

CRAIG PAEPRER  
*Chairman*

ANTHONY GIANNICO  
*Vice Chairman*

**BOARD MEMBERS**  
RAYMOND COTE  
ROBERT FRENKEL  
VICTORIA CAUSA  
JOHN NUCULOVIC  
NICHOLAS BALZANO

**TOWN OF CARMEL**  
**PLANNING BOARD**



60 McAlpin Avenue  
Mahopac, New York 10541  
Tel. (845) 628-1500 – Ext.190  
[www.ci.carmel.ny.us](http://www.ci.carmel.ny.us)

MICHAEL CARNAZZA  
*Director of Code  
Enforcement*

RICHARD FRANZETTI,  
P.E.,BCEE  
*Town Engineer*

PATRICK CLEARY,  
AICP,CEP,PP,LEED AP  
*Town Planner*

**PLANNING BOARD AGENDA**  
**JANUARY 10, 2024 – 7:00 P.M.**

**TAX MAP # PUB. HEARING MAP DATE COMMENTS**

**SITE PLAN**

- |  |                   |          |                       |
|--|-------------------|----------|-----------------------|
| 1. Carmel Terminals – 79 Old Route 6, Carmel | 55.11-1-23,24 &27 | 1/2/24   | Amended Site Plan     |
| 2. TTSHR, LLC – 25 & 27 Seminary Hill Road   | 55.6-1-69 & 70    | 12/19/23 | Residential Site Plan |

**SUBDIVISION**

- |                                      |          |         |                      |
|--------------------------------------|----------|---------|----------------------|
| 3. Kass Subdivision – 90 Mexico Lane | 53.-2-17 | 8/31/23 | Sketch Plan (2 Lots) |
|--------------------------------------|----------|---------|----------------------|

**MISCELLANEOUS**

- |   |                               |          |                                    |
|---|-------------------------------|----------|------------------------------------|
| 4. G & F Subdivision – Gateway Drive          | 55.-2-24.5,<br>6-1, 7-2 & 8-2 | 12/6/23  | Bond Reduction                     |
| 5. 14 Nicole Way, LLC (Zakon) – 14 Nicole Way | 65.6-1-22                     | 10/29/20 | Bond Return                        |
| 6. Pani, Fabian – 112 Stillwater Road         | 75.17-1-52                    | 12/10/23 | Regrading Application              |
| 7. Doupis, Achilles – 441 Route 6             | 75.16-1-18                    | 8/21/23  | Waiver of Site Plan<br>Application |
| 8. Minutes – 12/14/23                         |                               |          |                                    |



January 2, 2024

Town of Carmel Planning Board  
60 McAlpin Avenue  
Mahopac, New York 10541

RE: Carmel Terminals  
79 Old Route 6  
Town of Carmel  
TM# 55.11-1-23,24,27

Dear Chairman Paepre and Members of the Board:

Please find enclosed the following plans and documents in support of an application for site plan approval for the above referenced project:

- Site Plan set, dated October 11, 2023. (5 copies)
- Photo of siding and Redi-Rock Wall System.
- Pipe Sizing Calculations dated December 26, 2023.

In response to comments received from Director of Code Enforcement, Michael Carnazza, dated October 25, 2023, we offer the below responses:

1. The comment accurately describes the scope of the project.
2. This comment is acknowledged.
3. Lot depth and width dimensions have been added to the site plan.
4. The operations on site will remain as they currently exist. There will be no employees regularly on site. The system is automated and does not require regular employees.
5. Variances for front and rear yard setbacks and lot depth were granted by the Zoning Board of Appeals on November 30, 2023.

In response to comments received from Town Engineer Richard Franzetti, PE, dated September 6, 2023, we offer the following responses:

#### General Comments

1. The required referrals are acknowledged.
2. The required permitting is acknowledged.
3. The requirement for coverage under NYSDEC General Permit GP-0-20-001, for Erosion Control only, is acknowledged. An NOI and MS4 SWPPP Acceptance Form will be provided with our next submission.

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3 Garrett Place, Carmel, New York 10512 (845) 225-9690 Fax (845) 225-9717  
[www.insite-eng.com](http://www.insite-eng.com)

4. There are no wastewater services proposed for the project. The existing sewer service line is proposed to be capped. The existing water service line will be retained for connection to three proposed hose spigots as shown on the plan and will result in seldom use. As such a specific engineering report has not been prepared.
5. An oil / water separator has been provided as a back up to the drains located for the off-loading area and loading area.
6. A performance bond with associated engineering fee will be provided in our next submission.

#### Detailed Comments

1. Traffic and Vehicle Maneuvering Plan
  - a) A Maneuvering Plan has been added to drawing SP-4.
  - b) The slopes at the entrance to the site will generally remain as they currently exist. This area is only to be repaved. The maximum slope of the driveway that runs toward the rear of the site is 12%.
  - c) Turning radii have been added to the plan, as well as a turning template for the tanker that was modeled in the Maneuvering Plan.
  - d) Sight distances have been added to drawing SP-4.
2. A note has been added to drawing OP-1 that sidewalks, manholes, and guiderails shall be installed to §128 of the Town of Carmel code.
3. A Town of Carmel R.O.W. pavement detail has been added to the plans to the required specifications.
4. The site pavement detail has been modified as recommended.
5. A photometric plan has been added to drawing SP-4.
6. The replacement electrical service has been added to drawing SP-2.
7. The electrical service is shown on drawing SP-2. The applicant will need to replace a utility pole on site, and propose to simply reconnect the existing service to a new pole on site as shown.
8. No site signage or pavement markings are necessary. General site circulation will remain as it currently exists. There will be some required signage around the loading rack and offloading area, but these will be modest building mounted signs.
9. The stormwater collection system is indicated on drawing SP-2. Stormwater running from the site will follow existing drainage patterns unless associated with the loading rack, or unloading area, in which cased runoff will be captured by drain inlets and will be run through an oil and water separator prior to discharge.
10. The approximate location of existing water and sewer lines have been added to the plans.

11. Details are provided for the capping of the existing sewer service line.
12. This comment is acknowledged and the applicant will meet with the Town Engineer to discuss the logistics for installing the new water service connection.
13. The water service line for the site has been revised to be Type K-copper and is called out on the water service line trench detail.
14. Gate valves will not be required as it is proposed to connect to the existing 3/4" Type K Copper Water service.
15. Gate valves will not be required as it is proposed to connect to the existing 3/4" Type K Copper Water service.
16. Gate valves will not be required as it is proposed to connect to the existing 3/4" Type K Copper Water service.
17. Gate valves will not be required as it is proposed to connect to the existing 3/4" Type K Copper Water service.
18. Gate valves will not be required as it is proposed to connect to the existing 3/4" Type K Copper Water service.
19. No new fire hydrants are proposed for this project.
20. Although not anticipated, in the event it is needed, a water service line connection detail has been added to the project drawings specifying the requested water service saddle.
21. . Although not anticipated, in the event it is needed, a water service line connection detail has been added to the project drawings specifying the requested corporation stop.
22. Although not anticipated, in the event it is needed, a water service line connection detail has been added to the project drawings specifying the requested curb valve.
23. Although not anticipated, in the event it is needed, a water service line connection detail has been added to the project drawings specifying the cub box.
24. No new fire hydrants are proposed for the project.
25. No new fire hydrants are proposed for the project.
26. The plan has been revised to call out the size and type of the water main. The sewer main has been illustrated but its size was not specified as it is unknown. No modifications to the existing sewer are proposed.
27. The sewer service of the project site is proposed to be capped and abandoned in place. A call out has been added to the project drawings.
28. The containment dike will be cast in place concrete and the retaining wall in front will be RediRock. A photo of the block that the applicant plans to use is enclosed herewith. Top and bottom of wall elevations have been added to the plans.

29. The plans have been revised to include rim and invert elevations of the drainage features. As mentioned above, the sewer service line is to be capped and abandoned in place.
30. Pipe Sizing Calculations have been provided as requested.

In response to comments received from Town Planner, Patrick Cleary, dated October 25, 2023, we offer the following responses:

1. This comment is acknowledged.
2. This comment is acknowledged.
3. As noted above, variances for front and rear yard setbacks and lot depth were granted by the Zoning Board of Appeals on November 30, 2023.
4. The height of the of the tank enclosure is 22'-4"±. The loading rack structural design is being finetuned and a height can be provided with the next submission, but will be well below the 35' maximum.
5. No change is proposed for the frontage. This area will be repaved, but no other improvements are proposed. Though generally traffic will enter from the east side and exit the site through the west end, given the narrowness of the property the open frontage is important for maneuverability of the site for larger vehicles.
6. There will be no office space on site.
7. The applicant has been in contact with the NYSDEC about the proposed project. The applicant is required to provide notice and information about the removal of the existing tanks and the proposed tanks. Soil sampling will occur during the tank removal. PCDOH requirements for the decommissioning and new tanks will be met.
8. A maneuvering plan is provided on drawing SP-4.
9. The applicant has indicated that during the winter months there are approximately 15-20 customers per day. In the summer months this number is reduced to 3-5. Bulk deliveries in the winter can be up to 5-7 per day, reduced to 0-2 during the summer. There will be no regular employees on site. It should also be noted again that there is no anticipated change to the level of service at the site from current operations.
10. A truck storage area is shown west of the proposed tank enclosure. It is anticipated that 3-4 trucks would be stored on site.
11. A photometric plan is shown on drawing SP-4.
12. The building will be constructed with metal siding and a metal roof per the provided site rendering. The concrete containment dike will be finished with a stone veneer, and the retaining wall in front will be Redi-Rock wall system. See provided photo of another of the applicant's properties that shows the red metal siding and Redi-Rock wall that is proposed at the subject property.
13. No landscaping is proposed due to the limited room on site. The applicant needs the rear of the site to be kept clear for access, and there is little opportunity for other landscaping on the site.

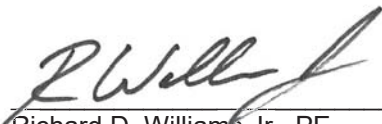
14. Water service exists on site currently. The water service will be used to feed hose spigots on site. There will be no potable use of water on site.
15. There is no requirement for fire suppression on the site.
16. The buildings will not be heated or cooled. Ventilation in the two buildings will be provided through the cupola on loading rack, and through louvered vents on the tank enclosure.
17. Excavation will be required at the back of the proposed building for the containment dike and footings. The amount of cut is to be determined, but it is anticipated that material will be taken off site as needed.
18. See response number 17 above.
19. The offloading area will be covered with a canopy, so stormwater runoff in this area will be minimal, but the area will be graded to direct any incidental runoff to the drain inlet in that location, which has connection to the proposed oil/water separator.

We respectfully request to be placed the project on the January 11, 2023 Planning Board agenda for a discussion of the project with the Board. Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:

  
Richard D. Williams Jr., PE  
Senior Principal Engineer

RDW/adt

Enclosures

cc: (All via email only) Jack Durkin, Raymond Durkin



**DRAINAGE SYSTEM CALCULATIONS**

Design Storm: 10-Year

PROJECT: Carmel Terminals

JOB NUMBER: 23192.100

BY: JJS

DATE: 12-26-2023

CHK: RDW

45293.000

STRUCTURE		IMPERVIOUS AREA			PERVIOUS AREA			CA	TIME OF CONC. (min.)			I	Q (cfs)		PIPE DESIGN				
FROM	TO	A (ac.)	C	CA	A (ac.)	C	CA		INLET	PIPE	TOTAL		DESIGN	CAP.	V(ft/s)	n	s (%)	L (ft)	DIA (in)
CB 4	CB 3	0.05	0.9	0.05	0.00	0.3	0.00	0.05	6	-	6	6.3	0.3	0.9	4.2	0.012	2.2	91	6
CB 3	Separator	0.12	0.9	0.11	0.00	0.3	0.00	0.16	6	-	6	6.3	1.0	1.2	6.9	0.012	4.0	37	6
Separator	DMH 2	0.00	0.9	0.00	0.00	0.3	0.00	0.16	6	-	6	6.3	1.0	1.7	9.0	0.012	7.8	5	6
DMH 2	DMH 1	0.00	0.9	0.00	0.00	0.3	0.00	0.16	6	-	6	6.3	1.0	1.2	6.9	0.012	4.0	57	6
DMH 1	EX CB	0.00	0.9	0.00	0.00	0.3	0.00	0.16	6	-	6	6.3	1.0	1.3	4.1	0.012	1.0	67	8

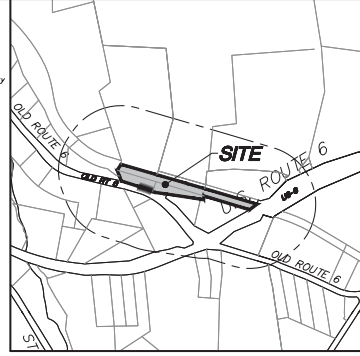






LEGEND	
	EXISTING PROPERTY LINE
	EXISTING STONE WALL
	EXISTING CHAIN LINK FENCE
	EXISTING EDGE OF PAVEMENT
	PROPOSED FENCE
	PROPOSED EDGE OF PAVEMENT
	PROPOSED BUILDING

1. County of Putnam
2. 1982 Route 6 LLC
3. Hudson Valley Realty Corp
4. Hudson Valley Realty Corp
5. Hudson Valley Realty Corp
6. Hudson Valley Realty Corp
7. Town of Carmel
8. Putnam County Humane Society
9. Life Storage LP
10. Keith Egan
11. Orser Mountain V Inc
12. Andrew Durkin
13. 86 Old Route Stv LLC
14. Andrew Durkin
15. Durkin Water Realty LLC
16. Andrew Durkin
17. County of Putnam

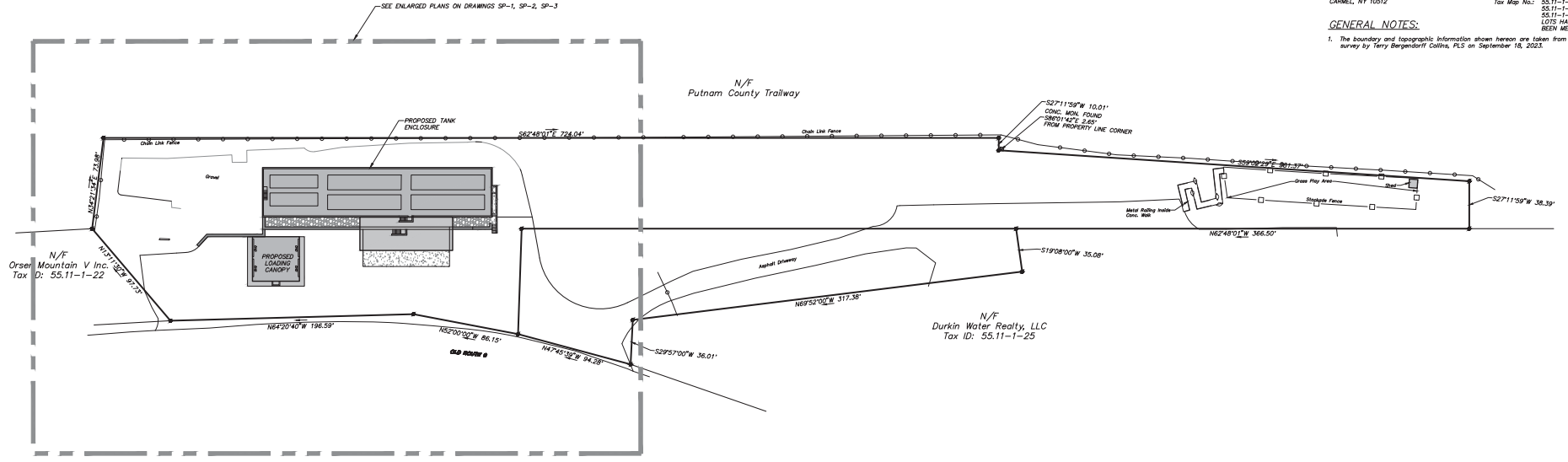


LOCATION MAP SCALE: 1" = 500'±

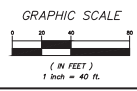
**OWNER/APPLICANT:**  
 ANDREW J. DURKIN  
 79 OLD ROUTE 6  
 CARMEL, NY 10512

**SITE DATA:**  
 Zone: C  
 Total Acreage: 2.87 AC  
 Tax Map No.: 55.11-1-23  
 55.11-1-24  
 55.11-1-27  
 LOTS HAVE BEEN MERGED

**GENERAL NOTES:**  
 1. The boundary and topographic information shown herein are taken from a survey by Terry Berpedorff Collins, PLS on September 18, 2023.



ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.



NO.	DATE	REVISION	KJK	BY
1	1-2-24	REVISED PER PLANNING BOARD COMMENTS	KJK	

**INSITE**  
ENGINEERING, SURVEYING &  
LANDSCAPE ARCHITECTURE, P.C.

3 Garrett Place  
Carmel, NY 10512  
(845) 225-9690  
(845) 225-9717 fax  
www.insite-eng.com

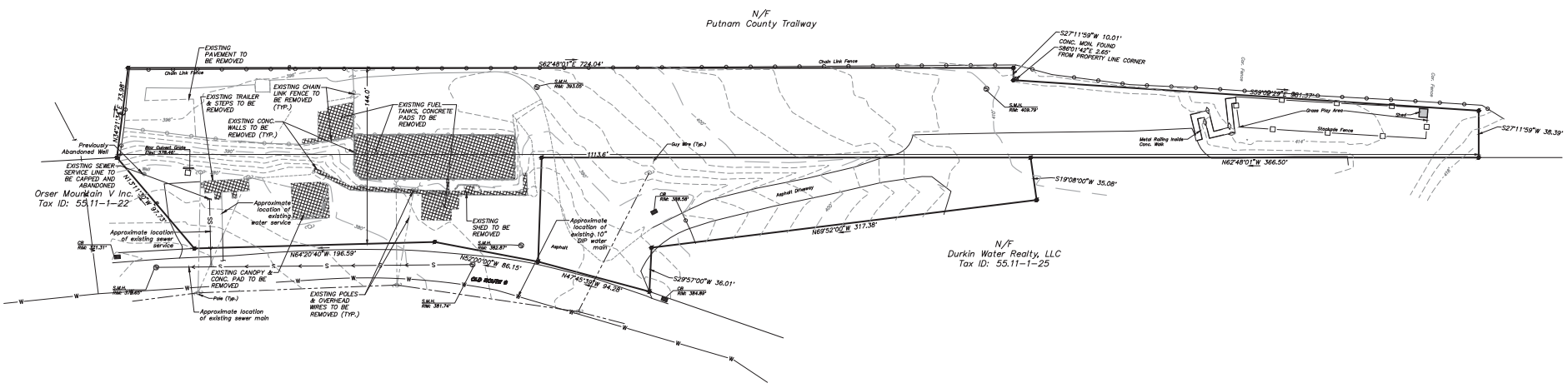
**PROJECT:**  
 CARMEL TERMINALS  
 79 OLD RT. 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

**DRAWING:**  
 OVERALL PLAN

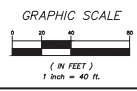
PROJECT NUMBER 23192.100	PROJECT MANAGER R.D.W.	DRAWING NO. OP-1	SHEET 1
DATE 10-11-23	DRAWN BY M.U.	CHECKED BY A.D.T.	7
SCALE 1" = 40'			



LEGEND	
	EXISTING PROPERTY LINE
	EXISTING STOCKADE FENCE
	EXISTING CHAIN LINK FENCE
	EXISTING UTILITY POLE w/ pole & overhead wires
	EXISTING CATCH BASIN
	EXISTING SEWER MANHOLE
	EXISTING WATER VALVE
	EXISTING CLEAN OUT
	EXISTING WELL
	EXISTING 10' CONTOUR
	EXISTING 2' CONTOUR
	EXISTING SPOT GRADE



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NO.	DATE	REVISION	BY
2	1-2-24	REVISED PER PLANNING BOARD COMMENTS	KJK
1	11/15/23	REVISED FOR ZBA SUBMISSION	ADT

**INSITE**  
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.  
3 Garrett Place  
Carmel, NY 12012  
(845) 225-9690  
(845) 225-9717 fax  
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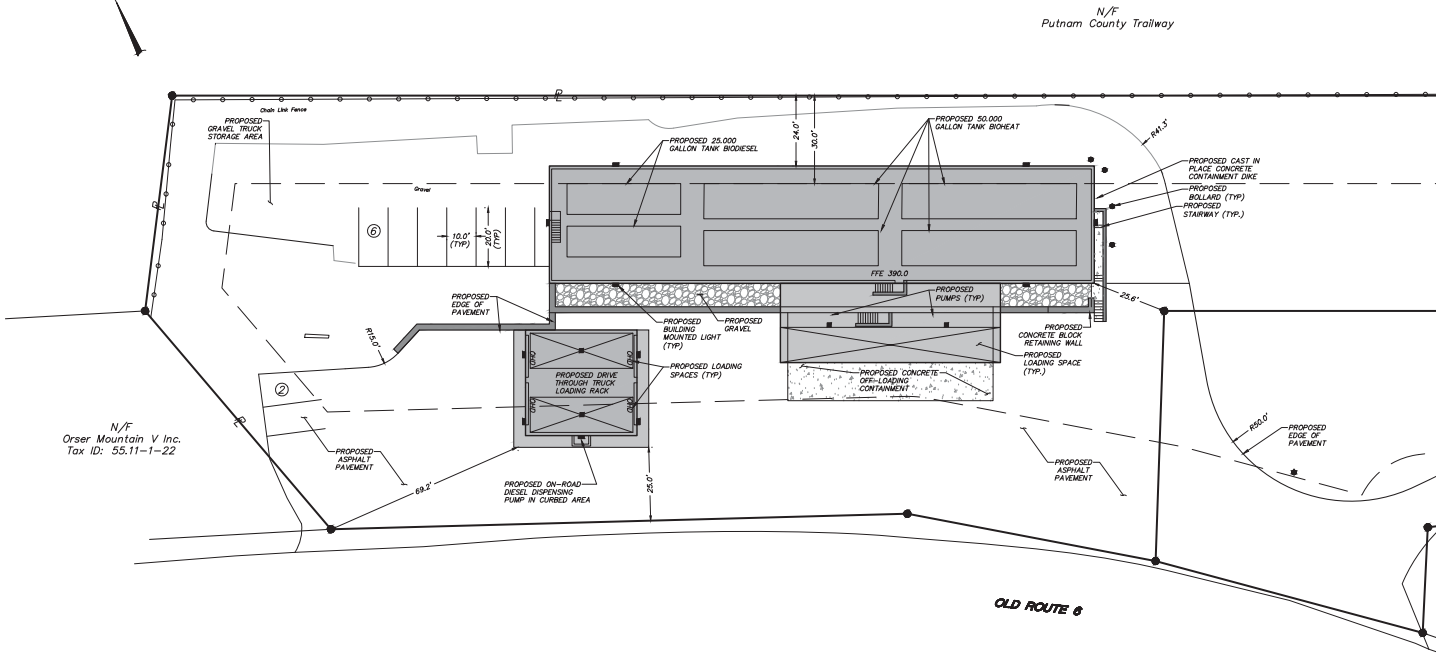
PROJECT:  
**CARMEL TERMINALS**

79 OLD RT. 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING:  
**EXISTING CONDITIONS AND REMOVALS PLAN**



PROJECT NUMBER	PROJECT MANAGER	R.D.W.	DRAWING NO.	SHEET
23192.100			EX-1	2
DATE	DESIGNED BY	M.U.	CHECKED BY	A.D.T.
10-11-23				
SCALE	1" = 40'			



N/F  
Orser Mountain V Inc.  
Tax ID: 55.11-1-22

LEGEND	
	EXISTING PROPERTY LINE
	EXISTING CHAIN LINK FENCE
	EXISTING EDGE OF PAVEMENT
	PROPOSED # OF STALLS TO BE STRIPED
	PROPOSED EDGE OF SIDEWALK
	PROPOSED RETAINING WALL
	PROPOSED LOADING SPACE
	PROPOSED BOLLARD
	PROPOSED BUILDING

ZONE REQUIREMENTS TOWN OF CARMEL COMMERCIAL DISTRICT		
	REQUIRED / PERMITTED	PROPOSED
Minimum Lot Area:	40,000 s.f.	2.2 AC ± (95,973 s.f. ±) 0.6 AC ± (25,916 s.f. ±)*
Minimum Lot Width:	200'	1114' ±
Minimum Lot Depth:	200'	144' ±*
Minimum Front Yard:	40'	25'
Minimum Side Yard:	25'	26' ±
Minimum Rear Yard:	30'	24'*
Maximum Permitted Height of Buildings:	35'	< 35'
Maximum Permitted Floor Area of Buildings:	5,000 s.f.	7,430 s.f.
Maximum Permitted Coverage of Lot by Buildings:	30%	11.6%

\* Variance granted by Town of Carmel ZBA on 11/30/23.

**EXISTING VARIANCES**

Variations for tax map number 55.11-1-27 (Now merged with lot 55.11-1-23), were granted on October 23, 1998 for front setbacks, Lot Width, Side Yards and driveway width.

**PARKING SUMMARY**

Warehouse, Wholesale Storage Use  
7,430 SF @ 1 space per 1,000 SF = 8 Spaces Required  
Spaces Provided = 8 Parking Spaces

NO.	DATE	REVISION	BY
2	1-2-24	REVISED PER PLANNING BOARD COMMENTS	KJK
1	11/15/23	REVISED FOR ZBA SUBMISSION	A.D.T.

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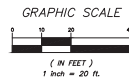
PROJECT:  
**CARMEL TERMINALS**

79 OLD RT. 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK



DRAWING:  
**LAYOUT PLAN**

PROJECT NUMBER	23192.100	PROJECT MANAGER	R.D.W.	DRAWING NO.	SHEET
DATE	10-11-23	DRAWN BY	M.U.	SP-1	3
SCALE	1" = 20'	CHECKED BY	A.D.T.		7



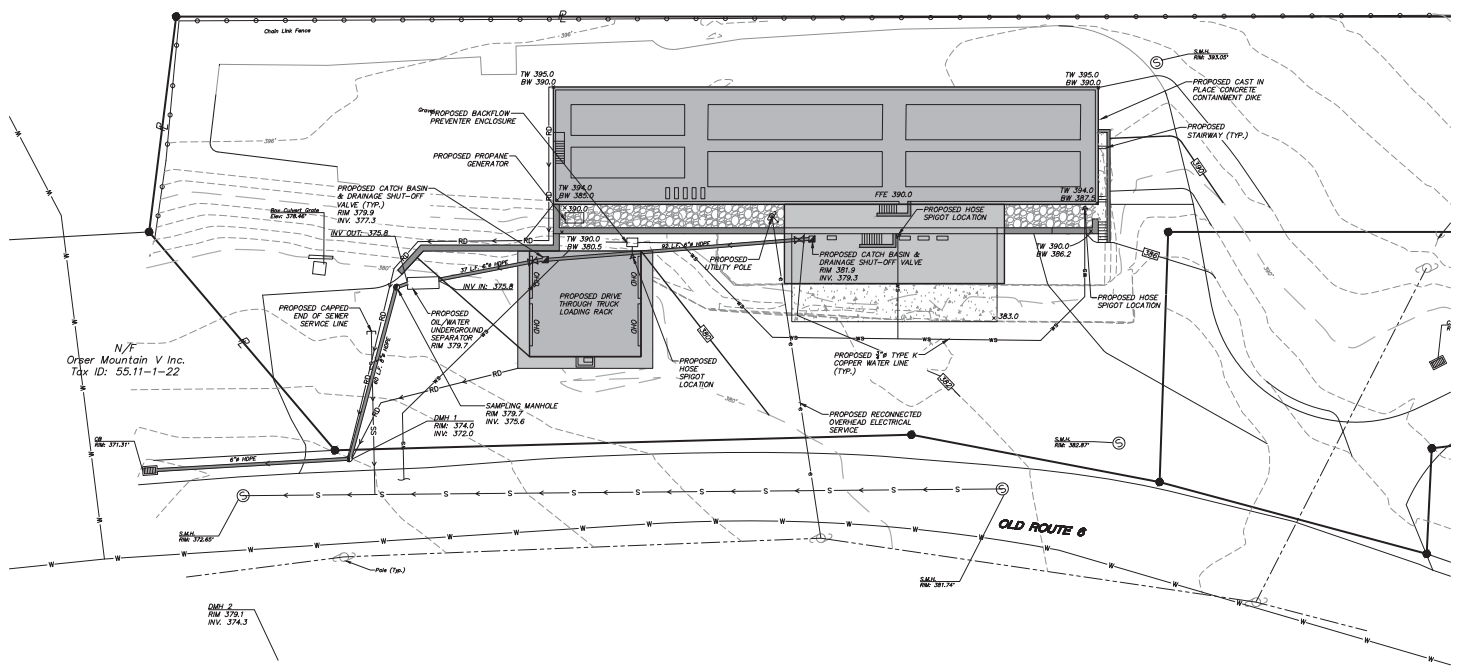
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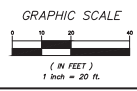
N/F  
Putnam County Trailway

LEGEND	
	EXISTING PROPERTY LINE
	EXISTING CHAIN LINK FENCE
	EXISTING EDGE OF PAVEMENT
	EXISTING CATCH BASIN
	EXISTING 10' CONTOUR
	EXISTING 2' CONTOUR
	EXISTING SPOT GRADE
	PROPOSED 10' CONTOUR
	PROPOSED 2' CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED TOP OF WALL & BOTTOM OF WALL ELEVATIONS
	PROPOSED BUILDING
	PROPOSED ELECTRIC LINE
	PROPOSED UTILITY POLE



N/F  
Opre Mountain V Inc.  
Tax ID: 55.11-1-22

OLD ROUTE 6



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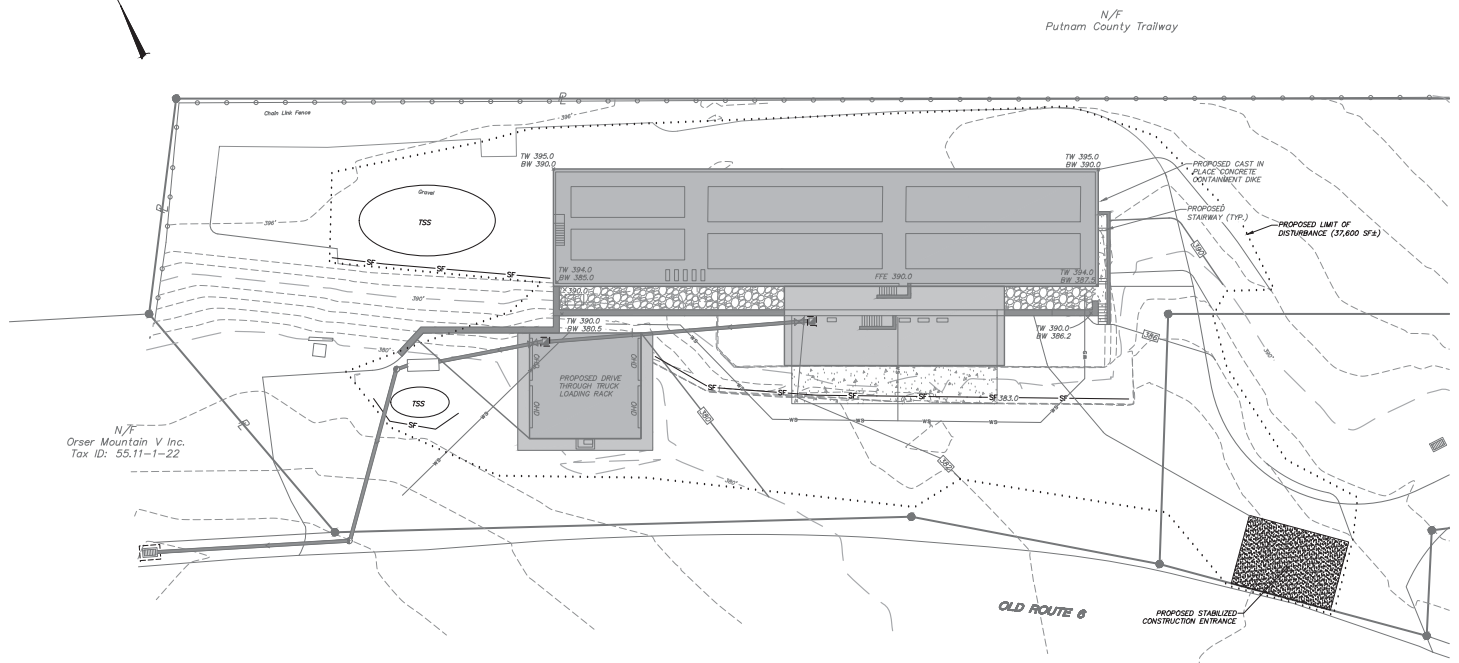
	3 Garrett Place Carmel, NY 12012 (845) 225-9690 (845) 225-9717 fax www.insite-eng.com

PROJECT:	CARMEL TERMINALS
79 OLD RT. 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK	
DRAWING:	GRADING AND DRAINAGE PLAN

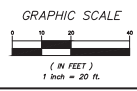
PROJECT NUMBER	23192.100	PROJECT MANAGER	R.D.W.	DRAWING NO.	SHEET
DATE	10-11-23	DESIGNED BY	M.U.	SP-2	4
SCALE	1" = 20'	CHECKED BY	A.D.T.		



LEGEND	
	EXISTING PROPERTY LINE
	EXISTING CHAIN LINK FENCE
	EXISTING EDGE OF PAVEMENT
	EXISTING 10' CONTOUR
	EXISTING 2' CONTOUR
	EXISTING SPOT GRADE
	PROPOSED SILT FENCE
	PROPOSED LIMITS OF DISTURBANCE
	PROPOSED TEMPORARY SOIL STOCKPILE
	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
	PROPOSED EROSION CONTROL BLANKET
	PROPOSED DRAINAGE STRUCTURE W/ INLET PROTECTION
	PROPOSED BUILDING



N/F  
Orser Mountain V Inc.  
Tax ID: 55.11-1-22



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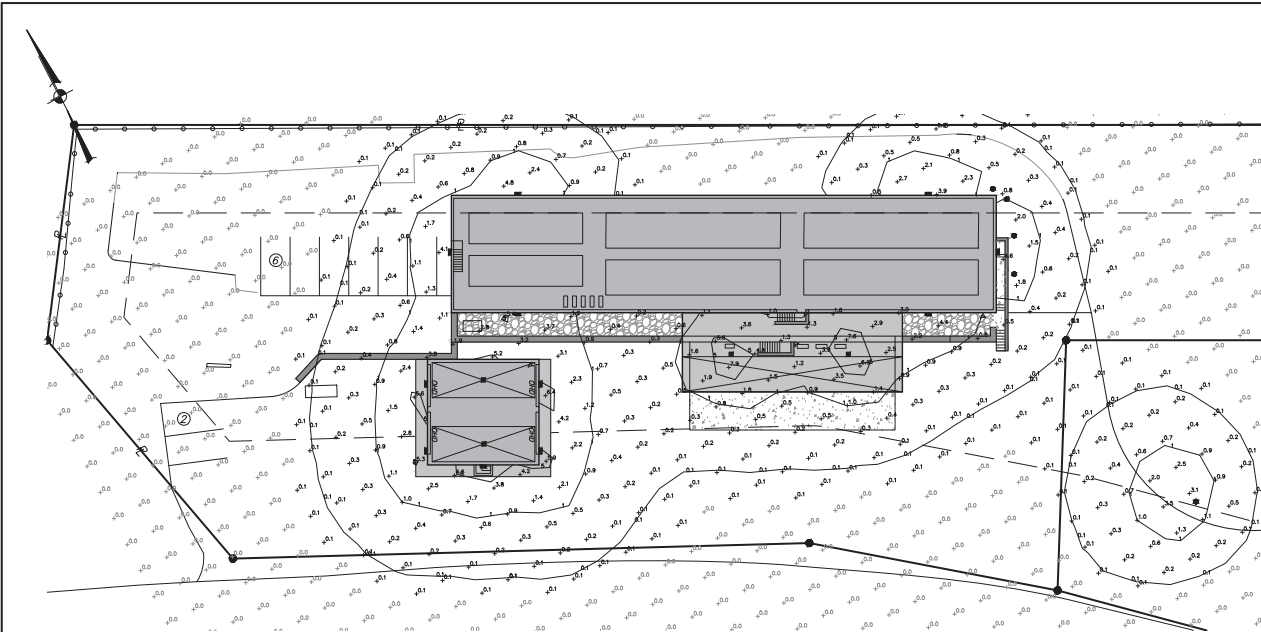
 <b>INSITE</b> ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.	3 Garrett Place Carmel, NY 12012 (845) 225-9630 (845) 225-9717 fax <a href="http://www.insite-emp.com">www.insite-emp.com</a>

<b>PROJECT:</b> CARMEL TERMINALS 79 OLD RT. 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK	
<b>DRAWING:</b> EROSION AND SEDIMENT CONTROL PLAN	

<b>PROJECT NUMBER:</b> 23192.100 <b>DATE:</b> 10-11-23 <b>SCALE:</b> 1" = 20'	<b>PROJECT MANAGER:</b> R.D.W. <b>DESIGNED BY:</b> M.U. <b>CHECKED BY:</b> A.D.T.	<b>DRAWING NO.:</b> SP-3 <b>SHEET:</b> 5/7
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PHOTOMETRIC LIGHTING PLAN  
SCALE: 1" = 20'



**CNY LED  
LED Canopy/Ceiling  
Luminaire**

**Specifications**  
 Size: 30" x 30" x 6"  
 Weight: 18 lbs  
 Input Voltage: 120V  
 Power: 150W  
 Beam Spread: 40°  
 Mounting: 3/4" x 3/4"

**Introduction**  
 The CNY LED luminaire offers an energy efficient lighting solution for a wide range of applications. Its compact design and wide beam spread make it ideal for illuminating parking areas, walkways, and other outdoor spaces. The luminaire is made of high-quality materials and is designed to withstand harsh weather conditions.

**Outgoing Information**  
 Example: CNY LED P1 300VOLT 030

**OPERATING FEATURES**  
**Mounting:** Mount the luminaire to a flat surface. Mounting hardware is not included. The luminaire is designed for mounting to a flat surface. Mounting holes are spaced 1" apart. The luminaire is designed to be mounted to a flat surface. Mounting hardware is not included. The luminaire is designed for mounting to a flat surface. Mounting holes are spaced 1" apart.

**FINISHES:**  
**Black:** Powder coated aluminum.  
**White:** Powder coated aluminum.  
**Aluminum:** Anodized aluminum.  
**Polycarbonate:** Clear polycarbonate.  
**Diffuser:** Clear or frosted polycarbonate.  
**Options:** The luminaire is available with a variety of options including different mounting hardware, different finishes, and different diffusers. Contact the manufacturer for more information.



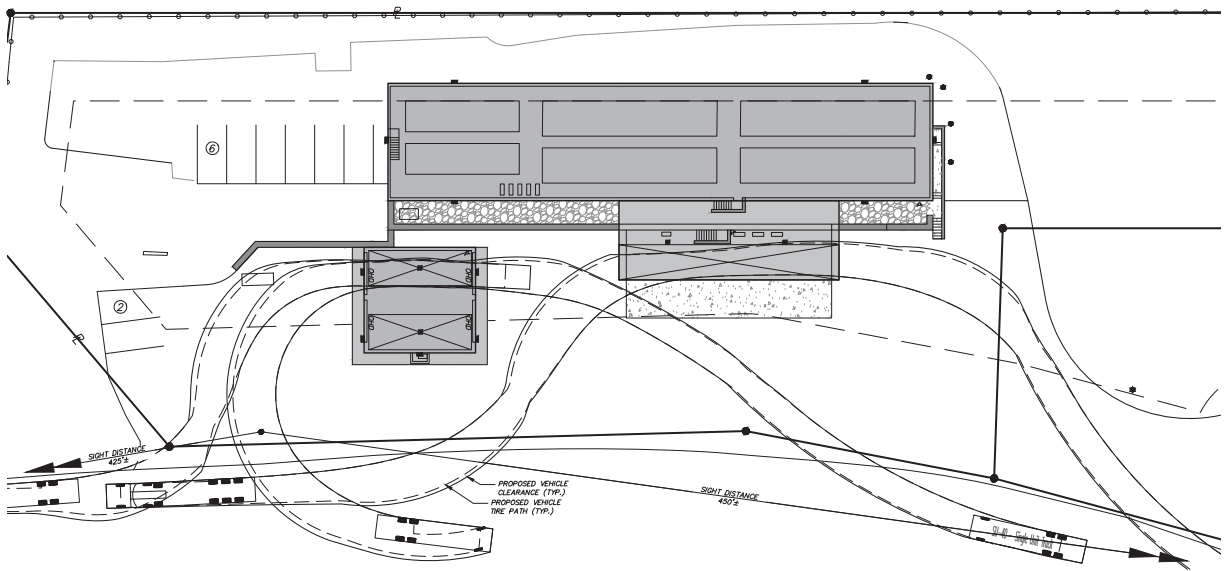
**LIGHT CONTOUR LEGEND**

— 0.1	0.10 Foot Candles
— 1	1.00 Foot Candles
— 5	5.00 Foot Candles

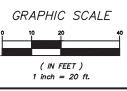
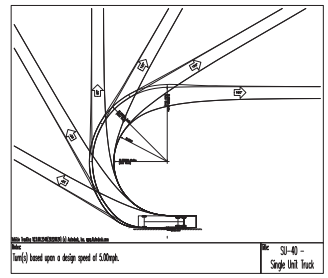
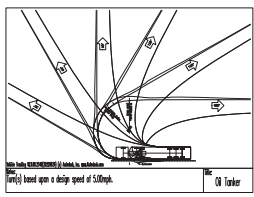
- LIGHTING NOTES:**
- All lighting shall be as noted on the plan or approved equal.
  - Style and finish of all luminaires to be selected by owner.
  - Proposed lights will run on photocells during regular business hours, and will run on motion sensors after hours.
  - Type, location, and shading of all proposed lighting shall prevent the spillage of light onto all adjacent residential properties.
  - All light fixtures to be full cutoff to comply with dark sky guidelines.

**LUMINAIRE SCHEDULE**

Sym	Qty	Catalog Number	Description	Lamp	Mounting Height	Watts
■	4	CNY LED P1 40k MVOLT	LITHONIA LIGHTING LED CANOPY LIGHT	LED	12'-0"	35.4
★	1	ROADPT P1 27K ASY HC	Roadan Post Top with P1 2700K Asymmetric Distribution	LED	10'-0"	25.4
■	11	LDWP-FC-38-ED-7040	LUMARK WALPAK CUTOFF 2LED 4000K	LED	12'-0"	27.2

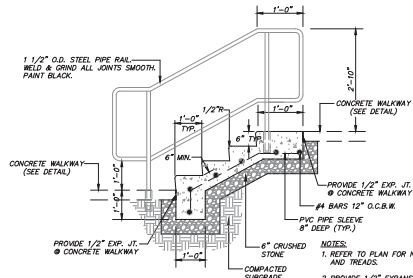


VEHICLE MANEUVERING PLAN  
SCALE: 1" = 20'

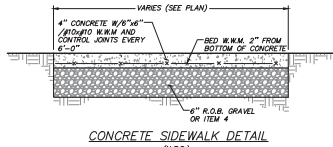


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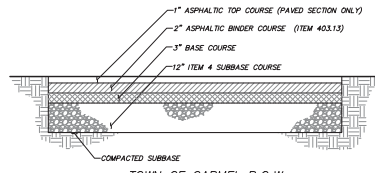
1	1-2-24	REVISED PER PLANNING BOARD COMMENTS	KJK
NO.	DATE	REVISION	BY
<b>INSITE</b> ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.		3 Corbett Place Carmel, NY 10512 (845) 225-8630 (845) 225-9717 fax www.insite-eng.com	
		PROJECT: CARMEL TERMINALS 79 OLD RT. 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK	
DRAWING: VEHICLE MANEUVERING / PHOTOMETRIC PLAN		PROJECT MANAGER: R.D.W. DESIGN BY: K.J.K. CHECKED BY: A.D.T.	
PROJECT NUMBER: 23192.100	DATE: 10-11-23	SCALE: 1" = 20'	DRAWING NO.: SP-4
PROJECT MANAGER		PROJECT MANAGER	SHEET 6
DRAWN BY		CHECKED BY	6
DATE		SCALE	8



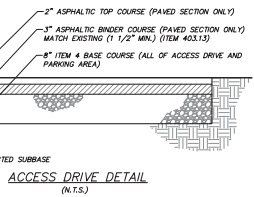
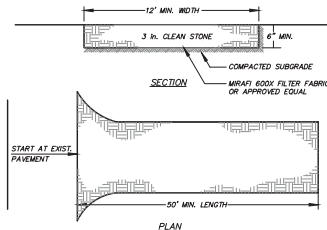
**CONCRETE STEPS WITH RAILING DETAIL**  
(N.T.S.)



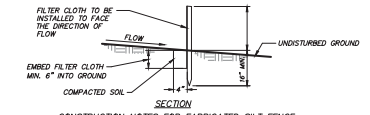
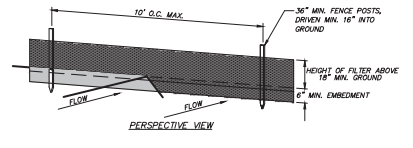
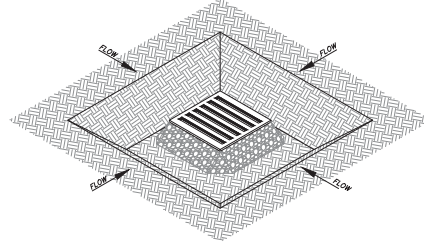
**CONCRETE SIDEWALK DETAIL**  
(N.T.S.)



**TOWN OF CARMEL R.O.W. PAVEMENT DETAIL**  
(N.T.S.)

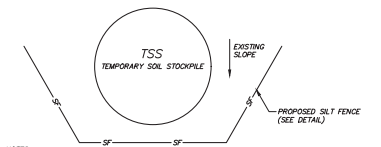


**ACCESS DRIVE DETAIL**  
(N.T.S.)



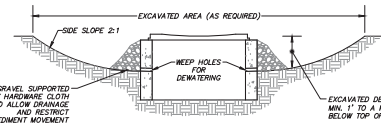
- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "J" OR "U" TYPE OR HARDWOOD.
  2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
  3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRARI TOOL, STABILINKA THIN, OR APPROVED EQUIVALENT.
  4. PREFABRICATED UNITS SHALL BE GEOTAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
  5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

**STANDARD SILT FENCE DETAIL**  
(N.T.S.)



- NOTES:**
1. AREA CHOSEN FOR STOCKPILE LOCATION SHALL BE DRY AND STABLE.
  2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 2:1.
  3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE IMMEDIATELY SEEDED WITH K31 PERENNIAL TALL FESCUE.
  4. ALL STOCKPILES SHALL BE PROTECTED WITH SILT FENCING INSTALLED ON THE DOWNDRAINAGE SIDE.

**TEMPORARY SOIL STOCKPILE DETAIL**  
(N.T.S.)

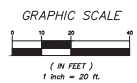


1. CLEAR THE AREA OF ALL DEBRIS THAT WILL HINDER EXCAVATION
2. GRADE APPROACH TO THE INLET UNIFORMLY AROUND THE BASIN
3. WEEP HOLES SHALL BE PROTECTED BY GRAVEL
4. UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA, SEAL WEEP HOLES, FILL EXCAVATION WITH STABLE SOIL TO FINAL GRADE, COMPACT IT PROPERLY, AND STABILIZE WITH PERMANENT SEEDING
5. MAXIMUM DRAINAGE AREA = 1 ACRE

**EXCAVATED DROP INLET PROTECTION DETAIL**  
(N.T.S.)

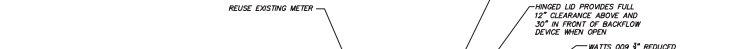
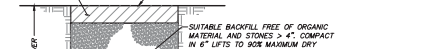
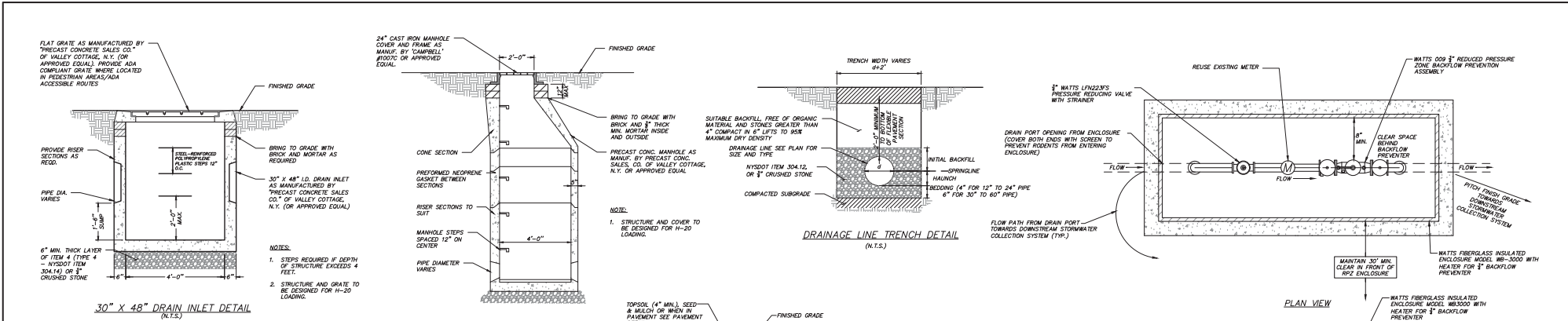
**STABILIZED CONSTRUCTION ACCESS DETAIL**  
(N.T.S.)

- INSTALLATION NOTES**
1. STONE SIZE - USE 3" STONE
  2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 30 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY)
  3. THICKNESS - NOT LESS THAN SIX (6) INCHES
  4. WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR, TWENTY FOUR (24) FOOT IF SINGLE ACCESS TO SITE
  5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY
  6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
  7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND TOP CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SHIELDED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
  8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
  9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



1	1-2-24	REVISED PER PLANNING BOARD COMMENTS	KJK
NO.	DATE	REVISION	BY
<b>INSITE</b> ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.			
PROJECT: <b>CARMEL TERMINALS</b>			
79 OLD RT. 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK			
DRAWING: <b>DETAILS</b>			
PROJECT NUMBER	23192.100	PROJECT MANAGER	R.D.W.
DATE	10-11-23	DRAWN BY	M.U.
SCALE	AS SHOWN	CHECKED BY	A.D.T.
DRAWING NO. <b>D-1</b>			SHEET <b>7</b> OF <b>8</b>

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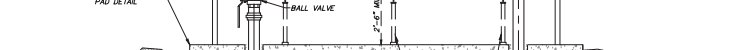
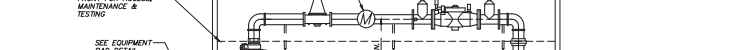
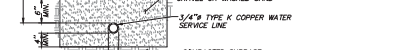


**EROSION & SEDIMENT CONTROL NOTES:**

- The owner's field representative (O.F.R.) will be responsible for the implementation and maintenance of erosion and sediment control measures on the site prior to and during construction.
- All construction activities involving the removal or disposition of soil are to be provided with appropriate protective measures to minimize erosion and control sediment discharge until the minimum soil erosion and sediment control measures shall be implemented as shown on the plans and shall be installed in accordance with the New York Standards and Specifications for Erosion and Sediment Control, latest edition.
- Wherever feasible, natural vegetation should be retained and protected. Disturbance shall be minimized in the areas required to perform construction. No more than 3 acres of unprotected soil shall be exposed at any one time.
- When land is exposed during development, the exposure shall be kept to the shortest practical period of time. In the areas where soil disturbance activity has temporarily or permanently ceased, the application of soil stabilization measures must be initiated by the end of the next business day and completed within seven (7) days from the date the current soil disturbance activity ceases. Disturbance shall be minimized to the areas required to perform construction.
- Silt fence shall be installed as shown on the plans prior to beginning any clearing, grubbing or earthwork.
- All topsoil to be stripped from the area being developed shall be stockpiled and immediately seeded for temporary stabilization. Progress (annual or perennial) at a rate of 30 lbs per acre shall be used for temporary seeding in spring, summer or early fall. Grass Seed Mixture (see notes) shall be used for temporary seeding in late fall and winter.
- Any disturbed area not subject to further disturbance or construction traffic, permanent or temporary, shall have soil stabilization measures initiated for permanent vegetation cover in combination with a suitable mulch within 1 business day of final grading. All seeded areas to receive a minimum 4" topsoil (from stockpile area) and be seeded and mulched as follows:
  - Seed mixture to be planted between March 21 and May 20, or between August 15 and October 15 or as directed by project representative at a rate of 100 pounds per acre in the following proportions:
    - Perennial Grasses 20%
    - Grass Seed Mixture 40%
    - Annual Grasses 20%
    - Mulch: Soil mix or small grain straw applied at a rate of 90 lbs./1000 SF, or 2 tons/acre, to be applied and anchored according to New York Standards and Specifications for Erosion and Sediment Control, latest edition.
- Grass seed mix may be applied by either mechanical or hydroseeding methods. Seeding shall be performed in accordance with the current edition of the NYSDOT Standard Specification, Construction Materials, Section 610-1.02, Method No. 11. Hydroseeding shall be performed using materials and methods as approved by the site engineer.
- Cut or fill slopes steeper than 3:1 shall be stabilized immediately after grading with Cutler 1 Single Net Erosion Control Blanket, or approved equal.
- Paved roadways shall be kept clean at all times.
- The site shall at all times be graded and maintained such that all stormwater runoff is diverted to soil erosion and sediment control facilities.
- All storm drainage outlets shall be stabilized, as required, before the discharge points become operational.
- Stormwater from disturbed areas must be passed through erosion control barriers before discharge beyond disturbed areas or discharged into other drainage systems.
- Erosion and sediment control measures shall be inspected and maintained on a daily basis by the O.F.R. to insure that temporary, temporary and permanent ditches and pipes are clear of debris, that embankments and berms have not been breached and that all slope bases and all fences are intact. Any failure of erosion and sediment control measures shall be immediately reported by the contractor and inspected for approval by the O.F.R. and/or site engineer.
- Dust shall be controlled by spraying or other approved methods as necessary, or as directed by the O.F.R.
- Out and fill shall not endanger adjoining property, nor divert water onto the property of others.
- All fill shall be placed and compacted in 6" lifts to provide stability of material and to prevent settlement.
- The O.F.R. shall inspect downstream conditions for evidence of sedimentation on a weekly basis and after other alterations.
- As warranted by field conditions, special additional erosion and sediment control measures, as specified by the site engineer and/or the Town Engineer shall be installed by the contractor.
- Erosion and sediment control measures shall remain in place until all disturbed areas are suitably stabilized.

**REQUIRED SWPPP CONTENTS PER GP-0-20-001:**

- Pursuant to the NYSDEC "SPDES General Permit for Stormwater Discharges from Construction Activity" (GP-0-20-001), all Stormwater Pollution Prevention Plans (SWPPPs) shall include erosion and sediment control measures designed in conformance with the most current version of the technical standards, New York Standards and Specifications for Erosion and Sediment Control, where erosion and sediment control practices are not designed in conformance with this technical standard, the owner or operator must demonstrate compliance with the technical standard. The following list of required SWPPP components is provided in accordance with Part 138.1g-1 of General Permit GP-0-20-001:
  - Background information: The subject project consists of demolition of an existing barn, shed and trailer and construction of a warehouse building and gravel driveway and parking area.
  - Site map / construction drawing: These plans serve to satisfy this SWPPP requirement.
  - Description of the soils present at the site: Onsite soils located within the proposed limits of disturbance consist of Farmington-Galway Complex (Fc) and Knickerbocker Fine Sandy Loam (KvS), as identified on the Soil Conservation Service Web Soil Survey. These soil types belong to the Hydrologic Soil Group "D" and "U".
  - Construction phasing plan / sequence of operations: The Construction Sequence and Phasing found on these plans provide the required phasing. A Construction Sequence and Erosion and Sediment Control Maintenance Schedule has been provided. The Sedimentation and Erosion Control Notes contained herein outline a general sequence of operations for the proposed project. In general all erosion and sediment control facilities shall be installed prior to commencement with land disturbing activities, and areas of disturbance shall be limited to the shortest period of time as practicable.
  - Description of erosion and sediment control practices: This plan and details / notes shown herein serve to satisfy this SWPPP requirement.
  - Temporary and permanent soil stabilization plans: The Sedimentation and Erosion Control Notes and Details provided herein identify temporary and permanent stabilization measures to be employed with respect to specific elements of the project, and at the various stages of development.
  - Site map / construction drawing: This plan serves to satisfy this SWPPP requirement.
  - The dimensions, material specifications, installation details, and operation and maintenance requirements for all erosion and sediment control practices: The details, Erosion and Sediment Control Notes, and Erosion and Sediment Control Maintenance Schedule serve to satisfy this SWPPP requirement.
  - A description of pollution prevention measures that will be used to control filter, construction chemicals and construction debris: In general, all construction filter / debris shall be collected and removed from the site. The general contractor shall supply either waste barrels or dumpster for project waste disposal. Any construction debris or hazardous waste construction shall either be removed from site daily by the contractor or stored in a structurally sound and weather resistant container. Hazardous waste shall be disposed of onsite, and shall ultimately be disposed of in accordance with all federal, state and regulations. Material Safety Data Sheets (MSDS), material inventory, and emergency contact numbers shall be maintained by the general contractor for all construction chemicals utilized onsite. Finally, temporary spillage facilities (portable toilets) shall be provided onsite during the entire length of construction, and inspected weekly for evidence of leaking / holding.
  - A description and location of any stormwater discharges associated with industrial activity other than construction at the site: There are no known industrial stormwater discharges present or proposed at the site.
  - Identification of any elements of the design that are not in conformance with the technical standard, New York Standards and Specifications for Erosion and Sediment Control: All proposed elements of this SWPPP have been designed in accordance with the New York Standards and Specifications for Erosion and Sediment Control.

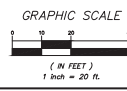


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**INSITE**  
ENGINEERING, SURVEYING &  
LANDSCAPE ARCHITECTURE, P.C.

3 Corbett Place  
Corhasset, NY 10522  
(845) 225-8630  
(845) 225-9177 fax  
www.insite-ny.com

PROJECT:	CARMEL TERMINALS	DRAWN BY:	M.U.
DATE:	10-11-23	CHECKED BY:	A.D.T.
SCALE:	AS SHOWN	DRAWING NO.:	D-2
PROJECT NUMBER:	23192.100	SHEET:	8







# TOWN OF CARMEL SITE PLAN APPLICATION INSTRUCTIONS



The Town of Carmel Planning Board meetings are held twice a month, on the second **Thursday** and fourth **Wednesday**, at 7:00 PM at Carmel Town Hall, 60 McAlpin Avenue, Carmel

The submission deadline is 10 days prior to the Planning Board meeting. New site plan applications that have been deemed complete will be placed on the agenda in the order they are received.

**No application will be placed on the agenda that is incomplete**

**Pre-Submission:**

Prior to the formal submission of the site plan, a pre-submission conference may be requested by the applicant to be conducted with representatives from the Town, which may include the Town Planner, Town Engineer, Director of Code Enforcement and/or the Planning Board Attorney. This conference will serve to educate the applicant on the process he/she must follow, clarify the information required to submit a complete site plan application, and to highlight any specific areas of concern. You may arrange a pre-submission conference through the Planning Board Secretary at (845) 628-1500 extension 190.

**Submission Requirements:**

At least 10 days prior to the Planning Board meeting, the site plan application shall be submitted to the Planning Board Secretary as follows:

All site plans shall be signed, sealed and folded with the title box legible. The application package shall include:

- 5 copies of the Site Plan Application Form, signed and notarized.
- 5 copies of the SEQR Environmental Assessment Form (use of short form or long form shall be determined at pre-submission conference).
- 5 full size sets of the Site Plan (including floor plans and elevations)
- 1 CD (in pdf. format) containing an electronic version of the Site Plan
- 2 copies of the Disclosure Statement
- 5 copies of the Site Plan Completeness Certification Form
- All supplemental studies, reports, plans and renderings.
- 2 copies of the current deed.
- 2 copies of all easements, covenants and restrictions.
- The appropriate fee, determined from the attached fee schedule. Make checks payable to the *Town of Carmel*.

Rose Trumbull 1/4/24  
Planning Board Secretary; Date

[Signature] 1/4/24  
Town Engineer; Date



# TOWN OF CARMEL SITE PLAN APPLICATION



Per Town of Carmel Code – Section 156 - Zoning

SITE IDENTIFICATION INFORMATION		
Application Name: TTSHR LLC (formerly LaMorte Enterprises)	Application # 230010	Date Submitted: 12/27/23
Site Address: No. 25 & 27 Street Seminary Hill Road Hamlet: Carmel		
Property Location: (Identify landmarks, distance from intersections, etc.) <b>25 &amp; 27 Seminary Hill Road</b>		
Town of Carmel Tax Map Designation: Section 55. Block C- / Lot(s) 69 & 70	Zoning Designation of Site: Residential	
Property Deed Recorded in County Clerk's Office Date 1/1/2023 Liber Page	Liens, Mortgages or other Encumbrances Yes No	
Existing Easements Relating to the Site No <u>Yes</u> Describe and attach copies: <b>Abstract attached</b>	Are Easements Proposed? <u>No</u> Yes Describe and attach copies:	
Have Property Owners within a 500' Radius of the Site Been Identified? Yes No Attached List to this Application Form		
APPLICANT/OWNER INFORMATION		
Property Owner: TTSHR LLC	Phone #: 845-225-7500	Email: waslaw@shillinglegal.com
Owners Address: No. 418 Street Broadway Suite N Town: Albany State: NY Zip: 12207		
Applicant (If different than owner):	Phone #: Fax#:	Email:
Applicant Address (If different than owner): No. Street: Town: State: Zip:		
Individual/ Firm Responsible for Preparing Site Plan: John Karell P.E.	Phone #: 845-225-7455	Email: jack4911@yahoo.com
Address: No. Street: Town: State: Zip:		
Other Representatives: Shilling & Smith, P.C.	Phone #: 845-225-7500	Email: waslaw@shillinglegal.com
Owners Address: No. Street: Town: State: Zip:		
PROJECT DESCRIPTION		

Describe the project, proposed use and operation thereof:

**The complex has been in existence since the 1960's. Currently there are eleven units which date back from the early 1960's and a residential unit above the former commercial building which has been in existence since 1971. This applicant seeks to legalize the twelve units. The two tax lots have been merged into one lot.**

# TOWN OF CARMEL SITE PLAN APPLICATION

PROJECT INFORMATION			
Lot size: Acres: <u>1.12</u>	Square Feet: <u>48,634</u>	Square footage of all existing structures (by floor): <u>SEE SITE PLAN</u>	
# of existing parking spaces: <u>20</u>	# of proposed parking spaces: <u>20</u>		
# of existing dwelling units: <u>12</u>	# of proposed dwelling units: <u>12</u>		
Is the site served by the following public utility infrastructure:			
<ul style="list-style-type: none"> <li>▪ Is project in sewer district or will private septic system(s) be installed? <u>EX - SEWER</u></li> <li>▪ If yes to Sanitary Sewer answer the following:                             <ul style="list-style-type: none"> <li>▶ Does approval exist to connect to sewer main? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/></li> <li>▶ Is this an in-district connection? <u>YES</u> Out-of district connection? _____</li> <li>▶ What is the total sewer capacity at time of application? <u>EXISTING</u></li> <li>▶ What is your anticipated average and maximum daily flow</li> </ul> </li> </ul>			
For Town of Carmel Town Engineer <u>ACTUAL</u> <span style="float: right;">AVERAGE <u>650 GPD</u></span> ▶ What is the sewer capacity _____ <span style="float: right;">MAXIMUM UNKNOWN</span>			
<ul style="list-style-type: none"> <li>▪ Water Supply Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/></li> <li>If Yes:                             <ul style="list-style-type: none"> <li>▶ Does approval exist to connect to water main? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/></li> <li>▶ What is the total water capacity at time of application? <u>EXISTING</u></li> <li>▶ What is your anticipated average and maximum daily demand <u>NO CHANGE</u></li> </ul> </li> <li>▪ Storm Sewer Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/></li> <li>▪ Electric Service Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/></li> <li>▪ Gas Service Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/></li> <li>• Telephone/Cable Lines Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/></li> </ul>			
For Town of Carmel Town Engineer			
Water Flows <u>NA</u> Sewer Flows <u>NA</u> <u>MT</u> 12/29/23 Town Engineer; Date			
What is the predominant soil type(s) on the site? <u>UPB URBAN LAND PAXTON COMPLEX 3-80%</u>		What is the approximate depth to water table? <u>&gt; 7 FT PER USDA SOIL SURVEY</u>	
Site slope categories: <u>60%</u> 15-25% _____% 25-35% _____% >35% _____%			
Estimated quantity of excavation: Cut (C.Y.) <u>0</u> Fill (C.Y.) <u>0</u>			
Is Blasting Proposed Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> Unknown: <input type="checkbox"/>			
Is the site located in a designated Critical Environmental Area? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Does a curb cut exist on the site? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>		Are new curb cuts proposed? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
What is the sight distance? Left <u>&gt; 200 FT</u> Right <u>&gt; 200 FT</u>			
Is the site located within 500' of:			
• The boundary of an adjoining city, town or village			Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
• The boundary of a state or county park, recreation area or road right-of-way			Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
• A county drainage channel line.			Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
• The boundary of state or county owned land on which a building is located			Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>

## TOWN OF CARMEL SITE PLAN APPLICATION

Is the site listed on the State or Federal Register of Historic Place (or substantially contiguous)  
 Yes:  No:

Is the site located in a designated floodplain?  
 Yes:  No:

Will the project require coverage under the Current NYSDEC Stormwater Regulations  
 Yes:  No:

Will the project require coverage under the Current NYCDEP Stormwater Regulations  
 Yes:  No:

Does the site disturb more than 5,000 sq ft  
 Yes:  No:

Does the site disturb more than 1 acre  
 Yes:  No:

Does the site contain freshwater wetlands?  
 Yes:  No:

Jurisdiction:  
 NYSDEC:  Town of Carmel:

*If present, the wetlands must be delineated in the field by a Wetland Professional, and survey located on the Site Plan.*

Are encroachments in regulated wetlands or wetland buffers proposed? Yes:  No:

Does this application require a referral to the Environmental Conservation Board? Yes:  No:

Does the site contain waterbodies, streams or watercourses? Yes:  No:

Are any encroachments, crossings or alterations proposed? Yes:  No:

Is the site located adjacent to New York City watershed lands? Yes:  No:

Is the project funded, partially or in total, by grants or loans from a public source?  
 Yes:  No:

Will municipal or private solid waste disposal be utilized?  
 Public:  Private:


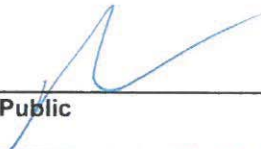
Has this application been referred to the Fire Department? Yes:  No:  EX. BLDGS

What is the estimated time of construction for the project?  
 UPON APPROVAL

ZONING COMPLIANCE INFORMATION			
Zoning Provision	Required	Existing	Proposed
Lot Area	40,000	48,634	SAME AS
Lot Coverage	30	12	EXISTING
Lot Width	200	200.2	NO CHANGE
Lot Depth	200	232.13	PROPOSED
Front Yard	40	33.6*	
Side Yard	25	4	
Rear Yard	30	7	
Minimum Required Floor Area			
Floor Area Ratio			
Height	35	31	
Off-Street Parking	24	20	
Off-Street Loading	N/A	N/A	

\* SEE ZONING TABLE 3 of 4 ON PLAN

## TOWN OF CARMEL SITE PLAN APPLICATION

Will variances be required? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	If yes, identify variances: <i>See attached</i>
<b>PROPOSED BUILDING MATERIALS</b>	
<b>Foundation</b>	N/A
<b>Structural System</b>	No proposed construction
<b>Roof</b>	
<b>Exterior Walls</b>	
<b>APPLICANTS ACKNOWLEDGEMENT</b>	
I hereby depose and certify that all the above statements and information, and all statements and information contained in the supporting documents and drawings attached hereto are true and correct.	
<i>Christopher Dimillia</i> _____ Applicants Name	 _____ Applicants Signature
Sworn before me this <u>13</u> day of <u>Sept</u> 20 <u>22</u>	
 _____ Notary Public	WILLIAM A. SHILLING, JR. Notary Public, State of New York Reg. No. 02SH4766423 Qualified in Putnam County Commission Expires 07/31/20 <u>28</u>



# TOWN OF CARMEL SITE PLAN COMPLETENESS CERTIFICATION FORM



All Site Plans submitted to the Planning Board for review shall include the following information and details, as set forth in Section 156-61 B of the Town of Carmel Zoning Ordinance.

This form shall be included with the site plan submission

	<i>Requirement Data</i>	<i>To Be Completed by the Applicant</i>	<i>Waived by the Town</i>
1	Name and title of person preparing the site plan	✓ <input checked="" type="checkbox"/>	<input type="checkbox"/>
2	Name of the applicant and owner (if different from applicant)	✓ <input checked="" type="checkbox"/>	<input type="checkbox"/>
3	Original drawing date, revision dates, scale and north arrow	✓ <input checked="" type="checkbox"/>	<input type="checkbox"/>
4	Tax map, block and lot number(s), zoning district	✓ <input checked="" type="checkbox"/>	<input type="checkbox"/>
5	All existing property lines, name of owner of each property within a 500' radius of the site	✓ <input checked="" type="checkbox"/>	<input type="checkbox"/>
6	Contour lines at two-foot intervals, grades of all roads, driveways, sanitary and storm sewers	✓ <input checked="" type="checkbox"/>	<input type="checkbox"/>
7	The location of all water bodies, streams, watercourses, wetland areas, wooded areas, rights-of-way, streets, roads, highways, railroads, buildings, structures	✓ <input checked="" type="checkbox"/>	<input type="checkbox"/>
8	The location of all existing and proposed easements	N/A <input checked="" type="checkbox"/>	<input type="checkbox"/>
9	The location of all existing and proposed structures, their use, setback dimensions, floor plans, front, side and rear elevations, buildable area.	<input checked="" type="checkbox"/> ✓ ✓	<input type="checkbox"/>
10	On site circulation systems, access, egress ways and service roads, emergency service access and traffic mitigation measures	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
11	Sidewalks, paths and other means of pedestrian circulation	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
12	On-site parking and loading spaces and travel aisles with dimensions	<input checked="" type="checkbox"/>	<input type="checkbox"/>
13	The location, height and type of exterior lighting fixtures	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
14	Proposed signage	N/A <input checked="" type="checkbox"/> A ✓	<input type="checkbox"/>
15	For non-residential uses, an estimate of the number of employees who will be using the site, description of the operation, types of products sold, types of machinery and equipment used	N/A <input checked="" type="checkbox"/> A ✓	<input type="checkbox"/>

→ Pg 1 of P 4  
Site Plan  
says  
Also to not  
attached  
Please refer



# TOWN OF CARMEL SITE PLAN COMPLETENESS CERTIFICATION FORM



	Requirement Data	To Be Completed by the Applicant	Waived by the Town
16	The location of clubhouses, swimming pools, open spaces, parks or other recreational areas, and identification of who is responsible for maintenance	N/A OWNER ✓	<input type="checkbox"/>
17	The location and design of buffer areas, screening or other landscaping, including grading and water management. A comprehensive landscaping plan in accordance with the Tree Conservation Law	N/A None proposed, EXISTING ✓	<input type="checkbox"/>
18	The location of public and private utilities, maintenance responsibilities, trash and garbage areas	<input checked="" type="checkbox"/> EXISTING DUMPSTER	<input type="checkbox"/>
19	A list, certified by the Town Assessor, of all property owners within 500 feet of the site boundary	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
20	Any other information required by the Planning Board which is reasonably necessary to ascertain compliance with this chapter	<input checked="" type="checkbox"/>	<input type="checkbox"/>

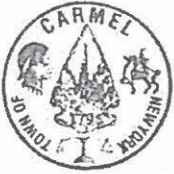
Applicants Certification (to be completed by the licensed professional preparing the site plan:

I John Karel, Jr. P.E. hereby certify that the site plan to which I have attached my seal and signature, meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:

[Signature], member 8/14/23  
Signature Applicant Date

[Signature]  
  
Professionals Seal

\_\_\_\_\_  
Signature - Owner Date



TOWN OF CARMEL  
SITE PLAN COMPLETENESS  
CERTIFICATION FORM



Town Certification (to be completed by the Town)

I \_\_\_\_\_ hereby confirm that the site plan meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:

Rose Yonchetti

Signature - Planning Board Secretary

1/4/24

Date

[Signature]

Signature - Town Engineer

1/4/24  
Date



# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

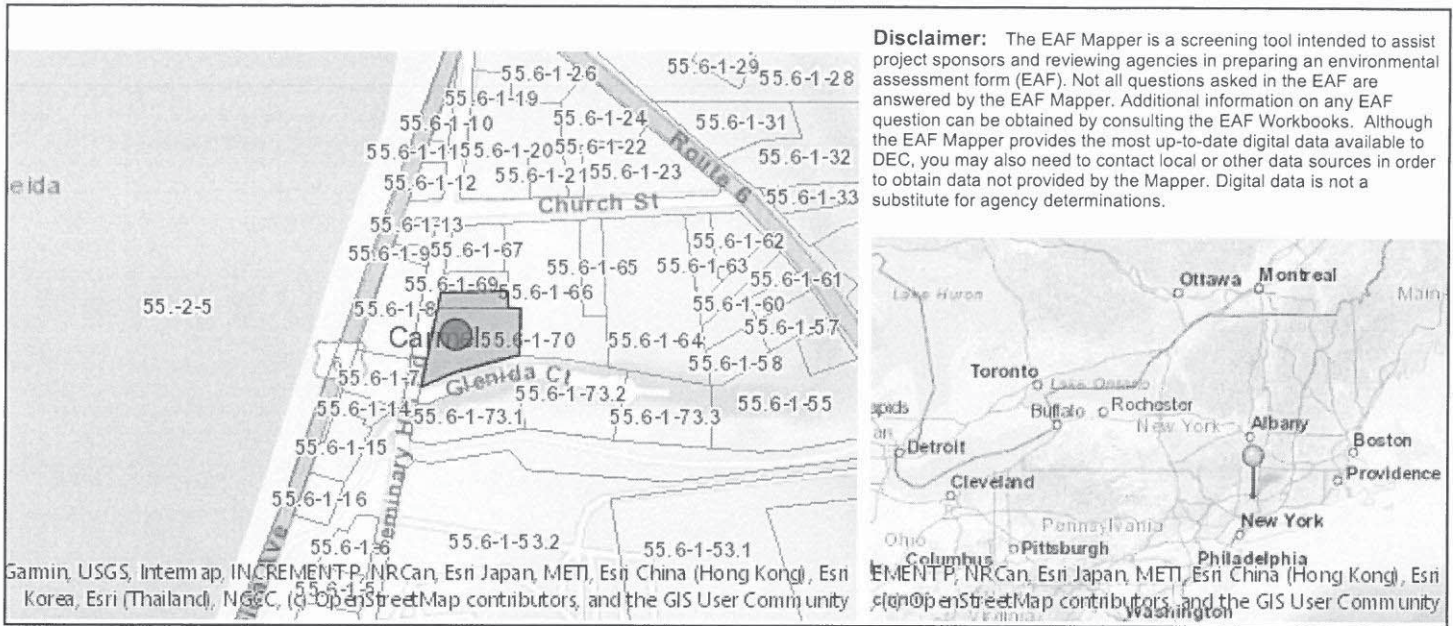
**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>				
Name of Action or Project: TTSHR, LLC PROPERTY				
Project Location (describe, and attach a location map): 25 & 27 SEMINARY HILL ROAD, CARMEL, NY				
Brief Description of Proposed Action: The complex has been in existence since the 1960's. Currently there are eleven units which date back from the early 1960's and a residential unit above the former commercial building which has been in existnace since 1971. Applicant seeks to legalize the twelve units and merge the two lots into one lot.				
Name of Applicant or Sponsor: TTSHR, LLC		Telephone: 845 225 7500 E-Mail: wslaw@shillinglegal.com		
Address: 418 Broadway				
City/PO: Albany		State: NY	Zip Code: 12207	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		_____ 1.12 acres		
b. Total acreage to be physically disturbed?		_____ 0 acres		
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ 1.12 acres		
4. Check all land uses that occur on, are adjoining or near the proposed action:				
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)				
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):				
<input type="checkbox"/> Parkland				

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies:			
_____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
_____			
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
_____			
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
_____			
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____			
_____			
_____			

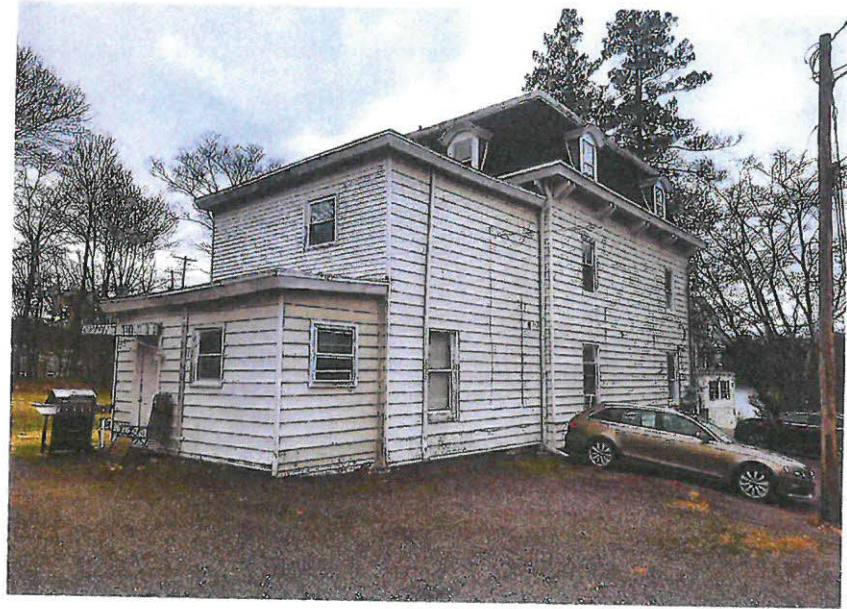
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? Northern Long-eared Bat	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	<input type="checkbox"/>	<input checked="" type="checkbox"/>
_____ STORM SEWER SYSTEM IN SEMINARY HILL ROAD _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
_____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
_____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
_____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor/name: <u>CHRISTOPHER DIMILIA, TTSHR,LLC</u> Date: <u>DECEMBER 8, 2023</u>		
Signature: _____ Title: <u>OWNER</u>		

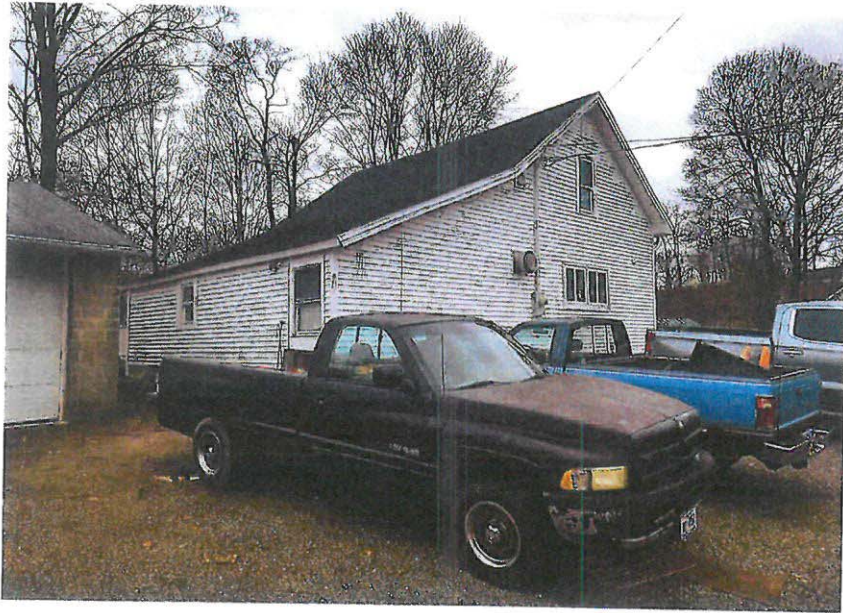


**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

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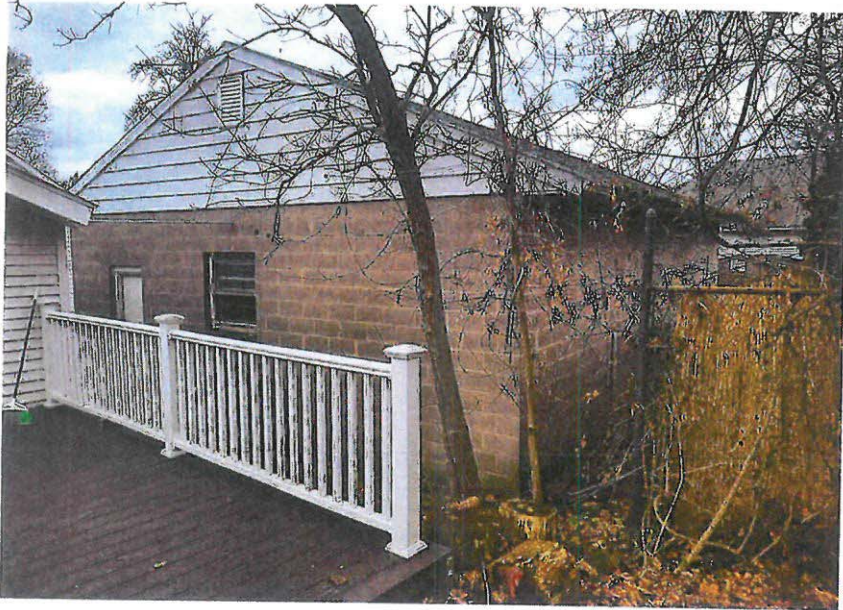
Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Northern Long-eared Bat
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No





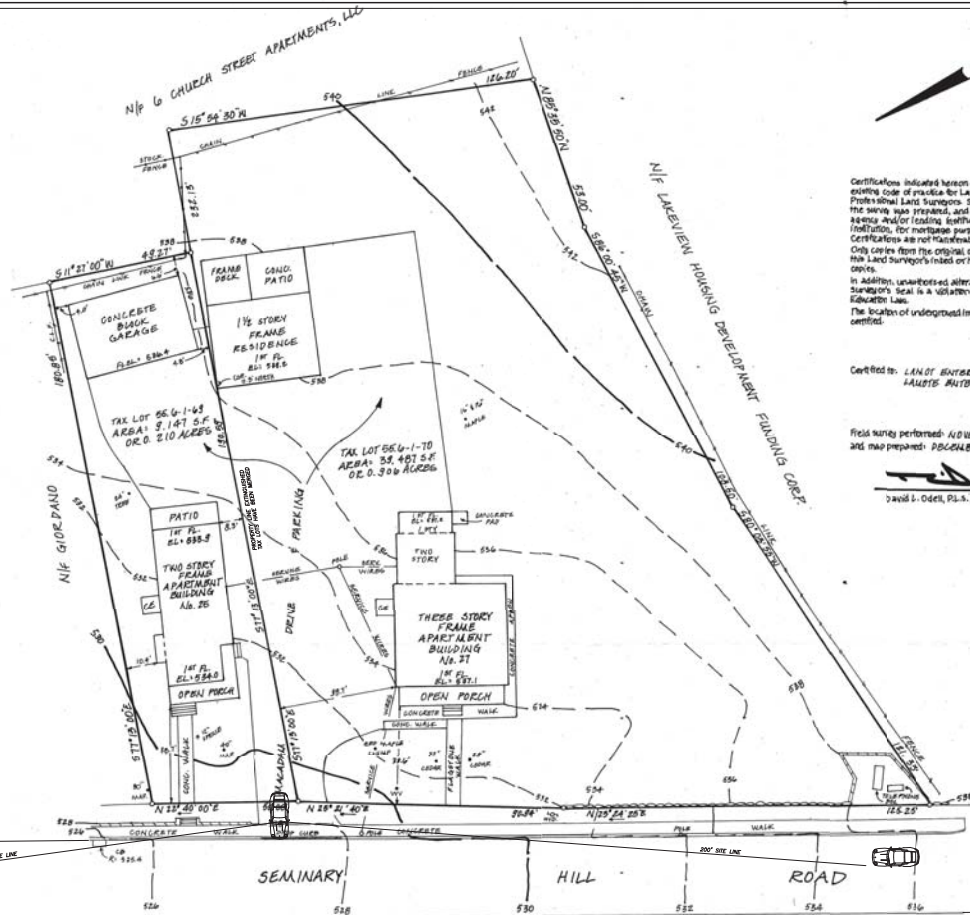
27A





25 A





Certifications indicated herein signify that this survey was prepared in accordance with the existing code of practice for Land Surveys as adopted by the New York State Association of Professional Land Surveyors. Such certifications shall be valid only to the party for whom the survey was prepared, and on that party's behalf to the title company, governmental agency and/or lending institution listed herein, and to the assignee of the lending institution, for mortgage purposes for said party for whom this survey was prepared. Certifications are not maintainable to additional institutions or subsequent owners. Only copies from the original of this survey map bearing the signature and an original of the Land Surveyor's stamp of the profession seal shall be considered to be the valid copies. In addition, unrecorded alterations or additions to a survey map bearing a Licensed Land Surveyor's seal is a violation of Section 2205, Sub-division 2, of the New York State Education Law. The location of underground improvements or encroachments herein, if any exist, are not certified.

Certified to: LAMOT ENTERPRISES, LLC & LAMOTE ENTERPRISES, LLC

Field survey performed: NOVEMBER 2, 2022  
and map prepared: DECEMBER 5, 2022

**D. O. U.**

David L. Odeh, P.L.S., (N.Y. State Licensed Land Surveyor No. 080074)



SURVEY OF PROPERTY  
PREPARED FOR  
**LAMOT ENTERPRISES, LLC**  
&  
**LAMOTE ENTERPRISES, LLC**  
SITUATE IN THE  
TOWN OF CARMEL  
PUTNAM COUNTY, NEW YORK  
SCALE: 1" = 20'

TOPOGRAPHIC SURVEY PREPARED BY DAVID ODEH, P.L.S., DATED NOVEMBER 2, 2022.  
ALTERATION OF THIS DRAWING EXCEPT BY A LICENSED P.E. OR ARCHITECT OR LICENSED LAND SURVEYOR IS ILLEGAL.  
ANY ALTERATION BY A P.E. OR ARCHITECT OR SURVEYOR MUST BE INDICATED AND BEAR HIS SEAL, SIGNATURE AND DATE OF ALTERATION.

No.	DATE	REVISIONS
1	02-10-2023	EXISTING CONDITION PLAN ADDED
2	05-10-2023	REVISIONS
3	2-15-2022	LIGHTING PLAN
4	1-4-2022	SEWER & WATER LINES ADDED
5		

**JOHN KARELL, JR. P.E.**

121 CUSHMAN ROAD  
PATTERSON, NEW YORK 12563

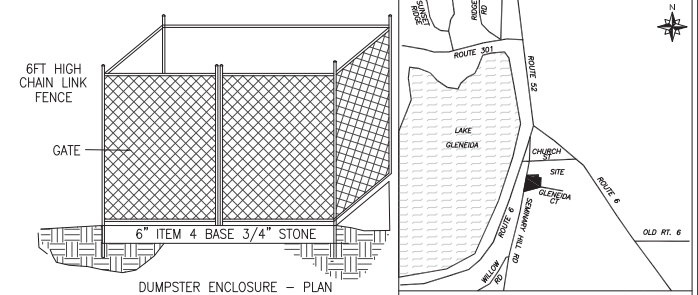
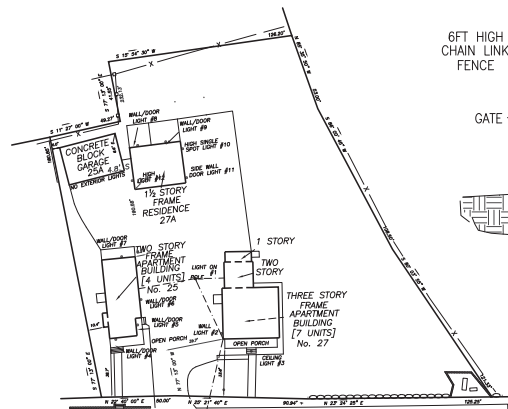
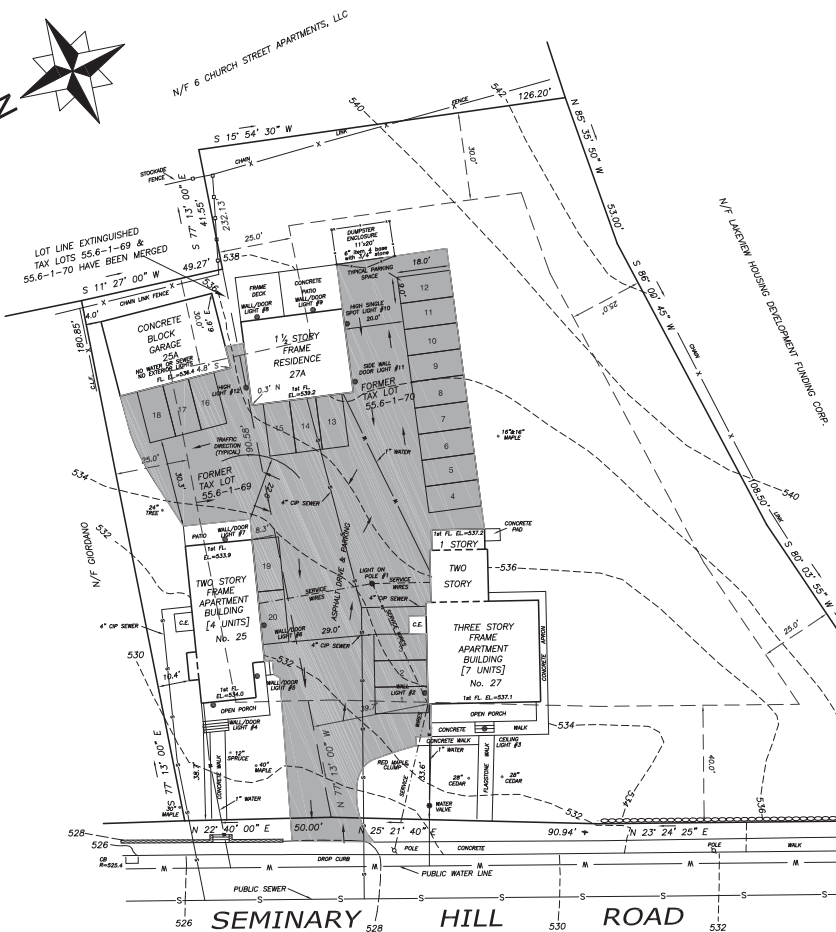
645-675-7856 phone  
645-675-7858 fax  
jokarell@jcarell.com

OWNER:	SCALE:	LATEST REVISION:
TTSHR, LLC 25 & 27 SEMINARY HILL RD CARMEL (T)	1" = 20'	
EXISTING CONDITIONS & SIGHT DISTANCE PLAN	DATED: DECEMBER 7, 2022 TAX MAP: 55.6-1-69 & 70	SHEET No. EC-1



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Land Surveying Company  
121 Cushman Road  
Patterson, NY 12563  
(518) 238-0106

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Unauthorized Publication is a violation of Article 17, Law.



### SEMINARY HILL ROAD

LIGHTING PLAN  
1" = 40'

EXISTING EXTERIOR LIGHTING		
BUILDING	LOCATION	WATTAGE
1	27A	100 W
2	25	100 W
3	27	100 W
4	27A	100 W
5	25	100 W
6	27	100 W
7	27A	100 W
8	25	100 W
9	27	100 W
10	27A	100 W
11	25	100 W
12	27	100 W

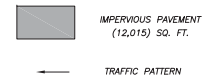
### ZONING SCHEDULE

R - RESIDENTIAL	REQUIRED	PROPOSED
# 25 27 25A 25B	4 APTS 7 APTS 3 APT GARAGE	
MIN LOT AREA (SQ)	40,000	48,524
MIN LOT WIDTH (FT)	200	200.2
MIN LOT DEPTH (FT)	200	226.13
MIN YARD DIMENSIONS (FEET) PRINCIPAL / ACCESSORY		
FRONT	40 40	38.7' 33.6' 140 140
SIDE	20 20	20.4' 21 30 41
REAR	30 30	32 14.0 137 71
MAX BUILDING HEIGHT (FT)	35	22.8 21 38.6 17.6
MIN FRONTAGE (FT)	150	206.28
MIN LOT COVERAGE (%)	30	32

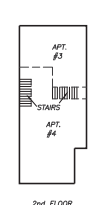
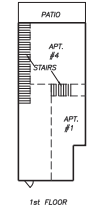
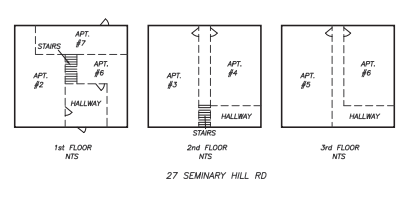
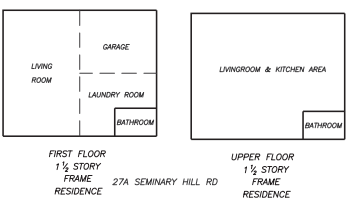
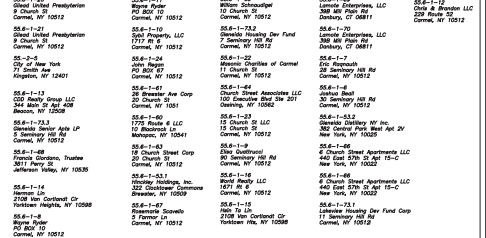
\*variance required  
Parking required, Apartment - Two spaces per apartment, 12 apartments 24 spaces  
Proposed 30 spaces

Lot coverage:  
Building 27 - 2024 SF Building 27A 1912 SF  
Building 25 - 1239 SF Garage 192 SF TOTAL 6258 / 4982 = 12%

### LEGEND



### ADJOINING OWNERS MAP



### INSET NTS

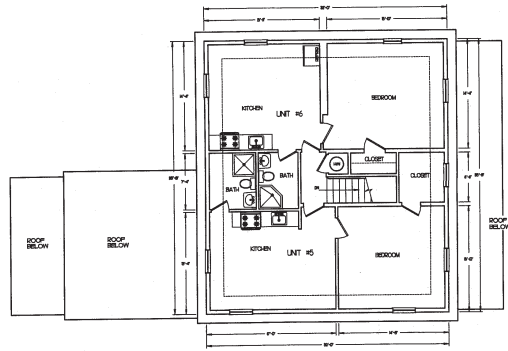
TOPOGRAPHIC SURVEY PREPARED BY DAVID ODELL PLS, DATED NOVEMBER 2, 2022.  
ALTERATION OF THIS DRAWING EXCEPT BY A LICENSED P.E. OR ARCHITECT OR LICENSED LAND SURVEYOR IS ILLEGAL.  
ANY ALTERATION BY A P.E., ARCHITECT OR SURVEYOR MUST BE INDICATED AND BEAR HIS SEAL, SIGNATURE AND DATE OF ALTERATION.

NO.	DATE	DESCRIPTION
1	12-28-2023	ISSUE FOR CONCRETE PLAN (ISSUED)
2	12-28-2023	REV. PERIOD
3	12-28-2023	LETTING PLAN
4	12-28-2023	OWNER'S VARIATION LINES ADDED
5		

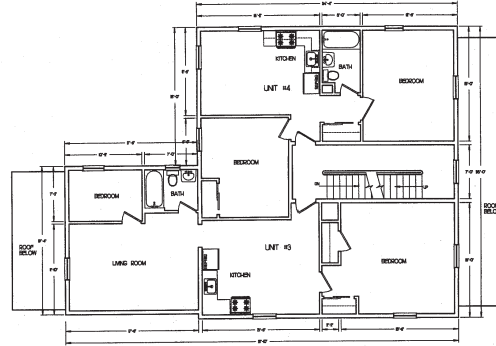
**JOHN KARELL, JR. P.E.**  
121 CUSHMAN ROAD  
PATTERSON, NEW YORK 12563

OWNER:	TTSHR LLC 25 & 27 SEMINARY HILL RD CARMEL (T)	SCALE:	1" = 20'	LATEST REVISION:	
SITE PLAN		DATED:	DECEMBER 7, 2022	TAX MAP:	55.6-1-69 & 70
					SHEET NO. S-1

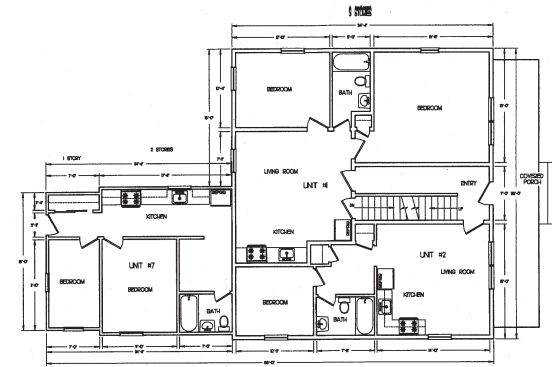




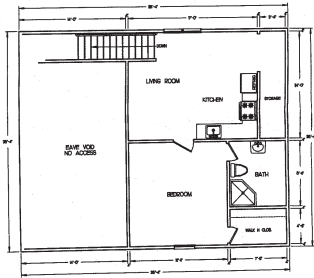
THIRD FLOOR PLAN - 27 SEMINARY



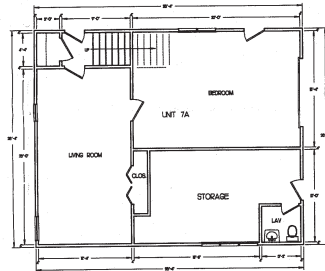
SECOND FLOOR PLAN - 27 SEMINARY



FIRST FLOOR PLAN - 27 SEMINARY

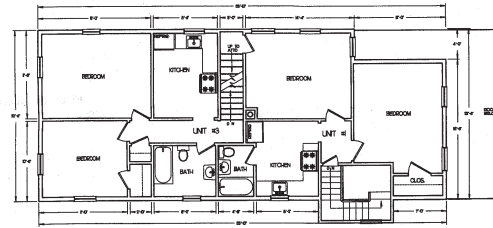


SECOND FLOOR PLAN

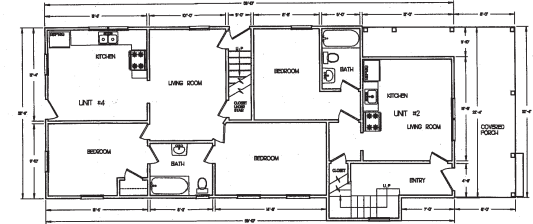


FIRST FLOOR PLAN

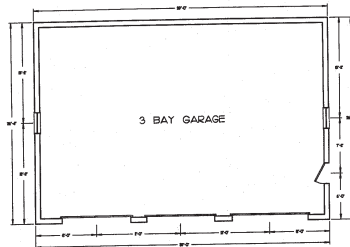
DETACHED ACCESSORY BUILDING



SECOND FLOOR PLAN - 25 SEMINARY



FIRST FLOOR PLAN - 25 SEMINARY



DETACHED GARAGE

MT. BEACON REALTY GROUP, LLC  
 25 & 27 SEMINARY HILL ROAD  
 CARMEL, NEW YORK 10512



NOTE  
 THESE PLANS ARE NOT VALID FOR BUILDING PERMITS OR CONSTRUCTION  
 UNLESS STAMPED AND SIGNED BY A STATE LICENSED ARCHITECT OR ENGINEER.

BOB STROHM DESIGN  
 & CONSTRUCTION, INC.  
 NORTH LAKE BOULEVARD  
 MAHOOPAC, NEW YORK  
 845-628-1423

AS-BUILT FLOOR PLANS  
 MT. BEACON REALTY GROUP, LLC  
 25 & 27 SEMINARY HILL ROAD  
 CARMEL, NEW YORK 10512  
 DEC. 6, 2023 JOB NO. 2543

ENGINEER OF RECORD  
 JOHN KARELL JR. P.E.  
 CUSHMAN ROAD  
 PATTERSON, NEW YORK  
 (845) 878-7894

FLOOR PLANS  
**A1**  
 SCALE 1/8" = 1'-0"



December 20, 2023

Mr. Craig Paepfer, Chairman  
Town of Carmel Planning Board  
60 McAlpin Avenue  
Mahopac, NY 10541

Re: Kass 2 Lot Subdivision  
90 Mexico Lane  
(T) Carmel  
T.M. 53-2-17

Dear Chairman Paepfer and Members of the Board,


The proposal before the Board is to subdivide an existing developed 3.04 acres (132,422.4 s.f.) into two (2) lots. The subdivision would require an area variance for each lot as well as a rear yard setback variance for the existing home which would be on lot #1.

Preliminary soil testing was conducted and a suitable area for a subsurface sanitary treatment system identified for the new lot. There will be a drilled well for potable water. The driveway entrance will be on the west side of the lot and will have a fairly flat slope. There will be cut/fill for the driveway as it will be crossing over the sloped land on the diagonal.

We look forward to presenting the project to the Board for consideration of the subdivision.

Sincerely,

PUTNAM ENGINEERING, PLLC



Paul M. Lynch, P.E.  
PML/rrm

L2154



TOWN OF CARMEL  
**SUBDIVISION  
 APPLICATION  
 INSTRUCTIONS**



The Town of Carmel Planning Board meetings are held twice a month, on the second Thursday and fourth Wednesday, at 7:00 PM at Carmel Town Hall, 60 McAlpin Avenue, Carmel

The submission deadline is 10 days prior to the Planning Board meeting. New subdivision applications that have been deemed complete will be placed on the agenda in the order they are received.

**Pre-Submission:**

Prior to the formal submission of the subdivision, a pre-submission conference may be requested by the applicant to be conducted with representatives from the Town, which may include the Town Planner, Town Engineer, Director of Code Enforcement, Planning Board Attorney. This conference will serve to educate the applicant on the process he/she must follow, clarify the information required to submit a complete subdivision application, and to highlight any specific areas of concern. You may arrange a pre-submission conference through the Planning Board Secretary at (845) 628-1500.

**Submission Requirements:**

At least 10 days prior to the Planning Board meeting, the subdivision application shall be submitted to the Planning Board Secretary as follows:

All subdivisions shall be signed, sealed and folded with the title box legible. The application package shall include:

- 5 copies of the Subdivision Application Form signed and notarized.
- 5 copies of the SEQR Environmental Assessment Form (use of short form or long form shall be determined at pre-submission conference).
- 5 full size sets of the Subdivision Plan
- 1 CD (in pdf. format) containing an electronic version of the Subdivision Plan
- 2 copies of the Disclosure Statement
- 5 copies of the Subdivision Completeness Certification Form
- All supplemental studies, reports, plans and renderings.
- 2 copies of the current deed.
- 2 copies of all easements, covenants and restrictions.
- The appropriate fee, determined from the attached fee schedule. Make checks payable to the *Town of Carmel*.

*Rose Tronchetti* 11/3/24  
 Planning Board Secretary; Date

*[Signature]* 11/24  
 Town Engineer; Date



# TOWN OF CARMEL SUBDIVISION APPLICATION



Per Town of Carmel Code – Section 131 – Subdivision of Land

SITE IDENTIFICATION INFORMATION		
Application Name: <b>KASS SUBDIVISION</b>	Application # <b>24-0001</b>	Date Submitted: <b>11/2/24</b>
Site Address: No. <b>90</b> Street: <b>MEXICO LANE</b> Hamlet:		
Property Location: (Identify landmarks, distance from intersections, etc.)		
Town of Carmel Tax Map Designation: Section <b>53</b> Block <b>2</b> Lot(s) <b>17</b>	Zoning Designation of Site: <b>R-RESIDENTIAL</b>	
Property Deed Recorded in County Clerk's Office Date <b>1/9/2014</b> Liber <b>1941</b> Page <b>277</b>	Liens, Mortgages or other Encumbrances Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Existing Easements Relating to the Site No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Describe and attach copies:	Are Easements Proposed? No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Describe and attach copies:	
Have Property Owners within a 500' Radius of the Site Been Identified? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Attached List to this Application Form		
APPLICANT/OWNER INFORMATION		
Property Owner: <b>AARON KASS</b>	Phone #: <b>914 906 3345</b> Fax#: <b>NA</b>	Email: <b>ask2@comcast.net</b>
Owners Address: No. <b>25</b> Street: <b>E. Carolyn Road</b> Town: <b>CARMEL</b> State: <b>NY</b> Zip: <b>10512</b>		
Applicant (if different than owner):	Phone #: Fax#:	Email:
Applicant Address (if different than owner): No. Street: Town: State: Zip:		
Individual/ Firm Responsible for Preparing Site Plan: <b>POTNAM ENGINEERING P/C</b>	Phone #: <b>279-6789</b> Fax#: <b>NA</b>	Email: <b>plynche@potnameng.com</b>
Address: No. <b>4</b> Street: <b>OLD ROUTE 6</b> Town: <b>BREWSTER</b> State: <b>NY</b> Zip: <b>10509</b>		
Other Representatives:	Phone #: Fax#: <b>NA</b>	Email:
Owners Address: No. Street: Town: State: Zip:		
PROJECT DESCRIPTION		
Describe the project, proposed use and operation thereof:  <b>THE PROPOSAL IS TO SUBDIVIDE A 3.04 AC. LOT WHICH HAS A RESIDENCE AND DRIVEWAY INTO TWO LOTS. THE NEW LOT WOULD BE DEVELOPED FOR A SINGLE FAMILY RESIDENCE. VARIANCES WOULD BE NEEDED FOR LOT AREAS, AS WELL AS A VARIANCE FOR REAR YARD SETBACK FOR THE EXISTING HOUSE.</b>		

## TOWN OF CARMEL SUBDIVISION APPLICATION

The boundary of state or county owned land on which a building is located      Yes:  No:

---

Is the site listed on the State or Federal Register of Historic Place (or substantially contiguous)  
 Yes:  No:

---

Is the site located in a designated floodplain?  
 Yes:  No:

---

Does the site contain freshwater wetlands?  
 Yes:  No:

**Jurisdiction:**  
 NYSDEC:  Town of Carmel:

*If present, the wetlands must be delineated in the field by a Wetland Professional, and survey located on the Site Plan.*

---

Are encroachments in regulated wetlands or wetland buffers proposed?      Yes:  No:

---

Does this application require a referral to the Environmental Conservation Board?      Yes:  No:

---

Does the site contain waterbodies, streams or watercourses?      Yes:  No:

---

Are any encroachments, crossings or alterations proposed?      Yes:  No:

---

Is the site located adjacent to New York City watershed lands?      Yes:  No:

---

Will municipal or private solid waste disposal be utilized?  
 Public:  Private:

---

Has this application been referred to the Fire Department?      Yes:  No:

---

What is the estimated time of construction for the project?

---

**ZONING COMPLIANCE INFORMATION**

Zoning Provision	Required	Existing	Lot 1	Lot 2	Lot 3	Lot 4	Lot 5
Lot Area	120,000		67,953.6	64,466.6			
Lot Coverage	15% max		9.84	6.19			
Lot Width	200'		248.1	267.3			
Front Yard	40'		99	134.5			
Side Yard (minimum of 1)	25'		42.94	43			
Side Yard (total of both)			227.4	120.4			
Rear Yard	40		7.30	74.5			
Habitable Floor Area							
Height	35' max		< 35'	< 35'			

*(if more than 5 lots are proposed, include additional zoning compliance information on a separate sheet)*

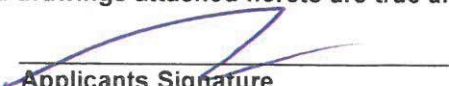
**Will variances be required?**      If yes, identify variances required for each lot:  
 Yes:  No:

---

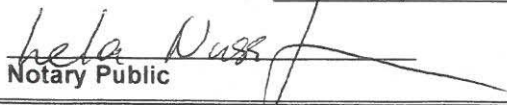
**APPLICANTS ACKNOWLEDGEMENT**

I hereby depose and certify that all the above statements and information, and all statements and information contained in the supporting documents and drawings attached hereto are true and correct.

    Aaron Nass      
 Applicants Name

  
 Applicants Signature

Sworn before me this     21<sup>st</sup>     day of     September     20    23    

  
 Notary Public

Lola Nussbaum  
 01NU6206594  
 Notary Public, State of New York  
 Qualified in Sullivan County  
 My commission expires MAY 26th, 2025



# TOWN OF CARMEL SUBDIVISION COMPLETENESS CERTIFICATION FORM



All Subdivisions submitted to the Planning Board for review shall include the following information and details, as set forth in Section 131-11-14 of the Town of Carmel Subdivision Regulations.

This form shall be included with the subdivision submission

Requirement Data		To Be Completed by the Applicant	Waived by the Town
<b>General Requirements</b>			
1	Key map at a scale of one inch equals 800 feet	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	<input type="checkbox"/>
2	Title block, including title of map; name of subdivision; name, address, seal and signature of professional engineer or land surveyor preparing the plat; written scale; date of original and all revisions.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3	A legend, including, names of all adjacent landowners and those within 500 feet of any property line; zoning district with the requirements of said zone; tax map, block and lot number; names and addresses of owner and subdivider; north point and graphic scale.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4	Location and identification of all zoning district boundaries.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5	Identification of all maps filed in the County Clerk's office affecting properties within 500 feet of the lot to be subdivided.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>Sketch Plan Requirements</b>			
1	All General Requirements	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2	Proposed subdivision layout at a scale of not less than one inch equals 100 feet.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3	All proposed lot lines, dimensions in feet and the areas of all lots in square feet and identifying numbers for each lot.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4	The location of existing and proposed setback lines, streets within 200 feet of the subdivision, buildings, watercourses, railroads and bridges, culverts, drainpipes and any natural features, such as wooded areas and rock formations.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5	Location and size of areas proposed to be reserved for recreation/open space.	<input type="checkbox"/> NONE	<input type="checkbox"/>

*Need*

*Need to show*





# TOWN OF CARMEL SUBDIVISION COMPLETENESS CERTIFICATION FORM



<i>Requirement Data</i>		<i>To Be Completed by the Applicant</i>	<i>Waived by the Town</i>
<b>Preliminary Plat Requirements</b>			
1	All General and Sketch Plan Requirements	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2	The area included in the subdivision, by area of lots, roads, reservations if any, and total acreage.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3	The existing and proposed contours (at an interval of not more than two feet), suitably designated to differentiate, with proposed first-floor elevations of the buildings.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4	Names of existing streets and proposed names of new streets.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5	Preliminary profiles of all proposed roads.	NA <input type="checkbox"/>	<input type="checkbox"/>
6	Location, type and size of curbs, sidewalks and bikeways.	NA <input type="checkbox"/>	<input type="checkbox"/>
7	For subdivisions of five or more lots, front building elevation sketches and distribution of dissimilar building types on the site to avoid excessive similarity of exterior design.	NA <input type="checkbox"/>	<input type="checkbox"/>
8	Plans of proposed utility layouts and all facilities, unsized.	<input type="checkbox"/>	<input type="checkbox"/>
9	The natural flow of surface drainage (indicated with arrows and the final disposal of surface waters); location of existing and proposed watercourses, culverts, bridges, drainpipes, lakes and ponds, detention or retention ponds; tentative location of storm drain inlets with the drainage areas tributary to each outlined and the area shown.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10	Existing or proposed covenants or deed restrictions applying to the site and a preliminary draft of homeowners' association documents, if applicable.	<input type="checkbox"/>	<input type="checkbox"/>
11	A stormwater pollution prevention plan (SWPPP) consistent with the requirements of Article X of Chapter 156 of the Code of the Town of Carmel.	<input type="checkbox"/>	<input type="checkbox"/>
<b>Final Plat Requirements</b>			
1	All General, Sketch and Preliminary Plat Requirements.	<input type="checkbox"/>	<input type="checkbox"/>



# TOWN OF CARMEL SUBDIVISION COMPLETENESS CERTIFICATION FORM



	<i>Requirement Data</i>	<i>To Be Completed by the Applicant</i>	<i>Waived by the Town</i>
2	Dimensions exactly with reference to monuments, bearings, distances in feet, radii, points of curvature and tangency of property lines, lot widths and depths and square feet of each lot.	<input type="checkbox"/>	<input type="checkbox"/>
3	Location of all proposed setback lines on each lot, with corner and irregular-shaped lots identified as to front, side and rear yards.	<input type="checkbox"/>	<input type="checkbox"/>
4	Location of all existing and proposed monuments.	<input type="checkbox"/>	<input type="checkbox"/>
5	All existing streets and streams within the subdivision and within 200 feet of the boundaries thereof, the width of the right-of-way of each street and existing public easements and municipal boundaries within 200 feet of the subdivision.	<input type="checkbox"/>	<input type="checkbox"/>
6	All proposed public easements or rights-of-way and the purposes thereof and proposed streets, identifying right-of-way width and names.	<input type="checkbox"/>	<input type="checkbox"/>
7	All parcels proposed for open space/recreation use, with a statement of the purpose of each.	<input type="checkbox"/>	<input type="checkbox"/>
8	Construction plat, which shall include, in addition to the above: final first-floor elevations of dwellings and outside grades at their corner; proposed curb elevations at all lot corners; all existing structures, including a note indicating those to be removed and yard dimensions of those to remain; plans and profiles and proposed improvements and utility layouts; paving widths and locations, section and profiles; sidewalk widths and locations and sections; road alignment, complete with stations, center line curve data and existing and finished contours of the road and all regraded areas; details of manholes, catch basins, headwalls and any other required structure; locations of all street trees, lights and signs; maximum anticipated extent of the areas of cuts and fills where grade	<input type="checkbox"/>	<input type="checkbox"/>

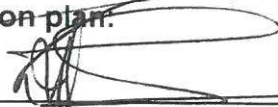


# TOWN OF CARMEL SUBDIVISION COMPLETENESS CERTIFICATION FORM



Requirement Data	To Be Completed by the Applicant	Waived by the Town
changes are proposed; the natural flow of surface drainage and the final disposal of surface waters; slopes of banks of all watercourses, if defined, and boundaries of floodplains; specifications, locations, profiles and detailed cross sections of the proposed storm drains, including all inlets and size of the drainage area of the streets, including grades and all other improvements.	<input type="checkbox"/>	
9 Final copy of the homeowners' association documents, if applicable.	<input type="checkbox"/>	<input type="checkbox"/>
10 Deeds for land to be dedicated for road widening, recreation or other purposes.	<input type="checkbox"/>	<input type="checkbox"/>
11 Erosion control standards.	<input type="checkbox"/>	<input type="checkbox"/>
12 A stormwater pollution prevention plan (SWPPP) consistent with the requirements of Article X of Chapter 156 of the Code of the Town of Carmel and with the terms of preliminary plan approval.	<input type="checkbox"/>	<input type="checkbox"/>

-----  
**Applicants Certification (to be completed by the licensed professional preparing the subdivision plan:**

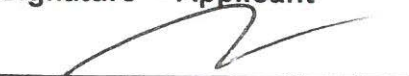
I,  hereby certify that the site plan to which I have attached my seal and signature, meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:

  
 Signature - Applicant

9/20/23  
 Date



Professionals Seal

  
 Signature - Owner

9/20/23  
 Date



TOWN OF CARMEL  
**SUBDIVISION COMPLETENESS  
 CERTIFICATION FORM**



-----  
 Town Certification (to be completed by the Town)

I \_\_\_\_\_ hereby confirm that the site plan meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:

Rose Grimaldi  
 Signature - Planning Board Secretary

1/3/24  
 Date

[Signature]  
 Signature - Town Engineer

1/4/24  
 Date

# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>			
Name of Action or Project: Kass 2 Lot Subdivision			
Project Location (describe, and attach a location map): 90 Mexico Lane			
Brief Description of Proposed Action: Subdivide an existing developed 3.04 acre site into 2 lots and constructing a single family residence on the undeveloped lot.			
Name of Applicant or Sponsor: Aaron Kass		Telephone: 914 906 3345	
Address: 25 Carolan way E		E-Mail: ask2@comcast.net	
City/PO: Carmel		State: New York	Zip Code: 10512
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Carmel Zoning Board, Carmel ECB, Putnam County Health Department, NYC DEP			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		3.04 acres	
b. Total acreage to be physically disturbed?		0.85 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		3.04 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): NYS DEC Regulated Wetlands			
<input type="checkbox"/> Parkland			

		NO	YES	N/A
5. Is the proposed action,	a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ On site well will be drilled		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ On site subsurface sanitary treatment system		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____				

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:


Shoreline    Forest    Agricultural/grasslands    Early mid-successional

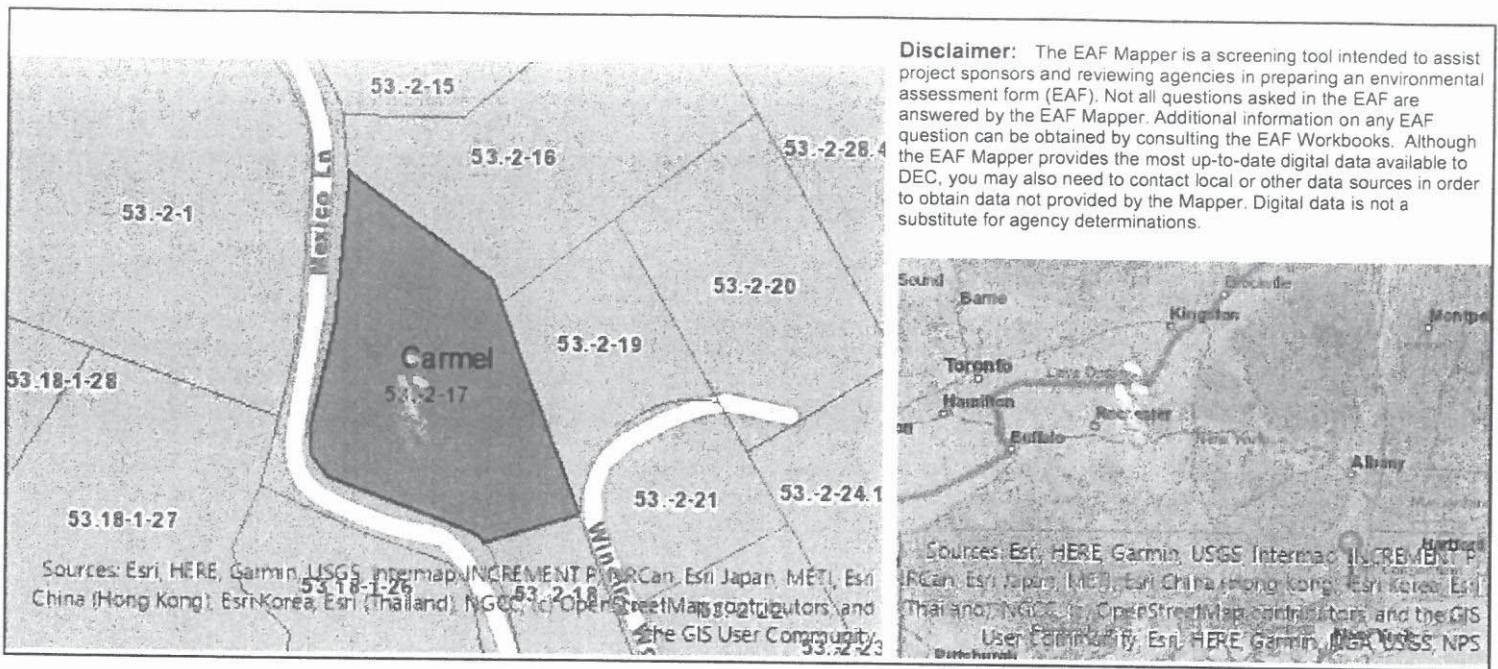
Wetland    Urban    Suburban

15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? Northern Long-eared Bat	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Town of Carmel drainage collection system in place in Mexico Lane		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE**

Applicant/sponsor/name: Paul M. Lynch, P.E. Date: 12/27/2023

Signature:  Title: Principal Engineer



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Northern Long-eared Bat
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No





# Environmental Resource Mapper

Map: **Topographical**

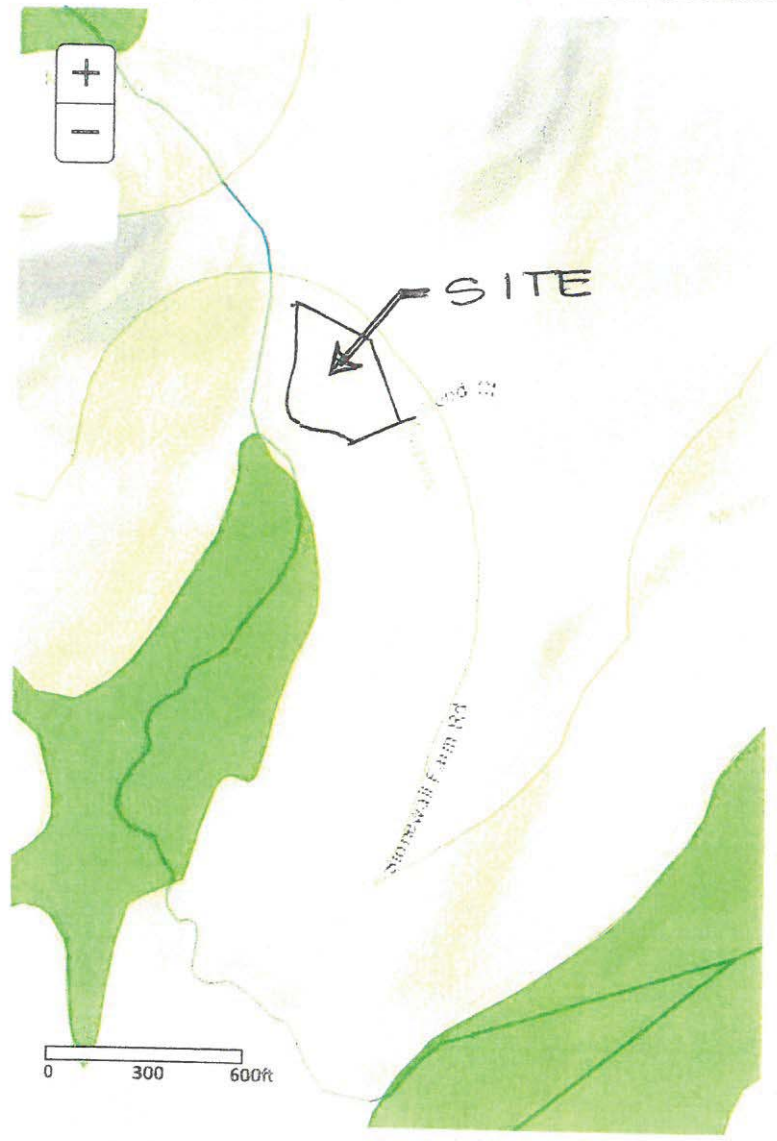
[Using this map](#)

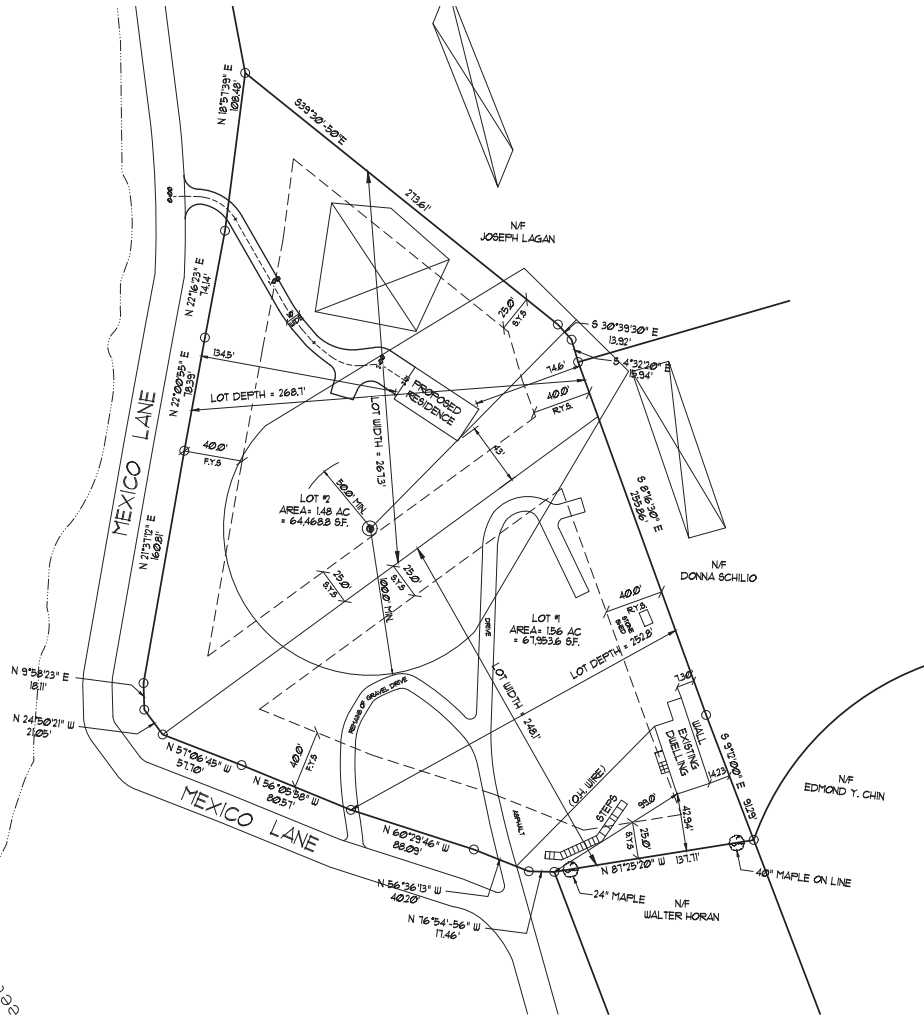
Search

Tools

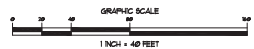
## Layers and Legend

- All Layers
  - ★ Unique Geological Features
  - Waterbody Classifications for Rivers/Streams
  - Waterbody Classifications for Lakes
  - Waterbody Inventory/Priority Waterbodies List
    - Lakes and Reservoirs
    - Estuaries
    - Rivers and Streams
    - Shorelines
  - State Regulated Freshwater Wetlands
- Other Wetland Layers
- Reference Layers
- Tell Me More...
- Need A Permit?
- Contacts

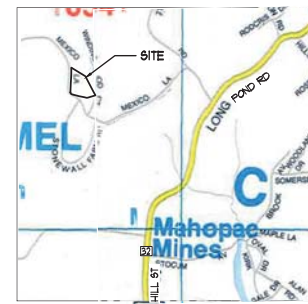




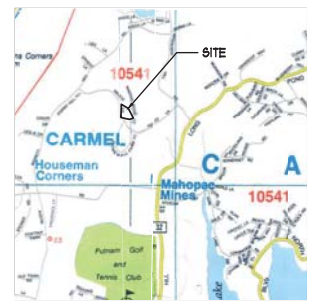
**SKETCH SUBDIVISION MAP**



- LEGEND**
- PERCOLATION TEST HOLE
  - ⊙ DEEP TEST HOLE
  - ⊕ EXISTING WELL
  - ⊞ SOIL GROUP
  - ⊘ STONE WALL
  - ⋯ WATERCOURSE



**AREA MAP**  
SCALE 1"=1000'



**LOCATION MAP**  
SCALE 1"=2000'

**ADJOINERS:**

TAX MAP #	OWNER	TAX MAP #	OWNER
93B-1-24	HIGHT, RICHARD	93-2-5	LARA, JEAN PAUL
93B-1-25	FORTESSANO, CHRISTOPHER	93-2-16	DIAMOND, COREY
93B-1-26	ZANE, GLEN	93-2-18	DIAMOND, LUIANE
93B-1-27	ZANE, MADELINE	93-2-20	HORAN, WALTER
93B-1-28	GRANGER, CHRISTOPHER	93-2-22	HORAN, SHARON
93-1-1	GRANGER, DANETTE	93-2-23	GARRELLA, RICHARD
93-1-2	CORBELLI, ALBERT	93-2-24	REVOCABLE TRUST
93-1-3	CORBELLI, BLAINE	93-2-21	CHN, EDMOND Y.
93-1-4	MERYAGALLA, MANIRA MALTI	93-2-22	TAN, KET LUN
93-1-5	MERYAGALLA, VANINA DEEMPA	93-2-22	KAMBER, KAREN B.
93-1-6	FORTESSANO, CHRISTOPHER	93-2-23	KAMBER, STEVEN G.
93-1-7	WOOLLEY, ERIC M.	93-2-23	UCCI, TONY M.
93-1-8	WOOLLEY, ERIC M.	93-2-24	UCCI, LOUIANE J.
93-1-9	WOOLLEY, ERIC M.	93-2-24	GALLICCHIO, ALAN A.

**ZONING SCHEDULE**

R - RESIDENTIAL	REQUIRED	LOT 1	LOT 2
MIN LOT DIMENSIONS			
MIN AREA (SQ. FT.)	100,000	61,953.6*	64,468.8*
MIN WIDTH (FT.)	250	240	243
MIN DEPTH (FT.)	200	202.8	204.1
MIN YARD DIMENSIONS			
FRONT (FT.)	40	35	34.0
SIDE (FT.)	25	42.94	43
REAR (FT.)	40	13.0	14.9
MAX HEIGHT OF BUILDING (FT.)	35	35	35
MAX LOT COVERAGE (%)	5	9.84	6.78
MIN ROAD FRONTAGE (FT.)	100	284.00	460.00

CODE	REQUIRED	WILL EXIST	VARIANCE REQUESTED
LOT 1 AREA -	100,000 SQ. FT.	61,953.6 SQ. FT.	32,046.4 SQ. FT.
LOT 2 AREA -	100,000 SQ. FT.	64,468.8 SQ. FT.	35,531.2 SQ. FT.

**TABLE OF AREAS:**

LOT 1:	61,953.6 SF.	1.56 AC
LOT 2:	64,468.8 SF.	1.48 AC
TOTAL SITE:	132,422.4 SF.	3.04 AC
AREA		
LOT 1 NEEDS REAR YARD SETBACK VARIANCE OF 32.70 FEET.		

**SUBDIVISION PLAN NOTES:**

- OWNER/APPLICANT: AARON KASS  
25 CAROLAN ROAD EAST  
CARMEL, NY 10503  
PROJECT LOCATION: 90 MEXICO LANE  
TOWN OF CARMEL  
TAX MAP 93-2-11
- TOPOGRAPHIC AND BOUNDARY INFORMATION BASED UPON A SURVEY KNOWN AS SURVEY OF PROPERTY PREPARED FOR ALBERT F. HELLER HONORARIUM PREPARED BY RICHARD H. GORR, P.L.A. DATED JANUARY 28, 1980.
- LOT AREA: 132,422.4 SF. (3.04 ACRES)  
NUMBER OF PROPOSED LOTS: 2
- VERTICAL DATUM: 3 FOOT CANTONMENT INTERVAL, NAVD 88 (NORTH AMERICAN VERTICAL DATUM 1988).
- THERE ARE NO WATERCOURSES, WETLANDS OR FLOODPLAINS WITHIN 500 FEET EXCEPT AS NOTED.
- THE APPLICANT SHALL NOTIFY THE TOWN OF CARMEL, ENGINEERING DEPARTMENT AT LEAST 3 DAYS PRIOR TO THE COMMENCEMENT OF ANY WORK ON THE SITE. CONTACT NUMBER IS 845-632-5500, EXTENSION 10.
- PROPOSED LOTS ARE TO BE SERVED BY ON SITE DRILLED WELLS AND INDIVIDUAL SUB SURFACE SANITARY TREATMENT SYSTEMS.
- ALL PROPOSED UTILITIES FROM THE LAST EXISTING POLE ON SITE SHALL BE INSTALLED UNDERGROUND AND IN CONFORMANCE WITH THE UTILITY COMPANY AND TOWN REQUIREMENTS.
- THERE ARE NO AREAS TO BE RESERVED FOR RECREATION OPEN SPACE.

**OWNER/APPLICANT APPROVAL**

THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THESE DRAWINGS, THEIR CONTENTS AND THEIR LEGENDS AND HEREBY CONSENTS TO ALL THEIR SAID TERMS AND CONDITIONS AS STATED HEREON. FURTHER, THE OWNER CONSENTS TO THE FILING OF THIS MAP.

SIGNED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

**PLANNING BOARD APPROVAL**

APPROVAL HEREBY GRANTED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ IF BUILDING PERMIT IS NOT ISSUED WITHIN 12 MONTHS FROM THE ABOVE DATE, THE APPROVAL BECOMES NULL AND VOID.

TOWN OF CARMEL PLANNING BOARD  
SIGNED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BY

CHAIRMAN \_\_\_\_\_



4 OLD ROUTE 6, BREWSTER, NEW YORK 10509  
(845) 275-6159 FAX (845) 275-6165  
FUTNAM ENGINEERING PLLC 2003

PURSUANT TO NEW YORK STATE EDUCATION LAW, ARTICLE 148, SECTION 7209 SUBDIVISION 2, "IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ENGINEER IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL, AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

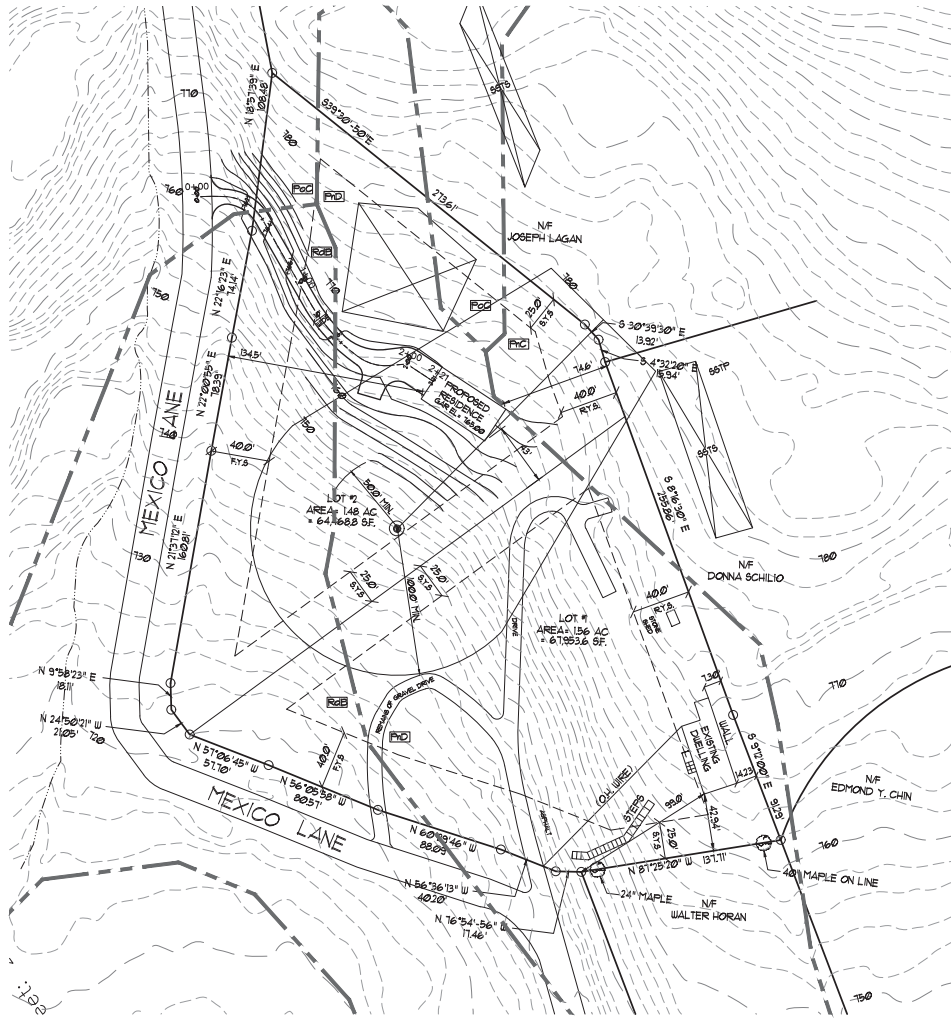
REVISIONS		PROJECT	
NO.	DATE	NO.	DATE

PLAN PREPARED FOR:  
**AARON KASS**  
90 MEXICO LANE  
TOWN OF CARMEL  
FUTNAM COUNTY, NEW YORK  
TAX MAP NO. 93, BLOCK 2, LOT 11

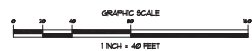
DATE	31 AUG 2003
PROJECT MANAGER	PML
DRAWN BY	PHK
CHECKED BY	PML
SCALE	AS NOTED

**SKETCH SUBDIVISION MAP**

PROJECT NUMBER	8443
DRAWING NUMBER	C-110
SHEET	1 of 2

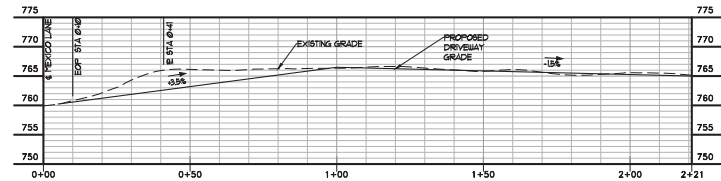


**GRADING PLAN**



**LEGEND**

- P PERCOLATION TEST HOLE
- D DEEP TEST HOLE
- E EXISTING WELL
- SOIL GROUP
- STONE WALL
- WATERCOURSE
- — — — — EXISTING GRADE
- (---) — — — — — PROPOSED GRADE



**DRIVEWAY PROFILE**

SCALE:  
VERT. 1"=10'  
HORIZ. 1"=20'

**SOILS LEGEND**

SOIL SYMBOL	SOIL GROUP	SOIL NAME
PKC	C	PAXTON FINE SANDY LOAM, 8 TO 9 PERCENT SLOPES
PKD	C	PAXTON FINE SANDY LOAM, 9 TO 10 PERCENT SLOPES
PKC	C	PAXTON FINE SANDY LOAM, 8 TO 9 PERCENT SLOPES, VERY STONE
RUB	D	REDGURBY COMPLEX, 3 TO 8 PERCENT SLOPES

NOTE: APPROXIMATE LIFTS OF SOIL TYPES TAKEN FROM RECONNAISSANCE GEOTECHNOLOGY



4 OLD ROUTE 6, BREWSTER, NEW YORK 12509  
(845) 279-6189 FAX (845) 279-6169  
PUTNAM ENGINEERING PLLC 2003

PURSUANT TO NEW YORK STATE EDUCATION LAW, ARTICLE 148, SECTION 7209 SUBSECTION 2, IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ENGINEER IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL, AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

REVISIONS		PROJECT	
NO.	DATE	DESCRIPTION	DATE

PLAN PREPARED FOR:  
**AARON KASS**  
90 MEXICO LANE  
TOWN OF CARMEL  
PUTNAM COUNTY, NEW YORK  
TAX MAP No. 93, BLOCK 2, LOT 11

DATE: 31 JUL 2003  
PROJECT MANAGER: PML  
DRAWN BY: JPK  
CHECKED BY: PML  
SCALE: AS NOTED

GRADING PLAN & PROFILE  
SKETCH SUBDIVISION MAP

PROJECT NUMBER: 844J  
DRAWING NUMBER: C-120  
SHEET 2 OF 2



December 14, 2023

Town of Carmel Planning Board  
60 McAlpin Avenue  
Mahopac, New York 10541

RE: G&F Subdivision  
Gateway Drive

Dear Chairman Paepre and Members of the Board:

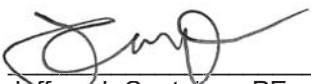
In support of the applicant's request a bond reduction it is understood that the Town requires a minimum of 20% of the original bond to remain or \$320,000.00, please find the bond values apportioned to the items yet to be completed for the above noted project:

- Paving Top Course: \$60,000.00
- Guiderail: \$80,000.00
- Sidewalk: \$80,000.00
- Stomwater basin conversion: \$65,000.00
- Landscaping: \$35,000.00

Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

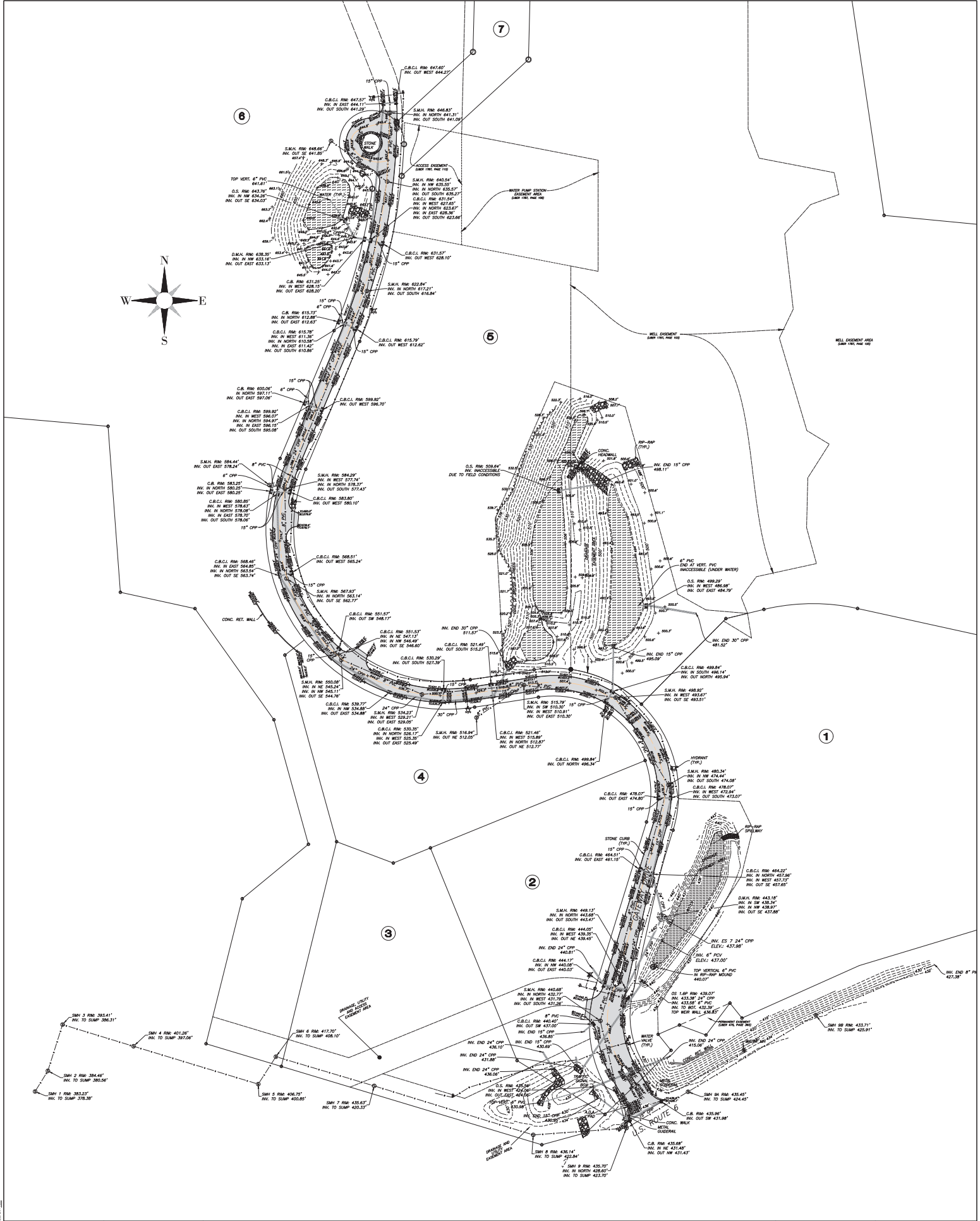
INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:   
\_\_\_\_\_  
Jeffrey J. Contelmo, PE  
Senior Principal Engineer

JJC/dlm

cc: Paul Camarda, CRI

Insite File No. 04232.100



PREPARED BY THE OFFICE OF:  
**TERRY BERGENDORFF COLLINS**  
 12 EMMERSON ROAD  
 WESTFIELD, NY 12090  
 518.479.2257 FAX 518.479.2259  
 WWW.TERRYBERGENDORFFCOLLINS.COM

ROAD & DRAINAGE AS-BUILT  
 PREPARED FOR  
**GATEWAY/FAIRWAY**  
**SUBDIVISION**  
 A PORTION OF  
 GATEWAY DRIVE  
 WITHIN THE TOWN OF PUTNAM CO., N.Y.  
 SCALE: 1" = 50'  
 DATE: SEPTEMBER 15, 2023  
 COPYRIGHT © 2023 TERRY BERGENDORFF COLLINS, ALL RIGHTS RESERVED

REVISIONS	
DATE	DESCRIPTION
12/26/23	ADDITIONAL AS-BUILT
12/26/23	FORCES PER COMMENT

THE ALTERATION OF SURVEY MADE BY ANYONE OTHER THAN THE SURVEYOR PROVIDED IN THE GENERAL AGREEMENT, CONSTITUTES FRAUD IN THE GENERAL PRACTICE OF SURVEYING AND IS PROHIBITED BY LAW. THE SURVEYOR'S LIABILITY IS LIMITED TO THE ACCURACY OF THE SURVEY DATA PROVIDED BY THE CLIENT. THE SURVEYOR DOES NOT WARRANT THE ACCURACY OF ANY DATA PROVIDED BY THE CLIENT OR ANY DATA OBTAINED FROM ANY SOURCE OTHER THAN THE SURVEYOR'S FIELD NOTES. THE SURVEYOR'S LIABILITY IS LIMITED TO THE ACCURACY OF THE SURVEY DATA PROVIDED BY THE CLIENT. THE SURVEYOR DOES NOT WARRANT THE ACCURACY OF ANY DATA PROVIDED BY THE CLIENT OR ANY DATA OBTAINED FROM ANY SOURCE OTHER THAN THE SURVEYOR'S FIELD NOTES.

**ALFRED A. CAPPELLI, JR.  
ARCHITECT  
23 DIDDELL ROAD  
WAPPINGERS FALLS, NY 12590**

---

**Telephone: 845-632-6500  
Fax: 845-632-6499  
Email: [acappe2102@aol.com](mailto:acappe2102@aol.com)**

Sept. 26, 2023

Town of Carmel Planning Board  
60 McAlpin Ave.  
Mahopac NY

Attn: Chairman Paepre & Planning Board Members

Re: Zakon Project Completion  
Rt. 6 & Nicole Way  
Full Bond Return

Dear Chairman Paepre & Planning Board Members,

The applicant, Joe Zakon, would like to discuss at your next available planning board agenda the arrangement of a final site inspection to have the balance of the bond reduced to zero as the work is now 100% complete.

If you need additional information, please do not hesitate to reach out to our office. Thank you in advance for your time and consideration.

Very truly yours,

Alfred A. Cappelli, Jr.  
Architect

AAC/dc

ZAKON, NICOLE WAY  
 PERFORMANCE BOND  
 FULL BOND RETURN

SEPTEMBER 27, 2023

ITEM	TOTAL ORIGINAL AMOUNT	PERCENTAGE COMPLETED	VALUE COMPLETED	BALANCE TO COMPLETE
<b>EROSION CONTROLS</b>				
Silt fence	\$ 660.00	100%	\$ 660.00	0
Orange const. fence	\$ 1,167.00	100%	\$ 1,167.00	0
Erosion blankets	\$ 7,150.00	100%	\$ 7,150.00	0
Soil stockpile stabilization	\$ 1,500.00	100%	\$ 1,500.00	0
Stabilized const. entrance	\$ 1,500.00	100%	\$ 1,500.00	0
<b>EARTHWORK</b>				
Clear & grub	\$ 4,800.00	100%	\$ 4,800.00	0
Retaining walls (exposed face)	\$41,250.00	100%	\$41,250.00	0
Cut/export	\$69,875.00	100%	\$69,875.00	0
<b>DRAINAGE</b>				
8" perforated PVC	\$ 2,720.00	100%	\$ 2,720.00	0
15" HDPE	\$ 2,090.00	100%	\$ 2,090.00	0
Catch basins	\$ 2,500.00	100%	\$ 2,500.00	0
<b>CURBING</b>				
Curbing	\$ 9,900.00	100%	\$ 9,900.00	0
<b>TRAFFIC AREA</b>				
15" item #4 base	\$15,155.00	100%	\$15,155.00	0
2 ½" asphalt binder course	\$16,060.00	100%	\$16,060.00	0
2" asphalt top course	\$12,430.00	100%	\$12,430.00	0
Gravel storage area	\$ 2,478.00	100%	\$ 2,478.00	0
Porous pavement gravel base	\$ 9,345.00	100%	\$ 9,345.00	0
Porous pavement	\$ 7,144.00	100%	\$ 7,144.00	0
Pole lighting	\$12,500.00	100%	\$12,250.00	0
<b>PAVEMENT MARKINGS</b>				
4" epoxy striping	\$ 1,740.00	100%	\$ 1,740.00	0
<b>FENCING</b>				
Privacy fence	\$ 2,250.00	100%	\$ 2,250.00	0

ITEM	TOTAL ORIGINAL AMOUNT	PERCENTAGE COMPLETED	VALUE	BALANCE
<b>SIGNAGE</b>				
Traffic control signs	\$ 225.00	100%	\$ 225.00	0
<b>LANDSCAPING</b>				
Trees	\$ 2,208.00	100%	\$ 2,208.00	0
Shrubs	\$ 500.00	100%	\$ 500.00	0
Seed & mulch	\$ 3,125.00	100%	\$ 3,125.00	0
<b>SUB-TOTAL</b>	<b>\$230,022.00</b>	<b>100%</b>	<b>\$230,022.00</b>	<b>0</b>
CONTINGENCIES (5%)	\$11,501.10			
<b>TOTAL</b>	<b>\$241,523.10</b>	<b>(TOTAL COMPLETED TO DATE)</b>		
PREVIOUS BOND REDUCTION BALANCE FROM FEBRUARY 2023			\$97,667.10	



**JOHN KARELL, JR., P.E.**  
**121 CUSHMAN ROAD**  
**PATTERSON, NEW YORK, 12563**  
845-878-7894 FAX 845 878 4939  
[jack4911@yahoo.com](mailto:jack4911@yahoo.com)

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December 12, 2023

To: Town of Carmel Planning Board  
Richard Franzetti, P.E., Town Engineer

Re: Grading Plan Approval  
Fabian Pani 112 Stillwater Road Carmel (T)

Attached please find the following relative to the above captioned application:

1. Revised plan dated December 10, 2023.
2. SWPPP including Construction Sequence
3. NOI
4. Emails from Sarah Pawliczak, NYSDEC dated September 13, 2023 and November 15, 2023
5. Letter report by HydroEnvironmental Solutions, Inc. dated October 27, 2023

Plans and documents have been revised in accordance with comment letter from Richard Franzetti, P.E. dated July 5, 2023, as follows:

1. Legend provided.
2. SWPPP attached
3. Construction sequence is included in the SWPPP and on the plans.
4. Note relative to fill certification is contained in the SWPPP and on the plans.
5.
  - a. The area of the rear yard is relatively flat and remain so. The minor grading of the rear yard will not result in any changes to drainage patterns, nor will the minor grading result in any adverse conditions to adjacent properties. The rear yard will be topsoiled and seeded to grow a normal stand or grass on a residential property.
  - b. The wetland flagging on the property to the rear has been shown on the plans.
6. Minor grading is proposed and shown on the plan.
7. Erosion control measures, silt fencing, are shown on the plan along with a silt fence detail

Very truly yours,

John Karell, Jr., P.E.

Fabian Pani 112 Stillwater Road  
Carmel (T)  
SEQUENCE OF CONSTRUCTION

The following are sequence and methods for removal of contaminated fill and leveling of the rear yard on property owned by Fabian Pani, 112 Stillwater Road, Carmel (T), Putnam County, New York. Erosion and sediment control measures are incorporated into the construction program. Construction of this project will be in one phase.

Proposed erosion and sediment control methods are found on the Site Plan. The erosion controls are designed in accordance with the State of New York, "Guidelines for Urban Erosion and Sediment Control". The project is expected to start in the Spring of 2024 and continue over a 1 week period.

**A. General Construction Notes**

1. The site shall be disturbed only when and where necessary. Only the smallest practical area of land shall be exposed at any one time during development. When land is exposed, the exposure shall be kept to the shortest practical period of time by immediate stabilization per the stabilization notes, unless specified otherwise. All disturbed areas that are seeded with appropriate seed mixture and procedure are considered stabilized when 80% of the vegetation is achieved.
2. Where ever feasible, natural vegetation shall be retained and protected.
3. The contractor shall inspect all erosion and sediment control devices during all storm events, prior to weekends and prior to all forecasted storm events.
4. The Contractor shall grade and provide stabilization of newly graded and disturbed areas per item 9 of this sequence.

**B. Construction Sequence**

1. Install all erosion control measures.
2. Remove contaminated soil in accordance with the Site Plan
3. Replace clean soil in the areas where the contaminated soil was removed. The NYCDEP must be notified prior to any work being performed on this property.
4. All fill brought to the site must be certified per NYSDEC regulations and manifests/certification of the fill material being delivered must be provided.
5. Level the rear yard for a childs play area.
6. Topsoil, seed and mulch all disturbed areas in accordance with the stabilization notes.
7. Remove all temporary erosion control measures. Restore/backfill to final grade and provide stabilization is necessary.
8. Contractor to perform final site clean up and dispose of all debris properly.

**9. STABILIZATION NOTES**

- A. Grade to finished slopes
- B. Soils shall be scarified.
- C. Topsoil with not less than four inches of suitable topsoil material
- D. Seed as follows:

Spring/Fall Planting: Kentucky bluegrass	5
Creeping Red Fescue	15
Perennial Ryegrass	5
Annual Ryegrass	5

Temporary Summer Planting  
Perennial Rye 30

All above units in lbs/ac

## CONTAMINATED SOIL REMOVAL NOTES

1. Silt fencing must be in place before any work is performed in removing the contaminated soil in the two areas.
2. A small excavator must be used to dig out the contaminated soil.
3. The digging will be supervised by the "Engineer John Karell, Jr., P.E. or any other licensed professional engineer.
4. The NYCDEP, NYSDEC and Town of Carmel Town Engineer must be given 5 days notice of the proposed removal project in order that they may be present during the digging if they wish.
5. The removal work must not be performed within 6 hours of or during a rainfall event or within 6 hours of an expected rainfall event
6. The contaminated soil will be dug out of the ground in the two areas and placed immediately in a small dump vehicle.
7. Contaminated soil will be removed to 6 inches below existing grade in order to assure that contaminants have not migrated into the existing grade. In that case any obvious contaminated soil in the existing grade will be removed from the site. The determination of contaminated soil will be made jointly by the aforementioned governmental officials and this engineer. After the contaminated fill has been removed from both areas any tools used to remove the soil will be cleaned including the bucket of the excavator. They should be hosed down above the soil in the dump vehicle and the bucket to prevent contamination of the existing soils in the yard.
8. After the vehicle is full, the fill in the truck must be covered with a suitable tarpaulin to prevent spillage during transport.
9. The full truck will then be removed from the site to transport the contaminated fill to a certified disposal facility.
10. After the contaminated fill has been removed from both areas and transported off-site the excavator and any tools used to remove the soil will be cleaned.
11. Finally, as soon as possible after the removal project clean fill must be placed in the excavated holes, lightly tamped for settling.
12. The desired minor regrading and leveling of the yard will be performed. 4-6 inches of topsoil applied over the entire regrading and leveling area, seeded and mulched.

**JOHN KARELL, JR., P.E.**  
**121 CUSHMAN ROAD**  
**PATTERSON, NEW YORK, 12563**  
845-878-7894 FAX 845 878 4939  
[jack4911@yahoo.com](mailto:jack4911@yahoo.com)

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**STORMWATER POLLUTION PREVENTION PLAN**  
**EROSION AND SEDIMENT CONTROL**

**Grading Plan Approval**  
**Fabian Pani 112 Stillwater Road**  
**Carmel (T)**

**December 5, 2023**

## **I. INTRODUCTION**

### **1.1. Project background**

The project site is property located at 112 Stillwater Road in the Town of Carmel, Putnam County, New York. The property is identified as tax map # 75.17-1-52. The property presently contains a single family house with a backyard that in 2022 was filled and regraded, served by a drilled well and septic system.

#### **Site Description**

The site is 0.79 acres in size. The previous placement of fill resulted in 13,000 square feet of total disturbance and no new impervious surfaces.

### **1.2. SWPPP Overview**

The purpose of this report is to address Storm Water Pollution Prevention and Management for the proposed removal of contaminated fill, replace the excavation with clean fill in accordance with the notes on the plan. 1. The NYCDEP must be notified prior to any work being performed on this property.

2. All fill brought to the site to replace the contaminated fill areas and leveling must be certified per NYSDEC regulations and manifests/certification of the fill material being delivered must be provided. In accordance with Chapter 103 of the Code of the Town of Carmel entitled Stormwater Management and NYSDEC SPDES General Permit for Storm water Discharges from Construction Activities, General Permit GP-0-20-001 ,because the proposed disturbance for the project exceeds 5,000 square feet, coverage under the General Permit is required, a Notice of Intent (NOI) is required for this project. No SWPPP approval is required by the NYCDEP as the proposed project does not exceed the thresholds for requiring preparation of a SWPPP, nor proposes a regulated impervious surface within the limiting distance of a NYCDEP regulated watercourse or wetland.

Construction will begin immediately after receiving approval from the Town of Carmel Building Department of a SWPPP in accordance with the provisions of the Town Code.

## **II. EXISTING SITE CONDITIONS**

### **2.0 General**

The existing property contains an existing single family house and driveway with a rear yard that has been filled and will be regraded. The property is located on the north side of Stillwater Road.

The topography on the site is relatively flat and will remain in that condition. The subject property is located in the New York City Watershed.

### **2.1 Surface Water**

No lake, pond, wetland or other surface water exists on this property however State wetland ML-10 is located to the north of this property with the 100 foot buffer to the State Wetland on this property. The DEC has indicated that a permit is not required to remove the contaminated soil

and conduct minor grading in the rear yard.

## **2.2 Soils**

### **2.1.1. Hydrologic Soils/NRCS Web Soils Survey**

Soils in the area of disturbance on the property are classified by the United States Department of Agriculture Soil Conservation Service as Ridgebury Complex (RdA) 0-3% and Woodbridge Loam WbA, 3-8% , both hydrologic soil group C. .

The pre developed site consists of a single family house and driveway with lawn a brushland to the rear in the area of the previously placed fill.

### **2.1.2. Site Geotechnical Evaluation**

The web soil survey indicates a rock and groundwater at depths greater than 8 feet.

## **2.3. Groundwater**

Groundwater is expected to be encountered below a depth of 8 feet.

## **2.4. Natural Resources**

No natural resources are contained on the site.

## **2.5. New York State Register of Historic Places Assessment**

There are no Historic places on this property.

## **2.6. Critical Habitat**

There are no critical habitats on this property.

## **2.7. Offsite Drainage**

No changes in drainage patterns are proposed.

## **2.8 Pre-construction Drainage Areas**

See section II.2.0 for preconstruction drainage areas. No changes to pre construction runoff patterns will result from the construction of this project.

## **2.9 Potential sources of pollution**

Potential sources of pollution which may be reasonably expected to affect the quality of stormwater discharges.

- Sediment – all disturbed areas will be stabilized by seeding and mulching of all disturbed areas.

### **III. Stormwater Management, Treatment and Conveyance**

- A. Storm water treatment is not required.
- B. Stormwater conveyance for this project consists of sheet flow onto adjacent lawn areas.

### **IV. Stormwater Management**

Treatment of stormwater is not required.

### **V. Erosion and Sediment Control**

#### **A. Temporary Erosion and Sediment Control Measures**

1. Temporary erosion and sediment control measures in the design of this project are silt fence. The driveway will be utilized as a stabilized construction entrance. The contractor will be responsible for daily sediment cleanup on the driveway, if any. Silt fence are proposed to be installed along the downslope of all areas of disturbance as shown on the site plan, or as determined to be necessary during construction.
2. Runoff will be controlled within the project area. Bare soil areas, disturbed areas, will be seeded and mulched to control possible erosion and slow the velocity of runoff. Such activities shall be initiated by the end of the next business day and completed within 7 days from the date the current soil disturbance activity ceased.
3. Initial grading shall take place to install the sediment control measures. Soil stockpiles shall be stabilized away from any drainage structures or natural drainage paths. Once final grading has been achieved in any area that area shall be seeded and mulched and not redisturbed again.
4. Soil stockpiles must be protected with seeding and/or mulching as soon as possible but no longer than 7 days after ceasing activity. (see item # 2 above)
5. Measures must be in place prior to disturbance of a particular area in order to prevent sediment from traveling off site. This is accomplished on this site by the proper installation of silt fence.
6. Dust shall be controlled to keep the amount of particles/sediment generation by construction activity to a minimum. This will be accomplished by seeding and mulching of disturbed areas and wetting areas prone to airborne dust.
7. All temporary and permanent sediment and erosion control measures must be checked on a weekly basis for functionality and stability. This includes the silt fencing Any bare spots in

areas previously seeded will be reseeded and mulched as soon as necessary. In areas where soil erosion and sedimentation is found to be a problem and measures are not in place, appropriate measures must be installed as required by the supervising engineer.

8. Final grading shall match approximately the cut and fill lines as shown on the plans. This must be accomplished within 7 days of the end of the construction activity unless otherwise specified under the Town or DEC permits. (see item # 2 above)

9. Temporary measures shall not be removed until all disturbed areas protected by such measures are fully and properly stabilized.

10. Permanent non structural measures to remain in place are re-established areas of grass and landscaping within the non impervious areas.

11. Pollution prevention measures that will be utilized to prevent construction debris from becoming a pollutant source include:

...Litter control – refuse containers will be provided on the site for the deposition of any debris. The contractor shall police the site at the end of each day, collect litter and deposit litter in the refuse containers.

...Construction chemicals – all construction chemicals including but not limited to equipment fuels and oils and cleaning solvents shall be stored in appropriate containers and within a locked facility overnight.

Any spills of construction chemicals will be immediately cleaned up in accordance with appropriate procedures.

Any significant spill will be immediately reported to the NYSDEC pursuant to State Regulations, procedures and requirements.

...Construction debris will be collected and placed in roll off containers and disposed off site in at an appropriate disposal facility. (Part III.B.1.j)

## **B. Permanent Erosion Control Measures**

1. Permanent erosion control measures employed in the design of the project include stabilization of all disturbed areas with grass.

## **VI. Inspection & Maintenance of Stormwater and Erosion Control Measures**

### **A. Inspection and Reporting Requirements**

All erosion control measures are to be inspected weekly. In the case of a rain event, measures



must be checked immediately after. Inspections shall be made by a qualified professional and reports will be kept on site in a dedicated mailbox labeled, "Stormwater Documents".

## **B. Responsibilities**

The project contractor and/or subcontractors shall be responsible to install, construct, repair, replace, inspect and maintain the temporary erosion and sediment control practices included in the SWPPP. The project contractor/subcontractor shall be responsible for constructing the post construction storm water management practices included in the SWPPP. Such measures will be maintained by the project contractor/subcontractor during the entire construction period.

Permanent measures will be maintained by the owner of the property.  
(Part III.A.6) (Part IV)

Developer:

Fabian Pani  
112 Stillwater Road  
Mahopac, New York, 10541

Owner/ Applicant  
Same as developer

The *owner or operator* shall have each of the contractors and subcontractors identify at least one person from their company that will be responsible for implementation of the SWPPP. This person shall be known as the *trained contractor*. The *owner or operator* shall ensure that at least one *trained contractor* is on site on a daily basis when soil disturbance activities are being performed.

The *owner or operator* shall have each of the contractors and subcontractors identified above sign a copy of the following certification statement below before they commence any *construction activity*:

"I hereby certify that I understand and agree to comply with the terms and conditions of the SWPPP and agree to implement any corrective actions identified by the *qualified inspector* during a site inspection. I also understand that the *owner or operator* must comply with the terms and conditions of the most current version of the New York State Pollutant Discharge Elimination System ("SPDES") general permit for storm water

discharges from construction activities and that it is unlawful for any person to cause or contribute to a violation of water quality standards. Furthermore, I understand that certifying false, incorrect or inaccurate information is a violation of the referenced permit and the laws of the State of New York and could subject me to criminal, civil and/or administrative proceedings. "

In addition to providing the certification statement above, the certification page must also identify the specific elements of the SWPPP that each contractor and subcontractor will be responsible for and include the name and title of the person providing the signature; the name and title of the *trained contractor* responsible for SWPPP implementation; the name, address and telephone number of the contracting firm; the address (or other identifying description) of the site; and the date the certification statement is signed.

The *owner or operator* shall attach the certification statement(s) to the copy of the SWPPP that is maintained at the construction site. If new or additional contractors are hired to implement measures identified in the SWPPP after construction has commenced, they must also sign the certification statement and provide the information listed above.

### **C. Temporary Measures**

#### **1. Construction Entrance(s)**

The existing driveway will be utilized as the stabilized construction entrance to reduce off site deposition of soils and sediment.

#### **2. Silt Fence**

Silt fence is proposed down gradient from all disturbed areas proposed on the site. Silt fence is used to collect the transported sediment load due to runoff and to slow said runoff, in an effort to prevent erosion. The silt fence is a temporary barrier of geotextile fabric supported by fence posts at a 10 foot maximum interval.

Sediments shall be removed from behind the fence when it becomes 0.5 feet deep at the fence. It should also be inspected regularly, at least once a week and repaired as needed to maintain a barrier.

### **D. Permanent Measures**

#### **1. Permanent vegetation**

All grassed areas shall be maintained to provide a vegetative cover to hold soils in place.

## VII. General Requirements for Owners or Operators with Permit Coverage

A. The *owner or operator* shall maintain a copy of the General Permit (GP-0-20-001), NOI, *NOI Acknowledgment Letter*, SWPPP, MS4 SWPPP Acceptance form and inspection reports at the construction site until all disturbed areas have achieved *final stabilization* and the NOT has been submitted to the Department.

The documents must be maintained in a secure location, such as a job trailer, on-site construction office, or mailbox with lock. The secure location must be accessible during normal business hours to an individual performing a compliance inspection. (Part II.B.C.2)

B. For *construction activities* that are subject to the requirements of a *regulated, traditional land use control MS4*, the *owner or operator* shall notify the *MS4* in writing of any planned amendments or modifications to the post-construction stormwater management practice component of the SWPPP required by Part III.A. 4. and 5. of this permit. Unless otherwise notified by the *MS4*, the *owner or operator* shall have the SWPPP amendments or modifications reviewed and accepted by the *MS4* prior to commencing construction of the post-construction stormwater management practice. (Part II.C.5)

C. For *construction activities* that are subject to the requirements of a *regulated, traditional land use control MS4* and meet subdivision 2a. or 2b. of this Part, the *owner or operator* shall also have the *MS4* sign the “MS4 Acceptance” statement on the NOT. The *owner or operator* shall have the principal executive officer, ranking elected official, or duly authorized representative from the *regulated, traditional land use control MS4*, sign the “MS4 Acceptance” statement. The *MS4* official, by signing this statement, has determined that it is acceptable for the *owner or operator* to submit the NOT in accordance with the requirements of this Part. The *MS4* can make this determination by performing a final site inspection themselves or by accepting the *qualified inspector's* final site inspection certification(s) required in Part V.3. (Part V.A.4)

D. In accordance with the requirements of the Town of Carmel Town Code, within 10 days after the installation of all erosion control plan measures, the applicant shall submit to the Building Inspector a letter from the qualified professional who designed the plan stating that all erosion control measures have been constructed and installed in compliance with the approved plans.

E. Various certifications are required to be completed as follows:

1. SWPPP Modification Summary Sheet
2. SWPPP Preparer Certification

### 3. Contractor and Sub-contractor Certification

These documents are appended to this SWPPP.

### **VIII. Conclusions**

In conclusion, the proposed project shall not result in any negative impact to existing hydrologic condition at the vicinity of the property and proposed storm water management practices conforms to NYSDEC Storm water Management Design Manual and GP-0-20-001. In addition, the design of all storm water management practices meets the requirements of the Town of Carmel.

# NOTICE OF INTENT



## New York State Department of Environmental Conservation

### Division of Water

625 Broadway, 4th Floor

Albany, New York 12233-3505

NYR

(for DEC use only)

**Stormwater Discharges Associated with Construction Activity Under State Pollutant Discharge Elimination System (SPDES) General Permit # GP-0-15-002**  
All sections must be completed unless otherwise noted. Failure to complete all items may result in this form being returned to you, thereby delaying your coverage under this General Permit. Applicants must read and understand the conditions of the permit and prepare a Stormwater Pollution Prevention Plan prior to submitting this NOI. Applicants are responsible for identifying and obtaining other DEC permits that may be required.

**- IMPORTANT -**  
**RETURN THIS FORM TO THE ADDRESS ABOVE**  
**OWNER/OPERATOR MUST SIGN FORM**

#### Owner/Operator Information

Owner/Operator (Company Name/Private Owner Name/Municipality Name)

F A B I A N P A N I

Owner/Operator Contact Person Last Name (NOT CONSULTANT)

P A N I

Owner/Operator Contact Person First Name

F A B I A N

Owner/Operator Mailing Address

1 1 2 S T I L L W A T E R R O A D

City

M A H O P A C

State

N Y

Zip

1 0 5 4 1 -

Phone (Owner/Operator)

9 1 4 - 4 4 7 - 8 5 8 6

Fax (Owner/Operator)

- - -

Email (Owner/Operator)

F A B I A N P A N I @ I C L O U D . C O M

FED TAX ID

- (not required for individuals)

Project Site Information

Project/Site Name

P A N I G R A D I N G P L A N

Street Address (NOT P.O. BOX)

1 1 2 S T I L L W A T E R R O A D

Side of Street

North  South  East  West

City/Town/Village (THAT ISSUES BUILDING PERMIT)

C A R M E L

State

N Y

Zip

1 0 5 4 1 -

County

P U T N A M

DEC Region

3

Name of Nearest Cross Street

B A L D W I N P L A C E R O A D

Distance to Nearest Cross Street (Feet)

1 1 0 0

Project In Relation to Cross Street

North  South  East  West

Tax Map Numbers

Section-Block-Parcel

7 5 . 1 7 - 1 - 5 2

Tax Map Numbers

1. Provide the Geographic Coordinates for the project site in NYTM Units. To do this you must go to the NYSDEC Stormwater Interactive Map on the DEC website at:

[www.dec.ny.gov/imsmaps/stormwater/viewer.htm](http://www.dec.ny.gov/imsmaps/stormwater/viewer.htm)

Zoom into your Project Location such that you can accurately click on the centroid of your site. Once you have located your project site, go to the tool boxes on the top and choose "i"(identify). Then click on the center of your site and a new window containing the X, Y coordinates in UTM will pop up. Transcribe these coordinates into the boxes below. For problems with the interactive map use the help function.

X Coordinates (Easting)

6 0 2 9 5 0

Y Coordinates (Northing)

4 5 7 9 1 6 1

2. What is the nature of this construction project?

- New Construction
- Redevelopment with increase in impervious area
- Redevelopment with no increase in impervious area

3. Select the predominant land use for both pre and post development conditions.  
**SELECT ONLY ONE CHOICE FOR EACH**

- Pre-Development Existing Land Use**
- FOREST
  - PASTURE/OPEN LAND
  - CULTIVATED LAND
  - SINGLE FAMILY HOME
  - SINGLE FAMILY SUBDIVISION
  - TOWN HOME RESIDENTIAL
  - MULTIFAMILY RESIDENTIAL
  - INSTITUTIONAL/SCHOOL
  - INDUSTRIAL
  - COMMERCIAL
  - ROAD/HIGHWAY
  - RECREATIONAL/SPORTS FIELD
  - BIKE PATH/TRAIL
  - LINEAR UTILITY
  - PARKING LOT
  - OTHER
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- Post-Development Future Land Use**
- SINGLE FAMILY HOME
  - SINGLE FAMILY SUBDIVISION
  - TOWN HOME RESIDENTIAL
  - MULTIFAMILY RESIDENTIAL
  - INSTITUTIONAL/SCHOOL
  - INDUSTRIAL
  - COMMERCIAL
  - MUNICIPAL
  - ROAD/HIGHWAY
  - RECREATIONAL/SPORTS FIELD
  - BIKE PATH/TRAIL
  - LINEAR UTILITY (water, sewer, gas, etc.)
  - PARKING LOT
  - CLEARING/GRADING ONLY
  - DEMOLITION, NO REDEVELOPMENT
  - WELL DRILLING ACTIVITY \*(Oil, Gas, etc.)
  - OTHER
- Number of Lots
- |  |  |  |
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**\*Note:** for gas well drilling, non-high volume hydraulic fractured wells only

4. In accordance with the larger common plan of development or sale, enter the total project site area; the total area to be disturbed; existing impervious area to be disturbed (for redevelopment activities); and the future impervious area constructed within the disturbed area. (Round to the nearest tenth of an acre.)

Total Site Area	Total Area To Be Disturbed	Existing Impervious Area To Be Disturbed	Future Impervious Area Within Disturbed Area																								
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5. Do you plan to disturb more than 5 acres of soil at any one time?     Yes     No

6. Indicate the percentage of each Hydrologic Soil Group(HSG) at the site.

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7. Is this a phased project?     Yes     No

8. Enter the planned start and end dates of the disturbance activities.

<b>Start Date</b> <table border="1" style="width: 100%; height: 20px;"> <tr> <td>0</td><td>2</td><td>/</td><td>0</td><td>1</td><td>/</td><td>2</td><td>0</td><td>2</td><td>4</td> </tr> </table>	0	2	/	0	1	/	2	0	2	4	-	<b>End Date</b> <table border="1" style="width: 100%; height: 20px;"> <tr> <td>0</td><td>2</td><td>/</td><td>0</td><td>3</td><td>/</td><td>2</td><td>0</td><td>2</td><td>4</td> </tr> </table>	0	2	/	0	3	/	2	0	2	4
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9. Identify the nearest surface waterbody(ies) to which construction site runoff will discharge.

Name

S	T	A	T	E																
					W	E	T	L	A	N	D									

9a. Type of waterbody identified in Question 9?

- Wetland / State Jurisdiction On Site (Answer 9b)
- Wetland / State Jurisdiction Off Site
- Wetland / Federal Jurisdiction On Site (Answer 9b)
- Wetland / Federal Jurisdiction Off Site
- Stream / Creek On Site
- Stream / Creek Off Site
- River On Site
- River Off Site
- Lake On Site
- Lake Off Site
- Other Type On Site
- Other Type Off Site

9b. How was the wetland identified?

- Regulatory Map
- Delineated by Consultant
- Delineated by Army Corps of Engineers
- Other (identify)

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10. Has the surface waterbody(ies) in question 9 been identified as a 303(d) segment in Appendix E of GP-0-15-002?  Yes  No

11. Is this project located in one of the Watersheds identified in Appendix C of GP-0-15-002?  Yes  No

12. Is the project located in one of the watershed areas associated with AA and AA-S classified waters?  Yes  No  
If no, skip question 13.

13. Does this construction activity disturb land with no existing impervious cover and where the Soil Slope Phase is identified as an E or F on the USDA Soil Survey?  Yes  No  
If Yes, what is the acreage to be disturbed?  

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14. Will the project disturb soils within a State regulated wetland or the protected 100 foot adjacent area?  Yes  No



15. Does the site runoff enter a separate storm sewer system (including roadside drains, swales, ditches, culverts, etc)?  Yes  No  Unknown

16. What is the name of the municipality/entity that owns the separate storm sewer system?

T	O	W	N		O	F		C	A	R	M	E	L																							
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17. Does any runoff from the site enter a sewer classified as a Combined Sewer?  Yes  No  Unknown

18. Will future use of this site be an agricultural property as defined by the NYS Agriculture and Markets Law?  Yes  No

19. Is this property owned by a state authority, state agency, federal government or local government?  Yes  No

20. Is this a remediation project being done under a Department approved work plan? (i.e. CERCLA, RCRA, Voluntary Cleanup Agreement, etc.)  Yes  No

21. Has the required Erosion and Sediment Control component of the SWPPP been developed in conformance with the current NYS Standards and Specifications for Erosion and Sediment Control (aka Blue Book)?  Yes  No

22. Does this construction activity require the development of a SWPPP that includes the post-construction stormwater management practice component (i.e. Runoff Reduction, Water Quality and Quantity Control practices/techniques)?  Yes  No  
**If No, skip questions 23 and 27-39.**

23. Has the post-construction stormwater management practice component of the SWPPP been developed in conformance with the current NYS Stormwater Management Design Manual?  Yes  No



25. Has a construction sequence schedule for the planned management practices been prepared?  Yes  No

26. Select all of the erosion and sediment control practices that will be employed on the project site:

Temporary Structural

- Check Dams
- Construction Road Stabilization
- Dust Control
- Earth Dike
- Level Spreader
- Perimeter Dike/Swale
- Pipe Slope Drain
- Portable Sediment Tank
- Rock Dam
- Sediment Basin
- Sediment Traps
- Silt Fence
- Stabilized Construction Entrance
- Storm Drain Inlet Protection
- Straw/Hay Bale Dike
- Temporary Access Waterway Crossing
- Temporary Stormdrain Diversion
- Temporary Swale
- Turbidity Curtain
- Water bars

Biotechnical

- Brush Matting
- Wattling

Other


Vegetative Measures

- Brush Matting
- Dune Stabilization
- Grassed Waterway
- Mulching
- Protecting Vegetation
- Recreation Area Improvement
- Seeding
- Sodding
- Straw/Hay Bale Dike
- Streambank Protection
- Temporary Swale
- Topsoiling
- Vegetating Waterways

Permanent Structural

- Debris Basin
- Diversion
- Grade Stabilization Structure
- Land Grading
- Lined Waterway (Rock)
- Paved Channel (Concrete)
- Paved Flume
- Retaining Wall
- Riprap Slope Protection
- Rock Outlet Protection
- Streambank Protection

Post-construction Stormwater Management Practice (SMP) Requirements

**Important:** Completion of Questions 27-39 is not required if response to Question 22 is No.

27. Identify all site planning practices that were used to prepare the final site plan/layout for the project.

- Preservation of Undisturbed Areas
- Preservation of Buffers
- Reduction of Clearing and Grading
- Locating Development in Less Sensitive Areas
- Roadway Reduction
- Sidewalk Reduction
- Driveway Reduction
- Cul-de-sac Reduction
- Building Footprint Reduction
- Parking Reduction

27a. Indicate which of the following soil restoration criteria was used to address the requirements in Section 5.1.6 ("Soil Restoration") of the Design Manual (2010 version).

- All disturbed areas will be restored in accordance with the Soil Restoration requirements in Table 5.3 of the Design Manual (see page 5-22).
- Compacted areas were considered as impervious cover when calculating the **WQv Required**, and the compacted areas were assigned a post-construction Hydrologic Soil Group (HSG) designation that is one level less permeable than existing conditions for the hydrology analysis.

28. Provide the total Water Quality Volume (WQv) required for this project (based on final site plan/layout).

**Total WQv Required**

.     acre-feet

29. Identify the RR techniques (Area Reduction), RR techniques (Volume Reduction) and Standard SMPs with RRV Capacity in Table 1 (See Page 9) that were used to reduce the Total WQv Required (#28).

Also, provide in Table 1 the total impervious area that contributes runoff to each technique/practice selected. For the Area Reduction Techniques, provide the total contributing area (includes pervious area) and, if applicable, the total impervious area that contributes runoff to the technique/practice.

**Note:** Redevelopment projects shall use Tables 1 and 2 to identify the SMPs used to treat and/or reduce the WQv required. If runoff reduction techniques will not be used to reduce the required WQv, skip to question 33a after identifying the SMPs.

Table 1 - Runoff Reduction (RR) Techniques and Standard Stormwater Management Practices (SMPs)

<u>RR Techniques (Area Reduction)</u>	<u>Total Contributing Area (acres)</u>		<u>Total Contributing Impervious Area (acres)</u>	
<input type="checkbox"/> Conservation of Natural Areas (RR-1) ...	<input type="text"/>	<input type="text"/>	and/or	<input type="text"/>
<input type="checkbox"/> Sheetflow to Riparian Buffers/Filters Strips (RR-2) .....	<input type="text"/>	<input type="text"/>	and/or	<input type="text"/>
<input type="checkbox"/> Tree Planting/Tree Pit (RR-3) .....	<input type="text"/>	<input type="text"/>	and/or	<input type="text"/>
<input type="checkbox"/> Disconnection of Rooftop Runoff (RR-4) ..	<input type="text"/>	<input type="text"/>	and/or	<input type="text"/>
<u>RR Techniques (Volume Reduction)</u>				
<input type="checkbox"/> Vegetated Swale (RR-5) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input type="checkbox"/> Rain Garden (RR-6) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input type="checkbox"/> Stormwater Planter (RR-7) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input type="checkbox"/> Rain Barrel/Cistern (RR-8) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input type="checkbox"/> Porous Pavement (RR-9) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input type="checkbox"/> Green Roof (RR-10) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<u>Standard SMPs with RRv Capacity</u>				
<input type="checkbox"/> Infiltration Trench (I-1) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input type="checkbox"/> Infiltration Basin (I-2) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input type="checkbox"/> Dry Well (I-3) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input type="checkbox"/> Underground Infiltration System (I-4) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input type="checkbox"/> Bioretention (F-5) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input type="checkbox"/> Dry Swale (O-1) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<u>Standard SMPs</u>				
<input type="checkbox"/> Micropool Extended Detention (P-1) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input type="checkbox"/> Wet Pond (P-2) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input type="checkbox"/> Wet Extended Detention (P-3) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input type="checkbox"/> Multiple Pond System (P-4) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input type="checkbox"/> Pocket Pond (P-5) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input type="checkbox"/> Surface Sand Filter (F-1) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input type="checkbox"/> Underground Sand Filter (F-2) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input type="checkbox"/> Perimeter Sand Filter (F-3) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input type="checkbox"/> Organic Filter (F-4) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input type="checkbox"/> Shallow Wetland (W-1) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input type="checkbox"/> Extended Detention Wetland (W-2) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input type="checkbox"/> Pond/Wetland System (W-3) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input type="checkbox"/> Pocket Wetland (W-4) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input type="checkbox"/> Wet Swale (O-2) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>

**Table 2 - Alternative SMPs  
(DO NOT INCLUDE PRACTICES BEING  
USED FOR PRETREATMENT ONLY)**

<u>Alternative SMP</u>	<u>Total Contributing Impervious Area (acres)</u>																					
<input type="radio"/> Hydrodynamic .....	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>																		
<input type="radio"/> Wet Vault .....	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>																		
<input type="radio"/> Media Filter .....	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>																		
<input type="radio"/> Other <table border="1" style="display: inline-table; vertical-align: middle;"><tr><td><input type="text"/></td><td><input type="text"/></td><td><input type="text"/></td><td><input type="text"/></td><td><input type="text"/></td><td><input type="text"/></td><td><input type="text"/></td><td><input type="text"/></td><td><input type="text"/></td><td><input type="text"/></td><td><input type="text"/></td><td><input type="text"/></td><td><input type="text"/></td><td><input type="text"/></td><td><input type="text"/></td><td><input type="text"/></td><td><input type="text"/></td><td><input type="text"/></td></tr></table> .....	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>					

Provide the name and manufacturer of the Alternative SMPs (i.e. proprietary practice(s)) being used for WQv treatment.

Name 

<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>
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Manufacturer 

<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>
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**Note:** Redevelopment projects which do not use RR techniques, shall use questions 28, 29, 33 and 33a to provide SMPs used, total WQv required and total WQv provided for the project.

30. Indicate the Total RRv provided by the RR techniques (Area/Volume Reduction) and Standard SMPs with RRv capacity identified in question 29.

Total RRv provided

<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>
----------------------	----------------------	----------------------	----------------------

 . 

<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>
----------------------	----------------------	----------------------	----------------------

 acre-feet

31. Is the Total RRv provided (#30) greater than or equal to the total WQv required (#28).

If Yes, go to question 36.  
If No, go to question 32.

Yes  No

32. Provide the Minimum RRv required based on HSG.  
[Minimum RRv Required = (P) (0.95) (Ai) / 12, Ai = (S) (Aic)]

Minimum RRv Required

<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>
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 . 

<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>
----------------------	----------------------	----------------------	----------------------

 acre-feet

- 32a. Is the Total RRv provided (#30) greater than or equal to the Minimum RRv Required (#32)?

If Yes, go to question 33.

**Note:** Use the space provided in question #39 to summarize the specific site limitations and justification for not reducing 100% of WQv required (#28). A detailed evaluation of the specific site limitations and justification for not reducing 100% of the WQv required (#28) must also be included in the SWPPP.

If No, sizing criteria has not been met, so NOI can not be processed. SWPPP preparer must modify design to meet sizing criteria.

Yes  No

33. Identify the Standard SMPs in Table 1 and, if applicable, the Alternative SMPs in Table 2 that were used to treat the remaining total WQv(=Total WQv Required in 28 - Total RRv Provided in 30).

Also, provide in Table 1 and 2 the total impervious area that contributes runoff to each practice selected.

**Note:** Use Tables 1 and 2 to identify the SMPs used on Redevelopment projects.

33a. Indicate the Total WQv provided (i.e. WQv treated) by the SMPs identified in question #33 and Standard SMPs with RRv Capacity identified in question 29.

**WQv Provided**

.    acre-feet

**Note:** For the standard SMPs with RRv capacity, the WQv provided by each practice = the WQv calculated using the contributing drainage area to the practice - RRv provided by the practice. (See Table 3.5 in Design Manual)

34. Provide the sum of the Total RRv provided (#30) and the WQv provided (#33a).    .

35. Is the sum of the RRv provided (#30) and the WQv provided (#33a) greater than or equal to the total WQv required (#28)?  **Yes**  **No**

If **Yes**, go to question 36.

If **No**, sizing criteria has not been met, so NOI can not be processed. SWPPP preparer must modify design to meet sizing criteria.

36. Provide the total Channel Protection Storage Volume (CPv) required and provided or select waiver (36a), if applicable.

<b>CPv Required</b>	<b>CPv Provided</b>
<input type="text"/> <input type="text"/> <input type="text"/> . <input type="text"/> <input type="text"/> <input type="text"/> acre-feet	<input type="text"/> <input type="text"/> <input type="text"/> . <input type="text"/> <input type="text"/> <input type="text"/> acre-feet

36a. The need to provide channel protection has been waived because:

- Site discharges directly to tidal waters or a fifth order or larger stream.
- Reduction of the total CPv is achieved on site through runoff reduction techniques or infiltration systems.

37. Provide the Overbank Flood (Qp) and Extreme Flood (Qf) control criteria or select waiver (37a), if applicable.

Total Overbank Flood Control Criteria (Qp)

<b>Pre-Development</b>	<b>Post-development</b>
<input type="text"/> <input type="text"/> <input type="text"/> . <input type="text"/> <input type="text"/> <input type="text"/> CFS	<input type="text"/> <input type="text"/> <input type="text"/> . <input type="text"/> <input type="text"/> <input type="text"/> CFS

Total Extreme Flood Control Criteria (Qf)

<b>Pre-Development</b>	<b>Post-development</b>
<input type="text"/> <input type="text"/> <input type="text"/> . <input type="text"/> <input type="text"/> <input type="text"/> CFS	<input type="text"/> <input type="text"/> <input type="text"/> . <input type="text"/> <input type="text"/> <input type="text"/> CFS





40. Identify other DEC permits, existing and new, that are required for this project/facility.

- Air Pollution Control
- Coastal Erosion
- Hazardous Waste
- Long Island Wells
- Mined Land Reclamation
- Solid Waste
- Navigable Waters Protection / Article 15
- Water Quality Certificate
- Dam Safety
- Water Supply
- Freshwater Wetlands/Article 24
- Tidal Wetlands
- Wild, Scenic and Recreational Rivers
- Stream Bed or Bank Protection / Article 15
- Endangered or Threatened Species (Incidental Take Permit)
- Individual SPDES
- SPDES Multi-Sector GP 

N	Y	R								
---	---	---	--	--	--	--	--	--	--	--
- Other 

--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--
- None

41. Does this project require a US Army Corps of Engineers Wetland Permit?  Yes  No  
 If Yes, Indicate Size of Impact. 

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.

42. Is this project subject to the requirements of a regulated, traditional land use control MS4?  Yes  No  
 (If No, skip question 43)

43. Has the "MS4 SWPPP Acceptance" form been signed by the principal executive officer or ranking elected official and submitted along with this NOI?  Yes  No

44. If this NOI is being submitted for the purpose of continuing or transferring coverage under a general permit for stormwater runoff from construction activities, please indicate the former SPDES number assigned. 

N	Y	R								
---	---	---	--	--	--	--	--	--	--	--

**Owner/Operator Certification**

I have read or been advised of the permit conditions and believe that I understand them. I also understand that, under the terms of the permit, there may be reporting requirements. I hereby certify that this document and the corresponding documents were prepared under my direction or supervision. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. I further understand that coverage under the general permit will be identified in the acknowledgment that I will receive as a result of submitting this NOI and can be as long as sixty (60) business days as provided for in the general permit. I also understand that, by submitting this NOI, I am acknowledging that the SWPPP has been developed and will be implemented as the first element of construction, and agreeing to comply with all the terms and conditions of the general permit for which this NOI is being submitted.

**Print First Name**

F	A	B	I	A	N																		
---	---	---	---	---	---	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--

**MI**

--

**Print Last Name**

P	A	N	I																				
---	---	---	---	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--

**Owner/Operator Signature**

--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--

**Date**

1	1	/	3	0	/	2	0	2	3
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**JOHN KARELL, JR., P.E.**  
**121 CUSHMAN ROAD**  
**PATTERSON, NEW YORK, 12563**  
**845-878-7894 FAX 845 878 4939**  
**jack4911@yahoo.com**

---

November 16, 2023

To: Town of Carmel Planning Board  
Richard Franzetti, P.E., Town Engineer

Re: Grading Plan Approval  
Fabian Pani 112 Stillwater Road Carmel (T)

Attached please find the following relative to the above captioned application :

1. Revised plan dated November 17, 2023.
2. Emails from Sarah Pawliczak, NYSDEC dated September 13, 2023 and November 15, 2023
3. Letter report by HydroEnvironmental Solutions, Inc dated October 27, 2023

Based upon the contents in the above documents most importantly the emails from Sarah Pawliczak it is proposed to remove contaminated soils from the two areas identified by Sarah, sample point 3 & 2. The exact areas of the contaminated fill in these areas to be removed will be determined by this engineer and Mr. Franzetti.

Fill will be taken offsite to a certified disposal facility.

If you have any questions please contact contact me.

Very truly yours,

  
John Karell, Jr., P.E.

Stillwater

ohn karell <jack4911@yahoo.com>  
To: Pawliczak, Sarah A (DEC)

Wed, Nov 15 at 8:28 AM ☆

Thank you



Hide  
original  
message

On Wednesday, November 15, 2023 at 08:27:04 AM EST, Pawliczak, Sarah A (DEC) <sarah.pawliczak@dec.ny.gov> wrote:

Hi Jack,

The contaminated fill can be removed as part of the restoration for the violation. No Article 24 Freshwater Wetlands permit is needed to do this. You'll need to provide receipts from the facility the soil was brought to.

Thank you,

**Sarah Pawliczak** (she/her/hers)

Stillwaters

awliczak, Sarah A (DEC) <sarah.pawliczak@dec.ny.gov> Wed, Sep 13 at 2:18 PM ☆

To: Ng, Melissa L., john karell

Cc: rjf@ci.carmel.ny.us, Shedlo, Daniel,  
Giannetta, Matthew, rjf@ci.carmel.ny.us,

rtrombetta@ci.carmel.ny.us and 1 more...

Good afternoon,

I sincerely apologize for the delay in getting back to you. The Department has had a chance to review the documents provided. Filling in the wetland or its 100-foot adjacent area is a regulated activity. A Freshwater Wetlands permit was not applied for or obtained and, therefore these activities are a violation of Environmental Conservation Law and the associated regulations. Based on the sample results, the fill representative of site samples #2 and #3 must be removed and taken to an authorized Solid Waste facility and those areas stabilized with an appropriate seed mix. The owner will need to provide receipts for the material removed from the facility they took waste to for disposal.

Thank you,

**Sarah Pawliczak** (she/her/hers)

Biologist, Bureau of Ecosystem Health

## Memorandum

**To:** Mr. Fabian Pani  
112 Stillwater Road  
Carmel, New York 10541

**From:** William A. Canavan, PG, LSRP  
HydroEnvironmental Solutions, Inc.  
P.O. Box 929  
Two Center Street  
Croton Falls, New York 10519

**Date:** October 27, 2023

**Re:** Fill Importation Analysis  
112 Stillwater Road  
Carmel, New York 10541

HydroEnvironmental Solutions, Inc. (HES) was retained by Mr. Fabian Pani of 112 Stillwater Road in the Town of Carmel, Putnam County, New York to review soil laboratory data related to the importation of fill material at the subject site. The site location is shown on **Figure 1**. It is our understanding that fill material was imported to the subject site and that the Applicant (Mr. Pani) was required by the Town of Carmel to confirm, in accordance with New York State Department of Environmental Conservation (NYSDEC) Regulations, that the imported fill was compliant for use in a residential setting. As part of our review process, HES reviewed the following documents provided by the Applicant and their engineering counsel:

- Analytical soil results for 5 soil samples from York Analytical Laboratories, Inc. (York) a NYS certified laboratory located in Stratford, Connecticut. The soil samples were collected by the project engineer, John Karell, Jr. PE (John Karell).
- A site plan showing the soil sampling locations prepared by John Karell dated January 2, 2023.

Based on our review of the materials provided we offer the following:

Two Center Street; P. O. Box 929 • Croton Falls, New York 10519

914.276.2560 • FAX 914.2746.2664

## Project Background

The Applicant imported fill material for regrading and backfill purposes in the rear yard of the subject property. The imported fill material was not approved nor properly documented by the Town or any regulatory agency prior to importation. Consequently, the Town requested that the Applicant and their consultant characterize the imported material in accordance with NYSDEC Regulations and Standards and propose an appropriate work plan.

Prior to our involvement with the project, the Applicant completed the following environmental work related to the imported fill material:

- John Karell, PE, on behalf of the Applicant, conducted soil sampling on December 20, 2022. Karell then provided a site plan of soil sampling locations and the raw laboratory analytical results (both are provided at the end of this letter) for review.

## Discussion of Results

HES was informed that the NYSDEC requested that the homeowner have the fill removed from the areas where soil samples #2 and #3 were collected and that the removed fill should be taken to an authorized solid waste disposal facility. The areas where fill is to be removed should be stabilized post removal with an appropriate seed mix per the NYSDEC email (provided at the end of this letter).

The raw laboratory analytical results from the December 20, 2022 soil sampling event indicate that the following parameters exceeded NYSDEC Part 375 Unrestricted Use Soil Cleanup Objectives (UUSCOs) in soil samples designated #1 left rear (#1), #2 left front (#2), #3 behind wall right side (#3), #4 middle rear (#4), and #5 front middle (#5). These samples represent five grab samples.

- Acetone was detected at 0.0750 milligrams per Kilogram (mg/Kg or parts per million [ppm]) at sample #2 and 0.0520 ppm at sample #4, where the UUSCO is 0.05 ppm. The Residential Use Soil Cleanup Objective (RUSCO) for acetone is 100 ppm;
- Arsenic was detected at 14.3 ppm at sample #3 where the UUSCO is 13 ppm (the RUSCO for arsenic is 16 ppm);
- Copper was detected at 89.1 ppm at sample #3 where the UUSCO is 50 ppm (the RUSCO for arsenic is 270 ppm);
- Lead was detected at 100 ppm at sample #1, 89.9 ppm at sample #2 and 768 ppm at sample #3 where the UUSCO is 63 ppm (the RUSCO for lead is 400 ppm);



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Two Center Street • Croton Falls, NY 10519  
914.276.2560 • FAX 914.276.2664

- Zinc was detected at 113 ppm at sample #1 and 809 ppm at sample #3 where the UUSCO is 109 ppm (the RUSCO for zinc is 2,200 ppm);
- Mercury was detected at 0.217 ppm at sample #2 and 5.210 ppm at sample #3 where the UUSCO is 0.18 ppm (the RUSCO for mercury is 0.81 ppm);
- Trivalent Chromium was detected at 35.3 ppm at sample #3 where the UUSCO is 30 ppm (the RUSCO for trivalent chromium is 36 ppm).

These results are summarized on the attached **Table 1** provided at the end of this letter.

- Soil samples #1, #2, #4 and #5 were compliant with RUSCOs as noted on the attached **Table 1**.

HES has reviewed the provided soil sampling results and site plan showing soil sampling locations and offers the following:

- The soil sampling was conducted in accordance with NYSDEC Requirements under the direct supervision of a NYS licensed professional engineer.
- The imported fill material was only sampled for discrete grab samples, no composite samples were collected, as required in NYSDEC Regulations and Guidelines related to fill sampling.
- The results indicate that the fill material is impacted by metals, with the exception of acetone, which exceeded UUSCOs. HES believes that the detection of acetone is a laboratory artifact, as this compound is a common laboratory extractant and it is unlikely that it is present in the imported fill material. This is supported by the lack of presence of this compound in any of the other samples analyzed. Based on the results of the soil sampling event, VOCs, SVOCs, Pesticides and Polychlorinated biphenyls (PCBs) are not present in the imported fill material.
- The metals arsenic, copper, lead, zinc, mercury, and trivalent chromium exceeded UUSCOs at sampling locations #1, #2, and #3.
- The results of soil sampling during the sampling event indicate that observed exceedances at samples #1 and #2 were only slightly elevated above UUSCOs and were compliant with RUSCOs. These results indicate that the imported fill



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material in these locations do not pose a threat to human health or the surrounding environment.

- The SCOs promulgated by the NYSDEC are designed to protect human health and safety and the environment and are very conservative as they relate to residential properties. The concentrations detected for lead, and mercury at sampling location #3, are not compliant with RUSCOs and may pose a risk to the property owner and the environment. Concentrations of these metals are above background concentrations for a suburban setting and are at levels of concern. The laboratory results for the detected metals in sample #3 are not compliant with the General Fill Use Criteria included in 6 NYCRR 360.13(f), with the reported concentrations above the Protection of Public Health Residential Land Use Values and Protection of Groundwater which is expressed at 6 NYCRR 375-6.8(b).

### Recommendations

Based on our review of the soil sampling results, HES recommends that the imported fill material located at sampling locations #1, #2, #4 and #5 remain in place. Since only lead, zinc and mercury slightly exceed UUSCOs and did not exceed RUSCOs at locations #1 and #2, HES recommends the placement of a demarcation layer such as orange polyethylene construction fencing or a comparable geotextile membrane over the top of these fill areas. Following the placement of the demarcation layer, a 12-inch clean fill topsoil layer should be placed atop the demarcation layer across the fill areas at sampling locations #1 and #2 as topography allows.

HES recommends the removal of the imported fill at the #3 sampling location given the exceedances in lead (798 ppm) and mercury (5.21 ppm) above RUSCOs. The concentrations of lead and mercury detected during the sampling event at this location poses a potential threat to human health, groundwater and the surrounding environment. The removal of the fill in this area will prevent any future risks to human health or the environment and will remove the threat.

Due to exceedances of lead and mercury in RUSCOs, specifically the fill at the #3 sampling location (behind wall right side) the fill should be removed and replaced with certified clean fill and stabilized with an appropriate seed mix. The removed fill material should be disposed of properly at a NYSDEC approved disposal facility.



*HydroEnvironmental*  
SOLUTIONS, INC.

Two Center Street • Croton Falls, NY 10519  
914.276.2560 • FAX 914.276.2664

Mr. Fabian Pani  
October 27, 2023  
Page | 5

HES would be pleased to answer any questions related to this matter or attend any future Town meetings as required.

#### Attachments

cc: John Karell, P.E.  
File



*HydroEnvironmental*  
**SOLUTIONS, INC.**

Two Center Street • Croton Falls, NY 10519  
914.276.2560 • FAX 914.276.2664

Figure 1  
Site Location Map

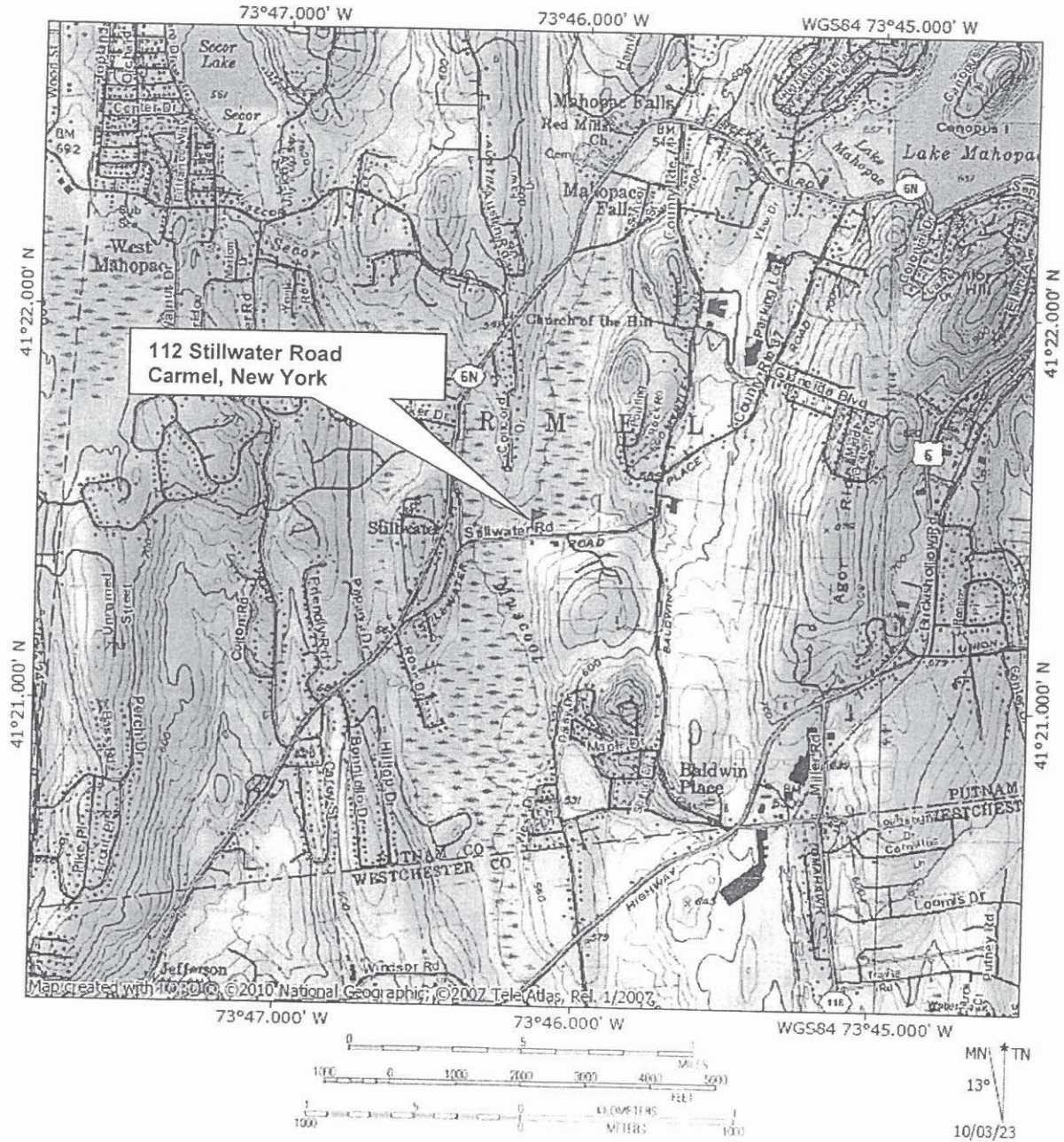




Table 1

112 Stillwater Road  
Carmel, New York

## Summary of Laboratory Analytical Results for Soil

Sample ID York ID	NYSDEC Part 375 Unrestricted Use Soil Cleanup Objectives	NYSDEC Part 375 Restricted Use Soil Cleanup Objectives- Residential	NYSDEC Part 375 Restricted Use Soil Cleanup Objectives- Protection of GW	NYSDEC Part 375 Restricted Use Soil Cleanup Objectives- Protection of Ecological Resources	#1 left rear 22L1113-01 12/20/2022 11:20:00 AM Soil	#2 left front 22L1113-02 12/20/2022 11:25:00 AM Soil	#3 behind wall right side 22L1113-03 12/20/2022 11:30:00 AM Soil	#4 middle rear 22L1113-04 12/20/2022 11:35:00 AM Soil	#5 front middle 22L1113-05 12/20/2022 11:40:00 AM Soil					
Client Matrix	Compound				Result	Q	Result	Q	Result	Q	Result	Q	Result	Q
<b>Metals, NYSDEC Part 375 (mg/Kg)</b>														
Arsenic	13	16	16	13	4.340		6.690		14.300		3.770		4.780	
Barium	350	350	820	433	95.100		85.300		163		69.600		85.700	
Beryllium	7.2	14	10	10	1.050		1.100		0.852		0.986		1.120	
Cadmium	2.5	2.5	7.5	4	0.277	U	0.360	U	1.200		0.305	U	0.299	U
Chromium	-	-	-	-	14.600		17.500		35.300		11.200		15.700	
Copper	50	270	1730	50	20.900		21.700		89.100		11		24.300	
Lead	63	400	450	63	100		89.900		768		52.700		15.700	
Manganese	1600	2000	7000	1600	240		433		740		160		55.300	
Nickel	30	140	150	30	12.400		15.800		12.800		9.590		305	
Selenium	3.9	36	4	8.9	2.310		3	U	2.760	U	2.540		12.900	
Silver	2	36	4	2	0.465	U	0.605	U	0.557	U	0.512	U	2.490	U
Zinc	109	2200	2460	109	113		105		809		68.600		0.502	U
<b>Mercury by 7473 (mg/Kg)</b>														
Mercury	0.18	0.81	0.73	0.13	0.160		0.217		5.210		0.0665		0.101	
<b>Chromium, Hexavalent (mg/Kg)</b>														
Chromium, Hexavalent	1	22	10	1	0.554	U	0.720	U	0.663	U	0.610	U	0.597	U
<b>Chromium, Trivalent (mg/Kg)</b>														
Chromium, Trivalent	30	36	-	41	14.600		17.500		35.300		11.200		15.700	
<b>Cyanide, Total (mg/Kg)</b>														
Cyanide, total	27	27	40	-	0.554	U	0.720	U	0.663	U	0.610	U	0.597	U
<b>Total Solids (%)</b>														
Total Solids (%)	-	-	-	-	90.300		69.400		75.400		82		83.700	
<b>Herbicides, NYSDEC Part 375 Target List (mg/Kg)</b>														
2,4,5-TP (Silvex)	3.6	58	3.8	-	0.0217	U	0.0286	U	0.0260	U	0.0242	U	0.0235	U
<b>Polychlorinated Biphenyls (PCB) (mg/Kg)</b>														
Aroclor 1016	-	-	-	-	0.0180	U	0.0236	U	0.0220	U	0.0203	U	0.0198	U
Aroclor 1221	-	-	-	-	0.0180	U	0.0236	U	0.0220	U	0.0203	U	0.0198	U
Aroclor 1232	-	-	-	-	0.0180	U	0.0236	U	0.0220	U	0.0203	U	0.0198	U
Aroclor 1242	-	-	-	-	0.0180	U	0.0236	U	0.0220	U	0.0203	U	0.0198	U
Aroclor 1248	-	-	-	-	0.0180	U	0.0236	U	0.0220	U	0.0203	U	0.0198	U
Aroclor 1254	-	-	-	-	0.0180	U	0.0236	U	0.0220	U	0.0203	U	0.0198	U
Aroclor 1260	-	-	-	-	0.0180	U	0.0236	U	0.0220	U	0.0203	U	0.0198	U
Total PCBs	0.1	1	3.0	1	0.0180	U	0.0236	U	0.0220	U	0.0203	U	0.0198	U

NOTES:  
Any Regulatory Exceedences are color coded by Regulation

D= result is from an analysis that required a dilution

J= analyte detected at or above the MDL (method detection limit) but below the RL (Reporting Limit) - data is estimated

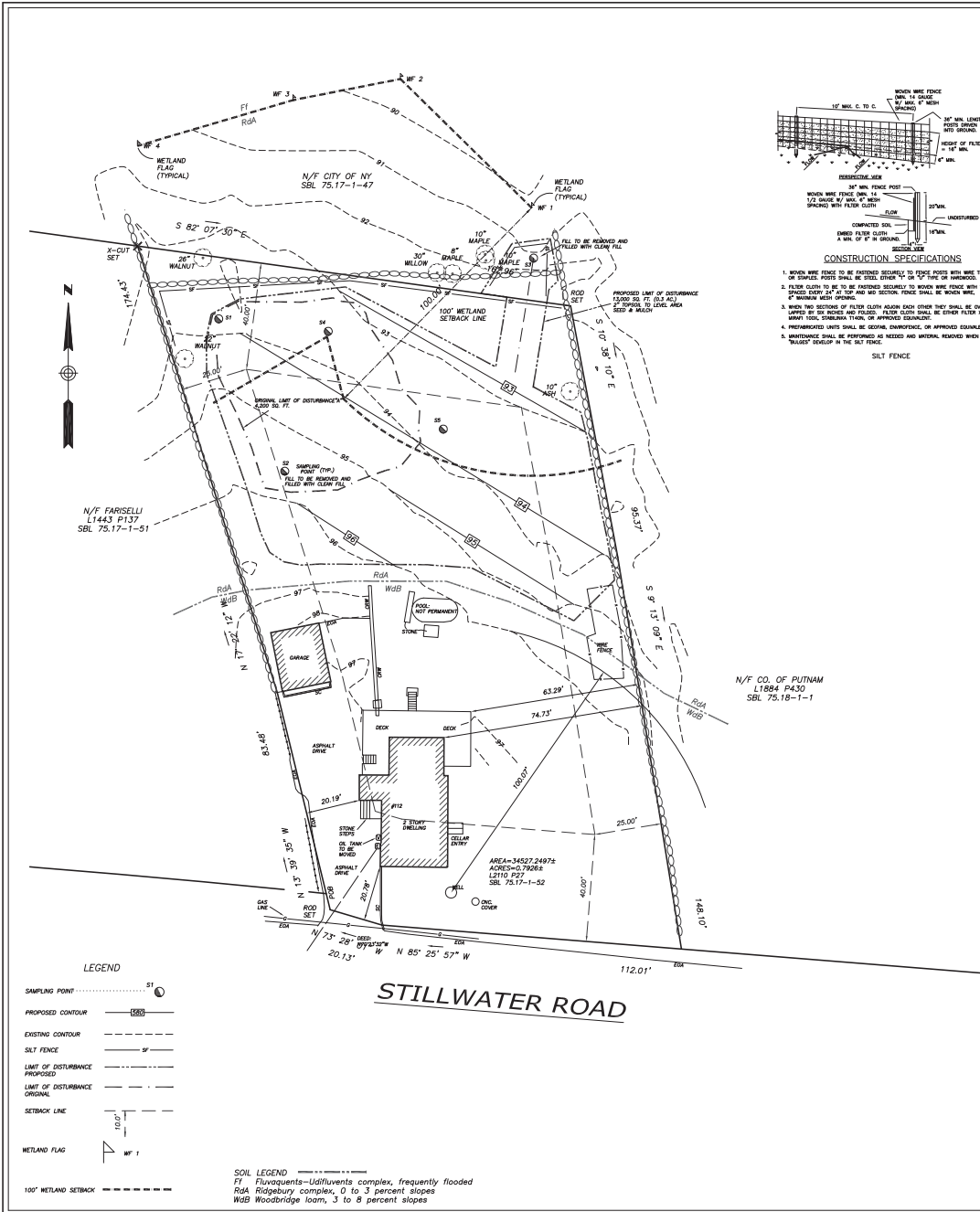
U= analyte not detected at or above the level indicated

B= analyte found in the analysis batch blank

E= result is estimated and cannot be accurately reported due to levels encountered or interferences

NT= this indicates the analyte was not a target for this sample

\* = this indicates that no regulatory limit has been established for this analyte

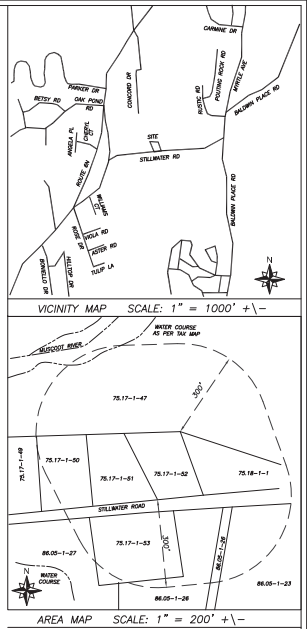


Fabian Panel 112 Stillwater Road  
Carmel (T)  
SEQUENCE OF CONSTRUCTION

The following are sequence and methods for removal of contaminated fill and leveling of the rear yard on property owned by Fabian Panel 112 Stillwater Road, Carmel (T), Putnam County, New York. Erosion and sediment control measures are incorporated into the construction program. Construction of this project will be in one phase.

Proposed erosion and sediment control methods are found on the Site Plan. The erosion controls are designed in accordance with the State of New York, "Guidelines for Urban Erosion and Sediment Control". The project is expected to start in the Spring of 2024 and continue over a 1 week period.

- A. General Construction Notes**
- The site shall be disturbed only when and where necessary. Only the smallest practical area of land shall be exposed at any one time during development. When land is exposed, the exposure shall be kept to the shortest practical period of time by immediate stabilization per the stabilization notes, unless specified otherwise. All disturbed areas that are seeded with appropriate seed mixture and procedure are considered stabilized when 80% of the vegetation is achieved.
  - Where ever feasible, natural vegetation shall be retained and protected.
  - The contractor shall inspect all erosion and sediment control devices during all storm events, prior to weekends and prior to all forecasted storm events.
  - The Contractor shall grade and provide stabilization of newly graded and disturbed areas per item 9 of this sequence.
- B. Construction Sequence**
- Install all erosion control measures.
  - Remove contaminated soil in accordance with the Site Plan
  - Replace clean soil in the areas where the contaminated soil was removed. The NYCDEP must be notified prior to any work being performed on this property.
  - All fill brought to the site must be certified per NYSDEC regulations and manifest/certification of the fill material being delivered must be provided.
  - Level the rear yard for a chess stay area.
  - Topsoil, seed and mulch all disturbed areas in accordance with the stabilization notes.
  - Remove all temporary erosion control measures. Restore/backfill to final grade and provide stabilization as necessary.
  - Contractor to perform that site clean up and dispose of all debris properly.
- C. STABILIZATION NOTES**
- Grade to finished slopes
  - Soils shall be scarified.
  - Topsoil with not less than four inches of suitable topsoil material
- D. Seed as follows:**
- |                       |                     |    |
|-----------------------|---------------------|----|
| Spring/Fall Planting: | Kentucky Bluegrass  | 5  |
|                       | Creeping Red Fescue | 15 |
|                       | Perennial Ryegrass  | 5  |
|                       | Annual Ryegrass     | 5  |
- Temporary Summer Planting:
- |  |                    |    |
|--|--------------------|----|
|  | Perennial Ryegrass | 30 |
|--|--------------------|----|
- All above units in lb/acre



SURVEY AND TOPOGRAPHIC INFORMATION BY ROWAN LAND SURVEYING, PLLC, DATED NOVEMBER 13, 2022. AN ASSUMED DATUM WAS USED.

THIS ENGINEER HAS VERIFIED THAT NO WELLS EXIST WITHIN 200 FEET OF THE PROPOSED SEPTIC SYSTEM AND NO SEPTIC SYSTEMS EXIST WITHIN 200 FEET OF THE PROPOSED WELL, EXCEPT AS SHOWN ON THESE PLANS.

ALTERATION OF THIS DRAWING EXCEPT BY A LICENSED P.E. OR ARCHITECT OR LICENSED LAND SURVEYOR IS ILLEGAL. ANY ALTERATION BY A P.E., OR ARCHITECT OR SURVEYOR MUST BE INDICATED AND BEAR HIS SEAL, SIGNATURE AND DATE OF ALTERATION.

1	10/10/23	TOWN COMMENTS
2	11/14/23	REVISION LOCATIONS
3	01/23/24	REVISION
4	DATE	REVISIONS

**JOHN KARELL, JR. P.E.**  
121 CUSHMAN ROAD  
PATTERSON, NEW YORK 12563

OWNER:	FABIAN PANI 112 STILLWATER ROAD MAHOPAC, NY	SCALE:	1" = 20'	SHEET NO.	S-1
SITE PLAN		DATED:	JANUARY 2, 2023	TAX MAP:	75.17-1-52





PLANNING BOARD  
 Town of Carmel - Town Hall  
 Mahopac, NY 10541  
 (845) 628-1500

WAIVER OF SITE PLAN APPLICATION

To: Town of Carmel Planning Board

I would like to request a waiver of the site plan requirements in connection with a <sup>NO</sup> change of use on the property located at: (NO CHANGE OF USE)

441 Route 6, Mahopac NY 10541

Tax Map # 75.16-1-18 in the Commercial Zone.

For the following reasons: Store Front Renovation

I do ~~not~~ plan to make any exterior changes to the building.

My proposed use of the site is Retail (NO CHANGE)

The present use of the site is Retail (NO CHANGE)

I will employ 0 people (number).

There is (is not) a loading dock to receive my supplies.

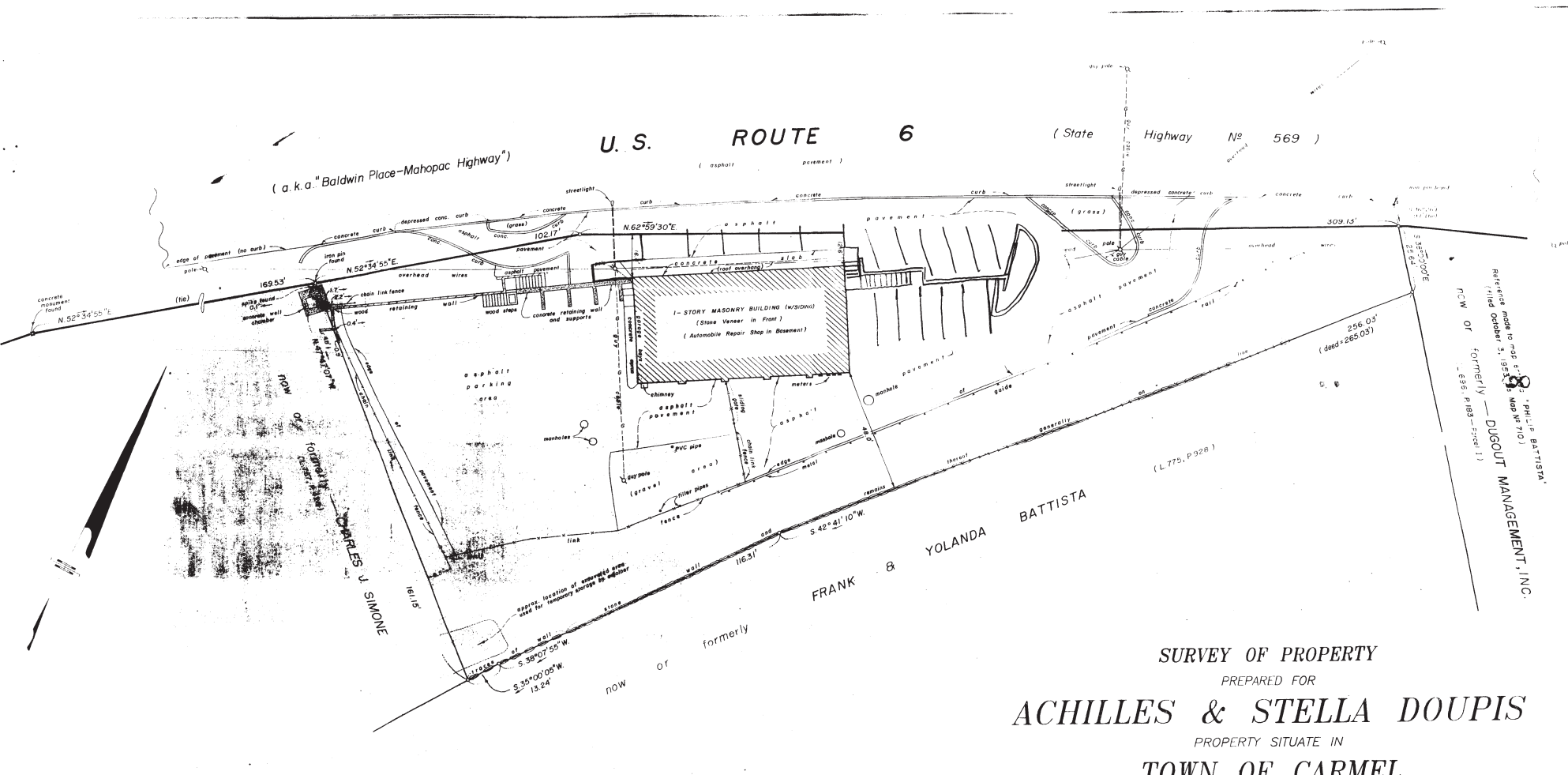
Signs will conform to the code.

Special Comments \_\_\_\_\_

- In support of my request, I have attached the following:  
 Requirements:                   5 copies of this waiver request.  
   5 copies of a floor layout drawn to scale.  
   5 copies of a parking layout drawn to scale on your survey.  
   5 copies of a location map.

ACHILLE'S DOWNS, 441 Route 6 Mahopac, NY 10541  
 Print Applicant's Name, Address & Telephone Number                   845-621-2509

Achilles Downs  
 Applicant's Signature & Date



Reference made to map of Philip Battista filed October 31, 1953 as Map No 710  
 now of Philip Battista  
 formerly DUGOUT MANAGEMENT, INC.  
 (L 775, P 928)

SURVEY OF PROPERTY  
 PREPARED FOR  
**ACHILLES & STELLA DOUPIS**  
 PROPERTY SITUATE IN  
**TOWN OF CARMEL**  
**COUNTY OF PUTNAM**  
**STATE OF NEW YORK**

SCALE: 1"=15'

DATE: NOVEMBER 27, 1991

AREA = 0.864 (+) ACRE

The premises shown hereon being lands described in Liber 790, Page 429 of deeds ("Masterson" to "Doupis"). Subject to any state of facts disclosed by an accurate examination of the

Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of Section 2206, Sub-Division 2 of the New York State Education Law.

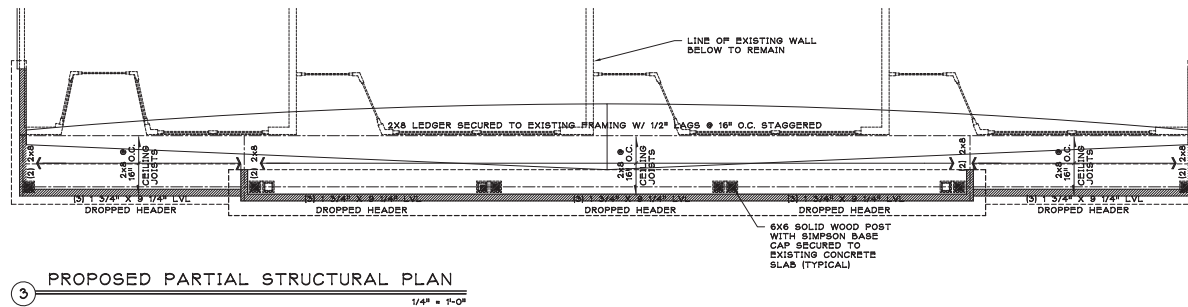
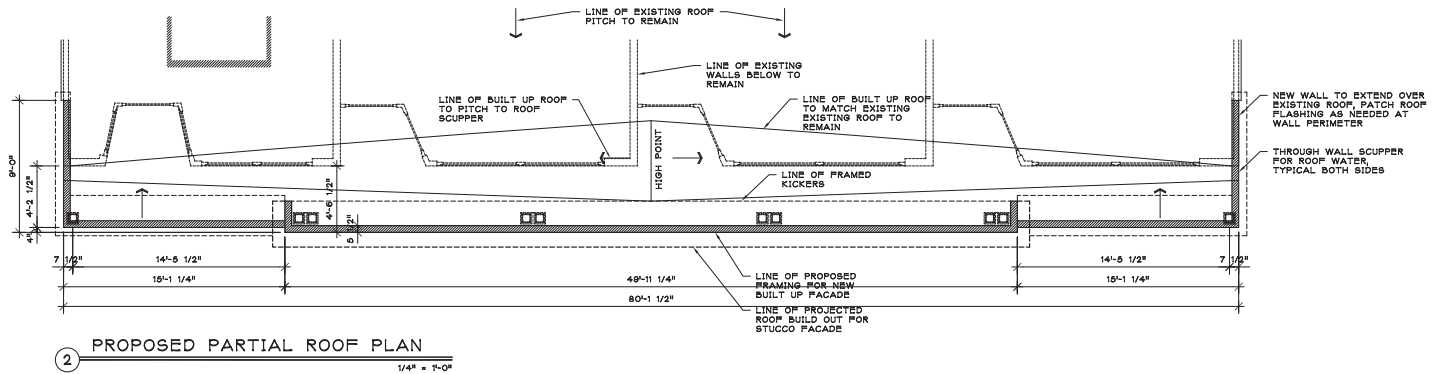
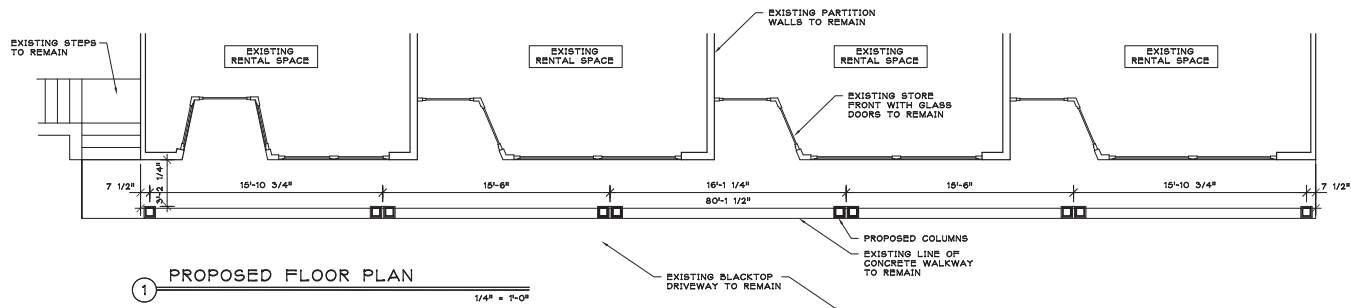
Only copies of the original of this survey marked with this surveyor's embossed seal and his signature in red ink shall be considered to be valid true copies.

ROBERT E. BANTER  
 LAND SURVEYOR  
 No. 10511

The surveyor's signature, seal and any certification appearing hereon signify that, to the best of his knowledge and belief, this survey was performed and prepared in accordance with the minimum standards for land surveys set forth in the Code of Practice adopted by the New York State Association of Professional Land Surveyors, Inc.

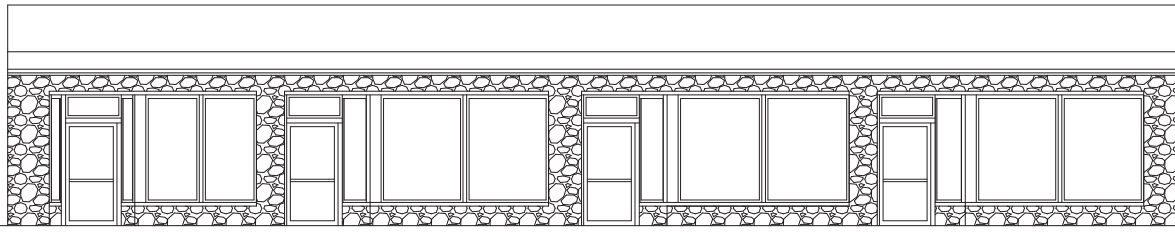






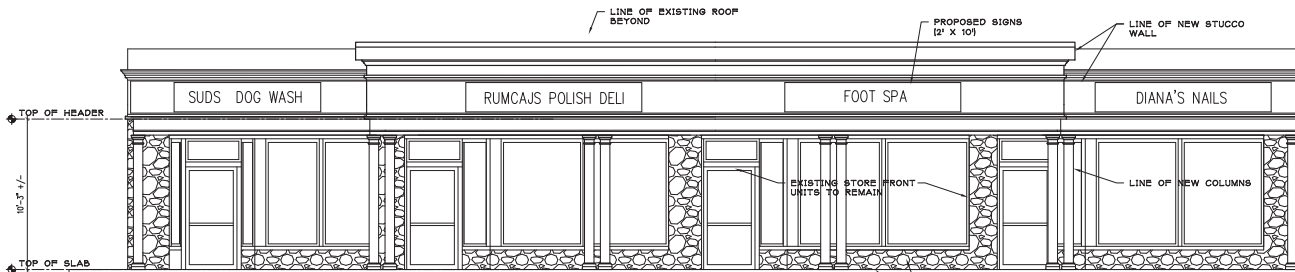
DATE	ISSUED
08/21/23	BUILDING PERMIT

PROPOSED PLANS	Drawn by DD	drawing number
PROJECT: FRONT FACADE RENOVATION: ACHILLES DOUPIS 441 ROUTE 6 MAHOPAC, NY 10541	Scale NOTED	A
	Date 08/21/23	101
	Project no. 441RT6	



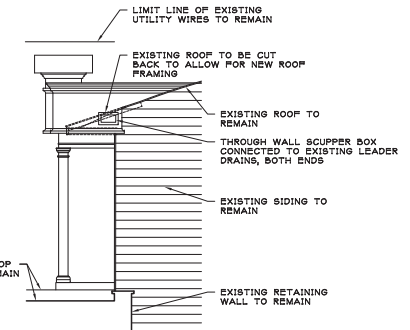
1 EXISTING FRONT ELEVATION

1/4" = 1'-0"



2 PROPOSED FRONT ELEVATION

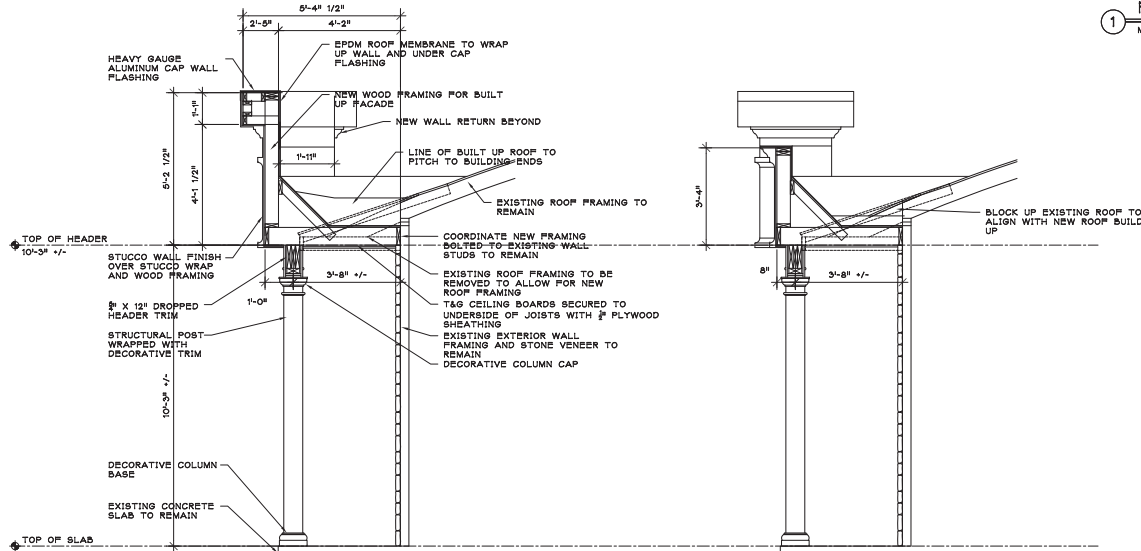
1/4" = 1'-0"



1 PROPOSED SIDE ELEVATIONS

MIRROR IMAGE OTHER SIDE

1/4" = 1'-0"



3 PROPOSED WALL SECTION

1/2" = 1'-0"

4 PROPOSED WALL SECTION

1/2" = 1'-0"

DATE	ISSUED
08/21/23	BUILDING PERMIT

PROPOSED ELEVATIONS & DETAILS PROJECT: FRONT FACADE RENOVATION: ACHILLES DOUPIS 441 ROUTE 6 MAHOPAC, NY 10541	drawn by DD	drawing number A 201
	scale NOTED	
	date 08/21/23	
	project no. 441RT6	