

HAROLD GARY
Chairman

CRAIG PAEPRER
Vice-Chair

BOARD MEMBERS
CARL GREENWOOD
ANTHONY GIANNICO
DAVE FURFARO
CARL STONE
KIM KUGLER

TOWN OF CARMEL
PLANNING BOARD



60 McAlpin Avenue
Mahopac, New York 10541
Tel. (845) 628-1500 – Ext.190
www.ci.carmel.ny.us

MICHAEL CARNAZZA
Director of Code
Enforcement

RICHARD FRANZETTI, P.E.
Town Engineer

PATRICK CLEARY,
AICP, CEP, PP, LEED AP
Town Planner

PLANNING BOARD AGENDA
OCTOBER 28, 2015 – 7:00 P.M.

MEETING ROOM #2

TAX MAP # PUB. HEARING MAP DATE COMMENTS

RESOLUTION

- | | | | |
|---|------------------------------|--|--|
| 1. Gateway Summit Senior Housing – Lot 6
Gateway Drive | 55.-2-24.6-1
55.-2-24.6-2 | | Extension of Amended
Site Plan Approval |
| 2. The Fairways Senior Housing – Lot 7
Gateway Drive | 55.-2-24.8-1
55.-2-24.8-2 | | Extension of Amended
Site Plan Approval |

SITE PLAN

- | | | | |
|--|------------|----------|-------------------|
| 3. New York SMSA Limited Partnership
d/b/a Verizon Wireless – 946-954 South Lake Blvd | 75.44-1-46 | 10/23/15 | Site Plan |
| 4. Cargain Funeral Home – 418 Route 6 | 75.15-1-6 | 10/12/15 | Amended Site Plan |

SUBDIVISION

- | | | | |
|---|---------------|----------|---------------------|
| 5. Thomas Fisher, Inc & Joseph Simone -
418 Route 6 & 7 Veschi Lane N. | 75.15-1-6 & 8 | 10/14/15 | Lot Line Adjustment |
|---|---------------|----------|---------------------|

MISC.

- | | | | |
|--|------------|--|--|
| 6. Swan Cove – 628 Route 6 | 76.5-1-49 | | Extension of Final Site Plan
Approval |
| 7. MacDonald Marine – 681 Union Valley Rd | 76.20-1-13 | | Re-Approval of Final Site Plan
Approval |
| 8. The Hamlet at Carmel (Formerly Putnam
Community Foundation) – Stoneleigh Ave | 66.-2-58 | | Re-Approval of Final Site Plan
Approval |
| 9. Hillside Court – 1819 Route 6, Carmel | 55.6-1-51 | | Bond Return |
| 10. Minutes – 07/08/15 & 07/22/15 | | | |

LAW OFFICES OF
SNYDER & SNYDER, LLP
94 WHITE PLAINS ROAD
TARRYTOWN, NEW YORK 10591

NEW YORK OFFICE
445 PARK AVENUE, 9TH FLOOR
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ONE GATEWAY CENTER, SUITE 2600
NEWARK, NEW JERSEY 07102
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FAX (973) 824-9774

REPLY TO:

WESTCHESTER OFFICE

October 26, 2015

Honorable Chairman Harold Gary
and Members of the Planning Board
Town of Carmel Town Hall
60 McAlpin Avenue
Mahopac, New York 10541

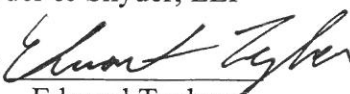
Re: Application by New York SMSA Limited Partnership d/b/a Verizon Wireless to Locate a Public Utility Wireless Communications Facility on the Roof of the Building Located at 946-954 South Lake Boulevard, Carmel, New York

Honorable Chairman Gary
and Members of the Planning Board:

As you may recall, New York SMSA Limited Partnership d/b/a Verizon Wireless ("Verizon Wireless") is seeking site plan approval to locate a public utility wireless communications facility ("Facility") on the roof of the building ("Building") at the above referenced property. In response to the comments from this Honorable Board and the Director of Code Enforcement at your September 30, 2015 meeting, Verizon Wireless obtained the necessary area variances for the Building and its Facility thereon from the Town of Carmel Zoning Board of Appeals on October 22, 2015. In connection therewith, I am pleased to enclose ten (10) copies of the revised Site Plan, updating the bulk table to indicate the variances granted by the Zoning Board.

Thank you for your consideration. I look forward to your scheduling the public hearing for this matter at the next Planning Board meeting. If you have any questions or require any additional documentation, please do not hesitate to contact me or Leslie Snyder at 914-333-0700.

Respectfully submitted,
Snyder & Snyder, LLP

By: 
Edward Teyber

Enclosures

cc: Verizon Wireless
KMB

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Know what's below.
Call before you dig.



NEW YORK SMSA LIMITED PARTNERSHIP
d/b/a VERIZON WIRELESS
4 CENTERCROCK ROAD
WEST NYACK, NY 10994
MAHOPAC 5 SC
946-954 S LAKE BLVD, MAHOPAC, NY 10541



NEW YORK LIMITED PARTNERSHIP d/b/a VERIZON WIRELESS
4 CENTERCROCK ROAD
WEST NYACK, NY 10994

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ZONING MAP
11x17 SCALE: 1" = 1000'
24x36 SCALE: 1" = 500'



PARCEL MAP
11x17 SCALE: 1" = 200'
24x36 SCALE: 1" = 100'



LOCATION MAP
11x17 SCALE: 1" = 400'
24x36 SCALE: 1" = 200'

ZONE	DESCRIPTION
C	COMMERCIAL
C/BP	COMMERCIAL BUSINESS PARK
R	RESIDENTIAL
R/T	RECREATION/TRAILWAY
NYCW	NEW YORK CITY WATERSHED

DWG #	DRAWING TITLES
T01	COVER SHEET
Z01	AREA PLAN
Z01A	RADIUS MAP
Z02	ROOF PLAN
Z03	ELEVATION
Z04	ANTENNA PLANS AND DETAILS (ALL SECTORS)

SITE INFORMATION	
SECTION:	75.44
BLOCK:	1
LOT:	48
PARCEL ID:	75.44-1-48
ZONING DISTRICT:	C
ZONING JURISDICTION:	TOWN OF CARMEL

PROJECT INFORMATION:	
SITE ADDRESS:	946-954 S LAKE BLVD MAHOPAC, NY 10541 PUTNAM COUNTY
GROUND ELEVATION:	± 66' (AMSL)
OVERALL STRUCTURE HEIGHT:	± 42'-5" AGL (TOP OF PENTHOUSE)

PROJECT CONTACT INFORMATION	
APPLICANT:	NEW YORK SMSA LIMITED PARTNERSHIP D/B/A VERIZON WIRELESS 4 CENTERCROCK ROAD WEST NYACK, NY 10994
ENGINEER:	KMB DESIGN GROUP, LLC 1800 ROUTE 34, SUITE 209 WALL, NJ 07719 JASON BEATO - PROJECT MANAGER (732) 280-5623
VERIZON WIRELESS CONSTRUCTION MANAGER:	BRETT LIQUORI
VERIZON WIRELESS EQUIPMENT ENGINEER:	JOHN WALDEN (570) 659-0375
VERIZON WIRELESS RF ENGINEER:	KADRY AHMED
VERIZON WIRELESS REAL ESTATE CONTACT:	AARON MYL (845) 536-2427
UTILITY CONTACT:	NYSEG (800) 572 1111

PROPERTY OWNER:	THEORINA LLC 946-954 S LAKE BLVD MAHOPAC, NY 10541
PROPERTY OWNER CONTACT:	DAN LAMPROPOULOS (917) 686-7432

SCOPE OF WORK	
INSTALL A PUBLIC UTILITY WIRELESS COMMUNICATION FACILITY AT ROOFTOP OF THE BUILDING PROPERTY.	



1800 ROUTE 34, SUITE 209
WALL, NJ 07719
(732) 280-5423

Stephen A. Bray
PROFESSIONAL ENGINEER

NY LICENSE: 086064 10/23/15

PROJECT NUMBER	321.0470
SITE INFORMATION	946-954 S LAKE BLVD MAHOPAC, NY 10541 PUTNAM COUNTY MAHOPAC 5 SC
DESIGN TYPE	ROOFTOP

DRAWN BY	CHECKED BY	DATE
RC	JRB	05-12-15

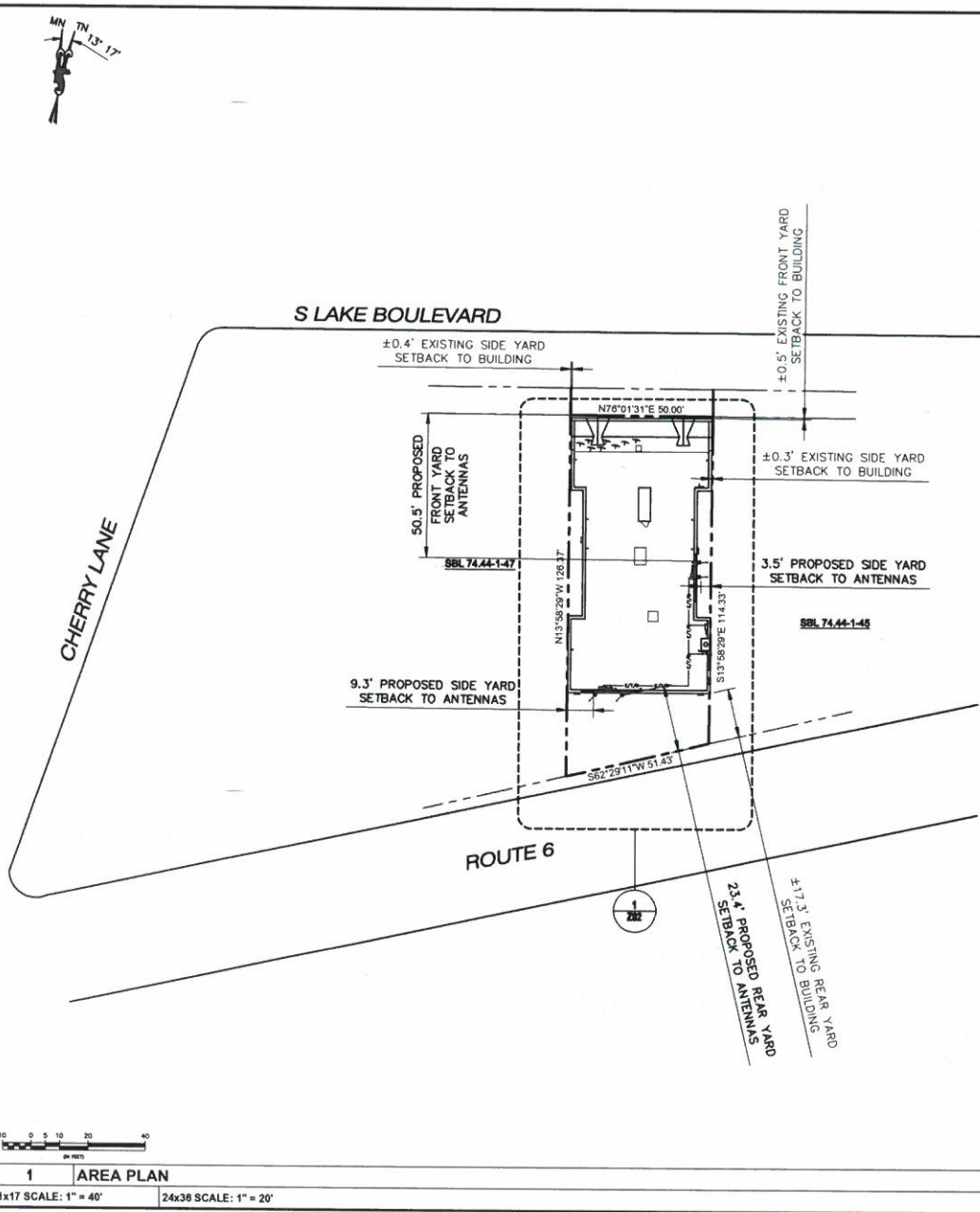
SHEET TITLE	COVER SHEET
SHEET NUMBER	T01
REV.	4

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11x17 SCALE: 1" = 40'

24x36 SCALE: 1" = 20'

1 AREA PLAN

GENERAL NOTES:

- THE SUBJECT PROPERTY IS KNOWN AS PARCEL ID # 75.44-1-46 IN THE TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK.
- THE PROPOSED PROJECT IS A WIRELESS COMMUNICATIONS FACILITY. THE PROJECT CONSISTS OF INSTALLING FOUR (4) PANEL ANTENNAS, FOUR (4) SMALL CELL UNITS AND TWO (2) GPS ANTENNA TO AN EXISTING BUILDING ROOFTOP. THE PROPOSED FACILITY IS UNMANNED. OCCUPANCY WILL BE LIMITED TO PERIODIC INSPECTIONS BY RADIO TECHNICIANS APPROXIMATELY ONCE PER MONTH. THEREFORE, POTABLE WATER, SANITARY SEWERS, AND ADDITIONAL SITE PARKING ARE NOT REQUIRED.
- FINAL CONNECTION TO ELECTRICAL AND TELEPHONE UTILITIES TO BE APPROVED BY THE APPROPRIATE UTILITY COMPANY.
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS HAS BEEN ISSUED FOR ZONING APPROVAL PURPOSES ONLY AND SHALL NOT BE USED AS CONSTRUCTION DOCUMENTS.
- ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN SHALL BE IN ACCORDANCE WITH:
 - CURRENT PREVAILING MUNICIPAL AND/OR COUNTY AUTHORITY SPECIFICATIONS, STANDARDS AND REQUIREMENTS.
 - CURRENT PREVAILING UTILITY COMPANY AUTHORITY SPECIFICATIONS, STANDARDS AND REQUIREMENTS.
- PROPERTY BOUNDARY AND EXISTING FEATURES INFORMATION SHOWN WAS OBTAINED FROM A SURVEY ENTITLED "EXISTING CONDITIONS SURVEY" BY COPPENS LAND SURVEYING, DATED 06-23-15 AND SUPPLEMENTED BY LIMITED FIELD OBSERVATIONS BY KMB ON 11-18-14.
- NO ADDITIONAL SITE SIGNAGE IS PROPOSED WITH THE EXCEPTION OF A SIGN NOTING RF TRANSMISSION ON THE ROOFTOP.
- THERE WILL BE NO CHANGE TO THE EXISTING SITE LANDSCAPING.

BULK REQUIREMENTS TABLE ZONING DISTRICT C			
ITEM	REQUIRED	EXISTING	VARIANCE OBTAINED
MIN LOT AREA (SF)	40,000	±6017.60 *	±33,982.4**
MIN LOT WIDTH (FT)	200	±50 *	±150**
MIN LOT DEPTH (FT)	200	±114.33 *	±85.67**
MIN FRONT YARD SETBACK (FT)	40	±0.5 *	±39.5**
MIN SIDE YARD SETBACK (FT)	25	±0.3 *	±24.7**
MIN REAR YARD SETBACK (FT)	30	±17.3 *	±12**
MIN REQUIRED FLOOR AREA OF BUILDINGS (SF)	5,000	14,344 *	±956**
MAX HEIGHT (FT)	35	±43.75 *	±8.75**
MAX BUILDING COVERAGE (%)	30	±72.2 *	±42.2**
PARKING SPACES	TWO (2) FOR PUBLIC UTILITY	0 (4 TOTAL)**	TWO (2) FOR PUBLIC UTILITY

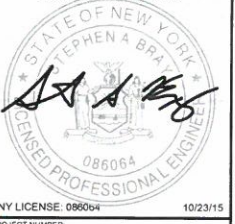
* AREA VARIANCE GRANTED BY ZBA OCTOBER 22, 2015
 ** PER TOWN POLICY "CLEAN UP" ALL APPLICATIONS FOR EXISTING NON-CONFORMITIES PRIOR TO SITE PLAN APPROVAL



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△	10-23-15	REVISED PER PLANNING BOARD COMMENTS	A.S.	J.R.B.		
△	09-23-15	REVISED PER PLANNING BOARD COMMENTS	A.S.	J.R.B.		
△	08-26-15	ISSUE FOR FINAL	A.S.	J.R.B.		
△	08-26-15	REVISED PER CLIENT COMMENTS	SKD	J.R.B.		
△	08-18-15	INITIAL SUBMISSION	RC	J.R.B.		
REV.	DATE	REVISION DESCRIPTION	DRAWN BY	CHKD BY		

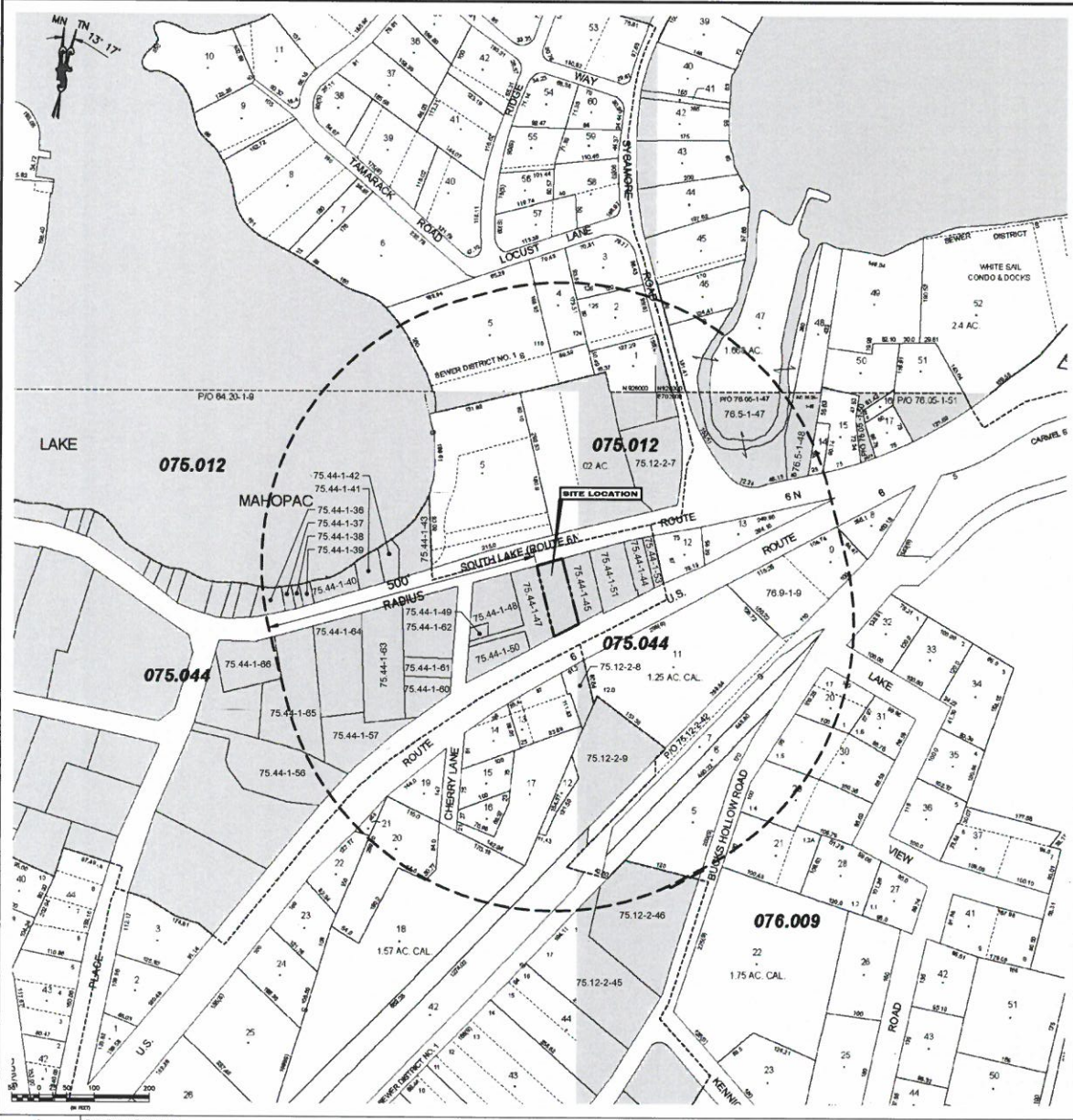


Stephen A. Bray
PROFESSIONAL ENGINEER



PROJECT NUMBER	321.0470		
SITE INFORMATION	946-954 S LAKE BLVD MAHOPAC, NY 10541 PUTNAM COUNTY MAHOPAC_5_SC		
DESIGN TYPE:	ROOFTOP		
DRAWN BY	CHECKED BY	DATE	
RC	JRB	05-12-15	
SHEET TITLE	AREA PLAN		
SHEET NUMBER	Z01		REV.
			4


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1 RADIUS MAP
 11x17 SCALE: 1" = 200'
 24x36 SCALE: 1" = 100'


PROPERTY ID	OWNER'S NAME & ADDRESS	PROPERTY ID	OWNER'S NAME & ADDRESS
75.44-1-46	GREENLTS, LLC 946-954 SOUTH LAKE BLVD MAHOPAC, NY 10541	76.9-1-13	MLN REALTY GROUP INC 278 ROUTE 202 SOMERS, NY 10589
75.44-1-47	N L & M HOLDING CORP 278 ROUTE 202 SOMERS, NY 10589	75.12-2-9	ROWLEY DEVELOPMENT CORP PO BOX 460069 HOUSTON, TX 77056
75.44-1-45	PAUL T VASSALLO 37 RESERVOIR CT CARMEL, NY 10512	75.12-2-12	VINCENZA MISCIOSCIA 128 LAKEVIEW DRIVE MAHOPAC, NY 10541
75.44-1-51	606 ROUTE SIX INC 606 ROUTE SIX MAHOPAC, NY 10541	75.12-2-15	VINCENZA MISCIOSCIA 128 LAKEVIEW DRIVE MAHOPAC, NY 10541
75.44-1-48	S & M PROPERTIES INC 865 68TH STREET BROOKLYN, NY 11220	75.12-2-17	VINCENZA MISCIOSCIA 128 LAKEVIEW DRIVE MAHOPAC, NY 10541
75.44-1-49	S & M PROPERTIES INC 865 68TH STREET BROOKLYN, NY 11220	76.9-1-7	AMERICAN LEGION POST 1080 70-202 MAHOPAC, NY 10541
75.44-1-44	974 SOUTH LAKE INC 23 RIDGE ROAD MAHOPAC, NY 10541	75.44-1-40	CHARLES MELCHNER 722 SOUTH LAKE BLVD MAHOPAC, NY 10541
75.44-1-50	FRANK CASTALDI 82 HAYWORD STREET YONKERS, NY 10704	76.9-1-6	LEGION POST 1080 AMERICAN PO BOX 915 MAHOPAC, NY 10541
75.44-1-53	ROBERT P MCGUIGAN 19 MEADOWLARK DRIVE CARMEL, NY 10512	75.44-1-64	CHARLES MELCHNER 722 SOUTH LAKE BLVD MAHOPAC, NY 10541
75.12-2-8	CARL HOCHBERGER 291A HERITAGE HILLS DR SOMERS, NY 10589	75.12-2-16	JOSEPH P MISCIOSCIA 128 LAKEVIEW DRIVE MAHOPAC, NY 10541
75.12-2-5	L & G GROUP NY LLC 13 DIAMOND AVE CORTLANDT MANOR, NY 10567	75.12-2-19	ROWLEY DEVELOPMENT CORP PO BOX 460069 HOUSTON, TX 77056
75.44-1-62	NADIA PINCHAS 213 SHEAR HILL ROAD MAHOPAC, NY 10541	75.8-2-1	LANSKY PROPERTIES LP 11D HERITAGE HILLS DR SOMERS, NY 10589
75.9-1-12	GEORGE OREILLY PO BOX 714 MAHOPAC, NY 10541	75.44-1-39	CHARLES MELCHNER 722 SOUTH LAKE BLVD MAHOPAC, NY 10541
75.9-1-11	LAKE MAHOPAC PROPERTIES INC 609 RT 6 MAHOPAC, NY 10541	75.44-1-57	CHARLES MELCHNER 722 SOUTH LAKE BLVD MAHOPAC, NY 10541
75.12-2-13	SAMBEN LLC 597 RT 6 MAHOPAC, NY 10541	75.44-1-38	PATRICK J VICARIO 23 MEMORY LANE MAHOPAC, NY 10541
75.12-2-6	LANSKY PROPERTIES LP 11D HERITAGE HILLS DR SOMERS, NY 10589	76.9-1-5	ROBERT SOKERKA 321 BUCKSHOLLOW ROAD MAHOPAC, NY 10541
75.44-1-43	CHARLES MELCHNER 722 SOUTH LAKE BLVD MAHOPAC, NY 10541	75.44-1-37	SOUTH LAKE BLVD REALTY INC 4200 BROADWAY NEW YORK, NY 10033
75.12-2-14	RICHARD A DE COLA 593 ROUTE 6 MAHOPAC, NY 10541	75.8-2-5	MARTIN GREENBERG 5 TAMARACK ROAD MAHOPAC, NY 10541
75.12-2-7	MSB HUDSON UNITED BANK 380 WELLINGTON STREET LONDON, ONTARIO, N6A 4S4	76.9-1-9	TJK ENTERPRISES INC 221 QUINEBAUG RD NO GROSVENORDALE, CT 06255
75.44-1-60	PALLADINO REALTY MGMT LLC PO BOX 501 BREWSTER, NY 10509		
75.44-1-42	CHARLES MELCHNER 722 SOUTH LAKE BLVD MAHOPAC, NY 10541		
75.44-1-63	ANITA MACDONALD 95 CHERRY HILL ROAD CARMEL, NY 10512		
75.44-1-41	CHARLES MELCHNER 722 SOUTH LAKE BLVD MAHOPAC, NY 10541		

2 PROPERTY OWNERS LIST



NEW YORK LICENSED PROFESSIONAL ENGINEER
A PROFESSIONAL CORPORATION
NEW YORK, NY 10001

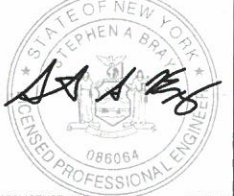
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△		REVISED PER PLANNING BOARD COMMENTS	MCD	JRB	
△		REVISION DESCRIPTION	DRAWN	CHKD	BY



1806 ROUTE 34 SUITE 309
YVARD, NY 07719
(732) 280-5423

Stephen A. Bray

PROFESSIONAL ENGINEER



NY LICENSE: 086064 10/23/15

PROJECT NUMBER
321.0470

SITE INFORMATION
946-954 S LAKE BLVD
MAHOPAC, NY 10541
PUTNAM COUNTY
MAHOPAC 5 SC

DESIGN TYPE
ROOFTOP

DRAWN BY: RC	CHECKED BY: JRB	DATE: 05-12-15
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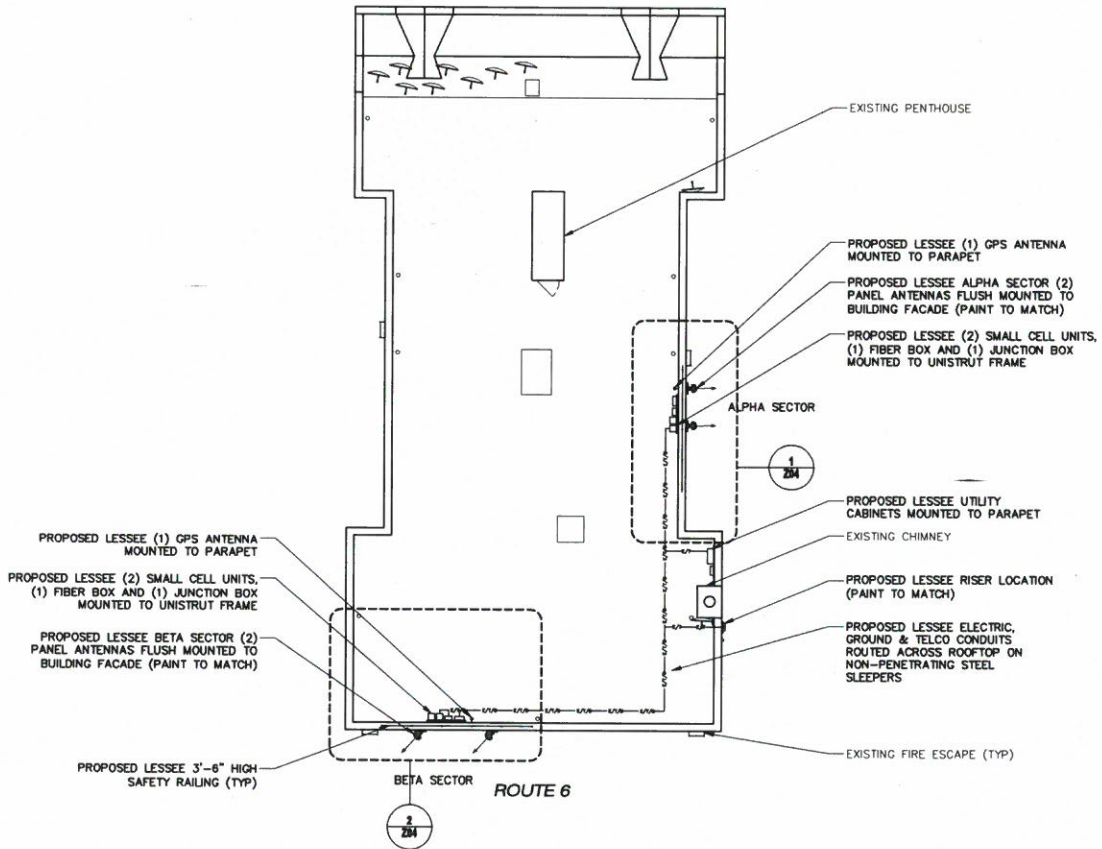
SHEET TITLE
RADIUS MAP

SHEET NUMBER: Z01A REV: 4

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S LAKE BLVD



1 ROOF PLAN

11x17 SCALE: 1/16" = 1'-0" 24x36 SCALE: 1/8" = 1'-0"

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REV.	DATE	REVISION DESCRIPTION	DRAWN	CHKD.	BY
△	09-29-15	REVISED PER PLANNING BOARD COMMENTS	A.S.	JRB	
△	09-29-15	REVISED PER PLANNING BOARD COMMENTS	A.S.	JRB	
△	09-29-15	INILED AS FINAL	A.S.	JRB	
△	09-28-15	REVISED PER CELEST COMMENTS	MED	JRB	
△	08-18-15	FINAL SUBMISSION	RC	JRB	



Stephen A. Bray
PROFESSIONAL ENGINEER



NY LICENSE: 086064 10/23/15

PROJECT NUMBER: 321.0470

SITE INFORMATION:
946-954 S LAKE BLVD
MAHOPAC, NY 10541
PUTNAM COUNTY
MAHOPAC_S_SC

DESIGN TYPE: ROOFTOP

DRAWN BY: RC	CHECKED BY: JRB	DATE: 05-12-15
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SHEET TITLE: ROOF PLAN

SHEET NUMBER: Z02 REV: 4

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ZARECKI & ASSOCIATES, L.L.C.

Engineers • Architects
Surveyors

Joseph Zarecki, PE
Jeffrey Hecker, LS
Curt Johnson, RA

11 West Main St.
Pawling, NY 12564
(845) 855-3771
(845) 855-3772 Fax
Website: zarecki.com
email: info@zarecki.com

Ridgefield, CT
(203) 438-7094
(203) 438-7157 Fax

October 12, 2015

Mr. Harold Gary, Chairman
Members of the Planning Board
Town of Carmel
60 McAlpin Avenue
Mahopac, New York 10541

Re: Cargain Funeral Home - Amended Site Plan
418 US Route 6
Town of Carmel, Putnam County
Tax Map #: 75.15-1-6

Dear Chairman Gary and Members of the Planning Board:

This letter is in response to the memorandum dated August 26, 2015 from Mr. Richard J. Franzetti, PE, Town Engineer, regarding the Amended Site Plan for the above referenced project. Please note that our responses to the comments are highlighted in **bold** print.

The following is enclosed for your review:

- Cover Sheet, Sheet 1 of 9, Prepared for Cargain Funeral Homes, Inc., dated September 30, 2014; last revised October 12, 2015
- Amended Site Plan & Landscaping Plan, Sheet 2 of 9, Prepared for Cargain Funeral Homes, Inc., dated August 28, 2014; last revised October 12, 2015
- Existing Conditions, Demolition & Tree Plan, Sheet 3 of 9, Prepared for Cargain Funeral Homes, Inc., dated August 28, 2014
- Grading & Utility Plan, Sheet 4 of 9, Prepared for Cargain Funeral Homes, Inc., dated August 28, 2014; last revised October 12, 2015
- Sediment & Erosion Control Plan, Sheet 5 of 9, Prepared for Cargain Funeral Homes, Inc., dated August 28, 2014
- Retaining Wall Plan, Sheet 6 of 9, Prepared for Cargain Funeral Homes, Inc., dated August 28, 2014; last revised October 12, 2015
- Lighting Plan and Details, Sheet 7 of 9, Prepared for Cargain Funeral Homes, Inc., dated August 29, 2014; last revised October 12, 2015



- Site Details, Sheet 8 of 9, Prepared for Cargain Funeral Homes, Inc., dated August 29, 2014; last revised October 12, 2015
- Construction Phasing Plan, Sheet 9 of 9, Prepared for Cargain Funeral Homes, Inc., dated October 26, 2014; October 12, 2015
- Erosion & Sediment Control Stormwater Pollution Prevention Plan, Prepared for Cargain Funeral Home, dated August 28, 2014; last revised October 12, 2015

I. General Comments

1. The following referrals would appear to be warranted:
 - a. Mahopac Fire Department - Correspondence and finding should be provided for review.
Response: A copy of the Site Plan Application was previously sent to the Mahopac Fire Department for their review and/or comments with our original submittal to the Town on September 4, 2014.
2. Permits from the following would appear necessary:
 - a. New York State Department of Transportation - depending on improvements to the ingress/egress along Route 6.
Response: Per discussions with Rock DeNigro, Permit Agent for the NYSDOT, no permit is required since no changes are proposed to the existing conditions within the ROW.
3. Revision dates for drawing should be provided on the drawings not in the cover letter.
Response: As requested, our office has provided the revision date block on each drawing sheet and removed from the Cover Sheet.
4. Should any public improvements be deemed necessary as part of the development of the tract, a Performance Bond and associated Engineering Fee must eventually be established for the work. This includes erosion and sediment control and permanent stormwater management practices.
Response: Comment acknowledged.

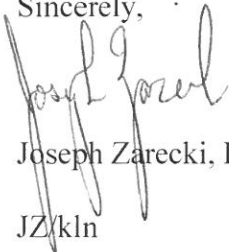
II. Detailed Comments

1. Show metes and bounds of the property.
Response: As requested, metes and bounds of the property have been added to the Site Plan.
2. Construction phasing must be provided on the drawing.
Response: Please refer to the Construction Phasing Plan, Sheet 9 of 9. The phasing information has been incorporated into the SWPPP also enclosed with this submission.
3. Curbs should be 18" deep not 12".
Response: The curb detail(s) has been revised to provide for 20" deep curbs.

4. Will curb be placed in front of retaining wall to prevent cars from hitting the wall.
Response: As discussed at the October 8, 2015 meeting with the Town Engineer, curb stops will not be placed in front of the retaining wall.
5. Protection should be provided for the proposed pedestrians walkways. The walkway should be relocated out of the 24' travel way.
Response: Also, per the October 8, 2015 meeting with the Town Engineer, the walkway has been removed from the travel way.
6. Parking on east side in front of the building should be eliminated.
Response: Per our meeting with the Town Engineer, please note, that the existing four (4) parking spaces at the east side of the building have been designated as employee parking spaces only on the Site Plan.
7. While the dry wells were sized in the past, perc tests for dry well should be provided.
Response: Percolation tests were conducted on September 29, 2015 in the area of the drywells and rates were in the three (3) to seven (7) and eight (8) to ten (10) minutes per inch range.
8. The lighting spill plan should include all lights including those located in front and on the east side of the building.
Response: As requested, photometrics have been added to the plan for the existing building mounted lights.
9. The Stormwater flow patterns should be provided. They are not provided in the SWPPP.
Response: As requested, please see the revised Erosion & Sediment Control (E&SC) Stormwater Pollution Prevention Plan dated October 12, 2015.
10. Rainfall depth for the 1 year storm is 3.1 inches. All design calculations should be updated accordingly. The September 30, 2014 SWPPP does not contain this information.
Response: The information has been revised and updated in the E&SC Stormwater Pollution Prevention Plan as requested.
11. The applicant should add an island on the west side of the site (similar to one in front of the site) and extend and round the curve on the east side of the property.
Response: Per our meeting with the Town Engineer on October 8, 2015 no island to the west of the site will be added.

Please do not hesitate to contact me should you have any questions or require any additional information.

Sincerely,



Joseph Zarecki, PE

JZ/kln

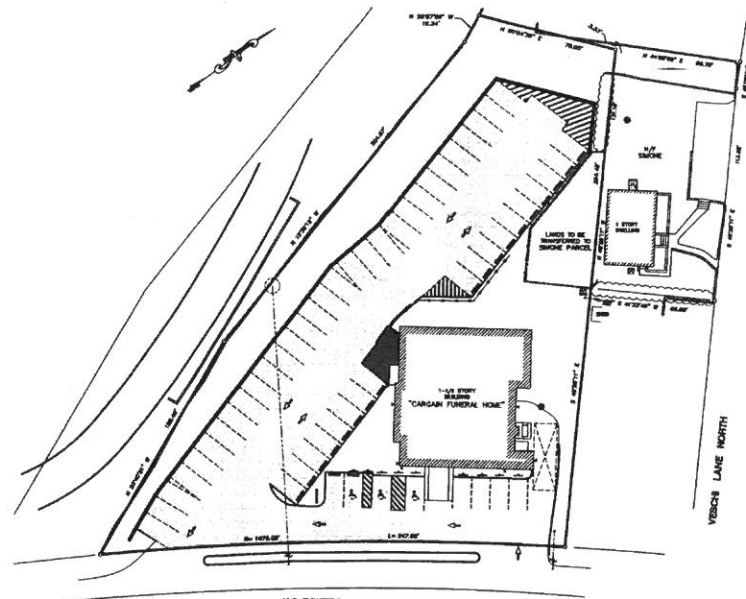
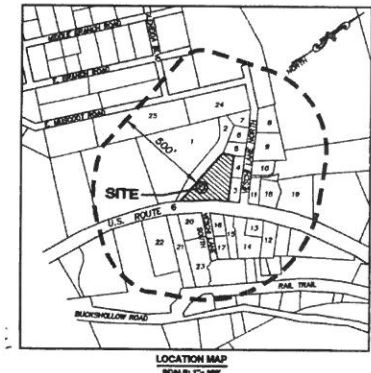
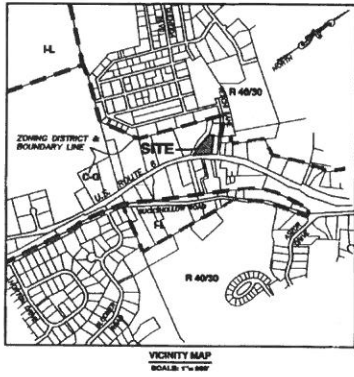
AMENDED SITE PLAN

PREPARED FOR

CARGAIN FUNERAL HOMES, INC

SITUATE IN THE
TOWN OF CARMEL
PUTNAM COUNTY, NEW YORK

PREPARED: SEPTEMBER 30, 2014



DRAWING INDEX			
BASES OF DRAWING	SHEET NO.	ISSUE DATE	
COVER SHEET	1 OF 8	09/30/2014	
AMENDED SITE PLAN & LANDSCAPE PLAN	2 OF 8	09/30/2014	
LOADING CONDITIONS, DIMENSIONS & TRUCK PLAN	3 OF 8	08/28/2014	
GRADING & UTILITY PLAN	4 OF 8	08/28/2014	
SEWERMENT & EROSION CONTROL PLAN	5 OF 8	08/28/2014	
RETAINING WALL PLAN	6 OF 8	08/28/2014	
LIGHTING PLAN & DETAILS	7 OF 8	08/28/2014	
SOIL DETAILS	8 OF 8	08/28/2014	
CONSTRUCTION PHASING PLAN	1 OF 8	10/01/2014	

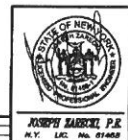
SITE DATA

TAX MAP DESIGNATION: 75-15-1-6
ZONING DISTRICT: CG-COMMERCIAL
TOTAL LOT AREA: 1.045 ACRES

OWNER/APPLICANT:
THOMAS FISHER, INC
10 FOWLER AVE
CARMEL, NEW YORK 10512

PREPARED BY:
ZARECKI & ASSOCIATES, L.L.C.
CONSULTING ENGINEERS-LAND SURVEYORS-ARCHITECTS
PAWLING, N.Y. 12564 & RIDGEFIELD, C.T. 06877
(845) 855-3771 (203) 438-7094

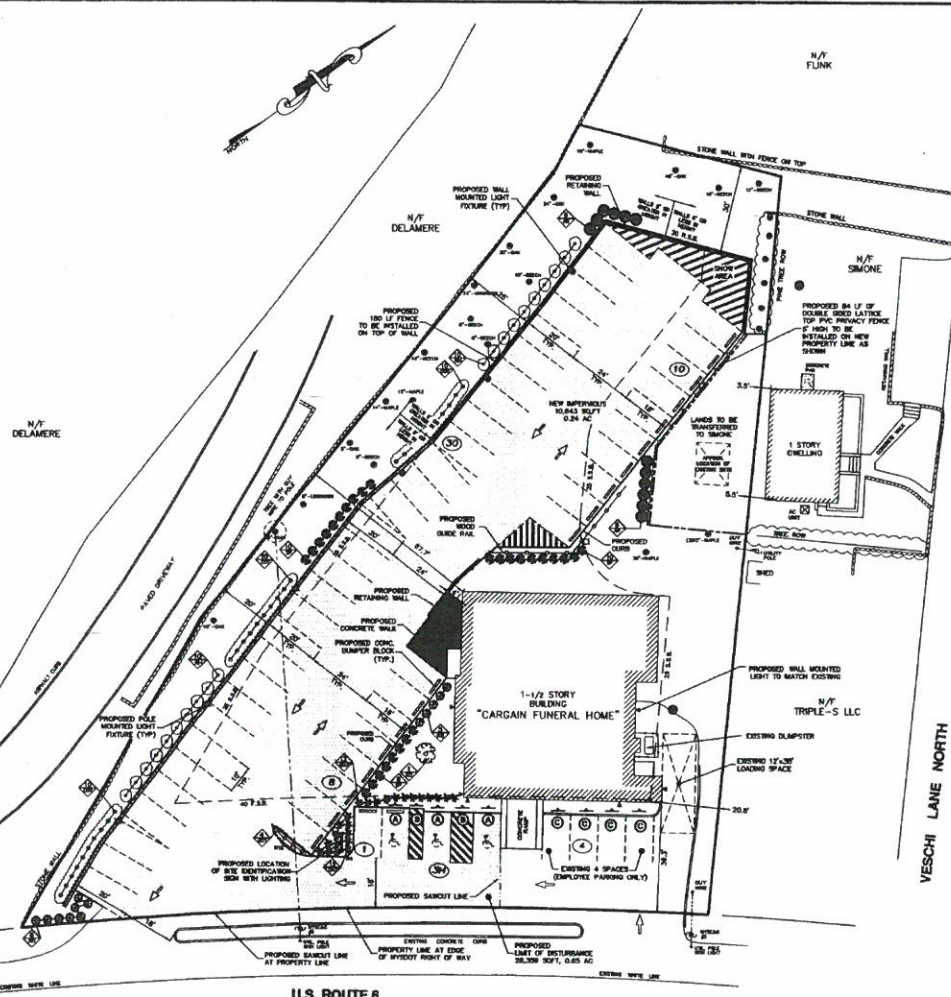
ADJACERS WITHIN 500' OF SITE		
1. PATRICK J. DELAMERE TAX MAP # 75-15-1-4 P.O. BOX 108 MANHAC, NEW YORK 10541	11. JOSEPH E. SHINE TAX MAP # 75-15-1-16 3 HAZEN LANE CARMEL, NEW YORK 10512	21. NICOLE STORV TAX MAP # 75-20-3-3 888 ROUTE 8 MANHAC, NEW YORK 10544
2. KATHLEEN F. DELAMERE TAX MAP # 75-15-1-5 P.O. BOX 109 MANHAC, NEW YORK 10541	12. THOMAS SHINE TAX MAP # 75-15-1-21 133 BUCKSOLLOW ROAD MANHAC, NEW YORK 10541	22. CORNELL PROPERTIES, INC. TAX MAP # 75-20-3-4 18 TUCKER ROAD YONKERS, NEW YORK 10770
3. WIPPLE'S, LLC TAX MAP # 75-15-1-7 422 ROUTE 8 MANHAC, NEW YORK 10541	13. SCOTT WYOMD TAX MAP # 75-15-1-22 427 ROUTE 8 MANHAC, NEW YORK 10541	23. WM F. BISHOP TAX MAP # 75-20-3-2 5 SOUTH VESCH ROAD MANHAC, NEW YORK 10541
4. JOSEPH E. SHINE TAX MAP # 75-15-1-8 7 NORTH VESCH LANE MANHAC, NEW YORK 10541	14. SCOTT WYOMD TAX MAP # 75-15-1-23 121 HEATHER DRIVE MANHAC, NEW YORK 10541	24. ANTHONY MORANDO TAX MAP # 75-20-1-9 24 EAST MADROOT ROAD MANHAC, NEW YORK 10541
5. ADOLF FLUK TAX MAP # 75-15-1-9 P.O. BOX 107 MANHAC, NEW YORK 10541	15. JACQUE REALTY CORPORATION TAX MAP # 75-15-1-24 P.O. BOX 107 MANHAC, NEW YORK 10541	25. MELVIN NEWBURG TAX MAP # 75-20-1-10 48 BUCKSOLLOW ROAD ELMSFORD, NEW YORK 10523
6. FRANK SELCA TAX MAP # 75-15-1-10 17 NORTH VESCH LANE MANHAC, NEW YORK 10541	16. SELMA BARRE TAX MAP # 75-15-1-25 688 ROUTE 8 MANHAC, NEW YORK 10541	
7. ROBERT J. PLACIK TAX MAP # 75-15-1-11 19 NORTH VESCH LANE MANHAC, NEW YORK 10541	17. DEBORAH A. DECESARE TAX MAP # 75-15-1-26 30 STRANBERTY FIELDS LANE MANHAC, NEW YORK 10541	
8. JOSEPH E. FINNALL TAX MAP # 75-15-1-12 30 NORTH VESCH LANE MANHAC, NEW YORK 10541	18. KELLY REALTY, INC. TAX MAP # 75-15-1-31 30 BROADWAY ROAD PATERSON, NEW YORK 12543	
9. KATE L. OROCO TAX MAP # 75-15-1-13 14 NORTH VESCH LANE MANHAC, NEW YORK 10541	19. ERIC GRUBER TAX MAP # 75-15-1-32 438 ROUTE 8 MANHAC, NEW YORK 10541	
10. THOMAS B. WELLS TAX MAP # 75-15-1-14 124 BUCKSOLLOW ROAD MANHAC, NEW YORK 10541	20. RICHARD WILKINSON TAX MAP # 75-15-1-14 124 BUCKSOLLOW ROAD MANHAC, NEW YORK 10541	



COVER SHEET
FOR
CARGAIN FUNERAL HOMES, INC
TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

SCALE: AS SHOWN APPROVED BY: JZ DATE: 09/30/2014 PROJECT NO: 2014.010 DRAWN BY: AB DESIGN BY: CS/AM SHEET NO: 1 OF 9

ZARECKI & ASSOCIATES, L.L.C.
Consulting Engineers - Land Surveyors - Architects
11 West Main St., P.O. Box 111884
Ridgefield, CT 06877
860.882.8724



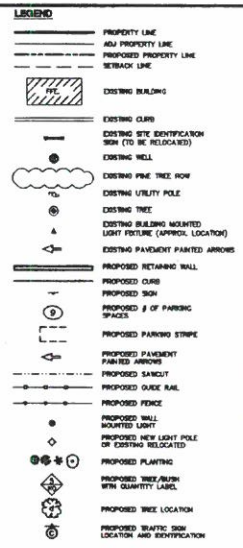
SCHEDULE OF BULK REQUIREMENTS
ZONE C-2 - COMMERCIAL DISTRICT

ITEM	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT SIZE (SQUARE FEET)	40,500	43,500	43,500
MINIMUM FRONT YIELD (FEET)	100	247.80	247.80
MINIMUM 1/2 LOT REAR YIELD (FEET)	30	11.3	11.3
MINIMUM YARD DIMENSIONS (FEET)			
FRONT	40	38.3"	38.3"
SIDE	25	30.8"	30.8"
REAR	30	135.80	135.80
CORNER	2	2	2
MAXIMUM BUILDING HEIGHT (FEET)	500	285	285
AVERAGE LOT DEPTH (FEET)	200	182.4"	182.4"
AVERAGE LOT WIDTH (FEET)	200	182.4"	182.4"
OFF-STREET PARKING			
1 SPACE PER 200 SF	18	25	25
LOADING	1	1	1

PLANTING SCHEDULE

KEY	QUANTITY	BOTANICAL / COMMON NAME	SIZE (DBH)	ROOT	SPACING	REMARKS
KD	1	CORNUS KOUSA / KUSA DOGWOOD	3" CALIPER	B & B	---	STRAIGHT
RM	20	RHODODENDRON YAK / PAM RHODODENDRON	3 GALLON CONT.	---	4' G.C.	---
SP	28	SPIREA / ANTHONY WATERER / ANTHONY WATERER SPIREA	2" - 3" HT	CONT.	4' G.C.	---
CO1	34	COTONEASTER DAMMER LOWWAST / LOWWAST COTONEASTER	2 GALLON CONT.	---	4' G.C.	---
DAY	24	HEDERA CALYX HYDRANGEA / DAYLILY	18" - 24" HT	B & B	4' G.C.	---
KD	13	ROSA RAHAZZAZ / RED KNOCKOUT ROSE	3/4" - 4" HT	CONT.	4' G.C.	---
AR	12	DIACA OCCIDENTALIS / EMERALD GREEN ARBORVITAE	3/4" - 4" HT	B & B	4' G.C.	---

- PLANTING NOTES:**
- TREES SHALL BE PLANTED IN ACCORDANCE WITH THE APPROVED TREE PLAN, BASED ON THE POTENTIAL ROOT GROWTH OF THE TREE TO BE PLANTED, BUT IN NO CASE CLOSER THAN 30 FEET TO ANY ROAD PAVING AREA, STRUCTURE OR OTHER OBSTRUCTION OR TO ANY SHARED DRIVEWAY. TREES SHALL BE PLANTED AT THE SPECIFIED MINIMUM IN APPLICABLE TOWN REGULATIONS.
 - TREES SHALL BE BALLED AND BURLAPPED AND SHALL NOT BE LESS THAN TWO TO 2 1/2 INCHES CALIPER, MEASURED 55 INCHES ABOVE THE TOP OF THE BALL, FOR TREES LESS THAN 30 FEET HIGH. THEY MUST BE WELL-SPANNED, THE BRANCHES TO START NOT LESS THAN 30 FEET FROM THE CRONE OF THE TREE SYSTEM. TREES SHALL BE HARDY-ORIGIN, AND A HARDY INSPECTION CERTIFICATION SHALL BE AVAILABLE FOR ALL TREES.
 - IN GENERAL, SPECIFICATIONS FOR PLANTING SHALL BE AT LEAST ONE FOOT DEEPER AND TWO FEET WIDER THAN THE BALL OF TREES SUPPLIED WITH THE TREE. TREES SHALL BE SOAKED IN WATER FOR SEVEN DAYS BEFORE PLANTING. TREES SHALL BE SOAKED IN WATER FOR SEVEN DAYS BEFORE PLANTING. TREES SHALL BE SOAKED IN WATER FOR SEVEN DAYS BEFORE PLANTING. TREES SHALL BE SOAKED IN WATER FOR SEVEN DAYS BEFORE PLANTING. TREES SHALL BE SOAKED IN WATER FOR SEVEN DAYS BEFORE PLANTING.
 - TREES SHALL BE PLANTED WITHIN A TOPICAL SAUCER THREE INCHES DEEP AND AS LARGE AS THE FIT IN DIAMETER, WITH THREE INCHES OF APPROVED SOIL IMMEDIATELY AFTER PLANTING. TREES SHALL BE PLANTED WITHIN A TOPICAL SAUCER THREE INCHES DEEP AND AS LARGE AS THE FIT IN DIAMETER, WITH THREE INCHES OF APPROVED SOIL IMMEDIATELY AFTER PLANTING.
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 - TREES SHALL BE PLANTED WITHIN A TOPICAL SAUCER THREE INCHES DEEP AND AS LARGE AS THE FIT IN DIAMETER, WITH THREE INCHES OF APPROVED SOIL IMMEDIATELY AFTER PLANTING.



SITE DATA:
TAX MAP DESIGNATION: 75-15-1-B
ZONING DESIGNATION: COMMERCIAL DISTRICT
TOTAL LOT AREA: 1,048 ACRES
TOTAL LOT AREA: 1,048 ACRES
10 FLOWER AVE. CARMEL, NY 12152
LIC. FURNACE NO. 10
NO. OF EMPLOYEES: 4

AMENDED SITE PLAN NOTE:
1. THE AMENDED SITE PLAN APPLICATION IS FOR THE EXISTING APPROVED SITE PLAN PREPARED FOR CARGAIN FUNERAL HOMES, INC. DATED 07/13/2008.

MAP REFERENCE NOTES:

- PROPERTY LINES SHOWN HEREIN TAKEN FROM ACTUAL FIELD SURVEY BY ZARECKI & ASSOCIATES, L.L.C. ON APRIL 21, 2014.
- TOPOGRAPHIC INFORMATION SHOWN HEREIN PREPARED BY ZARECKI & ASSOCIATES, L.L.C. IN APRIL OF 2014 ASSAID DATA.
- THIS MAP IS NOT TO BE USED FOR TITLE PURPOSES.
- THIS MAP IS NOT TO BE USED FOR TITLE PURPOSES.
- THIS MAP IS NOT TO BE USED FOR TITLE PURPOSES.
- THIS MAP IS NOT TO BE USED FOR TITLE PURPOSES.

GENERAL NOTES:

- REFER TO STORMWATER POLLUTION PREVENTION PLAN FOR CONSTRUCTION PLANNING.
- CONSTRUCTION TEMPORARY SAFETY CONES ALONG PEDESTRIAN WALKWAYS AND SHOW AREA DURING EVENTS.

CONSENT NOTE
THE UNDERSIGNED OWNER(S) OF THE PROPERTY AND APPLICANT(S) OF THE PROJECT HEREBY STATE THAT THEY ARE FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGALS AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

SIGNED THIS _____ DAY OF _____

BY: _____

BY: _____

TOWN OF CARMEL PLANNING BOARD APPROVAL

APPROVED BY REGULATION OF THE PLANNING BOARD OF THE TOWN OF CARMEL, NEW YORK, ON THIS _____ DAY OF _____, 2014, ANY CHANGES, ERRORS, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

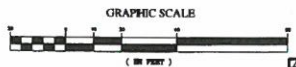
SIGNED THIS _____ DAY OF _____

BY: _____ CHAIRMAN

BY: _____ SECRETARY

SKIN TABLE

COORDINATION NUMBER	SIGN	SIZE	DESCRIPTION	REMARKS	HEIGHT	REGULATORY	REPLACEMENT
A		12"x18"	BLUE ON WHITE	STEEL CHANNEL	7'-0"	RS-1	YES
B		12"x18"	RED ON WHITE	STEEL CHANNEL	7'-0"	RT-1	YES
C		12"x18"	GREEN ON WHITE	STEEL CHANNEL	7'-0"	-	YES



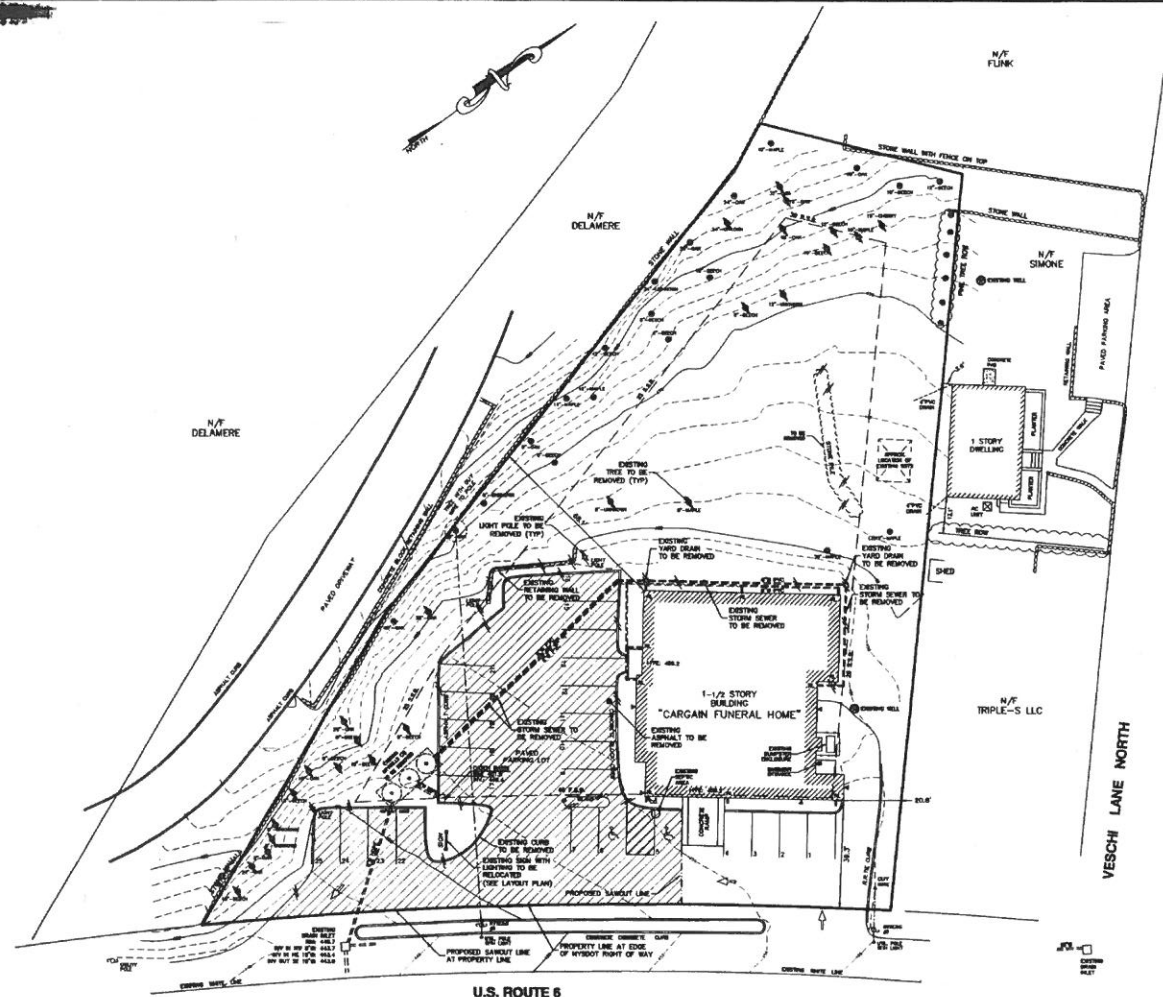
REVISION PER TOWN COMMENTS: 05/13/2014
REVISION PER TOWN COMMENTS: 08/28/2014



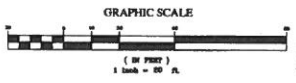
AMENDED SITE PLAN & LANDSCAPING PLAN
FOR
CARGAIN FUNERAL HOMES, INC.
TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

SCALE: 1" = 20' APPROVED BY: _____ DRAWN BY: AS
DATE: 08/28/2014 PROJECT NO.: 2014-010 DESIGN BY: JZ/AB

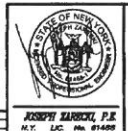
ZARECKI & ASSOCIATES, L.L.C. SHEET NO. 2 OF 9
Consulting Engineers / Land Surveyors / Architects
11 Wall Street • 9th Floor • New York, NY 10005
Tel: 212-693-7728 Fax: 212-693-7729



- LEGEND**
- PROPERTY LINE
 - - - ADJ PROPERTY LINE
 - ▨ EXISTING BUILDING
 - EXISTING CURB
 - EXISTING SIGN (TO BE RELOCATED)
 - EXISTING CATCH BASIN/YARD DRAIN
 - EXISTING MANHOLE
 - EXISTING WELL
 - EXISTING RETAINING WALL
 - EXISTING STONE WALL
 - EXISTING PINE TREE ROW
 - EXISTING UTILITY POLE
 - ⊙ EXISTING TREE
 - ▲ EXISTING BUILDING MOUNTED LIGHT FIXTURE (APPROX. LOCATION)
 - EXISTING PAVEMENT PAINTED ARROWS
 - EXISTING TO BE REMOVED
 - EXISTING TREE TO BE REMOVED



Joseph Sankov, P.E.
Professional Engineer
No. 000-005-7922

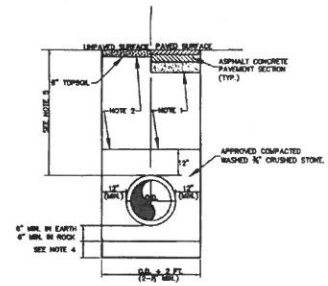
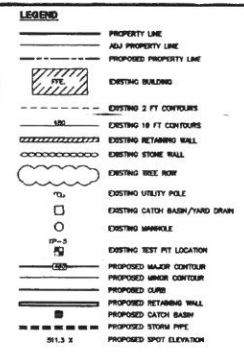
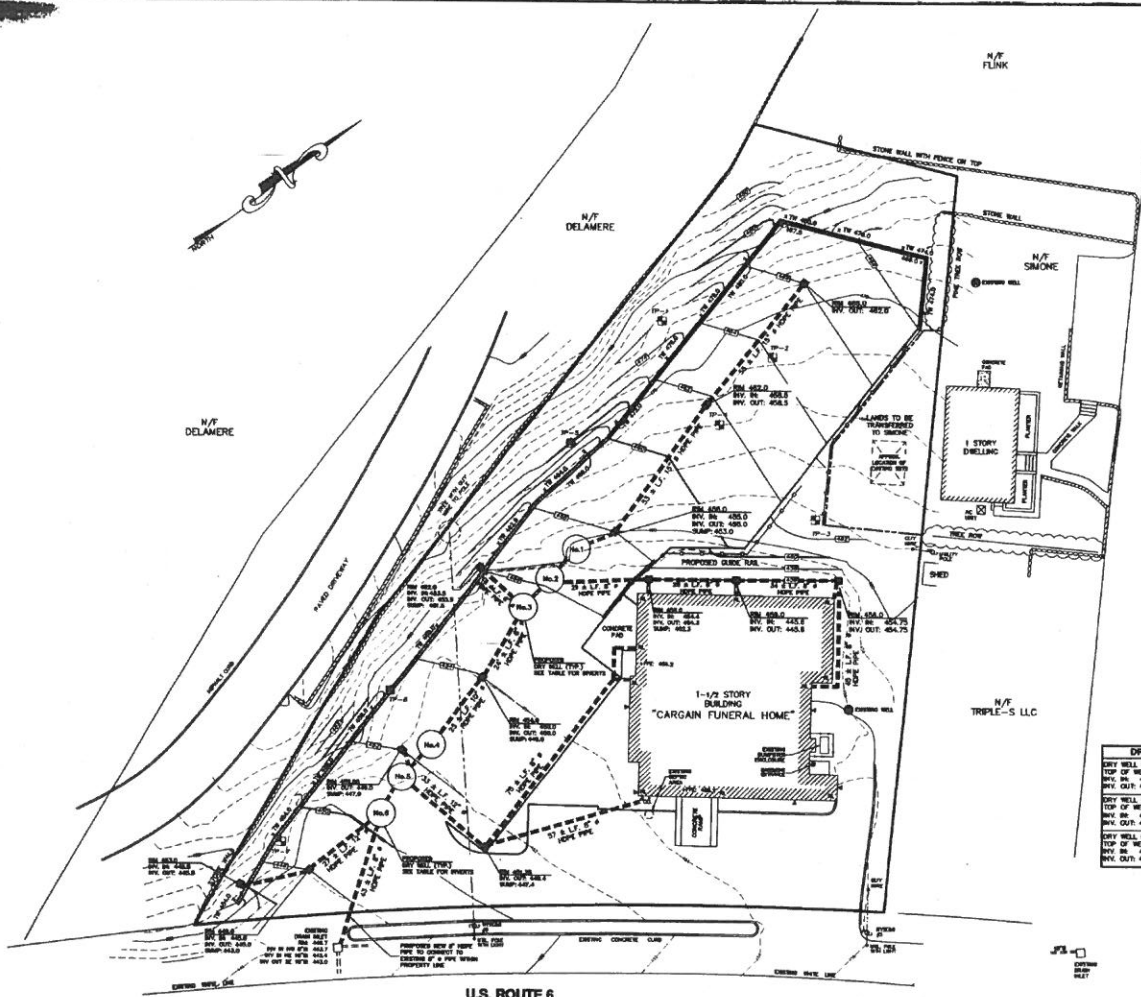


EXISTING CONDITIONS, DEMOLITION & TREE PLAN
FOR
CARGAIN FUNERAL HOMES, INC
TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

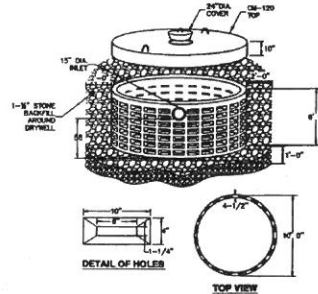
SCALE: 1" = 20' APPROVED BY: [Signature] DRAWN BY: [Signature]
DATE: 05/05/2014 PROJECT NO.: 2014-010 CHECKED BY: [Signature]

ZARECKI & ASSOCIATES, L.L.C.
Consulting Engineers - Land Surveyors - Architects
11 West Main St. P.O. Box 1018 Carmel, NY 12021
914.863.7711 FAX: 914.863.7712

SHEET No. **3 OF 9**



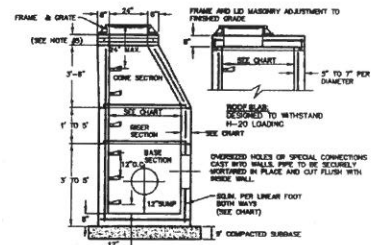
- NOTES:**
- BACKFILL MATERIAL UNDER UNPAVED SURFACES SHALL BE SUITABLE RUN-OF-TRENCH MATERIAL TO BE PLACED IN HORIZONTAL LIFTS NOT EXCEEDING 8 INCHES IN THICKNESS PRIOR TO COMPACTION. COMPACTION SHALL BE TO A MINIMUM OF 90% OF STANDARD PROCTOR MAXIMUM DENSITY. NO STONE SHALL BE GREATER THAN 3 INCHES IN SIZE.
 - BACKFILL MATERIAL UNDER UNPAVED SURFACES SHALL BE RUN-OF-TRENCH MATERIAL TO BE PLACED IN HORIZONTAL LIFTS NOT EXCEEDING 12 INCHES IN THICKNESS PRIOR TO COMPACTION. COMPACTION SHALL BE TO A MINIMUM OF 90% OF STANDARD PROCTOR MAXIMUM DENSITY. NO STONE SHALL BE GREATER THAN 4 INCHES IN SIZE.
 - WHEN PLACING FILL OR BACKFILL AROUND VALVES AND PIPES, LIFTS SHALL BE PLACED TO PROCEED FROM THE PIPE OR VALVE TO THE LOCAL DEPTH OF BOTH SIDES.
 - A MINIMUM OF 12" OF COMPACTED MATERIAL CONFORMING TO HYDROT 703-02 SIZE 3 SHALL BE PLACED UNDER 4" SURFACE IF UNPAVED MATERIAL IS ENCOUNTERED AT PIPE INVERT.
 - UNPAVED DEPTH OF COVER FOR WOODS INSTALLATIONS ARE AS FOLLOWS:
 - VARIABLE FOR STONE CHANNELS (1:1 SLOPE), EXCEPT AT OUTFALLS AND BAYS.



DRY WELL INVERT TABLE

DRY WELL No.1 TOP OF WELL: 455.7 BVC IN: 454.8 BVI OUT: 454.8	DRY WELL No.4 TOP OF WELL: 460.9 BVC IN: 449.7 (2) BVI OUT: 449.7	DRY WELL No.5 TOP OF WELL: 460.0 BVC IN: 443.8 (2) BVI OUT: 443.8	DRY WELL No.6 TOP OF WELL: 454.0 BVC IN: 452.8 BVI OUT: 452.8	DRY WELL No.8 TOP OF WELL: 449.0 BVC IN: 447.8 BVI OUT: 447.8
--	--	--	--	--

SPECIFICATIONS:
 CONCRETE MINIMUM STRENGTH: 4,000 PSI AT 28 DAYS
 REINFORCEMENT: #1 REBAR @ 18" ON CENTER
 ENTIREMENT: 3"
 CAPACITY: LOAD GALLONS TO INLET: 2,000 GAL. TOTAL
 NORMAL AREA: 125 SQUARE FEET
 FLOOD RATING: HYD. HEIGHT = 4400 LBS
PRECAST DRY WELL MODEL DW-410
 S.A.



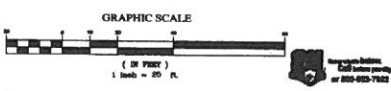
- NOTES:**
- SEE MANHOLE IN EXIST. CONFORMANCE WITH ASTM C476, LATEST REVISION, AND HYDROT SECTION 703-04.
 - CONCRETE TO TEST 4,000 PSI AT 28 DAYS.
 - LIFTING HOLES OR BAYS IN EACH SECTION.
 - FOR UNITS OVER 18" OF 60 PSI WALL THICKNESS WILL BE 1" BELOW THE 10'-0" DEPTH. IF THE WALL THICKNESS IS INCREASED ASK TO DEPTH, THE THICKNESS SHALL BE INCREASED TO 1.5" MINIMUM FLUSH.
 - INVERT PAVEMENT COURSE (IF MAJ.) OR CONCRETE SPAN RING (IF MAJ.).
 - MANHOLE DEEPER THAN 5' SHALL REQUIRE SPECIAL FALL PROTECTION PER OSHA REQUIREMENTS.

- GRATES & COVERS:**
- DRAINAGE ROOF SLAB BY FRAME AND GRATE CHANNEL, PEDESTAL CO. PATENT & MADE.
 - DRAINAGE COVE OR SLAB ROOF BY CAMPBELL FRAME & GRATE TYPES OR EQUAL.

MANHOLE CHART

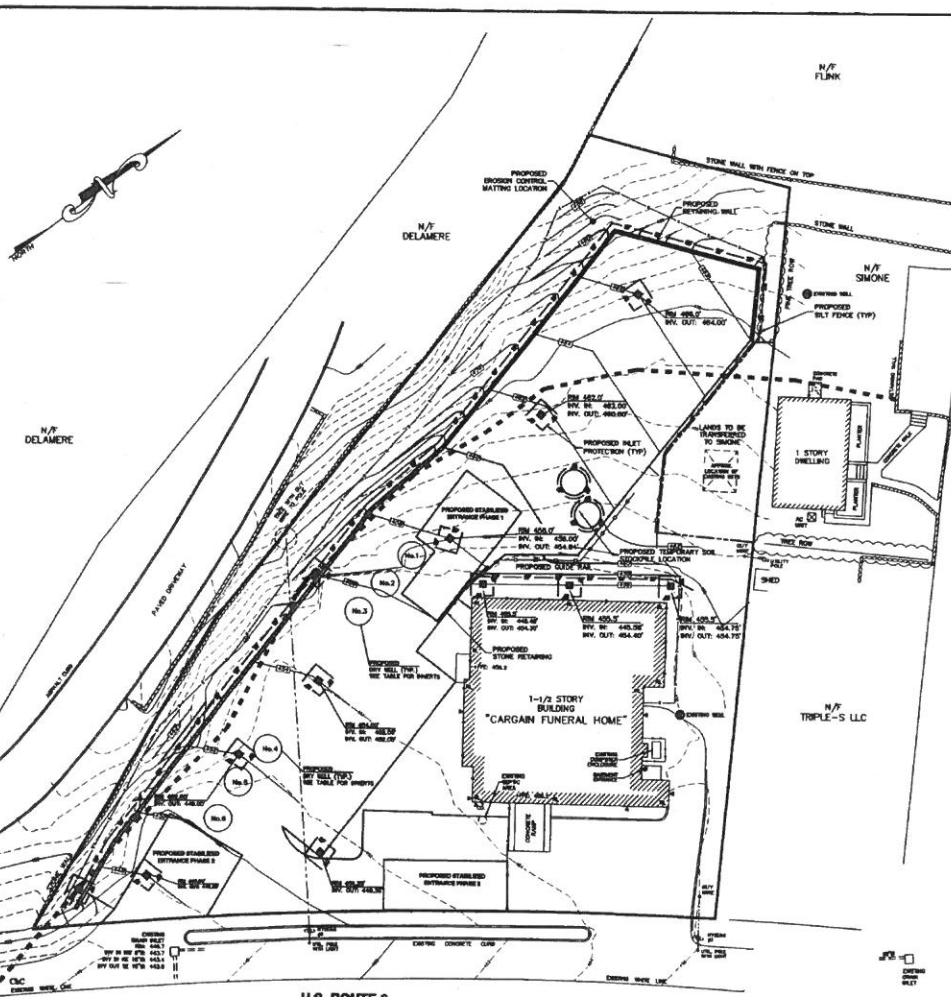
INVERT DRAINAGE DEPTH	MAX. WALL THICKNESS	MAX. DEPTH	CONCRETE MIN. STRENGTH TO BE PER FOOT
4'-0"	8"	12'	0.15
6'-0"	8"	20'	0.15
7'-0"	8"	25'+	0.18
8'-0"	7"	25'+	0.21

TYPICAL DRAINAGE MANHOLE
 S.A.



GRADING & UTILITY PLAN
CARGAIN FUNERAL HOMES, INC
 TOWN OF CHARLES, PUTNAM COUNTY, NEW YORK
 SCALE: 1" = 20' APPROVED BY: JS
 DATE: 08/26/2014 PROJECT NO.: 2014-010 DESIGN BY: JAS
ZARECKI & ASSOCIATES, L.L.C. SHEET NO. 4 OF 9
 Consulting Engineers - Land Surveyors - Architects
 11 West Corn St., Putnam NY 12574
 914.893.2772 Fax: 914.893.2794

APPROVED FOR TOWN COMMISSION	DATE	08/26/2014
DESIGNED FOR TOWN COMMISSION	DATE	08/26/2014



LEGEND

- PROPERTY LINE
- ADJ. PROPERTY LINE
- EXISTING BUILDING
- EXISTING 2 FT. CONTOURS
- EXISTING 10 FT. CONTOURS
- EXISTING STONE WALL
- EXISTING RETAINING WALL
- EXISTING STONE WALL
- EXISTING TREE ROW
- EXISTING WALK
- EXISTING UTILITY POLE
- EXISTING CATCH BASIN/YARD DRAIN
- EXISTING MANHOLE
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED CURB
- PROPOSED PROPERTY LINE
- PROPOSED RETAINING WALL
- PROPOSED CATCH BASIN
- PROPOSED SPOT ELEVATION
- PROPOSED LIMITS OF DISTURBANCE
- PROPOSED SOIL STOCKPILE
- PROPOSED SILT FENCE
- PROPOSED DRAIN INLET PROTECTION

SOILS LEGEND

SYMBOL	SOIL NAME/DESCRIPTION	SLOPE	SOIL GROUP
CnC	CHARLTON LOAM	0-10 %	B
CvD	CHATELAIN-CHARLTON	10-20 %	B

SOIL EROSION AND SEDIMENT CONTROL NOTES:

- LAND DISTURBANCE SHALL BE KEPT TO A MINIMUM. RE-STABILIZATION SHALL BE SCHEDULED AS SOON AS PRACTICAL.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO COMMENCING MAJOR WORK.
- SILT FENCES AS SHOWN ON THE PLANS SHALL BE INSTALLED ALONG THE TOE OF EXISTING CUTS AND ALL BARRIERS/CONTROL DEVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- ALL EROSION CONTROL STRUCTURES ARE TO BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
- ADDITIONAL MEASURES SHALL BE INSTALLED DURING THE CONSTRUCTION PERIOD IF NECESSARY OR REQUIRED BY THE CONTRACTOR.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN SEVEN (7) DAYS, AND ARE NOT SUBJECT TO CONSTRUCTION TRAFFIC, SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS SHALL BE MULCHED WITH STRAW OR COMPOSTED MATERIAL.
- THE SEEDING SHALL BE DONE IN ACCORDANCE WITH THE BELOW GUIDELINES, AS FOLLOWS:
 - 1) SITE PREPARATION
 - 2) INITIAL EROSION CONTROL MEASURES SCARIFY COMPACTED SOIL AREAS.
 - 3) PREPARE SEED BED BY BARRING TO REMOVE STONES, TWIGS, ROOTS AND OTHER FOREIGN MATERIAL. APPLY SOIL AMENDMENTS AND MIXTURES WITH SOIL. APPLY SEED UNIFORMLY BY CHLORINE SEEDER, CULT-PACER OR HYDRO-SEEDER AT RATES INDICATED. BROADCAST SEEDING RATE BY 10 X WHEN HYDRO-SEEDING. STRAWLE TO FULLY SANGRARE SOIL LAYER, BUT NOT TO DISRUPT PLANTING.
 - 4) SEED MIXTURES SHALL BE MAINTAINED IMMEDIATELY AFTER SEEDING.
 - 5) STOCKPILES SHALL NOT BE LOCATED WITHIN FIFTY (50) FEET OF CATCH BASINS AND AT LEAST 200 FEET FROM ANY BODY OF WATER. THE BASE OF ALL STOCKPILES SHALL BE PROTECTED BY SILT FENCE.
 - 6) SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED BY THE CONTRACTOR ON A DAILY BASIS TO ENSURE THAT TEMPORARY AND PERMANENT DITCHES, PIPES AND STRUCTURES ARE CLEAR OF DEBRIS, THAT DRAINAGES AND SEWERS ARE NOT BARRIERS, AND THAT ALL BARRIERS ARE INTACT.
 - 7) SILT FENCE SHALL REMAIN IN PLACE UNTIL PERMANENT VEGETATION IS ESTABLISHED.
 - 8) THE CONTRACTOR SHALL MAINTAIN ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES UNTIL FINAL ACCEPTANCE OF THE WORK BY THE APPLICANT. UPON EXTENSION OF FINAL ACCEPTANCE, THE APPLICANT SHALL ASSUME RESPONSIBILITY FOR THE CONTINUED MAINTENANCE OF PERMANENT SOIL EROSION AND SEDIMENTATION CONTROL MEASURES.
 - 9) THE CONTRACTOR SHALL INSTALL AND MAINTAIN THE STABILIZED CONSTRUCTION ENTRANCE DURING CONSTRUCTION.

PERMANENT VEGETATIVE COVER NOTES:

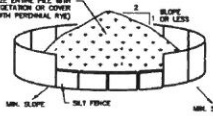
1. SITE PREPARATION
 - 1) INITIAL EROSION CONTROL MEASURES.
 - 2) SCARIFY COMPACTED SOIL AREAS.
 - 3) LINE AS REQUIRED TO PM 1.0.
 - 4) FERTILIZE WITH 10-0-4-4 R/L/P/D/O 1/2.
 - 5) INCORPORATE AMENDMENTS INTO SOIL WITHIN 600 CM HARBOR.
2. SEED MIXTURES FOR USE ON BRULES & CUT/PAV. AREAS

MIXTURE	LB./ACRE
AL. A	20
AL. B	20
3. SEEDING
 - 1) PREPARE SEED BED BY BARRING TO REMOVE STONES, TWIGS, ROOTS AND OTHER FOREIGN MATERIAL.
 - 2) APPLY SEED UNIFORMLY BY CHLORINE SEEDER.
 - 3) STRAWLE TO FULLY SANGRARE SOIL LAYER, BUT NOT TO DISRUPT PLANTING SOIL.
 - 4) SEED BETWEEN MARKS 15 TO 20 FEET AND SEPARET 10 TO 15 FEET. SEEDING MAY OCCUR MAY 15 TO AUGUST 15 BY APPROPRIATE IRRIGATION IS PROVIDED.

TEMPORARY VEGETATIVE COVER NOTES:

1. SITE PREPARATION
 - 1) INITIAL EROSION CONTROL MEASURES.
 - 2) SCARIFY AREAS OF COMPACTED SOIL.
 - 3) FERTILIZE WITH 10-0-4-4 R/L/P/D/O 1/2.
 - 4) LINE AS REQUIRED TO PM 1.0.
2. SEED MIXTURE

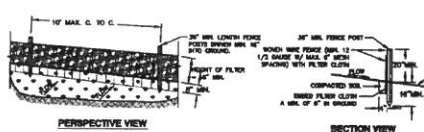
MIXTURE	LB./ACRE
AL. A	20
AL. B	20
3. SEEDING
 - 1) PREPARE SEED BED BY BARRING TO REMOVE STONES, TWIGS, ROOTS AND OTHER FOREIGN MATERIAL.
 - 2) APPLY SEED UNIFORMLY BY CHLORINE SEEDER.
 - 3) STRAWLE TO FULLY SANGRARE SOIL LAYER, BUT NOT TO DISRUPT PLANTING SOIL.
 - 4) SEED BETWEEN MARKS 15 TO 20 FEET AND SEPARET 10 TO 15 FEET. SEEDING MAY OCCUR MAY 15 TO AUGUST 15 BY APPROPRIATE IRRIGATION IS PROVIDED.



INSTALLATION NOTES:

1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 3:1.
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBLES THEN STABILIZED WITH VEGETATION OR COVERED.
4. SEE DETAIL (A) FOR APPLICATION OF SILT FENCE.
5. PROVIDE OVERLAP SHALL BE GRADIENT OF LOCATION.

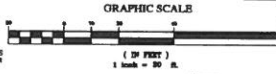
SOIL STOCKPILE DETAIL



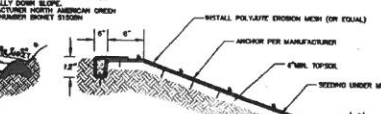
CONSTRUCTION SPECIFICATIONS:

1. WOOD SILT FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "1" OR "1 1/2" TYPE OR HANDWOOD.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOOD SILT FENCE WITH NO SPACED ENDS. 2" AT TOP AND 3/8 SECTION. FENCE SHALL BE 100% WIDE 1 1/2" GAUGE 12" WOOD SHIMS.
3. WOOD TWO SECTIONS OF FILTER CLOTH AGAIN EACH OTHER THEY SHALL BE OVERLAPPED 6" INCHES AND PROTECT. FILTER CLOTH SHALL BE OTHER FILTER X. BRUSH TIED, STABILIZATION TIE OR IMPROVED EQUIPMENT.
4. PRE-ANNEALED METS SHALL BE OF AN ENHANCED, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "WALKOFF" DEVELOP IN THE SILT FENCE.

SILT FENCE DETAIL

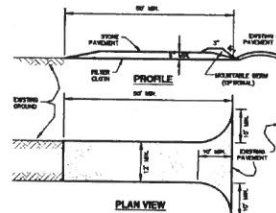


SPECIAL NOTE:



INSTALLATION SEQUENCE:

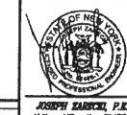
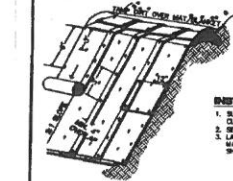
1. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLIPS, STOPS AND SHALL PLACE TOPSOIL.
2. SEED FREE SEEDING (SEE SEEDING NOTES).
3. LAY FILTER CLOTH (SEE SEEDING NOTES).
4. FASTEN FILTER CLOTH TO SLOPE SURFACE. MANUFACTURER DO NOT STRETCH MATS. SHALL HAVE GOOD SOIL CONTACT.



STABILIZED CONSTRUCTION ENTRANCE DETAIL

1. STONE SOFT - USE 1" STONE.
2. LENGTH - NO LESS THAN 30 FEET.
3. THICKNESS - NOT LESS THAN 10 INCHES.
4. WIDTH - TRUCK (12) FOOT WIDE, BUT NOT LESS THAN THE FULL WID. AT POINTS WHERE BARRIERS OR COVERING OCCUR. WIDTH - FOUR (4) FOOT IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH (MIN. 140 G) - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION OPERANCES SHALL BE PIPED ACROSS THE ENTRANCE.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED BY A CONTRACTOR WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT INTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT UNLESS DROPPED, WASHED OR BRANDED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. IMPROVEMENTS REQUIRED (IT SHALL BE DONE ON SITE) APPROVED SEDIMENT BARRIERS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
9. FUTURE PROTECTION AND REPAIRS MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

EROSION CONTROL MATTING/SLOPE STABILIZATION DETAIL

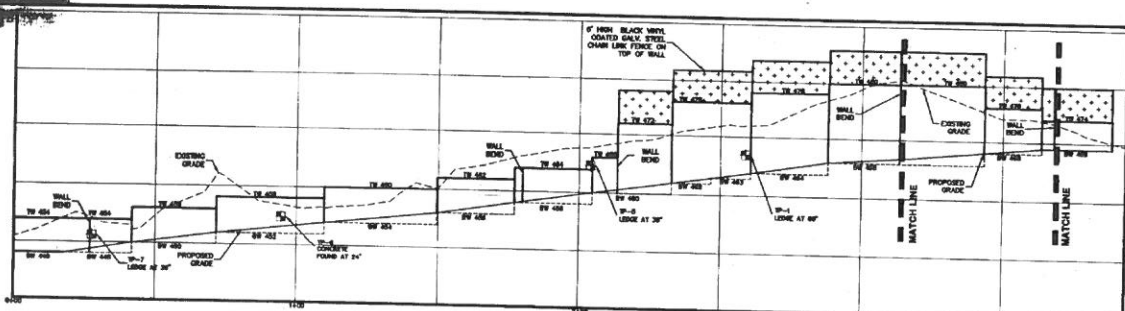


SEDIMENT & EROSION CONTROL PLAN
CARGAIN FUNERAL HOMES, INC
 TOWN OF GARFIELD, PUTNAM COUNTY, NEW YORK

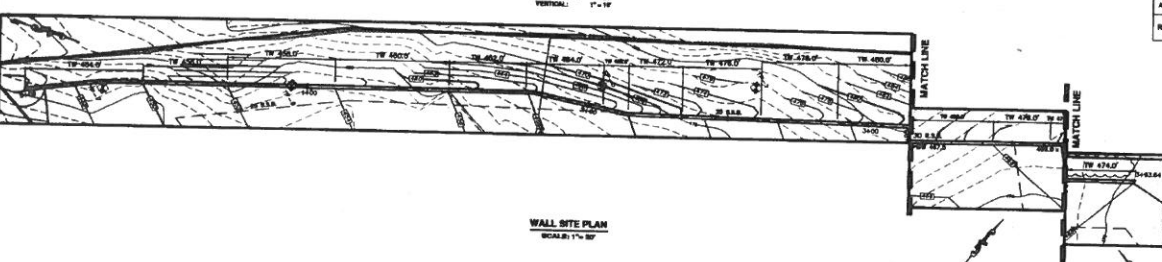
SCALE: 1" = 20' APPROVED BY: [Signature]
 DATE: 02/28/2014 PROJECT NO.: 2014-010 DESIGN SHEET NO.: 20/24

ZARECKI & ASSOCIATES, L.L.C.
 Civil/Erosion Engineers - Land Surveyors - Engineers, CT 06183
 111 South Main Street, Putnam County, NY 12572
 914.862.7722 Fax: 914.862.7722

6 OF 9



CROSS SECTION CL WALL
SCALE: HORIZONTAL 1" = 5'
VERTICAL 1" = 1'



WALL SITE PLAN
SCALE: 1" = 50'

COLD WEATHER CONCRETE NOTES:
PROVISIONS FOR CURING STRUCTURAL CONCRETE IN COLD WEATHER SHALL BE IMPLEMENTED IF THE AMBIENT AIR TEMPERATURE FALLS OR IS EXPECTED TO FALL BELOW 32°F (CONTACT ENGINEER FOR SPECIFICATIONS IF COLD WEATHER IS ANTICIPATED DURING PLACEMENT).
ALL STRUCTURAL CONCRETE SHALL BE CURED FOR A MINIMUM OF SEVEN CURING DAYS. A CURING DAY IS DEFINED AS ANY DAY DURING WHICH THE AMBIENT AIR TEMPERATURE AT THE CONCRETE SURFACE IS 40° OR HIGHER FOR THE ENTIRE DAY.

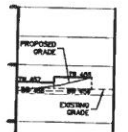
COLD WEATHER CURING REQUIREMENTS:

AMBIENT TEMPERATURE AT TIME OF CONCRETE PLACEMENT AND AS ANTICIPATED	CURING REQUIREMENTS
32°F < AT < 40°F FOR LESS THAN 24 CONSECUTIVE HOURS	CONTRACTOR PROPOSED ENGINEER APPROVED METHOD FOR MAINTAINING TEMPERATURES USED
32°F < AT < 40°F FOR MORE THAN 24 CONSECUTIVE HOURS	HEATING ENCLOSURE REQUIRED
AT < 32°F	HEATING ENCLOSURE REQUIRED

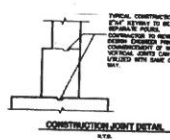
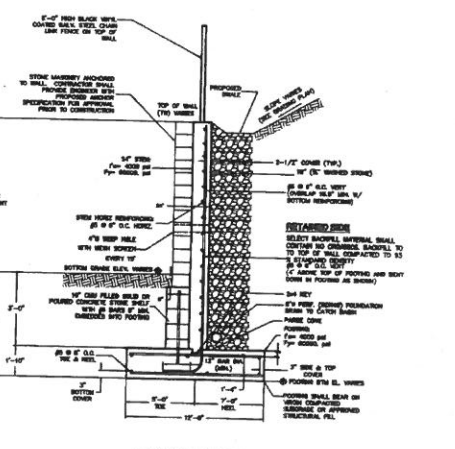
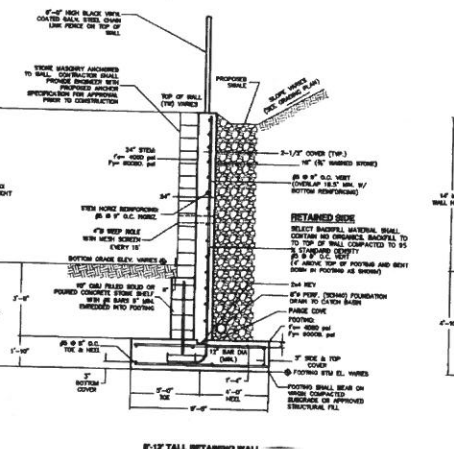
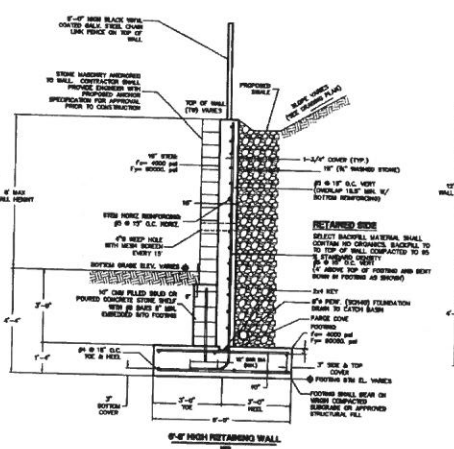
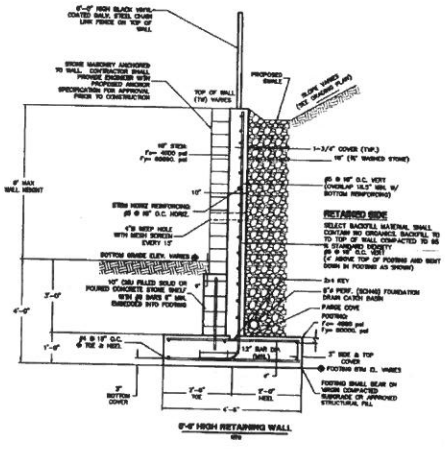
NOTES:
IF THE CURING TEMPERATURE FALLS BELOW 32°F AT ANY TIME DURING THE CURING PERIOD, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REWORKING AND LOCATING OFF SITE OF THE REJECTED CONCRETE AND THE PLACEMENT OF NEW CONCRETE. IF THE EXISTING METHOD EMPLOYED BY THE CONTRACTOR TO MAINTAIN THE CURING TEMPERATURE FALLS, THE CONTRACTOR SHALL MODIFY THE CURING METHOD IMMEDIATELY TO REESTABLISH AN ACCEPTABLE CURING TEMPERATURE. THE LENGTH OF CURING DAYS SHALL BE EXTENDED UNTIL THE REQUIRED NUMBER OF CURING DAYS ARE ACCUMULATED.
IF THE CONTRACTOR SELECTS TO MAINTAIN CURING TEMPERATURES BY EXTERNAL HEAT, THE CONTRACTOR SHALL FURNISH SUFFICIENT CURTAINS AND FRAMING, OR OTHER TYPE OF HOUSING, TO ENCLOSE AND PROTECT THE STRUCTURE IN SUCH A MANNER THAT THE AIR SURROUNDING THE FRESH CONCRETE ON ALL SIDES BE KEPT AT A TEMPERATURE BETWEEN 40°F AND 80°F FOR THE SPECIFIED CURING PERIOD.

MINIMUM TIME FOR FORM REMOVAL/FORMING/LIMITATIONS

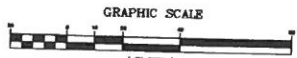
SUBSTRUCTURE TYPE	STRIPPING PERIOD	FORMING NEXT PLACEMENT (DAYS)	LIMITATIONS
ALL FOOTING	3 DAYS	2 DAYS	3 DAYS BEFORE NEXT PLACEMENT
RETAINING WALLS	3 DAYS IF LESS THAN 10 FEET, ADD 1 DAY FOR EACH ADDITIONAL 5 FEET TO 15 FEET, MAXIMUM	N/A	14 DAYS BEFORE BACKFILLING



CROSS SECTION CL WALL @ DRIVEWAY
SCALE: HORIZONTAL 1" = 5'
VERTICAL 1" = 1'



NOTES:
1. ALL 6\"/>



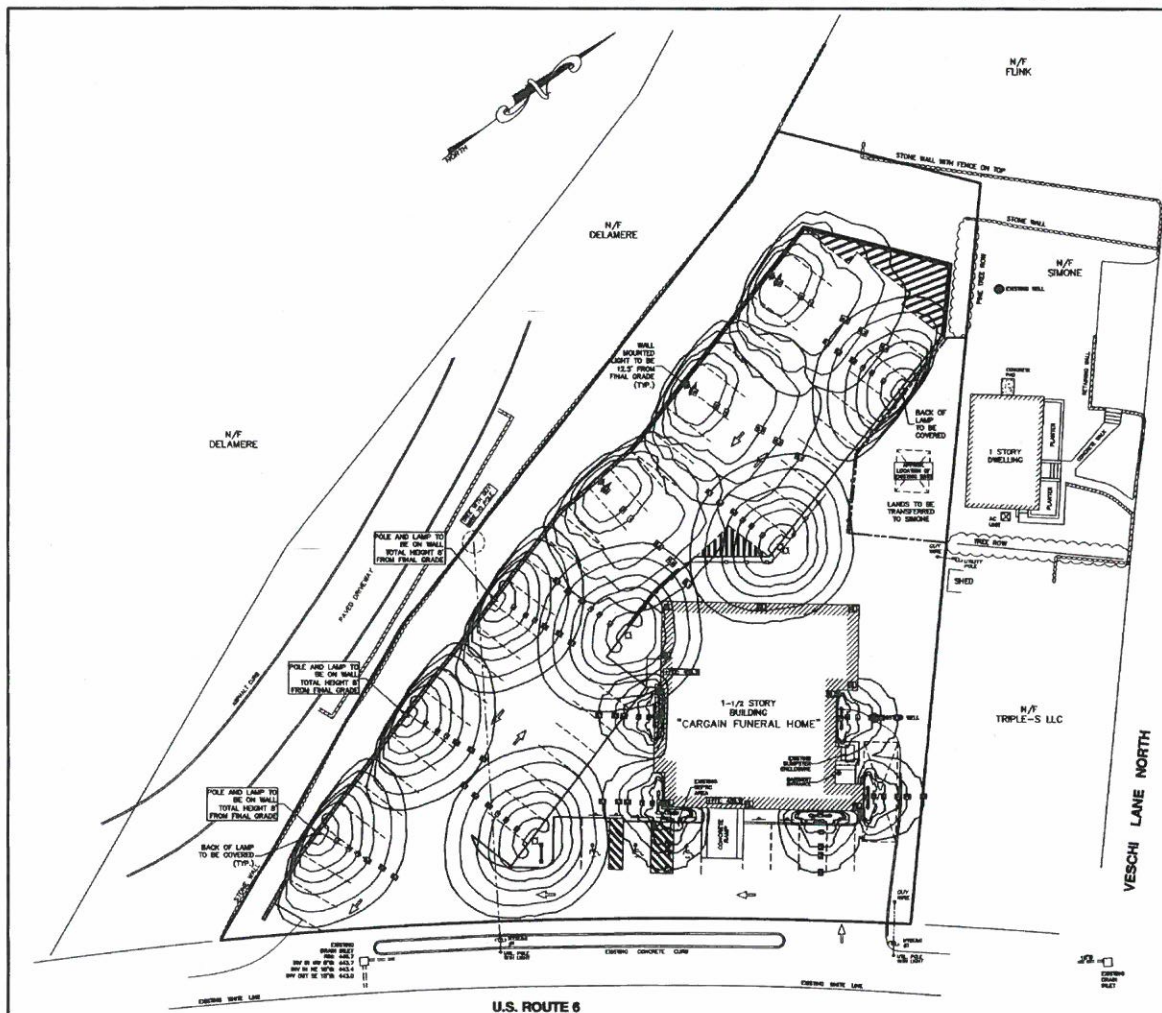
NOTE:
FORMS MAY BE REMOVED WITHOUT RESTRICTIONS, PROVIDED THE TEMPERATURE DIFFERENCE BETWEEN THE AIR AND THE SURFACE OF THE CONCRETE IS NOT MORE THAN 27°.

GENERAL FOUNDATION NOTES:
WHEN LEVISE IS ENCOUNTERED IT SHALL BE CUT LEVEL & STREPPED AS NEEDED.
ALL ELEVATIONS SHOWN IN AND AROUND WALLS SHALL BE HELD UNLESS WRITTEN APPROVAL FROM ENGINEER IS OBTAINED. NOTES AND ALL DIMENSIONS SHALL BE REFERENCED TO THE ENGINEER FOR CLARIFICATIONS PRIOR TO COMMENCEMENT OF WORK.
ALL PROPOSED FINISHED GRADE ELEVATIONS SHOWN ON THE SITE PLAN SHALL BE MEASURED IN THE FIELD.
CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND PLANS.
CONTRACTOR SHALL USE DIMENSIONS SHOWN ON THE PLAN. CONTRACTOR SHALL NOT USE SCALED DIMENSIONS.
CONTRACTOR IS RESPONSIBLE FOR LOCATING AND RELOCATING ALL UTILITIES WITHIN THE LIMITS OF THE PROPOSED WORK, AS NEEDED.
CONTRACTOR TO COORDINATE OTHER TRADES AS NEEDED TO COMPLETE SCOPE OF WORK.
ANY AND ALL UNDERMINING REMEDIATION MATERIAL NOT CLASSIFIED AS SUITABLE FILL WITH NO DIMENSION FROM TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
ANY FIELD CHANGES OR VARIATIONS IN THE CONSTRUCTION PLANS MUST BE APPROVED BY THE ENGINEER PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
THE CONTRACTOR SHALL CONSTRUCT FOUNDATION AS REQUIRED WITH A MINIMUM OF TWO POLYMER DRAINS PER FOOTING.

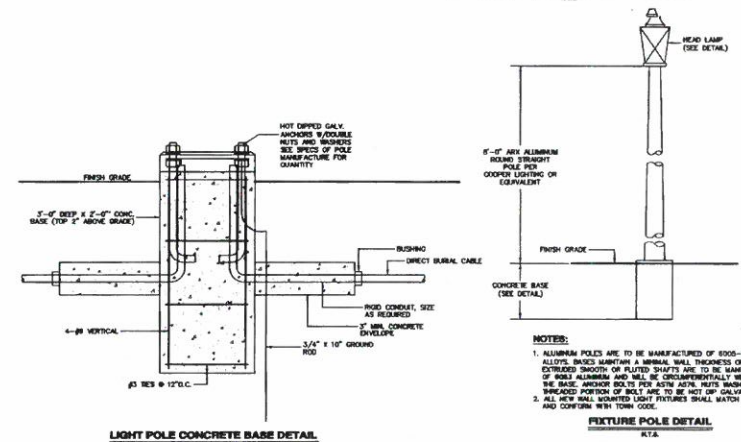
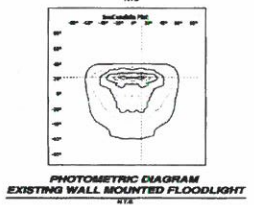
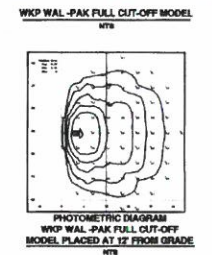
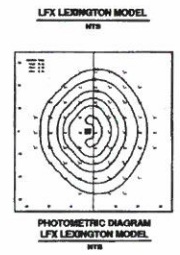
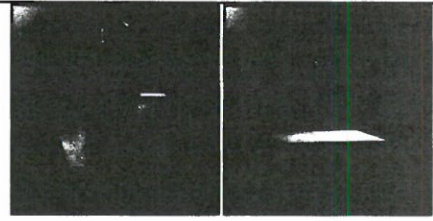
CONTRACTOR SHALL PROVIDE ALL SLICES THROUGH WALL FOR UTILITIES AS NEEDED/ MAINTAINED.
ALL EXPOSED CONCRETE SHALL BE FINISHED FREE OF FORM MARKINGS AND TIES. ALL FORM TIES SHALL BE REMOVED AND FIELDED AND BE CONSISTENT WITH PROPOSED FINISHES.
ALL BACKFILL MATERIAL SHALL BE SUITABLE FILL APPROVED BY ENGINEER PRIOR TO USE AND COMPACTED IN 6\"/>

- GENERAL STRUCTURAL FOUNDATION NOTES:**
- ALL FORMED CONCRETE SHALL BE: WALL/FOOTING # 4 @ 40\"/>

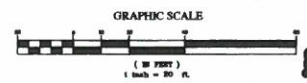
RETAINING WALL PLAN
FOR
CARGAIN FUNERAL HOMES, INC
TOWN OF CARROLL, PUTNAM COUNTY, NEW YORK
SCALE AS SHOWN APPROVED BY: [Signature] DRAWN BY: JAB
DATE: 04/26/2010 PROJECT NO: 2014-010 DESIGN BY: JCS
ZARECKI & ASSOCIATES, L.L.C. SHEET NO. 6 OF 9
11 West Main St. Suite 211, Putnam County, NY 12546
Phone: (845) 877-8400 FAX: (845) 877-8401



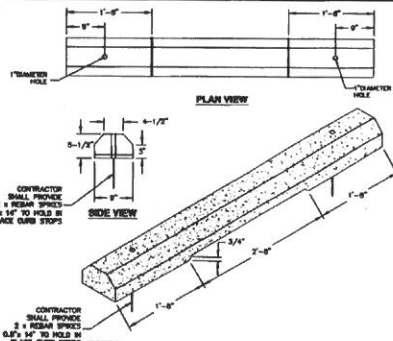
- LEGEND**
- PROPERTY LINE
 - - - ADJ PROPERTY LINE
 - - - PROPOSED PROPERTY LINE
 - ▨ EXISTING BUILDING
 - EXISTING WELL
 - ▤ EXISTING RETAINING WALL
 - EXISTING STONE WALL
 - ⋯ EXISTING PINE TREE ROW
 - ⊙ EXISTING UTILITY POLE
 - ⊕ EXISTING TREE
 - ⊖ EXISTING BUILDING MOUNTED LIGHT FIXTURE (APPROX. LOCATION)
 - ◁ EXISTING PAVEMENT PAINTED ARROWS
 - ▬ PROPOSED RETAINING WALL
 - ▬ PROPOSED CURB
 - ▬ PROPOSED PARKING STRIPE
 - ▬ PROPOSED PAVEMENT PAINTED ARROWS
 - ▬ PROPOSED GUIDE RAIL
 - ▬ PROPOSED LATTICE FENCE
 - PROPOSED WALL MOUNTED WALL LIGHT
 - ◆ PROPOSED NEW LIGHT POLE OR EXISTING RELOCATED



- NOTES:**
- ALUMINUM POLES ARE TO BE MANUFACTURED OF 6063-T5 ALUMINUM ALLOY. BRACE ARMATURE & INTERNAL WALL THROUGHS OF 120" EXTENDED SMOOTH OR PLATED SHAFTS ARE TO BE MANUFACTURED OF 6063 ALUMINUM AND ARE TO BE DISCONTINUOUSLY WELDED TO THE BASE. ANCHOR BOLTS PER ASTM A325, NUTS AND WASHERS AND BREAKED PORTION OF BOLTS ARE TO BE HOT DIP GALVANIZED.
 - ALL NEW WALL MOUNTED LIGHT FIXTURES SHALL MATCH EXISTING AND CONFORM TO NEW YORK CODE.

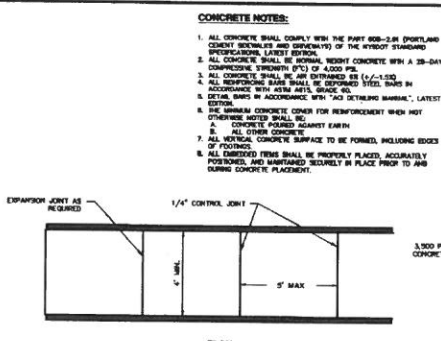


	LIGHTING PLAN AND DETAILS FOR CARGAIN FUNERAL HOMES, INC TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK	
	SCALE: 1" = 20' DATE: 08/26/2014	APPROVED BY: [Signature] PROJECT NO.: 2014.010
REVIEW PER YOUR COMMENTS 10/11/2014	ZARECKI & ASSOCIATES, L.L.C. Consulting Engineers - Land Surveyors - Architects 11 Wood South St. Poughkeepsie, NY 12604 PH: 845.371.7700	SHEET NO. 7 OF 9



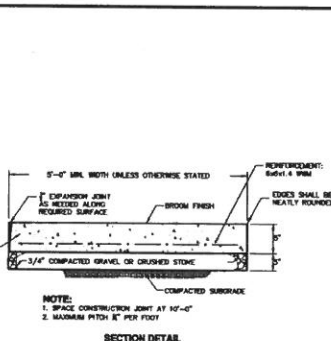
CONCRETE BUMPER BLOCK
S.T.A.

NOTES:
1. ALL CONCRETE SHALL BE NORMAL WEIGHT CONCRETE WITH A 28-DAY COMPRESSIVE STRENGTH (F'CD) OF 4,000 PSI. REINFORCEMENT BARS SHALL BE #4 REBAR (DIN#2).



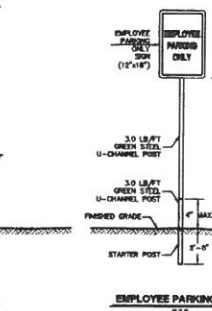
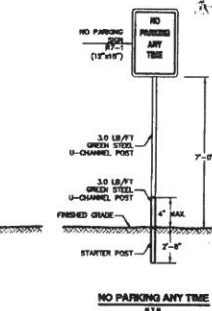
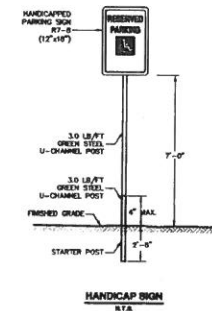
TYPICAL CONCRETE SIDEWALK DETAIL
S.T.A.

NOTES:
1. CONTRACTOR TO VERIFY PROPER BASE CONSTRUCTION.
2. ALL ADJACENT MATERIALS/SURFACES TO BE MAINTAINED. REPAIR ANY AREAS DAMAGED DURING DEMOLITION AND/OR INSTALLATION.
3. SURFACE GRADE OF SIDEWALK TO BE FITTED AND DRAIN AWAY FROM BUILDING.



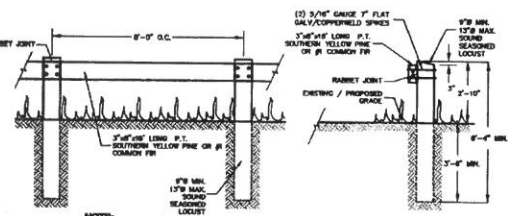
HANDICAP SIGN
S.T.A.

NOTES:
1. SPACE CONSTRUCTION JOINT AT 10'-0" MAXIMUM PITCH 8" PER FOOT.



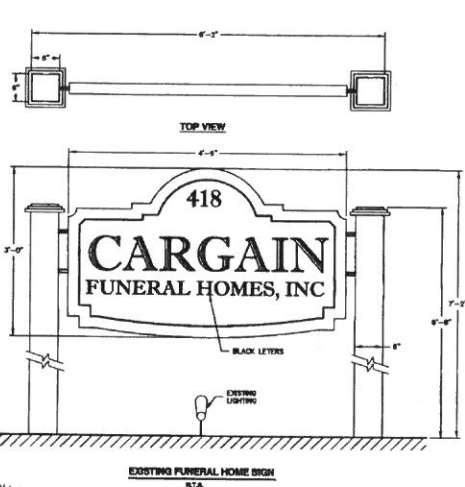
NO PARKING ANY TIME
S.T.A.

EMPLOYEE PARKING ONLY
S.T.A.

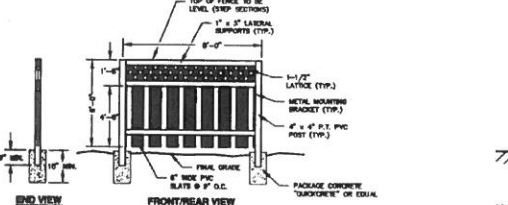


WOOD GUIDE RAIL DETAIL
S.T.A.

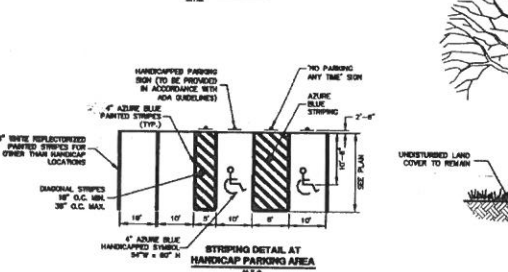
NOTE:
AFTER INSTALLATION ALL POSTS AND BARS SHALL BE GIVEN TWO COATS OF EXTERIOR WOOD PAINT APPROVED BY THE CONSULTING OR YOUR ENGINEER.



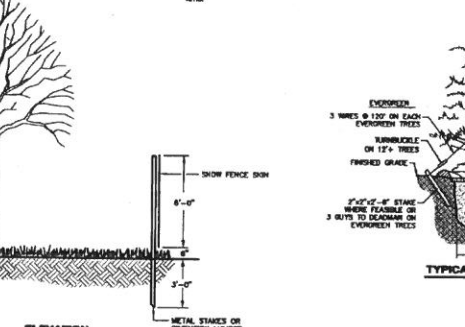
EXISTING FUNERAL HOME SIGN
S.T.A.



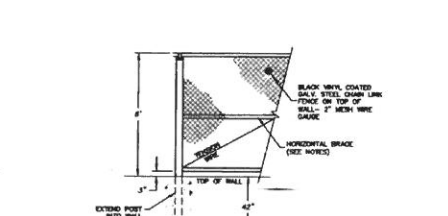
DOUBLE-RIBBED LATTICE-TOP PVC PRIVACY FENCE DETAIL
S.T.A.



STRIPING DETAIL AT HANDICAP PARKING AREA
S.T.A.

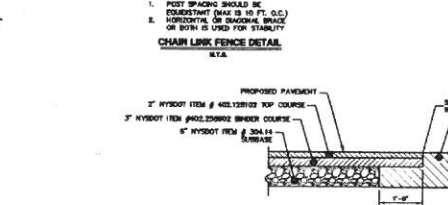


TYPICAL TREE PLANTING
S.T.A.



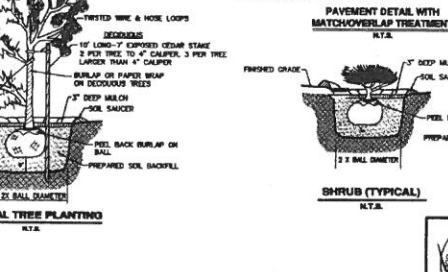
CHAIN LINK FENCE DETAIL
S.T.A.

NOTES:
1. POST SPACING SHOULD BE EQUIVALENT (MAX IS 30 FT. O.C.)
2. HYDROLYTIC SINGLES BRACE OR BOTH IS USED FOR STABILITY

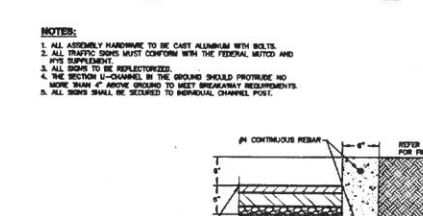


PAVEMENT DETAIL WITH MATCH-OVERLAP TREATMENT
S.T.A.

NOTES:
1. OVERLAP WITH PROPOSED COURSES OVER EXISTING SUBGRADE.
2. MINIMUM PAVEMENT THICKNESS TO BE SAME AS PROPOSED STRIPWAYS OR MATCH THICKNESS OF EXISTING PAVEMENT, WHICHEVER IS GREATER.

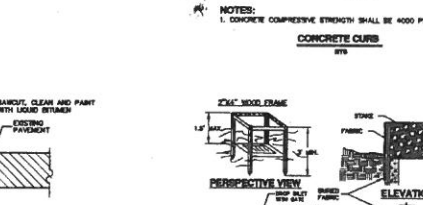


SHRUB (TYPICAL)
S.T.A.



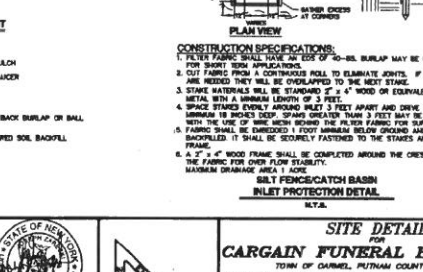
CONCRETE CURB
S.T.A.

NOTES:
1. CONCRETE COMPRESSIVE STRENGTH SHALL BE 4,000 PSI AT 28 DAYS.



PERSPECTIVE VIEW
S.T.A.

ELEVATION VIEW
S.T.A.



CONSTRUCTION SPECIFICATIONS:
1. FILTER FABRIC SHALL HAVE AN L50S OF 30-35 LB BURLAP MAY BE USED FOR FRONT END APPLICATIONS.
2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAGE.
3. STAKE MATERIALS WILL BE STAKED 2' x 4' WOOD OR EQUIVALENT METAL WITH A MINIMUM LENGTH OF 3 FEET.
4. STAKE STAKES EVENLY AROUND BUILT 3 FEET APART AND OVER A MINIMUM 18 INCHES DEEP. STAKES GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
5. FABRIC SHALL BE FURROWED 1 FOOT AHEAD OF BENCH MARKING AND BACKFILLED IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAMES.
6. A 2" x 4" WOOD FRAME SHALL BE COMPUTED AROUND THE CHEST OF THE FABRIC FOR OVER FLOW STABILITY.
7. MAXIMUM DRAINAGE AREA 1 ACRE.
8. 6" FILTER FABRIC.
9. 1/2" FILTER FABRIC.
10. 1/2" FILTER FABRIC.

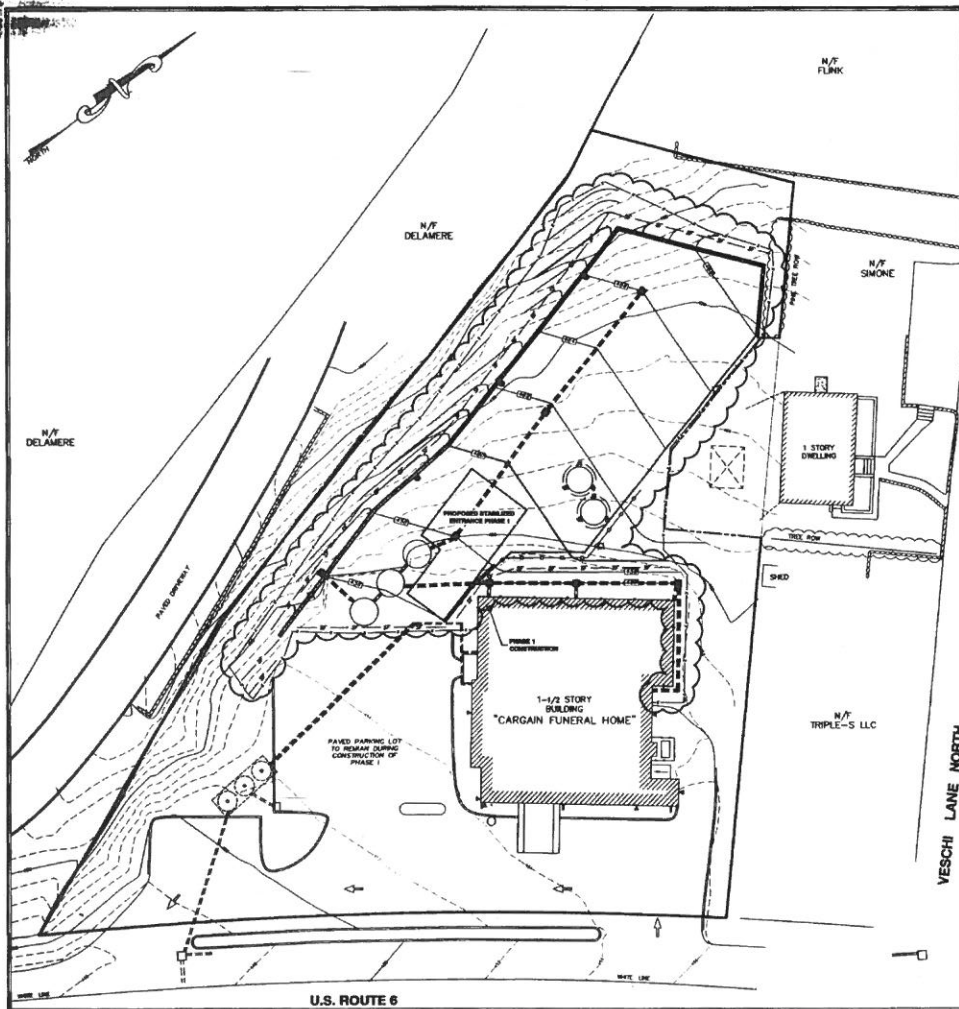
SITE DETAILS
FOR
CARGAIN FUNERAL HOMES, INC.
TOWN OF GARNER, PUTNAM COUNTY, NEW YORK

SCALE: N.T.S. APPROVED BY: DATE: 05/28/2014 PROJECT NO.: 2014-010 DRAWN BY: JZ/AB

ZARECKI & ASSOCIATES, L.L.C.
11 West 50th St. Pomona, NY 10971
845.863.8771

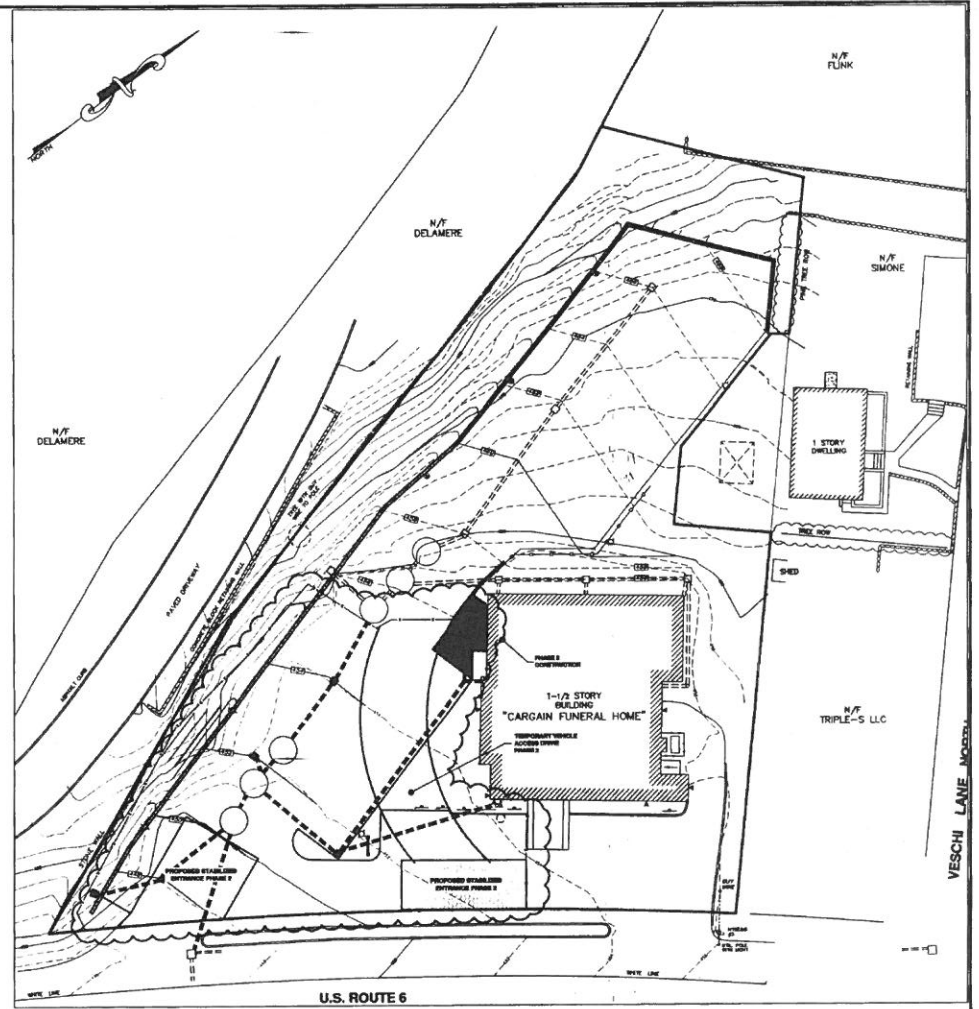
JOSEPH ZARECKI P.E.
N.Y. L.C. No. 61400

8 OF 9



U.S. ROUTE 6

PHASE 1



U.S. ROUTE 6

PHASE 2

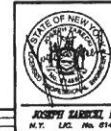
LEGEND

	PROPERTY LINE		PROPOSED MAJOR CONTOUR
	ADJ. PROPERTY LINE		PROPOSED MINOR CONTOUR
	PROPOSED PROPERTY LINE		PROPOSED CURB
	EXISTING BUILDING		PROPOSED RETAINING WALL
	EXISTING CURB		PROPOSED CATCH BASIN
	EXISTING SIGN		PROPOSED STORM PIPE
	EXISTING CATCH BASIN/YARD DRAIN		PROPOSED SPOT ELEVATION
	EXISTING MANHOLE		PROPOSED LIMITS OF DISTURBANCE
	EXISTING WALL		PROPOSED SOIL STOCKPILE
	EXISTING STONE WALL		PROPOSED 5/1/1 FENCE
	EXISTING PINE TREE ROW		PROPOSED SPOT ELEVATION
	EXISTING UTILITY POLE		PROPOSED WALL MOUNTED LIGHT
	EXISTING TREE		PROPOSED NEW LIGHT POLE OR EXISTING RELOCATED
	EXISTING BUILDING MOUNTED LIGHT FIXTURE (APPROX. LOCATION)		
	EXISTING PAVEMENT PAINTED ARROWS		

CONSTRUCTION PHASING PLAN:

- PHASE 1:**
1. CLEAR AND GRUB SITE.
 2. EXCAVATE SOIL AND/OR BLAST ROCK TO SUB-GRADE ELEVATIONS.
 3. INSTALL CONCRETE RETAINING WALL AND SUBSURFACE DRAINAGE.
 4. CONNECT NEW UPPER DRIVEWELLS TO EXISTING TO ALLOW FOR PROPER SITE DRAINAGE.
 5. INSTALL SUB-BASE AND BINDER COURSE FOR UPPER PARKING.
 6. TEMPORARILY STRIKE UPPER PARKING LOT TO ALLOW PARKING FOR PHASE 2.
- PHASE 2:**
1. DURING PHASE 2 WILL UTILIZE THE UPPER PARKING LOT, WITH A 24-FOOT WIDE ACCESS DRIVE TRAILING ALONG THE EASTERN SIDE OF THE EXISTING PARKING LOT.
 2. LAYOUT TEMPORARY DRIVE TO UPPER PARKING LOT.
 3. CONSTRUCT SOUTHERN RETAINING WALLS AND INSTALL SUBSURFACE DRAINAGE.
 4. INSTALL SUB-BASE AND BINDER COURSE UP TO TEMPORARY DRIVE.
 5. RELOCATE TEMPORARY DRIVE TO WESTERN SIDE OF THE PARKING LOT.
 6. INSTALL REARER SUBSURFACE DRAINAGE.
 7. INSTALL SUB-BASE AND BINDER COURSE.
 8. INSTALL TOP COURSE ON THE SITE.
 9. COMPLETE ALL NECESSARY FINISHES.

GRAPHIC SCALE



CONSTRUCTION PHASING PLAN
CARGAIN FUNERAL HOMES, INC.
 TOWN OF CARROLL, ALBANY COUNTY, NEW YORK

SCALE: 1" = 20'	APPROVED BY: JZ	DRAWN BY: AB
DATE: 10/28/2014	PROJECT NO.: 3014.010	DESIGN BY: CS/AB
ZARECKI & ASSOCIATES, L.L.C.		SHEET NO.
Consulting Engineers - Land Surveyors - Architects		9 OF 9
11 West 9th Street, 11th Floor, Albany, NY 12243-3771		REGISTERED PROFESSIONAL ENGINEER

ZARECKI
&
ASSOCIATES, L.L.C.

Engineers • Architects
Surveyors

Joseph Zarecki, PE
Jeffrey Hecker, LS
Curt Johnson, RA

11 West Main St.
Pawling, NY 12564
(845) 855-3771
(845) 855-3772 Fax
Website: zarecki.com
email: info@zarecki.com

Ridgefield, CT
(203) 438-7094
(203) 438-7157 Fax

October 14, 2015

Mr. Harold Gary, Chairman and Members of the Planning Board
Town of Carmel
60 McAlpin Avenue
Mahopac, New York 10541

Re: Cargain Funeral Home - **Lot Line Adjustment Fisher/Simone**
418 US Route 6
Town of Carmel, Putnam County
Tax Map #: 75.15-1-6 & 75.15-1-8

Dear Chairman Gary and Members of the Planning Board:

This letter is in response to the memorandum dated August 26, 2015 from Mr. Michael G. Carnazza, Director of Code Enforcement regarding his comments on the Lot Line Adjustment for the above referenced project. Please note that our responses to the comments are highlighted in **bold** print.

The following is enclosed for your review:

- Lot Line Realignment, Prepared for Thomas Fisher, Inc. & Joseph E. Simone, dated August 28, 2014; last revised October 14, 2015

Areas of all lots must be in square feet.

Response: All areas of both lots (Fisher and Simone) are now in square feet as requested.

The schedule of district regulations must have all proposed measurements and areas.

Response: The Schedule of Bulk Requirements now has all the proposed measurements and areas as requested.

A variance is required for rear yard and side yard for the "Simone" lot.

Response: Comment acknowledged.

Please do not hesitate to contact me should you have any further questions or require any additional information.

Sincerely,


Joseph Zarecki, PE

JZ/klr

enc.

cc: Client

2014.010



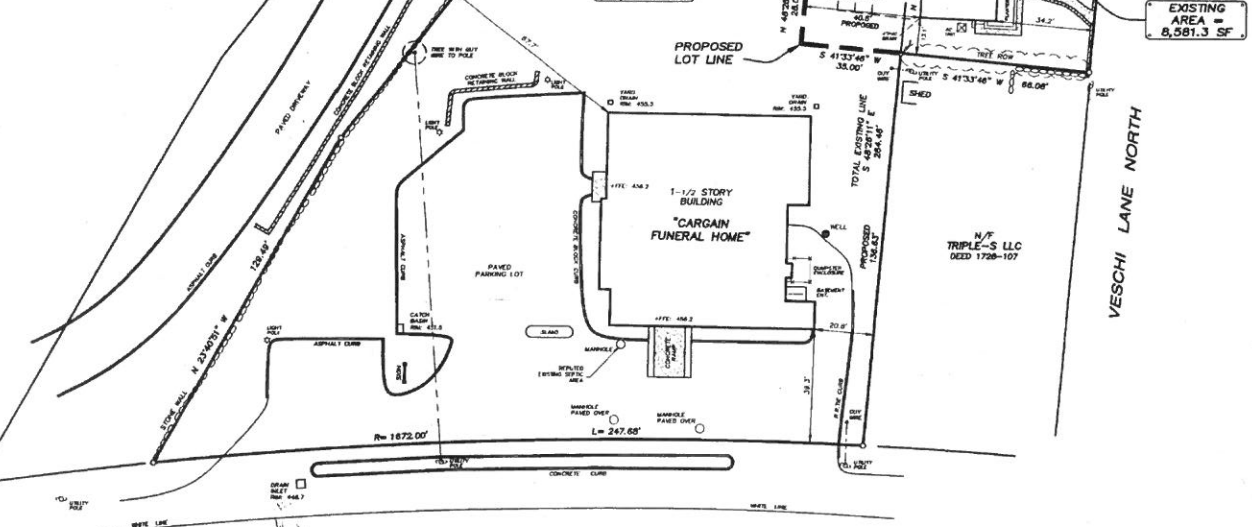
AREA SCHEDULE			
TAX LOT 75.15-1-B		TAX LOT 75.15-1-B	
EXISTING AREA	45,520.2 SF	EXISTING AREA	8,581.3 SF
PROPOSED AREA	43,980 SF	PROPOSED AREA	10,541.8 SF

SCHEDULE OF BULK REQUIREMENTS ZONE CG - COMMERCIAL DISTRICT			
ITEM	REQUIRED	PROPOSED 75.15-1-B	PROPOSED 75.15-1-B
MINIMUM LOT SIZE (SQUARE FEET)	90,000	43,980	10,541.8
MINIMUM ROAD FRONTAGE (FEET)	100	247.68	138.16
MAXIMUM SIDEWALK SURFACE COVERAGE BY BUILDING	30%	11.9%	10%
MINIMUM YARD COVERAGE (FEET)			
- FRONT	40	38.3'	34.2'
- SIDE	25	22.8'	13.1'
- REAR	30	158.6	18.3'
MAXIMUM BUILDING HEIGHT (FEET)	35	N/A	N/A
AVERAGE LOT WIDTH (FEET)	300	306	82.1'
AVERAGE LOT WIDTH (FEET)	800	162'	135.1'

* FIRE-EXTINGUISHING EQUIPMENT
** VARIANCE REQUIRED
*** VARIANCE GRANTED 04/23/1988



N/F DELAWARE
DEED 873-73



U.S. ROUTE 6

VESCHI LANE NORTH

THOMAS FISHER, INC.
TAX LOT 75.15-1-B
DEED 789-344
EXISTING AREA = 45,520.2 SF

SIMONE
TAX LOT 75.15-1-B
DEED 1793-387
EXISTING AREA = 8,581.3 SF

N/F TRIPLE-S, LLC
DEED 1728-107

PROPOSED LOT LINE

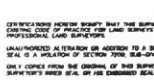
PROPOSED PARCEL 'A'
1,960.2 SF TO BE TRANSFERRED FROM PARCEL 75.15-1-B TO PARCEL 75.15-1-B

APPROXIMATE LOCATION OF EXISTING SITS

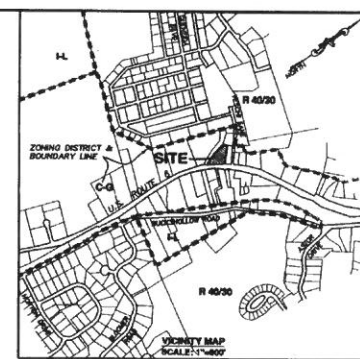
1 STORY DWELLING

1-1/2 STORY BUILDING
"CARGAIN FUNERAL HOME"

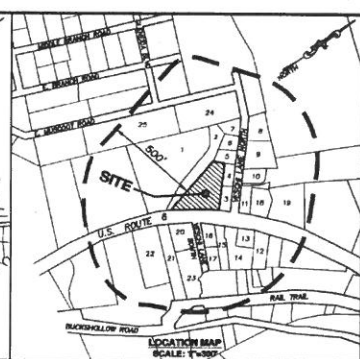
PAVED PARKING LOT



GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.



VICINITY MAP
SCALE: 1"=400'



LOCATION MAP
SCALE: 1"=500'

PROPERTY OWNERS WITHIN 500'		
1. PANDY J. DELAMERE TAX MAP # 75.15-1-B 100 WEST 10TH AVE MANHATTAN, NEW YORK 10041	10. RALPH B. APPEL TAX MAP # 75.15-1-B 100 WEST 10TH AVE MANHATTAN, NEW YORK 10041	19. ERIC GILBERT TAX MAP # 75.15-1-B 100 WEST 10TH AVE MANHATTAN, NEW YORK 10041
2. HARRIETT F. DELAMERE TAX MAP # 75.15-1-B 100 WEST 10TH AVE MANHATTAN, NEW YORK 10041	11. JOSEPH J. SIMONE TAX MAP # 75.15-1-B 100 WEST 10TH AVE MANHATTAN, NEW YORK 10041	20. MICHAEL GOLDBERG TAX MAP # 75.15-1-B 100 WEST 10TH AVE MANHATTAN, NEW YORK 10041
3. RALPH S. SILL TAX MAP # 75.15-1-B 100 WEST 10TH AVE MANHATTAN, NEW YORK 10041	12. HOWARD SIMONE TAX MAP # 75.15-1-B 100 WEST 10TH AVE MANHATTAN, NEW YORK 10041	21. MICHAEL STOKES TAX MAP # 75.15-1-B 100 WEST 10TH AVE MANHATTAN, NEW YORK 10041
4. JOSEPH J. SIMONE TAX MAP # 75.15-1-B 100 WEST 10TH AVE MANHATTAN, NEW YORK 10041	13. JOHN J. SIMONE TAX MAP # 75.15-1-B 100 WEST 10TH AVE MANHATTAN, NEW YORK 10041	22. DONALD PROFFER, INC. TAX MAP # 75.15-1-B 100 WEST 10TH AVE MANHATTAN, NEW YORK 10041
5. JOHN J. SIMONE TAX MAP # 75.15-1-B 100 WEST 10TH AVE MANHATTAN, NEW YORK 10041	14. JOHN J. SIMONE TAX MAP # 75.15-1-B 100 WEST 10TH AVE MANHATTAN, NEW YORK 10041	23. JOHN J. SIMONE TAX MAP # 75.15-1-B 100 WEST 10TH AVE MANHATTAN, NEW YORK 10041
6. JOHN J. SIMONE TAX MAP # 75.15-1-B 100 WEST 10TH AVE MANHATTAN, NEW YORK 10041	15. JOHN J. SIMONE TAX MAP # 75.15-1-B 100 WEST 10TH AVE MANHATTAN, NEW YORK 10041	24. JOHN J. SIMONE TAX MAP # 75.15-1-B 100 WEST 10TH AVE MANHATTAN, NEW YORK 10041
7. JOHN J. SIMONE TAX MAP # 75.15-1-B 100 WEST 10TH AVE MANHATTAN, NEW YORK 10041	16. JOHN J. SIMONE TAX MAP # 75.15-1-B 100 WEST 10TH AVE MANHATTAN, NEW YORK 10041	25. JOHN J. SIMONE TAX MAP # 75.15-1-B 100 WEST 10TH AVE MANHATTAN, NEW YORK 10041
8. JOHN J. SIMONE TAX MAP # 75.15-1-B 100 WEST 10TH AVE MANHATTAN, NEW YORK 10041	17. JOHN J. SIMONE TAX MAP # 75.15-1-B 100 WEST 10TH AVE MANHATTAN, NEW YORK 10041	26. JOHN J. SIMONE TAX MAP # 75.15-1-B 100 WEST 10TH AVE MANHATTAN, NEW YORK 10041
9. JOHN J. SIMONE TAX MAP # 75.15-1-B 100 WEST 10TH AVE MANHATTAN, NEW YORK 10041	18. JOHN J. SIMONE TAX MAP # 75.15-1-B 100 WEST 10TH AVE MANHATTAN, NEW YORK 10041	27. JOHN J. SIMONE TAX MAP # 75.15-1-B 100 WEST 10TH AVE MANHATTAN, NEW YORK 10041

OWNER / APPLICANT:
TAX LOT:
75.15-1-B
THOMAS FISHER, INC
100 WEST 10TH AVE
MANHATTAN, NY 10041

THE UNDERSIGNED OWNER OF THE PROPERTY AND APPLICANT OF THE PROJECT HEREBY STATE THAT THEY ARE FAMILIAR WITH THIS MAP, ITS CONTENTS AND ALL LAWS, TOWNS AND ORDINANCES AND HEREBY CONSENT TO THE FILING OF THIS PLAN.

OWNER _____ DATE _____

OWNER / APPLICANT:
TAX LOT:
75.15-1-B
JOSEPH E. SIMONE
7 VESCHI LANE NORTH
MANHATTAN, NY 10041

THE UNDERSIGNED OWNER OF THE PROPERTY AND APPLICANT OF THE PROJECT HEREBY STATE THAT THEY ARE FAMILIAR WITH THIS MAP, ITS CONTENTS AND ALL LAWS, TOWNS AND ORDINANCES AND HEREBY CONSENT TO THE FILING OF THIS PLAN.

OWNER _____ DATE _____

PUTNAM COUNTY HEALTH DEPARTMENT
"NON-SUBORDINATE" APPROVAL STATEMENT

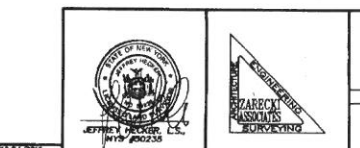
THIS IS TO CERTIFY THAT THE DESIGN OF LAND AS REPRESENTED ON THIS MAP DOES NOT FALL WITHIN THE DEFINITION OF SUBORDINATE AS SPECIFIED BY SECTION 1115 OF THE PUBLIC HEALTH LAW AND SECTION 1117 OF THE PUBLIC HEALTH LAW, AND THEREFORE IS NOT APPLICABLE. THIS MAP IS NOT SUBJECT TO REGULATION. CONSENT OF THE APPROVAL OF THE PUTNAM COUNTY DEPARTMENT OF HEALTH. APPROVAL OF THIS PLAN IS NOT REQUIRED, BUT ALL THE PROVISIONS OF THE PUTNAM COUNTY SANITARY CODE APPLY.

ENVIRONMENTAL HEALTH SERVICES _____ DATE _____

TOWN OF CARMEL PLANNING BOARD APPROVAL

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF CARMEL, NEW YORK, ON THE _____ DAY OF _____, ANY CHANGE, REVISION, MODIFICATION OR REMOVAL OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

CHAIRMAN _____ DATE _____
SECRETARY _____ DATE _____



LOT LINE REALIGNMENT
THOMAS FISHER, INC &
JOSEPH E. SIMONE
TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK
SCALE: 1"=20' PROJECT NO.: 2014.010 DATE: 08/28/2014
ZARECKI & ASSOCIATES, L.L.C.
Consulting Engineers - Land Surveyors - ARCHITECTS
111 West 10th Street, Carmel, NY 10512
JEFFREY P. ZARECKI, P.E.
04002335

LYNLIL ASSOCIATES
888 Route Six
Mahopac, New York 10541
T: (845) 621-1317 F: (845) 621-2379

October 14, 2015

By: Hand Delivery

Town of Carmel Planning Board
60 McAlpin Ave
Mahopac, NY 10541

Re: Swan Cove a/k/a 628 Route Six Renewal Request

Mr. Chairman,

This letter shall serve as a formal request to place the final site plan project for Swan Cove a/k/a 628 Route Six, Tax Map Number 76.5-1-49, on the next agenda for an extension of reapproval. Enclosed is the requisite \$1,000 check for the extension.

Thank you,



Michael A. Barile

MAB/eab
Enc.



MacDonald Marine, Inc.

One Marina Drive

Mahopac NY 10541

Phone: 845-628-2333 Fax: 845-628-6494

MacDonaldMarine@verizon.net

September 22, 2015

Mr. Harold Gery, Chairman
Planning Board, Town of Carmel
Mahopac, N.Y. 10541

Gentlemen:

I would respectfully request
a hearing for a renewal of my
site plan on 681 Union
Valley Road, Mahopac.

Sincerely yours,
Mac Donald Marine Inc.
Tom MacSully Pres.



September 16, 2015

Town of Carmel Planning Board
60 McAlpin Avenue
Mahopac, New York 10541

RE: The Hamlet at Carmel (Formerly Putnam Community Foundation Senior Housing Development)
Stoneleigh Avenue
Tax Map No. 66.-2-58

Dear Chairman Gary and Members of the Board:

The subject project was previously approved by the Board as the Putnam Community Foundation Senior Housing Development located on the site adjacent to the Putnam Hospital Center on Stoneleigh Avenue. As the Board is aware, the project was granted a twelve (12) month extension of the Final Site Plan Approval at the October 22, 2014 meeting. Since that time, the subject property has changed ownership and the project name has changed to The Hamlet at Carmel. There has been no substantial change in the condition of the site and/or its environs. The enclosed site plans have been updated with the new owner's information, the new project name and updated references to the NYSDEC General Permit GP-0-15-002 in the NYSDEC required SWPPP contents and Sediment and Erosion Control Notes. Otherwise, there has been no change to the site plans or the proposed project.

The applicant requests a re-grant of the Final Site Plan approval. Please place this item on the Board's upcoming September 30th agenda for consideration of regrant of approval.

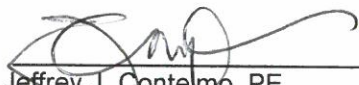
A check is enclosed for the \$1,500.00 fee.

Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:



Jeffrey J. Contelmo, PE
Senior Principal Engineer

JJC/dlm

Enclosures

cc: Ken Kearney

Insite File No. 14211.100

Gleneida Realty, Inc

58 Londonderry Lane

Somers, NY 10589

914-715-2370

October 15, 2015

Mr. Harold Gary, Chairman
Town of Carmel Planning Board
60 McAlpin Avenue
Mahopac, NY 10541

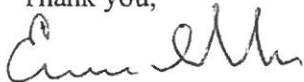
Re: Gleneida Realty, Inc
Hillside Court Project
1819 Route 6
TM #55.06-1-51

Dear Chairman Gary and Members of the Board:

Do to the current economic environment, at this time we have decided not to move ahead and build the above approved project. The current building permit has expired and we would like to have the bond released. I am aware that I will be relinquishing all existing approvals for Hillside Court. Please advise as to how we should move forward and whom else we need to notify.

Thank you again for all your assistance to date.

Thank you,



Enrico DiNardo
Gleneida Realty, Inc.