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Chairman

ANTHONY GIANNICO
Vice Chairman

BOARD MEMBERS
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TOWN OF CARMEL
PLANNING BOARD



60 McAlpin Avenue
Mahopac, New York 10541
Tel. (845) 628-1500 – Ext.190
www.ci.carmel.ny.us

MICHAEL CARNAZZA
*Director of Code
Enforcement*

RICHARD FRANZETTI, P.E.
Town Engineer

PATRICK CLEARY,
AICP, CEP, PP, LEED AP
Town Planner

PLANNING BOARD AGENDA
JANUARY 27, 2021 – 7:00 P.M.

TAX MAP # PUB. HEARING MAP DATE COMMENTS

PUBLIC HEARING

1. DP 53, LLC (Spins Bowl) – 23 Old Route 6	55.7-1-1	1/27/21	12/2/20	Open Public Hearing & Resolution
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SITE PLAN

2. House of Prayer & Worship – 365 Hill Street	64.6-1-14		1/18/21	Site Plan
3. Fairhaven at Baldwin Place – Baldwin Place Rd	86.6-1-4		1/14/21	Site Plan

SUBDIVISION

4. Fairhaven at Baldwin Place – Baldwin Place Rd	86.6-1-4		1/14/21	Sketch Plan
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MISCELLANEOUS

5. Minutes – 01/14/21



January 19, 2021

Craig Paepre Chairman & Members of the Planning Board
Town of Carmel
60 McAlpin Avenue
Mahopac, NY 10541

RE: House of Prayer and Worship
365 Hill Street
Mahopac, NY 10541
TM #: 64.06-1-14

Dear Mr. Paepre and Members of the Board,

The following is in regard to the Building Inspector's memo dated January 11, 2021.

1. All variances are noted.
2. The parking requirements were based on one parking space for every three seats.
3. The posted occupancy for the church will be 51.

The following is in regard to the town Engineers memo dated January 8, 2021.

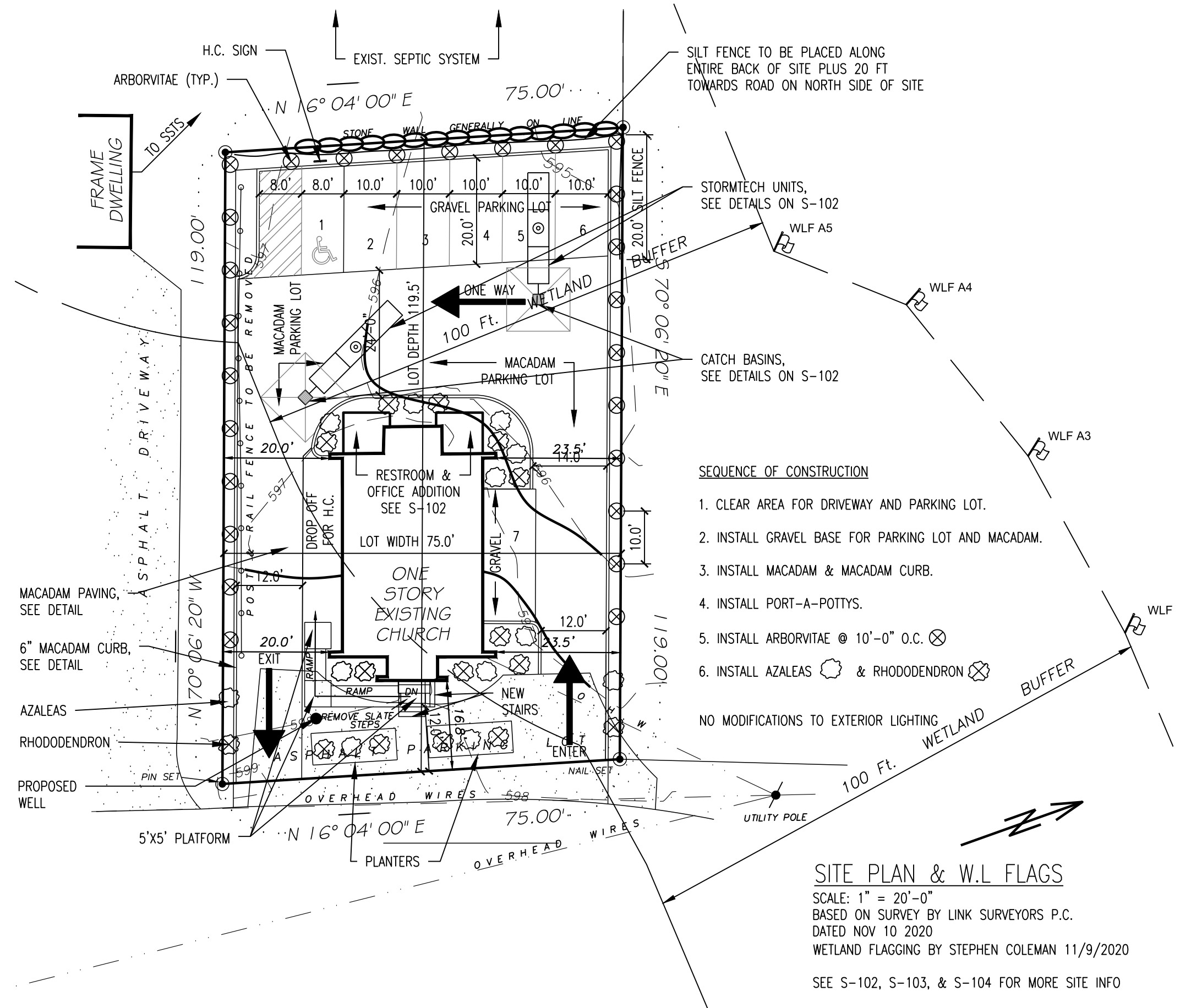
1. All referrals to other agencies have been sent.
2. The area of disturbance was reduced due to the fact that, except for the handicap parking space, all of the other six parking spaces will not be paved.
3. We are awaiting approval from the PCDOH for the well.
4. A legend has been provided.
5. The depth to ground water is 5 FT.
6. The storm-tech units will be rated for H-20 loading.
7. Plantings will be installed as per approval from the Wetlands Inspector and in conformance with section 142 of the Carmel Town Code.
8. The asphalt detail has been revised.
9. The pota-a-potty units have been eliminated and two bathrooms are shown on the floor plan. The water will be supplied by the well and the waste will be picked up by Evans Septic on an as needed basis.

If you have any questions, please do not hesitate to contact me.

Very truly yours,

Joel Greenberg, AIA, NACRB





PROPERTIES WITHIN 500 FT

53.18-1-5 Bruce L Daul 145 Mexico Ln Mahopac, NY 10541	64.6-1-48 Matthew J Fallon 16 Stocum Ave Mahopac, NY 10541	64.6-1-49 Frank Servideo 350 Hill St Mahopac, NY 10541
64.6-1-11 Patrick Higgins 353 Hill St Mahopac, NY 10541	64.6-1-12 Federico Perruzza 359 Hill St Mahopac, NY 10541	64.6-1-13 Mark D Hanson 363 Hill St Mahopac, NY 10541
64.6-1-14 Mt Hope United Methodist Churc 3 Grove St New Paltz, NY 12561	64.6-1-14 Mt Hope United Methodist Churc 70-1101 PO BOX 381 Mahopac Falls, NY 10542	53.18-1-12 Joseph Perillo 38 Stonewall Farms Rd Mahopac, NY 10541
64.6-1-15 Bruce L Daul 145 Mexico Ln Mahopac, NY 10541	64.6-1-6 Finbar T Looby Jr 485 Bullet Hole Rd Mahopac, NY 10541	64.6-1-7 Finbar Looby 489 Bullet Hole Rd Mahopac, NY 10541
64.6-1-8 Thomas Brophy 493 Bullet Hole Rd Mahopac, NY 10541	64.6-1-9 John E Dowling 495 Bullet Hole Rd Mahopac Falls, NY 10542	64.6-1-10 William J Bishop 501 Bullet Hole Rd Mahopac, NY 10541

Town of Carmel Zoning Requirements

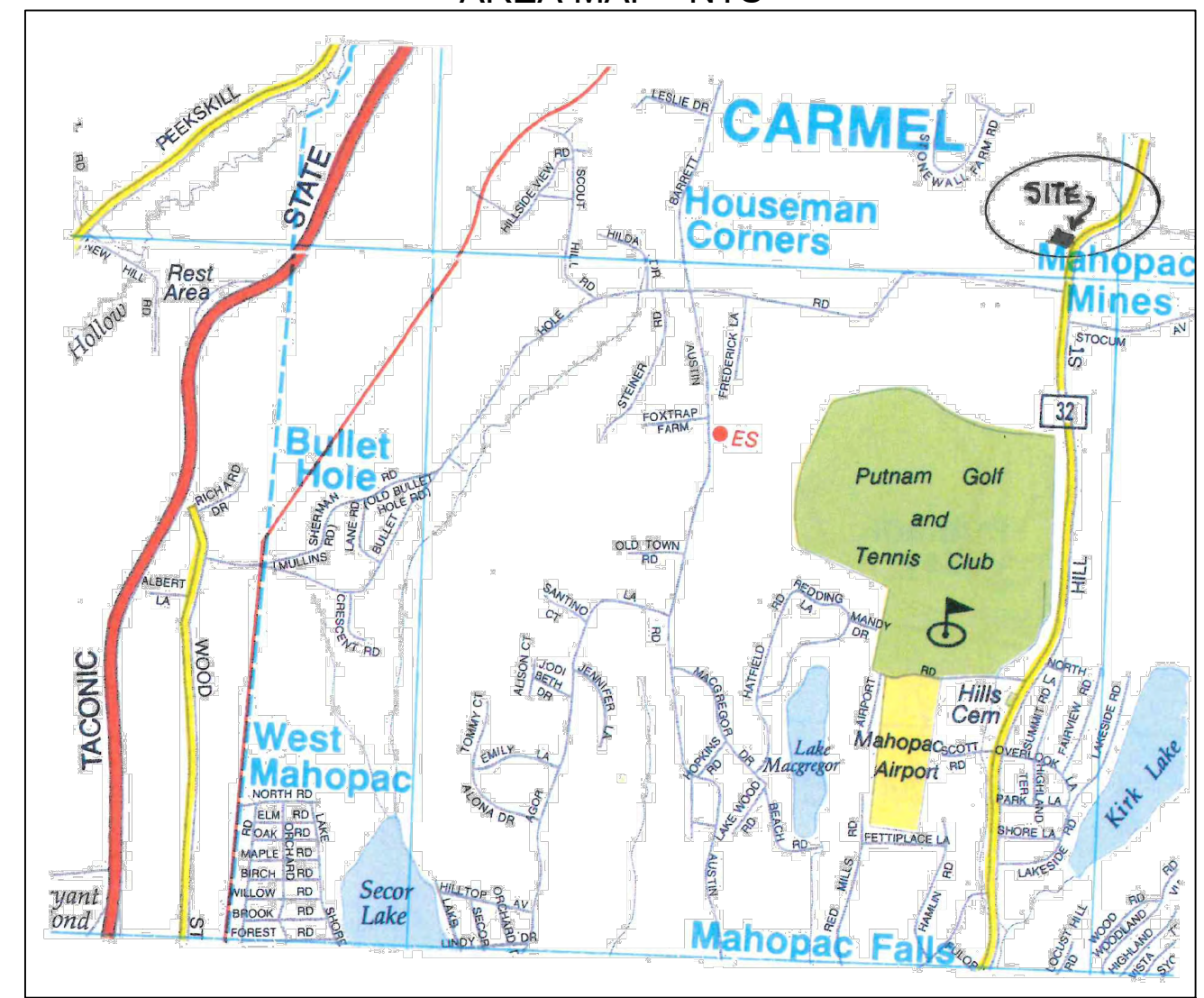
Basic Data:
 Owner: House of Prayer and Worship (Pastor Edgar Evans)
 Address: 365 Hill Street, Mahopac, NY 10541
 T.M. #: 64.6-1-14
 Zoning District: R-120 Proposed Use: Existing Methodist Church, Proposed House of Prayer and Worship Church

Bulk Regulations:	Required/Allowable:	Existing/Proposed:	Variance Required:
Lot Area:	120,000 SF	8,905 SF	111,095 SF
Lot Width:	200 LF	74 LF	126 FT
Lot Depth:	200 LF	118 LF	82 FT
Parking:	1 Per 3 Seats	51 Seats / 3 = 17 (7 PS Provided)	10 Parking Spaces
Front Yard:	25 FT	11.0 FT	14 FT
Side Yard: North	10 FT	23.5 FT	NONE
Side Yard:	10 FT	20 FT	NONE
Rear Yard:	15 FT	48 FT	NONE
Area of Disturbance:	N/A	0 FT Exist. / 4,367 SF	NONE
Parking surface	Macadam	Macadam & Gravel	YES

FRONT VIEW OF CHURCH



AREA MAP - NTS



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PROJECT:
 HOUSE OF PRAYER & WORSHIP
 PASTOR EDGAR EVANS
 PROJECT ADDRESS: 365 HILL STREET MAHOPAC, NY 10541
 MAILING ADDRESS: 107 CLARKSON ROAD CARMEL, NY 10512
 TAX MAP NO. 64.06-1-14

SITE PLAN

ISSUANCE	DATE
FOR REVIEW	11/2/2020
FOR REVIEW	11/16/2020
FOR REVIEW	12/3/2020
FOR REVIEW	12/7/2020
FOR REVIEW	12/14/2020
FOR REVIEW	12/31/2020
FOR REVIEW	1/18/2021

SCALE AS NOTED
 DRAWN BY/CHKD BY MCK/-/JLG
 PROJECT NO. 07-20-070

S-100

FRONT LEFT VIEW OF CHURCH (SOUTH)



LEFT VIEW OF CHURCH (SOUTH)



RIGHT VIEW OF CHURCH (NORTH)



REAR VIEW OF CHURCH (WEST)



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PROJECT:
HOUSE OF PRAYER & WORSHIP

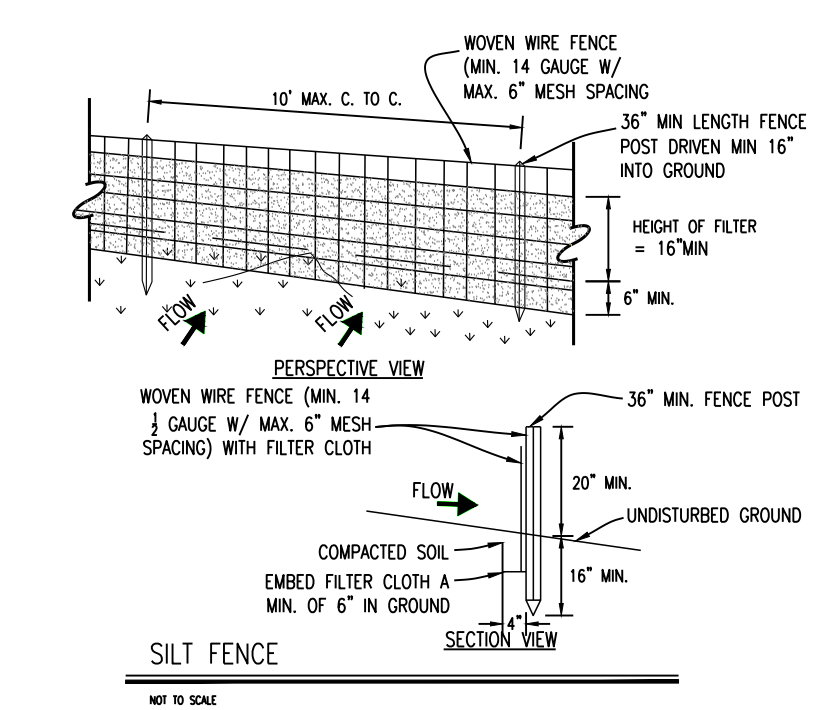
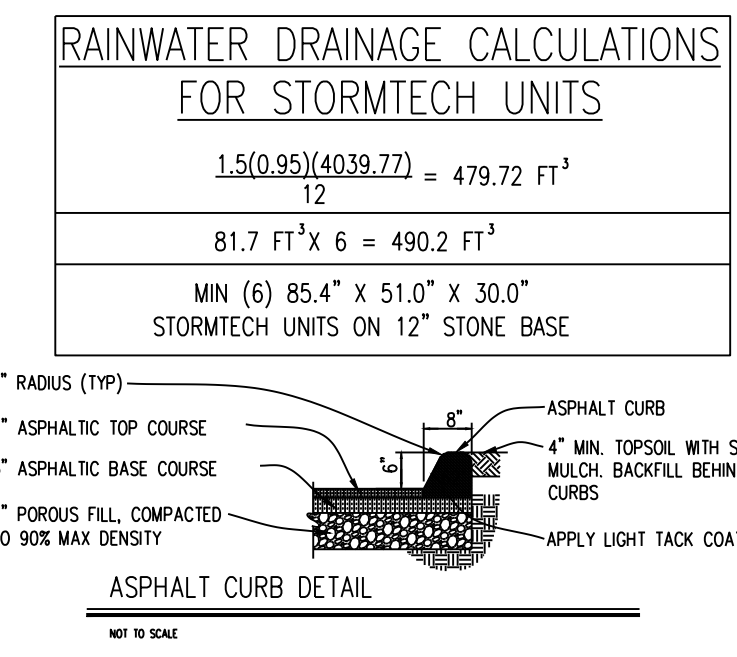
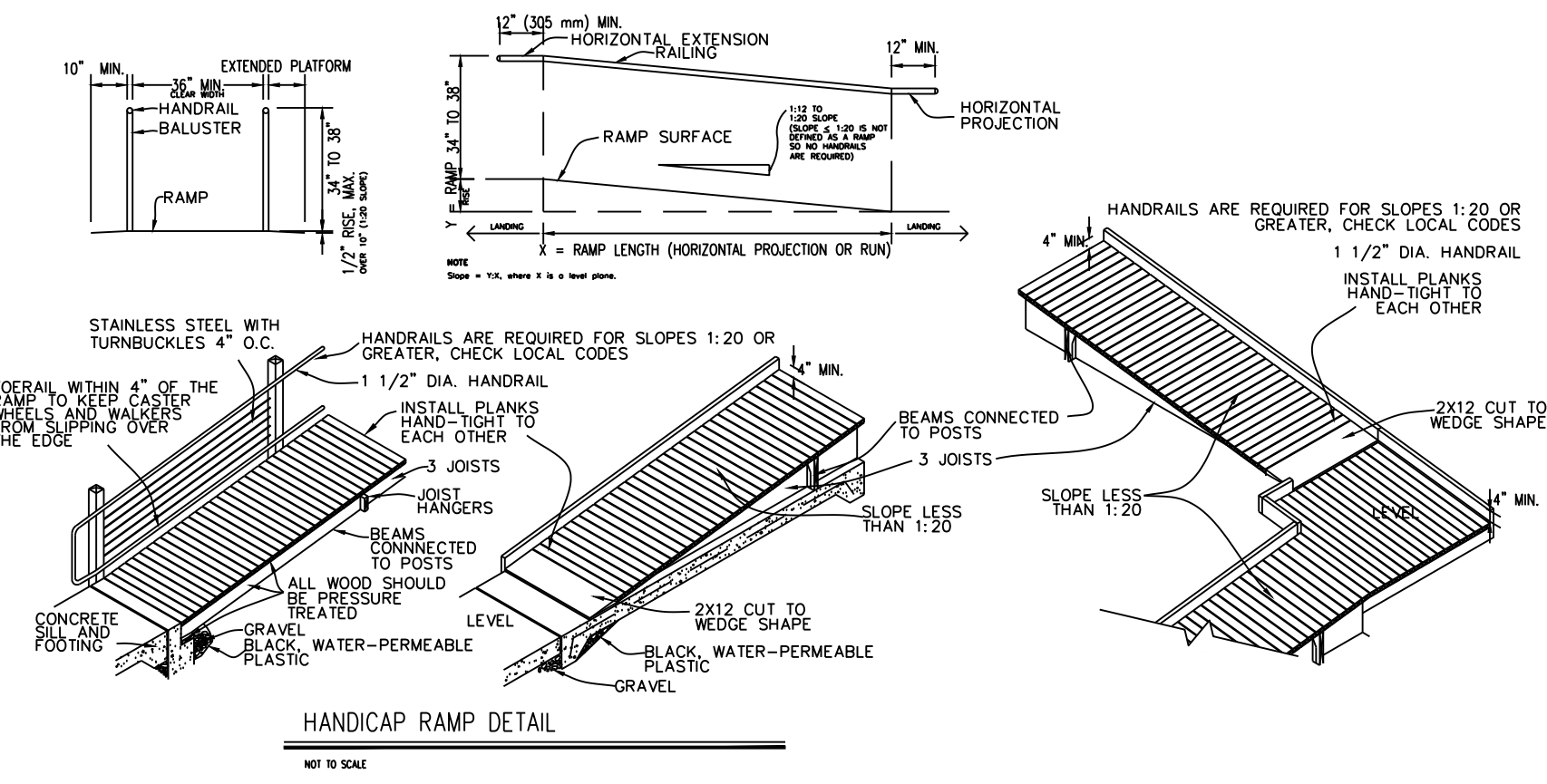
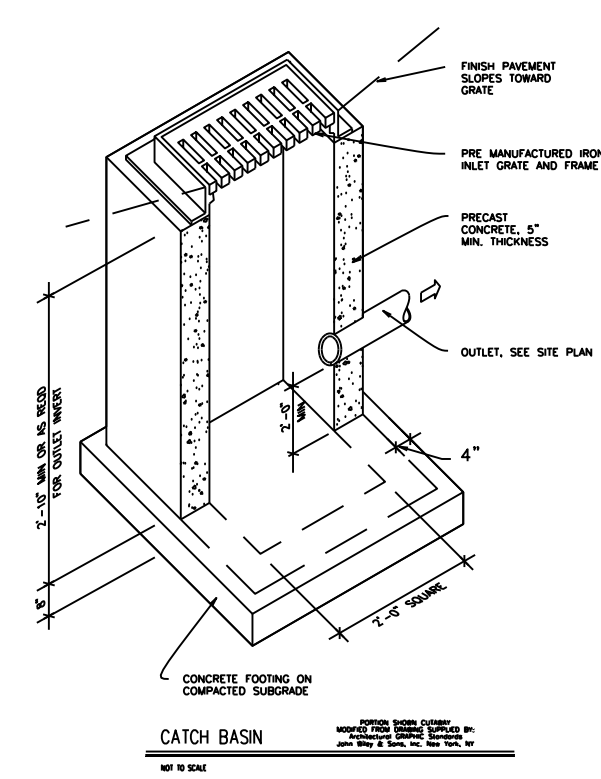
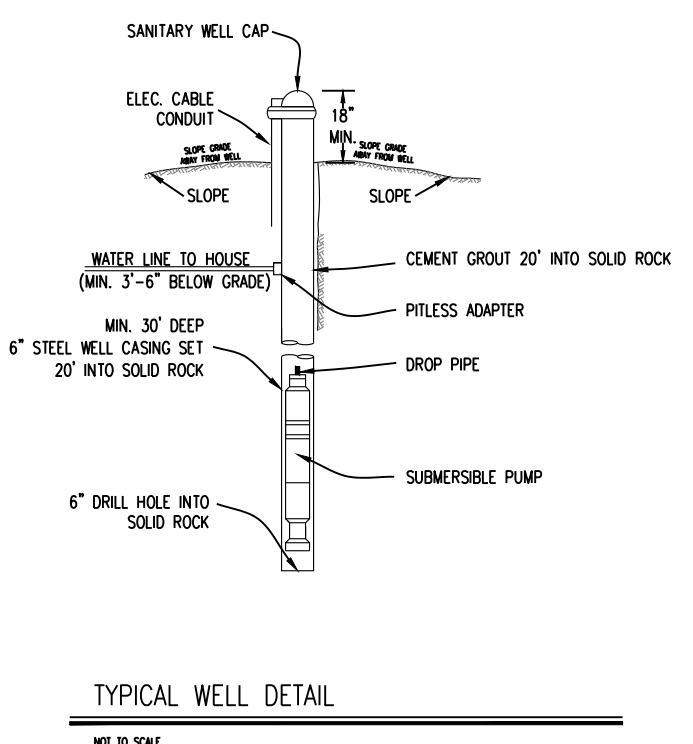
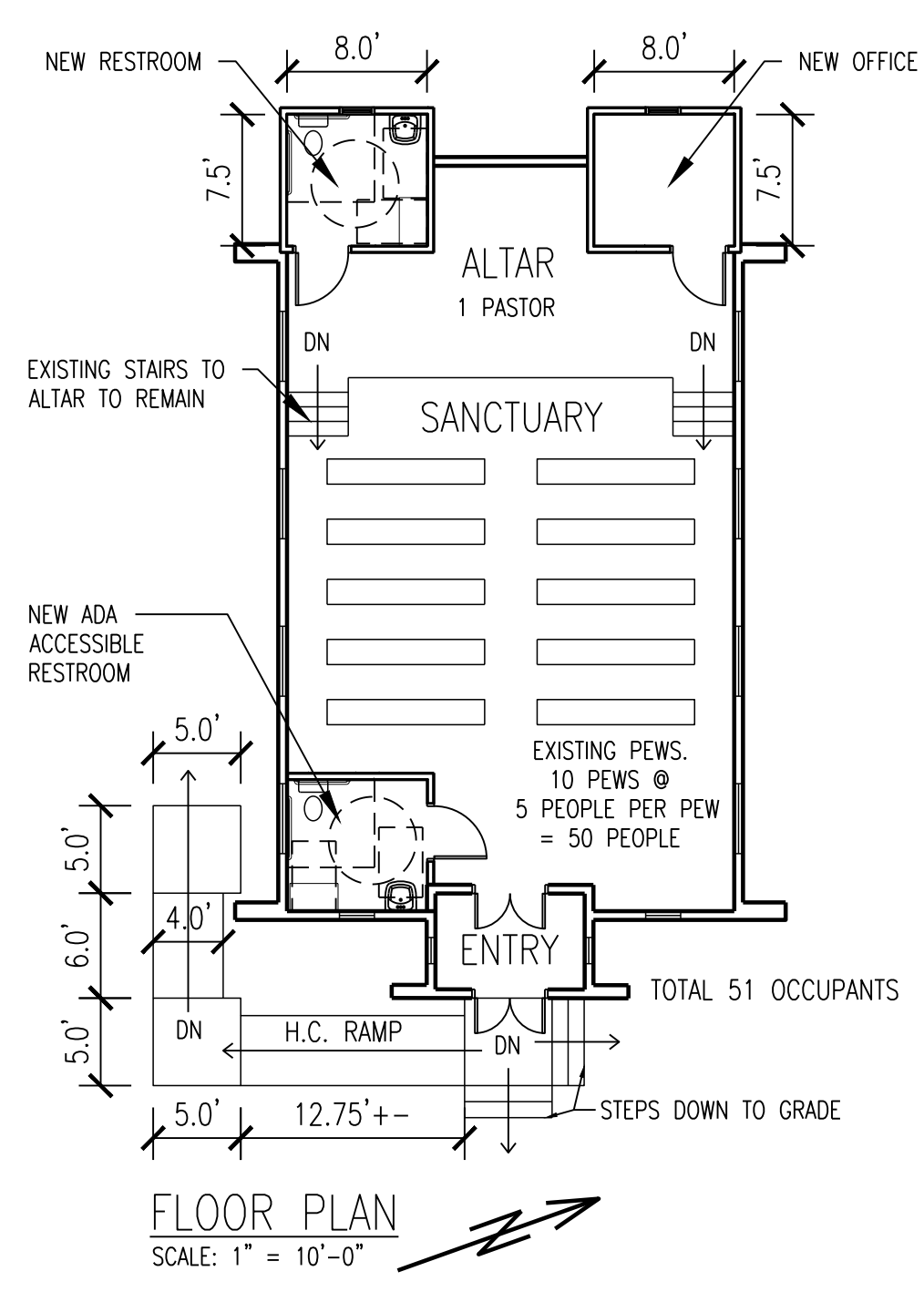
PASTOR EDGAR EVANS
PROJECT ADDRESS 365 HILL STREET MAHOPAC, NY 10541
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TAX MAP NO. 64.06-1-14

SITE PHOTOS

ISSUANCE	DATE
FOR REVIEW	11/2/2020

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DRAWN BY/CHKD BY MCK/-/JLG
PROJECT NO. 07-20-070

S-101



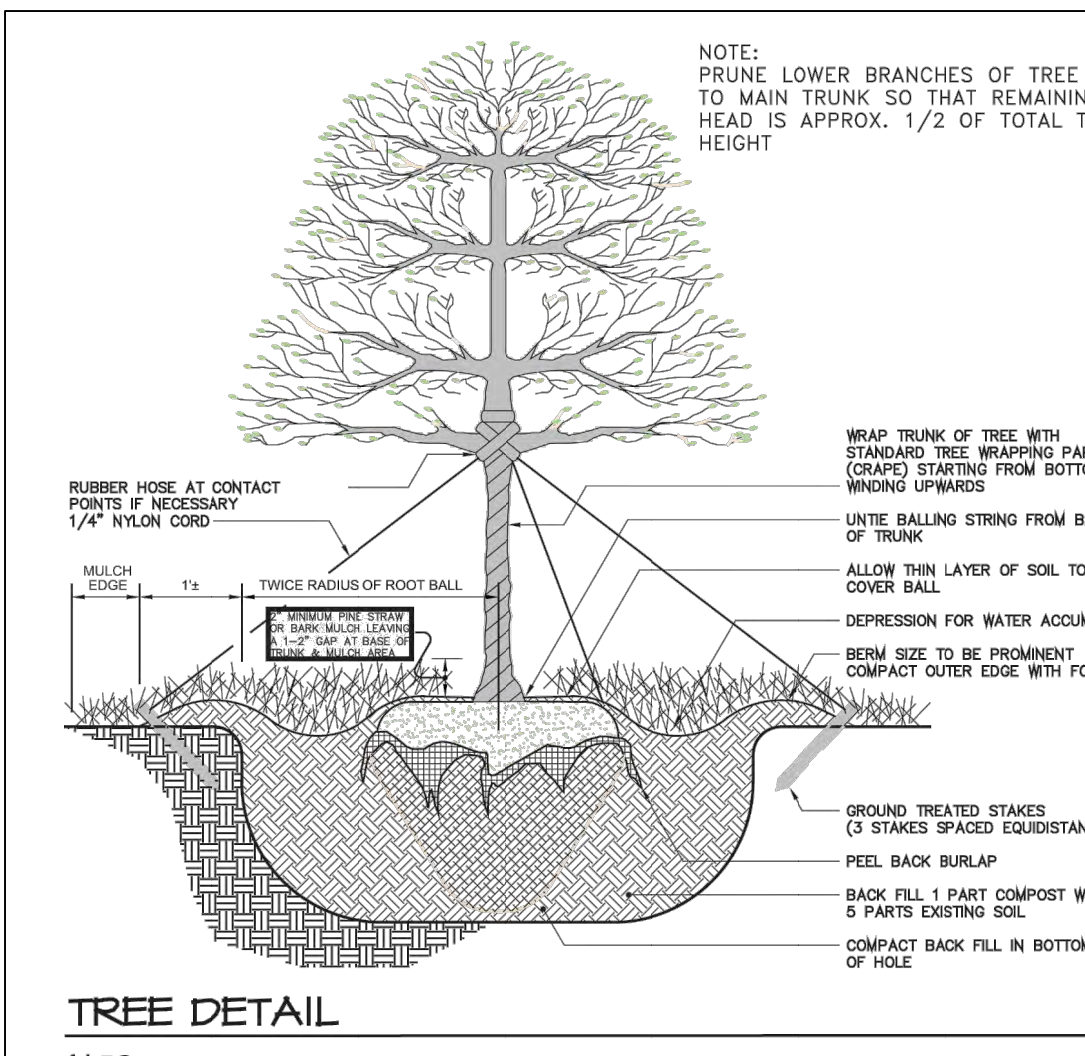
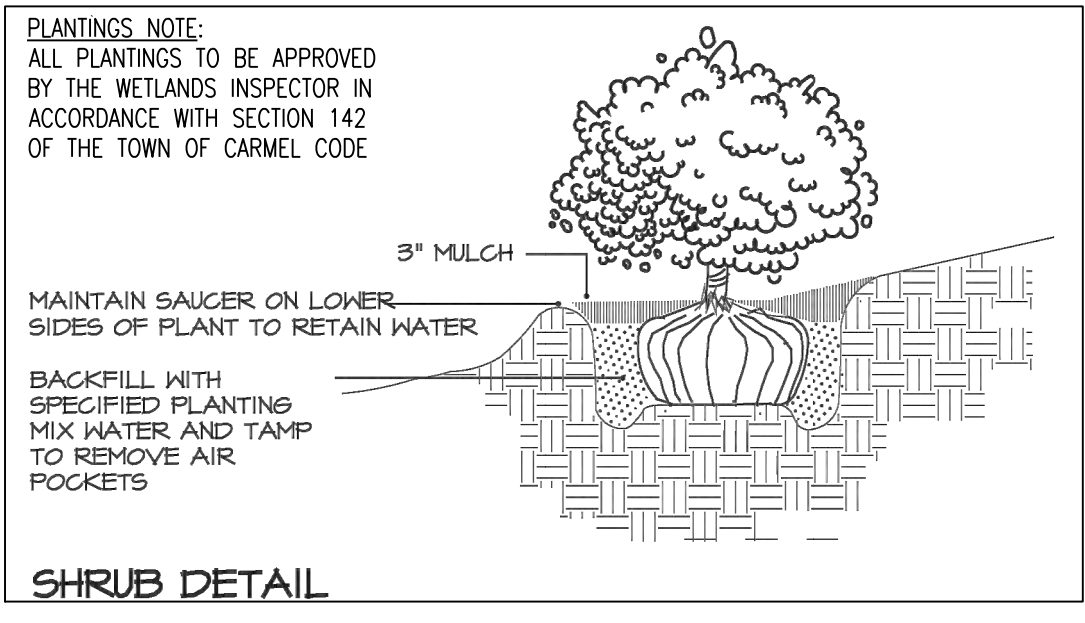
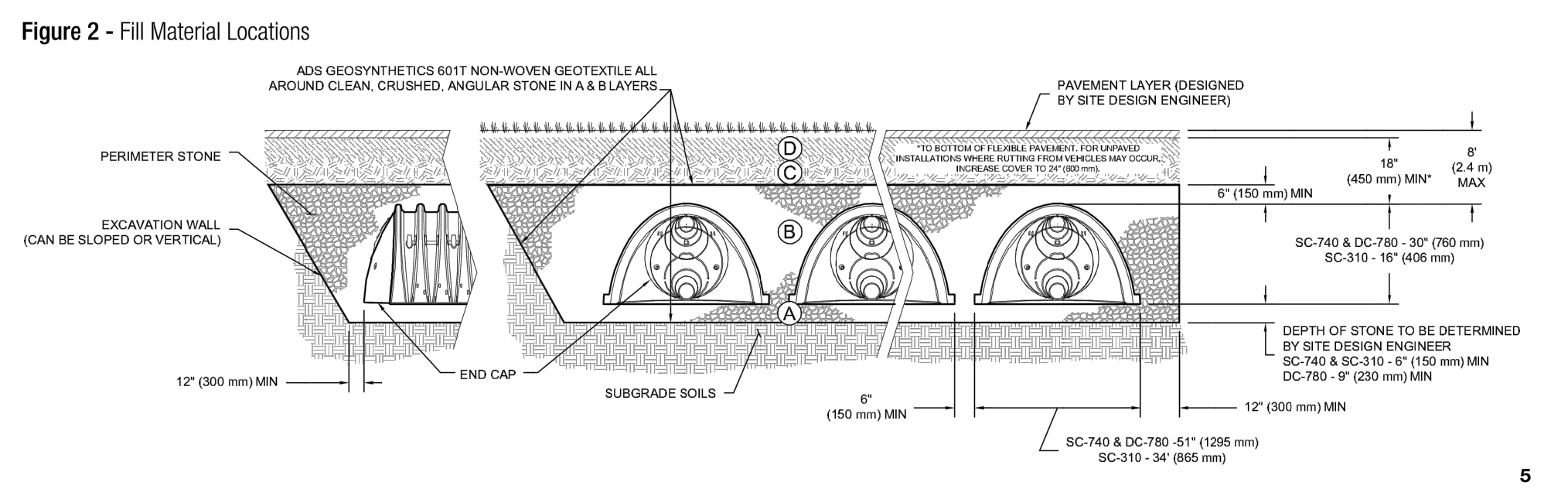
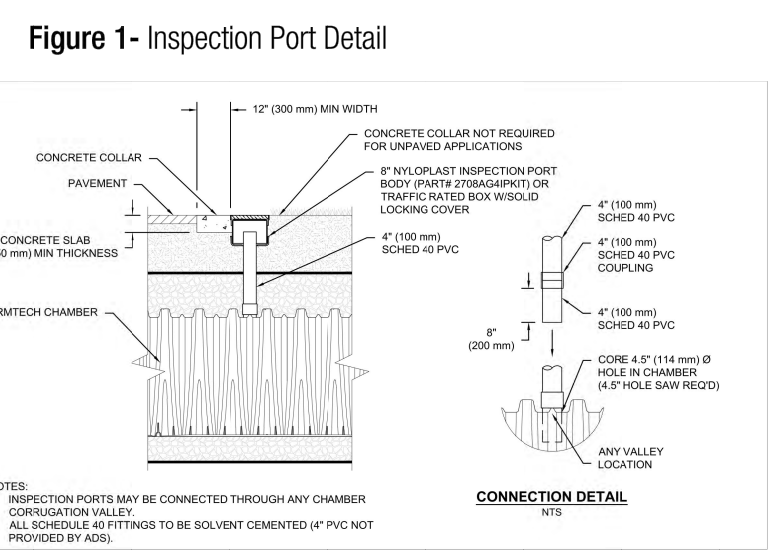
STORMTECH UNITS NOTES-
1 H-20 LOADING
2 DEPTH TO GROUND WATER 5 FEET

Table 1 - Acceptable Fill Materials

Material Location	Description	AASHTO M43 Designation ¹	Compaction/Density Requirement
D Final Fill: Fill Material for layer 'D' starts from the top of the 'C' layer to the bottom of flexible pavement or unprepared finished grade above. Note that the pavement subbase may be part of the 'D' layer.	Any soil/rock materials, native soils or per engineer's plans. Check plans for pavement subgrade requirements.	N/A	Prepare per site design engineer's plans. Paved installations may have stringent material and preparation requirements.
C Initial Fill: Fill Material for layer 'C' starts from the top of the embedment stone ('B' layer) to 18" (450 mm) above the top of the chamber. Note that pavement subbase materials can be used in lieu of this layer.	Granular well-graded soil/aggregate mixtures, <35% fines or processed aggregate. Most pavement subbase materials can be used in lieu of this layer.	AASHTO M45 A-1, A-2-4, A-3 or AASHTO M431 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	Begin compaction after min. 12" (300 mm) of material over the chambers is reached. Compact additional layers in 6" (150 mm) max. lifts to a min. 95% Proctor density for well-graded material and 95% relative density for processed aggregate materials. Roller gross vehicle weight not to exceed 12,000 lbs (53 kN). Dynamic force not to exceed 20,000 lbs (89 kN).
B Embedment Stone: Embedment Stone surrounding chambers from the foundation stone to the 'C' layer above.	Clean, crushed, angular stone	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	No compaction required.
A Foundation Stone: Foundation Stone below the chambers from the subgrade up to the foot (bottom) of the chamber.	Clean, crushed, angular stone.	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	Place and compact in 6" (150 mm) lifts using two full coverages with a vibratory compactor. ^{2,3}

PLEASE NOTE:

- The listed AASHTO designations are for gradations only. The stone must also be clean, crushed, angular. For example, a specification for #4 stone would state: "clean, crushed, angular no. 4 (AASHTO M43) stone".
- StormTech compaction requirements are met for 'A' location materials when placed and compacted in 6" (150 mm) (max) lifts using two full coverages with a vibratory compactor.
- Where infiltration surfaces may be comprised by compaction, for standard installations and standard design load conditions, a flat surface may be achieved by raking or dragging without compaction equipment. For special load designs, contact StormTech for compaction requirements.



- CONSTRUCTION SPECIFICATIONS:**
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER 'T' OR 'U' TYPE OR HARDWOOD.
 - FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE 6" MAXIMUM MESH OPENINGS.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
 - PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN 'BULGES' DEVELOP IN THE SILT FENCE.

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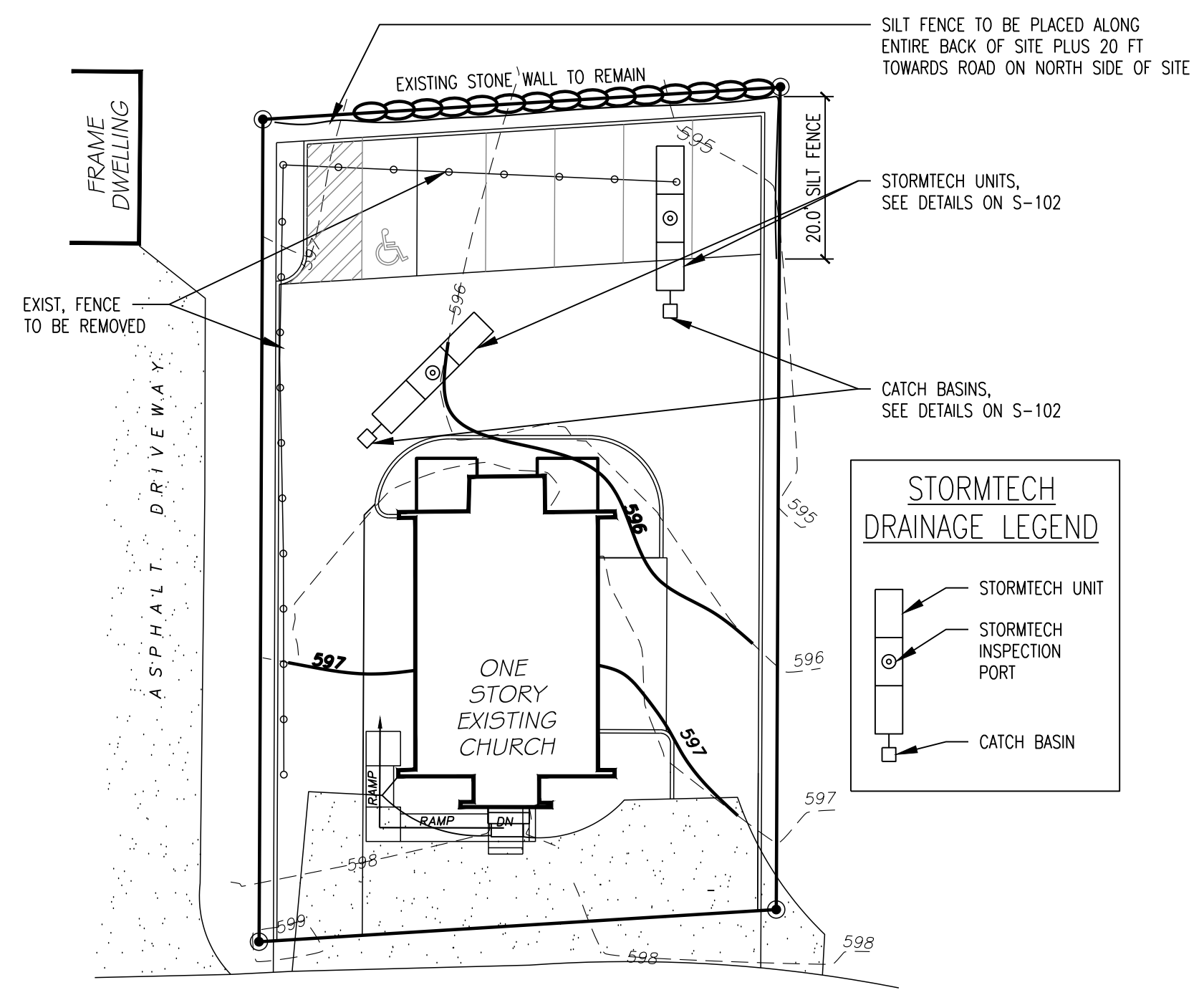
PROJECT:
HOUSE OF PRAYER & WORSHIP
PASTOR EDGAR EVANS
PROJECT ADDRESS 365 HILL STREET MAHOPAC, NY 10541
MAILING ADDRESS 107 CLARKSON ROAD CARMEL, NY 10512
TAX MAP NO. 64.06-1-14

DETAILS

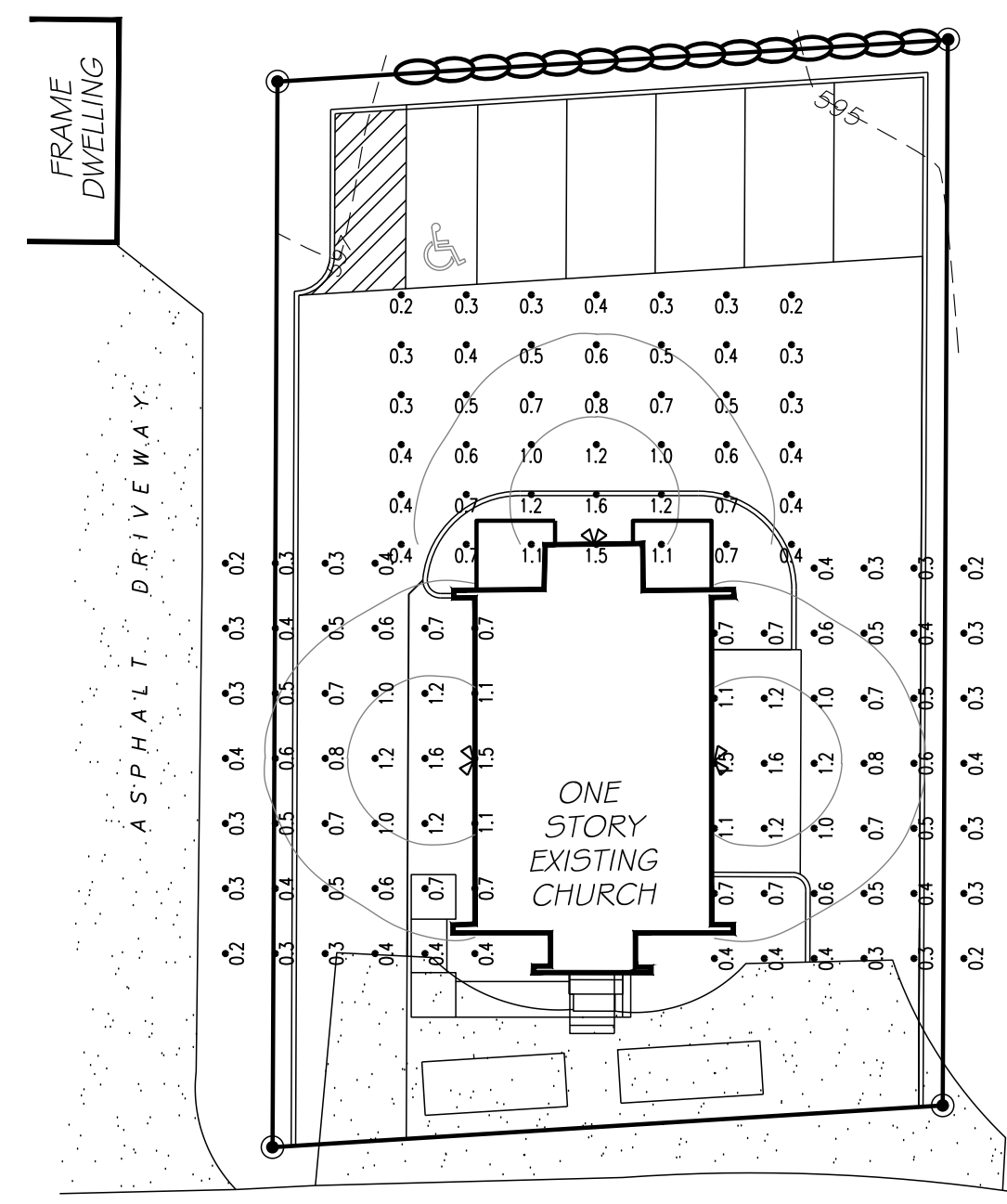
ISSUANCE	DATE
FOR REVIEW	11/2/2020
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FOR REVIEW	12/3/2020
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FOR REVIEW	12/14/2020
FOR REVIEW	12/31/2020
FOR REVIEW	1/18/2021

SCALE AS NOTED
DRAWN BY/CHKD BY MCK/-/JLG
PROJECT NO. 07-20-070

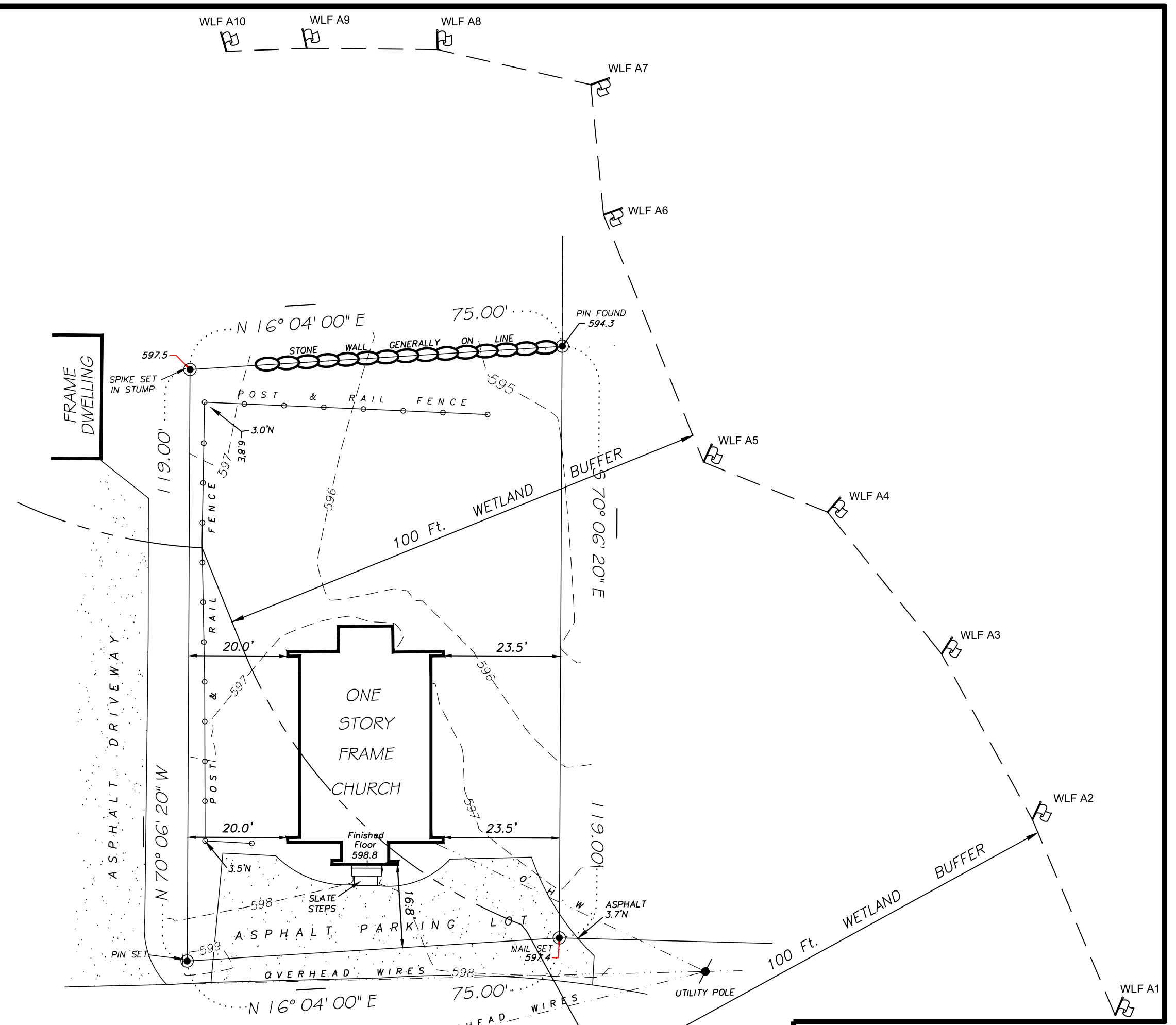
S-102



SITE PLAN WITH TOPOGRAPHY, REGRADING, & DRAINAGE
SCALE: 1" = 20'-0"
BASED ON SURVEY BY LINK SURVEYORS P.C.



LIGHTING SPILL PLAN
SCALE: 1" = 20'-0"
BASED ON SURVEY BY LINK SURVEYORS P.C.



SITE SURVEY / EXISTING CONDITIONS
SCALE: 1" = 20'-0"
BASED ON SURVEY BY LINK SURVEYORS P.C.
DATED NOV 10 2020
WETLAND FLAGGING BY STEPHEN COLEMAN 11/9/2020

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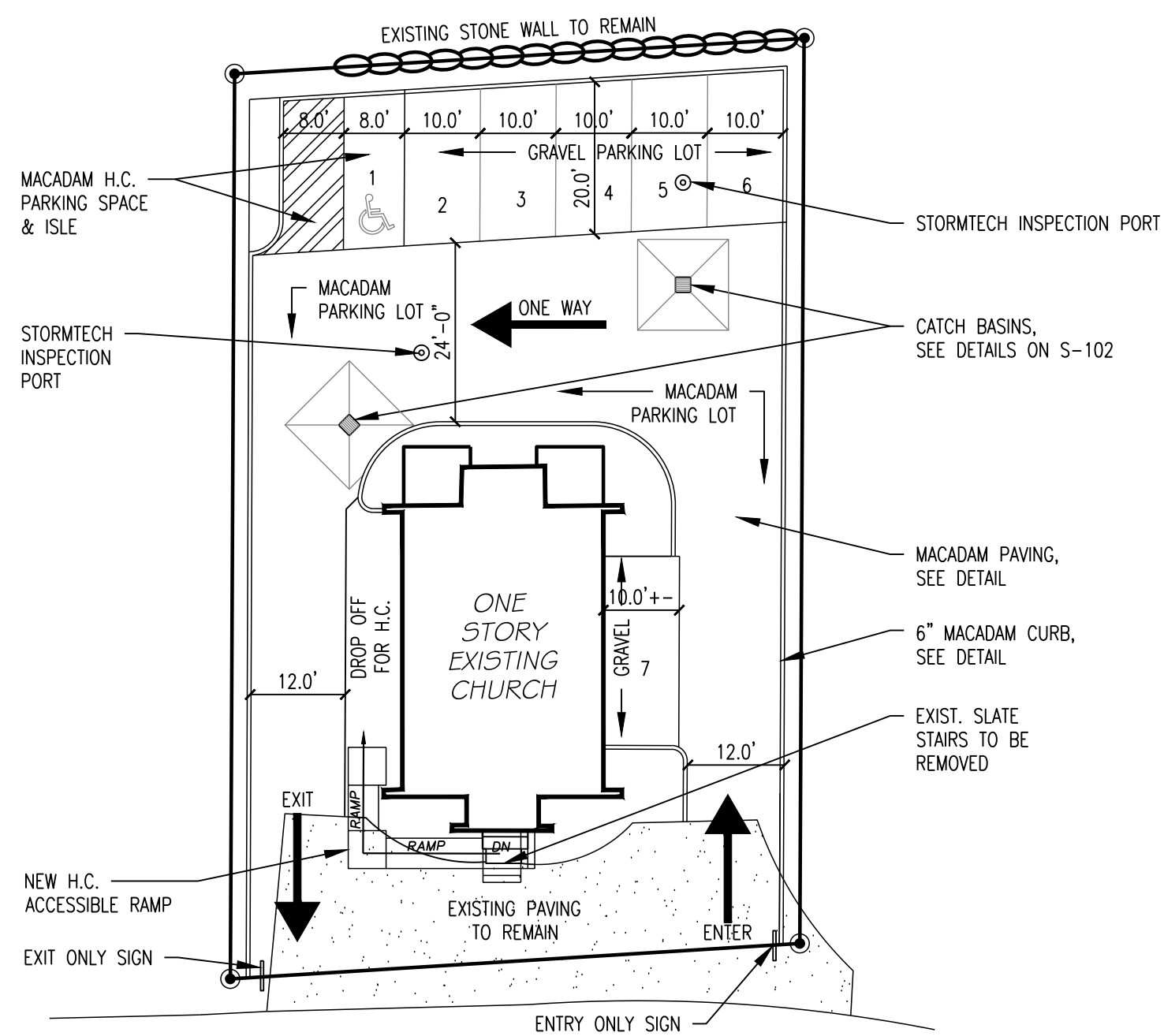
PROJECT:
HOUSE OF PRAYER & WORSHIP
PASTOR EDGAR EVANS
PROJECT ADDRESS: 365 HILL STREET
MAHOPAC, NY 10541
MAILING ADDRESS: 107 CLARKSON ROAD
CARMEL, NY 10512
TAX MAP NO. 64.06-1-14

EXISTING CONDITIONS, LIGHTING SPILL PLAN & TOPOGRAPHY

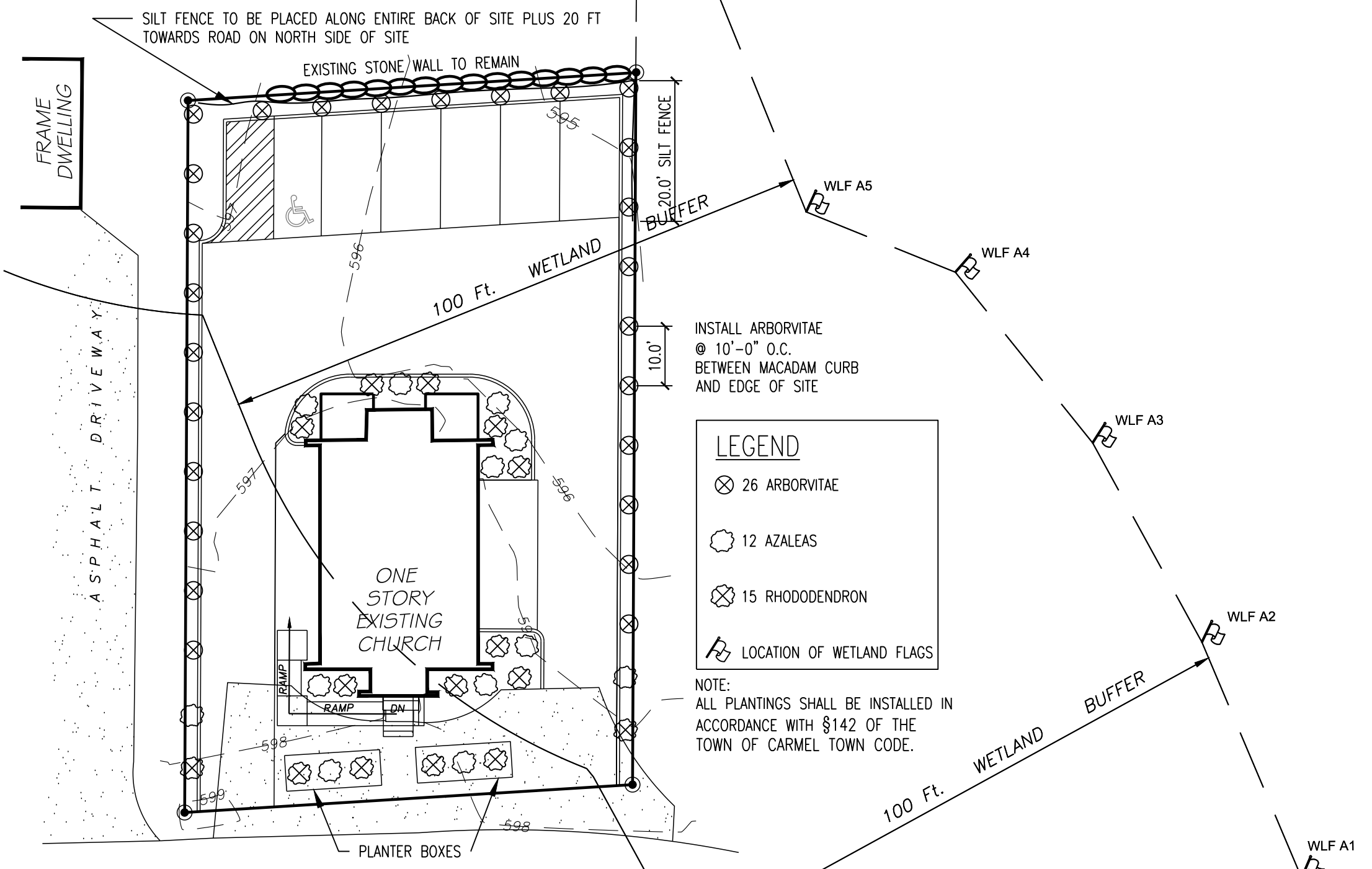
ISSUANCE	DATE
FOR REVIEW	11/2/2020
FOR REVIEW	11/16/2020
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FOR REVIEW	12/31/2020
FOR REVIEW	1/18/2021

SCALE AS NOTED
DRAWN BY/CHKD BY: MCK/-/JLG
PROJECT NO. 07-20-070

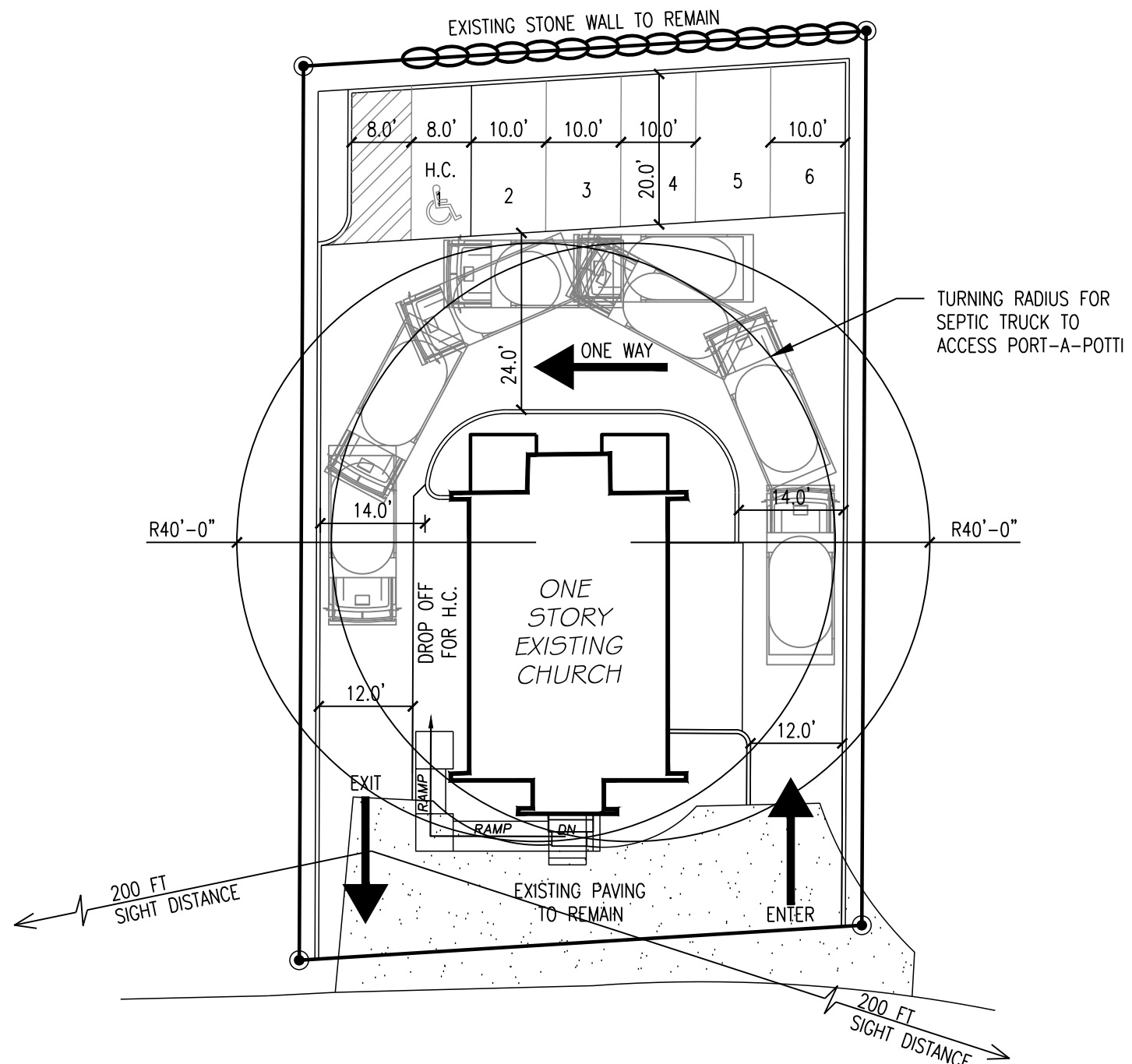
S-103



PAVING PLAN
 SCALE: 1" = 20'-0"
 BASED ON SURVEY BY LINK SURVEYORS P.C.



LANDSCAPING PLAN
 SCALE: 1" = 20'-0"
 BASED ON SURVEY BY LINK SURVEYORS P.C.
 DATED NOV 10 2020
 WETLAND FLAGGING BY STEPHEN COLEMAN 11/9/2020



TRUCK TURNING RADIUS DIAGRAM
 SCALE: 1" = 20'-0"
 BASED ON SURVEY BY LINK SURVEYORS P.C.

Stopping Sight Distance

S = Stopping Distance (FT.)
 V = Design Speed (MPH)
 G = Grade (%)

$$S = 1.47(30)(2.5) + \frac{30^2 = 900}{30[0.347826 + \frac{0.03}{100}]}$$

$$S = 110.25 + \frac{900}{10.44378}$$

$$S = 110.25 + 86.175695$$

$$S = 196.4 \text{ FT}$$

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 JOEL.GREENBERG@ARCH-VISIONS.COM

PROJECT:
 HOUSE OF PRAYER & WORSHIP

PASTOR EDGAR EVANS
 PROJECT ADDRESS
 365 HILL STREET
 MAHOPAC, NY 10541

MAILING ADDRESS
 107 CLARKSON ROAD
 CARMEL, NY 10512

TAX MAP NO. 64.06-1-14

PAVING & LANDSCAPING SITE PLANS

ISSUANCE	DATE
FOR REVIEW	11/2/2020
FOR REVIEW	11/16/2020
FOR REVIEW	12/3/2020
FOR REVIEW	12/7/2020
FOR REVIEW	12/31/2020
FOR REVIEW	1/18/2021

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PROJECT:
HOUSE OF PRAYER & WORSHIP

PASTOR EDGAR EVANS
PROJECT ADDRESS 365 HILL STREET MAHOPAC, NY 10541
MAILING ADDRESS 107 CLARKSON ROAD CARMEL, NY 10512
TAX MAP NO. 64.06-1-14

RENDERINGS

ISSUANCE	DATE
FOR REVIEW	12/31/2020
FOR REVIEW	1/18/2021

SCALE AS NOTED
DRAWN BY/CHKD BY MCK/-/JLG
PROJECT NO. 07-20-070

S-105



January 18, 2021

Town of Carmel Planning Board
60 McAlpin Avenue
Mahopac, New York 10541

RE: Fairhaven at Baldwin Place
Baldwin Place Road and Route 6
Town of Carmel
TM# 86.6-1-4

Dear Chairman Paepre and Members of the Board:

Please find enclosed the following plans and documents in support of an application for site plan / subdivision approval for the above referenced project:

- Two (2) drawing Sketch Subdivision Plan, revised January 14, 2021. (5 copies)
- Eleven (11) drawing Site Plan Set, revised January 14, 2021. (5 copies)
- Zoning Analysis, dated January 14, 2021.
- Operational Summary, dated January 14, 2021.
- Six (6) drawing Architectural Drawing Set, prepared by Reform Architecture, revised January 14, 2021. (5 copies)
- SEQR Full EAF, revised January 14, 2021. (11 copies)
- Letter regarding parking from Philip J. Grealy, PhD, PE from Maser Consulting, dated January 12, 2021.

Following our discussion with the Planning Board at the December meeting, and follow up discussions with the Town's consultants, the plans have been revised to address the concerns that have been raised. The applicant's main priority remains to satisfy the outstanding concerns to the degree that a referral to the Zoning Board of Appeals would be acceptable to the Board.

With regard to comments from Director of Code Enforcement, Michael Carnazza regarding the proposed subdivision, dated December 17, 2020, we offer the following responses:

- 1) The lot width and depth dimensions have been shown on the plat. The proposed property lines have also been revised to allow more clearly identifiable width and depth dimensions as defined in the zoning code.
- 2) Based on the provided lot depth and width, no variance would be necessary.

With regard to comments from Director of Code Enforcement, Michael Carnazza regarding the site plan, dated December 17, 2020, we offer the following responses:

- 1) The description of the project is accurate.

3 Garrett Place, Carmel, New York 10512 (845) 225-9690 Fax (845) 225-9717
www.insite-eng.com

January 18, 2021

- 2) Supportive Housing is further described in the attached Operational Summary.
- 3) The lot width and depth dimensions have been shown on the Overall Plan. The proposed property lines have also been revised to allow more clearly identifiable width and depth dimensions as defined in the zoning code.
- 4) Floor Plans and Elevations have been provided.
- 5) A summary of recreation space has been outlined in a table on drawing SP-1.1.
- 6) Fire suppression will be included in the building design and construction.
- 7) There is a county bus route on Route 6 and on Baldwin Place Road.
- 8) There are retail/service businesses within 600' of the site. The smallest one-bedroom units are 652 SF, and the largest two-bedroom units are 968 SF.
- 9) With regard to the variances required, we agree that a variance is required related to the age restriction on the Senior Housing ordinance, and on the number of required parking spaces. However, the building will be served by community water and sewer, in the form of a system of drilled wells (community public water supply) and a septic system (community subsurface sewage treatment system), respectively.

With regard to comments from Town Engineer, Richard Franzetti, regarding the subdivision, dated December 11, 2020, we offer the following responses:

- 1) The list of required referrals is acknowledged.
- 2) The list of required permits is acknowledged.
- 3) The wetland delineation was completed by Tim Miller Associates.
- 4) A SWPPP will be provided with a future submission.
- 5) The recommendation of a traffic study is acknowledged and will be addressed with a future submission.
- 6) The requirement of performance bonds and engineering fees for improvements in the public right of way is acknowledged.
- 7) The plan as currently proposed offers significant private open space, some of which is included in the Recreation Area Summary on drawing SP-1.1.
- 8) The requirement of performance bonds and maintenance agreements for stormwater facilities is acknowledged and will be addressed at a future date.
- 9) The Full EAF has been resubmitted and revised as requested.
 - a. NYCDEP permitting has been added to the permit list on page 2.
 - b. The proposed action does not meet the threshold provided in the Full EAF Workbook as a "substantial increase." However, more detail on anticipated traffic associated with the proposed use will be provided once it is established that the use is permissible.

January 18, 2021

- c. There will be no petroleum stored on site. It is contemplated that the building would be serviced by natural gas from the local utility.
- d. The answer to E.1.e has been revised to yes.

With regard to comments from Town Engineer, Richard Franzetti, regarding the site plan, dated December 11, 2020, we offer the following responses:

General Comments:

- 1) The list of required referrals is acknowledged.
- 2) The list of required permits is acknowledged.
- 3) The wetland delineation was completed by Tim Miller Associates.
- 4) A SWPPP will be provided with a future submission.
- 5) The request for a traffic study with regard to the proposed pedestrian bridge over Route US-6 is acknowledged and will be considered with future submissions. The required reviews of said traffic study by NYSDOT and PCDHF is noted.
- 6) The requirement of a Stormwater Maintenance Agreement and maintenance guarantee is acknowledged.
- 7) The requirement for bonds and fees associated with work in the public right of way is acknowledged.

Detailed Comments:

- 1) The Full EAF has been resubmitted, revised as requested.
 - a. NYCDEP permitting has been added to the permit list on page 2.
 - b. The proposed action does not meet the threshold provided in the Full EAF Workbook as a "substantial increase." However, more detail on anticipated traffic associated with the proposed use will be provided once it is established that the use is permissible.
 - c. There will be no petroleum stored on site. It is contemplated that the building would be serviced by natural gas from the local utility.
 - d. The answer to E.1.e has been revised to yes.

2) Overall Plan – OP-1

The grades where the proposed driveway meets Baldwin Place Road have been modified and the proposed sight distances have been shown on drawings SP-1.1 and SP-2.1.

- a. Vehicle Maneuvers will be shown with a future submission.
- b. Turning radii for proposed vehicle maneuvers will be shown with a future submission.
- c. The slopes in the first 20' of the driveway are approximately 2% and the maximum slope is 8%. These values are within limits established for a Town road per Town code.

- 3) Layout and Landscape Plan SP-1.1 & SP-1.2
 - a. A note has been added to drawing SP-1 that all plantings shall be verified by the Town of Carmel Wetland Inspector.
 - b. A note has been added to the Planting Notes on drawing D-1 that plantings will be installed to the standards laid out in §142 of the Town of Carmel Code.
 - c. A woodchip foot path detail has been added to drawing D-1.
 - d. Stormwater improvements for the future road extension will be considered as the design progresses.
 - e. Slopes and material decisions for the walkways will be addressed with a future submission.
- 4) Grading and Utilities Plan SP-2.1 & SP-2.2
 - a. Rim and invert elevations for drainage structures will be provided with a future submission.
 - b. Hydraulic calculations and pipe sizing will be provided with a future submission.
 - c. The elevations in the stormwater basins have been reviewed and revised as needed.
 - d. Electric service information will be provided with a future submission. The community water and wastewater services will be handled by drilled wells and a septic system respectively, and more detail on these systems will be provided with a future submission.
 - e. Additional detail on the community septic system will be provided with a future submission.
 - f. There are no proposed retaining walls at this time. The top and bottom of wall elevations have been removed from the legend.
 - g. There are no proposed retaining walls at this time.
- 5) Erosion and Sediment Control Plan SP-3.1 & SP-3.2
 - a. Rim and invert elevations for drainage structures will be provided with a future submission.
 - b. A SWPPP report and details will be provided with a future submission.
- 6) Site Details- D-1 & D-2
 - a. A note has been added to the guiderail, concrete sidewalk, and curb details that they must meet the criteria in §128 of the Town Code.
 - b. The asphalt detail has been revised as requested.
 - c. The main access drive from Baldwin Place Road to the Lot 1 driveway may be offered as a Town road in the future. Therefore, this main access drive has been designed to Town road standards and the suggested standard has been added to the detail drawing.

- d. The material for the pipe end section has been added to the detail.

With regard to comments from Town Planner, Patrick Cleary, dated December 17, 2020, we offer the following responses:

Subdivision Review Comments

- 1) Per discussions with the Board's consultants the configuration of Lot 1 has been revised.
- 2) The Lot 1 frontage on Baldwin Place Road is not utilized for access as it is not feasible given the steep grade coming off of Baldwin Place Road. Further development of the project site in the future is a possibility, and the applicant believes that the proposed driveway entrance, across from Grand Meadow Drive, is the ideal location to access the site. The proposed driveway would service proposed Lot 1, as well as any future development within proposed Lot 2.
- 3) The zoning table as applied to the C/BP zone is accurate. The configuration of Lot 1 has been revised and an updated lot depth, width, and rear yard setback have been provided.
- 4) The existing conditions shown on Drawing EX-1 indicate topography, walls, existing tree lines, shrub lines, watercourses, and flagged wetlands. Detail as to existing on-site habitat will be provided with a future submission.

Site Plan Review Comments

- 1) As stated, neither "supportive" nor "affordable" housing exists as a permitted or special use within the C/BP zone, or anywhere in the Town of Carmel Zoning Code. Per discussions with the Board's consultants, the plans have been revised to indicate general compliance with all of the underlying regulations of the C/BP zone, as shown on the bulk table on Drawing OP-1. Further, the Zoning Analysis enclosed indicates that the plans are largely in conformance with the Multifamily Housing (§156-28) and the Senior Citizen Multifamily Housing (§156-39) sections of the zoning code, with few exceptions. The applicant is open to discuss the project conformance to each of these multifamily code provisions, and seeks direction from the Board prior to the ZBA referral.

The intent of the applicant is to pursue this proposal under the guidelines of the Senior Citizen Multifamily Housing requirements, as it is the use, existing within the Town code, that most closely aligns with the use that is proposed. To pursue this action under the requirements set forth in the code for Senior Citizen Multifamily Housing, a variance is required for the code's age restriction. For this reason, the applicant respectfully requests to be referred to the Zoning Board of Appeals, as their approval of this proposed use variance will determine the viability of the project.

- 2) The proposed property lines have been also been revised to allow more clearly identifiable width and depth dimensions as defined in the zoning code.
- 3) For Facility Operations questions please see the attached Operational Summary from Ashley Brody of Search for Change, on these topics.
- 4) The Lot 1 frontage on Baldwin Place Road is not utilized for access as it is not feasible given the steep grade coming off of Baldwin Place Road. Further development of the project site in the future is a possibility, and the applicant believes that the proposed driveway entrance, across from Grand Meadow Drive, is the ideal location to access the site. The proposed driveway would service proposed Lot 1, as well as any future development within proposed Lot 2.

January 18, 2021

The steepest grade on the driveway is 8% and no retaining walls are required.

Sight distances have been added to the Grading Plan on Drawing SP-1.1 & SP-2.1.

An access to Route 6 is complicated by the wetland crossing and deemed not feasible with the proposed first phase of development. A proposed future road connection to Route 6 is contemplated assuming future development plans warrant the connection.

- 5) Emergency vehicle access is code compliant and typical of other multifamily developments in Town. Vehicular access to all sides of the building is not required by code, nor is it feasible within the development program.
- 6) The plans have been revised to add seven proposed spaces, now proposing 91 total parking spaces. See the enclosed letter from Maser Consulting regarding the necessary parking for the proposed use. Handicap parking is shown on Drawing SP-1.1 and conforms to the state standards.
- 7) An off-street loading space is shown near the refuse enclosure. On drawing SP-1.1.
- 8) The subsurface sanitary disposal systems are shown on drawings SP-1.2, SP-2.2, and SP-3.2. Preliminary test of these areas has been completed. More detailed testing for these systems will be conducted and the results will be provided with a future submission. Electric, gas, and data services are envisioned to connect in Baldwin Place Road and run underground through to west leg of Lot 2.
- 9) For Municipal Services questions please see the response letter from Ashley Brody of Search for Change, on these topics.
- 10) Cut and fill calculations will be provided with a future submission.
- 11) The stormwater basins that will service lot 1 have been included in that lot. The stormwater basins shown on lot 2 will service the proposed driveway.
- 12) More detailed plans for the outdoor amenities will be provided with a future submission.
- 13) A detailed light plan will be provided with a future submission.

Special Exception Use Review Comments:

- 1) This requirement is complied with.
- 2) This requirement is complied with.
- 3) This requirement is complied with.
- 4) We believe this requirement is complied with. The building will be serviced by community water via a system of drilled wells (community public water supply), and wastewater will be serviced by a community septic system (community subsurface sewage treatment system).
- 5) This requirement is complied with.
- 6) This requirement is complied with.
- 7) This requirement is complied with.

January 18, 2021

- 8) The building architecture meets the height requirements but will require relief for the 3-story design in a future submission.
- 9) The elevator in the revised architectural plans is more clearly labeled. This requirement is complied with.
- 10) The building will have a fire suppression system. Also, see the response letter from Ashley Brody of Search for Change, on this topic. This requirement is complied with.
- 11) The proposed recreational area as indicated on the table on drawing SP-1.1 can be further delineated in a figure in a future submission, but more than adequate recreational area can be accommodated between the interior common amenity areas and exterior recreation space, including the playground, patio, walking paths, porches and gazebos. This requirement is complied with.
- 12) This item will require a variance. See the enclosed letter from Maser Consulting regarding the necessary parking for this use.
- 13) The code age restriction item will require a variance, as described above.
- 14) This requirement is complied with.
- 15) This requirement is complied with.
- 16) Lot 1 is within 1,000' walking distance of retail and service establishments. This requirement is complied with.
- 17) These amenities will be provided. This requirement is complied with.
- 18) All code elements, as outlined, will be provided. Details of these systems will be provided with a future submission. This requirement will be complied as the building plans advance.

Putnam County Trailway Extension Plan:

- 1) The Trailway Extension Plan was submitted to inform the Board on the County's proposal to extend the trailway on the subject property and how the project will connect to this amenity.

SEQR:

- 1) SEQR requirements are acknowledged.


January 18, 2021

Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:



Jeffrey J. Contelmo, PE
Senior Principal Engineer

JJC/adt/amk

Enclosures

cc: Ashley Brody / Search for Change
Mike Newman / CSD Housing, LLC
Laura Koss / Reform Architecture

Insite File No. 20100.100



Zoning Analysis

prepared for
Search for Change
TM# 86.6-1-4

January 14, 2021

- Proposed Use:

Search for Change proposes an independent residential rental community providing 36 affordable apartments and 36 supportive apartments as further described in the project statement of use. The Carmel Zoning Code does not recognize this specific type of multifamily rental housing as a permitted or Special Use. Based on zoning use non-conformity relief from the Town Zoning Board of Appeals will be sought.

- Zoning Code §156-15 District Regulations- Schedule:

The subject property is located in the C/BP (Commercial/Business Park) Zoning District. The current proposal meets all bulk requirements of this zone. The attached table summarizes these bulk requirements and indicates the project conformance.

- Zoning Code §156-28 Multifamily Developments:

This section of code includes a provision for multifamily housing in the R (Residential) Zone but includes ambiguous references to R-MF and R-MFA zones which are not shown on the Town Zoning Map. Although the subject property is not located in the R Zone the attached zoning table has summarized the subject proposal against the requirements of this section of the code. As shown the subject proposal meets all bulk requirements of this section of the code with the exception of the 100' perimeter setback, building height, building length, and parking requirement.

- Zoning Code §156-39 Senior Citizen Multifamily Dwellings:

This section of code includes a provision for senior citizen multifamily housing which is permitted in the subject C/BP Zone when contiguous to a Residential Zone. The subject project meets this requirement and therefore the property can be considered for the senior citizen multifamily use requiring conformance with the conditions cited in the code. As shown in the attached summary zoning table the subject proposal meets all bulk requirements of this section with the exception of the number of building stories and the parking requirements.

- Conclusion:

The proposed multifamily affordable and supportive independent residential rental community will arrange and function in a manner similar to existing projects in Town which were approved under the code provision for Senior Citizen Multifamily Dwellings. As noted above, Senior Citizen Multifamily Dwellings are permitted as a Special Use in the underlying C/BP zoning district. For this reason, the project plan has been formulated using the standards established by Code Section 156-39, while noting relief will be required for the age restriction, number of building stories, and required number of parking spaces.

3 Garrett Place, Carmel, New York 10512 (845) 225-9690 Fax (845) 225-9717
www.insite-eng.com



MEMORANDUM

TO: Adam Thyberg, Project Landscape Architect, Insite Engineering, Surveying & Landscape Architecture, P.C.

FROM: Ashley Brody, Chief Executive Officer, Search for Change, Inc.

RE: Operational Summary

DATE: January 15, 2021

Mr. Thyberg:

Following are our agency's responses to questions posed by the municipal planning board pursuant to our proposed rental housing development in the Town of Carmel (Hamlet of Mahopac):

3. Facility Operations:

Further clarification is requested regarding the operation of this facility:

- Will this facility provide housing only, or will medical, therapeutic, educational, or occupational services also be provided at this facility?

A: Medical services will not be provided within this rental housing community. All of its tenants will be able to reside independently without the need for on-site medical services. That is, all residents of the community's 36 supportive housing units will be able to effectively manage their health conditions in independent and fully integrated settings, much like the tenants of the community's affordable housing units. Search for Change personnel will rigorously screen all applicants in order to ensure they possess the skills and stability necessary to safely and comfortably reside in this community. Other therapeutic, educational, vocational, and related rehabilitation support services will be made available to tenants as needed. These will include but will not necessarily be limited to: social support and recreation planning; financial assistance and education services; coordination with other community-based service providers (i.e., collaboration with tenants' healthcare and ancillary support providers); and parenting skills training (as applicable to tenants with children). Tenants will receive medical support services through other providers in the community such as hospitals, outpatient clinics, and urgent care centers. The housing community's support providers will aid tenants in accessing essential healthcare services as needed. The services outlined above will be available for the express benefit of the tenants of the development and not the general public.

- The Search for Change website indicates that their clients are individuals suffering from mental illness. Does this facility also accommodate individuals recovering from drug or alcohol abuse, similar to Arms Acres?

A: No. Search for Change supportive housing primarily serves individuals with some degree of mental illness, although some of the tenants to be accommodated in this rental housing development will have histories of substance use from which they are in recovery. Those who reside in this development will be capable of living and functioning independently with minimal support services and must therefore demonstrate they do not have addictions or substance use issues that would preclude their safe and successful occupancy. Arms Acres treats individuals in the acute phase of substance use disorder or addiction who require intensive inpatient or outpatient rehabilitation services. Any individuals accommodated by the proposed housing development who have histories of substance use will have reached a point in their recovery at which they no longer require intensive treatment. Furthermore, any tenants who are referred to this community by Arms Acres or a similar facility must have completed their course of treatment and be deemed stable and appropriate for tenancy in accordance with established screening procedures.

- Define the staffing of the facility. Is staffing provided in shifts, 24/7/365?

A: The housing development will be continually staffed (i.e., 24/7/365). The agency's support staff will be present in the development during day and evening hours. Reception and ancillary support personnel will be available after hours (i.e., overnight). The development's staffing plan includes a total of 14 employees comprised of housing support specialists (and their supervisors), maintenance personnel, receptionists, a porter, and security workers. During day and evening hours, approximately seven (7) employees will be "on site" at any given time. At least one (1) security worker will be available after hours. The number of personnel on site at any given time is expected to vary slightly, as some of these personnel will accompany tenants to appointments in the local community and provide other services off site.

- Are communal dining facilities proposed?

A: No. All of the housing development's tenants will be able to reside independently and to prepare their own meals. Each unit will be equipped with full kitchen and dining amenities. Communal dining facilities will not be required.

- How is the affordable housing component integrated into this facility? Is this housing open to anyone that is financially eligible?

A: Yes. By definition, all units are considered “affordable” and available to people who meet income requirements. The supportive and affordable housing units will be fully integrated. That is, individuals who occupy supportive units (i.e., units for those with special service and support needs) will not be separated or segregated from tenants of affordable housing units. In these respects, it will be identical to other multifamily housing developments.

- Clarify how the two uses utilize the single building. Is a physical separation established in the building that would prohibit access from one use to the other?

A: The housing development will be fully integrated, and no physical or functional separations are contemplated.

- Is this permanent housing, or is it intended to provide temporary housing for limited periods? If limited, what is the average length of stay?

A: This is permanent housing. Tenants will execute leases in renewable (i.e., one-year) terms as is customary for all permanent housing developments.

- What percentage of the residents are employed in the local work force? What accommodations are provided for resident transportation to and from work?

A: The housing development’s operator cannot yet provide a precise approximation of the percentage of residents to be employed in the local work force, although it is expected a majority of occupants of its affordable units will be employed in various industries as household income is a requirement. Relatively few of the occupants of the development’s supportive housing units are expected to be employed at the time of their arrival; however, vocational and employment training programs will be offered as a supportive service in order to facilitate their resumption of work activity. The development will maintain vehicles and a driver designated to assist tenants with transportation. Moreover, it is situated on a main thoroughfare (i.e., Route 6) accessible to public transportation.

- A children's play area is proposed. Are families with children anticipated to reside at this facility?

A: Yes. Some of the occupants of the housing units are expected to have children. A play area is also a requirement for funding.

9. Municipal Services:

A children's play area is proposed. Are families with children anticipated to reside at this facility? Will these children attend the public schools? Would it be anticipated that these children would have special needs, resulting in extraordinary costs to the school district?

A: Some of the development's tenants are expected to have children. These children are expected to attend public schools. The needs of the children who reside in the building are expected to be on par with the general community. There is nothing about the development that would cause an increased ratio of special needs children. This development should produce no unique or extraordinary costs to the local school district.

What private security measures are proposed? Will the facility place any unique demands on the Carmel Police Department?

A: The housing development will include continuous (i.e., 24-hour) staffing and surveillance cameras in order to ensure the safety and security of its tenants. It is not expected to place any unique or excessive demands on the Carmel Police Department. Studies have shown that permanent housing, such as the one proposed, can actually decrease demands on public services such as Police, Fire, and EMS.

Similarly, what fire protection measures are proposed?

A: The housing development will be equipped with a comprehensive fire protection program with prevention, detection, and response capabilities. This will include smoke and heat detectors, sprinklers, and flame and heat resistant materials, among others.

Would a facility such as this increase the demand for ambulance and EMS service?

A: Although tenants of the housing development's supportive housing units will have special needs for which specialized health and social services are required, these needs are expected to be met by facility personnel in collaboration with tenants' healthcare providers. This development is not expected to increase the demand for ambulance or EMS services.

Clarify how solid waste and recycling will be accommodated.

A: The development will be equipped with a comprehensive waste and recycling program that will include collection points (i.e., waste bins) to be serviced and maintained by an approved vendor operating under contract with the development's operator. The refuse dumpster area is shown on the site plan.



18.

f. Confirm master keys for common entrance doors to apartment buildings (not individual apartments) will be provided.

A: The facility's maintenance personnel will possess master keys to common entrance doors and other points of access to communal spaces.

If you have any questions or require additional information, please do not hesitate to contact me at (914) 428-5600 (x9228). Your assistance is appreciated.

Sincerely,

Ashley Brody, MPA, CPRP
Chief Executive Officer
Search for Change, Inc.



Engineers
Planners
Surveyors
Landscape Architects
Environmental Scientists

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January 12, 2021

VIA EMAILS

Mr. Jeff Contelmo, P.E.
Insite Engineering, Surveying & Landscape Architecture, P.C.
3 Garrett Place
Carmel, NY 10512

Re: Fairhaven at Baldwin Place
Affordable/Supportive Housing - Parking Conditions
MC Project No. 21000129P

Dear Mr. Contelmo:

We have received a copy of the layout plan for the proposed 72-unit affordable/supportive rental housing development, which is proposed on property located within the Union Place project site with access from Baldwin Place Road in the Town of Carmel. As indicated on the Site Layout Plan, prepared by Insite, there are a total of 91 spaces proposed for the 72-unit complex, this includes 87 standard spaces and 4 handicap spaces or an overall parking ratio of 1.26 spaces per dwelling unit. Based upon our review of this in conjunction with parking standards data as published by the Institute of Transportation Engineers (ITE), it is noted that the typical parking requirements for this type of housing is significantly lower than for other multi-family residential developments.

Attached are copies of excerpts from the published ITE data from their Parking Generation Handbook, 5th Edition, dated 2019, which supports this. Also, note that our experience at these affordable housing developments indicates low overall parking usage, which is consistent with the ITE data.

In comparing the proposed development to the appropriate ITE Land Use categories, there are two (2) Land Use categories that would apply; Land Use 223 – Affordable Housing and Land Use 254 – Assisted Living, which by definition includes independent living to mentally or physically limited persons. Copies of the descriptions of each of those uses as well as the data on parking requirements for them from the ITE publication are attached. Note that ITE also stratifies the data for suburban locations such as that proposed. The data provides parking ratios per dwelling unit for both weekday and weekend conditions. For the affordable housing category, the average peak parking ratio of 0.99 spaces per dwelling unit as indicated was identified, which occurs on a weekday. For the Land Use 254 – Assisted Living category, the breakdown for this type of facility



Mr. Jeff Contelmo, P.E
MC Project No. 21000129P
January 12, 2021
Page 2 of 2

per dwelling unit for weekday indicates an average peak rate of 0.4 and a weekend rate of 0.32 spaces per dwelling unit.

In conclusion, based on our review of the proposed site plan in consideration of the ITE data and our experience at other affordable facilities, the number of spaces provided on site will adequately accommodate the expected peak demands. The data shows that the provision of approximately one space per dwelling unit accommodates the typical demand for this type of project. This accounts for a lower car ownership, especially as it relates to a portion of the site which will be used for development disabled portion of the project. Furthermore, since this is independent living that will have limited support services, the parking demand for support staff (which is included in the above ratios) also tends to be limited.

Furthermore, the data that was compiled by CSD Housing, LLC for other existing similar sites was also reviewed. This information indicates that the number of spaces provided ranges from a low of 0.4 spaces per dwelling unit to a high of 1.5 spaces per dwelling unit, with the majority providing 1.2 or lower spaces per dwelling unit and the actual number of tenants with cars only about half of the total.

Very truly yours,

MASER CONSULTING CONNECTICUT, P.C.

A handwritten signature in blue ink, appearing to read 'Philip J. Grealy', is written over the typed name and title.

Philip J. Grealy, Ph.D., P.E.
Principal/Department Manager

PJG/jr
Enclosures



ITE DATA

Parking Generation Handbook
5th Edition, 2019

Land Use: 254 Assisted Living

Description

An assisted living complex is a residential setting that provides either routine general protective oversight or assistance with activities necessary for independent living to mentally or physically limited persons. It commonly has separate living quarters for residents. Its centralized services typically include dining, housekeeping, social and physical activities, medication administration, and communal transportation.

Alzheimer's and ALS care are commonly offered by these facilities, though the living quarters for these patients may be located separately from the other residents. Assisted care commonly bridges the gap between independent living and nursing homes. In some areas of the country, assisted living residences may be called personal care, residential care, or domiciliary care. Staff may be available at an assisted care facility 24 hours a day, but skilled medical care—which is limited in nature—is not required. Congregate care facility (Land Use 253), continuing care retirement community (Land Use 255), and nursing home (Land Use 620) are related uses.

Time of Day Distribution for Parking Demand

The following table presents a time-of-day distribution of parking demand on a weekday (nine study sites), a Saturday (eight study sites), and a Sunday (nine study sites) in a general urban/suburban setting.

Hour Beginning	Percent of Peak Parking Demand		
	Weekday	Saturday	Sunday
12:00–4:00 a.m.	–	–	–
5:00 a.m.	–	–	–
6:00 a.m.	–	–	–
7:00 a.m.	52	–	–
8:00 a.m.	62	–	–
9:00 a.m.	78	–	–
10:00 a.m.	82	–	–
11:00 a.m.	93	97	89
12:00 p.m.	96	100	90
1:00 p.m.	100	95	100
2:00 p.m.	95	78	96
3:00 p.m.	85	68	86
4:00 p.m.	75	70	90
5:00 p.m.	68	63	80
6:00 p.m.	61	56	65
7:00 p.m.	–	–	–
8:00 p.m.	–	–	–
9:00 p.m.	–	–	–
10:00 p.m.	–	–	–
11:00 p.m.	–	–	–

Additional Data

The rooms in these facilities may be private or shared accommodations, consisting of either a single room or a small apartment-style unit with a kitchenette and living space.

The average parking supply ratio for 30 study sites in a general urban/suburban setting and not located within ½ mile of rail transit is 0.5 spaces per dwelling unit. For two study sites in a general urban/suburban setting and located within ½ mile of rail transit, the average parking supply ratio is 0.4 spaces per dwelling unit.

The sites were surveyed in the 1980s, the 1990s, the 2000s, and the 2010s in Arizona, California, Connecticut, Illinois, Indiana, New Jersey, New York, Pennsylvania, Tennessee, Utah, Virginia, and Washington.

Future parking demand studies should record the building size and the numbers of dwelling units, occupied dwelling units, beds, and employees.

Source Numbers

42, 59, 121, 247, 279, 287, 315, 422, 431, 432, 438, 451, 506, 507, 516, 527, 539

Assisted Living (254)

Peak Period Parking Demand vs: Dwelling Units

On a: Weekday (Monday - Friday)

Setting/Location: General Urban/Suburban

Peak Period of Parking Demand: 11:00 a.m. - 3:00 p.m.

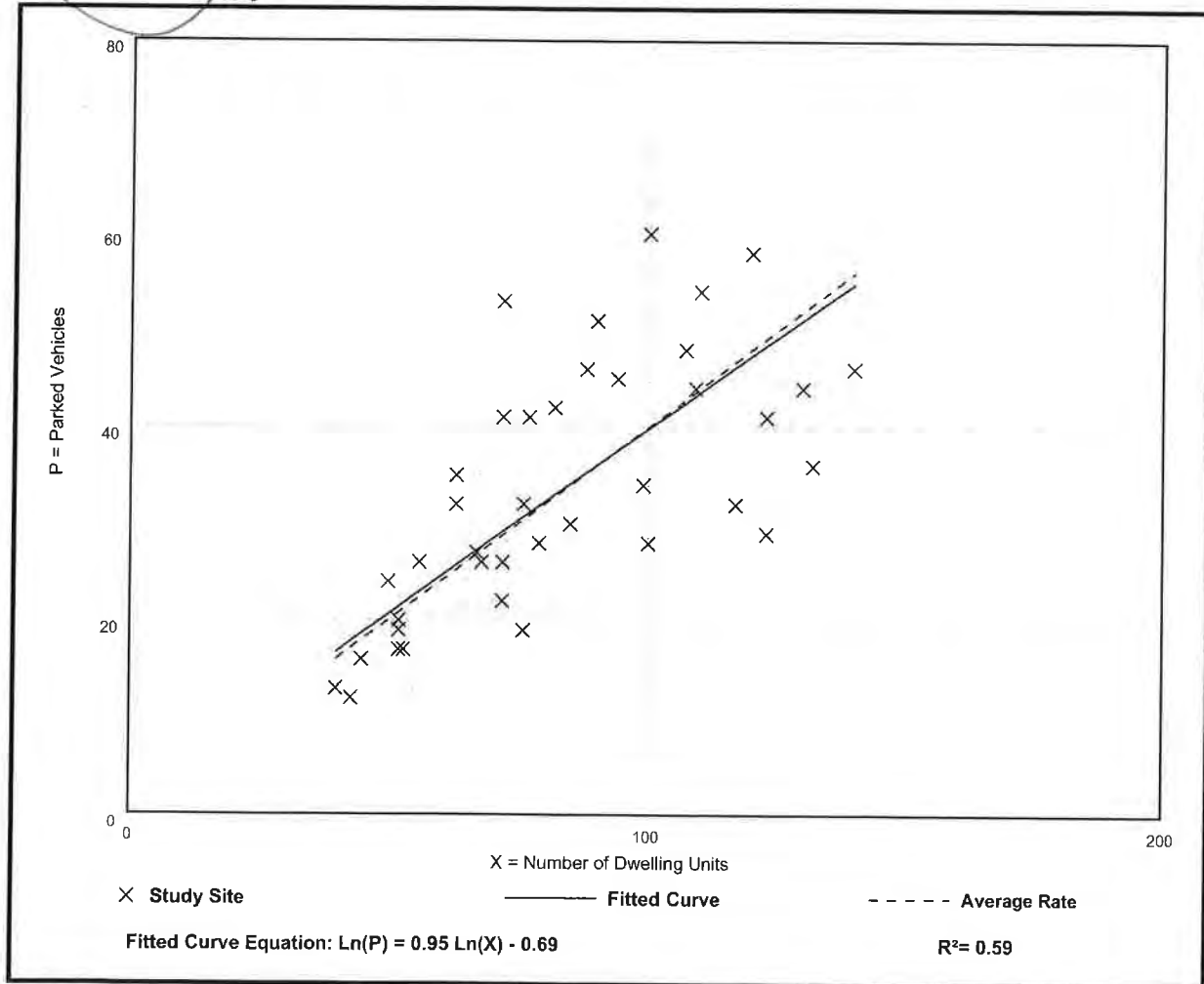
Number of Studies: 39

Avg. Num. of Dwelling Units: 83

Peak Period Parking Demand per Dwelling Unit

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
0.40	0.24 - 0.74	0.34 / 0.53	0.37 - 0.43	0.11 (28%)

Data Plot and Equation



Assisted Living (254)

Peak Period Parking Demand vs: Dwelling Units

On a: Saturday

Setting/Location: General Urban/Suburban

Peak Period of Parking Demand: 11:00 a.m. - 1:00 p.m.

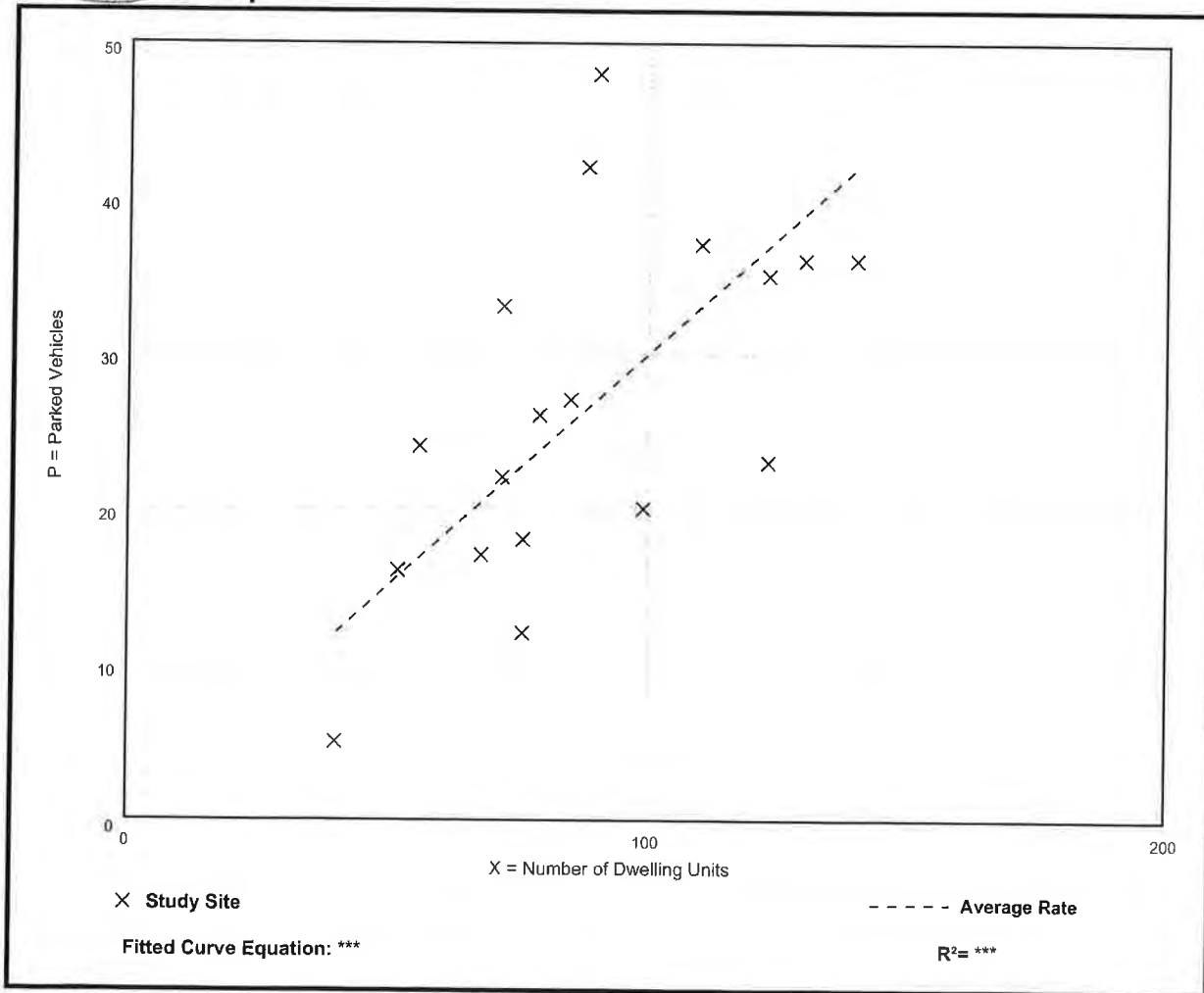
Number of Studies: 18

Avg. Num. of Dwelling Units: 88

Peak Period Parking Demand per Dwelling Unit

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
0.30	0.13 - 0.53	0.25 / 0.46	***	0.11 (37%)

Data Plot and Equation



Assisted Living (254)

Peak Period Parking Demand vs: Dwelling Units

On a: Sunday

Setting/Location: General Urban/Suburban

Peak Period of Parking Demand: 11:00 a.m. - 4:00 p.m.

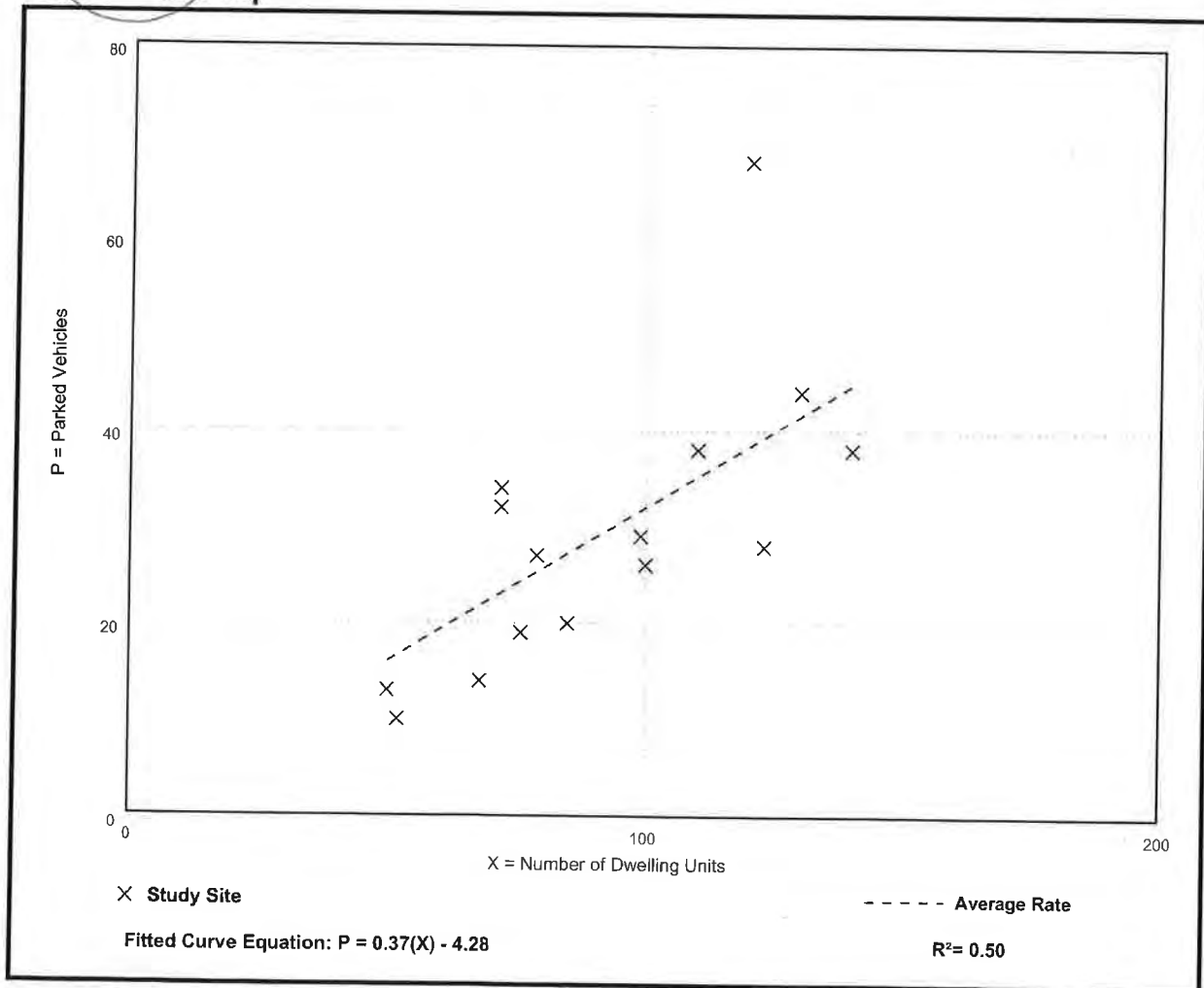
Number of Studies: 15

Avg. Num. of Dwelling Units: 92

Peak Period Parking Demand per Dwelling Unit

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
0.32	0.19 - 0.57	0.25 / 0.46	***	0.11 (34%)

Data Plot and Equation



Land Use: 223 Affordable Housing

Description

Affordable housing includes all multifamily housing that is rented at below market rate to households that include at least one employed member. Eligibility to live in affordable housing can be a function of limited household income and resident age. Multifamily housing (low-rise) (Land Use 220), multifamily housing (mid-rise) (Land Use 221), and multifamily housing (high-rise) (Land Use 222) are related land uses.

Additional Data

For the majority of study sites in this land use code, 100 percent of the dwelling units are considered affordable. For residential study sites that provide a mix of market value and affordable units, the study sites with at least 75 percent of the dwelling units designated as affordable are also included in this land use database.

Separate data plots and statistics are presented for subsets of the affordable housing database: sites with income limitations for its tenants, sites with minimum age thresholds for its tenants (i.e., senior housing), and sites comprised entirely of single-room-only units.

The average parking supply ratios for the study sites with parking supply information are as follows:

- In a general urban/suburban setting, 1.3 spaces per dwelling unit (28 sites) and 0.7 spaces per bedroom (9 sites)
- In a dense multi-use urban setting, 0.6 spaces per dwelling unit (28 sites) and 0.3 spaces per bedroom (26 sites)
- In a center city core setting, 0.3 spaces per dwelling unit (6 sites) and 0.3 spaces per bedroom (6 sites)

The sites were surveyed in the 1990s and the 2010s in California, Connecticut, District of Columbia, Maryland, Massachusetts, New Jersey, and Oregon.

It is expected that the number of bedrooms and number of residents are likely correlated to the parking demand generated by a residential site. Parking studies of multifamily housing should attempt to obtain information on occupancy rate and on the mix of residential unit sizes (i.e., number of units by number of bedrooms at the site complex). Future parking studies should also indicate the number of levels contained in the residential building.

Source Numbers

314, 514, 533, 535, 536, 537, 539, 541, 579, 582, 585, 586

Affordable Housing - Income Limits (223)

Peak Period Parking Demand vs: Dwelling Units

On a: **Weekday (Monday - Friday)**

Setting/Location: General Urban/Suburban

Peak Period of Parking Demand: 10:00 p.m. - 5:00 a.m.

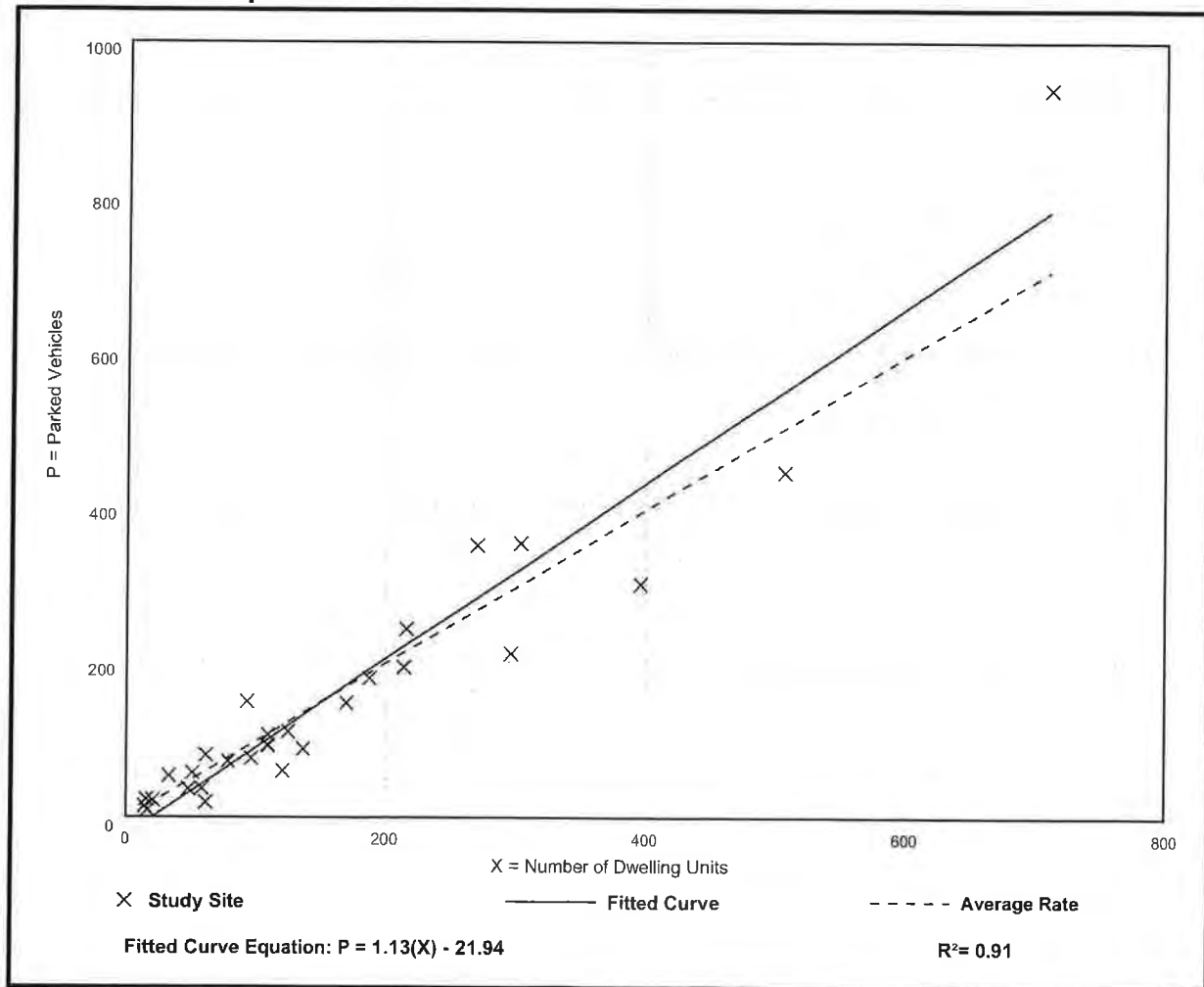
Number of Studies: 29

Avg. Num. of Dwelling Units: 159

Peak Period Parking Demand per Dwelling Unit

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
0.99	0.32 - 1.66	0.85 / 1.33	0.89 - 1.09	0.27 (27%)

Data Plot and Equation



Affordable Housing - Income Limits (223)

Peak Period Parking Demand vs: Dwelling Units

On a: Saturday

Setting/Location: General Urban/Suburban

Peak Period of Parking Demand: 11:00 p.m. - 7:00 a.m.

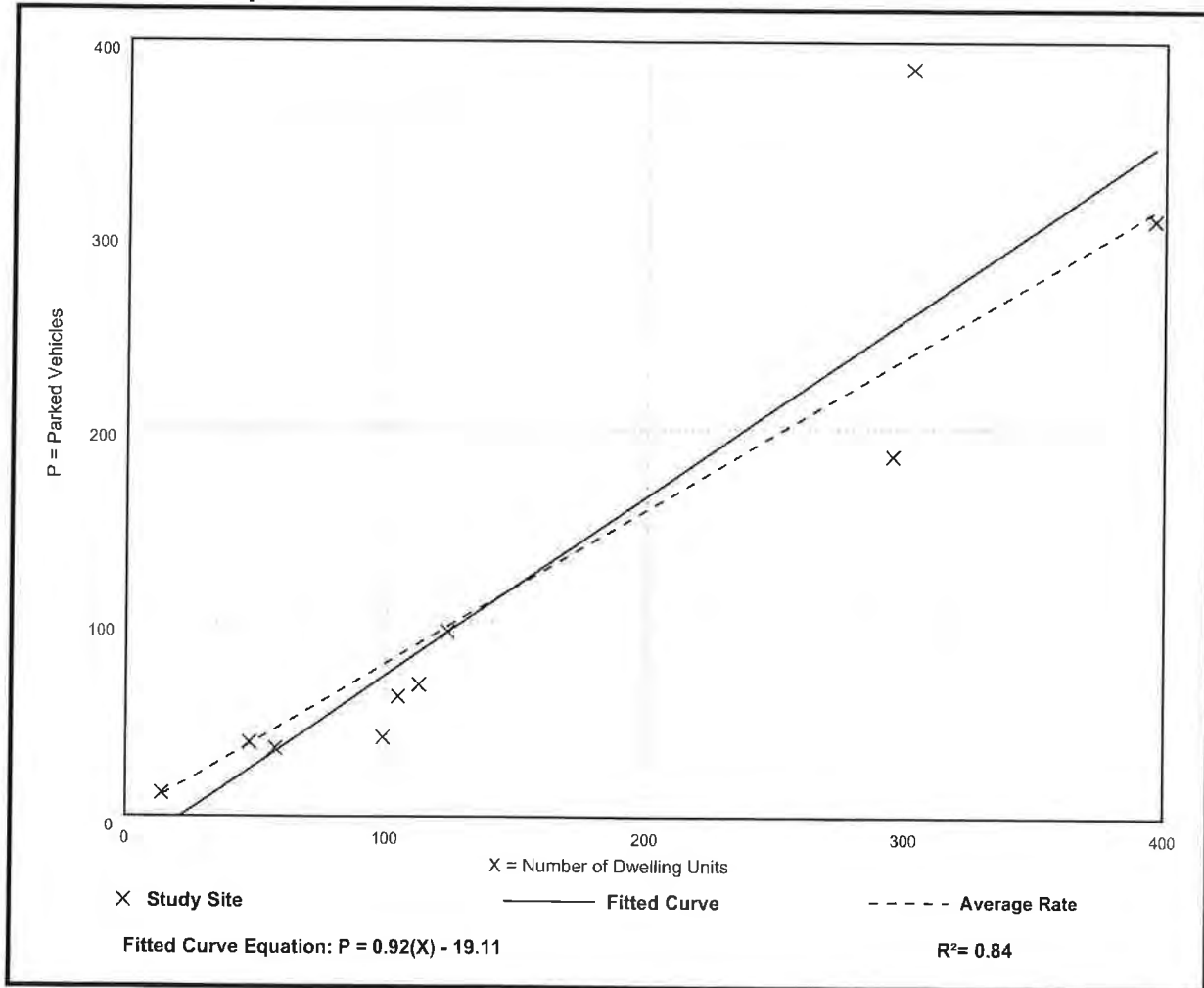
Number of Studies: 10

Avg. Num. of Dwelling Units: 155

Peak Period Parking Demand per Dwelling Unit

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
0.79	0.41 - 1.28	0.61 / 1.00	***	0.27 (34%)

Data Plot and Equation



Affordable Housing - Income Limits (223)

Peak Period Parking Demand vs: Dwelling Units

On a: Sunday

Setting/Location: General Urban/Suburban

Peak Period of Parking Demand: 11:00 p.m. - 7:00 a.m.

Number of Studies: 3

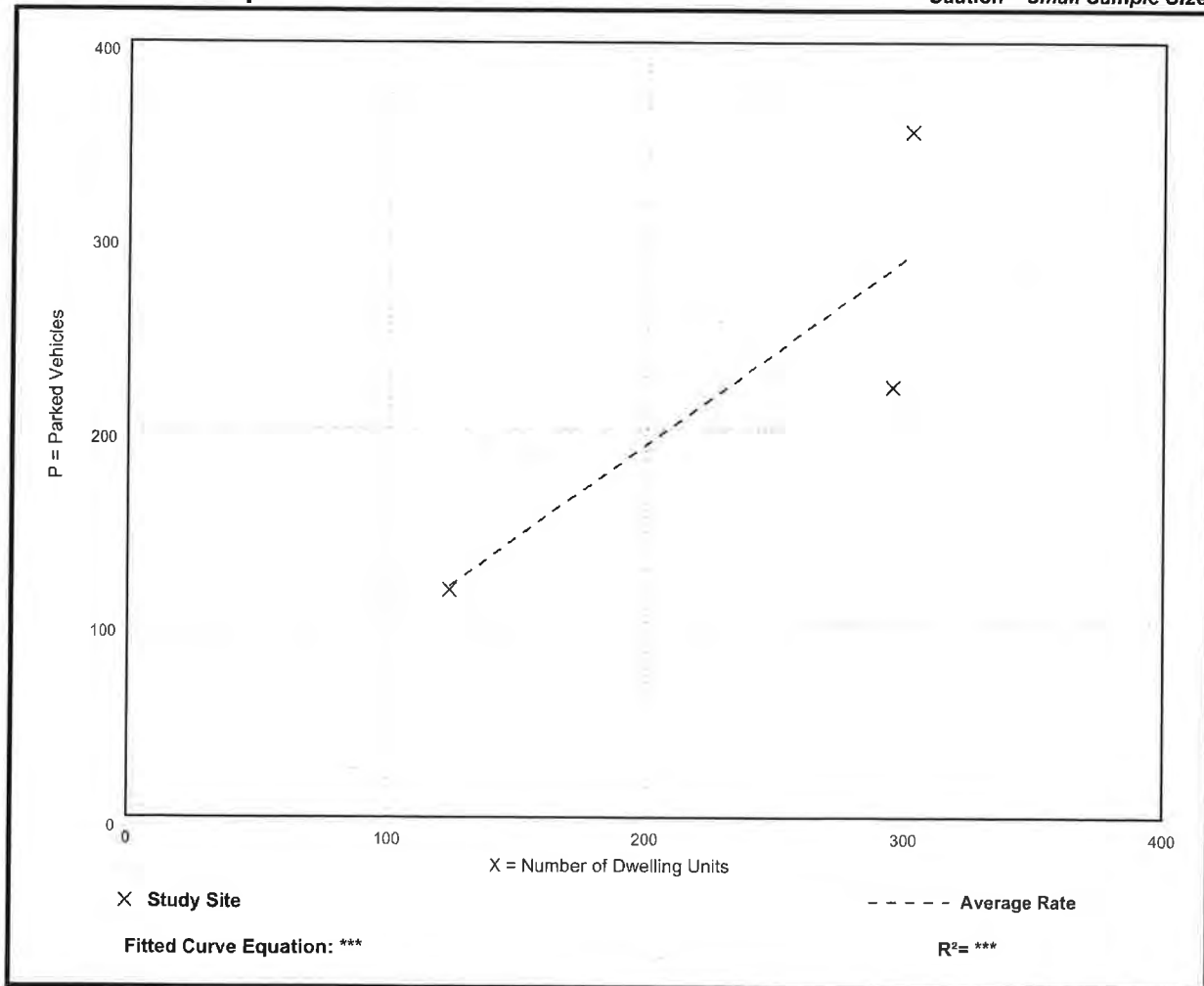
Avg. Num. of Dwelling Units: 240

Peak Period Parking Demand per Dwelling Unit

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
0.96	0.75 - 1.17	0.81 / 1.17	***	0.23 (24%)

Data Plot and Equation

Caution – Small Sample Size





CSD HOUSING, LLC

Parking Survey

<u>Project</u>	<u>Location (City/Town)</u>	<u># Units</u>	<u># Parking Spaces</u>	<u># tenants with cars</u>
1 DePaul Trolley Station	Canandaigua	48	72	24
2 DePaul - Starting Line Apts.	Utica	60	90	31
3 DePaul Carriage Factory	Rochester	71	80	35
4 DePaul - High Falls Square	Rochester	150	150	70
5 DePaul - Jos. Allen Apts.	Schenectady	51	60	26
6 CNYS - Catherine St. Apts.	Syracuse	50	20	8
7 CNYS - Star Park Apts.	Syracuse	50	30	6
8 MHACG - Greenport Gardens	Greenport	66	100 *	43

* includes 40 banked parking spaces

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project: Fairview at Baldwin Place		
Project Location (describe, and attach a general location map): Baldwin Place Rd & US-6		
Brief Description of Proposed Action (include purpose or need): The applicant seeks to subdivide the existing lot to accommodate a 72,410 sf, 72 unit dwelling catering to the disabled, and all necessary appurtenances.		
Name of Applicant/Sponsor: Search for Change, Inc.		Telephone: (914) 428-5600
		E-Mail:
Address: 115 East Stevens Avenue, Suite 203		
City/PO: Valhalla	State: NY	Zip Code: 10595
Project Contact (if not same as sponsor; give name and title/role): Jeffrey J. Contelmo, P.E.		Telephone: (845) 225-9690
		E-Mail: jcontelmo@insite-eng.com
Address: 3 Garrett Place		
City/PO: Carmel	State: NY	Zip Code: 10512
Property Owner (if not same as sponsor): Baldwin Hills Realty, LLC		Telephone: (845) 228-1400
		E-Mail:
Address: 1699 Route 6, Suite 1		
City/PO: Carmel	State: NY	Zip Code: 10512

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Town of Carmel Subdivision Town of Carmel Site Plan Approval	11/20 10/22/20
c. City, Town or Village Zoning Board of Appeals <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Variance	2/1/21
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Town of Carmel ECB	2/12/21
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Putnam DOH - Community Septic & Water Supply Putnam Hwys & Facilities- Hwy Work Permit	3/1/21
f. Regional agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYCDEP - Community Septic, Stormwater	3/1/21
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYSDEC GP-0-20-001; Office of Mental Health (OMH); Office of Temporary and Disability Assistance; Homes and Community Renewal; Deferred Developer Fee	1/1/21
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? Yes No

- If Yes, complete sections C, F and G.
- If No, proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? Yes No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? Yes No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) Yes No

If Yes, identify the plan(s):

NYC Watershed Boundary

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? Yes No

If Yes, identify the plan(s):

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
 If Yes, what is the zoning classification(s) including any applicable overlay district?
C/BP (Commercial/Business Park)

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No
 If Yes,
 i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? Mahopac Central School District

b. What police or other public protection forces serve the project site?
Carmel Police Department

c. Which fire protection and emergency medical services serve the project site?
Mahopac Volunteer Fire Department

d. What parks serve the project site?
North county trail way, Baldwin Meadows Park

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?
Residential

b. a. Total acreage of the site of the proposed action? 181.9 acres
 b. Total acreage to be physically disturbed? 12.0 acres
 c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 181.9 acres

c. Is the proposed action an expansion of an existing project or use? Yes No
 i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
 If Yes,
 i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)
Multifamily Residential
 ii. Is a cluster/conservation layout proposed? Yes No
 iii. Number of lots proposed? 2
 iv. Minimum and maximum proposed lot sizes? Minimum 16.5 ac Maximum 165.4 ac

e. Will the proposed action be constructed in multiple phases? Yes No
 i. If No, anticipated period of construction: 18 months
 ii. If Yes:
 • Total number of phases anticipated _____
 • Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
 • Anticipated completion date of final phase _____ month _____ year
 • Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	1 Building (72 units)

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,

i. Total number of structures _____

ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length

iii. Approximate extent of building space to be heated or cooled: _____ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: Stormwater Treatment

ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: Stormwater runoff

iii. If other than water, identify the type of impounded/contained liquids and their source.
N/A

iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: 1.4± acres

v. Dimensions of the proposed dam or impounding structure: _____ 6' height; _____ 200'± length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete):
Earth Fill

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? Yes No
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)
 If Yes:

i. What is the purpose of the excavation or dredging? _____

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): _____
- Over what duration of time? _____

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.

iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes No

If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No

If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No

If Yes:

i. Total anticipated water usage/demand per day: _____ 9,900 max day gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No

If Yes:

- Name of district or service area: _____
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

Drilled wells, community water supply

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ 14 gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No

If Yes:

i. Total anticipated liquid waste generation per day: _____ 9,900 max day gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

Sanitary wastewater to community septic system

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No

If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

• Do existing sewer lines serve the project site? Yes No
 • Will a line extension within an existing district be necessary to serve the project? Yes No
 If Yes:
 • Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:
 • Applicant/sponsor for new district: _____
 • Date application submitted or anticipated: _____
 • What is the receiving water for the wastewater discharge? _____
 v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):
 Subsurface sewage treatment system _____

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____
 None _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:
 i. How much impervious surface will the project create in relation to total size of project parcel?
 123,000± Square feet or 2.83 acres (impervious surface)
 7,923,564 Square feet or 181.9 acres (parcel size)
 ii. Describe types of new point sources. Roofs and paved surfaces _____

 iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?
 Stormwater basins _____

 • If to surface waters, identify receiving water bodies or wetlands: _____
 On site wetland following treatment _____

 • Will stormwater runoff flow to adjacent properties? Yes No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)
 Heavy equipment _____
 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)
 Small generators _____
 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)
 Natural gas boiler _____

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
 ii. In addition to emissions as calculated in the application, the project will generate:
 • _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 • _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 • _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)
 • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____
 N/A

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No
 N/A

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____

iii. Will the proposed action require a new, or an upgrade, to an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ 7 AM - 6 PM • Saturday: _____ 8 AM - 5 PM • Sunday: _____ NONE • Holidays: _____ NONE 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ All Hours (residential) • Saturday: _____ • Sunday: _____ • Holidays: _____
--	---

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No
 If yes:
 i. Provide details including sources, time of day and duration:
 Typical construction noise during construction: _____

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
 Describe: Some trees will be removed, but appropriate plantings will be included in project.

n. Will the proposed action have outdoor lighting? Yes No
 If yes:
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:
Pole and building mounted lights on Lot 1 and along the private road.

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
 Describe: Some trees will be removed, but appropriate plantings will be included in project.

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No
 If Yes:
 i. Product(s) to be stored _____
 ii. Volume(s) _____ per unit time _____ (e.g., month, year)
 iii. Generally, describe the proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No
 N/A
 If Yes:
 i. Describe proposed treatment(s): _____

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No
 N/A
 If Yes:
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:
 • Construction: _____ tons per _____ (unit of time)
 • Operation : _____ tons per _____ (unit of time)
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:
 • Construction: _____
 • Operation: _____

iii. Proposed disposal methods/facilities for solid waste generated on-site:
 • Construction: _____
 • Operation: _____

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No
 If Yes:
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____
 ii. Anticipated rate of disposal/processing:
 • _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
 • _____ Tons/hour, if combustion or thermal treatment
 iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No
 If Yes:
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

 ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

 iii. Specify amount to be handled or generated _____ tons/month
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No
 If Yes: provide name and location of facility: _____

 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.
 i. Check all uses that occur on, adjoining and near the project site.
 Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 Forest Agriculture Aquatic Other (specify): _____
 ii. If mix of uses, generally describe:

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0	2.8	+2.8
• Forested	147.0	142.5	-4.5
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	0	0	0
• Agricultural (includes active orchards, field, greenhouse etc.)	20.9	16.6	-4.3
• Surface water features (lakes, ponds, streams, rivers, etc.)	1.4	1.4	0
• Wetlands (freshwater or tidal)	12.6	12.6	0
• Non-vegetated (bare rock, earth or fill)	0	0	0
• Other Describe: Stormwater Management Practices _____ Lawn _____	0 0	1.3 4.7	+1.3 +4.7
Total:	181.9		

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities:
The Kohler Center and Senior Housins at Mahopac Hill

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:
• Dam height: _____ 10' ± feet
• Dam length: _____ 240' ± feet
• Surface area: _____ 62,000 sqft. acres
• Volume impounded: _____ gallons OR acre-feet
ii. Dam's existing hazard classification: Unclassified
iii. Provide date and summarize results of last inspection:
None available

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No
• If yes, cite sources/documentation: _____
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:

iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): 360023
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):
Periodic monitoring and Plant I groundwater pump and GAC treatment remedial system ongoing at Somers Commons

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ >6' _____ feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site:	PnB Paxton Fine Sandy Loam	80.0 %
	Sh Sun Loam	6.4 %
	RdA Ridgebury Complex	10.0 %

d. What is the average depth to the water table on the project site? Average: _____ 2.0 feet

e. Drainage status of project site soils: Well Drained: _____ 80% of site
 Moderately Well Drained: _____ 0% of site
 Poorly Drained _____ 20% of site

f. Approximate proportion of proposed action site with slopes: 0-10%: _____ 40 % of site
 10-15%: _____ 24 % of site
 15% or greater: _____ 46 % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No
 If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name 864-143 Classification C
- Lakes or Ponds: Name Unnamed pond Classification not classified
- Wetlands: Name NYS Wetland, Federal Waters, Federal Waters, Fe... Approximate Size NYS Wetland (in a...
- Wetland No. (if regulated by DEC) ML-11

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100-year Floodplain? Yes No

k. Is the project site in the 500-year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:
 i. Name of aquifer: _____

<p>m. Identify the predominant wildlife species that occupy or use the project site:</p>		
Squirrels _____	Chipmunk _____	Raccoon _____
Deer _____	Rat Snake _____	Gray Fox _____
Mouse _____	American Toad _____	Striped Skunk _____
<p>n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe the habitat/community (composition, function, and basis for designation): _____</p> <p>ii. Source(s) of description or evaluation: _____</p> <p>iii. Extent of community/habitat:</p> <ul style="list-style-type: none"> • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres 		
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Species and listing (endangered or threatened): _____</p> <p>_____</p>		
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Species and listing: _____</p> <p>Eastern Small-footed Myotis</p>		
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If yes, give a brief description of how the proposed action may affect that use: _____</p> <p>_____</p>		
<p>E.3. Designated Public Resources On or Near Project Site</p>		
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, provide county plus district name/number: _____</p>		
<p>b. Are agricultural lands consisting of highly productive soils present? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>i. If Yes: acreage(s) on project site? 181.9 acres</p> <p>ii. Source(s) of soil rating(s): NYS Agricultural Land Classification</p>		
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature</p> <p>ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____</p> <p>_____</p>		
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. CEA name: _____</p> <p>ii. Basis for designation: _____</p> <p>iii. Designating agency and date: _____</p>		

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? Yes No

If Yes:

i. Nature of historic/archaeological resource: Archaeological Site Historic Building or District

ii. Name: _____

iii. Brief description of attributes on which listing is based: _____

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? Yes No

g. Have additional archaeological or historic site(s) or resources been identified on the project site? Yes No

If Yes:

i. Describe possible resource(s): Phase 1a and 1b archaeological survey found that no further archaeological research was necessary.

ii. Basis for identification: Phase 1a and 1b survey

h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? Yes No

If Yes:

i. Identify resource: Taconic State Parkway

ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): Scenic Byway

iii. Distance between project and resource: _____ 2 miles.

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? Yes No

If Yes:

i. Identify the name of the river and its designation: _____

ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? Yes No

F. Additional Information

Attach any additional information which may be needed to clarify your project.

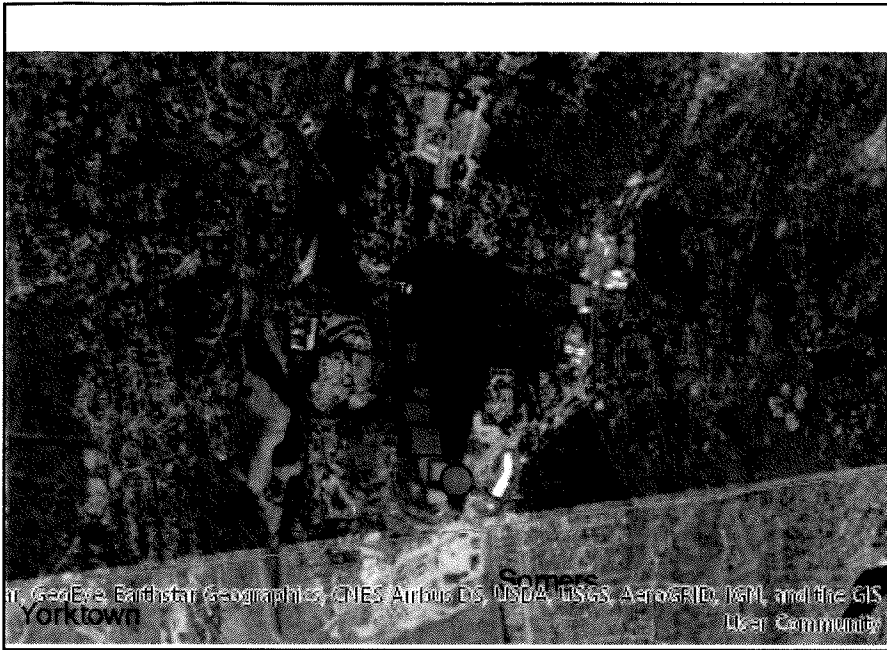
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

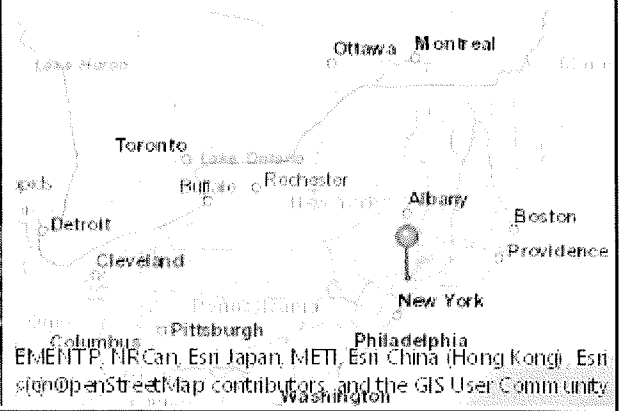
I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name J. Contelmo, PE Date 1/18/21

Signature  Title Sr. Principal Engineer



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Yes - Digital mapping data are not available for all Special Planning Districts. Refer to EAF Workbook.
C.2.b. [Special Planning District - Name]	NYC Watershed Boundary
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	Yes
E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID]	360023
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.iv [Surface Water Features - Stream Name]	864-143
E.2.h.iv [Surface Water Features - Stream Classification]	C
E.2.h.iv [Surface Water Features - Wetlands Name]	NYS Wetland, Federal Waters
E.2.h.iv [Surface Water Features - Wetlands Size]	NYS Wetland (in acres):85.8

Wetlands Number]	
E.2.h.v.[Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	Yes
E.2.p. [Rare Plants or Animals - Name]	Eastern Small-footed Myotis
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No

**PRELIMINARY MARKET STUDY
PROPOSED AFFORDABLE AND
SUPPORTIVE FAMILY HOUSING
DEVELOPMENT
US ROUTE 6 and BALDWIN ROAD
MAHOPAC, NEW YORK 10541**

Analysis Prepared For:

Ms. Isabel Bazaldua
Office of Mental Health
44 Holland Avenue
Albany, NY 12229

Analysis Prepared By:

Newmark Knight Frank
Valuation & Advisory
2410 North Forest Road
Amherst, New York 14086

NKF Job No.: 19-0014376

Date of Report: January 16, 2020

January 16, 2020

Ms. Isabel Bazaldua
Office of Mental Health
44 Holland Avenue
Albany, NY 12229

Re: Preliminary Market Study
Proposed Affordable Family Housing Development
US Route 6 and Baldwin Road
Mahopac, New York 10541
NKF Job No.: 19-0014376

Dear Ms. Bazaldua:

At your request, we have completed a **Preliminary Market Study** to identify market support for a proposed housing development.

The analysis will consider development proposals for a mix of one and two-bedroom tax credit units at 30%, 50% and 60% of AMI targeting workforce family households with some units applying for rental subsidy for Supportive Housing. Rents will be established based on comparison with other affordable and market rate projects.

The subject site is vacant land located on the west side of US Route 6 in the southern part of the hamlet of Mahopac (town of Carmel). Nearby uses include Society Hill condominiums, a recently constructed assisted living facility, retail plazas and smaller commercial uses on Route 6. Farther south are four recent multifamily housing developments in combination of multistory elevator and townhouse buildings. Avalon Somers is a market rate project with 10 affordable units with no age restrictions, and the multi-phased age-restricted, Mews project targets senior households. The Crossroads at Baldwin Place also primarily targets seniors at/below 60% of AMI with some unrestricted units and 10 units that target moderate income family households.

Uses farther north in Mahopac relate to local service-base businesses, retailers and restaurants with building suppliers and associated trade services. The village center is farther north near the marina and includes seasonal waterfront recreation and dining with a condominium building. The Mahopac Middle and High School campus is nearby with other smaller private schools in the area. Commercial uses are concentrated farther south in Jefferson Valley near the Route 6-Taconic State Parkway interchange and include the mall, banks, national brand retailers, big box stores and medical care offices.

Rental housing in the immediate area includes the newest communities to the south in Baldwin Place with smaller walkup buildings in the area with 12-20 units and individual rental units in condominium or townhouse developments. Aside from the 20 affordable units at Avalon Somers and Crossroads, all other affordable rental options are age-restricted like the multi-phased Hillcrest and Mews projects offering tax credit rents or older subsidized properties farther north in Carmel. All affordable options remain well supported with very limited turnover and extensive waitlists and the newest projects absorbed new units at rates exceeding 10 per month with some offering lotteries for new units and essentially full at opening.

While the location and setting will attract interest from throughout the area we are including a **Primary Market Area (PMA)** that would provide about 65% to 75% of the eventual tenant base. The PMA includes mostly tracts in Putnam County including Carmel, Kent and Philipstown, in addition to neighboring Somers and Yorktown in Westchester County. This PMA was informed by transportation linkages with primary north-south routes as there are fewer direct routes east-west to the site. The market area includes just under 150 square miles with the general boundaries established as Putnam County to the north, Philipstown to the west, the town of Southeast to the east, and neighboring communities in Westchester to the south.

Aspects of the proposal and results of our analysis include the following:

- ❖ Rents were established based on comparison with other market rate complexes and affordable options in the greater area.
- ❖ The physical product type would be related to multistory elevator buildings with good quality finishes/features and standard amenities including common laundry, community space, management and supportive service space with surface parking
- ❖ There are on 20 total affordable units in the PMA at the Crossroads and Avalon Somers projects that were eliminated from the total qualified households to create a net demand analysis to show qualified households not living in affordable housing options.
- ❖ We have considered only family households age 18-61, one and two persons for the 1BR units, two and three persons in the 2BR units.
- ❖ Renters only, and no growth or new household formation. We are not including support from seniors age 62+ given the supply of existing and pipeline developments and instead consider them a secondary source of support.
- ❖ There is support for up to **102 units** with an overall weighted capture rate of **8.05%** which is indicative of strong overall project support.

- ❖ The chart below shows the maximum number of units at 50%/60% of AMI that can be supported with an individual capture rate at/below 10% and can be used to establish the overall unit mix for the redevelopment proposal.

1 Bedroom-Tax Credit	2 Bedroom- Tax Credit
42	24

Our **recommendations on unit mix and rents** are as follows:

UNIT MIX / RENT SUMMARY														
Unit Type	# of Units	(1) % AMI	Sq.Ft.	Net Tenant Rents	(2) Tenant Paid Utilities	Total Gross Rents	Gross Rents/Sq.Ft.	(3) Tax Credit Maximums	(4) HUD FMR	(5) Unrestricted Market Averages	(5a) Achievable Market Rent/Adj	(6) % Disc to TC MAX	(7) % Disc to MKT Averages	(8) % Disc to ADJ MKT Averages
1 BRM - Tax Credit	24	30%	700	\$600	\$0	\$600	\$0.86	\$600	\$1,559	\$1,584	\$1,500	0.00%	62.12%	60.00%
1 BRM - Tax Credit	22	50%	700	\$1,000	\$0	\$1,000	\$1.43	\$1,000	\$1,559	\$1,584	\$1,500	0.00%	36.87%	33.33%
1 BRM - Tax Credit	20	60%	700	\$1,200	\$0	\$1,200	\$1.71	\$1,200	\$1,559	\$1,584	\$1,500	0.00%	24.24%	20.00%
2 BRM - Tax Credit	12	30%	900	\$720	\$0	\$720	\$0.80	\$720	\$1,831	\$1,900	\$1,900	0.00%	62.11%	62.11%
2 BRM - Tax Credit	12	50%	900	\$1,201	\$0	\$1,201	\$1.33	\$1,201	\$1,831	\$1,900	\$1,900	0.00%	36.79%	36.79%
2 BRM - Tax Credit	12	60%	900	\$1,441	\$0	\$1,441	\$1.60	\$1,441	\$1,831	\$1,900	\$1,900	0.00%	24.16%	24.16%

(1) this is the % AMI that the rent falls at or below
(2) Estimated tenant paid utilities based on provided data
(3) Tax credit max based on the 2019 AMI levels
(4) 2020 HUD FMR effective as of 9/2019
(5) Equal to street rents, these are un-adjusted for location, quality, etc - they are simple averages.
(5A) Achievable market rent adjusted to subject amenities/quality/condition
(6) The % that the intended subject rent is below the tax credit maximum allowable levels.
(7) The % that the intended subject rent is below the average unrestricted market rent in the area before adjustments to
(8) The % that the intended subject rent is below the average unrestricted market rent in the area post adjustments to

Some notes related to the unit mix and rents include:

- ❖ All rents are presented on a gross basis inclusive of the cost of heat, hot water and electric. Any change would impact the net or tenant paid rent.
- ❖ Unit sizes were based on typical sizes for projects of this nature and are subject to change.
- ❖ The affordable rents are at the maximum limits and show an adequate advantage toward market for all unit types.

The goal of this study is to provide documentation to assist your group in establishing the development strategy for this property. **Key aspects** that will be evaluated and overviewed within the document include:

- ❖ Analysis of the primary market draw area (PMA) and identification of demographics from this established area.

- ❖ Discussions with local property managers, planning officials and others related to the local economics, needs and housing options including planned/proposed developments.
- ❖ Recommendation related to achievable market rent and achievable tax credit rents.
- ❖ Support for the project based on the unit mix, rents and absorption projections

It is important to recognize that this study represents a compilation of data gathered from various sources, including competitive properties surveyed, local municipal records, and interviews with market participants, town officials and review of secondary demographic data. Although the sources used are felt to be reliable, it is impossible to thoroughly verify and authenticate all data utilized. The analysis does not guarantee the data and assumes no liability for errors of a factual nature, analysis, or judgment provided.

Among the sources utilized and cited throughout this study are the U.S. Census of Population and Housing, demographic information compiled (2000 and 2010 Census and forecasts for the market). We have also utilized HISTA Data (Households by Income, Tenure, Age and Size). This information was used in part to establish the demand model, and capture analysis. The data reflects current projections prepared by Claritas in conjunction with Ribbon Demographics.

The information used applies predominately to the 2019 operating year, but we also referenced some of the data that they consolidated from the 2010 Census and forecasts through 2024. Further, it must be recognized that the recommendations and conclusions provided in this market analysis are objective opinions based on the data gathered and interpretation of current and prospective supply and demand variables. Real estate markets are very dynamic in nature and continually effected by demographic, economic and developmental changes. The research and analysis undertaken was completed in January 2020. Utilization of this report and the recommendations/ conclusions undertaken are reflective of trends at this time.

The results are being presented in a summary report, and we do issue some caution in using this report for specific application to financing or funding, as the unit mix, product concept, rent structures and other variables may differ. Based on the preliminary nature of the project, we would recommend that the report be reviewed and updated to apply specifically to your advanced development concept.

Respectfully,



David M. Carlon
Analyst
Senior Vice President



Joseph D. Sievert
Analyst



M. Scott Allen, MAI
Analyst
Executive Vice President

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Addenda

- A. Demand Analysis Glossary
- B. Additional HISTA Information
- C. Qualifications

Summary of Findings

This analysis is considered preliminary as the development strategy has not been firmly established. We have derived rents/unit mix from the market based on the assumed physical product type. We have based the analysis on the following:

- ❖ Our general knowledge of the local Mahopac market and Putnam County.
- ❖ HCR/HFA and other agency requirements and regulations related to Federal and State Tax Credit guidelines.
- ❖ Knowledge of the potential tenant base and mobility patterns.
- ❖ Knowledge of planned/proposed housing and recent development.

Favorable Characteristics:

With any affordable development there are ***favorable characteristics*** that impact the project, in addition to capture. This includes:

- ❖ The ***demand methodology*** employed in this report will analyze each unit type/rent tier individually for households in the PMA. We will apply typical agency requirements for income qualification standards (30% to 48% affordability) for the 30%, 50%/60% AMI units and eliminate all existing and pipeline competitors.
- ❖ The ***lack of affordable/supportive family housing in the area*** as all other affordable projects are age-restricted aside from 20 units in nearby mixed-income projects. None of the affordable housing projects include supportive housing so this population remains underserved in the community.
- ❖ The subject will offer ***superior quality and condition compared to the older unrestricted complexes*** while being more in line with recent affordable age-restricted developments offering larger floor plans, contemporary layouts and amenities and community space.
- ❖ The ***high rent thresholds*** in the area historically with high median incomes may result in renters being rent-overburdened or living in physically inadequate options.
- ❖ The ***location*** has good access to commercial services, local employers and at the medical campus and downtown with others in the city accessible via public transportation. There are train stations into New York City and regional bus service available.
- ❖ Over ***23% of renter households in the PMA earn below \$30,000*** per year. Also over 50% of renters in Carmel/Mahopac are rent-overburdened paying more than 35% of income on rent.



Potential Issues & Concerns:

Aspects of the market for consideration that could cause some potential concerns include:

- ❖ There may be some concern with adding affordable family housing and the associated concerns with population density, the intensity of use on public services, schools and transportation where only age-restricted options were previously available.
- ❖ Changes in population and household counts projected into the next 5 years indicates decreases greater than the past five years which may be related to aging of the population.

Rent and Unit Mix:

UNIT MIX / RENT SUMMARY														
Unit Type	# of Units	(1) % AMI	Sq.Ft.	Net Tenant Rents	(2) Tenant Paid Utilities	Total Gross Rents	Gross Rents/Sq.Ft.	(3) Tax Credit Maximums	(4) HUD FMR	(5) Unrestricted Market Averages	(5a) Achievable Market Rent/Adj	(6) % Disc to TC MAX	(7) % Disc to MKT Averages	(8) % Disc to ADJ MKT Averages
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Some notes related to the unit mix and rents include:

- ❖ All rents are presented on a gross basis inclusive of the cost of heat, hot water and electric. Any change would impact the net or tenant paid rent.
- ❖ Unit sizes were based on typical sizes for projects of this nature and are subject to change.
- ❖ The affordable rents are at the maximum limits and show an adequate advantage toward market for all unit types.

Market Draw Area:

While the location and setting will attract interest from throughout the area we are including a **Primary Market Area (PMA)** that would provide about 65% to 75% of the eventual tenant base. The PMA includes mostly tracts in Putnam County including Carmel, Kent and Philipstown, in addition to neighboring Somers and Yorktown in Westchester County. This PMA was informed by transportation linkages with primary north-south routes as there are fewer direct routes east-west to the site. The market area includes just under 150 square miles with the general boundaries established as Putnam County to the north, Philipstown to the west, the town of Southeast to the east, and neighboring communities in Westchester to the south.



Analysis of Supply

- ❖ **Local market rate rentals.** The rental stock in the immediate area relates to older walkup buildings that are well supported and have not been upgraded to any significant degree with one new higher end multifamily development with a variety of floorplans and community amenities. Other rental options are mostly in 2/3BR condominium and townhouse properties as opposed to converted residences or mixed use buildings offering smaller unit sizes/types.
- ❖ **Affordable complexes** in the PMA are almost exclusively age-restricted properties, three of which have been added in the last five years with a range of income tiers in multistory elevator buildings. Other senior options farther north include deep subsidy developments or older tax credit properties where residents pay based on income. There are 10 affordable units at the nearby Crossings project however these are intended as a lower-cost alternative to an erstwhile unrestricted complex.

Local Market Conditions:

- ❖ Unrestricted market rate housing remains well supported with new units regularly added with favorable absorption rates.
- ❖ There has been ongoing new development of affordable housing and recent projects report absorption of up to 10 units per month with good retention of tenants after opening.

Most Comparable Rental Developments

The most **comparable/competitive affordable** developments are:

- ❖ Mews at Baldwin Place I & II
- ❖ Hillcrest Commons I & II
- ❖ Glenida Senior
- ❖ Hughson Commons
- ❖ Crossroads at Baldwin

The **most comparable/competitive market developments** are:

- ❖ Woodcrest
- ❖ Middle Branch
- ❖ 14 Church Street
- ❖ 104 Main Street
- ❖ Avalon Somers



Summary of Supply

The rents in the following chart are converted to gross rents in the last column as there are various utility structures to account for, and conversion to gross rents allow for a consistent comparison. We have applied market level utility adjustments of 1BR: \$110 (\$35 electric/\$75 gas), 2BR: \$130 (\$45 electric /\$85 gas).

Unit Type: 1 Bedroom										
Property Name	Municipality	Yr. Built	Occ. (Avg)	Utils*	Sq. Ft.	Rent Range	Rent(Mid)	\$/SF(Mid)	Gross Rent	Gross \$/SF
104 Main Street	Brewster	1957	100%	H	713	\$1400	\$ 1,400.00	\$ 1.96	\$ 1,435.00	\$ 2.01
Woodcrest Garden Apartments	Mahopac	Late 1960's	100%		750	\$1400	\$ 1,400.00	\$ 1.87	\$ 1,510.00	\$ 2.01
Middle Branch Garden Apartments	Southeast	1968	100%		706	\$1250-\$1300	\$ 1,275.00	\$ 1.81	\$ 1,385.00	\$ 1.96
Avalon Somers	Baldwin Place	2017	98%		847	\$2350-\$2500	\$ 2,425.00	\$ 2.86	\$ 2,535.00	\$ 2.99
Avalon Somers	Baldwin Place	2017			971	\$2665	\$ 2,665.00	\$ 2.74	\$ 2,775.00	\$ 2.86
14 Church Street	Carmel	1975	95%	H	800	\$1200	\$ 1,200.00	\$ 1.50	\$ 1,235.00	\$ 1.54
Putnam Apartments	Brewster	1968	100%	H		\$1095	\$ 1,095.00		\$ 1,130.00	
34 Putnam Avenue	Brewster	1980	100%	H	575	\$1300-\$1360	\$ 1,330.00	\$ 2.31	\$ 1,365.00	\$ 2.37
790 Route 312	Brewster	1920	100%			\$950-\$1000	\$ 975.00		\$ 1,085.00	
6 Church Street	Carmel	1988	100%	H	750	\$1350	\$ 1,350.00	\$ 1.80	\$ 1,385.00	\$ 1.85
1 Bedroom Averages:			99%		764.0		\$ 1,511.50	\$ 1.98	\$ 1,584.00	\$ 2.07
Unit Type: 2 Bedroom										
Property Name	Municipality	Yr. Built	Occ. (Avg)	Utils*	Sq. Ft.	Rent Range	Rent(Mid)	\$/SF(Mid)	Gross Rent	Gross \$/SF
Crossroads at Baldwin Place	Somers	2017/2018			1110	\$1995	\$ 1,995.00	\$ 1.80	\$ 2,139.00	\$ 1.93
104 Main Street	Brewster	1957	100%	H	976	\$1550	\$ 1,550.00	\$ 1.59	\$ 1,595.00	\$ 1.63
Woodcrest Garden Apartments	Mahopac	Late 1960's	100%		1050	\$1750	\$ 1,750.00	\$ 1.67	\$ 1,880.00	\$ 1.79
Middle Branch Garden Apartments	Southeast	1968	100%		976	\$1450-\$1550	\$ 1,500.00	\$ 1.54	\$ 1,630.00	\$ 1.67
Avalon Somers	Baldwin Place	2017	98%		1194	\$2806	\$ 2,806.00	\$ 2.35	\$ 2,936.00	\$ 2.46
Avalon Somers	Baldwin Place	2017			1206	\$2817	\$ 2,817.00	\$ 2.34	\$ 2,947.00	\$ 2.44
Avalon Somers	Baldwin Place	2017			1318	\$2107	\$ 2,107.00	\$ 1.60	\$ 2,237.00	\$ 1.70
14 Church Street	Carmel	1975	95%	H	1000	\$1450	\$ 1,450.00	\$ 1.45	\$ 1,495.00	\$ 1.50
Putnam Apartments	Brewster	1968	100%	H		\$1350	\$ 1,350.00		\$ 1,395.00	
34 Putnam Avenue	Brewster	1980	100%	H	800	\$1450-\$1550	\$ 1,500.00	\$ 1.88	\$ 1,545.00	\$ 1.93
790 Route 312	Brewster	1920	100%			\$1050-\$1100	\$ 1,075.00		\$ 1,205.00	
6 Church Street	Carmel	1988	100%	H	1100	\$1750	\$ 1,750.00	\$ 1.59	\$ 1,795.00	\$ 1.63
2 Bedroom Averages:			99%		1,073.0		\$ 1,804.17	\$ 1.68	\$ 1,899.92	\$ 1.77
* Utils: (H)eat, (E)lectric Paid by Landlord										



Market Rent Summary:

Market Rent Analysis Compared to Subject			
Unit Type	Gross Rent	Sq.Ft.	Rent/Sq.Ft
1 BRM Market Averages	\$1,584	764	\$2.07
1 BRM – Achievable Market Rent	\$1,500	700	\$2.14
1 BRM Subject – 30% AMI	\$600	700	\$0.86
1 BRM Subject – 50% AMI	\$1,000	700	\$1.43
1 BRM Subject – 60% AMI	\$1,200	700	\$1.71
2 BRM Market Averages	\$1,900	1,073	\$1.77
2 BRM – Achievable Market Rent	\$1,900	900	\$2.11
2 BRM Subject – 30% AMI	\$720	900	\$0.80
2 BRM Subject – 50% AMI	\$1,201	900	\$1.33
2 BRM Subject – 60% AMI	\$1,441	900	\$1.60

- ❖ The market averages include projects closer to the subject area that are mostly older smaller properties aside from the newest which is comparatively higher end and offers a wide range of floorplans and common amenities.
- ❖ The subject units are smaller in terms of square footage compared to the averages.

Planned and Proposed Housing:

The only affordable project under development at this time is the second phase of 75 units at the age-restricted Hillcrest Commons farther north in Carmel that is expected in the coming months. Other affordable projects are in various stages of development in Peekskill and Beacon, with some age-restricted proposals in Pawling, however these would not be expected to provide direct competition for the subject.

Achievable Market Rents:

The achievable market rents consider adjustments for items such as location, the condition of the proposed units, amenities, and other factors and features. Below is a summary of the adjustments applied to the market averages and the most comparable market rate developments. This is followed by an analysis of the adjustments and supporting documentation.



Achievable Market Rents						
	Mkt Avg	Woodcrest	Middle Branch	14 Church	104 Main	Avalon Somers
1 BR 700 SF						
Rent	\$ 1,584.00	\$ 1,510.00	\$ 1,385.00	\$ 1,235.00	\$ 1,435.00	\$ 2,460.00
Concessions	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Location	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Condition/Appeal	\$ -	\$ 151.00	\$ 138.50	\$ 123.50	\$ 143.50	\$ (369.00)
Amenities	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Parking	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Elevator	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Cable/Internet	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Laundry	\$ -	\$ -	\$ -	\$ -	\$ -	\$ (50.00)
Community Space	\$ -	\$ -	\$ -	\$ -	\$ -	\$ (100.00)
Other	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Unit Size	\$ (29.00)	\$ (18.00)	\$ -	\$ (35.00)	\$ (5.00)	\$ (50.00)
Utilities	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Total	\$ 1,555.00	\$ 1,643.00	\$ 1,523.50	\$ 1,323.50	\$ 1,573.50	\$ 1,891.00
Adopted Gross	\$ 1,500.00					
Net of Utilities	\$ 1,500.00					
2 BR 900 SF						
Rent	\$ 1,900.00	\$ 1,880.00	\$ 1,630.00	\$ 1,495.00	\$ 1,595.00	\$ 2,936.00
Concessions	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Location	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Condition/Appeal	\$ -	\$ 188.00	\$ 163.00	\$ 149.50	\$ 159.50	\$ (440.40)
Amenities	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Parking	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Elevator	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Cable/Internet	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Laundry	\$ -	\$ -	\$ -	\$ -	\$ -	\$ (50.00)
Community Space	\$ -	\$ -	\$ -	\$ -	\$ -	\$ (100.00)
Other	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Unit Size	\$ (51.00)	\$ (53.00)	\$ (27.00)	\$ (35.00)	\$ (27.00)	\$ (103.00)
Utilities	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Total	\$ 1,849.00	\$ 2,015.00	\$ 1,766.00	\$ 1,609.50	\$ 1,727.50	\$ 2,242.60
Adopted Gross	\$ 1,900.00					
Net of Utilities	\$ 1,900.00					

Adjustment Explanation:

- ❖ **Concession:** No concession adjustment required, as none of the comparable projects used are offering concessions, and this is a sign of strength in the market and an indication of overall support for the development.
- ❖ **Location:** The comparable projects are within the subject area with similar access to commercial services and transportation linkages and were not adjusted.
- ❖ **Condition:** The subject units will reflect new construction at the time of completion and considered to be in good overall condition, so an upward adjustment is applied to the older projects that remain in more basic condition while Avalon Somers is superior in terms of finishes and other aspects that required downward adjustments.



- ❖ **Amenities:** Amenity adjustments were applied for various instances including parking, laundry, cable/internet and laundry. We have considered market costs and paired analysis to determine the adjustments.
- ❖ **Unit Size:** We adjusted unit sizes based on a variable of \$.35 for every square foot of difference. This is undertaken by a paired analysis that compares the individual rents at the same complex with different unit sizes. We tend to be conservative on the unit size adjustment since we have very specific empirical data from the subject square footage but do not for the comps.
- ❖ **Utilities:** All have been converted to a gross basis already for comparison based on the utility estimates previously presented.

Conclusion – Market Rent

In conclusion, the achievable gross rents that have been established for the subject apartments range from \$1,324 to \$1,891 for a 1BR, from \$1,610 to \$2,243 for a 2BR. Achievable rents are closer to the midpoint or average and are summarized below:

One Bedroom:	\$1,500
Two-Bedroom:	\$1,900

Rent Advantage

The subject rents show a significant rent advantage as shown below.

Rent Advantage			
Unit Type AMI Level	Subject TC	Achievable	Advantage(1)
1 BR 30%	\$ 600	\$ 1,500	60.00%
1 BR 50%	\$ 1,000	\$ 1,500	33.33%
1 BR 60%	\$ 1,200	\$ 1,500	20.00%
2 BR 30%	\$ 720	\$ 1,900	62.11%
2 BR 50%	\$ 1,201	\$ 1,900	36.79%
2 BR 60%	\$ 1,441	\$ 1,900	24.16%

(1) The advantage applies to the estimated Tax Credit Rents only

Affordable Housing Rent Summary

On the following page is a summary of all comparable affordable developments in the area for comparison. The summary is shown on the following page and applies the same utility adjustments as the market rate summary above.



Unit Type: 1 Bedroom												
Property Name	Municipality	Proj. Type	AMI	Units: Type/Prjt	Yr. Built	Wait List	Occ. (Avg)	Utils*	Sq. Ft.	Gross Rent‡	Gross \$/SF‡	
Hillcrest Commons at Carmel	Carmel	Senior Tax Credit	60%	59 / 74	2012	75 +/-	100%		795	\$ 1,063.00	\$ 1.34	
Hillcrest Commons Apts - Phase II	Carmel	Senior Tax Credit	90%	4 / 75	2020	N/A		H	743	\$ 1,289.00	\$ 1.73	
Hillcrest Commons Apts - Phase II	Carmel	Senior Tax Credit	60%	52 / 75	2020	N/A		H	743	\$ 1,105.00	\$ 1.49	
Gleneida Senior Apartments	Carmel	Senior Tax Credit	50%	24 / 24	1999	127 Applicants	100%	H	650	\$ 794.00	\$ 1.22	
The Mews at Baldwin Place	Somers	Senior Tax Credit	60%	22 / 72	2011	57 Applicants	100%		745	\$ 1,089.00	\$ 1.46	
The Mews at Baldwin Place	Somers	Senior Tax Credit	50%	38 / 72	2011	57 Applicants			745	\$ 1,029.00	\$ 1.38	
The Mews at Baldwin Place	Somers	Senior Tax Credit	30%	12 / 72	2011	57 Applicants			745	\$ 629.00	\$ 0.84	
The Mews @ Baldwin Place II	Somers	Senior Tax Credit	60%	49 / 75	2015	121 Applicants.	99%		713	\$ 1,167.00	\$ 1.64	
The Mews @ Baldwin Place II	Somers	Senior Tax Credit	50%	12 / 75	2015	121 Applicants.			713	\$ 1,011.00	\$ 1.42	
Crossroads at Baldwin Place	Somers	Senior Tax Credit	60%	38 / 64	2017/2018				669	\$ 1,199.00	\$ 1.79	
Crossroads at Baldwin Place	Somers	Senior Tax Credit	50%	10 / 64	2017/2018				669	\$ 1,002.00	\$ 1.50	
Stonecrest Senior Apartments	Southeast	Senior Tax Credit	60%	112 / 136	2005	1BR = 260 2BR = 39	100%		775	\$ 1,102.00	\$ 1.42	
Hughson Commons	Carmel	Senior Tax Credit	60%	29 / 94	2002	1BR = 350 +/- 2BR = 50+/-	100%		807	\$ 1,187.00	\$ 1.47	
Hughson Commons	Carmel	Senior Tax Credit	50%	49 / 94	2002	1BR = 350 +/- 2BR = 50+/-			807	\$ 985.00	\$ 1.22	
Brewster Senior Housing	Brewster	Senior Tax Credit		15 / 25	2008	15 +/- Applicants	100%			\$ 883.00		
Avalon Somers	Baldwin Place	Mixed Income	50%	1 / 152	2017	Yes- affordable	98%		844	\$ 989.00	\$ 1.17	
Avalon Somers	Baldwin Place	Mixed Income	60%	6 / 152	2017	Yes- affordable			877	\$ 1,345.00	\$ 1.53	
1 Bedroom Averages:									100%	752.5	\$ 1,051.06	\$ 1.40
Unit Type: 2 Bedroom												
Property Name	Municipality	Proj. Type	AMI	Units: Type/Prjt	Yr. Built	Wait List	Occ. (Avg)	Utils*	Sq. Ft.	Gross Rent‡	Gross \$/SF‡	
Hillcrest Commons at Carmel	Carmel	Senior Tax Credit	60%	15 / 74	2012	75 +/-	100%		1024	\$ 1,250.00	\$ 1.22	
Hillcrest Commons Apts - Phase II	Carmel	Senior Tax Credit	60%	9 / 75	2020	N/A		H	967	\$ 1,325.00	\$ 1.37	
Hillcrest Commons Apts - Phase II	Carmel	Senior Tax Credit	90%	8 / 75	2020	N/A		H	967	\$ 1,547.00	\$ 1.60	
Gleneida Senior Apartments	Carmel	Senior Tax Credit	50%	1 / 24	1999	127 Applicants	100%	H		\$ 928.00		
The Mews @ Baldwin Place II	Somers	Senior Tax Credit	50%	3 / 75	2015	121 Applicants.	99%		951	\$ 1,238.00	\$ 1.30	
The Mews @ Baldwin Place II	Somers	Senior Tax Credit	60%	11 / 75	2015	121 Applicants.			951	\$ 1,435.00	\$ 1.51	
Crossroads at Baldwin Place	Somers	Senior Tax Credit	60%	8 / 64	2017/2018				1110	\$ 1,423.00	\$ 1.28	
Crossroads at Baldwin Place	Somers	Senior Tax Credit	50%	2 / 64	2017/2018				1110	\$ 1,192.00	\$ 1.07	
Stonecrest Senior Apartments	Southeast	Senior Tax Credit	60%	24 / 136	2005	1BR = 260 2BR = 39	100%		1078	\$ 1,315.00	\$ 1.22	
Hughson Commons	Carmel	Senior Tax Credit	60%	8 / 94	2002	1BR = 350 +/- 2BR = 50+/-	100%		1002	\$ 1,431.00	\$ 1.43	
Hughson Commons	Carmel	Senior Tax Credit	50%	8 / 94	2002	1BR = 350 +/- 2BR = 50+/-			1002	\$ 1,220.00	\$ 1.22	
Brewster Senior Housing	Brewster	Senior Tax Credit		5 / 25	2008	15 +/- Applicants	100%			\$ 1,004.00		
Mayor Mitchell Court	Brewster	Senior Tax Credit	60%	24 / 24	2003	15 +/- Applicants	100%		950	\$ 1,009.00	\$ 1.06	
2 Bedroom Averages:									100%	1,010.2	\$ 1,255.15	\$ 1.24
† # of Units: this Unit Type / whole Project												
* Utils: (H)eat, (E)lectric Paid by Landlord												
‡ Where there is a range of rents for a unit, the average is displayed												



Maximum Income / Rent Thresholds:

The location in Mahopac is part of the Putnam County MSA and has a median income of \$75,500 for 2019 and the maximum allowable levels:

MAXIMUM INCOMES PUTNAM COUNTY, NY						
	30% AMI	50% AMI	60% AMI	80% AMI	90% AMI	130% AMI
1 Person	\$22,410	\$37,350	\$44,820	\$59,760	\$67,230	\$97,110
2 Person	\$25,620	\$42,700	\$51,240	\$68,320	\$76,860	\$111,020
3 Person	\$28,830	\$48,050	\$57,660	\$76,880	\$86,490	\$124,930

MAXIMUM RENTS PUTNAM COUNTY, NY							
	30% AMI	50% AMI	60% AMI	80% AMI	90% AMI	130% AMI	2020 FMR
1 Bedroom	\$600	\$1,000	\$1,200	\$1,601	\$1,801	\$2,601	\$1,559
2 Bedrooms	\$720	\$1,201	\$1,441	\$1,922	\$2,162	\$3,123	\$1,831

Achievable Tax Credit Rents

Regarding **achievable tax credit rent** it is difficult to compare to many of the projects in the area since there are different targeted income levels at the existing projects related to the funding used at the time of development that requires that certain rent thresholds be maintained. Other considerations include the following:

- ❖ Locational variables, onsite amenities and the age/condition of the complex
- ❖ Competitive nature of the funding process in New York State with preference given to projects that can provide low rent levels in comparison to market and objectives of the development group related to population and those agencies that are being served.
- ❖ Differences in the median income limits for the MSA, county, municipality and census tract for the subject development and comparable properties.

The subject tax credits units will qualify at or below multiple AMI thresholds and we did only consider those with similar rent guidelines. **All rents are converted to gross rents that include the cost for housing, rent plus utilities. This is necessary for comparison to AMI maximum thresholds, and for comparison since tax credit projects provide a utility allowance (which is not distinguished between heat or electric) but can be used to convert to the gross rent.**

A summary of the tax credit rents in the area are below:



Tax Credit Rent Analysis (all Gross Rents)						
Project Name (1)	1 BR 40%	1 BR 50%	1 BR 60%	2 BR 40%	2 BR 50%	2 BR 50%
Hughson Commons		\$985	\$1,187		\$1,220	\$1,431
Stonecrest			\$1,102			\$1,315
Glenida Senior		\$794			\$928	
Hillcrest I			\$1,063			\$1,250
Hillcrest II			\$1,105			\$1,325
Mews at Baldwin Place	\$629	\$1,029	1089		\$1,192	\$1,423
Mews at Baldwin Place II		\$1,011	\$1,167		\$1,238	\$1,435
Crossroads at Baldwin		\$1,102	\$1,199		\$1,192	\$1,423
Avalon Somers*		\$989	\$1,345			\$2,107
Average - Primary Comps	\$629	\$985	\$1,157	N/A	\$1,154	\$1,464
Subject Rents - TC projections	\$600	\$1,000	\$1,200	\$720	\$1,201	\$1,441
Variation/ subject advantage (2)	4.83%	-1.50%	-3.57%	N/A	-3.91%	1.57%
<i>(1) Project was placed in service prior to 01/01/2009 and is therefore eligible for "HERA Special" income and rent limit.</i>						
<i>(2) Where there are negatives, it means that the subject is higher than the average TC rents, and where it is positive, it means that there is an advantage.</i>						

The subject rents are at the maximum limits and higher than the comparable projects shown but are within range of the affordable units at the Crossroads and Avalon projects which are the only affordable units targeting family households as all others are for seniors. The older projects are lower having achieved limited increases in recent years after opening and there are other considerations related to the superior subject location, amenities/condition and income levels during application/construction. Additional support for these rents is evident by the rent advantage and unmet need from the demand analysis.

Project Timing / Absorption:

For a community of this nature, we are anticipating an absorption rate of **up to 12 units per month**. Most affordable projects in the area were essentially full at opening with over 100 applicants. New development of competitive housing in the PMA and elsewhere in the region targeting these household sizes and income levels for affordable housing may impact leaseup/absorption depending on location and other factors. Integration of supporting housing units in the project would likely improve leaseup/absorption through referrals.

Some recent leasing trends are presented below:



Complex	Type of Project	Location	Year Built	# of Units	Average Absorption
Westchester County					
Highland Ave Senior - Westchester Co.	Senior Tax Credit	Yonkers, NY	2009	87	9-10 per month
97 Main St, Westchester Co.	Market Rate	Ossining, NY	2007	14	2-3 per month
330 Riverdale	Family Tax Credit	Yonkers, NY	2011	137	9-10 per month
Roudtop @ Montrose	Family Tax Credit	Montrose, NY	2012	91	20 +/-Month (Lottery-filled at open)
Grant Park @ Croton Heights	Family Tax Credit	Yonkers, NY	2011	100	Filled upon completion
Park Terrace	Senior Tax Credit	Yonkers, NY	2011	49	Filled upon completion
Mews at Baldwin Place	Senior Tax Credit	Somers, NY	2011	72	18 per month (Lottery-filled at open)
Bridleside Apts	Family Tax Credit	North Salem, NY	2013	64	5 per month (each building was completely leased 30 day after completion)
The Mews at Baldwin Place - II	Senior Tax Credit	Somers, NY	2015	75	7 to 8 units per month from initial marketing
188 Warburton	Family Tax Credit	Yonkers NY	2015/2016	51	Full at open; likely around 15 to 20 per month but some relocated.
The Modern	Family Tax Credit	Mount Vernon, NY	2016	81	Full at open via lottery. Given leasing start to completion; about 15 to 20 per month
Continuum	Market Rate	White Plains, NY	2017	288	As of 11/17, 43 units were leased. From marketing start, this is 8-10 units per month
The Danforth	Market Rate	Dobbs Ferry	2017	202	13 per month since April 2017.
Vienna Senior Housing	Senior Tax Credit	Rye, NY	2018		Full at open via lottery. Given leasing start to completion; about 13 units per month

Supportive Housing:

The developer is intending to integrate some units with supportive housing subsidy into the project and the chart below indicates potential tenants for these unit types from the most recent American Community Survey. While not all would qualify or be interested in a rental housing scenario, there is an ample supply of tenants from which to draw.

S1810: DISABILITY CHARACTERISTICS						
Subject	Putnam County, New York			Westchester County, New York		
	Total	With a	Percent with	Total	With a	Percent with
	Estimate	Estimate	Estimate	Estimate	Estimate	Estimate
Total civilian noninstitutionalized	98,891	10,509	10.6%	962,824	88,966	9.2%
DISABILITY TYPE BY DETAILED AGE						
With a cognitive difficulty	(X)	3,498	3.7%	(X)	30,389	3.3%
Population 18 to 64 years	62,860	2,061	3.3%	592,444	15,369	2.6%

Project Support/Capture:

The capture rate is defined by NCHMA guidelines as:

“The percentage of age, size, and income qualified renter households in the primary market area that the property must capture to fill the units. Funding agencies may require restrictions to the qualified households used in the calculation including age, income, living in substandard housing, mover-ship and other comparable factors. The Capture Rate is calculated by dividing the total number of units at the property by the total number of age, size and income qualified renter households in the primary market area.”

Notes related to the variables that apply to the demand analysis include:

Age Qualification:

Age 18-61 households for tax credit units.



<i>Income Qualification:</i>	We applied HCR underwriting criteria where the 30%, 50% and 60% AMI units are set with 48% of income at the low end up to 30% for the upper limit.
<i>Household Size:</i>	1BR units include 1/2-person households, 2BR units include 2/3-persons.
<i>Project Elimination:</i>	Competitive units (1 1BR, 13 2BR) at the Crossroads and Avalon Somers have been eliminated and apply to each unit type in the project.
<i>Mobility:</i>	There is an advantage towards market for the 30%, 50% and 60% units and we have included 100% of the income eligible renter households.

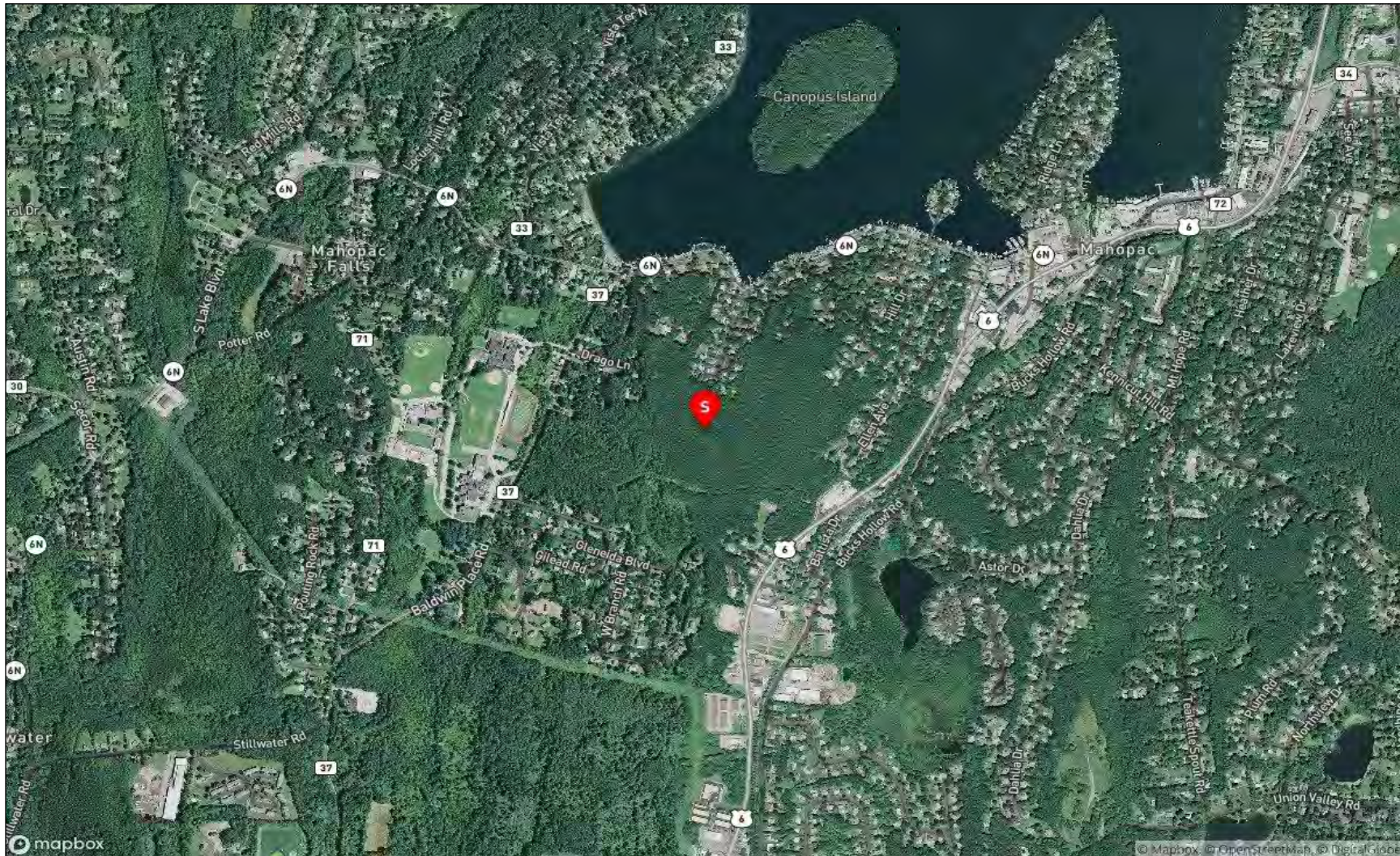
The Demand Model is outlined on the following pages.



Summary Analysis Family							
Demand for S/1, 2, 3/4 Bedroom apartments							
<i>Note: The numbers apply to the demand glossary in addendum.</i>							
		1 BRM – Tax Credit @ \$600	1 BRM – Tax Credit @ \$1,000	1 BRM – Tax Credit @ \$1,200	2 BRM – Tax Credit @ \$720	2 BRM – Tax Credit @ \$1,201	2 BRM – Tax Credit @ \$1,441
1	Total Number of HH in the Market - 2019 (All HH)	32,928	32,928	32,928	32,928	32,928	32,928
2	% of Renters	0	0	0	0	0	0
3	% of Owners	86.66%	86.66%	86.66%	86.66%	86.66%	86.66%
4	Renter Mobility Contribution						
5	Number of Renters based on HH size/Unit type(1)	2986	2986	2986	1656	1656	1656
6	Less Senior HH aged 62+: See narrative for details	-1217	-1217	-1217	-437	-437	-437
7	Net Renter HH	1769	1769	1769	1219	1219	1219
8	Estimated Rents for Target Market - Gross Rent(2)	\$600	\$1000	\$1200	\$720	\$1201	\$1441
9	Income Qual. Range: (3)-Specific Range based on rents	\$15,000 - \$25,650	\$25,000 - \$40,000	\$30,000 - \$48,000	\$18,000 - \$28,830	\$30,025 - \$48,040	\$36,025 - \$57,640
10	Income Range to account for elimination:	\$0 - \$25,650	\$0 - \$40,000	\$0 - \$48,000	\$0 - \$28,830	\$0 - \$48,040	\$0 - \$57,640
11	Total Income Qualified HH (From 2019 HISTA)(4)	395	673	791	220	420	481
12	Elimination of Existing/Planned Competitors	0	0	0	0	0	0
13	Net Demand	395	673	791	220	420	481
14	Income qual based on the specific band above	63.54%	44.28%	33.38%	55.00%	44.29%	36.80%
15	Mobility Factor	100%	100%	100%	100%	100%	100%
16	Net Demand	251	298	264	121	186	177
	3) Market Growth/Contraction						
17	Applicable Growth (2 of the 5 years)	-	-	-	-	-	-
18	Total Demand By Unit Type	251	298	264	121	186	177
19	Number of Units	24	22	20	12	12	12
20	Capture for unit type	9.56%	7.38%	7.58%	9.92%	6.45%	6.78%
21	Ratio of total project (unit type compared to total)	23.5294%	21.5686%	19.6078%	11.7647%	11.7647%	11.7647%
22	Weighted Average Market Capture(pro-rated by type)	8.05%					
	(1) 1/2 person HH for the 1br, 2/3 person HH for 2br and 3/4 person HH for the 3br units, 4+ person HH for the 4br units. Renters only.						
	(2) Gross Rent is necessary in order to establish the income qualified range.						
	(3) Low end for affordability based on specific funding objectives The maximum is based on the lesser of 30% of the gross rent or the tax credit maximum allowable						
	(4) The total here goes from 0-Max in order to eliminate competition from deep subsidy projects. We will apply a second income qual. Based on the contribution for our specific income band.						



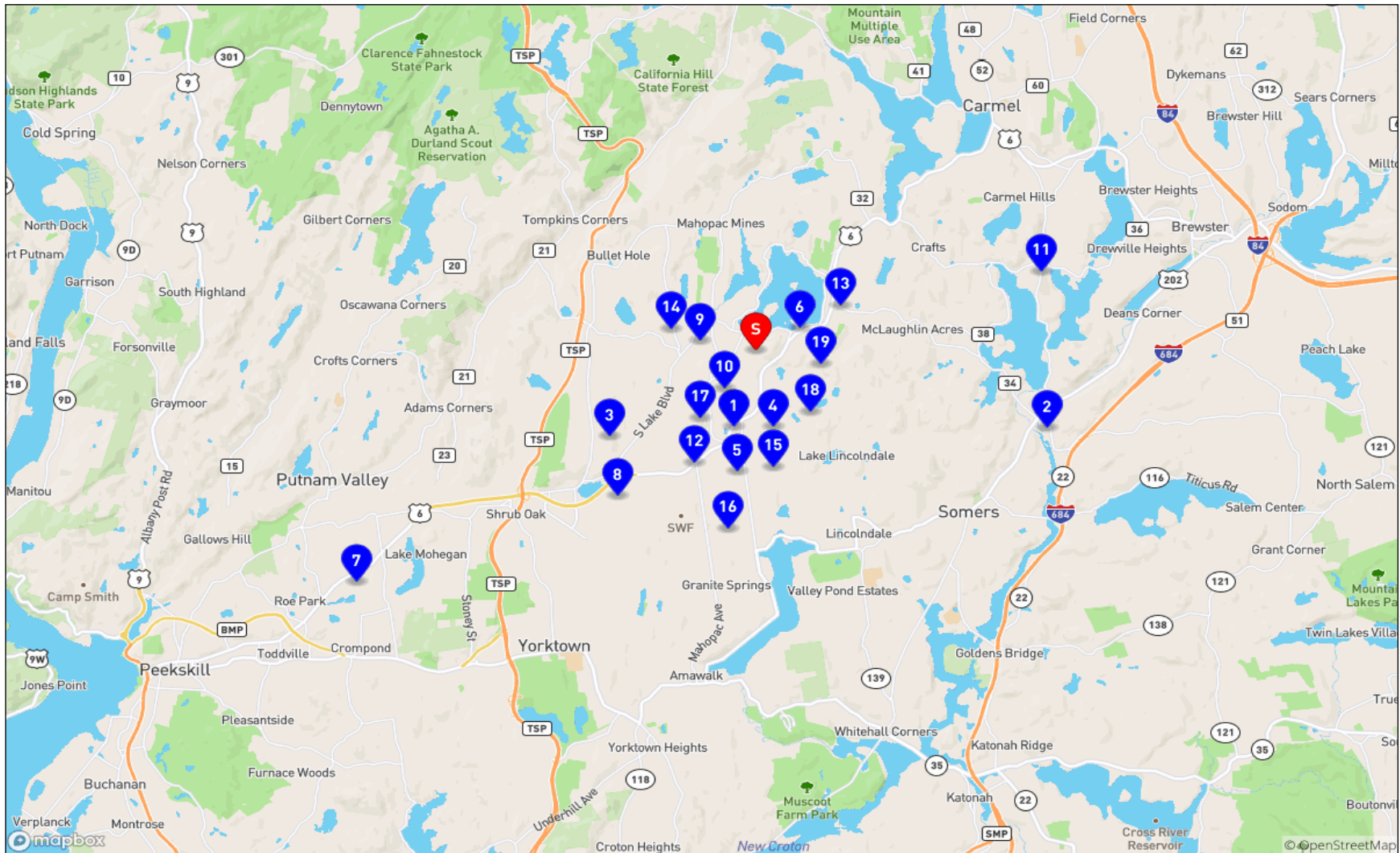
Aerial Photograph



Route 6 and Baldwin
Mahopac, Putnam County, NY



Neighborhood Map



Route 6 and Baldwin
Mahopac, Putnam County, NY



Immediate Neighborhood:

The subject site is vacant land located on the west side of US Route 6 in the southern part of the hamlet of Mahopac (town of Carmel). Generally, the **boundaries of the neighborhood**, which differ from the boundaries of the Primary Market Area, include:

- ❖ US Route 6 to the East
- ❖ US Route 6 to the South
- ❖ South Lake Boulevard to the North
- ❖ NYS Route 6N to the West

Surrounding Property Uses		
Direction	Adjoining Property Uses	Patterns/Trends
To the North:	Undeveloped land, single family residential, smaller commercial and residential closer to lake	Stable/limited recent development activity
To the South:	Commercial/retail plazas with pharmacy, grocery stores, health club, banks and dining. Multifamily housing including the Mews, Avalon Somers and Crossroads	Stable to improving with recent development activity
To the East:	William Koehler Senior Center, Society Hill at Mahopac, commercial uses on Rt 6 including a day care, auto dealer, dining and fire department	Stable/new senior center development
To the West:	Undeveloped land and single family residential	Stable/no recent development activity

Nearby uses include Society Hill condominiums, a recently constructed assisted living facility, retail plazas and smaller commercial uses on Route 6. Farther south are four recent multifamily housing developments in combination of multistory elevator and townhouse buildings. Avalon Somers is a market rate project with 10 affordable units with no age restrictions, and the multi-phased age-restricted, Mews project targets senior households. The Crossroads at Baldwin Place also primarily targets seniors at/below 60% of AMI with some unrestricted units and 10 units that target moderate income family households.

Uses farther north in Mahopac relate to local service-base businesses, retailers and restaurants with building suppliers and associated trade services. The village center is farther north near the marina and includes seasonal waterfront recreation and dining with a condominium building. The Mahopac Middle and High School campus is nearby with other smaller private schools in the area. Commercial uses are concentrated farther south in Jefferson Valley near the Route 6-Taconic State Parkway interchange and include the mall, banks, national brand retailers, big box stores and medical care offices.



Rental housing in the immediate area includes the newest communities to the south in Baldwin Place with smaller walkup buildings in the area with 12-20 units and individual rental units in condominium or townhouse developments. Aside from the 20 affordable units at Avalon Somers and Crossroads, all other affordable rental options are age-restricted like the multi-phased Hillcrest and Mews projects offering tax credit rents or older subsidized properties farther north in Carmel. All affordable options remain well supported with very limited turnover and extensive waitlists and the newest projects absorbed new units at rates exceeding 10 per month with some offering lotteries for new units and essentially full at opening.

Volz Park is at the northern end of the site and has 15 acres of open recreation and waterfront views. There are multiple other parks, wilderness areas, and hiking trails in the area in addition to golf courses and seasonal waterfront destinations nearby.

Transportation Linkages

The subject has good access to transportation linkages with Route 6 serving as a main route in the town and connects to I-84 to the northeast in Brewster and the Taconic State Parkway to the southwest in Jefferson Valley. Bus stops are available in the area at nearby retail plazas with regular routes along Route 6. MTA train stations on the Hudson Line are available in Peekskill and multiple stops on the Harlem Line are to the east in Croton Falls.

Medical Care:

Putnam Hospital Center to the west is the closest full service hospital in the area with New York Presbyterian Hudson Valley Hospital in Peekskill one of the larger hospitals in the area. Multiple private practice and outpatient facilities are in the immediate area with an Urgent Care facility in the plaza to the south and similar facilities to the north in Mahopac and in nearby communities to the south and west.

Schools:

The property is in the Mahopac Central School District and ranks 318th out of 810 districts in New York State according to SchoolDigger.com. the district has approximately 4,200 students over three primary, two middle and one high school, most of which are northwest of the site at the main campus.

Community Services:

The chart on the following page lists the distance from the site to commercial services indicated on the map above.



COMMUNITY SERVICES			
Map #	COMMUNITY SERVICES	NAME	TRAVEL DISTANCE* FROM SITE (IN MILES)
1	PUBLIC BUS STOP	Bus Stop	0.7
2	SUBWAY/RAIL STATION	Train Station	5.2
3	MAJOR EMPLOYERS / EMPLOYMENT CENTERS	Lonestar Contracting	3.2
4	PHARMACY	Rite Aid	0.7
	GROCERY:		
5	NEAREST MARKET	ACME Markets	0.7
6	NEAREST FULL SERVICE MARKET	Laguna Grocery Store	1.8
7	DISCOUNT DEPARTMENT STORE	Walmart	6.2
	SCHOOLS:		
8	ELEMENTARY	Thomas Jefferson Elementary	2.1
9	MIDDLE / JUNIOR HIGH	Mahopac Middle School	1.1
10	HIGH	Mahopac High School	0.9
11	HOSPITAL	Putnam Hospital	5.5
12	MEDICAL CLINIC/OFFICES	CareMount	1.1
13	POLICE	Carmel Police Dept	2.5
14	FIRE	Mahopac Falls Fire Dept	1.2
15	POST OFFICE	US Post Office	0.6
16	BANK	Peoples United Bank	0.9
17	SENIOR CENTER	William Koehler Memorial Senior Center	0.5
18	DAY CARE	Creative Kids Childcare Center	0.6
19	LIBRARY	Mahopac Library	2.1
	* CALCULATED ALONG DEDICATED ROADWAYS		
	Walk Score is 9		

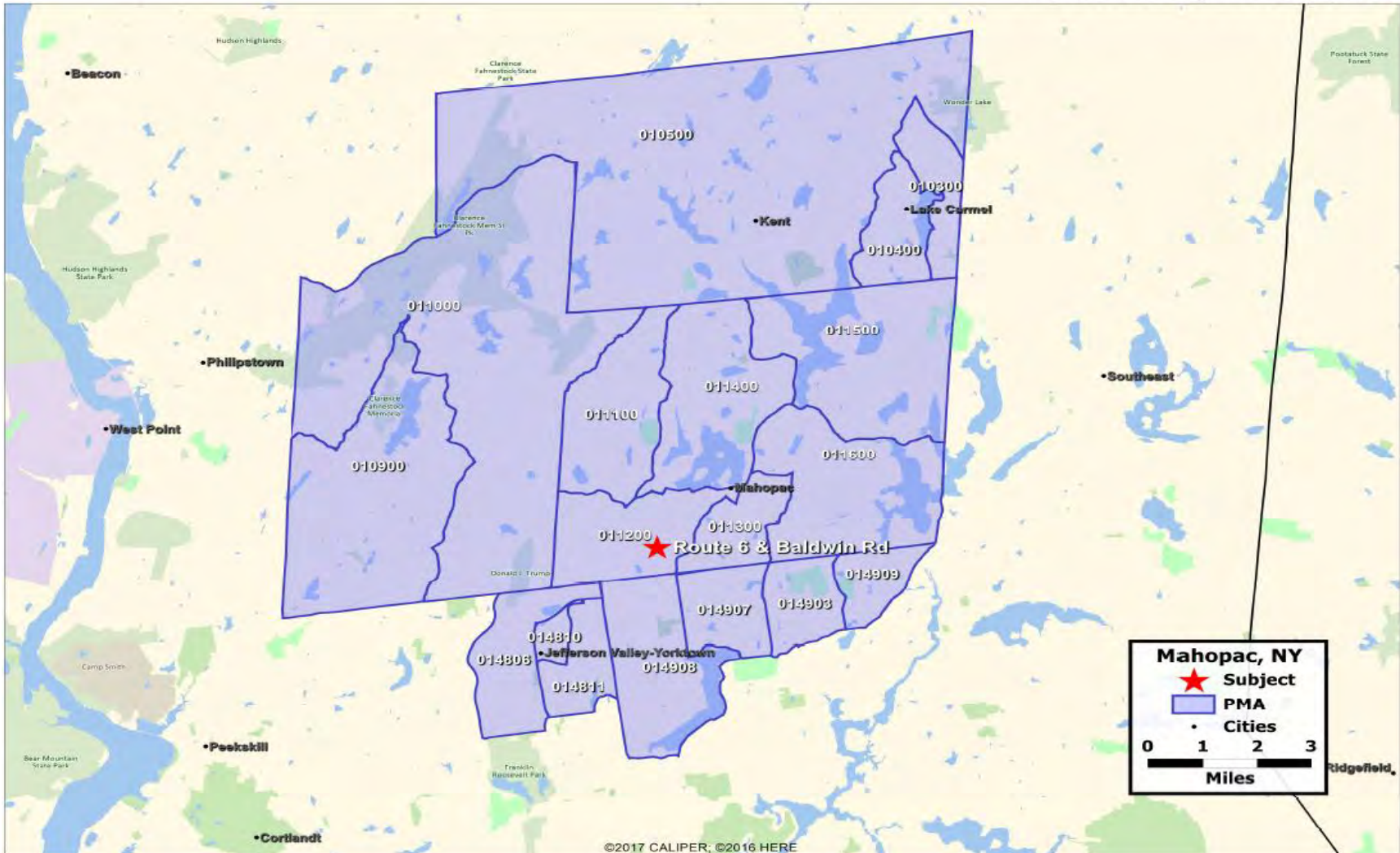
Conclusions – The Immediate Neighborhood

The subject location is supported for development of affordable housing given the good access to employment, recreation, schools and concentration of commercial services. The location is also supported by recent development of multifamily housing to the south that has been well received. Public transportation is available nearby and connects to nearby communities on main transportation linkages with good access to medical care.



Primary Market Area Map

Market Area Map- 147.45 Sq Miles



Route 6 and Baldwin
Mahopac, Putnam County, NY



Market Area Demographics and Trends

Market Draw Area

While the location and setting will attract interest from throughout the area we are including a **Primary Market Area (PMA)** that would provide about 65% to 75% of the eventual tenant base. The PMA includes mostly tracts in Putnam County including Carmel, Kent and Philipstown, in addition to neighboring Somers and Yorktown in Westchester County. This PMA was informed by transportation linkages with primary north-south routes as there are fewer direct routes east-west to the site. The market area includes just under 150 square miles with the general boundaries established as Putnam County to the north, Philipstown to the west, the town of Southeast to the east, and neighboring communities in Westchester to the south. **The subject census tract is 68.** The market area includes just over 8 square miles and includes the following census tracts:

GEOCODE	COUNTY	MCD_NAME	ZIP
36079010300	Putnam County	Kent town	10512
36079011300	Putnam County	Carmel town	10541
36079011400	Putnam County	Carmel town	10541
36119014903	Westchester County	Somers town	10589
36119014909	Westchester County	Somers town	10589
36079011600	Putnam County	Carmel town	10541
36079011500	Putnam County	Carmel town	10512
36079010500	Putnam County	Kent town	10512
36079010400	Putnam County	Kent town	10512
36079010900	Putnam County	Putnam Valley town	10579
36119014806	Westchester County	Yorktown town	10598
36119014810	Westchester County	Yorktown town	10598
36079011000	Putnam County	Putnam Valley town	10579
36119014811	Westchester County	Yorktown town	10598
36119014908	Westchester County	Somers town	10501
36119014907	Westchester County	Somers town	10598
36079011200	Putnam County	Carmel town	10541
36079011100	Putnam County	Carmel town	10541

HISTA Data/Demographics

A summarization of some of the important demographic data available from HISTA and the American Community Survey are presented on the following pages. These data sets compare the PMA and subject census tract as well as the city, county and census tract for variables related to the incomes, age, housing tenure and other aspects of the population base. Note that the HISTA Data uses the American Fact Finder data as a base year projection.



DEMOGRAPHIC SUMMARIZATION				
	<u>Putnam County, New York</u>	<u>Carmel town, Putnam County, New York</u>	<u>Census Tract 112, Putnam County, New York</u>	<u>Mahopac CDP, New York</u>
Total Housing Units	38,578	12,741	2,542	3,418
Population	99,464	34,328	7,085	8,742
Total Households	34,316	11,758	2,382	3,131
Median Household Income	\$99,608	\$100,790	\$101,985	\$87,594
Average Household Size - Owner Occupied	2.90	3.05	2.97	2.80
Average Household Size - Renter Occupied	2.45	2.21	2.98	2.75
Median Value of Owned Home	\$357,700	\$376,300	\$346,000	\$368,800
Median Monthly Gross Rent	\$1,334	\$1,292	\$1,181	\$1,236
% Renters Paying 35% or More(1)	42.80%	51.50%	49.60%	51.00%
Ratio of Population Age 65+	15.60%	15.90%	16.50%	15.00%
Median Age	43.80	43.90	41.10	42.20
Household With One or More people 65+	10,519	3,666	742	906
Ratio of Owner Occupied Households	81.90%	81.30%	74.30%	70.10%
Ratio of Renter Occupied Households	18.10%	18.70%	25.70%	29.90%
Ratio of Vacant Housing Units	11.00%	7.70%	6.30%	8.40%
Ratio of Vacant Rental Units	4.80%	4.80%	0.00%	0.00%
Tenure: Ratio of larger rental projects(2)	9.35%	8.65%	4.57%	7.70%
Ratio of Rental Units Built Post 1980	28.61%	36.78%	53.34%	48.34%
Employed	51,775	17,864	3,988	4,705
Unemployment Rate	5.3%	6.3%	5.3%	5.1%
Mean Travel Time to Work (minutes)	39.2	38.0	38.1	35.8
% of All People Below Poverty Line	4.8%	3.3%	5.6%	4.0%

(1) Gross rent as a percent of income.

(2) Defined as rental units with 20 or more apartments.

Source: 2013-2017 American Community Survey - 5 Year Estimate

Some notes and comments from this data include:

- ❖ Median income in the Mahopac CDP at \$87,594 is lower than the other selections with the subject tract the highest at \$101,985.
- ❖ The median value of an owned home is highest in the town of Carmel at \$376,600, and lowest in the county at \$357,700.
- ❖ Rent-overburdened households are prevalent in the area with over 43% of households countywide paying more than 35% of income on rent compared to 52% in the town.
- ❖ Development of rental housing has been more prevalent in the area since 1980 with over 53% in the subject tract compared to 29% countywide.
- ❖ Commute times are around 35 minutes and within range to large employment centers.



Demographic Summary PMA – HISTA Data *					
	2014 **	2019	% Change	2024	% Change
Total Renter Households:	2,930	2,823	-3.65%	2,752	-2.52%
Owner Occupied Households:	17,482	16,939	-3.11%	16,040	-5.31%
Total Households:	20,412	19,762	-3.18%	18,792	-4.91%
% of Renters	14.35%	14.28%		14.64%	
2019 Data:					
Renters Earning \$30,000 or Less:	23.24%				
Renters Earning \$20,000 or Less:	11.16%				
Ratio of Renters with 3 or more persons	37.34%				
2019 Estimated Median Income PMA:	\$110,945				
Median Income Subject Census Tract:	\$112,542				
* All data applies to under age 62 only					
** The 2012-2016 ACS data has been used as the basis in the demographic summary for the equivalent of the 2014 household statistics.					

Population Under Age 62		
Year	Population	% Change
2010 (1)	71,134	N/A
2019 (2)	67,613	-4.95%
2024 (3)	65,522	-3.09%
1) Census		
2) Current Year Estimate		
3) 5-yr Projection		

Notes evident by review of the data include:

- ❖ The data related to family households indicates continued decline over the next five years, with similar projections for overall population.
- ❖ Overall, the PMA includes 86% owners and 14% renters.
- ❖ About 23% of renters in the PMA earn less than \$30,000 per year.
- ❖ The subject tract has a lower median income than the PMA by around \$2,000.



PMA			
Total Population			
Census 2000	85,127		
Census 2010	87,930		
Current Year Estimates 2019	89,777		
Five-Year Projections 2024	91,097		
<i>Change 2000 - 2010</i>	2,803	3.3%	
<i>Estimated Change 2010 - 2019</i>	1,847	2.1%	
<i>Projected Change 2019 - 2024</i>	1,320	1.5%	
Population by Sex			
2019 Males	43,887	48.9%	
2019 Females	45,890	51.1%	
Group Quarters Population			
Census 2000	650		
Census 2010	891		
Current Year Estimates 2019	885		
Five-Year Projections 2024	880		
<i>Change 2000 - 2010</i>	241	37.1%	
<i>Estimated Change 2010 - 2019</i>	-6	-0.7%	
<i>Projected Change 2019 - 2024</i>	-5	-0.6%	
Total Households			
Census 2000	29,864		
Census 2010	31,717		
Current Year Estimates 2019	32,928		
Five-Year Projections 2024	33,612		
<i>Change 2000 - 2010</i>	1,853	6.2%	
<i>Estimated Change 2010 - 2019</i>	1,211	3.8%	
<i>Projected Change 2019 - 2024</i>	684	2.1%	
Average Household Size 2000	2.83		
Average Household Size 2010	2.74		
Average Household Size 2019	2.70		
Average Household Size 2024	2.68		
Total Families			
Census 2000	23,172		
Census 2010	24,013		
Current Year Estimates 2019	24,781		
Five-Year Projections 2024	25,238		
<i>Change 2000 - 2010</i>	841	3.6%	
<i>Estimated Change 2010 - 2019</i>	768	3.2%	
<i>Projected Change 2019 - 2024</i>	457	1.8%	
Total Housing Units			
Census 2000	31,717		
Census 2010	34,142		
Current Year Estimates 2019	35,519		
Five-Year Projections 2024	36,241		
<i>Change 2000 - 2010</i>	2,425	7.6%	
<i>Estimated Change 2010 - 2019</i>	1,377	4.0%	
<i>Projected Change 2019 - 2024</i>	722	2.0%	
Total Vacant Housing Units 2000	1,853		
Total Vacant Housing Units 2010	2,425		
Total Vacant Housing Units 2019	2,591		
Total Vacant Housing Units 2024	2,629		
Households by Tenure			
2000 Owner	26,076	87.3%	
2000 Renter	3,788	12.7%	
2010 Owner	27,534	86.8%	
2010 Renter	4,183	13.2%	
2019 Owner	28,535	86.7%	
2019 Renter	4,393	13.3%	
2024 Owner	29,105	86.6%	
2024 Renter	4,507	13.4%	



HISTA 2.2 Summary Data		Market Area				
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Renter Households						
Age 15 to 54 Years						
Year 2019 Estimates						
	1-Person	2-Person	3-Person	4-Person	5+-Person	
	Household	Household	Household	Household	Household	Total
\$0-10,000	31	15	8	3	2	59
\$10,000-20,000	121	27	52	10	5	215
\$20,000-30,000	163	51	10	16	5	245
\$30,000-40,000	69	46	44	14	27	200
\$40,000-50,000	92	21	37	8	22	180
\$50,000-60,000	107	26	15	42	16	206
\$60,000-75,000	34	69	74	24	9	210
\$75,000-100,000	153	31	123	107	49	463
\$100,000-125,000	45	103	15	11	74	248
\$125,000-150,000	14	7	10	13	8	52
\$150,000-200,000	15	14	27	22	0	78
\$200,000+	17	59	4	11	1	92
Total	861	469	419	281	218	2,248
Renter Households						
Aged 55 to 61 Years						
Year 2019 Estimates						
	1-Person	2-Person	3-Person	4-Person	5+-Person	
	Household	Household	Household	Household	Household	Total
\$0-10,000	15	3	2	2	1	23
\$10,000-20,000	5	7	3	3	0	18
\$20,000-30,000	37	52	4	1	2	96
\$30,000-40,000	8	23	3	1	2	37
\$40,000-50,000	8	27	2	1	2	40
\$50,000-60,000	18	12	5	3	3	41
\$60,000-75,000	14	27	2	2	1	46
\$75,000-100,000	21	6	15	3	2	47
\$100,000-125,000	11	15	4	2	1	33
\$125,000-150,000	46	15	13	4	0	78
\$150,000-200,000	8	13	5	3	1	30
\$200,000+	5	43	30	3	5	86
Total	196	243	88	28	20	575
Renter Households						
Aged 62+ Years						
Year 2019 Estimates						
	1-Person	2-Person	3-Person	4-Person	5+-Person	
	Household	Household	Household	Household	Household	Total
\$0-10,000	44	18	5	6	8	81
\$10,000-20,000	246	6	9	10	6	277
\$20,000-30,000	125	11	4	13	3	156
\$30,000-40,000	65	72	4	7	11	159
\$40,000-50,000	108	45	9	25	6	193
\$50,000-60,000	23	35	8	14	8	88
\$60,000-75,000	69	29	6	15	6	125
\$75,000-100,000	34	26	11	11	8	90
\$100,000-125,000	43	44	5	6	8	106
\$125,000-150,000	25	7	21	37	8	98
\$150,000-200,000	60	31	12	8	9	120
\$200,000+	39	12	7	13	6	77
Total	881	336	101	165	87	1,570



HISTA 2.2 Summary Data		Market Area				
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Owner Households						
Age 15 to 54 Years						
Year 2019 Estimates						
	1-Person Household	2-Person Household	3-Person Household	4-Person Household	5+-Person Household	Total
\$0-10,000	16	3	12	10	6	47
\$10,000-20,000	27	9	24	28	6	94
\$20,000-30,000	17	125	41	58	45	286
\$30,000-40,000	92	24	102	29	58	305
\$40,000-50,000	34	56	78	72	26	266
\$50,000-60,000	39	103	21	35	45	243
\$60,000-75,000	46	143	144	106	82	521
\$75,000-100,000	136	251	220	409	248	1,264
\$100,000-125,000	178	141	307	372	360	1,358
\$125,000-150,000	74	215	493	575	336	1,693
\$150,000-200,000	62	302	587	743	604	2,298
\$200,000+	176	573	725	1,247	678	3,399
Total	897	1,945	2,754	3,684	2,494	11,774
Owner Households						
Aged 55 to 61 Years						
Year 2019 Estimates						
	1-Person Household	2-Person Household	3-Person Household	4-Person Household	5+-Person Household	Total
\$0-10,000	20	14	10	7	2	53
\$10,000-20,000	25	41	21	22	5	114
\$20,000-30,000	42	49	17	14	11	133
\$30,000-40,000	42	77	20	15	5	159
\$40,000-50,000	45	42	26	14	4	131
\$50,000-60,000	72	83	17	58	2	232
\$60,000-75,000	116	82	120	28	13	359
\$75,000-100,000	83	319	77	39	16	534
\$100,000-125,000	96	194	187	73	3	553
\$125,000-150,000	41	158	177	95	30	501
\$150,000-200,000	89	374	193	292	75	1,023
\$200,000+	55	420	245	450	203	1,373
Total	726	1,853	1,110	1,107	369	5,165
Owner Households						
Aged 62+ Years						
Year 2019 Estimates						
	1-Person Household	2-Person Household	3-Person Household	4-Person Household	5+-Person Household	Total
\$0-10,000	131	103	11	6	5	256
\$10,000-20,000	443	119	18	12	13	605
\$20,000-30,000	447	294	43	37	9	830
\$30,000-40,000	406	464	52	23	17	962
\$40,000-50,000	408	411	53	29	12	913
\$50,000-60,000	378	445	35	12	12	882
\$60,000-75,000	307	587	72	13	22	1,001
\$75,000-100,000	374	775	180	46	59	1,434
\$100,000-125,000	243	607	263	81	37	1,231
\$125,000-150,000	107	380	102	23	25	637
\$150,000-200,000	125	717	271	49	160	1,322
\$200,000+	154	729	364	133	143	1,523
Total	3,523	5,631	1,464	464	514	11,596

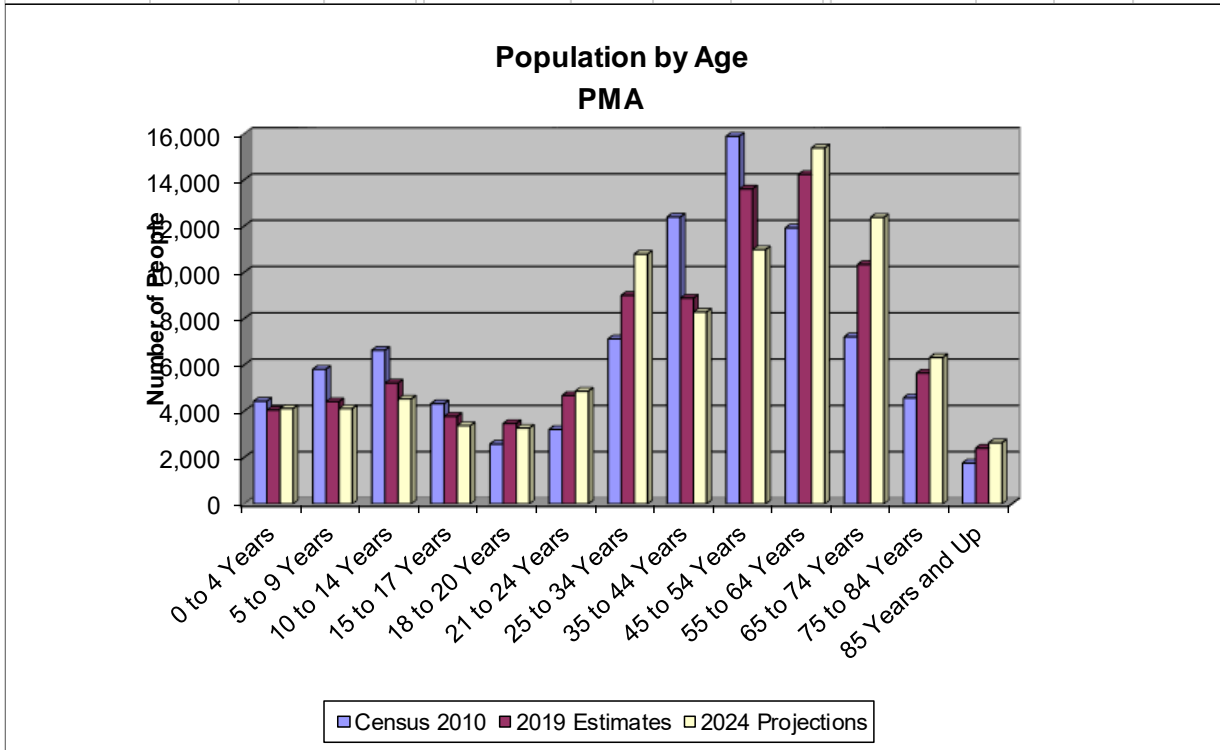


Population by Age & Sex
PMA

Census 2010				Current Year Estimates - 2019				Five Year Projections - 2024			
Age	Male	Female	Total	Age	Male	Female	Total	Age	Male	Female	Total
0 to 4 Years	2,322	2,116	4,438	0 to 4 Years	2,068	1,987	4,055	0 to 4 Years	2,106	2,018	4,124
5 to 9 Years	2,990	2,826	5,816	5 to 9 Years	2,279	2,138	4,417	5 to 9 Years	2,100	2,018	4,118
10 to 14 Years	3,357	3,282	6,639	10 to 14 Years	2,728	2,495	5,223	10 to 14 Years	2,353	2,179	4,532
15 to 17 Years	2,297	2,031	4,328	15 to 17 Years	1,968	1,818	3,786	15 to 17 Years	1,783	1,598	3,381
18 to 20 Years	1,440	1,143	2,583	18 to 20 Years	1,812	1,660	3,472	18 to 20 Years	1,734	1,540	3,274
21 to 24 Years	1,717	1,498	3,215	21 to 24 Years	2,362	2,320	4,682	21 to 24 Years	2,500	2,371	4,871
25 to 34 Years	3,547	3,584	7,131	25 to 34 Years	4,632	4,377	9,009	25 to 34 Years	5,454	5,339	10,793
35 to 44 Years	5,926	6,471	12,397	35 to 44 Years	4,358	4,532	8,890	35 to 44 Years	4,179	4,112	8,291
45 to 54 Years	7,783	8,105	15,888	45 to 54 Years	6,608	7,001	13,609	45 to 54 Years	5,340	5,646	10,986
55 to 64 Years	5,822	6,104	11,926	55 to 64 Years	6,959	7,274	14,233	55 to 64 Years	7,492	7,888	15,380
65 to 74 Years	3,304	3,919	7,223	65 to 74 Years	4,776	5,566	10,342	65 to 74 Years	5,691	6,687	12,378
75 to 84 Years	1,982	2,599	4,581	75 to 84 Years	2,442	3,210	5,652	75 to 84 Years	2,723	3,604	6,327
85 Years and Up	605	1,160	1,765	85 Years and Up	895	1,512	2,407	85 Years and Up	995	1,647	2,642
Total	43,092	44,838	87,930	Total	43,887	45,890	89,777	Total	44,450	46,647	91,097
62+ Years	n/a	n/a	16,796	62+ Years	n/a	n/a	22,164	62+ Years	n/a	n/a	25,575
Median Age:		42.9		Median Age:		46.0		Median Age:		47.0	

Source: Claritas; Ribbon Demographics

Ribbon Demographics, LLC
www.ribbondata.com
 Tel: 916-880-1644



Source: Claritas; Ribbon Demographics



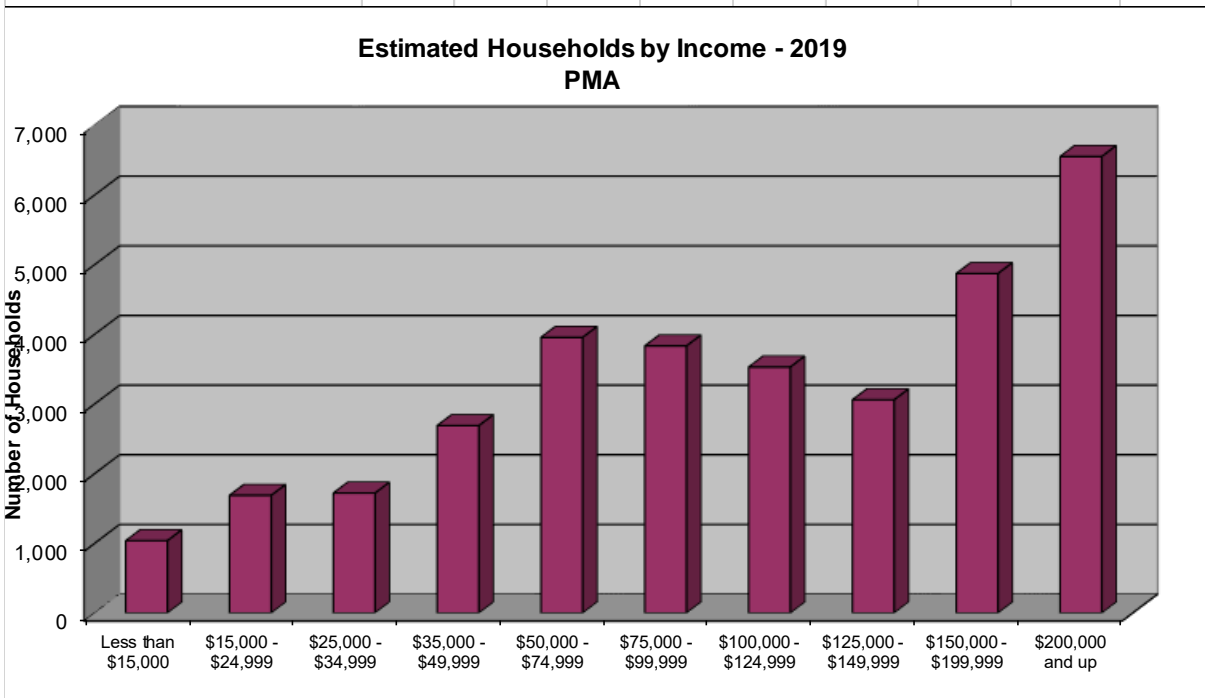
HOUSEHOLD DATA

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Households by Income and Age PMA										
Current Year Estimates - 2019										
Income	Age	Age	Age	Age	Age	Age	Age	Age	Total	Percent
	15 - 24 Years	25 - 34 Years	35 - 44 Years	45 - 54 Years	55 - 64 Years	65 - 74 Years	75 - 84 Years	85+ Years		
Less than \$15,000	15	49	52	118	208	234	217	144	1,037	3.1%
\$15,000 - \$24,999	83	115	103	153	244	351	386	252	1,687	5.1%
\$25,000 - \$34,999	92	95	117	185	319	371	353	189	1,721	5.2%
\$35,000 - \$49,999	42	183	192	303	404	694	623	247	2,688	8.2%
\$50,000 - \$74,999	25	212	235	708	961	910	653	250	3,954	12.0%
\$75,000 - \$99,999	86	435	542	664	798	751	401	155	3,832	11.6%
\$100,000 - \$124,999	0	363	499	744	785	745	274	119	3,529	10.7%
\$125,000 - \$149,999	2	392	607	744	772	364	122	56	3,059	9.3%
\$150,000 - \$199,999	3	332	624	1,417	1,386	765	301	43	4,871	14.8%
\$200,000 and up	3	405	1,140	1,943	1,923	835	207	94	6,550	19.9%
Total	351	2,581	4,111	6,979	7,800	6,020	3,537	1,549	32,928	100.0%
Percent	1.1%	7.8%	12.5%	21.2%	23.7%	18.3%	10.7%	4.7%	100.0%	

Source: Claritas; Ribbon Demographics



Source: Claritas; Ribbon Demographics



HOUSEHOLD DATA			
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Median Household Income by Area			
PMA Mahopac, NY			
Geography ID	Census 2000	2019 Estimate	2024 Projection
36079010300	\$68,804	\$88,101	\$94,032
36079010400	\$75,951	\$95,526	\$101,286
36079010500	\$78,275	\$116,080	\$128,067
36079010900	\$69,672	\$120,996	\$133,785
36079011000	\$84,533	\$118,555	\$127,464
36079011100	\$78,114	\$129,301	\$140,625
36079011200	\$75,787	\$112,542	\$122,612
36079011300	\$80,918	\$106,618	\$116,610
36079011400	\$72,046	\$120,128	\$131,174
36079011500	\$71,321	\$97,036	\$105,682
36079011600	\$87,422	\$108,963	\$119,205
36119014806	\$92,040	\$124,575	\$133,430
36119014810	\$65,625	\$52,830	\$57,410
36119014811	\$75,129	\$138,558	\$151,073
36119014903	\$74,671	\$94,462	\$98,986
36119014907	\$86,591	\$122,696	\$129,500
36119014908	\$116,023	\$147,778	\$158,424
36119014909	\$70,805	\$111,752	\$118,804
Median:	\$77,422	\$110,945	\$119,394



Supply/ Competitive Projects

Analysis of Supply

The charts below indicate the affordable and market rate projects in each sample with the primary comparable projects in **bold**. The maps on the following pages show the primary comparable projects only given the volume of projects in the sample.

Affordable

Map Label	Name
S	Route 6 and Baldwin Road
1	Hillcrest Phases I and II
2	Gleneida Senior Apartments
3	The Mews at Baldwin Place
4	The Mews @ Baldwin Place II
5	Crossroads at Baldwin Place
6	Stonecrest Senior Apartments
7	Hughson Commons
8	Brewster Senior Housing
9	Mayor Mitchell Court

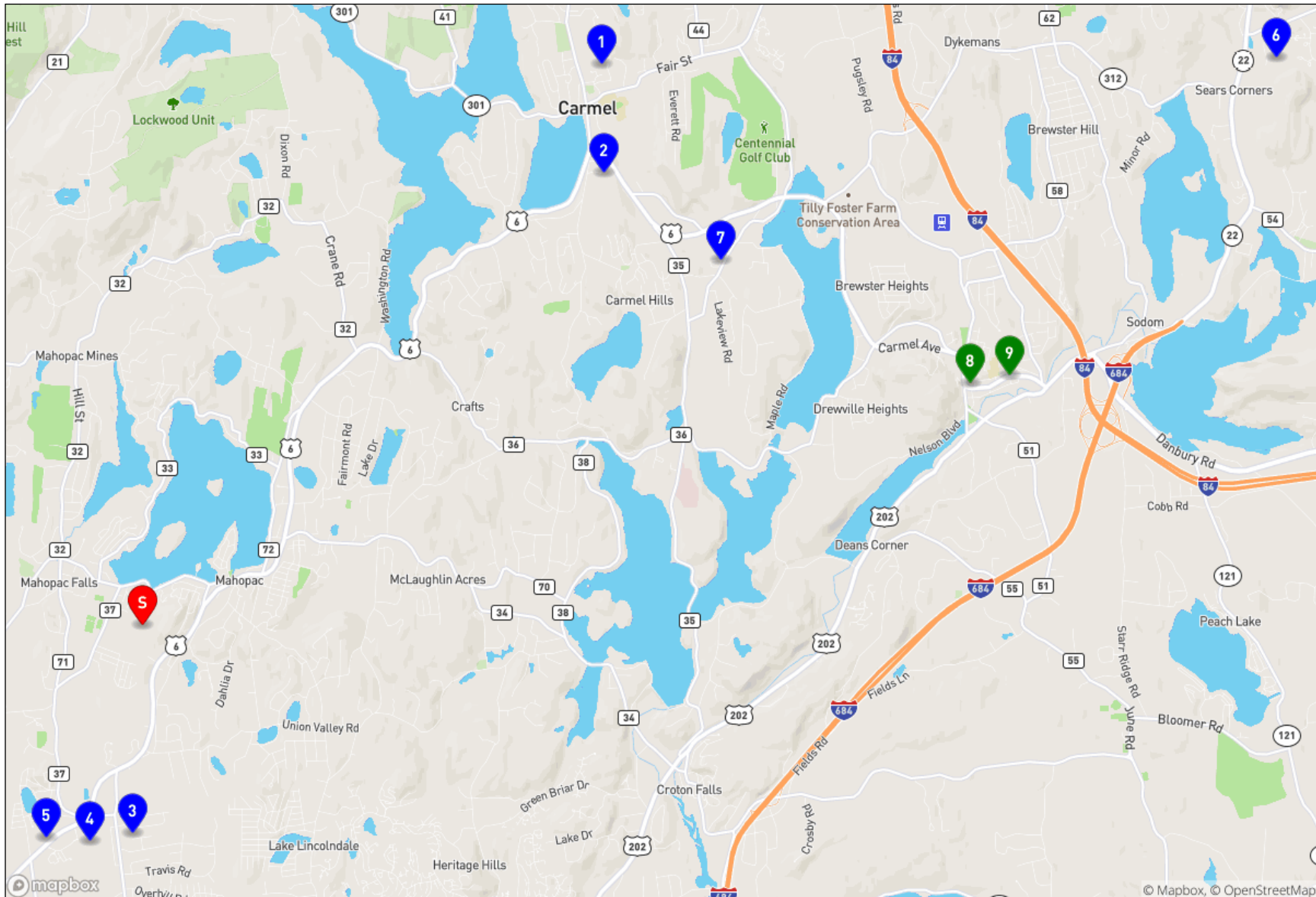
Market

Map Label	Name
S	Route 6 and Baldwin Road
1	104 Main Street
2	Woodcrest Garden Apartments
3	Middle Branch Garden Apartment
4	Avalon Somers
5	14 Church Street
6	Putnam Apartments
7	34 Putnam Avenue
8	790 Route 312
9	6 Church Street

The location map for each project type is followed by details of these comparable properties.



Affordable Competitor Map



Route 6 and Baldwin
Mahopac, Putnam County, NY



AFFORDABLE APARTMENT RENTAL No. 1

Property Name: Hillcrest Commons at Carmel
Street Address: 3101 Heights Lane
City, State: Carmel, NY
Date of Survey: 1/2020
Type of Project: Senior Tax Credit
No. of Units: 74
Year Built: 2012
Occupancy Rate: 100%
Rent Concessions: No
Cond. Rating: A+
Waiting List:
 75 +/-



Rental Data

<u>Unit Type</u>	<u>Baths</u>	<u>AMI</u>	<u>No. of Units</u>	<u>Sq. Ft.</u>	<u>Current Rent</u>	<u>Rent/Sq. Ft.</u>
1 Bedroom, 60% AMI	1	60%	59	795	\$933	\$1.17
2 Bedroom, 60% AMI	1	60%	15	1024	\$1091	\$1.07

Amenities: Units have standard kitchen appliances (stoves & refrigerators), dishwashers, microwaves, central A/C, crown molding, hardwood flooring, carpeting, walk-in closets, granite countertops in kitchens, gas fireplaces, prewired security systems, and patios/balconies. Project offers a clubhouse, a fitness center with a yoga room, a common area room, a library, a TV room, elevator service, on-site coin laundry, additional storage areas, and free surface parking to tenants.

Utilities: **Heat:** Tenant Pays **Electric:** Tenant Pays

Comments: New Senior Tax Credit project that caters to seniors 55+ years of age.

As of 1/2020-the property manager indicated that this project was fully occupied with a waiting list of over 200 applicants. Units are all rented at the 60% AMI level. Utility Allowances: 1 BDM = \$134; 2 BDM = \$163.

Apartment Features

- Separate Entrance(s)
- Balcony/Patio
- Carpets
- Drapes/Blinds
- Storage
- Coin Laundry Facility
- Washer/Dryer Hookups
- Washer/Dryer Units

- Amt:
- Cable Included in Rent
- Internet Service Included

Utilities

- Heat Included
- Cook Included
- Electricity Included
- Hot Water Included
- Cold Water Included
- Sewer

Equipment

- AC Type: central
- Stove
- Refrigerator
- Disposal
- Dishwasher
- Microwave

Other Features

- Elevator Pool Tennis
- Rec. Area - Type: See Amenities
- Fireplace Community Room
- Alarm System Gated entrance:

Security Features:

Prewired Security Systems

Parking Features

Surface: Yes **Enough for:** All
Extra Cost: No
Garage: No
Covered: No

Verification: Property Mgr - Tonya Anthony

Contact Phone: (845) 256-8630

Verified On: 01/14/2020

Web Site: <http://wbhomes.com/our-communities/55-communities-for-rent/hillcrest-commons-at-carmel/>

AFFORDABLE APARTMENT RENTAL No. 1a

Property Name: Hillcrest Commons Apts - Phase II
Street Address: 3101 Heights Lane
City, State: Carmel, NY
Date of Survey: 1/2020
Type of Project: Senior Tax Credit
No. of Units: 75
Year Built: 2020
Occupancy Rate: N/A
Rent Concessions: No
Cond. Rating: A+
Waiting List:
 N/A



Rental Data

Unit Type	Baths	AMI	No. of Units	Sq. Ft.	Current Rent	Rent/Sq. Ft.
1 Bedroom, 60% AMI	1	60%	52	743	\$1074	\$1.45
2 Bedroom, 60% AMI	1	60%	9	967	\$1282	\$1.33
1 Bedroom, 90% AMI	1	90%	4	743	\$1258	\$1.69
2 Bedroom, 90% AMI	1	90%	8	967	\$1504	\$1.56

Amenities: Units will have standard kitchen appliances (stainless steel stoves & refrigerators), dishwashers, microwaves, central A/C, hardwood flooring, carpeting, gas fireplaces, crown molding, granite countertops in kitchens, walk-in closets, prewired security systems, and patios/balconies. Project will offer a clubhouse, a fitness center with a yoga room, a common area room, a library, a TV room, free surface parking, and additional storage areas to tenants. Phase II will share amenities with Phase I of this project.

Utilities: **Heat:** Landlord Pays **Electric:** Tenant Pays

Comments: Proposed two-story Senior Tax Credit project that will cater to seniors 55+ years of age and awarded funding in 2017/2018 and under development as of 11/1/2018. Photo is of Phase I building which will be consistent.

As of 1/2020-management stated that this complex has recently opened for occupancy and that they do not have current number for the complex. Applicants are just now being contacted and placed in the program.

Apartment Features

- Separate Entrance(s)
- Balcony/Patio
- Carpets
- Drapes/Blinds
- Storage
- Coin Laundry Facility
- Washer/Dryer Hookups
- Washer/Dryer Units

- Amt:
- Cable Included in Rent
- Internet Service Included

Utilities

- Heat Included
- Cook Included
- Electricity Included
- Hot Water Included
- Cold Water Included
- Sewer

Equipment

- AC Type: central
- Stove
- Refrigerator
- Disposal
- Dishwasher
- Microwave

Other Features

- Elevator Pool Tennis
 - Rec. Area - Type: See Amenities
 - Fireplace Community Room
 - Alarm System Gated entrance: No
- Security Features:**
Prewired Security Systems

Parking Features

- Surface:** Yes **Enough for:** All
- Extra Cost:** No
- Garage:** No
- Covered:** No

Verification: Wilder Balter - Tonya

Contact Phone: (845) 256-8630

Verified On: 01/14/2020

Web Site: <http://wbhomes.com/our-communities/55-communities-for-rent/hillcrest-commons-at-carmel/>

AFFORDABLE APARTMENT RENTAL No. 2

Property Name: Gleneida Senior Apartments
Street Address: 20 Gleneida Court
City, State: Carmel, NY
Date of Survey: 1/2020
Type of Project: Senior Tax Credit
No. of Units: 24
Year Built: 1999
Occupancy Rate: 100%
Rent Concessions: No
Cond. Rating: B
Waiting List:
 127 Applicants



Rental Data

<u>Unit Type</u>	<u>Baths</u>	<u>AMI</u>	<u>No. of Units</u>	<u>Sq. Ft.</u>	<u>Current Rent</u>	<u>Rent/Sq. Ft.</u>
1 Bedroom	1	50%	24	650	\$736	\$1.13
2 Bedroom	1	50%	1	N/A	\$870	N/A

Amenities: Units have standard kitchen appliances (stoves & refrigerators), carpeting, blinds, and additional storage areas. Project offers elevator service, a game room, a computer room, an outdoor patio, raised garden beds, a community room, on-site coin laundry, and free off-street surface parking to tenants.

Utilities: **Heat:** Landlord Pays **Electric:** Tenant Pays

Comments: Two-story Senior Tax Credit project with age restrictions of 60 years or older that opened in February of 1999.

As of 1/2020-the leasing agent indicated that this project was fully occupied with a waiting list of 127 applicants. Waiting lists have been purged. Rent listed reflects the 50% AMI Tax Credit rent. Utility Allowance: 1 BDM = \$58

Apartment Features

- Separate Entrance(s)
- Balcony/Patio
- Carpets
- Drapes/Blinds
- Storage
- Coin Laundry Facility
- Washer/Dryer Hookups
- Washer/Dryer Units

Amt:

- Cable Included in Rent
- Internet Service Included

Utilities

- Heat Included Gas
- Cook Included
- Electricity Included
- Hot Water Included Gas
- Cold Water Included
- Sewer

Equipment

- AC Type:
- Stove
- Refrigerator
- Disposal
- Dishwasher
- Microwave

Other Features

- Elevator Pool Tennis
- Rec. Area - Type: See Amenities
- Fireplace Community Room
- Alarm System Gated entrance: No

Security Features:

Parking Features

- Surface:** Yes **Enough for:** All
- Extra Cost:** No
- Garage:** No
- Covered:** No

Verification: Putnam Housing - P. Albano

Contact Phone: (845) 225-8493

Verified On: 01/14/2020

Web Site: <http://putnamhousing.com/seniorh.html/>

AFFORDABLE APARTMENT RENTAL No. 3

Property Name: The Mews at Baldwin Place
Street Address: 24 Clayton Blvd
City, State: Somers, NY
Date of Survey: 11/2018
Type of Project: Senior Tax Credit
No. of Units: 72
Year Built: 2011
Occupancy Rate: 100%
Rent Concessions: No
Cond. Rating: A-
Waiting List:
 57 Applicants



Rental Data

<u>Unit Type</u>	<u>Baths</u>	<u>AMI</u>	<u>No. of Units</u>	<u>Sq. Ft.</u>	<u>Current Rent</u>	<u>Rent/Sq. Ft.</u>
1 Bedroom	1	30%	12	745	\$509	\$0.68
1 Bedroom	1	50%	38	745	\$904	\$1.21
1 Bedroom	1	60%	22	745	\$969	\$1.30

Amenities: Units have stove, refrigerator, carpeting, central air, in unit hot water tanks, balconies and blinds. Off-street parking, on-site laundry and community room.

Utilities: **Heat:** Tenant Pays **Electric:** Tenant Pays

Comments: Newer senior tax credit project. Marketing for the project began in June 2011 and they received 300+ applicants for the lottery. The CO was issued on September 15th and the building was filled within a week. Absorption averaged 18 units per month from initial marketing until all units were occupied.

As of 11/2018-management stated that this complex is currently fully occupied with 57 applicants on the wait list. There are currently four (6%) Section 8 voucher holders. Utility Allowance = \$120.

Apartment Features

- Separate Entrance(s)
- Balcony/Patio
- Carpets
- Drapes/Blinds
- Storage
- Coin Laundry Facility
- Washer/Dryer Hookups
- Washer/Dryer Units

- Amt:
- Cable Included in Rent
- Internet Service Included

Utilities

- Heat Included
- Cook Included
- Electricity Included
- Hot Water Included
- Cold Water Included
- Sewer

Equipment

- AC Type: central
- Stove
- Refrigerator
- Disposal
- Dishwasher
- Microwave

Other Features

- Elevator Pool Tennis
- Rec. Area - Type:
- Fireplace Community Room
- Alarm System Gated entrance: No

Security Features:

Parking Features

- Surface:** Yes **Enough for:** All
- Extra Cost:** No
- Garage:** No
- Covered:** No

Verification: Kearney Realty - Azita

Contact Phone: (845) 306-7705

Verified On: 11/08/2018

Web Site: http://

AFFORDABLE APARTMENT RENTAL No. 4

Property Name: The Mews @ Baldwin Place II
Street Address: 34 Clayton Blvd
City, State: Somers, NY
Date of Survey: 11/2018
Type of Project: Senior Tax Credit
No. of Units: 75
Year Built: 2015
Occupancy Rate: 99%
Rent Concessions: No
Cond. Rating: A
Waiting List:
 121 Applicants.



Rental Data

<u>Unit Type</u>	<u>Baths</u>	<u>AMI</u>	<u>No. of Units</u>	<u>Sq. Ft.</u>	<u>Current Rent</u>	<u>Rent/Sq. Ft.</u>
1 Bedroom	1	50%	12	713	\$891	\$1.25
1 Bedroom	1	60%	49	713	\$1047	\$1.47
2 Bedroom	1	50%	3	951	\$1094	\$1.15
2 Bedroom	1	60%	11	951	\$1291	\$1.36

Amenities: Units have stove, refrigerator, central A/C, carpeting and patio/balcony. On-site laundry, off-street surface parking (120 spaces), community room, television room.

Utilities: **Heat:** Tenant Pays **Electric:** Tenant Pays

Comments: This is a senior specific tax credit project funded by HFA. Marketing began in September/2014, the project opened the last week of January 2015 and was fully leased by the end of June 2015. This averages out to a lease-up of 7 to 8 units per month from initial marketing.

As of 11/2018-management stated that this complex is currently 99% occupied with a wait list of 121 applicants. There are eight (10%) Section 8 voucher holders. Utility Allowance: 1BR = \$120 2BR = \$144.

Apartment Features

- Separate Entrance(s)
- Balcony/Patio
- Carpets
- Drapes/Blinds
- Storage
- Coin Laundry Facility
- Washer/Dryer Hookups
- Washer/Dryer Units
- Amt:
- Cable Included in Rent
- Internet Service Included

Utilities

- Heat Included
- Cook Included
- Electricity Included
- Hot Water Included
- Cold Water Included
- Sewer

Equipment

- AC Type: central
- Stove
- Refrigerator
- Disposal
- Dishwasher
- Microwave

Other Features

- Elevator Pool Tennis
- Rec. Area - Type: TV Room & Sitting Areas
- Fireplace Community Room
- Alarm System Gated entrance: No

Security Features:

Parking Features

- Surface:** Yes **Enough for:** All
- Extra Cost:** No
- Garage:** No
- Covered:** No

Verification: Kearney Development - Azita

Contact Phone: (845) 306-7705

Verified On: 11/08/2018

Web Site:

AFFORDABLE APARTMENT RENTAL No. 5

Property Name: Crossroads at Baldwin Place
Street Address: 57 Route 6
City, State: Somers, NY
Date of Survey: 10/2017
Type of Project: Mixed Income
No. of Units: 64
Year Built: 2017/2018
Occupancy Rate: N/A
Rent Concessions: No
Cond. Rating: A
Waiting List:



Rental Data

Unit Type	Baths	AMI	No. of Units	Sq. Ft.	Current Rent	Rent/Sq. Ft.
1 Bedroom, Senior LIHTC	1	50%	10	669	\$882	\$1.32
1 Bedroom, Senior LIHTC	1	60%	38	669	\$1079	\$1.61
2 Bedroom, Senior LIHTC	1	50%	2	1110	\$1048	\$0.94
2 Bedroom, Senior/Family LIHTC	1	60%	8	1110	\$1279	\$1.15
2 Bedroom, 90%-130% AMI	1		6	1110	\$1995	\$1.80

Amenities: Units have stove, refrigerator, central A/C, carpeting and patio/balcony. On-site laundry, off-street surface parking, community room and television room.

Utilities: **Heat:** Tenant Pays **Electric:** Tenant Pays

Comments: This is a senior tax credit project funded by HFA and is an age restricted development at 55 and above for 52 of the 64 units. 6 of the 64 units will be at 90% AMI or market rate. Project is due to be completed in May 2018. Utility Allowance: 1BR = \$120 2BR = \$144.

*Photograph above is of a similar development built by the same developer

Apartment Features

- Separate Entrance(s)
- Balcony/Patio
- Carpets
- Drapes/Blinds
- Storage
- Coin Laundry Facility
- Washer/Dryer Hookups
- Washer/Dryer Units
- Amt:
- Cable Included in Rent
- Internet Service Included

Utilities

- Heat Included
- Cook Included
- Electricity Included
- Hot Water Included
- Cold Water Included
- Sewer

Equipment

- AC Type: central
- Stove
- Refrigerator
- Disposal
- Dishwasher
- Microwave

Other Features

- Elevator Pool Tennis
- Rec. Area - Type: TV Room & Sitting Areas
- Fireplace Community Room
- Alarm System Gated entrance:

Security Features:

Parking Features

- Surface:** Yes **Enough for:** All
- Extra Cost:** No
- Garage:**
- Covered:**

Verification: Kearney Development - Azita

Contact Phone: (845) 306-7705

Verified On: 10/26/2017

Web Site:

AFFORDABLE APARTMENT RENTAL No. 6

Property Name: Stonecrest Senior Apartments
Street Address: 3101 Stonecrest Drive
City, State: Southeast, NY
Date of Survey: 1/2020
Type of Project: Senior Tax Credit
No. of Units: 136
Year Built: 2005
Occupancy Rate: 100%
Rent Concessions: No
Cond. Rating: B+
Waiting List:
 1BR = 260 2BR = 39



Rental Data

Unit Type	Baths	AMI	No. of Units	Sq. Ft.	Current Rent	Rent/Sq. Ft.
1 Bedroom, 60% AMI	1	60%	112	775	\$972	\$1.25
2 Bedroom, 60% AMI	1	60%	24	1078	\$1156	\$1.07

Amenities: Units have standard kitchen appliances (stoves & refrigerators), dishwashers, central A/C, balconies/patios, carpeting, blinds. Project offers free off-street parking, on-site coin laundry, elevator service, a community room, a fitness center, and a library with Internet access.

Utilities: **Heat:** Tenant Pays **Electric:** Tenant Pays

Comments: Senior Tax Credit project consisting of four (4) two-story elevator buildings. Rent levels are set at 60% AMI. Rents fall slightly below the 60% maximum level on the two-bedroom units due to the fact they were originally set below the maximum, and every year they have to apply to HCR for a rent increase - this is the current amount. Approximately 15% of the tenants move from homes and about 63% of the tenants come from the PMA. The rest of the tenants are from lower Westchester Co.(14.9%), New York City (12.8%) and other states (6.4%).

As of 1/2020-the complex is fully occupied with no available units. Management has a waiting list of 261 applicants for the one bedroom units, and 42 for the two bedroom units. There are 37 section 8 voucher holders. The rents listed above were quoted by management at the time of this survey. Utility allowances are as follows: 1BR: \$134 2BR: \$163.

Apartment Features

- Separate Entrance(s)
- Balcony/Patio
- Carpets
- Drapes/Blinds
- Storage
- Coin Laundry Facility
- Washer/Dryer Hookups
- Washer/Dryer Units
- Amt:
- Cable Included in Rent
- Internet Service Included

Utilities

- Heat Included Gas
- Cook Included
- Electricity Included
- Hot Water Included Gas
- Cold Water Included
- Sewer

Equipment

- AC Type: central
- Stove
- Refrigerator
- Disposal
- Dishwasher
- Microwave

Other Features

- Elevator Pool Tennis
- Rec. Area - Type: Various See Amenities
- Fireplace Community Room
- Alarm System Gated entrance:
- Security Features:**
Emergency Pull Cords

Parking Features

- Surface:** Yes **Enough for:** All
- Extra Cost:** No
- Garage:** No
- Covered:** No

Verification: Wilder Balter - Tonya

Contact Phone: (845) 278-1909

Verified On: 01/14/2020

Web Site: <http://www.wbhomes.com/stonecrest.html>

AFFORDABLE APARTMENT RENTAL No. 7

Property Name: Hughson Commons
Street Address: 4100 Gables Way
City, State: Carmel, NY
Date of Survey: 1/2020
Type of Project: Senior Tax Credit
No. of Units: 94
Year Built: 2002
Occupancy Rate: 100%
Rent Concessions: No
Cond. Rating: B+
Waiting List:
 1BR = 350 +/- 2BR = 50+/-



Rental Data

Unit Type	Baths	AMI	No. of Units	Sq. Ft.	Current Rent	Rent/Sq. Ft.
1 Bedroom, 755-858 sq.ft.; 50% AMI	1	50%	49	807	\$873	\$1.08
2 Bedroom, 50% AMI	1	50%	8	1002	\$1075	\$1.07
1 Bedroom, 755-858 sq.ft.; 60% AMI	1	60%	29	807	\$1075	\$1.33
2 Bedroom, 60% AMI	1	60%	8	1002	\$1286	\$1.28

Amenities: Units have standard kitchen appliances (stoves & refrigerators), dishwashers, disposals, central A/C, wall-to-wall carpeting, ash cabinetry in kitchens, ceramic tiling in baths/kitchens/entryways, Emergency Call Systems, and balconies/patios. Project offers elevator service, on-site coin laundry, a community room with a great room/kitchen, a library with free Wi-Fi, and walking trails. Off-street surface parking is free for tenants.

Utilities: **Heat:** Tenant Pays **Electric:** Tenant Pays

Comments: Three-story Senior Tax Credit project with rent levels set at 50% or 60% AMI maximum levels.

As of 1/2020-this project was fully occupied with a waiting list. At this time, there were thirty-seven (37) Section 8 voucher holders (39%). Around 15% of tenants have moved from homes and about 58% of tenants come from the PMA; the remaining tenants are from lower Westchester Co., New York City, and other states. Utility Allowances: 1 BDM = \$134; 2 BDM = \$163.

Apartment Features

- Separate Entrance(s)
- Balcony/Patio
- Carpets
- Drapes/Blinds
- Storage
- Coin Laundry Facility
- Washer/Dryer Hookups
- Washer/Dryer Units

- Amt:
- Cable Included in Rent
- Internet Service Included

Utilities

- Heat Included Gas
- Cook Included
- Electricity Included
- Hot Water Included
- Cold Water Included
- Sewer

Equipment

- AC Type: central
- Stove
- Refrigerator
- Disposal
- Dishwasher
- Microwave

Other Features

- Elevator Pool Tennis
- Rec. Area - Type: See Amenities
- Fireplace Community Room
- Alarm System Gated entrance:
- Security Features:**
Emergency Call System

Parking Features

- Surface:** Yes **Enough for:** All
- Extra Cost:** No
- Garage:** No
- Covered:** No

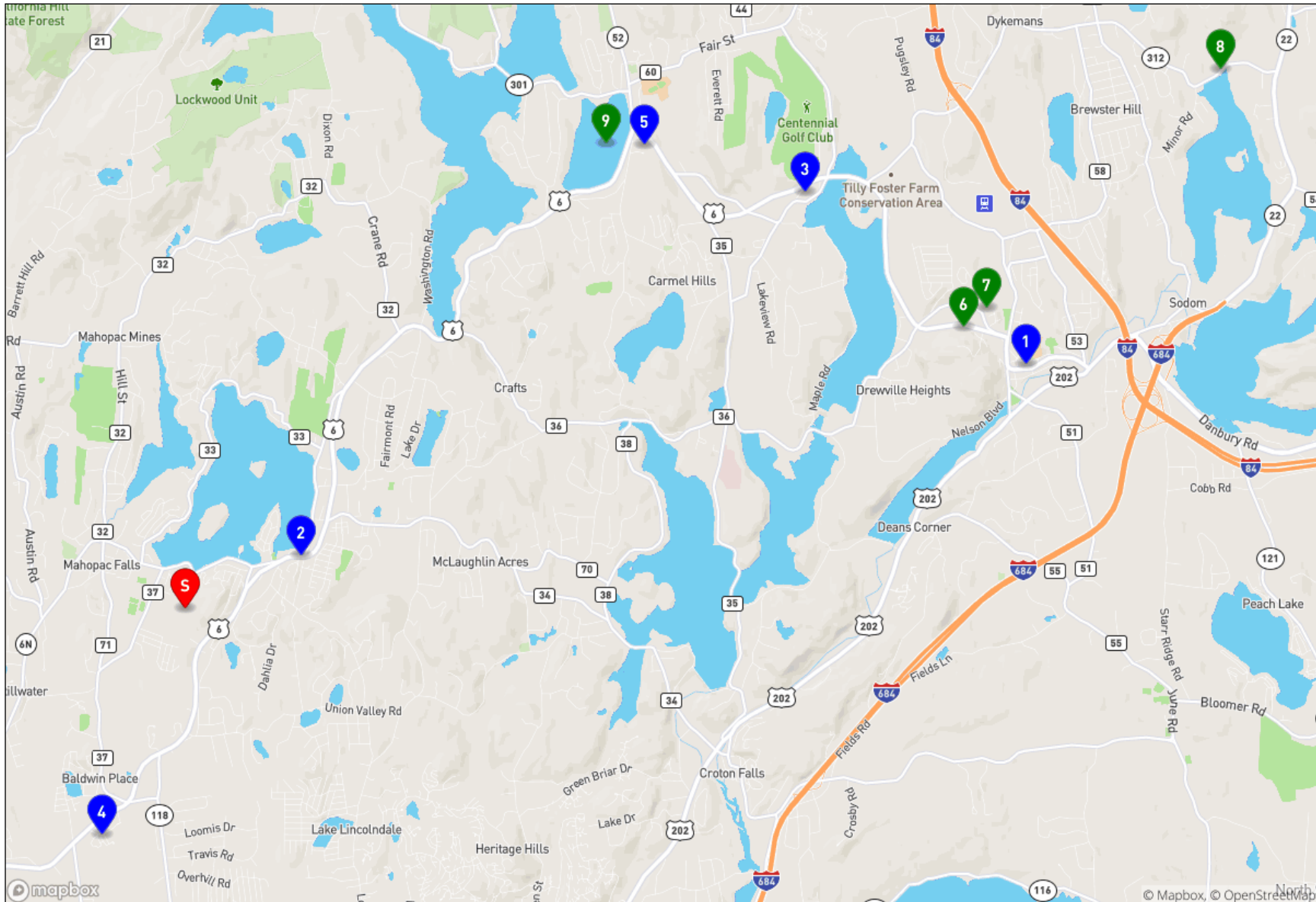
Verification: Wilder Balter - Tonya Anthony

Contact Phone: (845) 228-9200

Verified On: 01/14/2020

Web Site: <http://www.wbhomes.com/hughsoncommons.html>

Market Rate Competitor Map



Route 6 and Baldwin
Mahopac, Putnam County, NY



MARKET RATE APARTMENT RENTAL No. 1

Property Name: 104 Main Street
Street Address: 104 Main Street
City, State: Brewster, NY
Date of Survey: 1/2020
Type of Project: Market Rate
No. of Units: 29
Year Built: 1957
Occupancy Rate: 100%
Rent Concessions: No
Cond. Rating: B



Rental Data

<u>Unit Type</u>	<u>Baths</u>	<u>No. of Units</u>	<u>Sq. Ft.</u>	<u>Current Rent</u>	<u>Rent/Sq. Ft.</u>
1 Bedroom	1	10	713	\$1400	\$1.96
2 Bedroom	1	9	976	\$1550	\$1.59
Studio	1	10	560	\$1000 - \$1100	\$1.79 - \$1.96

Amenities: Units have stove, refrigerator, hardwood floors and wall a/c units. Parking is surface lot in rear with enough spaces.

Utilities: **Heat:** Landlord Pays **Electric:** Tenant Pays

Comments: As of 1/2020-management stated that this project is 100% occupied with no waiting list. The rental ranges are due to location and how long tenant has been there. This property does accept section 8 vouchers. Rent includes heat, water (hot/cold), sewer and trash removal.

Apartment Features

- Separate Entrance(s)
- Balcony/Patio
- Carpets
- Drapes/Blinds
- Storage
- Coin Laundry Facility
- Washer/Dryer Hookups
- Washer/Dryer Units

- Amt:
- Cable Included in Rent
- Internet Service Included

Utilities

- Heat Included
- Cook Included
- Electricity Included
- Hot Water Included
- Cold Water Included
- Sewer

Equipment

- AC Type: unit
- Stove
- Refrigerator
- Disposal
- Dishwasher
- Microwave

Other Features

- Elevator Pool Tennis
- Rec. Area - Type:
- Fireplace Community Room
- Alarm System Gated entrance:

Security Features:

Parking Features

- Surface:** No
- Garage:** No
- Covered:** No

Verification: Liza

Contact Phone: (845) 279-8214

Verified On: 01/10/2020

Web Site: <http://www.putnamdutchessrentals.com/>

MARKET RATE APARTMENT RENTAL No. 2

Property Name: Woodcrest Garden Apartments
Street Address: 675 Route 6
City, State: Mahopac, NY
Date of Survey: 1/2020
Type of Project: Market Rate
No. of Units: 71
Year Built: Late 1960's
Occupancy Rate: 100%
Rent Concessions: No
Cond. Rating: B



Rental Data

<u>Unit Type</u>	<u>Baths</u>	<u>No. of Units</u>	<u>Sq. Ft.</u>	<u>Current Rent</u>	<u>Rent/Sq. Ft.</u>
1 Bedroom	1	N/A	750	\$1400	\$1.87
2 Bedroom	2	N/A	1050	\$1750	\$1.67
Studio	1	N/A	600	\$1000	\$1.67

Amenities: Units have a stove, refrigerator, carpeting, drapes, wall a/c, storage and balcony. There is ample surface parking and a playground.

The older buildings have electric heat and the newer ones have gas.

Utilities: **Heat:** Tenant Pays **Electric:** Tenant Pays

Comments: As of 1/2020-management stated that this complex is currently fully occupied and that they do not maintain a wait list. Rent includes water, sewer and trash removal.

Apartment Features

- Separate Entrance(s)
- Balcony/Patio
- Carpets
- Drapes/Blinds
- Storage
- Coin Laundry Facility
- Washer/Dryer Hookups
- Washer/Dryer Units

Amt:

- Cable Included in Rent
- Internet Service Included

Utilities

- Heat Included
- Cook Included
- Electricity Included
- Hot Water Included
- Cold Water Included
- Sewer

Equipment

- AC Type: unit
- Stove
- Refrigerator
- Disposal
- Dishwasher
- Microwave

Other Features

- Elevator Pool Tennis
- Rec. Area - Type: Playground
- Fireplace Community Room
- Alarm System Gated entrance:

Security Features:

Parking Features

Surface: Yes **Enough for:** All

Extra Cost: No

Garage: No

Covered: No

Verification: Ursula #315

Contact Phone: (914) 276-2619

Verified On: 01/10/2020

Web Site:

MARKET RATE APARTMENT RENTAL No. 3

Property Name: Middle Branch Garden Apartments
Street Address: 3 Husted Road
City, State: Southeast, NY
Date of Survey: 1/2020
Type of Project: Market Rate
No. of Units: 26
Year Built: 1968
Occupancy Rate: 100%
Rent Concessions: No
Cond. Rating: B



Rental Data

<u>Unit Type</u>	<u>Baths</u>	<u>No. of Units</u>	<u>Sq. Ft.</u>	<u>Current Rent</u>	<u>Rent/Sq. Ft.</u>
1 Bedroom	1	22	706	\$1250 - \$1300	\$1.77 - \$1.84
2 Bedroom	1	4	976	\$1450 - \$1550	\$1.49 - \$1.59

Amenities: Units have stove, refrigerator, carpeting, balcony/patio and a/c. The complex offers coin laundry. Heat is electric and there is a thermostat in every unit. Some units have separate entrances. Ample parking.

Utilities: **Heat:** Tenant Pays **Electric:** Tenant Pays

Comments: Historically this property occupancy rate is between 92%-100% which equates to 1-2 vacant units on average. The difference in the rents is whether or not the units have another small room that is too small to be considered a bedroom. The two bedroom units are located at the ends of the building. This property does accept Section 8 vouchers. This complex was purchased by the current owner in January 2014.

As of 1/2020-management stated that this complex is currently fully occupied and that they do not maintain a wait list. The rents listed above are current market rents as quoted by management at the time of this survey.

Apartment Features

- Separate Entrance(s)
- Balcony/Patio
- Carpets
- Drapes/Blinds
- Storage
- Coin Laundry Facility
- Washer/Dryer Hookups
- Washer/Dryer Units

- Amt:
- Cable Included in Rent
- Internet Service Included

Utilities

- Heat Included
- Cook Included
- Electricity Included
- Hot Water Included
- Cold Water Included
- Sewer

Equipment

- AC Type:
- Stove
- Refrigerator
- Disposal
- Dishwasher
- Microwave

Other Features

- Elevator Pool Tennis
- Rec. Area - Type:
- Fireplace Community Room
- Alarm System Gated entrance:

Security Features:

Parking Features

- Surface:** Yes **Enough for:** All
- Extra Cost:** No
- Garage:** No
- Covered:** No

Verification: Property Manager - John

Contact Phone: (914) 774-3585

Verified On: 01/10/2020

Web Site:

MARKET RATE APARTMENT RENTAL No. 4

Property Name: Avalon Somers
Street Address: 49 Clayton Blvd
City, State: Baldwin Place, NY
Date of Survey: 1/2020
Type of Project: Market Rate
No. of Units: 152
Year Built: 2017
Occupancy Rate: 98%
Rent Concessions: No
Cond. Rating: A



Rental Data

<u>Unit Type</u>	<u>Baths</u>	<u>No. of Units</u>	<u>Sq. Ft.</u>	<u>Current Rent</u>	<u>Rent/Sq. Ft.</u>
1 Bedroom	1	N/A	971	\$2665	\$2.74
1 Bedroom	1	6	877	\$1235	\$1.41
1 Bedroom	1	N/A	847	\$2350 - \$2500	\$2.77 - \$2.95
1 Bedroom	1	1	844	\$879	\$1.04
2 Bedroom	2	3	1318	\$2107	\$1.60
2 Bedroom	2	N/A	1206	\$2817	\$2.34
2 Bedroom	2	N/A	1194	\$2806	\$2.35
3 Bedroom	2	N/A	1500	\$3236	\$2.16
3 Bedroom	2	N/A	1405	\$3335	\$2.37

Amenities: Luxury units will have granite counters and stainless steel appliances. Loft style units will be available. Units feature private entries, washer/dryer, walk-in closets and central a/c. Select units will have balconies. Complex will offer fitness center, pool with sundeck, bbq area, clubhouse with resident lounge, outdoor play area, surface and detached garage parking. The parking fees are the following: you get one free surface spot for however many bedrooms the unit has, each additional surface spot is \$25, garage parking is available for \$200 per month. There is also a Common Area/Amenities fee of \$65.00/month

Utilities: **Heat:** Tenant Pays **Electric:** Tenant Pays

Comments: This is a new market rate project with 142 market rate units and 10 affordable units. Currently there are 4 available market rate units and the waitlist for affordable units is reported in years. No utility allowance was provided for the affordable units.

Apartment Features

- Separate Entrance(s)
- Balcony/Patio
- Carpets
- Drapes/Blinds
- Storage
- Coin Laundry Facility
- Washer/Dryer Hookups
- Washer/Dryer Units
Included
Amt:
- Cable Included in Rent
- Internet Service Included

Utilities

- Heat Included
- Cook Included
- Electricity Included
- Hot Water Included
- Cold Water Included
- Sewer

Equipment

- AC Type: central
- Stove
- Refrigerator
- Disposal
- Dishwasher
- Microwave

Other Features

- Elevator Pool Tennis
- Rec. Area - Type: Yes, See comments.
- Fireplace Community Room
- Alarm System Gated entrance:

Security Features:

Parking Features

- Surface:** Yes **Enough for:** All
- Extra Cost:** No
- Garage:** Yes **Enough for:** Some
- Extra Cost:** Yes **Fee:** \$200/month
- Covered:** No

Verification: Leading Agent - Teddy

Contact Phone: (914) 340-5018

Verified On: 01/14/2020

Web Site: <http://www.avaloncommunities.com/new-york/somers-apartments/avalon-somers>

MARKET RATE APARTMENT RENTAL No. 5

Property Name: 14 Church Street
Street Address: 14 Church Street
City, State: Carmel, NY
Date of Survey: 1/2020
Type of Project: Market Rate
No. of Units: 22
Year Built: 1975
Occupancy Rate: 95%
Rent Concessions: No
Cond. Rating: B



Rental Data

<u>Unit Type</u>	<u>Baths</u>	<u>No. of Units</u>	<u>Sq. Ft.</u>	<u>Current Rent</u>	<u>Rent/Sq. Ft.</u>
1 Bedroom	1	N/A	800	\$1200	\$1.50
2 Bedroom	1	N/A	1000	\$1450	\$1.45
3 Bedroom	1	N/A	N/A	\$1650	N/A

Amenities: Units have standard kitchen appliances (stoves & refrigerators), hardwood flooring, unit A/C, ceiling fans, and balconies/patios. Some units have dishwashers, subway tiling in kitchens, and new windows. Project offers on-site coin laundry and free off-street surface parking (assigned - 2 spots per unit). Tenants pay for propane for the stove. Rent includes heating and hot water for all units. Some units include electricity.

Utilities: **Heat:** Landlord Pays **Electric:** Tenant Pays

Comments: Two-story, brick, walk up, Market Rate project. The project also includes second two-story (white) wood-frame walk-up building, and also a colonial style converted residence at the road which contains a few apartments including 1 or 2 three-bedroom unit. No formal waiting list. Ownership has been replacing windows upon turnover since 2015 and some units have been updated with paint, new kitchens and baths. Leasing agent indicated that the rents for updated vs not updated are the same since the renovations are not high end.

As of 1/2020-management stated that this complex is currently 95% occupied with (1) vacant unit. Units typically lease within 30 days. Rent includes heat, water (hot/cold), sewer and trash removal.

Apartment Features

- Separate Entrance(s)
- Balcony/Patio
- Carpets
- Drapes/Blinds
- Storage
- Coin Laundry Facility
- Washer/Dryer Hookups
- Washer/Dryer Units

- Amt:
- Cable Included in Rent
- Internet Service Included

Utilities

- Heat Included Gas
- Cook Included
- Electricity Included
- Hot Water Included Gas
- Cold Water Included
- Sewer

Equipment

- AC Type: unit
- Stove
- Refrigerator some
- Disposal
- Dishwasher
- Microwave

Other Features

- Elevator Pool Tennis
- Rec. Area - Type:
- Fireplace Community Room
- Alarm System Gated entrance:

Security Features:

Parking Features

- Surface:** Yes **Enough for:** All
- Extra Cost:** No
- Garage:** No
- Covered:** No

Verification: Annie

Contact Phone: (845) 742-5055

Verified On: 01/10/2020

Web Site: http://

Addendum A

Demand Analysis Glossary

Glossary/Explanatory Comments - Demand Model: Family Projects

1	Total Number of HH in the Market: All age groups	Includes renters and owners from the HISTA data. Presented for reference not application. Includes all age groups.
2	% of Renters	The Total number of Renters divided by the total HH from line 1 above.
3	% of Owners	The Total number of Owners divided by the total HH from line 1 above.
4	Renter Mobility	For Family projects we account only for existing renters, not homeowners
5	Total Number of HH for the unit size(1)	Total number of HH for unit type. Typically 1/2 person for 1 Br, 2/3 person for 2 Br, and 3+ Persons for 3-4 Bd. There can be some variation
6	Less 62+	Typically we will not account for HH aged 62+ for family projects. There can be exceptions if there are 1br apartments, may vary by market
7	Net	The results of the above two.
8	Estimated Rents for Target Market - Gross Rent(2)	Gross Rents for the unit type in question. If there are multiple rents, each is represented here. Will be used to establish the income bands based on DHCR standards. For the low end to apply, there must be enough of the unit type to apply.
9	Income Qual. Range: (3)-Specific Range based on rents	Income Bands based on DHCR standards. Low= needed for affordability (low end rent from 8*12/48%). Upper= Max allowable (upper rent from 8*12.30%). The 30%-48% are the income bands based on rent to be charged. DHCR allows low to high based on rent, but requires that an adequate portion of units be set at the low end rent level for the unit type in question. May use 40% for family project Max
10	Income Qualified HH From 0-Max(From Current HISTA)	This band is necessary to avoid a "double" project elimination. Explained in greater detail in text. Here the Low end extends to zero in order to account for all forms of subsidized housing in a market area. The upper end remains similar to the line 8 discussion Accounts for all renter HH for the HH size in question that fall within the income bands set by line 9.
11	Total Income Qualified HH	The number of all income qualified HH from line 10 income band above, for the HH size that applies to this unit type.
12	Elimination of Existing/Planned Competitors	All existing and planned subsidized housing in the market area. Corresponds to chart in the text that breaks out units by bedroom type. These need to be eliminated based on DHCR standards in order to avoid impact on existing subsidized. Correlates to a NET Demand model.
13	Net Demand	The results from subtracting line 12 from line 11. These are therefore all HH in the band set from line 10 that are not in existing subsidized housing in the specific market area used. They are therefore considered the most likely target market for a new rental project.
14	Income qual based on the specific band above	Ratio of the number of renter HH from income band set on line 9 divided by the total on line 11. Uses the HISTA data to determine the number of HH for the unit type in question that fall within these income parameters.
15	Mobility Factor	For LIHTC projects this is always 100%. Presented for consideration and used as ratio only for SLIHTC or Market Rate deals.
16	Net Demand	The number of age and income qualified renter HH for unit type in question. Net since we have eliminated existing subsidized. These are income qualified who reside in rental situations other than affordable or subsidized housing.
Market Growth/Contraction		
17	Applicable Growth (2 of the 5 years)(6)	The change in number of age/income qualified renter HH only. Tracked based on HISTA projections over the next five years. See the HISTA data in report and the addendum for details, the numbers are also presented in the text. We account for two of five years of growth. Accounts for construction/absorption. This is after income qualification bands. Not likely in Upstate NY that we will account for growth, but it is market specific
18	Total Demand By Unit Type	Adds line items 16 and 17
19	Number of Units	Total number of units for the bedroom type in question. Will be applied to set capture for this unit type.
20	Capture for unit type	The results of dividing line 18 by line 19. The % of age/income qual hh for this unit type that the project must capture to reach supportable occupancy.
21	Ratio of total project (unit type compared to total)	Total number of units for this unit type/total number of units for the project. Necessary to apply weighted average for project capture.
22	Weighted Average Market Capture(pro-rated by type)	Weighted average of the line 21 results. Indicative of the total capture needed to reach stable occupancy for the project.

Glossary/Explanatory Comments - Demand Model

1	Total Number of HH in the Market: Aged 55+	All senior HH aged 55 and above. Includes renters and owners from the HISTA data. Presented for reference not application.
2	% of Renters	The Total number of Renters divided by the total HH from line 1 above.
3	% of Owners	The Total number of Owners divided by the total HH from line 1 above.
4	Total Number of HH for the unit size(1)	All Senior HH aged 55 and above in One person HH. From the HISTA data for one person only. This line item includes renters and owners.
5	% of Renters for the unit size	The Total number of Renters divided by the total HH from line 4 above.
6	% of Owners for the unit size	The Total number of Owners divided by the total HH from line 4 above.
Renter Contribution		This section applies to the renter households only, not homeowners. Only the HISTA Renter HH data has been referenced.
7	Total number of renters based on HH size/Unit type	Based on the ratio from line 4 and 5 above. Also can be referenced from HISTA DATA renter one person HH.
8	Estimated Rents for Target Market - Gross Rent(2) Note: In this case the low end will be used for afford. Since there is an adequate mix of low end units.	Gross Rents for the unit type in question. If there are multiple rents, each is represented here. Will be used to establish the income bands based on DHCR standards.
9	Income Qual. Range: (3)-Specific Range based on rents	Income Bands based on DHCR standards. Low= needed for affordability (low end rent from 8*12/48%). Upper= Max allowable (upper rent from 8*12.30%). The 30%-48% are the income bands based on rent to be charged. DHCR allows low to high based on rent, but requires that an adequate portion of units be set at the low end rent level for the unit type in question.
10	Income range used for initial project elimination:	This band is necessary to avoid a "double" project elimination. Explained in greater detail in text. Here the Low end extends to zero in order to account for all forms of subsidized housing in a market area. The upper end remains similar to the line 9 discussion
11	Income Qualified HH From 0-Max(From 2005 HISTA)(4)	Accounts for all renter HH for the HH size in question that fall within the income bands set by line 10.
12	Elimination of Existing/Planned Competitors	All existing and planned subsidized housing in the market area. Corresponds to chart in the text that breaks out units by bedroom type. These need to be eliminated based on DHCR standards in order to avoid impact on existing subsidized. Correlates to a NET Demand model.
13	Net Demand	The results from subtracting line 12 from line 11. These are therefore all HH in the band set from line 10 that are not in existing subsidized housing in the specific market area used. They are therefore considered the most likely target market for a new rental project.
14	Income qual based on the specific band above	Ratio of the number of renter HH from income band set on line 9 divided by the total on line 11. Uses the HISTA data to determine the number of HH for the unit type in question that fall within these income parameters.
15	Mobility Factor	For LIHTC projects this is always 100%. Presented for consideration and used as ratio only for SLIHTC or Market Rate deals.
16	Net Demand	The number of age and income qualified renter HH for unit type in question. Net since we have eliminated existing subsidized. These are income qualified who reside in rental situations other than affordable or subsidized housing.
Senior Homeowner Contribution		Homeowner Analysis Only.
17	Total Income Qualified HH (From 2005 HISTA)(5)	Same income band as line item 9 above. Applies to the HH size applicable to the unit type, from the HISTA data for Senior Owners.
18	Mobility Factor	DHCR allows for inclusion of 10% of the existing senior Homeowners. This is applied without exception.
19	Net Demand	The results of Line 17* Line 18
Market Growth/Contraction		The increase in number of age/income qualified renter HH only. Tracked based on HISTA projections over the next five years. See the HISTA data in report and the addendum for details, the numbers are also presented in the text.
20	Applicable Growth (2 of the 5 years)(6)	We account for two of five years of growth. Accounts for construction/absorption. This is after income qualification bands.
21	Total Demand By Unit Type	Adds line items 16, 19 and 20. All three components of demand.
22	Number of Units	Total number of units for the bedroom type in question. Will be applied to set capture for this unit type.
23	Capture for unit type	The results of dividing line 22 from line 21. The % of age/income qual hh for this unit type that the project must capture to reach supportable occupancy.
24	Ratio of total project (unit type compared to total)	Total number of units for this unit type/total number of units for the project. Necessary to apply weighted average for project capture.
25	Weighted Average Market Capture(pro-rated by type)	Weighted average of the line 24 results. Indicative of the total capture needed to reach stable occupancy for the project.

Addendum B

Additional HISTA Information

HISTA 2.2 Summary Data

Market Area

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Renter Households						
Age 15 to 54 Years						
Base Year: 2011 - 2015 Estimates						
	1-Person	2-Person	3-Person	4-Person	5+-Person	Total
	Household	Household	Household	Household	Household	
\$0-10,000	57	40	14	10	3	124
\$10,000-20,000	170	27	52	10	3	262
\$20,000-30,000	113	41	9	11	4	178
\$30,000-40,000	107	51	44	12	19	233
\$40,000-50,000	84	30	36	12	11	173
\$50,000-60,000	161	36	29	41	18	285
\$60,000-75,000	59	86	69	33	12	259
\$75,000-100,000	114	43	114	100	32	403
\$100,000-125,000	49	106	21	7	61	244
\$125,000-150,000	15	7	4	16	2	44
\$150,000-200,000	13	19	25	18	2	77
\$200,000+	13	48	5	10	3	79
Total	955	534	422	280	170	2,361

Renter Households						
Aged 55 to 61 Years						
Base Year: 2011 - 2015 Estimates						
	1-Person	2-Person	3-Person	4-Person	5+-Person	Total
	Household	Household	Household	Household	Household	
\$0-10,000	19	8	5	3	0	35
\$10,000-20,000	13	12	3	4	0	32
\$20,000-30,000	32	24	5	4	1	66
\$30,000-40,000	23	24	0	3	4	54
\$40,000-50,000	7	15	2	0	1	25
\$50,000-60,000	14	10	1	3	2	30
\$60,000-75,000	4	23	3	2	1	33
\$75,000-100,000	25	5	19	3	1	53
\$100,000-125,000	15	17	1	3	3	39
\$125,000-150,000	58	39	14	3	0	114
\$150,000-200,000	8	11	4	3	1	27
\$200,000+	6	22	24	7	2	61
Total	224	210	81	38	16	569

Renter Households						
Aged 62+ Years						
Base Year: 2011 - 2015 Estimates						
	1-Person	2-Person	3-Person	4-Person	5+-Person	Total
	Household	Household	Household	Household	Household	
\$0-10,000	36	11	6	8	6	67
\$10,000-20,000	174	8	10	9	6	207
\$20,000-30,000	72	11	9	8	4	104
\$30,000-40,000	62	77	10	12	5	166
\$40,000-50,000	53	32	5	18	9	117
\$50,000-60,000	18	47	6	15	8	94
\$60,000-75,000	29	21	5	17	11	83
\$75,000-100,000	19	22	11	10	5	67
\$100,000-125,000	29	24	3	10	6	72
\$125,000-150,000	11	6	22	30	5	74
\$150,000-200,000	28	22	6	9	5	70
\$200,000+	15	6	8	7	8	44
Total	546	287	101	153	78	1,165

Renter Households						
All Age Groups						
Base Year: 2011 - 2015 Estimates						
	1-Person	2-Person	3-Person	4-Person	5+-Person	Total
	Household	Household	Household	Household	Household	
\$0-10,000	112	59	25	21	9	226
\$10,000-20,000	357	47	65	23	9	501
\$20,000-30,000	217	76	23	23	9	348
\$30,000-40,000	192	152	54	27	28	453
\$40,000-50,000	144	77	43	30	21	315
\$50,000-60,000	193	93	36	59	28	409
\$60,000-75,000	92	130	77	52	24	375
\$75,000-100,000	158	70	144	113	38	523
\$100,000-125,000	93	147	25	20	70	355
\$125,000-150,000	84	52	40	49	7	232
\$150,000-200,000	49	52	35	30	8	174
\$200,000+	34	76	37	24	13	184
Total	1,725	1,031	604	471	264	4,095

HISTA 2.2 Summary Data

Market Area

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Owner Households						
Age 15 to 54 Years						
Base Year: 2011 - 2015 Estimates						
	1-Person	2-Person	3-Person	4-Person	5+-Person	Total
	Household	Household	Household	Household	Household	
\$0-10,000	37	18	20	10	11	96
\$10,000-20,000	58	29	49	25	20	181
\$20,000-30,000	15	82	23	37	48	205
\$30,000-40,000	122	61	125	32	65	405
\$40,000-50,000	29	47	49	74	17	216
\$50,000-60,000	72	143	32	67	98	412
\$60,000-75,000	63	201	227	179	113	783
\$75,000-100,000	196	309	228	401	243	1,377
\$100,000-125,000	218	228	350	488	479	1,763
\$125,000-150,000	95	274	533	645	378	1,925
\$150,000-200,000	52	381	635	865	702	2,635
\$200,000+	225	479	558	893	531	2,686
Total	1,182	2,252	2,829	3,716	2,705	12,684

Owner Households						
Aged 55 to 61 Years						
Base Year: 2011 - 2015 Estimates						
	1-Person	2-Person	3-Person	4-Person	5+-Person	Total
	Household	Household	Household	Household	Household	
\$0-10,000	38	36	20	18	2	114
\$10,000-20,000	41	43	21	35	5	145
\$20,000-30,000	20	28	7	7	8	70
\$30,000-40,000	59	76	21	18	5	179
\$40,000-50,000	31	38	20	8	3	100
\$50,000-60,000	53	83	17	67	3	223
\$60,000-75,000	94	76	96	21	15	302
\$75,000-100,000	74	304	64	31	17	490
\$100,000-125,000	122	243	195	98	1	659
\$125,000-150,000	65	175	204	121	44	609
\$150,000-200,000	87	310	153	267	61	878
\$200,000+	24	332	181	354	138	1,029
Total	708	1,744	999	1,045	302	4,798

Owner Households						
Aged 62+ Years						
Base Year: 2011 - 2015 Estimates						
	1-Person	2-Person	3-Person	4-Person	5+-Person	Total
	Household	Household	Household	Household	Household	
\$0-10,000	87	79	25	9	8	208
\$10,000-20,000	431	188	29	18	22	688
\$20,000-30,000	407	402	44	82	15	950
\$30,000-40,000	322	544	51	29	18	964
\$40,000-50,000	294	331	52	25	11	713
\$50,000-60,000	201	365	31	17	11	625
\$60,000-75,000	201	576	96	14	13	900
\$75,000-100,000	370	742	150	43	93	1,398
\$100,000-125,000	169	489	251	82	32	1,023
\$125,000-150,000	76	312	119	22	29	558
\$150,000-200,000	73	497	145	39	69	823
\$200,000+	94	434	135	61	122	846
Total	2,725	4,959	1,128	441	443	9,696

Owner Households						
All Age Groups						
Base Year: 2011 - 2015 Estimates						
	1-Person	2-Person	3-Person	4-Person	5+-Person	Total
	Household	Household	Household	Household	Household	
\$0-10,000	162	133	65	37	21	418
\$10,000-20,000	530	260	99	78	47	1,014
\$20,000-30,000	442	512	74	126	71	1,225
\$30,000-40,000	503	681	197	79	88	1,548
\$40,000-50,000	354	416	121	107	31	1,029
\$50,000-60,000	326	591	80	151	112	1,260
\$60,000-75,000	358	853	419	214	141	1,985
\$75,000-100,000	640	1,355	442	475	353	3,265
\$100,000-125,000	509	960	796	668	512	3,445
\$125,000-150,000	236	761	856	788	451	3,092
\$150,000-200,000	212	1,188	933	1,171	832	4,336
\$200,000+	343	1,245	874	1,308	791	4,561
Total	4,615	8,955	4,956	5,202	3,450	27,178

HISTA 2.2 Summary Data

Market Area

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Renter Households						
Age 15 to 54 Years						
Year 2024 Projections						
	1-Person	2-Person	3-Person	4-Person	5+-Person	Total
	Household	Household	Household	Household	Household	
\$0-10,000	24	12	12	2	4	54
\$10,000-20,000	87	17	36	10	5	155
\$20,000-30,000	158	35	5	25	6	229
\$30,000-40,000	53	49	37	14	31	184
\$40,000-50,000	81	12	39	11	22	165
\$50,000-60,000	92	16	10	34	11	163
\$60,000-75,000	32	63	66	21	9	191
\$75,000-100,000	167	34	116	99	47	463
\$100,000-125,000	50	110	15	12	81	268
\$125,000-150,000	13	7	11	15	9	55
\$150,000-200,000	20	14	30	27	4	95
\$200,000+	20	66	9	9	5	109
Total	797	435	386	279	234	2,131

Renter Households						
Aged 55 to 61 Years						
Year 2024 Projections						
	1-Person	2-Person	3-Person	4-Person	5+-Person	Total
	Household	Household	Household	Household	Household	
\$0-10,000	13	5	4	0	1	23
\$10,000-20,000	7	7	2	2	1	19
\$20,000-30,000	30	42	5	3	0	80
\$30,000-40,000	9	17	1	2	3	32
\$40,000-50,000	11	24	1	1	1	38
\$50,000-60,000	20	9	3	5	3	40
\$60,000-75,000	20	30	3	2	0	55
\$75,000-100,000	22	6	17	5	5	55
\$100,000-125,000	13	18	8	2	1	42
\$125,000-150,000	54	18	21	4	2	99
\$150,000-200,000	9	15	3	2	3	32
\$200,000+	8	61	35	2	0	106
Total	216	252	103	30	20	621

Renter Households						
Aged 62+ Years						
Year 2024 Projections						
	1-Person	2-Person	3-Person	4-Person	5+-Person	Total
	Household	Household	Household	Household	Household	
\$0-10,000	46	19	6	4	11	86
\$10,000-20,000	229	10	2	5	9	255
\$20,000-30,000	138	11	6	12	8	175
\$30,000-40,000	74	77	9	15	5	180
\$40,000-50,000	119	54	8	23	13	217
\$50,000-60,000	29	38	10	14	5	96
\$60,000-75,000	89	24	7	18	8	146
\$75,000-100,000	39	25	15	10	11	100
\$100,000-125,000	52	46	6	9	7	120
\$125,000-150,000	45	15	28	39	7	134
\$150,000-200,000	77	33	10	14	10	144
\$200,000+	59	12	8	12	11	102
Total	996	364	115	175	105	1,755

Renter Households						
All Age Groups						
Year 2024 Projections						
	1-Person	2-Person	3-Person	4-Person	5+-Person	Total
	Household	Household	Household	Household	Household	
\$0-10,000	83	36	22	6	16	163
\$10,000-20,000	323	34	40	17	15	429
\$20,000-30,000	326	88	16	40	14	484
\$30,000-40,000	136	143	47	31	39	396
\$40,000-50,000	211	90	48	35	36	420
\$50,000-60,000	141	63	23	53	19	299
\$60,000-75,000	141	117	76	41	17	392
\$75,000-100,000	228	65	148	114	63	618
\$100,000-125,000	115	174	29	23	89	430
\$125,000-150,000	112	40	60	58	18	288
\$150,000-200,000	106	62	43	43	17	271
\$200,000+	87	139	52	23	16	317
Total	2,009	1,051	604	484	359	4,507

HISTA 2.2 Summary Data

Market Area

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Owner Households						
Age 15 to 54 Years						
Year 2024 Projections						
	1-Person	2-Person	3-Person	4-Person	5+-Person	Total
	Household	Household	Household	Household	Household	
\$0-10,000	13	3	8	6	4	34
\$10,000-20,000	20	9	16	18	3	66
\$20,000-30,000	14	82	33	46	39	214
\$30,000-40,000	67	14	73	20	45	219
\$40,000-50,000	31	32	55	59	23	200
\$50,000-60,000	30	73	15	25	36	179
\$60,000-75,000	36	92	117	73	64	382
\$75,000-100,000	94	198	162	321	200	975
\$100,000-125,000	156	101	257	302	283	1,099
\$125,000-150,000	67	182	440	505	309	1,503
\$150,000-200,000	56	239	507	629	521	1,952
\$200,000+	<u>195</u>	<u>586</u>	<u>768</u>	<u>1,414</u>	<u>757</u>	<u>3,720</u>
Total	779	1,611	2,451	3,418	2,284	10,543

Owner Households						
Aged 55 to 61 Years						
Year 2024 Projections						
	1-Person	2-Person	3-Person	4-Person	5+-Person	Total
	Household	Household	Household	Household	Household	
\$0-10,000	14	13	9	5	2	43
\$10,000-20,000	22	29	17	18	1	87
\$20,000-30,000	51	44	19	13	8	135
\$30,000-40,000	36	72	19	16	4	147
\$40,000-50,000	38	36	26	14	3	117
\$50,000-60,000	57	72	17	52	3	201
\$60,000-75,000	104	71	116	27	11	329
\$75,000-100,000	71	285	74	36	17	483
\$100,000-125,000	95	185	177	76	1	534
\$125,000-150,000	46	153	176	101	28	504
\$150,000-200,000	100	379	212	306	86	1,083
\$200,000+	<u>89</u>	<u>524</u>	<u>329</u>	<u>626</u>	<u>266</u>	<u>1,834</u>
Total	723	1,863	1,191	1,290	430	5,497

Owner Households						
Aged 62+ Years						
Year 2024 Projections						
	1-Person	2-Person	3-Person	4-Person	5+-Person	Total
	Household	Household	Household	Household	Household	
\$0-10,000	140	91	12	10	3	256
\$10,000-20,000	403	111	17	11	9	551
\$20,000-30,000	450	279	44	38	10	821
\$30,000-40,000	409	424	54	21	13	921
\$40,000-50,000	503	456	55	33	11	1,058
\$50,000-60,000	396	435	34	12	11	888
\$60,000-75,000	352	632	77	19	24	1,104
\$75,000-100,000	409	798	195	53	66	1,521
\$100,000-125,000	266	668	304	99	47	1,384
\$125,000-150,000	130	423	133	26	36	748
\$150,000-200,000	163	815	332	61	199	1,570
\$200,000+	<u>232</u>	<u>1,038</u>	<u>567</u>	<u>190</u>	<u>216</u>	<u>2,243</u>
Total	3,853	6,170	1,824	573	645	13,065

Owner Households						
All Age Groups						
Year 2024 Projections						
	1-Person	2-Person	3-Person	4-Person	5+-Person	Total
	Household	Household	Household	Household	Household	
\$0-10,000	167	107	29	21	9	333
\$10,000-20,000	445	149	50	47	13	704
\$20,000-30,000	515	405	96	97	57	1,170
\$30,000-40,000	512	510	146	57	62	1,287
\$40,000-50,000	572	524	136	106	37	1,375
\$50,000-60,000	483	580	66	89	50	1,268
\$60,000-75,000	492	795	310	119	99	1,815
\$75,000-100,000	574	1,281	431	410	283	2,979
\$100,000-125,000	517	954	738	477	331	3,017
\$125,000-150,000	243	758	749	632	373	2,755
\$150,000-200,000	319	1,433	1,051	996	806	4,605
\$200,000+	<u>516</u>	<u>2,148</u>	<u>1,664</u>	<u>2,230</u>	<u>1,239</u>	<u>7,797</u>
Total	5,355	9,644	5,466	5,281	3,359	29,105

HOUSEHOLD DATA

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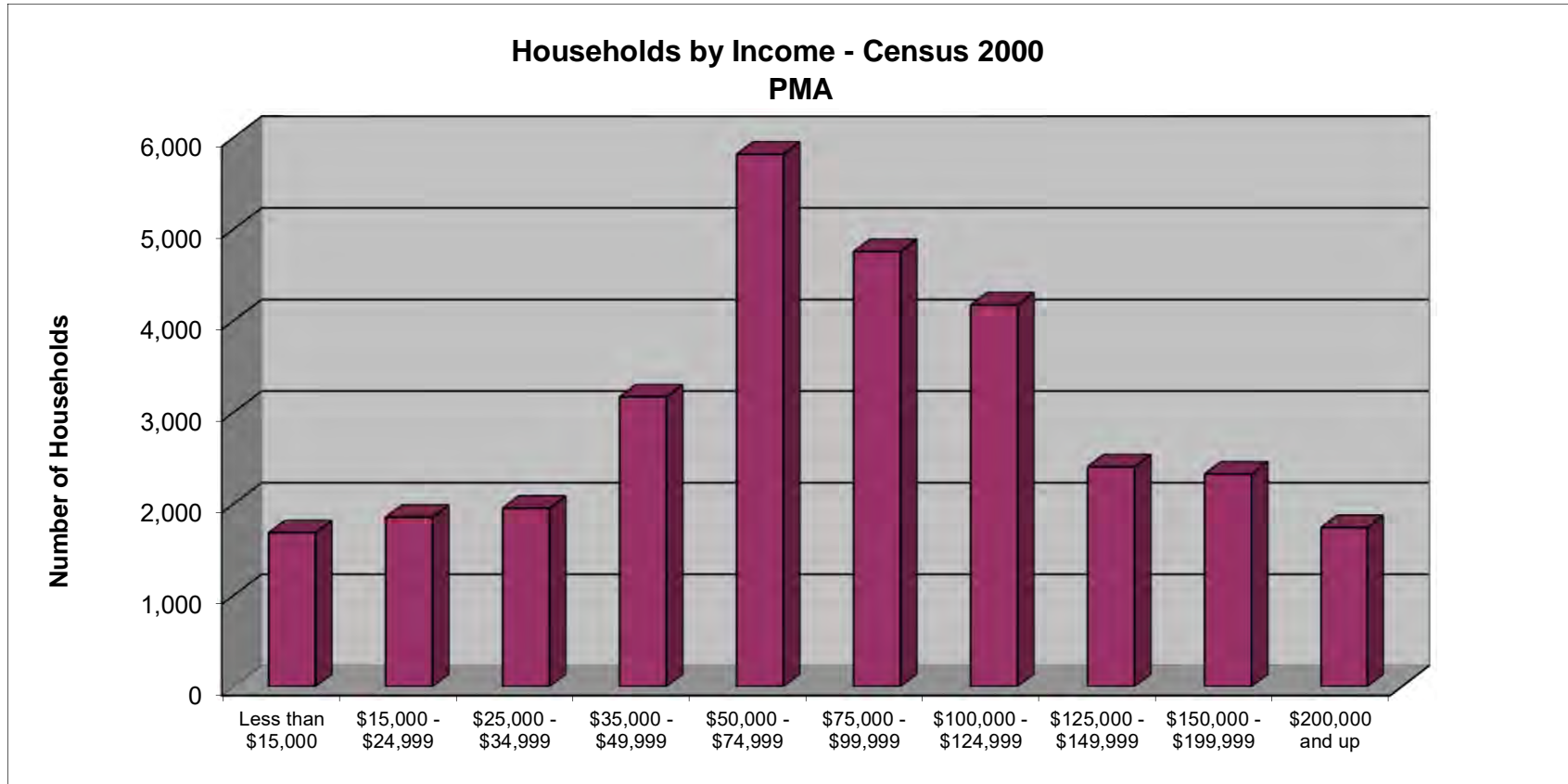
Households by Income and Age										
PMA										
Census Data - 2000										
Income	Age 15 - 24 Years	Age 25 - 34 Years	Age 35 - 44 Years	Age 45 - 54 Years	Age 55 - 64 Years	Age 65 - 74 Years	Age 75 - 84 Years	Age 85+ Years	Total	Percent
Less than \$15,000	24	122	222	188	191	353	422	163	1,685	5.6%
\$15,000 - \$24,999	22	140	204	197	252	412	494	134	1,855	6.2%
\$25,000 - \$34,999	15	231	317	216	276	453	359	87	1,954	6.5%
\$35,000 - \$49,999	68	462	738	454	388	548	410	101	3,169	10.6%
\$50,000 - \$74,999	86	814	1,664	1,298	927	691	280	57	5,817	19.5%
\$75,000 - \$99,999	27	577	1,539	1,337	702	407	138	27	4,754	15.9%
\$100,000 - \$124,999	0	539	1,398	1,231	610	291	89	15	4,173	14.0%
\$125,000 - \$149,999	12	264	546	908	512	78	65	21	2,406	8.1%
\$150,000 - \$199,999	0	93	690	823	513	136	55	16	2,326	7.8%
\$200,000 and up	<u>0</u>	<u>125</u>	<u>513</u>	<u>548</u>	<u>427</u>	<u>90</u>	<u>32</u>	<u>7</u>	1,742	5.8%
Total	254	3,367	7,831	7,200	4,798	3,459	2,344	628	29,881	100.0%
Percent	0.9%	11.3%	26.2%	24.1%	16.1%	11.6%	7.8%	2.1%	100.0%	

Source: Claritas; Ribbon Demographics

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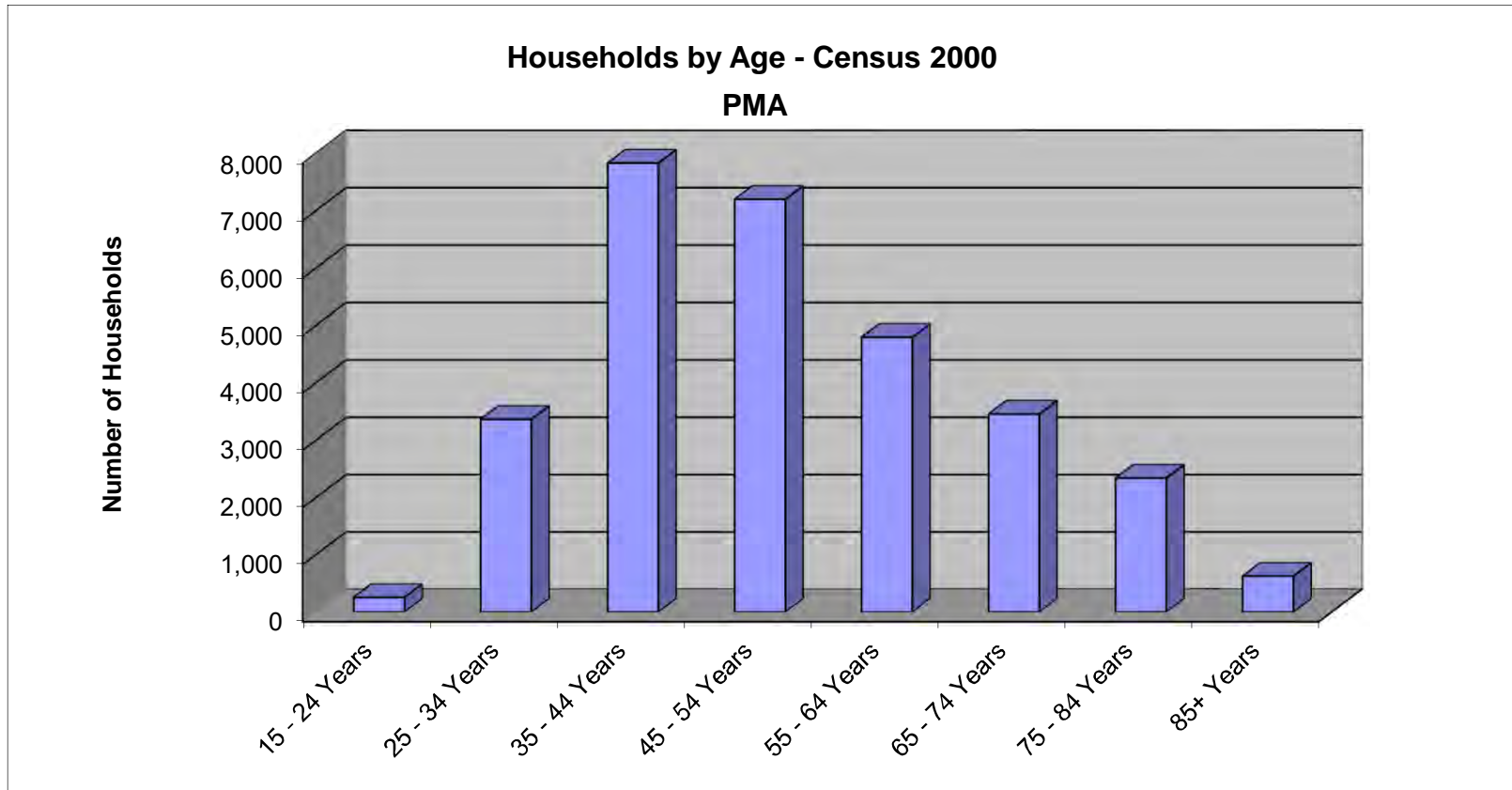


Source: Claritas; Ribbon Demographics

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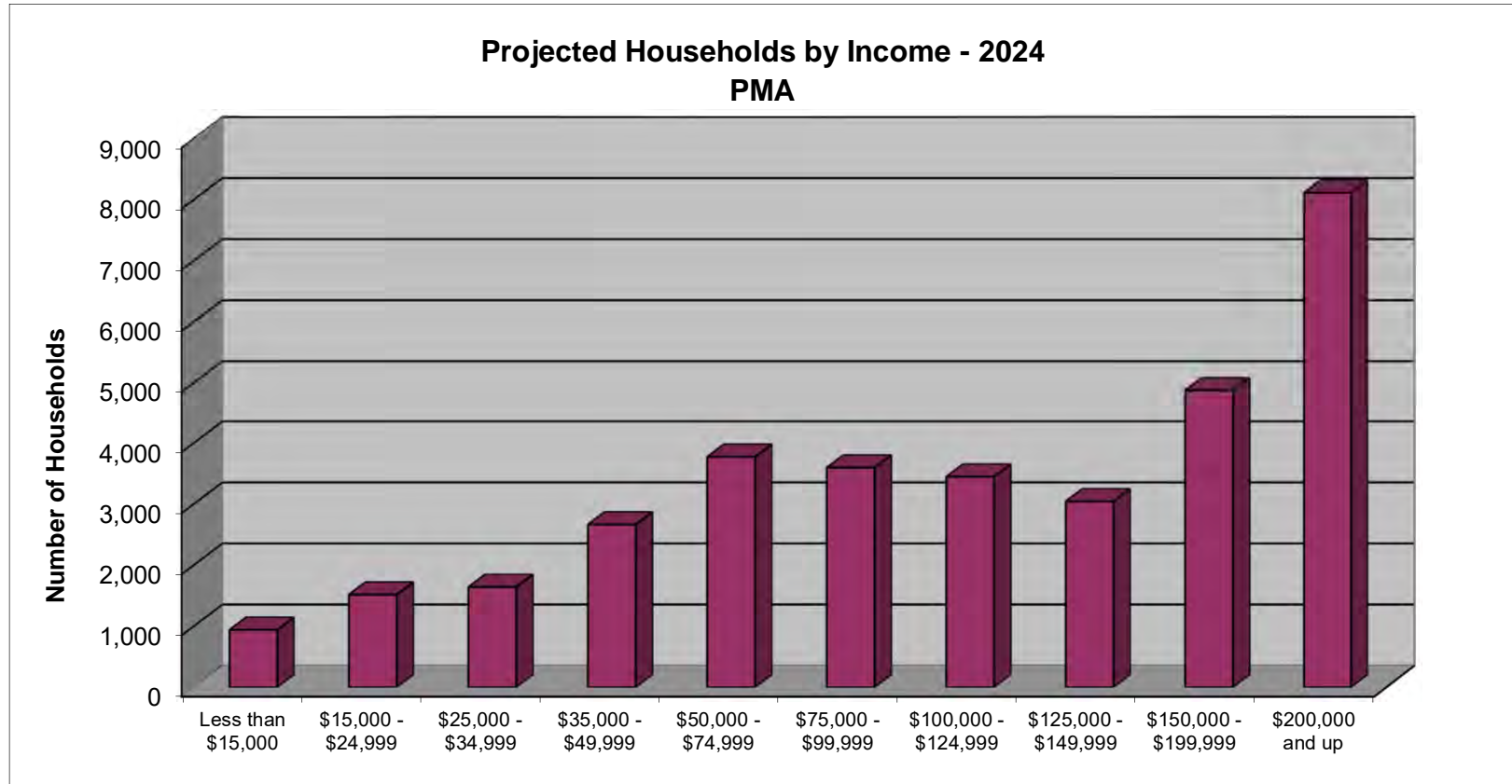
Households by Income and Age										
PMA										
Five Year Projections - 2024										
Income	Age 15 - 24 Years	Age 25 - 34 Years	Age 35 - 44 Years	Age 45 - 54 Years	Age 55 - 64 Years	Age 65 - 74 Years	Age 75 - 84 Years	Age 85+ Years	Total	Percent
Less than \$15,000	13	53	37	72	171	232	215	146	939	2.8%
\$15,000 - \$24,999	73	115	81	105	224	333	355	231	1,517	4.5%
\$25,000 - \$34,999	90	95	90	111	290	383	376	206	1,641	4.9%
\$35,000 - \$49,999	38	194	159	194	370	767	675	267	2,664	7.9%
\$50,000 - \$74,999	27	245	180	463	882	992	703	282	3,774	11.2%
\$75,000 - \$99,999	93	470	435	440	738	822	434	165	3,597	10.7%
\$100,000 - \$124,999	0	412	427	528	775	861	309	135	3,447	10.3%
\$125,000 - \$149,999	3	466	535	554	805	456	149	75	3,043	9.1%
\$150,000 - \$199,999	3	401	550	1,093	1,468	943	363	55	4,876	14.5%
\$200,000 and up	4	<u>554</u>	<u>1,282</u>	<u>1,989</u>	<u>2,558</u>	<u>1,291</u>	<u>302</u>	<u>134</u>	<u>8,114</u>	<u>24.1%</u>
Total	344	3,005	3,776	5,549	8,281	7,080	3,881	1,696	33,612	100.0%
Percent	1.0%	8.9%	11.2%	16.5%	24.6%	21.1%	11.5%	5.0%	100.0%	

Source: Claritas; Ribbon Demographics

HOUSEHOLD DATA

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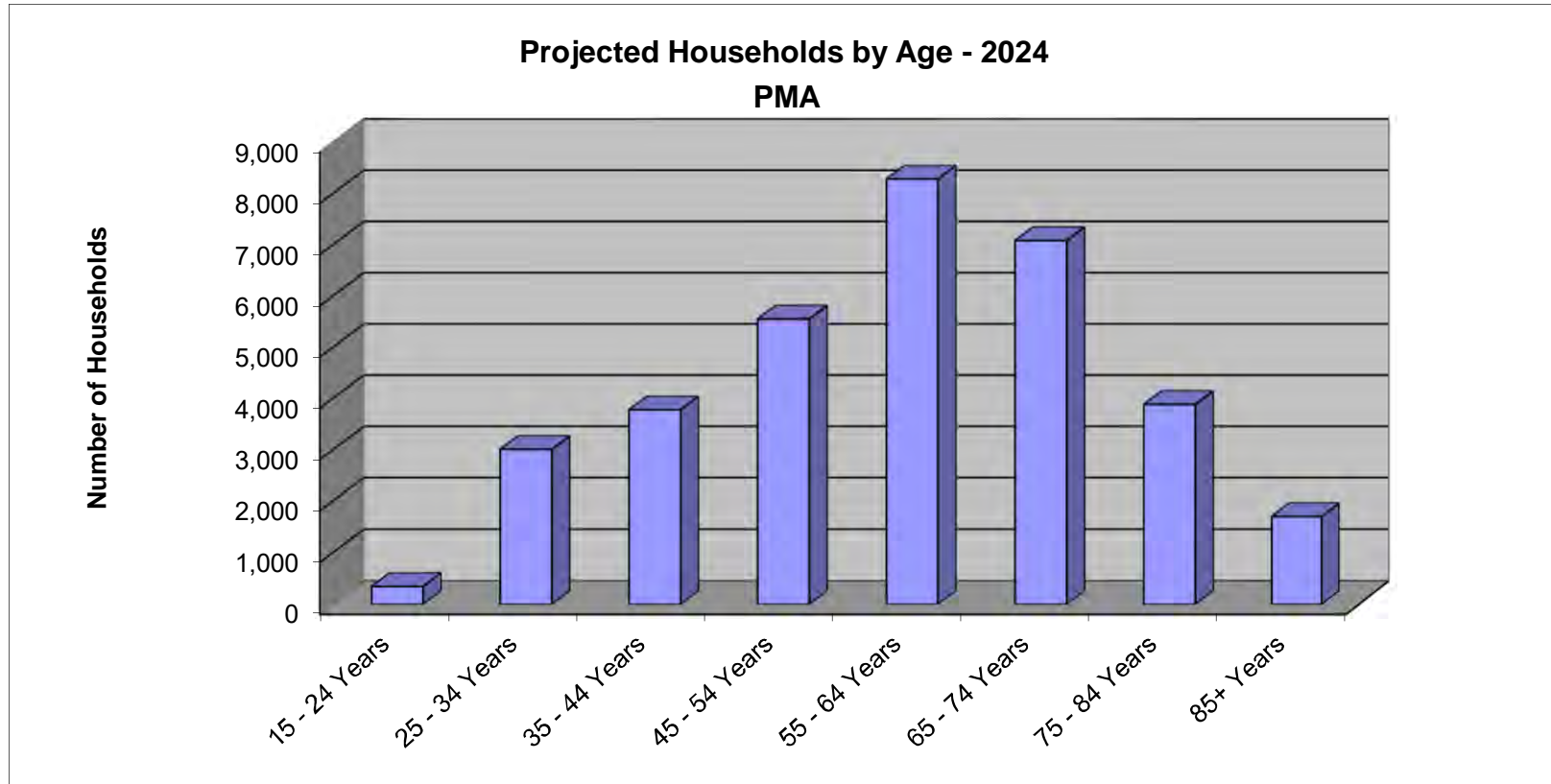


Source: Claritas; Ribbon Demographics

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Source: Claritas; Ribbon Demographics

POPULATION DATA

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Changes in Population by Age & Sex									
PMA									
<i>Estimated Change - 2010 to 2019</i>					<i>Projected Change - 2019 to 2024</i>				
Age	Male	Female	Total Change	Percent Change	Age	Male	Female	Total Change	Percent Change
0 to 4 Years	-254	-129	-383	-8.6%	0 to 4 Years	38	31	69	1.7%
5 to 9 Years	-711	-688	-1,399	-24.1%	5 to 9 Years	-179	-120	-299	-6.8%
10 to 14 Years	-629	-787	-1,416	-21.3%	10 to 14 Years	-375	-316	-691	-13.2%
15 to 17 Years	-329	-213	-542	-12.5%	15 to 17 Years	-185	-220	-405	-10.7%
18 to 20 Years	372	517	889	34.4%	18 to 20 Years	-78	-120	-198	-5.7%
21 to 24 Years	645	822	1,467	45.6%	21 to 24 Years	138	51	189	4.0%
25 to 34 Years	1,085	793	1,878	26.3%	25 to 34 Years	822	962	1,784	19.8%
35 to 44 Years	-1,568	-1,939	-3,507	-28.3%	35 to 44 Years	-179	-420	-599	-6.7%
45 to 54 Years	-1,175	-1,104	-2,279	-14.3%	45 to 54 Years	-1,268	-1,355	-2,623	-19.3%
55 to 64 Years	1,137	1,170	2,307	19.3%	55 to 64 Years	533	614	1,147	8.1%
65 to 74 Years	1,472	1,647	3,119	43.2%	65 to 74 Years	915	1,121	2,036	19.7%
75 to 84 Years	460	611	1,071	23.4%	75 to 84 Years	281	394	675	11.9%
85 Years and Up	<u>290</u>	<u>352</u>	<u>642</u>	<u>36.4%</u>	85 Years and Up	<u>100</u>	<u>135</u>	<u>235</u>	<u>9.8%</u>
Total	795	1,052	1,847	2.1%	Total	563	757	1,320	1.5%
62+ Years	n/a	n/a	5,368	32.0%	62+ Years	n/a	n/a	3,411	15.4%

Source: Claritas; Ribbon Demographics

Ribbon Demographics, LLC

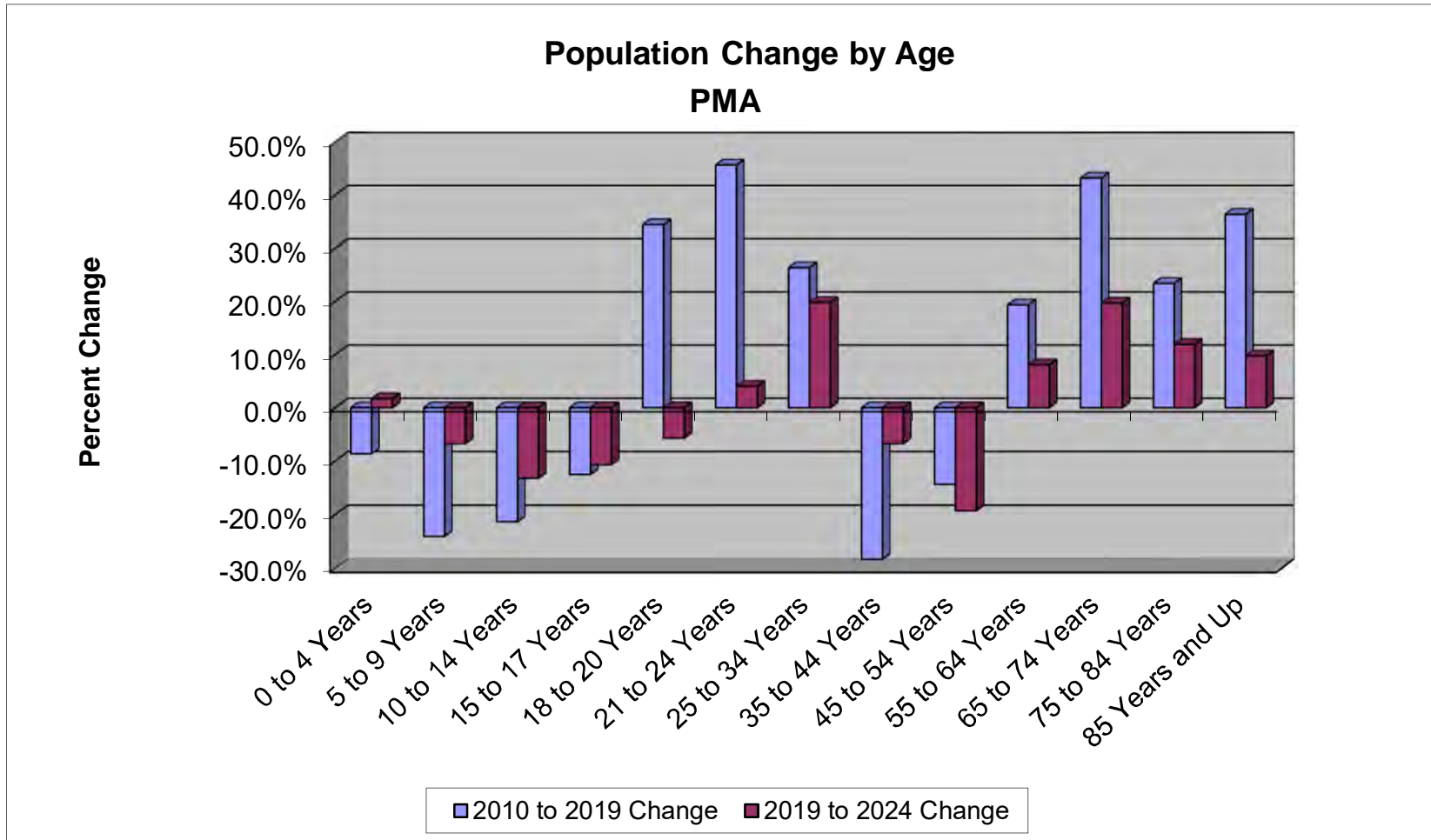
www.ribbondata.com

Tel: 916-880-1644

POPULATION DATA

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Source: Claritas; Ribbon Demographics

Addendum C
Qualifications

M. SCOTT ALLEN, MAI
Executive Vice President



Newmark Knight Frank
North Forest Road, Suite 204
Amherst, NY 14068
scott.allen@ngkf.com
T 716.523.0668

Years of Experience
33 Years

Areas of Specialization

- ♦ Valuation & Advisory
- ♦ Market Analysis
- ♦ Multifamily
- ♦ Land
- ♦ HUD FHA/MAP
- ♦ LIHTC Appraisals and Market studies

Professional Background

Scott Allen, MAI, joined Newmark Knight Frank Valuation & Advisory in 2019 as executive vice president of the Buffalo office. A 33-year industry veteran, Mr. Allen has prepared valuations and market analyses across a broad range of property types that includes residential housing, low-income housing projects, apartments, student apartments, historic preservation projects, senior housing projects, commercial property and vacant land.

Over the course of his career, Mr. Allen has focused on producing quality market analyses and appraisal work in a timely manner for mortgage lenders, corporations, non-profits, tax credit syndicators, private developers/investors, and government entities including HUD, Rural Development, and Fannie Mae/Freddie Mac.

Mr. Allen began his career as a certified general appraiser and currently focuses his work efforts on market analysis and appraisal work related to multifamily and residential housing. Prior to joining Newmark Knight Frank, Mr. Allen was principal and partner of GAR Associates, a commercial real estate and advisory firm established in 1961.

Professional Affiliations

- ♦ Member, National Council of Housing Market Analysts (NCHMA)
- ♦ Board of Directors, National Housing & Rehabilitation Association (NH & RA)
- ♦ Member, Eastern & Western Lenders Association (HUD Lenders)
- ♦ Member, New York State Association For Affordable Housing (NYSFAFH)

Licenses and Designations

- ♦ Designated member, Appraisal Institute (MAI)
- ♦ Certified general real property appraiser, states of Arizona, Connecticut, Maryland, Massachusetts, New Jersey, New York, North Carolina, Pennsylvania, South Carolina, Vermont, and Virginia.
- ♦ Approved Market Analyst by New York State HCR and ADOH (Arizona Department of Housing)
- ♦ HUD MAP appraisal and market analysis

Education

Mr. Allen earned his Bachelor of Arts degree in materials and logistics management from Michigan State University's College of Business in 1986. Mr. Allen is currently certified by the Appraisal Institute's voluntary program of continuing education for its designated members, and has been an approved instructor for the HUD MAP Underwriting Training Program since 2013.

UNIQUE ID NUMBER

46000004454

State of New York
Department of State

DIVISION OF LICENSING SERVICES

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Control
No. **1520600**

PURSUANT TO THE PROVISIONS OF ARTICLE 6E OF THE
EXECUTIVE LAW AS IT RELATES TO R. E. APPRAISERS.

EFFECTIVE DATE

MO.	DAY	YR.
11	26	19

ALLEN M SCOTT
C/O NEWMARK KNIGHT AND FRANK
2410 NORTH FOREST RD
SUITE 204
AMHERST, NY 14068

EXPIRATION DATE

MO.	DAY	YR.
11	25	21

HAS BEEN DULY CERTIFIED TO TRANSACT BUSINESS AS A
R. E. GENERAL APPRAISER

In Witness Whereof, The Department of State has caused
its official seal to be hereunto affixed.

ROSSANA ROSADO
SECRETARY OF STATE

DAVID M. CARLON
Senior Vice President



Newmark Knight Frank

2410 North Forest Road
Suite 204

Amherst, NY 14228
dave.carlon@ngkf.com
T 716.864.8576

Years of Experience

26 Years
Valuation & Advisory

- Market Analysis

Areas of Specialization

- Commercial
- Mixed Use
- Multifamily
- Land

Professional Background

David Carlon joined Newmark Knight Frank Valuation & Advisory in 2019 as a senior vice president in the Buffalo office, where he focuses on market analysis and appraisal work related to multifamily and residential housing. A 26-year industry veteran, Mr. Carlon has prepared valuations and market analyses across a broad range of property types that includes residential housing, commercial property, low-income housing projects, apartments, student apartments, historic preservation projects, senior housing projects, assisted living/nursing homes and vacant land.

Over the course of his career, Mr. Carlon has focused on producing quality market analyses and appraisal work in a timely manner for mortgage lenders, corporations, non-profits, tax credit syndicators, private developers/investors and government entities including Rural Development and Fannie Mae/Freddie Mac. He also has experience with feasibility studies, rent studies and litigation support regarding tax assessment work.

Prior to joining Newmark Knight Frank, Mr. Carlon was an appraiser at GAR Associates, a commercial real estate and advisory firm established in 1961. He began his career as a certified general appraiser.

Licenses and Designations

- Certified general real property appraiser, state of New York

Education

Mr. Carlon earned his Bachelor of Science degree in accounting and finance from the University of New Haven and has completed additional real estate finance, brokerage and appraisal coursework through certified online learning websites.

UNIQUE ID NUMBER
46000045365

State of New York
Department of State

DIVISION OF LICENSING SERVICES

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No.

115938

PURSUANT TO THE PROVISIONS OF ARTICLE 6E OF THE
EXECUTIVE LAW AS IT RELATES TO R. E. APPRAISERS.

EFFECTIVE DATE

MO.	DAY	YR.
06	20	19

┌ CARLON DAVID M
C/O GAR ASSOCIATES INC
2399 SWEETHOME RD
AMHERST, NY 14228

EXPIRATION DATE

MO.	DAY	YR.
06	19	21

HAS BEEN DULY CERTIFIED TO TRANSACT BUSINESS AS A
R. E. GENERAL APPRAISER

In Witness Whereof, The Department of State has caused
its official seal to be herunto affixed.

ROSSANA ROSADO
SECRETARY OF STATE

JOSEPH D. SIEVERT

Senior Appraiser



Newmark Knight Frank
2410 North Forest Road,
Suite 204
Amherst, NY 14228
joe.sievert@ngkf.com
T 716.628.6667

Years of Experience

8 Years

Areas of Specialization

- Valuation & Advisory
- Market Analysis
- Residential Housing
- Commercial
- Mixed Use
- Multifamily
- Historic Preservation
- Land

Professional Background

Joseph Sievert joined Newmark Knight Frank Valuation & Advisory in 2019 as a senior appraiser in the Buffalo office. Mr. Sievert has prepared valuations and market analyses across a wide range of property types including residential housing, low-income housing projects, apartments, student apartments, historic preservation projects, senior housing projects, commercial property and vacant land.

Over the course of his career, Mr. Sievert has focused on producing quality market analyses and appraisal work in a timely manner for mortgage lenders, corporations, non-profits, tax credit syndicators, private developers/investors, and government entities including Fannie Mae/Freddie Mac, HUD and Rural Development. Mr. Sievert has prepared various consulting reports for municipalities related to downtown revitalizations, planned unit developments, smart growth approaches and solutions for vacant property revitalization.

Mr. Sievert started his career in the appraisal field in 2011 and focuses his work efforts on market analysis and appraisal work related to multifamily and residential housing. Prior to joining Newmark Knight Frank, Mr. Sievert was an Analyst at GAR Associates, a commercial real estate and advisory firm established in 1961.

Licenses and Designations

- Appraiser Trainee in New York State

Education

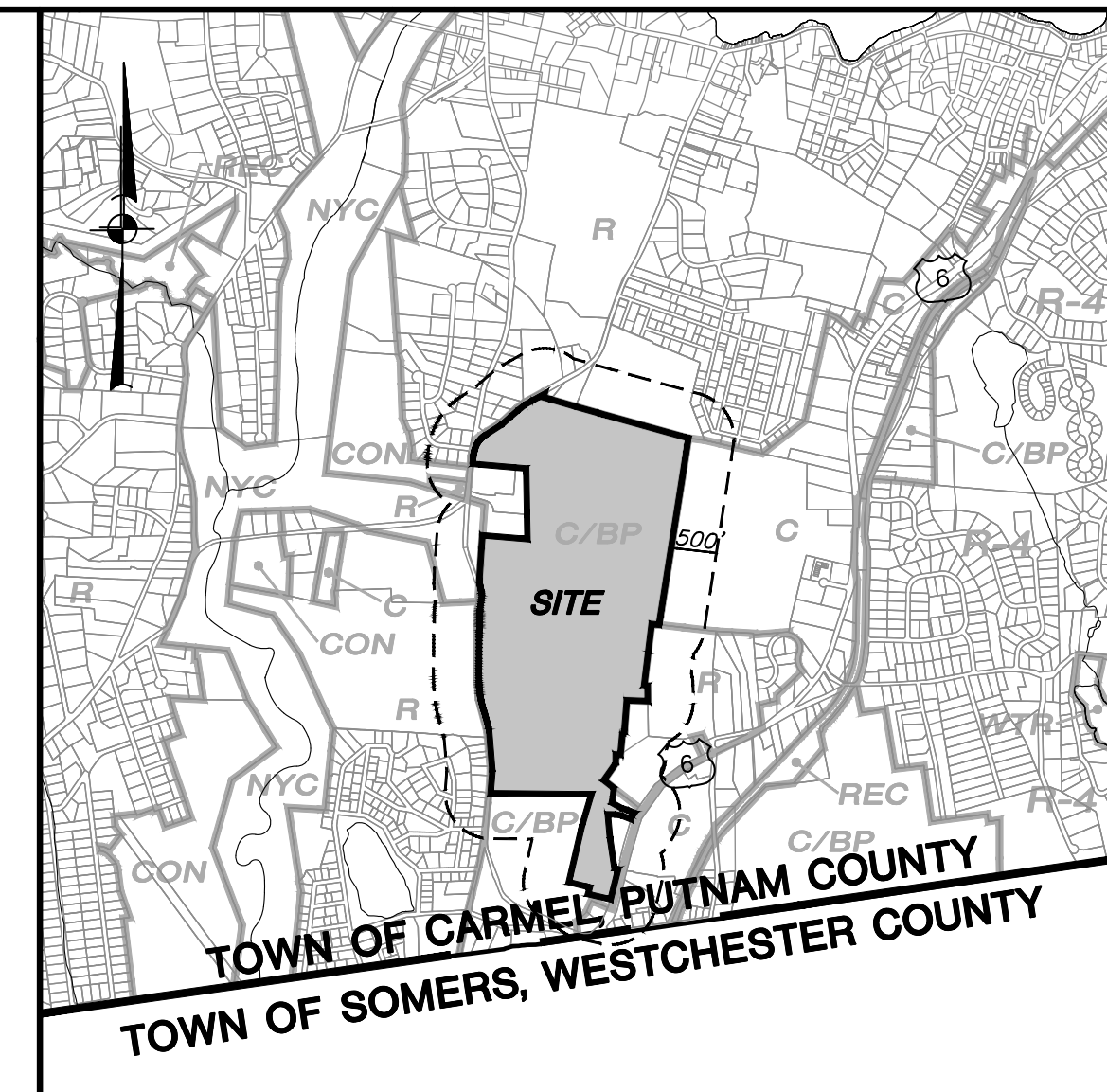
Mr. Sievert earned his Bachelor of Arts degree in Environmental Studies Public Policy from Hobart College in 2005 and later earned his Master's Degree in Regional and Urban Planning at the State University of New York at Buffalo in 2012.

SITE PLAN DRAWING LIST		
DRAWING NO.	DRAWING NAME	SHEET NO.
OP-1	OVERALL SITE PLAN	1
EX-1.1	EXISTING CONDITIONS PLAN	2
EX-1.2	EXISTING CONDITIONS PLAN	3
SP-1.1	LAYOUT & LANDSCAPE PLAN	4
SP-1.2	LAYOUT & LANDSCAPE PLAN	5
SP-2.1	GRADING & UTILITIES PLAN	6
SP-2.2	GRADING & UTILITIES PLAN	7
SP-3.1	EROSION & SEDIMENT CONTROL PLAN	8
SP-3.2	EROSION & SEDIMENT CONTROL PLAN	9
D-1	SITE DETAILS	10
D-2	STORMWATER DETAILS	11
D-3	STORMWATER DETAILS	12
D-4	EROSION & SEDIMENT CONTROL DETAILS	13

500' ADJOINERS:

TOWN OF CARMEL:

- | | | |
|---|-------------------------------------|--------------------------------------|
| 1. Julie McKoon | 63. NYS Elec & Gas Corp | 128. Vincent Nicolosi |
| 2. Marilyn A Gordon | 64. Town Of Carmel | 129. Jacqueline Casano |
| 3. John Santolite | 65. Giovanni Mirabile | 130. Marlin Edwards |
| 4. Sarah Siano | 66. Ronald C. Lino | 131. Peter A. Lovato |
| 5. Barbara Horree | 67. Topical Realty Corp. | 132. Avanzona Realty Group LLC |
| 6. Syle Bertha | 68. Richard Hotochis | 133. Lisa McBride |
| 7. Mark Kaden | 69. Jeanette M. Saccovino | 134. John S. Budge Jr |
| 8. Gerard McIntyre | 70. Jonathan Hallett | 135. Patricia Sullivan |
| 9. Patricia A. Falciano | 71. Sam Ferris | 136. Roger Wendling |
| 10. Pietro Pensabene | 72. Nicholas Capogna | 137. Gregory Cantone |
| 11. Caterina Garcia | 73. Patricia Parola | 138. Christopher P. Gour |
| 12. Karina A. McDonnell | 74. Patricia A. Fabbie | 139. Amelio D. |
| 13. Julie Rotta | 75. Joseph Grace | 140. Catherine Casella |
| 14. John Lody | 76. Martin Grottaglio | 141. Emily Giannattasio |
| 15. Rosemary Anderson | 77. Stephen A. Lyons | 142. Jeremy Vetrano |
| 16. Morgan Rahner | 78. Rita Gentile | 143. Anthony A. Conacchio |
| 17. Lina Mandrucciolo | 79. Laura Longo | 144. Tom Magnata |
| 18. Brian Duffy | 80. Red Mills Baptist Church | 145. Domenico Pagasodoro |
| 19. Richard E. Eliseo Mills | 81. County of Putnam | 146. Anna Maria D'Agnesse |
| 20. Michael A. Sansaverino | 82. Gary Rusznick | 147. Gregory Cantone |
| 21. Caterina Garcia | 83. Town of Carmel | 148. Theodore Finney |
| 22. Lynn Glassman | 84. Nicholas Liso | 149. Carolyn Buckingham |
| 23. Iker Krasnjak | 85. Ann Fanizzi | 150. Hilary Albert |
| 24. Donna Ronald | 86. Edward L. Carozza | 151. Hugo Tassone |
| 25. Mary Tompkins | 87. Fred Safarovic | 152. Krystal Sabot-Krajewski |
| 26. David Camhi | 88. Gajko Milevic | 153. Michael Russo |
| 27. Lee A. Mizazzo | 89. Denise Kumrow | 154. Denise Kumrow |
| 28. John Lynch | 90. Daniel Rivera | 155. John J. Jozoszewski |
| 29. Richard Mills | 91. Jennifer Vega | 156. Frank Varricchio |
| 30. Town Of Carmel | 92. Frank Maloney | 157. Pagan Ewelj |
| 31. Baldwin Park LLC | 93. Roseann Schwartz | 158. Joseph Caporretto Irrev Trust |
| 32. Jeanette M. Saccovino | 94. Richard Wiegand | 159. Gregory L. Naranca |
| 33. John Esposito | 95. Catherine Memmi-Paternò | 160. Daryo Huppert |
| 34. Kara Petersen | 96. Bernard Creations Ltd | 161. Antoinette C. Leone |
| 35. Yulough W. Segrove | 97. Main Society Hill | 162. Nicolette Castaldo Family Trust |
| 36. County Of Putnam | 98. Yvonne Rustico | 163. Thomas Nieves |
| 37. Kathleen Schick | 99. Jacqueline Reinger Morehouse | 164. Sami Nassar |
| 38. Thomas Kennedy | 100. John Chen | 165. Robert J. Titus Jr |
| 39. Antonio V. Restivo 2015 Irrev Trust | 101. Gina Noto | 166. Gerard Holinski |
| 40. John Posimato | 102. Philip DiNapoli | 167. Donna Rocco |
| 41. DCS Associates LLC | 103. Angelo Mantavan | 168. Virginia M. Pazienza |
| 42. Salvatore Barbato | 104. Ann Fanizzi | 169. Rui DaCosta |
| 43. Blasius Wurlbaum | 105. Janet Hall | 170. Pasquale DeIacchio |
| 44. Kevin J. McCarvey | 106. Ann Patricia | 171. William P. Siburn |
| 45. Senior Housing at Mahopac Hill | 107. Timothy C. W. Chang as Trustee | 172. Rhonda C. Becker |
| 46. Town of Carmel | 108. John Ramhorst | 173. Albert B. Bernauer |
| 47. Steven M. DiMatore | 109. Nicholas Tuzara | 174. Stanley H. Jacobs |
| 48. Deborah Fleming | 110. Timothy Mallon | 175. Sharath Babu |
| 49. Catherine F. O'Brien | 111. Jill Saricca | 176. Susan Evangelista |
| 50. Ann Maleno | 112. Dustin Wiegand | 177. Salvatore Malozzi |
| 51. Michelle Mally | 113. John Roche | 178. John D. Barker |
| 52. Roger D. Arnold | 114. John Roche | 179. Carol DeGuidice |
| 53. Rena Kiederer | 115. Ann Maleno | 180. City of New York |
| 54. Patricia E. Schneider | 116. Britta Forstner | 181. City of New York |
| 55. Peter Halaga | 117. Sandra L. Sarna | 182. City of New York |
| 56. Michele Licari | 118. Roberto Clementi | 183. City of New York |
| 57. Edna Seel | 119. Doreen A. Edwards | 184. Jeanette M. Saccovino |
| 58. Antonio Restivo | 120. Richard M. Scherpf | 185. Eileen Caporini |
| 59. Catherine Rossano | 121. Emily R. Giannattasio | 186. Baldwin Hills Realty LLC |
| 60. Robert Rigio | 122. Vincent Papanastoro | 187. Meadowcrest Holding |
| 61. County of Putnam | 123. Gregory W. Weiss | 188. Jeannette Martimucci |
| 62. Sam Ferris | 124. Khalil Naziri | 189. Richard Dudyryn Contracting |
| | 125. Melissa Fioranza | 190. City of New York |
| | 126. Divran Hononjian | |
| | 127. Steven Franklin | |



LOCATION MAP SCALE: 1" = 2,000'

OWNER:
Baldwin Hills Realty LLC
1699 Route 6 Suite 1
Carmel NY 10512

APPLICANT:
Search For Change, Inc.
115 East Stevens Avenue, Suite 203
Valhalla, NY 10595

SITE DATA:
Tax Map No.: 86.6-1-4
Zone: C/BP - Commerce/Business Park
Total Acreage: 161.9 Ac.±

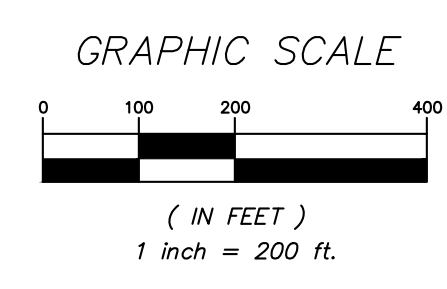
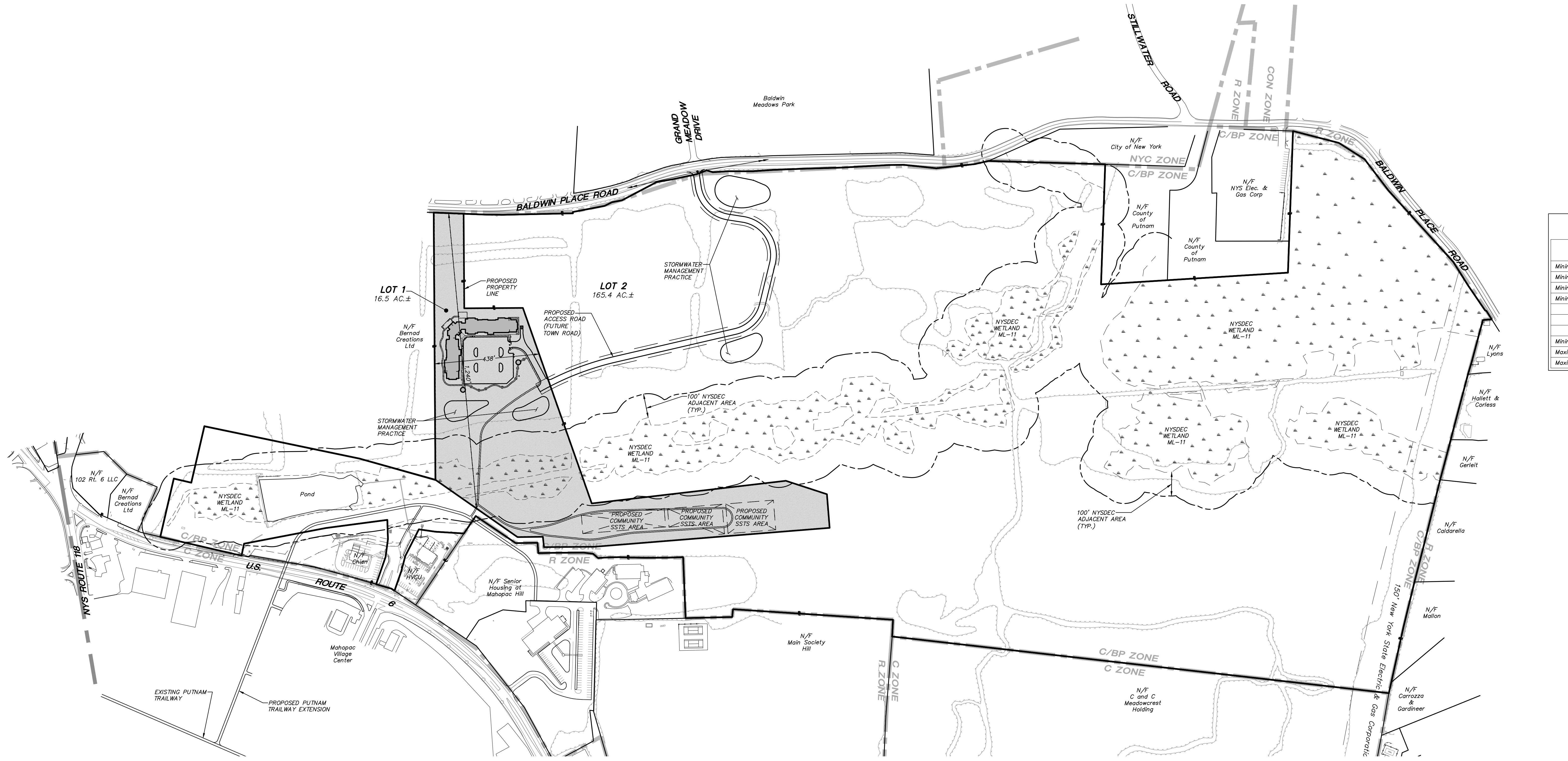
- GENERAL NOTES:**
- Property line boundary, topography, and existing features shown hereon taken from surveys prepared by Insite Engineering, Surveying & Landscape Architecture, P.C. and Terry Bergendorff Collins L.S.
 - All proposed utilities shall be installed underground.
 - Per New York State Law, the contractor shall call the Underground Facilities Protective Organization (UFPPO) at 1-800-962-7962 or 811 two (2) full days prior to performing any excavation work.
 - Existing building and parking shown within 100' east of U.S. Route 6 has been digitized from NYS GIS ortho photography dated 2007.
 - Existing drainage structure locations along Baldwin Place Road north of Grand Meadow Drive are approximate and were visually located by Insite Engineering, Surveying & Landscape Architecture, P.C. on July 27, 2010.
 - Wetlands shown hereon were flagged by Tim Miller Associates.

LEGEND

	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	EXISTING ZONING DISTRICT BOUNDARY
	EXISTING TREE LINE
	EXISTING WETLAND LINE AND SYMBOL
	EXISTING WETLAND BUFFER
	PROPOSED CONCRETE CURB

C/BP ZONE REQUIREMENTS:

	REQUIRED/ PERMITTED:	PROPOSED:	
		LOT 1	LOT 2
Minimum Lot Area:	3 Acres	16.5 AC.±	165.4 AC.±
Minimum Lot Width:	200'	438'	2,119'
Minimum Lot Depth:	200'	1,240'	2,203'
Minimum Yard Setbacks:			
Front:	50'	452'	N/A
Side:	40'	41'	N/A
Rear:	40'	423'	N/A
Minimum Building Floor Area:	5,000 SF	72,410 SF	N/A
Maximum Building Coverage:	40%	3.5%	N/A
Maximum Building Height:	40'	38.6'	N/A



NO.	DATE	REVISION	REVISOR	COMMENTS	BY
1	1-14-21			REVISED PER PLANNING BOARD COMMENTS	ERA

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.
3 Garrett Place
Carmel, NY 10512
(845) 225-9690
(845) 225-9717 fax
www.insite-eng.com

PROJECT:
FAIRHAVEN AT BALDWIN PLACE
BALDWIN PLACE RD, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

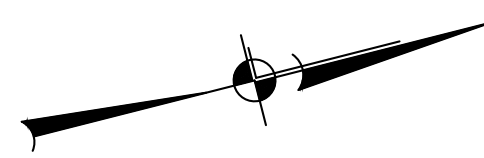
DRAWING:
OVERALL SITE PLAN

PROJECT NUMBER: 20100.100
DATE: 12-2-20
SCALE: 1" = 200'

PROJECT MANAGER: J.J.C.
DRAWN BY: M.E.U.
CHECKED BY: A.D.T.

DRAWING NO.: OP-1
SHEET: 1 / 13

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GRAND MEADOW DRIVE

BALDWIN PLACE ROAD (COUNTY ROAD 77)



N/F Bernad Creations Ltd

LEGEND

	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	EXISTING STONE WALL
	EXISTING BRUSH LINE
	EXISTING TREE LINE
	EXISTING WETLAND LINE AND SYMBOL
	EXISTING WETLAND BUFFER
	EXISTING 10' CONTOUR
	EXISTING 2' CONTOUR
	EXISTING SPOT GRADE

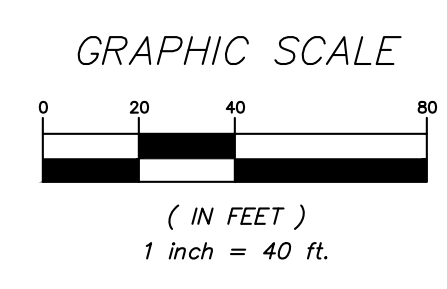
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(845) 225-9717 fax
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PROJECT: **FAIRHAVEN AT BALDWIN PLACE**
BALDWIN PLACE RD, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

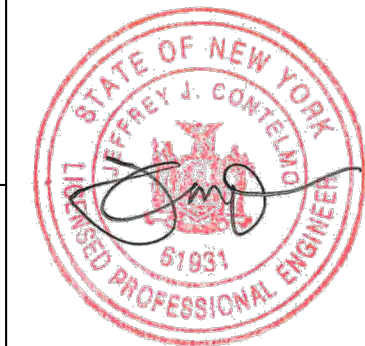
DRAWING: **EXISTING CONDITIONS PLAN**

PROJECT NUMBER	20100.100	PROJECT MANAGER	J.J.C.	DRAWING NO.	SHEET
DATE	12-2-20	DRAWN BY	M.E.U.	EX-1.1	2
SCALE	1" = 40'	CHECKED BY	A.D.T.		13



MATCH LINE

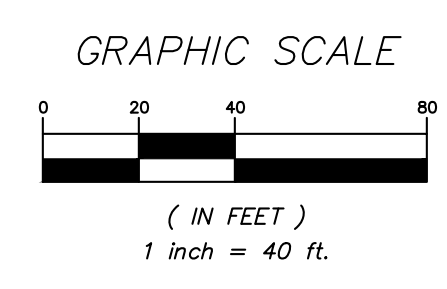
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LEGEND

	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	EXISTING STONE WALL
	EXISTING BRUSH LINE
	EXISTING TREE LINE
	EXISTING WETLAND LINE AND SYMBOL
	EXISTING WETLAND BUFFER
	EXISTING 10' CONTOUR
	EXISTING 2' CONTOUR
	EXISTING SPOT GRADE



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PROJECT: **FAIRHAVEN AT BALDWIN PLACE**
BALDWIN PLACE RD, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

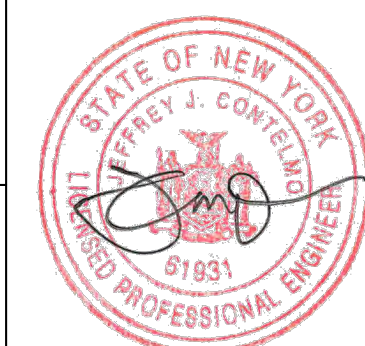
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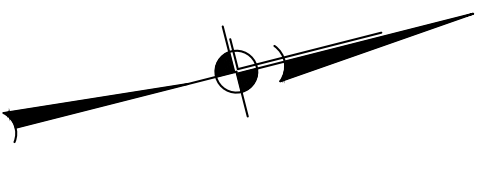
PROJECT NUMBER: 20100.100 PROJECT MANAGER: J.J.C. DRAWING NO.: EX-1.2 SHEET: 3

DATE: 12-2-20 DRAWN BY: M.E.U. BY: A.D.T. CHECKED BY: A.D.T.

SCALE: 1" = 40'

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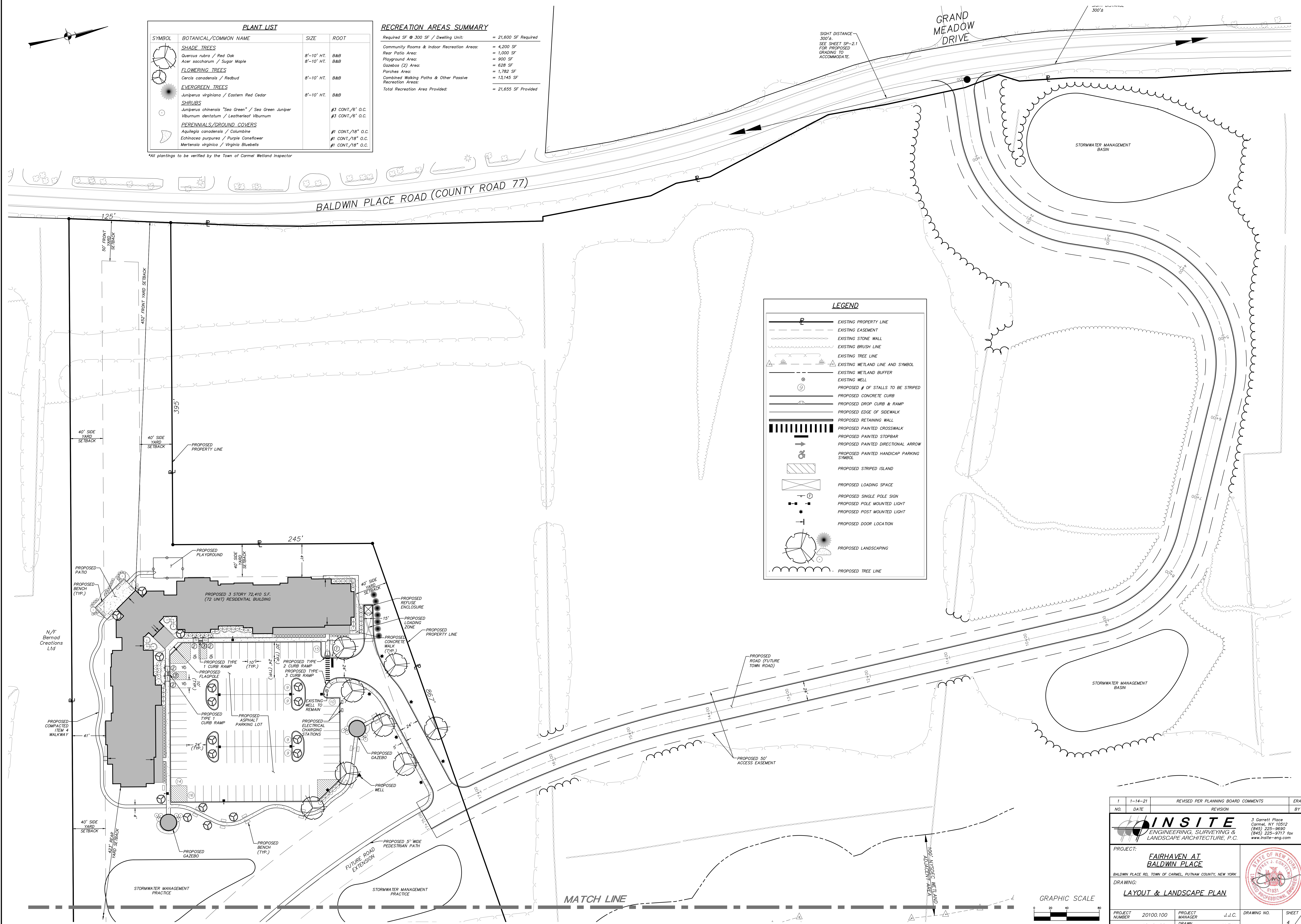




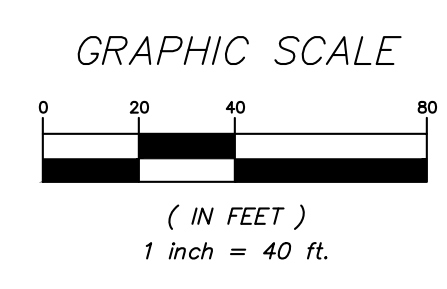
PLANT LIST			
SYMBOL	BOTANICAL/Common Name	SIZE	ROOT
	SHADE TREES		
	<i>Quercus rubra</i> / Red Oak	8'-10' HT.	B&B
	<i>Acer saccharum</i> / Sugar Maple	8'-10' HT.	B&B
	FLOWERING TREES		
	<i>Cercis canadensis</i> / Redbud	8'-10' HT.	B&B
	EVERGREEN TREES		
	<i>Juniperus virginiana</i> / Eastern Red Cedar	8'-10' HT.	B&B
	SHRUBS		
	<i>Juniperus chinensis</i> "Sea Green" / Sea Green Juniper	#3 CONT./6" O.C.	
	<i>Viburnum dentatum</i> / Leatherleaf Viburnum	#3 CONT./6" O.C.	
	PERENNIALS/GROUND COVERS		
	<i>Aquilegia canadensis</i> / Columbine	#1 CONT./18" O.C.	
	<i>Echinacea purpurea</i> / Purple Coneflower	#1 CONT./18" O.C.	
	<i>Mertensia virginica</i> / Virginia Bluebells	#1 CONT./18" O.C.	

*All plantings to be verified by the Town of Carmel Wetland Inspector

RECREATION AREAS SUMMARY	
Required SF @ 300 SF / Dwelling Unit:	= 21,600 SF Required
Community Rooms & Indoor Recreation Areas:	= 4,200 SF
Rear Patio Area:	= 1,000 SF
Playground Area:	= 900 SF
Gazebos (2) Area:	= 628 SF
Porches Area:	= 1,782 SF
Combined Walking Paths & Other Passive Recreation Areas:	= 13,145 SF
Total Recreation Area Provided:	= 21,655 SF Provided



LEGEND	
	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	EXISTING STONE WALL
	EXISTING BRUSH LINE
	EXISTING TREE LINE
	EXISTING WETLAND LINE AND SYMBOL
	EXISTING WETLAND BUFFER
	EXISTING WELL
	PROPOSED # OF STALLS TO BE STRIPED
	PROPOSED CONCRETE CURB
	PROPOSED DROP CURB & RAMP
	PROPOSED EDGE OF SIDEWALK
	PROPOSED RETAINING WALL
	PROPOSED PAINTED CROSSWALK
	PROPOSED PAINTED STOPBAR
	PROPOSED PAINTED DIRECTIONAL ARROW
	PROPOSED PAINTED HANDICAP PARKING SYMBOL
	PROPOSED STRIPED ISLAND
	PROPOSED LOADING SPACE
	PROPOSED SINGLE POLE SIGN
	PROPOSED POLE MOUNTED LIGHT
	PROPOSED POST MOUNTED LIGHT
	PROPOSED DOOR LOCATION
	PROPOSED LANDSCAPING
	PROPOSED TREE LINE



NO.	DATE	REVISION	BY
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		3 Garrett Place Carmel, NY 12012 (845) 225-9690 (845) 225-9717 fax www.insite-eng.com	
PROJECT: FAIRHAVEN AT BALDWIN PLACE BALDWIN PLACE RD, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK			
DRAWING: LAYOUT & LANDSCAPE PLAN			
PROJECT NUMBER	20100.100	PROJECT MANAGER	J.J.C.
DATE	12-2-20	DRAWN BY	M.E.U.
SCALE	1" = 40'	CHECKED BY	A.D.T.
		DRAWING NO.	SP-1.1
		SHEET	13

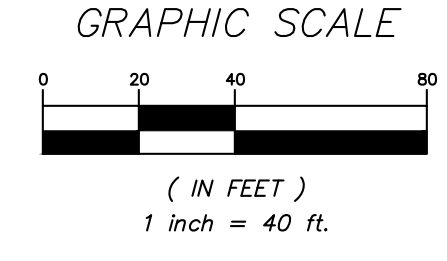
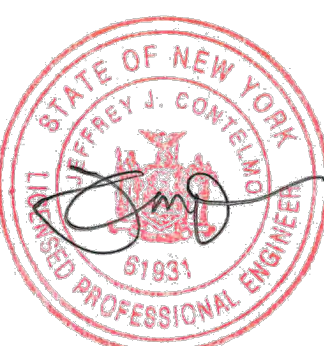
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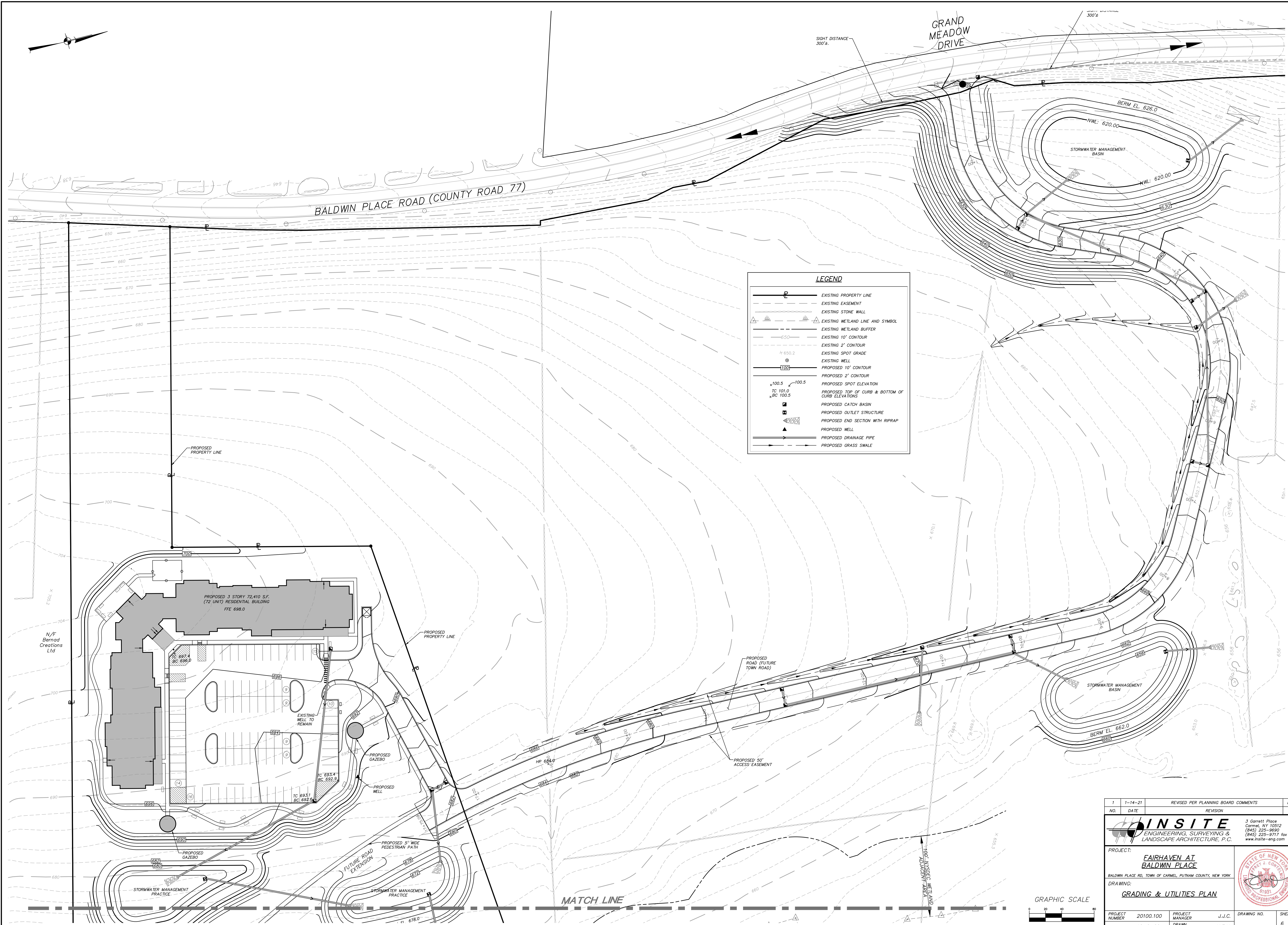
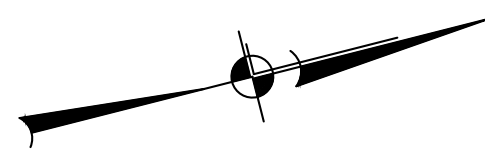
PROJECT: **FAIRHAVEN AT BALDWIN PLACE**
BALDWIN PLACE RD, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK
DRAWING: **LAYOUT & LANDSCAPE PLAN**



PROJECT NUMBER	20100.100	PROJECT MANAGER	J.J.C.	DRAWING NO.	SHEET
DATE	12-2-20	DRAWN BY	M.E.U.	SP-1.2	5
SCALE	1" = 40'	CHECKED BY	A.D.T.		13

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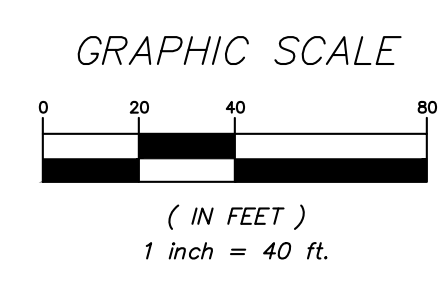
21/02/2025 Search for Design - Issues/Revisions/SP-1.2-2025 1/16/2025 14:33:17M, page 13



LEGEND

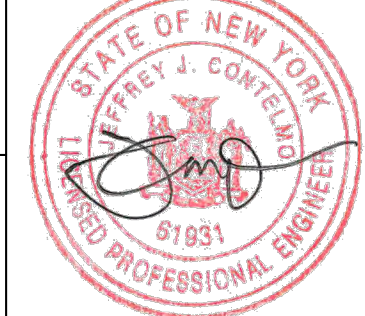
	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	EXISTING STONE WALL
	EXISTING WETLAND LINE AND SYMBOL
	EXISTING WETLAND BUFFER
	EXISTING 10' CONTOUR
	EXISTING 2' CONTOUR
	EXISTING SPOT GRADE
	EXISTING WELL
	PROPOSED 10' CONTOUR
	PROPOSED 2' CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED TOP OF CURB & BOTTOM OF CURB ELEVATIONS
	PROPOSED CATCH BASIN
	PROPOSED OUTLET STRUCTURE
	PROPOSED END SECTION WITH RIPRAP
	PROPOSED WELL
	PROPOSED DRAINAGE PIPE
	PROPOSED GRASS SWALE

1	1-14-21	REVISED PER PLANNING BOARD COMMENTS	ERA
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PROJECT: FAIRHAVEN AT BALDWIN PLACE			
BALDWIN PLACE RD, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK			
DRAWING: GRADING & UTILITIES PLAN			
PROJECT NUMBER	20100.100	PROJECT MANAGER	J.J.C.
DATE	12-2-20	DRAWN BY	M.E.U.
SCALE	1" = 40'	CHECKED BY	A.D.T.
DRAWING NO.			SHEET
SP-2.1			13



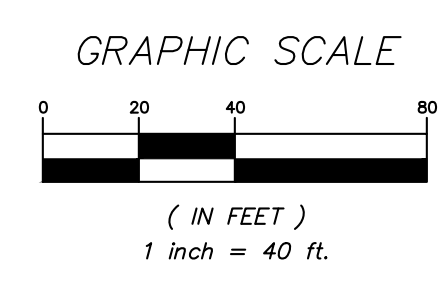
MATCH LINE

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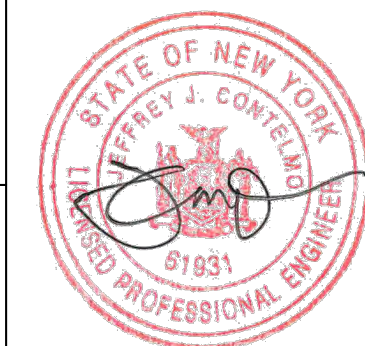


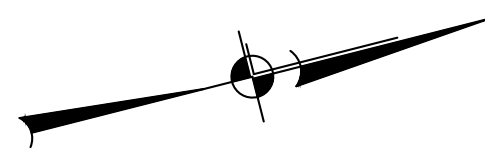
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NO.	DATE	REVISION	REVISOR	BY
1	1-14-21	REVISED PER PLANNING BOARD COMMENTS		ERA

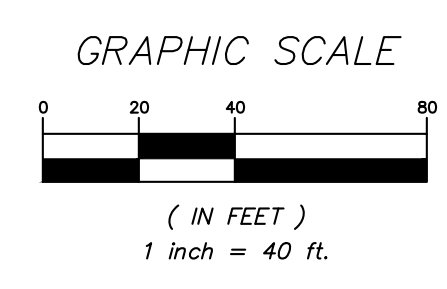
		3 Garrett Place Carmel, NY 10512 (845) 225-9690 (845) 225-9717 fax www.insite-eng.com	
PROJECT: FAIRHAVEN AT BALDWIN PLACE BALDWIN PLACE RD, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK			
DRAWING: GRADING & UTILITIES PLAN			
PROJECT NUMBER	20100.100	PROJECT MANAGER	J.J.C.
DATE	12-2-20	DRAWN BY	M.E.U.
SCALE	1" = 40'	CHECKED BY	A.D.T.
DRAWING NO.			SHEET
SP-2.2			7 / 13





LEGEND

	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	EXISTING STONE WALL
	EXISTING WETLAND LINE AND SYMBOL
	EXISTING WETLAND BUFFER
	EXISTING 10' CONTOUR
	EXISTING 2' CONTOUR
	EXISTING SPOT GRADE
	EXISTING WELL
	PROPOSED SILT FENCE
	PROPOSED END SECTION WITH RIPRAP
	PROPOSED LIMITS OF DISTURBANCE
	PROPOSED TEMPORARY DIVERSION SWALE
	PROPOSED TEMPORARY SOIL STOCKPILE
	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
	PROPOSED DRAINAGE STRUCTURE WITH INLET PROTECTION
	PROPOSED PHASING LINE
	PROPOSED PHASING NUMBER

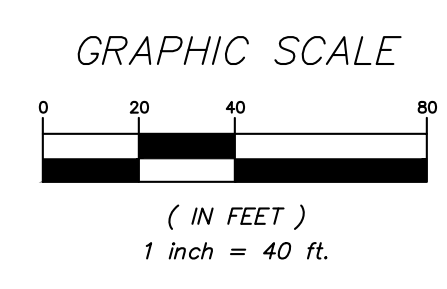


1	1-14-21	REVISED PER PLANNING BOARD COMMENTS	ERA
NO.	DATE	REVISION	BY
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PROJECT: FAIRHAVEN AT BALDWIN PLACE			
BALDWIN PLACE RD, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK			
DRAWING: EROSION & SEDIMENT CONTROL PLAN			
PROJECT NUMBER	20100.100	PROJECT MANAGER	J.J.C.
DATE	12-2-20	DRAWN BY	M.E.U.
SCALE	1" = 40'	CHECKED BY	A.D.T.
DRAWING NO. SP-3.1			SHEET 8 OF 13

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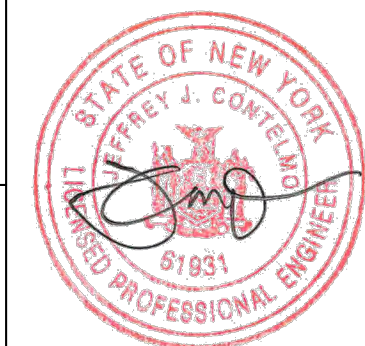


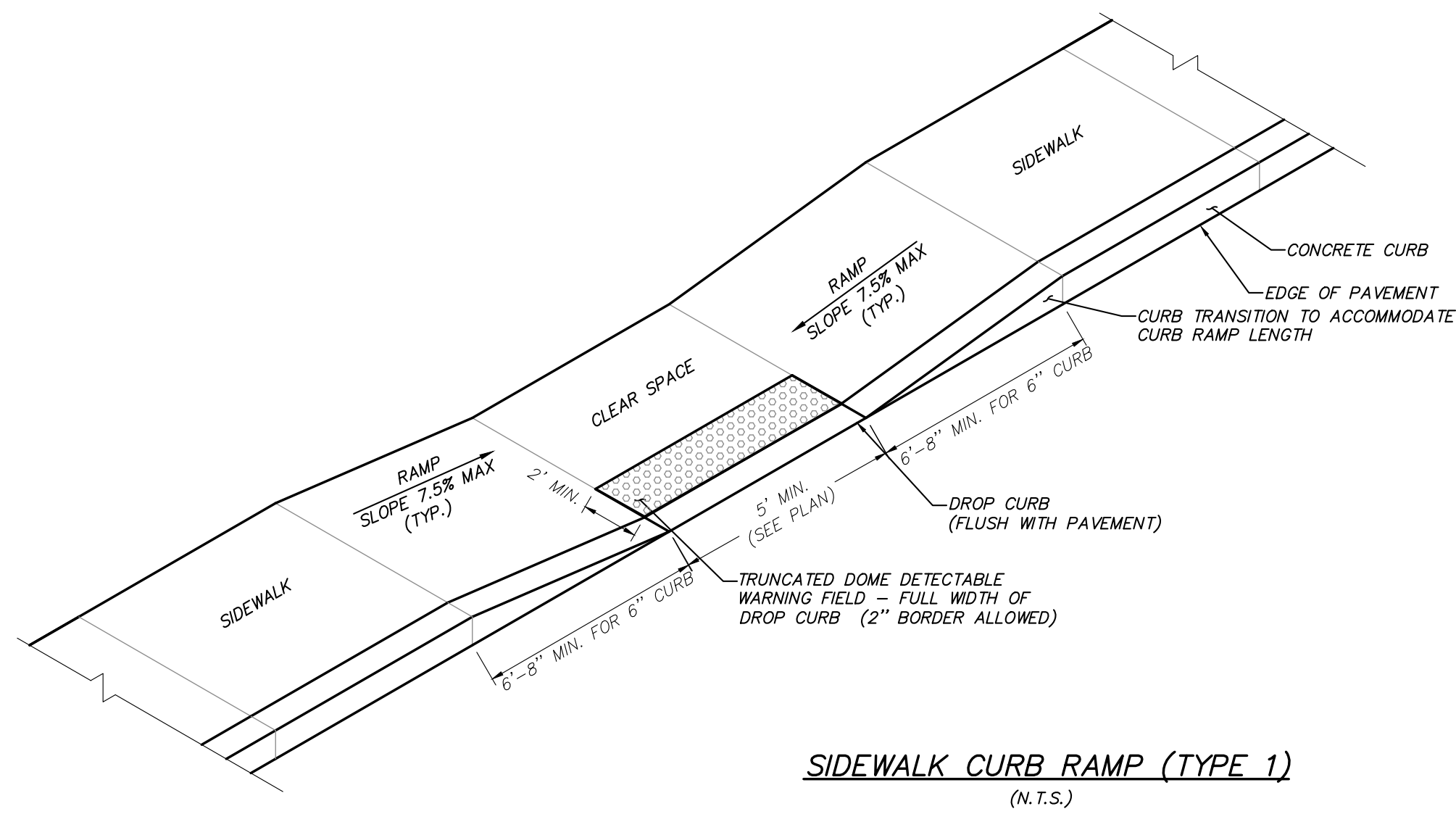
ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2209 OF ARTICLE 145 OF THE EDUCATION LAW.



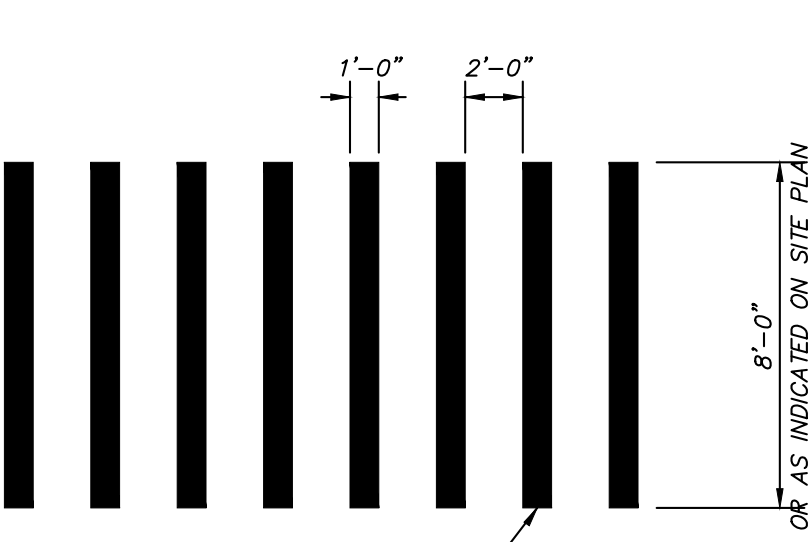
NO.	DATE	REVISION	REVISOR	BY
1	1-14-21	REVISED PER PLANNING BOARD COMMENTS		ERA

		3 Garrett Place Carmel, NY 12012 (845) 225-9690 (845) 225-9717 fax www.insite-eng.com	
PROJECT: FAIRHAVEN AT BALDWIN PLACE BALDWIN PLACE RD, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK			
DRAWING: EROSION & SEDIMENT CONTROL PLAN			
PROJECT NUMBER	20100.100	PROJECT MANAGER	J.J.C.
DATE	12-2-20	DRAWN BY	M.E.U.
SCALE	1" = 40'	CHECKED BY	A.D.T.
DRAWING NO.			SHEET
SP-3.2			9
			13

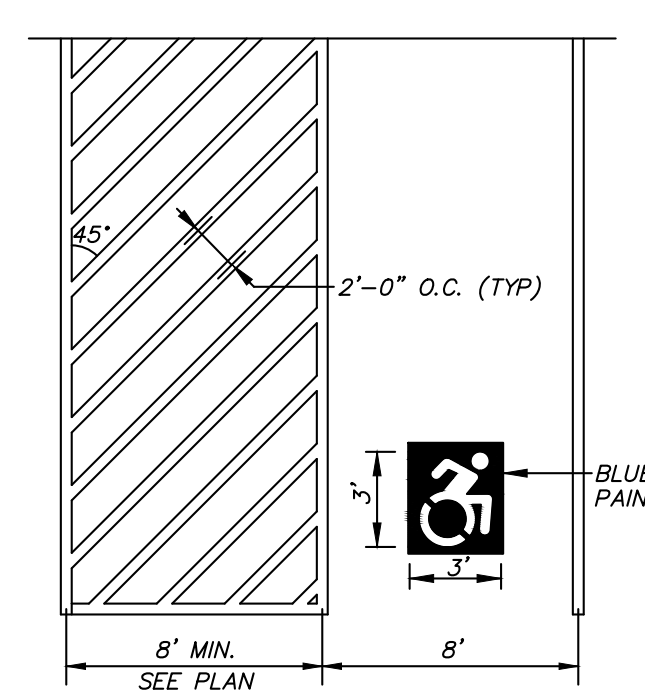




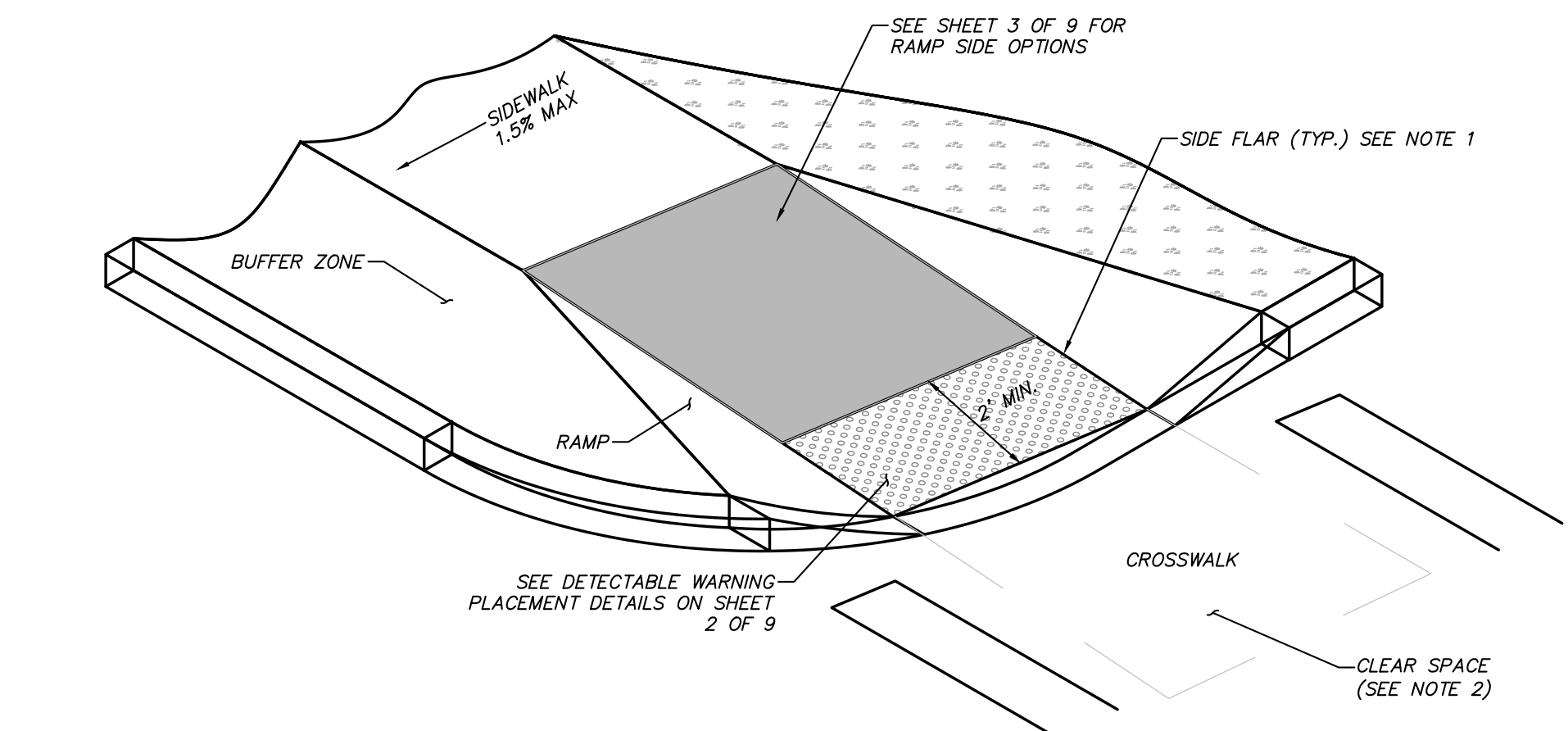
SIDEWALK CURB RAMP (TYPE 1)
(N.T.S.)



CROSSWALK MARKING DETAIL (TYPE 2)
(N.T.S.)

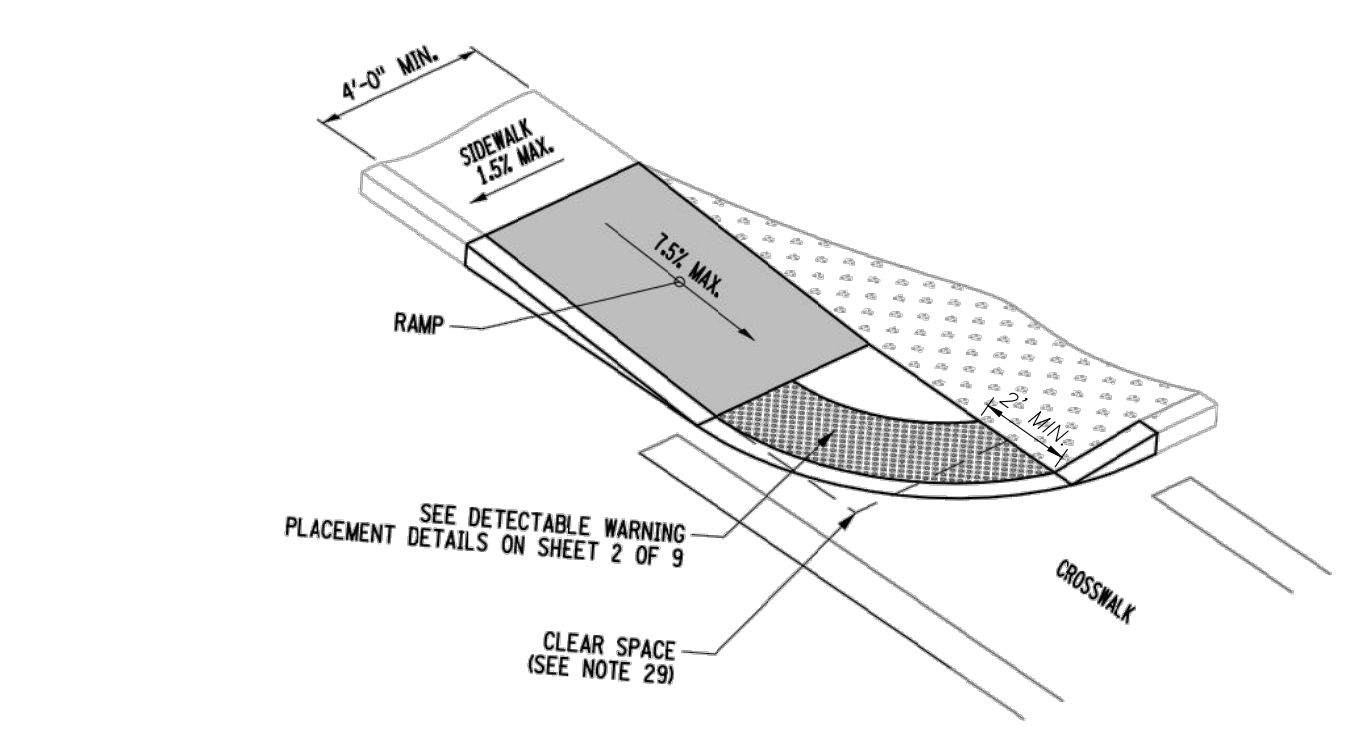


PAINTED NYS ACCESSIBLE PARKING DETAIL
(N.T.S.)

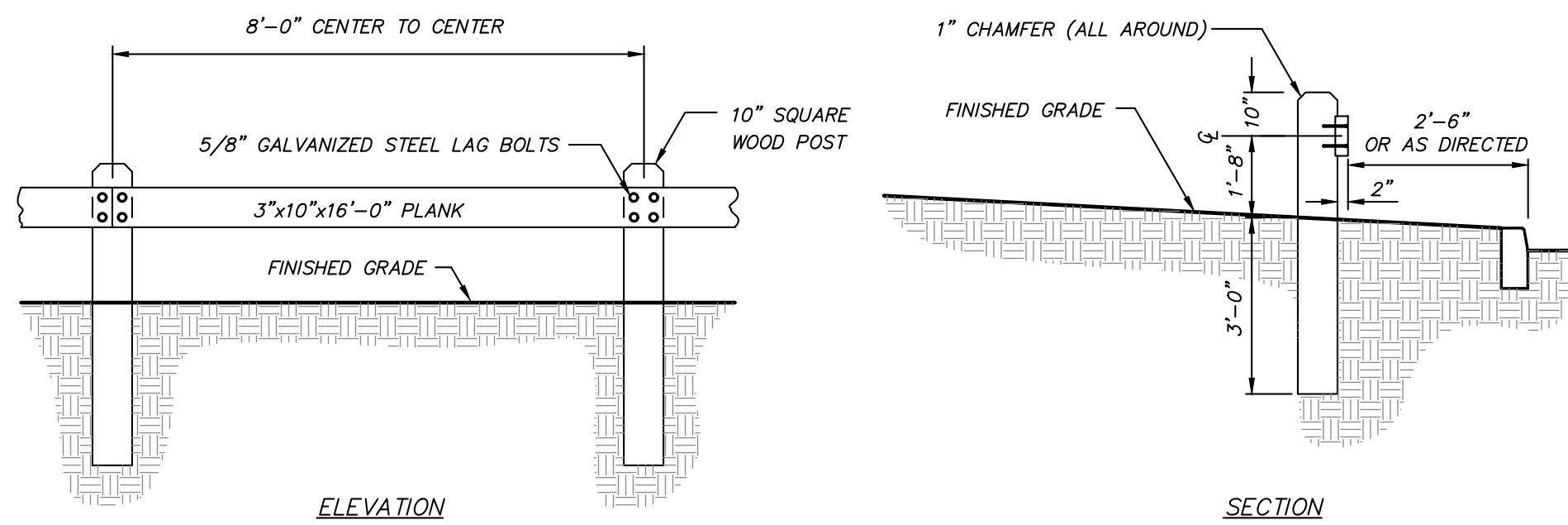


CURB RAMP CONFIGURATION: TYPE 2
(N.T.S.)

- NOTES:**
- RAMP SIDE OPTIONS ARE DETAILED ON SHEET 3 OF 9 FOR USE WITH THE BUFFER ZONE. WHERE A PEDESTRIAN CIRCULATION PATH CROSSES THE CURB RAMP, FLARED SIDES SHALL BE INSTALLED WITH A MAX. SLOPE OF 4:1 FOR DESIGN AND LAYOUT, AND 10% MAX. FOR WORK ACCEPTANCE. THE SLOPE OF FLARED SIDES IS MEASURED PARALLEL TO THE CURB LINE.
 - BEYOND THE BOTTOM GRADE BREAK, A CLEAR SPACE OF 4'-0" X 4'-0" MIN. SHALL BE PROVIDED WITH THE WIDTH OF PEDESTRIAN CROSSWALK, AND OUTSIDE THE PARALLEL VEHICLE TRAVEL LANE. THE CLEAR SPACE MAY OVERLAP TURNING SPACES, DETECTABLE WARNING SURFACES, AND DROP CURBS.



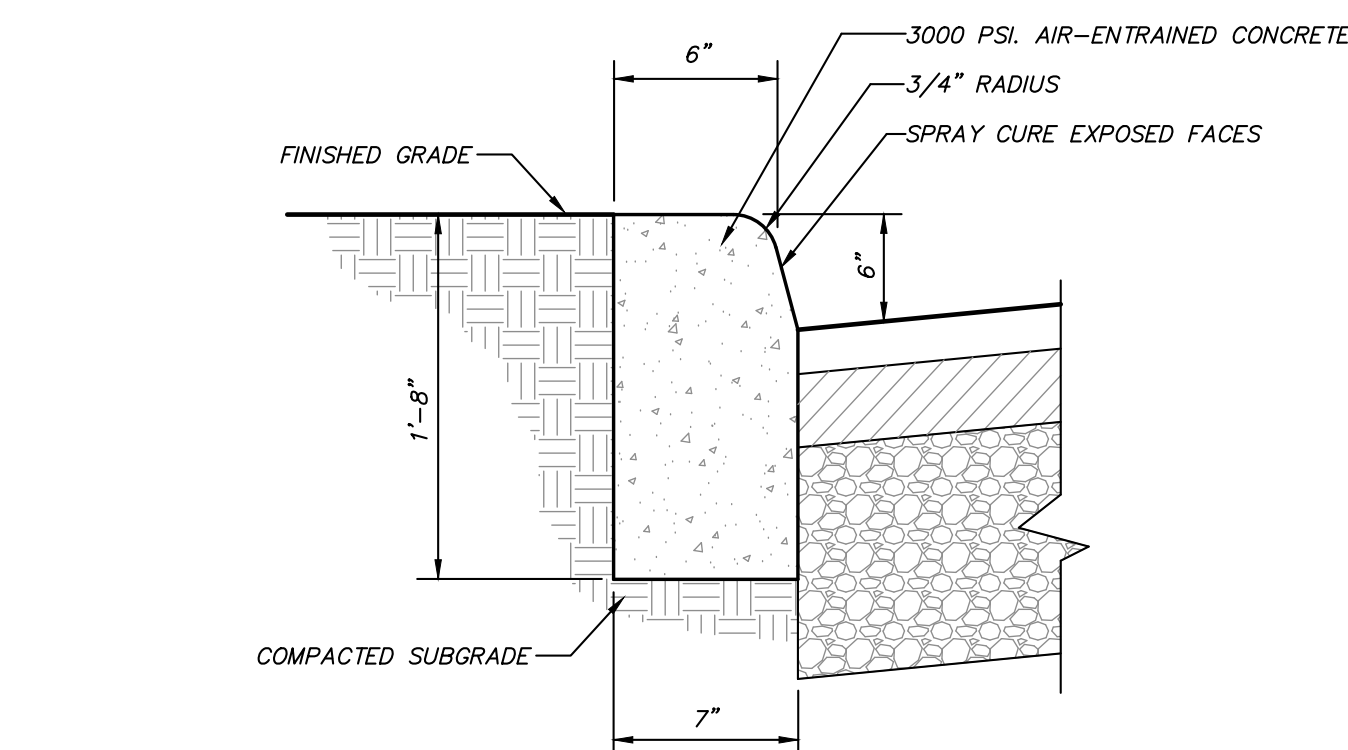
CURB RAMP DETAIL (TYPE 3)
(N.T.S.)



CONCRETE SIDEWALK DETAIL
(N.T.S.)

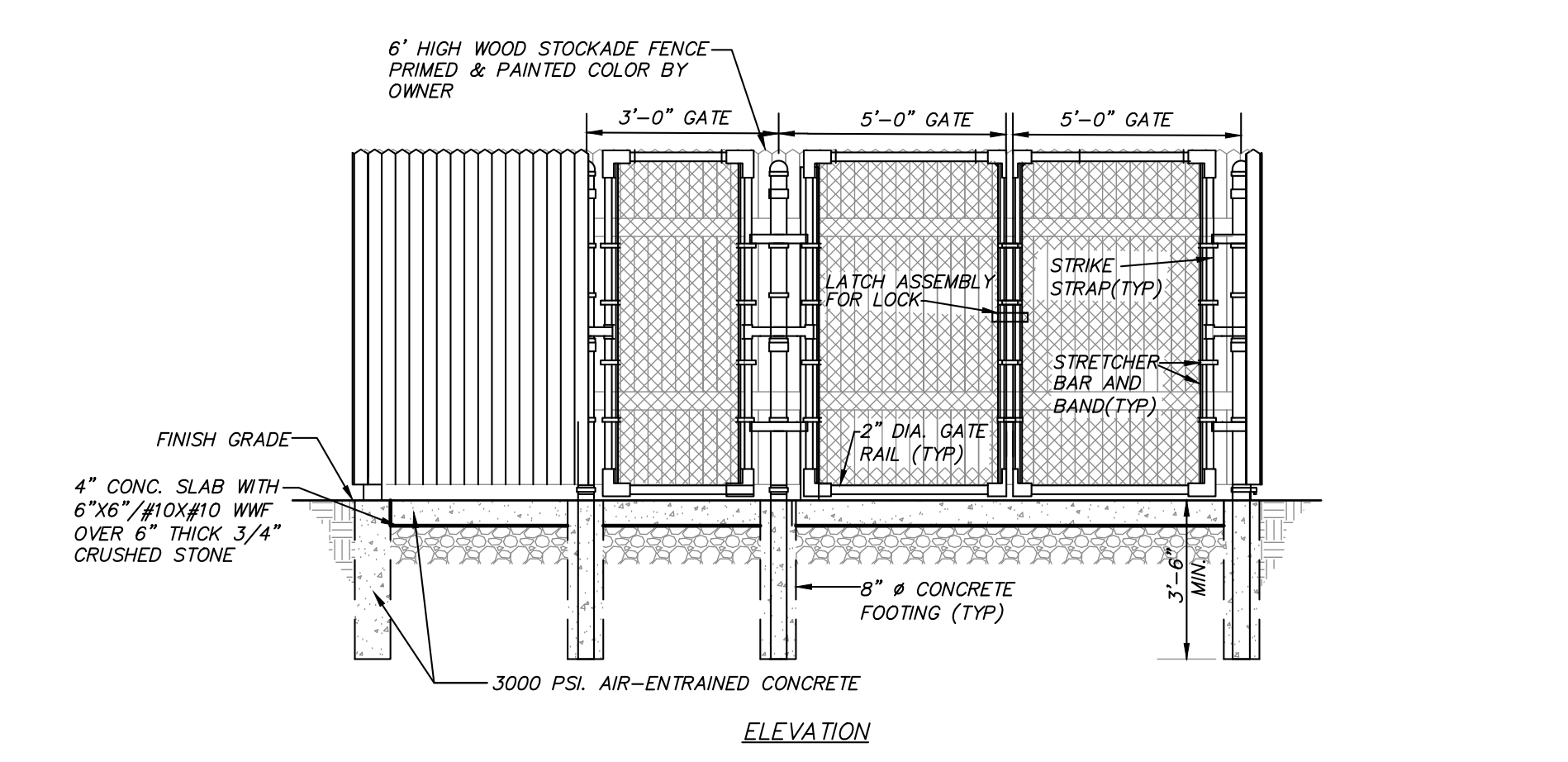
- NOTES:**
- ALL WOOD TO BE SEASONED NO.1 DOUGLAS FIR, SOUTHERN PINE OR OTHER APPROVED STRUCTURAL LUMBER.
 - ALL WOOD TO BE TREATED WITH AN APPROVED WOOD PRESERVATIVE SUITABLE FOR INSTALLATION IN AND ADJACENT TO GROUND SURFACES.
 - ALL WOOD GUIDE RAIL TO MEET THE CRITERIA DEFINED IN § 128 OF THE TOWN OF CARMEL CODE.

WOOD GUIDE RAIL DETAIL
(N.T.S.)



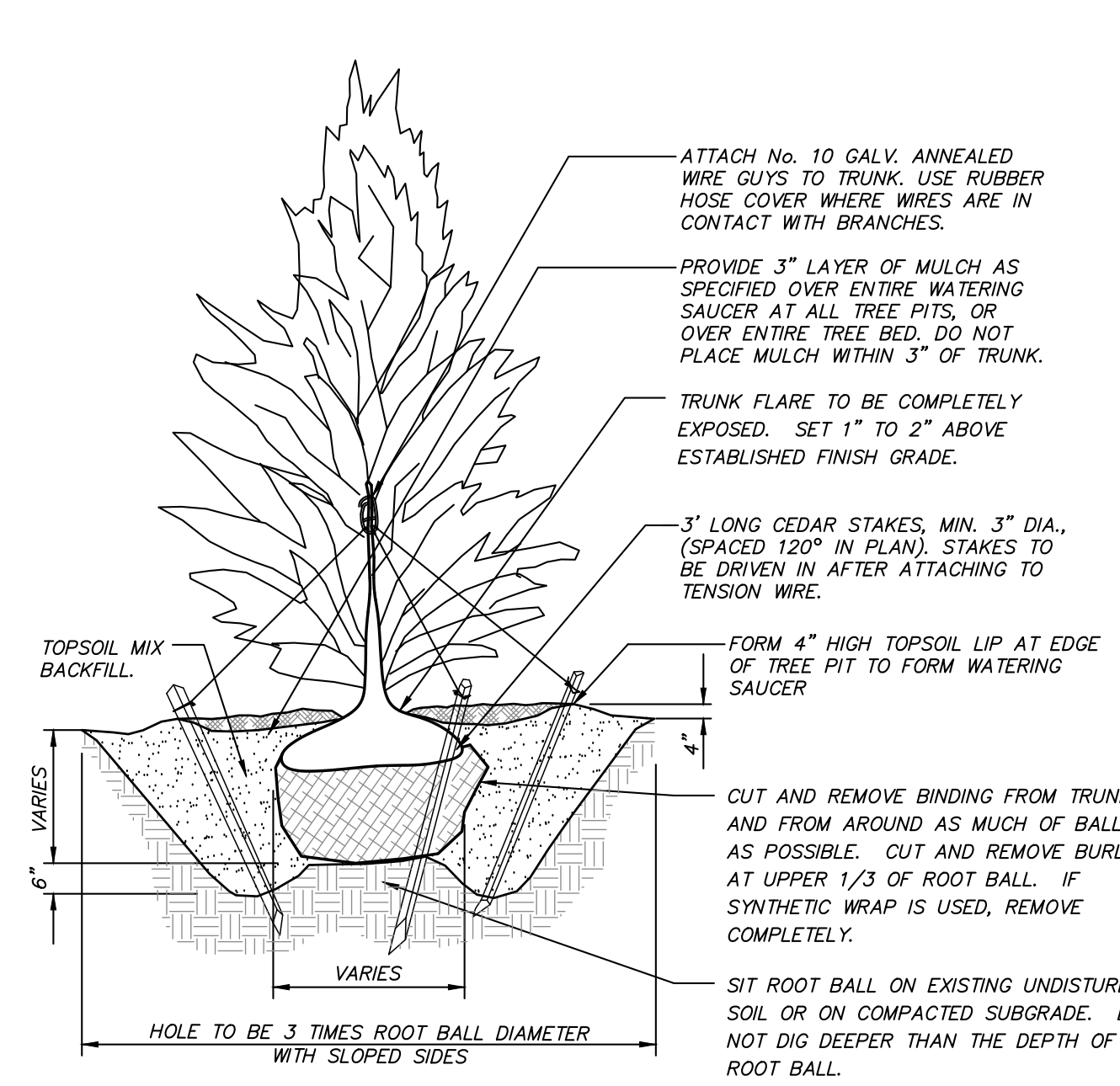
CONCRETE CURB DETAIL
OR APPROVED EQUAL
(N.T.S.)

- NOTES:**
- ISOLATION JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20'-0" APART AND SHALL BE FILLED WITH CELLULAR COMPRESSION MATERIALS AS SPECIFIED, RECESSED 1/4" IN FROM FRONT FACE AND TOP OF CURB.
 - ALL CONCRETE CURBS TO MEET THE CRITERIA DEFINED IN § 128 OF THE TOWN OF CARMEL CODE.



DUMPSTER ENCLOSURE DETAIL
(N.T.S.)

- NOTES:**
- DUMPSTER ENCLOSURE SHALL COMPLY IN ALL RESPECTS TO TOWN OF CARMEL TOWN CODE.
 - SEE PLAN FOR OVERALL DIMENSIONS.



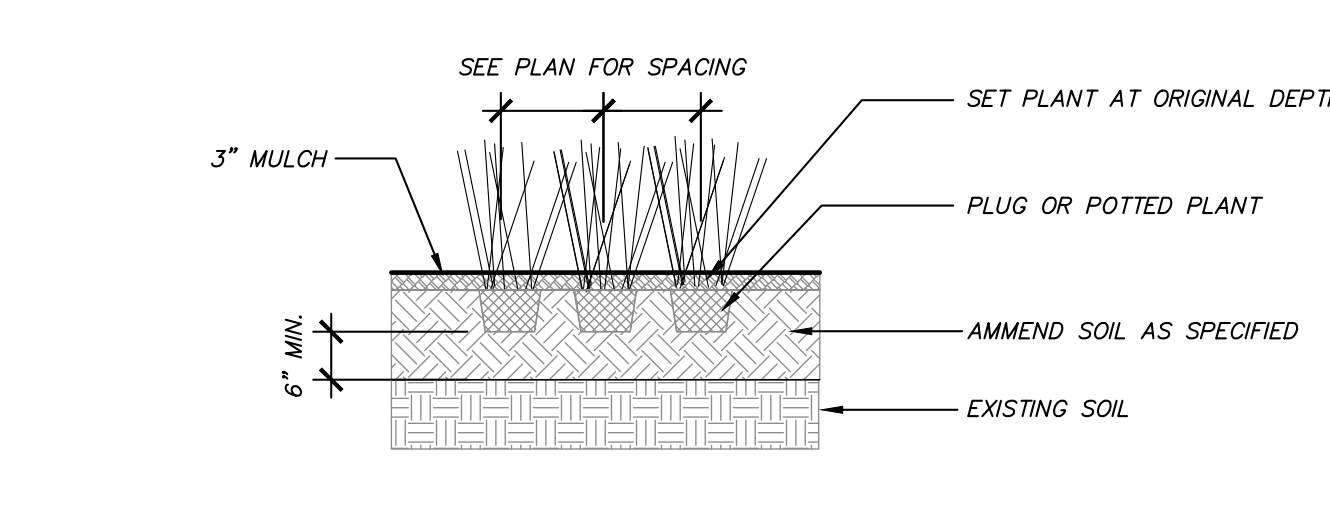
EVERGREEN TREE PLANTING DETAIL
(N.T.S.)

- NOTE:** PROVIDE STAKING AND GUYING FOR TREES PLANTED ON SLOPES GREATER THAN 3H:1V. IN EXPOSED, WINDY AREAS AND AS SPECIFIED BY LANDSCAPE ARCHITECT. GUY WIRES AND STAKES SHALL BE REMOVED WITHIN TWELVE MONTHS OF PLANTING.

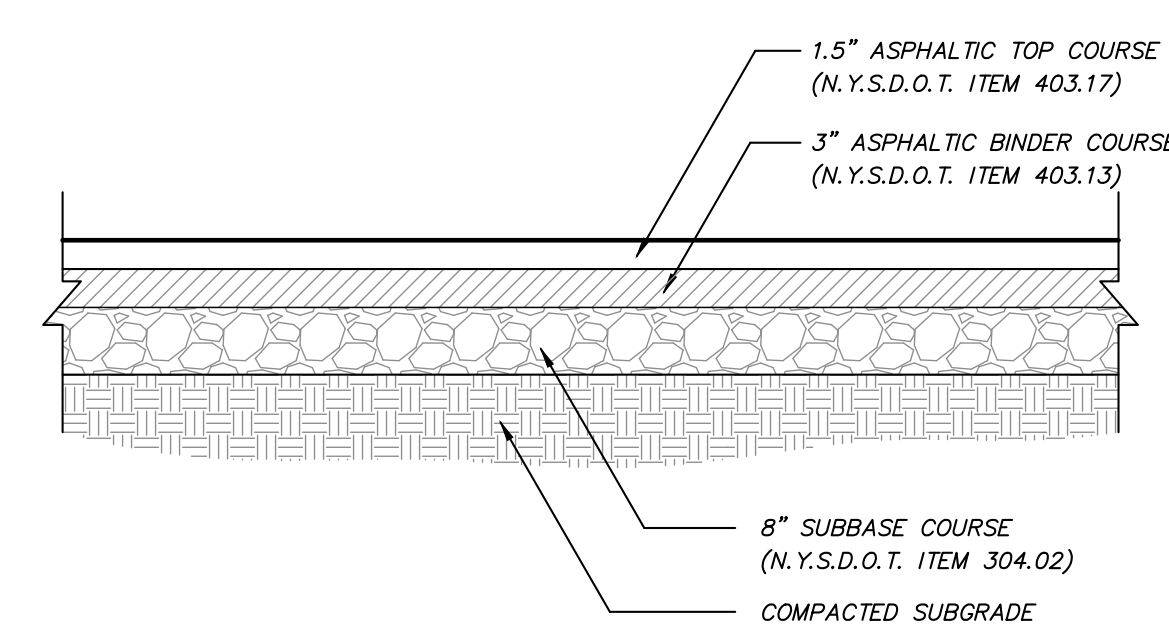
GRASS PLANT SPACING PLAN

SPACING "D"	ROW "A"	PLANTS PER SQ. FT.
24" O.C.	20.8"	0.29
18" O.C.	15.6"	0.53
12" O.C.	10.4"	1.15
10" O.C.	8.7"	1.66
8" O.C.	6.9"	2.60

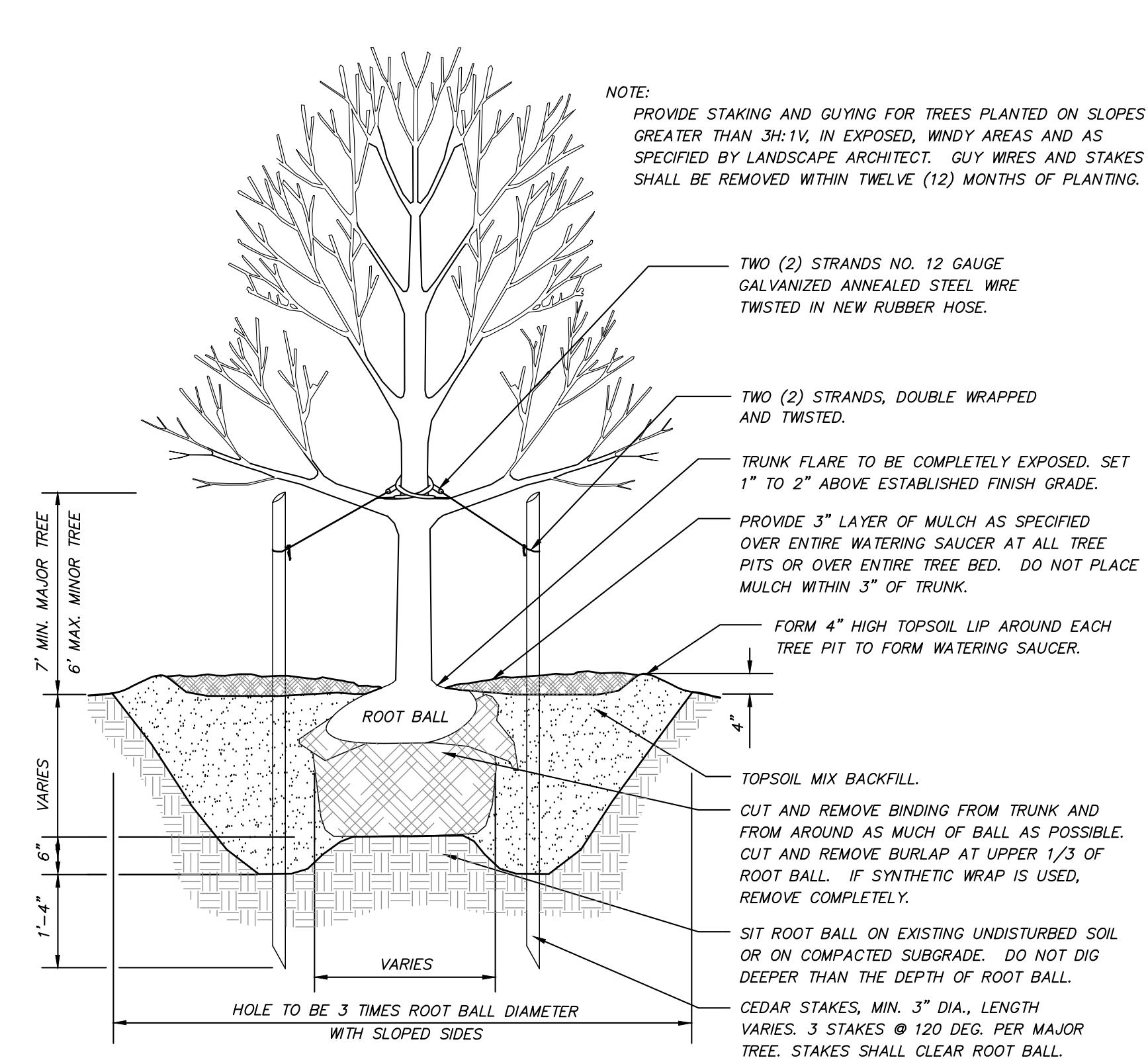
NOTES: PLANT QUANTITIES WERE DETERMINED BY MULTIPLYING AREA (SQ. FT.) BY NUMBER OF PLANTS PER SQ. FT. FOR REQUIRED SPACING.



PERENNIAL / ORNAMENTAL GRASS PLANTING DETAIL
(N.T.S.)

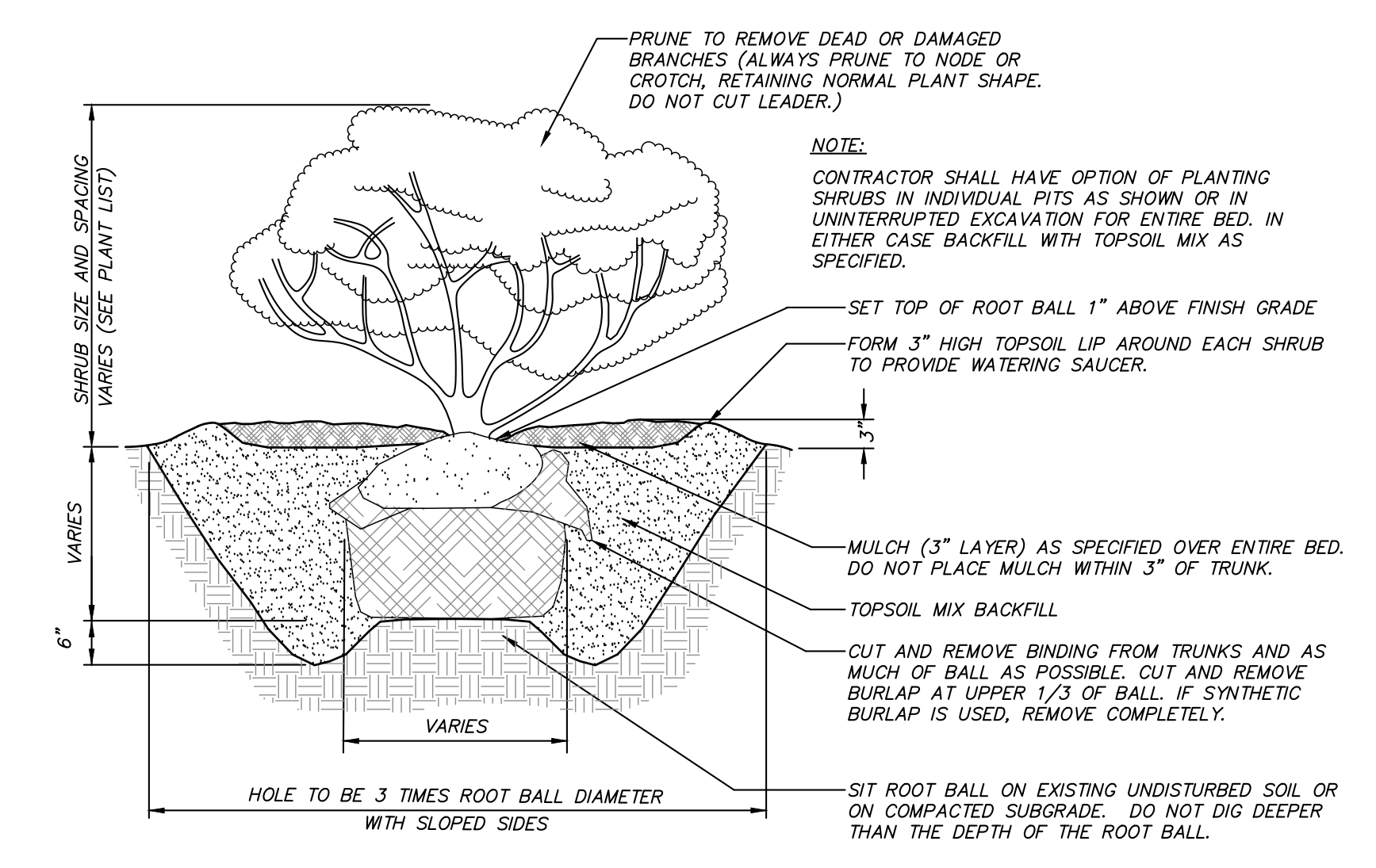


LOT 1 SITE PAVEMENT DETAIL
(N.T.S.)



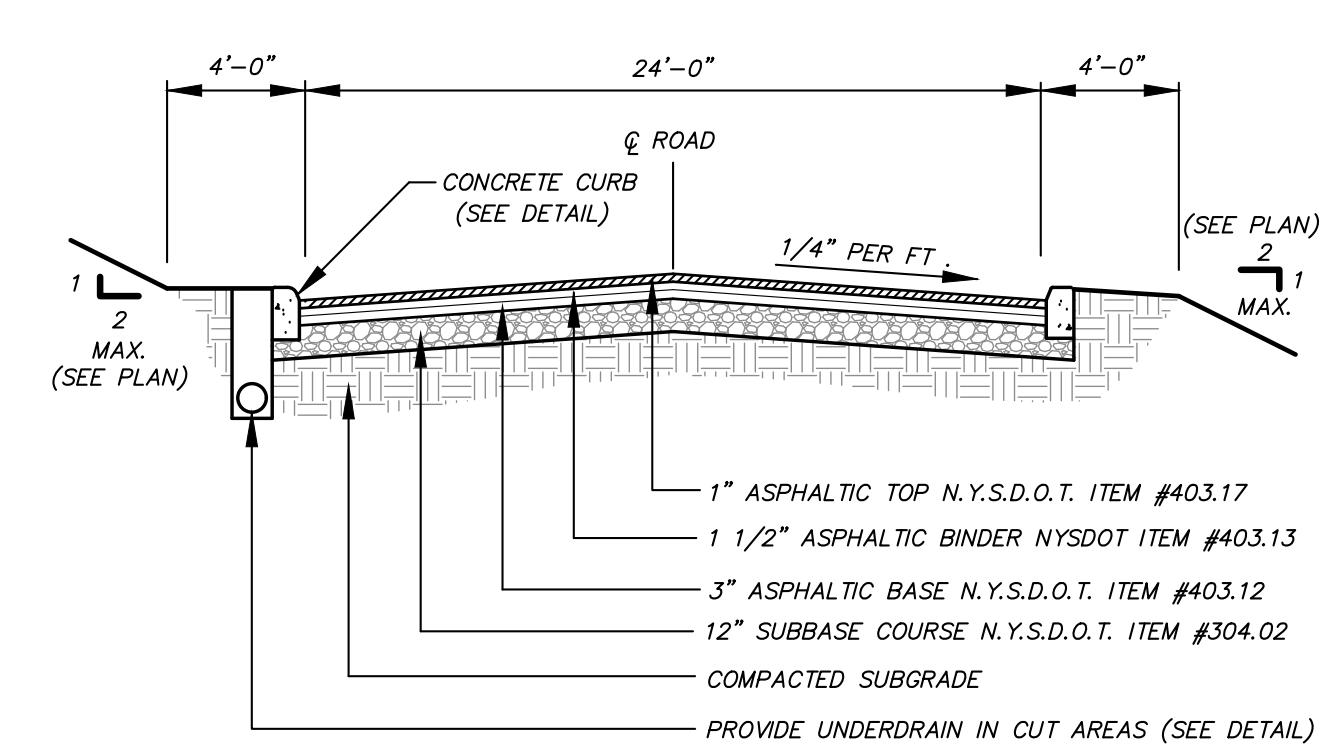
TREE PLANTING DETAIL
(N.T.S.)

- NOTE:** PROVIDE STAKING AND GUYING FOR TREES PLANTED ON SLOPES GREATER THAN 3H:1V. IN EXPOSED, WINDY AREAS AND AS SPECIFIED BY LANDSCAPE ARCHITECT. GUY WIRES AND STAKES SHALL BE REMOVED WITHIN TWELVE (12) MONTHS OF PLANTING.



SHRUB PLANTING DETAIL
(N.T.S.)

- NOTE:** CONTRACTOR SHALL HAVE OPTION OF PLANTING SHRUBS IN INDIVIDUAL PITS AS SHOWN OR IN UNINTERRUPTED EXCAVATION FOR ENTIRE BED. IN EITHER CASE BACKFILL WITH TOPSOIL MIX AS SPECIFIED.



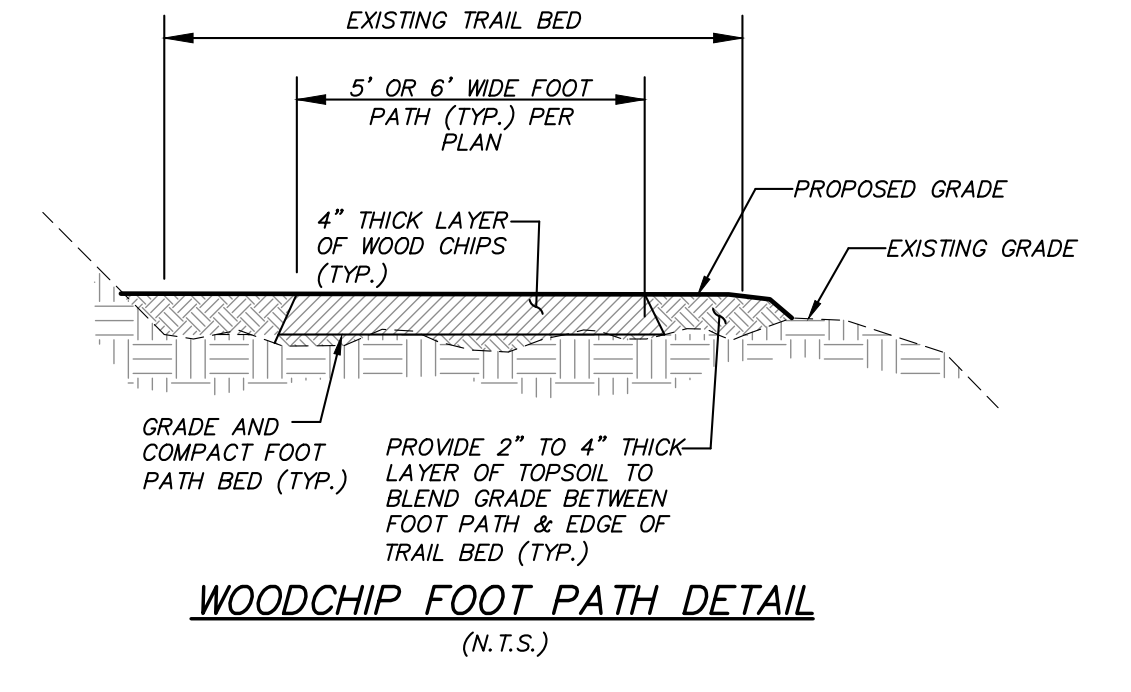
ACCESS ROAD DETAIL
(N.T.S.)

SIGN DATA TABLE

LOCATION NO.	TEXT	MESSAGE NUMBER	SIZE OF SIGN (S.F.)	DESCRIPTION
1	STOP	R1-1C	30" x 30"	White on Red
2	ROAD	R7-8	12" x 18"	Blue on White
3	NO PARKING	R7-1	12" x 18"	Red on White

- GENERAL SITE SEEDING NOTES:**
- All proposed seeded areas to receive 4" min. depth of topsoil. Soil amendments and fertilizer application rates shall be determined based on specific testing of topsoil material.
 - Upon final grading and placement of topsoil and any required soil amendments, areas to receive permanent vegetation cover in combination with suitable mulch as follows:
 - select seed mixture per drawings and seeding notes.
 - fertilizer applied at the manufacturer's recommended rate using Lesco 10-0-18 (no phosphorus) fertilizer or equivalent.
 - mulch: salt hay or small grain straw applied at a rate of 90 lbs./1000s.f. or 2 tons/acre, to be applied and anchored according to New York State Standards and Specifications for Erosion and Sediment Control, August 2005.
 - if the season prevents the establishment of a permanent vegetation cover, the disturbed areas will be mulched with straw or equivalent.
 - Seed Mix #1 for areas as shown on the drawings, including tops of berms and backstops of embankments of stormwater basins at a rate of 25 lbs. per acre: New England Conservation/Amherst Mix from New England Wetland Plants, Inc. of Amherst, MA.
 - Seed Mix #2 for areas as shown on the drawings in stormwater basins with no standing water at a rate of 18 lbs per acre: Erosion Control/Restoration Mix for Detention Basins and Moist Sites from New England Wetland Plants, Inc. of Amherst MA.
 - Seed Mix #3 for all other disturbed areas not specified as seed mix #1 or #2. Primarily for lawn areas and mow strip along roads at a rate of 100 lbs. per acre:
 - Perennial Ryegrass 20%
 - Creeping Red Fescue 40%
 - Annual Ryegrass 20%
 - Seed mixes to be planted between March 21 and May 20, or between August 15 and October 15 or as directed by project representative.
 - Mulch: Salt hay or small grain straw applied at a rate of 90 lbs./1000 S.F. or 2 tons/acre, to be applied and anchored according to "New York Standards and Specifications for Erosion and Sediment Control", latest edition.
 - Grass seed mix may be applied by either mechanical or hydroseeding methods. Seeding shall be performed in accordance with the current edition of the "NYSOT Standard Specification, Construction and Materials, Section 610-3.02, Method No. 1". Hydroseeding shall be performed using materials and methods as approved by the site engineer.

- GENERAL PLANTING NOTES:**
- All proposed planting beds to receive a 12" min. depth of topsoil. Soil amendments and fertilizer application rates shall be determined based on specific testing of topsoil material.
 - Any new soils added will be amended as required by results of soil testing and placed using a method that will not cause compaction.
 - No fertilizer shall be added in stormwater basin plantings. Nutrient requirements to be met by incorporation of acceptable organic matter.
 - All plant material to be nursery grown.
 - Plants shall conform with ANSI Z60.1 American Standard for Nursery Stock in all ways including dimensions.
 - Plant material shall be taken from healthy nursery stock.
 - All plants shall be grown under climate conditions similar to those in the locality of the project.
 - Plants shall be planted in all locations designed on the plan or as staked in the field by the Landscape Architect.
 - The location and layout of landscape plantings shown on the site plan shall take precedence in any discrepancies between the quantities of plants shown on the plans and the quantity of plants in the Plant List.
 - Provide a 3" layer of shredded pine bark mulch (or as specified) over entire watering saucer at all tree pits or over entire planting bed. Do not place mulch within 3" of tree or shrub.
 - All landscape plantings shall be maintained in a healthy condition at all times. Any dead or diseased plants shall immediately be replaced "in kind" by the contractor (during warranty period) or project owner.
 - In addition to these standards, all plantings will be installed per §142 of the Town of Carmel Town Code.



WOODCHIP FOOT PATH DETAIL
(N.T.S.)

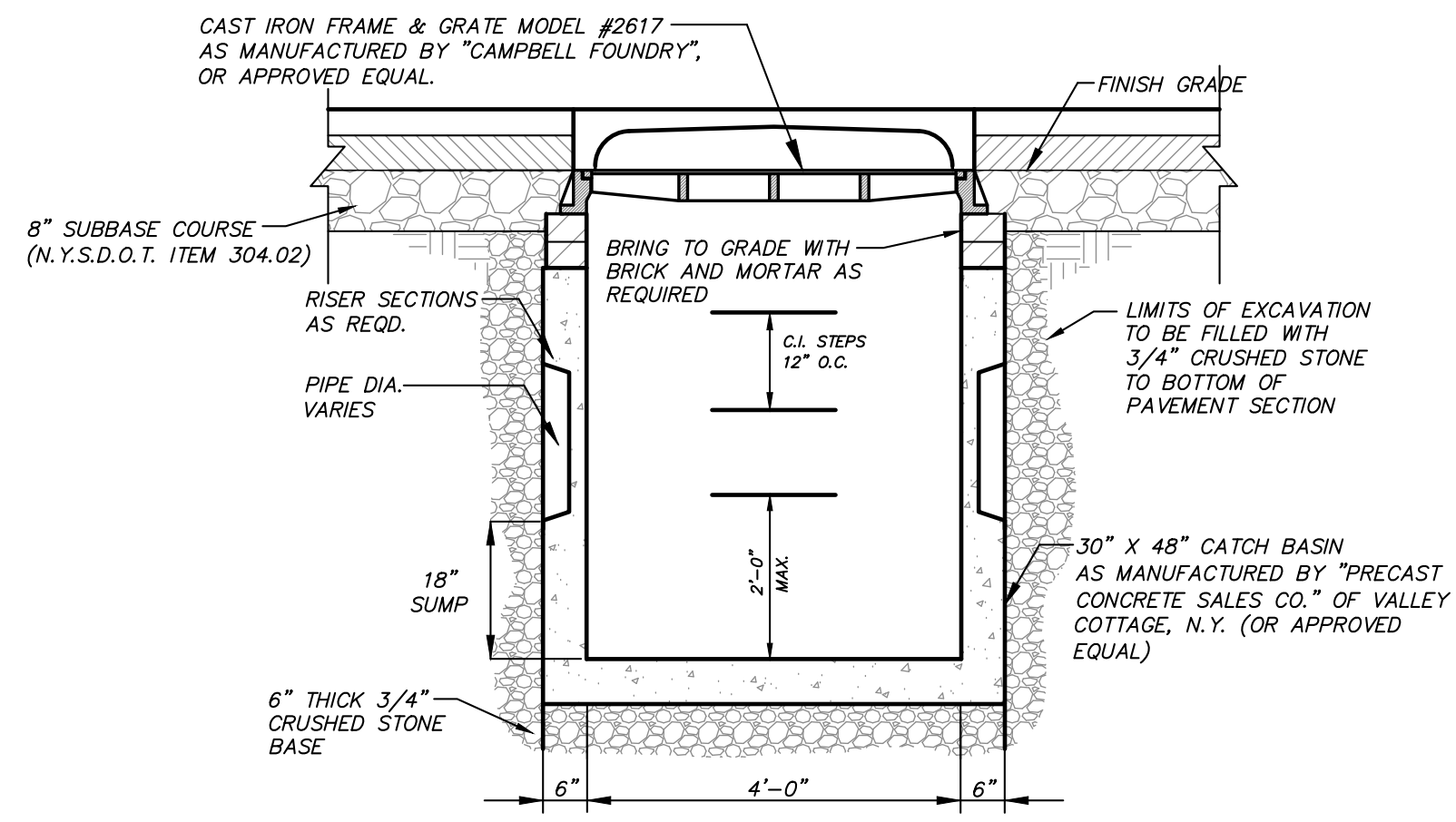
INSITE
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

3 Garrett Place
Carmel, NY 12012
(845) 225-9690
(845) 225-9717 fax
www.insite-eng.com

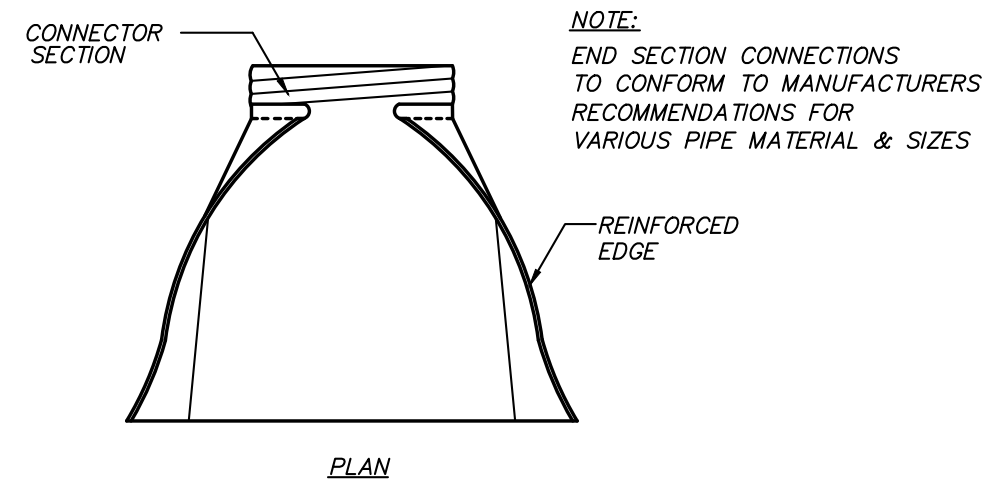
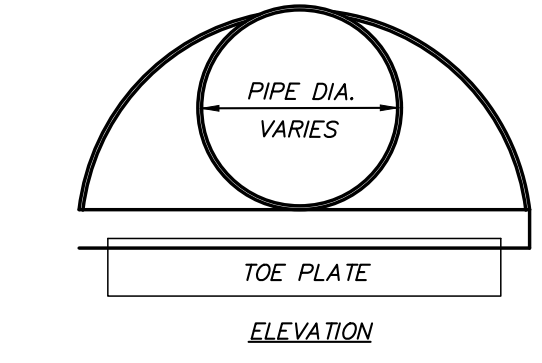
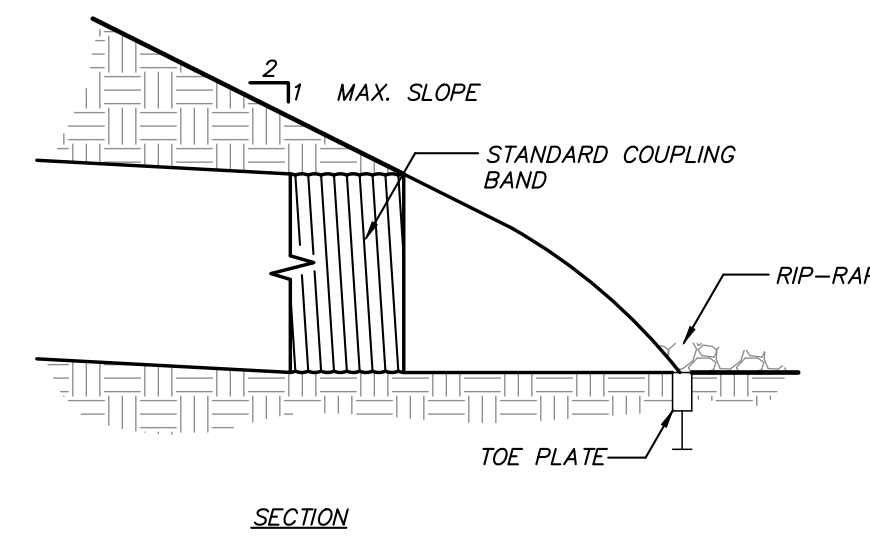
PROJECT: **FAIRHAVEN AT BALDWIN PLACE**
BALDWIN PLACE RD, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING: **SITE DETAILS**

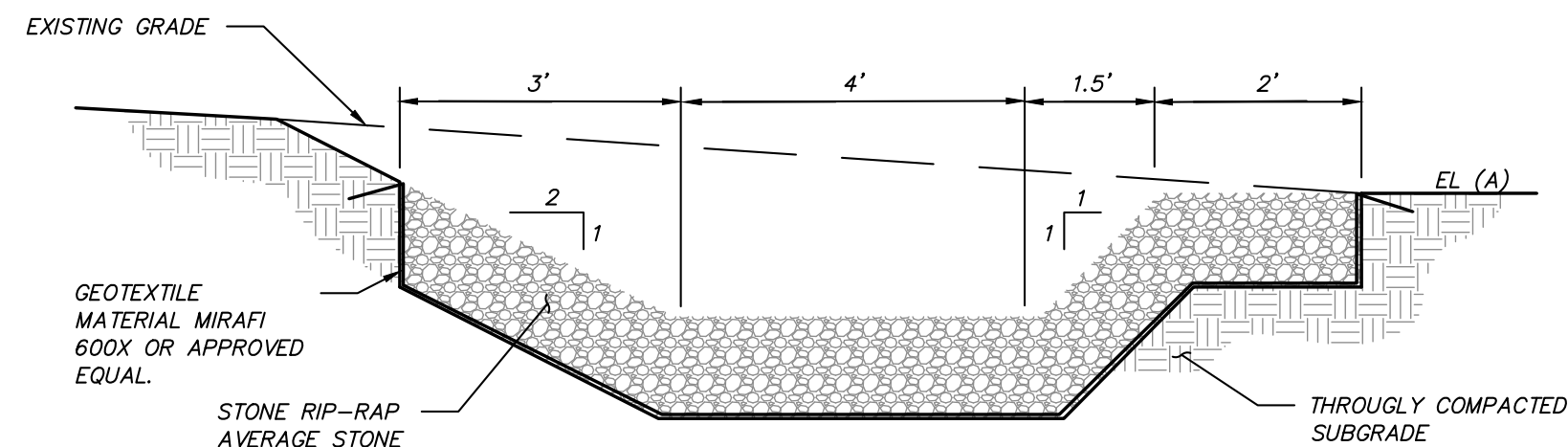
PROJECT NUMBER	20100.100	PROJECT MANAGER	J.J.C.	DRAWING NO.	D-1	SHEET	10
DATE	12-2-20	DRAWN BY	M.E.U.	CHECKED BY	A.D.T.		13
SCALE	AS SHOWN						



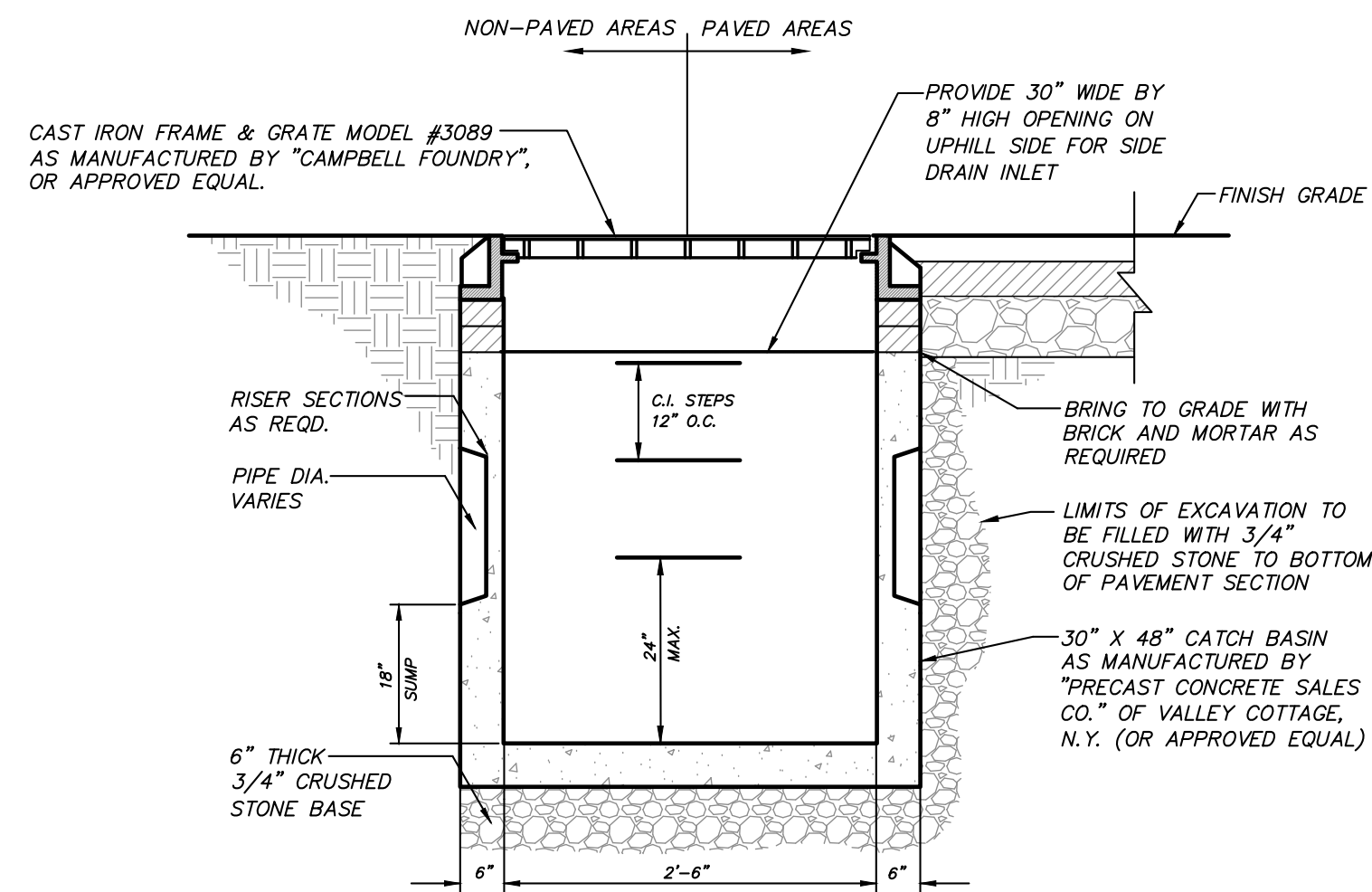
CATCH BASIN DETAIL
(N.T.S.)
(STRUCTURE AND GRATE TO BE DESIGNED FOR H-20 LOADING)



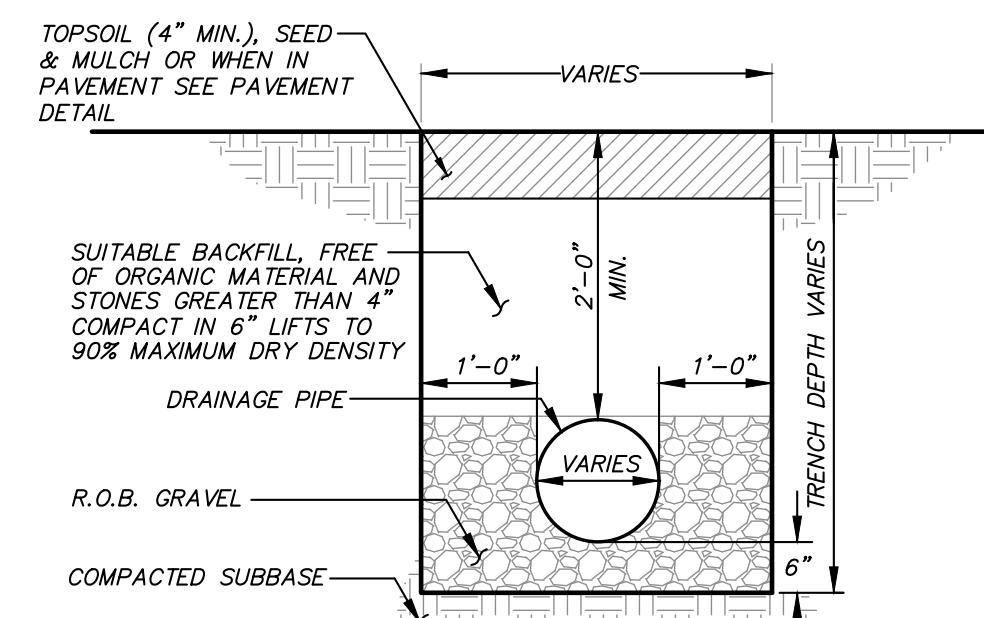
ALUMINUM END SECTION DETAIL
(N.T.S.)



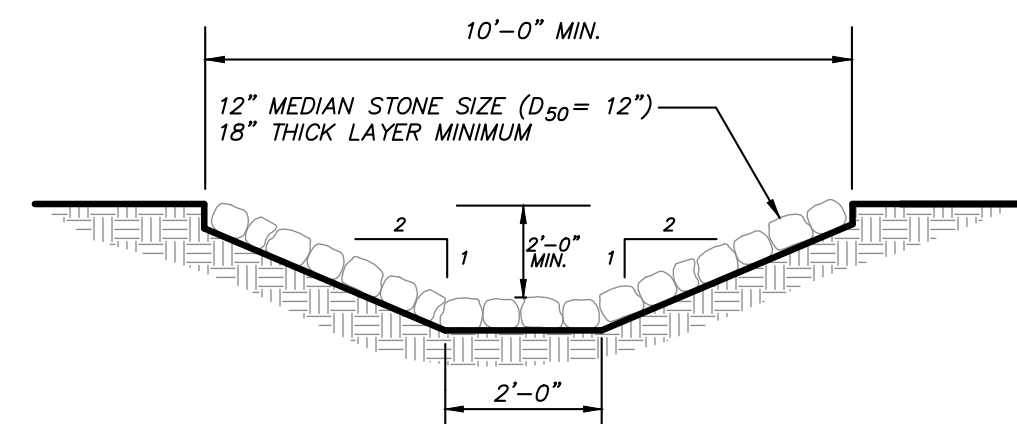
LEVEL SPREADER DETAIL
(N.T.S.)



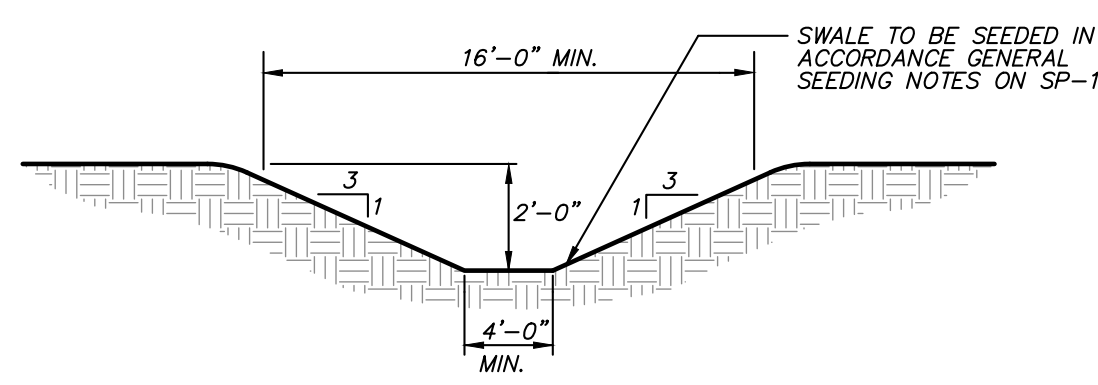
DRAIN INLET DETAIL
(N.T.S.)
(STRUCTURE AND GRATE TO BE DESIGNED FOR H-20 LOADING)



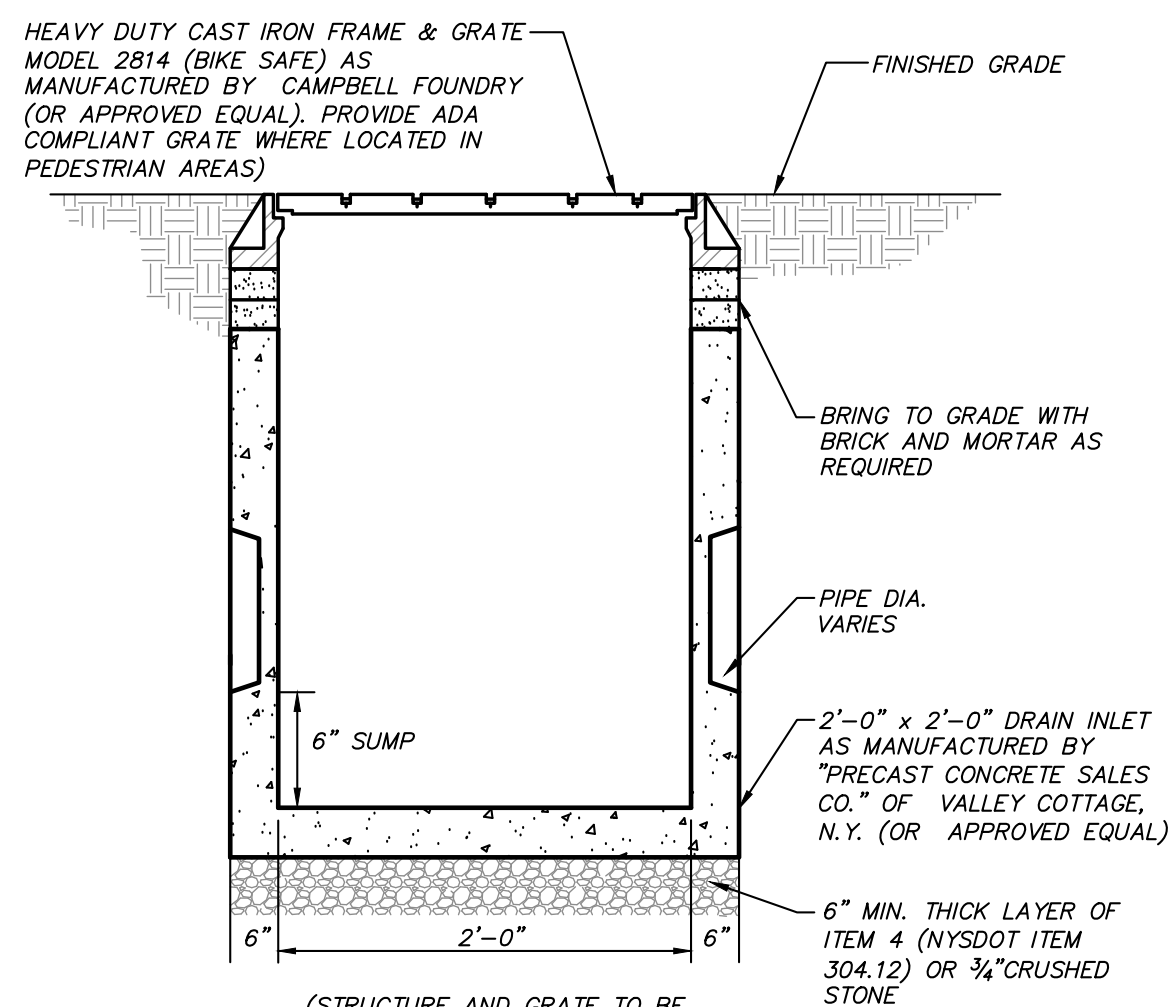
DRAINAGE LINE TRENCH DETAIL
(N.T.S.)



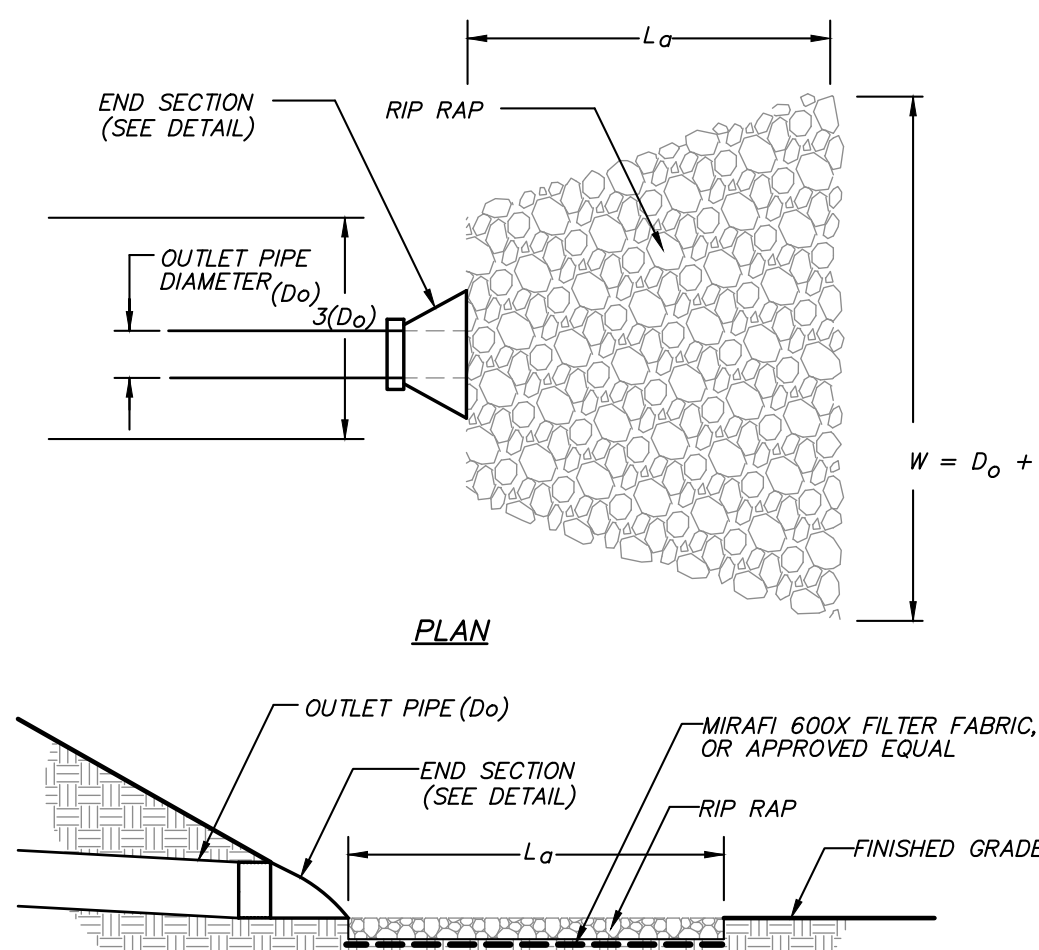
RIP RAP SWALE DETAIL
(N.T.S.)



GRASS SWALE DETAIL
(N.T.S.)
GRASS SWALE TO BE LINED WITH CHANNEL LINER C-125 AS MANUFACTURED BY "NORTH AMERICAN GREEN" OR APPROVED EQUAL.



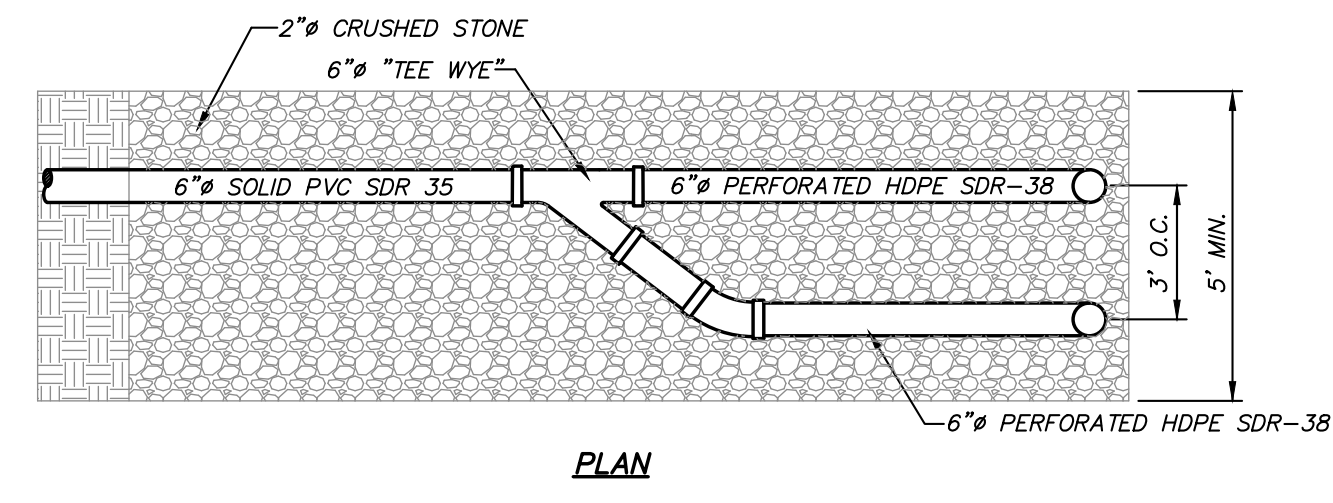
YARD DRAIN DETAIL
(N.T.S.)



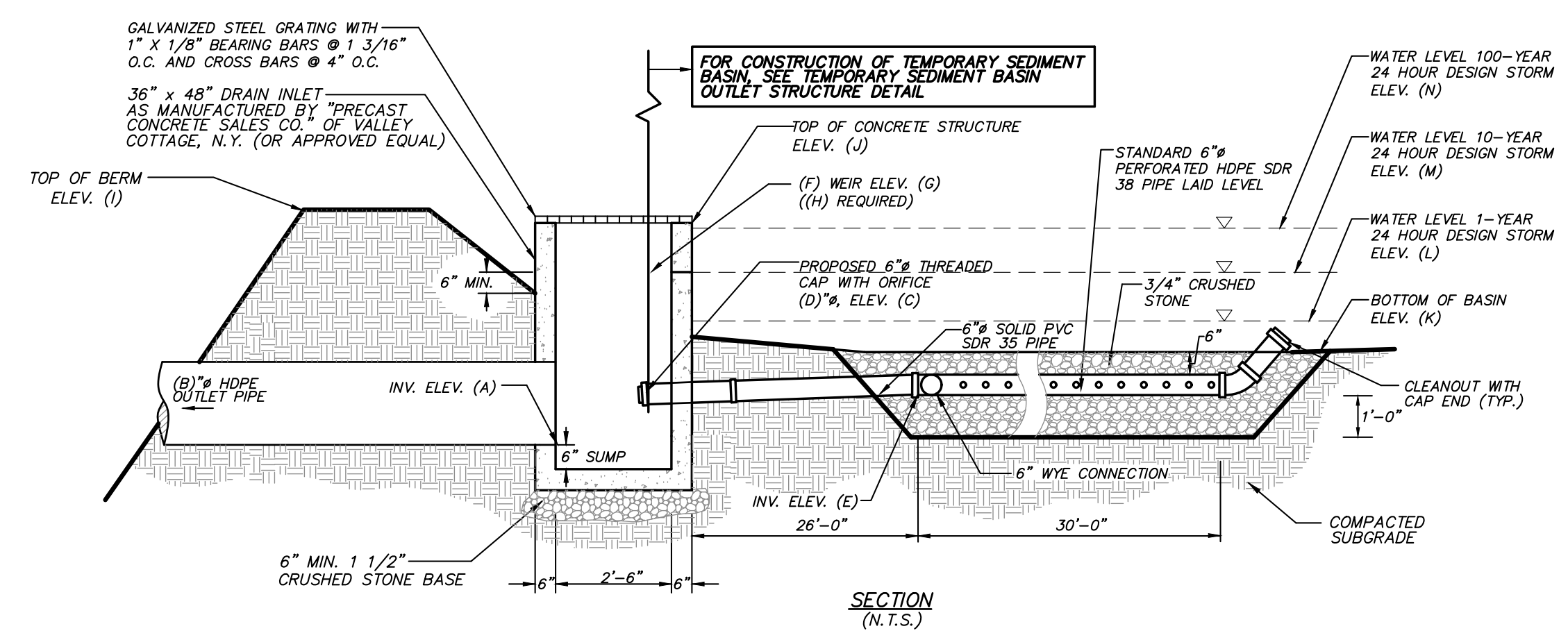
VELOCITY DISSIPATOR DETAIL
(N.T.S.)

NO.	DATE	REVISION	BY
1	1-14-21	REVISED PER PLANNING BOARD COMMENTS	ERA

		3 Garrett Place Carmel, NY 10512 (845) 225-9690 (845) 225-9717 fax www.insite-eng.com	
PROJECT: FAIRHAVEN AT BALDWIN PLACE BALDWIN PLACE RD. TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK			
DRAWING: STORMWATER DETAILS			
PROJECT NUMBER	20100.100	PROJECT MANAGER	J.J.C.
DATE	12-2-20	DRAWN BY	M.E.U.
SCALE	AS SHOWN	CHECKED BY	A.D.T.
DRAWING NO.	SHEET		
	D-2		11
			13

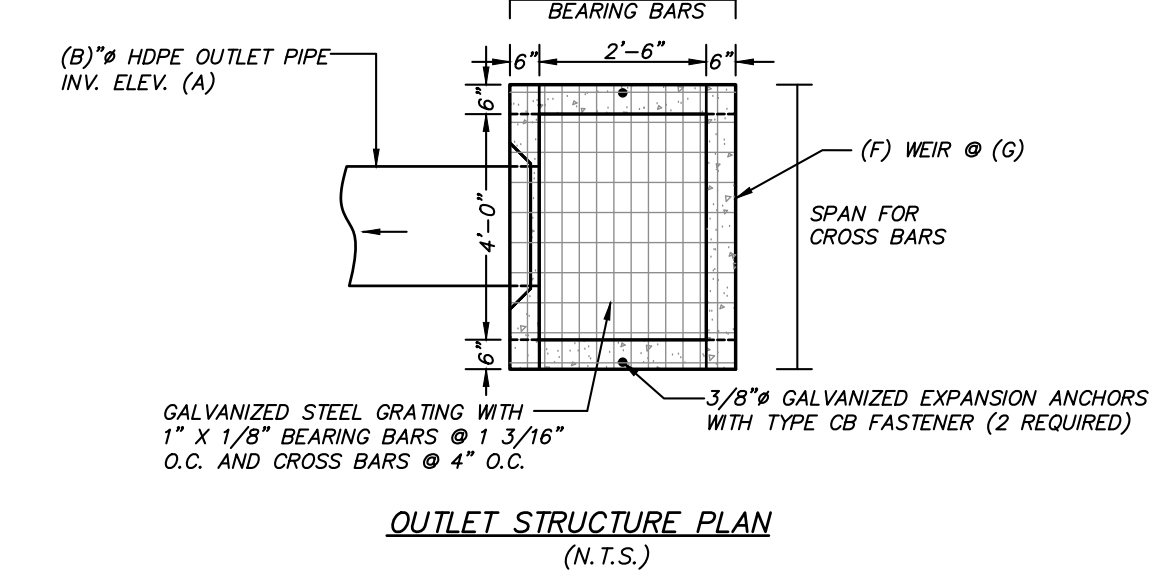


PLAN

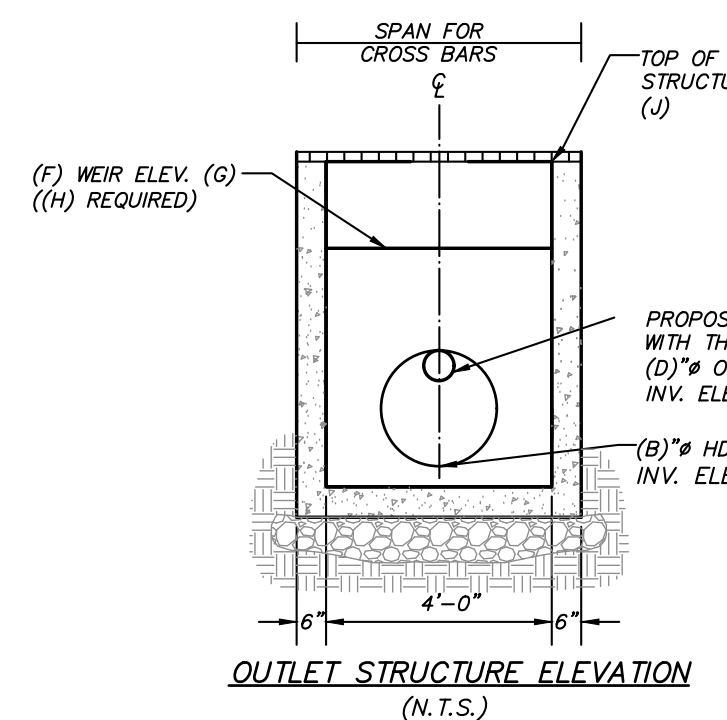


SECTION (N.T.S.)

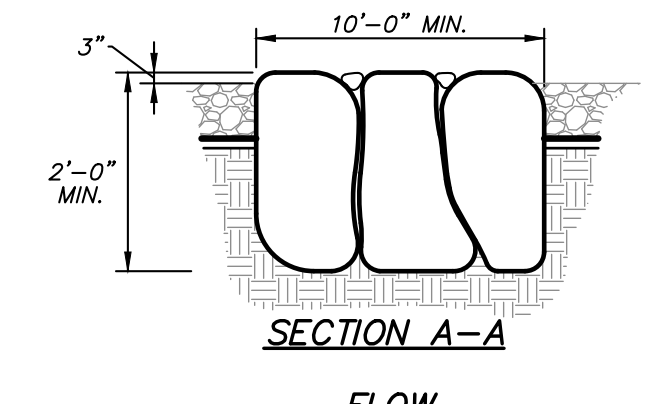
PERMANENT DRY STORMWATER BASIN OUTLET STRUCTURE DETAIL (N.T.S.)



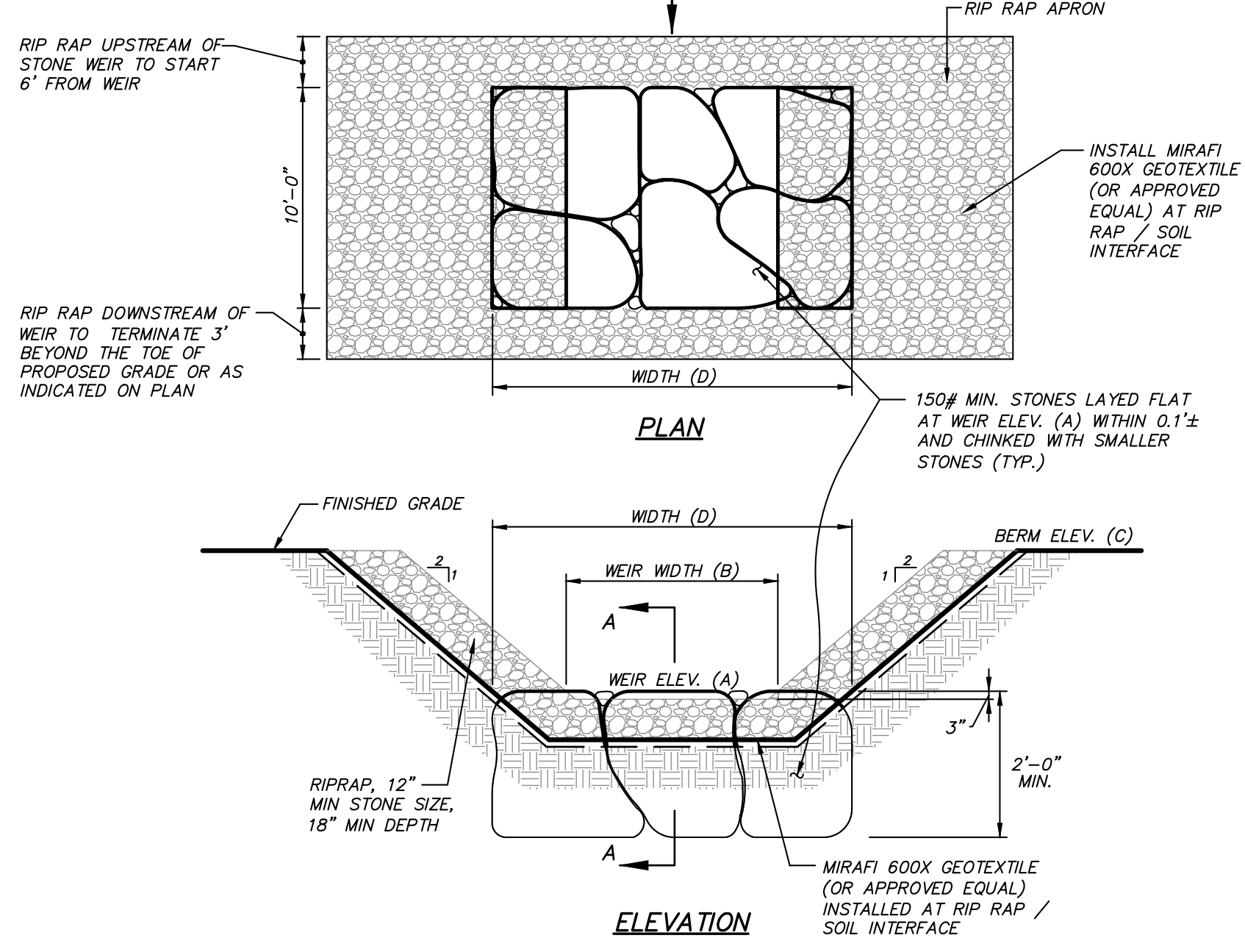
OUTLET STRUCTURE PLAN (N.T.S.)



OUTLET STRUCTURE ELEVATION (N.T.S.)

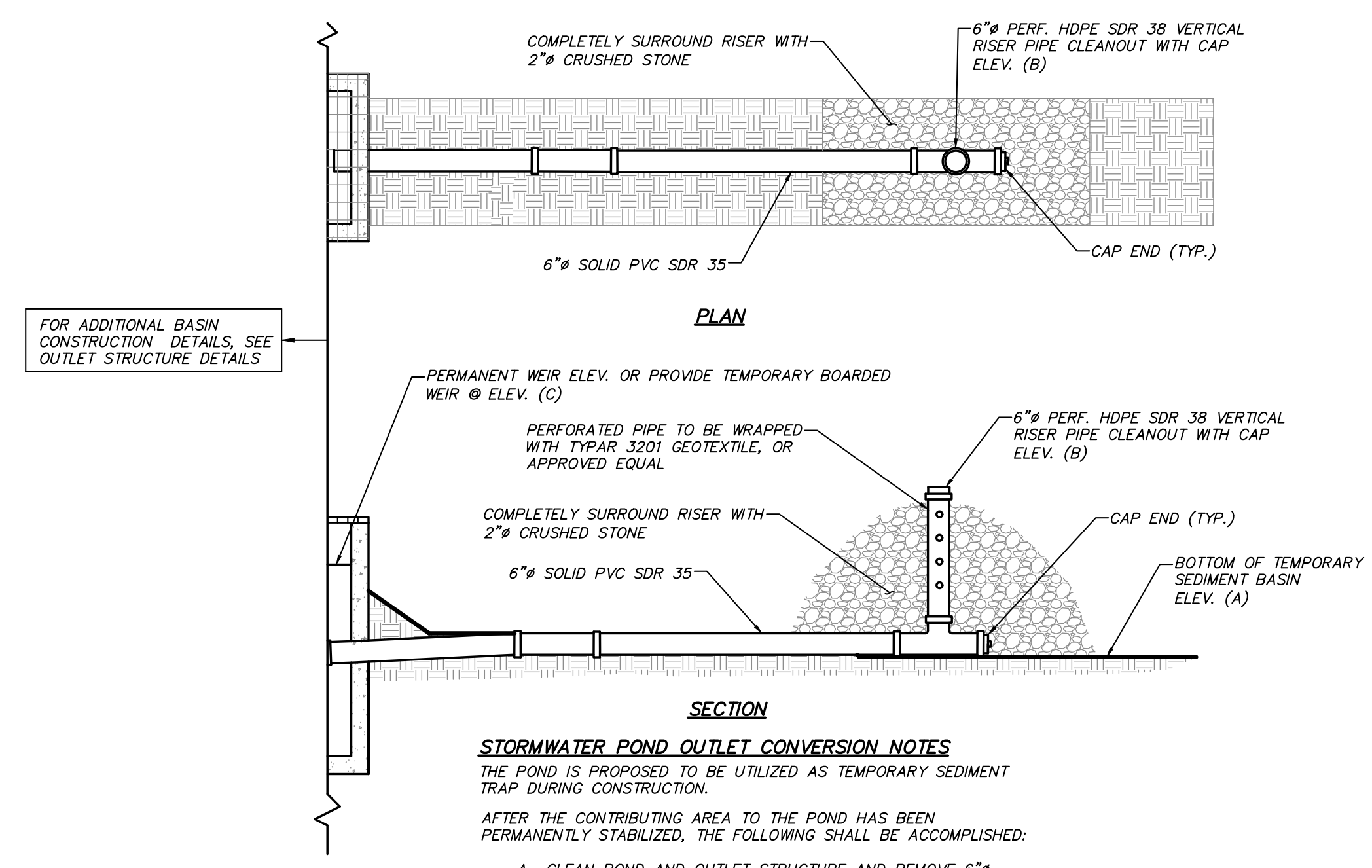


SECTION A-A



ELEVATION

STONE EMERGENCY OVERFLOW DETAIL (N.T.S.)

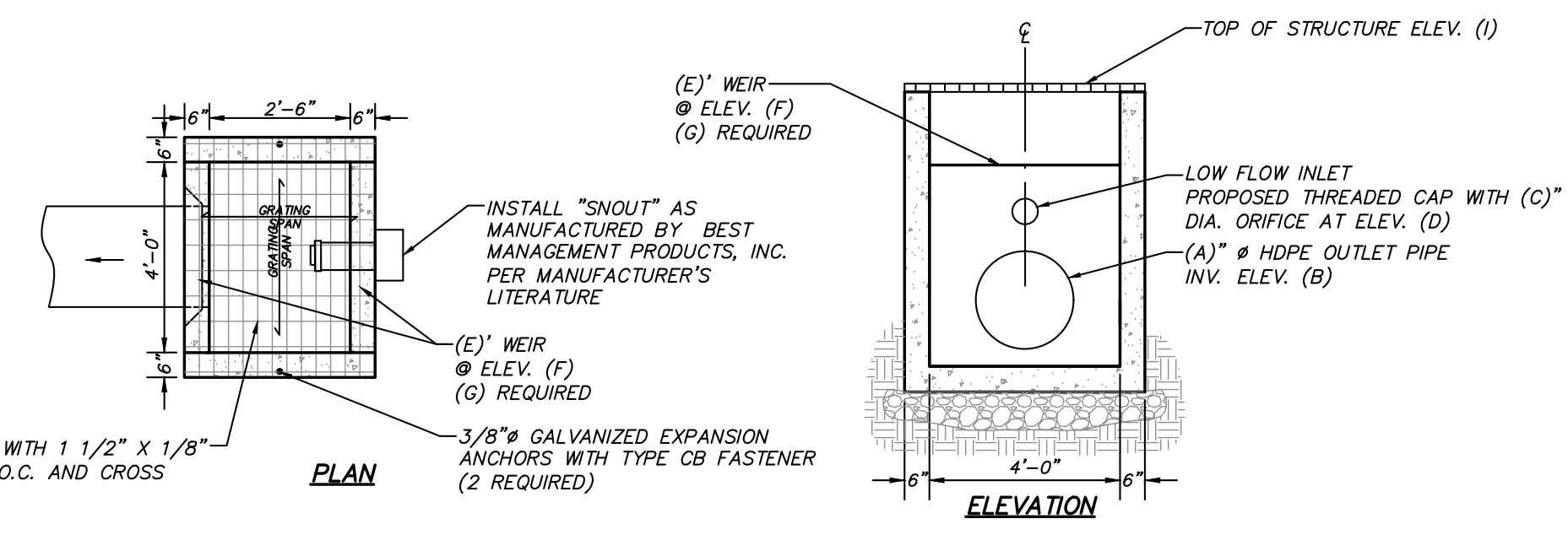


SECTION

STORMWATER POND OUTLET CONVERSION NOTES

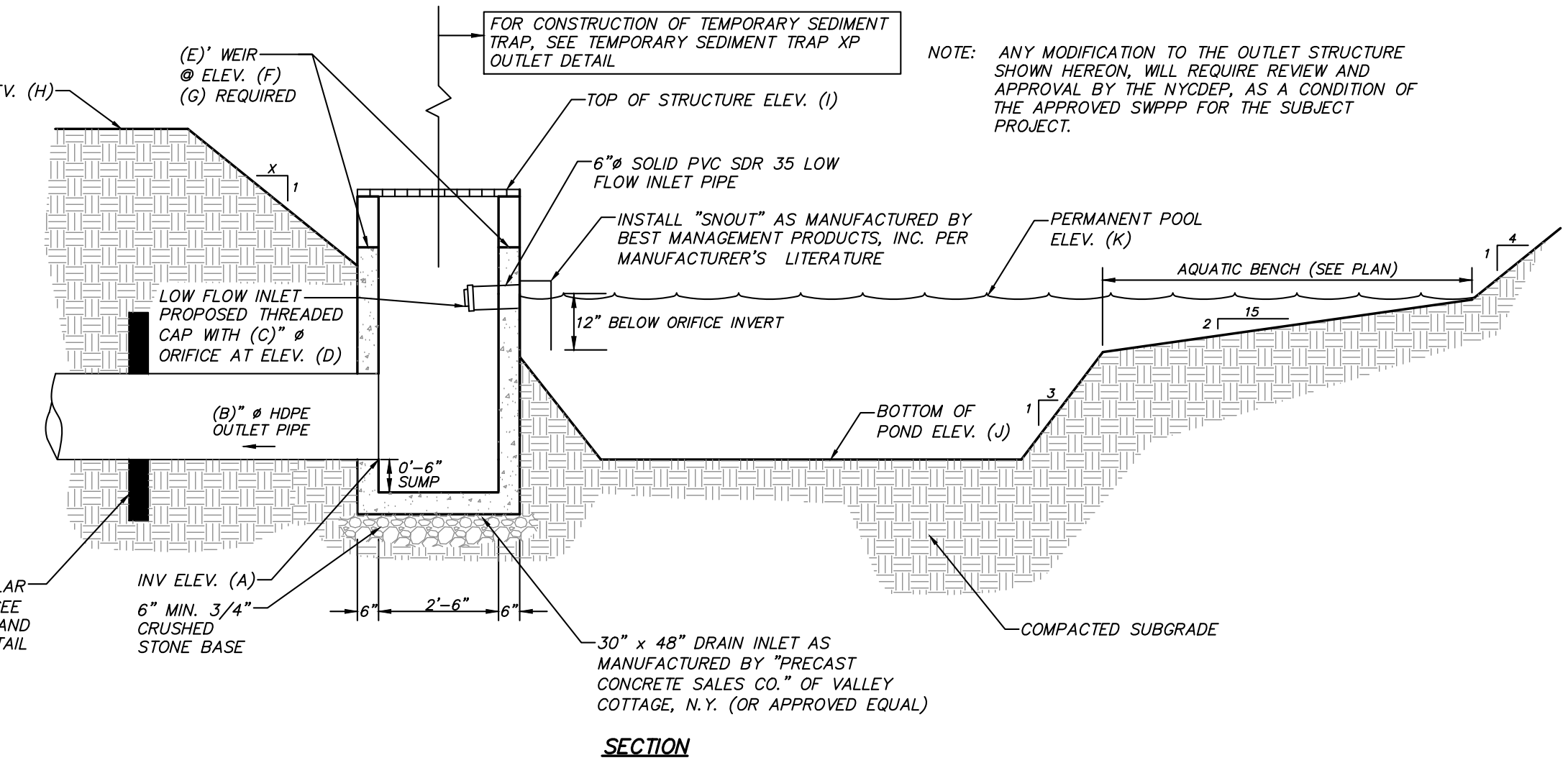
- THE POND IS PROPOSED TO BE UTILIZED AS TEMPORARY SEDIMENT TRAP DURING CONSTRUCTION.
- AFTER THE CONTRIBUTING AREA TO THE POND HAS BEEN PERMANENTLY STABILIZED, THE FOLLOWING SHALL BE ACCOMPLISHED:
- CLEAN POND AND OUTLET STRUCTURE AND REMOVE 6" PERFORATED VERTICAL RISER PIPE, CRUSHED STONE AND FILTER FABRIC.
 - ADD THREADED CAP WITH ORIFICE AT DISCHARGE END OF 6" SOLID PVC SDR 35 PIPES PER DETAIL.
 - ESTABLISH THE FINAL VEGETATION AND ELEVATIONS IN THE POND.

TEMPORARY SEDIMENT TRAP OUTLET DETAIL (N.T.S.)



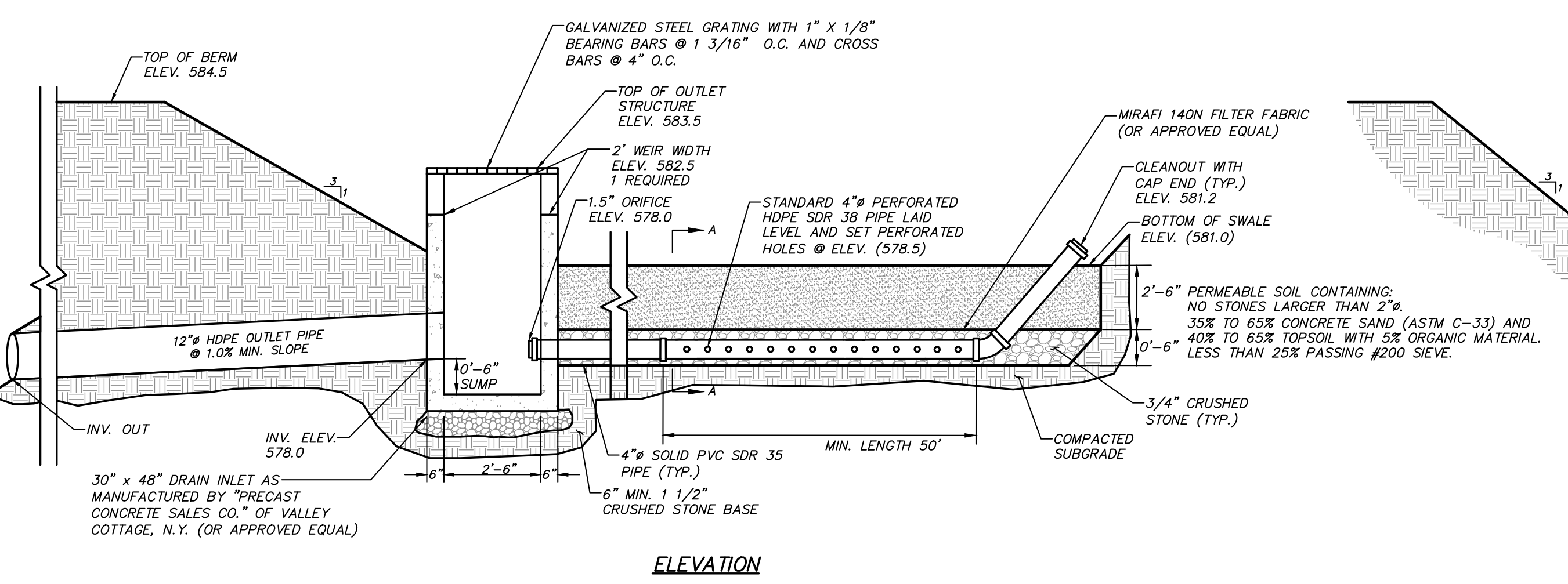
PLAN

ELEVATION



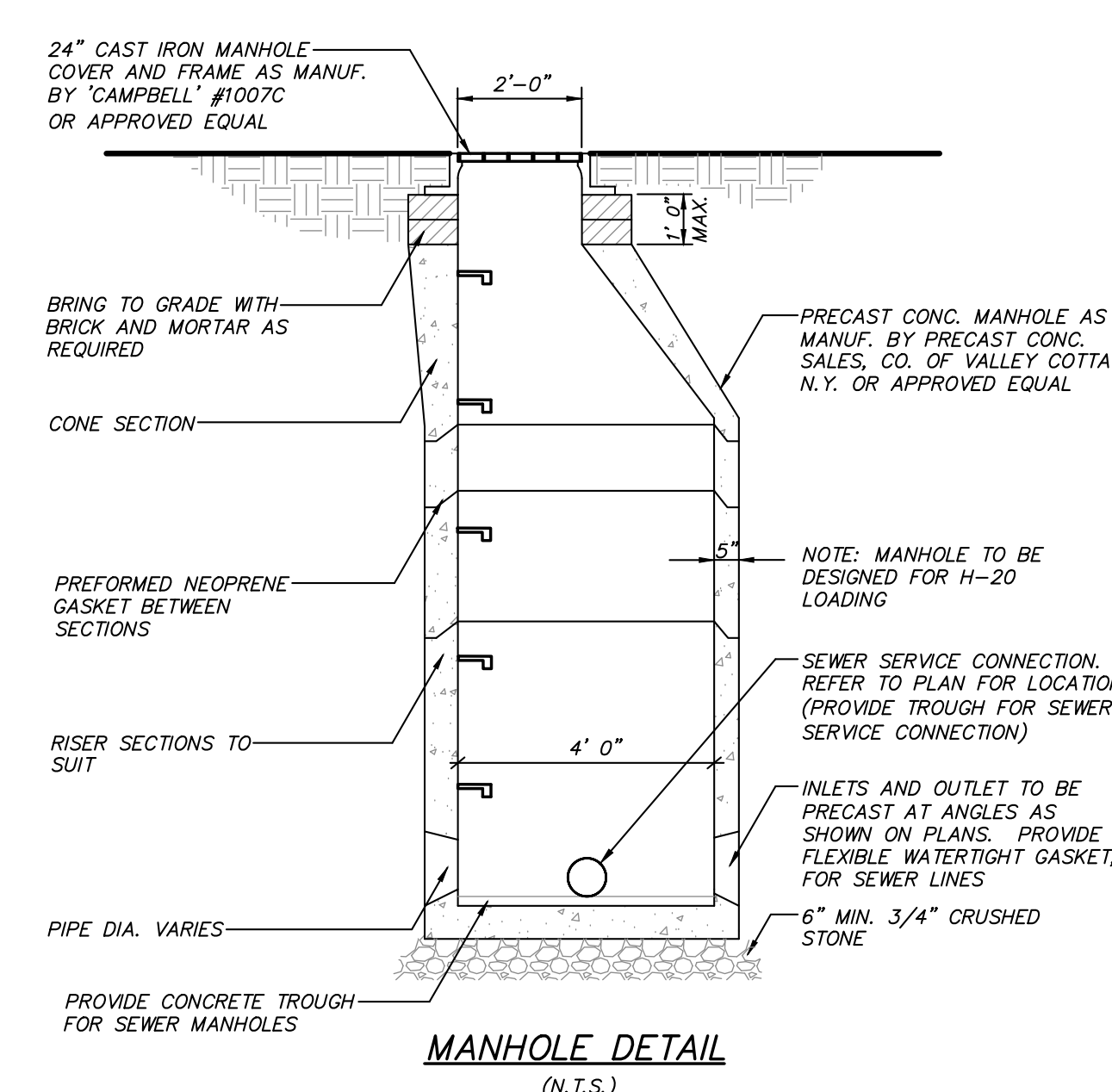
SECTION

1.1P & 3.1P PONDS (NYSDEC DESIGN P-1) PERMANENT OUTLET STRUCTURE DETAIL (N.T.S.)



ELEVATION

DRY SWALE (NYSDEC DESIGN 0-1) PERMANENT OUTLET STRUCTURE DETAIL SMP 2.2WQS (N.T.S.)



MANHOLE DETAIL (N.T.S.)

BERM CONSTRUCTION NOTES:

- The embankment fill material shall consist of sandy silt (M₁) or sandy clay (CL) or approved material. The fill must be free of organic material (i.e. vegetation, topsoil, roots, etc.), debris, and frozen soil.
- A soil sample and results of laboratory testing shall be provided to the project engineer for approval.
- The existing subgrade shall be stripped of topsoil and scarified prior to placement of fill. The existing subgrade shall be firm and non-yielding prior to installation of first layer of fill. No fill shall be installed on a frozen subgrade.
- Fill shall be installed in layers not to exceed 8" loose for material compacted by heavy compaction equipment and not more than 4" loose for material compacted by hand operated tampers.
- Fill shall be compacted to at least 95% of its maximum dry unit weight (ASTM D698).
- Fill shall be installed with 2% of optimum moisture content.

TEMPORARY SEDIMENT TRAP CONVERSION TO PERMANENT STORMWATER BASIN NOTES

- THE PONDS ARE PROPOSED TO BE UTILIZED AS TEMPORARY SEDIMENT BASINS DURING CONSTRUCTION.
- AFTER THE CONTRIBUTING AREAS TO THE PONDS HAVE BEEN PERMANENTLY STABILIZED, THE FOLLOWING SHALL BE ACCOMPLISHED:
 - CLEAN BASIN AND OUTLET STRUCTURE AND REMOVE 6" PERFORATED VERTICAL RISER PIPE, CRUSHED STONE AND FILTER FABRIC.
 - ADD THREADED CAP WITH ORIFICE AT DISCHARGE END OF 6" SOLID PVC SDR 35 PIPES PER DETAIL.
 - EXCAVATE BASINS TO FINAL ELEVATIONS PER THE PROJECT PLANS AND DETAILS.
 - REPLACE THE PERFORATED PIPE AND CRUSHED STONE. DO NOT REPLACE FILTER FABRIC.
 - ESTABLISH THE FINAL VEGETATION IN THE POND IN ACCORDANCE WITH THE TYPICAL BASIN PLANTING DETAILS.
- THE 6" PERFORATED VERTICAL RISER SHALL BE CONSTRUCTED AS FOLLOWS:
 - WHEN INITIALLY USED AS THE TEMPORARY SEDIMENT BASIN Dewatering DEVICE THE RISER SHALL BE WRAPPED WITH TYPAR 3201 GEOTEXTILE OR APPROVED EQUAL AND SURROUNDED WITH 2" STONE. THE TOP OF THE RISER SHALL BE SET AT THE SAME ELEVATION AS THE WEIRS AS SHOWN IN THE STORMWATER BASIN OUTLET STRUCTURE DETAILS.
 - WHEN THE PERMANENT RISER FOR BASIN IS CONSTRUCTED THE RISER SHALL BE UNWRAPPED WITH THE TOP ELEVATION SET AT SPECIFIED ELEVATIONS.

NO.	DATE	REVISION	REVISOR	BY
1	1-14-21	REVISED PER PLANNING BOARD COMMENTS		ERA

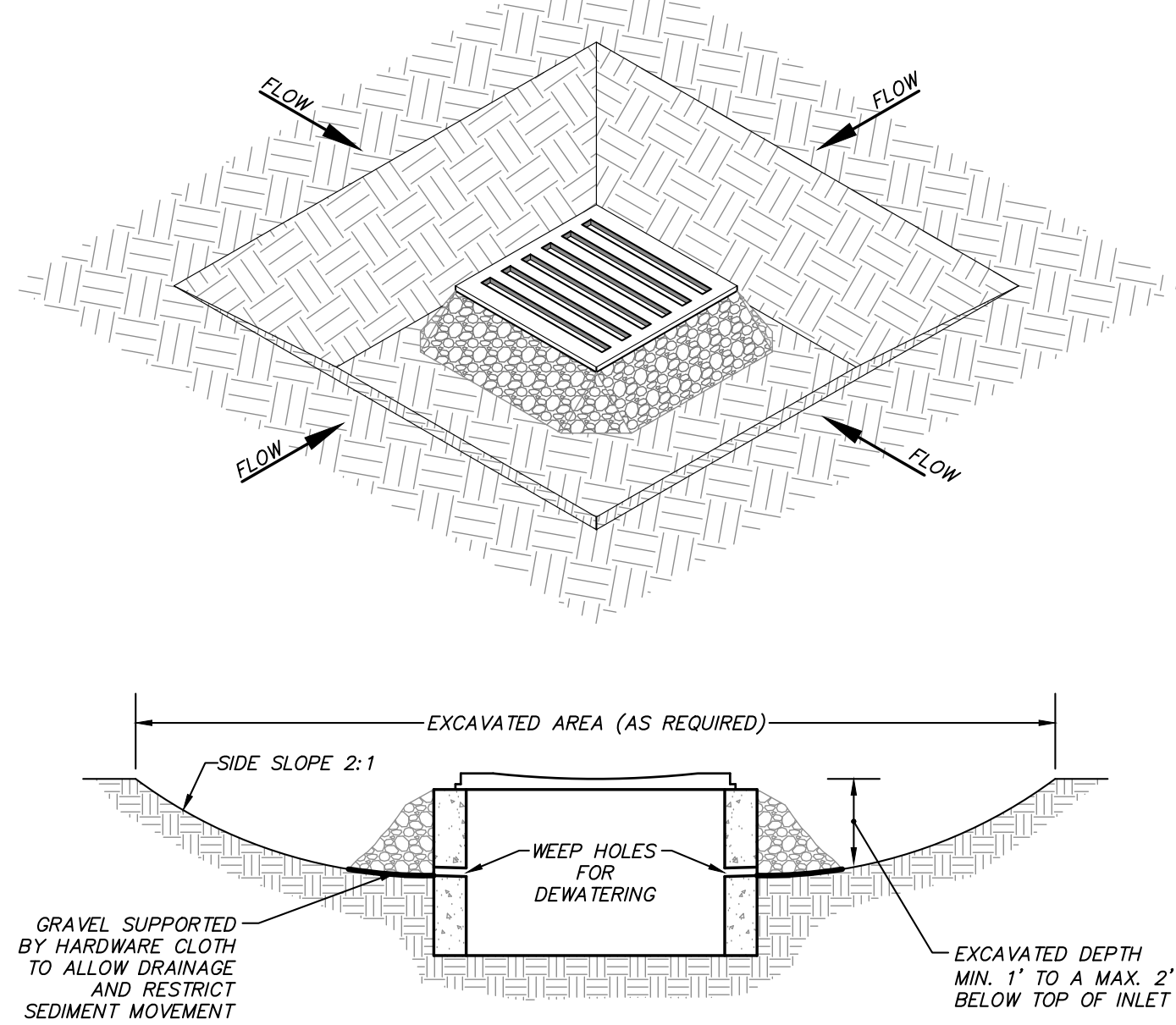
INSITE
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.
3 Garrett Place
Carmel, NY 10512
(845) 225-9690
(845) 225-9717 fax
www.insite-eng.com

PROJECT: FAIRHAVEN AT BALDWIN PLACE
BALDWIN PLACE RD. TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING: STORMWATER DETAILS

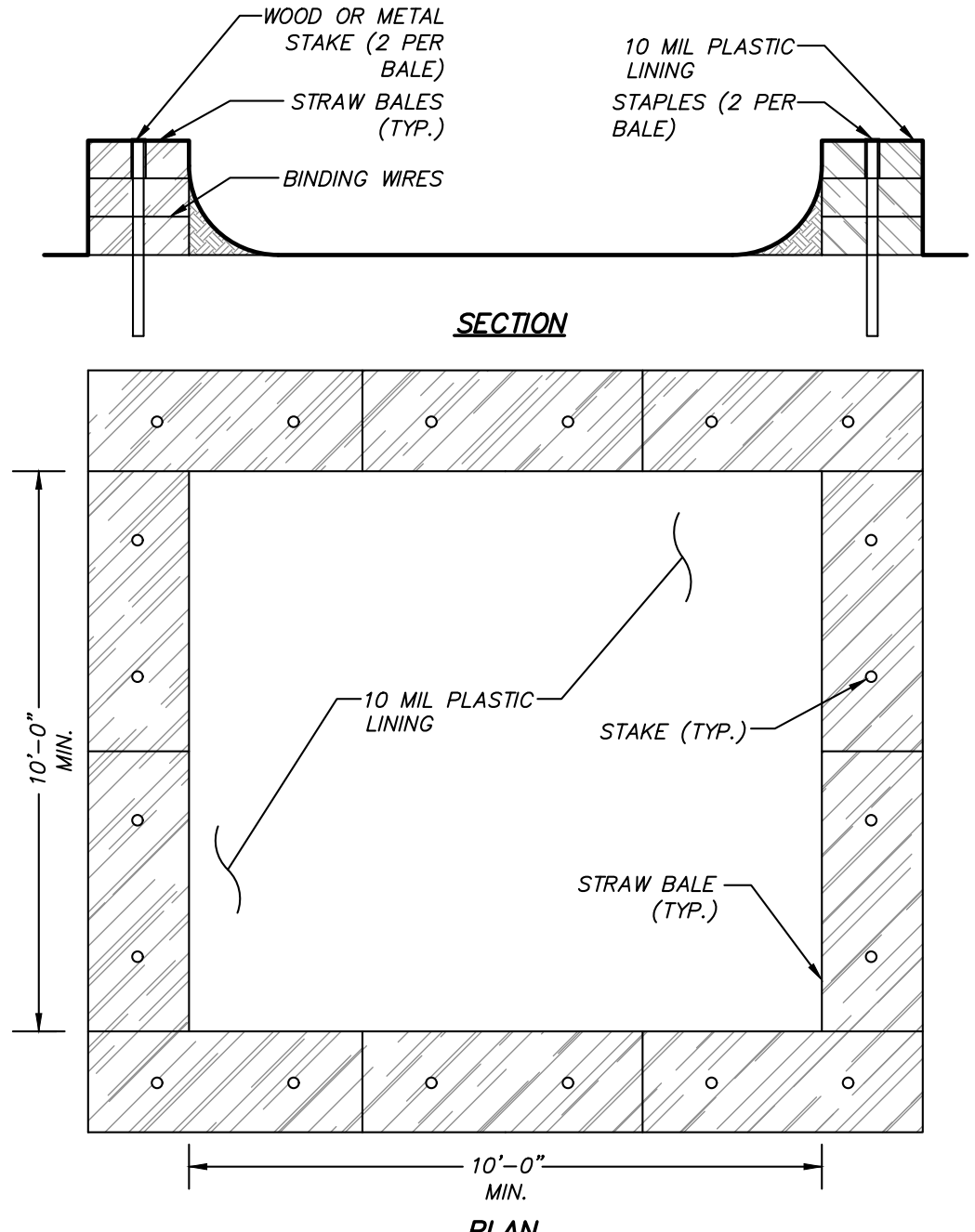
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20100.100			D-3	12
DATE	DRAWN BY	M.E.U.	CHECKED BY	A.D.T.
12-2-20				
SCALE	AS SHOWN			

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2209 OF ARTICLE 145 OF THE EDUCATION LAW.



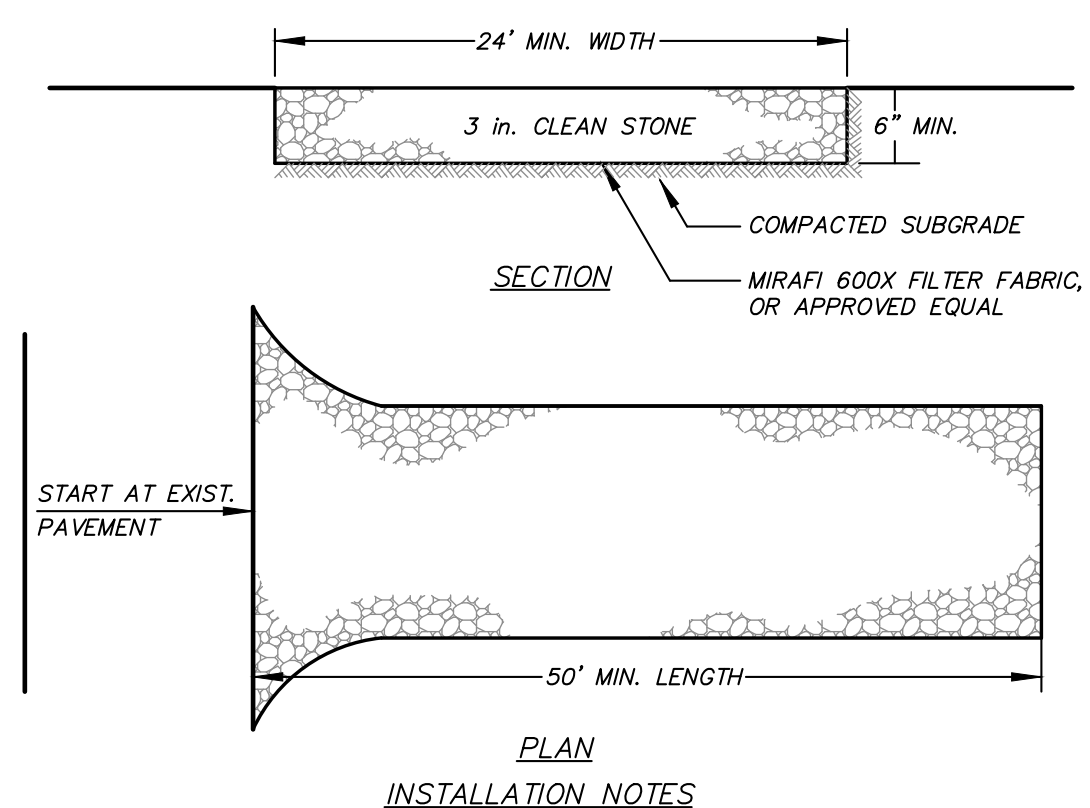
1. CLEAR THE AREA OF ALL DEBRIS THAT WILL HINDER EXCAVATION
2. GRADE APPROACH TO THE INLET UNIFORMLY AROUND THE BASIN
3. WEED HOLES SHALL BE PROTECTED BY GRAVEL
4. UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA, SEAL WEED HOLES, FILL EXCAVATION WITH STABLE SOIL TO FINAL GRADE, COMPACT IT PROPERLY, AND STABILIZE WITH PERMANENT SEEDING
5. MAXIMUM DRAINAGE AREA = 1 ACRE

EXCAVATED DROP INLET PROTECTION DETAIL
(N.T.S.)

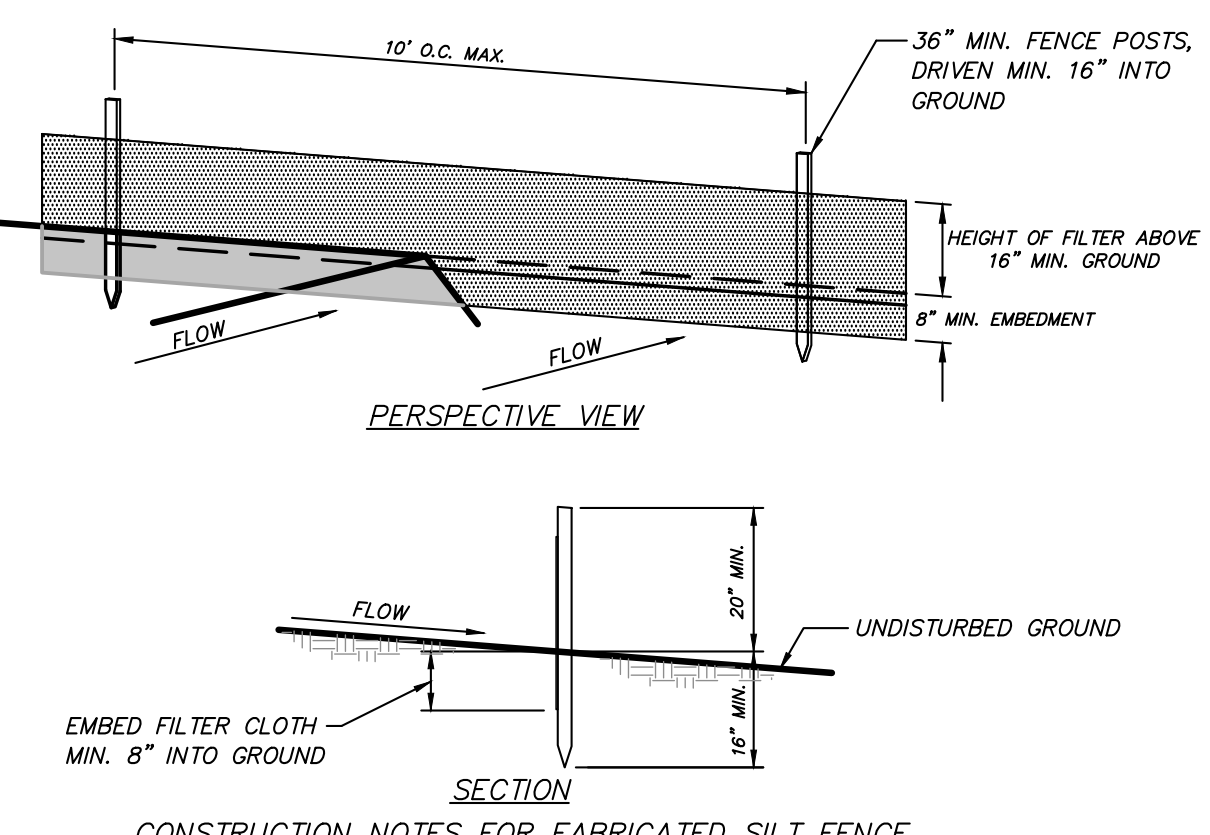


CONCRETE WASHOUT AREA DETAIL
(N.T.S.)

- NOTES**
1. TEMPORARY CONCRETE WASHOUT TYPE ABOVE GRADE WILL BE CONSTRUCTED AS SHOWN ABOVE, WITH RECOMMENDED MINIMUM LENGTH AND MINIMUM WIDTH OF 10 FT.
 2. THE WASHOUT WILL BE MINIMUM OF 50 FT FROM STORM DRAIN INLETS.
 3. PLASTIC LINING WILL BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.



STABILIZED CONSTRUCTION ENTRANCE DETAIL
(N.T.S.)



TEMPORARY SOIL STOCKPILE DETAIL
(N.T.S.)

- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**
1. FILTER CLOTH TO BE FASTENED SECURELY TO POSTS: STEEL EITHER T OR U TYPE OR 2" HARDWOOD
 2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED
 3. MAINTENANCE SHALL BE PERFORMED AS NEEDED: PREFABRICATED SILT FENCE: GEOTAB AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILT FENCE DETAIL
(N.T.S.)

EROSION AND SEDIMENT CONTROL MAINTENANCE SCHEDULE

PRACTICE	MONITORING REQUIREMENTS			MAINTENANCE REQUIREMENTS	
	DAILY	WEEKLY	AFTER RAINFALL	DURING CONSTRUCTION	AFTER CONSTRUCTION
SILT FENCE BARRIER	Inspect	Inspect	Inspect	Clean/Replace Stone and Fabric	Remove
STABILIZED CONSTRUCTION ENTRANCE	Inspect	Inspect	Inspect	Mulching/Spraying Water	N/A
DUST CONTROL	Inspect	Inspect	Inspect	Water/Reseed/Remulch	Reseed to 80% Coverage
*VEGETATIVE ESTABLISHMENT	Inspect	Inspect	Inspect	Clean/Repair/Replace	Remove
INLET PROTECTION	Inspect	Inspect	Inspect	Clean/Repair/Replace	Remove
SOIL STOCKPILES	Inspect	Inspect	Inspect	Clean/Mulch/Repair	Grow Permanent Grass/Replace/Repair Rip/Rap
SWALES	Inspect	Inspect	Inspect	Clean/Repair/Replace	Clean/Repair/Replace
CHECK DAMS	Inspect	Inspect	Inspect	Clean/Repair/Replace	Clean/Repair/Replace
CONCRETE DRAINAGE STRUCTURES	Inspect	Inspect	Inspect	Clean/Sumps/Remove Debris/Repair/Replace	Clean/Sumps/Remove Debris/Repair/Replace
DRAINAGE PIPES	Inspect	Inspect	Inspect	Clean/Repair	Clean/Repair
ROAD & PAVEMENT	Inspect	Inspect	Inspect	Clean	Clean
*STORMWATER TRAP/BASIN	Inspect	Inspect	Inspect	Clean/Mulch/Repair/Reseed	See Permanent Stormwater Facilities Maintenance Schedule on Drawing SP-3.1

* Permanent vegetation is considered stabilized when 80% of the plant density is established. Erosion control measures shall remain in place until all disturbed areas are permanently stabilized.

Note: The party responsible for implementation of the maintenance schedule during and after construction is:

Baldwin Hills Realty LLC
1699 Route 6 Suite 1
Carmel NY 10512
and/or the current owner(s) of the subject property.

REQUIRED POST-CONSTRUCTION STORMWATER MANAGEMENT PRACTICE COMPONENTS:

1. Pursuant to the NYSDEC "SPDES General Permit for Stormwater Discharges from Construction Activity" (GP-0-20-001), all construction projects needing post-construction stormwater management practices shall prepare a SWPPP that also includes practices designed in conformance with the most current version of the technical standard, New York State Stormwater Management Design Manual ("Design Manual"). Where post-construction stormwater management practices are not designed in conformance with this technical standard, the owner or operator must demonstrate equivalence to the technical standard. The following list of SWPPP components is provided in accordance with Part III.B.2-a and III.B.3.
 - a. Identification of all post-construction stormwater management practices to be constructed as part of the project. This plan, and details/notes shown herein serve to satisfy this SWPPP requirement.
 - b. A site map/construction drawing(s) showing the specific location and size of each post-construction stormwater management practice. This plan, and details/notes shown herein serve to satisfy this SWPPP requirement.
 - c. A Stormwater Modeling and Analysis Report including pre-development conditions, post-development conditions, the results of the stormwater modeling, a summary table demonstrating that each practice has been designed in conformance with the design criteria, identification of and justification for any deviations from the Design Manual, and identification of any design criteria that are not required. The required analysis is provided in the report titled Amended Stormwater Pollution Prevention Plan for the Confluence of Baldwin Place.
 - d. Soil testing results and locations. This SWPPP requirement is provided in the report titled Amended Stormwater Pollution Prevention Plan for the Confluence of Baldwin Place.
 - e. Infiltration testing results. This SWPPP requirement is provided in the report titled Amended Stormwater Pollution Prevention Plan for the Confluence of Baldwin Place.
 - f. An operations and maintenance plan that includes inspection and maintenance schedules and actions to ensure continuous and effective operation of each post-construction stormwater management practice. The plan shall identify the entity that will be responsible for the long term operation and maintenance of each practice. The Permanent Stormwater Facilities Maintenance Schedule provided on these plans serves to satisfy this requirement.
2. Enhanced Phosphorus Removal Standards - Beginning on September 30, 2008, all construction projects identified in Table 2 of Appendix B that are located in the watersheds identified in Appendix C shall prepare a SWPPP that includes post-construction stormwater management practices designed in conformance with the technical standard, New York Stormwater Management Design Manual. At a minimum, the post-construction stormwater management practice component of the SWPPP shall include items 2.a - 2.f above. The permanent stormwater practices for this project have been sized according to chapter 10 of the Design Manual Enhanced Phosphorus Removal Standards. Please see 2.a - 2.f above.

PERMANENT STORMWATER FACILITIES MAINTENANCE SCHEDULE

PRACTICE/FACILITY	MONTHLY	AFTER MAJOR STORM EVENTS	BI-ANNUALLY	YEARLY	EVERY 5 TO 10 YEARS
RIP RAP SWALES	Ensure contributing areas clean of debris, no evidence of erosion, and mowing performed.	Inspect for erosion, soil permeability, & evidence of flow going around structures.	-	Inspect & clean accumulated sediment.	-
SUBSURFACE STORMWATER COLLECTION SYSTEMS	-	-	Inspect & clean	Inspect, clean, repair and/or replace stormwater debris.	-
CATCH BASINS	-	-	Inspect for damage to frame and grates and pipe inlets/outlets. Clean accumulated sediment in sump.	-	-
GRASS SWALES	Inspect first few months after construction for eroding soils & slumping & repair immediately.	-	Inspect & clean Mow & remove debris & litter. Revegetate as needed.	-	Inspect for & remove accumulated sediment
INFILTRATION BASINS, SEDIMENTATION BASIN	Inspect first few months after construction for eroding soils & slumping & repair immediately.	Inspect orifices, inlets & outlets for clogging, eroding soils on the basin berm & embankments, & sources of erosion, & stabilize & slumping & repair immediately.	Mow berms and exterior embankments. Remove debris & litter from basins & outlet structures. Remove sediment if accumulated greater than an 1"	-	Inspect for & remove accumulated sediment

Note: The party responsible for implementation of the maintenance schedule during and after construction is:

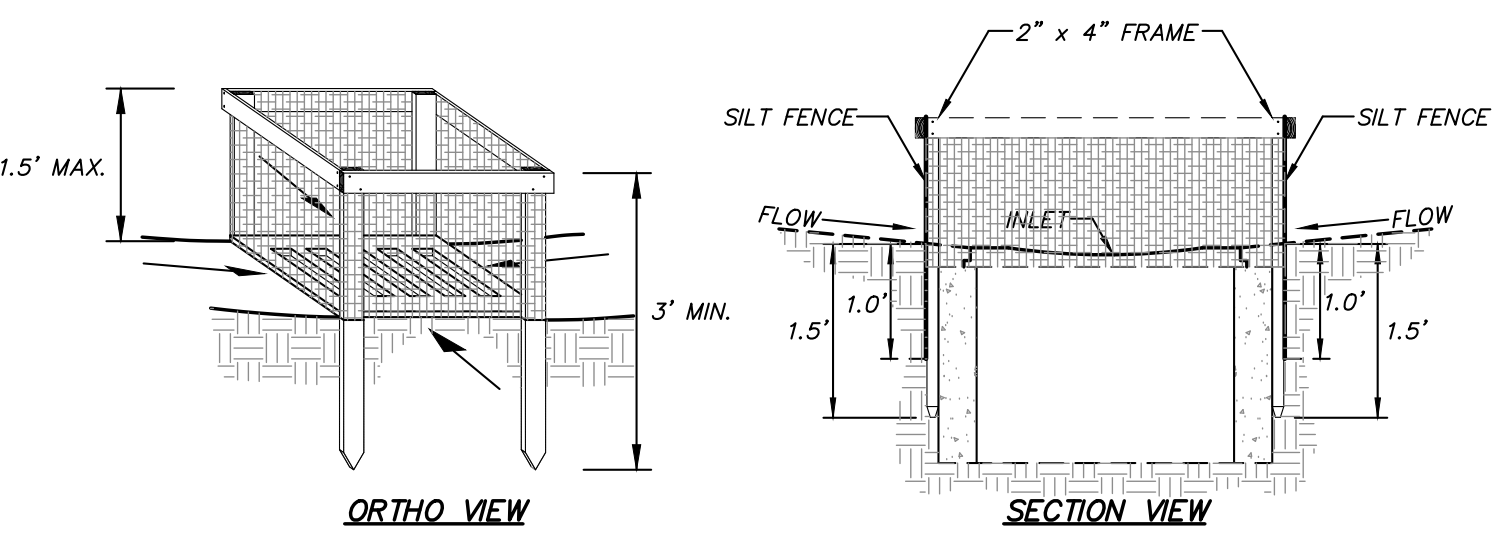
Baldwin Hills Realty LLC
1699 Route 6 Suite 1
Carmel NY 10512
and/or the current owner(s) of the subject property.

EROSION & SEDIMENT CONTROL NOTES:

1. The owner's field representative (O.F.R.) will be responsible for the implementation and maintenance of erosion and sediment control measures on this site prior to and during construction.
2. All construction activities involving the removal or disposition of soil are to be provided with appropriate protective measures to minimize erosion and control sediment disposition within. Minimum soil erosion and sediment control measures shall be implemented as shown on the plans and shall be installed in accordance with "New York Standards and Specifications For Erosion and Sediment Control," latest edition.
3. Wherever feasible, natural vegetation shall be retained and protected. Disturbance shall be minimized in the areas required to perform construction. No more than 3 acres of unprotected soil shall be exposed at any one time.
4. When land is exposed during development, the exposure shall be kept to the shortest practical period of time. In the areas where soil disturbance activity has temporarily or permanently ceased, the application of soil stabilization measures must be initiated by the end of the next business day and completed within seven (7) days from the date the current soil disturbance activity ceased. Disturbance shall be minimized to the areas required to perform construction.
5. Silt fence shall be installed as shown on the plans prior to beginning any clearing, grubbing or earthwork.
6. All topsoil to be stripped from the area being developed shall be stockpiled and immediately seeded for temporary stabilization. Ryegrass (annual or perennial) at a rate of 30 lbs. per acre shall be used for temporary seeding in spring, summer or early fall. "Aristoak" Winter Rye (cereal rye) shall be used for temporary seeding in late fall and winter.
7. Any disturbed areas not subject to further disturbance or construction traffic, permanent or temporary, shall have soil stabilization measures initiated for permanent vegetation cover in combination with a suitable mulch within 1 business day of final grading. All seeded areas to receive a minimum 4" screened topsoil from stockpile area. Seed mixes as noted in General Site Seeding Notes on drawing SP-1 are to be planted between March 21 and May 20, or between August 15 and October 15 or as directed by project representative.
8. Cut or fill slopes 3:1 and steeper shall be stabilized immediately after grading with Curlex 1 Single Net Erosion Control Blanket, or approved equal.
9. Paved roadways shall be kept clean at all times.
10. The site shall at all times be graded and maintained such that all stormwater runoff is diverted to soil erosion and sediment control facilities.
11. All storm drainage outlets shall be stabilized, as required, before the discharge points become operational.
12. Stormwater from disturbed areas must be passed through erosion control barriers before discharge beyond disturbed areas or discharged into other drainage systems.
13. Erosion and sediment control measures shall be inspected and maintained on a daily basis by the O.F.R. to insure that channels, temporary and permanent ditches and pipes are clear of debris, that embankments and berms have not been breached and that all straw bales and silt fence are intact. Any failure of erosion and sediment control measures shall be immediately reported by the contractor and inspected for approval by the O.F.R. and/or site engineer.
14. Dust shall be controlled by spraying or other approved methods as necessary, or as directed by the O.F.R.
15. Cut and fills shall not endanger adjoining property, nor divert water onto the property of others.
16. All fills shall be placed and compacted in 6" lifts to provide stability of material and to prevent settlement.
17. The O.F.R. shall inspect downstream conditions for evidence of sedimentation on a weekly basis and after rainstorms.
18. As warranted by field conditions, special additional erosion and sediment control measures, as specified by the site engineer and/or the Town Engineer shall be installed by the contractor.
19. Erosion and sediment control measures shall remain in place until all disturbed areas are suitably stabilized.

REQUIRED EROSION CONTROL SWPPP CONTENTS:

- Pursuant to the NYSDEC "SPDES General Permit for Stormwater Discharges from Construction Activity" (GP-0-20-001), all Stormwater Pollution Prevention Plans (SWPPP) shall include erosion and sediment control practices designed in conformance with the most current version of the technical standard, "New York Standards and Specifications for Erosion and Sediment Control." Where erosion and sediment control practices are not designed in conformance with this technical standard, the owner or operator must demonstrate equivalence to the technical standard. The following list of required SWPPP components is provided in accordance with Part III.B.1-a of General Permit GP-0-20-001:
- a. Background information: The subject project consists of the expansion of a contractor's outdoor storage yard.
 - b. Site map / construction drawing: These plans serve to satisfy this SWPPP requirement.
 - c. Description of the soils present at the site: Onsite soils located within the proposed limits of disturbance consist of Paxton Fine Sandy Loam (PnS), Sun Loam (Sl) and Ridgebury Complex (RdA), as identified on the Soil Conservation Service Web Soil Survey. These soil types belong to the Hydrologic Soil Group "A" and "B."
 - d. Construction phasing plan / sequence of operations: The Construction Sequence and phasing found on these plans provide the required phasing. A Construction Sequencing and Erosion and Sediment Control Maintenance Schedule has been provided. The Sedimentation and Erosion Control Notes contained herein outline a general sequence of operations for the proposed project, in general all erosion and sediment control facilities shall be installed prior to commencement with land disturbing activities, and areas of disturbance shall be limited to the shortest period of time as practicable.
 - e. Description of erosion and sediment control practices: This plan, and details / notes shown herein serve to satisfy this SWPPP requirement.
 - f. Temporary and permanent soil stabilization plan: The Sedimentation and Erosion Control Notes and Details provided herein identify temporary and permanent stabilization measures to be employed with respect to specific elements of the project, and at the various stages of development.
 - g. Site map / construction drawing: This plan serves to satisfy this SWPPP requirement.
 - h. The dimensions, material specifications, installation details, and operation and maintenance requirements for all erosion and sediment control practices. The details, Erosion and Sediment Control Notes, and Erosion and Sediment Control Maintenance Schedule serve to satisfy this SWPPP requirement.
 - i. An inspection schedule: Inspections are to be performed twice weekly and by a qualified professional as required by the General Permit GP-0-20-001. In addition the NYSDEC Trained Contractor shall perform additional inspections as cited in the Sedimentation and Erosion Control Notes.
 - j. A description of pollution prevention measures that will be used to control litter, construction chemicals and construction debris: In general, all construction litter / debris shall be collected and removed from the site. The general contractor shall supply either waste barrels or dumpster for proper waste disposal. Any construction chemicals utilized during construction shall either be removed from site daily by the contractor or stored in a structurally sound and weatherproof building. No hazardous waste shall be disposed of onsite, and shall ultimately be disposed of in accordance with all federal, state and local regulations. Material Safety Data Sheets (MSDS), material inventory, and emergency contact numbers shall be maintained by the general contractor for all construction chemicals utilized onsite. Finally, temporary sanitary facilities (portable toilets) shall be provided onsite during the entire length of construction, and inspected weekly for evidence of leaking holding tanks.
 - k. A description and location of any stormwater discharges associated with industrial activity other than construction at the site: There are no known industrial stormwater discharges present or proposed at the site.
 - l. Identification of any elements of the design that are not in conformance with the technical standard, "New York Standards and Specifications for Erosion and Sediment Control." All proposed elements of this SWPPP have been designed in accordance with the "New York Standards and Specifications for Erosion and Sediment Control."



INSTALLATION NOTES

1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAYBE USED FOR SHORT TERM APPLICATIONS.
2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
3. STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
4. SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
5. FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
6. A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.

FILTER FABRIC INLET PROTECTION DETAIL
(N.T.S.)

- NOTES**
1. AREA CHOSEN FOR STOCKPILE LOCATION SHALL BE DRY AND STABLE.
 2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 2:1.
 3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE IMMEDIATELY SEEDED WITH K31 PERENNIAL TALL FESCUE.
 4. ALL STOCKPILES SHALL BE PROTECTED WITH SILT FENCING INSTALLED ON THE DOWNGRADIENT SIDE.

NO.	DATE	REVISION	COMMENTS	BY
1	1-14-21		REVISED PER PLANNING BOARD COMMENTS	ERA

INSITE
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.
3 Garrett Place
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(845) 225-9680
(845) 225-9717 fax
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PROJECT: FAIRHAVEN AT BALDWIN PLACE
BALDWIN PLACE RD, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK
DRAWING: EROSION & SEDIMENT CONTROL DETAILS

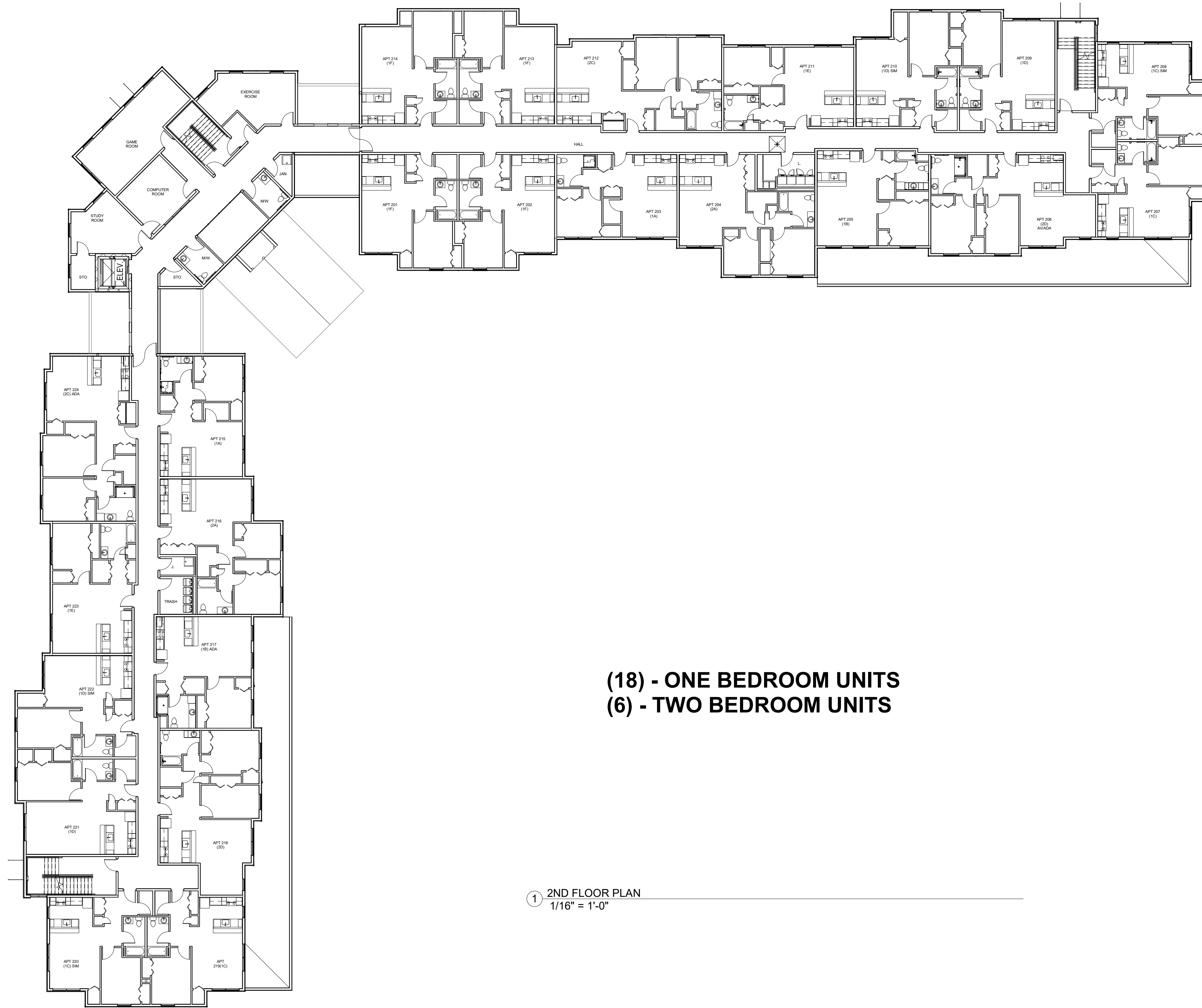
PROJECT NUMBER: 20100.100 PROJECT MANAGER: J.J.C.
DATE: 12-2-20 DRAWN BY: M.E.U.
SCALE: AS SHOWN CHECKED BY: A.D.T.

DRAWING NO. SHEET: D-4 13



**PROPOSED
(72) UNIT APARTMENT BUILDING:
FAIRHAVEN AT BALDWIN PLACE
BALDWIN PLACE ROAD AND ROUTE 6
MAHOPAC, PUTNUM COUNTY, NY**





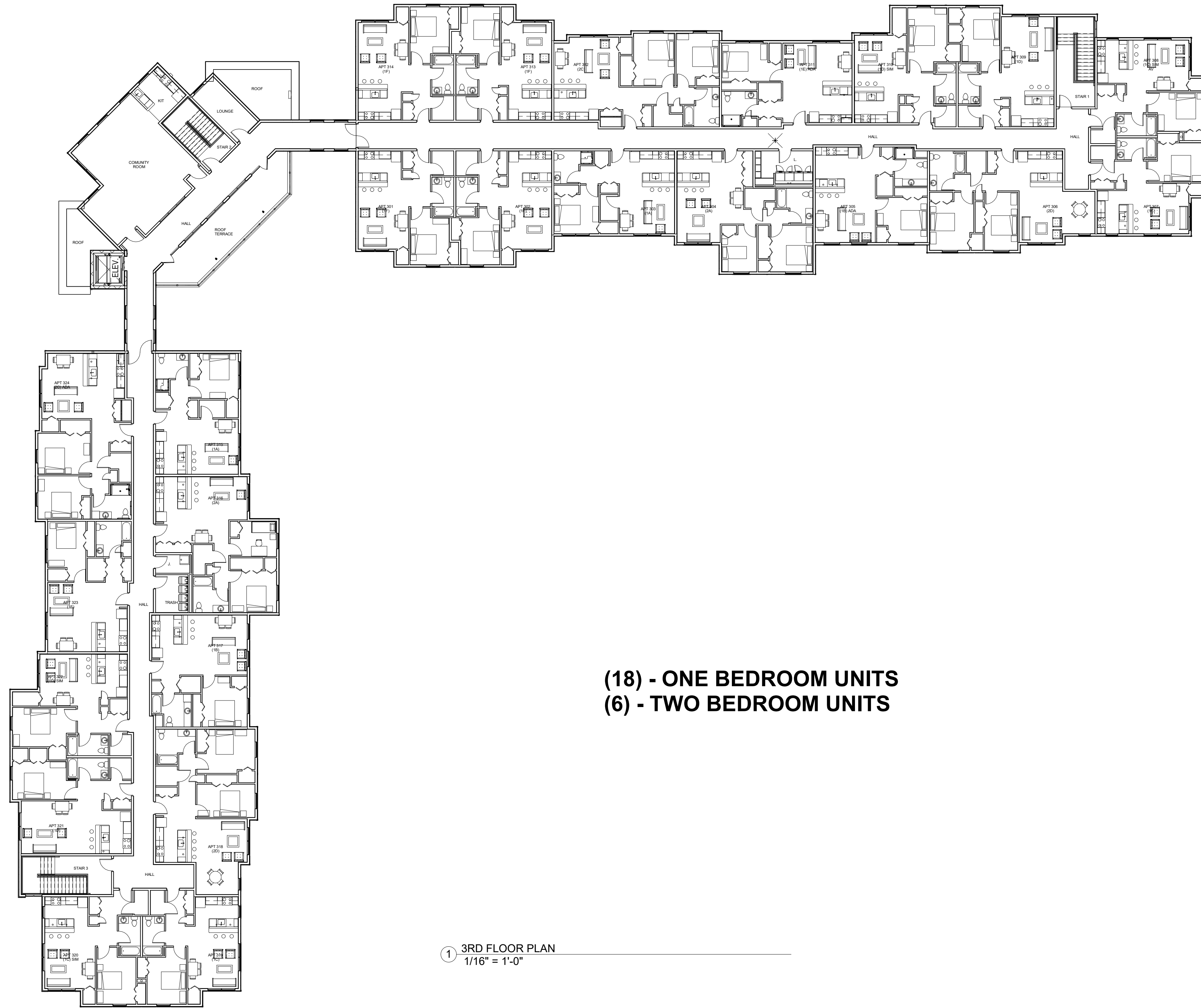
**(18) - ONE BEDROOM UNITS
(6) - TWO BEDROOM UNITS**

① 2ND FLOOR PLAN
1/16" = 1'-0"

FAIRHAVEN AT BALDWIN PLACE

BALDWIN PLACE ROAD AND ROUTE 6
 MAHOPAC, NEW YORK 10541

CONTRACTOR SHALL VERIFY ALL DIMENSION AT SITE. UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DOCUMENT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW.



**(18) - ONE BEDROOM UNITS
(6) - TWO BEDROOM UNITS**

① 3RD FLOOR PLAN
1/16" = 1'-0"

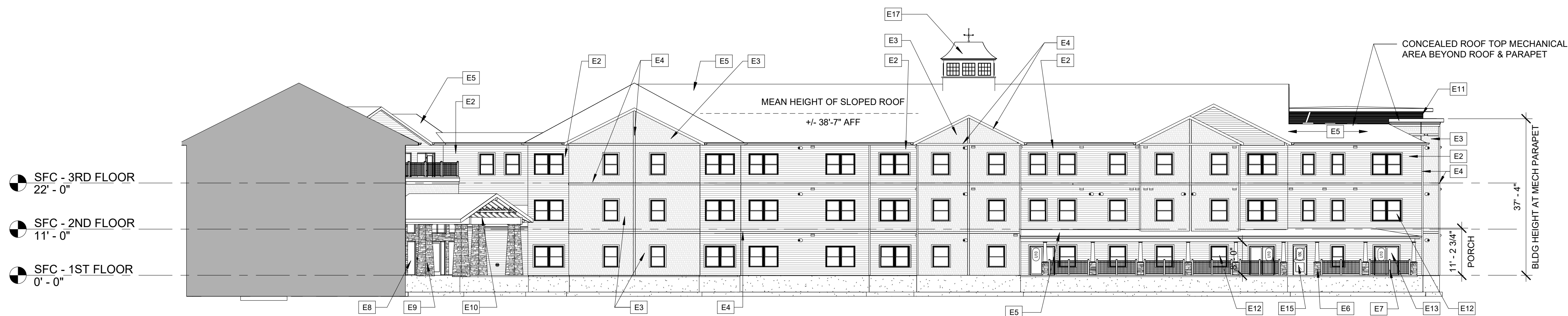


4 BUILDING SOUTH ELEVATION
1/16" = 1'-0"

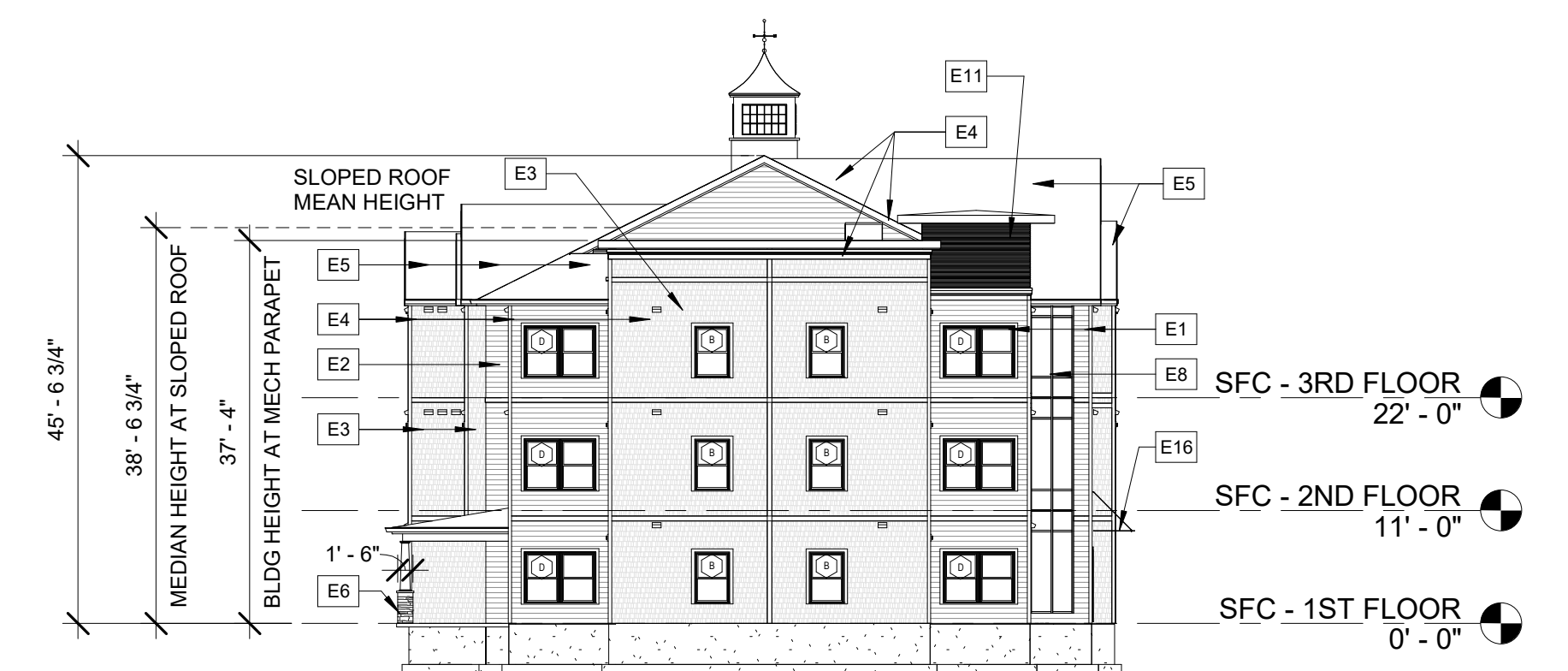
EXTERIOR ELEVATION NOTES	
E1	CULTURED STONE VENEER
E2	WOOD GRAINED LAP VINYL SIDING
E3	WOOD GRAINED SHAKE VINYL SIDING
E4	TRIM BOARDS
E5	ASPHALT SHINGLES
E6	PORCH COLUMNS CULTURED STONE BASE WITH PAINTED FIBERGLASS COLUMN WRAPS ABOVE.
E7	VINYL RAILING
E8	ALUMINUM & GLASS STOREFRONT SYSTEM
E9	TAPERED CULTURE STONE COLUMNS
E10	HEAVY TIMBER ENTRY CANOPY WITH STAINED TIMBER BEAMS & TRUSSES
E11	METAL WALL PANELS METAL PAC-CLAD HWP HORIZONTAL OR EQUAL
E12	TYPICAL VINYL DOUBLE HUNG WINDOWS
E13	TYPICAL VINYL DOUBLE HUNG WINDOWS
E14	INSULATED METAL DOORS PAINTED
E15	ALUMINUM & GLASS DOORS
E16	GLASS HUNG CANOPY
E17	CUPOLA STRUCTURE WITH WINDOWS, COPPER ROOF & WEATHERVANE.



1 BUILDING WEST ELEVATION
1/16" = 1'-0"



2 PARTIAL EAST ELEVATION
1/16" = 1'-0"



3 NORTH (WING END) ELEVATION
1/16" = 1'-0"



FAIRHAVEN AT BALDWIN PLACE

BALDWIN PLACE ROAD AND ROUTE 6
 MAHOPAC, NEW YORK 10541

CONTRACTOR SHALL VERIFY ALL DIMENSION AT SITE. UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DOCUMENT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW.



January 18, 2021

Town of Carmel Planning Board
60 McAlpin Avenue
Mahopac, New York 10541

RE: Fairhaven at Baldwin Place
Baldwin Place Road and Route 6
Town of Carmel
TM# 86.6-1-4

Dear Chairman Paepre and Members of the Board:

Please find enclosed the following plans and documents in support of an application for site plan / subdivision approval for the above referenced project:

- Two (2) drawing Sketch Subdivision Plan, revised January 14, 2021. (5 copies)
- Eleven (11) drawing Site Plan Set, revised January 14, 2021. (5 copies)
- Zoning Analysis, dated January 14, 2021.
- Operational Summary, dated January 14, 2021.
- Six (6) drawing Architectural Drawing Set, prepared by Reform Architecture, revised January 14, 2021. (5 copies)
- SEQR Full EAF, revised January 14, 2021. (11 copies)
- Letter regarding parking from Philip J. Grealy, PhD, PE from Maser Consulting, dated January 12, 2021.

Following our discussion with the Planning Board at the December meeting, and follow up discussions with the Town's consultants, the plans have been revised to address the concerns that have been raised. The applicant's main priority remains to satisfy the outstanding concerns to the degree that a referral to the Zoning Board of Appeals would be acceptable to the Board.

With regard to comments from Director of Code Enforcement, Michael Carnazza regarding the proposed subdivision, dated December 17, 2020, we offer the following responses:

- 1) The lot width and depth dimensions have been shown on the plat. The proposed property lines have also been revised to allow more clearly identifiable width and depth dimensions as defined in the zoning code.
- 2) Based on the provided lot depth and width, no variance would be necessary.

With regard to comments from Director of Code Enforcement, Michael Carnazza regarding the site plan, dated December 17, 2020, we offer the following responses:

- 1) The description of the project is accurate.

3 Garrett Place, Carmel, New York 10512 (845) 225-9690 Fax (845) 225-9717
www.insite-eng.com

January 18, 2021

- 2) Supportive Housing is further described in the attached Operational Summary.
- 3) The lot width and depth dimensions have been shown on the Overall Plan. The proposed property lines have also been revised to allow more clearly identifiable width and depth dimensions as defined in the zoning code.
- 4) Floor Plans and Elevations have been provided.
- 5) A summary of recreation space has been outlined in a table on drawing SP-1.1.
- 6) Fire suppression will be included in the building design and construction.
- 7) There is a county bus route on Route 6 and on Baldwin Place Road.
- 8) There are retail/service businesses within 600' of the site. The smallest one-bedroom units are 652 SF, and the largest two-bedroom units are 968 SF.
- 9) With regard to the variances required, we agree that a variance is required related to the age restriction on the Senior Housing ordinance, and on the number of required parking spaces. However, the building will be served by community water and sewer, in the form of a system of drilled wells (community public water supply) and a septic system (community subsurface sewage treatment system), respectively.

With regard to comments from Town Engineer, Richard Franzetti, regarding the subdivision, dated December 11, 2020, we offer the following responses:

- 1) The list of required referrals is acknowledged.
- 2) The list of required permits is acknowledged.
- 3) The wetland delineation was completed by Tim Miller Associates.
- 4) A SWPPP will be provided with a future submission.
- 5) The recommendation of a traffic study is acknowledged and will be addressed with a future submission.
- 6) The requirement of performance bonds and engineering fees for improvements in the public right of way is acknowledged.
- 7) The plan as currently proposed offers significant private open space, some of which is included in the Recreation Area Summary on drawing SP-1.1.
- 8) The requirement of performance bonds and maintenance agreements for stormwater facilities is acknowledged and will be addressed at a future date.
- 9) The Full EAF has been resubmitted and revised as requested.
 - a. NYCDEP permitting has been added to the permit list on page 2.
 - b. The proposed action does not meet the threshold provided in the Full EAF Workbook as a "substantial increase." However, more detail on anticipated traffic associated with the proposed use will be provided once it is established that the use is permissible.

January 18, 2021

- c. There will be no petroleum stored on site. It is contemplated that the building would be serviced by natural gas from the local utility.
- d. The answer to E.1.e has been revised to yes.

With regard to comments from Town Engineer, Richard Franzetti, regarding the site plan, dated December 11, 2020, we offer the following responses:

General Comments:

- 1) The list of required referrals is acknowledged.
- 2) The list of required permits is acknowledged.
- 3) The wetland delineation was completed by Tim Miller Associates.
- 4) A SWPPP will be provided with a future submission.
- 5) The request for a traffic study with regard to the proposed pedestrian bridge over Route US-6 is acknowledged and will be considered with future submissions. The required reviews of said traffic study by NYSDOT and PCDHF is noted.
- 6) The requirement of a Stormwater Maintenance Agreement and maintenance guarantee is acknowledged.
- 7) The requirement for bonds and fees associated with work in the public right of way is acknowledged.

Detailed Comments:

- 1) The Full EAF has been resubmitted, revised as requested.
 - a. NYCDEP permitting has been added to the permit list on page 2.
 - b. The proposed action does not meet the threshold provided in the Full EAF Workbook as a "substantial increase." However, more detail on anticipated traffic associated with the proposed use will be provided once it is established that the use is permissible.
 - c. There will be no petroleum stored on site. It is contemplated that the building would be serviced by natural gas from the local utility.
 - d. The answer to E.1.e has been revised to yes.

- 2) Overall Plan – OP-1

The grades where the proposed driveway meets Baldwin Place Road have been modified and the proposed sight distances have been shown on drawings SP-1.1 and SP-2.1.

- a. Vehicle Maneuvers will be shown with a future submission.
- b. Turning radii for proposed vehicle maneuvers will be shown with a future submission.
- c. The slopes in the first 20' of the driveway are approximately 2% and the maximum slope is 8%. These values are within limits established for a Town road per Town code.

- 3) Layout and Landscape Plan SP-1.1 & SP-1.2
 - a. A note has been added to drawing SP-1 that all plantings shall be verified by the Town of Carmel Wetland Inspector.
 - b. A note has been added to the Planting Notes on drawing D-1 that plantings will be installed to the standards laid out in §142 of the Town of Carmel Code.
 - c. A woodchip foot path detail has been added to drawing D-1.
 - d. Stormwater improvements for the future road extension will be considered as the design progresses.
 - e. Slopes and material decisions for the walkways will be addressed with a future submission.
- 4) Grading and Utilities Plan SP-2.1 & SP-2.2
 - a. Rim and invert elevations for drainage structures will be provided with a future submission.
 - b. Hydraulic calculations and pipe sizing will be provided with a future submission.
 - c. The elevations in the stormwater basins have been reviewed and revised as needed.
 - d. Electric service information will be provided with a future submission. The community water and wastewater services will be handled by drilled wells and a septic system respectively, and more detail on these systems will be provided with a future submission.
 - e. Additional detail on the community septic system will be provided with a future submission.
 - f. There are no proposed retaining walls at this time. The top and bottom of wall elevations have been removed from the legend.
 - g. There are no proposed retaining walls at this time.
- 5) Erosion and Sediment Control Plan SP-3.1 & SP-3.2
 - a. Rim and invert elevations for drainage structures will be provided with a future submission.
 - b. A SWPPP report and details will be provided with a future submission.
- 6) Site Details- D-1 & D-2
 - a. A note has been added to the guiderail, concrete sidewalk, and curb details that they must meet the criteria in §128 of the Town Code.
 - b. The asphalt detail has been revised as requested.
 - c. The main access drive from Baldwin Place Road to the Lot 1 driveway may be offered as a Town road in the future. Therefore, this main access drive has been designed to Town road standards and the suggested standard has been added to the detail drawing.

- d. The material for the pipe end section has been added to the detail.

With regard to comments from Town Planner, Patrick Cleary, dated December 17, 2020, we offer the following responses:

Subdivision Review Comments

- 1) Per discussions with the Board's consultants the configuration of Lot 1 has been revised.
- 2) The Lot 1 frontage on Baldwin Place Road is not utilized for access as it is not feasible given the steep grade coming off of Baldwin Place Road. Further development of the project site in the future is a possibility, and the applicant believes that the proposed driveway entrance, across from Grand Meadow Drive, is the ideal location to access the site. The proposed driveway would service proposed Lot 1, as well as any future development within proposed Lot 2.
- 3) The zoning table as applied to the C/BP zone is accurate. The configuration of Lot 1 has been revised and an updated lot depth, width, and rear yard setback have been provided.
- 4) The existing conditions shown on Drawing EX-1 indicate topography, walls, existing tree lines, shrub lines, watercourses, and flagged wetlands. Detail as to existing on-site habitat will be provided with a future submission.

Site Plan Review Comments

- 1) As stated, neither "supportive" nor "affordable" housing exists as a permitted or special use within the C/BP zone, or anywhere in the Town of Carmel Zoning Code. Per discussions with the Board's consultants, the plans have been revised to indicate general compliance with all of the underlying regulations of the C/BP zone, as shown on the bulk table on Drawing OP-1. Further, the Zoning Analysis enclosed indicates that the plans are largely in conformance with the Multifamily Housing (§156-28) and the Senior Citizen Multifamily Housing (§156-39) sections of the zoning code, with few exceptions. The applicant is open to discuss the project conformance to each of these multifamily code provisions, and seeks direction from the Board prior to the ZBA referral.

The intent of the applicant is to pursue this proposal under the guidelines of the Senior Citizen Multifamily Housing requirements, as it is the use, existing within the Town code, that most closely aligns with the use that is proposed. To pursue this action under the requirements set forth in the code for Senior Citizen Multifamily Housing, a variance is required for the code's age restriction. For this reason, the applicant respectfully requests to be referred to the Zoning Board of Appeals, as their approval of this proposed use variance will determine the viability of the project.

- 2) The proposed property lines have been also been revised to allow more clearly identifiable width and depth dimensions as defined in the zoning code.
- 3) For Facility Operations questions please see the attached Operational Summary from Ashley Brody of Search for Change, on these topics.
- 4) The Lot 1 frontage on Baldwin Place Road is not utilized for access as it is not feasible given the steep grade coming off of Baldwin Place Road. Further development of the project site in the future is a possibility, and the applicant believes that the proposed driveway entrance, across from Grand Meadow Drive, is the ideal location to access the site. The proposed driveway would service proposed Lot 1, as well as any future development within proposed Lot 2.

January 18, 2021

The steepest grade on the driveway is 8% and no retaining walls are required.

Sight distances have been added to the Grading Plan on Drawing SP-1.1 & SP-2.1.

An access to Route 6 is complicated by the wetland crossing and deemed not feasible with the proposed first phase of development. A proposed future road connection to Route 6 is contemplated assuming future development plans warrant the connection.

- 5) Emergency vehicle access is code compliant and typical of other multifamily developments in Town. Vehicular access to all sides of the building is not required by code, nor is it feasible within the development program.
- 6) The plans have been revised to add seven proposed spaces, now proposing 91 total parking spaces. See the enclosed letter from Maser Consulting regarding the necessary parking for the proposed use. Handicap parking is shown on Drawing SP-1.1 and conforms to the state standards.
- 7) An off-street loading space is shown near the refuse enclosure. On drawing SP-1.1.
- 8) The subsurface sanitary disposal systems are shown on drawings SP-1.2, SP-2.2, and SP-3.2. Preliminary test of these areas has been completed. More detailed testing for these systems will be conducted and the results will be provided with a future submission. Electric, gas, and data services are envisioned to connect in Baldwin Place Road and run underground through to west leg of Lot 2.
- 9) For Municipal Services questions please see the response letter from Ashley Brody of Search for Change, on these topics.
- 10) Cut and fill calculations will be provided with a future submission.
- 11) The stormwater basins that will service lot 1 have been included in that lot. The stormwater basins shown on lot 2 will service the proposed driveway.
- 12) More detailed plans for the outdoor amenities will be provided with a future submission.
- 13) A detailed light plan will be provided with a future submission.

Special Exception Use Review Comments:

- 1) This requirement is complied with.
- 2) This requirement is complied with.
- 3) This requirement is complied with.
- 4) We believe this requirement is complied with. The building will be serviced by community water via a system of drilled wells (community public water supply), and wastewater will be serviced by a community septic system (community subsurface sewage treatment system).
- 5) This requirement is complied with.
- 6) This requirement is complied with.
- 7) This requirement is complied with.

January 18, 2021

- 8) The building architecture meets the height requirements but will require relief for the 3-story design in a future submission.
- 9) The elevator in the revised architectural plans is more clearly labeled. This requirement is complied with.
- 10) The building will have a fire suppression system. Also, see the response letter from Ashley Brody of Search for Change, on this topic. This requirement is complied with.
- 11) The proposed recreational area as indicated on the table on drawing SP-1.1 can be further delineated in a figure in a future submission, but more than adequate recreational area can be accommodated between the interior common amenity areas and exterior recreation space, including the playground, patio, walking paths, porches and gazebos. This requirement is complied with.
- 12) This item will require a variance. See the enclosed letter from Maser Consulting regarding the necessary parking for this use.
- 13) The code age restriction item will require a variance, as described above.
- 14) This requirement is complied with.
- 15) This requirement is complied with.
- 16) Lot 1 is within 1,000' walking distance of retail and service establishments. This requirement is complied with.
- 17) These amenities will be provided. This requirement is complied with.
- 18) All code elements, as outlined, will be provided. Details of these systems will be provided with a future submission. This requirement will be complied as the building plans advance.

Putnam County Trailway Extension Plan:

- 1) The Trailway Extension Plan was submitted to inform the Board on the County's proposal to extend the trailway on the subject property and how the project will connect to this amenity.

SEQR:

- 1) SEQR requirements are acknowledged.


January 18, 2021

Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:



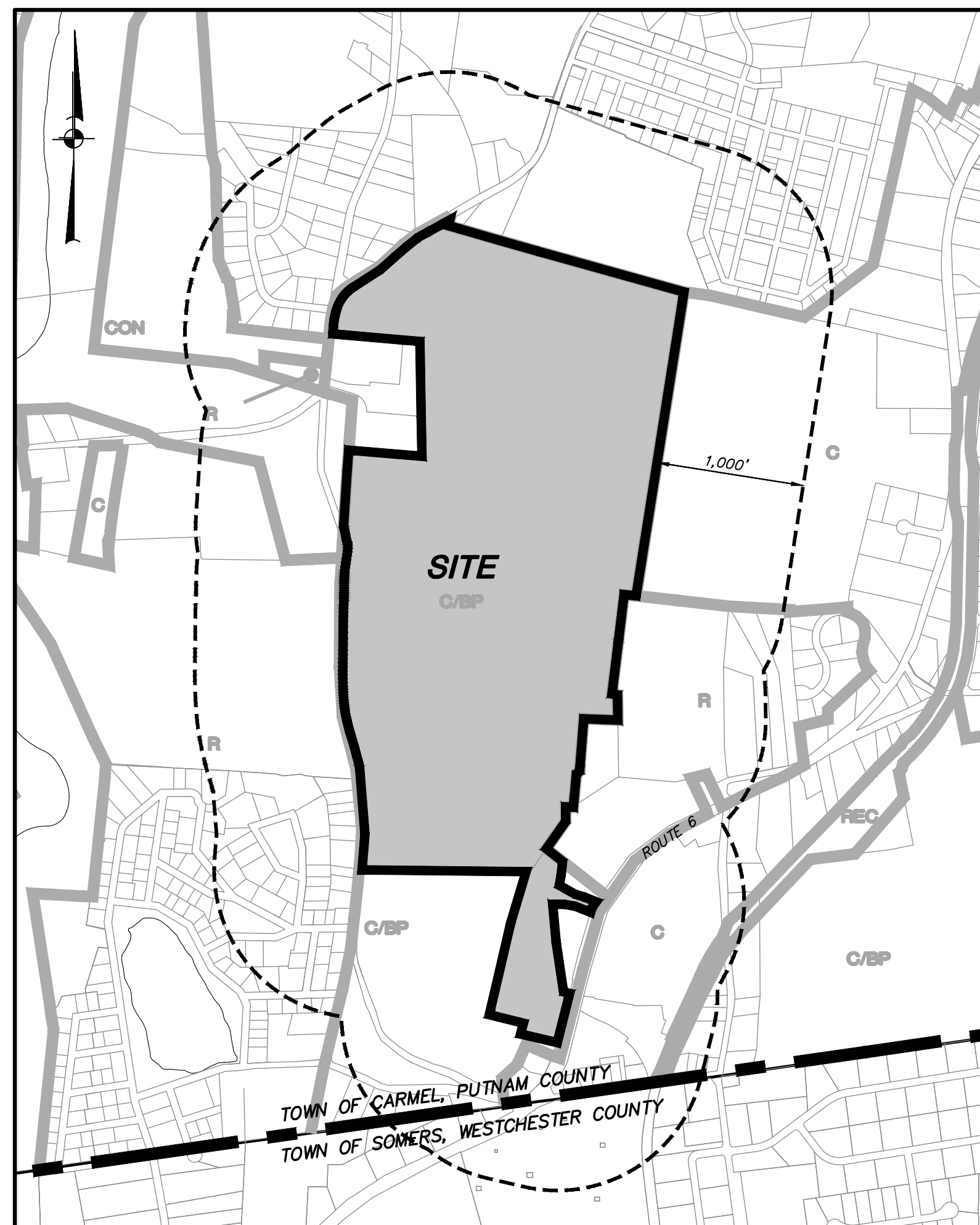
Jeffrey J. Contelmo, PE
Senior Principal Engineer

JJC/adt/amk

Enclosures

cc: Ashley Brody / Search for Change
Mike Newman / CSD Housing, LLC
Laura Koss / Reform Architecture

Insite File No. 20100.100



LOCATION MAP SCALE: 1" = 800'±

OWNER:
Baldwin Hills Realty LLC
1699 Route 6 Suite 1
Carmel NY 10512

APPLICANT:
Search For Change, Inc.
115 East Stevens Avenue, Suite 203
Valhalla, NY 10595

SITE DATA:
Tax Map No.: 86.6-1-4
Zone: C/BP - Commerce/Business Park
Total Acreage: 161.9 Ac.±

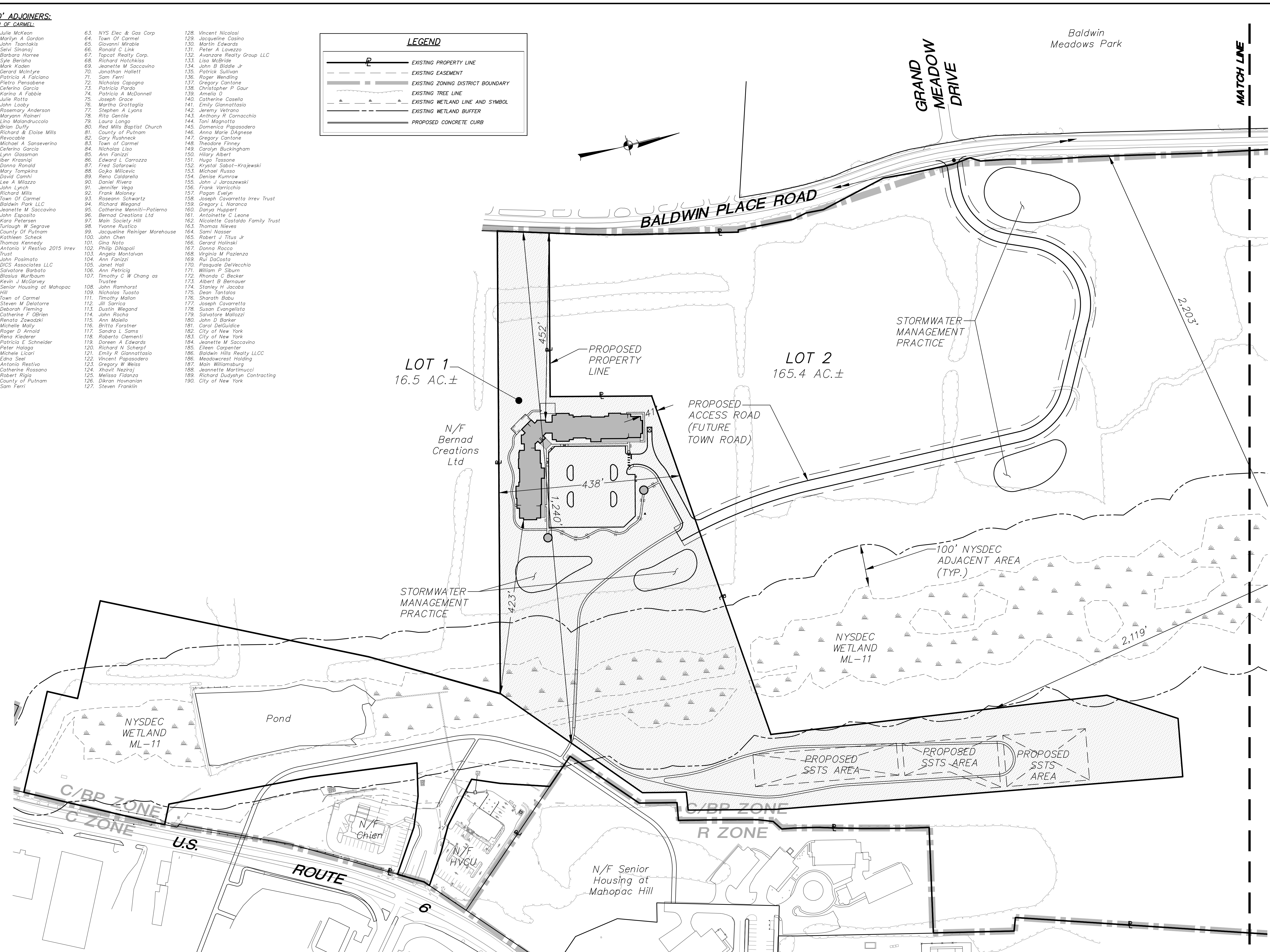
- GENERAL NOTES:**
- Property line boundary, topography, and existing features shown hereon taken from surveys prepared by Insite Engineering, Surveying & Landscape Architecture, P.C. and Terry Bergendorf Collins L.S.
 - Existing building and parking shown within 100' east of U.S. Route 6 has been digitized from NYS GIS ortho photography dated 2007.
 - Existing drainage structure locations along Baldwin Place Road north of Grand Meadow Drive are approximate and were visually located by Insite Engineering, Surveying & Landscape Architecture, P.C. on July 27, 2016.

ZONE REQUIREMENTS:	REQUIRED / PERMITTED:		PROPOSED:	
		LOT 1	LOT 2	
Minimum Lot Area:	3 Acres	16.5 AC.±	165.4 AC.±	
Minimum Lot Width:	200'	438'	2,119'	
Minimum Lot Depth:	200'	1,240'	2,203'	
Minimum Yard Setbacks:				
Front:	50'	452'	N/A	
Side:	40'	41'	N/A	
Rear:	40'	423'	N/A	
Minimum Building Floor Area:	5,000 SF	72,410 SF	N/A	
Maximum Building Coverage:	40%	3.5%	N/A	
Maximum Building Height:	40'	38.6'	N/A	

- 500' ADJOINERS:**
- TOWN OF CARMEL**
- Julie McKee
 - Mary A. Gordon
 - John Santolita
 - Siraj
 - Barbara Horree
 - Sylvia Bertha
 - Mark Kagan
 - Gerard McIntyre
 - Patricia A. Falciano
 - Pietro Pensabene
 - Celestina Garcia
 - Karla A. Falala
 - Julie Rotta
 - John Looby
 - Rosemary Anderson
 - Maryann Raineri
 - Lino Madonduccio
 - Brian Duffy
 - Richard & Eloise Mills Revocable
 - Michael A. Sansaverino
 - Celestina Garcia
 - Lynn Glassman
 - Danna Ronald
 - Mary Tompkins
 - David Carhi
 - Lee A. Mirazzo
 - John Lynch
 - Richard Mills
 - John Eposito
 - Kara Petersen
 - Tarleigh W. Seagrave
 - County Of Putnam
 - Kathleen Schreck
 - Thomas Kennedy
 - Antonio V. Restivo 2015 Irrev Trust
 - John Rosimato
 - DCS Associates LLC
 - Salvatore Barbato
 - Brasius Wurbaum
 - Kevin J. McInerney
 - Senior Housing at Mahopac Hill
 - Town of Carmel
 - Steven M. DeLatorre
 - Deborah Fleming
 - Catherine F. Giblen
 - Ramona Zawadzki
 - Michelle Mally
 - Roger D. Hnald
 - Rena Kiederer
 - Patricia E. Schneider
 - Peter Halaga
 - Michelle Licari
 - Edna Seel
 - Antonio Restivo
 - Catherine Rosano
 - Robert Rigo
 - County of Putnam
 - Sam Terri
 - NYS Elec & Gas Corp
 - Town Of Carmel
 - Giovanni Mirabile
 - Ronald C. Link
 - Tapscott Realty Corp.
 - Richard Hotchkiss
 - Jeanette M. Saccavino
 - Jonathan Hallett
 - Sam Fanni
 - Nicholas Cappagna
 - Patricia Pardo
 - Patricia A. McDonnell
 - Joseph Grace
 - Martha Grattaglia
 - Stephen A. Lyons
 - Rita Gentile
 - Laura Longo
 - Red Mills Baptist Church
 - County of Putnam
 - Dary Ruzhneck
 - Town of Carmel
 - Nicholas Liso
 - Ann Fanizzi
 - Edward L. Carozza
 - Fred Satarowicz
 - Gojko Milicevic
 - Reno Caldarella
 - Daniel Rivera
 - Jennifer Vega
 - Frank Maloney
 - Roseann Schwartz
 - Richard Wiegand
 - Catherine Memoli-Patierno
 - Main Society Hill
 - Thomas Neves
 - Jacqueline Reisher Morehouse
 - John Chen
 - Philip DiNapoli
 - Angela Montapan
 - Ann Fanizzi
 - Janet Hall
 - Ann Petrigo
 - Timothy C. W. Chang as Trustee
 - John Rothorst
 - Nicholas Tuzato
 - Timothy Mallon
 - Uli Sorica
 - Dustin Wiegand
 - John Roche
 - Ann Madiello
 - Britta Forstner
 - Sandra L. Sams
 - Roberto Clementi
 - Doreen A. Edwards
 - Richard M. Schepel
 - Emily P. Giannattasio
 - Vincent Papasadero
 - Gregory W. Weiss
 - David Najraj
 - Melissa Faganza
 - Dikran Hovhannian
 - Steven Franklin
 - Vincent Nicolosi
 - Jacqueline Casino
 - Martin Edwards
 - Patricia A. Lovazzo
 - Average Realty Group LLC
 - Lisa McBride
 - John E. Blaine Jr
 - Patrick Sullivan
 - Roger Wendling
 - Gregory Cantone
 - Christopher P. Gaur
 - Amelia D
 - Catherine Casella
 - Emily Giannattasio
 - Jeremy Velrono
 - Anthony P. Cornacchio
 - John Magnat
 - Domenica Papasadero
 - Ana Marie DiNapoli
 - Gregory Cantone
 - Theodore Finley
 - Carolin Buckingham
 - Hilary Albert
 - Rugs Tassone
 - Krzysztof Sabot-Krajewski
 - Michael Russo
 - Denise Kumrow
 - John J. Jaroszewski
 - Frank Varsichio
 - Pagan Evelyn
 - Joseph Cavarretta Irrev Trust
 - Gregory L. Naranca
 - Daryo Nupfert
 - Antonette C. Leone
 - Nicolette Castaldo Family Trust
 - Sami Nasser
 - Robert V. Thius Jr
 - Gerard Holinski
 - Danna Rocco
 - Virginia M. Paderina
 - Rui DaCosta
 - Francesca DalVecchio
 - William P. Sibum
 - Rhonda C. Becker
 - Albert B. Bernauer
 - Stanley H. Jacobs
 - Dean Tantalis
 - Sharath Babu
 - Joseph Cavarretta
 - Jason Evangelista
 - Salvatore Malicci
 - John D. Barker
 - Caro DeGiulio
 - City of New York
 - City of New York
 - Jeanette M. Saccavino
 - Eileen Caronetti
 - Baldwin Hills Realty LLC
 - Meadowcrest Holding
 - Main Williamsburg
 - Jeanette Martimucci
 - Richard Dwyer Contracting
 - City of New York

LEGEND

- EXISTING PROPERTY LINE
- EXISTING EASEMENT
- EXISTING ZONING DISTRICT BOUNDARY
- EXISTING TREE LINE
- EXISTING WETLAND LINE AND SYMBOL
- EXISTING WETLAND BUFFER
- PROPOSED CONCRETE CURB



AREA TABLE

Tax Lot No.	Acres ±
Lot 1	16.5
Lot 2	165.4
Total Parcel Area	181.9

Sketch Plan Sheet 1 of 2
prepared for

Fairhaven at Baldwin Place

Situate in the
Town of Carmel County of Putnam State of New York

Scale 1"=100'
Date: December 2, 2020
Revised: January 14, 2021

GRAPHIC SCALE
1 inch = 100 ft.

Job No. 20100.100
PP-1.dwg

Prepared by:
INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.
3 Garrett Place • Carmel, New York 10512
Phone (845) 225-9690 • Fax (845) 225-9717
www.insite-eng.com
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Putnam County Department of Health Approval
"Non-Jurisdictional" Approval Statement

This is to certify that the division of land as represented on this map does not fall within the definition of subdivision as specified in Section 1115 of the Public Health Law, and Section 1117 of the Public Health Law, and therefore, is not applicable. This map in no way, explicit or implied, conveys the approval of the Putnam County Department of Health. Approval of this plat is not required, but all other provisions of the Putnam County Sanitary Code apply.

By: _____ Date: _____
Environmental Health Services

Expiration Date _____

Town of Carmel Planning Board Approval

Approved by resolution of the Planning Board of the Town of Carmel, Putnam County, New York, on the _____ day of _____, 2020, subject to all requirements and conditions of said resolution. Any change, erasure, modification or revision of the plat, as approved shall void this approval.

Signed this _____ day of _____, 2020.

By: _____
Chairman, Carmel Planning Board

This plat is valid for filing until _____, 2020.

Consent to File

The undersigned owner of the property hereon states that he is familiar with this map, its contents and its legends, and hereby consents to all its said terms and conditions as stated hereon, and to the filing of this map in the Office of the Clerk of the County of Putnam.

Signed this _____ day of _____, 2020.

By: _____
BALDWIN HILLS REALTY LLC
1699 ROUTE 6 SUITE 1
CARMEL NY 10512

Land Surveying by Insite Engineering, Surveying & Landscape Architecture, P.C.

Land Surveyor's Certification

We hereby certify that the survey shown hereon was completed by us on _____, that this map was completed _____, 2020; and that this survey has been prepared in accordance with the existing Code of Practice for Land Surveys as adopted by the New York State Association of Professional Land Surveyors, Inc.

Signed this _____ day of _____, 2020.

By: _____
INSITE ENGINEERING, SURVEYING, AND LANDSCAPE ARCHITECTURE P.C.
By JEFFREY B. DeROSA
New York State License No. 50749

Certification by Real Property Tax Dept.

To Real Property Tax Department:

Please certify that Tax Map Number 86.6-1-4 in the Town of Carmel are the correct Tax Map numbers for this preliminary plat.

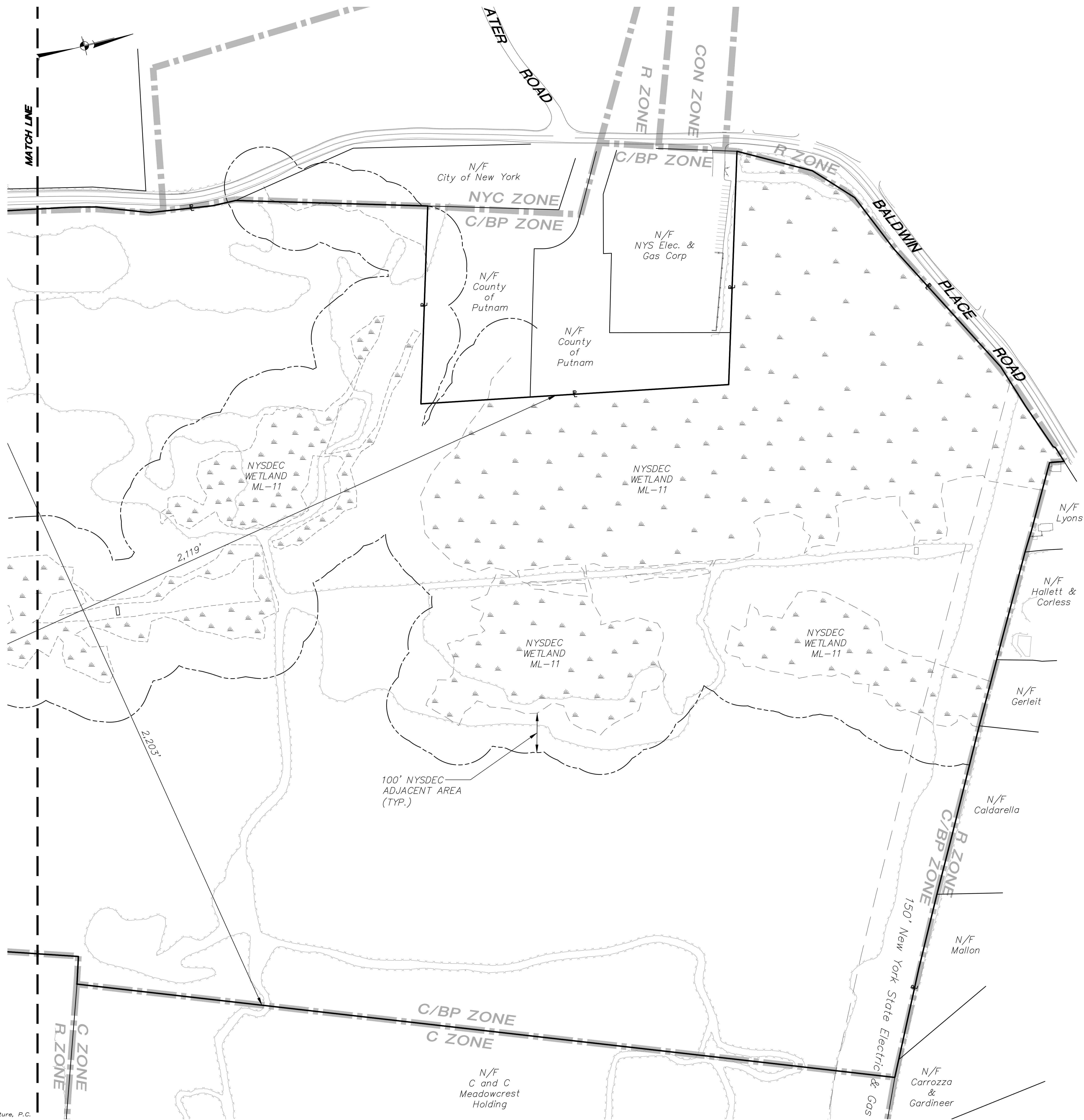
Director of Real Property Taxes

Certification by Putnam County Commissioner of Finance

The Commissioner of Finance hereby certifies that all town, county and village real property taxes forwarded to this office for collection as of _____ have been paid for the parcel or parcels described as:

Tax Map No. 86.6-1-4

Signed: _____
Commissioner of Finance



Sketch Plan
Sheet 2 of 2
 prepared for
Fairhaven at Baldwin Place
 Situate in the
Town of Carmel County of Putnam
State of New York
 Scale 1"=100'
 Date: December 2, 2020
 Revised: January 14, 2021
 GRAPHIC SCALE
 (IN FEET)
 1 inch = 100 ft.

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 www.insite-eng.com
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