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Chairman

ANTHONY DUSOVIC
Vice-Chair

ROSE TROMBETTA
Secretary

DAVID KLOTZLE
Wetland Inspector

TOWN OF CARMEL
ENVIRONMENTAL CONSERVATION BOARD



60 McAlpin Avenue
Mahopac, New York 10541
Tel. (845) 628-1500 - Ext. 190
www.ci.carmel.ny.us

BOARD MEMBERS

Edward Barnett
Marc Pekowsky
Vincent Turano
Nicholas Fannin
John Starace

ENVIRONMENTAL CONSERVATION BOARD AGENDA

NOVEMBER 5, 2015 – 7:30 P.M.

ELIGIBLE FOR A PERMIT

<u>APPLICANT</u>	<u>ADDRESS</u>	<u>TAX MAP #</u>	<u>COMMENTS</u>
1. Occhicone, Joseph	33 Somers Hills Rd	77.17-1-3	Install Inground Pool, Walkway And Fence

SUBMISSION OF AN APPLICATION OR LETTER OR PERMISSION

2. Thimm, Karl & Janis	232 East Lake Blvd	65.17-1-15	Planning Board Referral (Construct Bathhouse, Deck & Dock)
3. Richard Dudyshyn Construction	31 Tamarack Road	75.8-2-14	Remove and Construct New Deck & Redo Sidewalk
4. Frenkel, Robert	43 Tamarack Road	75.8-2-20	Replace & Expand Existing Boathouse
5. Basli, Joseph	859 South Lake Blvd	75.44-1-21	Construct Retaining Wall and Deck

PUBLIC HEARING

6. Wagner Millwork LLC - Corbelli	150 Barrett Hill Rd	53.18-1-28	Tree Cutting Permit
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MISCELLANEOUS

7. Minutes – 06/04/15 & 06/18/15



PERMIT
Under the Environmental Conservation Law (ECL)

Permittee and Facility Information

Permit Issued To:
Joseph Occhicone
33 Somers Hills Rd
Carmel, NY 10512
(914) 216-1997

Facility:
Occhicone Property
33 Somers Hills Rd
Carmel, NY 10512

Facility Location: in CARMEL in PUTNAM COUNTY

Facility Principal Reference Point: NYTM-E: 609.57 NYTM-N: 4579.255
Latitude: 41°21'26.5" Longitude: 73°41'24.3"

Project Location: 33 Somers Hill Rd, approximately 740 ft east of Shindagen-Hill Road

Authorized Activity: This permit authorizes disturbance to NYS Freshwater Wetland CF-8, Class 1, within the 100 ft adjacent area, in the Town of Carmel, Putnam County. Total disturbance of 2,392 SF is associated with the installation of an inground pool, patio, fence and rain garden.

Permit Authorizations

Freshwater Wetlands - Under Article 24

Permit ID 3-3720-00440/00001

New Permit

Effective Date: 10/27/2015

Expiration Date: 12/31/2018

NYSDEC Approval

By acceptance of this permit, the permittee agrees that the permit is contingent upon strict compliance with the ECL, all applicable regulations, and all conditions included as part of this permit.

Permit Administrator: JOHN W PETRONELLA, Deputy Regional Permit Administrator

Address: NYSDEC Region 3 Headquarters
21 S Putt Corners Rd
New Paltz, NY 12561

Authorized Signature: _____

Date 10 / 27 / 2015

Distribution List

Josephocchicone@gmail.com
Joel.Greenberg@arch-visions.com
Richard Franzetti, Town Engineer, rjf@ci.carmel.ny.us



Doug Gaugler, NYS DEC, Bureau of Habitat

Permit Components

NATURAL RESOURCE PERMIT CONDITIONS

GENERAL CONDITIONS, APPLY TO ALL AUTHORIZED PERMITS

NOTIFICATION OF OTHER PERMITTEE OBLIGATIONS

Permit Attachments

Permit Sign

NATURAL RESOURCE PERMIT CONDITIONS - Apply to the Following Permits: FRESHWATER WETLANDS

- 1. Conformance With Plans** All activities authorized by this permit must be in strict conformance with the approved plans submitted by the applicant or applicant's agent as part of the permit application. Such approved plans were prepared by Architectural Visions PLLC, originally dated August 27, 2015, and revision date September 29, 2015, received by this office on October 1, 2015. Approved plan consists of 1 sheet titled "Site Plan & Details", sheet # AS-101.
- 2. Notify DEC 48 Hrs Prior to Work** The permittee or a representative must contact by telephone Doug Gaugler in the Bureau of Habitat at 845-256-3057 or via-email at Doug.Gaugler@dec.ny.gov at least 48 hours prior to the commencement of the project authorized herein.
- 3. Post Permit Sign** The permit sign enclosed with this permit shall be posted in a conspicuous location on the worksite and adequately protected from the weather.
- 4. No Wetland Disturbance** No disturbance to Freshwater Wetland CF-8 is authorized by this permit.
- 5. Install and Maintain Erosion Controls** Silt fence is to be installed on the downslope edge of the limit of disturbance, as shown on referenced plan (including the temporary soil stockpile). Soil and erosion control measures must be put in place before any disturbance of the ground occurs and are to be maintained in a functional condition over the life of construction and revegetation phase.
- 6. Maintain Erosion Controls** All erosion control devices shall be maintained in good and functional condition until the project has been completed and the area has been stabilized.
- 7. Stockpile Areas** Excavated materials and/or fill materials shall be stockpiled at location specified on plans and shall be contained by silt fencing to prevent erosion.
- 8. Excess Soil** Excess stockpiled soil will be spread on site in the area shown on plan, and stabilized with grass seed and mulch of hay or straw.



9. No Construction Debris in Wetland or Adjacent Area Any debris or excess materials from construction of this project (including earth, construction materials, trees and stumps) shall be immediately and completely disposed of properly outside the freshwater wetland and adjacent area.

10. Seed, Mulch Disturbed Areas All areas of soil disturbance resulting from this project shall be seeded with an appropriate perennial grass, and mulched with straw immediately upon completion of the project, within two days of final grading, or by the expiration of the permit, whichever is first.

11. State May Order Removal or Alteration of Work If future operations by the State of New York require an alteration in the position of the structure or work herein authorized, or if, in the opinion of the Department of Environmental Conservation it shall cause unreasonable obstruction to the free navigation of said waters or flood flows or endanger the health, safety or welfare of the people of the State, or cause loss or destruction of the natural resources of the State, the owner may be ordered by the Department to remove or alter the structural work, obstructions, or hazards caused thereby without expense to the State, and if, upon the expiration or revocation of this permit, the structure, fill, excavation, or other modification of the watercourse hereby authorized shall not be completed, the owners, shall, without expense to the State, and to such extent and in such time and manner as the Department of Environmental Conservation may require, remove all or any portion of the uncompleted structure or fill and restore to its former condition the navigable and flood capacity of the watercourse. No claim shall be made against the State of New York on account of any such removal or alteration.

12. State May Require Site Restoration If upon the expiration or revocation of this permit, the project hereby authorized has not been completed, the applicant shall, without expense to the State, and to such extent and in such time and manner as the Department of Environmental Conservation may lawfully require, remove all or any portion of the uncompleted structure or fill and restore the site to its former condition. No claim shall be made against the State of New York on account of any such removal or alteration.

13. Precautions Against Contamination of Waters All necessary precautions shall be taken to preclude contamination of any wetland or waterway by suspended solids, sediments, fuels, solvents, lubricants, epoxy coatings, paints, concrete, leachate or any other environmentally deleterious materials associated with the project.

14. State Not Liable for Damage The State of New York shall in no case be liable for any damage or injury to the structure or work herein authorized which may be caused by or result from future operations undertaken by the State for the conservation or improvement of navigation, or for other purposes, and no claim or right to compensation shall accrue from any such damage.

GENERAL CONDITIONS - Apply to ALL Authorized Permits:

1. Facility Inspection by The Department The permitted site or facility, including relevant records, is subject to inspection at reasonable hours and intervals by an authorized representative of the Department of Environmental Conservation (the Department) to determine whether the permittee is complying with this permit and the ECL. Such representative may order the work suspended pursuant to ECL 71-0301 and SAPA 401(3).



The permittee shall provide a person to accompany the Department's representative during an inspection to the permit area when requested by the Department.

A copy of this permit, including all referenced maps, drawings and special conditions, must be available for inspection by the Department at all times at the project site or facility. Failure to produce a copy of the permit upon request by a Department representative is a violation of this permit.

2. Relationship of this Permit to Other Department Orders and Determinations Unless expressly provided for by the Department, issuance of this permit does not modify, supersede or rescind any order or determination previously issued by the Department or any of the terms, conditions or requirements contained in such order or determination.

3. Applications For Permit Renewals, Modifications or Transfers The permittee must submit a separate written application to the Department for permit renewal, modification or transfer of this permit. Such application must include any forms or supplemental information the Department requires. Any renewal, modification or transfer granted by the Department must be in writing. Submission of applications for permit renewal, modification or transfer are to be submitted to:

Regional Permit Administrator
NYSDEC Region 3 Headquarters
21 S Putt Corners Rd
New Paltz, NY12561

4. Submission of Renewal Application The permittee must submit a renewal application at least 30 days before permit expiration for the following permit authorizations: Freshwater Wetlands.

5. Permit Modifications, Suspensions and Revocations by the Department The Department reserves the right to exercise all available authority to modify, suspend or revoke this permit. The grounds for modification, suspension or revocation include:

- a. materially false or inaccurate statements in the permit application or supporting papers;
- b. failure by the permittee to comply with any terms or conditions of the permit;
- c. exceeding the scope of the project as described in the permit application;
- d. newly discovered material information or a material change in environmental conditions, relevant technology or applicable law or regulations since the issuance of the existing permit;
- e. noncompliance with previously issued permit conditions, orders of the commissioner, any provisions of the Environmental Conservation Law or regulations of the Department related to the permitted activity.

6. Permit Transfer Permits are transferrable unless specifically prohibited by statute, regulation or another permit condition. Applications for permit transfer should be submitted prior to actual transfer of ownership.



NOTIFICATION OF OTHER PERMITTEE OBLIGATIONS

Item A: Permittee Accepts Legal Responsibility and Agrees to Indemnification

The permittee, excepting state or federal agencies, expressly agrees to indemnify and hold harmless the Department of Environmental Conservation of the State of New York, its representatives, employees, and agents ("DEC") for all claims, suits, actions, and damages, to the extent attributable to the permittee's acts or omissions in connection with the permittee's undertaking of activities in connection with, or operation and maintenance of, the facility or facilities authorized by the permit whether in compliance or not in compliance with the terms and conditions of the permit. This indemnification does not extend to any claims, suits, actions, or damages to the extent attributable to DEC's own negligent or intentional acts or omissions, or to any claims, suits, or actions naming the DEC and arising under Article 78 of the New York Civil Practice Laws and Rules or any citizen suit or civil rights provision under federal or state laws.

Item B: Permittee's Contractors to Comply with Permit

The permittee is responsible for informing its independent contractors, employees, agents and assigns of their responsibility to comply with this permit, including all special conditions while acting as the permittee's agent with respect to the permitted activities, and such persons shall be subject to the same sanctions for violations of the Environmental Conservation Law as those prescribed for the permittee.

Item C: Permittee Responsible for Obtaining Other Required Permits

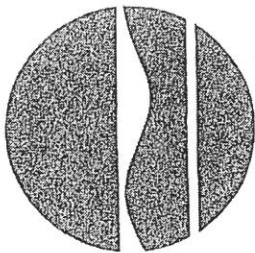
The permittee is responsible for obtaining any other permits, approvals, lands, easements and rights-of-way that may be required to carry out the activities that are authorized by this permit.

Item D: No Right to Trespass or Interfere with Riparian Rights

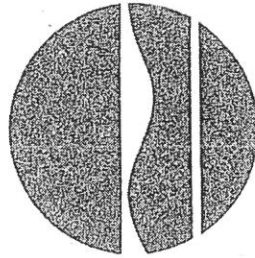
This permit does not convey to the permittee any right to trespass upon the lands or interfere with the riparian rights of others in order to perform the permitted work nor does it authorize the impairment of any rights, title, or interest in real or personal property held or vested in a person not a party to the permit.

Item E: SEQR Type II Action Under the State Environmental Quality Review Act (SEQR), this project has been determined to be a Type II Action and therefore is not subject to further procedures under this law.

New York State
Department of Environmental Conservation



NOTICE



The Department of Environmental Conservation (DEC) has issued permit(s) pursuant to the Environmental Conservation Law for work being conducted at this site. For further information regarding the nature and extent of work approved and any Department conditions on it, contact the DEC at 845/256-3054. Please refer to the permit number shown when contacting the DEC.

Permittee: Joseph Occhicone Permit No. 3-3720-00440/00001

Effective Date: 10/27/2015 Expiration date: 12/31/2018

Applicable if checked. No instream work allowed between October 1 & April 30

NOTE: This notice is **NOT** a permit.

NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Division of Environmental Permits, Region 3
21 South Platt Corners Road, New Paltz, NY 12561-1620
P: (845) 256-3054 | F: (845) 255-4659
www.dec.ny.gov



Department of
Environmental
Conservation

IMPORTANT NOTICE TO ALL PERMITTEES

The permit you requested is enclosed. Please read it carefully and note the conditions that are included in it. The permit is valid for only that activity expressly authorized therein; work beyond the scope of the permit may be considered a violation of law and be subject to appropriate enforcement action. Granting of this permit does not relieve the permittee of the responsibility of obtaining any other permission, consent or approval from any other federal, state, or local government which may be required.

Please note the expiration date of the permit. Applications for permit renewal should be made well in advance of the expiration date (minimum of 30 days) and submitted to the Regional Permit Administrator at the above address. For SPDES, Solid Waste and Hazardous Waste Permits, renewals must be made at least 180 days prior to the expiration date.

The DEC permit number & program ID number noted on page 1 under "Permit Authorization" of the permit are important and should be retained for your records. These numbers should be referenced on all correspondence related to the permit, and on any future applications for permits associated with this facility/project area.

If a permit notice sign is enclosed, you must post it at the work site with appropriate weather protection, as well as a copy of the permit per General Condition 1.

If the permit is associated with a project that will entail construction of new water pollution control facilities or modifications to existing facilities, plan approval for the system design will be required from the appropriate Department's regional Division of Water or delegated local Health Department, as specified in the State Pollutant Discharge Elimination System (SPDES) permit.

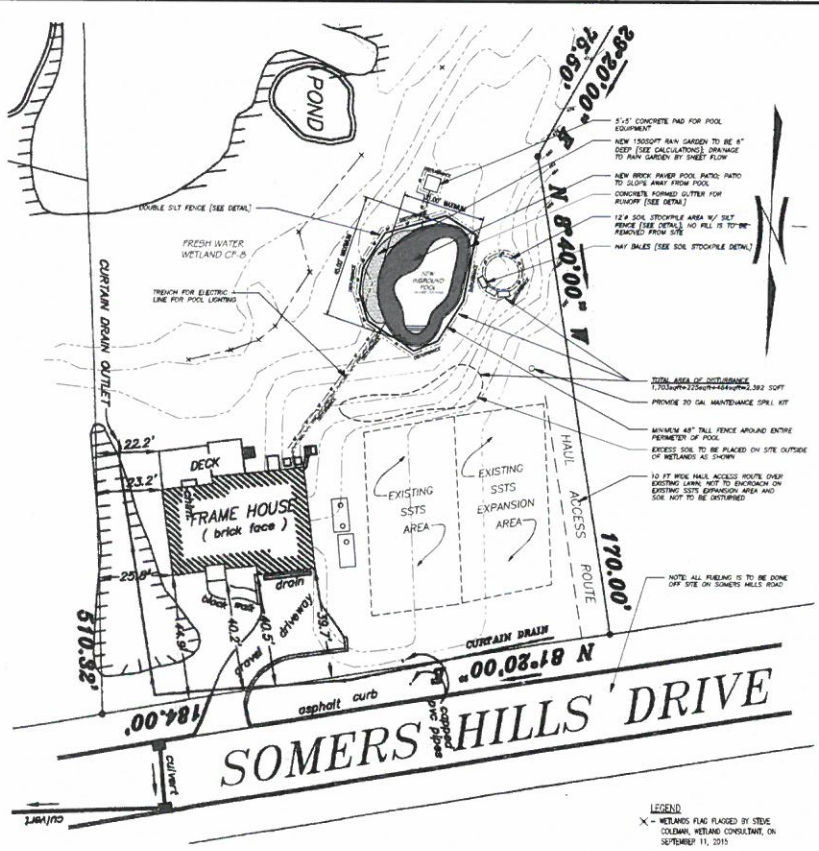
If you have any questions on the extent of work authorized or your obligations under the permit, please contact the staff person indicated below or the Division of Environmental Permits at the above address.

Tracey O'Malley *Tracey O'Malley*
Division of Environmental Permits, Region 3
Telephone (845) 256-3059

- Applicable only if checked. Please note all work authorized under this permit is prohibited during trout spawning season commencing October 1 and ending April 30.
- Applicable only if checked for STORMWATER SPDES INFORMATION: We have determined that your project requires coverage under the General Stormwater SPDES Permit. You must file a Notice of Intent to obtain coverage under the General Permit. This form can be downloaded at: <http://www.dec.ny.gov/chemical/43133.html>
- Applicable only if checked - MS4 Areas: This site is within an MS4 area (Municipal Separate Storm Sewer System), therefore the SWPPP must be reviewed and accepted by the municipality. The MS-4 Acceptance Form must be submitted in addition to the Notice of Intent.

Send the completed form(s) to: NYS DEC, Stormwater Permitting, Division of Water, 625 Broadway, Albany, New York 12233-3505; in addition, DEC requests that you provide one electronic copy of the approved SWPPP directly to NYS DEC, 100 Hillside Avenue - Suite 1W, White Plains, NY 10603-2860.





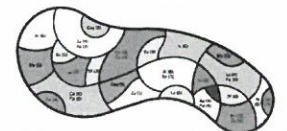
- ### SEQUENCE OF CONSTRUCTION
- 1) INSTALL DOUBLE 4"X4" FENCE AT EAST SIDE OF POOL AND RAIN GARDEN. INSTALL 2"X4" FENCE AND WET BALES AND AROUND SOIL STOCKPILE AREA.
 - 2) CLEAR AREA WHERE POOL, PATIO AND RAIN GARDEN ARE TO BE CONSTRUCTED AND BEGIN DRAINAGE.
 - 3) INSTALL POOL, CONCRETE EQUIPMENT PAD AND ALL NECESSARY EQUIPMENT.
 - 4) INSTALL UNLOCK PATIO, CONCRETE FORMED CUTLER AND RAIN GARDEN.
 - 5) INSTALL 4"X4" TALL (MINIMUM) FENCE AROUND PERIMETER OF POOL, PATIO AND RAIN GARDEN AS SHOWN.
 - 6) INSTALL RAIN GARDEN PLANTINGS.

- ### NOTES
- 1) PROVIDE 20 GALLON MAINTENANCE SPILL KIT ON SITE.
 - 2) EXISTING SITS EXPANSION AREA NOT TO BE DISTURBED BY RAIL ACCESS ROUTE.
 - 3) POOL PAD TO BE SLOPED AWAY FROM POOL FOR STORMWATER RUNOFF.



LOCATION MAP
NOT TO SCALE

full to partial shade with silty & sandy soils



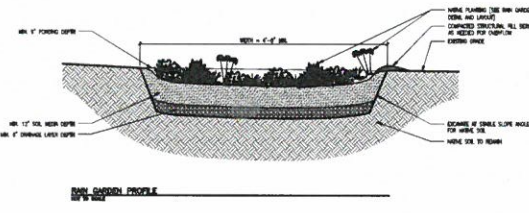
Symbol	Typical Name	Common Name	No. of Plants
1	Red-tipped dogwood	Red-tipped dogwood	2
2	White-flowered dogwood	White-flowered dogwood	2
3	Common blueberry	Blueberry	2
4	Carolina jay	Carolina jay	2
5	Black cherry	Black cherry	2
6	Spotted towhee	Spotted towhee	2
7	Eastern bluebird	Eastern bluebird	2
8	Parula warbler	Parula warbler	2
9	Yellow-rumped warbler	Yellow-rumped warbler	2
10	White-throated sparrow	White-throated sparrow	2
11	Common nighthawk	Common nighthawk	2
12	Great horned owl	Great horned owl	2
13	Screech owl	Screech owl	2
14	Eastern screech owl	Eastern screech owl	2
15	Great horned owl	Great horned owl	2
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100	White-throated sparrow	White-throated sparrow	2

RAIN GARDEN DETAIL AND LAYOUT

RAIN GARDEN CALCULATIONS

—DRAINAGE AREA: 563 SQFT
 —DISTANCE TO GARDEN: LESS THAN 30 FT
 —SOIL TYPE: SILTY SOIL
 —GARDEN DEPTH: 6 IN.
 —CALCULATION:
 $R = 3.1in (RAINFALL) \times 0.95$
 $R = 0.05 + 0.009(100) = 0.95$
 $AW = 563 \text{ SQFT [AREA OF DRAINAGE]}$
 $WQW = \text{WATER QUALITY VOLUME}$
 $WQW = \frac{AW(R)}{12} = \frac{563(0.95)}{12} = 44.7 \text{ FT}^3$
 $ARG = 150 \text{ SQFT [RAIN GARDEN AREA]}$
 $DSM = 1 \text{ FT [SOIL MEDIA DEPTH]}$
 $PSM = 0.20 \text{ [SOIL MEDIA POROSITY]}$
 $VSM = \text{SOIL MEDIA VOLUME}$
 $VSM = ARG(DSM)(PSM) = (150 \text{ SQFT})(1 \text{ FT})(0.20) = 30 \text{ FT}^3$
 $DDL = 0.5 \text{ FT [DRAINAGE LAYER DEPTH]}$
 $PDL = 0.40 \text{ [DRAINAGE LAYER POROSITY]}$
 $VDL = \text{DRAINAGE LAYER VOLUME}$
 $VDL = ARG(DDL)(PDL) = (150 \text{ SQFT})(0.5 \text{ FT})(0.40) = 30 \text{ FT}^3$
 $PD = 0.75 \text{ FT [PONING DEPTH]}$
 $WQW \leq VSM + VDL + (PD \times ARG) = 30 \text{ FT}^3 + 30 \text{ FT}^3 + (0.75 \text{ FT} \times 150 \text{ SQFT})$
 $44.7 \text{ FT}^3 \leq 75 \text{ FT}^3$

THEFORE, THE RAIN GARDEN AREA OF 150.00 SQFT IS SUFFICIENT.

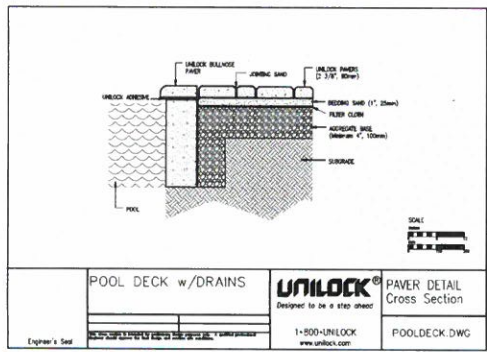


RAIN GARDEN PROFILE

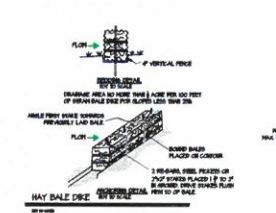
1 SITE PLAN

BASED ON SURVEY BY BEYER & ASSOCIATES
ON MARCH 29, 2007

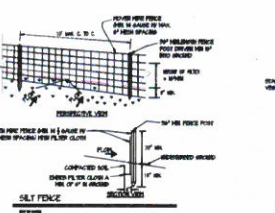
LEGEND
X - METAL FLAG PLACED BY SITE
COLLEGE METALING CONSULTANT, ON
SEPTEMBER 11, 2015



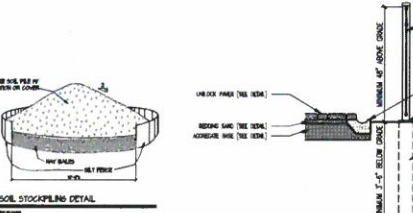
POOL DECK w/ DRAINS
UNILOCK PAVES
 PAVES DETAIL
 Cross Section
 POOLDECK.DWG
 1-800-UNLOCK
 www.unilock.com



CONSTRUCTION INSTRUCTIONS:
 1. SILT FENCE SHALL BE PLACED AT THE PERIMETER OF THE CONTOUR...
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 5. SILT FENCE SHALL BE PLACED AT THE PERIMETER OF THE CONTOUR...



CONSTRUCTION INSTRUCTIONS:
 1. SOIL STOCKPILE SHALL BE PLACED AT THE PERIMETER OF THE CONTOUR...
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CONSTRUCTION INSTRUCTIONS:
 1. POOL FENCE SHALL BE PLACED AT THE PERIMETER OF THE CONTOUR...
 2. POOL FENCE SHALL BE PLACED AT THE PERIMETER OF THE CONTOUR...
 3. POOL FENCE SHALL BE PLACED AT THE PERIMETER OF THE CONTOUR...
 4. POOL FENCE SHALL BE PLACED AT THE PERIMETER OF THE CONTOUR...
 5. POOL FENCE SHALL BE PLACED AT THE PERIMETER OF THE CONTOUR...

ARCHITECTURAL VISIONS
 2 MUSCOOT ROAD NORTH
 MAHOPAC NY 10641
 P: 845-858-8613
 F: 845-858-2807
 www.architecturalvisionsllc.com

PROJECT:
 JOSEPH & JENNIFER OCCHICONE
 25 BARNARD HILL ROAD
 GARDEN, NY 10049
 TAX MAP NO. 27.17.1.3

SITE PLAN & DETAILS

SCALE:
 AS SHOWN
 DRAWN BY: JLG
 PROJECT NO.:
 5-15-204

AS-101

ROBERT LAGA
Chairman

ANTHONY DUSOVIC
Vice Chair

ROSE TROMBETTA
Secretary

DAVID KLOTZLE
Wetland Inspector

TOWN OF CARMEL ENVIRONMENTAL CONSERVATION BOARD



60 McAlpin Avenue
Mahopac, New York 10541
Tel. (845) 628-1500 - Ext. 190
www.ci.carmel.ny.us

BOARD MEMBERS

Edward Barnett
Marc Pekowsky
Vincent Turano
Nicholas Fannin
John Starace

APPLICATION FOR WETLAND PERMIT OR LETTER OF PERMISSION

Name of Applicant: Karl and Janis Thimm

Address of Applicant: 19 Eleanor Dr Mahopac Email: _____
| NY 10541

Telephone# 845 621 4748 Name and Address of Owner if different from Applicant: _____

Property Address: 232 East Lake Blvd Tax Map # 65.17-1-15

Agency Submitting Application if Applicable: Planning Board

Location of Wetland: Lake Mahopac

Size of Work Section & Specific Location: 3,059 sf

Will Project Utilize State Owned Lands? If Yes, Specify: Lake Mahopac

Type and extent of work (feet of new channel, yards of material to be removed, draining, dredging, filling, etc). A brief description of the regulated activity (attach supporting details).

Construct Parking Lot, Bathhouse, Rain Garden, Terrace

Deck and Dock

Proposed Start Date: Spring 2016 Anticipated Completion Date: Fall 2016 Fee Paid \$ 225.00

CERTIFICATION

I hereby affirm under penalty of perjury that information provided on this form is true to the best of my knowledge and belief, false statements made herein are punishable as a Class A misdemeanor pursuant to Section 210.45 of the Penal Law. As a condition to the issuance of a permit, the applicant accepts full legal responsibility for all damage, direct or indirect, or whatever nature, and by whomever suffered, arising out of the project described here-in and agrees to indemnify and save harmless the Town of Carmel from suits, actions, damages and costs of every name and description resulting from the said project.

Joel Bradley
SIGNATURE

10/14/15
DATE

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: Karl & Janis Thimm			
Project Location (describe, and attach a location map): 232 East Lake B'lvd			
Brief Description of Proposed Action: Construct Parking Lot, Bathhouse, Terrace, Rain Garden, Deck & Dock			
Name of Applicant or Sponsor: Karl & Janis Thimm		Telephone: 845-621-4748	
		E-Mail:	
Address: 19 Eleanor Drive			
City/PO: Mahopac		State: NY	Zip Code: 10541
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO X
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: Carmel, 2BA, Planning Board & Building Dept.			NO YES X
3.a. Total acreage of the site of the proposed action?		0.07 acres	
b. Total acreage to be physically disturbed?		0.07 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.07 acres	
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
		X	
b. Consistent with the adopted comprehensive plan?		X	
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
			X
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	X		
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	X		
b. Are public transportation service(s) available at or near the site of the proposed action?	X		
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	X		
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
	N/A		
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: <u>NONE PROVIDED</u>	NO	YES	
	X		
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: <u>NONE PROVIDED</u>	NO	YES	
	X		
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	X		
b. Is the proposed action located in an archeological sensitive area?	X		
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
		X	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: <u>Dock to be constructed on Lake Mahopac</u>		X	
		X	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input checked="" type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	X		
16. Is the project site located in the 100 year flood plain?	NO	YES	
	X		
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <u>Rain Garden</u> <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES	NO	YES	
			X

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
	X	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	X	
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	X	
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Karl & Janis Thimm</u> Date: <u>10/13/15</u>		
Signature: <u><i>Joe Mueller Proj. Mgr.</i></u>		

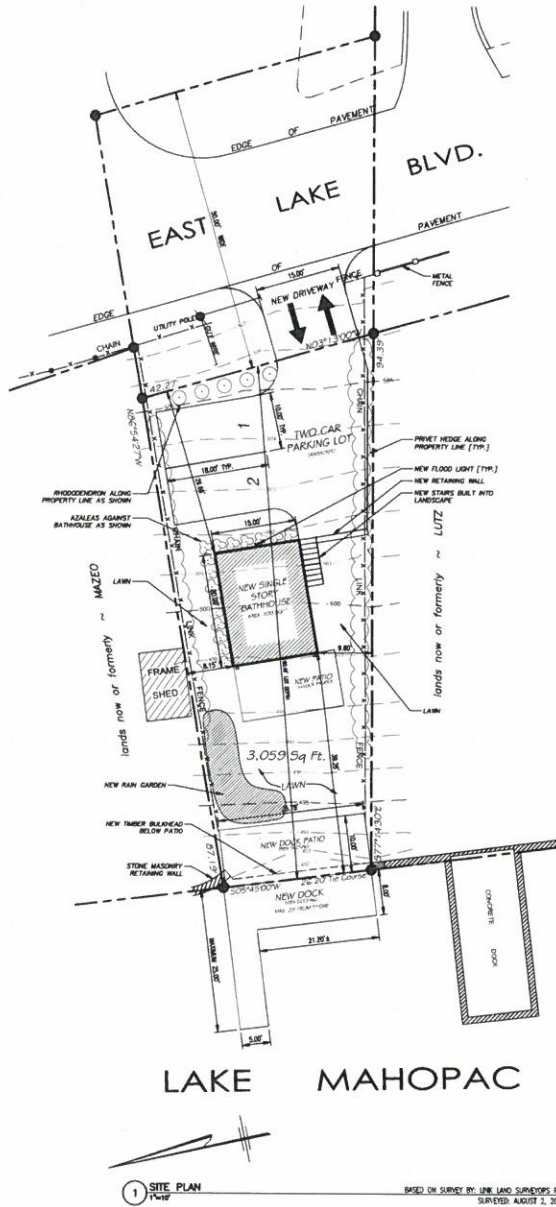
Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

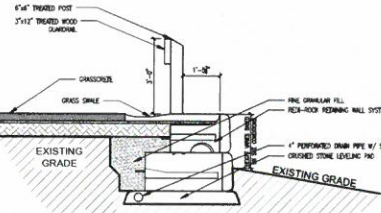


SITE DATA NOTES:

- 1.) PROPERTY OWNER:
KARL & JANIS THIMM
19 ELEANOR DRIVE
MAHOPAC, NY 10541
- 2.) ZONE: R-120
- 3.) SECTION 156-27) PROPOSED PROJECT USE:
NEW BATHHOUSE AND NEW DOCK. NO COOKING, SLEEPING, SANITARY FACILITIES OR OTHER FUNCTIONS GENERALLY OCCURRING IN A DWELLING. FOR PRIVATE USE BY OWNER, LESSEE THEIR FAMILIES OR GUESTS. ONLY ELECTRIC IS TO BE INSTALLED.
- 4.) TAX MAP NUMBER:
SECTION 65.17
BLOCK 1
LOT 15
- 5.) WATER / SEWER: NONE
- 6.) ZONING REQUIREMENTS:

SETBACKS	REQUIRED	PROPOSED	VARIANCE
GROSS SITE AREA	3,000 SQFT	3,059 SQFT	NONE
FRONT YARD	15.0 FT	29.66 FT	NONE
SIDE YARD (NORTH)	15.0 FT	8.15 FT	6.85 FT
SIDE YARD (SOUTH)	15.0 FT	9.80 FT	5.40 FT
REAR YARD	15.0 FT	39.28 FT	NONE
LAKE FRONTAGE	50.0 FT	26.20 FT	23.80 FT
LOT DEPTH	30.0 FT	90.46 FT	NONE
IMPERVIOUS SURFACE*	N/A	16.3%	NONE
HEIGHT (MAX)	10.0 FT	10.0 FT	NONE
DOCK LENGTH (MAX)	25.0 FT	25.0 FT	NONE
AREA OF DISTURBANCE (MAX)	N/A	2,205 SQFT	NONE
PARKING SPACES**	5 PS	2 PS	3 PS
DRIVEWAY WIDTH	24 FT	15 FT	9 FT

NOTE: ALL VARIANCES GRANTED ON SEPT. 24, 2015
 *IMPERVIOUS SURFACE CALCULATION: $[500.0 \text{ SQFT} / 3,059 \text{ SQFT}] \times 100 = 16.3\%$
 **PARKING CALCULATIONS: 1 SPACE PER 750 SQFT
 $3,059 \text{ SQFT} / 750 \text{ SQFT} = 4.08 \text{ PS} = 5 \text{ PARKING SPACES}$

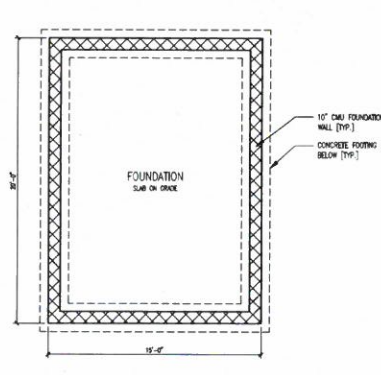


RETAINING WALL

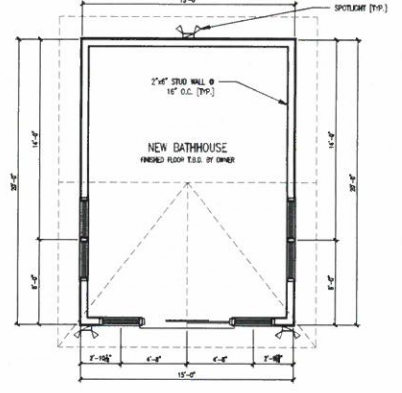
SOFT TO BLAZE

PLANTINGS SCHEDULE

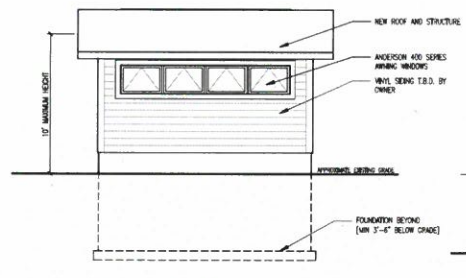
SYMBOL	COMMON NAME (BOTANICAL NAME)	SIZE	ROOT	SPACING
AZ	RHOODENDENDRON FORTHOSEA	5'-5" TALL	54B	30'-30'
PH	RHOODENDENDRON ALUTACULUM	10'-20" TALL	54B	30'-30'
PL	PRIVET HEDGE LIGUSTRUM ALAURENSIS	5'-6" TALL	54B	30'-30'



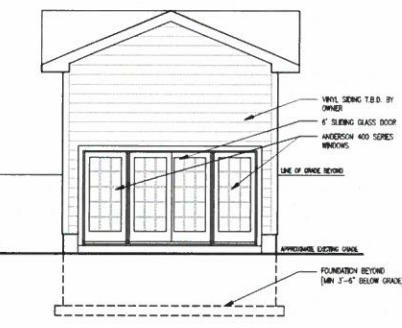
2 BATHHOUSE FOUNDATION PLAN
1/4" = 1'-0"



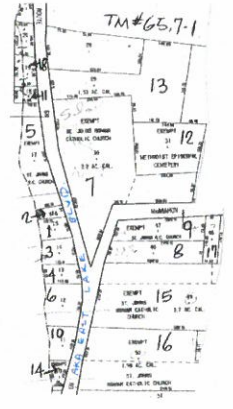
3 BATHHOUSE FLOOR PLAN
1/4" = 1'-0"



5 BATHHOUSE FRONT ELEVATION
1/4" = 1'-0"



4 BATHHOUSE REAR ELEVATION
1/4" = 1'-0"



PROPERTY OWNERS WITHIN 500 FEET

- | | | |
|--|---|---|
| 1. ST. JOHN THE EVANGELIST
TAX MAP: ES.17-1-15
235 EAST LAKE BLVD
MAHOPAC, NY 10541 | 7. ST. JOHN THE EVANGELIST
TAX MAP: ES.17-1-18
235 EAST LAKE BLVD
MAHOPAC, NY 10541 | 13. JOHN A TUDLER
TAX MAP: ES.17-1-28
4 TUDLER DRIVE
MAHOPAC, NY 10541 |
| 2. NICOLAAS MAZZEO
TAX MAP: ES.17-1-1
8 RED HILLS ROAD
MAHOPAC, NY 10541 | 8. ST. JOHN THE EVANGELIST
TAX MAP: ES.17-1-14B
221 EAST LAKE BLVD
MAHOPAC, NY 10541 | 14. ST. JOHN THE EVANGELIST
TAX MAP: ES.17-1-19
235 EAST LAKE BLVD
MAHOPAC, NY 10541 |
| 3. WYNE LUTZ
TAX MAP: ES.17-1-14
77 WHOLE ACRE
MAHOPAC, NY 10541 | 9. ST. JOHN THE EVANGELIST
TAX MAP: ES.17-1-47
235 EAST LAKE BLVD
MAHOPAC, NY 10541 | 15. ST. JOHN THE EVANGELIST
TAX MAP: ES.17-1-49
235 EAST LAKE BLVD
MAHOPAC, NY 10541 |
| 4. BARRY KAHN
TAX MAP: ES.17-1-13
58 PULVER DRIVE
MAHOPAC, NY 10541 | 10. LINDA LIBERATORE
TAX MAP: ES.17-1-11
58 PULVER HILL ROAD
PLEASANTVILLE, NY 10570 | 16. ST. JOHN THE EVANGELIST
TAX MAP: ES.17-1-50
235 EAST LAKE BLVD
MAHOPAC, NY 10541 |
| 5. ST. JOHN THE EVANGELIST
TAX MAP: ES.17-1-17
235 EAST LAKE BLVD
MAHOPAC, NY 10541 | 11. JOHN A TUDLER
TAX MAP: ES.17-1-18
8 TUDLER DRIVE
MAHOPAC, NY 10541 | 17. GEORGE FLAHERTY
TAX MAP: ES.17-1-48
8 FULTON DRIVE
NEW HARTFORD, CT 06812 |
| 6. RICHARD SAUER
TAX MAP: ES.17-1-12
11 MID PLACE
POPE BISHOP, NY 11050 | 12. MICHONNY CEMETERY
TAX MAP: ES.17-1-31
MAHOPAC, NY 10541 | 18. JOHN A TUDLER
TAX MAP: ES.17-1-19
4 TUDLER DRIVE
MAHOPAC, NY 10541 |

ARCHITECTURAL VISIONS LLC

3 MUSCOOT ROAD NORTH
MAHOPAC, NY 10541
TEL: 845-828-2807

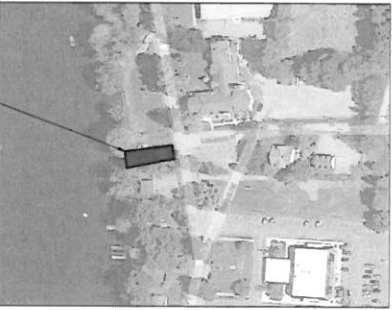
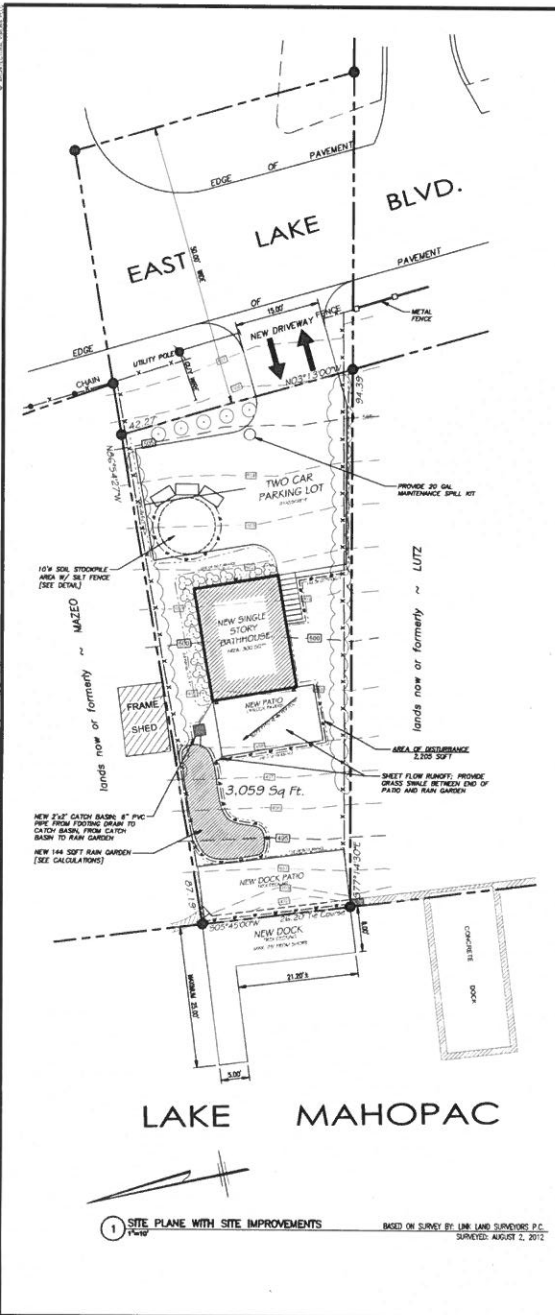
P: 845-828-8913
F: 845-828-2807
WWW.AVVISIONS.COM

PROJECT:
KARL & JANIS THIMM
19 ELEANOR DRIVE
MAHOPAC, NY 10541
TAX MAP NO. ES.17-1-15

SITE PLAN

SCALE: AS SHOWN
DATE: 08/02/2017
DRAWN BY: JKH
CHECKED BY: JKH
PROJECT NO: 22-15-010

AS-101



RAIN GARDEN CALCULATIONS

-DRAINAGE AREA: 563 SQFT
 -DISTANCE TO GARDEN: LESS THAN 30 FT
 -SOIL TYPE: PAXTON COMPLEX (P4)
 -GARDEN DEPTH: 6 IN.
 -CALCULATION:
 $P_{in} = 3.1in (RAINFALL @ 90^\circ)$
 $R_{in} = 0.02 = 0.0001(100) \times 0.90$
 $A = 500 SQFT [AREA OF DRAINAGE]$
 $WCV = \text{WATER QUALITY VOLUME}$

$WCV = \frac{(P_{in}/360) \times A}{12} = \frac{(3.11/360) \times 500}{12} = 122.71 FT^3$

$ARC = 144 SQFT [RAIN GARDEN AREA]$
 $DSM = 1 FT [SOIL MEDIA DEPTH]$
 $PSM = 0.20 [SOIL MEDIA POROSITY]$
 $VSM = \text{SOIL MEDIA VOLUME}$

$VSM = \frac{ARC \times DSM \times PSM}{12} = \frac{144 \times 1 \times 0.20}{12} = 2.88 FT^3$

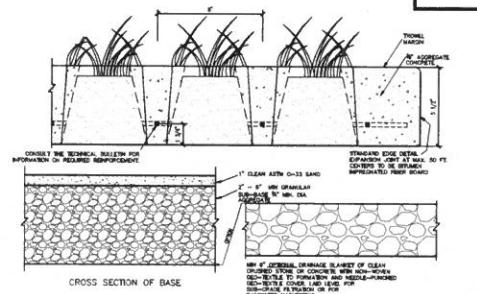
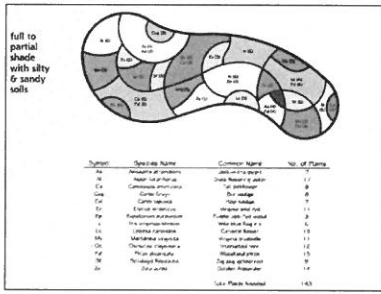
$DD = 0.5 FT [DRAINAGE LAYER DEPTH]$
 $PSL = 0.40 [DRAINAGE LAYER POROSITY]$
 $VDL = \text{DRAINAGE LAYER VOLUME}$

$VDL = \frac{ARC \times DD \times PSL}{12} = \frac{144 \times 0.5 \times 0.40}{12} = 2.88 FT^3$

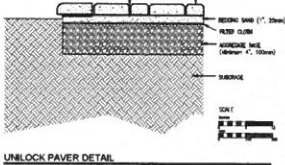
$PD = 0.5 FT [PONDING DEPTH]$

$WCV \leq VSM + VDL + (PD \times ARC) = 2.88 + 2.88 + 0.5(144) = 76.68 FT^3$

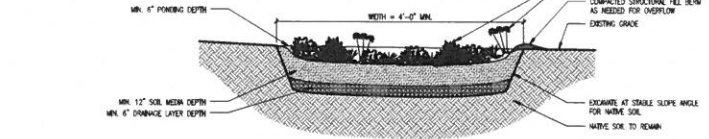
THEREFORE, THE RAIN GARDEN AREA OF 144.00 SQFT IS SUFFICIENT FOR ONE SETTLING BASIN. CATCH BASIN WILL BE PROVIDED BEFORE THE RAIN GARDEN. ALL UNDERGROUND PIPING WILL BE 6" PVC.
 THE DRIVEWAY AREA WILL BE PERVIOUS "GRASSCRETE" PAVING WHICH DO NOT REQUIRE TREATMENT.



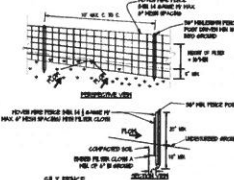
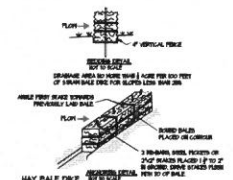
GRASSCRETE DETAIL NOT TO SCALE



UNILOCK®
 Designed to be a slip sheet
 1-800-UNILOCK
 www.unilock.com



RAIN GARDEN PROFILE NOT TO SCALE



SEQUENCE OF CONSTRUCTION

- 1) INSTALL SILT FENCING AS SHOWN ON SITE PLAN.
- 2) CLEAR AREA WHERE ANY GRADING OR CONSTRUCTION IS PROPOSED.
- 3) EXCAVATE FOR BARRICADE, RAIN GARDEN, RETAINING WALL, CATCH BASIN, ETC.
- 4) CONSTRUCT BARRICADE AND RETAINING WALL.
- 5) FINISH ROUGH GRADING FOR SILT IMPROVEMENTS.
- 6) INSTALL CATCH BASIN AND RAIN GARDEN PLANTINGS.
- 7) COMPLETE ROOF DRAIN TO CATCH BASIN.
- 8) INSTALL PAVES AND CONSTRUCT DOCK.
- 9) FINISH GRADING, INSTALL DRAINAGE "TRUCKCREEP" SEED LAIN AREA AND INSTALL PLANTINGS AS INDICATED ON SITE PLAN.

ARCHITECTURAL VISIONS

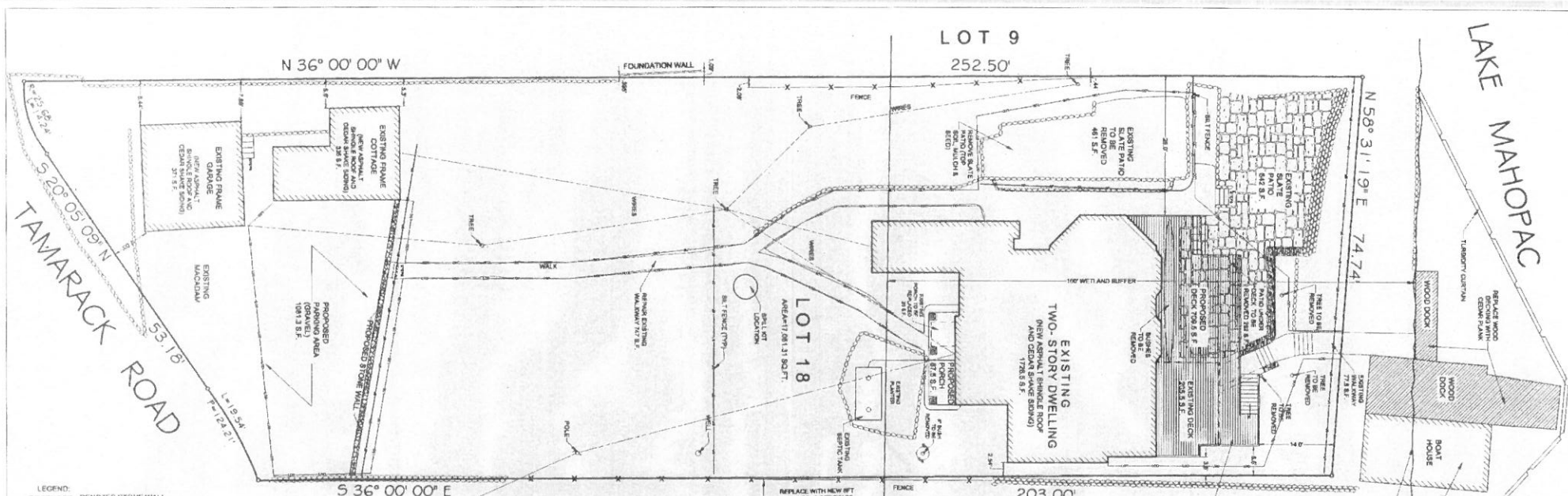
3 MUSCOOT ROAD NORTH
 MAHOPAC, NY 10944
 TEL: 845-268-2827

PROJECT: **KARL & JANIS THIMM**
 PROJECT ADDRESS: 138 HILLSIDE DRIVE, MAHOPAC, NY 10941
 PROJECT NO: 22-15-016

SITE DETAILS

SCALE: **AS SHOWN**
 DRAWN BY: **JRS**

AS-102



SURVEY OF PROPERTY
 PREPARED FOR
MORTON & BEATRICE YOUNG
 SITUATED IN
TOWN OF CARMEL
PUTNAM COUNTY
NEW YORK
 SCALE: 1"=10'

WEST COVE TRAIL (10')

- LEGEND:**
- DENOTES STONE WALL
 - SITE FENCE
 - LIMITS OF DISTURBANCE
 - WRETS
 - FENCE

IMPERVIOUS AREA CALCULATION:

	PATIO		HOUSE AND OTHER STRUCTURES		WALKWAYS		PARKING AREA (PAVEMENT)		PARKING AREA (GRAVEL)		DECK		TOTAL IMPERVIOUS COVERAGE PERCENTAGE
	SQ. FT.	%	SQ. FT.	%	SQ. FT.	%	SQ. FT.	%	SQ. FT.	%	SQ. FT.	%	
EXISTING	1365	8%	2432.5	14.26%	824.5	4.83%	641.2	3.78%	0	0	205.5	1.2%	32.05%
PROPOSED	642	3.78%	2520	14.77%	824.5	4.83%	641.2	3.78%	1081.3	N/A	709.5	4.16%	31.28%

CONSTRUCTION SEQUENCE:

USE OF EROSION AND SEDIMENT CONTROL STRUCTURES AND PRACTICES ARE IMPORTANT TO MAINTAINING SITE STABILITY UNDER RUNOFF AND DURING DAILY CONSTRUCTION ACTIVITIES. CONSTRUCTION SEQUENCE SHOULD BE STAGED WITH EROSION AND SEDIMENT CONTROLS, AS FOLLOWS, WITH ALL CONTROLS IN PLACE AND IMPLEMENTED PRIOR TO RESPECTIVE ROAD, BASIN, AND INFRASTRUCTURE CONSTRUCTION.

1. PRIOR TO MOBILIZATION AND PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES TAKING PLACE ON SITE, A PRE-CONSTRUCTION MEETING SHALL BE HELD BETWEEN THE TOWN, SUPERVISING ENGINEER, AND THE OWNER/OPERATOR OF THE PROJECT.
2. A LICENSED SURVEYOR MUST DEFINE WETLAND SETBACKS, INFRASTRUCTURE LOCATION, LIMITS OF DISTURBANCE.
3. CREATE AN ACCESS POINT TO THE PROJECT AT THE LOCATION OF THE DRIVEWAYS. INSTALL SILT FENCE AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN.
4. INSTALL EROSION CONTROL MEASURES AND ORANGE CONSTRUCTION FENCING AS REQUIRED FOR THE CONSTRUCTION.
5. ONCE ALL EROSION AND SEDIMENT CONTROL MEASURES ARE IN PLACE, CONSTRUCTION OF THE HOUSE.
6. UPON COMPLETION OF ALL WORK AND FULL STABILIZATION OF DISTURBED AREAS AND APPROVAL OF THE TOWN INSPECTOR, THE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES CAN BE REMOVED.

N.Y.S. EDUCATION NOTE:
 IT IS A VIOLATION OF ARTICLE 145 OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON TO ALTER THIS DOCUMENT IN ANY WAY WITHOUT THE WRITTEN VERIFICATION OR ADOPTION BY A N.Y.S. LICENSED ENGINEER IN ACCORDANCE WITH SECTION 7209(2).

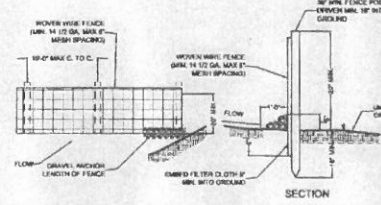
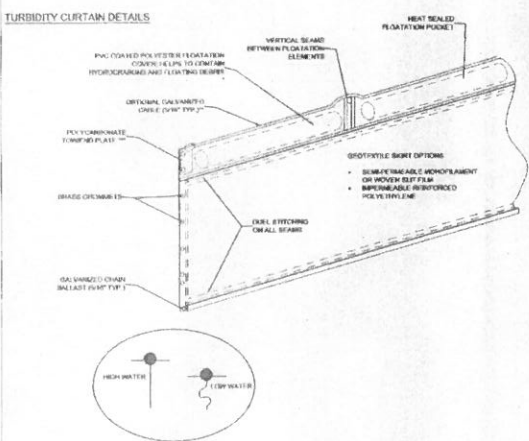
ROY A. FREDRIKSEN, PE

CONSULTING ENGINEER
 278 HAPPY RD. • VALHALLA, NY 12184 • 518-825-0265

OWNER: RICHARD DUDYSHYN CONTRACTING INC. AND MOTM INC.
 PROJECT: RENOVATION OF AN EXISTING HOUSE ON TAMARACK RD. IN MAHOPAC, NY.

SHEET TITLE: SITE PLAN
 1 OF 1

16/29/2015
 REVISIONS: DATE: 11/3/2015



- CONSTRUCTION NOTES:**
1. WOMEN WIRE FENCE TO BE PARTNERED SECURELY TO FENCE POSTS WITH TIES OR STAPLES.
 2. FILTER CLOTH TO BE PARTNERED SECURELY TO WOMEN WIRE FENCE WITH TIE BRIDGES EVERY 2' AT TOP AND MID SECTION.
 3. WHEN TWO SECTIONS OF 18' TIE CLOTH ALIGN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6" AND SECURED TOGETHER WITH STAPLES OR TIE BRIDGES.
 4. IMPERVIOUS BRUSH TO BE PARTNERED AS HELD TO AND MAINTAINED AS SHOWN WITHIN "BUDGET DEVELOP IN THE SILT FENCE.
- CONSTRUCTION NOTES:**
- POSTS: STEEL OTHER 1" OR 1 1/2" TYPE OR 2" HANGING ROD
- FENCE: WOMEN WIRE, 14' X 14' GA. 1/2" MESH SPACING
- FILTER CLOTH: 18' TIE K. MESH 1/2" OR 1" THICK OR APPROX. EQUAL
- IMPERVIOUS BRUSH: 1/2" OR APPROX. EQUAL

Site Design Consultants

Civil Engineers • Land Planners

October 27, 2015

Attention: Rose Trombetta

Mr. Robert Laga, Chairman
Members of the Environmental Conservation Board
Town of Carmel
60 McAlpin Avenue
Mahopac, NY 10541

Re: Robert Frenkel Boathouse
43 Tamarack Road - Mahopac, NY

Dear Chairman Laga and Members of the Environmental Conservation Board:

On behalf of our Client, we are requesting your continued review and approval from the Town of Carmel / Environmental Conservation Board for the purpose of replacing and expanding an existing boathouse on Lake Mahopac, Putnam County, NY. We have prepared and are forwarding you enclosed the following documents for review.

- Four sets of the revised Site Plans titled "Site Plans Prepared for Robert Frenkel," prepared by Site Design Consultants, Sheets 1-5 of 5, dated 7/20/15, last revised 10/14/15;

Please place this project on the ECB's agenda for November 5, 2015.

We appreciate your consideration in reviewing this submission. Please advise this Office if you have any concerns. Thank you.

Sincerely,


Joseph C. Riina, P.E.

Cc: R. Frenkel

JCR/cm/Enc./sdc 15-09





LOCATION MAP
NOT TO SCALE

SITE DATA:

OWNER / DEVELOPER: ROBERT FRENKEL
38 TURNER DRIVE
CHAPPAQUA, N.Y. 10514

PROJECT LOCATION: 43 TAMARACK ROAD
MAHOPAC, N.Y. 10551

EXISTING TOWN ZONING: R-4010, RESIDENTIAL

PROPOSED USE: SECTION 79.8, BLOCK 2, LOT 20

TOWN TAX MAP DATA: 0.233 ACRES (10,170.7 SF)

SITE AREA: PRIVATE SEWERS

SEWERAGE FACILITIES: PRIVATE WATER FACILITIES

EXISTING WOOD DOCK TO BE REPAINTED

EXISTING CONCRETE PATIO TO BE RESTORED

EXISTING SEA WALL TO BE REMOVED
BROKEN AND LOOSE CONCRETE TO BE
REMOVED AND NEW CONCRETE FOOTING
AND STONE FACADE TO BE ADDED

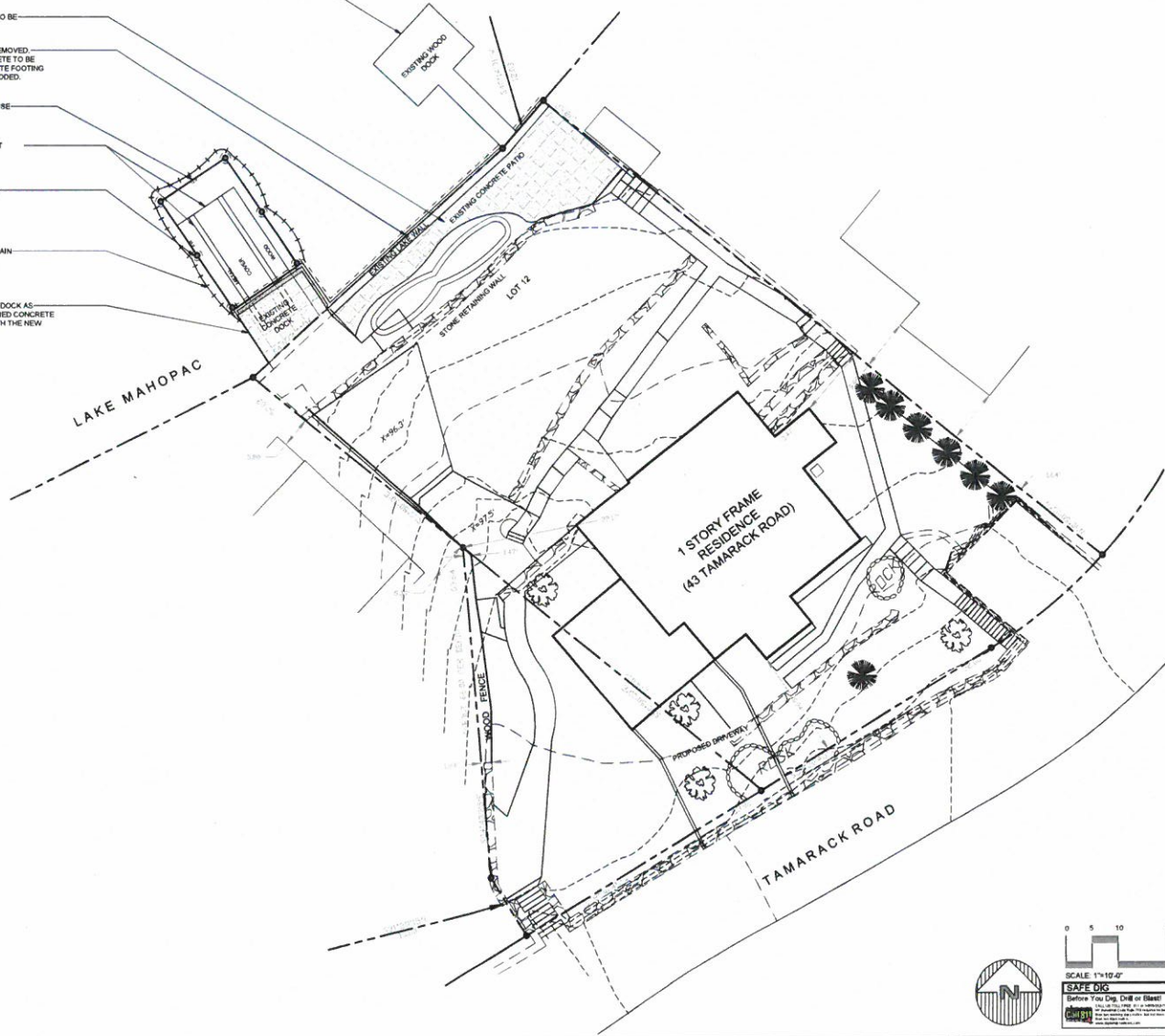
PROPOSED 15' x 25' BOAT HOUSE

FOOTPRINT OF EXISTING BOAT
HOUSE TO BE REMOVED

10 TON - 6" DIA. MICRO PILE

PROPOSED AIR BUBBLE CURTAIN

MODIFY EXISTING CONCRETE DOCK AS
REQUIRED THE NEWLY MODIFIED CONCRETE
DOCK SHALL BE FLUSH WITH THE NEW
BOATHOUSE.



LAKE MAHOPAC

1 STORY FRAME
RESIDENCE
(43 TAMARACK ROAD)

TAMARACK ROAD



NOTE:
THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN
TAKEN FROM SURVEY MAP PREPARED BY FRANK MAROILI DATED 10/01/14. THE
ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

NO CHANGE OR ALTERATION OF ANY KIND TO THIS DRAWING IS A VIOLATION OF SECTION 700 OF THE NEW YORK STATE EDUCATION LAW.



Site Design Consultants
Civil Engineers & Land Planners
251-F Underhill Ave. Mahopac, NY 10558
845-492-4444 Fax: 845-492-4786
www.sitedesignconsultants.com



DATE	11/17/15
DESIGNED BY	EL
CHECKED BY	
SCALE	7/20/15

NO.	1	DATE	11/17/15
DESCRIPTION	ISSUED FOR PERMIT		

**OVERALL
SITE PLAN**

SITE PLAN
PREPARED FOR
ROBERT FRENKEL
38 TURNER DRIVE
CHAPPAQUA, NY 10514
Putnam Co., New York

EXISTING CONCRETE PATIO TO BE REMOVED

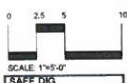
LOOSE AND BROKEN SECTIONS OF EXISTING CONCRETE
RETAINING WALL TO BE REMOVED

EXISTING STEEL GIRDERS TO BE SAW CUT AT FACE OF CONCRETE DOCK

EXISTING BOAT HOUSE TO BE DEMOLISHED AND REMOVED

EXISTING WOOD DOCK

EXISTING CONCRETE PATIO
STONE RETAINING WALL



SAFE DIG
Before You Dig, Call or Blast!



Site Design Consultants
Civil Engineers • Land Planners
251-F Underhill Avenue, Yorktown Heights, NY 10598
914-942-1000
www.sitedesignconsultants.com



Revised:	
By:	
Checked:	
Date:	

Scale:	1"=5'
Drawn by:	EL
Date:	7/20/15

EXISTING SITE & DEMOLITION PLAN

ROBERT FRENKEL
SITE PLAN
PREPARED FOR
38 TURNER DRIVE
CHAPPAQUA, NY 10514
Putnam Co., New York
Town of Carmel

Sheet 2 of 5

Disturbance Calculations For Seawall and Piles:

6 piles @ 12" Ø = 4.74 Sq. Ft.
 Stone Veneer and Footing = 120 Sq. Ft.
 Total Permanent Disturbance = 125 Sq. Ft.
 Original Disturbance = 940 Sq. Ft.
 Additional Disturbance = 125 Sq. Ft.
 = 1065 Sq. Ft.

Mitigation Calculations:

Required Capacity (Original Design) = 96.7 cf.
 Provided Capacity (Original Design) = 146.5 cf.

Revised Design:
 Proposed Mitigation Rain Garden Calculations:

$$WQ_v = \frac{(P)(R)(A)}{12}$$

$$WQ_v = \frac{(1.1)(0.05)(1065)}{12}$$

$$WQ_v = 110 \text{ cf. RGD}$$

Where:

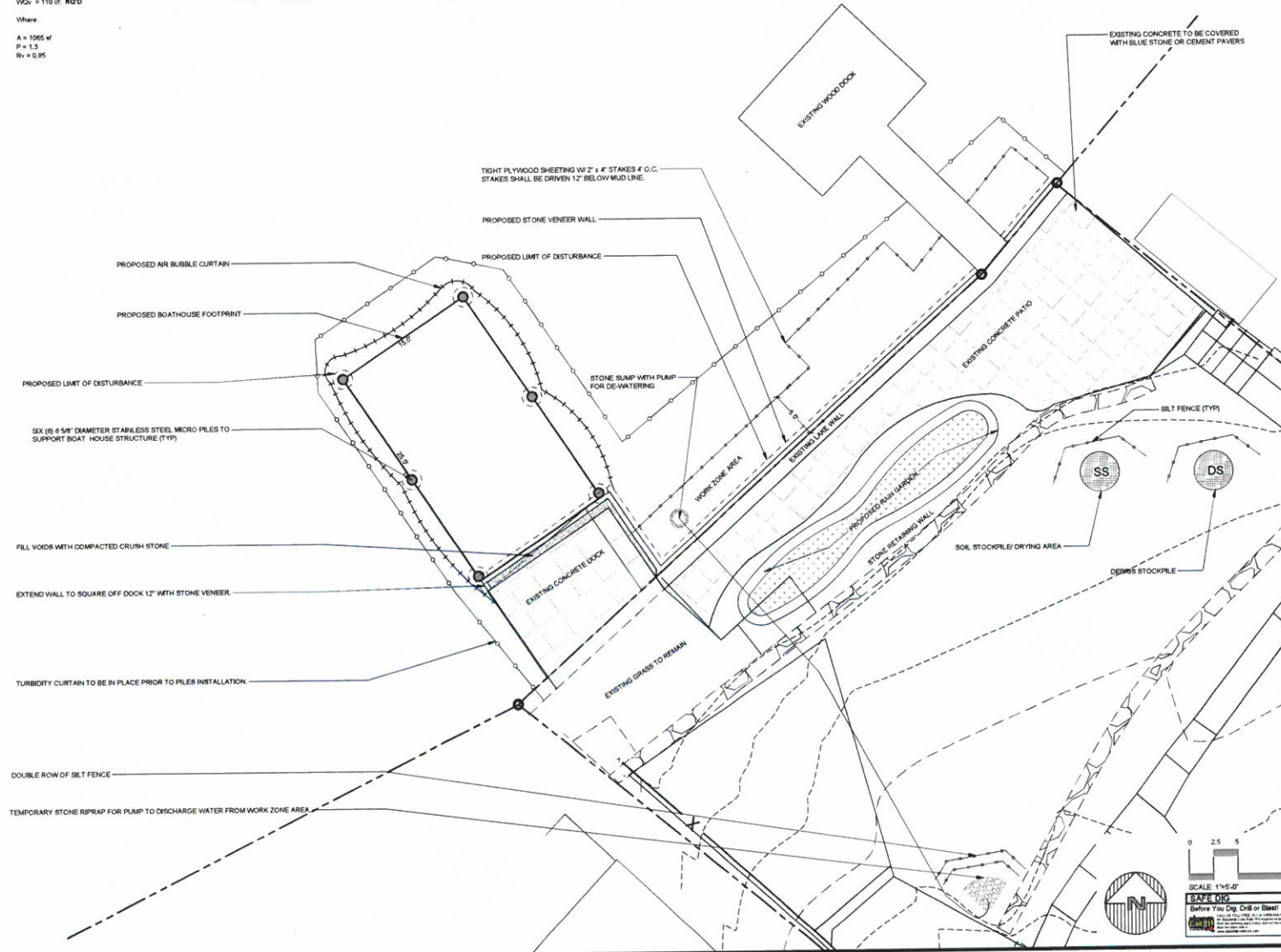
A = 1065 sf
 P = 1.3
 Rv = 0.95

Drainage Layer and Soil Media Storage Volume

V_{req} = A_g x D_{em} x P_{em}
 V_{pr} = A_g x D_{dl} x P_{dl}

Where:

A_g = 315 sf V_{em} = 315 sf x 1 ft x 0.20 = 63 cf
 D_{em} = 1 ft V_{pr} = 315 sf x 0.5 ft x 0.40 = 63 cf
 D_{dl} = 0.5 ft D_p = 0.25
 P_{em} = 0.20
 P_{dl} = 0.40
 V_{em} = 315 sf x 1 ft x 0.20 = 63 cf
 V_{pr} = 315 sf x 1 ft x 0.20 = 63 cf
 V_t = 63 cf + 63 cf + (0.25 ft x 315 sf) = 204.75 cf. Provided > 110 cf. **OK**





Site Design Consultants
 Civil Engineers & Land Planners
 251-F Underhill Avenue, Yorktown Heights, NY 10598
 (914) 336-7300
 www.sitedesignconsultants.com



Professional Engineer
 Joseph C. Reina, P.E.
 No. 13123 (Professional Seal No.)
 State of New York

Revision:	
NO. 13123 (Professional Seal No.)	
Scale:	1" = 5'
Author:	RL
Date:	7/20/15

IMPROVEMENT PLAN

SITE PLAN
 PREPARED FOR
ROBERT FRENKEL
 38 TURNER DRIVE
 CHAPPAQUA, NY 10514
 Putnam Co., New York

Sheet 3 of 5

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 207(2)(b) OF THE NEW YORK STATE EDUCATION LAW.

GENERAL NOTES:

1. THE ENGINEER WHOSE SEAL APPEARS HEREON HAS NOT BEEN RETAINED FOR SUPERVISION OF CONSTRUCTION. SUBSEQUENTLY HE IS NOT RESPONSIBLE FOR CONSTRUCTION AND THEREAFTER ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION PRACTICES, PROCEDURES AND RESULTS THEREOF.
2. THE ENGINEER SHALL NOT BE HELD RESPONSIBLE OR HELD ACCOUNTABLE FOR THE INTEGRITY OF ANY STRUCTURES CONSTRUCTED OR UNDER CONSTRUCTION PRIOR TO THE APPROVAL OF THE PLAN.
3. ALL WORK IS TO BE ACCORDANCE WITH THE TOWN CODE OF PRACTICE AND SPECIFICATIONS REGARDING ALL CONDITIONS, LOCATIONS, AND DIMENSIONS SHALL BE FIELD VERIFIED AND THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED OF ANY DISCREPANCIES.
4. ALL CHANGES MADE TO THE PLAN SHALL BE APPROVED BY THE ENGINEER WHOSE SEAL APPEARS ON THESE DRAWINGS. ANY SUCH CHANGES SHALL BE FILED AS AMENDMENTS TO THE ORIGINAL BUILDING PERMIT.
5. ALL WRITTEN DIMENSIONS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER ANY SCALED DIMENSIONS.
6. THE DESIGN ENGINEER DISCLAIMS ANY LIABILITY FOR DAMAGE, OR LOSS INCURRED, SURVEY OR AFTER CONSTRUCTION.
7. ALL CONDITIONS, LOCATIONS AND DIMENSIONS SHALL BE FIELD VERIFIED BY THE ENGINEER WHOSE SEAL APPEARS ON THESE DRAWINGS PRIOR TO THE START OF WORK. THE CONSTRUCTION SHALL EVALUATE THE SITUATION AND NOTIFY THE PLAN AS NECESSARY.

CONTRACTOR RESPONSIBILITIES:

1. ALL WORK ON THE PROJECT SHALL BE PERFORMED BY A WORKMAN LIKE MAINER AND SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INDUSTRY. THE OWNER WILL BE THE SOLE JUDGE OF THE ACCEPTABILITY OF THE WORK.
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT HIS WORK AND WILL BE HELD RESPONSIBLE FOR CONsequential DAMAGES DUE TO HIS ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR CONsequential DAMAGES DUE TO HIS ACTIVITIES AND TO HIS AGENTS AND EMPLOYEES, AND ANY OTHER PERSONS PERFORMING ANY THE WORK UNDER A SEPARATE CONTRACT WITH THE CONTRACTOR.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROPERLY STORE, EXERCISE UTILITIES IF ACQUIRED BY CONSTRUCTION.
4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE BUILDING INSPECTOR IN ADVANCE OF HIS WORK OR AS THE INSPECTOR DEEMS APPROPRIATE.
5. ALL CONDITIONS, LOCATIONS AND DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND THE OWNER/ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY THE OWNER/ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF WORK. THE OWNER/ENGINEER WILL EVALUATE THE SITUATION AND NOTIFY THE PLAN AS NECESSARY.
6. ALL CHANGES MADE TO THIS PLAN SHALL BE APPROVED BY THE ENGINEER WHOSE SEAL APPEARS ON THESE DRAWINGS. ANY UNAUTHORIZED ALTERATION OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 2308 (2) OF THE NEW YORK STATE EDUCATION LAW.
7. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION METHODS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THIS CONTRACT.
8. THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR THE ACTS AND OMISSIONS OF HIS EMPLOYEES, SUBCONTRACTORS, AGENTS AND EMPLOYEES, AND ANY OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTRACT WITH THE CONTRACTOR.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ENCOUNTERED DURING CONSTRUCTION.
10. THE CONTRACTOR SHALL SECURE A PAY FOR BUILDERS BOND POLICY DURING THE PERIOD OF CONSTRUCTION. THE ENGINEER & OWNER SHALL BE NOTIFIED ADDITIONAL BONDING. ALL CONTRACTORS EMPLOYED AT THE SITE SHALL BE COVERED BY WORKMAN'S COMPENSATION.

GENERAL CONSTRUCTION NOTES:

1. EROSION CONTROL STRUCTURES SHALL BE OF SUCH ELEVATION THAT THE GROUND WILL BE ABOVE FINISH GRADE IN ALL DIRECTIONS.
2. CONSTRUCTION ACTIVITY SHALL BE LIMITED FROM 8 A.M. TO 5 P.M. AND NO CONSTRUCTION ACTIVITY SHALL OCCUR ON SUNDAYS OR LEGAL NEW YORK STATE HOLIDAYS.
3. NO TOPSOIL SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE DIRECTED BY THE OWNER'S REPRESENTATIVE.

GENERAL EROSION CONTROL NOTES:

1. Contractors shall be responsible for compliance with all sediment and erosion control practices. The sediment and erosion control practices are to be installed prior to any major soil disturbance, and maintained until permanent protection is established. Good surface flow from the site should be disrupted and appropriate measures during subject soil disturbance regarding. Contractor is responsible for well permanent protection is established.
2. All structures shall be maintained in good working order at all times. The sediment level in all sediment traps shall be closely monitored and sediment removed promptly. An maximum levels are reached or as directed by the engineer. All sediment control structures shall be inspected on a regular basis, and after each heavy rain to insure proper operation as designed. An inspection outside shall be set both prior to the start of construction.
3. The location and installation times of the sediment capturing structures shall be as specified in three places, as indicated by the Engineer, and in accordance with the latest edition of the "New York Standards and Specifications for Erosion and Sediment Control" (NYSESC).
4. All silt traps shall be placed in a stabilized erodible slope for reuse on the site. All silt traps material retained for final grading and stored on site shall be temporarily treated and mulched within 7 days. Refer to soil sample results.
5. Any disturbed areas that will be left exposed more than 7 days need not be subject to construction traffic, shall immediately receive temporary seeding. Mulch shall be used if the season prevents the establishment of a temporary cover. Disturbed areas shall be broad and mulched prior to temporary seeding.
6. Sediment and erosion control structures shall be removed and the area stabilized when the drainage area has been properly stabilized by permanent measures.
7. All sediment and erosion control measures shall be installed in accordance with current edition of NYSESC.

MAINTENANCE OF TEMPORARY EROSION AND SEDIMENT CONTROL STRUCTURES:
 N.Y.S.D.E.C. GP-0-10-001 EXPOSURE RESTRICTIONS - States that any exposed earthwork shall be stabilized in accordance with the guidelines of this plan.

1. Trees and vegetation shall be protected at all times as shown on the detail drawing and as directed by the Engineer.
2. Care should be taken so as not to channel concentrated runoff through the areas of construction activity on the site.
3. Fill and site disturbances should not be created which causes water to pond off site or on adjacent properties.
4. Runoff from land disturbances shall not be discharged or have the potential to discharge off site without first being intercepted by a control structure, such as a sediment trap or silt fence. Sediment shall be removed before exceeding 50% of the retention structure's capacity.
5. For finished grading, adequate grade shall be provided so that water will not pond on lawns for more than 24 hours after rainfall, except in stable flow areas which may drain for as long as 48 hours after rainfall.
6. All swales and other areas of concentrated flow shall be properly stabilized with temporary control measures to prevent erosion and sediment travel. Surface flow over cut and fill areas shall be stabilized at all times.
7. All sites shall be stabilized with erosion control materials within 7 days of final grading.
8. Temporary sediment trapping devices shall be removed from the site within 30 days of final stabilization.

MAINTENANCE SCHEDULE:

	DAILY	WEEKLY	MONTHLY	AFTER RAINFALL	NECESSARY TO MAINTAIN FUNCTION	AFTER APPROVAL OF INSPECTOR
SILT FENCE	---	---	---	INSP.	CLEAN REFILL	REMOVE

MAINTENANCE OF PERMANENT CONTROL STRUCTURES DURING CONSTRUCTION:
 The stormwater management system and silt trap structure shall be inspected on a regular basis and after every rainfall event. Sediment build up shall be removed from the filter protection regularly to insure detention capacity and proper drainage. Check structure shall be free of obstructions. All piping and drain lines shall be free of obstruction. Any sediment build up shall be removed.

Recommended Sequence of Construction

Use of erosion and sediment control devices and practices are important for maintaining site stability under runoff and during daily construction activities. The Construction Sequence should be adapted to the site conditions and implemented prior to commencing site preparation. As construction progresses, the controls should be maintained, monitored and replaced as needed. Additional controls may be required as needed to address unforeseen situations.

Refer to the Construction Sequence for all plans and details which relate to the Construction Sequence. This Sequence should be followed in conjunction with all Plans and Notes. Prior to the commencement of work, the Owner and General Contractor shall read and understand the Sequence for Construction. The Sequence shall be approved by the Project Engineer.

During construction of the project, the Contractor is responsible to coordinate all required inspections with various agencies and the Project Engineer.

General Sequence: The general sequence applies to the start of all Plans of the project. The requirements as such shall be applied as appropriate to that phase and shall be amended to plans prior to the start of the work outlined in the sequence for each Plan.

1. Prior to the beginning of any work the site locations must be field-staked by a licensed corner.
2. Prior to the start of the project, an on-site pre-construction meeting will be held. This will be attended by the Project Owner, the Contractor responsible for complying with the approved construction drawings including the Erosion and Sediment Control (ES&C) Plan and Details, the Design Engineer, representatives from the Permitting Agency.
3. Install all temporary erosion control measures as shown on the Erosion and Sediment Control Plan for the project's disturbance areas. This shall include, but not be limited to, the site fence, turbidity curtain and silt fence. The sequence must be followed to ensure proper implementation of the Erosion and Sediment Control Plan (ES&C).
4. Upon installation of the ES&C measures, work may commence in any order which is consistent with various agencies and the Project Engineer.

Basin/Fence:

1. The nearest road shall be done between the late fall and early Spring when the lake water level has been lowered below the work zone. The tight sheeting and turbidity curtain shall be in place.
2. Install pump-in or pump-out detail. Install pump-in and discharge line for the pump.
3. Begin removal of broken and deteriorated concrete from the existing wall. Concrete debris will be removed from the work area and placed in the waste container at the front of the site for removal.
4. Begin excavation with hand tools for the proposed footing for the new seasonal facing. The excavated material shall be placed in the diverting area or pits from the work area.
5. Place geotextile fabric over concrete footing.
6. Upon preparation of concrete wall the footing to original finished level with native material.
7. Begin installation of stone and mortar facing. First mortar will be done by drilling and grouting into the existing wall. Begin building up wall facing 18" on top between the stone and existing wall with mortar. Upon completion of facing mortar stone cap.
8. Upon completion and the approval of the Engineer the tight sheeting shall be removed.

Basin/Fence Installation:

1. Prior to the installation of the stone the turbidity curtain manufactured by Indian Valley Industries or approved equal shall be in place. The poles will be installed during high water elevations.
2. Piles will be installed from a Boring barge or dock to the required depth.
3. Upon completion of the installation the pile cap shall be installed in place.
4. Begin the framing and construction of the basin/fence. Install mechanical trench.
5. All construction debris shall be removed from the work area and deposited in the trash container at the front of the site.
6. Upon completion of all work and approval by the Engineer the turbidity curtain can be removed.

CONSTRUCTION NOTES:

1. All construction shall be kept in place during the entire construction process.
2. All excavation for concrete retention and concrete footing shall be done with hand tools and no backhoe.

REFUELING PLAN:

1. The large station shall have a fuel containment and spill to collect fuel. If the large station shall be highly loaded with fuel tanks of all sizes.
2. The fuel containers shall be stored off-site. In the event of refueling the containers must be hand carried to the Barge or equipment for the necessary refueling.
3. All fuel shall be hand transported when loading/dumping equipment.
4. The containers shall have a Uniserial Spill Kit on the Barge at all times. The kit to be manufactured by Pkg Corporation or approved equal.
5. All fuel shall be kept in the Barge at all times in the event of a spillage of fuel. The spill kit shall be utilized to absorb any spilled fuel. All absorbing materials shall be removed from the Barge by the water contractor and properly disposed at within 48 hours of the New York State Department of Environmental Conservation.
6. In the event of fuel spillage and leaving the Barge, the Barge shall be completely contained with a Boring containing boom. The boom shall be kept on the Barge at all times. If the fuel spill occurs the water contractor shall immediately call the Spill Center at the NYSESC-604-017963.
7. Containment boom shall be a "Simplex Boom" as manufactured by Pkg Corporation or approved equal. The "Simplex Boom" to be secured to the containment. Prior to the installation of the Boom, the contractor shall provide spill drainage and collection system to the installation of the Simplex Boom.
8. There shall be at least one individual trained in using the spill kit and containment system on hand at all times during refueling operations.



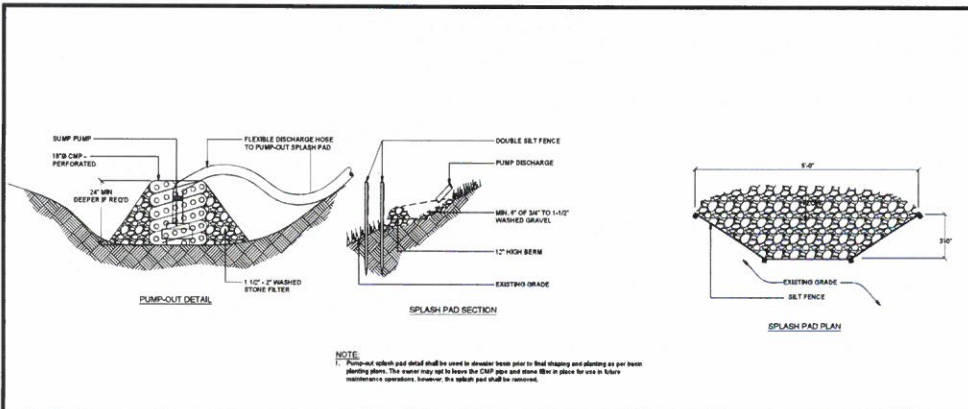
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Scale	NTS	AS SHOWN
DATE		
BY		
CHECKED BY		
DATE		

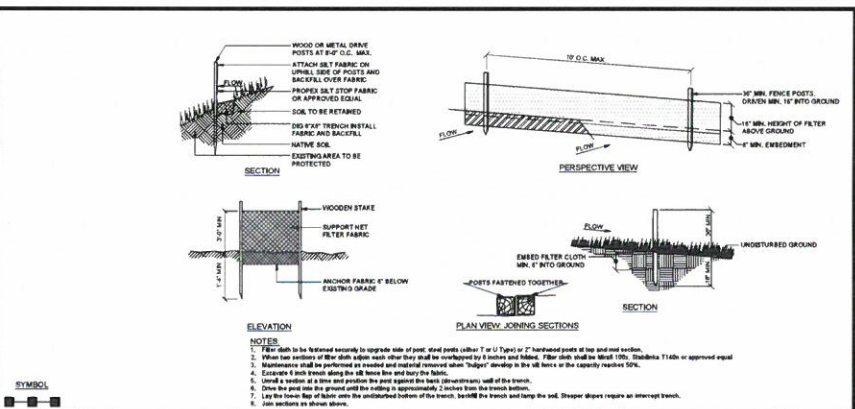
EROSION & SEDIMENT CONTROL NOTES

ROBERT FRENKEL
 38 TURNER DRIVE
 CHAPPAQUA, NY 10514
 Putnam Co., New York
 (Lower Of Claim)



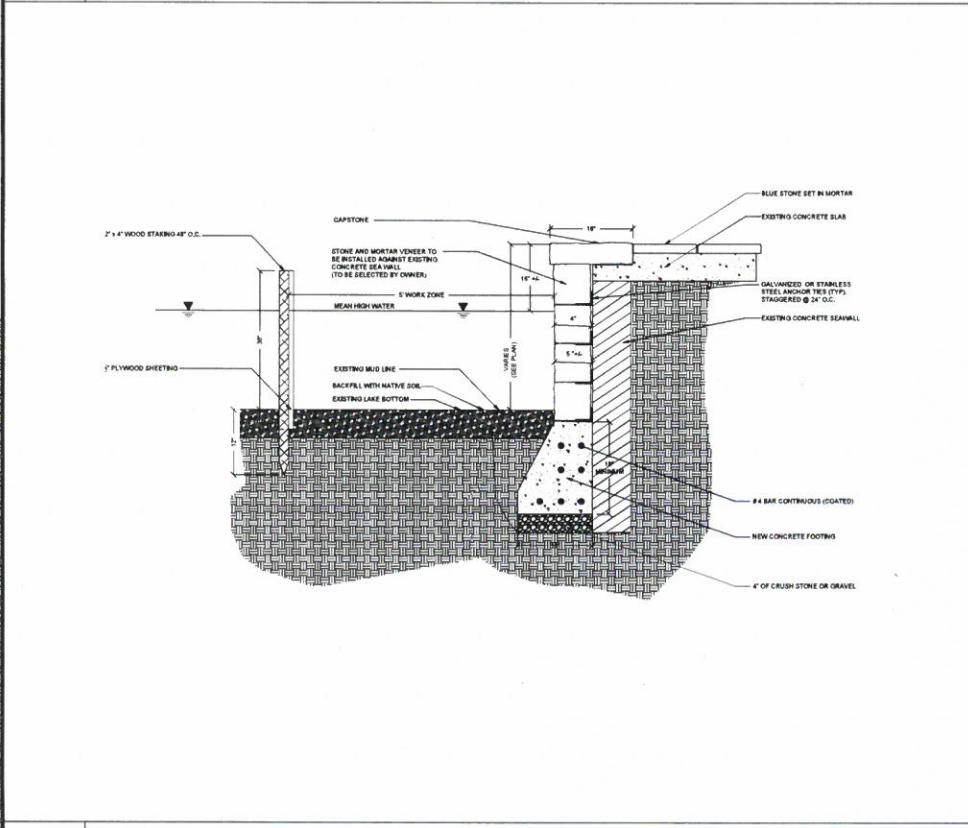
E-1

PUMP-OUT & SPLASH PAD DETAIL
NOT TO SCALE



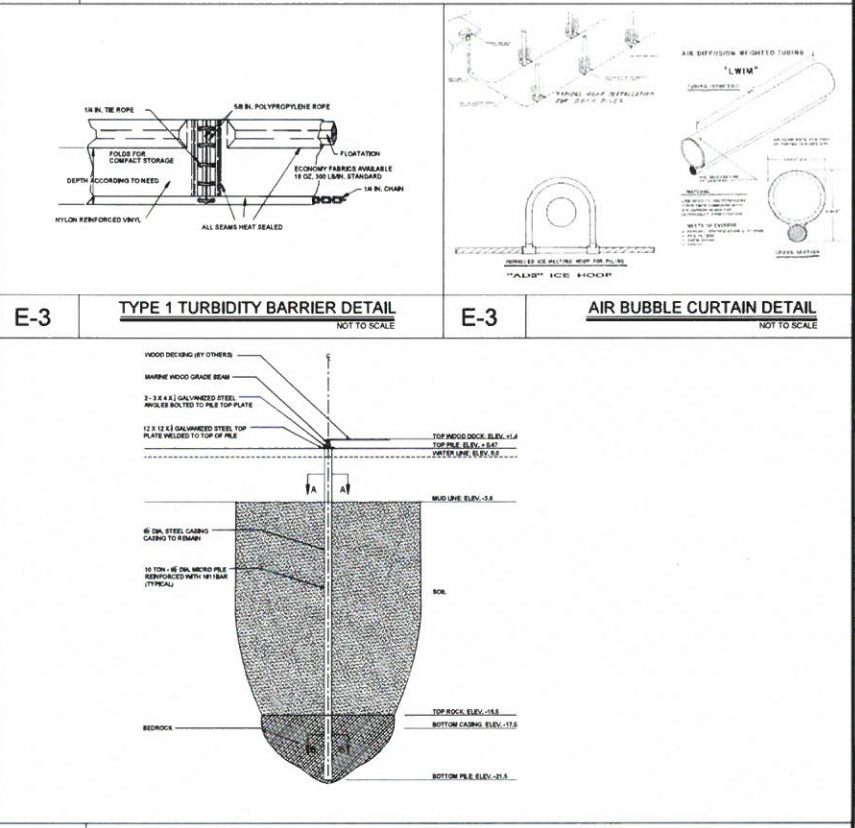
E-2

SILT FENCE DETAIL
NOT TO SCALE



ST-1


REINFORCED CONCRETE RETAINING WALL
NOT TO SCALE



ST-2


MICRO PILE DETAIL
NOT TO SCALE

NOTE: DIMENSIONS UNLESS OTHERWISE NOTED ARE GIVEN IN FEET AND INCHES (FEET AND DECIMALS THEREOF). THE NEW YORK STATE EDUCATION LAW.



Site Design Consultants
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(914) 358-4300
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PROJECT # 15-190



Joseph C. Frenkel, P.E.
No. 40092
State of New York
Professional Engineer

DATE: 7/20/15

DRAWN BY: EL

CHECKED BY: MS

DETAILS

SITE PLAN
PUMP-OUT FOR

ROBERT FRENKEL
38 TURNER DRIVE
CHAPPAQUA, NY 10514
Putnam Co., New York

Town of Carmel

Sheet
5 of 5

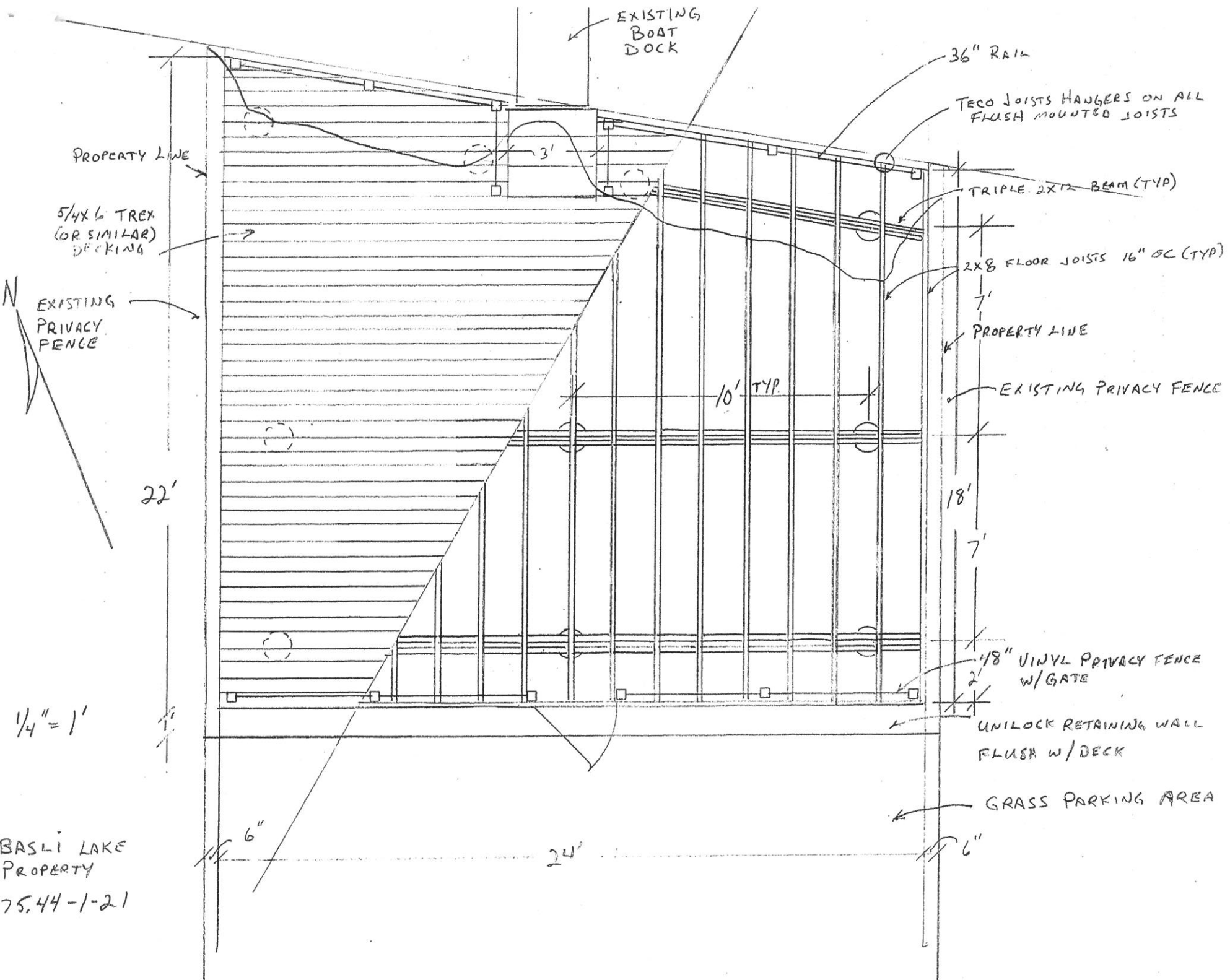
BASLI LAKE PROPERTY
859 South Lake Blvd.
Mahopac, NY 10541

ENVIRONMENTAL CONSERVATION BOARD REQUIREMENTS

1. **Sediment control: On land, a geo-textile fabric fence will be used downhill of designated land disturbance. Fence (3' x length of property) will be buried min. of 6" on uphill side and staked every 10'.**

On the water, a floating boom made of pvc fabric will be used to contain any floating debris caused by any land disturbance close to the water.

2. **No heavy equipment will be used during the construction of this deck.**
3. **Impervious surface calculates to be 55.8 % of total property.**
4. **Because of the location of this proposed deck on the property, a rain garden would not be the best option for storm water run off. Instead a berm of 3/4 gravel, 2' wide x 25' long x 1' high will be placed on the downhill side of the property.**



EXISTING
BOAT
DOCK

36" RAIL

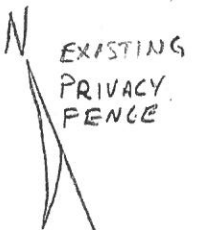
TECO JOISTS HANGERS ON ALL
FLUSH MOUNTED JOISTS

PROPERTY LINE

5/4x6 TREX
(OR SIMILAR)
DECKING

TRIPLE 2x12 BEAM (TYP)

2x8 FLOOR JOISTS 16" OC (TYP)



EXISTING
PRIVACY
FENCE

PROPERTY LINE

EXISTING PRIVACY FENCE

10' TYP.

22'

18'

7'

1/8" VINYL PRIVACY FENCE
W/GATE

UNLOCK RETAINING WALL
FLUSH W/DECK

GRASS PARKING AREA

1/4" = 1'

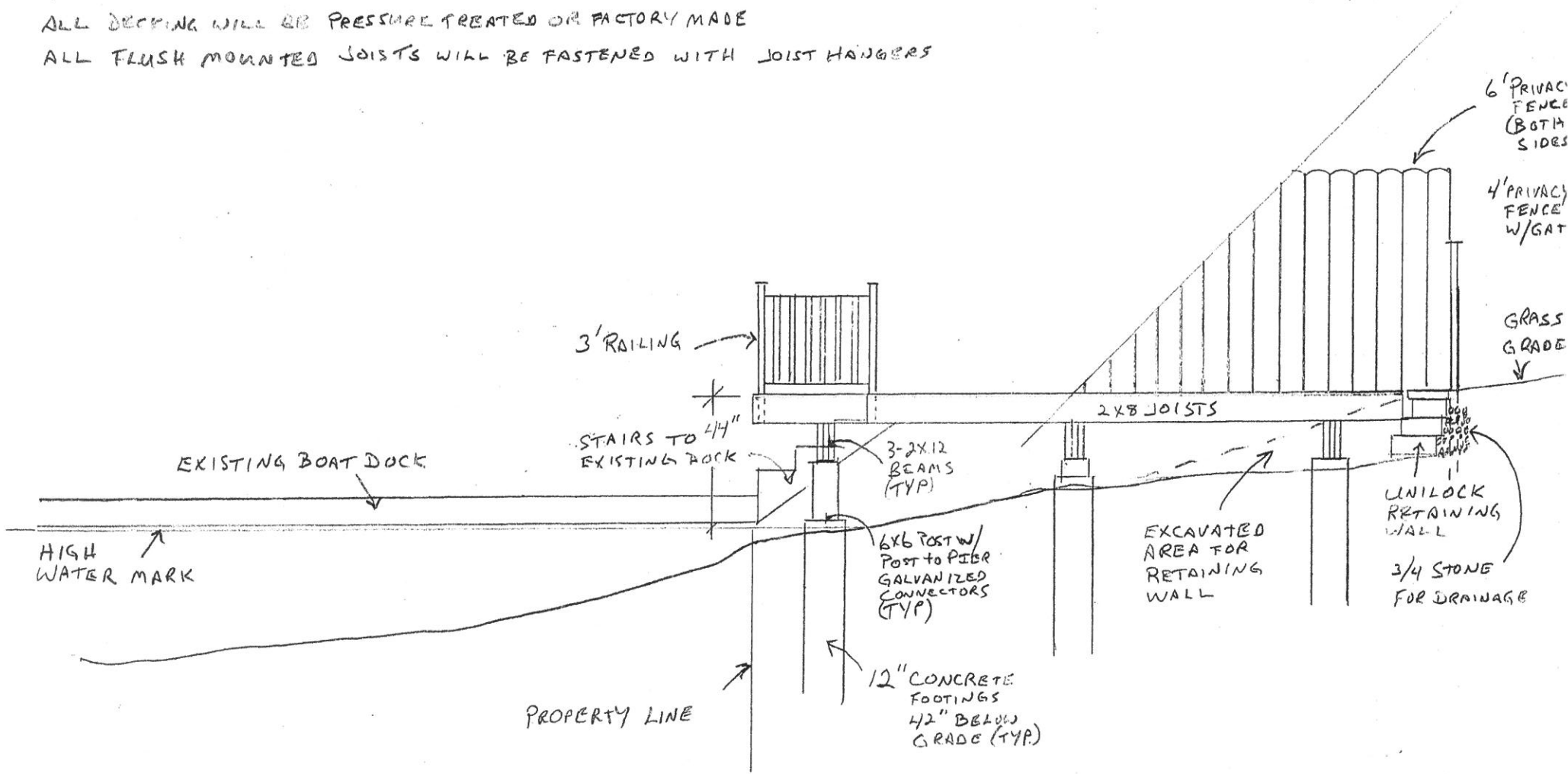
6"

24'

6"

BASLI LAKE
PROPERTY
75.44-1-21

- ALL LUMBER WILL BE PRESSURE TREATED
- ALL FASTENERS, ANCHORS, HANGERS WILL BE WEATHER RESISTANT
- ALL RAILINGS AND FENCES WILL BE PRESSURE TREATED OR VINYL OR BOTH
- ALL DECKING WILL BE PRESSURE TREATED OR FACTORY MADE
- ALL FLUSH MOUNTED JOISTS WILL BE FASTENED WITH JOIST HANGERS



1/4" = 1'

BASLI
LAKE PROPERTY
75,44-1-2.1

approximate line of adjoiner based on deeds and physical bounds marking lines of parcels between F.M. No. 785 and the "Fairy Island" entrance parcel

44.50'
S 57°01'50" E (tie)
HIGHWAY LINE AS SHOWN ON FILED MAP NO. 785 AND AS RECITED IN DEEDS

northwesterly line of "Reserved" parcel shown on Filed Map No 785; shown thereon as running along lands known as "Island View"

now or formerly
CHRISTOPHER & GRACE KEARNEY
"RESERVED"
(Liber 1951, Page 480)

Lake
FLOATING
BOOM

N 30°43'35" E
gravel

parking
low conc. ret. wall

deck 1.4' outside
41.04'
WOOD DECK

25.00'
lakefront retaining wall under deck
fence 0.4' outside
deck 0.3' outside
corner of wall 0.4' inside

fence begins 0.2' outside
low wall 0.3' inside

chain link
low wall 0.1' inside
iron pin set

barrier chain between iron posts
iron pin set

fence 0.5' outside
iron pin set on line, 3.5' from corner (wall 0.1' outside)
existing shoreline

S 51°16'55" E
WOOD DOCK

division line between Lot 1A and "Reserved" parcel as shown on F.M. No. 785
face of wall 0.6' inside

iron pin set
corner of fence on line

iron pin set
corner of fence on line

iron pin set on line, 3.6' from corner

25.00'
edge of deck 0.4' outside
WOOD DOCK

(location of original undisturbed shoreline unknown)
FORMER SHORELINE OF LAKE AS SHOWN ON FILED MAP NO. 785

asphalt pavement
S 30°23'25" W

wood retaining wall
wood stockade fence on wall

wood stockade fence on wall
corner of deck 0.3' outside

WOOD DECK
38.55'

wood stockade fence
fence ends 0.4' outside
rough stone retaining wall under deck

now or formerly
EDWARD L. GIRSH, JR.
&
ARTHUR DeALLEAUME
(Liber 1469, Page 365)

1A

lands shown on map entitled
"CHARLES GANTER"
(filed September 6, 1956 as Map No. 785)

