

ROBERT LAGA
Chairman

NICHOLAS FANNIN
Vice Chairman

RICHARD FRANZETTI, P.E.
Wetland Inspector

ROSE TROMBETTA
Secretary

TOWN OF CARMEL
ENVIRONMENTAL CONSERVATION BOARD



60 McAlpin Avenue
Mahopac, New York 10541
Tel. (845) 628-1500 - Ext. 190
www.ci.carmel.ny.us

BOARD MEMBERS

Edward Barnett
Anthony Federice

ENVIRONMENTAL CONSERVATION BOARD AGENDA

JANUARY 7, 2021 – 7:30 P.M.

SUBMISSION OF AN APPLICATION OR LETTER OF PERMISSION

<u>APPLICANT</u>	<u>ADDRESS</u>	<u>TAX MAP #</u>	<u>COMMENTS</u>
1. Schoenbeck, Uwe	252 West Lake Blvd	64.16-1-31	Addition to Existing House in Buffer

MISCELLANEOUS

2. Minutes – 11/19/20 & 12/03/20



January 4, 2021

Robert Laga, P.E., Chairman and Members of the ECB
Town of Carmel
60 McAlpin Ave
Mahopac, NY 10541

RE: Schoenbeck
252 West Lake Blvd
Mahopac, NY 10541
TM #: 64.16-1-31

Dear Mr. Laga and Members of the Board,

A Wetland Permit was issued by this Board to Mr. Chuck Low on November 6, 2008. The addition to the house was constructed, but the interior and site work were never completed. Mr. Low passed away and his daughter sold the house to Mr. & Mrs. Shoенbeck. I have attached all the paperwork, including the Wetland Permit and Site Plan that was approved in 2008. The updated Site Plan, application, Short EAF and contract of sale are attached as well.

We would like to have a new Wetland Permit issued so that the new owner can complete the project.

If you have any questions, please do not hesitate to contact me.

Very truly yours,

A handwritten signature in black ink that reads "Joel Greenberg". The signature is fluid and cursive, with the first and last letters of the first and last names being capitalized and prominent.

Joel Greenberg, AIA, NACRB



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Edward Barnett
Vincent Turano
Anthony Federice

APPLICATION FOR WETLAND PERMIT OR LETTER OF PERMISSION

Name of Applicant: Uwe Schoenbeck

Address of Applicant: 12 Stonewall Lane, Ridgefield, CT 06877 Email: uschoenbeck@aol.com

Telephone# 203-830-9474 Name and Address of Owner if different from Applicant:

Property Address: 252 West Lake Blvd, Mahopac, NY 10541 Tax Map # 64.16-1-31

Agency Submitting Application if Applicable: _____

Location of Wetland: Lake Mahopac

Size of Work Section & Specific Location: Existing Addition in Buffer Zone

Will Project Utilize State Owned Lands? If Yes, Specify: NO

Type and extent of work (feet of new channel, yards of material to be removed, draining, dredging, filling, etc). A brief description of the regulated activity (attach supporting details).

* See attached expired Wetland Application dated 08/27/08 & expired Wetland Permit dated 11/6/08

Proposed Start Date: _____ Anticipated Completion Date: _____ Fee Paid \$ _____

CERTIFICATION

I hereby affirm under penalty of perjury that information provided on this form is true to the best of my knowledge and belief, false statements made herein are punishable as a Class A misdemeanor pursuant to Section 210.45 of the Penal Law. As a condition to the issuance of a permit, the applicant accepts full legal responsibility for all damage, direct or indirect, or whatever nature, and by whomever suffered, arising out of the project described here-in and agrees to indemnify and save harmless the Town of Carmel from suits, actions, damages and costs of every name and description resulting from the said project.

SIGNATURE

12-30-20

DATE

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project:			
Existing addition to home			
Project Location (describe, and attach a location map):			
252 West Lake Blvd, Mahopac, NY 10541			
Brief Description of Proposed Action:			
Existing addition built in 2008- Wetland Permit #793 Dated 11/6/08			
Name of Applicant or Sponsor:		Telephone: 203-830-9474	
Uwe Schoenbeck		E-Mail: uschoenbeck@aol.com	
Address:			
12 Stonewall Lane			
City/PO:		State:	Zip Code:
Ridgefield		CT	06877
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?			NO
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			YES
2. Does the proposed action require a permit, approval or funding from any other government Agency?			NO
If Yes, list agency(s) name and permit or approval:			YES
Carmel Building Dept. permit issued 12/18/08 #9908353			<input type="checkbox"/>
3. a. Total acreage of the site of the proposed action?			<input checked="" type="checkbox"/>
b. Total acreage to be physically disturbed?			<input type="checkbox"/>
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?			<input checked="" type="checkbox"/>
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

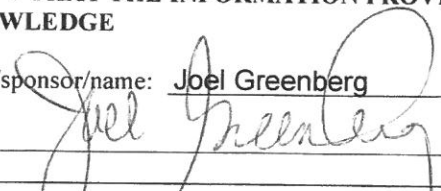
	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: <u>Existing</u> _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: <u>Existing Wall</u> _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe:		

18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment:	<input checked="" type="checkbox"/>	<input type="checkbox"/>

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>Joel Greenberg</u> Date: <u>12/29/2020</u>		
Signature: <u></u> Title: <u>Project Architect</u>		



TWO MUSCOOT ROAD NORTH
MAHOPAC, NY 10541
P 845-628-6613
F 845-628-2807 e-mail: joel.greenberg@arch-visions.com

August 28, 2008

Revised September 15, 2008

RAIN GARDEN DESIGN
FOR
CHARLES LOW
252 WEST LAKE BLVD.
MAHOPAC, NY 10541
TOWN OF CARMEL
T.M. # 64.16-131

5,100 SF of impervious roof existing and to be constructed

Soil type – Sandy

Pg. 9 – Table #1 - Reference – Rain Garden Manual

Slope less than 5%, therefore, 6" deep rain garden required

Sandy Soil – Garden Depth 6"

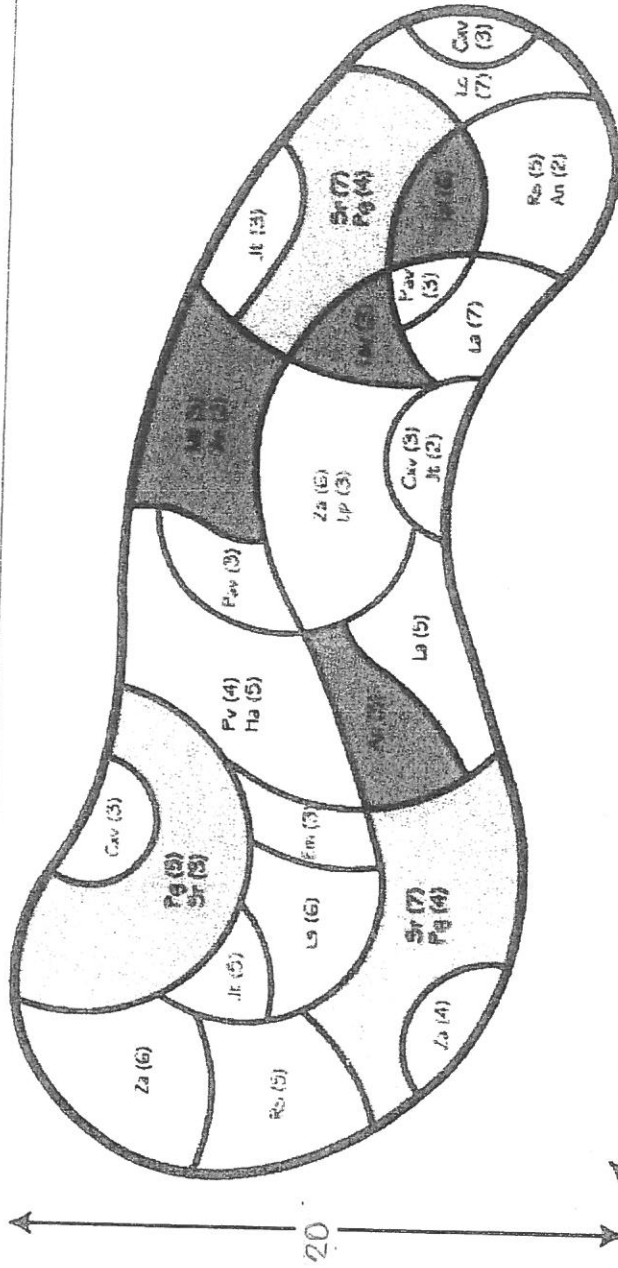
Therefore size factor is $0.15 (5100 \text{ SF}) = 765 \text{ SF}$

765 SF provided

Construct Rain Garden
20 X 38 x 6" deep



full to partial sun with sandy soils



30' ← → 30'

BASED ON FIELD CONDITIONS

Symbol	Species Name	Common Name	No. of Plants	Value
An	Aster novae-angliae	New England Aster	8	8
Cvx	Carex vulpinoidea	Fox sedge	8	8
Ep	Eupatorium maculatum	Spotted Joe-Pye weed	6	6
Ha	Helenium autumnale	Sneezeweed	10	10
Jt	Juncus torreyi	Torrey's rush	10	10
Lp	Liatris pycnostachya	Gayfeather	8	8
Lc	Lobelia cardinalis	Cardinal flower	14	14
Ls	Lobelia siphitica	Great blue lobelia	8	8
La	Lythrum alatum	Winged loosestrife	14	14
Mf	Monarda fistulosa	Wild Bergamot	10	10
Pav	Panicum virgatum	Switch grass	12	12
Pg	Phlox glaberrima	Marsh phlox	16	16
Pv	Pycnanthemum virginianum	Mountain mint	8	8
Rs	Rudbeckia subtomentosa	Sweet coneflower	10	10
Sr	Solidago Riddellii	Riddell's goldenrod	14	14
Za	Zizia aurea	Golden Alexander	12	12
			Total	188 + /-



Environmental Conservation Board

TOWN HALL - MAHOPAC, NEW YORK 10541 / (845) 628-1500

CHAIRMAN
RICHARD FRANZETTI

PEGGY MOORE
Secretary

DAVID KLOTZLE
Wetland Inspector

MEMBERS
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LYNN GREENWOOD
JAMES MEYER
MILTON KRAMER
ANTHONY DUSOVIC
FRANK LOMBARDI

APPLICATION FOR A WETLAND PERMIT OR LETTER OF PERMISSION

NAME OF APPLICANT CHARLES LOW

ADDRESS OF APPLICANT 252 WEST LAKE BLVD., MAHOPAC, NY 10541

TELEPHONE NO. 212 966-7300 NAME & ADDRESS OF OWNER IF DIFFERENT FROM APPLICANT _____

PROPERTY ADDRESS 252 WEST LAKE BLVD. TAX MAP # 64.16-1-31

AGENCY SUBMITTING APPLICATION IF APPLICABLE N/A

LOCATION OF WETLAND LAKE MAHOPAC

SIZE OF WORK SECTION & SPECIFIC LOCATION ADDITION TO EXISTING HOUSE

WILL PROJECT UTILIZE STATE OWNER LANDS? IF YES, SPECIFY NO

TYPE AND EXTENT OF WORK (FEET OF NEW CHANNEL, YARDS OF MATERIAL TO BE REMOVED, DRAINING, DREDGING, FILLING, ETC. A DETAILED DESCRIPTION OF THE REGULATED ACTIVITY.)

ADDITION TO EXISTING HOUSE IS IN THE BUFFER ZONE I.E. LESS THAN
100 FT. FROM LAKE MAHOPAC

PROPOSED STARTING DATE 10/6/08 COMPLETION DATE 7/1/09 AMT. OF FEE PAID 150.00

CERTIFICATION

I HEREBY AFFIRM UNDER PENALTY OF PERJURY THAT INFORMATION PROVIDED ON THIS FORM IS TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF. FALSE STATEMENTS MADE HEREIN ARE PUNISHABLE AS A CLASS A MISDEMEANOR PURSUANT TO SECTION 210.45 OF THE PENAL LAW. AS A CONDITION TO THE ISSUANCE OF A PERMIT, THE APPLICANT ACCEPTS FULL LEGAL RESPONSIBILITY FOR ALL DAMAGE, DIRECT OR INDIRECT, OF WHATEVER NATURE, AND BY WHOMEVER SUFFERED, ARISING OUT OF THE PROJECT DESCRIBED HEREIN AND AGREES TO INDEMNIFY AND SAVE HARMLESS THE TOWN OF CARMEL FROM SUITS, ACTIONS, DAMAGES AND COSTS OF EVERY NAME AND DESCRIPTION RESULTING FROM THE SAID PROJECT.

Charles Low
SIGNATURE

8/27/08
DATE

USE THIS SPACE FOR FURTHER EXPLANATION IF NECESSARY _____

617.20
Appendix C
State Environmental Quality Review
SHORT ENVIRONMENTAL ASSESSMENT FORM
For UNLISTED ACTIONS Only

PART I - PROJECT INFORMATION (To be completed by Applicant or Project Sponsor)

1. APPLICANT/SPONSOR CHARLES LOW	2. PROJECT NAME CHARLES LOW
3. PROJECT LOCATION: Municipality TOWN OF CARML County PUTNAM	
4. PRECISE LOCATION (Street address and road intersections, prominent landmarks, etc., or provide map) 252 WEST LAKE BOULEVARD	
5. PROPOSED ACTION IS: <input type="checkbox"/> New <input checked="" type="checkbox"/> Expansion <input type="checkbox"/> Modification/alteration	
6. DESCRIBE PROJECT BRIEFLY: ADDITION TO EXISTING HOUSE IS PARTIALLY IN BUFFER ZONE	
7. AMOUNT OF LAND AFFECTED: Initially <u>1.48</u> acres Ultimately <u>1.48</u> acres	
8. WILL PROPOSED ACTION COMPLY WITH EXISTING ZONING OR OTHER EXISTING LAND USE RESTRICTIONS? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If No, describe briefly	
9. WHAT IS PRESENT LAND USE IN VICINITY OF PROJECT? <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Agriculture <input type="checkbox"/> Park/Forest/Open Space <input type="checkbox"/> Other Describe:	
10. DOES ACTION INVOLVE A PERMIT APPROVAL, OR FUNDING, NOW OR ULTIMATELY FROM ANY OTHER GOVERNMENTAL AGENCY (FEDERAL, STATE OR LOCAL)? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes, list agency(s) name and permit/approvals: <p style="text-align: center;">CARMEL BUILDING DEPARTMENT</p>	
11. DOES ANY ASPECT OF THE ACTION HAVE A CURRENTLY VALID PERMIT OR APPROVAL? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, list agency(s) name and permit/approvals:	
12. AS A RESULT OF PROPOSED ACTION WILL EXISTING PERMIT/APPROVAL REQUIRE MODIFICATION? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor name: <u>CHARLES LOW</u> Date: <u>8/28/2008</u> Signature: <u><i>Joe Greenberg</i></u> PROJECT ARCHITECT	

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment

PART II - IMPACT ASSESSMENT (To be completed by Lead Agency)

A. DOES ACTION EXCEED ANY TYPE I THRESHOLD IN 6 NYCRR, PART 617.4? If yes, coordinate the review process and use the FULL EAF.
 Yes No

B. WILL ACTION RECEIVE COORDINATED REVIEW AS PROVIDED FOR UNLISTED ACTIONS IN 6 NYCRR, PART 617.6? If No, a negative declaration may be superseded by another involved agency.
 Yes No

C. COULD ACTION RESULT IN **ANY** ADVERSE EFFECTS ASSOCIATED WITH THE FOLLOWING: (Answers may be handwritten, if legible)

C1. Existing air quality, surface or groundwater quality or quantity, noise levels, existing traffic pattern, solid waste production or disposal, potential for erosion, drainage or flooding problems? Explain briefly:

C2. Aesthetic, agricultural, archaeological, historic, or other natural or cultural resources; or community or neighborhood character? Explain briefly:

C3. Vegetation or fauna, fish, shellfish or wildlife species, significant habitats, or threatened or endangered species? Explain briefly:

C4. A community's existing plans or goals as officially adopted, or a change in use or intensity of use of land or other natural resources? Explain briefly:

C5. Growth, subsequent development, or related activities likely to be induced by the proposed action? Explain briefly:

C6. Long term, short term, cumulative, or other effects not identified in C1-C5? Explain briefly:

C7. Other impacts (including changes in use of either quantity or type of energy)? Explain briefly:

D. WILL THE PROJECT HAVE AN IMPACT ON THE ENVIRONMENTAL CHARACTERISTICS THAT CAUSED THE ESTABLISHMENT OF A CRITICAL ENVIRONMENTAL AREA (CEA)?
 Yes No If Yes, explain briefly:

E. IS THERE, OR IS THERE LIKELY TO BE, CONTROVERSY RELATED TO POTENTIAL ADVERSE ENVIRONMENTAL IMPACTS?
 Yes No If Yes, explain briefly:

PART III - DETERMINATION OF SIGNIFICANCE (To be completed by Agency)

INSTRUCTIONS: For each adverse effect identified above, determine whether it is substantial, large, important or otherwise significant. Each effect should be assessed in connection with its (a) setting (i.e. urban or rural); (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude. If necessary, add attachments or reference supporting materials. Ensure that explanations contain sufficient detail to show that all relevant adverse impacts have been identified and adequately addressed. If question D of Part II was checked yes, the determination of significance must evaluate the potential impact of the proposed action on the environmental characteristics of the CEA.

- Check this box if you have identified one or more potentially large or significant adverse impacts which **MAY** occur. Then proceed directly to the FULL EAF and/or prepare a positive declaration.
- Check this box if you have determined, based on the information and analysis above and any supporting documentation, that the proposed action **WILL NOT** result in any significant adverse environmental impacts **AND** provide, on attachments as necessary, the reasons supporting this determination

8/28/2008

Name of Lead Agency

Date

Print or Type Name of Responsible Officer in Lead Agency

Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

Signature of Preparer (If different from responsible officer)

Reset

THIS PERMIT IS NON-TRANSFERABLE

I HAVE READ, UNDERSTAND AND
AGREE TO ALL CONDITIONS OF
THIS PERMIT

WETLAND PERMIT

Chapter 62 of the Town Of Carmel Code.

Permit issued to: CHARLES LOW 

Address Of Permittee: 252 W LAKE BLVD - MAHO PAC NY 10541

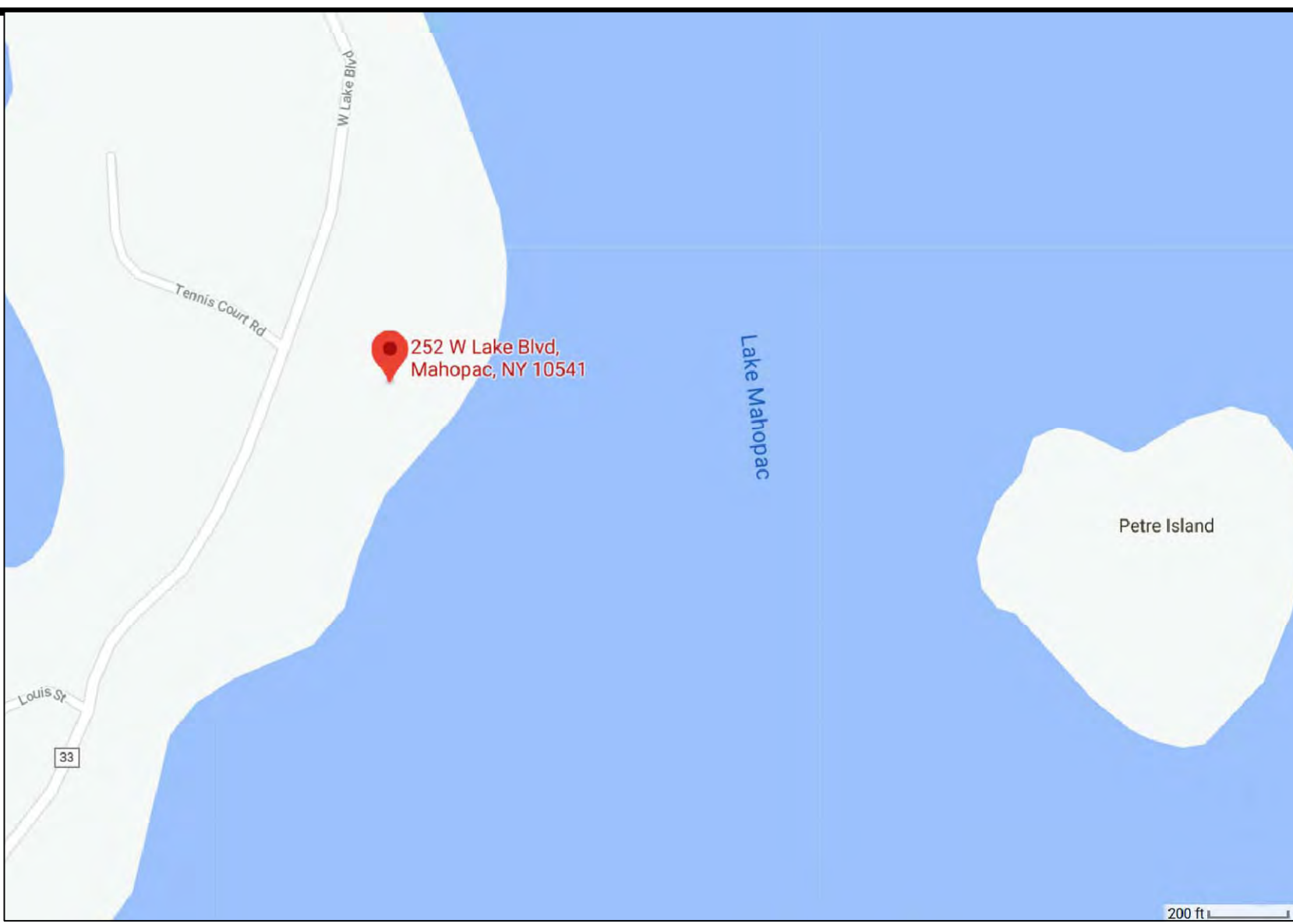
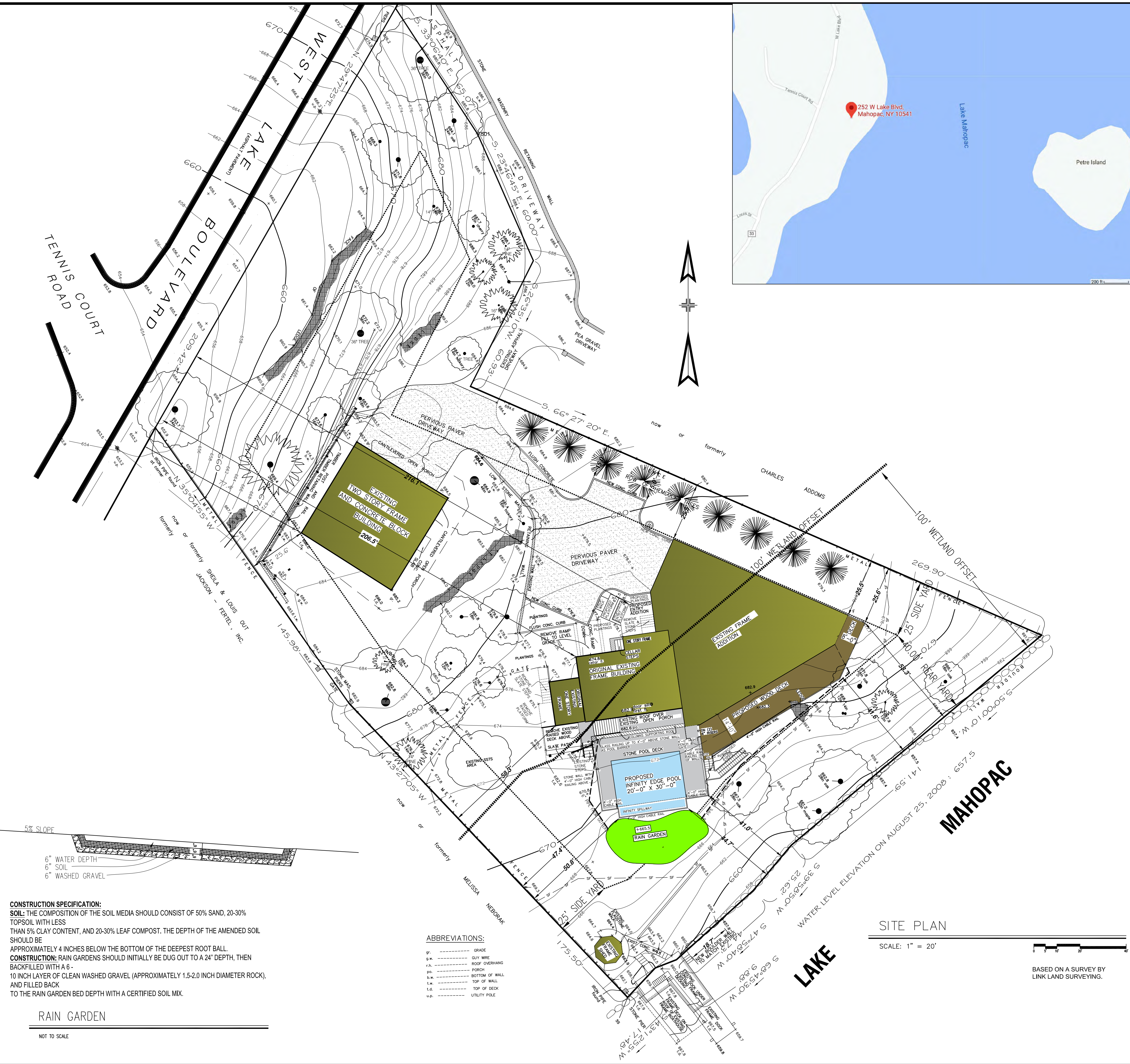
Location Of Project SAME

Description Of Project: ADDITION TO EXISTING HOUSE IN BUFFER ZONE

Town: CARMEL County: PUTNAM

GENERAL CONDITIONS

1. The permittee shall file an application with the Secretary of the Board at least 5 days prior to the commencement of work and shall also notify the Secretary of the completion of the work.
2. The permitted work shall be subject to inspection by the Wetland Inspector or a member of the Environmental Conservation Board and said work may be suspended if the public interest so requires.
3. Any material dredged in the prosecution of the work herein permitted shall be removed evenly, without leaving large refuse piles, ridges across the bed of the waterway or flood plain or deep holes that may have a tendency to cause injury to navigable channels or to the banks of the waterway. Such removed material shall not be deposited on any other property within the Town Of Carmel unless a permit therefor has been issued by the Town Of Carmel Planning Board.
4. Any material to be deposited or dumped under this permit, either in the waterway or on shore above high-water mark, shall be deposited or dumped in the locality shown on the drawing hereto attached, and, if so prescribed thereon, within or behind a good and substantial bulkhead or bulkheads, such as will prevent escape of the material into the waterway.
5. That if future operations by the Town Of Carmel require an alteration of the position of the structure or work herein authorized, or if, in the opinion of the Environmental Conservation Board it shall cause unreasonable obstruction to the free navigation of waters or flood flows, or endanger the health, safety or welfare of the people of the Town or loss or destruction of the natural resources of the Town, the owner may be ordered by the Environmental Conservation Board to remove or alter the structural work, obstructions, or hazards caused by this permit.
6. All work carried out under this permit shall be performed in accordance with established engineering practice and in a workmanlike manner and in full compliance with all applicable codes, rules and regulations of the Town Of Carmel, County of Putnam and State of New York.
7. If granted under Article 62 of the Town Of Carmel code, the Environmental Conservation Board reserves the right to reconsider this approval at any time and after due notice and hearing to continue, rescind or modify this permit in such a manner as may be found to be just and equitable. If upon the expiration or revocation of this permit, the modification of the wetland hereby authorized has not been completed, the applicant shall, without expense to the Town, and to such extent and in such time and manner as the Environmental Conservation Board may require, remove all or any portion of the uncompleted structure or fill and restore the site to its former condition. No claim shall be made against the Town Of Carmel on account of any such removal or alteration.
8. This permit shall not be construed as conveying to the applicant any right to trespass upon the lands or interfere with the riparian rights of others to perform the permitted work or as authorizing the impairment of any rights, title or interest in real or personal property held or vested in a person not a party to the permit.
9. The permittee is responsible for obtaining any other permits, approvals, lands, easements, and rights of way which may be required for this project.
10. By acceptance of this permit the permittee agrees that the permit is contingent upon strict compliance with the special conditions listed below.



SITE DATA NOTES:

- CONTRACT VENDEE
UWE SCHOENBECK
12 STONEWALL LANE
RIDGEFIELD, CT 06877
- ZONE:
R-120
- PROPOSED PROJECT USE:
COMPLETION OF RESIDENTIAL ADDITION
AND NEW EXTERIOR WOOD DECK
- TAX MAP NO.
SECTION 64.16
BLOCK 1
LOT 31
- WATER/SEWER: WELL/SSTS
- ZONING REQUIREMENTS

STRUCTURAL DESIGN LOADS

DESIGN LOADS
 FLOOR LIVE LOAD: 40 psf

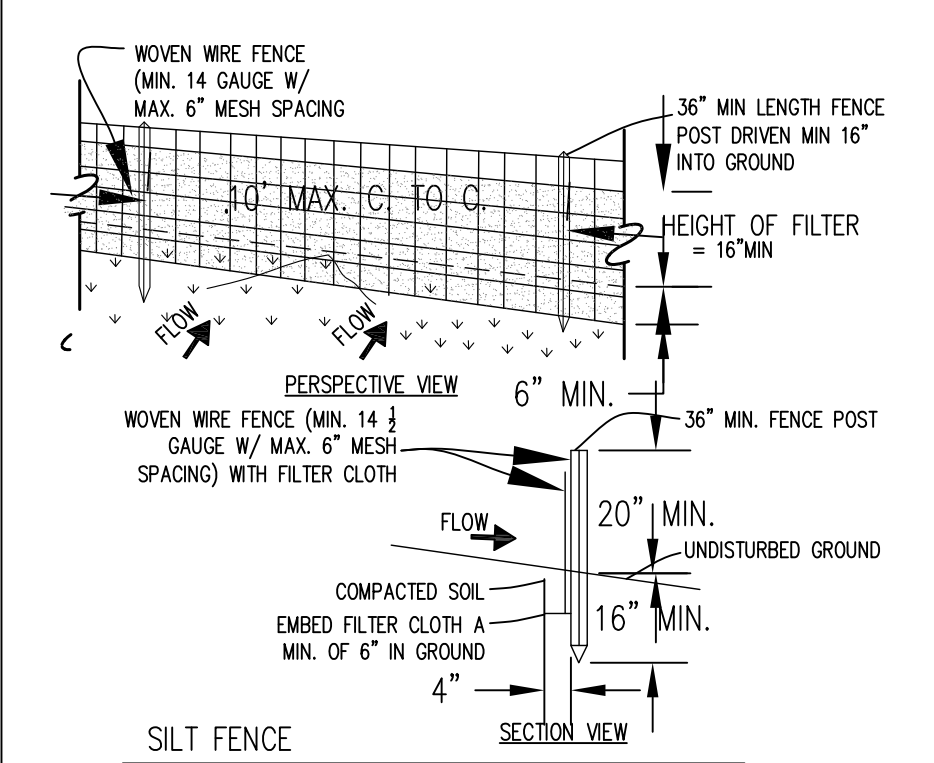
SNOW LOADING
 GROUND SNOW LOAD: 50 psf

WIND LOADING
 BASIC WIND SPEED: 110 mph
 WIND EXPOSURE CATAGORY: C

SEISMIC DESIGN
 SEISMIC DESIGN CATEGORY: D1
 SITE CLASS: D
 SEISMIC USE GROUP: I

ITEM	REQUIRED	PROVIDED	VARIANCES
FRONT YARD (MIN)	40 FT.	206.5 FT.	
REAR YARD (MIN)	40 FT.	41.00 FT.	
SIDE YARD WEST (MIN)	25 FT.	47.4 FT.	
SIDE YARD EAST (MIN)	25 FT.	25.50 FT.	
HEIGHT (MAX)	35 FT.	35 FT.	

DRAWING SCHEDULE
 S-1 PROJECT INFORMATION
 SITE PLAN



- ISSUANCE**
- | ISSUANCE | DATE |
|-------------------|----------|
| ISSUED FOR REVIEW | 11/20/14 |
- CONSTRUCTION SPECIFICATIONS:**
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
 - FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
 - PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN 'BULGES' DEVELOP IN THE SILT FENCE.
- SCALE AS NOTED**
- DRAWN BY/CHKD BY**
 M.S./J.L.G.
- PROJECT NO.**
 11-20-141

ARCHITECTURAL VISIONS PLLC
 A GREENBERG DESIGN GROUP

2 MUSCOT ROAD NORTH
 MAHOPAC NY, 10541
 JOEL.GREENBERG@ARCH-VISIONS.COM

P: 845-628-6613
 F: 845-628-2807

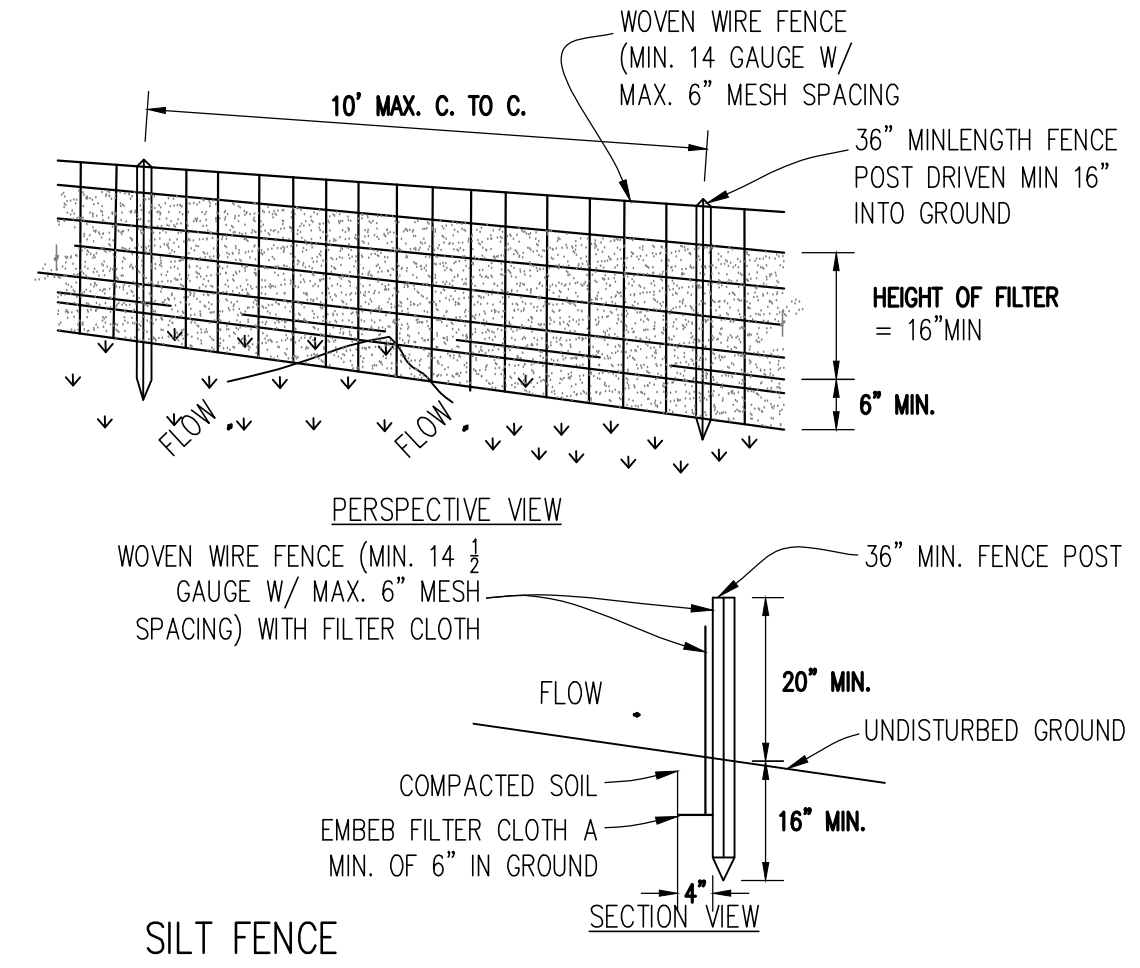
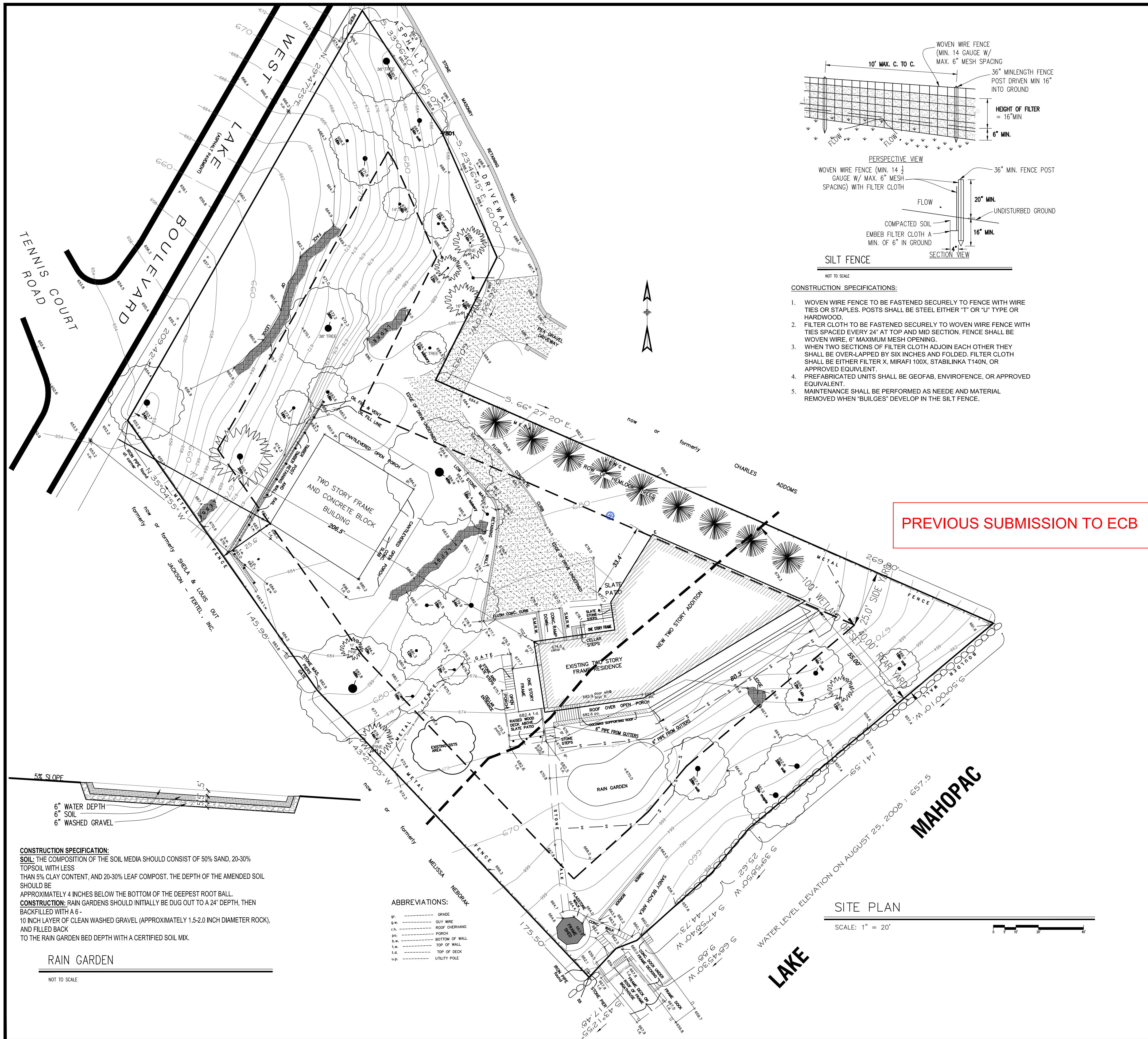
PROJECT:
 UWE & HEIKE SCHOENBECK

PROJECT ADDRESS
 252 WEST LAKE BLVD
 MAHOPAC, NY 10541
 TAX MAP NO. 64.16-1-31

MAILING ADDRESS
 UWE & HEIKE SCHOENBECK
 12 STONEWALL LANE
 RIDGEFIELD, CT 06877

SITE DEVELOPMENT PLAN

AS-100



- CONSTRUCTION SPECIFICATIONS:**
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
 2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
 4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIOFENCE, OR APPROVED EQUIVALENT.
 5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN 'BUILGES' DEVELOP IN THE SILT FENCE.

PREVIOUS SUBMISSION TO ECB

CONSTRUCTION SPECIFICATION:
SOIL: THE COMPOSITION OF THE SOIL MEDIA SHOULD CONSIST OF 50% SAND, 20-30% TOPSOIL WITH LESS THAN 5% CLAY CONTENT, AND 20-30% LEAF COMPOST. THE DEPTH OF THE AMENDED SOIL SHOULD BE APPROXIMATELY 4 INCHES BELOW THE BOTTOM OF THE DEEPEST ROOT BALL.
CONSTRUCTION: RAIN GARDENS SHOULD INITIALLY BE DUG OUT TO A 24" DEPTH, THEN BACKFILLED WITH A 6-10 INCH LAYER OF CLEAN WASHED GRAVEL (APPROXIMATELY 1.5-2.0 INCH DIAMETER ROCK), AND FILLED BACK TO THE RAIN GARDEN BED DEPTH WITH A CERTIFIED SOIL MIX.

ABBREVIATIONS:

SP	GRADE
GW	GUT WIRE
RO	ROOF OVERHANG
P	PORCH
B.W.	BOTTOM OF WALL
T.W.	TOP OF WALL
L.S.	TOP OF DECK
U.P.	UTILITY POLE

RAIN GARDEN

NOT TO SCALE



SITE DATA NOTES:

1. OWNER: LOW, CHARLES
252 WEST LAKE BLVD
MAHOPAC, NY 10541
2. ZONE: R-120
3. PROPOSED PROJECT USE: RESIDENTIAL ADDITION
4. TAX MAP NO. SECTION 64.16, BLOCK 1, LOT 31
5. WATER/ SEWER: WELL/SSTS
6. ZONING REQUIREMENTS

STRUCTURAL DESIGN LOADS

DESIGN LOADS	
FLOOR LIVE LOAD:	40 psf
SNOW LOADING	
GROUND SNOW LOAD:	50 psf
WIND LOADING	
BASIC WIND SPEED:	110 mph
WIND EXPOSURE CATEGORY:	C
SEISMIC DESIGN	
SEISMIC DESIGN CATEGORY:	D1
SITE CLASS:	D
SEISMIC USE GROUP:	I

ITEM	REQUIRED	PROVIDED	VARIANCES
FRONT YARD (MIN)	40 FT.	206.5 FT.	
REAR YARD (MIN)	40 FT.	55.00 FT.	
SIDE YARD WEST (MIN)	25 FT.	58.10 FT.	
SIDE YARD EAST (MIN)	25 FT.	25.50 FT.	
HEIGHT (MAX)	35 FT.	35 FT.	

DRAWING SCHEDULE

S-1 PROJECT INFORMATION SITE PLAN

ARCHITECTURAL VISIONS PLLC
 A GREENBERG DESIGN GROUP
 2 MUSCOOT ROAD NORTH MAHOPAC NY, 10541
 P: 845-628-6613 F: 845-628-2807
 JOEL.GREENBERG@ARCHVISIONS.COM

ADDITION FOR: CHARLES LOW

PROJECT ADDRESS: 252 WEST LAKE BLVD MAHOPAC, NY 10541 TAX MAP #64.16-1-31

SITE DEVELOPMENT PLAN

ISSUANCE

FOR ECB	20 AUG 2008
	03 NOV 2008

SCALE AS NOTED

DRAWN BY JFL/G

PROJECT NO. 8-08-074

S-1

IT IS A VIOLATION OF STATE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM ON THESE PLANS AND DOCUMENTS IN ANY WAY. PER STATE LAW, IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO HIS/HER ITEM THE SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS/HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION. THIS ARCHITECT DENIES ANY AND ALL RESPONSIBILITY FOR ALTERATIONS OF THESE PLANS AND DOCUMENTS BY OTHERS AND EXPRESSLY DENIES PERMISSION TO OTHERS TO ALTER THESE PLANS AND DOCUMENTS.

SITE PLAN
 SCALE: 1" = 20'

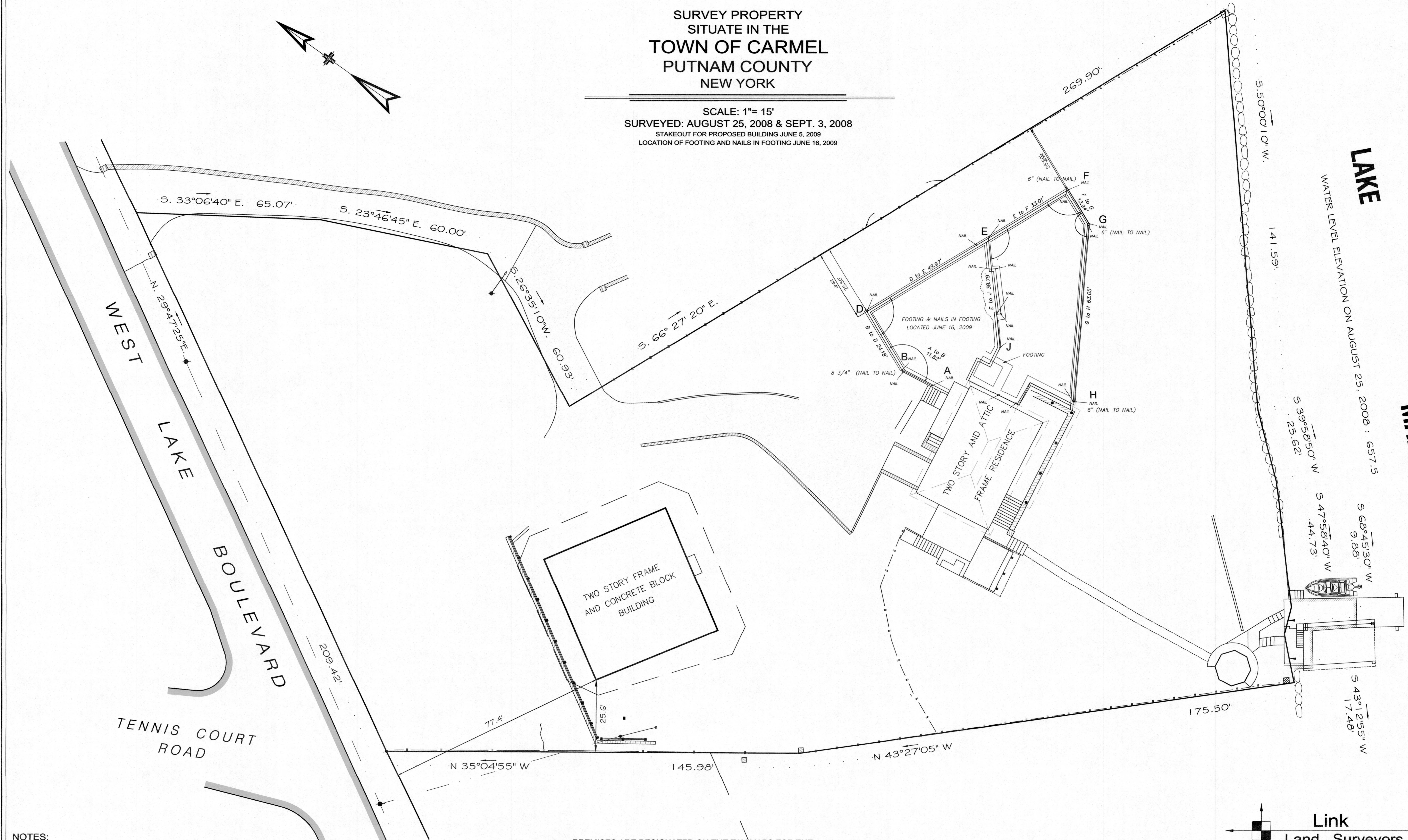


LAKE

MAHOPAC

SURVEY PROPERTY
SITUATE IN THE
TOWN OF CARMEL
PUTNAM COUNTY
NEW YORK

SCALE: 1"= 15'
SURVEYED: AUGUST 25, 2008 & SEPT. 3, 2008
STAKEOUT FOR PROPOSED BUILDING JUNE 5, 2009
LOCATION OF FOOTING AND NAILS IN FOOTING JUNE 16, 2009



NOTES:

- ENCROACHMENTS BELOW GRADE AND/OR SUBSURFACE FEATURES, IF ANY, NOT LOCATED OR SHOWN HEREON.
- UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAWS.
- ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S SEAL SHALL BE CONSIDERED TO BE TRUE VALID COPIES.
- SURVEY IS SUBJECT TO ANY STATE OF FACTS WHICH AN UP-TO-DATE TITLE EXAMINATION MAY DISCLOSE.
- THE OFFSETS SHOWN HEREON, FROM THE STRUCTURES TO THE PROPERTY LINE ARE NOT INTENDED TO BE USED FOR THE ERECTION OF FENCES, STRUCTURES OR ANY OTHER IMPROVEMENT.

- PREMISES ARE DESIGNATED ON THE TAX MAPS FOR THE TOWN OF CARMEL AS:
MAP 64.16 ; BLOCK 1 ; LOT 31 ;
LOT AREA = 64,346 sq. ft. = 1.4772 ac.
 - PREMISES SHOWN HEREON ARE IN ACCORDANCE WITH THE PREMISES DESCRIBED IN DEED DATED NOV. 21, 1982 AND RECORDED IN LIBER 874 AT PAGE 130
 - THIS IS TO CERTIFY THAT THIS MAP WAS PREPARED FROM AN ACTUAL FIELD SURVEY CONDUCTED ON AUG. 25, 2008 AND THAT SAID SURVEY WAS PERFORMED IN ACCORDANCE WITH THE EXISTING " CODE OF PRACTICE FOR LAND SURVEYS " ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.
- PREPARED FOR : CHARLES L. LOW

Link
Land Surveyors, P.C.
21 Clark Place, Mahopac, NY 10541 Phone 845-628-5857
Mahopac, NY 10541 Fax 845-621-0013

ROLAND A. LINK
NEW YORK STATE LICENSED
LAND SURVEYOR NO. 044228