

HAROLD GARY
Chairman

TOWN OF CARMEL
PLANNING BOARD

MICHAEL CARNAZZA
Director of Code
Enforcement

BOARD MEMBERS

CARL GREENWOOD
JOHN MOLLOY
JAMES MEYER
ANTHONY GIANNICO
CRAIG PAEPRER



60 McAlpin Avenue
Mahopac, New York 10541
Tel. (845) 628-1500 – Ext.190
www.carmelny.org

RICHARD FRANZETTI, P.E.
Town Engineer

PATRICK CLEARY,
AICP, CEP, PP, LEED AP
Town Planner

PLANNING BOARD AGENDA
OCTOBER 22, 2014 – 7:00 P.M.

MEETING ROOM #2

TAX MAP # PUB. HEARING MAP DATE COMMENTS

SITE PLAN

- | | | | |
|--|-----------|----------|-------------------|
| 1. Nejame & Sons – 133 Gleneida Ave, Carmel | 44.9-1-16 | 10/10/14 | Amended Site Plan |
| 2. Cargain Funeral Homes, Inc. – 416 Route 6 | 75.15-1-6 | 9/30/14 | Amended Site Plan |

SUBDIVISION

- | | | | |
|---|--------------------------|---------|---------------------|
| 3. Fisher & Simone – 418 Route 6 & 7 Veschi Lane N. | 75.15-1-6 &
75.15-1-8 | 9/30/14 | Lot Line Adjustment |
|---|--------------------------|---------|---------------------|

MISC.

- | | | | |
|---|------------|--------|--|
| 4. Wixon Pond Estates – Wixon Pond Rd | 53.20-1-19 | | Extension of Preliminary
Subdivision Approval |
| 5. Putnam Community Foundation – Stoneleigh Ave | 66.-2-58 | | Extension of Approval |
| 6. Campanelli, Michael – 424 Baldwin Place Rd. | 75.11-2-25 | 6/3/14 | Waiver of Site Plan
Application |
| 7. Minutes – 9/17/2014 | | | |

William A. Shilling, Jr., P.C.

Attorney at Law

122 Old Route 6

Carmel, New York 10512

E-Mail was.law@comcast.net

Michael V. Caruso

**Also admitted in CT*

Phone (845) 225-7500

Fax (845) 225-5692

October 16, 2014

By Hand Delivery

Planning Board of the Town of Carmel

60 McAlpin Avenue

Mahopac, New York 10541

Attn: Rose Trombetta, Planning Secretary

Re: Application by Nejame & Sons to the Town of Carmel Planning Board for real property known as 133 Gleneida Avenue, Carmel, New York 10512 (hereinafter, the "Premises").

Dear Chairman Gary and Members of the Planning Board:

Nejame & Sons, Inc. (the Owner) is returning to the Planning Board at this time for review of minor modifications to the existing site plan approval for the Premises. The site development in place substantially complies with the original site plan approval. The items under recent discussion with the Planning Board and Patrick Cleary principally address the front façade of the building on the Premises.

At the request of Mr. Cleary, below is an itemized summary of the above-referenced enhancements to the building under construction on the Premises:

- (i) pitched standing seam roofing;
- (ii) addition of three (3) gabled roof elements along building front;
- (iii) 12 inch trim along gables and roofline;
- (iv) addition of end columns using horizontal "block" detailing;
- (v) revised archway using horizontal "block" detailing;
- (vi) addition of exterior architectural lighting;
- (vii) Sto exterior finish and insulation using earth tones to blend with landscaping elements;
- (viii) box gutter on front façade emulating residential aesthetic;
- (ix) revision to larger, continuous windows for retail exposure and open office planning;
- (x) repositioned, smaller corporate logo on building façade;
- (xi) reduction in building height due to elimination of mezzanine above second floor; and

- (xii) use of architectural block in exterior stairways consistent with building finish and retaining walls.

These enhancements are in response to the Planning Board's concerns regarding a nearby residential neighborhood and resulting aesthetic impacts. It is our position that these enhancements are neither substantial nor material elements of the approved site plan for the Premises (Resolution No. 10-10), which is why Nejame & Sons, Inc. seeks a waiver of site plan approval for these enhancements. Please note that these enhancements balance significant economic concerns for Nejame & Sons, Inc. to operate its business on the Premises, with design concessions made in response to recent Planning Board feedback.

Based on the above, Nejame & Sons, Inc. is now presenting enhancements to the approved site plan it believes are both reasonable and in keeping with the letter and spirit of Town Law Section 274-a(5) providing for waiver of site plan approval. Please do not hesitate to contact me with any questions in advance of the Planning Board's October 22, 2014.

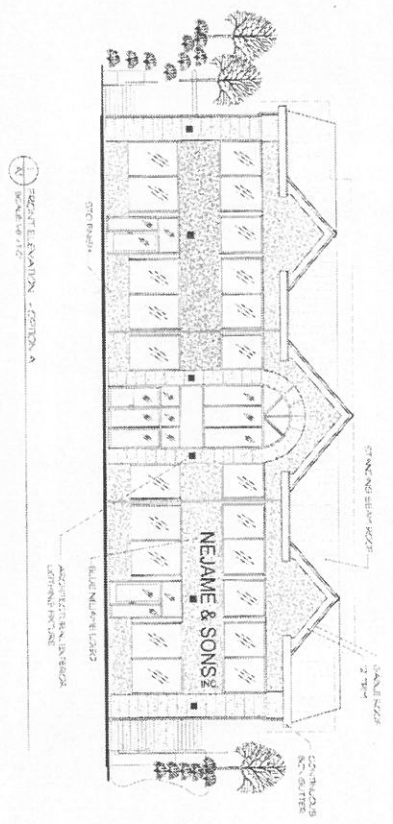
Very truly yours,



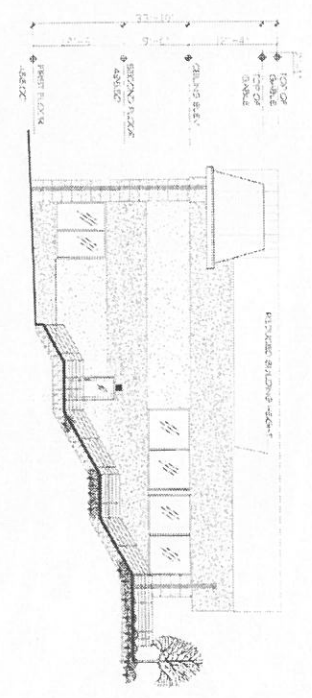
Michael V. Caruso

cc: Joseph A. Charbonneau, Esq.
P.W. Scott Engineering & Architecture, P.C.
Nejame & Sons, Inc.

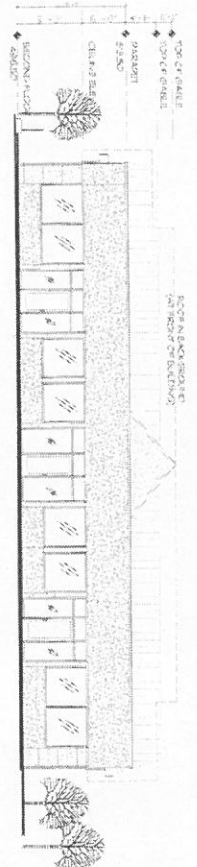
KEY
 WHITE COLOR STO
 DARKER BEIGE COLOR STO



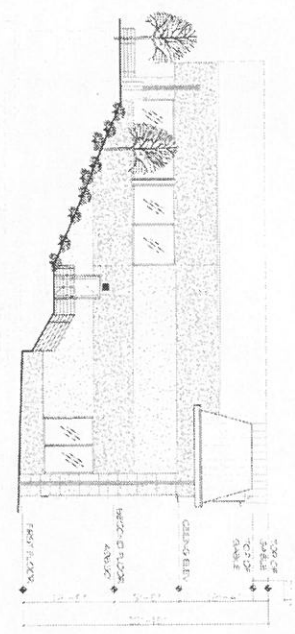
1 FRONT ELEVATION - OPTION A
 SCALE: 1/8" = 1'-0"



2 SIDE ELEVATION - OPTION A
 SCALE: 1/8" = 1'-0"



3 REAR ELEVATION - OPTION A
 SCALE: 1/8" = 1'-0"



4 SIDE ELEVATION - OPTION A
 SCALE: 1/8" = 1'-0"

PROPOSED ELEVATIONS - OPTION A

P. W. SCOTT ENGINEERING & ARCHITECTURE, P.C. 301 ROUTE 6 BREWSTER, MA 01896 942-775-4110		REVISIONS		ELEVATIONS		DATE	
NO.	DATE	DESCRIPTION	BY	DATE	DESCRIPTION	BY	DATE
1	10/12/10	PROJECT TITLE		10/12/10	NEJAME & SONS ROUTE 62		10/12/10
2	10/12/10	PROJECT NO.		10/12/10	14-02		10/12/10
3	10/12/10	CITY		10/12/10	MA		10/12/10
4	10/12/10	STATUS		10/12/10	AGNOTED		10/12/10
A1							

ZARECKI
&
ASSOCIATES, L.L.C.

Engineers • Architects
Surveyors

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Pawling, NY 12564
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Ridgefield, CT
(203) 438-7094
(203) 438-7157 Fax

September 29, 2014

Mr. Harold Gary, Chairman and Members of the Planning Board
Town of Carmel
60 McAlpin Avenue
Mahopac, New York 10541

Re: Cargain Funeral Home - Amended Site Plan
418 US Route 6
Town of Carmel, Putnam County
Tax Map #: 75.15-1-6

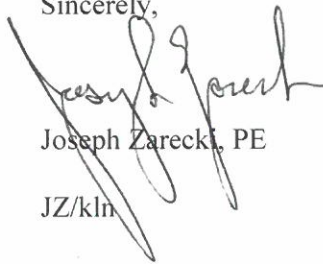
Dear Chairman Gary and Members of the Planning Board:

This letter is in response to the memorandum dated September 12, 2014 from Mr. Michael G. Carnazza, Director of Code Enforcement regarding his comments from our September 4, 2014 submittal for the Amended Site Plan for the above referenced project. Please note that our responses to the comments are in **bold print**.

- The key map (Vicinity Map) needs to be at a scale of 1" = 800'. The Vicinity map is 1" = 1000 feet.
Response: As requested, the Vicinity Map has been revised on Sheet 1 of 8 to a scale of 1" = 800'.
- Provide a detail of the trash enclosure.
Response: At this time, it is not proposed to change the existing trash enclosure as it is in good condition and not in need of repair. The existing trash enclosure is shown on the "Existing Conditions, Demolition & Tree Plan" Sheet 3 of 8. Please see the attached photo showing the existing trash enclosure.
- Provide a detail of the heights of the retaining walls. 6' tall or higher must meet the setback requirements.
Response: The setback requirements have been added on the "Retaining Wall Plan" Sheet 6 of 8. Also, a note was added on the "Amended Site Plan & Landscaping Plan" Sheet 2 of 8. All walls over six (6) feet in height meet the code for setback requirements.

Please do not hesitate to contact me should you have any further questions or require any additional information.

Sincerely,



Joseph Zarecki, PE

JZ/kln

enc.





ZARECKI
&
ASSOCIATES, L.L.C.

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email: info@zarecki.com

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September 30, 2014

Mr. Harold Gary, Chairman and Members of the Planning Board
Town of Carmel
60 McAlpin Avenue
Mahopac, New York 10541

Re: Cargain Funeral Home - Amended Site Plan
418 US Route 6
Town of Carmel, Putnam County
Tax Map #: 75.15-1-6

Dear Chairman Gary and Members of the Planning Board:

This letter is in response to the memorandum dated September 16, 2014 from Mr. Richard J. Franzetti, PE, Town Engineer regarding his comments from our September 4, 2014 submittal for the Amended Site Plan for the above referenced project. Please note that our responses to the comments are in **bold** print.

The following is enclosed for your review:

- Cover Sheet, Sheet 1 of 8, Prepared for Cargain Funeral Homes, Inc., dated September 30, 2014.
- Amended Site Plan & Landscaping Plan, Sheet 2 of 8, Prepared for Cargain Funeral Homes, Inc., dated August 28, 2014; last revised September 30, 2014.
- Existing Conditions, Demolition & Tree Plan, Sheet 3 of 8, Prepared for Cargain Funeral Homes, Inc., dated August 28, 2014.
- Grading & Utility Plan, Sheet 4 of 8, Prepared for Cargain Funeral Homes, Inc., dated August 28, 2014.
- Sediment & Erosion Control Plan, Sheet 5 of 8, Prepared for Cargain Funeral Homes, Inc., dated August 28, 2014.
- Retaining Wall Plan, Sheet 6 of 8, Prepared for Cargain Funeral Homes, Inc., dated August 28, 2014; last revised September 30, 2014.
- Lighting Plan & Details, Sheet 7 of 8, Prepared for Cargain Funeral Homes, Inc., dated August 28, 2014.
- Site Details, Sheet 8 of 8, Prepared for Cargain Funeral Homes, Inc., dated August 28, 2014; last revised September 30, 2014.
- Erosion & Sediment Control Stormwater Pollution Prevention Plan (SWPPP), dated August 28, 2014; last revised September 30, 2014.



- Turning Radii Diagram at Parking Aisle Turn (8 ½ by 11), Sheet 1 of 2, dated September 30, 2014.
- Turning Radii Diagram at Parking Space (8 ½ by 11), Sheet 2 of 2, dated September 30, 2014.

I. General Comments

1. The following referrals would appear to be warranted:
 - a. Mahopac Fire Department
Response: Comment acknowledged. Please note that when our office made the submittal to the Planning Board dated September 4, 2014, we also made a submittal to the Mahopac Fire Department.
2. Permits from the following would appear necessary:
 - a. New York State Department of Transportation - depending on improvements to the ingress/egress along Route 6
Response: Comment acknowledged. Our office has contacted the New York State Department of Transportation (NYSDOT) regarding any requirements/permits they may require for the ingress/egress along US Route 6. As of this date, we have not had a response from the NYSDOT. This office will advise the Planning Board once the NYSDOT has responded with their requirements. Also, please note, that our office has submitted to the NYSDOT the Erosion and Sediment Control Stormwater Pollution Prevention Plan (SWPPP) dated August 28, 2014 for their review of the stormwater from the site to be connected into their existing catch basins located along US Route 6.
3. All re-grading required to accomplish the intended development should be provided.
Response: As requested, the required grading has been shown on the “Grading & Utility Plan” Sheet 4 of 8.
4. The plans should specify the total area to be disturbed, as well as the extent of new impervious areas to be created, so that applicable SWPPP requirements can be defined.
Response: The total area disturbed and the extent of new impervious area have been specified/shown on the “Amended Site Plan & Landscaping Plan” Sheet 2 of 8. The Construction Phasing Plan has been revised to reflect the construction entrance detail and a note has been to “General Notes #1” Sheet 2 of 8. The Construction Phasing Plan has been added to Erosion & Sediment Control SWPPP dated August 28, 2014; last revised September 30, 2014.
5. Should any public improvements be deemed necessary as part of the development of the tract, a Performance Bond and associated Engineering Fee must be eventually established for the work.
Response: Comment acknowledged. At this time, there are no public improvements proposed for the Amended Site Plan.

II. Detailed Comments

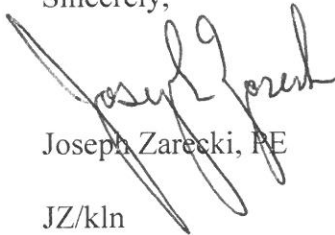
1. The number of employees should be noted.
Response: There are four (4) employees at this location. This information has been added to the Site Data Information located on the “Amended Site Plan & Landscaping Plan” Sheet 2 of 8.

2. A landscaping plan should be provided to show the location and extent of all plantings.
Response: A Landscaping Plan showing the Planting Schedule and the Planting Notes is provided on the "Amended Site Plan & Landscaping Plan" Sheet 2 of 8 showing the location(s) and the extent of the proposed plantings.
3. All planting should be verified by the Town of Carmel Wetlands Inspector.
Response: There are no wetlands on this site, therefore, it is our understanding that verification of the plantings from the Town of Carmel Wetlands Inspector will not be required for this project.
4. All plantings shall be installed per §142 of the Town of Carmel Town Code.
Response: Comment acknowledged. The proposed plantings shall be installed per §142 of the Town of Carmel Town Code.
5. The location of the stabilized construction entrance and the erosion control matting is not shown on the drawing.
Response: The Construction Phasing Plan has been revised to reflect the construction entrance detail and a note has been to "General Notes #1" Sheet 2 of 8. The Construction Phasing Plan has been added to Erosion & Sediment Control SWPPP dated August 28, 2014; last revised September 30, 2014.
6. Signs (e.g., stop, yield, etc.) and pavement markings (e.g., do not enter, etc.) should be provided at the ingress and egress' of the site.
Response: Please see "Existing Conditions, Demolition & Tree Plan" Sheet 3 of 8 showing the existing pavement markings at the ingress and the egress of the site. Please note there are no modifications proposed to the existing entrance at the site.
7. The top layer of pavement should be 2 inches not 1.5 inches.
Response: As requested, the top course pavement has been modified to two (2) inches as shown on the plan entitled "Site Details" Sheet 7 of 8.
8. Protection should be provided for the proposed pedestrians walkways.
Response: Comment acknowledged. The Owner will provide traffic safety cones to remain at the facility at all times. During an event, the traffic safety cones to be set along the hatched area(s) for the protection of the pedestrians as shown on the "Amended Site Plan & Landscaping Plan" Sheet 2 of 8. A note has also been added to Sheet 2 of 8 under General Notes #2 stating the same.
9. Sidewalks and guiderails should be installed per §128 of the Town of Carmel Town Code.
Response: Details of the sidewalks and the guiderails have been revised to comply with §128 of the Town of Carmel Town Code and is shown on the "Site Details" Sheet 8 of 8.
10. The Stormwater flow patterns should be provided.
Response: Stormwater flow patterns has been added to Erosion & Sediment Control SWPPP in Figure 1 - Post Watershed Map, dated August 28, 2014; last revised September 30, 2014.
11. Calculation for the sizing of the drywells should be provided.
Response: Sizing calculations for dry wells have been provided in the Erosion & Sediment Control SWPPP located in Appendix E, dated August 28, 2014; last revised September 30, 2014.

12. The design of the dry well should be per the New York State Department of Environmental Conservation (NYSDEC) Stormwater Design and Erosion and Sediment control Manuals. All design calculation should be provided.
Response: All design calculations per the NYSDEC Stormwater Design and Erosion and Sediment Control Manual for the dry wells have been provided in the Erosion & Sediment Control SWPPP dated August 28, 2014; last revised September 2014.
13. Graphic representation of vehicle movements through the site should be provided to illustrate that sufficient space exists to maneuver vehicles.
Response: A sketch entitled "Turning Radii Diagram at Parking Isle Turn" Sheet 1 of 2 is enclosed showing there is sufficient space for the movement of vehicles through the site.
14. All turning radii for the site should be graphically provided. This includes the turning radii into the modified site entrances.
Response: A sketch entitled "Turning Radii Diagram at Parking Space" Sheet 2 of 2 is enclosed showing the turning radii at the site entrances.
15. Rainfall depth for the 1 year storm is 3.1 inches. All design calculations should be updated accordingly.
Response: Design calculations have been updated to reflect 1 year storm 3.1 inches and are provided in the Erosion & Sediment Control SWPPP, dated August 30, 2014; last revised September 30, 2014.

Please do not hesitate to contact me should you have any questions or require any additional information.

Sincerely,



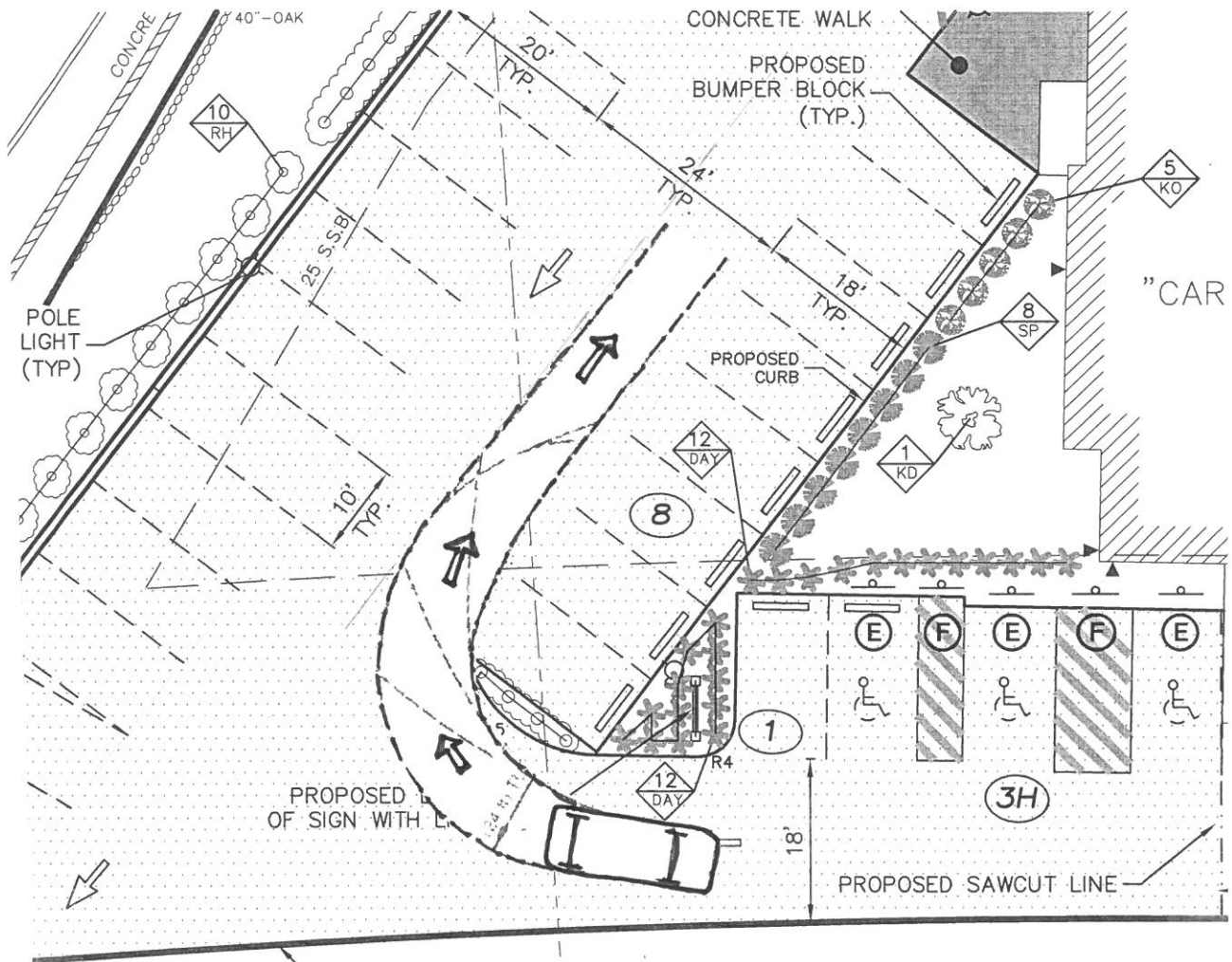
Joseph Zarecki, PE

JZ/kln

enc.

cc: Client

2014.010



TITLE:
TURNING RADII DIAGRAM

@ PARKING AISLE TURN

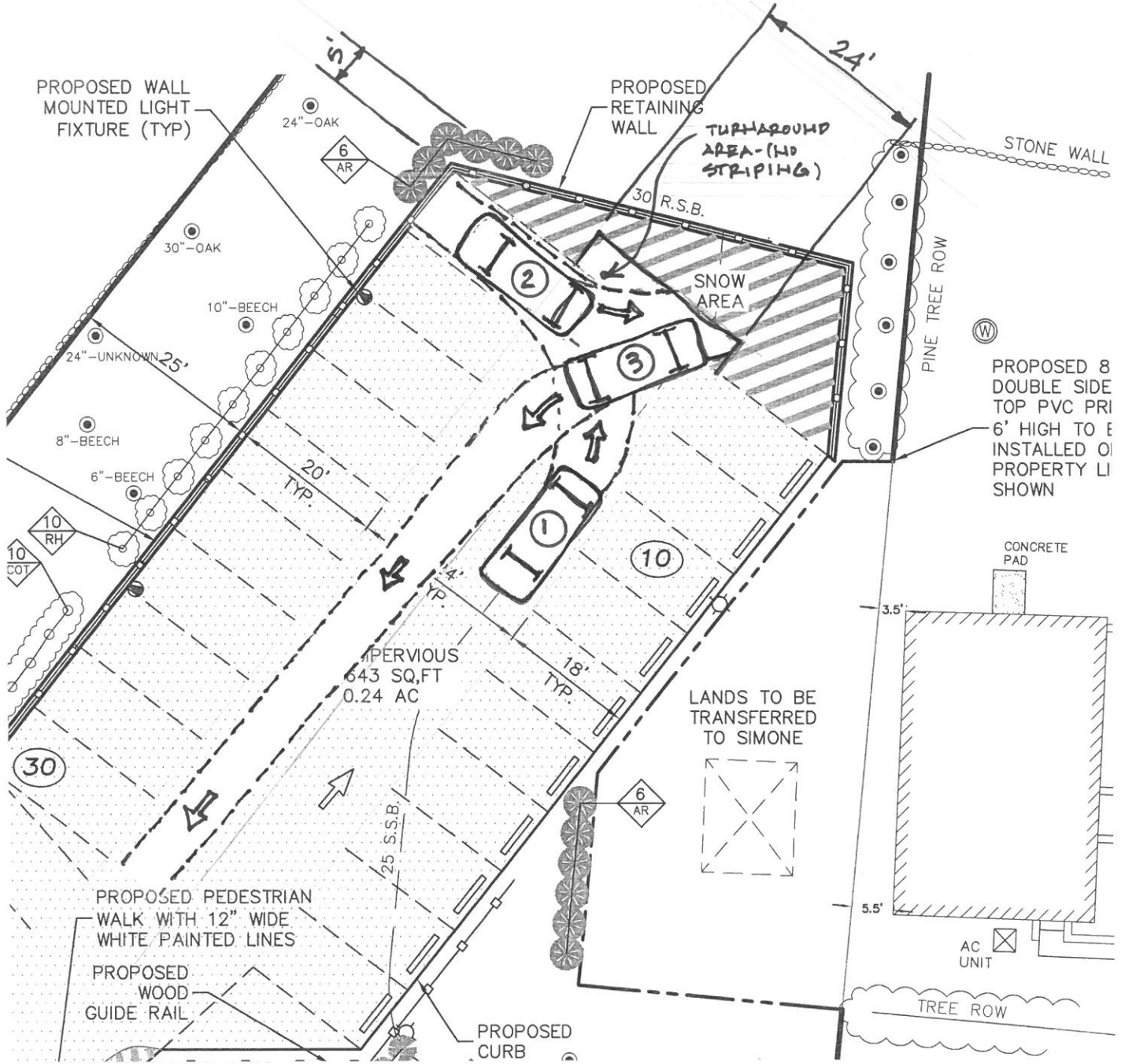
418 ROUTE 6
 TOWN OF CARMEL, NY
 TAX MAP # 75.15-1-6

OWNER: THOMAS FISHER, INC.
 10 FOWLER AVENUE
 CARMEL, NY 10512

SCALE: 1"=20'

DATE: 09-30-14

1 of 2



TITLE:
TURNING RADII DIAGRAM

@ PARKING SPACE

418 ROUTE 6
 TOWN OF CARMEL, NY
 TAX MAP # 75.15-1-6

OWNER:

THOMAS FISHER, INC.
 10 FOWLER AVENUE
 CARMEL, NY 10512

SCALE: 1"=20'

DATE: 09-30-14

2 of 2

September 29, 2014

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Mr. Harold Gary, Chairman and Members of the Planning Board
Town of Carmel
60 McAlpin Avenue
Mahopac, New York 10541

Re: Cargain Funeral Home - Amended Site Plan
418 US Route 6
Town of Carmel, Putnam County
Tax Map #: 75.15-1-6

Dear Chairman Gary and Members of the Planning Board:

This letter is in response to the memorandum dated September 17, 2014 from Mr. Patrick Cleary, AICP, CEP, PP, LEED AP, of Cleary Consulting regarding his comments from our September 4, 2014 submittal for the Amended Site Plan for the above referenced project. Please note that our responses to the comments are in **bold** print.

Site Plan Review Comments:

- Is the parking expansion being proposed in response to an increase in the intensity of the operation of business, or to better accommodate the existing business?

Response: The reason for the expansion of the proposed parking is to better accommodate the existing business.

- The layout and orientation of the proposed parking lot is appropriately designed to follow the angle of the western property line.

Response: Comment acknowledged.

- How will the one-way traffic flow be identified from Route 6?

Response: There are existing pavement markings (arrows) showing the traffic direction into the site, see "Existing Conditions, Demolition & Tree Plan" Sheet 3 of 8. This office has also contacted the New York State Department of Transportation (NYSDOT) for assistance in this matter. Our office will notify the Planning Board once there has been a response from the NYSDOT.



- Why are wheel stops proposed in the spaces on the east side of the parking lot and not the spaces on the west side?
Response: Wheel stops are not proposed for the spaces on the west side as there is an proposed stonewall.
- It is noted that the rear retaining wall extends to 14' in height. Generally lower, staggered walls are preferred. The Town Engineer would appropriately address this issue.
Response: The wall is proposed at this height as a staggered wall design would result in much less buffer between the site and the adjacent property owner (n/f Flink), and would include the removal of several of the existing trees .
- Is the "snow area" to be paved? Is so, how will cars be prevented from parking there? Generally, snow areas should be pervious to allow for melting.
Response: The snow area is proposed to be paved, but will be striped as a "No Parking Zone." Safety cones will be placed at the edge of this area during events at the Funeral Home to prevent patrons from parking in this area.
- The proposed plantings detailed on the "Planting Schedule" should be graphically depicted on the Site Plan.
Response: As requested, please see the "Amended Site Plan & Landscaping Details", Sheet 2 of 8 showing the details of the proposed plantings.
- Stockade type fencing should be provided along the eastern side of the new parking lot adjacent to the "land to be transferred to Simone" to screen the paring lot from the neighbor.
Response: A six (6) foot high stockade fence is shown to be provided at this location as shown on Sheet 2 of 8 "Amended Site Plan & Landscaping Plan", a detail of the improvement is shown on Sheet 8 of 8 " Site Details."

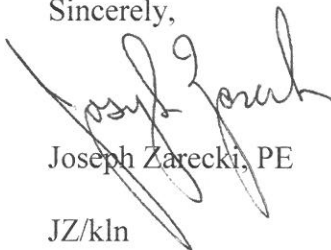
SEQR:

In accordance with NYCRR Section 8 Part 617, the proposed project is classified as an Unlisted Action. Prior to any action by the Board, a SEQR Determination of Significance must be adopted.

Response: Comment acknowledged.

Please do not hesitate to contact me should you have any questions or require any additional information.

Sincerely,



Joseph Zarecki, PE

JZ/klh

enc.

cc: Client

ZARECKI
&
ASSOCIATES, L.L.C.

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September 29, 2014

Mr. Harold Gary, Chairman and Members of the Planning Board
Town of Carmel
60 McAlpin Avenue
Mahopac, New York 10541

Re: Cargain Funeral Home - Lot Line Adjustment
Fisher/Simone
418 US Route 6
Town of Carmel, Putnam County
Tax Map #: 75.15-1-6 & 75.15-1-8

Dear Chairman Gary and Members of the Planning Board:

This letter is in response to the memorandum dated September 12, 2014 from Mr. Michael G. Carnazza, Director of Code Enforcement regarding his comments from our September 4, 2014 submittal for the Lot Line Adjustment Fisher/Simone for the above referenced project. Please note that our responses to the comments are in **bold print**.

The following is enclosed for your review:

- Lot Line Realignment, Sheet 1 of 1, Prepared for Thomas Fisher, Inc., & Joseph E. Simone, dated August 28, 2014; last revised September 30, 2014.
- Provide seal and signature of professional engineer or land surveyor preparing the plat.
Response: The Plat will be signed and sealed by the Licensed Land Surveyor prior to final approval.
- The key map (Vicinity Map) needs to be at a scale of 1" = 800'. The Vicinity map is 1" = 1000 feet.
Response: Comment acknowledged. The scale for the Vicinity Map has been changed to 1" = 800'.
- Provide a legend, including names of all adjacent landowners and those within 500 feet of any property line.
Response: The legend with the adjacent property owners with 500 feet of the property is provided on Sheet 1 of 1, Lot Line Realignment Plan.
- All proposed lot lines, dimensions in feet and the areas of all lots in square feet; metes and bounds description of all proposed lot lines.



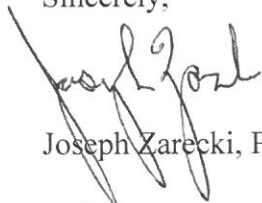
Response: As requested, all dimensions are in feet and areas of all lots in square feet; the metes and bounds have been added to the Lot Line Realignment Plan.

- The code reads “A lot line adjustment shall not result in additional lots, any lot becoming substandard nor increase/decrease any lot by more than 20% or 20,000 square feet of its original lot area.” The larger lot is not increasing by 20% and the smaller lot is not decreasing by 20% which is the intent of the law. In this case, the smaller lot is increasing by over 20% but it is coming more into conformity, therefore, it meets the code.

Response: Comment acknowledged.

Please do not hesitate to contact me should you have any further questions or require any additional information.

Sincerely,

A handwritten signature in black ink, appearing to read 'Joseph Zarecki', written over a horizontal line.

Joseph Zarecki, PE

JZ/klh

enc.

cc: Client

2014.010

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&
ASSOCIATES, L.L.C.

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Re: Cargain Funeral Home - Lot Line Adjustment
Fisher/Simone
418 US Route 6
Town of Carmel, Putnam County
Tax Map #: 75.15-1-6 & 75.15-1-8

Dear Chairman Gary and Members of the Planning Board:

This letter is in response to the memorandum dated September 12, 2014 from Mr. Richard J. Franzetti, PE, Town Engineer regarding his comments from our September 4, 2014 submittal for the Lot Line Adjustment Fisher/Simone for the above referenced project. Please note, that although the Town Engineer did not have any comments regarding the proposed Lot Line Adjustment, he did offer the following two (2) notes. Please note that our responses to the comments are in **bold** print.

The applicant should note the following, per §155-61 of the Town of Carmel Town Code:

- The scale of drawing should be 1" = 800'
Response: The scale has been changed to 1" = 800'.
- The registered professional should sign and seal the drawing.
Response: The Plat will be signed by a NYS Licensed Land Surveyor prior to approval.

Please note that on Monday, September 28, 2014 I attended a meeting held at the Town Hall with the Planning Board Chairman to discuss the sanitary disposal system (SDS). At the Chairman's request, I subsequently met, on the same day, Michael Budzinski, PE of the Putnam County Health Department (PCHD) to discuss the same. Mr. Budzinski is okay with the lot line adjustment and no other approvals will be required for the non-jurisdictional approval by the PCHD.



Please do not hesitate to contact me should you have any further questions or require any additional information.

Sincerely,

A handwritten signature in black ink, appearing to read "Joseph Zarecki". The signature is written in a cursive style with a large, sweeping initial "J".

Joseph Zarecki, PE

JZ/kln

enc.

cc: Client

2014.010

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(845) 855-3771
(845) 855-3772 Fax
Website: zarecki.com
email: info@zarecki.com

Ridgefield, CT
(203) 438-7094
(203) 438-7157 Fax

September 29, 2014

Mr. Harold Gary, Chairman and Members of the Planning Board
Town of Carmel
60 McAlpin Avenue
Mahopac, New York 10541

Re: Cargain Funeral Home - Lot Line Adjustment
Fisher/Simone
418 US Route 6
Town of Carmel, Putnam County
Tax Map #: 75.15-1-6 & 75.15-1-8

Dear Chairman Gary and Members of the Planning Board:

This letter is in response to the memorandum dated September 17, 2014 from Mr. Patick Cleary, AICP, CEP, PP, LEED AP of Cleary Consulting regarding his comments from our September 4, 2014 submittal for the Lot Line Adjustment Fisher/Simone for the above referenced project. Please note that our responses to the comments are in **bold** print.

SUBDIVISION (LOT LINE ADJUSTMENT) COMMENTS:

- The proposed transfer of land is being done in conjunction with the parking lot improvement project for the Cargain Funeral Home.
Response: Comment acknowledged.
- The transfer will improve the conformity of the Simone property, and allow for the continue use of the existing subsurface septic system, which is currently on the Cargain site, to be used for the Simone residence.
Response: Comment acknowledged.
- The transfer will not result in the creation of any zoning non-conformities on the Cargain parcel.
Response: Comment acknowledged.

SEQR:


In accordance with NYCRR Section 8 Part 617, the proposed project is classified as an Unlisted Action. Prior to any action by the Board, a SEQR Determination of Significance must be adopted.

Response: Comment acknowledged.



Please do not hesitate to contact me should you have any further questions or require any additional information.

Sincerely,

A handwritten signature in black ink, appearing to read "Joseph Zarecki". The signature is fluid and cursive, with the first name "Joseph" and last name "Zarecki" clearly distinguishable.

Joseph Zarecki, PE

JZ/klm

enc.

cc: Client

2014.010



A GREENBERG DESIGN GROUP

TWO MUSCOOT ROAD NORTH
MAHOPAC, NY 10541
P 845-628-6613
F 845-628-2807 e-mail: joel.greenberg@arch-visions.com

October 14, 2014

Harold Gary, Chairman and Members of the Planning Board
Town of Carmel
60 Mcalpin Avenue
Mahopac, New York 10541

Re; Wixon Pond Estates
Wixon Pond Road
T.M. # 53.20-1-19

Dear Mr. Gary and Members of the Board,

On behalf of my client, I respectfully request a six month extension of our preliminary approval. After many years, the project has finally been approved by the NYC-DEP. Our next step is to get Putnam County Health Department approval.

Thanking you in advance for your interest and cooperation in this matter. If you have any questions, please do not hesitate to contact me.

Very truly yours,

Joel Greenberg, AIA