

CRAIG PAEPRER
Chairman

ANTHONY GIANNICO
Vice Chairman

BOARD MEMBERS
KIM KUGLER
RAYMOND COTE
ROBERT FRENKEL
VICTORIA CAUSA

TOWN OF CARMEL
PLANNING BOARD



60 McAlpin Avenue
Mahopac, New York 10541
Tel. (845) 628-1500 – Ext.190
www.ci.carmel.ny.us

MICHAEL CARNAZZA
*Director of Code
Enforcement*

RICHARD FRANZETTI, P.E.
Town Engineer

PATRICK CLEARY,
AICP, CEP, PP, LEED AP
Town Planner

PLANNING BOARD AGENDA
FEBRUARY 23, 2022 – 7:00 P.M.

TAX MAP # PUB. HEARING MAP DATE COMMENTS

PUBLIC HEARING

1. G & F Subdivision – Lots 5, 6 & 7 2054 Route 6	55.-2-24.5, 6-1, 7-2 & 8-2	2/23/22	1/28/22	Amendment to Previously Approved Plat
2. Gateway Summit Multi-Family – Lot 6 2054 Route 6	55.-2-24.6-1, 55.-2-24.6-2	2/23/22	1/28/22	Amended Site Plan
3. The Fairways Multi-Family – Lot 7 2054 Route 6	55.-2-24.8-1, 55.-2-24.8-2	2/23/22	1/28/22	Amended Site Plan

SITE PLAN

4. P & R Estate Corp – 122 Gleneida Ave, Carmel	44.13-2-68		2/4/22	Residential Site Plan
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MISCELLANEOUS

5. Yankee Land Development – Bayberry Hill Rd & Owen Drive	76.15-1-12			Extension of Preliminary Subdivision Approval
6. MK Realty - Route 6 & Old Route 6, Carmel	55.6-1-44 & 45			Extension of Final Site Plan
7. Minutes – 01/13/22				



February 17, 2022

Town of Carmel Planning Board
60 McAlpin Avenue
Mahopac, New York 10541

RE: G&F Subdivision Lots 5, 6, & 7
Gateway Drive

Dear Chairman Paepfer and Members of the Board:

Please find enclosed the following plans and documents in support of an application for subdivision approval for the above referenced project:

- Eighteen (18) sheet Plan Set, last revised February 17, 2022. (5 copies)
- Two (2) sheet Amended Subdivision Plat prepared by Terry Bergendorff Collins Land Surveyor, last revised February 17, 2022. (5 copies)

Since we met with the Board on February 10, 2022, we have prepared the drainage and utility profiles and added them to the site plan set. In addition, we have made the following updates to the site plans and subdivision plats in response to the following:

Memorandum from Michael G. Carnazza, Town of Carmel Director of Code Enforcement, February 10, 2022:

1. The labels on the project plans and the subdivision plats have been changed to "Amended Layout of Lots 5, 6, and 7 of G and F Subdivision".

Memorandum from Richard J. Franzetti P.E., Town of Carmel Engineer, February 4, 2022:

1. The scale of the inset plan on Drawing OP-1 of the site plan set and on both sheets 1 and 2 of the Subdivision Plat have been changed to 1"= 800'.
2. The property lines to be extinguished and the proposed property lines are identified on the plan on Drawing OP-1.

We respectfully request to continue discussion of the project with the Board at the next available meeting. The project is on the agenda for February 23, 2022 for a public hearing.

Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:


Jeffrey J. Contelmo, PE
Senior Principal Engineer

JJC/dlm/amk

Enclosures

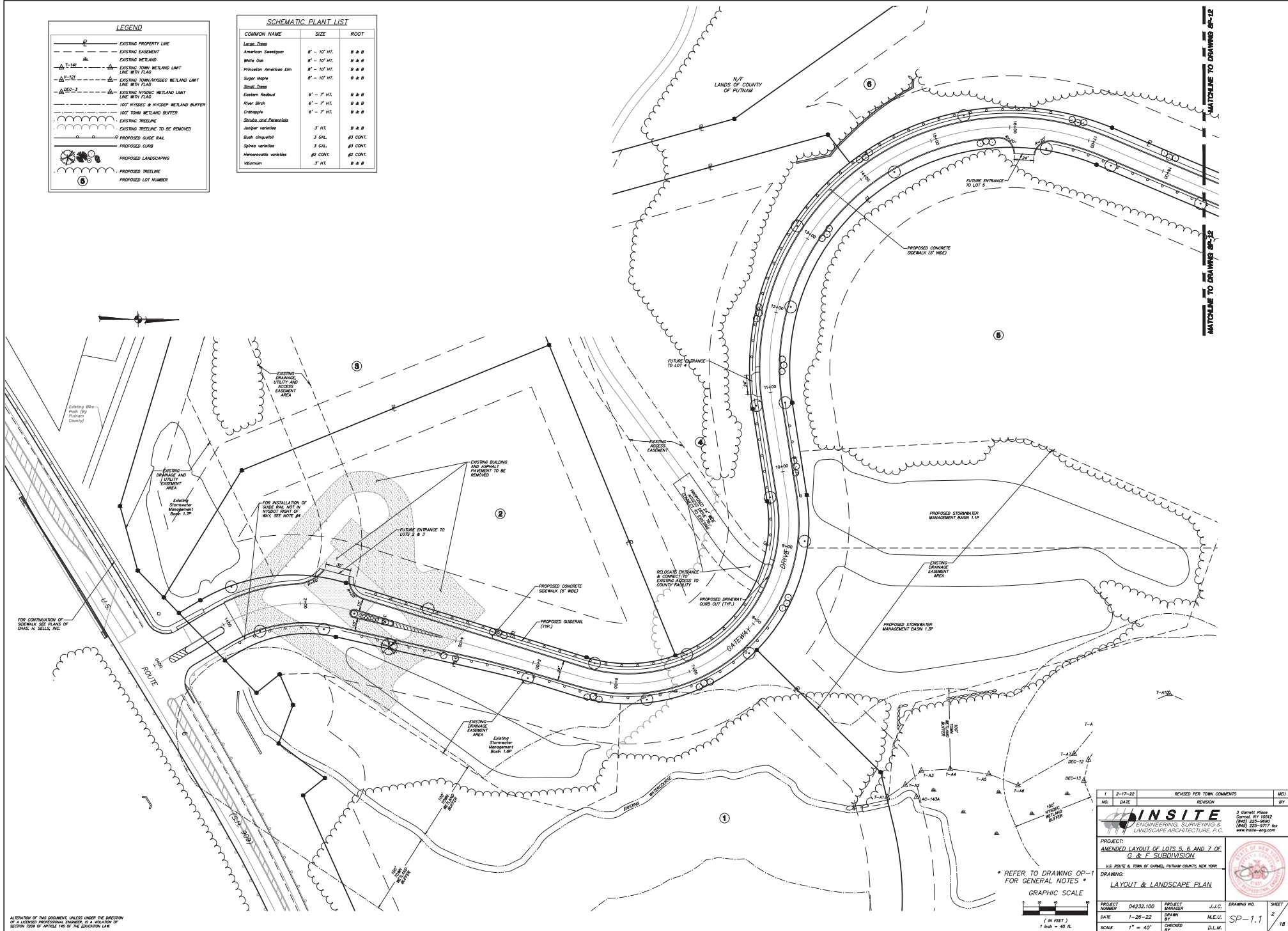
cc: Paul Camarda / CRI

Insite File No. 04232.100

3 Garrett Place, Carmel, New York 10512 (845) 225-9690 Fax (845) 225-9717
www.insite-eng.com

LEGEND	
	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	EXISTING WETLAND
	EXISTING TOWN WETLAND LIMIT LINE WITH FLAG
	EXISTING TOWN/NYSDEC WETLAND LIMIT LINE WITH FLAG
	EXISTING NYSDEC WETLAND LIMIT LINE WITH FLAG
	EXISTING NYSDEC WETLAND BUFFER
	100' TOWN WETLAND BUFFER
	EXISTING PRELINE
	EXISTING PRELINE TO BE REMOVED
	PROPOSED GRADE RAIL
	PROPOSED CURB
	PROPOSED LANDSCAPING
	PROPOSED PRELINE
	PROPOSED LOT NUMBER

SCHEMATIC PLANT LIST		
COMMON NAME	SIZE	ROOT
<i>Large Trees</i>		
American Sweetgum	8' - 10' HT.	B & B
White Oak	8' - 10' HT.	B & B
Princeton American Elm	8' - 10' HT.	B & B
Super Maple	8' - 10' HT.	B & B
Small Trees		
Eastern Redbud	6' - 7' HT.	B & B
River Birch	6' - 7' HT.	B & B
Crapehleg	6' - 7' HT.	B & B
<i>Shrubs and Perennials</i>		
Jambur varietal	3' HT.	B & B
Bush chiquehul	3 GAL.	#3 CONT.
Spiraea varietal	3 GAL.	#3 CONT.
Hemerocallis varietal	#2 CONT.	#2 CONT.
Viburnum	2' HT.	B & B



MATCHLINE TO DRAWING SP-12

REVISION		REVISED PER TOWN COMMENTS		DATE	BY
1	2-17-22				MEL

		3 Corbett Place (914) 225-8997 (914) 225-8997 fax www.insite-arg.com	
PROJECT: AMENDED LAYOUT OF LOTS 5, 6 AND 7 OF C & F SUBDIVISION			
U.S. ROUTE 6, TOWN OF CORNELIUS, PUTNAM COUNTY, NEW YORK			
DRAWING: LAYOUT & LANDSCAPE PLAN			
PROJECT NUMBER	04232.100	PROJECT MANAGER	J.J.C.
DATE	1-26-22	DRAWN BY	M.E.U.
SCALE	1" = 40'	CHECKED BY	D.L.M.

ALTOUGH OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2009 OF ARTICLE 146 OF THE EDUCATION LAW.





N/F
LANDS OF CENTENNIAL
GOLF CLUB OF NY LLC

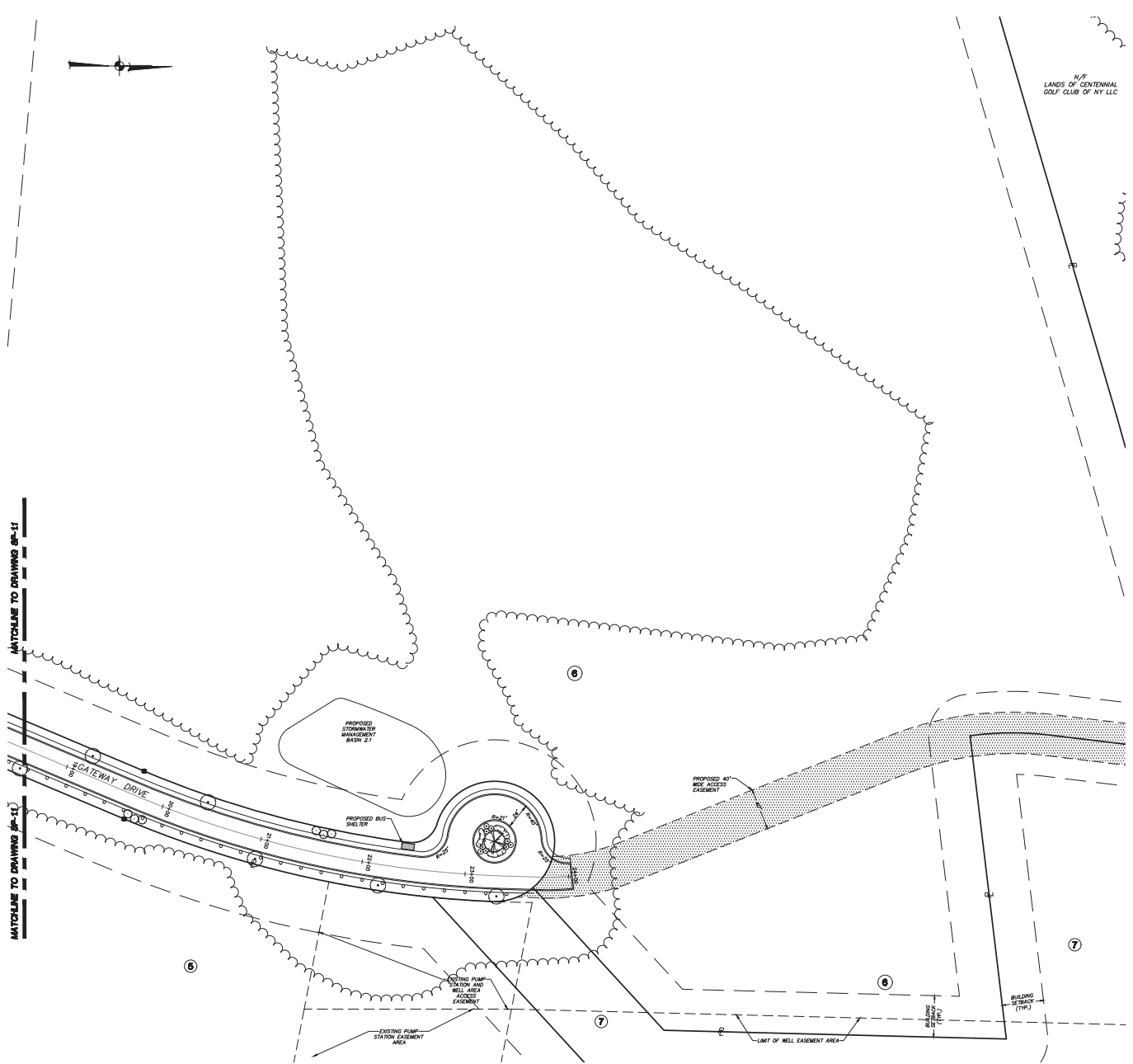
LEGEND

	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	EXISTING WETLAND
	EXISTING TOWN WETLAND LIMIT LINE WITH FLAG
	EXISTING NYSDDEC WETLAND LIMIT LINE WITH FLAG
	EXISTING NYSDDEC & NYSDDP WETLAND LIMIT LINE WITH FLAG
	100' TOWN WETLAND BUFFER
	EXISTING TREE LINE
	EXISTING TREE LINE TO BE REMOVED
	PROPOSED GRADE RAIL
	PROPOSED CURB
	PROPOSED LANDSCAPING
	PROPOSED TREE LINE
	PROPOSED LOT NUMBER

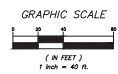
SCHEMATIC PLANT LIST

COMMON NAME	SIZE	ROOT
American Sweetgum	8" - 10' HT.	0 0 0
White Oak	8" - 10' HT.	0 0 0
Princeton American Elm	8" - 10' HT.	0 0 0
Sugar Maple	8" - 10' HT.	0 0 0
Small Trees		
Eastern Redbud	6" - 7' HT.	0 0 0
River Birch	6" - 7' HT.	0 0 0
Cornus	6" - 7' HT.	0 0 0
Shrub and Perennial		
Juniper varieties	3' HT.	0 0 0
Bush Shrublet	3 GAL.	#2 CONT.
Sphes varieties	3 GAL.	#2 CONT.
Hemerocallis varieties	#2 CONT.	#2 CONT.
Verbena	3' HT.	0 0 0

MATCHLINE TO DRAWING SP-11



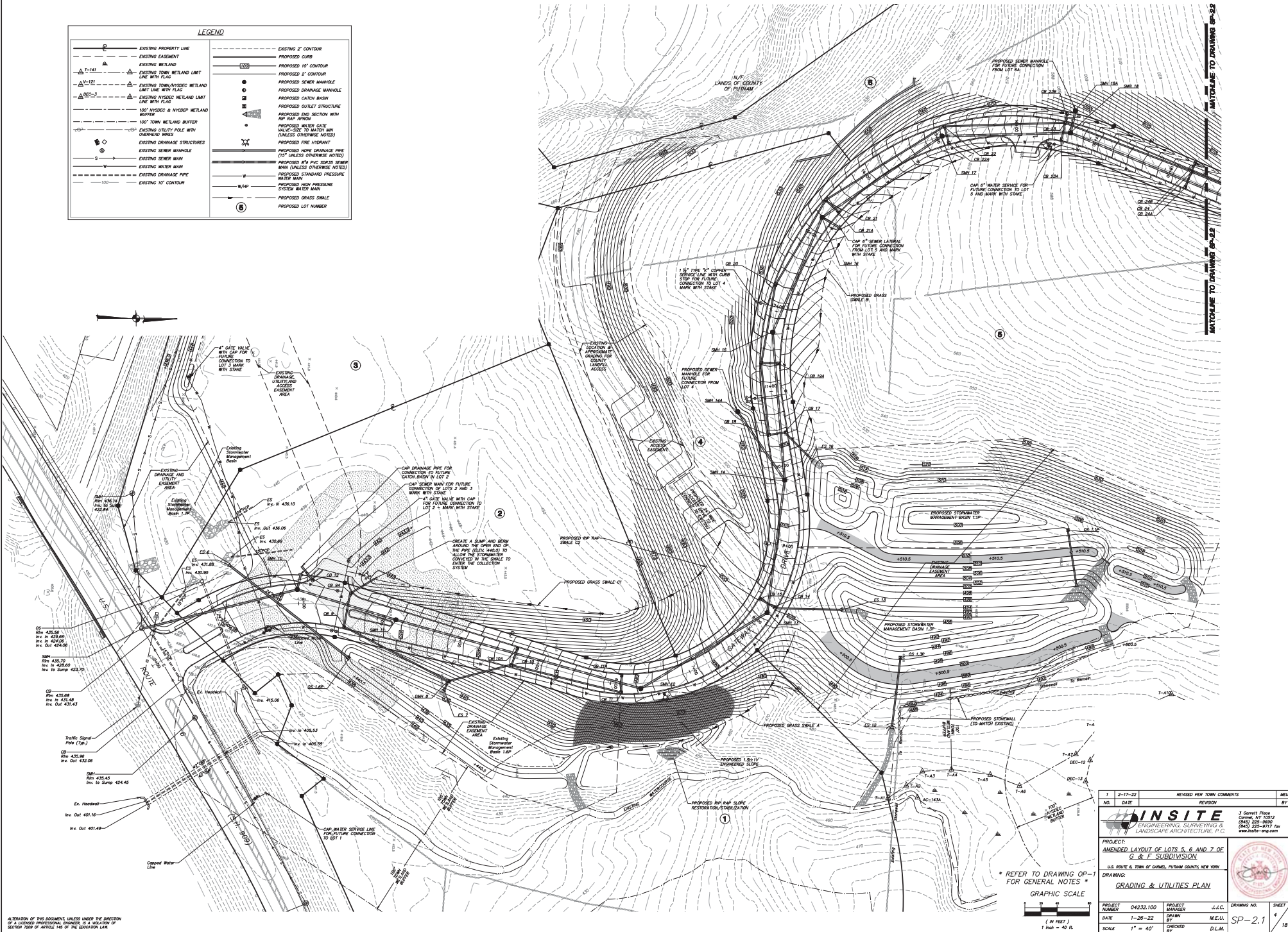
* REFER TO DRAWING OP-1
FOR GENERAL NOTES *



1	2-17-22	REVISED PER TOWN COMMENTS	MEL
NO.	DATE	REVISION	BY
INSITE			
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.			
PROJECT: AMENDED LAYOUT OF LOTS 5, 6 AND 7 OF C & F SUBDIVISION			
U.S. ROUTE 6, TOWN OF CAROL, PUTNAM COUNTY, NEW YORK			
DRAWING: LAYOUT & LANDSCAPE PLAN			
PROJECT NUMBER	04232.100	PROJECT MANAGER	J.J.C.
DATE	1-26-22	DRAWN BY	M.E.U.
SCALE	1" = 40'	CHECKED BY	D.L.M.
			DRAWING NO. SHEET
			SP-1.2 3
			18

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2009 OF ARTICLE 146 OF THE EDUCATION LAW.

LEGEND	
	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	EXISTING WETLAND
	EXISTING TOWN WETLAND LIMIT LINE WITH FLAG
	EXISTING TOWN/NYSEP WETLAND LIMIT LINE WITH FLAG
	EXISTING NYSEP WETLAND LIMIT LINE WITH FLAG
	100' NYSEP & NYSEP WETLAND BUFFER
	100' TOWN WETLAND BUFFER
	EXISTING UTILITY POLE WITH OVERHEAD WIRES
	EXISTING DRAINAGE STRUCTURES
	EXISTING SEWER MANHOLE
	EXISTING SEWER MAIN
	EXISTING WATER MAIN
	EXISTING DRAINAGE PIPE
	EXISTING 10' CONTOUR
	PROPOSED 2' CONTOUR
	PROPOSED 5' CONTOUR
	PROPOSED 10' CONTOUR
	PROPOSED SEWER MANHOLE
	PROPOSED DRAINAGE MANHOLE
	PROPOSED CATCH BASIN
	PROPOSED OUTLET STRUCTURE
	PROPOSED END SECTION WITH RIP RAP WATER GATE
	PROPOSED WATER GATE VALVE-SIZE TO MATCH MFD (UNLESS OTHERWISE NOTED)
	PROPOSED FIRE HYDRANT
	PROPOSED 8" PVC SEWER PIPE (UNLESS OTHERWISE NOTED)
	PROPOSED 12" PVC SEWER PIPE (UNLESS OTHERWISE NOTED)
	PROPOSED STANDARD PRESSURE WATER MAIN
	PROPOSED HIGH PRESSURE WATER MAIN
	PROPOSED GRASS SWALE
	PROPOSED LOT NUMBER



MATCHLINE TO DRAWING SP-22

MATCHLINE TO DRAWING SP-23

ALLOCATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 1009 OF ARTICLE 146 OF THE EDUCATION LAW.

1	2-17-22	REVISED PER TOWN COMMENTS	MEL
NO.	DATE	REVISION	BY
PROJECT: AMENDED LAYOUT OF LOTS 5, 6 AND 7 OF C & F SUBDIVISION U.S. ROUTE 6, TOWN OF CORNELL, PUTNAM COUNTY, NEW YORK DRAWING: GRADING & UTILITIES PLAN			
PROJECT NUMBER	04232-100	PROJECT MANAGER	J.J.C.
DATE	1-26-22	DRAWN BY	M.E.U.
SCALE	1" = 40'	CHECKED BY	D.L.M.
GRAPHIC SCALE 		DRAWING NO. SHEET SP-2.1 4 18	



LEGEND			
	EXISTING PROPERTY LINE		EXISTING 2' CONTOUR
	EXISTING EASEMENT		PROPOSED CURB
	EXISTING WETLAND		PROPOSED 10' CONTOUR
	EXISTING TOWN WETLAND LIMIT LINE WITH FLAG		PROPOSED 2' CONTOUR
	EXISTING TOWN NYSD&C WETLAND LIMIT LINE WITH FLAG		PROPOSED SEWER MANHOLE
	EXISTING NYSD&C WETLAND LIMIT LINE WITH FLAG		PROPOSED DRAINAGE MANHOLE
	100' NYSD&C & NYSD&P WETLAND BUFFER		PROPOSED CATCH BASIN
	100' TOWN WETLAND BUFFER		PROPOSED OUTLET STRUCTURE
	EXISTING UTILITY POLE WITH OVERHEAD WIRES		PROPOSED END SECTION WITH 10' TOP FINISH
	EXISTING DRAINAGE STRUCTURES		PROPOSED WATER GATE
	EXISTING SEWER MANHOLE		PROPOSED WATER GATE VALVE-50' TO MATCH MANHOLE (UNLESS OTHERWISE NOTED)
	EXISTING SEWER MAIN		PROPOSED FIRE HYDRANT
	EXISTING WATER MAIN		PROPOSED 18" DRAINAGE PIPE (1" UNLESS OTHERWISE NOTED)
	EXISTING DRAINAGE PIPE		PROPOSED 8" PVC SIZES SEWER MAIN (UNLESS OTHERWISE NOTED)
	EXISTING 10' CONTOUR		PROPOSED STANDARD PRESSURE WATER MAIN
			PROPOSED HIGH PRESSURE WATER MAIN
			PROPOSED GRASS SWALE
			PROPOSED LOT NUMBER

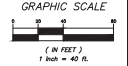
NO.	DATE	REVISION	BY
1	2-17-22	REVISED PER TOWN COMMENTS	MEL

INSITE
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.
3 Carroll Place
Carmel, NY 12016
(845) 225-8997
(845) 225-8997 fax
www.insite-arg.com

PROJECT:
AMENDED LAYOUT OF LOTS 5, 6 AND 7 OF
C & F SUBDIVISION
U.S. ROUTE 5, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK
DRAWING:
GRADING & UTILITIES PLAN



* REFER TO DRAWING OP-1 FOR GENERAL NOTES *



PROJECT NUMBER	DATE	SCALE	PROJECT MANAGER	DRAWN BY	CHECKED BY	DRAWING NO.	SHEET
04232.100	1-26-22	1" = 40'	J.J.C.	M.E.U.	D.L.M.	SP-2.2	5

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2009 OF ARTICLE 146 OF THE ENGINEERING LAW.

CONSTRUCTION SEQUENCE NOTES:

1. Refer to erosion control notes on this drawing.
2. Each phase of work requires that all sediment and erosion control measures shall be installed in accordance with best management practices and prior to any clearing and grading activities.
3. Each phase of work requires the removal of existing trees and grubbing of all tree stumps.
4. All trees to be removed and stumps to be removed shall be removed in accordance with the site plan. All stumps and stumps are to be removed and stumps are to be removed.
5. All ditches deeper than 2.0' shall be immediately stabilized with erosion control fabric.
6. Modifications to phasing may be made during construction upon written approval by the approving authority.
7. Each phase of work shall limit the upstream chain water diverted around construction activities.

SPECIAL NOTE:

- a. The owner is proposing to disturb greater than 5 acres of any one time in order to efficiently perform construction operations of the site. In order to accomplish this the owner is proposing to comply with Part 612 of the NYSDEC Code of Regulations, for Construction Disturbance and Construction Activity (612-CC-2.1). These requirements are as follows:
 - i. The owner or operator shall have a qualified inspector conduct at least two (2) site inspections in accordance with Part 612 of 612-CC-2.1 every seven (7) calendar days for as long as greater than five (5) acres of soil remain disturbed. The first (1) inspection shall be completed by a minimum of two (2) full calendar days.
 - ii. In areas where disturbance has been temporarily or permanently ceased, temporary soil stabilization and stabilization measures shall be installed and maintained until seven (7) days after the date the soil disturbance activity ceases. The soil stabilization measures selected shall be in conformance with the most current version of the technical standard, New York State code and specifications for Erosion and Sediment Control.
 - iii. The operation shall be conducted in accordance with the sequencing plan that allows maximum disturbance over the phase or phases.
 - iv. The owner or operator shall install any additional site specific practices needed to protect water quality.

EROSION AND SEDIMENT CONTROL MAINTENANCE SCHEDULE

PRACTICE	MONITORING REQUIREMENTS			MAINTENANCE REQUIREMENTS	
	DAILY	WEEKLY	AFTER RAINFALL	DURING CONSTRUCTION	AFTER CONSTRUCTION
SOIL FENCE BARRIERS	-	Inspect	Inspect	Clear/Replace	Remove
STABILIZED CONSTRUCTION ENTRANCE	Inspect	-	Inspect	Clear/Replace Stone and Fabric	Remove
DUST CONTROL	Inspect	-	Inspect	Mulch/Spreading Water	N/A
VEGETATIVE ESTABLISHMENT	-	Inspect	Inspect	Re-seed/BSE Coverage	Re-seed to BSE Coverage
PILE-UP PROTECTION	-	Inspect	Inspect	Clear/Repair/Remove	Remove
SOIL STOCKPILES	-	Inspect	Inspect	Mulch/Spill Treat Vapor	Remove
DRY DUMPS	-	Inspect	Inspect	Clear/Mulch/Repair	Clear/Repair/Remove
CHECK DAMS	-	Inspect	Inspect	Clear/Repair/Stone/Repair	Clear/Repair/Stone/Repair
CONCRETE DRAINAGE STRUCTURES	-	Inspect	Inspect	Clear/Repair/Remove/Repair/Repair/Repair	Clear/Repair/Remove/Repair/Repair/Repair
DRAINAGE SWALES	-	Inspect	Inspect	Clear/Repair/Remove/Repair/Repair/Repair	Clear/Repair/Remove/Repair/Repair/Repair
ROAD & PARKING	-	Inspect	Inspect	Clear	Clear
STORMWATER TREATMENT	-	Inspect	Inspect	Clear/Repair/Remove/Repair/Repair/Repair	Clear/Repair/Remove/Repair/Repair/Repair

* Permanent vegetation is considered stabilized when 80% of the plant density is established.

† Erosion control measures shall remain in place until all disturbed areas are permanently stabilized.

‡ The party responsible for implementation of the maintenance schedule during and after construction is:

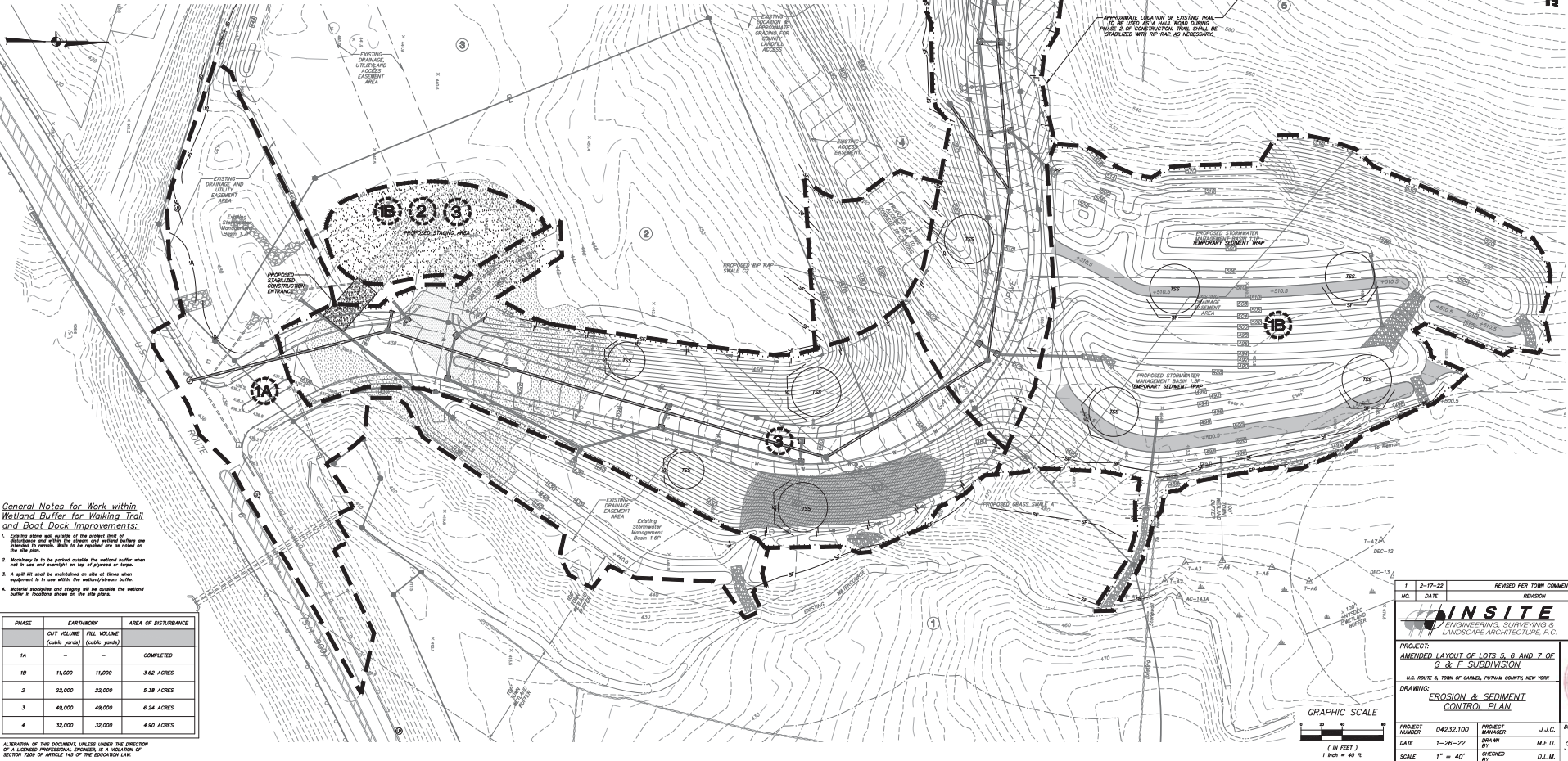
Normal Utility Realty
1800 Route 6, Suite 1
Carmel, NY 12512
and/or the current owner(s) of the subject property.

OVERALL CONSTRUCTION SEQUENCE:

1. Construct stabilized construction entrance to location shown. Install erosion control measures shown on the plan in accordance with the details. Obtain the written approval of the approving authority for the proposed grading area. Construct and stabilize proper stormwater facility (1.6' x 1.0' temporary sediment basin (TSB), 100' storm water structure, drainage pipe and temporary outlet) for collection of stormwater runoff from the site. Install and maintain erosion control fabric on the plan. Utilize the existing path shown on the plan to provide access to the existing path. The existing path shall be used as a haul road for construction activities associated with this phase and shall be stabilized with 10% C-10 mulch with the available. Clear trees and grub within the limits of the work. Construct temporary roads to provide access to the proposed construction area. Construct and stabilize proper stormwater facility (1.6' x 1.0' temporary sediment basin (TSB), 100' storm water structure, drainage pipe and temporary outlet) for collection of stormwater runoff from the site. Obtain the written approval of the approving authority for the proposed grading area. Construct and stabilize proper stormwater facility (1.6' x 1.0' temporary sediment basin (TSB), 100' storm water structure, drainage pipe and temporary outlet) for collection of stormwater runoff from the site. Obtain the written approval of the approving authority for the proposed grading area. Construct and stabilize proper stormwater facility (1.6' x 1.0' temporary sediment basin (TSB), 100' storm water structure, drainage pipe and temporary outlet) for collection of stormwater runoff from the site. Obtain the written approval of the approving authority for the proposed grading area.
2. Utilize the existing path shown on the plan to gain access to the phase 2 borrow area. The existing path will be used as a haul road for construction activities associated with this phase and shall be stabilized with 10% C-10 mulch with the available. Clear trees and grub within the limits of the work. Construct temporary roads to provide access to the proposed construction area. Construct and stabilize proper stormwater facility (1.6' x 1.0' temporary sediment basin (TSB), 100' storm water structure, drainage pipe and temporary outlet) for collection of stormwater runoff from the site. Obtain the written approval of the approving authority for the proposed grading area. Construct and stabilize proper stormwater facility (1.6' x 1.0' temporary sediment basin (TSB), 100' storm water structure, drainage pipe and temporary outlet) for collection of stormwater runoff from the site. Obtain the written approval of the approving authority for the proposed grading area.
3. Construct stabilized construction entrance to location as shown on the plan. Obtain the written approval of the approving authority for the proposed grading area. Construct and stabilize proper stormwater facility (1.6' x 1.0' temporary sediment basin (TSB), 100' storm water structure, drainage pipe and temporary outlet) for collection of stormwater runoff from the site. Obtain the written approval of the approving authority for the proposed grading area. Construct and stabilize proper stormwater facility (1.6' x 1.0' temporary sediment basin (TSB), 100' storm water structure, drainage pipe and temporary outlet) for collection of stormwater runoff from the site. Obtain the written approval of the approving authority for the proposed grading area.
4. Construct stabilized construction entrance to location as shown on the plan. Obtain the written approval of the approving authority for the proposed grading area. Construct and stabilize proper stormwater facility (1.6' x 1.0' temporary sediment basin (TSB), 100' storm water structure, drainage pipe and temporary outlet) for collection of stormwater runoff from the site. Obtain the written approval of the approving authority for the proposed grading area. Construct and stabilize proper stormwater facility (1.6' x 1.0' temporary sediment basin (TSB), 100' storm water structure, drainage pipe and temporary outlet) for collection of stormwater runoff from the site. Obtain the written approval of the approving authority for the proposed grading area.

LEGEND

- EXISTING PROPERTY LINE
- EXISTING EASEMENT
- EXISTING WETLAND
- EXISTING TOWN WETLAND LIMIT LINE WITH FLAG
- EXISTING TOWN/NYSDEC WETLAND LIMIT LINE WITH FLAG
- EXISTING KYDEC WETLAND LIMIT LINE WITH FLAG
- 100' KYDEC & NYDEC WETLAND BUFFER
- 100' TOWN WETLAND BUFFER
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- PROPOSED CURB
- PROPOSED 10' CONTOUR
- PROPOSED 2' CONTOUR
- PROPOSED SEWER MANHOLE
- PROPOSED DRAINAGE MANHOLE
- PROPOSED OULET STRUCTURE
- PROPOSED END SECTION WITH R/F RAP APRONS
- PROPOSED TEMPORARY DIMENSION SWALE
- PROPOSED GRASS SWALE
- PROPOSED DRAINAGE STRUCTURE / R/F PROTECTION
- PROPOSED STONE CHECK DAM
- PROPOSED SILT FENCE
- PROPOSED LIMITS OF DISTURBANCE
- PROPOSED TEMPORARY SOIL STOCKPILE
- PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- PROPOSED PHASING LINE
- PROPOSED PHASING NUMBER



General Notes for Work within Wetland Buffer for Walking Trail and Boat Dock Improvements:

1. Existing stone piles that are in the wetland buffer are to be removed and stumps are to be removed.
2. Machinery is to be parked outside the wetland buffer when not in use and equipped on top of a paved or tarp.
3. A sign is to be maintained in use in the wetland buffer to indicate the wetland buffer is in use within the wetland/buffer area.
4. Existing structures and rights are to be retained within the wetland buffer in accordance with the site plan.

PHASE	EARTHWORK CUT VOLUME (cubic yards)	FILL VOLUME (cubic yards)	AREA OF DISTURBANCE (ACRES)
1A	-	-	COMPLETED
1B	11,000	11,000	3.62 ACRES
2	22,000	22,000	5.38 ACRES
3	49,000	49,000	6.24 ACRES
4	32,000	32,000	4.90 ACRES

A PORTION OF THIS DOCUMENT HAS BEEN UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, OR A HOLDING OF SECTION 2088 OF ARTICLE 146 OF THE EDUCATION LAW.

1	2-17-22	REVISED PER TOWN COMMENTS	MEL
NO.	DATE	REVISION	BY

INSITE
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

3 Corbett Place
Carmel, NY 12512
(845) 225-8997
www.insite-arg.com

PROJECT:
AMENDED LAYOUT OF LOTS 5, 6 AND 7 OF
G & F SUBDIVISION

U.S. ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

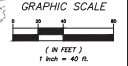
DRAWING:
EROSION & SEDIMENT CONTROL PLAN

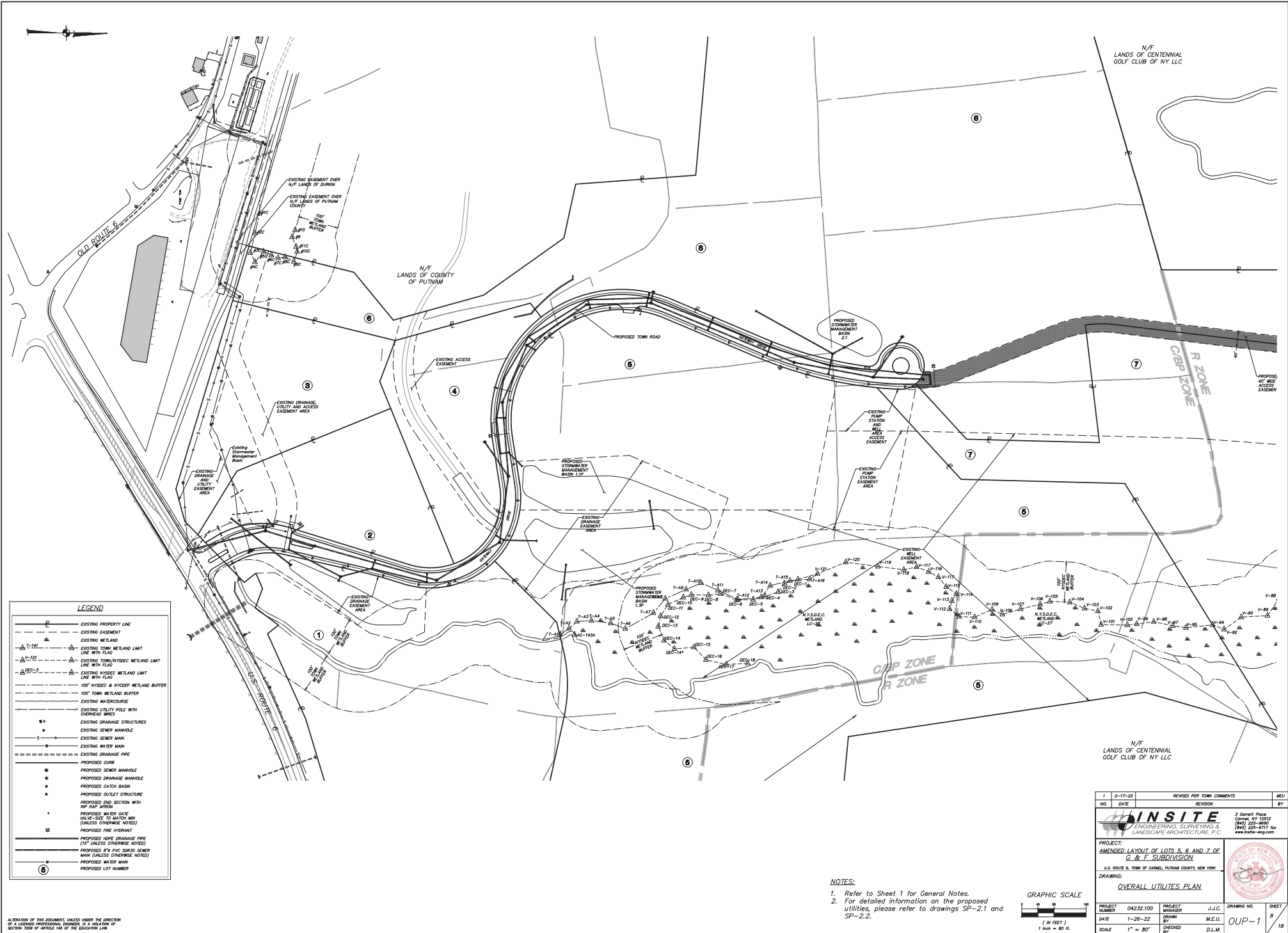
PROJECT NUMBER: 04232-100
DATE: 1-26-22
SCALE: 1" = 40'

PROJECT MANAGER: J.J.C.
DRAWN BY: M.E.U.
CHECKED BY: D.L.M.

DRAWING NO: SP-3.1
SHEET: 6
18

MATCHLINE TO DRAWING SP-3.2



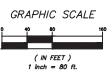


LEGEND

---	EXISTING PROPERTY LINE
---	EXISTING EASEMENT
---	EXISTING METLAND
△ T-121	EXISTING TOWN METLAND LIMIT LINE WITH FLAG
△ V-121	EXISTING TOWN/VISDED METLAND LIMIT LINE WITH FLAG
△ DEC-3	EXISTING HYDREC METLAND LIMIT LINE WITH FLAG
---	100' HYDREC & VISDED METLAND BUFFER
---	100' TOWN METLAND BUFFER
---	EXISTING WATERCOURSE
---	EXISTING UTILITY POLE WITH CHAINING WIRES
●	EXISTING DRAINAGE STRUCTURES
●	EXISTING SEWER MANHOLE
●	EXISTING SEWER MAIN
---	EXISTING WATER MAIN
---	EXISTING DRAINAGE PIPE
---	PROPOSED CURB
●	PROPOSED SEWER MANHOLE
●	PROPOSED DRAINAGE MANHOLE
●	PROPOSED CATCH BASIN
●	PROPOSED OUTLET STRUCTURE
●	PROPOSED END SECTION WITH 90° TURN
●	PROPOSED WATER GATE VALVE TO MATCH W/M (UNLESS OTHERWISE NOTED)
●	PROPOSED FIRE HYDRANT
---	PROPOSED 8" PVC DRAINAGE PIPE (15' UNLESS OTHERWISE NOTED)
---	PROPOSED 8" PVC SEWER SEWER MAIN (UNLESS OTHERWISE NOTED)
---	PROPOSED WATER MAIN
---	PROPOSED LOT NUMBER

NOTES:

1. Refer to Sheet 1 for General Notes.
2. For detailed information on the proposed utilities, please refer to drawings SP-2.1 and SP-2.2.



1	2-17-22	REVISED PER TOWN COMMENTS	MEL
NO.	DATE	REVISION	BY

INSITE
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

3 Corbett Place
Cortlandt, NY 10512
(845) 225-8997
(845) 225-8997 fax
www.insite-arg.com

PROJECT:
AMENDED LAYOUT OF LOTS 5, 6 AND 7 OF
C & F SUBDIVISION

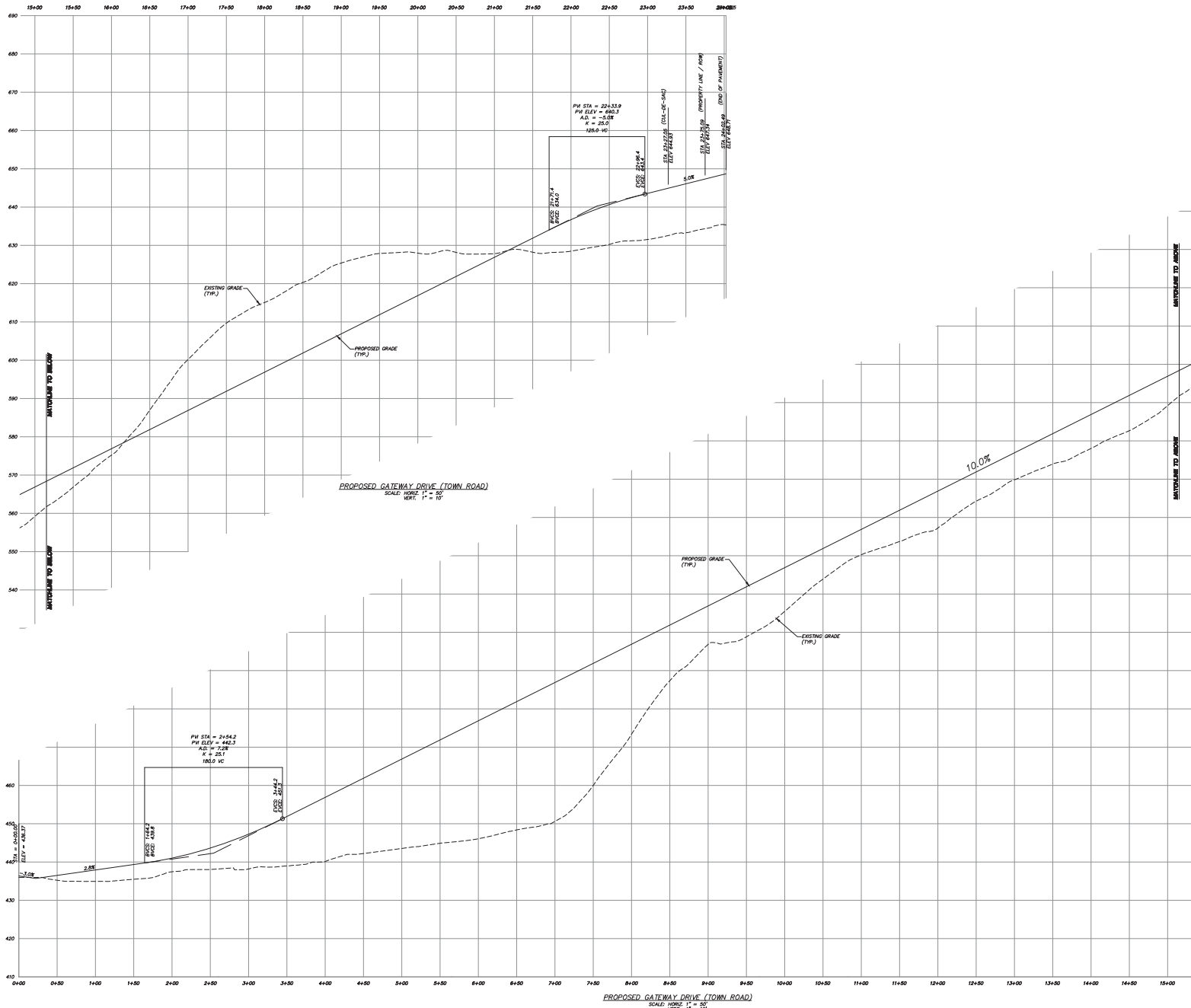
U.S. ROUTE 6, TOWN OF CORNELL, PUTNAM COUNTY, NEW YORK

DRAWING:
OVERALL UTILITIES PLAN

PROJECT NUMBER	04232.100	PROJECT MANAGER	J.L.C.	DRAWING NO.	SHEET
DATE	1-26-22	DRAWN BY	M.E.U.		8
SCALE	1" = 80'	CHECKED BY	D.L.M.		18

OUP-1

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2009 OF ARTICLE 146 OF THE EDUCATION LAW.



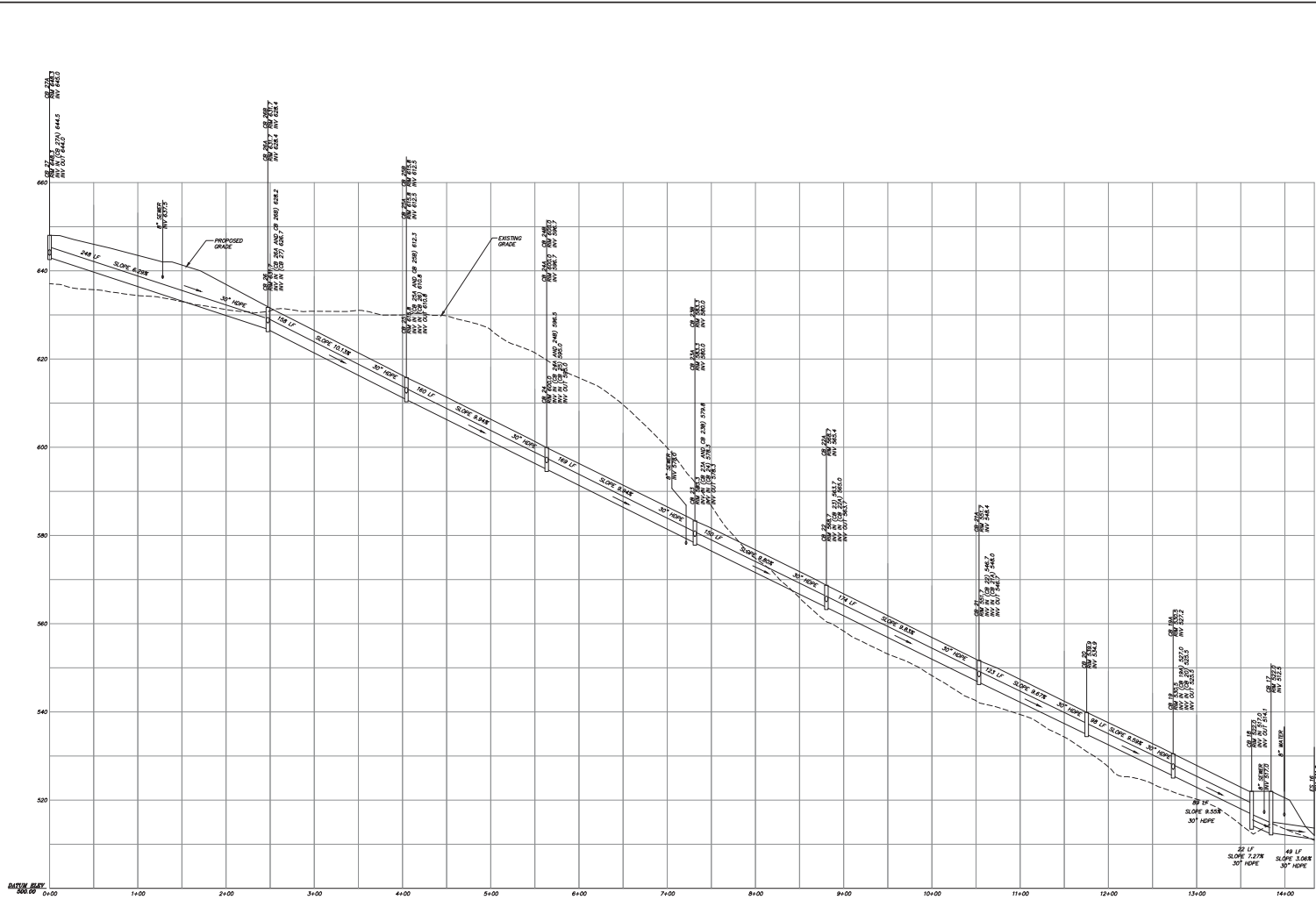
ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2209 OF ARTICLE 146 OF THE EDUCATION LAW.

NO.	DATE	REVISION	BY
1	2-17-22	REVISED PER TOWN COMMENTS	M.E.U.

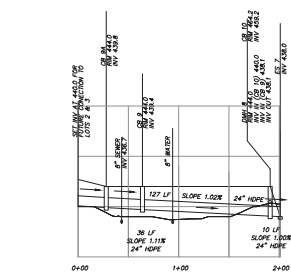
		3 Corbett Plaza Carmel, NY 12517 (845) 225-8997 (845) 225-8997 fax www.insite-arg.com	
PROJECT: AMENDED LAYOUT OF LOTS 5, 6 AND 7 OF C & F SUBDIVISION U.S. ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK			
DRAWING: ROAD PROFILE			
PROJECT NUMBER	04232.100	PROJECT MANAGER	J.J.C.
DATE	1-26-22	DRAWN BY	M.E.U.
SCALE	AS SHOWN	CHECKED BY	D.L.M.

DRAWING NO.	PR-1
SHEET	9
	18

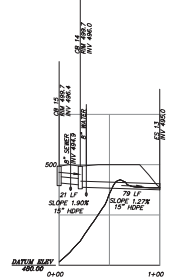




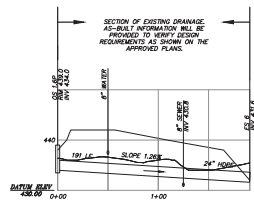
CB 27 TO ES 16
SCALE: HORIZ. 1"=50'
VERT. 1"=10'



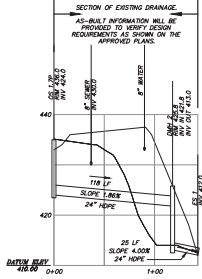
CB 9A TO ES 7
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VERT. 1"=10'



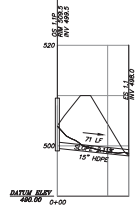
CB 15 TO ES 13
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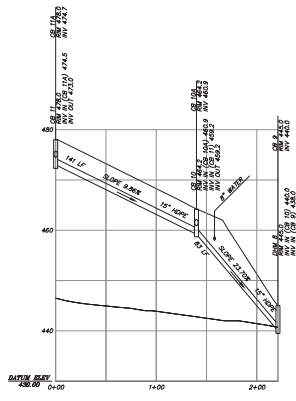
OS 1.6P TO ES 6
SCALE: HORIZ. 1"=50'
VERT. 1"=10'



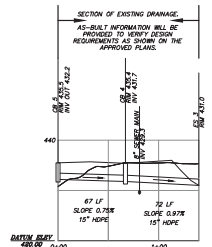
OS 1.7P TO ES 1
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VERT. 1"=10'



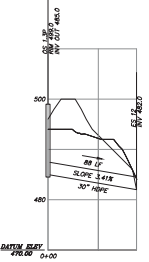
OS 1.1P TO ES 1.1
SCALE: HORIZ. 1"=50'
VERT. 1"=10'



CR 11 TO DMH B
SCALE: HORIZ. 1"=50'
VERT. 1"=10'



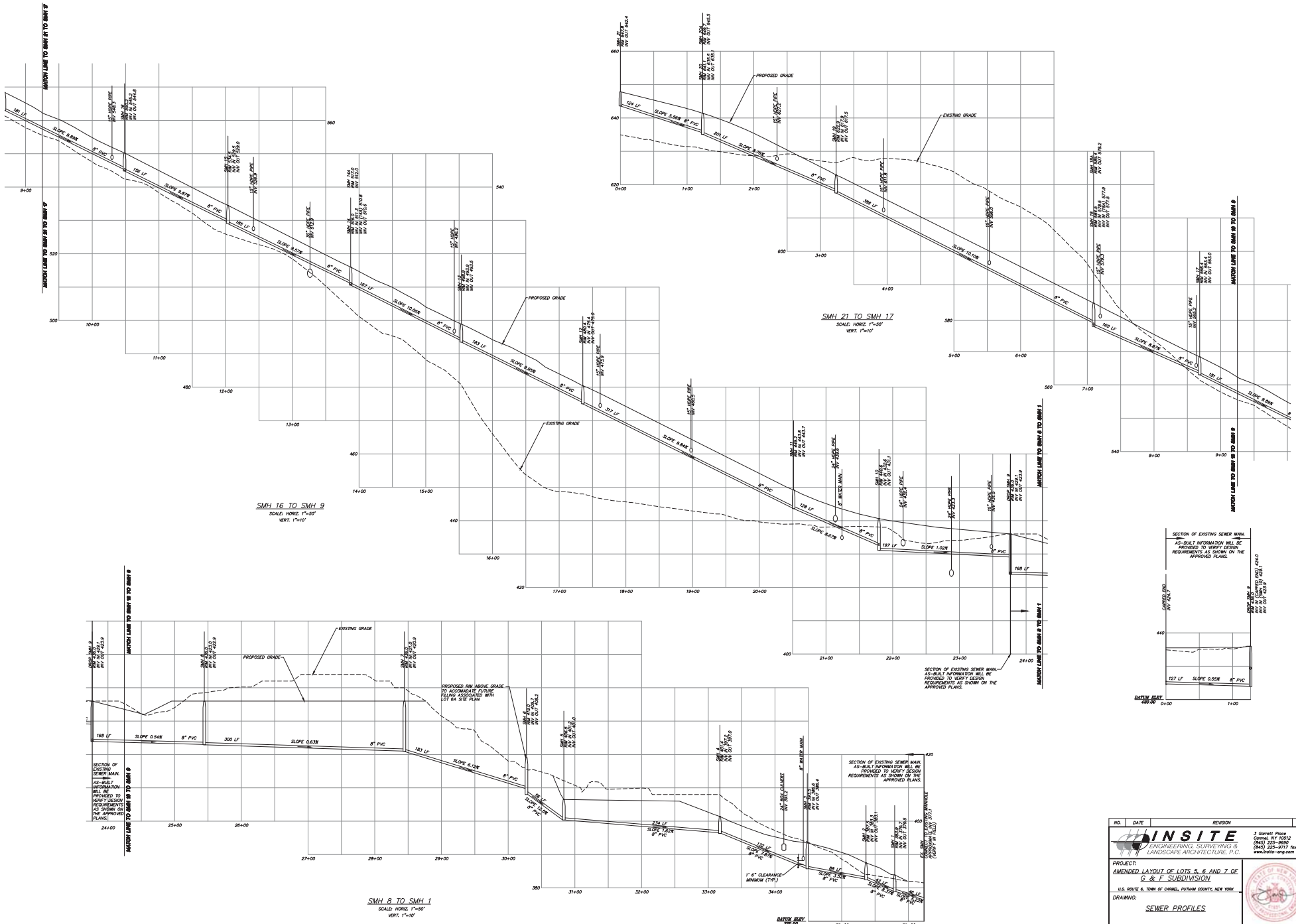
CR 5 TO ES 3
SCALE: HORIZ. 1"=50'
VERT. 1"=10'



OS 1.3P TO ES 12
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VERT. 1"=10'

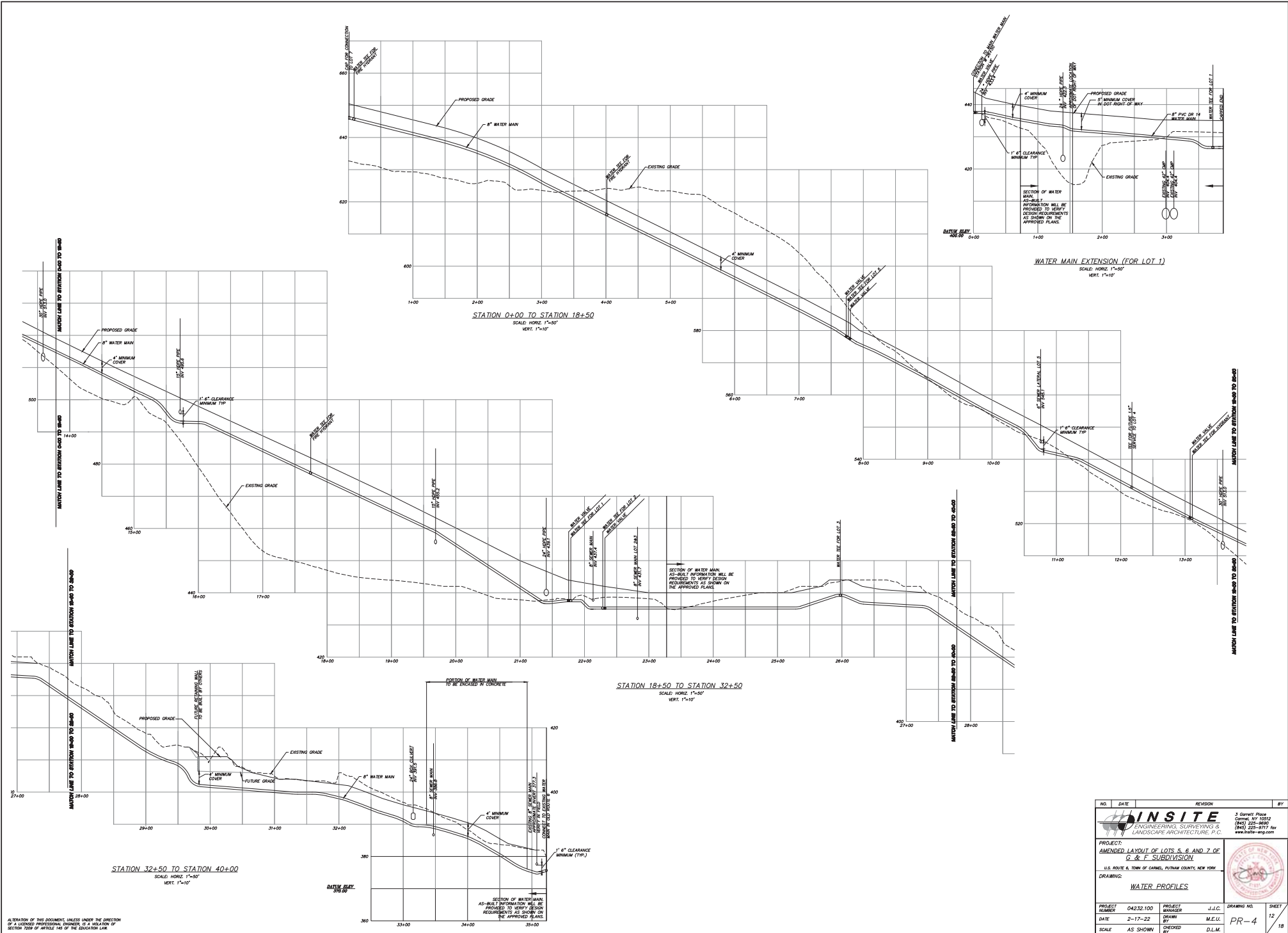
ALLOCATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 1009 OF ARTICLE 146 OF THE EDUCATION LAW.

NO.	DATE	REVISION	BY
PROJECT: AMENDED LAYOUT OF LOTS 5, 6 AND 7 OF C & F SUBDIVISION U.S. ROAD 5, TOWN OF CORNELIUS, PUTNAM COUNTY, NEW YORK			
DRAWING: DRAINAGE PROFILES			
PROJECT NUMBER	04232.100	PROJECT MANAGER	J.L.C.
DATE	2-17-23	DRAWN BY	M.E.U.
SCALE	AS SHOWN	CHECKED BY	D.L.M.
DRAWING NO.			SHEET
PR-2			10
			18



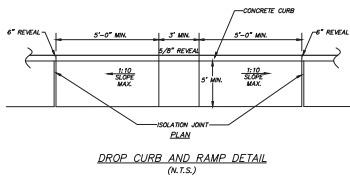
NO.	DATE	REVISION	BY
PROJECT: AMENDED LAYOUT OF LOTS 5, 6 AND 7 OF G & F SUBDIVISION U.S. ROUTE 6, TOWN OF CAROL, PUTNAM COUNTY, NEW YORK			
DRAWING: SEWER PROFILES			
PROJECT NUMBER	04232.100	PROJECT MANAGER	J.J.C.
DATE	2-17-23	DRAWN BY	M.E.U.
SCALE	AS SHOWN	CHECKED BY	D.L.M.
DRAWING NO.			SHEET
PR-3			11
			18

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2009 OF ARTICLE 146 OF THE EDUCATION LAW.

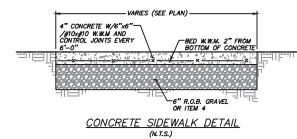


ALLOCATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2009 OF ARTICLE 146 OF THE ENGINEERING LAW.

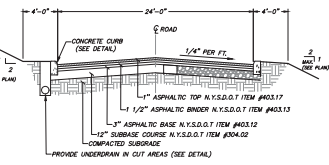
NO.	DATE	REVISION	BY
PROJECT: AMENDED LAYOUT OF LOTS 5, 6 AND 7 OF C & F SUBDIVISION U.S. ROUTE 6, TOWN OF CAROL, PUTNAM COUNTY, NEW YORK DRAWING: WATER PROFILES			
PROJECT NUMBER	04232.100	PROJECT MANAGER	J.J.C.
DATE	2-17-23	DRAWN BY	M.E.U.
SCALE	AS SHOWN	CHECKED BY	D.L.M.
DRAWING NO.	PR-4	SHEET	12
			18



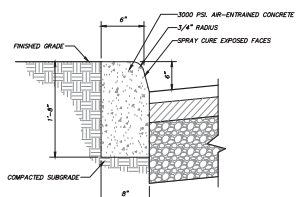
DROP CURB AND RAMP DETAIL
(N.T.S.)



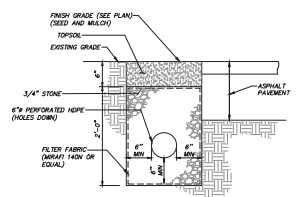
CONCRETE SIDEWALK DETAIL
(N.T.S.)



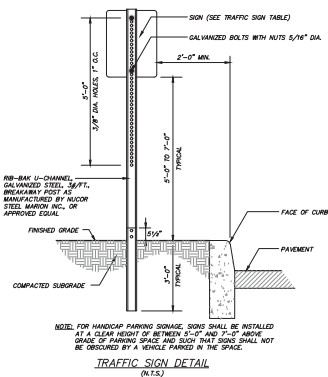
TOWN ROAD DETAIL
(N.T.S.)



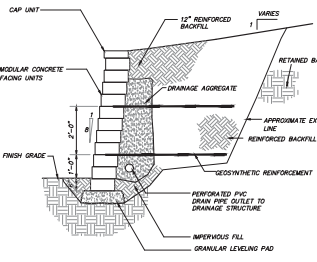
SITE CONCRETE CURB DETAIL
(N.T.S.)



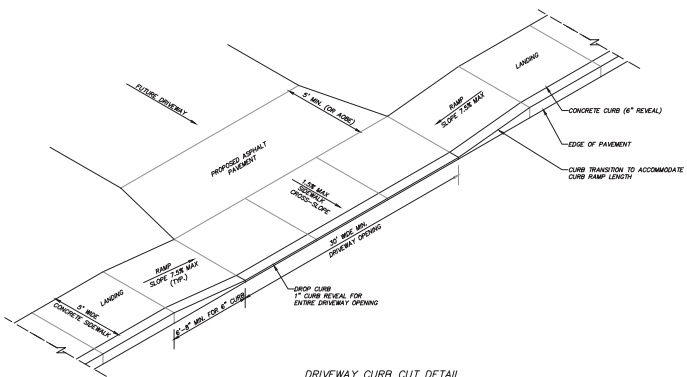
UNDERDRAIN DETAIL
(N.T.S.)



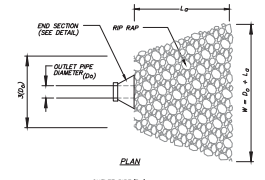
TRAFFIC SIGN DETAIL
(N.T.S.)



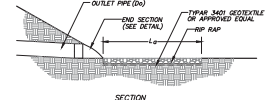
MODULAR BLOCK RETAINING WALL DETAIL
(N.T.S.)



DRIVEWAY CURB CUT DETAIL
(N.T.S.)



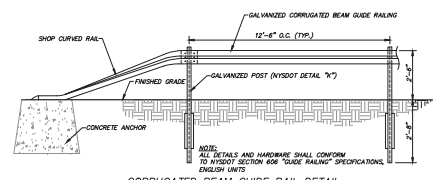
PLAN



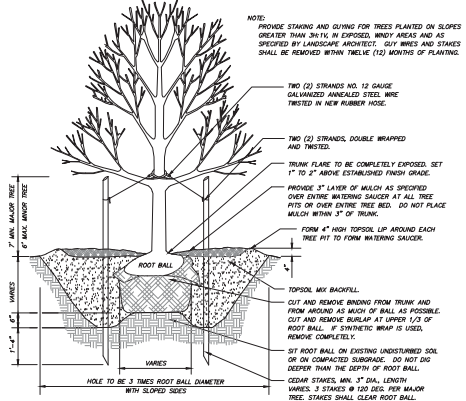
SECTION

	OUTLET PIPE DIAMETER (D _o)	MAX. RIP RAP SIZE (D _r)	MIN. RIP RAP THICKNESS (LA (MIN.))
ES 1	24"	18"	27"
ES 2	24"	18"	27"
ES 13	24"	9"	14"

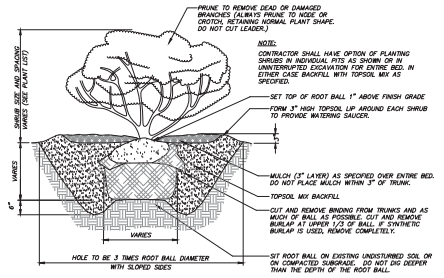
RIP RAP ENERGY DISSIPATER DETAIL
(N.T.S.)



CORRUGATED BEAM GUIDE RAIL DETAIL
(N.T.S.)



TREE PLANTING DETAIL
(N.T.S.)



SHRUB PLANTING DETAIL
(N.T.S.)

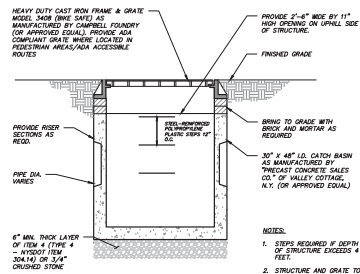
- NOTES:**
1. STRIP VEGETATION AND ORGANIC SOIL FROM WALL AND GEOSYNTHETIC ALIGNMENT.
 2. REMOVE CUT ALL EXCAVATED SLOPES.
 3. DO NOT OVER EXCAVATE UNLESS DIRECTED BY ENGINEER TO REMOVE UNDESIRABLE SOILS.
 4. CONTRACTOR SHALL VERIFY FOUNDATION SOILS AS BEING COMPETENT PER THE DESIGN STANDARDS AND PARAMETERS.
 5. LEVING PAD SHALL CONSIST OF COMPACTED COARSE SAND OR CRUSHED GRAVEL. MINIMUM THICKNESS TO BE DETERMINED.
 6. CONTRACTOR MAY OPT FOR A LEAN CONCRETE PAD.
 7. MINIMUM EMBASEMENT OF WALL BELOW FINISH GRADE TO BE DETERMINED.
 8. FOR UNITS TO BE EMBEDDED, COMPACT FILL IN FRONT OF UNITS AT THE SAME TIME FILL BEHIND UNITS IS COMPLETED.
 9. DRAINAGE AGGREGATE SHALL BE INSTALLED DIRECTLY BEHIND THE WALL WITHIN 12" OF THE TOP OF THE WALL. DRAINAGE AGGREGATE SHALL NOT EXTEND BELOW FINISH GRADE IN FRONT OF WALL.
 10. COMPACTION SHALL BE TO SOLE OF MAXIMUM STANDARD PROCTOR DENSITY (ASTM D-1557).
 11. COMPACTION TESTS SHALL BE TAKEN AS THE WALL IS INSTALLED. THE MINIMUM NUMBER OF TESTS SHALL BE DETERMINED BY THE SOIL ENGINEER.
 12. COMPACTION WITHIN 1 FT. OF WALL SHALL BE LIMITED TO HAND OPERATED EQUIPMENT.
 13. GEOSYNTHETIC SHALL BE PLACED WITH STRONGEST DIRECTION PERPENDICULAR TO WALL.
 14. WALL FOLLOWS GEOSYNTHETIC MANUFACTURER'S INSTALLATION INSTRUCTIONS AND WRITTEN SPECIFICATIONS.
 15. CONTRACTOR SHALL DIRECT SURFACE RUNOFF TO AVOID DAMAGING WALL WHILE UNDER CONSTRUCTION.
 16. ANY SURFACE DRAINAGE FEATURES, FINISH GRADING, PAVEMENT, OR TURF SHALL BE REINSTALLED IMMEDIATELY AFTER WALL IS COMPLETED.
 17. FOLLOW APPLICABLE PROVISIONS OF THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND WRITTEN SPECIFICATIONS.
 18. RETAINING WALL MUST BE DESIGNED BY A NYS LICENSED PROFESSIONAL ENGINEER.

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2009 OF ARTICLE 146 OF THE EDUCATION LAW.

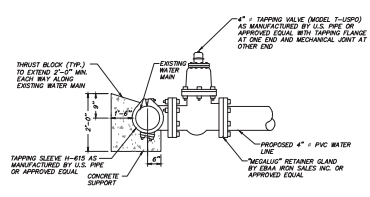
NO.	DATE	REVISION	TOWN COMMENTS	BY
1	1-21-22		REVISED PER TOWN COMMENTS	

		3 Corbett Plaza Corvallis, NY 13012 (845) 225-8997 (845) 225-8997 fax www.insite-arg.com	
PROJECT: AMENDED LAYOUT OF LOTS 5, 6 AND 7 OF G & F SUBDIVISION U.S. ROUTE 6, TOWN OF CORNELIUS, PUTNAM COUNTY, NEW YORK			
DRAWING: SITE DETAILS			
PROJECT NUMBER	04232-100	PROJECT MANAGER	J.J.C.
DATE	1-26-22	DRAWN BY	M.E.U.
SCALE	AS SHOWN	CHECKED BY	D.L.M.

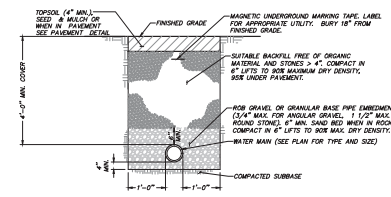
DRAWING NO.	D-1
SHEET	13
	18



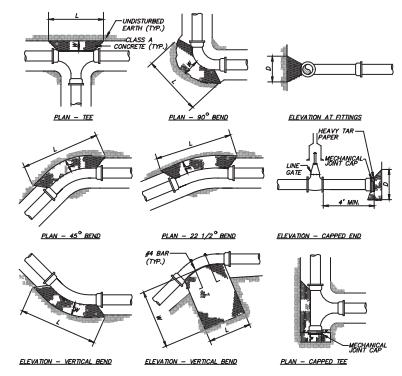
SIDE DRAIN INLET DETAIL (N.T.S.)



TAPPING SLEEVE, VALVE, AND THRUST BLOCK DETAIL (N.T.S.)

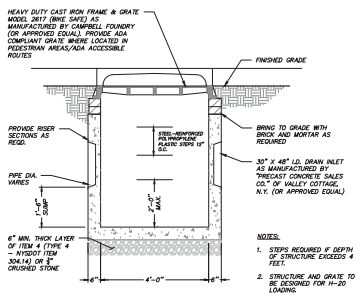


WATER MAIN TRENCH DETAIL (N.T.S.)

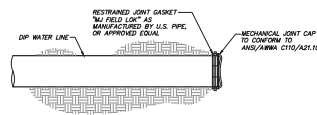


PIPE CAPACITY	24" x 24"	36" x 36"	48" x 48"	60" x 60"	72" x 72"
8"	3"	2"	2"	2"	2"
10"	3"	2"	2"	2"	2"
12"	3"	2"	2"	2"	2"
15"	3"	2"	2"	2"	2"

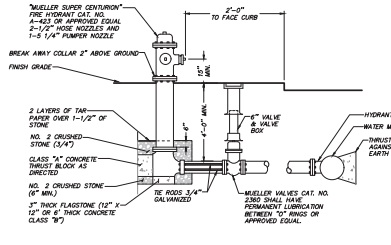
THRUST BLOCK DETAILS (N.T.S.)



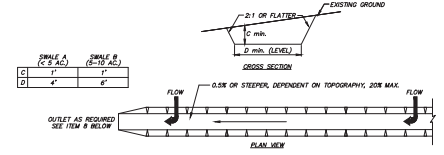
30" X 48" CATCH BASIN DETAIL (N.T.S.)



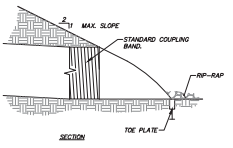
CAPPED END FOR DIP WATERMAIN DETAIL (N.T.S.)



HYDRANT DETAIL (N.T.S.)



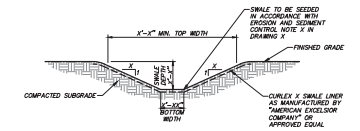
CROSS SECTION



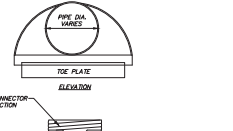
RIP RAP SWALE DETAIL (N.T.S.)

TYPE OF TRENCH	CHANNEL	A (2' AC. OR LESS)	B (2'-10' AC.)
1	0.5'-3.0'	SEED AND STRAW MULCH	SEED AND STRAW MULCH
2	3.1'-5.0'	SEED AND STRAW MULCH	SEED LONG JUTE OR GEOTEXTILE
3	5.1'-8.0'	SEED WITH JUTE OR GEOTEXTILE	LINED RIP-RAP 4"-8" RECYCLED CONCRETE EQUIVALENT
4	8.1'-20'	LINED 4"-8" RIP-RAP	ENGINEERED DESIGN

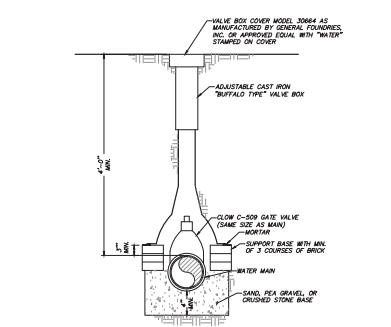
TEMPORARY SWALE DETAIL (N.T.S.)



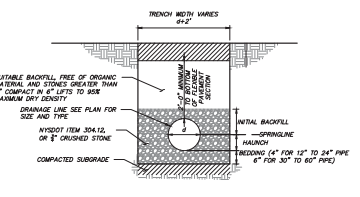
GRASS SWALE DETAIL (N.T.S.)



END SECTION DETAIL (N.T.S.)



WATER MAIN GATE VALVE DETAIL (N.T.S.)



DRAINAGE LINE TRENCH DETAIL (N.T.S.)

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NO.	DATE	REVISION	BY
1	2-17-22	REVISED PER TOWN COMMENTS	MEL

INSITE
 ENGINEERING, SURVEYING &
 LANDSCAPE ARCHITECTURE, P.C.

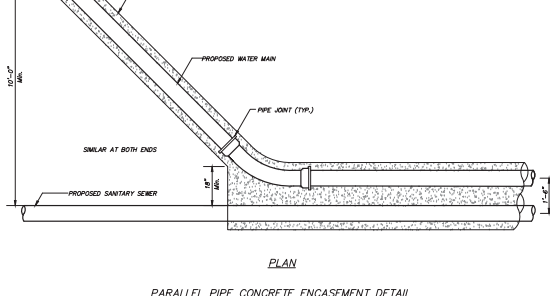
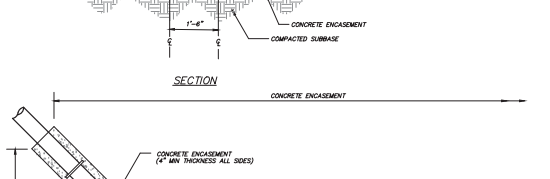
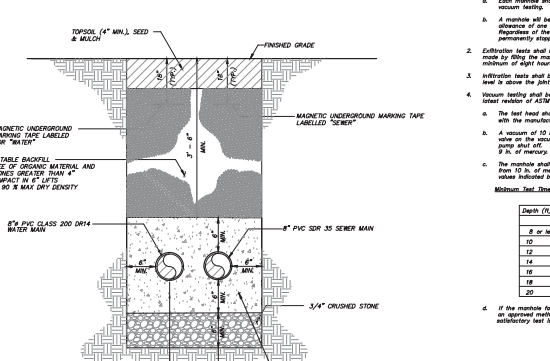
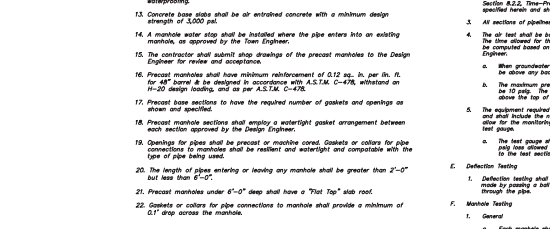
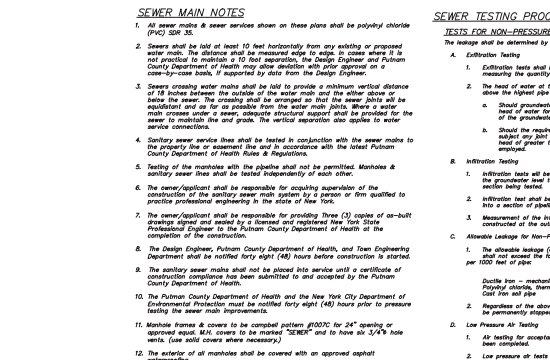
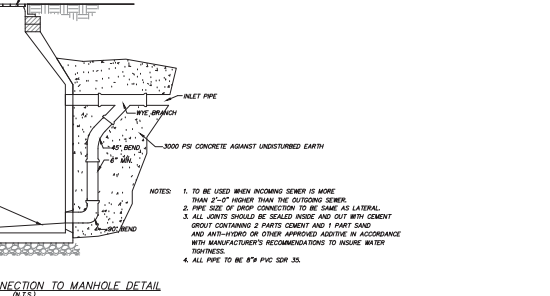
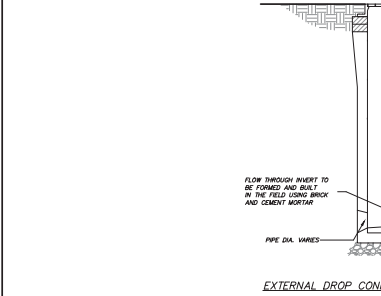
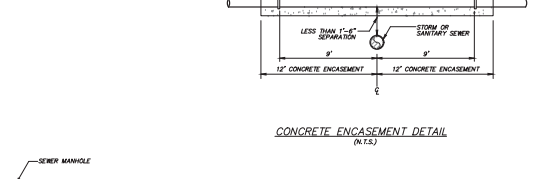
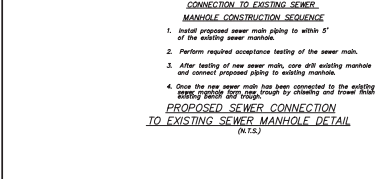
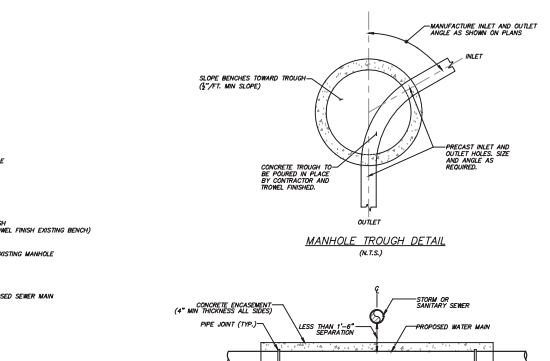
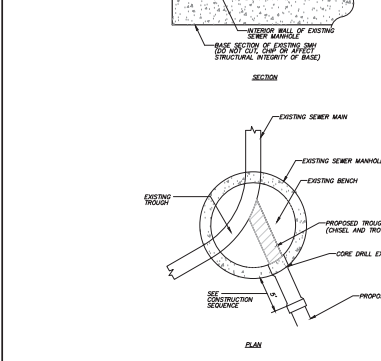
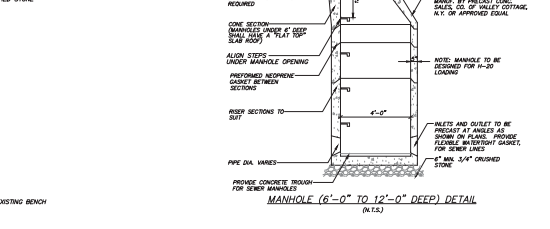
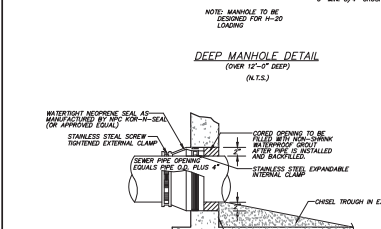
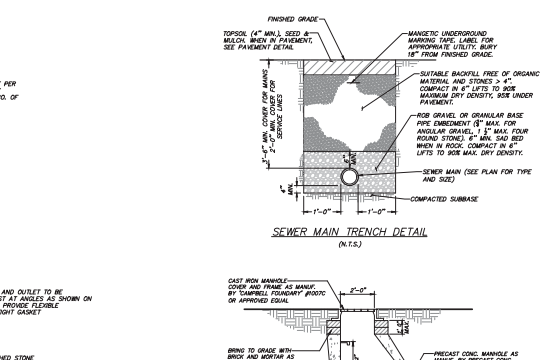
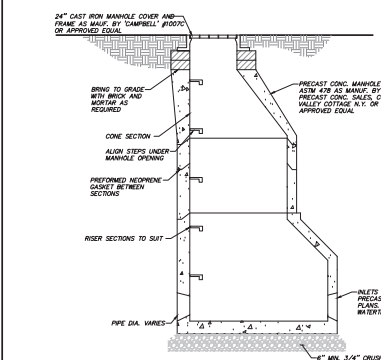
PROJECT:
 AMENDED LAYOUT OF LOTS 5, 6 AND 7 OF
 G & F SUBDIVISION

U.S. ROUTE 6, TOWN OF CARROLL, PUTNAM COUNTY, NEW YORK
 DRAWING:

PROJECT NUMBER: 04232.100
 DATE: 1-26-22
 SCALE: AS SHOWN

PROJECT MANAGER: J.J.C.
 DRAWN BY: M.E.U.
 CHECKED BY: D.L.M.

SHEET NO. 14 OF 18
 D-2



SEWER MAIN NOTES

- All pipe, manholes & sewer services shown on these plans shall be polypropylene (PP) unless otherwise noted.
- Sewers shall be laid out to meet 10 feet horizontally from any existing or proposed sewer main. The distance shall be measured edge to edge, in cases where it is not practical to maintain a 10 foot separation, the Design Engineer and Public Works Department of Health may alter distance with prior approval of the City Engineer.
- Sewers crossing water mains shall be laid out to provide a minimum vertical clearance of 18 inches between the outside of the water main and the sewer pipe and shall be supported and/or supported from the water main joints. Where a water main is not available, a concrete structural support shall be provided for the sewer connections.
- Sanitary sewer service lines shall be located in conjunction with the sewer main to the property or as close to the street as practicable with the latest Public Works Department of Health Rules & Regulations.
- Testing of the manholes with the sanitary sewer shall be permitted. Manholes & sanitary sewer lines shall be tested independently of each other.
- The owner/applicant shall be responsible for securing approval of the construction of the sanitary sewer main system by a permit or form qualified to practice professional engineering in the state of New York.
- The sewer/ventilation shall be responsible for providing three (3) copies of in-built drawings signed and sealed by a licensed professional New York State Professional Engineer to the Public Works Department of Health at the completion of the construction.
- The Design Engineer, Public Works Department of Health, and Fire Engineering Department shall be notified forty eight (48) hours before construction is started.
- The sanitary sewer main shall not be placed into service until a certificate of construction compliance has been submitted to and accepted by the Public Works Department of Health.
- The Public Works Department of Health and the New York City Department of Environmental Protection must be notified forty eight (48) hours prior to pressure testing the sewer main.
- Manhole frames & covers to be concrete pattern #0003C for 24" opening or approved equal. M.A. covers to be marked "SEWER" and to have an 1/4" hole vents. (See solid cover notes necessary).
- The exterior of all manholes shall be covered with an approved asphalt.
- Concrete base slabs shall be air entrained concrete with a minimum design strength of 3000 psi.
- A manhole water stop shall be installed where the pipe enters into an existing manhole, or otherwise to the Town Engineer.
- The contractor shall submit shop drawings of the proposed manholes to the Design Engineer for review and approval.
- Pressure manholes shall have minimum reinforcement of 0.12 sq. ft. per sq. ft. of manhole area to be designed in accordance with A.S.T.M. C-776, with a minimum of 10-20 degree lap length and per A.S.T.M. C-776.
- Pressure manholes shall have the required number of gaskets and overlaps as shown and specified.
- Pressure manhole sections shall employ a water-tight gasket arrangement between manhole sections.
- Openings for manholes shall be protected or otherwise covered for pipe connections to manholes shall be resistant and suitable and comply with the type of pipe being installed.
- The length of pipe entering or leaving any manhole shall be greater than 2'-0" but less than 6'-0".
- Pressure manholes under 6'-0" shall shall have a "This Top" sign.
- Gaskets or covers for pipe connections to manholes shall provide a minimum of 1/2" gap across the manhole.

SEWER TESTING PROCEDURES

- TESTS FOR NON-PRESSURE PIPELINES FOR TRANSPORT OF SEWAGE**
The leakage shall be determined by infiltration, infiltration or pressure test.
- A. Infiltration Tests**
 1. Infiltration tests shall be performed by filling a section of pipe with water and measuring the quantity of leakage.
 2. The test water shall be introduced to the test pipe at an inlet at least 2 feet above the highest pipe within the section being tested.
 3. The test water shall be introduced to the test pipe at an inlet at least 2 feet above the highest pipe within the section being tested.
 4. The test water shall be introduced to the test pipe at an inlet at least 2 feet above the highest pipe within the section being tested.
 - B. Infiltration Test**
 1. Infiltration tests shall be allowed only when the water table gauge indicates the groundwater level is 2 feet or more above the outside of the water main and the infiltration test is being tested.
 2. Infiltration test shall be performed by measuring the quantity of water leakage into a section of pipe.
 - C. Alternate Leakage for Non-Pressure Pipelines**
 1. The alternate leakage (infiltration or infiltration) for non-pressure pipelines shall not exceed the following in gallons per 24 hours per inch of diameter per 100 feet of pipe:
 - 1.00 for 12" pipe
 - 1.00 for 15" pipe
 - 1.00 for 18" pipe
 - 1.00 for 21" pipe
 - 1.00 for 24" pipe
 2. The alternate leakage (infiltration or infiltration) for non-pressure pipelines shall not exceed the following in gallons per 24 hours per inch of diameter per 100 feet of pipe:
 - 1.00 for 12" pipe
 - 1.00 for 15" pipe
 - 1.00 for 18" pipe
 - 1.00 for 21" pipe
 - 1.00 for 24" pipe
 3. Repetition of the above alternate leakage, any starting leaks detected shall be repaired.
 - D. Low Pressure Air Testing**
 1. Air testing for acceptance shall not be performed until the building has been completed.
 2. Low pressure air tests shall conform to ASTM C 828 or ASTM F147-82, Section 8.2.2, "Low-Pressure Air Method for a 0.5 psi drop, except as specified herein and shall not be done in less than 100 feet of pipe.
 3. All sections of pipelines shall be covered and flamed prior to testing.
 4. A minimum air test shall be performed at a pressure of 0.5 psi per 100 feet of pipe for a 100-foot length of pipe. The test shall be performed at a pressure of 0.5 psi per 100 feet of pipe for a 100-foot length of pipe.
 5. When pneumatic tests are performed, the maximum test pressure of 1 psi shall be above any back pressure due to any condition.
 6. The maximum pressure allowed under any circumstances in air testing shall be 10 psi. The maximum pressure shall be 10 psi.
 - E. The equipment required for air testing shall be furnished by the Contractor and shall include the necessary compressor, valves, gauges and pipe to allow for the monitoring of the pressure, release of pressure and a separate test pipe.**
 1. The test gauges shall be used to allow for the measurement of the 0.5 psi test pressure. The test gauges shall be used to allow for the measurement of the 0.5 psi test pressure.
 - F. Deflection Testing**
 1. Infiltration tests shall be performed after building. The test shall be made by passing a ball or cylinder no less than 1/2" of the pipe diameter through the pipe.
 2. Deflection Testing
 - 1. General
 - a. Each manhole will be tested by either infiltration, infiltration or pressure test.
 - b. A manhole will be tested by either infiltration, infiltration or pressure test. The test shall be performed by passing a ball or cylinder no less than 1/2" of the pipe diameter through the pipe.
 - 2. Infiltration tests shall be performed after building. The test shall be made by passing a ball or cylinder no less than 1/2" of the pipe diameter through the pipe.
 - 3. Infiltration tests shall be performed after building. The test shall be made by passing a ball or cylinder no less than 1/2" of the pipe diameter through the pipe.
 - 4. A vacuum of 10 in. of mercury shall be drawn on the manhole, the valve on the vacuum line of the test head closed, and the vacuum pump shut off. The time shall be measured for the vacuum to drop to 8 in. of mercury.
 - 5. The manhole shall pass if the time for the vacuum reading to drop from 10 in. of mercury to 8 in. of mercury meets or exceeds the values indicated below:

Minimum Test Time for Various Diameters - Seconds

Depth (ft)	Diameter (inches)	48	60
10	24	25	30
10	30	25	30
10	36	30	35
10	42	35	40
10	48	40	45
10	54	45	50
10	60	50	55

PVC PIPE WATER MAIN NOTES

- All water mains shall be PVC Class 200 or 24 pipe with factory installed push-on gaskets. All pipe shall be in accordance with the latest edition of AWWA C900.
- All water main fittings shall be Class 200 duct iron mechanical joints in accordance with the latest edition of AWWA C900. All fittings shall be "Tee" or "Elbow" fittings. All fittings shall be in accordance with the latest edition of AWWA C900.
- All water main and appurtenances shall be installed in accordance with the latest edition of AWWA C900.
- Gate valves shall be installed in accordance with the latest edition of AWWA C900. Gate valves shall be installed in accordance with the latest edition of AWWA C900.
- All water mains and appurtenances shall be pressure tested and leakage tested to the satisfaction of the Design Engineer, and the Public Works Department of Health. This shall be done in accordance with the latest edition of AWWA Standard C900.
- All water mains and appurtenances shall be installed in accordance with the latest edition of AWWA C900. All water mains and appurtenances shall be installed in accordance with the latest edition of AWWA C900.
- Water mains shall be laid out to meet 10 feet horizontally from any existing or proposed sewer main. The distance shall be measured edge to edge, in cases where it is not practical to maintain a 10 foot separation, the Design Engineer and Public Works Department of Health may alter distance with prior approval of the City Engineer.
- Water mains crossing sanitary or storm sewer mains shall be laid out to provide a minimum vertical clearance of 18 inches between the outside of the water main and the sewer pipe and shall be supported and/or supported from the water main joints. Where a water main is not available, a concrete structural support shall be provided for the sewer connections.
- The Design Engineer, Public Works Department of Health, and Fire Engineering Department shall be notified forty eight (48) hours before construction is started.
- The water main shall not be placed into service until a certificate of construction compliance has been submitted to and accepted by the Public Works Department of Health.
- The Public Works Department of Health and Design Engineer must be notified forty eight (48) hours prior to pressure testing the water main.
- All horizontal and vertical bends require thrust blocks in addition to restrained joint connections.

WATER TESTING PROCEDURES

- TESTS ON PRESSURE PIPING FOR TRANSPORT OF WATER**
- A. Hydrostatic Pressure Test**
 1. The pressure test shall be performed in accordance with the edition of AWWA C900, Section 7.1, "Hydrostatic Test".
 2. The test pressure shall be maintained for a minimum of 15 minutes, but not less than 15 minutes.
 3. The test medium shall be water.
 - B. Hydrostatic Leakage Test**
 1. The leakage test shall be conducted concurrently with the pressure test.
 2. The rate of leakage shall be determined at 15-minute intervals by means of a measuring device. The test shall be performed by measuring the change in water level in the test pipe. The test shall be performed by measuring the change in water level in the test pipe.
 3. All water mains shall be tested by either infiltration, infiltration or pressure test. The test shall be performed by measuring the change in water level in the test pipe.
 4. The allowable leakage for pressure pipelines shall not exceed the following in gallons per 24 hours per inch of diameter per 100 feet of pipe:
 - 1.00 for 12" pipe
 - 1.00 for 15" pipe
 - 1.00 for 18" pipe
 - 1.00 for 21" pipe
 - 1.00 for 24" pipe
 5. Repetition of the above alternate leakage, any starting leaks shall be repaired.
 - C. Deflection Testing**
 1. Infiltration tests shall be performed after building. The test shall be made by passing a ball or cylinder no less than 1/2" of the pipe diameter through the pipe.
 2. Deflection Testing
 - 1. General
 - a. Each manhole will be tested by either infiltration, infiltration or pressure test.
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 - 4. A vacuum of 10 in. of mercury shall be drawn on the manhole, the valve on the vacuum line of the test head closed, and the vacuum pump shut off. The time shall be measured for the vacuum to drop to 8 in. of mercury.
 - 5. The manhole shall pass if the time for the vacuum reading to drop from 10 in. of mercury to 8 in. of mercury meets or exceeds the values indicated below:

Depth (ft)	Diameter (inches)	48	60
10	24	25	30
10	30	25	30
10	36	30	35
10	42	35	40
10	48	40	45
10	54	45	50
10	60	50	55

- D. Deflection Testing**
 1. The leakage test shall be conducted concurrently with the pressure test.
 2. The rate of leakage shall be determined at 15-minute intervals by means of a measuring device. The test shall be performed by measuring the change in water level in the test pipe. The test shall be performed by measuring the change in water level in the test pipe.
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 - 1.00 for 18" pipe
 - 1.00 for 21" pipe
 - 1.00 for 24" pipe
 5. Repetition of the above alternate leakage, any starting leaks shall be repaired.

- E. Deflection Testing**
 1. Infiltration tests shall be performed after building. The test shall be made by passing a ball or cylinder no less than 1/2" of the pipe diameter through the pipe.
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 - 1. General
 - a. Each manhole will be tested by either infiltration, infiltration or pressure test.
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 - 4. A vacuum of 10 in. of mercury shall be drawn on the manhole, the valve on the vacuum line of the test head closed, and the vacuum pump shut off. The time shall be measured for the vacuum to drop to 8 in. of mercury.
 - 5. The manhole shall pass if the time for the vacuum reading to drop from 10 in. of mercury to 8 in. of mercury meets or exceeds the values indicated below:

- F. Deflection Testing**
 1. The leakage test shall be conducted concurrently with the pressure test.
 2. The rate of leakage shall be determined at 15-minute intervals by means of a measuring device. The test shall be performed by measuring the change in water level in the test pipe. The test shall be performed by measuring the change in water level in the test pipe.
 3. All water mains shall be tested by either infiltration, infiltration or pressure test. The test shall be performed by measuring the change in water level in the test pipe.
 4. The allowable leakage for pressure pipelines shall not exceed the following in gallons per 24 hours per inch of diameter per 100 feet of pipe:
 - 1.00 for 12" pipe
 - 1.00 for 15" pipe
 - 1.00 for 18" pipe
 - 1.00 for 21" pipe
 - 1.00 for 24" pipe
 5. Repetition of the above alternate leakage, any starting leaks shall be repaired.

NO.	DATE	REVISION	BY
1	2-17-22	REVISED PER TOWN COMMENTS	MEL

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

PROJECT: AMENDED LAYOUT OF LOTS 6, 8 AND 7 OF G & F SUBDIVISION

15 ROUTE 6, TOWN OF CORNELIUS, PUTNAM COUNTY, NEW YORK

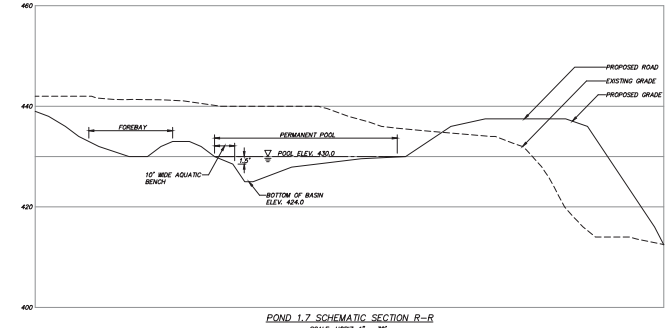
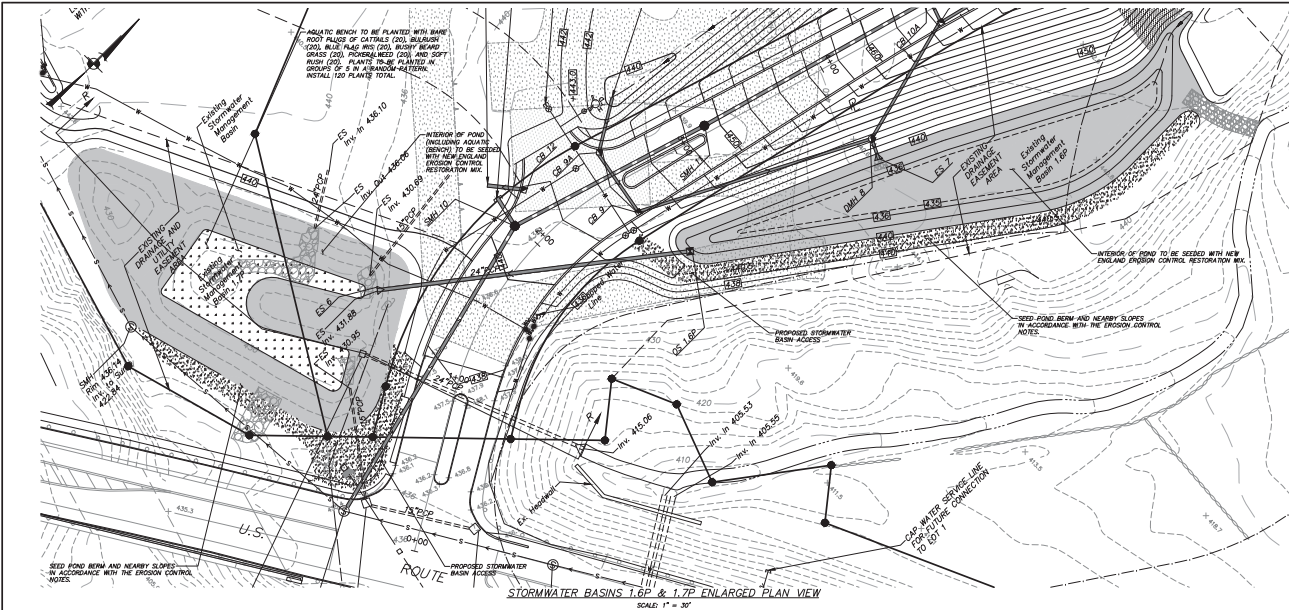
DRAWING: SITE DETAILS

PROJECT NUMBER: 04232-100
DATE: 1-26-22
SCALE: AS SHOWN

PROJECT MANAGER: J.L.C.
DRAWN: M.E.U.
CHECKED BY: D.L.M.

SHEET: 15 OF 18

ALLOCATION OF THIS DOCUMENT IS MADE UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2009 OF ARTICLE 146 OF THE EDUCATION LAW.

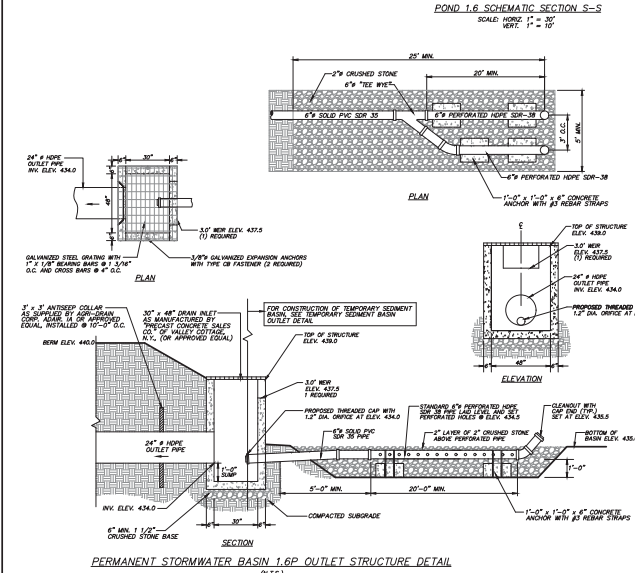
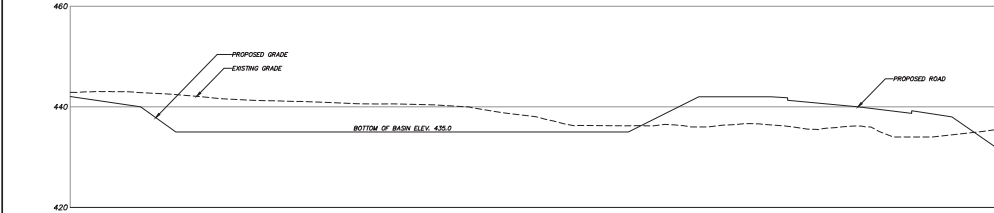


Planting Notes:

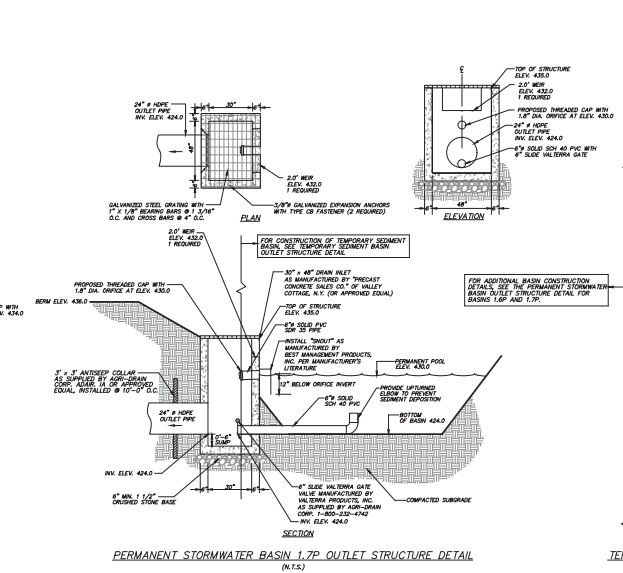
- All plant material to be nursery grown.
- Plants shall conform with the American Association of Nurserymen Standards in all ways including dimensions.
- Plants shall be planted in all locations designed on the plan or as stated in the field by the Landscape Architect.
- All plants shall be hardy under climate conditions similar to those in the locality of the project.
- All proposed seeded areas to receive 6" min. depth of topsoil.
- Upon final grading and placement of topsoil and any required soil amendments, areas to receive permanent vegetation cover in conjunction with suitable mulch or fabric.
- Watering applied as the manufacturer's recommended rate using LECSO 18-C-18 (no phosphorus) fertilizer or equivalent. Seed mixture described in Site 2000, Standards and Specifications for Erosion and Sediment Control, August 2000.
- Mulch: Soft hay or small grain straw applied at a rate of 90 lbs./1000 s.f. of 2" thickness to be applied and covered according to Site 2000, Standards and Specifications for Erosion and Sediment Control, August 2000.
- If the season prevents the establishment of a permanent vegetation cover, the seeded areas will be mulched with straw or equivalent.
- Erosion control seed mix to be the "New England Erosion Control/Restoration Mix for Denton Basin and Main St" spread at a rate of 16.7 / 1245 s.f. as manufactured by New England Erosion Control, Inc.

STORMWATER BASIN OUTLET NOTES

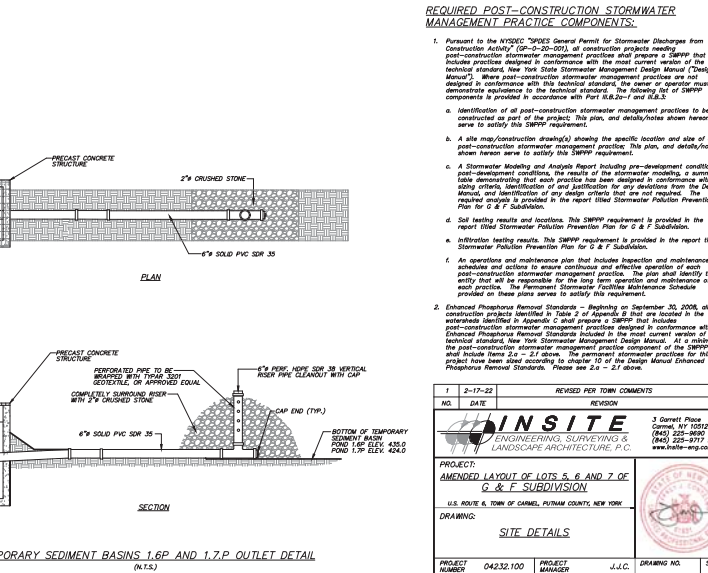
- THE PONDS ARE PROPOSED TO BE UTILIZED AS TEMPORARY SEDIMENT BASINS DURING CONSTRUCTION.
- AFTER THE CONTRIBUTING AREAS TO THE PONDS HAVE BEEN PERMANENTLY STABILIZED, THE FOLLOWING SHALL BE ACCOMPLISHED:
 - CLEAR BENCH AND OUTLET STRUCTURE AND REMOVE 6" x 6" PERFORATED VERTICAL RISER PIPE, CRUSHED STONE AND FLEXIC FABRIC.
 - ADD THREADED CAP WITH ORIFICE AT DISCHARGE END OF 6" x 6" SOLID PVC SDR 35 PIPES PER DETAIL.
 - REPLACE THE PERFORATED PIPE AND CRUSHED STONE. DO NOT REPLACE FLEXIC FABRIC.
 - ESTABLISH THE FINAL VEGETATION IN THE POND IN ACCORDANCE WITH THE TYPICAL DRY STORMWATER BASIN PLANNING DETAILS.
 - FOR MICROBIAL EXTENSION TREATMENT FROM EXHAUSTION OF TEMPORARY SEDIMENT BASIN PLANNING STORMWATER POND BOTTOM.
- THE 6" x 6" PERFORATED VERTICAL RISER SHALL BE CONSTRUCTED AS FOLLOWS:
 - WHEN INITIALLY USED AS THE TEMPORARY SEDIMENT BASIN, DISCHARGE END OF THE RISER SHALL BE SEPARATED WITH TYPICAL 3/8" GEOTEXTILE OR APPROVED EQUAL, AND SURROUNDED WITH 2" x 2" STONE. THE TOP OF THE RISER SHALL BE SET AT THE SAME ELEVATION AS THE BENCH AS SHOWN IN THE STORMWATER BASIN OUTLET STRUCTURE DETAILS.
 - WHEN THE PERMANENT RISER FOR BASIN IS CONSTRUCTED THE RISER SHALL BE UNWOUND WITH THE TOP ELEVATION SET AT SPECIFIED STRUCTURE DETAILS.



PERMANENT STORMWATER BASIN 1.6P OUTLET STRUCTURE DETAIL (N.T.S.)



PERMANENT STORMWATER BASIN 1.7P OUTLET STRUCTURE DETAIL (N.T.S.)



TEMPORARY SEDIMENT BASINS 1.6P AND 1.7P OUTLET DETAIL (N.T.S.)

REQUIRED POST-CONSTRUCTION STORMWATER MANAGEMENT PRACTICE COMPONENTS

- Pursuant to New Jersey "DESIGN General Permit for Stormwater Discharge from Construction Activity" (GP-0-20-001), all construction projects needing stormwater discharge permits shall include stormwater management practices that also include practices designed in accordance with the most current version of the technical standards New York State Stormwater Management Design Manual ("Design Manual"). Where post-construction stormwater management practices are not designed in combination with this technical standard, the owner or contractor must demonstrate equivalence to the technical standard. The following list of SWPPP components is provided in accordance with Part 6.2.1.1 and 6.2.1.2.
- Identification of all post-construction stormwater management practices to be constructed as part of the project. This plan, and details/notes shown herein serve to satisfy this SWPPP requirement.
- A site map/construction drawing(s) showing the specific location and size of each post-construction stormwater management practice. This plan, and details/notes shown herein serve to satisfy this SWPPP requirement.
- A Stormwater Modeling and Analysis Report including new-development conditions, post-development conditions, the results of the stormwater modeling, a summary table demonstrating that any practice has been designed in accordance with the 100th return, identification of and justification for any deviations from the Design Manual, and identification of any design criteria that are not required. The report shall be submitted to the report titled Stormwater Pollution Prevention Plan for 2" of 2" Subdivision.
- Soil testing results and location. This SWPPP requirement is provided in the report titled Stormwater Pollution Prevention Plan for 2" of 2" Subdivision.
- Inspection results. This SWPPP requirement is provided in the report titled Stormwater Pollution Prevention Plan for 2" of 2" Subdivision.
- An operations and maintenance plan that includes inspection and maintenance schedule and actions to ensure continuous and effective operation of the post-construction stormwater management practices. The plan shall identify the technical standards New York State Stormwater Management Design Manual, the post-construction stormwater management practice component of the SWPPP and include items 2.a - 2.i above. The post-construction stormwater management practices shall be maintained in accordance with the technical standards of the Design Manual under the Stormwater Pollution Prevention Plan. Please see 2.a - 2.i above.

NO.	DATE	REVISION	REVISION	BY
1	2-17-22	REVISED PER TOWN COMMENTS		MEL

INSITE
ENGINEERING, SURVEYING &
LANDSCAPE ARCHITECTURE, P.C.

PROJECT:
AMENDED LAYOUT OF LOTS 5, 6 AND 7 OF
G & F SUBDIVISION

U.S. ROUTE 6, TOWN OF CORNELIUS, PUTNAM COUNTY, NEW YORK

DRAWING:
SITE DETAILS

PROJECT NUMBER: 04232-100
DATE: 1-26-22
SCALE: AS SHOWN

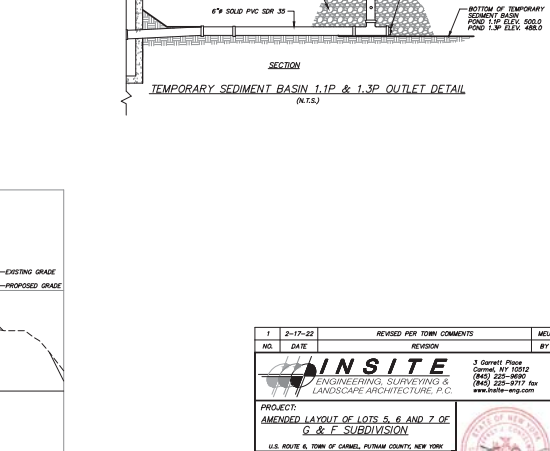
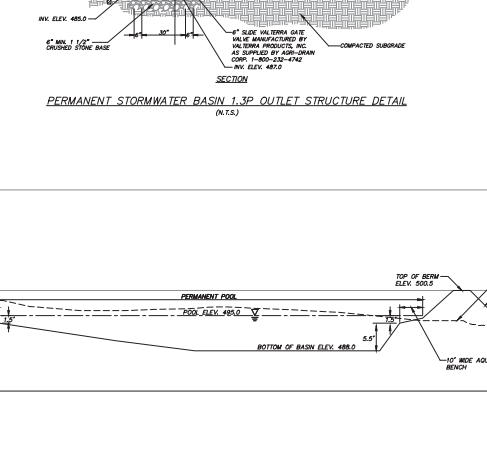
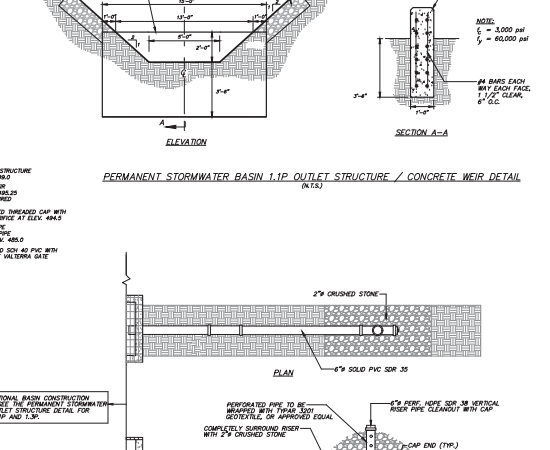
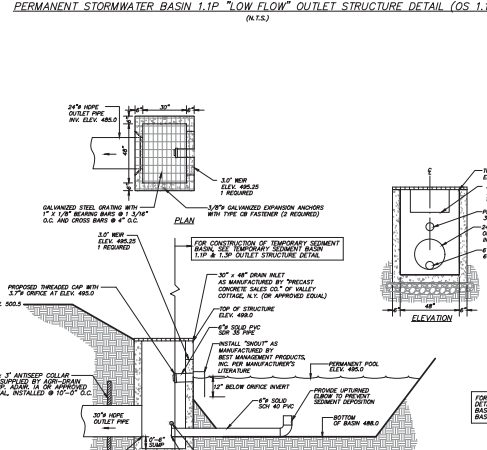
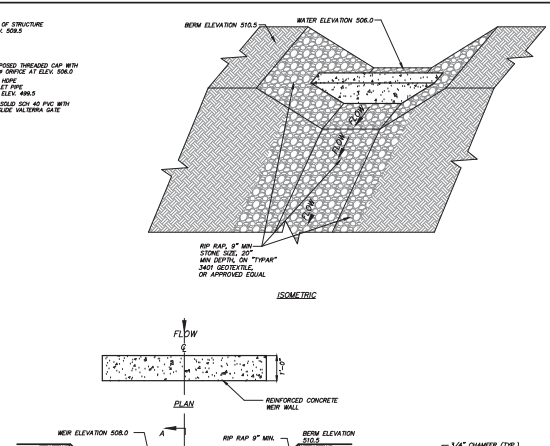
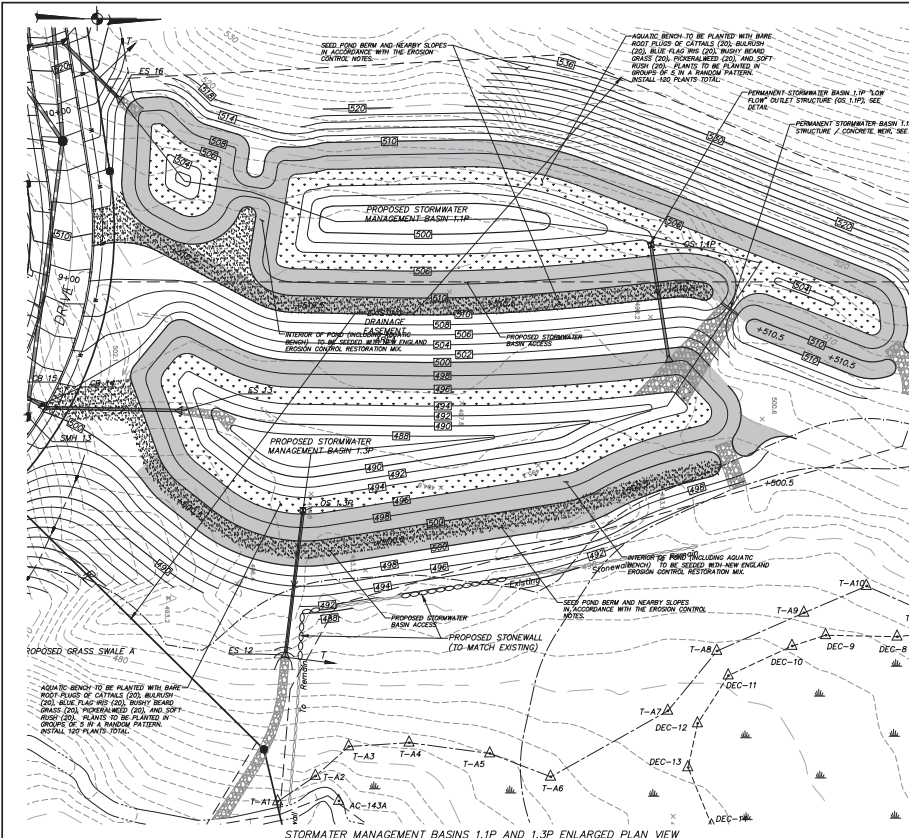
PROJECT MANAGER: J.L.C.
DRAWN BY: M.E.U.
CHECKED BY: D.L.M.

3 Corbett Place
(943) 225-8992
www.insite-ny.com

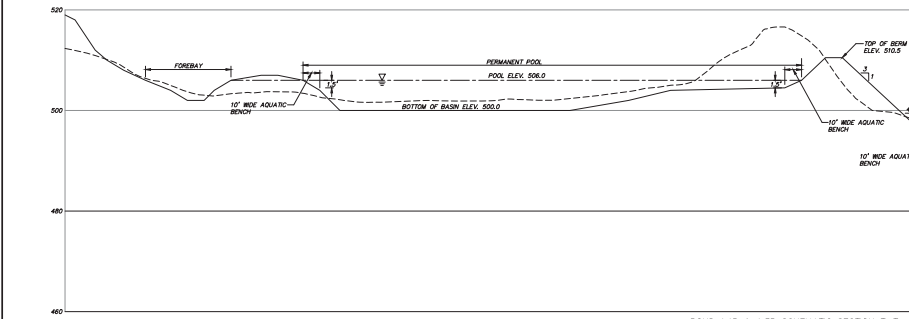
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ALTOUGH THIS DOCUMENT LIES UNDER THE JURISDICTION OF A LICENSED PROFESSIONAL ENGINEER, IT IS A VIOLATION OF SECTION 2009 OF ARTICLE 146 OF THE EDUCATION LAW.



- Planting Notes:**
- All plant material to be nursery grown.
 - Plants shall conform with the American Association of Nurserymen Standards in all major planting operations.
 - Plants shall be planted in all locations designed on the plan or as staked in the field by the Landscape Architect.
 - All plants shall be hardy under climate conditions similar to those in the locality at the project.
 - All proposed seeded areas to receive 6" min. depth of topsoil.
 - Upon final grading and placement of topsoil and any required soil amendments, areas to receive permanent vegetation cover in combination with mulch shall be installed.
 - For further details of the manufacturer recommended rate apply 1000-15-20-10 (No phosphorus) fertilizer or equivalent. Select mixture described in New York State Standards and Specifications for Fertilizer and Soil Conditioners, August 2005.
 - Mulch: Sell hay or small grade straw applied at a rate of 90 lbs./1000 sq. ft. or 2 tons/acre, to be applied and anchored according to New York State Standards and Specifications for Fertilizer and Soil Conditioners, August 2005.
 - If the reason presents the establishment of a permanent vegetation cover, the disturbed areas will be mulched with straw or equivalent.
 - Grass control seed mix to be the New England Fertilizer Control/Restoration Mix for Detachable Sealer and Maint 5149 spread at a rate of 5lb. / 1,245 sq. ft. as manufactured by New England Fertilizer Plants, Inc.



POND 1.1P & 1.3P SCHEMATIC SECTION T-T
SCALE: HORIZ. 1" = 30'

NO.	DATE	REVISION	BY
1	2-17-22	REVISED PER TOWN COMMENTS	MLJ

INSITE
 ENGINEERING, SURVEYING &
 LANDSCAPE ARCHITECTURE, P.C.

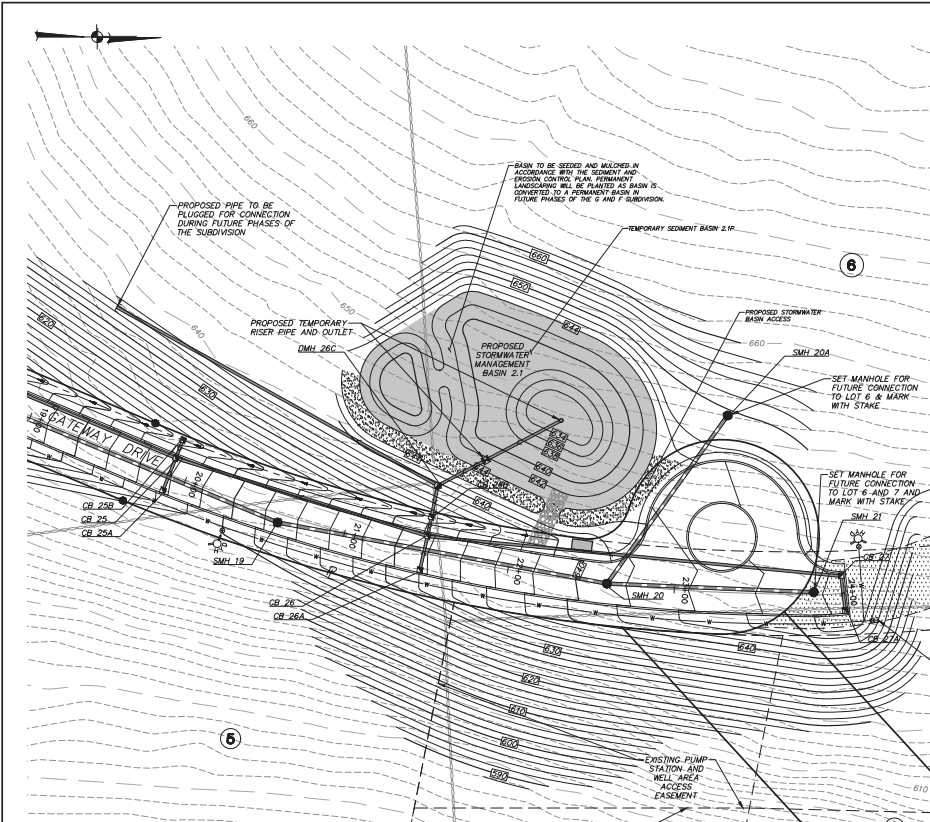
PROJECT:
 AMENDED LAYOUT OF LOTS 6, 6 AND 7 OF
 G & F SUBDIVISION

U.S. ROUTE 6, TOWN OF CARROLL, PUTNAM COUNTY, NEW YORK

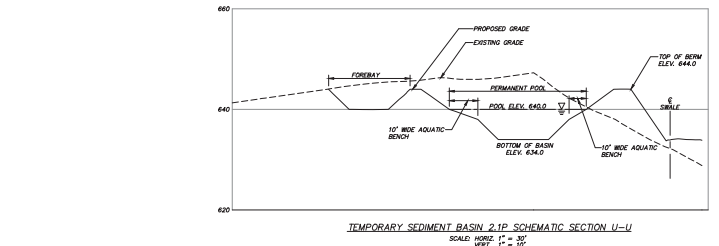
DRAWING:
 SITE DETAILS

PROJECT NUMBER: 04232.100
 PROJECT MANAGER: J.J.C.
 DATE: 1-26-22
 DRAWN BY: M.E.U.
 SCALE: AS SHOWN
 CHECKED BY: D.L.M.

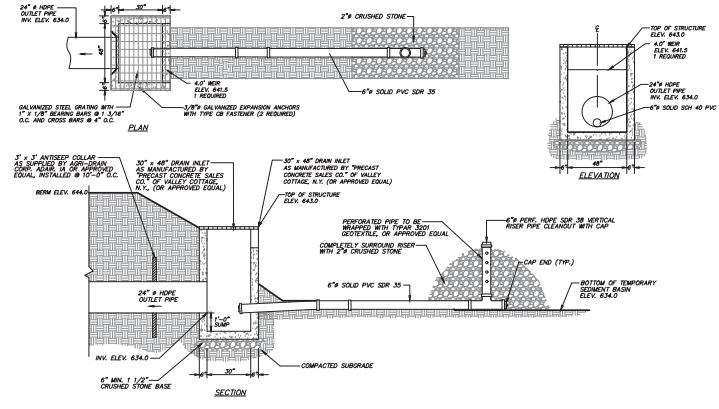
SHEET NO. 17 OF 18
 D-5



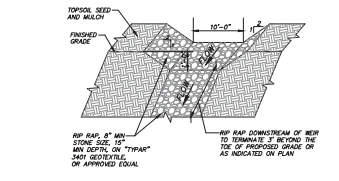
TEMPORARY SEDIMENT BASIN 2.1P ENLARGED PLAN VIEW
SCALE: 1" = 30'



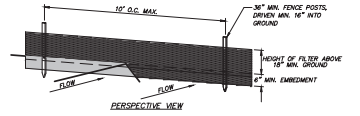
TEMPORARY SEDIMENT BASIN 2.1P SCHEMATIC SECTION U-U
SCALE: 1" = 30'



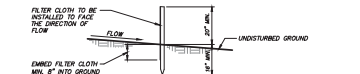
TEMPORARY SEDIMENT BASIN 2.1P OUTLET DETAIL
(N.T.S.)



EMERGENCY OVERFLOW SPILLWAY & STABILIZED ACCESS DETAIL
(N.T.S.)



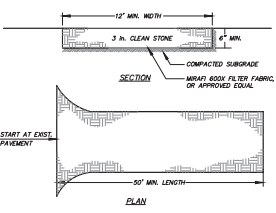
PERSPECTIVE VIEW



SECTION

- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**
1. FILTER CLOTH TO BE FASTENED SECURELY TO POSTS AT TOP AND MID SECTION.
 2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
 3. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILT FENCE DETAIL
(N.T.S.)

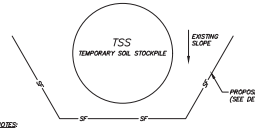


SECTION

PLAN

INSTALLATION NOTES

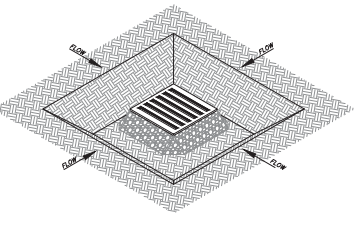
1. STONE SIZE - USE 3\"/>



TEMPORARY SOIL STOCKPILE DETAIL
(N.T.S.)

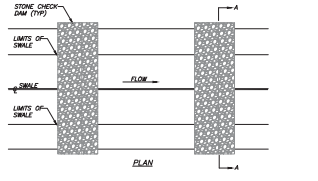
- NOTES**
1. AREA CHOSEN FOR STOCKPILE LOCATION SHALL BE DRY AND STABLE.
 2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 2:1.
 3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE IMMEDIATELY SEDED WITH PERMANENT TALL FESCUE.
 4. ALL STOCKPILES SHALL BE PROTECTED WITH SILT FENCING INSTALLED ON THE DOWNWIND SIDE.

STABILIZED CONSTRUCTION ENTRANCE DETAIL
(N.T.S.)

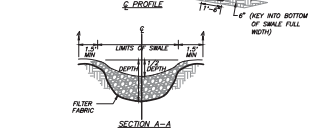


EXCAVATED DROP INLET PROTECTION DETAIL
(N.T.S.)

1. CLEAR THE AREA OF ALL DEBRIS THAT WILL HINDER EXCAVATION.
2. GRADE APPROACH TO THE INLET UNIFORMLY AROUND THE BASIN.
3. KEEP HOLES SHALL BE PROTECTED BY GRAVEL.
4. UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA, SEAL KEEP HOLES FULL EXCAVATION WITH STONE, SO TO FIRM GRADE, CONTACT IT PROPERLY, AND STABILIZE WITH PERMANENT SEEDING.
5. MINIMUM DRAINAGE AREA = 1' HOLE.



STONE CHECK DAM DETAIL
(N.T.S.)



SECTION A-A

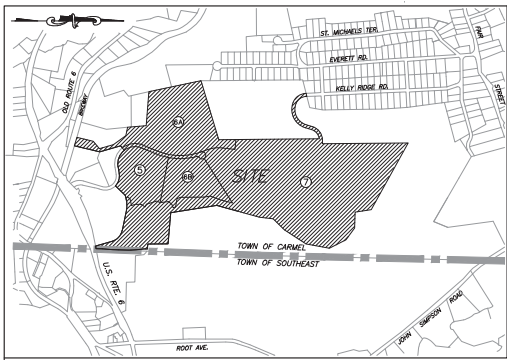
- NOTES**
1. STONE SHALL BE PLACED ON A FILTER FABRIC FOUNDATION.
 2. SET SPACING OF CHECK DAM SO THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
 3. EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AND EROSION OF THE DAM.
 4. PROTECT THE CHANNEL DOWNSTREAM BY THE LOWEST CHECK DAM FROM SEDIMENT AND EROSION WITH STONE LINER AS APPROPRIATE.
 5. ENSURE THAT DAMING APPROPRIATENESS SUCH AS CULVERT ENTRIES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONE.

STONE CHECK DAM DETAIL
(N.T.S.)

REVISED PER TOWN COMMENTS		REVISED	BY
NO.	DATE		
1	2-17-22		MEL

		3 Carroll Place SUITE 1001 (949) 235-8912 (949) 235-8997 www.insite-arg.com	
PROJECT: AMENDED LAYOUT OF LOTS 5, 6 AND 7 OF G & F SUBDIVISION			
U.S. ROUTE 5, TOWN OF CARROLL, PUTNAM COUNTY, NEW YORK			
DRAWING: SITE DETAILS			
PROJECT NUMBER	04232.100	PROJECT MANAGER	J.L.C.
DATE	1-26-22	DRAWN BY	M.E.U.
SCALE	AS SHOWN	CHECKED BY	D.L.M.
		DRAWING NO.	18
		SHEET	18

ALLOCATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 1009 OF ARTICLE 146 OF THE EDUCATION LAW.

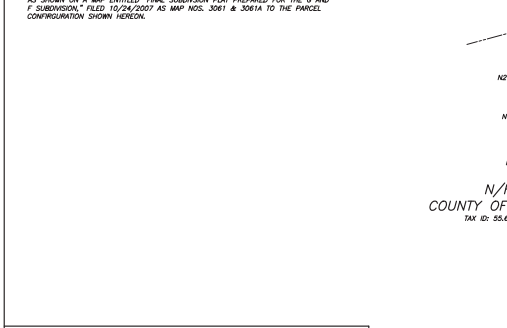


LOCATION MAP
SCALE: 1" = 800'

OWNER/APPLICANT:
HUDSON VALLEY REALTY CORP.
1059 ROUTE 6, SUITE 1
CARMEL, NY 12512

SITE DATA:
COND: CMR/RI
TOTAL ACRES: 108.694 AC ±
TAX MAP NO.: 55-2-24.5
55-2-24.6
55-2-24.7
55-2-24.8
SCHOOL DISTRICT: CARMEL
FIRE DISTRICT: F0003-FIRE #3

GENERAL NOTES:
1. THE PURPOSE OF THIS MAP IS TO ADJUST THE LOT LINES BETWEEN SELECTED LOTS AS SHOWN ON A MAP ENTITLED "FINAL SUBDIVISION PLAT PREPARED FOR THE G AND F SUBDIVISION," FILED 10/24/2007 AS MAP NOS. 3061 & 3061A TO THE PARCEL COMPARISON SHOWN HEREON.



COUNTY OF PUTNAM FILING ACCEPTANCE

TO REAL PROPERTY TAX DEPARTMENT:	PUTNAM COUNTY COMMISSIONER OF FINANCE
PLEASE CERTIFY THAT THE FOLLOWING TAX MAP NUMBERS: 55-2-24.5, 55-2-24.6-1, 55-2-24.7-1 & 55-2-24.8-2 IN THE TOWN OF CARMEL ARE THE CORRECT TAX MAP NUMBERS FOR THE ATTACHED SUBDIVISION MAP.	THE COMMISSIONER OF FINANCE HEREBY CERTIFIES THAT ALL TOWN COUNTY AND VILLAGE REAL PROPERTY TAXES FORWARDED TO THIS OFFICE FOR COLLECTION AS OF _____ HAVE BEEN PAID FOR THE PARCELS OR PARCELS DESCRIBED AS: 55-2-24.5, 55-2-24.6-1, 55-2-24.7-1, 55-2-24.8-2
DIRECTOR OF REAL PROPERTY TAXES	SIGNED: COMMISSIONER OF FINANCE

PUTNAM COUNTY DEPARTMENT OF HEALTH

THIS IS TO CERTIFY THAT THE DIVISION OF LAND AS REPRESENTED ON THIS MAP DOES NOT FALL WITHIN THE DEFINITION OF SUBDIVISION AS SPECIFIED IN SECTION 1115 OF THE PUBLIC HEALTH LAW AND SECTION 1117 OF THE PUBLIC HEALTH LAW IS THEREFORE NOT APPLICABLE. THIS MAP IN NO WAY EXPLICIT OR IMPLIED CONVEYS THE APPROVAL OF THE PUTNAM COUNTY DEPARTMENT OF HEALTH. APPROVAL OF THIS PLAT IS NOT REQUIRED, BUT ALL OTHER PROVISIONS OF THE PUTNAM COUNTY SANITARY CODE APPLY.

SIGNED: _____ DATE: _____

REVISIONS

DATE	DESCRIPTION	BY	JY
2/17/22	GENERAL REVISIONS	JY	JY

CONSENT TO FILE

THE UNDERSIGNED OWNERS OF THE PROPERTY HEREON STATE THAT THEY ARE FAMILIAR WITH THESE DRAWINGS, THEIR CONTENTS AND THEIR LEGS AND HEREBY CONSENT TO ALL THEIR SAID TERMS AND CONDITIONS AS STATED HEREON. FURTHER, THE OWNERS CONSENT TO THE FILING OF THIS MAP.

DATE: _____

SURVEYORS SEAL

PROFESSIONAL ENGINEER

Engineering by: _____

LICENSED ENGINEER

PUTNAM COUNTY DEPARTMENT OF HEALTH

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF CARMEL, NEW YORK, ON THE _____ DAY OF _____, 20____, ANY CHANGE, ENLARGEMENT, MODIFICATION OR REVISION OF THE PLAT, AS APPROVED, SHALL VOID THIS APPROVAL, SIGNED _____ DAY OF _____, 20____.

BY: _____ CHAIRMAN

BY: _____ VICE CHAIR

THIS PLAT VALID FOR FILING UNTIL _____ 20____.

WINSITE
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

3 Carmel Place
Carmel, NY 12512
(845) 225-9990
(845) 225-9777 fax
www.winsite.com

LOT 1: F.M. 3061, TAX ID: 55-2-24.1-2

LOT 2: F.M. 3061, TAX ID: 55-2-24.2-1

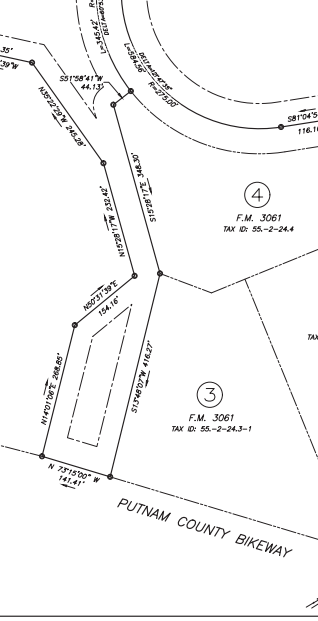
LOT 3: F.M. 3061, TAX ID: 55-2-24.3-1

LOT 4: F.M. 3061, TAX ID: 55-2-24.4

LOT 5: EXISTING AREA = 13.600 Acres±, PROPOSED AREA = 40.666 Acres±, EXISTING TAX ID: 55-2-24.5

LOT 6: EXISTING AREA = 30.172 Acres±, PROPOSED AREA = 35.272 Acres±, EXISTING TAX ID: 55-2-24.6-1

LOT 7: EXISTING AREA = 101.763 Acres±, PROPOSED AREA = 82.756 Acres±, EXISTING TAX ID: 55-2-24.8-1



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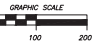
LOT 7: EXISTING AREA = 101.763 Acres±, PROPOSED AREA = 82.756 Acres±, EXISTING TAX ID: 55-2-24.8-1

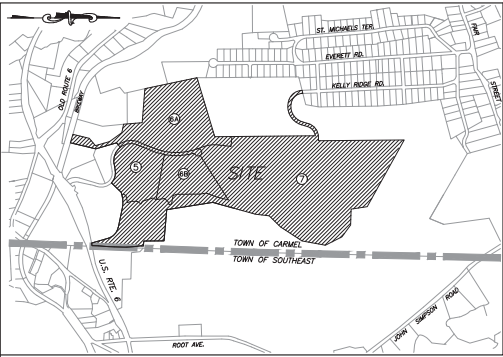
AMENDED LAYOUT
OF LOTS 5, 6, AND 7
OF
G and F SUBDIVISION

SITATE IN PUTNAM CO., N.Y.
TOWN OF CARMEL, NY
SCALE: 1" = 100'
JANUARY 27, 2022

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SHEET 1 OF 2

THE ALTERATION OF SURVEY MAPS BY ANYONE OTHER THAN THE ORIGINAL PREPARER IS MISLEADING, CONFUSING AND NOT IN THE GENERAL INTEREST OR BENEFIT OF THE PUBLIC. ANY SURVEY MAPS OR SURVEY PLANS OR SURVEY PLATS PREPARED BY OTHERS UNLESS THEY ARE PREPARED IN ACCORDANCE WITH THE SURVEYING AND MAPPING ACT OF 2008 OF THE NEW YORK STATE EDUCATION LAW, THE LOCATION OF UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS AS AND COSTS ARE SHOWN HEREON ARE NOT CERTIFIED. ALL CERTIFICATIONS HEREON ARE MADE FOR THIS MAP AND CODES THEREOF ONLY IF SAID MAP OR CODES BEAR THE IMPROVED SIGNATURE OF THE PREPARER. SIGNATURE APPEARS HEREON, THIS MAP MAY NOT BE USED IN CONNECTION WITH A "TODAY AFFIDAVIT" OR SIMILAR DOCUMENT, STATEMENT OR INSTRUMENT TO OBTAIN TITLE INSURANCE FOR ANY SUBSEQUENT OR FUTURE GRANTEES.





LOCATION MAP
SCALE: 1" = 800'

COUNTY OF PUTNAM FILING ACCEPTANCE

TO REAL PROPERTY TAX DEPARTMENT: PUTNAM COUNTY COMMISSIONER OF FINANCE

PLEASE CERTIFY THAT THE FOLLOWING TAX MAP NUMBERS: 55-2-24.5, 55-2-24.6-1, 55-2-24.7-1 & 55-2-24.8-2 IN THE TOWN OF CARMEL ARE THE CORRECT TAX MAP NUMBERS FOR THE ATTACHED SUBDIVISION MAP.

THE COMMISSIONER OF FINANCE HEREBY CERTIFIES THAT ALL TOWN COUNTY AND VILLAGE REAL PROPERTY TAXES FORWARDED TO THIS OFFICE FOR COLLECTION AS OF _____ HAVE BEEN PAID FOR THE PARCELS OR PARCELS DESCRIBED AS: 55-2-24.5, 55-2-24.6-1, 55-2-24.7-1, 55-2-24.8-2

SIGNED: _____
COMMISSIONER OF FINANCE

DIRECTOR OF REAL PROPERTY TAXES: _____

PUTNAM COUNTY DEPARTMENT OF HEALTH

THIS IS TO CERTIFY THAT THE DIVISION OF LAND AS REPRESENTED ON THIS MAP DOES NOT FALL WITHIN THE DEFINITION OF SUBDIVISION AS SPECIFIED IN SECTION 1115 OF THE PUBLIC HEALTH LAW AND SECTION 1117 OF THE PUBLIC HEALTH LAW IS THEREFORE NOT APPLICABLE. THIS MAP IS IN NO WAY EXPLICIT OR IMPLIED CONVEYS THE APPROVAL OF THE PUTNAM COUNTY DEPARTMENT OF HEALTH. APPROVAL OF THIS PLAN IS NOT REQUIRED, BUT ALL OTHER PROVISIONS OF THE PUTNAM COUNTY SANITARY CODE APPLY.

SIGNED: _____ DATE _____

PLANNING BOARD

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF CARMEL, NEW YORK, ON THE _____ DAY OF _____, 2022.

BY: _____ CHAIRMAN

BY: _____ VICE CHAIR

THIS PLAN VALID FOR FILING UNTIL _____ 20 _____

REVISIONS

DATE	DESCRIPTION	BY	JU
2/17/22	GENERAL REVISIONS		

CONSENT TO FILE

THE UNDERSIGNED OWNERS OF THE PROPERTY HEREBY STATE THAT THEY ARE FAMILIAR WITH THESE DRAWINGS, THEIR CONTENTS AND THEIR LEGS AND HEREBY CONSENT TO ALL THEIR SAID TERMS AND CONDITIONS AS STATED HEREIN. FURTHER, THE OWNERS CONSENT TO THE FILING OF THIS MAP.

DATE _____

SURVEYORS SEAL

TERRY BERGENDORFF COLLINS, LICENSED LAND SURVEYOR, WHO MADE THIS MAP DO HEREBY CERTIFY THAT THE SURVEY SHOW WHICH THIS MAP IS BASED WAS COMPLETED 8/1/05 AND THAT THIS MAP WAS COMPLETED 1/27/22.

PROFESSIONAL ENGINEER

Engineering by: _____

LICENSED ENGINEER

TERRY BERGENDORFF COLLINS
123 CARMEL ROAD 0008
CARMEL, NEW YORK 10512
(845) 225-9989
(845) 225-9777 fax
www.terrybergendorffcollins.com

N.Y.S. LICENSE NO. 49691

HUNTSITE
ENGINEERING, SURVEYING &
LANDSCAPE ARCHITECTURE, P.C.

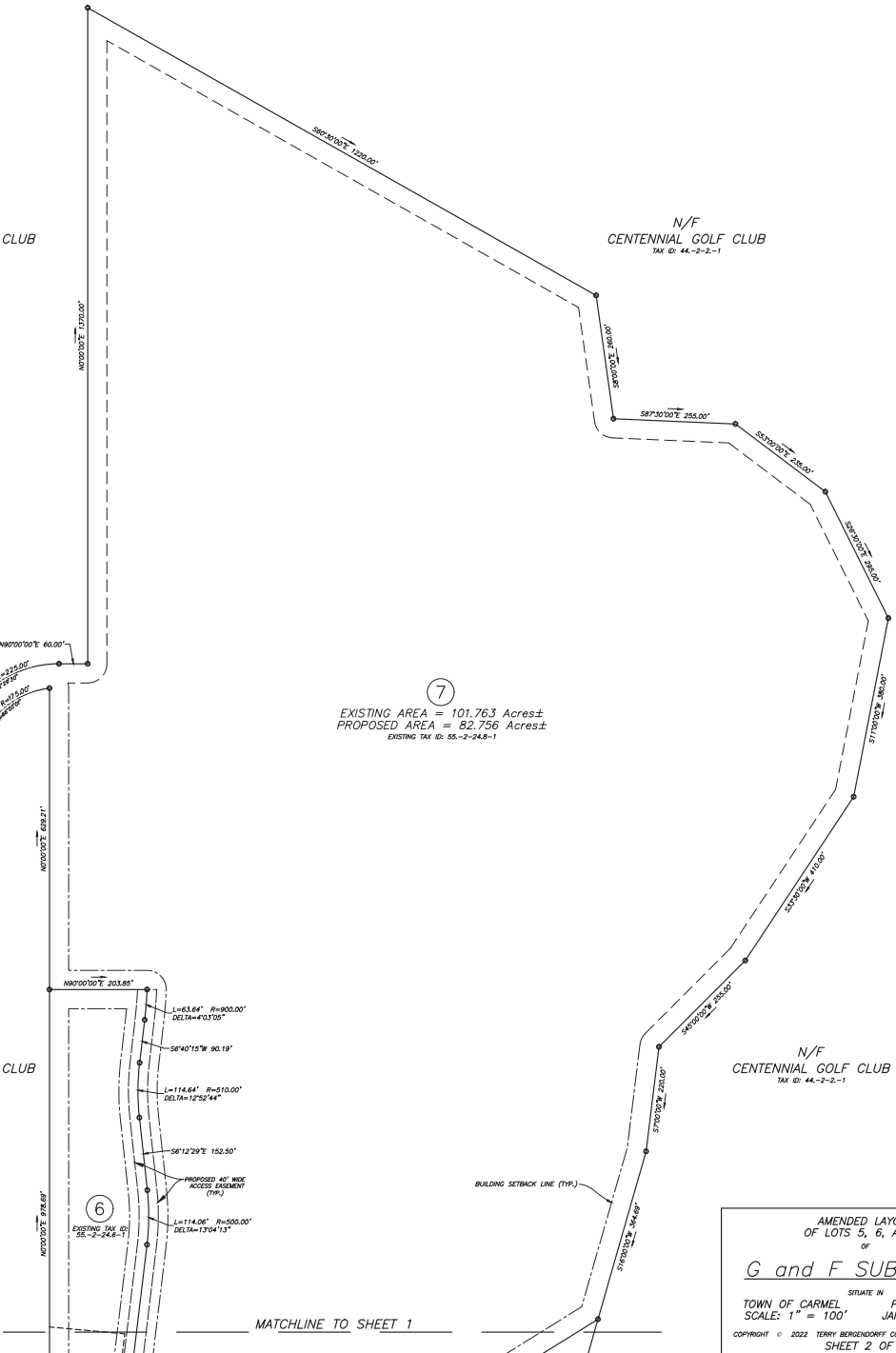
3 Garrett Place
Carmel, NY 10512
(845) 225-9989
(845) 225-9777 fax
www.huntsite.com

N/F CENTENNIAL GOLF CLUB
TAX ID: 44-2-2-1

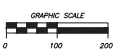
N/F CENTENNIAL GOLF CLUB
TAX ID: 44-2-2-1

N/F CENTENNIAL GOLF CLUB
TAX ID: 44-2-2-1

N/F CENTENNIAL GOLF CLUB
TAX ID: 44-2-2-1



EXISTING AREA = 101.763 Acres±
PROPOSED AREA = 82.756 Acres±
EXISTING TAX ID: 55-2-24.8-1



AMENDED LAYOUT
OF LOTS 5, 6, AND 7
OF
G and F SUBDIVISION

SITUATE IN PUTNAM CO., N.Y.
TOWN OF CARMEL, N.Y.
SCALE: 1" = 100'
JANUARY 27, 2022

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SHEET 2 OF 2

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February 8, 2022

Mr Craig Paepreer
Planning Board Chair
60 McAlpin Avenue
Mahopac NY 10541

RE: Site Plan P&R Estate Corp.
44.13-2-68

Dear Mr. Paepreer,

As per our application dated back in April of 2021, for the legalization of a multi family building we offer these comments.

The applicant has updated the site survey, as well obtained the services of a wetland scientist to determine the location of the adjacent wetland. After this information was analyzed and the comments from the last meeting the applicant redesigned the entire property creating a safer and more aesthetic solution to the parking issue. The parking has now been completely removed from the front of the building, we have addressed the access to the rear property and have provided storm water management when there was no mitigation on the current site. We feel this plan not only is aesthetically pleasing but also is more environmentally sensitive from our previous application. the following are highlights of the plan..

- Front back out parking removed
- Landscaped front lawn
- Parking improvements, 8 spaces paved lot
- Access Easement proposed to rear Lot
- Stormwater Mitigation 100% increase
- Landscape mitigation and rain garden proposed
- Accessible parking and access lower apartment

the following are responses:

Director Of Code Enforcement

#1: The numbers on the zoning table are incorrect
Applicant has revised numbers

#2: 5 of the parking spaces back onto Route 52

Applicant has redesigned the property so as all of the parking spaces are now off street and in a paved parking area

#3: The minimum building area is not provided...

Applicant has updated zoning table accordingly

#4: Use Variance required from ZBA

Applicant understands that we need variance from ZBA

#5: Several area variances required

Applicant has updated zoning chart and will address with Zoning Board

Town Engineer comments

#1: Provide water sewer use reporter review

Applicant has submitted the actual use report from a given six month term, water usage is far below industry standards. The house previously was a four bedroom The additional two bedrooms would create approximately 150 GPD each or 300 GPD sewer usage.

#2 Referral Putnam County Department Planning GML 239 required

Response: Applicant will complete referral

#3: Area of disturbance for the work should be provided so as to determine..

Applicant has shown disturbance area on plan the newly constructed area being 9,320 sf of disturbed area

#4 All curbs sidewalks, manholes and guide rails should be installed per....

Applicant will meet or exceed town codes

#5 A lighting plan should be provided

Applicant proposes three residential lights, see plan, would ask for a waiver on photometric plan

#6 Drainage from site should be addressed.

Applicant has redesigned the parking area so as to mitigate stormwater activities from the parking area, as well created a rain garden to address further stormwater from being directly discharged into the wetland

#7 A detail for standard duty asphalt...

Applicant has updated the detail on plan

#8 available site distances and calculations should be specified on plan..

Applicant has shown site distances on the plan, applicant is utilizing the approximate location of an existing curb cut as well. applicant will make improvements as necessary. Sight distance needed is 300 If for the posted speed limit.

#9 Graphic representation of vehicle movements through site should be provided...
Applicant has detailed the dimensions, radii and grades of proposed parking facility.

Town Planner comments

#1: The applicant is seeking the legalization of a 4-unit, multi-family...:
Applicant acknowledges needing a use variance

#2: The site is dimensional non conforming...:
Applicant has updated site plan and area variance will be applied for

#3: The 4 dwelling units requires the provision of 8 off street parking spaces..
Applicant has updated the plan, designing the property so as all the parking is now off the street and contained in a paved uniform parking area.

#4: The opportunity exists... ..:
Applicant has addressed this comment see #3

#5: The southern driveway also serves a building located behind the subject property... ..:

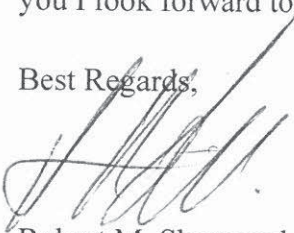
Applicant is working with the adjacent land owner to resolve this driveway, applicant has proposed a access easement through the property on the North side of the property where a driveway also exists to the rear property.

#5: 156-42 A (3) requires off-street parking areas for more than 3 parking spaces... ..:
Applicant has redesigned the parking and site plan to accommodate all parking off street and will be improved accordingly to code, refer to site plans

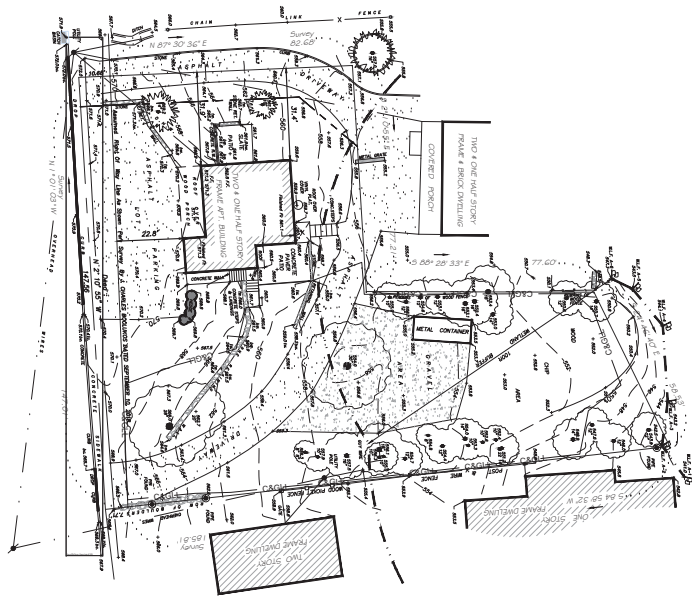
#6: An inspection of the building should be undertaken to verify all 4 units ...:
Applicant Building has been inspected, and will provide documentation.

I hope that these responses and enclosed plans clarify any questions you may have, Thank you I look forward to any comments you may have.

Best Regards,



Robert M. Sherwood, RLA



SURVEY EXISTING CONDITIONS

NEIGHBORS

<p>44-121-006 Teresa Basso 1100 N. York Carnell, NY 12012</p> <p>44-121-010 Joseph Basso 1100 N. York Carnell, NY 12012</p> <p>44-121-011 Joseph Basso 1100 N. York Carnell, NY 12012</p> <p>44-121-012 Joseph Basso 1100 N. York Carnell, NY 12012</p> <p>44-121-013 Joseph Basso 1100 N. York Carnell, NY 12012</p> <p>44-121-014 Joseph Basso 1100 N. York Carnell, NY 12012</p> <p>44-121-015 Joseph Basso 1100 N. York Carnell, NY 12012</p> <p>44-121-016 Joseph Basso 1100 N. York Carnell, NY 12012</p> <p>44-121-017 Joseph Basso 1100 N. York Carnell, NY 12012</p> <p>44-121-018 Joseph Basso 1100 N. York Carnell, NY 12012</p> <p>44-121-019 Joseph Basso 1100 N. York Carnell, NY 12012</p> <p>44-121-020 Joseph Basso 1100 N. York Carnell, NY 12012</p>	<p>44-121-021 Joseph Basso 1100 N. York Carnell, NY 12012</p> <p>44-121-022 Joseph Basso 1100 N. York Carnell, NY 12012</p> <p>44-121-023 Joseph Basso 1100 N. York Carnell, NY 12012</p> <p>44-121-024 Joseph Basso 1100 N. York Carnell, NY 12012</p> <p>44-121-025 Joseph Basso 1100 N. York Carnell, NY 12012</p> <p>44-121-026 Joseph Basso 1100 N. York Carnell, NY 12012</p> <p>44-121-027 Joseph Basso 1100 N. York Carnell, NY 12012</p> <p>44-121-028 Joseph Basso 1100 N. York Carnell, NY 12012</p> <p>44-121-029 Joseph Basso 1100 N. York Carnell, NY 12012</p> <p>44-121-030 Joseph Basso 1100 N. York Carnell, NY 12012</p>	<p>44-121-031 Joseph Basso 1100 N. York Carnell, NY 12012</p> <p>44-121-032 Joseph Basso 1100 N. York Carnell, NY 12012</p> <p>44-121-033 Joseph Basso 1100 N. York Carnell, NY 12012</p> <p>44-121-034 Joseph Basso 1100 N. York Carnell, NY 12012</p> <p>44-121-035 Joseph Basso 1100 N. York Carnell, NY 12012</p> <p>44-121-036 Joseph Basso 1100 N. York Carnell, NY 12012</p> <p>44-121-037 Joseph Basso 1100 N. York Carnell, NY 12012</p> <p>44-121-038 Joseph Basso 1100 N. York Carnell, NY 12012</p> <p>44-121-039 Joseph Basso 1100 N. York Carnell, NY 12012</p> <p>44-121-040 Joseph Basso 1100 N. York Carnell, NY 12012</p>	<p>44-121-041 Joseph Basso 1100 N. York Carnell, NY 12012</p> <p>44-121-042 Joseph Basso 1100 N. York Carnell, NY 12012</p> <p>44-121-043 Joseph Basso 1100 N. York Carnell, NY 12012</p> <p>44-121-044 Joseph Basso 1100 N. York Carnell, NY 12012</p> <p>44-121-045 Joseph Basso 1100 N. York Carnell, NY 12012</p> <p>44-121-046 Joseph Basso 1100 N. York Carnell, NY 12012</p> <p>44-121-047 Joseph Basso 1100 N. York Carnell, NY 12012</p> <p>44-121-048 Joseph Basso 1100 N. York Carnell, NY 12012</p> <p>44-121-049 Joseph Basso 1100 N. York Carnell, NY 12012</p> <p>44-121-050 Joseph Basso 1100 N. York Carnell, NY 12012</p>
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tax map and radius



SITE LOCATION MAP

ZONING DATA

TAX MAP DESIGNATION SECTION 44.13, BLOCK 2, LOT 168			
ZONING DISTRICT	COMMERCIAL		
ITEM	REQUIRED	PROPOSED	VARIANCE REQ.
LOT AREA	40,000 SF	17,360	22,640 SF
LOT COVERAGE	30%	7%	NA
LOT WIDTH	200	147'	53'
LOT DEPTH	200	185	15'
FRONT YARD	40	22.8'	17.2'
SIDE YARD	75	29.7'	NA
REAR YARD	30	23.1	6.9'
HEIGHT	35	33'4"	NA
OFF STREET PARKING	8	8 SPACES	0
AREA OF DISTURBANCE		9,200 SF	
MIN. BUILDING AREA	5,000SF	17,360	

PARKING REQUIRED 2 PER APARTMENT, 8 REQUIRED

NOTES:

1. Survey information taken from a SURVEY PREPARED BY Link Land Surveying refer to this survey for information.
2. Location of existing utilities not performed by this office confirm location of all utilities prior to construction. CALL, Call DIG SAFELY NY
3. Contractor to verify all grades and dimensions prior to construction, contractor to inform Landscape Architect with any discrepancies.



NOTE:

ROBERTS HERWOOD
LANDSCAPE ARCHITECT, LLC

P.O. BOX 564, BROOKFIELD, CT 06804
ph/203.788.1547 c/203.894.5337 e/roberts@herwoodllc.com



SITE CONFORMITY PLAN

P&R Estate Corp.
122 Glenville
Carnell, NY

PROJECT:

COUNTY:

#3 2.4.22
#2 3.30.21

#1 comments 12.15.18

REVISIONS: AS NOTED

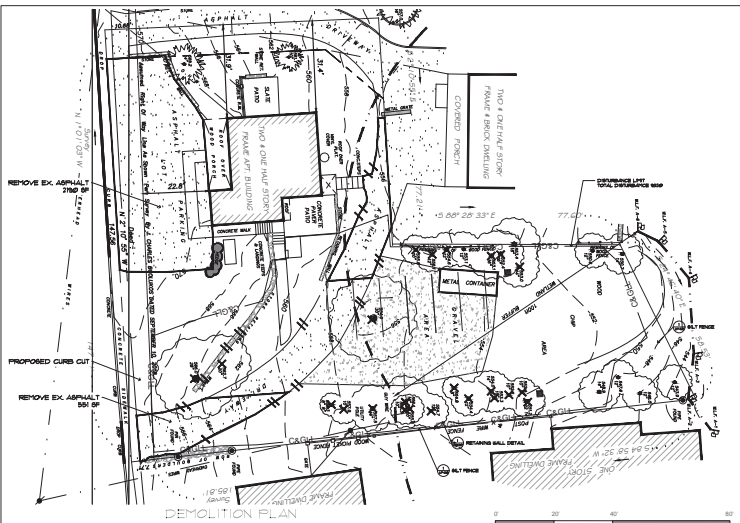
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DATE: 18.14

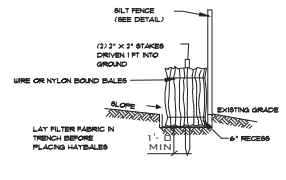
JOB NO: 18.14

DRAWING NO:

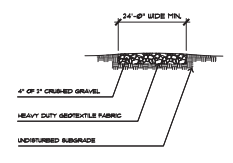
LP-1.0
1 OF 3



- SEDIMENT AND EROSION CONTROL NOTES:**
1. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CURRENT EDITION OF THE WESTCHESTER COUNTY BEST MANAGEMENT PRACTICES MANUAL FOR EROSION AND SEDIMENT CONTROL.
 2. SILT FENCE SHALL BE INSTALLED AS SHOWN ON THIS DRAWING PRIOR TO BEGINNING ANY CLEARING AND GRADING OR EARTHWORK.
 3. GRASS SEED MIX MAY BE APPLIED BY EITHER MECHANICAL OR HYDROSEEDING METHODS. HYDROSEEDING SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE NADOT STANDARD SPECIFICATION CONSTRUCTION AND MATERIALS SECTION 610-3.60, METHOD NO. 1.
 4. CUT OR FILL SLOPES STEEPER THAN A 3:1 SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
 5. PAVED ROADWAYS SHALL BE KEPT CLEAN AT ALL TIMES.
 6. THE SITE AT ALL TIMES SHALL BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
 7. ALL STORM DRAINAGE OUTLETS SHALL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
 8. CUT AND FILL SHALL NOT ENDANGER ADJACENT PROPERTY, NOR DIVERT WATER ONTO THE PROPERTY OF OTHERS.
 9. SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS BY OWNER'S FIELD REPRESENTATIVE (OFR) TO INSURE THAT CHANGES, TEMPORARY AND PERMANENT DAMAGES AND PRIORS ARE CLEAR OF OBSTACLES THAT IMPAIRMENT AND REMOVAL HAVE NOT BEEN ENDED AND THAT ALL STRAW BALES ARE INTACT. ANY FAILURE OF SEDIMENT AND EROSION CONTROL MEASURES SHALL BE IMMEDIATELY REPORTED BY THE CONTRACTOR AND INSPECTED FOR APPROVAL BY THE OFR AND/OR SITE ENGINEER.
 10. CURT SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE OFR.
 11. ALL FILLS SHALL BE COMPACTED TO PROVIDE STABILITY OF MATERIAL AND TO PREVENT SETTLEMENT.
 12. EXCAVATIONS AND FILLS TO BE ROLLED, SEALED AND STABILIZED AT COMPLETION OF EACH CONSTRUCTION DAY.
 13. CONSTRUCTION OF A TEMPORARY STABILIZED GRAVEL CONSTRUCTION ENTRANCE AS INDICATED ON THIS PLAN SHALL CONSIST OF 4" THICK GRAVEL, 34 FEET WIDE WITH A TRAMP LENGTH OF 30 FEET FOR THE PURPOSE OF CLEANING TIRE TREADS PRIOR TO VEHICLES ENTERING WEST REAR DRIVE.
 14. CONTRACTOR RESPONSIBLE FOR MAINTAINING SEDIMENTATION AND EROSION CONTROL MEASURES UNTIL FINAL GRADING AND SEEDING STABILIZATION TAKE PLACE.



STAKED HAYBALE/ SILT FENCE
NTS



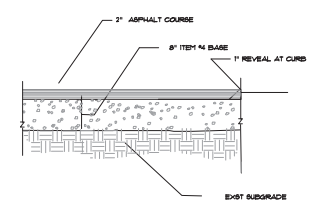
ANTI TRACKING PAD

DRAINAGE

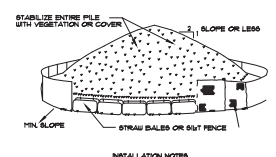
DRAINAGE CALCULATIONS:
 PROPOSED INCREASE IN IMPERVIOUS SURFACE 1338 SF INCLUDING new driveway and parking
 25 YEAR STORM EVENT = 6" OF RAINFALL MITIGATED BY THE IMPERVIOUS SURFACE.
 PRE DEVELOPMENT MIXED (1) COEFFICIENT SUBURBAN: 0.7-0.8(1338) OR 468.3 CF
 POST DEVELOPMENT DRIVEWAY (3) COEFFICIENT: 0.7-0.8(1338) OR 462.1 CF
 POST DEVELOPMENT MINUS PRE DEVELOPMENT = STORAGE REQUIRED 267.6-462.1=134.4 CF
 CULTEC RECHARGER MODEL 330 TOTAL STORAGE VOLUME PER UNIT IS EQUAL TO 73.42 CF WITH 6" STONE SURROUNDING UNITS
 REQUIRED CULTEC RECHARGER FOR INCREASED IMPERVIOUS SURFACE STORAGE IS 134/73.42 OR 1.6 UNITS REQUIRED.
 3 CULTEC RECHARGERS INSTALLED

RAIN GARDEN ANALYSIS:

ADDITIONAL IMPERVIOUS SURFACES CREATED ABOVE EXISTING DRIVEWAY PARKING
 WALKS 1040 sqft
 TOTAL 1338 sqft
 1338 sqft x 6" Rain event = 663 sf of storage required
 1) Rain Garden = 395sqft x 12" Average ponding depth = 395 sf
 2) 3 CULTEC RECHARGERS INSTALLED



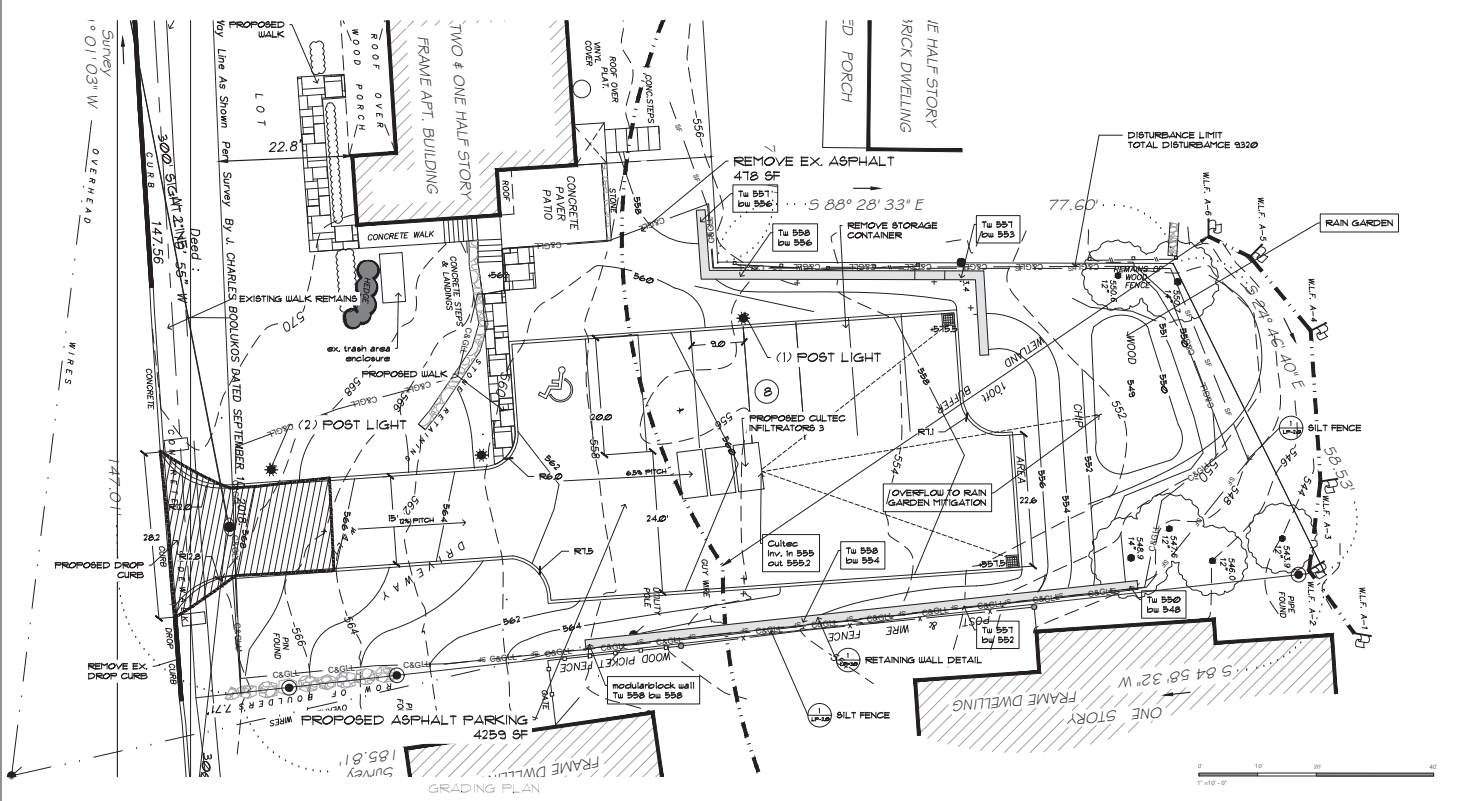
NEW ASPHALT PAVEMENT DETAIL
NTS



INSTALLATION NOTES:
 1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
 2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
 3. UPON COMPLETION OF SOIL STOCKPILING EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAW BALES, THEN STABILIZED AS NOTED.
 4. TEMPORARILY STABILIZE AS NOTED IN SPECIFICATIONS.

SOIL STOCKPILING
NTS

GENERAL NOTES:
 1. BASE PLAN TAKEN FROM SURVEY PREPARED BY L&L LAND SURVEYORS
 2. THE OWNER, CONTRACTOR, AND/OR HIS AGENTS OR ASSAIGNS MUST VERIFY THE APPROPRIATE UTILITY COPIES AND/OR AGENCIES AT LEAST 24 HOURS PRIOR TO ANY CONSTRUCTION, EXCAVATION OR DISTURBANCE AT OR NEAR UNDERGROUND FACILITIES IN ACCORDANCE WITH INDUSTRIAL CODE 53.
 3. ALL CONTRACTORS SHALL VERIFY EXISTING ELEVATIONS PRIOR TO CONSTRUCTION OF STORM WATER MANAGEMENT SYSTEM. SHOULD INCONGRUENCES IN EXISTING ELEVATIONS BE DETERMINED, CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER PRIOR TO COMMENCING CONSTRUCTION OF THE STORM WATER MANAGEMENT SYSTEM.



ROBERTS HERWOOD
 LANDSCAPE ARCHITECT PLLC
 P.O. BOX 564, BROOKFIELD, CT 06804
 PL2003.788.1147 c:203.894.4337 e:roberts@herwoodllc.com

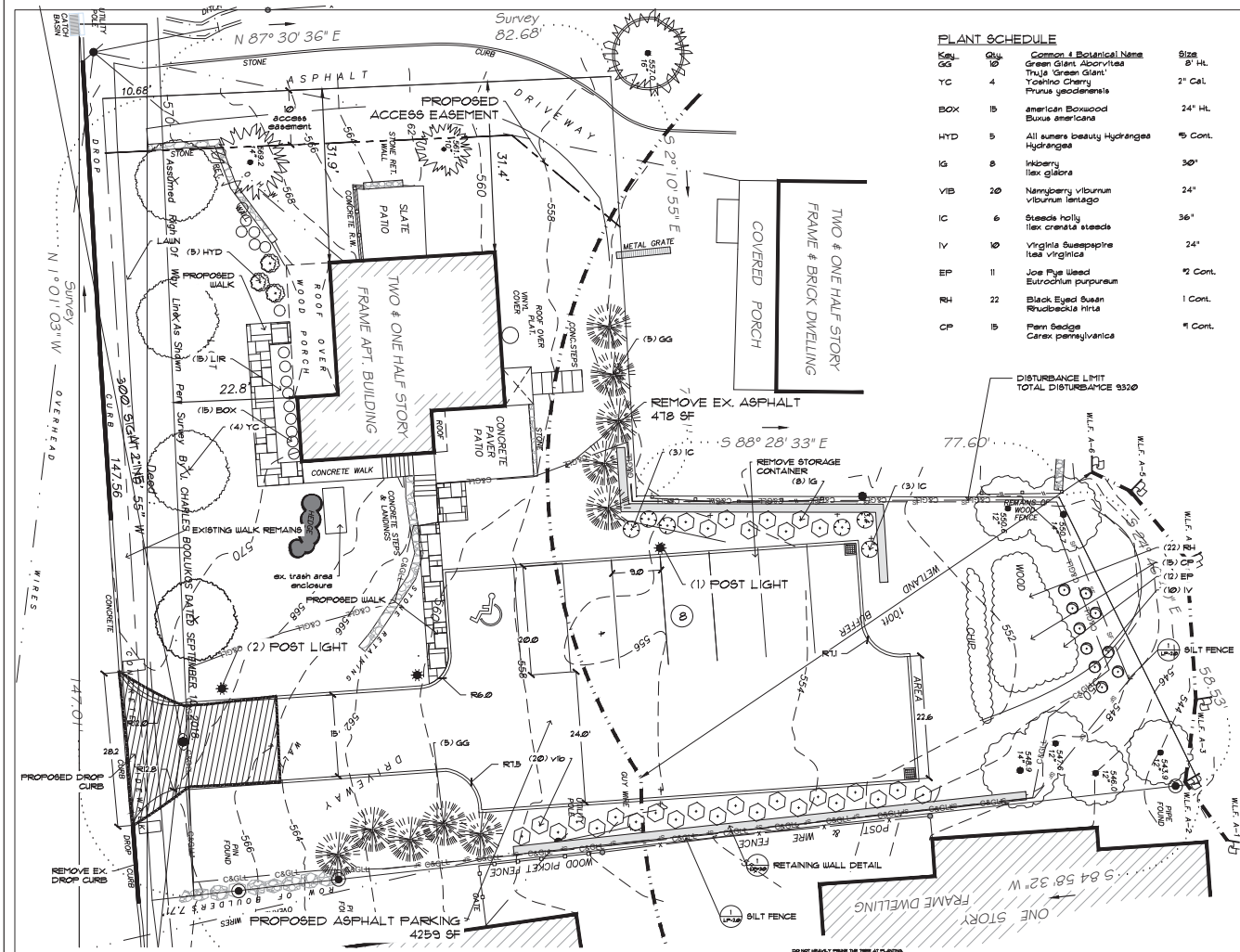


GRADING AND DEMOLITION PLAN
 P&R Estate Corp.
 122 Glenside
 Carmel NY

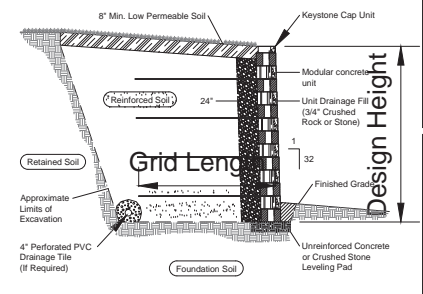
PROJECT: _____
 COUNTY: _____

REVISIONS:	
SCALE:	AS NOTED
DATE:	2.4.22
JOB NO.:	18.14
DRAWING NO.:	LP-2.0

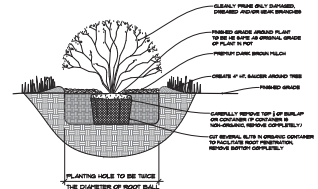
2 OF 2



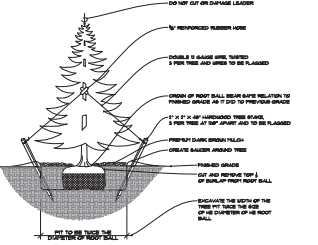
Qty.	Common & Botanical Name	Size
10	Green Giant Abutilon	8' HT.
4	Thru 'Green Giant' Toxicaria Cherry Prunus yedoensis	2' Cal.
15	American Boxwood Buxus americana	24" HL.
5	All sumers beauty Hydrangea Hydrangea	5' Cont.
8	Hiberry Ilex glabra	30"
20	Nancyberry viburnum Viburnum lentago	24"
6	Steads holly Ilex crenata eteade	36"
10	Virginia Suesepirre Itea virginica	24"
11	Joe Pys Used Eurochium purpureum	12' Cont.
22	Black Eyed Susan Rudbeckia hirta	1 Cont.
15	Flam Seidge Galax pennsylvanica	4' Cont.



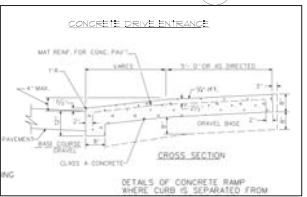
Typical Reinforced Wall Section
 Compact Unit - Near Vertical Setback
MODULAR BLOCK RETAINING WALL



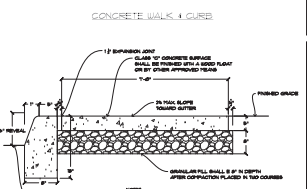
SHRUB PLANTING



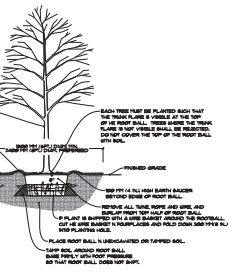
EVERGREEN PLANTING



CONCRETE DRIVE ENTRANCE



CONCRETE WALK & CURB DETAIL



TREE PLANTING

GENERAL NOTES

1. BASE PLAN TAKEN FROM SURVEY PREPARED BY L&L LAND SURVEYORS
2. THE OWNER, CONTRACTOR AND/OR HIS AGENTS OR AGENTS MUST NOTIFY THE APPROPRIATE UTILITY COMPANIES AND/OR AGENCIES AT LEAST 14 HOURS PRIOR TO ANY CONSTRUCTION, EXCAVATION OR DEMOLITION AT OR NEAR UNDERGROUND FACILITIES IN ACCORDANCE WITH MUNICIPAL CODES.
3. ALL CONTRACTORS SHALL VERIFY EXISTING ELEVATIONS PRIOR TO CONSTRUCTION OF STORY-LEVEL MANAGEMENT SYSTEM. SHOULD ACCORDANCES IN EXISTING ELEVATIONS BE DETERMINED, CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER PRIOR TO BEGINNING CONSTRUCTION OF THE STORY-LEVEL MANAGEMENT SYSTEM.

SEDIMENT AND EROSION CONTROL NOTES:

1. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CURRENT EDITION OF THE WESTCHESTER COUNTY BEST MANAGEMENT PRACTICES MANUAL FOR EROSION AND SEDIMENT CONTROL.
2. SILT FENCE SHALL BE INSTALLED AS SHOWN ON THIS DRAWING PRIOR TO BEGINNING ANY CLEARING AND GRUBBING OR EARTHWORK.
3. GRADE BENCH TOPS WILL BE APPLIED BY EITHER MECHANICAL OR HYDROBONDING METHODS. HYDROBONDING SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE NYSDOT STANDARD SPECIFICATION, CONSTRUCTION AND MATERIALS, SECTION 610-3.02, METHOD NO. 1.
4. CUT OR FILL SLOPES STEEPER THAN A 3:1 SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
5. PAVED ROADWAYS SHALL BE KEPT CLEAN AT ALL TIMES.
6. THE SITE AT ALL TIMES SHALL BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF IS DIVERTED TO SOIL BREAKS AND RESIDENT GOING FACILITIES.
7. ALL STORM DRAINAGE OUTLETS SHALL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.

8. CUT AND FILLS SHALL NOT ENDANGER ADJACENT PROPERTY, NOR DIVERT WATER ONTO THE PROPERTY OF OTHERS.

9. SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS BY OWNER'S FIELD REPRESENTATIVE (OPAL) TO INSURE THAT CHANNELS, TEMPORARY AND PERMANENT DITCHES AND PILES ARE CLEAR OF DEBRIS THAT SEDIMENTATION AND EROSION HAVE NOT BEEN BREACHED AND THAT ALL STRAIN GAUGES ARE INTACT. ANY FAILURE OF SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE IMMEDIATELY REPAIRED BY THE CONTRACTOR AND INSPECTED FOR APPROVAL BY THE O&P AND/OR SITE ENGINEER.

10. SLOPES SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE O&P.

11. ALL FILLS SHALL BE COMPACTED TO PROVIDE STABILITY OF MATERIAL AND TO PREVENT RETAILMENT.

12. EXCAVATIONS AND FILLS TO BE ROLLED, SEALED AND STABILIZED AT COMPLETION OF EACH CONSTRUCTION DAY.

13. CONSTRUCTION OF A TEMPORARY STABILIZED GRAVEL CONSTRUCTION ENTRANCE AS INDICATED ON THIS PLAN SHALL COMPLY WITH THICK GRAVEL BASE, 24 FEET WIDE WITH A MINIMUM LENGTH OF 50 FEET FOR THE PURPOSE OF CLEANING THE TIRES PRIOR TO VEHICLES ENTERING BEST PRACTICE LAINE.

14. CONTRACTOR RESPONSIBLE FOR MAINTAINING SEDIMENTATION AND EROSION CONTROL MEASURES UNTIL FINAL GRADING AND SEEDING STABILIZATION TAKE PLACE.

DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY DAMAGED OR DEAD BRANCHES. BRANCHES THAT ARE DAMAGED OR DEAD SHOULD BE REMOVED. BRANCHES THAT ARE DAMAGED OR DEAD SHOULD BE REMOVED TO THE BASE OF THE TREE.

PLANTING TREES ONLY UPON THE APPROVAL OF THE DESIGN ARCHITECT. SEE EXISTING DETAIL.

SHRUB TREES SHALL ONLY UPON THE APPROVAL OF THE DESIGN ARCHITECT. SEE EXISTING DETAIL.

DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY DAMAGED OR DEAD BRANCHES. BRANCHES THAT ARE DAMAGED OR DEAD SHOULD BE REMOVED. BRANCHES THAT ARE DAMAGED OR DEAD SHOULD BE REMOVED TO THE BASE OF THE TREE.

SET TOP OF ROOT BALL FLUSH TO GRADE OR 2 INCHES BELOW GRADE TO PROVIDE PROPER PLANTING. SEE DETAIL.

DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY DAMAGED OR DEAD BRANCHES. BRANCHES THAT ARE DAMAGED OR DEAD SHOULD BE REMOVED. BRANCHES THAT ARE DAMAGED OR DEAD SHOULD BE REMOVED TO THE BASE OF THE TREE.

DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY DAMAGED OR DEAD BRANCHES. BRANCHES THAT ARE DAMAGED OR DEAD SHOULD BE REMOVED. BRANCHES THAT ARE DAMAGED OR DEAD SHOULD BE REMOVED TO THE BASE OF THE TREE.

REVISIONS:

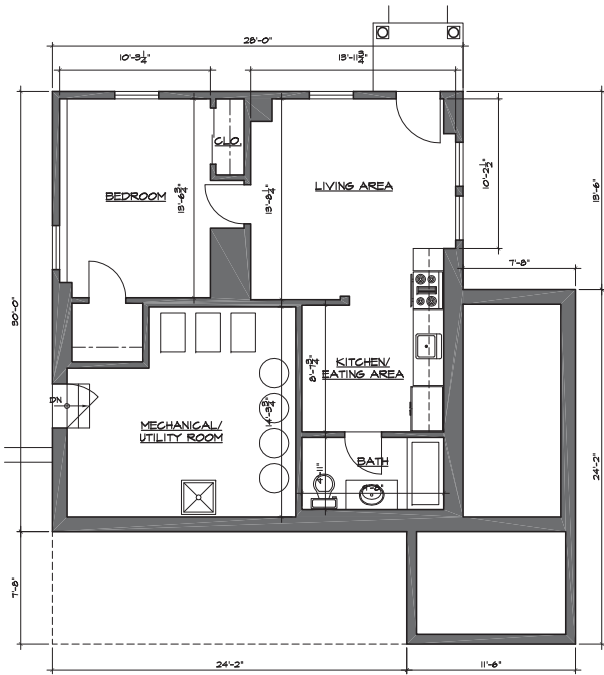
NO.	DATE	DESCRIPTION

SCALE: AS NOTED
 DATE: 2.4.22
 JOB NO: 18.14
 DRAWING NO: LP-3.0
 3 OF 3

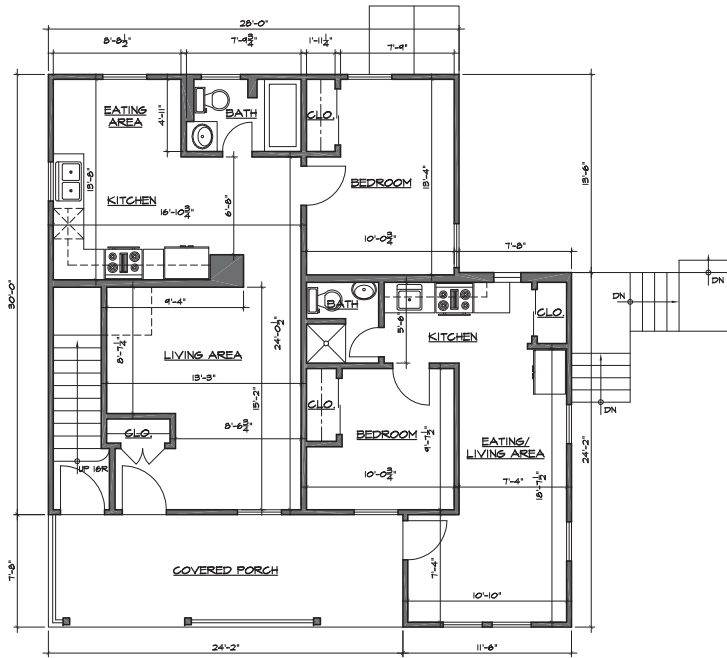
ROBERTS HERWOOD
 LANDSCAPE ARCHITECT, L.L.C.
 P.O. BOX 564, BROOKFIELD, CT 06804
 P: 203.788.1447 | C: 203.694.4337 | E: roberts@herwood69.com

LAYOUT & LANDSCAPE PLAN

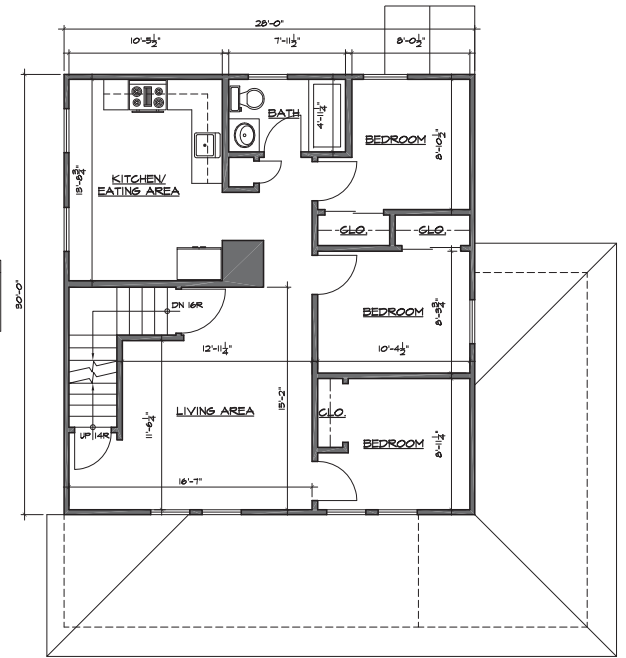
P&R Estate Corp.
 122 Gladstone
 Carmel, NY



1 BASEMENT PLAN
SCALE: 1/4" = 1'-0"



2 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



3 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

William Sharp Architect BBS Design, LLC 17 Buckboard Lane New Milford, CT 06776 Tel: 203.799.0066 E-mail: bbsdesign@sbtglobal.net	AS BUILT CONDITIONS		
	FLOOR PLANS		
AS BUILT CONDITIONS EXISTING BUILDING 122 GLENEIDA AVENUE CARMEL, NY	Drawn by	CB	Drawing No.
	Checked by	CB	
	Date	06-28-18	EX-1
	Scale	As noted	
Job No.	955		



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



3 REAR ELEVATION
SCALE: 1/4" = 1'-0"



4 LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

William Sharp Architect BBS Design, LLC 17 Buckboard Lane New Milford, CT 06776 Tel: 203.798.0066 E-mail: bbsdesign@sbcglobal.net		
AS BUILT CONDITIONS EXISTING BUILDING 122 GLENEIDA AVENUE CARMEL, NY		
AS BUILT CONDITIONS FLOOR PLANS		
Drawn by	CB	Drawing No.
Checked by	CB	EX-2
Date	06-28-18	
Scale	As noted	
Job No.	955	

BIBBO ASSOCIATES, L.L.P.

Consulting Engineers

Timothy S. Allen, P.E.
Nicholas Gaboury, P.E.
Matthew J. Gironda, P.E.

February 10, 2022

Town of Carmel Planning Board
60 McAlpin Avenue
Mahopac, NY 10541-2340

Attn: Mr. Craig Paeprer, Chairman

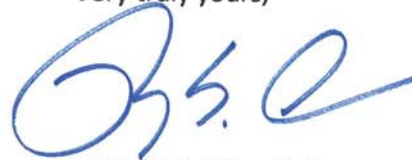
Re: Proposed 14-Lot Subdivision
Yankee Land Development Subdivision
Bayberry Hill Road & Owen Drive
TM # 76.15-1-12

Dear Chairman and Members of the Board:

On behalf of the owners of the above captioned property we are hereby requesting an additional 180-day extension of Preliminary Subdivision Approval. This project was granted a 180 day extension until February 15, 2022. A check in the amount of \$ 2,500 for the renewal fee is enclosed.

We respectfully request to be placed on your earliest available agenda. Should you require any additional information, please feel free to contact me.

Very truly yours,



Timothy S. Allen, P.E.

TSA/mme
Enclosure

cc: Angelo Luppino
Michael Sirignano
File

Site Design ♦ Environmental

Mill Pond Offices · 293 Route 100 · Suite 203 · Somers, New York 10589

Phone: 914.277.5805 · Fax: 914.277.8210

Website: www.bibboassociates.com · E-mail: bibbo@bibboassociates.com



February 10, 2022

Town of Carmel Planning Board
Carmel Town Hall
60 McAlpin Avenue
Mahopac, New York 10541
Via Email: Rose Trombetta - rtrombetta@ci.carmel.ny.us

RE: MK Realty Site Plan
U.S. Route 6 and Old Route 6
Tax Map No. 55.06-1-44 & 45

Dear Chairman Paepre and Members of the Board:

The above referenced Site Plan was re-granted Site Plan Approval at the February 24, 2021 Planning Board meeting. Since the project was originally approved in 2006, the Bond amount was reviewed by the Board's consultants in 2015 and increased to reflect the current construction costs for with the project. It should be noted that the applicant has kept all of the regulatory permits associated with the subject project current.

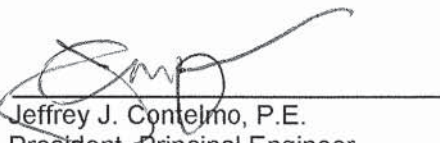
It is respectfully requested that this project be placed on the Planning Board's next available agenda for consideration of a one-year extension of Site Plan Approval. The \$2,000.00 approval extension fee will be forwarded under separate cover.

Should you have any questions or comments regarding this information, please do not hesitate to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:


Jeffrey J. Contelmo, P.E.
President, Principal Engineer

JJC/zmp

Enclosure(s)

cc: Kevin Dwyer, Via Email: kevinbdwyer@msn.com

Insite File No. 04235.100



**MK REALTY
APPROVAL LIST
February 10, 2022**

AGENCY	APPROVAL	EXPIRATION DATE
Carmel Planning Board	Site Plan	March 11, 2022
Carmel Environmental Conservation Board	Wetland Permit	March 14, 2023
Putnam County Department of Health	Sewer	February 20, 2023
New York City Department of Environmental Protection	Sewer	January 19, 2026
New York City Department of Environmental Protection	Stormwater Pollution Prevention Plan	August 16, 2026
New York State Department of Transportation	Highway Work Permit	Transferred to the new NYSDOT Permit in May of 2015. (No Expiration Date)
New York State Department of Environmental Conservation	Stormwater Pollution Prevention Plan Coverage	General Permit Coverage obtained March 19, 2011. (No Expiration Date)