GRADING SLOPELINE
	PROPOSED DIRECTION OF DRAINAGE FLOW
	PROPOSED GRADE SPOT SHOT
	PROPOSED TOP OF CURB BOTTOM OF CURB SPOT SHOT

**NEW YORK STATE HIGHWAY ROUTE U.S. 6**  
(A.K.A. INTERSTATE ROUTE 91 909)

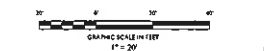


**GRADING NOTES**

1. ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DEPOSITED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DEWATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE REMOVAL OF OR DISPOSAL OF GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTAIN FULLY COMPACTED SHALL MEET THE REQUIREMENTS OF ALL LOCAL MATERIALS REQUIRED TO THE SITE.
2. THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION OPERATIONS INCLUDING BUT NOT LIMITED TO EXISTING STRUCTURES TO MAINTAIN THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND TO PROTECT THE EXISTING GROUNDWATER.
3. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 6 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL VERIFY EXISTING CURB GRADES WITH STONEFIELD ENGINEERING & DESIGN, LLC FOR REVIEW AND APPROVAL.
4. THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND KEEP ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE LOCAL, STATE, FEDERAL AND UTILITY AGENCY REGULATIONS.
5. MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:  
 + CONCRETE SURFACES 1:80  
 + ASPHALT SURFACES 1:100  
 + GRAVEL 1:60  
 + HERMELIN SLOPE OF 4:80 SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IF THE CONDITION CANNOT BE MET.
6. TOP SURFACES WHERE PONDING IS PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE CAUSE OF GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED, NOTIFY THE AGENCIES AND LOCAL PROFESSIONAL ENGINEERS. THE CONTRACTOR SHALL BE RESPONSIBLE TO REDESIGN/RECONSTRUCT BY THE CONSTRUCTION CODES OFFICIAL. IF THE CONTRACTOR SHALL VERIFY EXISTING CURB GRADES WITH STONEFIELD ENGINEERING & DESIGN, LLC FOR REVIEW AND APPROVAL.

**ADA NOTES**

1. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 3.0% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
2. THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING SPACES IN ACCORDANCE WITH THE REGULATIONS.
3. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 1.8% RAMPING SLOPE AND A MAXIMUM OF 1:12 SLOPE SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL. FOR THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH, THE CONTRACTOR IS RESPONSIBLE TO IMPROVE THE ACCESSIBLE PATH OF TRAVEL TO 36 INCHES WIDE OR GREATER UNLESS OTHERWISE INDICATED OTHERWISE WITHIN THE PLAN SET.
4. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 1.0% SLOPE IN ANY DIRECTION OF ALL LANDSCAPE GRASSING AREAS. BUT NOT LIMITED TO THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP AT AND BETWEEN THE RAMP AND AN ADA COMPLIANT WALKWAY AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE GRASSING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 36 INCHES BY 48 INCHES UNLESS OTHERWISE INDICATED OTHERWISE WITHIN THE PLAN SET.
5. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8:12% RAMPING SLOPE AND A MAXIMUM 1:12 SLOPE BOTH ON AND OFF RAMP ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP ELEVATIONS SHALL NOT BE GREATER THAN 4 INCHES. A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP FOR ALTERNATIVE. A CURB RAMP SHALL NOT BE MORE THAN 8 INCHES GREATER THAN 8:12% IN A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURB RAMP SHALL NOT BE MORE THAN 8 INCHES IN HEIGHT WITHOUT A HANDRAIL. THE CLEAR WIDTH OF ACCESSIBLE RAMP SHALL BE 36 INCHES UNLESS OTHERWISE INDICATED OTHERWISE WITHIN THE PLAN SET.
6. ACCESSIBLE RAMP WITH A SLOPE GREATER THAN 8 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT BE MORE THAN 36 INCHES IN HEIGHT WITHOUT A HANDRAIL. THE CLEAR WIDTH OF ACCESSIBLE RAMP SHALL BE 36 INCHES UNLESS OTHERWISE INDICATED OTHERWISE WITHIN THE PLAN SET.
7. A SLOPE RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH OF TRAVEL.
8. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM OF 2 INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN 2 INCHES AND 4 INCHES IS REQUIRED, THE CONTRACTOR SHALL PROVIDE THAT THE TOP 2 INCHES CHANGE IN LEVEL IS BLENDED WITH A SLOPE NOT STEEPER THAN 1:48 VERTICAL AND HORIZONTAL DIRECTION.
9. THE CONTRACTOR SHALL MAINTAIN THAT ANY OPENINGS (GAPS OR HOLES) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A sphere GREATER THAN 3 INCH.



NO.	DATE	BY	DISCUSSION
1	10/15/2024	JRM	ISSUE FOR PERMITS
2	10/15/2024	JRM	ISSUE FOR PERMITS
3	10/15/2024	JRM	ISSUE FOR PERMITS

NOT APPROVED FOR CONSTRUCTION

**STONEFIELD**  
engineering & design  
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Phone: 201.364.4448 • Fax: 201.364.4472

**NY FUEL DISTRIBUTORS, LLC**  
**PROPOSED CONVENIENCE STORE AND FUELING STATION**  
1000 S. LINDEN AVE.  
TOWN OF CARLETON,  
PUTNAM COUNTY, NEW YORK

JEREMY A. MARTELL, P.E.  
NEW YORK LICENSE NO. 00000000000000000000  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
engineering & design, llc  
SCALE: 1"=20' PROJECT ID: 241886  
**GRADING & DRAINAGE PLAN**  
DRAWING:  
**C-5**

NEW YORK STATE HIGHWAY ROUTE U.S. 6  
(A.K.A. BREWSTER-CHEMEL STA. RD.)

STONELEIGH AVENUE  
(A.K.A. COUNTY HIGHWAY 33)  
(NORTH SIDE)

PROPOSED COCO FARMS  
CONVENIENCE STORE  
1,624 SF  
FF = 364.00

SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	PROPOSED GRADING CONTOUR
---	PROPOSED SANITARY LINE
---	PROPOSED WATER LINE
---	PROPOSED ELECTRICAL/ODATA CONDUITS
---	PROPOSED GAS LINE
---	PROPOSED VALVE

- DAMAGE AND UTILITY NOTES:**
1. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO COMPLY TO HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN (IF OR SURVEY), THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY THEREON.
  2. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
  3. THE CONTRACTOR IS RESPONSIBLE FOR REMEDIATING ANY DAMAGE TO AND RESTORING UTILITY SERVICES TO BEHIND WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
  4. A MINIMUM HORIZONTAL SEPARATION OF 18 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINE IF THE SEPARATION CANNOT BE PROVIDED. A CONCRETE ENCLOSURE SHALL BE SPECIFIED FOR THE SANITARY SEWER SERVICE APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
  5. ALL WATER UTILITIES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SERVICES. IF THE SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCLOSURE SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
  6. THE CONTRACTOR TO PERSONA A BEE BY MARK TO CONSTRUCTION REQUIRED TO MARK PRIOR AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONSTRUCTION (WHEREVER POSSIBLE) A CONCRETE DOT. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC THEREON.
  7. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS ELECTRIC AND TELECOMMUNICATIONS CONDUITS WITH THE APPROPRIATE GOVERNING AUTHORITY.
  8. CONTRACTOR SHALL STATE CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST WATER FLOW AND WIND UP GRADE ONLY.
  9. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CORRECTLY ANNOTATED. CO-REGISTERED PLANS ON THE CONSTRUCTION SHALL INDICATE THE LOCATION OF UTILITIES. THE RECORD SET SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
  10. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATION OF ALL PROVIDED ENGINEERING INFRASTRUCTURE. THE CONTRACTOR SHALL MARK AND IDENTIFY THE LOCATION OF THE INFRASTRUCTURE AND THE LOCATION DETECTED WITHIN THE PLAN BY THE RECORD SHALL BE PROVIDED TO THE OWNER HOLDING COMPLETION OF WORK.

NO.	DATE	BY	DESCRIPTION
1	11/15/24	W. M. M.	ISSUED FOR CONSTRUCTION
2	11/15/24	W. M. M.	ISSUED FOR CONSTRUCTION

NOT APPROVED FOR CONSTRUCTION

**STONEFIELD**  
engineering & design

Barre, VT - Long Island City, NY - Royal Oak, MI  
www.stonefielddesign.com

Project No. 2024-001  
Phone 201.346.4448 - Fax 201.346.4472

**NY FUEL DISTRIBUTORS, LLC**  
PROPOSED CONVENIENCE STORE  
AND FUELING STATION

1650 S. MAIN ST.  
MOUNTAIN VIEW, NJ 07048  
POTOMAC COUNTY, NEW YORK

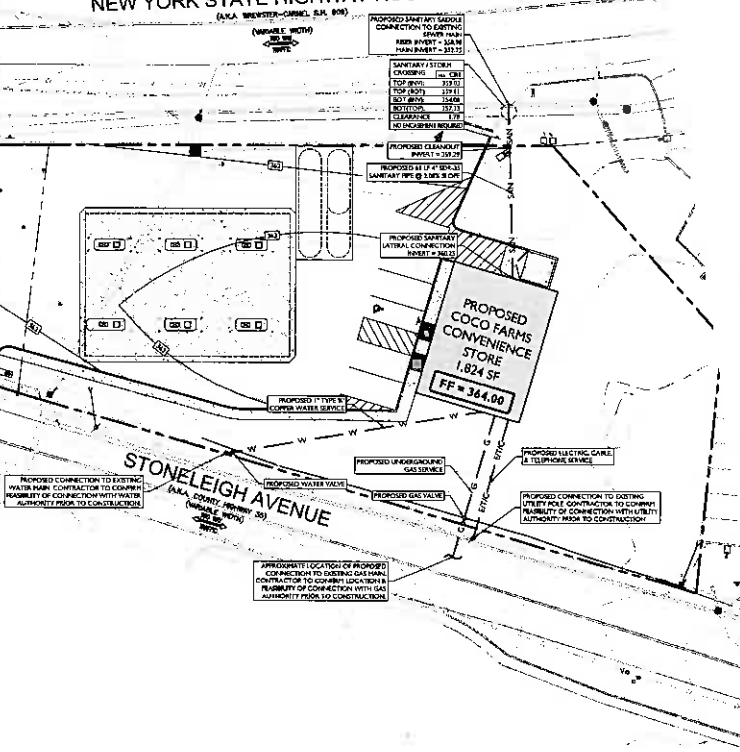
JEFFREY A. MARTELL, P.E.  
NEW YORK LICENSE NO. 13821  
LOCAL PROFESSIONAL ENGINEER

**STONEFIELD**  
engineering & design, llc.

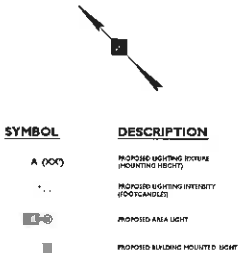
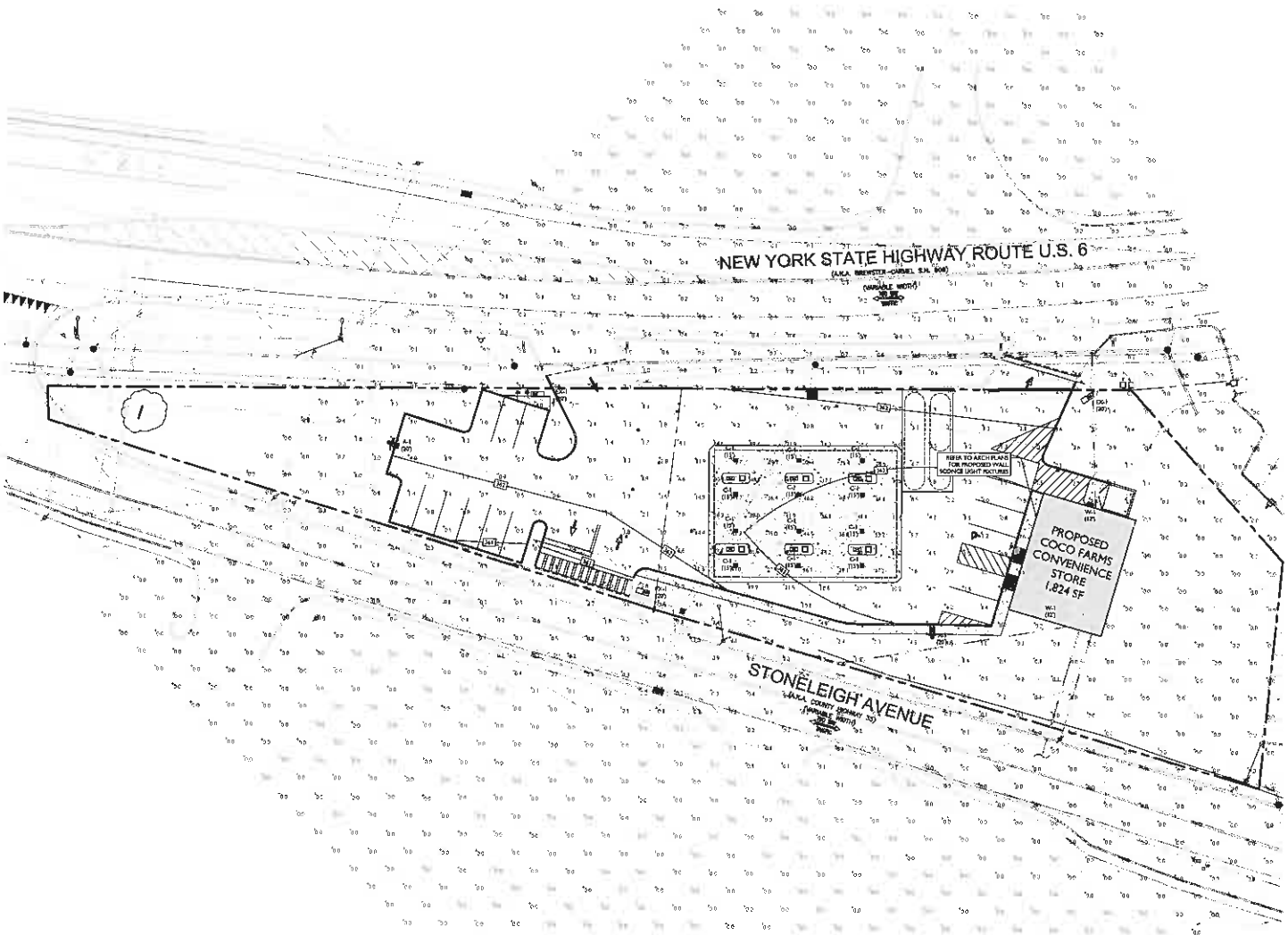
SCALE: 1" = 20'  
PROJECT ID: T-1386

TITLE: UTILITY PLAN

DRAWING: C-6



LUMINAIRE SCHEDULE							
SYMBOL	QUANTITY	LABEL	FIXTURE DETAILS	DIST.	LLF	MANUFACTURER	IES FILE NAME
■	2	A-1	SECURITY RISER'S METAL HALIDE AREA LIGHT (150W)	IV	0.72	SECURITY LIGHTING	PCS-FM-4150-4.IES
□	3	EX-1	SECURITY RISER'S METAL HALIDE AREA LIGHT (150W)	IV	0.72	SECURITY LIGHTING	PCS-FM-4150-4.IES
■	12	C-1	LSI LEGACY LED CANOPY LIGHT	SC	0.89	LSI INDUSTRIES	CRU-5C-LED-HO-CW.IES
■	1	W-1	PATRIOT LED WALL MOUNTED LIGHT (FORWARD THROW)	FT	0.90	LSI INDUSTRIES	XPV53-FT-LED-48-45W-CW.IES



- GENERAL LIGHTING NOTES**
- THE LIGHTING LEVELS DERIVED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER ACTUAL ILLUMINATION DATA AND PERFORMANCE OF ANY PROPOSED FIXTURES MAY VARY DUE TO UNPREDICTABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLES FIELD CONDITION.
  - WHILE APPROXIMATE, THE FOOTING LIGHT LEVELS DERIVED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE FOOTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE APPROVED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
  - UNLESS NOTED OTHERWISE WITHIN THIS PLAN SET, THE FOOTING LIGHT FACTOR USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
    - LIGHT FIXTURE EXPOSED: 0.70
    - HIGH PROTRUSION: 0.72
    - LIFE MOUNTING: 0.73
  - THE CONTRACTOR SHALL NOTIFY REGISTERED ENGINEERING & DESIGN, LLC IN WRITING, PRIOR TO THE START OF CONSTRUCTION OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING/PROPOSED UTILITY OR OTHER IMPROVEMENTS.
  - THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO REMOVE AN EXISTING PLAN OR WIRING AND PROVIDE CONCRETE TO THE OWNER AND STOREFRONT ENGINEERING & DESIGN, LLC.

- EXISTING LIGHT FIXTURES NOTES**
- CONTRACTOR SHALL REMOVE LAMP COVER, RELAX AND REEVALUATE EXISTING LIGHT FIXTURE, EYES ONLY AND MATCH EXISTING LIGHTING DESIGN SUBJECT TO CHANGE IF EXISTING LIGHT FIXTURES ARE NOT GREATER THAN OR EQUAL TO THE FOLLOWING:
    - FIXTURE OUTPUT MINIMUM 150 WATTS
  - CONTRACTOR TO CONTACT ENGINEER AND OWNER IF EXISTING LIGHT FIXTURES ARE NOT IN MINIMUM VOLTAGE REQUIRED.

CONTRACTOR SHALL REUSE THE EXISTING LIGHT POLE FOR PROPOSED LIGHT FIXTURES. THE CONTRACTOR TO EXAMINE THE EXISTING LIGHT POLES IN THE GOOD WORKING CONDITION AND HAS THE CAPACITY TO SUPPORT THE PROPOSED LIGHTING. CONTRACTOR IS RESPONSIBLE TO PROVIDE HOISTING EQUIPMENT TO ATTACH TO EXISTING POLES AS REQUIRED.

NOTE TO ARCHITECT: SEE PROPOSED WALL MOUNTED LIGHT FIXTURES

PROPOSED COCO FARMS CONVENIENCE STORE 1,824 SF

STONELEIGH AVENUE

NEW YORK STATE HIGHWAY ROUTE U.S. 6

SCALE: 1" = 30'

GRAPHIC SCALE IN FEET 1" = 30'

NO.	DATE	BY	DESCRIPTION
1	08/20/24	JM	ISSUED FOR PLANNING BOARD REVIEW / PART COMMENTS
2	08/20/24	JM	ISSUED FOR PLANNING BOARD REVIEW / PART COMMENTS
3	08/20/24	JM	ISSUED FOR PLANNING BOARD REVIEW / PART COMMENTS

NOT APPROVED FOR CONSTRUCTION

**STONEFIELD**  
engineering & design

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www.stonefieldng.com

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**NY FUEL DISTRIBUTORS, LLC**  
PROPOSED CONVENIENCE STORE AND FUELING STATION

BLOCK 1 LOT 14  
TOWN OF CARROLL  
POTTER COUNTY, NEW YORK

JEFFREY A. MARTELL, P.E.  
NEW YORK LICENSE NO. 0016  
LICENSED PROFESSIONAL ENGINEER

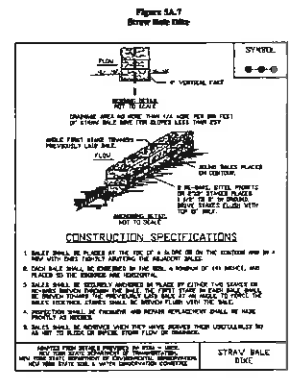
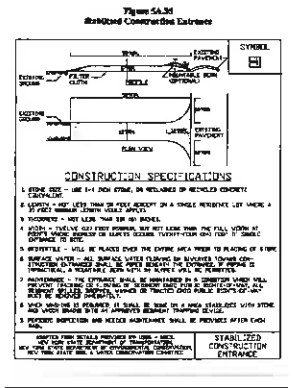
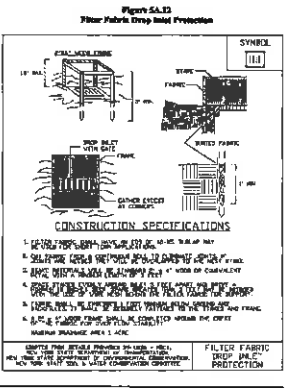
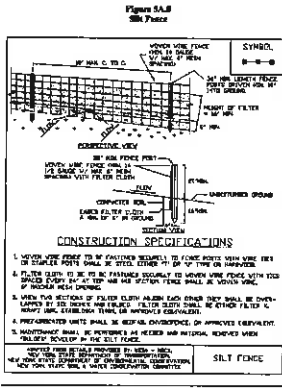
**STONEFIELD**  
engineering & design, llc

SCALE: 1" = 30' PROJECT NO: 141006

TITLE: LIGHTING PLAN

DRAWING: C-7

C-7



SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	LIMIT OF DISTURBANCE
---	SILT FENCE
---	SOIL DELINEATION LINE
---	PROPOSED SOIL STOCKPILE/EQUIPMENT STORAGE AREA
---	INLET FILTER PROTECTION

NO.	DATE	ISSUE	DESCRIPTION
1	02/01/22	ISSUE	ISSUED FOR PERMITTING
2	02/01/22	ISSUE	ISSUED FOR PERMITTING
3	02/01/22	ISSUE	ISSUED FOR PERMITTING

NOT APPROVED FOR CONSTRUCTION

**STONEFIELD**  
engineering & design

Route 90, Royal Oak, NJ  
www.stonefielddesign.com  
Phone: 201.360.4648 Fax: 201.360.4672

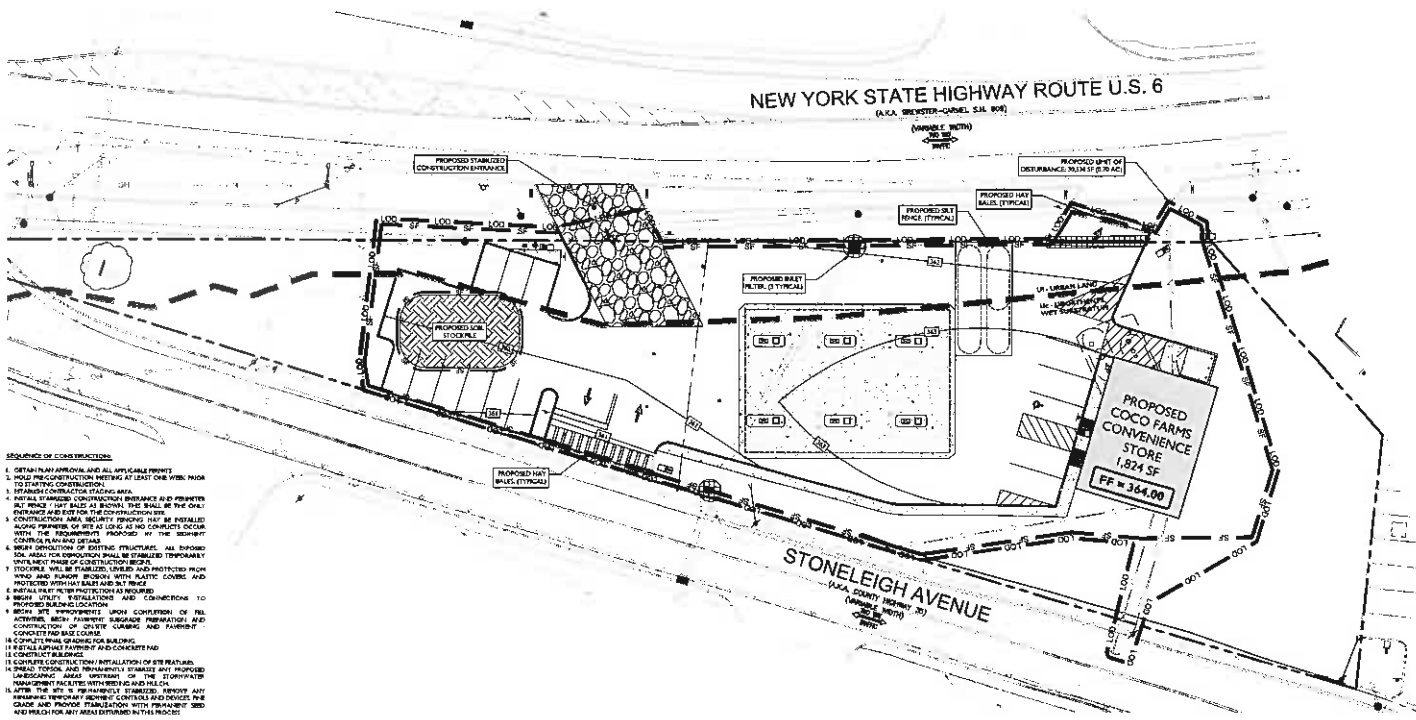
**NY FUEL DISTRIBUTORS, LLC**  
PROPOSED CONVENIENCE STORE AND FUELING STATION

STONEFIELD COUNTY, NEW YORK

**JEFFREY A. MARTELL, P.E.**  
NEW YORK REGISTERED PROFESSIONAL ENGINEER

**STONEFIELD**  
engineering & design, llc

SCALE: 1" = 30'  
PROJECT NO: 1418M  
TITLE: SOIL EROSION & SEDIMENT CONTROL PLAN  
DRAWING: C-8



**SEQUENCE OF CONSTRUCTION**

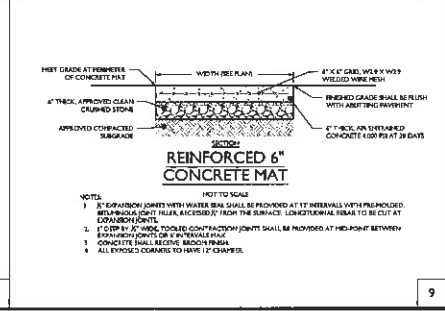
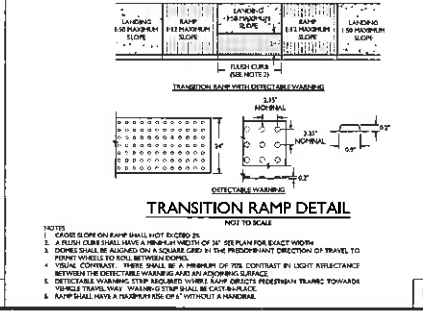
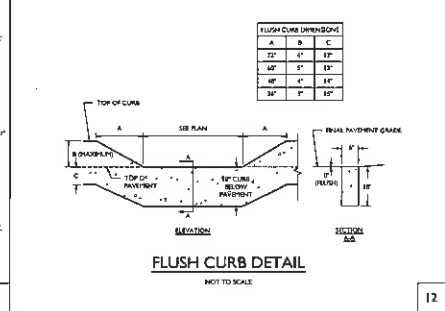
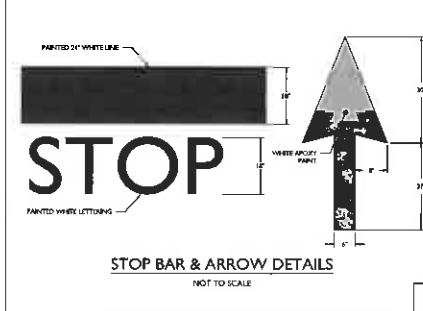
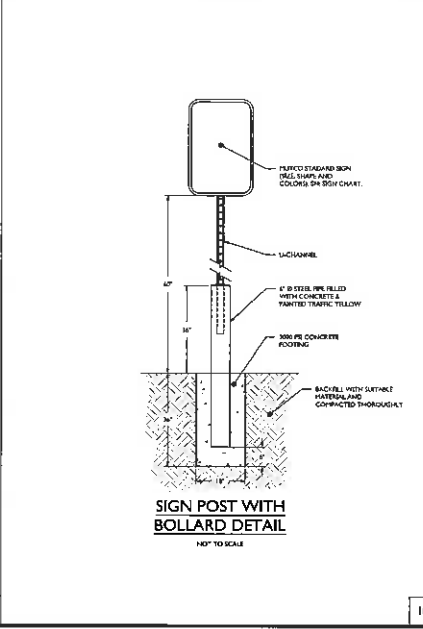
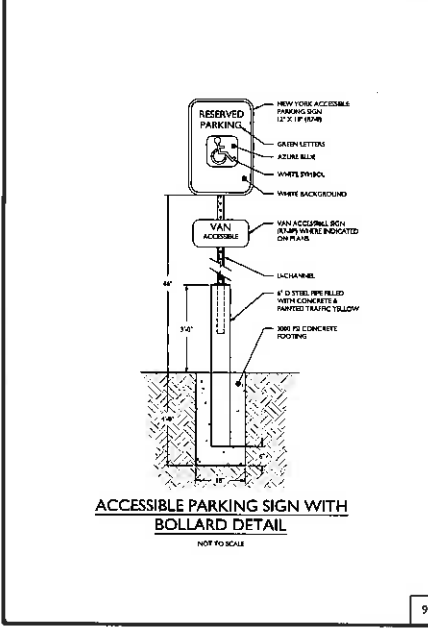
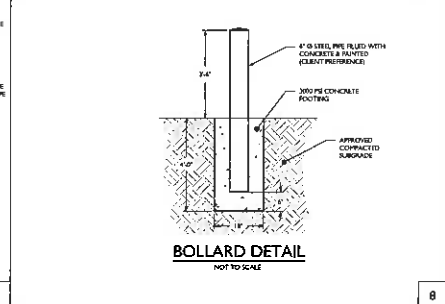
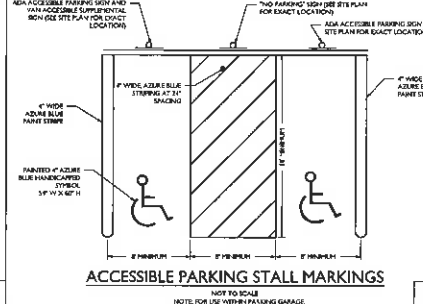
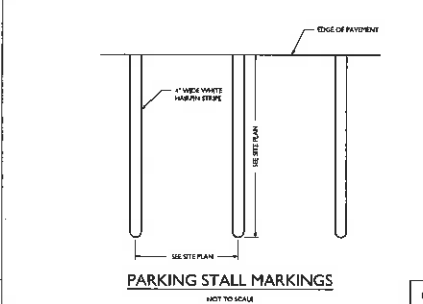
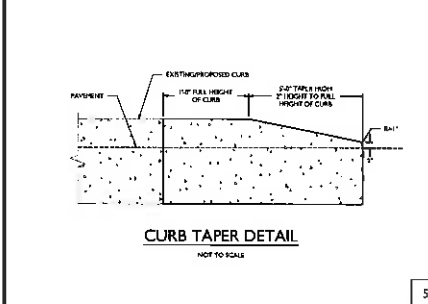
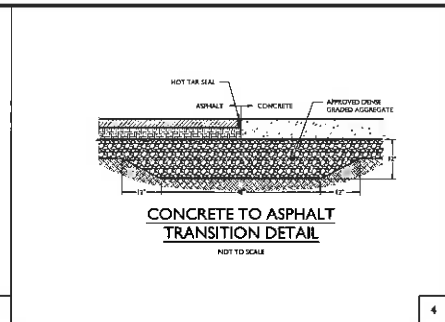
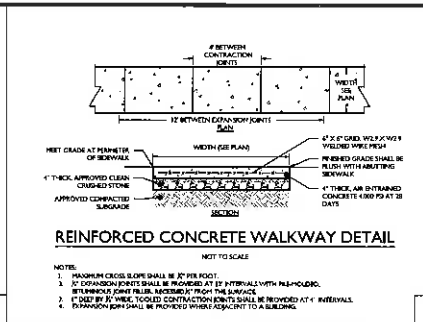
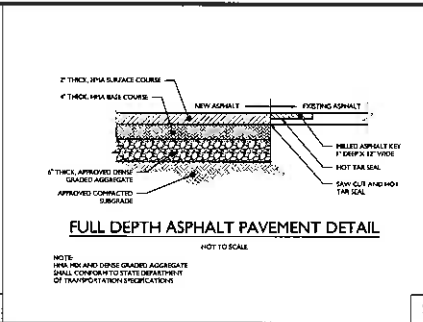
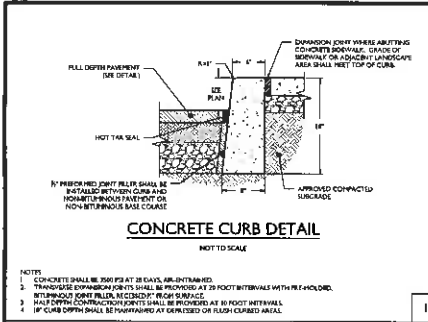
1. OBTAIN PERMIT AND ALL APPLICABLE PERMITS
2. HOLD PRECONSTRUCTION MEETING AND OBTAIN PERMIT
3. INSTALL CONSTRUCTION ENTRANCE
4. INSTALL CONSTRUCTION ENTRANCE
5. INSTALL CONSTRUCTION ENTRANCE
6. INSTALL CONSTRUCTION ENTRANCE
7. INSTALL CONSTRUCTION ENTRANCE
8. INSTALL CONSTRUCTION ENTRANCE
9. INSTALL CONSTRUCTION ENTRANCE
10. INSTALL CONSTRUCTION ENTRANCE

GRAPHIC SCALE IN FEET  
1" = 30'









NO.	DATE	ISSUE	DESCRIPTION
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			

NOT APPROVED FOR CONSTRUCTION

**STONEFIELD**  
engineering & design

Rutherford, NJ • Long Island City, NY • Royal Oak, MI  
www.stonefielddesign.com

Headquarters: 75 Ormeau Way, Suite 303, Rutherford, NJ 07070  
Phone: 201.362.4448 • Fax: 201.362.4472

SITE PLAN

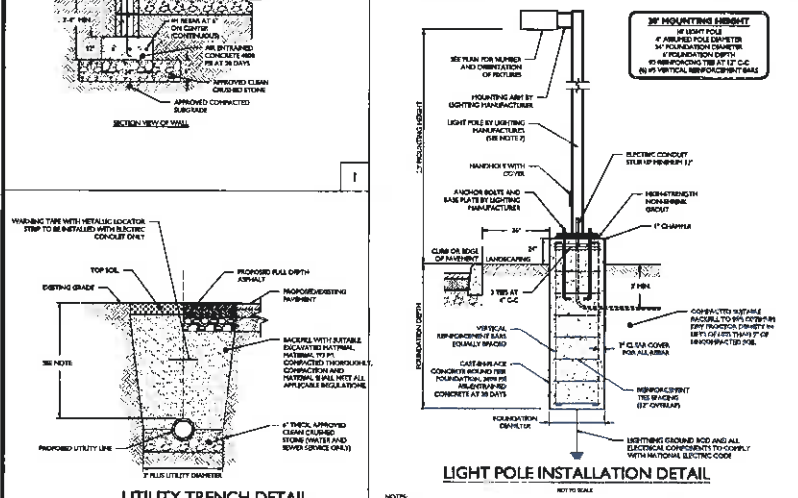
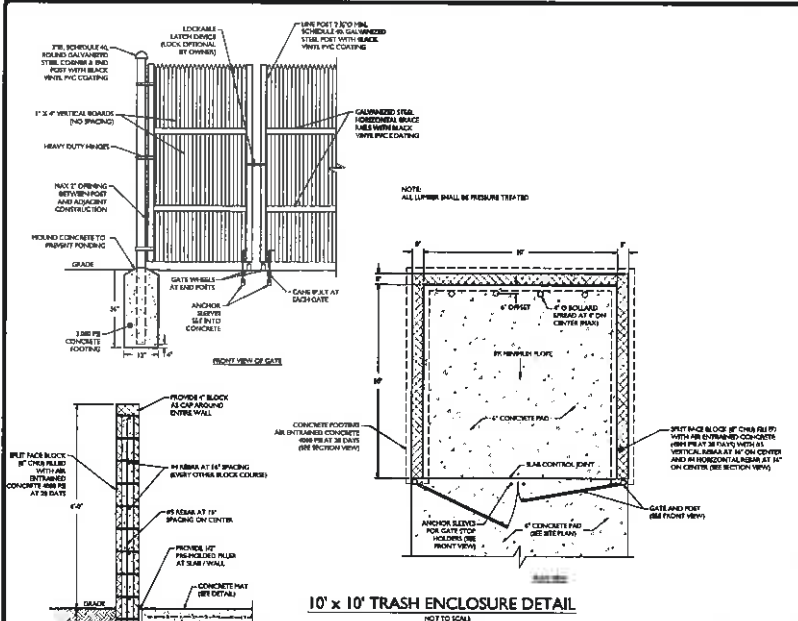
**NY FUEL DISTRIBUTORS, LLC**  
PROPOSED CONVENIENCE STORE  
AND FUELING STATION

1000 US ROUTE 4  
TOWNSHIP OF GARFIELD  
TOTTEN COUNTY, NEW YORK

JEFFREY A. MARTELL, P.E.  
NEW YORK LICENSE NO. 00021  
LICENSED PROFESSIONAL ENGINEER

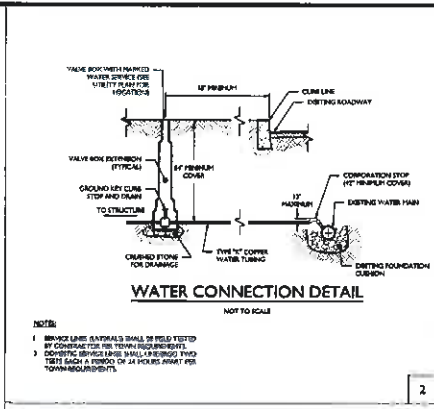
**STONEFIELD**  
engineering & design, llc

SCALE: AS SHOWN PROJECT ID: T15888  
TITLE: CONSTRUCTION DETAILS  
DRAWING: C-11



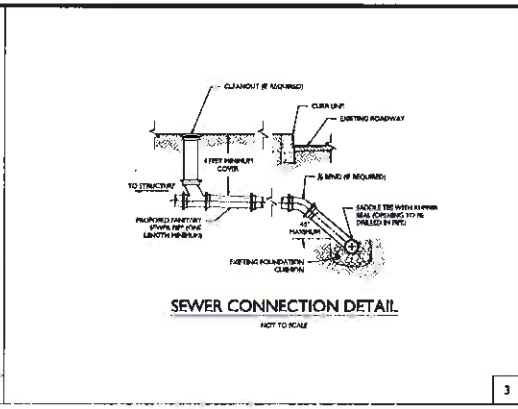
**NOTES:**

1. TRENCH SIZE SHALL BE 18\"/>



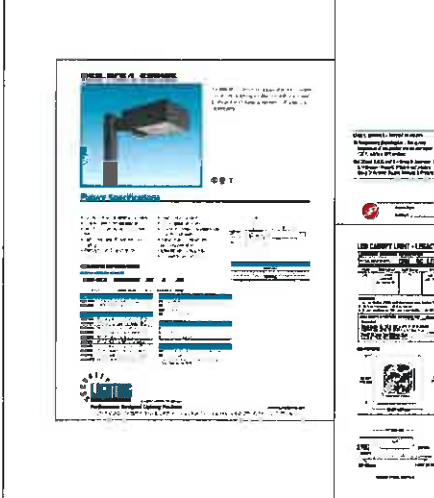
**NOTES:**

1. SERVICE LINE ANCHORS SHALL BE FIELD TESTED BY CONTRACTOR FOR TENSILE STRENGTH.
2. COUPLER SERVICE LINE SHALL BE FIELD TESTED EACH A MINUTE OF 24 HOURS AWAY FOR 10 MINUTES.



**NOTES:**

1. SERVICE LINE ANCHORS SHALL BE FIELD TESTED BY CONTRACTOR FOR TENSILE STRENGTH.
2. COUPLER SERVICE LINE SHALL BE FIELD TESTED EACH A MINUTE OF 24 HOURS AWAY FOR 10 MINUTES.



**NOTES:**

1. TRENCH SIZE SHALL BE 18\"/>

**LIB CROFT LIGHT - LIBRARY FIXTURE**

**LIB NETWORK WALL MOUNTED FIXTURE**

**LIB CROFT LIGHT - LIBRARY FIXTURE**

**LIB NETWORK WALL MOUNTED FIXTURE**

**LIB CROFT LIGHT - LIBRARY FIXTURE**

**LIB NETWORK WALL MOUNTED FIXTURE**

**LIB CROFT LIGHT - LIBRARY FIXTURE**

**LIB NETWORK WALL MOUNTED FIXTURE**

**LIGHTING FIXTURE DETAILS**  
NOT TO SCALE

NO.	DATE	BY	DESCRIPTION
1			
2			
3			
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10			

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AND FUELING STATION

100 U.S. ROUTE 4  
TOWN OF GARRETTSVILLE  
PUTNAM COUNTY, NEW YORK

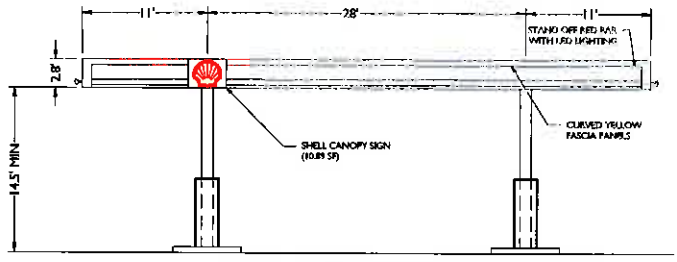
JEFFREY A. MARTELL, P.E.  
NEW YORK STATE REG. NO. 13826  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
engineering & design, llc

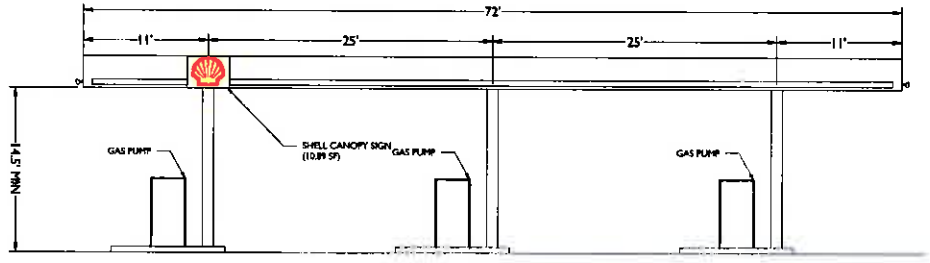
SCALE: AS SHOWN PROJECT NO. E-2388

**TITLE**  
CONSTRUCTION  
DETAILS

**C-12**



WEST ELEVATION

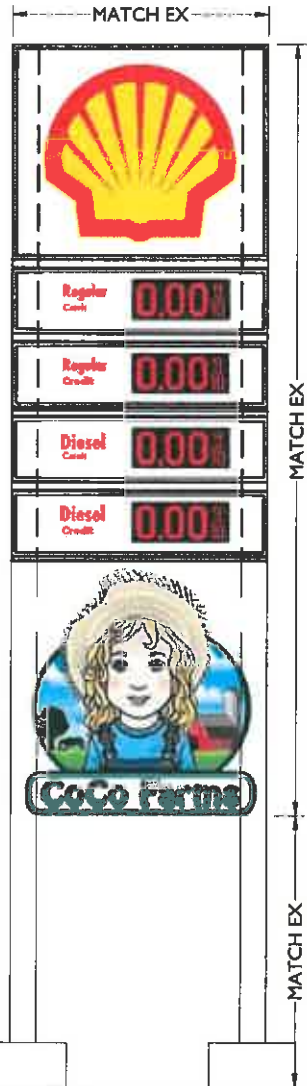


NORTH ELEVATION

CANOPY DETAIL

NOTE: CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION OF CANOPY

SCALE: 1/8" = 1'-0"



FREESTANDING SIGN DETAIL

NOT TO SCALE

NO.	DATE	BY	DESCRIPTION
1	02/20/24	JM	ISSUED PER CLIENTS BASIS CONTRACT COMMENTS
2	02/21/24	JM	ISSUED PER CLIENTS BASIS CONTRACT COMMENTS
3	02/21/24	JM	ISSUED PER CLIENTS BASIS CONTRACT COMMENTS

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Phone: 201.366.6448 Fax: 201.366.6472

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PROPOSED CONVENIENCE STORE  
AND FUELING STATION

1000 ROUTE 9  
TOWN OF DANIEL  
PUTNAM COUNTY, NEW YORK

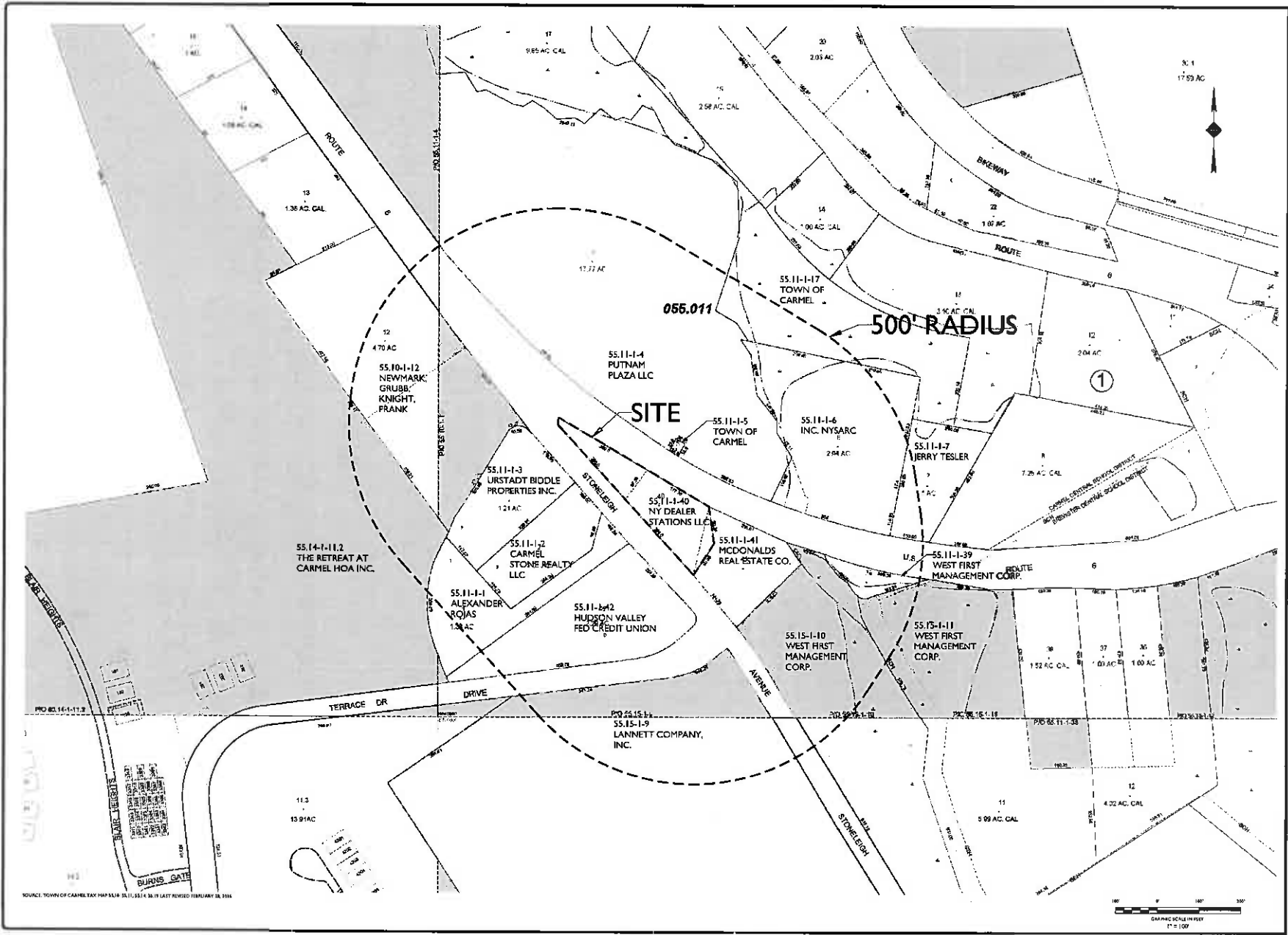
JEFFREY A. MARTELL, P.E.  
NEW YORK LICENSE NO. 0001  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
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SCALE: AS SHOWN PROJECT NO. 1-2024

TITLE: CONSTRUCTION DETAILS

C-13



SOURCE: TOWN OF CARMEL TAX MAP 5.14.18.15.11.15.14.16.17.18.19 LAST REVISION: FEBRUARY 28, 2018

NO.	DATE	BY	DESCRIPTION
1	04/20/21		ISSUED PER PLANNING BOARD SECRETARY COMMENTS
2	04/20/21		DRAWN SET

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www.stonfieldeng.com  
Headquarters: 75 Orient Way, Suite 302, Rutherford, NJ 07070  
Phone: 201.340.4458 • Fax: 201.340.4172

**SITE PLAN**  
**NY FUEL DISTRIBUTORS, LLC**  
**PROPOSED CONVENIENCE STORE AND FUELING STATION**  
BLOCK 1, LOT 48  
1783 LEX ROUTE 4  
TOWNSHIP OF CARMEL, PUTNAM COUNTY, NEW YORK

JEFFREY A. MARTELL, P.E.  
NEW YORK LICENSE NO. 06621  
ENGINEER IN CHARGE, PROJECT

**STONEFIELD**  
engineering & design, llc

SCALE: 1" = 100' PROJECT ID: T1988A  
TITLE: 500 FT RADIUS PROPERTY OWNER MAP