CRAIG PAEPRER
Chairman

ANTHONY GIANNICO
Vice Chairman

BOARD MEMBERS
RAYMOND COTE
ROBERT FRENKEL
VICTORIA CAUSA
JOHN NUCULOVIC

TOWN OF CARMEL
PLANNING BOARD

60 McAlpin Avenue
Mahopac, New York 10541
Tel. (845) 628-1500 – Ext.190
www.ci.carmel.ny.us

MICHAEL CARNAZZA
Director of Code Enforcement

RICHARD FRANZETTI, P.E.
Town Engineer

PATRICK CLEARY,
AICP,CEP, PP, LEED AP
Town Planner

PLANNING BOARD AGENDA
MARCH 9, 2023– 7:00 P.M.

		TAX MAP #	PUB. HEARING	MAP DATE	COMMENTS
SITE PLAN					
1.	Platinum Propane – 1035 Route 6	65.10-2-11		2/27/23	Site Plan
2.	910 South Lake Blvd LLC – 910 South Lake Blvd	75.44-1-57 & 64		1/29/23	Amended Site Plan
SUBDIVISION					
3.	ANB Holdings GCCM LLC (Michael Scoca) - 93 Teakettle Spout Road	76.17-1-17		2/23/23	Final Subdivision
PUBLIC HEARING					
4.	Joe Zakon d/b/a 14 Nicole Way LLC – 14 Nicole Way	65.6-1-22	3/9/23		Bond Reduction
5.	Pulte Homes of New York, LLC – Lot 4 – Terrace Drive	55.14-1-11.2	3/9/23		Bond Return
6.	Pulte Homes of New York, LLC – Lot 5 – Terrace Drive	55.14-1-11.3	3/9/23		Bond Return
7.	Glenacom Lake Cell Tower – Walton Drive	87.5-1-90	3/9/23	1/26/23	Special Permit & Site Plan

INSITE
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

February 27, 2023

Town of Carmel Planning Board
60 McAlpin Avenue
Mahopac, New York 10541

RE: 1035 Rt 6 – Platinum Propane
Town of Carmel
TM# 65.10-2-11

Dear Chairman Paeprer and Members of the Board:

Please find enclosed the following plans and documents in support of an application for site plan approval for the above referenced project:

- Site Plan set, last revised February 27, 2023. (5 copies).
- NYSDOT Entrance Plan, dated February 1, 2023. (5 copies).
- Architectural floor plan of the existing building, date February 24, 2023. (5 copies)
- Propane System Plans – Details Sheet, last revised February 23, 2023. (5 copies)

In response to comments received from Director of Code Enforcement, Michael Carnazza, dated December 5, 2022, we offer the following responses:

1. This accurately summarizes the applicant's proposal.

2. The tanks are proposed to be buried.

3. The existing building is proposed to be used as an office in service of the propane business. There are no residential uses proposed. The floor plan has been labeled to indicate the proposed use and general layout.

4. The noted variances were granted at the February meeting of the ZBA.

In response to open comments received from Town Engineer Richard Franzetti, PE, dated December 1, 2022, we offer the following responses:

<u>General Comments</u>

4. Traffic and vehicle movements are shown on drawing D-1.

   a. This comment is acknowledged.

   b. See the enclosed NYSDOT Entrance Plan.

   c. Driveway slopes at the entrance are indicated on drawing SP-2, and on the enclosed NYSDOT Entrance Plan.

   d. The applicant would prefer not to perform a traffic study at this time as the project does not exceed the thresholds defining the proposed improvements as causing a "significant increase" in traffic under the guideline provided in the Environmental Assessment Form

Workbooks, and because this project is currently under review by the NYSDOT as part of a required highway work permit for the new commercial entrance. The threshold for "significant increase" that we are citing is the Light Industrial/Warehousing use from the EAF Workbook question D.2.j., for which a significant increase would be surpassed with the construction of 180,000 square feet or more. Clearly, this project does not propose anything close to that level of new square footage. As the project use will cause a minimal increase in traffic, and as these impacts are being studied by the NYSDOT, a traffic study at this time would seem unnecessary.

5. The need for a stormwater maintenance agreement is acknowledged.

6. The requirement of a performance bond is acknowledged.

In response to open comments received from Town Planner, Cleary Consulting, dated December 8, 2022, we offer the following responses:

Site Plan Review Comments

2. A photometric plan has been added to the plan set.

4. As noted above, the required variances were granted at the February meeting of the ZBA.

With the approval of the required area variances, the applicant would request that a public hearing be scheduled for this matter.

Please place the project on the March 9, 2023 Planning Board agenda for a discussion of the project with the Board. Should you have any questions or comments regarding this information, please feel free to contact our office.

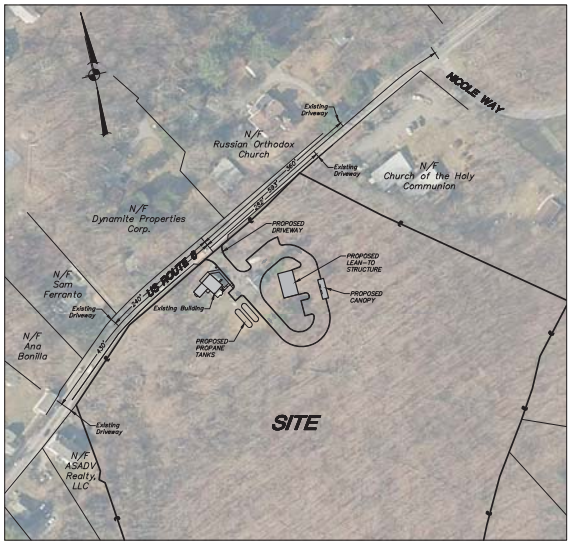
Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

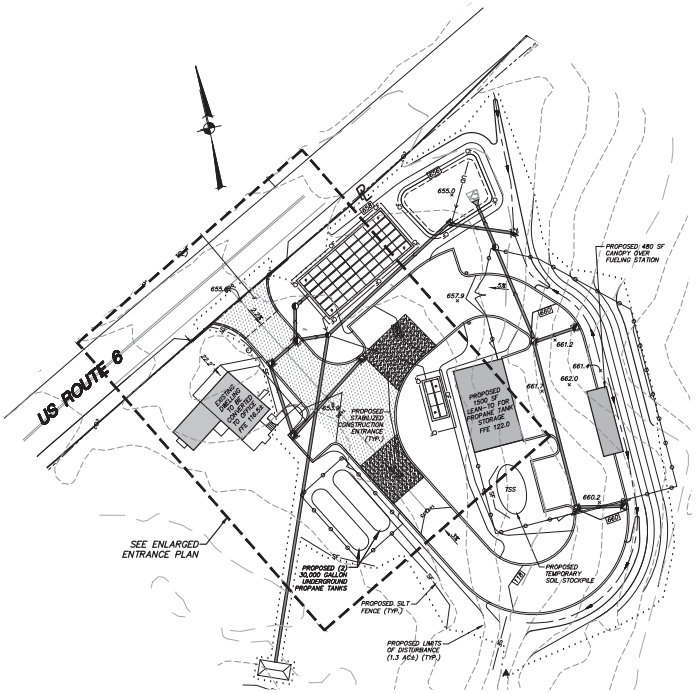
By: _____
Zachary M. Pearson, PE
Principal Engineer

ZMP/adt

Enclosures
cc: (All via email only) Joseph Covais, Michael Velardo, Stacy Silvers, Mahopac Fire Department



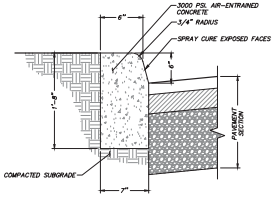
VICINITY MAP
SCALE: 1" = 100'



SITE PLAN
SCALE: 1" = 30'

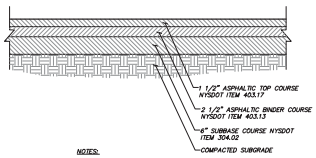
LEGEND

- EXISTING PROPERTY LINE
- ITEM TO BE REMOVED
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- PROPOSED 10' CONTOUR
- PROPOSED 2' CONTOUR
- PROPOSED GRASS SWALE
- PROPOSED DRAINAGE MANHOLES
- PROPOSED CATCH BASIN
- PROPOSED DRAINAGE PIPE
- PROPOSED LEVEL SPREADER
- PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- SF — PROPOSED SILT FENCE
- TSS SF — PROPOSED TEMPORARY SOIL STOCKPILE
- PROPOSED LIMITS OF DISTURBANCE
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CONCRETE CURB
- CF — PROPOSED CONSTRUCTION FENCE
- PROPOSED WELL



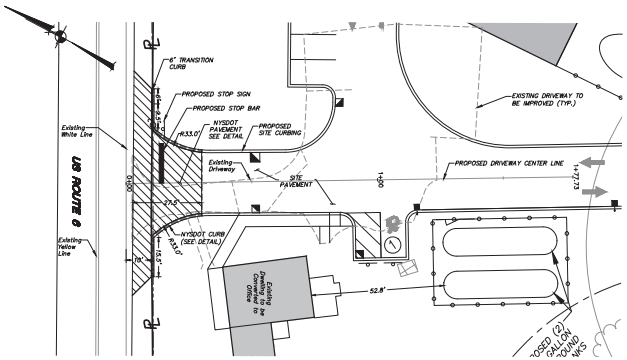
NOTE:
ISOLATION JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20'-0" APART AND SHALL BE FILLED WITH CELLULAR COMPRESSION MATERIALS RECESSED 1/4" IN FROM FRONT FACE AND TOP OF CURB.

SITE CONCRETE CURB DETAIL
(N.T.S.)

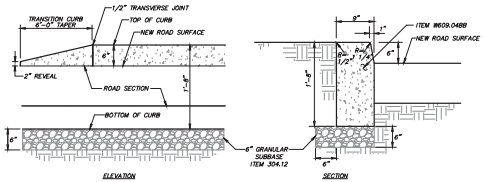


NOTES:
1. MIN. SLOPE SHALL BE 1.00% FOR PARKING LOT.
2. CROWNED ROADWAYS SHALL MAINTAIN A 2.00% CROWN IN DIRECTION SHOWN ON PLAN.

SITE PAVEMENT DETAIL
(N.T.S.)

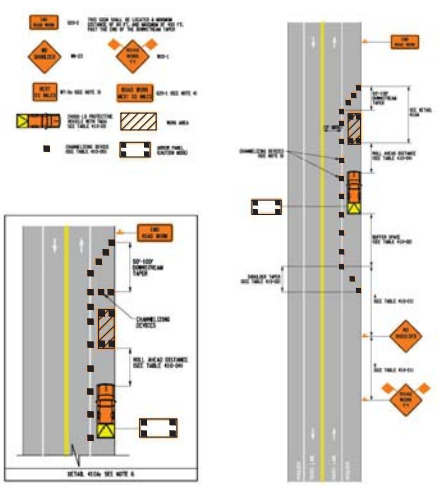


ENLARGED ENTRANCE PLAN
SCALE: 1" = 20'

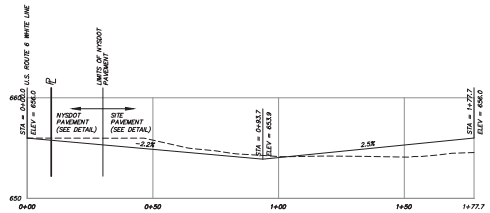


NOTE: TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 10'-0" APART AND SHALL BE FILLED WITH CELLULAR COMPRESSION MATERIALS AS SPECIFIED, RECESSED 1/4" IN FROM FRONT FACE AND TOP OF CURB.

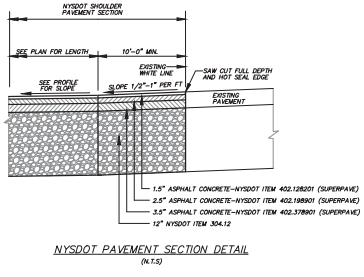
NYSDOT CONCRETE CURB DETAIL
(N.T.S.)



NOTE: THESE TRAFFIC CONTROL FIGURES ARE TAKEN FROM THE NYSDOT 619 STANDARD SHEETS.



NYSDOT DRIVEWAY PROFILE
SCALE: HORIZ. 1" = 20'
VER. 1" = 5'



NYSDOT PAVEMENT SECTION DETAIL
(N.T.S.)

LOCATION MAP
SCALE: 1" = 500'±

OWNER/APPLICANT:
Hillside Property Holdings, LLC
3 Apple Farm Road
Cheshire, NY 10562

SITE DATA:
Zone: C-Commercial
Total Acreage 12.0 AC.
Tax Map No.: 65.10-2-11

GENERAL NOTES:

1. Boundary information shown hereon is taken from field survey taken by Insite Engineering, Surveying, & Landscape Architecture, P.C. on February 16, 2022.
2. Site features shown hereon are taken from a survey entitled, "Topographic Survey Prepared for Nicandro Realty Co.,Inc." by Edward T. Cannon, P.L.S., dated October 17, 2019.
3. Topography shown hereon is taken from the NYS GIS Clearinghouse.

CONSTRUCTION SEQUENCE:

1. SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE NYSDOT, THE TOWN ENGINEER AND/OR THE DESIGN ENGINEER.
2. INSTALL STABILIZED CONSTRUCTION ENTRANCE PER THIS PLAN.
3. BEGIN CLEARING AND GRUBBING OPERATIONS ASSOCIATED WITH DRIVEWAY APRON CONSTRUCTION AND SIGHT DISTANCE REQUIREMENTS.
4. BEGIN GRADING FOR ACCESS DRIVE AND SIGHT DISTANCE IMPROVEMENTS ALONG NYS ROUTE 52. INSTALL RIPRAP SWALE ALONG NYS ROUTE 52.
5. TOPSOIL, SEED AND MULCH ALL DISTURBED AREAS AS SOON AS PRACTICAL IN ACCORDANCE WITH THE SEDIMENT AND EROSION CONTROL NOTES ON THE DESIGN DRAWINGS.
6. CONTINUE WITH INTERIM SITE WORK AS DETAILED ON THE DESIGN DRAWINGS.
7. INSTALL CONCRETE CURB PER PLAN AND DETAILS.
8. INSTALL NYSDOT PAVEMENT PER PLAN AND DETAIL.

MAINTENANCE AND PROTECTION OF TRAFFIC NOTES:

1. GENERAL:
   MAINTENANCE AND PROTECTION OF TRAFFIC SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 619 OF THE STANDARD SPECIFICATIONS, THE NEW YORK STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), AND ANY PROVISIONS CONTAINED IN THE PLANS AND/OR PROPOSAL OF THIS CONTRACT.
2. CHANGES TO THE TRAFFIC CONTROL PLAN:
   PRIOR TO THE START OF WORK, THE CONTRACTOR WILL SUBMIT ANY PROPOSED CHANGES TO THE TRAFFIC CONTROL PLAN TO THE ENGINEER FOR APPROVAL.
3. GENERAL METHOD OF MAINTENANCE AND PROTECTION OF TRAFFIC:
   THE TRAFFIC MAINTENANCE SCHEMES SHOWN IN TYPICAL APPLICATION 10 OF FIGURE 6H-10 OF THE NEW YORK STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES DESCRIBES THE RECOMMENDED METHODS AND CONTROL DEVICES NECESSARY FOR WORK IN THE NYS RIGHT-OF-WAY. THE ENGINEER MAY ORDER ADDITIONAL DEVICES AND/OR METHODS TO MEET FIELD CONDITIONS.
4. WORK ZONES:
   THE WORK ZONE IS DEFINED AS THAT AREA IN WHICH TRAFFIC IS RESTRICTED BECAUSE OF CONSTRUCTION ACTIVITIES OR THAT AREA WHICH INVOLVES A DROP-OFF OR HAZARD. THE SHORT DURATION LANE CLOSURE SHOWN HEREON IS LIMITED TO HOURS OF OPERATION. ALL LANES MUST BE OPEN EACH NIGHT.
5. CONSTRUCTION EQUIPMENT:
   CONSTRUCTION EQUIPMENT SHOULD BE REMOVED FROM THE CLEAR ROADSIDE AREA DURING NON-WORKING HOURS. FOR THIS PURPOSE, A 20' CLEAR OFFSET SHALL BE USED. THIS OFFSET MAY BE REDUCED WHERE EXISTING PERMANENT OBSTRUCTIONS ARE CLOSER TO THE ROADWAY, IF APPROVED BY THE ENGINEER.
6. CONSTRUCTION MATERIAL:
   NO CONSTRUCTION MATERIAL IS TO BE LEFT ON THE SHOULDER, OR WITHIN 20' FROM THE EDGE OF PAVEMENT, AT THE END OF EACH WORKDAY, UNLESS A.G.B.E..
7. PARKING OF VEHICLES:
   PRIVATE VEHICLES OWNED BY THE CONTRACTOR OR THE CONTRACTOR'S WORKERS SHALL NOT BE PARKED ON THE PAVEMENT OR SHOULDERS WITHIN THE NYSDOT RIGHT-OF-WAY.
8. ADVANCE WARNING SIGNS:
   DIAMOND SHAPED ADVANCE WARNING SIGNS SHALL BE USED FOR ALL ADVANCE WARNING SIGNS THAT MAY BE EITHER DIAMOND OR RECTANGULAR SHAPED ACCORDING TO PART 238 OF THE N.Y.S. M.U.T.C.D..
9. PEDESTRIAN FACILITIES:
   ADEQUATE PEDESTRIAN FACILITIES SHALL BE MAINTAINED IN RESIDENTIAL AND COMMERCIAL AREAS FOR THE DURATION OF THE CONTRACT A.G.B.E..
10. MAINTENANCE OF ACCESS:
    THE CONTRACTOR SHALL PROVIDE AND MAINTAIN, AT ALL TIMES, SAFE AND ADEQUATE INGRESS AND EGRESS TO AND FROM HOMES, BUSINESS AND COMMERCIAL ESTABLISHMENTS AT EXISTING OR NEW ACCESS POINTS, CONSISTENT WITH THE WORK, UNLESS OTHERWISE AUTHORIZED BY THE ENGINEER.
11. NO TRAVEL LANE CLOSURES IN NYS ROUTE 6 WILL BE ALLOWED DURING THE FOLLOWING HOURS:
    6:30 AM. TO 9:30 AM.
    3:30 PM. TO 6:30 PM.
12. ALL LANE CLOSURE AND TRAFFIC CONTROL MUST CONFORM TO NYSDOT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
13. ANY STEEL PLATES USED TO SAFEGUARD AN EXCAVATION IN ANY PAVED AREA MUST BE:
    A. RECESSED INTO THE PAVEMENT AND PINNED, OR
    B. PINNED WITH ASPHALT RAMPS PLACED ALONG ALL SIDES OF THE PLATE. ASPHALT RAMPS SHOULD HAVE A MAXIMUM SLOPE OF 1/2 INCH PER FOOT.
14. REFER TO THE PROJECT'S SPECIFICATIONS REGARDING HOLIDAY WORK ON THE SITE, AND FOLLOW ALL CONDITIONS OF SAID PERMIT WITHIN THE NYS RIGHT-OF-WAY.
15. THE CONTRACTOR SHALL KEEP A COPY OF THE NYSDOT HIGHWAY WORK PERMIT ON THE SITE, AND FOLLOW ALL CONDITIONS OF SAID PERMIT.
16. ALL FLAGGERS MUST HAVE RADIOS AND HAVE SLOW/STOP PADDLES.
17. ALL MAINTENANCE AND PROTECTION OF TRAFFIC SIGNAGE SHALL BE REMOVED OR COVERED WHEN THERE IS NO CONSTRUCTION ACTIVITY FOR LONGER THAN 7 CONSECUTIVE DAYS.

NO.	DATE	REVISION	BY

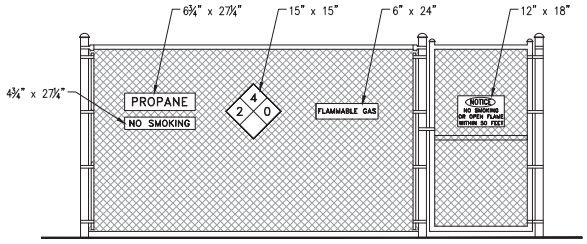
INSITE
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.
3 Garrett Place
Carmel, NY 10512
(845) 225-9090
(845) 225-9717 fax
www.insite-eng.com

PROJECT:
PLATINUM PROPANE – MAHOPAC
1035 ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING:
NYSDOT ENTRANCE PLAN

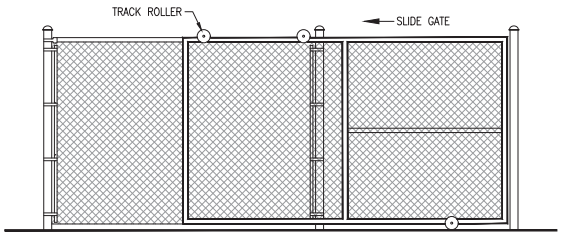
PROJECT NUMBER	22101.100	PROJECT MANAGER	T.M.P.	DRAWING NO.	SHEET
DATE	2-1-23	DRAWN BY	M.E.U.	EP-1	1 / 1
SCALE	AS SHOWN	CHECKED BY	A.D.T.		

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.



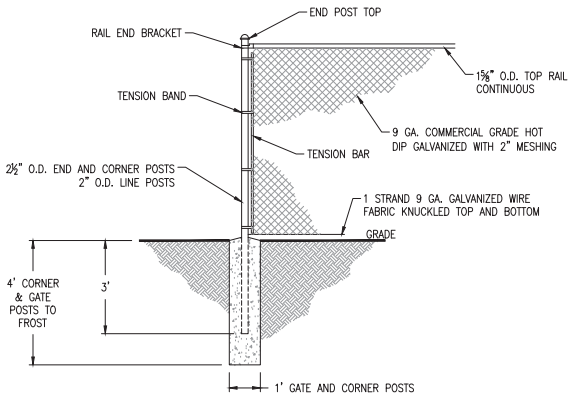
TYPICAL SWING GATE w/ TYPICAL METAL SIGNAGE ON FENCING

SCALE: NONE



TYPICAL SLIDE GATE

SCALE: NONE

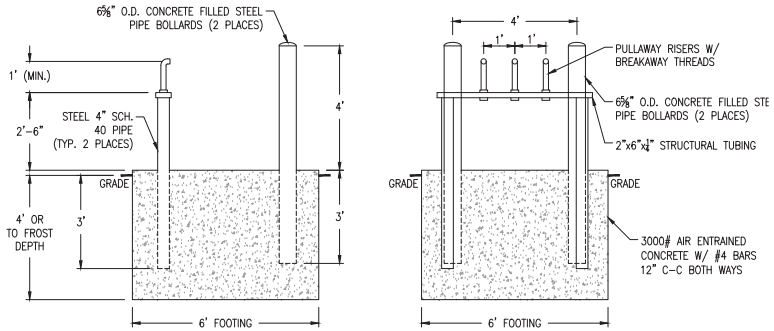


TYPICAL CHAIN-LINK FENCE DETAIL

SCALE: 1/2" = 1'

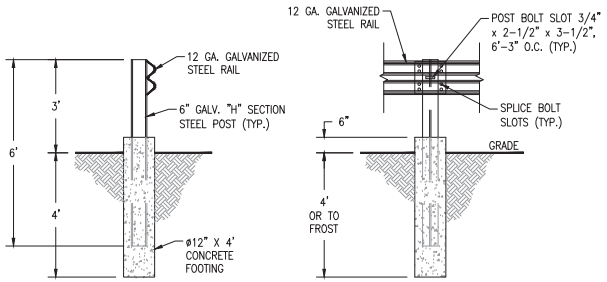
FENCING NOTES:

1. ALL FENCING TO BE SIX FEET (6') HIGH.
2. ALL FENCING TO BE 9 GAUGE COMMERCIAL GRADE WITH 2" GALVANIZED MESHING.
3. TOP RAIL TO BE 1⅝" OUTER DIAMETER.
4. LINE FENCE POSTS TO BE 2" OUTER DIAMETER AND SPACED TEN FEET ON CENTER.
5. CORNER AND GATE FENCE POSTS TO BE 2-½" OUTER DIAMETER.
6. SEVEN GAUGE TENSION WIRE TO BE INTERWOVEN ALONG THE BOTTOM OF ALL FENCING.
7. BRACING SHALL BE ON EVERY CORNER AND EVERY GATE POST.
8. GATES SHALL BE INSTALLED AS SHOWN.
9. CORNER AND GATE POSTS TO BE SET IN 12" DIAMETER CONCRETE TO BELOW FROST.
10. LINE POSTS TO BE DRIVEN THREE FEET (3') INTO GROUND.



BREAKAWAY STANCHION

SCALE: 1/2" = 1'

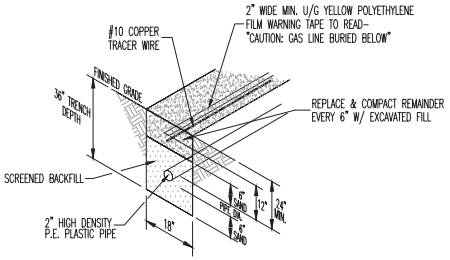


CROSS SECTION

FRONT ELEVATION

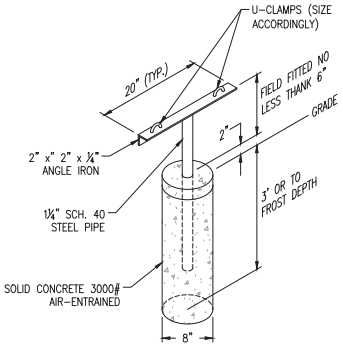
GUARD/GUIDE RAIL DETAIL

SCALE: 1/2" = 1'



TYP. U/G P.E. PLASTIC PIPE INSTALLATION DETAIL

SCALE: NONE



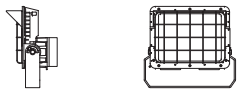
TYPICAL PIPE SUPPORT DETAIL

SCALE: 1" = 1'

PROPANE EMERGENCY SHUTOFF
PUSH TO CLOSE

TYPICAL ESV SHUTDOWN SIGN

SCALE: 3" = 1'



EASTON #FMVA9L 250 WATT LED FLOOD LIGHT OR EQUAL
ELECTRICAL: CLASS 1, DIVISION 2, GROUP D EXPLOSION PROOF

EXPLOSION PROOF LIGHT DETAIL

SCALE: 1" = 1'

PRELIMINARY

MISCELLANEOUS DETAILS

PLATINUM PROPANE
1035 ROUTE 6
MAHOPAC, NY 10541

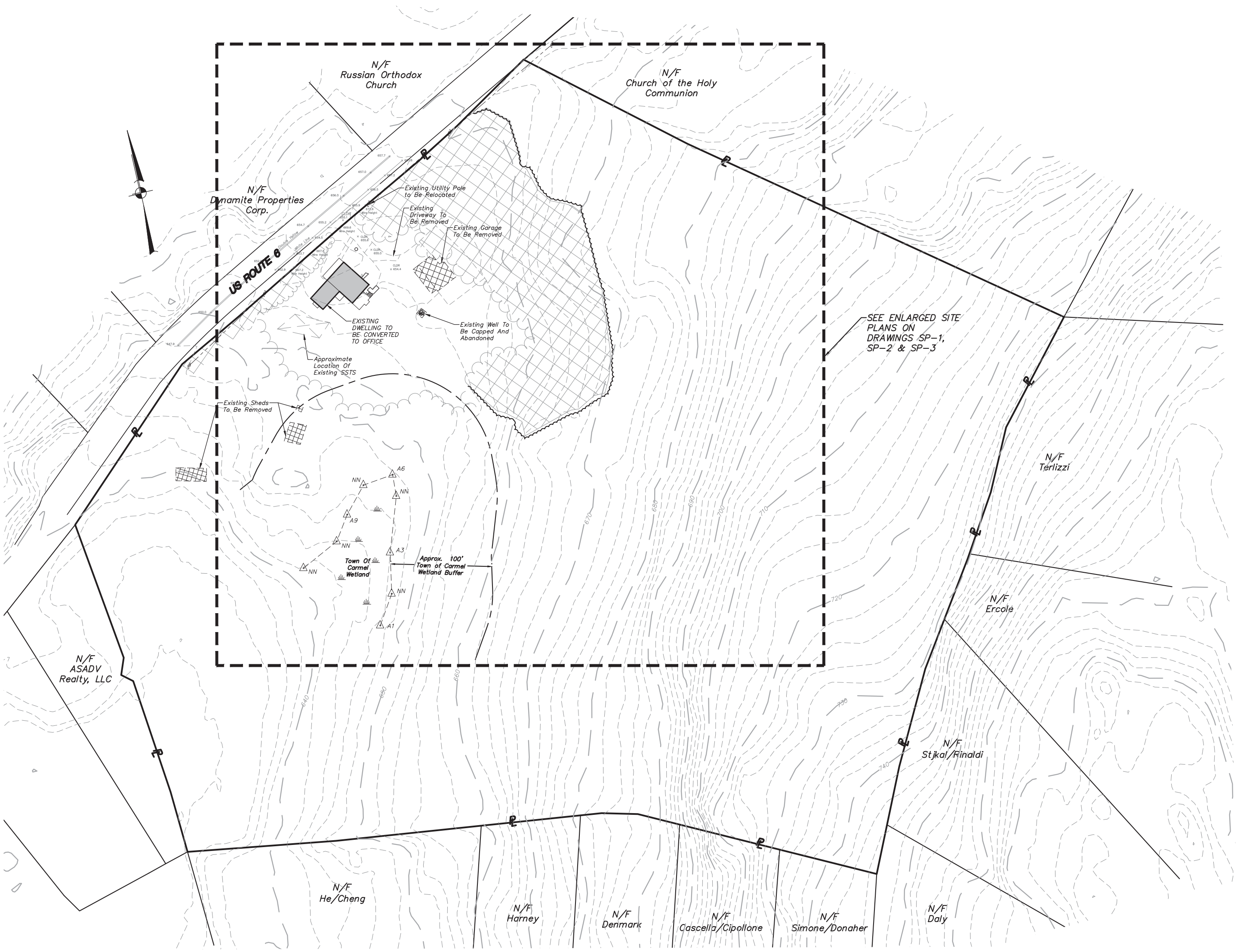
DWG.NO. E-031-22-D1

DRAFTER: TNS
DESIGNER: C.S.M.
DATE: 2/23/2023
SCALE: AS NOTED
CHECKED: _

REFERENCES

CHESMONT ENGINEERING
A HILTZ COMPANY
693 WEST MARKET STREET
MARIETTA, PENNSYLVANIA 17547
PHONE: (717) 799-4322
PHONE: (610) 594-9200

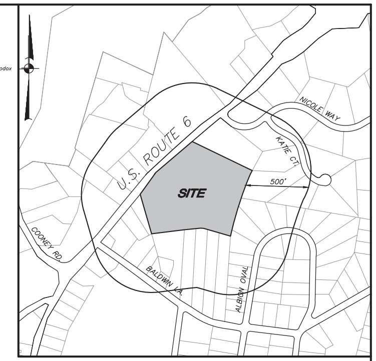
MARK | DATE | BY | REVISION



500' ADJOINERS:

TOWN OF CARMEL:

1. 1000 Rt. 6 Mahopac, LLC
2. ASADV Realty, LLC
3. Abdias C Arango-Lopez
4. Synod Of Bishops Of Russian Orthodox
5. Khaled Y Maani
6. 14 Nicole Way, Inc.
7. Ella M Rodriguez
8. Kathleen Edwards
9. Ellen Marie Zottoli
10. Nunzio Terlizzi
11. Carl Linquist
12. Vincent Censi
13. Nicandro Realty
14. Church Of The Holy Communion
15. Mike Guo
16. Matthew J Schiavi Jr.
17. Cesar O Valcarcel
18. William Silkowski
19. Deirdre Atton
20. Komal Garewal
21. Luisa DiNardi
22. Ana Bonilla
23. Dynamite Properties Corp.
24. Synod Of Bishops Of The
25. Lourdes L Valle
26. Carl W Bacon
27. Joseph Minnix
28. Debra Potter Revoc Trust
29. Salvatore F Palmiero
30. Susan Stark
31. Thomas M Daly
32. Christopher J Mulholland
33. Jinette Grullon
34. John & Joanne Ercole
35. Laura S Smith
36. Timothy L Denmark
37. Danielle M Canora
38. Charles Dolson
39. Richard Sestito
40. Robert Stejskal
41. Mary Lou DeSiervi
42. Melanie Cordero
43. Qi Liang Chen
44. Joseph Depace
45. Michael Simone
46. Mahopac Drive In Theatre
47. Barry Rosolen
48. Danielle Lemmey
49. Qing He
50. Ryan Harney
51. Denis J Clifford
52. Patricia Simone
53. Michael Caruso
54. Lemonbean LLC



LOCATION MAP   SCALE: 1" = 500'±

OWNER/APPLICANT:

Hillside Property Holdings, LLC
2 Depot Plaza, Suite 401
Bedford Hills, NY 10507

SITE DATA:

Zone: C-Commercial
Total Acreage 12.0 AC
Tax Map No.: 65.10-2-11

GENERAL NOTES:

1. Boundary information shown hereon is taken from field survey taken by Insite Engineering, Surveying, & Landscape Architecture, P.C. on February 16, 2022.
2. Site features shown hereon are taken from a survey entitled, "Topographic Survey Prepared for Nicandro Realty Co.,Inc." by Edward T. Gannon, P.L.S., dated October 17, 2019.
3. Topogaphy shown hereon is taken from the NYS GIS Clearinghouse.
4. Wetland flags were placed by Jim Bates of Ecological Analysis and field surveyed by Insite Engineering Surveying & Landscape Architecture P.C. on February 16, 2022.
5. Tree and brush line shown hereon are taken from field observation and orthoimagery.
6. Curbs, sidewalks, manholes, guiderails, and drainage shall conform to the requirements of Chapter 128 of the Town of Carmel Code.

LEGEND

- EXISTING PROPERTY LINE
- EXISTING BUILDING
- EXISTING BUILDING TO BE REMOVED
- EXISTING WETLAND
- EXISTING WETLAND FLAGS
- EXISTING WETLAND BUFFER
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- EXISTING SPOT GRADE
- EXISTING UTILITY POLE
- EXISTING WELL
- EXISTING SSTS
- EXISTING BRUSH LINE
- EXISTING TREELINE
- EXISTING TREELINE TO BE REMOVED

NO.	DATE	REVISION	BY
3	02-27-23	REVISED PER PLANNING BOARD COMMENTS	DSW
2	11-23-22	REVISED PER PLANNING BOARD COMMENTS	JLP
1	5-2-22	REVISED PER PLANNING BOARD COMMENTS	JLT

INSITE
ENGINEERING, SURVEYING &
LANDSCAPE ARCHITECTURE, P.C.
3 Garrett Place
Carmel, NY 10512
(845) 225-9690
(845) 225-9717 fax
www.insite-eng.com

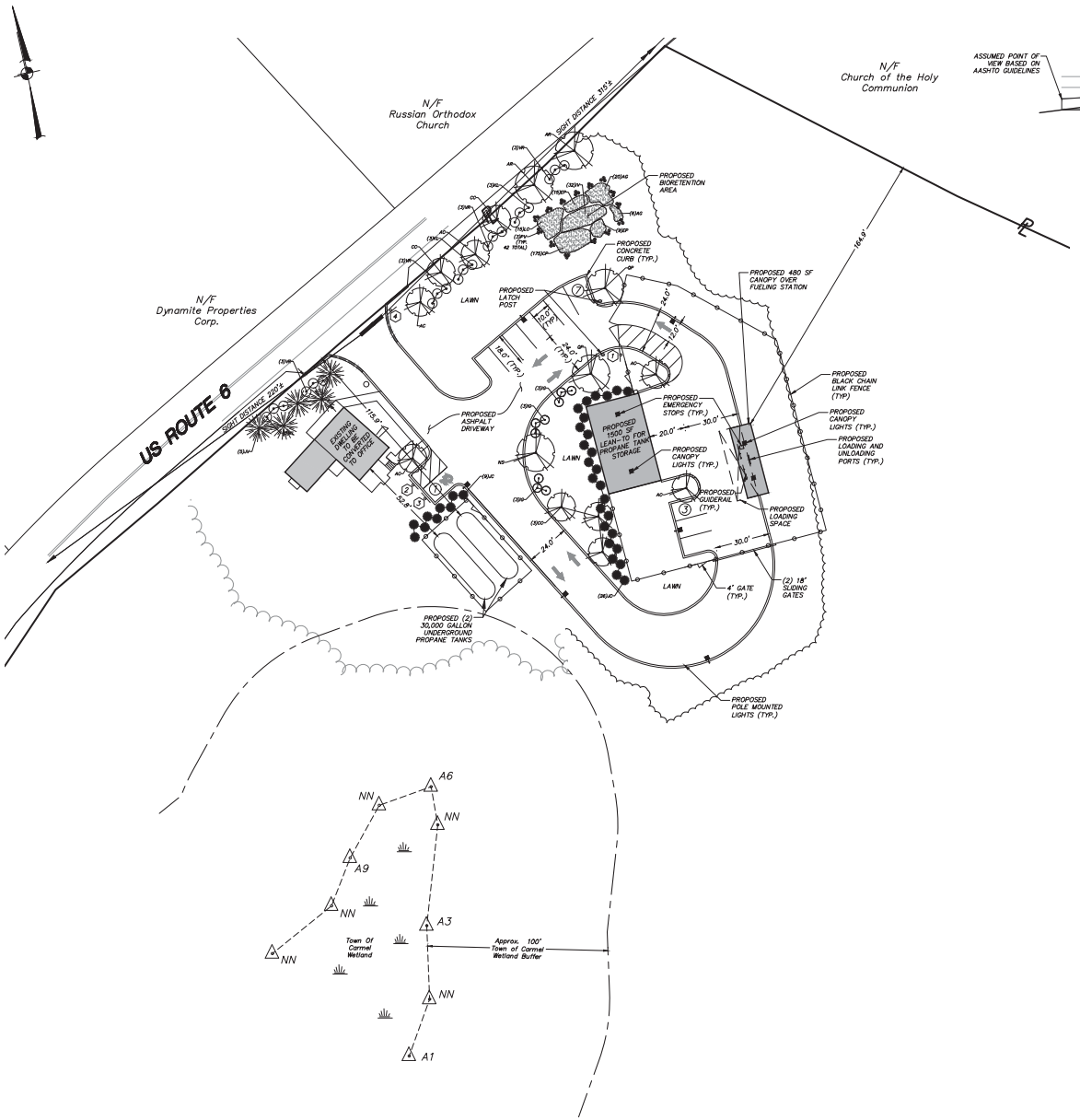
PROJECT:
PLATINUM PROPANE - MAHOPAC
1035 ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

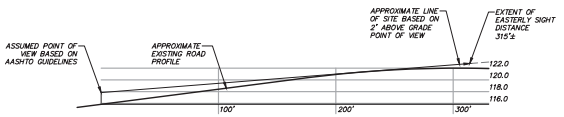
DRAWING:
EXISTING CONDITONS PLAN

GRAPHIC SCALE
0 25 50 100
(IN FEET)
1 inch = 50 ft.

PROJECT NUMBER	22101.100	PROJECT MANAGER	Z.M.P.	DRAWING NO.	SHEET
DATE	3-30-22	DRAWN BY	J.L.T.	EX-1	1 / 8
SCALE	1" = 50'	CHECKED BY	A.D.T.		

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.





EASTERLY SIGHT DISTANCE PROFILE

SCALE: H: 1" = 50'
V: 1" = 10'

Note: Approximate existing road profile generated from topography taken from the NYSGIS Clearinghouse.

PLANT LIST

KEY	QTY.	BOTANICAL/COMMON NAME	SIZE	ROOT/SPACING
		SHADE TREE		
AR	3	Acer rubrum/ Red Maple	1 1/2" CAL	B&B
NS	1	Nyssa sylvatica/ Black Tupelo	1 1/2" CAL	B&B
QP	2	Quercus palustris/ Pin Oak	1 1/2" CAL	B&B
		FLOWERING TREES		
AC	5	Amelanchier arborea/ Serviceberry	1 1/4" CAL	B&B
CC	5	Cercis canadensis/ Eastern Redbud	1 1/4" CAL	B&B
		EVERGREEN TREES		
JV	5	Juniperus virginiana/ Eastern Red Cedar	6'-8'	B&B
		SHRUBS		
IG	9	Ilex glabra compacta / Compact Inkberry		#3 CONT.
JC	35	Juniperus chinensus/ Seagreen Juniper		#5 CONT.
KL	9	Kalmia latifolia / Mountain Laurel		#3 CONT.
VR	12	Viburnum rhytidophyllum/ Leatherleaf Viburnum		#3 CONT.
		BIORETENTION PLANTINGS		
AG	26	Andropogon gerardii/ Big Bluestem		PLUG/3'
CP	175	Carex pennsylvanica/ Pennsylvania Sedge		PLUG/1'
EP	24	Echinacea purpurea/ Purple Coneflower		PLUG/3'
IV	32	Iris versicolor/ Northern Blueflag		PLUG/3'
LC	15	Lobelia cardinalis/ Cardinal Flower		PLUG/3'
PC	42	Panicum virgatum/ Switchgrass		#1 CONT./AS SHOWN

NOTES:
1. The Town of Carmel Wetland Inspector to verify all plantings.
2. All planting shall be installed in accordance with Chapter 142 of the Town of Carmel Code.

GENERAL SITE SEEDING NOTES:

1. All proposed seeded areas to receive 4" min. depth of topsoil. Soil amendments and fertilizer application rates shall be determined based on specific testing of topsoil material.
2. Upon final grading and placement of topsoil and any required soil amendments, areas to receive permanent vegetation cover in combination with suitable mulch as follows:
   -- select seed mixture per drawings and seeding notes.
   -- fertilizer applied at the manufacturer's recommended rate using Lesco 10-0-18 (no phosphorous) fertilizer or equivalent.
   -- mulch: salt hay or small grain straw applied at a rate of 90 lbs./1000 s.f. or 2 tons/acre, to be applied and anchored according to New York State Standards and Specifications for Erosion and Sediment Control August 2005.
   -- If the season prevents the establishment of a permanent vegetation cover, the disturbed areas will be mulched with straw or equivalent.
3. The seed mixes as specified on these drawings are as follows:
   A. Seed Mix for lawn areas and mow strip along roads at a rate of 100 lbs. per acre:

Kentucky Bluegrass	20%
Creeping Red Fescue	40%
Perennial Ryegrass	20%
Annual Ryegrass	20%

   B. Seed Mix #2 for areas as shown on the drawings and slope areas 2:1 at a rate of 35 lbs. per acre:
   New England Erosion Control/Restoration Mix (for Dry Sites) from New England Wetland Plants, Inc. of Amherst, MA.

GENERAL PLANTING NOTES:

1. All plantings to be verified by the town of Carmel wetlands in spectrum.
2. All plantings to be installed per 142 of the Town of Carmel Code.
3. All proposed planting beds to receive a 12" min. depth of topsoil. Soil amendments and fertilizer application rates shall be determined based on specific testing of topsoil material.
4. Any new soils added will be amended as required by results of soil testing and placed using a method that will not cause compaction.
5. No fertilizer shall be added in stormwater basin plantings. Nutrient requirements to be met by incorporation of acceptable organic matter.
6. All plant material to be nursery grown.
7. Plants shall conform with ANSI Z60.1 American Standard for Nursery Stock in all ways including dimensions.
8. Plant material shall be taken from healthy nursery stock.
9. All plants shall be grown under climate conditions similar to those in the locality of the project.
10. Plants shall be planted in all locations designed on the plan or as staked in the field by the Landscape Architect.
11. The location and layout of landscape plants shown on the site plan shall take precedence in any discrepancies between the quantities of plants shown on the plans and the quantity of plants in the Plant List.
12. Provide a 3" layer of shredded pine bark mulch (or as specified) over entire watering saucer at all tree pits or over entire planting bed. Do not place mulch within 3" of tree or shrub trunks.
13. All landscape plantings shall be maintained in a healthy condition at all times. Any dead or diseased plants shall immediately be replaced "in kind" by the contractor (during warranty period) or project owner.
14. See Drawing D-X "Site Details" for Stormwater Basin plantings.

LIGHTING NOTES:

1. All lighting shall be as noted on the plan or approved equal.
2. Style and finish of all luminaires to be selected by owner.
3. Proposed lights will run on photocells during regular business hours, and will run on motion sensors after hours.
4. Type, location, and shading of all proposed lighting shall prevent the spillover of light onto all adjacent residential properties.
5. All light fixtures to be full cutoff to comply with dark sky guidelines.
6. All lighting within 15' of the loading/unloading station must be explosion proof.

GRAPHIC SCALE
0 15 30 60
(IN FEET)
1 inch = 30 ft.

LEGEND

- EXISTING PROPERTY LINE
- EXISTING BUILDING
- EXISTING WETLAND
- EXISTING WETLAND FLAGS
- EXISTING WETLAND BUFFER
- EXISTING UTILITY POLE
- EXISTING HEDGE ROW
- EXISTING TREELINE
- PROPOSED BUILDING
- PROPOSED CONCRETE CURB
- PROPOSED PAINTED DIRECTIONAL ARROW
- PROPOSED PAINTED HANDICAP PARKING SYMBOL
- PROPOSED STOP BAR
- PROPOSED STRIPED ISLAND
- PROPOSED # OF STALLS TO BE STRIPED
- PROPOSED SINGLE POLE SIGN
- PROPOSED POLE MOUNTED LIGHT
- PROPOSED CANOPY LIGHT
- PROPOSED BUILDING MOUNTED LIGHT
- PROPOSED GATE
- PROPOSED LOADING SPACE
- PROPOSED LANDSCAPING

C-ZONE REQUIREMENTS

	REQUIRED/ PERMITTED	PROPOSED
Minimum Lot Area:	40,000 s.f.	522,598 s.f.
Minimum Width:	200'	729'
Minimum Depth:	200'	722'
Minimum Yard Setbacks:		
Front:	40'	22.2'*
Side:	25'	165'
Rear:	30'	436'
Maximum Building Height:	60'	<60'
Minimum Required Floor Area:	5,000 s.f.	1938 s.f.*
Maximum Lot Coverage:	40%	0.7%

* Variance for front yard setback and minimum floor area were granted at the February 23, 2023 meeting of the Zoning Board of Appeals.

PARKING SUMMARY

OFFICE USE
1 SPACE PER 200 S.F. @ 1,650 S.F. = 9 SPACES

WHOLESALE/WAREHOUSE/STORAGE/HEAVY COMMERCIAL USE
1 SPACE PER 1,000 S.F. @ 1,500 S.F. = 2 SPACES

TOTAL PROVIDED SPACES = 11 SPACES

SIGN DATA TABLE

LOCATION NO.	TEXT	M.U.T.C.D. NUMBER	SIZE OF SIGN (s.f.)	DESCRIPTION
1	DO NOT ENTER	R5-1C	30" x 30"	White on Red
2	NO PARKING ANY TIME	R7-1	12" x 18"	Red on White
3	RESERVED PARKING / NON-HANDICAP	NY R7-8 / R7-8P	12" x 18" / 12" x 6"	Green on White Blue Symbol / Green on White
2	STOP	R1-1C	30" x 30"	White on Red

NO.	DATE	REVISION	BY
3	02-27-23	REVISED PER PLANNING BOARD COMMENTS	DSW
2	11-23-22	REVISED PER PLANNING BOARD COMMENTS	JLP
1	5-2-22	REVISED PER PLANNING BOARD COMMENTS	JLT

INSITE
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.
3 Garrett Place
Carmel, NY 10512
(845) 225-9690
(845) 225-9717 fax
www.insite-eng.com

PROJECT:
PLATINUM PROPANE - MAHOPAC
1035 ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

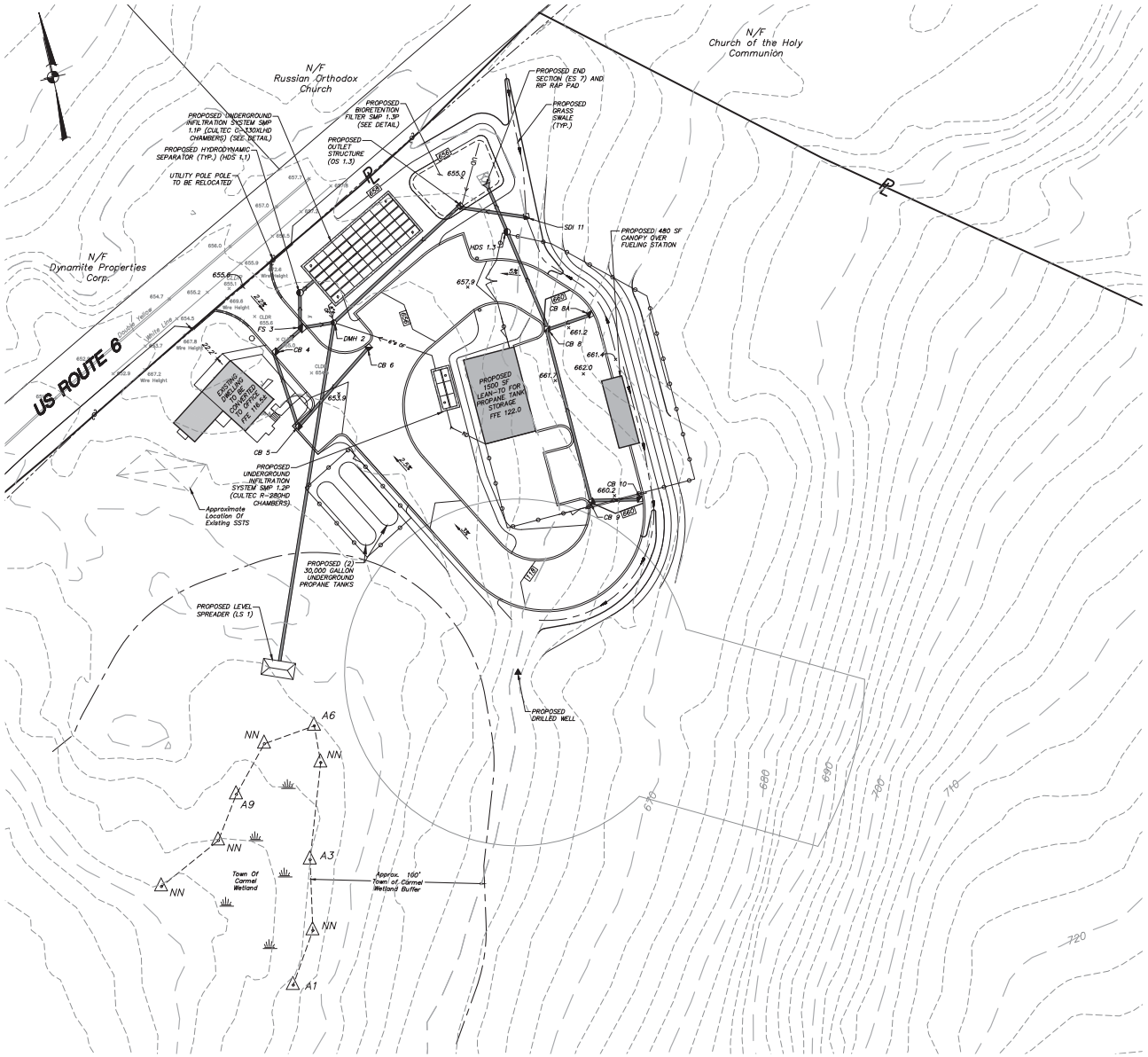
DRAWING:
LANDSCAPE & LAYOUT PLAN

PROJECT NUMBER	22101.100	PROJECT MANAGER	Z.M.P.
DATE	3-30-22	DRAWN BY	J.L.T.
SCALE	1" = 30'	CHECKED BY	A.D.T.

DRAWING NO. SP-1
SHEET 2 / 8

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

21\22101100 Platinum Propane, Rt 6\02 SP Dwg, 2/24/2023 3:52:07 PM, Jeff Arch 7.1



NOTES:

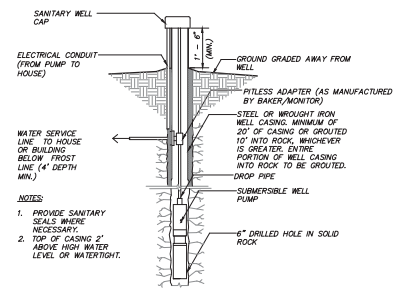
1. Any fill to be brought on to the site must be certified per NYSDEC guidelines and certification shall be provided to the Design Engineer and Town of Carmel Town Engineer.

PROPOSED DRAINAGE TABLE

STRUCTURE	RIM.	INV.	PIPE	LENGTH	SLOPE
CB 6	115.0	111.9			
CB 5	113.5	111.4	12" HDPE	62 L.F.	0.8%
CB 4	114.8	111.1	12" HDPE	45 L.F.	0.7%
FS 3	114.7	110.9	12" HDPE	22 L.F.	0.9%
HDS 1.1	115.8	110.7	12" HDPE	20 L.F.	1.0%
SMP 1.1P	–	110.5	12" HDPE	12 L.F.	1.7%
SMP 1.1P	–	110.5	8" HDPE	16 L.F.	6.9%
DMH 2	115.8	111.1			
FS 3	114.7	111.5			
DMH 2	115.8	111.0	12" HDPE	20 L.F.	1.3%
CB 10	120.0	117.0			
CB 9	120.0	116.7	12" HDPE	28 L.F.	1.1%
CB 8	120.3	116.0	12" HDPE	102 L.F.	0.7%
HDS 1.3	119.0	115.5	12" HDPE	60 L.F.	0.8%
ES 7	–	115.2	12" HDPE	25 L.F.	1.2%
CB 8A	120.9	117.8	12" HDPE	26 L.F.	3.1%
CB 8	120.3	117.0			
SDI 11	119.0	112.1	12" HDPE	40 L.F.	1.5%
OS 1.3	116.0	111.2	12" HDPE	100 L.F.	1.3%
DMH 2	115.6	110.2	12" HDPE	198 L.F.	1.0%
LS 1	–	108.2			
SMP 1.2	–	113.5	6" HDPE	65 L.F.	3.1%
DMH 2	115.6	111.3			

LEGEND

- EXISTING PROPERTY LINE
- EXISTING BUILDING
- EXISTING WETLAND
- EXISTING WETLAND FLAGS
- EXISTING WETLAND BUFFER
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- EXISTING SPOT GRADE
- EXISTING SSTS
- PROPOSED BUILDING
- PROPOSED CONCRETE CURB
- PROPOSED 10' CONTOUR
- PROPOSED 2' CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED GRASS SWALE
- PROPOSED DRAINAGE MANHOLE
- PROPOSED DRAINAGE MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED OUTLET STRUCTURE
- PROPOSED END SECTION
- PROPOSED DRAINAGE PIPE
- PROPOSED WELL



NOTES:
1. PROVIDE SANITARY SEALS WHERE NECESSARY.
2. TOP OF CASING 2' ABOVE HIGH WATER LEVEL OR WATERTIGHT.

PUTNAM COUNTY WELL DETAIL
(N.T.S.)

GRAPHIC SCALE
0 15 30 60
(IN FEET)
1 inch = 30 ft.

NO.	DATE	REVISION	BY
3	02-27-23	REVISED PER PLANNING BOARD COMMENTS	DSW
2	11-23-22	REVISED PER PLANNING BOARD COMMENTS	JLP
1	5-2-22	REVISED PER PLANNING BOARD COMMENTS	JLT

INSITE
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.
3 Garrett Place
Carmel, NY 10512
(845) 225-9690
(845) 225-9717 fax
www.insite-eng.com

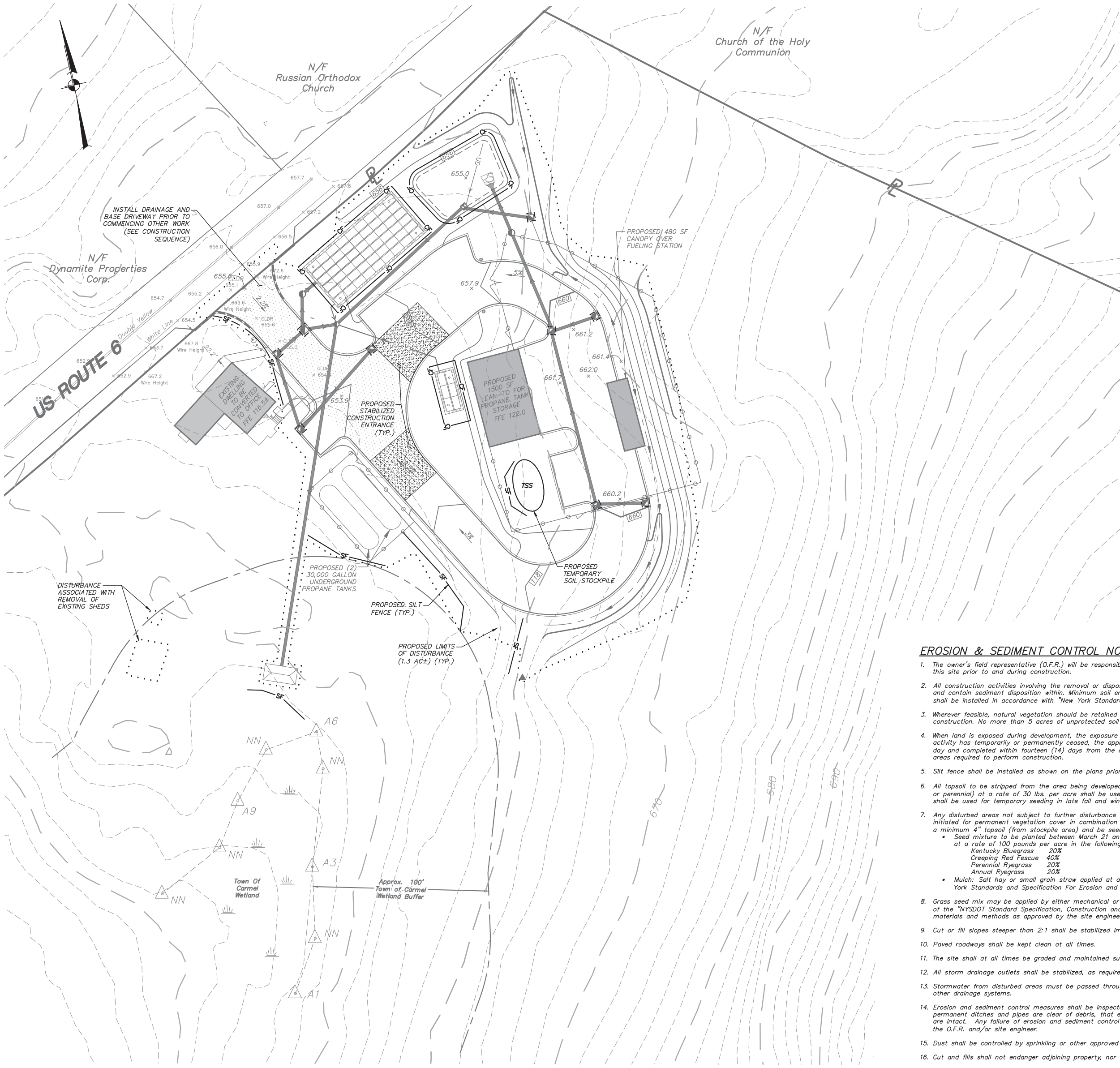
PROJECT:
PLATINUM PROPANE – MAHOPAC
1035 ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING:
GRADING & UTILITIES PLAN

PROJECT NUMBER	22101.100	PROJECT MANAGER	Z.M.P.
DATE	3-30-22	DRAWN BY	J.L.T.
SCALE	1" = 30'	CHECKED BY	A.D.T.

DRAWING NO. SP-2
SHEET 3 / 8

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.



REQUIRED EROSION CONTROL SWPPP CONTENTS:

Pursuant to the NYSDEC "SPDES General Permit for Stormwater Discharges from Construction Activity" (GP-0-20-001), all Stormwater Pollution Prevention Plan's (SWPPP) shall include erosion and sediment control practices designed in conformance with the most current version of the technical standard, "New York Standards and Specifications for Erosion and Sediment Control." Where erosion and sediment control practices are not designed in conformance with this technical standard, the owner or operator must demonstrate equivalence to the technical standard. The following list of required SWPPP components is provided in accordance with Part III.B.1a-l of General Permit GP-0-20-001:

a. Background Information: The applicant seeks to convert an existing residence into an office space for a propane business. Additionally, the applicant is seeking to construct a 1,500 sf three-sided, open air lean to structure for the storage of their service vehicles, a propane loading area with a 40'x12' canopy, two (2) 30,000 gallon buried propane tanks, and the associated driveway, parking and stormwater management practices.

b. Site map / construction drawing: These plans serve to satisfy this SWPPP requirement.

c. Description of the soils present at the site: Onsite soils located within the proposed limits of disturbance consist of Woodbridge Loam (WdB) and Paxton Fine Sandy Loam (PnC), as identified on the Soil Conservation Service Web Soil Survey. These soil types belong to the Hydrologic Soil Group "C".

d. Construction phasing plan / sequence of operations: The Construction Sequence and phasing found on these plans provide the required phasing. A Construction Sequence and Erosion and Sediment Control Maintenance Schedule has been provided. The Erosion and Sediment Control Notes contained hereon outline a general sequence of operations for the proposed project. In general all erosion and sediment control facilities shall be installed prior to commencement with land disturbing activities, and areas of disturbance shall be limited to the shortest period of time as practicable.

e. Description of erosion and sediment control practices: This plan, and details / notes shown hereon serve to satisfy this SWPPP requirement.

f. Temporary and permanent soil stabilization plan: The Sedimentation and Erosion Control Notes and Details provided heron identify temporary and permanent stabilization measures to be employed with respect to specific elements of the project, and at the various stages of development.

g. Site map / construction drawing: This plan serves to satisfy this SWPPP requirement.

h. The dimensions, material specifications, installation details, and operation and maintenance requirements for all erosion and sediment control practices: The details, Erosion and Sediment Control Notes, and Erosion and Sediment Control Maintenance Schedule serve to satisfy this SWPPP requirement.

i. An inspection schedule: Inspections are to be performed twice weekly and by a qualified professional as required by the General Permit GP-0-20-001. In addition the NYSDEC Trained Contractor shall perform additional inspections as cited in the Sedimentation and Erosion Control Notes.

j. A description of pollution prevention measures that will be used to control litter, construction chemicals and construction debris: In general, all construction litter / debris shall be collected and removed from the site. The general contractor shall supply either waste barrels or dumpster for proper waste disposal. Any construction chemicals utilized during construction shall either be removed from site daily by the contractor or stored in a structurally sound and weatherproof building. No hazardous waste shall be disposed of onsite, and shall ultimately be disposed of in accordance with all federal, state and local regulations. Material Safety Data Sheets (MSDS), material inventory, and emergency contact numbers shall be maintained by the general contractor for all construction chemicals utilized onsite. Finally, temporary sanitary facilities (portable toilets) shall be provided onsite during the entire length of construction, and inspected weekly for evidence of leaking holding tanks.

k. A description and location of any stormwater discharges associated with industrial activity other than construction at the site: There are no known industrial stormwater discharges present or proposed at the site.

l. Identification of any elements of the design that are not in conformance with the technical standard, "New York Standards and Specifications for Erosion and Sediment Control." All proposed elements of this SWPPP have been designed in accordance with the "New York Standards and Specifications for Erosion and Sediment Control."

EROSION & SEDIMENT CONTROL NOTES:

1. The owner's field representative (O.F.R.) will be responsible for the implementation and maintenance of erosion and sediment control measures on this site prior to and during construction.

2. All construction activities involving the removal or disposition of soil are to be provided with appropriate protective measures to minimize erosion and contain sediment disposition within. Minimum soil erosion and sediment control measures shall be implemented as shown on the plans and shall be installed in accordance with "New York Standards and Specifications For Erosion and Sediment Control," latest edition.

3. Wherever feasible, natural vegetation should be retained and protected. Disturbance shall be minimized in the areas required to perform construction. No more than 5 acres of unprotected soil shall be exposed at any one time.

4. When land is exposed during development, the exposure shall be kept to the shortest practical period of time. In the areas where soil disturbance activity has temporarily or permanently ceased, the application of soil stabilization measures must be initiated by the end of the next business day and completed within fourteen (14) days from the date the current soil disturbance activity ceased. Disturbance shall be minimized to the areas required to perform construction.

5. Silt fence shall be installed as shown on the plans prior to beginning any clearing, grubbing or earthwork.

6. All topsoil to be stripped from the area being developed shall be stockpiled and immediately seeded for temporary stabilization. Ryegrass (annual or perennial) at a rate of 30 lbs. per acre shall be used for temporary seeding in spring, summer or early fall. 'Aristook' Winter Rye (cereal rye) shall be used for temporary seeding in late fall and winter.

7. Any disturbed areas not subject to further disturbance or construction traffic, permanent or temporary, shall have soil stabilization measures initiated for permanent vegetation cover in combination with a suitable mulch within 1 business day of final grading. All seeded areas to receive a minimum 4" topsoil (from stockpile area) and be seeded and mulched as follows:
   - Seed mixture to be planted between March 21 and May 20, or between August 15 and October 15 or as directed by project representative at a rate of 100 pounds per acre in the following proportions:
     - Kentucky Bluegrass 20%
     - Creeping Red Fescue 40%
     - Perennial Ryegrass 20%
     - Annual Ryegrass 20%
   - Mulch: Salt hay or small grain straw applied at a rate of 90 lbs./1000 S.F. or 2 tons/acre, to be applied and anchored according to "New York Standards and Specification For Erosion and Sediment Control," latest edition.

8. Grass seed mix may be applied by either mechanical or hydroseeding methods. Seeding shall be performed in accordance with the current edition of the "NYSDOT Standard Specification, Construction and Materials, Section 610-3.02, Method No. 1". Hydroseeding shall be performed using materials and methods as approved by the site engineer.

9. Cut or fill slopes steeper than 2:1 shall be stabilized immediately after grading with Curlex I Single Net Erosion Control Blanket, or approved equal.

10. Paved roadways shall be kept clean at all times.

11. The site shall at all times be graded and maintained such that all stormwater runoff is diverted to soil erosion and sediment control facilities.

12. All storm drainage outlets shall be stabilized, as required, before the discharge points become operational.

13. Stormwater from disturbed areas must be passed through erosion control barriers before discharge beyond disturbed areas or discharged into other drainage systems.

14. Erosion and sediment control measures shall be inspected and maintained on a daily basis by the O.F.R. to insure that channels, temporary and permanent ditches and pipes are clear of debris, that embankments and berms have not been breached and that all straw bales and silt fences are intact. Any failure of erosion and sediment control measures shall be immediately repaired by the contractor and inspected for approval by the O.F.R. and/or site engineer.

15. Dust shall be controlled by sprinkling or other approved methods as necessary, or as directed by the O.F.R.

16. Cut and fills shall not endanger adjoining property, nor divert water onto the property of others.

17. All fills shall be placed and compacted in 6" lifts to provide stability of material and to prevent settlement.

18. The O.F.R. shall inspect downstream conditions for evidence of sedimentation on a weekly basis and after rainstorms.

19. As warranted by field conditions, special additional erosion and sediment control measures, as specified by the site engineer and/or the Village Engineer shall be installed by the contractor.

20. Erosion and sediment control measures shall remain in place until all disturbed areas are suitably stabilized.

GRAPHIC SCALE

0 15 30 60

(IN FEET)
1 inch = 30 ft.

LEGEND

- EXISTING PROPERTY LINE
- EXISTING BUILDING
- EXISTING WETLAND
- EXISTING WETLAND FLAGS
- EXISTING WETLAND BUFFER
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- EXISTING SPOT GRADE
- PROPOSED BUILDING
- PROPOSED CONCRETE CURB
- PROPOSED 10' CONTOUR
- PROPOSED 2' CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED GRASS SWALE
- PROPOSED DRAINAGE MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED OUTLET STRUCTURE
- PROPOSED END SECTION
- PROPOSED DRAINAGE PIPE
- PROPOSED SILT FENCE
- PROPOSED LIMITS OF DISTURBANCE
- PROPOSED TEMPORARY SOIL STOCKPILE
- PROPOSED STABILIZED CONSTRUCTION ENTRANCE

REQUIRED POST-CONSTRUCTION STORMWATER MANAGEMENT PRACTICE COMPONENTS:

1. Pursuant to the NYSDEC "SPDES General Permit for Stormwater Discharges from Construction Activity" (GP-0-20-001), all construction projects needing post-construction stormwater management practices shall prepare a SWPPP that also includes practices designed in conformance with the most current version of the technical standard, New York State Stormwater Management Design Manual ("Design Manual"). Where post-construction stormwater management practices are not designed in conformance with this technical standard, the owner or operator must demonstrate equivalence to the technical standard. The following list of SWPPP components is provided in accordance with Part III.B.2a-J and III.B.3:

   a. Identification of all post-construction stormwater management practices to be constructed as part of the project; This plan, and details/notes shown hereon serve to satisfy this SWPPP requirement.

   b. A site map/construction drawing(s) showing the specific location and size of each post-construction stormwater management practice; This plan, and details/notes shown hereon serve to satisfy this SWPPP requirement.

   c. A Stormwater Modeling and Analysis Report including pre-development conditions, post-development conditions, the results of the stormwater modeling, a summary table demonstrating that each practice has been designed in conformance with the sizing criteria, identification of and justification for any deviations from the Design Manual, and identification of any design criteria that are not required. The required analysis is provided in the project Stormwater Pollution Prevention Plan.

   d. Soil testing results and locations. This SWPPP requirement is shown hereon.

   e. Infiltration testing results. This SWPPP requirement is shown hereon.

   f. An operations and maintenance plan that includes inspection and maintenance schedules and actions to ensure continuous and effective operation of each post-construction stormwater management practice. The plan shall identify the entity that will be responsible for the long term operation and maintenance of each practice. The project Stormwater Pollution Prevention Plan serves to satisfy this requirement.

CONSTRUCTION SEQUENCE:

1. Per New York State Law, the contractor shall call DigSafely New York at 1-800-962-7962 two (2) full days prior to performing any excavation work.
2. Install stabilized construction entrance/anti-tracking pad in the locations shown in the plans.
3. Install silt fence in general locations indicated on the plan.
4. Remove the portion of the driveway between the road and stabilized construction entrances as shown on the plan
5. Install drainage structures and piping in that location, and provide inlet protection.
6. Base that portion of the proposed driveway.
7. Begin clearing and grubbing operations associated with buildings, and remainder of the driveway.
8. Strip and stockpile topsoil on site for later use in lawn and landscape areas.
9. Begin excavation for foundations and construction of stormwater management practices, parking and driveways.
10. Begin building construction and installation of well.
11. Install Infiltration Area, remaining Drains Inlets and connect Roof Leader Drains to drainage system.
12. All embankments are to be graded and seeded immediately upon being laid back.
13. Upon completion of grading operations, install finished driveway surfaces.
14. Topsoil, seed, and mulch all disturbed areas as soon as practical in accordance with the Erosion and Sediment Control Notes contained on this page.

NO.	DATE	REVISION	BY
3	02-27-23	REVISED PER PLANNING BOARD COMMENTS	DSW
2	11-23-22	REVISED PER PLANNING BOARD COMMENTS	JLP
1	5-2-22	REVISED PER PLANNING BOARD COMMENTS	JLT

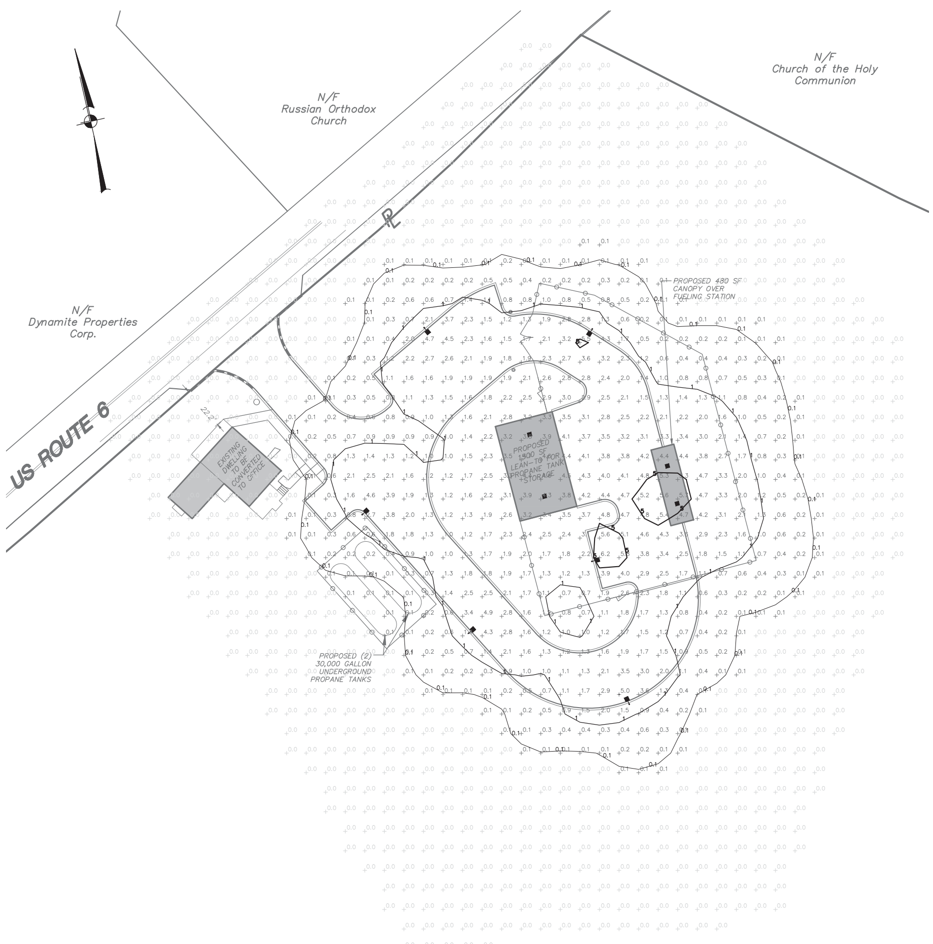
INSITE
ENGINEERING, SURVEYING &
LANDSCAPE ARCHITECTURE, P.C.
3 Garrett Place
Carmel, NY 10512
(845) 225-9690
(845) 225-9717 fax
www.insite-eng.com

PROJECT:
PLATINUM PROPANE - MAHOPAC
1035 ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING:
EROSION CONTROL PLAN

PROJECT NUMBER	22101.100	PROJECT MANAGER	Z.M.P.	DRAWING NO.	SHEET
DATE	3-30-22	DRAWN BY	J.L.T.	SP-3	4 / 8
SCALE	1" = 30'	CHECKED BY	A.D.T.		

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.



LUMINAIRE SCHEDULE

Sym	Qty	Catalog Number	Description	Lamp	Mounting Height	Watts
■	6	RSX1 LED P1 30K R4	RSX AREA FIXTURE SIZE 1 P1 LUMEN PACKAGE 3000K CCT TYPE R4 DISTRIBUTION	LED	16'	51.3
▪	4	EASTON FMVA9L	250 WATT LED FLOOD LIGHT OR EQUAL ELECTRICAL: CLASS 1, DIVISION 2, GROUP D EXPLOSION PROOF	LED	14'	92

*The Easton canopy fixture specified by Chesmont Engineering was modeled using photometrics from another fixture with a similar photometric output. A photometric file for Easton fixture was not available.

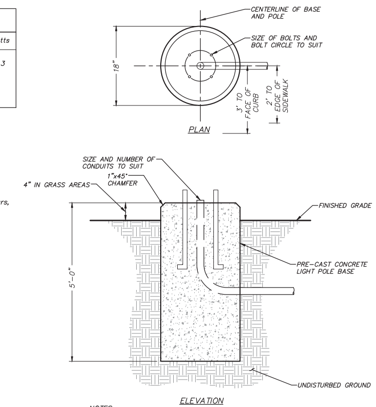
LIGHT CONTOUR LEGEND

0.1	0.10 Foot Candles
1	1.00 Foot Candles
5	5.00 Foot Candles

* Photometric calculations shown on plan are in foot candles.

LIGHTING NOTES:

1. All lighting shall be as noted on the plan or approved equal.
2. Style and finish of all luminaires to be selected by owner and approved by the Planning Board.
3. Proposed lights will run on photocells during regular business hours, and will run on motion sensors after hours.
4. Type, location, and shading of all proposed lighting shall prevent the spillover of light onto all adjacent residential properties.
5. All light fixtures to be full cutoff to comply with dark sky guidelines.



NOTES:

1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE BOLT PATTERN AND CONDUIT SIZES WITH LIGHTING SUPPLIER AND ELECTRICAL DESIGN.
2. IF THE LIGHT POLE IS BEHIND THE CURB IT SHALL SIT 3' ON CENTER BEHIND THE FACE OF CURB. OR IF IT IS BEHIND A SIDEWALK IT SHALL SIT 2' ON CENTER BEHIND THE EDGE OF THE SIDEWALK

LIGHT POLE BASE DETAIL

(N.T.S.)

GRAPHIC SCALE

0 15 30 60

(IN FEET)
1 inch = 30 ft.

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

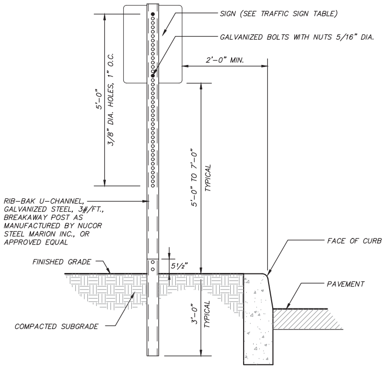
NO.	DATE	REVISION	BY

INSITE
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.
3 Garrett Place
Carmel, NY 10512
(845) 225-9690
(845) 225-9717 fax
www.insite-eng.com

PROJECT:
PLATINUM PROPANE – MAHOPAC
1035 ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

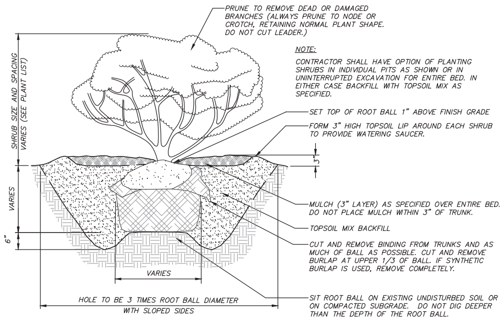
DRAWING:
LIGHTING PHOTOMETRIC PLAN

PROJECT NUMBER	22101.100	PROJECT MANAGER	Z.M.P.	DRAWING NO.	SHEET
DATE	2-27-23	DRAWN BY	D.S.W	LP-1	5/8
SCALE	1" = 30'	CHECKED BY	A.D.T.		



NOTE: FOR HANDICAP PARKING SIGNAGE, SIGNS SHALL BE INSTALLED AT A CLEAR HEIGHT OF BETWEEN 5'-0" AND 7'-0" ABOVE GRADE OF PARKING SPACE AND SUCH THAT SIGNS SHALL NOT BE OBSCURED BY A VEHICLE PARKED IN THE SPACE.

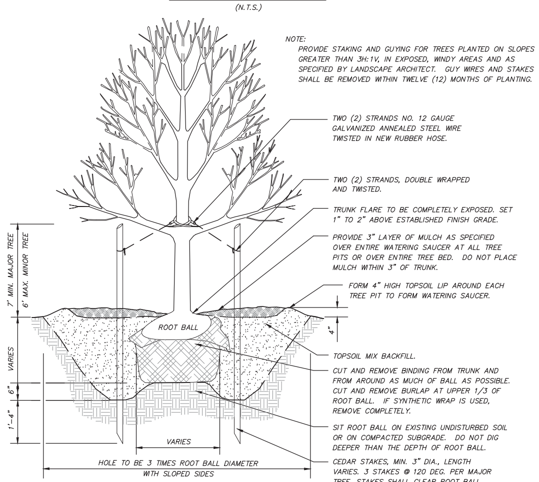
TRAFFIC SIGN DETAIL
(N.T.S.)



NOTE:
CONTRACTOR SHALL HAVE OPTION OF PLANTING SHRUBS IN INDIVIDUAL PITS AS SHOWN OR IN UNINTERRUPTED EXCAVATION FOR ENTIRE BED. IN EITHER CASE BACKFILL WITH TOPSOIL MIX AS SPECIFIED.

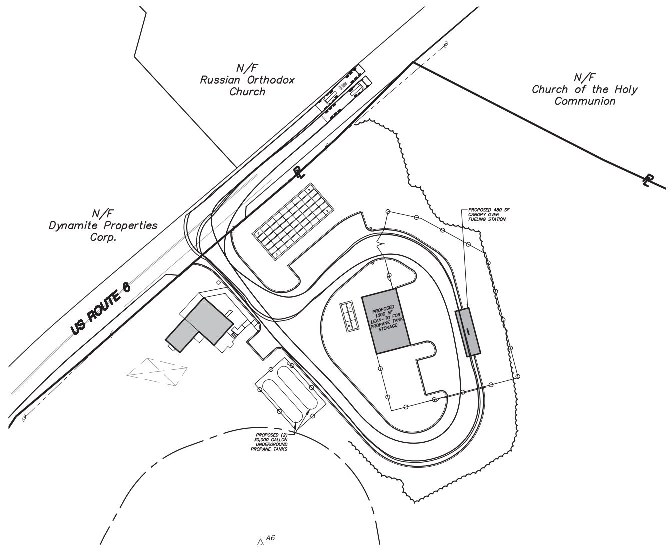
SHRUB PLANTING DETAIL
(N.T.S.)

NOTE:
PROVIDE STAKING AND GUYING FOR TREES PLANTED ON SLOPES GREATER THAN 3H:1V, IN EXPOSED, WINDY AREAS AND AS SPECIFIED BY LANDSCAPE ARCHITECT. GUY WIRES AND STAKES SHALL BE REMOVED WITHIN TWELVE (12) MONTHS OF PLANTING.

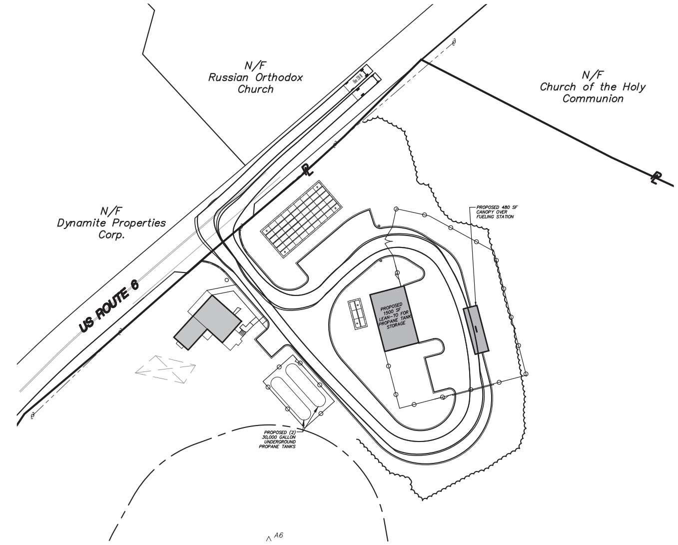


ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

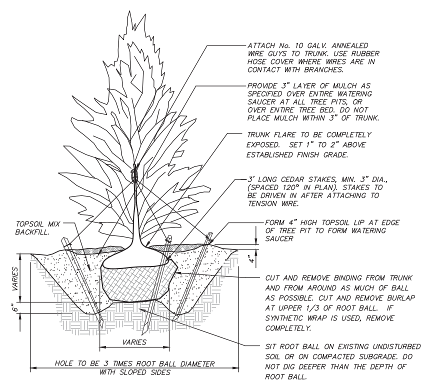
TREE PLANTING DETAIL
(N.T.S.)



VEHICLE MANUVER PLAN–PROPANE TANKER
1" = 50'

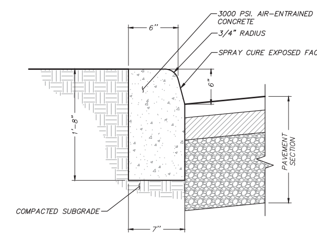


VEHICLE MANUVER PLAN–PROPANE DELIVERY TANKER
1" = 50'



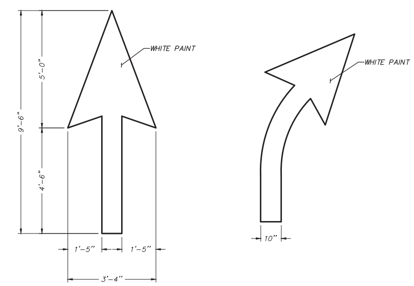
NOTE:
PROVIDE STAKING AND GUYING FOR TREES PLANTED ON SLOPES GREATER THAN 3H:1V, IN EXPOSED, WINDY AREAS AND AS SPECIFIED BY LANDSCAPE ARCHITECT. GUY WIRES AND STAKES SHALL BE REMOVED WITHIN TWELVE MONTHS OF PLANTING.

EVERGREEN TREE PLANTING DETAIL
(N.T.S.)



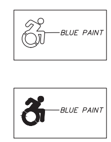
NOTE:
ISOLATION JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20'-0" APART AND SHALL BE FILLED WITH CELLULAR COMPRESSION MATERIALS RECESSED 1/4" IN FROM FRONT FACE AND TOP OF CURB.

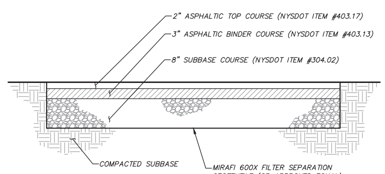
CONCRETE CURB DETAIL
(N.T.S.)



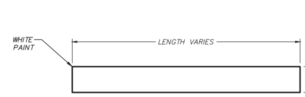
NOTE:
INSTALLATION TO CONFORM WITH CURRENT NYSDOT STANDARDS AND SPECIFICATIONS.

DIRECTIONAL ARROWS DETAIL
(N.T.S.)



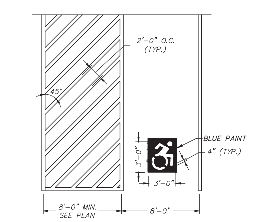


ASPHALT ROADWAY PAVEMENT DETAIL
(N.T.S.)



NOTES:
INSTALLATION TO CONFORM WITH CURRENT NYSDOT STANDARDS AND SPECIFICATIONS.

PAINTED STOP BAR DETAIL
(N.T.S.)



NOTE:
ALL HANDICAP STRIPING SHALL BE 4" WIDE BLUE PAINT.

PAINTED NYS ACCESSIBLE PARKING DETAIL
(N.T.S.)

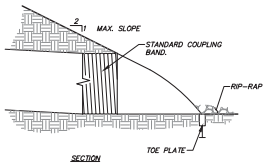
NO.	DATE	REVISION	BY
3	02-27-23	REVISED PER PLANNING BOARD COMMENTS	DSW
2	11-23-22	REVISED PER PLANNING BOARD COMMENTS	JLP
1	5-2-22	REVISED PER PLANNING BOARD COMMENTS	JLT

INSITE
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.
3 Garrett Place
Carmel, NY 10512
(845) 225-9690
(845) 225-9717 fax
www.insite-eng.com

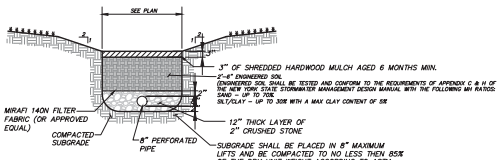
PROJECT:
PLATINUM PROPANE – MAHOPAC
1035 ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING:
DETAILS

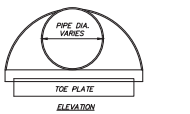
PROJECT NUMBER	22101.100	PROJECT MANAGER	Z.M.P.	DRAWING NO.	SHEET
DATE	3-30-22	DRAWN BY	J.L.T.	D-1	6 / 8
SCALE	AS SHOWN	CHECKED BY	A.D.T.		



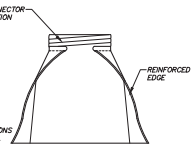
SECTION



SECTION



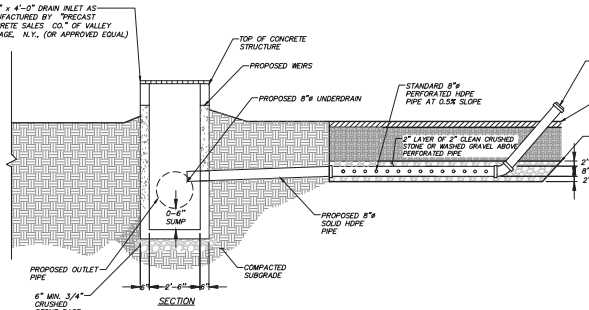
ELEVATION



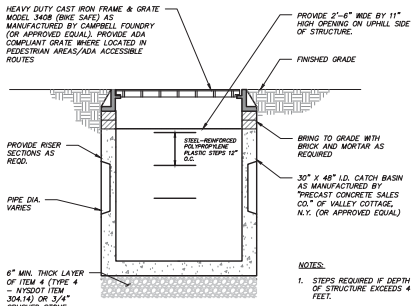
PLAN

NOTE:
END SECTION CONNECTIONS TO CONFORM TO MANUF. RECOMMENDATIONS FOR VARIOUS PIPE SIZES

END SECTION DETAIL
(N.T.S.)

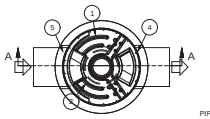


SECTION



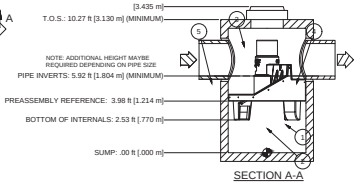
SIDE DRAIN INLET DETAIL
(N.T.S.)

NOTES:
1. STEPS REQUIRED IF DEPTH OF STRUCTURE EXCEEDS 4 FEET.
2. STRUCTURE AND GRATE TO BE DESIGNED FOR H-20 LOADING.



PLAN VIEW

HYDRO FRAME AND COVER (INCLUDED)
GRADE RINGS BY OTHERS AS REQUIRED



SECTION A-A

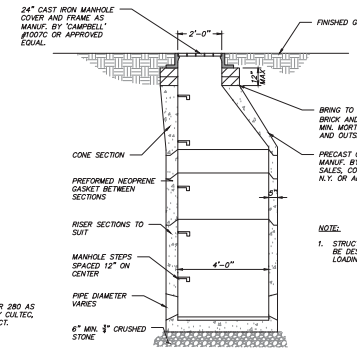
1. MANHOLE WALL AND SLAB THICKNESSES ARE NOT TO SCALE.
2. CONTACT HYDRO INTERNATIONAL FOR A BOTTOM OF STRUCTURE ELEVATION PRIOR TO SETTING FIRST DEFENSE MANHOLE.
3. CONTRACTOR TO CONFIRM RIM, PIPE INVERTS, PIPE DIA. AND PIPE ORIENTATION PRIOR TO RELEASE OF UNIT TO FABRICATION.

PRODUCT SPECIFICATION:
1. PEAK HYDRAULIC FLOW: 32.0 cfs (906 l/s)
2. MIN SEDIMENT STORAGE CAPACITY: 1.6 cu. yd. (1.2 cu. m.)
3. OIL STORAGE CAPACITY: 496 gal. (1878 liters)
4. MAXIMUM INLET/OUTLET PIPE DIAMETERS: 30 in. (750 mm)
5. THE TREATMENT SYSTEM SHALL USE AN INDUCED VORTEX TO SEPARATE POLLUTANTS FROM STORMWATER RUNOFF.
6. MORE PRODUCT INFORMATION INCLUDING REGULATORY ACCEPTANCES, PLEASE VISIT https://hydro-int.com/en/products/first-defense

GENERAL NOTES:
1. General Arrangement drawings only. Contact Hydro International for site specific drawings.
2. The diameter of the inlet and outlet pipes may be no more than 30".
3. Multiple inlet pipes possible (refer to project plan).
4. Inlet/outlet pipe angle can vary to align with drainage network (refer to project plan.s)
5. Peak flow rate and minimum height limited by available cover and pipe diameter.
6. Larger sediment storage capacity may be provided with a deeper sump depth.

PARTS LIST				
ITEM	QTY	SIZE (in)	SIZE (mm)	DESCRIPTION
1	1	36	900	I.D. PRECAST MANHOLE
2	1			INTERNAL COMPONENTS (PRE-INSTALLED)
3	1	30	750	FRAME AND COVER (ROUND)
4	1	18 (MAX)	450 (MAX)	OUTLET PIPE (BY OTHERS)
5	1	18 (MAX)	450 (MAX)	INLET PIPE (BY OTHERS)

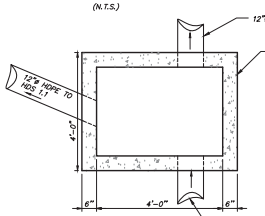
FIRST DEFENSE HYDRODYNAMIC SEPARATOR FD-3 (HDS 1.1 & HDS 1.3)



NOTE:
1. STRUCTURE AND COVER TO BE DESIGNED FOR H-20 LOADING.

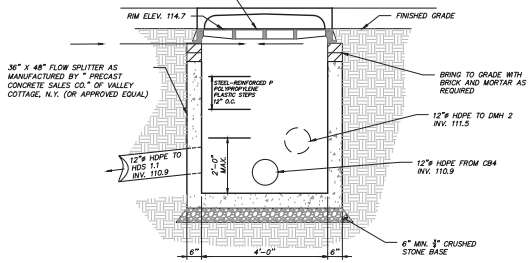
DRAINAGE MANHOLE DETAIL
(N.T.S.)

(N.T.S.)



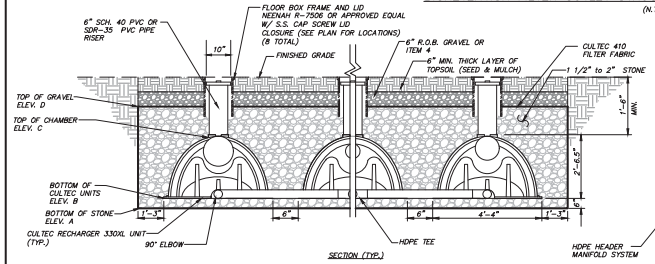
PLAN

CAST IRON FRAME AND GRATE MODEL #2617 AS MANUFACTURED BY "CAMPBELL FOUNDRY", OR APPROVED EQUAL

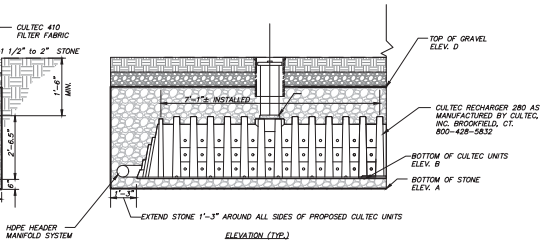


SECTION

BIORETENTION FILTER OUTLET STRUCTURE DETAIL (NYSDEC DESIGN F-5)
(N.T.S.)



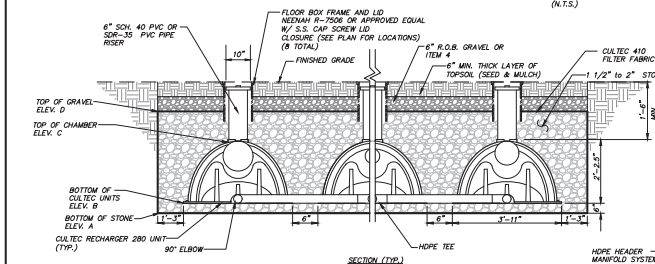
SECTION (TYP.)



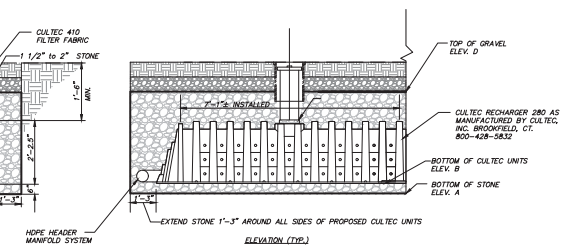
ELEVATION (TYP.)

UNDERGROUND SYSTEM DESIGNATION	SYSTEM FOOTPRINT (S.F.)	CULTEC UNIT NODE #	QUANTITY OF CHAMBERS	OVERALL SYSTEM DIMENSIONS (LENGTHxWIDTH)	ELEV A (BOTTOM OF STONE)	ELEV B (BOTTOM OF CHAMBER)	ELEV C (TOP OF CHAMBER)	ELEV D (TOP OF STONE)
1.1P	2,028	R-330XLHD	54	66.5' x 30.5'	110.0	110.5	113.0	113.5

STORMWATER UNDERGROUND INFILTRATION SYSTEM 1.1P DETAIL
(N.T.S.)



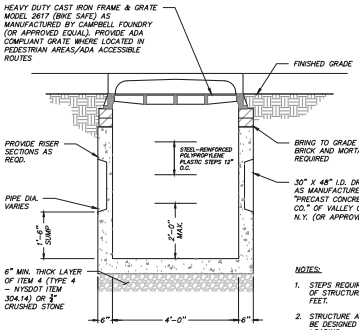
SECTION (TYP.)



ELEVATION (TYP.)

UNDERGROUND SYSTEM DESIGNATION	SYSTEM FOOTPRINT (S.F.)	CULTEC UNIT NODE #	QUANTITY OF CHAMBERS	OVERALL SYSTEM DIMENSIONS (LENGTHxWIDTH)	ELEV A (BOTTOM OF STONE)	ELEV B (BOTTOM OF CHAMBER)	ELEV C (TOP OF CHAMBER)	ELEV D (TOP OF STONE)
1.2P	252	R-280HD	6	10.5' x 24'	111.5	112.0	114.2	114.7

STORMWATER UNDERGROUND INFILTRATION SYSTEM 1.2P DETAIL
(N.T.S.)



30" X 48" CATCH BASIN DETAIL
(N.T.S.)

NOTES:
1. STEPS REQUIRED IF DEPTH OF STRUCTURE EXCEEDS 4 FEET.
2. STRUCTURE AND GRATE TO BE DESIGNED FOR H-20 LOADING.

FLOW SPLITTER FS 3 DETAIL
(N.T.S.)

NO.	DATE	REVISION	BY
3	02-27-23	REVISED PER PLANNING BOARD COMMENTS	DSW
2	11-23-22	REVISED PER PLANNING BOARD COMMENTS	JLP
1	5-2-22	REVISED PER PLANNING BOARD COMMENTS	JLT

INSITE
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.
3 Garrett Place
Carmel, NY 10512
(845) 225-9690
(845) 225-9717 fax
www.insite-eng.com

PROJECT:
PLATINUM PROPANE – MAHOPAC
1035 ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

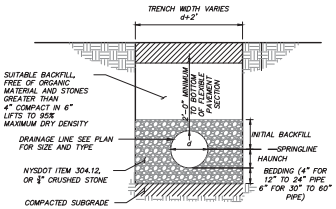
DRAWING:
DETAILS

PROJECT NUMBER	22101.100	PROJECT MANAGER	Z.M.P.
DATE	3-30-22	DRAWN BY	J.L.T.
SCALE	AS SHOWN	CHECKED BY	A.D.T.

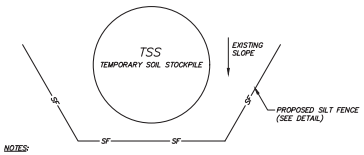
DRAWING NO. D-2
SHEET 7/8

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

21\22101000 Platinum Propane, NY\DWG\D-2 Dwg, 2/24/2023 3:04:03 PM, dwilson, 1:1

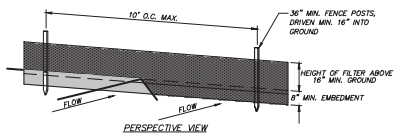


DRAINAGE LINE TRENCH DETAIL
(N.T.S.)

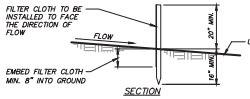


NOTES:
1. AREA CHOSEN FOR STOCKPILE LOCATION SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 2:1.
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE IMMEDIATELY SEEDED WITH K31 PERENNIAL TALL FESCUE.
4. ALL STOCKPILES SHALL BE PROTECTED WITH SILT FENCING INSTALLED ON THE DOWNGRADIENT SIDE.

TEMPORARY SOIL STOCKPILE DETAIL
(N.T.S.)



PERSPECTIVE VIEW



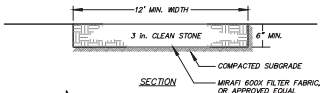
SECTION

CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

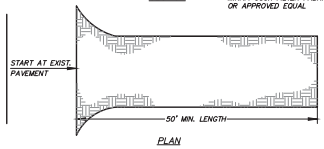
1. FILTER CLOTH TO BE FASTENED SECURELY TO POSTS AT TOP AND MID SECTION.
2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
3. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

POSTS: STEEL EITHER T OR U TYPE OR 2" HARDWOOD
FILTER CLOTH: FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUAL
PREFABRICATED UNIT: GEOFAB, ENVIROFENCE, OR APPROVED EQUAL

SILT FENCE DETAIL
(N.T.S.)



SECTION

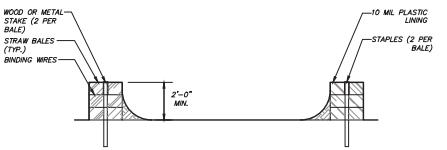


PLAN

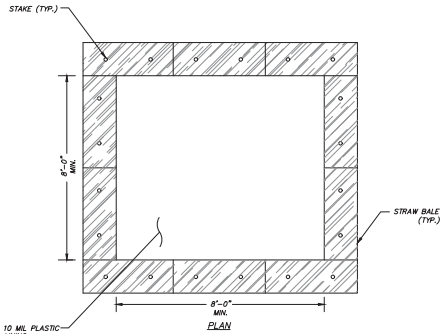
INSTALLATION NOTES

1. STONE SIZE – USE 3" STONE
2. LENGTH – AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.)
3. THICKNESS – NOT LESS THAN SIX (6) INCHES.
4. WIDTH – 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR.
5. FILTER CLOTH – WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
6. SURFACE WATER – ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE – THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
8. WASHING – WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE DETAIL
(N.T.S.)



SECTION



PLAN

CONCRETE WASHOUT AREA DETAIL
(N.T.S.)

NOTES
1. TEMPORARY CONCRETE WASHOUT TYPE ABOVE GRADE WILL BE CONSTRUCTED AS SHOWN ABOVE, WITH RECOMMENDED MINIMUM LENGTH AND MINIMUM WIDTH OF 8 FT.
2. THE WASHOUT WILL BE MINIMUM OF 100 FT FROM DRAINAGE SWALES, STORM DRAIN INLETS, WETLANDS, STREAMS AND OTHER SURFACE WATERS.
3. PLASTIC LINING WILL BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.

EROSION AND SEDIMENT CONTROL MAINTENANCE SCHEDULE

MONITORING REQUIREMENTS				MAINTENANCE REQUIREMENTS	
PRACTICE	DAILY	WEEKLY	AFTER RAINFALL	DURING CONSTRUCTION	AFTER CONSTRUCTION
SILT FENCE BARRIER	–	Inspect	Inspect	Clean/Replace	Remove
STABILIZED CONSTRUCTION ENTRANCE	Inspect	–	Inspect	Clean/Replace Stone and Fabric	Remove
DUST CONTROL	Inspect	–	Inspect	Mulching/ Spraying Water	N/A
*VEGETATIVE ESTABLISHMENT	–	Inspect	Inspect	Water/Reseed/ Remulch	Reseed to 80% Coverage
INLET PROTECTION	–	Inspect	Inspect	Clean/Repair/ Replace	Remove
SOIL STOCKPILES	–	Inspect	Inspect	Mulching/ Silt Fence Repair	Remove
SWALES	–	Inspect	Inspect	Clean/Mulch/ Repair	Mow Permanent Grass/Replace/ Repair Rip Rap
CHECK DAMS	–	Inspect	Inspect	Clean/Replace Stones/Repair	Clean/Replace Stones/Repair
CONCRETE DRAINAGE STRUCTURES	–	Inspect	Inspect	Clean Sumps/ Remove Debris/ Repair/Replace	Clean Sumps/ Remove Debris/ Repair/Replace
DRAINAGE PIPES	–	Inspect	Inspect	Clean/Repair	Clean/Repair
ROAD & PAVEMENT	–	Inspect	Inspect	Clean	Clean
*STORMWATER TRAP/BASIN	–	Inspect	Inspect	Clean/Mulch/ Repair/Reseed	See Permanent Stormwater Facilities Maintenance Schedule on Drawing D–6
CONCRETE TRUCK WASHOUT AREA	–	Inspect	Inspect	Remove Concrete from Site when Full and Re–establish	Remove

* Permanent vegetation is considered stabilized when 80% of the plant density is established. Erosion control measures shall remain in place until all disturbed areas area permanently stabilized.

Note: The party responsible for implementation of the maintenance schedule:
during construction is:
Contractor (To be Determined)

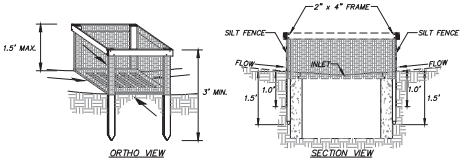
after construction is:
Hillside Property Holdings, LLC
2 Depot Plaza Suite 401
Bedford Hills, NY 10507

SOIL RESTORATION REQUIREMENTS[1,2]
(ONSITE SOILS WITHIN THE LIMIT OF DISTURBANCE BELONG TO THE HYDROLOGIC SOIL GROUP (HSG) D)

THE CONTRACTOR SHALL BE REQUIRED TO PERFORM THE FOLLOWING SOIL RESTORATION TECHNIQUES PRIOR TO INSTALLING TOPSOIL, SEED AND MULCH. ITEMS STRUCK IN THE FOLLOWING TABLE DO NOT NEED TO BE PERFORMED.

TYPE OF SOIL DISTURBANCE	SOIL RESTORATION REQUIREMENT		COMMENTS/EXAMPLES
No soil disturbance	Restoration not permitted		Preservation of Natural Features
Minimal soil disturbance	Restoration not required		Clearing and grubbing
Areas where topsoil is stripped only – no change in grade	HSG A & B Apply 6" of topsoil	HSG C & D Aerate[3] and apply 6" of topsoil	Protect area from any ongoing construction activities
Areas of cut or fill	HSG A & B Aerate[3] and apply 6" of topsoil	HSG C & D Apply full Soil Restoration[4]	
Heavy traffic areas on site (especially in a zone 5–25 feet around buildings but not within a 5 foot perimeter around foundation walls.)	Apply full Soil Restoration[5] (de–compaction and compost enhancement)[6]		
Areas where runoff reduction and/or infiltration practices are applied	Restoration not required, but may be applied for appropriate practices.		Keep construction equipment from crossing these areas. To protect newly installed practices from any ongoing construction activities construction a single phase operation fence area.
Redevelopment projects	Soil restoration is required on redevelopment projects in areas where existing impervious area will be converted to pervious area.		

1. Aeration includes the use of machines such as tractor–drawn implements with coulters making a narrow slit in the soil, a roller with many spikes making indentations in the soil, or prongs which function like a mini–subsoiler.
2. Per Deep Ripping and De–compaction, DEC 2008
3. Aeration includes the use of machines such as tractor–drawn implements with coulters making a narrow slit in the soil, a roller with many spikes making indentations in the soil, or prongs which functions like a mini–subsoiler.
4. During periods of relatively low to moderate subsoil moisture, the disturbed soils are returned to rough grade and the following Soil Restoration steps applied:
   a. Apply 3 inches of compost over subsoil.
   b. Till compost into subsoil to a depth of at least 12 inches using a cat–mounted ripper, tractor–mounted disc, or tiller, mixing, and circulating air and compost into subsoils.
   c. Rock–pick until uplifted stone/rock materials of four inches and larger size area cleaned off the site.
   d. Apply topsoil to a depth of 6 inches.
   e. Vegetate as required by seeding notes located on the project drawings.
   f. Tilling should not be performed within the drip line of any existing trees or over any utility installations that are within 24 inches of the surface.
5. Compost shall be aged, from plant derived materials, free of viable weed seeds, have no visible free water or dust produced when handling, pass through a half inch screen and have a pH suitable to grow desired plants.

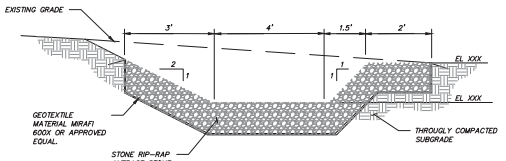


INSTALLATION NOTES

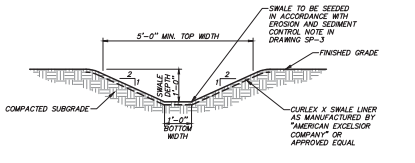
1. FILTER FABRIC SHALL HAVE AN EOS OF 40–85. BURLAP MAYBE USED FOR SHORT TERM APPLICATIONS.
2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
3. STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
4. SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
5. FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
6. A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.

MAXIMUM DRAINAGE AREA 1 ACRE

FILTER FABRIC INLET PROTECTION DETAIL
(N.T.S.)



LEVEL SPREADER DETAIL
(N.T.S.)



GRASS SWALE DETAIL
(N.T.S.)

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

NO.	DATE	REVISION	BY
3	02–27–23	REVISED PER PLANNING BOARD COMMENTS	DSW
2	11–23–22	REVISED PER PLANNING BOARD COMMENTS	JLP
1	5–31–22	REVISED PER PLANNING BOARD COMMENTS	JLT

INSITE
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.
3 Garrett Place
Carmel, NY 10512
(845) 225–9690
(845) 225–9717 fax
www.insite–eng.com

PROJECT:
PLATINUM PROPANE – MAHOPAC
1035 ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING:
DETAILS

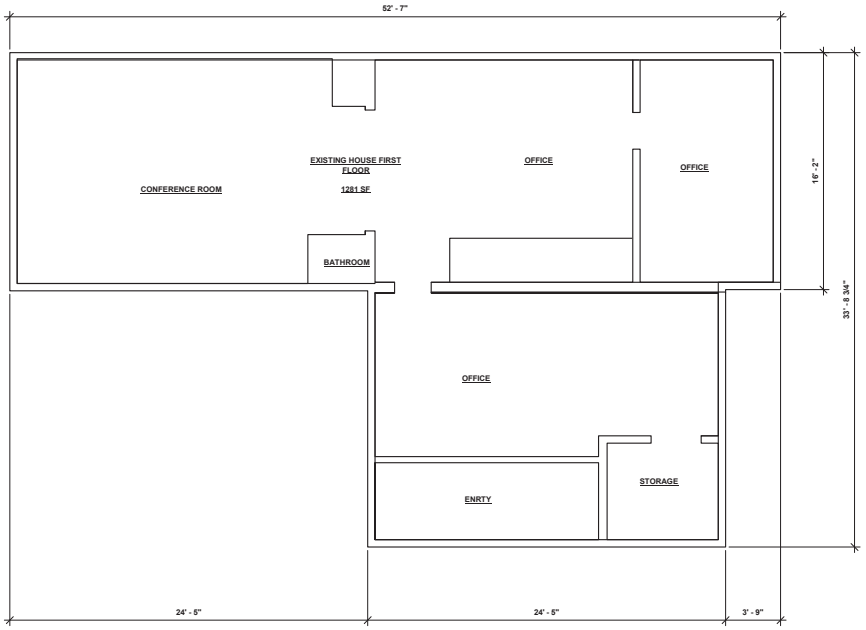
PROJECT NUMBER	22101.100	PROJECT MANAGER	Z.M.P.
DATE	5–2–22	DRAWN BY	J.L.T.
SCALE	AS SHOWN	CHECKED BY	A.D.T.

DRAWING NO. D–3
SHEET 8 / 8

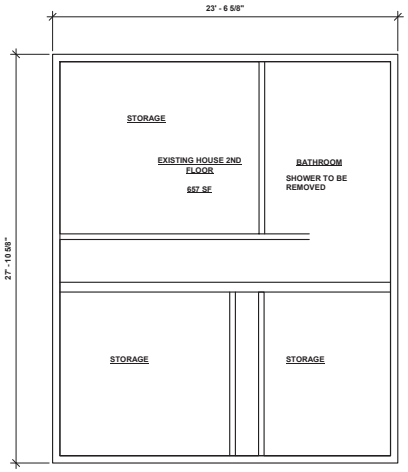
STATE OF NEW YORK ANDREW D. TORGALSKI 075–098 LICENSED PROFESSIONAL ENGINEER

Z:\22101\22101100 Platinum Propane, Rt 6\Dwg\D-3.dwg, 2/24/2023 3:24:01 PM, Jackson, 1:1

FIRST FLOOR



2ND FLOOR



1 EXISTING HOUSE PLANS
1/4" = 1'-0"

Michael Piccirillo Architecture

NOTE:
DO NOT SCALE DRAWINGS. REFER TO WRITTEN MEASUREMENTS FOR ACCURANCY, OR CONTACT ARCHITECT. CONTACT ARCHITECT IF THERE ARE ANY DISCEPENCIES
UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING
IS A VIOLATION OF NEW YORK STATE EDUCATION LAW
Copyright 2020 MICHAEL PICCIRILLO ARCHITECTURE

No.	DATE:	ISSUE:
1	3/15/22	ISSUED
2	9/27/22	ISSUED
3	2/24/23	REVISED

PROJECT NAME:

PLATINUM PROPANE

PROJECT ADDRESS:

ROUTE 6
MAHOPAC, NY

REGISTERED ARCHITECT
MICHAEL ANTHONY PICCIRILLO
028090
STATE OF NEW YORK

MICHAEL A PICCIRILLO, AIA
345 KEAR STREET, SUITE 203
YORKTOWN HEIGHTS, NY 10598
TELEPHONE: 914-368-9838
FACSIMILE: 914-368-9839
michael@mpiccirilloarchitect.com
www.mpiccirilloarchitect.com

EXISTING HOUSE PLANS

A102

MASTROGIACOMO
ENGINEERING, P.C.

27 February 2023

Mrs. Rose Trombetta
Planning Office
Carmel Town Hall
60 McAplin Avenue
Mahopac, New York 10541

Re: Submission Package for Proposed Botique Hotel at
910 South Lake Blvd, Town of Carmel, NY

Dear Mrs. Trombetta:

Attached please find the required five (5) sets of site plans and architectural floor plan for the proposed boutique hotel project. It has been a while since we were before the board but we have been working on as fully revised design which will allow the project to fit the characteristics of the site and answer many of the Town's staff comments. There are still variances required for the approval of the project but, the need and amount of some of the variances required have been reduced where possible.

Currently there are two (2) non-conforming structures on the property which are proposed to be removed for the construction of the new proposed multi-family residential building. The project proposes to construct a three (3) story, twenty-four (24) room boutique hotel which will have two way access drive along the west side of the property. Parking for the proposed hotel will be located at the rear of the property. The amenities being proposed include an indoor pool at the basement area with showers and saunas in the lower restrooms, a continental breakfast area which can also be used for a conference area and a bar/lounge area for guests to use. All cooking, mechanical, laundry, and hotel offices will be located in the basement area. There are some variances required due to the size of the existing and topography of the property and its non-conformity with the Town of Carmel Zoning Code. More detailed information is included in this engineer's report attached.

At this time we are requesting being on the February 9th Planning Board meeting to present the revised application and discuss with the board the next steps for moving forward towards approvals for the project.

If you have any questions, or if you need any additional information, please do not hesitate to call me at (914) 920-6372. I can also be reached via electronic mail at michaelm@masengpc.com.

Sincerely,

Michael Mastrogiacomo, P.E., L.S.
New York State P.E. Lic. No. 083853
New York State L.S. Lic. No. 051124
Connecticut State Combined P.E. & L.S. No. 021713

Responses to Town Staff

MASTROGIACOMO
ENGINEERING, P.C.

30 January 2023

Mrs. Rose Trombetta
Planning Office
Carmel Town Hall
60 McAplin Avenue
Mahopac, New York 10541

Re: Comment Response Letter for Proposed Boutique Hotel at
910 South Lake Blvd, Town of Carmel, NY

Dear Mrs. Trombetta:

This letter is for clarification of the responses made on the revised submission package from the Town Staff for assistance with their review of the revised material.

Building Department Comments from 9/8/2022

1. Definition of "HOTEL" per the Town Code. We will require a variance per the definition as we are only proposing 24 rooms in our submission set.
2. The height computed is from the top of the level graded front yard to the top of the parapet above the second floor which is the front most part of the building. We have achieved the maintain under the required building height and will not need to seek a variance for this.
3. List of variances :

a.	Number of rooms	50 rooms required	24 rooms proposed	26 room variance
b.	Lot Area	40,000 sf req'd	16409 sf existing	variance needed
c.	Lot Width	200 ft req'd	78.00 ft existing	variance needed
d.	Front Yard	40 ft req'd	19.08 ft proposed	variance required
e.	Side Yard	25 ft req'd	24.00/6.75 ft prop	variances required
f.	Loading Space	1 required	0 proposed	variance required
g.	Parking Spaces	30 required	28 proposed	variance required

4. How much fille will be removed or added? Will there be blasting?
   The cut and fill quantities have been added to sheet C102. We are unsure of blasting activities until excavation has begun and the rock has been exposed to see what type of rock is encountered, the number and size of veins of the rock are exposed and the amount of rock excavation is needed.

Engineering Department Comments from 9/6/2022

1. We will await for comments from these departments in order to respond.
2. We are working on the revised submissions to the DEP and DOT and will forward correspondence to your office.
3. The responses are as follows:
    a. The domestic and fire flows have been properly updated in the reports and are attached for your review and response.
    b. The flow calculation are updated and are more representative of what is required.
    c. The notations for the irrigation has been included on sheet C103.
    d. indoor pool filling has been included on sheet C103.
4. The Storm Water Pollution Prevention Plan has been included in this submission.
5. The electronic version will be emailed for your use.
6. The note on C001 has been revised.
7. Legends have been included as requested.
8. A traffic study is being prepared and will be provided as soon as it is complete.
9. The SWPPP has been attached. The proper filings will be provided once they are completed.
10. As stated in #9, the SWPPP has been prepared and will be filed per NYCDEP guidelines.
11. Sheet C102 indicated the construction entrance requested.
12. Sheet C103 provides the drainage calculations as requested.
13. The driveway details have been revised as requested.
14. Sheet C102 indicates all the necessary regrading of the site.
15. The responses are as follows:
    a. Sheets C106 show both types of vehicles as requested.
    b. Turning radii have been included on Sheets C106
    c. The requested calculation have been included on Sheet C101
    d. Sheet C107 shows the profile of the driveway. The required 6% for the first 20 ft has been provided. However, the slope required to reach the height of the parking area is 9.25%. an 8% slope is not achievable due to the site conditions.
16. Sheet C102 indicates limits of the work on the road for connection of the utilities.
17. Sheet C104 indicates the requested screening on all sides of the property.
18. Sheet C105 indicates that proposed lighting with the spill analysis as requested.
19. Notations have been included on Sheets C103 and C104 as requested.
20. Notations have been included on Sheets C103.
21. Sheet C101 indicates the signage and striping as requested.
22. All civil drawings have been revised to show the existing utilities.
23. Sheet C201 has been revised to indicate the connection details for the utilities as requested.
24. No response made as non public improvements appear to be required.

Planning Consultant Comments from 6/8/2022

1. The hotel room count has been reduced to 24 rooms as per the previous submission.
2. We have remove the additional 6 rooms to reduce the height of the building along the street which allows for compliance with the height requirements of the Town Code.
3. The location of the building has been adjusted to create a 2 way drive to allow for better vehicle maneuvering in and out of the property.
4. The adjusting of the location of the building and the new proposal of a 2 way driveway eliminates this concern.
5. Since we have reduced the number of rooms, we are closer to compliance with the code but will still require a small variance for parking and loading.
6. The revised design has lowered the number of required variances. Some variances needed (i.e. lot area and lot width) are not self-made and are due to existing conditions of the site which cannot be changed.
7. See responses below:
    a. No the hotel will not be a part of a chain.
    b. We do not believe anyone other than those staying at the hotel will use these amenities. We will require that when organizations rent the conference room they will also book a number of the rooms for those people attending their event. This will minimize the possibility of non-booking guests to use the amenities and occupy parking spaces for those who are actually staying at the hotel.
    c. The hotel will be a year-round hotel, not seasonal.
    d. We are looking to engage extended stay as well as tourists and business traveler. We are completing the projected market study and will submit soon. We are also working with the local catering hall, Villa Barone Hilltop, to give them access to a number of rooms for their events which require guests from out of town to have lodging.
    e. The requested information has been included in the revised engineering report.
8. The redesign of the driveway and location of the building help make the vehicle circulation pattern better and reduce the possibility of anyone getting hurt.
9. Due to the existing site topography a driveway of 8% cannot be achieved. We feel that the new design of a 9.25% driveway slope will properly allow for the necessary vehicle circulation in and our of the site without large concern. Trying to achieve the 8% would create a large amount of regrading which will greatly impact the surrounding buildings which are very flow to the adjacent property lines.
10. We await to here from the Architectural Consultant.

If you have any questions, or if you need any additional information, please do not hesitate to call me at (914) 920-6372. I can also be reached via electronic mail at michaelm@masengpc.com.

Sincerely,

Michael Mastrogiacomo, P.E., L.S.
New York State P.E. Lic. No. 083853
New York State L.S. Lic. No. 051124
Connecticut State Combined P.E. & L.S. No. 021713

Engineer's Report

MASTROGIACOMO ENGINEERING, P.C.
CIVIL, STRUCTURAL, M.E.P. & ARCHITECTURAL ENGINEERING

10 Midland Avenue, Suite 100
Port Chester, New York 10573
Tel. 914-920-6372
Fax. 206-888-6226
Email : admin@masengpc.com
Licensed in New York and Connecticut

Engineering Report for Proposed 24 Room Boutique Hotel

Prepared for

910 SOUTH LAKE LLC

Situated at
910 South Lake Blvd
Town of Carmel, New York
27 February 2023

I. GENERAL DESCRIPTION

The Project Site consists of the construction of a three (3) Story Boutique Hotel on the site located at 910 South Lake Boulevard in the Town of Carmel, New York. The site currently contains a fourteen (14) unit apartment building and adjacent garage/workshop which are proposed to be removed in order to construct the hotel. The site consists of a 23,591 sq.ft. parcel fronting on South Lake Boulevard (a.k.a. N.Y. Route 6N) and backs on New York Route 6. The parcel sits across from Mahopac Lake and is also located in the New York City Department of Environmental Protection which will also need to review the application for wastewater flows and designated downtown areas. The New York State Department of Transportation will also need to review the application since the site fronts New York Route 6N.

II. BUILDING AND SITE DESIGN

The proposed boutique hotel was previously located in the middle of the site with two (2) access drives on either side for ingress and egress from the property. Maneuverability of larger vehicles (i.e. garbage trucks and fire trucks) was found to be more difficult since the space on either side of the proposed hotel was more restricted. We have revised our design to shift the proposed hotel closer to the east side of the property and utilize the existing curb cut to maintain the two way ingress/egress from the site within a twenty foot (20'-0") wide access drive. This design allows for better maneuverability of larger vehicles.

The grading of the access drive is proposed to start with a 6.00% gradient up to a point 20'-0" in from the front property line (28'-6" from the edge of South Lake Boulevard) and then transition to a 9.25% gradient for approximately 110'-0" which will level out near the main entrance of the hotel located towards the rear of the property. This allows for patrons using the hotel to park and enter the hotel safely. Also, utilizing the grade of the existing property to dictate having the entry at the rear of the hotel allows for the rooms along the front of the hotel to enjoy the views of Lake Mahopac. Per our calculations, it is anticipated that there will be 1,900 c.y. of excavation and 1,500 c.y. of fill. According to records available, there is approximately 1,000 c.y. of rock excavation.

The boutique hotel is proposed to have twenty-four (24) guest rooms total between all three (3) floors. This hotel will remain a boutique style hotel and will not be associated with a chain hotel which has siting and operational requirements. The market which the hotel is looking to attract extended stays, business travelers and families. With the amenities designed in the space families looking for a close weekend getaway can enjoy the hotel and may also plan on extended stays when children are off from school. The property owner has also had talks with a local catering hall which would be able to benefit the use of the hotel for bookings of families traveling to Mahopac for weddings and events. Also, local business associations would be able to benefit holding events at the hotel and guest attending the events would be able to stay at the hotel for convenience.

The hotel has been designed for the enjoyment of both business travel and family travel. The center eight (8) guest rooms have been designed with the ability to be merged using an interior door access. This allows for families to book two (2) adjacent rooms, when traveling with children, and be able to walk in and out of the two rooms without having to disrupt other guests by going out to the common hallway. The front and rear rooms have access to a balcony to enjoy. The front rooms also have views of Lake Mahopac. Guest will be able to access all levels of the proposed hotel with two (2) elevators and two (2) egress stairs. Building maintenance will also be able to access outdoor storage and mechanical equipment on the upper roof using one of the elevators and the west side staircase.

The proposed boutique hotel will be operated year-round and has common amenities to attract patrons year-round, such as Wi-Fi, cable television, etc., but also additional amenities such as an indoor pool, saunas, bar/lounge area , continental breakfast/conference room area and a rooftop lounge area.

Indoor Pool Area :
The hotel is proposed to have a 14'-0" by 34'-0" indoor heated pool at the lower/basement level of the hotel. The Indoor Pool Area will have space to site at tables and also space for lounge chairs. This space will also have heat and air conditioning for full comfort of the guests and will also be properly ventilated with operable windows for fresh air and a mechanical ventilation system to reduce the odors of the chemicals used for the inground pool.

Saunas:
The lower/basement level will contain a men's and women's restroom equipped with a shower for guests to clean themselves after using the indoor pool facility. The restrooms are also equipped with saunas for guests to enjoy.

Bar/Lounge Area:
Guests will be able to enjoy the bar/lounge area on the main floor to not only get drinks and food when it is open but to also have a place to read a book, an area to work at, watch television in a common area. The bar will be restricted to serve both alcoholic and non-alcoholic drinks in accordance with liquor license requirements. Patrons can also order food during the day and early evening (lunch and dinner) at the bar from a limited menu. During times when the bar is closed, patrons will be able to purchase snacks and non-alcoholic drinks from the vending machines located at each floor.

Continental Breakfast/Conference Room:
Located also on the main floor is the Continental Breakfast Area which can also be used as a Conference Room. Patrons will be able to enjoy a buffet style breakfast area common to other hotels having the same type of facility. This space can also be converted to a conference room where business associations can schedule meetings for larger groups of people. This conference room would be able to be booked by the general public but it would depend on off-time limited use as to not affect the parking for patrons of the hotel.

Rooftop Lounge Area:
Located on the third floor is a large open rooftop lounge area facing the view of Lake Mahopac. This area will have multiple seating areas for guests to relax, read or enjoy the view of Lake Mahopac. There will be a bar area where patrons can order drinks or food during operable hours. During times where the bar is closed, patrons can get drinks and snacks from the vending machine and enjoy them outdoors.

The facility will need proper staff to maintain the facility and keep patrons happy. There will be a few staff which will work in shifts and other staff which will be working only one shift. Here is a list on employees projected to be required for proper functioning of the facility:

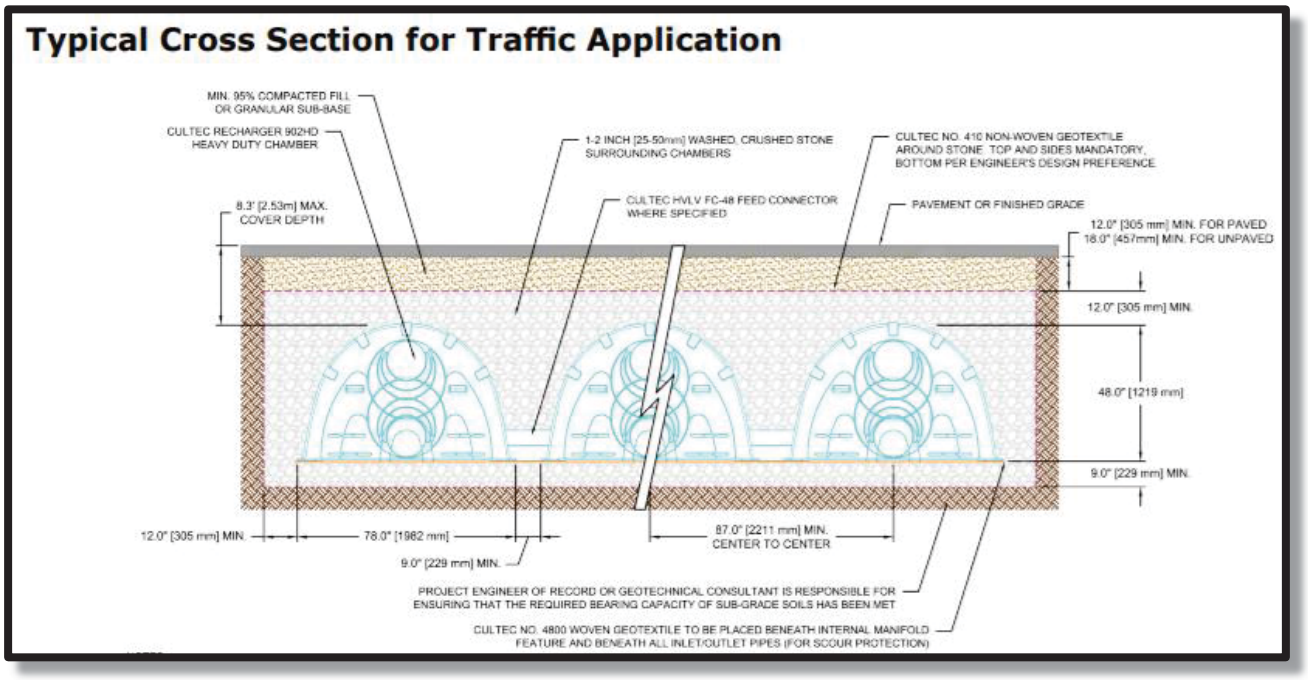
Staff for Hotel Service:
Manager ..... 1 per 8-hour shift
Front Desk ..... 1 per 8-hour shift
Cleaning ..... 2 per 8-hour shift
Maintenance ..... 1 per 8-hour shift
Cook 2
Servers 3
Bartender 2

Our analysis figures that the main staff needed for the continued functioning of the hotel would be 1 Manager, 1 person at the Front Desk, 2 Cleaning people, and 2 Maintenance people. This group will work on three (3) eight-hour shifts. The 2 Cooks, 3 Servers and 2 Bartenders would work on a 10 to 12 hour shift depending on the needs of the hotel. This will minimize the necessary number of parking needed for employees and car pooling will also be required for employees.

There are a number of variances required for approval of the hotel. Some variances required, such as the lot area and lot width, are due to the existing site characteristics and cannot be made to comply. Other variances needed, such as the number of rooms, the front yard setback, side yard setback and parking have been reduced from previous designs. Since the site is a small site, it restricts us from proposing the minimum 500 rooms per the Zoning Code and therefore a variance of 26 rooms is required. The front yard siting of the hotel has been discussed with town staff and designed t be no closer than the existing structure on the adjacent property to the west. The side yard setback has been reduced to only one side requiring a variance to minimize impact on eth community. The parking variance has been reduced by decreasing the number of guest rooms and minimizing the number of employee parking spaces. Also previous designs required a height variance which is no longer necessary since we removed the six (6) rooms on the third floor at the front of the hotel and lowered the roof level.

III. STORM WATER DETENTION DESIGN

The storm water detention system has been designed to split the impervious areas into two (2) sections to properly treat and discharge runoff from the site to create a zero increase in runoff from the site. The drainage system (see sheet C103 of the drawings) has been designed for a 25-year, 24-hour storm event which has an intensity of 6.24 inches of rainfall in the 24-hour period. The infiltration practice proposed for the project is the use of the Cultec Recharger 902HD Infiltration units :



The runoff created from the access drive is collected in a trench drain at eth bottom of the slope near South Lake Boulevard and connects to five (5) Cultec Recharger 902HD Infiltration units. These units will allow for collected runoff to infiltrate back into the soil at a natural rate. In the event of a larger storm event, the infiltration system is equipped with an overflow pipe which will connect to the existing storm catch basin on South Lake Boulevard.

The runoff created from the proposed hotel and the rear parking area will be collected in a trench drain and a drain inlet and then connect to twenty-five (25) Cultec Recharger 902HD Infiltration units. These units will allow for collected runoff to infiltrate back into the soil at a natural rate. In the event of a larger storm event, the infiltration system is equipped with an overflow pipe which will connect to the existing storm catch basin on New York Route 6.

IV. SANITARY SEWER DEMAND FLOW

The sanitary flow rates are determined by assigning, an average 1 persons per guest room and a full hotel staff. Therefore, there will be an average of 24 guests and 12 hotel personnel. Attached is the Design Flow Chart for each building which computes the flow thru the Proposed Sewer Main Extension. With this information and along with the Velocity of the main, the required pipe size was determined and found that an six inch (6") diameter main was more than sufficient for this project.

The sanitary sewer lateral shall be constructed of ductile iron pipe with push on joints. The proposed sewer lateral is of sufficient capacity to adequately serve the proposed flows. Flows from the proposed buildings can reach the sewer by gravity. All construction and testing will conform to the specifications of the City of White Plains as well as County and State environmental health standards and requirements. All work and testing will be under the supervision of the City of White Plains Department of Public Works with the Design Engineer's certification.

A. DESIGN FLOW ANALYSIS (Q)

A	**SERVICE AREA**	=	0.5677	ACRES	
B	**POPULATION FOR HOTEL**	=	36.00		
C	**WATER SUPPLY**	=	150.00	GPD	
D	**AVERAGE SANITARY FLOW**	=	A * B * C	5,400.00	GPD
E	**P.F. SANITARY FLOW**	=	18+Sqrt B= / 4+Sqrt B	2.40	
F	**PEAK SANITARY FLOW**	=	D * E =	12,960.00	GPD
G	**INFILTRATION**	=	1500 * A =	851.55	GPD
H	**DESIGN FLOW**	=	F + G	13,811.55	GPD
				0.002	CFS

B. SEWER PIPE SIZING CALCULATIONS

	S =	8.00 %	=	0.08	FT/FT
	n =	MANNINGS COEFF	=	0.013	
	Q =	DESIGN FLOW (H)	=	0.002	CFS
D = 16 * ((Q*n)/SqrRt (S))3/8 =	0.50	FT	= 6.03	INCH	
		USE = 6" DIAMETER PIPE			
	n =	MANNING COEFF	=	0.013	
	D =	DIAMETER OF PIPE	=	0.500	FT.
	A =	AREA OF PIPE	=	0.001	SQ.FT.
				0.010	
	R2/3 =	HYDRAULIC RADIUS	=	0.048	
	S =	PIPE SLOPE	=	0.08	FT/FT
V = (1.486/n) * R2/3 * S1/2 =	1.54	FPS	< 2.0 FPS	O.K.	

V. WATER DEMAND FLOW

The proposed water service for the hotel have been designed utilizing the tabulated flow rates and pressure rates found in Table 604.3 of the 2020 New York State Building Code and then using that information with the Friction Loss Diagrams to determine the minimum required pipe sizing. Each residential building is designed as follows:

1. Flow Rate & Pressure Computations:

Fixture	Qty	Per Table 604.3 2020 PC		Computed for Project	
		Flow Rate (Q) (gpm)	Pressure (psi)	Flow Rate (Q) (gpm)	Pressure (psi)
Water Closet	30	6	20	180	600
Vanity	28	1.75	8	49	224
Shower/Tub	26	4	20	104	520
Kitchen Sink	3	1.75	8	5.25	24
Clothes Washer	3	2.75	8	8.25	24
			Totals	346.50	1392

Therefore the **design Q** = **346.50 gpm**

The length of the Service Pipe from the main = 130 feet

PFallow = 1392 psi x 100 ft = **89.23 psi**
130 ft

Inputting these two numbers into the Friction Loss Diagram (see next page) we see the minimum required copper service size is 2 inches.

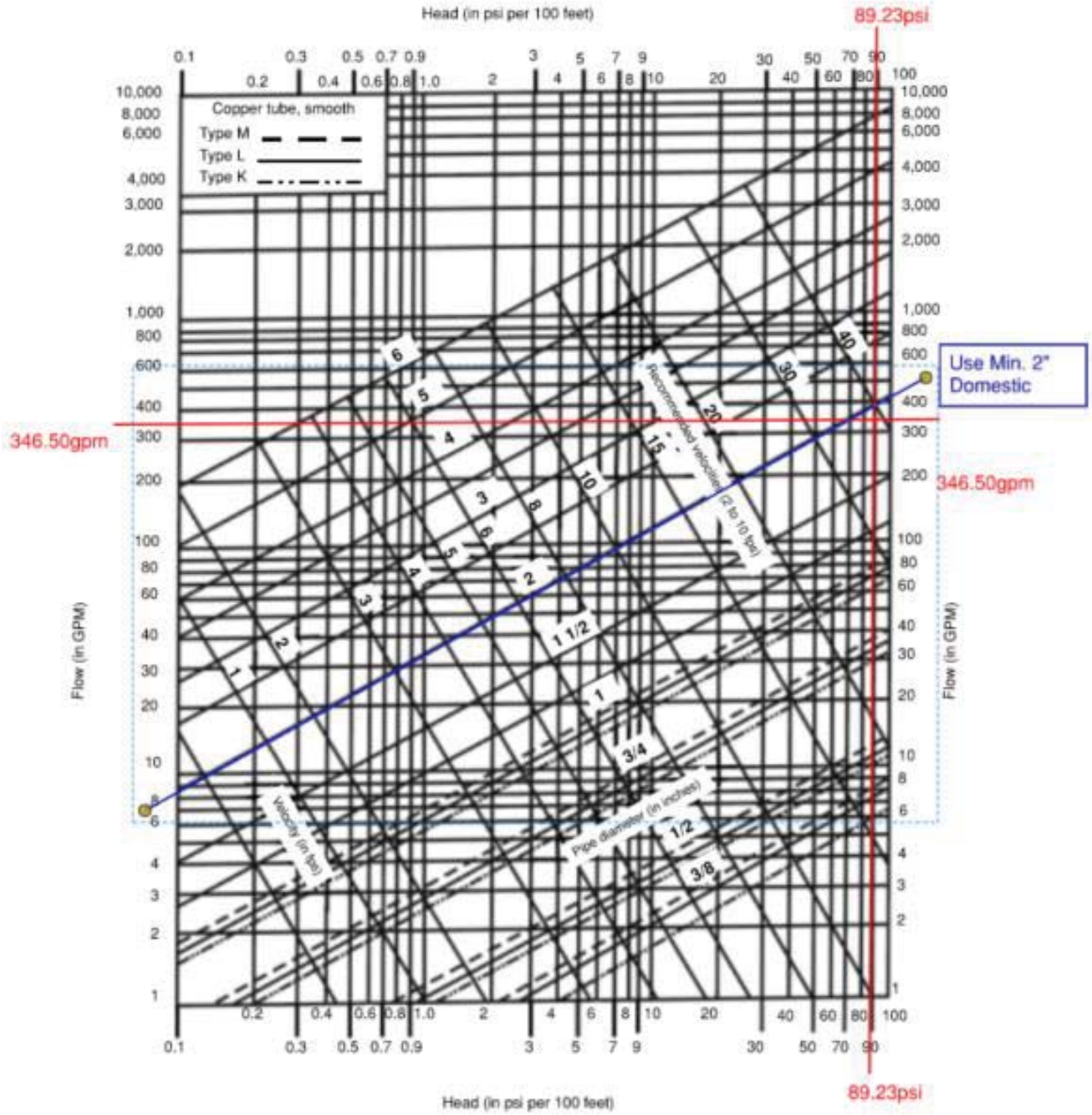


Figure D-4. Friction Loss, Smooth Pipe

VI. FIRE DEMAND FLOW

The proposed fire services have been designed utilizing the requirements of the NFPA 13D codes and then using that information with the Friction Loss Diagrams to determine the minimum required pipe sizing. The Hotel is designed as follows:

Fire Service Length = 135 ft

Building Hazard = Light

Required Area = 1500 sq.ft. Required density = 0.15 gpm/sq.ft.

Flow Rate (Q) = 1500 sq.ft. x 0.15 gpm/sq.ft. = **225 gpm**

No. of Heads in Required Area = 10 heads

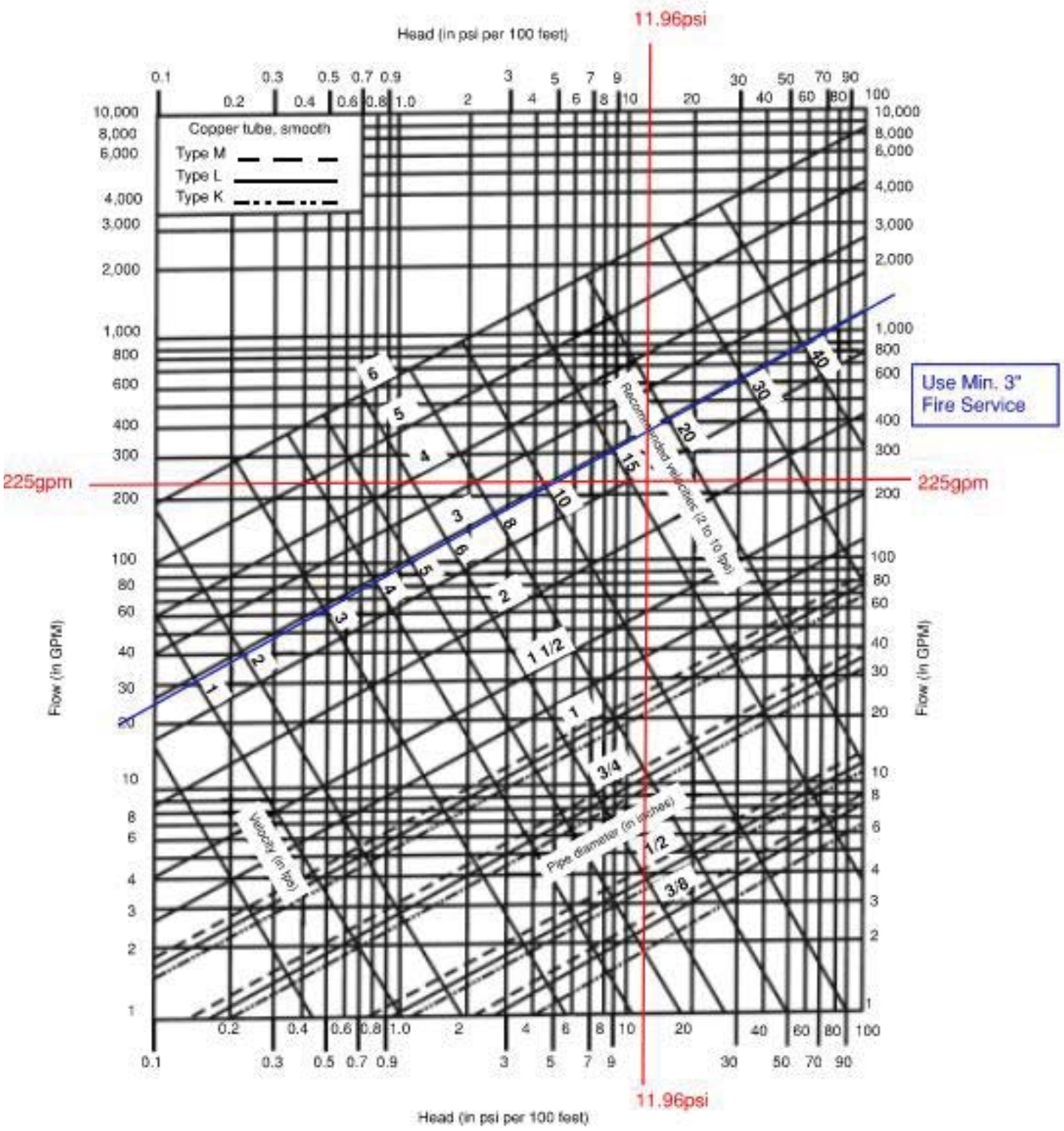
Therefore design Q = 225 gpm/ 10 heads = 22.5 gpm

K = 5.6 (typical sprinkler head)

Pressure (P) = $(Q / K)^2$ = $(22.5 / 5.6)^2$ = 16.14 psi

$$\text{PFallow} = \frac{16.14 \text{ psi}}{135 \text{ ft}} \times 100 \text{ ft.} = \textbf{11.96 psi}$$

Inputting these two numbers into the Friction Loss Diagram (see next page) we see the minimum required copper service size is 3 inches.


11.96psi
Head (in psi per 100 feet)
Copper tube, smooth
Type M
Type L
Type K
Use Min. 3" Fire Service
225gpm
225gpm
Flow (in GPM)
Flow (in GPM)
Recommended velocities (2 to 10 fps)
Velocity (in fps)
Pipe diameter (in inches)
11.96psi
Head (in psi per 100 feet)

VII. CONCLUSION

The full project has been designed in accordance with all applicable code of the 2020 New York State Building Code along with all applicable code, rules and regulation of the Town of Carmel. If you have any questions, or if you need any additional information, please do not hesitate to call me at (914) 920-6372. I can also be reached via electronic mail at michaelm@masengpc.com.

Sincerely,

Michael Mastrogiacomo, P.E., L.S.
New York State P.E. Lic. No. 083853
New York State L.S. Lic. Bo. 051124
Connecticut Combined P.E. & L.S. Lic. No. 21713

SWPPP Report

MASTROGIACOMO
ENGINEERING, P.C.
CIVIL, STRUCTURAL, M.E.P. & ARCHITECTURAL ENGINEERING

10 Midland Avenue, Suite 100
Port Chester, New York 10573
Tel. 914-920-6372
Fax. 206-888-6226
Email : admin@masengpc.com
Licensed in New York and Connecticut

Storm Water Pollution Prevention Plan for Proposed 24 Room Boutique Hotel

Prepared for

910 SOUTH LAKE LLC

Situated at
910 South Lake Blvd
Town of Carmel, New York
27 February 2023

General Project Description

The Proposed Multi-Family Residence is located at 910 South Lake Boulevard which is approximately 90 feet west of the intersection of South Lake Boulevard and Cherry Lane. The property contains and existing two (2) story residence with a garage, and asphalt driveways at the front and rear of the property and the remainder is grass. The existing property contains 23,591 square feet of land.

The Proposed Project consists of the demolition of all existing buildings and pavement areas and constructing a new multi-family residence with parking at the rear of the property. The project as designed will require two curb cuts and the opening of South Lake Boulevard for the installation of the new water and sewer service laterals.

NYC DEP Rules and Regulation for Protection from Contamination, Degradation and Pollution

The proposed project meets the threshold of Watershed Regulations Section 18-39(b)(4)(x) "Construction of an impervious surface in the East of Hudson Watershed in a Designated Main Street Area". The proposed project has a substantial increase in impervious area (i.e. building footprint, driveway, parking area, etc.) which is also proposed to be properly collected and treated with a proposed infiltration system as per the New York State Best Management Practices Design Manual. The proposed system allows the runoff from the newly created impervious areas to be collected with trench drains and drain inlets and piped to a Cultec infiltration system.

There are no known enforcement actions commenced against the applicant for any alleged violations of law related to the site or activity for which approval is being sought within the last five (5) years.

USDA Web Soil Survey Information

As per the USDA Web Soil Survey the property contains 89.9% of Urban Land (Uf), 9.5% of Charlton-Chatfield Complex (CrC), and 0.7% Water (W). The site is predominately ledge rock which prohibits the installation of an infiltration system to allow runoff to percolate into the soil. The proposed drainage system is designed to collect the 25 year storm event and route it into the existing catch basins on South Lake Boulevard and Route 6 and providing and net zero increase in runoff.

Required Permits and Approvals

The project requires the following approvals in order to obtain a building permit to construct the project:

1. Local Zoning Board Approval for approval of a multifamily use in a commercial district.
2. Local Planning Board Approval for approval of site design of project.
3. Architectural Board Approval for approval of building aesthetics.
4. NYC Department of Environmental Protection for approval to work within the proximity of the watershed.
5. NYS Department of Transportation Permit for ingress/egress to site and connection to catch basins since the project site is located on a state road (NY Route 6 and 6N).
6. Local building and engineering department approvals for issuances of building permits.

Construction Phasing

The following is the Construction Phasing for the Proposed Project once all approvals and permits are granted :

1. SITE PREPARATION AND SITE DEMOLITION
   a. Install Construction Fence and Silt Fence around perimeter of the disturbance area.
   b. Demolition of existing buildings and pavement areas.

2. SITE EXCAVATION AND ROUGH GRADING
   a. Excavation for Proposed Building

3. CONSTRUCTION OF NEW RESIDENCE AND DRIVEWAY
   a. Install footings and foundation for new Building
   b. Backfill around new Building
   c. Excavate and install drainage structures and infiltrators
   d. Rough grade site
   e. Construct Building
   f. Fine grade property
   g. Landscape and install lawn
   h. Pave driveway and walkways
   i. Clean up

During construction materials, such as lumber, masonry, etc., will be stored at the site for the construction of the improvements. All construction waste materials will be disposed of in containers and properly carted off site. All excavated material (i.e. soil and rock) will be carted off site and legally disposed of. During the construction processes the erosion control devices will be inspected and maintained to insure proper functionality of the devices.

Stormwater Design for Project

The stormwater system design for the site utilizes the infiltration practices as described in the NYS Stormwater Design Manual. The proposed system collects the runoff from the proposed building from the gutters and leader system of the proposed building and channeled to the proposed subsurface infiltration system via solid polyvinyl chloride pipes. The stormwater runoff from the paved areas (i.e. driveways and parking area) are proposed to be pitched to proposed trench drains along the bottom of the driveways and drain inlets at the upper parking areas. The proposed trench drains and drain lets will be provided with a two foot (2'-0") sump to allow and sediment or siltation to settle prior to discharging the runoff into the proposed subsurface infiltration system. The subsurface stormwater infiltration system is designed for a twenty-five (25) year storm event. The proposed infiltration system has also been designed with an overflow system in the event of a large surge of rainfall greater than the twenty-five (25) year storm. The proposed infiltration system at the north side of the property has an overflow discharge pipe connecting to the existing catch basin on NY Route 6N at the northwest corner of the site. The proposed infiltration systems at the south side of the property have overflow systems which connect to the existing catch basing on NY Route 6 at the southeast corner of the site.

Conclusion

The proposed project, as designed, properly protects the existing watershed from contamination, degradation and/or pollution during the construction phase and paost construction phases. The proposed stormwater drainage system allows for the proper handling of the created runoff impervious areas. If you have any questions, or if you need any additional information, please do not hesitate to call me at (914) 920-6372. I can also be reached via electronic mail at michaelm@masengpc.com.

Sincerely,

Michael Mastrogiacomo, P.E., L.S.
New York State P.E. Lic. No. 083853
New York State L.S. Lic. Bo. 051124
Connecticut Combined P.E. & L.S. Lic. No. 21713

Short Environmental Assessment Form
Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information

Name of Action or Project:
910 S. LAKE BLVD HOTEL

Project Location (describe, and attach a location map):
910 SOUTH LAKE BLVD, TOWN OF CARMEL, NEW YORK

Brief Description of Proposed Action:
DEMOLITION OF 2 EXISTING STRUCTURES AND CONSTRUCTION OF NEW 24 ROOM HOTEL WITH AMENITIES AND ASSOCIATED PARKING LOT AND DRIVEWAY.

Name of Applicant or Sponsor:	Telephone: 914-804-4475
910 SOUTH LAKE LLC	E-Mail: LOU@CARDILLO.CO

Address:
57 ROUTE 6, SUITE 204

City/PO:	State:	Zip Code:
BALDWIN PLACE	NY	10505

	NO	YES
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.	☑	☐
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: BUILDING PERMIT FROM BUIDLING DEPARTMENT, NYCDEP & NYSDOT PERMITS	☐	☑

3. a. Total acreage of the site of the proposed action? 0.542 acres
   b. Total acreage to be physically disturbed? 0.542 acres
   c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 0.542 acres

4. Check all land uses that occur on, are adjoining or near the proposed action:
   ☐ Urban ☐ Rural (non-agriculture) ☐ Industrial ☑ Commercial ☐ Residential (suburban)
   ☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other(Specify):
   ☐ Parkland

	NO	YES	N/A
5. Is the proposed action,			
a. A permitted use under the zoning regulations?	☐	☑	☐
b. Consistent with the adopted comprehensive plan?	☐	☑	☐

	NO	YES
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	☐	☑

	NO	YES
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?		
If Yes, identify: _____	☑	☐

	NO	YES
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	☑	☐
b. Are public transportation services available at or near the site of the proposed action?	☐	☑
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	☑	☐

	NO	YES
9. Does the proposed action meet or exceed the state energy code requirements?		
If the proposed action will exceed requirements, describe design features and technologies:		
CONSTRUCTION OF THE NEW HOTEL WILL MEET OR EXCEED STATE ENERGY CODE REQUIREMENTS BY USING SPRAY FOAM INSULATION AND NEWER CONSTRCUTION MATERIALS.	☐	☑

	NO	YES
10. Will the proposed action connect to an existing public/private water supply?		
If No, describe method for providing potable water: _____	☐	☑

	NO	YES
11. Will the proposed action connect to existing wastewater utilities?		
If No, describe method for providing wastewater treatment: _____	☐	☑

	NO	YES
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	☑	☐
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	☑	☐

	NO	YES
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	☑	☐
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	☑	☐
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____		

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:

☐ Shoreline ☐ Forest ☐ Agricultural/grasslands ☐ Early mid-successional

☐ Wetland ☐ Urban ☑ Suburban

	NO	YES
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	☑	☐
16. Is the project site located in the 100-year flood plan?	☑	☐
17. Will the proposed action create storm water discharge, either from point or non-point sources?	☐	☑
If Yes,		
a. Will storm water discharges flow to adjacent properties?	☑	☐
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	☐	☑
If Yes, briefly describe:		
ON-SITE STORMWATER SYSTEMS HAS BEEN DESIGNED FOR INFILTRATION AND WILL ALSO OVERFLOW INTO EXISTING STORM DRAIN STRUCTURES ON ROUTE 6 AND ROUTE 6N.		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	☑	☐
If Yes, explain the purpose and size of the impoundment:		
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	☑	☐
If Yes, describe:		
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	☑	☐
If Yes, describe:		

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor/name: MICHAEL MASTROGIACOMO Date: 02/27/2023

Signature: _____ Title: P.E.

PRINT FORM

GENERAL NOTES

GENERAL

1. STANDARDS OF CONSTRUCTION: ALL CONSTRUCTION SHALL CONFORM TO THE TOWN OF CARMEL STANDARDS, RULES AND REGULATIONS REGARDLESS OF WHAT MAY BE INDICATED ON THE PLANS.

2. IMPORTED FILL: IF THE SITE REQUIRES IMPORTED FILL IN THE PROPOSED MUNICIPAL RIGHT OF WAY OR MUNICIPAL OWNED PROPERTY, ALL FILL MUST BE TESTED FOR COMPOSITION AND CHEMICALS IN ACCORDANCE WITH TOWN ENGINEER DIRECTIONS AND AT THE FULL EXPENSE OF THE OWNER. THESE TEST RESULTS MUST BE RECEIVED PRIOR TO DEPOSITING MATERIAL ON MUNICIPAL PROPERTY. A LICENSED PROFESSIONAL ENGINEER MUST BE ON SITE TO APPROVE THE FILL, KEEP RECORDS, AND REVIEW THE CHAIN OF CUSTODY DOCUMENTATION OF EACH TRUCK BROUGHT TO THE SITE. THE REQUIRED NUMBER OF SAMPLES MUST BE TAKEN AND TESTED BY A NEW YORK STATE CERTIFIED LABORATORY. IN ADDITION, POLLUTION INSURANCE MUST BE PROVIDED PRIOR TO CONSTRUCTION, IN THE AMOUNT TO BE DETERMINED BY THE TOWN ENGINEER.

3. EROSION, DUST & SEDIMENT CONTROL: THE DEVELOPER SHALL BE RESPONSIBLE FOR PROVIDING PROPER EROSION, SEDIMENT AND DUST CONTROL. ALL EROSION AND SEDIMENT CONTROL MUST BE SIZED AND DESIGNED IN ACCORDANCE WITH THE STANDARDS AND GUIDELINES PRESENTED IN THE LATEST NYSDEC REGULATIONS. THE DEVELOPER SHALL SUBMIT TO THE COMMISSIONER FOR APPROVAL, A PLAN WITH DETAILS DELINEATING THE METHODS HE INTENDS TO USE FOR EROSION, SEDIMENTATION AND DUST CONTROL DURING THE CONSTRUCTION OF THIS PROJECT. SILT PROTECTION AND ANY WATER RETENTION BASINS WILL BE THE FIRST ITEMS OF CONSTRUCTION. THE EROSION, SEDIMENTATION AND DUST CONTROLS MUST BE MAINTAINED THROUGHOUT CONSTRUCTION OR A STOP WORK ORDER WILL BE ISSUED BY TOWN ENGINEER.

4. ELEVATION DATUM: ELEVATIONS SHOWN ON THE PLANS ARE FROM THE FIELD SURVEY IN NAVD 88.

5. INDUSTRIAL CODE RULE '753: THE DEVELOPER SHALL NOTIFY ALL UTILITY COMPANIES 72 HOURS PRIOR TO THE START OF HIS OPERATIONS AND SHALL COMPLY WITH ALL THE LATEST INDUSTRIAL CODE RULE 753 REGULATIONS.

6. VERIFICATION AND PROTECTION OF EXISTING UTILITIES: THE DEVELOPER SHALL VERIFY THE SIZE, LOCATION, DEPTH AND INVERTS OF ALL EXISTING UTILITIES PRIOR TO COMMENCING HIS OPERATIONS. THE DEVELOPER SHALL PRESERVE AND PROTECT EXISTING PRIVATE AND MUNICIPAL UNDERGROUND AND OVERHEAD UTILITIES AND STRUCTURES, WHETHER OR NOT THEY ARE SHOWN ON THE APPROVED PLANS OR LOCATED UNDER INDUSTRIAL CODE RULE '753. THE COST OF REPAIRING DAMAGED UTILITIES OR STRUCTURES SHALL BE BORNE BY THE DEVELOPER. IF TEMPORARY UTILITIES ARE REQUIRED IT IS THE RESPONSIBILITY OF THE DEVELOPER TO PROVIDE AND MAINTAIN SAID UTILITIES.

7. PIPE LAYOUT: THE DEVELOPER SHALL PERFORM ALL PROPOSED PIPE LAYOUT REQUIRED BY MEANS OF A LASER FOR EXACT VERTICAL AND HORIZONTAL ALIGNMENT. THE USE OF BATTER BOARDS, AS SPECIFIED IN THE MUNICIPAL STANDARD CONSTRUCTION SPECIFICATIONS ARTICLE 33.132 - "LAYOUT", SHALL NOT BE ALLOWED. THE DEVELOPER'S EQUIPMENT MUST HAVE BEEN CALIBRATED WITHIN THE PREVIOUS SIX (6) MONTHS PRIOR TO CONSTRUCTION. WRITTEN PROOF OF CALIBRATION MUST BE PROVIDED IF REQUIRED BY THE TOWN ENGINEER.

8. INSPECTION & BACKFILL: NO BACKFILL SHALL BE PLACED OVER NEW CONSTRUCTION PRIOR TO INSPECTION AND APPROVAL BY TOWN ENGINEER. THE DEVELOPER MUST HAVE A SUFFICIENT STOCKPILE OF CLEAN FILL IF EXCAVATED MATERIAL IS UNSUITABLE FOR BACKFILL (IE., ROCK, ORGANIC MATERIAL). THE USE OF CONTROLLED BACKFILL MATERIAL MAY BE REQUIRED IN TRENCHES IF DETERMINED BY THE TOWN ENGINEER.

EROSION CONTROL:

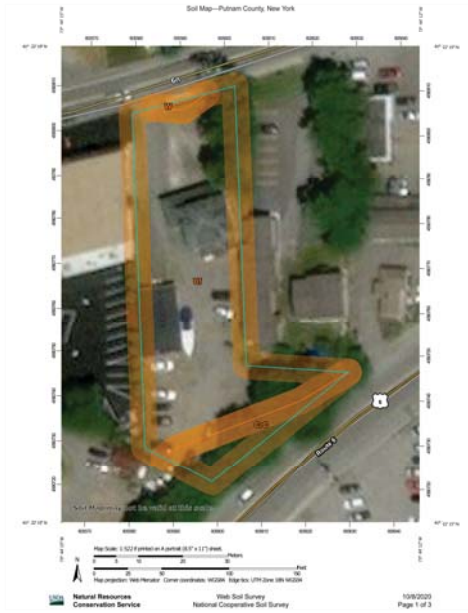
1. INSTALL ALL EROSION CONTROL DEVICES AS INDICATED ON DRAWINGS AND IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS & SPECIFICATIONS FOR EROSION & SEDIMENT CONTROL, LATEST REVISION.
2. CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES DURING COURSE OF CONSTRUCTION.
3. EROSION CONTROL DEVICES SHALL NOT BE REMOVED UNTIL FULL VEGETATION GROWTH HAS OCCURRED AND AS APPROVED BY THE TOWN INSPECTOR.
4. SEEDING AND MULCHING SHALL BE AS FOLLOWS:
   TEMPORARY SEEDING & MULCHING
   - 4.1. LIME : 90LBS./1,000 SQ.FT. GROUND LIMESTONE, FERTILIZER : 4LBS./1,000 SQ.FT., 10-20-10 OR EQUIVALENT WORKED INTO SOIL A MINIMUM OF 4 INCHES.
   - 4.2. SEED : ANNUAL RYEGRASS 40 LBS./ACRE OR OTHER APPROVED SEED, PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
   - 4.3. MULCH : SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 70 TO 90 LBS./1,000 SQ.FT. TO BE APPLIED ACCORDING TO STANDARD PRACTICES. MULCH SHALL BE SECURED BY APPROVED METHODS.

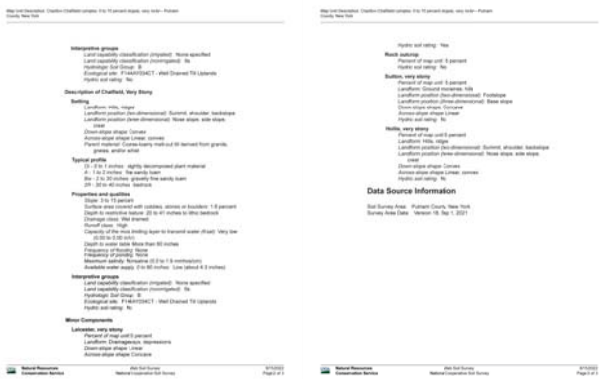
5. THE APPLICANT SHALL BE REQUIRED TO CLEAN ROADWAYS FROM ALL SILTATION AND CONSTRUCTION DEBRIS AS REQUIRED, AND UPON COMPLETION OF THE WORK, WITHIN THE VICINITY OF THE PROJECT SITE
6. ALL PLANS SHOULD FULLY INCORPORATE THE APPROPRIATE RECOMMENDATIONS FROM NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION'S STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL DATED AUGUST 2001, OR THE MOST CURRENT VERSION OR ITS SUCCESSOR. THE PLAN AND ITS IMPLEMENTATION SHALL BE SUBJECT TO THE APPROVAL OF THE TOWN ENGINEER.

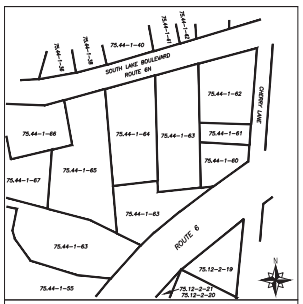
SITE WORK:

1. THE SITE SHALL BE GRADED AS INDICATED ON THE DRAWINGS. ALL PROPOSED CONTOURS SHALL BE GRADED TO BLEND EVENLY WITH THE EXISTING CONTOURS.
2. ALL DISTURBED AREAS WHICH WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECTED TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH SALT HAY, OR APPROVED EQUAL, AND BOUND AS PER THE NEW YORK STATE STANDARDS & SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
3. FILL MATERIAL SHALL BE CLEAN FILL AND SHALL BE INSTALLED IN 12 INCH LIFTS AND COMPACTED TO 95% OPTIMUM DENSITY.
4. ALL STORM DRAIN PIPES SHALL BE H.D.P.E. PIPES UNLESS OTHERWISE NOTED.
5. ALL GRAVEL SHALL BE 3/4" CRUSHED STONE OR RECYCLED MATERIAL IF ALLOWED BY THE MUNICIPALITY.
6. MAINTAIN POSITIVE PITCHES ON ALL DRAIN PIPES TO EXISTING & PROPOSED DRAINAGE STRUCTURES UNLESS OTHERWISE NOTED HEREON.
7. PIPE LAYOUT MUST MEET TOWN CODE.

WEB SOIL SURVEY DATA







AREA MAP SCALE: 1" = 100' +\-

ADJOINING OWNERS

White Hill Management Corp.
900 S. Lake Blvd.
Mahopac, NY 10541
75.44-1-65

Dynamite Properties Corp.
56 Paganio Dr.
Mahopac, Ny 10541
75.44-1-56

Mr. Guo Group LLC
914 S. Lake Blvd.
Mahopac, NY 10541
75.44-1-63

White Hill Management Corp.
900 S. Lake Blvd.
Mahopac, NY 10541
75.44-1-66

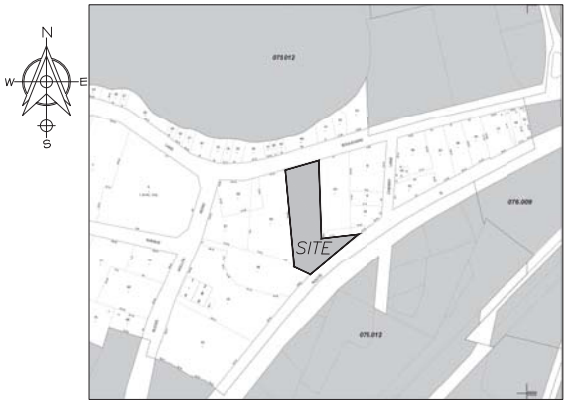
White Hill Management Corp.
900 S. Lake Blvd.
Mahopac, NY 10541
75.44-1-67

Palladino Realty Mgmt LLC
PO Box 501
Brewster, NY 10509
75.44-1-60

Joo & Kevin Corp.
215 East Hartsdale Ave. Fl. 2
Palisades Park, NJ 07650
75.44-1-61

Nadia Pinchas
213 Shear Hill Rd.
Mahopac, NY 10541
75.44-1-62

1 AREA MAP & ADJOINING OWNERS LIST
SCALE : 1"=100' +/-



1 VICINITY MAP
SCALE : 1"=150'

MASTROGIACOMO ENGINEERING, P.C.
CONSULTING ENGINEERING & LAND SURVEYING
49 Milltail Avenue, Suite 109
Park Chester, New York 10598
TEL. 914.666.0570 FAX. 914.666.0666
www.mastrogiacomo.com

All ideas, designs, arrangements and plans indicated or represented are owned by and the property of this office and were created, evolved and developed for use and in connection with this specific project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation for any purpose whatsoever without written permission of Mastrogiacomo Engineering, P.C.

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variation from these dimensions and conditions shown hereon in writing.

Unauthorized alterations or additions to drawings, misappropriate is a violation of Section 7209, Sub-Division 2, of the New York State Education Law.

Revisions

1	11.20.2020 Town Comments
2	07.22.2021 Redesign Building & Site
3	11.22.2021 Revisions per Staff Comments
4	01.17.2022 Revise application for Hotel
5	03.11.2022 Revise application for Hotel
6	05.12.2022 Revise application for Hotel
7	09.19.2022 Revise application for Hotel
8	01.24.2023 Revise application to respond to staff Comments
9	
10	
11	

Drawing North

Client Name and Address

910 SOUTH LAKE LLC
57 ROUTE 6
SUITE 204
BALDWIN PLACE, NY
10505

Project Information

PROPOSED HOTEL
Situated At
910 S. LAKE BLVD
TOWN OF CARMEL
PUTNAM CO.
NEW YORK

Job No.	20-078
Scale	AS NOTED
Date	8 OCT 2020
Drawn By	M.M.
Checked By	M.M.

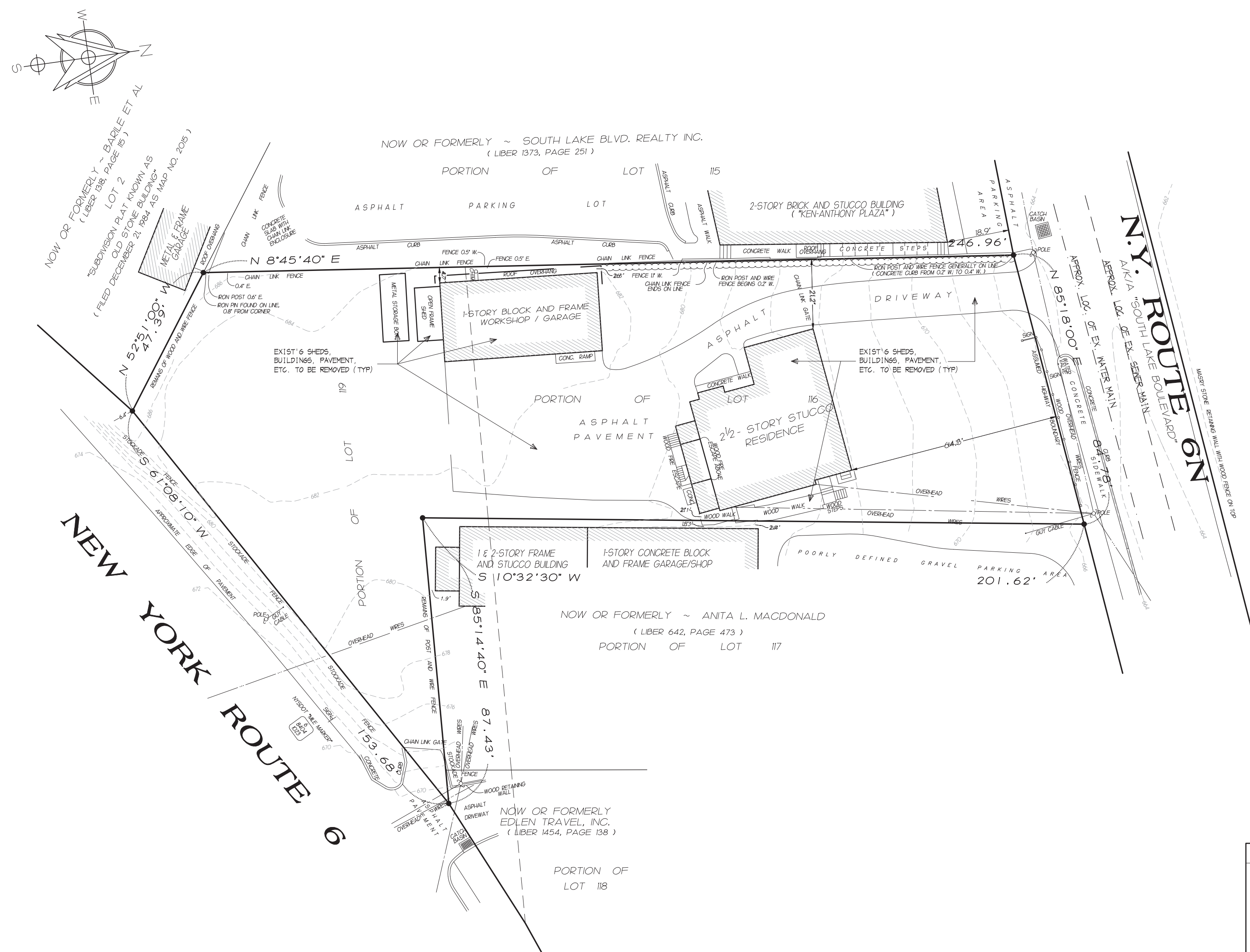
Sheet

C001

Seal & Signature

MICHAEL MASTROGIACOMO, P.E./L.S.
NEW YORK STATE PE. LIC. NO. 082613
NEW YORK STATE LS. LIC. NO. 050854
CONNECTICUT STATE PE. & LS. LIC. NO. 219

Sheet Title
TITLE SHEET & GENERAL NOTES



LEGEND

TW 671.0 / BW 670.0	PROPOSED TOP & BOTTOM OF WALL ELEVATIONS
(670)	PROPOSED CONTOURS
682	EXISTING CONTOURS
	PROPOSED DRAINAGE STRUCTURE
	PROPOSED INFILTRATION UNIT
	PROPOSED DRAINAGE PIPE
4"FS	PROPOSED 4" FIRE SERVICE
2"WS	PROPOSED 2" WATER SERVICE
D.W.	PROPOSED DRILLED WELL
	PROPOSED RETAINING WALL

1 EXISTING CONDITIONS & SITE DEMOLITION PLAN

SCALE : 1"=15'

NOTE:

DIG SAFELY NY

PRIOR TO CONSTRUCTION, CONTRACTOR SHALL LOCATE ALL BURIED UTILITIES TO ENSURE THAT NO INTERFERENCE EXISTS DURING CONSTRUCTION ACTIVITIES

MASTROGIACOMO ENGINEERING, P.C.
CONSULTING ENGINEERING & LAND SURVEYING
10 Midland Avenue, Suite 100
Port Chester, New York 10573
Tel. 914.920.6572 Fax 206.388.6226
www.masengpc.com
LICENSED IN NEW YORK & CONNECTICUT

All ideas, designs, arrangements and plans indicated or represented are owned by and the property of this office and were created, evolved and developed for use and in connection with this specific project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation for any purpose whatsoever without written permission of Mastrogiacomo Engineering, P.C.

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and condtions on the job and this office must be notified of any variation from these dimesions and conditions shown hereon in writting.

Unauthorized alterations or additions to drawings, maps and/or plats is a violation of Section 7209, Sub-Division 2, of the New York State Education Law.

Revisions

1	11.20.2020	Town Comments
2	07.22.2021	Redesign Building & Site
3	11.22.2021	Revisions per Staff Comments
4	01.17.2022	Revise application for Hotel
5	03.11.2022	Revise application for Hotel
6	08.12.2022	Revise application for Hotel
7	09.16.2022	Revise application for Hotel
8	01.29.2023	Revise application to respond to staff comments

Drawing North

Client Name and Address

910 SOUTH LAKE LLC

57 ROUTE 6
SUITE 204
BALDWIN PLACE, NY 10505

Project Information

PROPOSED HOTEL

Situated At
910 S. LAKE BLVD
TOWN OF CARMEL
PUTNAM CO.
NEW YORK

Sheet Title
EXISTING CONDITIONS & SITE DEMOLITION PLAN

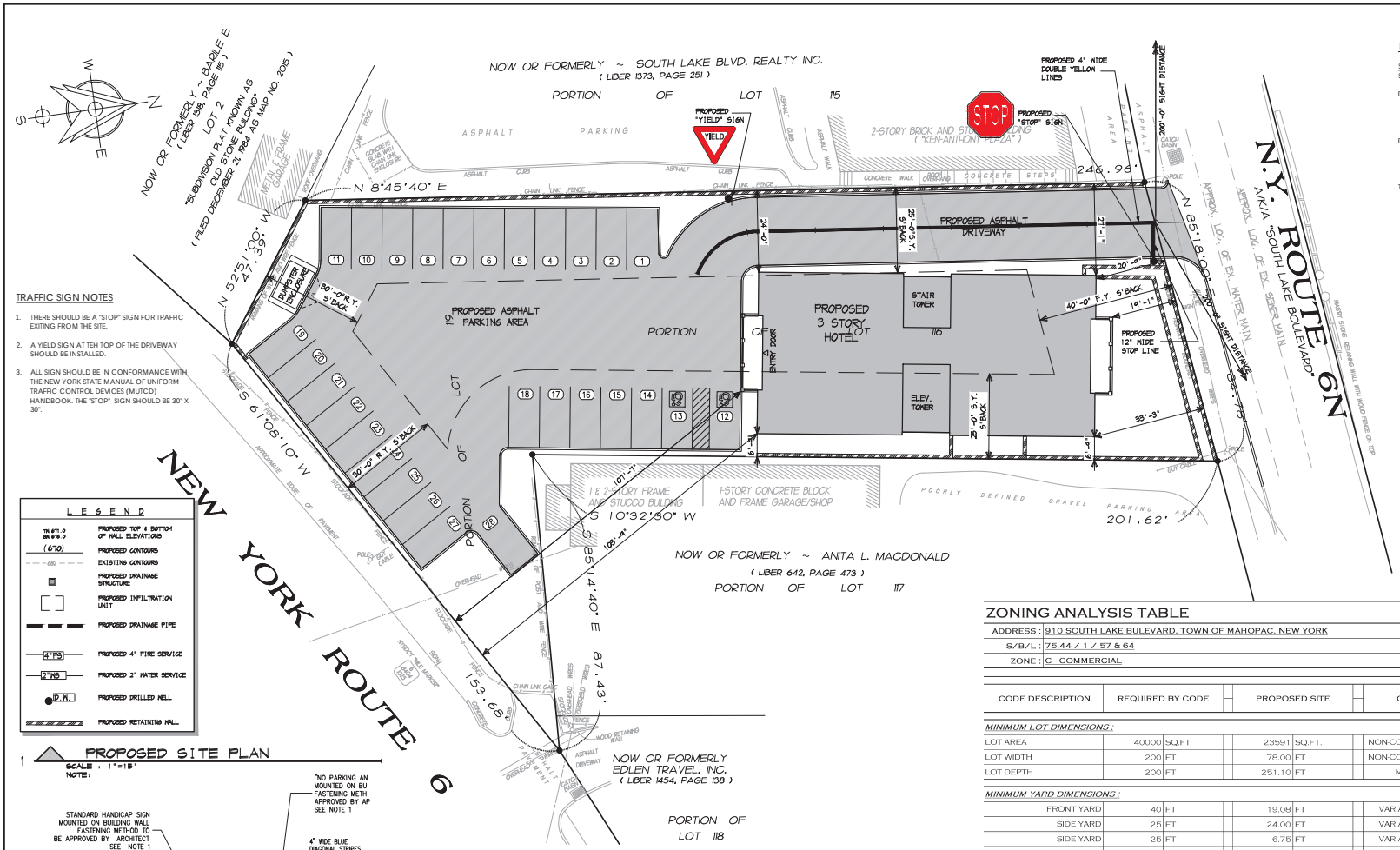
Job No.	20-078
Scale	AS NOTED
Date	8 OCT 2020
Drawn By	M.M.
Checked By	M.M.

Sheet

C100

Seal & Signature

MICHAEL MASTROGIACOMO, P.E.,L.S.
NEW YORK STATE P.E. LIC. NO. 083853
NEW YORK STATE L.S. LIC. NO. 051124
CONNECTICUT STATE P.E. & L.S. LIC. NO. 21713



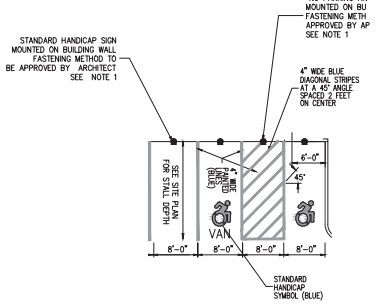
TRAFFIC SIGN NOTES

1. THERE SHOULD BE A "STOP" SIGN FOR TRAFFIC EXITING FROM THE SITE.
2. A YIELD SIGN AT TEH TOP OF THE DRIVEWAY SHOULD BE INSTALLED.
3. ALL SIGN SHOULD BE IN CONFORMANCE WITH THE NEW YORK STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) HANDBOOK. THE "STOP" SIGN SHOULD BE 30" X 30".

LEGEND

TA 671.0 BA 670.0	PROPOSED TOP & BOTTOM OF WALL ELEVATIONS
(670)	PROPOSED CONTOURS
682	EXISTING CONTOURS
	PROPOSED DRAINAGE STRUCTURE
	PROPOSED INFILTRATION UNIT
	PROPOSED DRAINAGE PIPE
4"FS	PROPOSED 4" FIRE SERVICE
2"WS	PROPOSED 2" WATER SERVICE
D.W.	PROPOSED DRILLED WELL
	PROPOSED RETAINING WALL

1 PROPOSED SITE PLAN
SCALE : 1"=15'
NOTE:

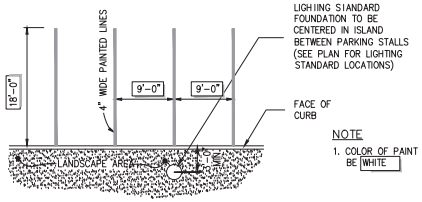


THEY SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT IN ACCORDANCE WITH SECTION 4.29.2, FEDERAL REGISTER, VOLUME 56, NO. 144, RULES AND REGULATIONS, APPENDIX A TO PART 36 - STANDARDS FOR ACCESSIBLE DESIGN (AMERICANS WITH DISABILITIES ACT), DATED JULY 26, 1991 AND SUBSEQUENT REVISIONS.

SLOPES IN HANDICAP PARKING AREAS SHALL NOT EXCEED 1.5%.

SEE SITE PLANS/SIGN TABLE FOR SIGN DESIGNATIONS, LOCATIONS AND SPECIFICATIONS.

A H.C. PARKING DETAIL
N.T.S.



NOTE
1. COLOR OF PAINT SHALL BE WHITE

B PARK'G DTL-90 DEG
N.T.S.

TRAFFIC DESIGN CALCULATIONS :

STOPING SIGHT DISTANCE REQUIRED
SSD = Dper + Dmp

Dper = DRIVERS PERCEPTION & REACTION DISTANCE
= 1.47*V*t V=30 MPH t=2.5 sec
= 1.47 * 30 * 2.5 = 110.25 FT

Dmp = 1.075 * (V²/a) V=30 MPH a=11.2 FT/s²
= 1.075 * ((30)² / 11.2) = 86.38 FT

THEREFORE, SSD = 110.25 + 86.38 = 196.63 FT MIN SIGHT DISTANCE REQUIRED

ZONING ANALYSIS TABLE

ADDRESS : 910 SOUTH LAKE BULEVARD, TOWN OF MAHOPAC, NEW YORK
S/B/L : 75.44 / 1 / 57 & 64
ZONE : C - COMMERCIAL

CODE DESCRIPTION	REQUIRED BY CODE	PROPOSED SITE	COMMENTS	VARIANCE REQUIRED YES	NO	% VARIANCE
MINIMUM LOT DIMENSIONS :						
LOT AREA	40000 SQ.FT	23591 SQ.FT.	NON-CONFORM'G, PRE-EX.	X		41.02%
LOT WIDTH	200 FT	78.00 FT	NON-CONFORM'G, PRE-EX.	X		61.00%
LOT DEPTH	200 FT	251.10 FT	MEETS CODE		X	
MINIMUM YARD DIMENSIONS :						
FRONT YARD	40 FT	19.08 FT	VARIANCE REQUIRED	X		52.30%
SIDE YARD	25 FT	24.00 FT	VARIANCE REQUIRED	X		4.00%
SIDE YARD	25 FT	6.75 FT	VARIANCE REQUIRED	X		73.00%
REAR YARD	30 FT	103.75 FT	MEETS CODE		X	
MAX. BUILDING HEIGHT	35 FT	28.58 FT	VARIANCE REQUIRED			-18.34%
MIN. REQ. FLOOR AREA	5000 SQ.FT.	11897 SQ.FT.	MEETS CODE		X	
		1ST FLR = 4631				
		2ND FLR = 4631				
		3RD FLR = 2635				
		TOTAL = 11897				
MAX. BUILDING COVER'G	30%	19.63%	MEETS CODE		X	
LOT AREA =	23591 SQ.FT.					
BLDG AREA =	4631 SQ.FT.					
BLDG COVERAGE =	4631 X 100% = 23591	19.63%				
REQUIRED PARKING	31	28	VARIANCE REQUIRED	X		9.68%
PER SECTION 156-36 (F)	1.25 ROOM	D.U. = 24	FOR LOADING SPACE			
		# SPACES = 30				
		LOAD'G SPC 1				
		TOT. REQ. 31				

MASTROGIACOMO ENGINEERING, P.C.
CONSULTING ENGINEERING & LAND SURVEYING
49 Milford Avenue, Suite 109
Stamford, New York 12167
TEL 607.652.6570 Fax 866.652.6570
www.mastrogiacomo.com
professional engineering & land surveying

All ideas, designs, arrangements and plans indicated or represented are owned by and the property of this office and were created, evolved and developed for use and in connection with this specific project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation for any purpose whatsoever without written permission of Mastrogiacomo Engineering, P.C.

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variation from these dimensions and conditions shown hereon in writing.

Unauthorized alterations or additions to drawings, maps and/or plats is a violation of Section 7209, Sub-Division 2, of the New York State Education Law.

Revisions

1	11.20.2020 Town Comments
2	07.22.2021 Redesign Building & Site
3	11.22.2021 Revisions per Staff Comments
4	01.17.2022 Revise application for Hotel
5	03.11.2022 Revise application for Hotel
6	05.12.2022 Revise application for Hotel
7	09.16.2022 Revise application for Hotel
8	01.24.2023 Revise application to respond to staff Comments

Drawing Northin

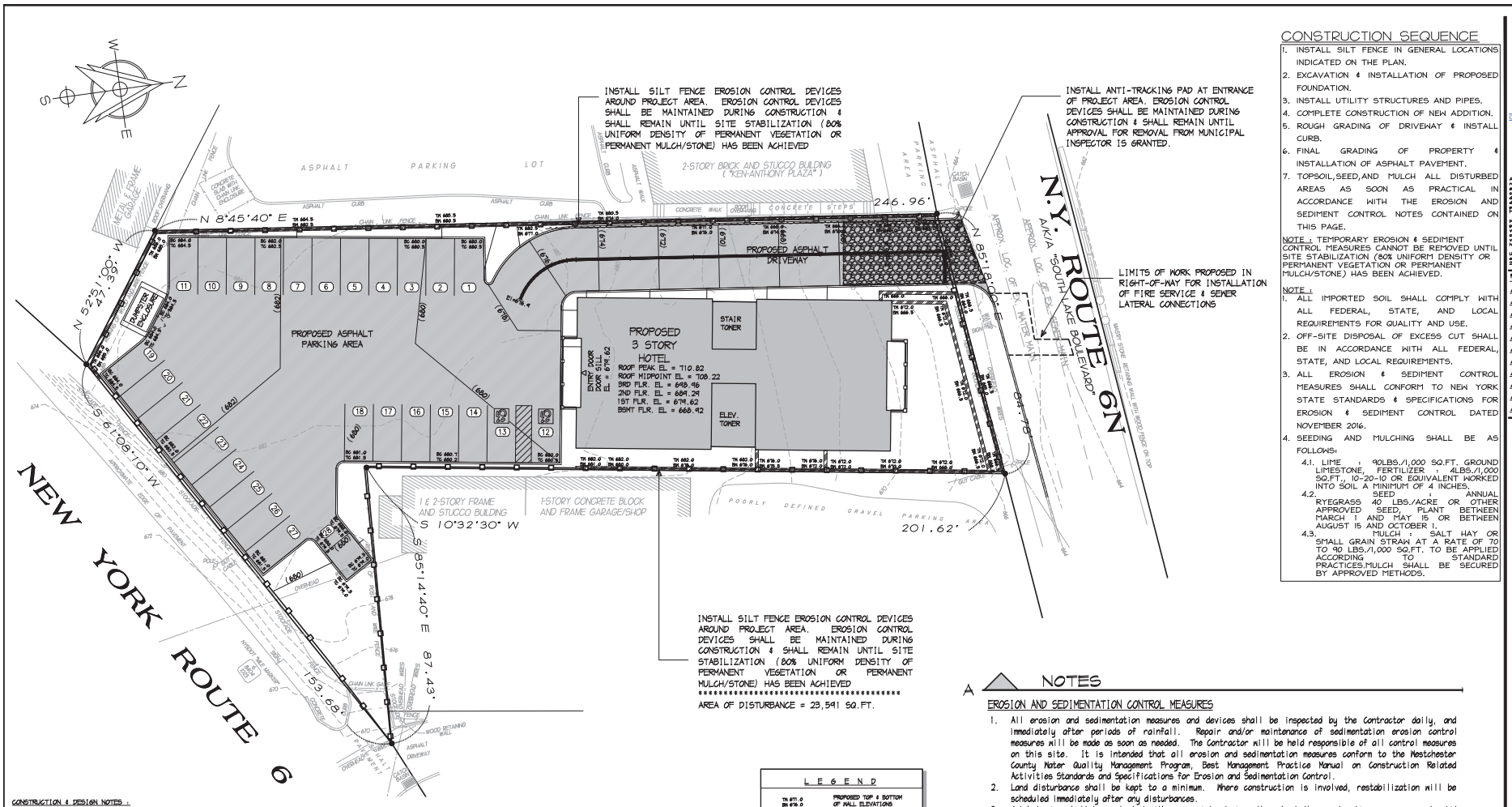
client Name and Address
910 SOUTH LAKE LLC
57 ROUTE 6
SUITE 204
BALDWIN PLACE, NY
10505

Project Information
PROPOSED HOTEL
Situated At
910 S. LAKE BLVD
TOWN OF CARMEL
PUTNAM CO.
NEW YORK

Job No.	20-078
Scale	AS NOTED
Date	8 OCT 2020
Drawn By	M.M.
Checked By	M.M.
Sheet	C101

Seal & Signature
MICHAEL MASTROGIACOMO, P.E./L.S.
NEW YORK STATE PE. LIC. NO. 082813
NEW YORK STATE LA. LIC. NO. 002868
CONNECTICUT STATE PE. & LA. LIC. NO. 29119

Sheet Title
PROPOSED SITE PLAN



CONSTRUCTION SEQUENCE

1. INSTALL SILT FENCE IN GENERAL LOCATIONS INDICATED ON THE PLAN.
2. EXCAVATION & INSTALLATION OF PROPOSED FOUNDATION.
3. INSTALL UTILITY STRUCTURES AND PIPES.
4. COMPLETE CONSTRUCTION OF NEW ADDITION.
5. ROUGH GRADING OF DRIVEWAY & INSTALL CURB.
6. FINAL GRADING OF PROPERTY & INSTALLATION OF ASPHALT PAVEMENT.
7. TOPSOIL,SEED,AND MULCH ALL DISTURBED AREAS AS SOON AS PRACTICAL IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL NOTES CONTAINED ON THIS PAGE.

NOTE : TEMPORARY EROSION & SEDIMENT CONTROL MEASURES CANNOT BE REMOVED UNTIL SITE STABILIZATION (80% UNIFORM DENSITY OR PERMANENT VEGETATION OR PERMANENT MULCH/STONE) HAS BEEN ACHIEVED.

NOTE :

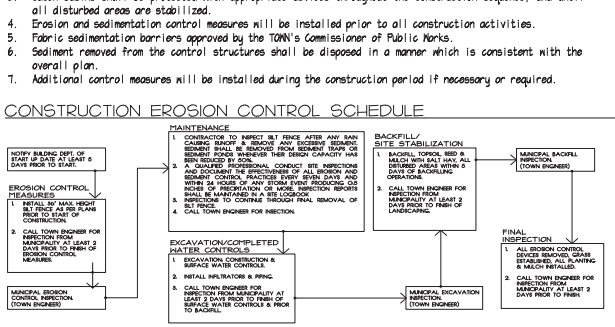
1. ALL IMPORTED SOIL SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL REQUIREMENTS FOR QUALITY AND USE.
2. OFF-SITE DISPOSAL OF EXCESS CUT SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REQUIREMENTS.
3. ALL EROSION & SEDIMENT CONTROL MEASURES SHALL CONFORM TO NEW YORK STATE STANDARDS & SPECIFICATIONS FOR EROSION & SEDIMENT CONTROL DATED NOVEMBER 2016.
4. SEEDING AND MULCHING SHALL BE AS FOLLOWS:
   - 4.1. LIME : 90LBS./1,000 SQ.FT. GROUND LIMESTONE, FERTILIZER : 4LBS./1,000 SQ.FT., 10-20-10 OR EQUIVALENT WORKED INTO SOIL A MINIMUM OF 4 INCHES.
   - 4.2. SEED : ANNUAL RYEGRASS 40 LBS./ACRE OR OTHER APPROVED SEED, PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
   - 4.3. MULCH : SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 70 TO 90 LBS./1,000 SQ.FT. TO BE APPLIED ACCORDING TO STANDARD PRACTICES.MULCH SHALL BE SECURED BY APPROVED METHODS.

A NOTES

EROSION AND SEDIMENTATION CONTROL MEASURES

1. All erosion and sedimentation measures and devices shall be inspected by the Contractor daily, and immediately after periods of rainfall. Repair and/or maintenance of sedimentation erosion control measures will be made as soon as needed. The Contractor will be held responsible of all control measures on this site. It is intended that all erosion and sedimentation measures conform to the Westchester County Water Quality Management Program, Best Management Practice Manual on Construction Related Activities Standards and Specifications for Erosion and Sedimentation Control.
2. Land disturbance shall be kept to a minimum. Where construction is involved, restabilization will be scheduled immediately after any disturbances.
3. Catch basins shall be protected with appropriate devices throughout the construction sequence, and until all disturbed areas are stabilized.
4. Erosion and sedimentation control measures will be installed prior to all construction activities.
5. Fabric sedimentation barriers approved by the TOWN's Commissioner of Public Works.
6. Sediment removed from the control structures shall be disposed in a manner which is consistent with the overall plan.
7. Additional control measures will be installed during the construction period if necessary or required.

CONSTRUCTION EROSION CONTROL SCHEDULE



CONSTRUCTION & DESIGN NOTES :

1. WHERE NEW CONNECTIONS ARE MADE TO EXISTING SANITARY SEWER & STORM DRAIN STRUCTURES, THE STRUCTURES SHALL BE INSPECTED FOR CAPATOWN & STRUCTURAL INTEGRITY TO VERIFY THE STRUCTURES CAN SAFELY ACCEPT THE PROPOSED CONNECTIONS & ADDITIONAL FLOWS & A REPORT SHALL BE SUBMITTED TO DPW PRIOR TO CONNECTION OF UTILITIES.
2. ALL IMPORTED FILL FOR SITE DEVELOPMENT SHALL HAVE DOCUMENTATION CERTIFYING THE MATERIAL IS CLEAN & FREE OF CONTAMINANTS & SHALL BE SUBMITTED TO DPW FOR APPROVAL PRIOR TO PLACING OF MATERIAL. IF DOCUMENTATION IS NOT AVAILABLE, SOIL SAMPLES MUST BE TAKEN & TESTED FOR COMPOSITION & CHEMICALS, AT THE APPLICANT'S EXPENSE, & CERTIFIED BY A SOIL TESTING LABORATORY TO ENSURE THERE ARE NO CONTAMINANTS PRESENT AND RESULTS SHALL BE SUBMITTED & APPROVED BY DPW PRIOR TO PLACEMENT OF SOIL.
3. ALL CONSTRUCTION UNDER THE JURISDICTION OF DPW MUST BE IN CONFORMANCE WITH DPW STANDARDS REGARDLESS OF WHAT MAY BE SHOWN ON THE PLANS. ALL MATERIAL USED WITHIN THE MUNICIPAL RIGHT-OF-WAY MUST BE DOMESTIC MADE AND/OR MUST COMPLY WITH THE LATEST REVISION OF "BUY AMERICAN PROVISIONS OF TEH AMERICAN RECOVERY AND REINVESTMENT ACT OF 2009". PRIOR TO DELIVERY OF MATERIALS, APPLICATION SHALL SUBMIT SHOP DRAWINGS AND/OR CATALOG CUT SHEETS TO DPW FOR REVIEW AND APPROVAL.
4. BACKFLOW PREVENTION DEVICES SHALL BE SUBMITTED & APPROVED BY DOH PRIOR TO INSTALLATION. AFTER INSTALLATION THE DEVICES SHALL BE TESTED BY A CERTIFIED TESTER & INSPECTED BY THE DESIGN PROFESSIONAL & A COMPLETED DOH-1013 SHALL BE SUBMITTED TO THE TOWN, AS THE WATER PURVEYOR, & DOH PRIOR TO ISSUANCE OF A TCO.
5. ALL CONSTRUCTION OF STORMWATER FACILITIES MUST BE UNDER THE SUPERVISION OF THE STORMWATER DESIGN PROFESSIONAL. TO ENSURE PROPER MAINTENANCE OF THE STORMWATER DEVICES, AS-BUILT DRAWING SIGNED & SEALED BY THE DESIGN ENGINEER OR LAND SURVEYOR SHALL BE SUBMITTED TO DPW & A TYPICAL ESCROW ACCOUNT MUST BE ESTABLISHED FOR THE MAINTENANCE OF THE PERMANENT STORMWATER FACILITIES. THE COMMISSIONER OF PUBLIC WORKS HAS THE RIGHT TO UTILIZE THIS ESCROW ACCOUNT TO PERFORM MAINTENANCE WORK SHOULD THE OWNER FAIL TO BE RESPONSIVE. FURTHER, THE DPW, SHOULD THEY BE REQUIRED TO CONTRACT THE WORK, WILL RECEIVE AN ADDITIONAL 20% OF ALL COSTS AS AN ADMINISTRATIVE FEE. A STANDARD DPW STORMWATER MAINTENANCE AGREEMENT MUST BE EXECUTED WITH THE TOWN, APPROVED BY THE CORPORATION COUNSEL, PRIOR TO ISSUANCE OF A TCO.

Dig Safely. New York Call 811 before you dig

DIG SAFELY NY

PRIOR TO CONSTRUCTION, CONTRACTOR SHALL LOCATE ALL BURIED UTILITIES TO ENSURE THAT NO INTERFERENCE EXISTS DURING CONSTRUCTION ACTIVITIES

1 PROPOSED GRADING & EROSION CONTROL PLAN

SCALE : 1"=15'

NOTE: 1. COMPUTED EARTHWORK : CUT = 2,100 C.Y. FILL = 0.00 C.Y.
2. ALL FILL BROUGHT TO SITE MUST BE CERTIFIED PER NYSDEC REGULATIONS & MANIFESTS/CERTIFICATIONS OF FILL MATERIAL BEING DELIVERED SHOULD BE PROVIDED.

MASTROGIACOMO ENGINEERING, P.C.
CONSULTING ENGINEERING & LAND SURVEYING
49 Milford Avenue, Suite 109
Stark Elevator, New York 10598
TEL 914.000.0000 Office 000.000.0000
www.mastrogiacomo.com

All ideas, designs, arrangements and plans indicated or represented are owned by and the property of this office and were created, evolved and developed for use and in connection with this specific project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation for any purpose whatsoever without written permission of Mastrogiacomo Engineering, P.C.

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variation from these dimensions and conditions shown hereon in writing.

Unauthorized alterations or additions to drawings, maps and/or plats is a violation of Section 7209, Sub-Division 2, of the New York State Education Law.

Revisions

1	11.20.2020 Town Comments
2	07.22.2021 Redesign Building & Site
3	11.22.2021 Revisions per Staff Comments
4	01.17.2022 Revise application for Hotel
5	03.11.2022 Revise application for Hotel
6	05.12.2022 Revise application for Hotel
7	09.19.2022 Revise application for Hotel
8	01.24.2023 Revise application to respond to staff Comments

Drawing North

Client Name and Address

910 SOUTH LAKE LLC
57 ROUTE 6
SUITE 204
BALDWIN PLACE, NY
10505

Project Information

PROPOSED HOTEL
Situated At
910 S. LAKE BLVD
TOWN OF CARMEL
PUTNAM CO.
NEW YORK

Job No.	20-078
Scale	AS NOTED
Date	8 OCT 2020
Drawn By	M.M.
Checked By	M.M.

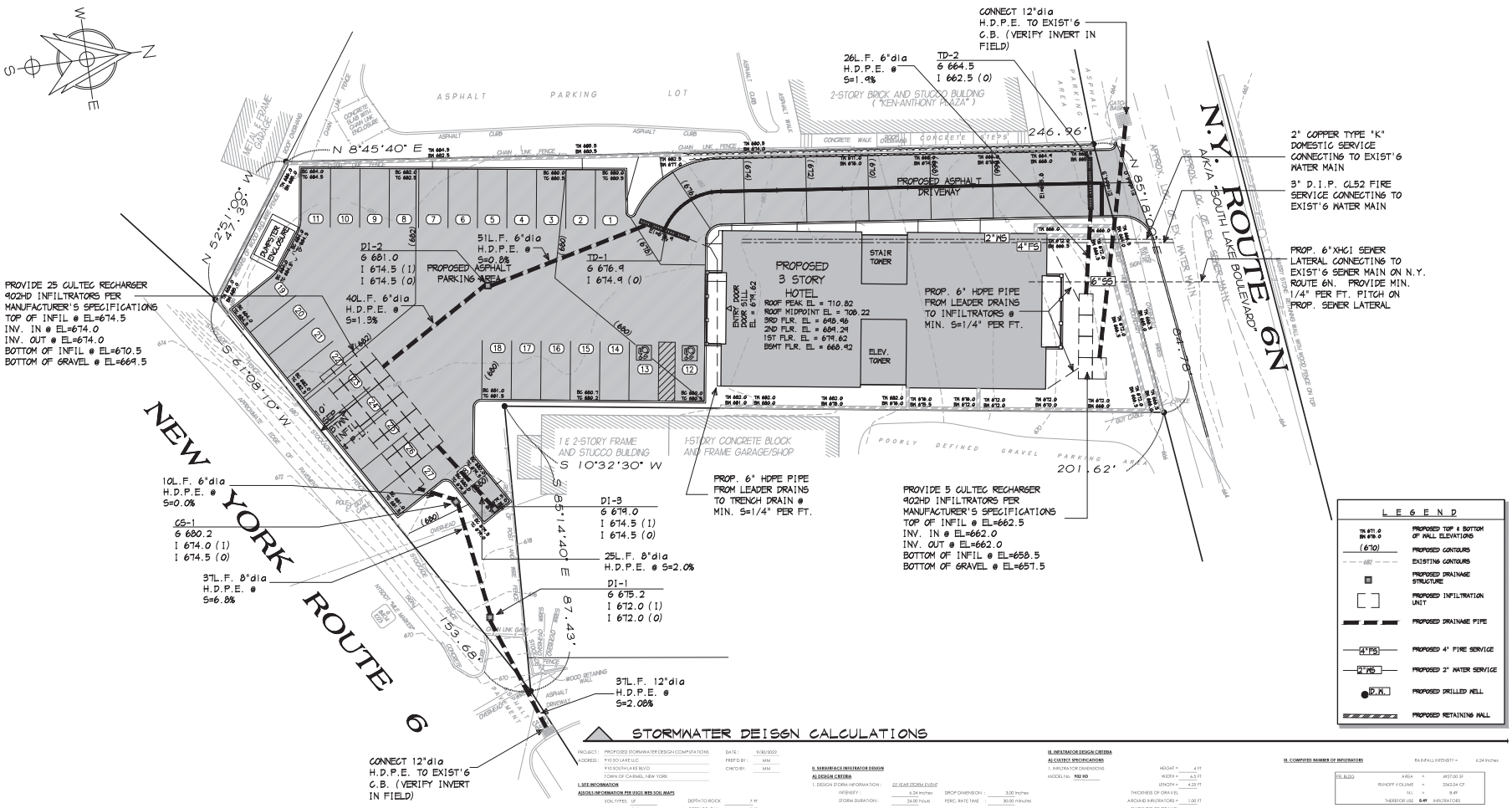
Sheet

C102

Seal & Signature

MICHAEL MASTROGIACOMO, P.E./L.S.
NEW YORK STATE PE, LIC. NO. 082859
NEW YORK STATE LS, LIC. NO. 050854
CONNECTICUT STATE PE & LS, LIC. NO. 21719

Sheet Title
PROPOSED GRADING & EROSION CONTROL PLAN



PROPOSED UTILITY & STORMWATERMANAGEMENT PLAN

SCALE : 1"=15'

NOTE:

NOTES :

1. NO IRRIGATION IS TO BE INSTALLED ON SITE THAT IS CONNECTED TO MUNICIPAL WATER.
2. THE INDOOR POOL IN NOT TO BE FILLED USING MUNICIPAL WATER.
3. SIDEWALKS, MANHOLES & GUIDRAILS SHALL BE INSTALLED PER SS12B OF THE TOWN OF CARMEL TOWN CODE.

STORMWATER DEISGN CALCULATIONS

PROJECT : PROPOSED STORMWATER DESIGN COMPUTATIONS
ADDRESS : 910 SO LAKE LLC
910 SOUTH LAKE BLVD
TOWN OF CARMEL, NEW YORK

DATE : 9/30/2022
PREPD BY : MM
CHKD BY: MM

I. SITE INFORMATION

ASSOILS INFORMATION PER USGS WEB SOIL MAPS

SOIL TYPES : UE
OVC
W

DEPTH TO ROCK : 7 FT
DEPTH TO G.W. : 7 FT

II) INSITU SOIL TESTING

a. DEEP HOLE TESTING :

0" TO 4"	TOP SOIL
4" TO 66"	GRAVELLY FINE SANDY LOAM

b. PERCOLATION TESTING :

DROP	START TIME		END TIME	TIME DIFF.	PERC. RATE
3	9:00:00 AM	TO	9:30:00 AM	30	10
3	9:30:00 AM	TO	10:00:00 AM	30	10
3	10:00:00 AM	TO	10:40:00 AM	30	10
		TO			#DIV/0!
		TO			#DIV/0!

A V.O. OF PERC. RATES = 10 MIN/IN

DESIGN PERC. RATE = 10 MIN/IN

III. SUBSURFACE INFILTRATOR DESIGN

A) DESIGN CRITERIA

1. DESIGN STORM INFORMATION : 25 YEAR STORM EVENT
INTENSITY : 4.24 Inches
STORM DURATION : 24.00 Hours
DROP DIMENSION : 3.00 Inches
PERC. RATE TIME : 30.00 Minutes

2. IMPERVIOUS AREAS :

PR. BLDG	4927.00 SF
PR. DRIVEWAY	2945.00 SF
PR. PARKING LOT UPPER	6526.00 SF
PR. PARKING LOT LOWER	3059.00 SF
-	0.00 SF
-	0.00 SF
-	0.00 SF

B) SOIL PERCOLATION RATE (Sr)

a. SURFACE AREA OF CYLINDER (A-s)
A-s = PI*D*long = 2.226 SF

b. BOTTOM AREA OF CYLINDER (A-b)
A-b = pi*(r)^2 = 0.786 SF

c. PERCOLATION AREA (A-p)
A-p = A-b + A-s = 3.011 SF

d. PERCOLATION VOLUME (Pv)
Pv = A-b *h = 0.196 CF

e. SOIL PERCOLATION RATE (Sr)
Sr = Pv/A-p/TIME
Sr = 0.0065274 CF/SF/MIN
Sr = 9.391 CF/SF/DAY
NOTE : Deduct 25% for clogging factor
Sr = 7.043 CF/SF/DAY

D = 12
Havg = 9.5
t= 3.00
TIME = 10.00

IV. INFILTRATOR DESIGN CRITERIA

A) CULTECT SPECIFICATIONS

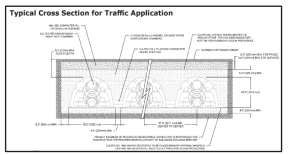
1. INFILTRATOR DIMENSIONS
MODEL No. : 902 HD

HEIGHT = 4 FT
WIDTH = 4.5 FT
LENGTH = 4.25 FT
THICKNESS OF GRAVEL ABOVE INFILTRATORS = 1.00 FT
THICKNESS OF GRAVEL BELOW INFILTRATORS = 1.50 FT

CHAMBER STORAGE = 63.47 C.F./UNIT

CHAMBER STORAGE W/ GRAVEL = 107.26 C.F./UNIT

Typical Cross Section for Traffic Application



B) TOTAL PERCOLATION STORAGE FOR INFILTRATOR

1. 24HOUR PERCOLATION @ BOTTOM AREA OF INFILTRATOR (Vp)
Vp = L * W * Sr = 194.58 CF

2. TOTAL 24 HOUR PERCOLATION (Vt)
Vt = Vs + Vp = 301.84 CF

V. COMPUTED NUMBER OF INFILTRATORS

PA INFALL INTENSITY = 6.24 Inches

PR. BLDG	AREA	=	4927.00 SF
	RUNOFF VOLUME	=	2562.04 CF
	N.L.	=	5.49
	THEREFOR USE	5.49	INFILTRATORS
PR. DRIVEWAY	AREA	=	2945.00 SF
	RUNOFF VOLUME	=	1531.40 CF
	N.L.	=	3.07
	THEREFOR USE	3.07	INFILTRATORS
PR. PARKING LOT UPPER	AREA	=	6526.00 SF
	RUNOFF VOLUME	=	3393.52 CF
	N.L.	=	11.24
	THEREFOR USE	11.24	INFILTRATORS
PR. PARKING LOT LOWER	AREA	=	3059.00 SF
	RUNOFF VOLUME	=	1590.68 CF
	N.L.	=	6.13
	THEREFOR USE	6.13	INFILTRATORS
-	AREA	=	0.00 SF
	RUNOFF VOLUME	=	0.00 CF
	N.L.	=	0.00
	THEREFOR USE	0.00	INFILTRATORS
-	AREA	=	0.00 SF
	RUNOFF VOLUME	=	0.00 CF
	N.L.	=	0.00
	THEREFOR USE	0.00	INFILTRATORS
-	AREA	=	0.00 SF
	RUNOFF VOLUME	=	0.00 CF
	N.L.	=	0.00
	THEREFOR USE	0.00	INFILTRATORS

TOTAL NUMBER OF INFILTRATOR = 30.94 CULTECT 330XLHD

31 TOTAL NUMBER 330XLHD REQ'D

Dig Safely. New York Call 811 before you dig

DIG SAFELY NY

PRIOR TO CONSTRUCTION, CONTRACTOR SHALL LOCATE ALL BURIED UTILITIES TO ENSURE THAT NO INTERFERENCE EXISTS DURING CONSTRUCTION ACTIVITIES

MASTROGIACOMO ENGINEERING, P.C.
CONSULTING ENGINEERING & LAND SURVEYING
49 Milleral Avenue, Suite 109
Fort Edward, New York 12828
TEL 518-639-5570 FAX 518-639-5580
www.mastroengineering.com

All ideas, designs, arrangements and plans indicated or represented are owned by and the property of this office and were created, evolved and developed for use and in connection with this specific project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation for any purpose whatsoever without written permission of Mastrogiacomo Engineering, P.C.

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variation from these dimensions and conditions shown hereon in writing.

Unauthorized alterations or additions to drawings, maps and/or plats is a violation of Section 7209, Sub-Division 2, of the New York State Education Law.

Revisions

1	11.20.2020 Town Comments
2	07.22.2021 Redesign Building & Site
3	11.22.2021 Revisions per Staff Comments
4	01.17.2022 Revise application for Hotel
5	03.11.2022 Revise application for Hotel
6	05.12.2022 Revise application for Hotel
7	09.16.2022 Revise application for Hotel
8	01.24.2023 Revise application to respond to staff Comments

Drawing North

Client Name and Address

910 SOUTH LAKE LLC
57 ROUTE 6
SUITE 204
BALDWIN PLACE, NY
10505

Project Information

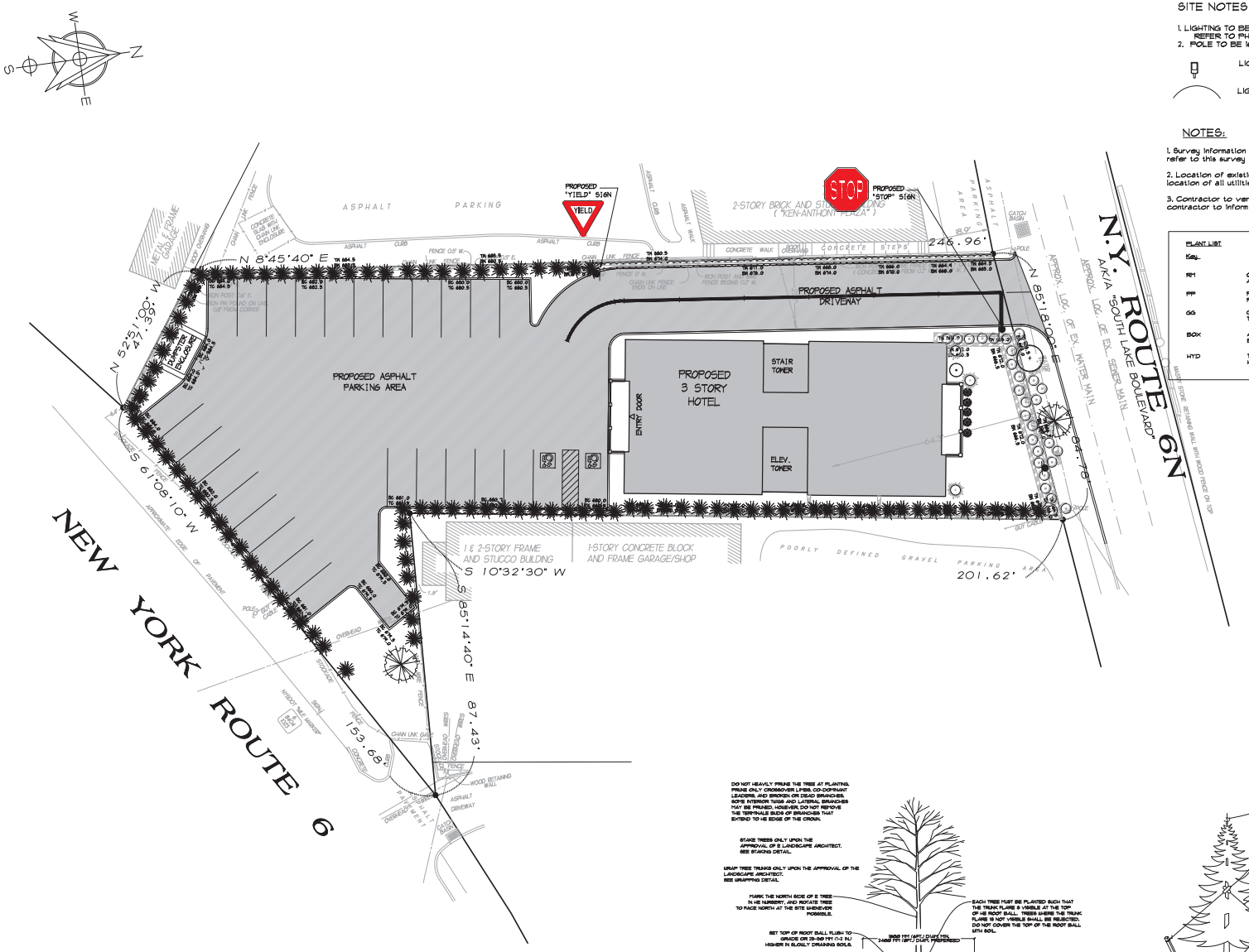
PROPOSED HOTEL
Situated At
910 S. LAKE BLVD
TOWN OF CARMEL
PUTNAM CO.
NEW YORK

Job No.	20-078
Scale	AS NOTED
Date	8 OCT 2020
Drawn By	M.M.
Checked By	M.M.
Sheet	C103

Seal & Signature

MICHAEL MASTROGIACOMO, P.E./L.S.
NEW YORK STATE PE. LIC. NO. 082803
NEW YORK STATE LS. LIC. NO. 050854
CONNECTICUT STATE PE. & LS. LIC. NO. 21719

Sheet Title: PROPOSED UTILITY & STORMWATER MANAGEMENT PLAN



SITE NOTES

1. LIGHTING TO BE VIPER 8 LUMINAIRE BY HUBBEL LIGHTING REFER TO PHOTOMETRICS PLAN
2. POLE TO BE 16' HT.

LIGHT LOCATION

LIGHT CONNECTION

NOTES:

1. Survey information taken from a site plan prepared by RAYEX DESIGN refer to this survey for more information.
2. Location of existing utilities not performed by this office, confirm location of all utilities prior to construction. CALL dig safely New York.
3. Contractor to verify all grades and dimensions prior to construction, contractor to inform Landscape Architect with any discrepancies.

PLANT LIST

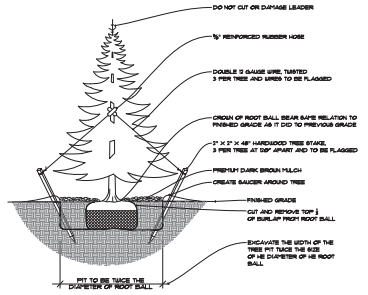
Key	Common & Botanical Name	Size
RM	October Glory Maple Acer rubrum October Glory'	3 1/2" Cal.
PPP	Purple Plum Prunus cerasifera 'Thundercloud'	2" Cal.
GG	Green Giant Arborvitae Thuja standishii x plicata 'Green Giant'	8' Ht.
BOX	American Boxwood Buxus sempervirens	36" Ht.
HYD	Tardiva Hydrangea Hydrangea paniculata Tardiva	#1 cont.

LEGEND

TH 671.0 BH 670.0	PROPOSED TOP & BOTTOM OF WALL ELEVATIONS
(670)	PROPOSED CONTOURS
682	EXISTING CONTOURS
	PROPOSED DRAINAGE STRUCTURE
	PROPOSED INFILTRATION UNIT
	PROPOSED DRAINAGE PIPE
4"FS	PROPOSED 4" FIRE SERVICE
2"WS	PROPOSED 2" WATER SERVICE
D.W.	PROPOSED DRILLED WELL
	PROPOSED RETAINING WALL

1 PROPOSED LANDSCAPING PLAN
SCALE : 1"=15'
NOTE: 1. ALL PROPOSED PLANTING SHALL BE VERIFIED BY THE TOWN OF CARMEL WETLANDS INSPECTOR.
2. ALL PROPOSED PLANTINGS SHALL BE INSTALLED PER SECTION 142 OF THE TOWN OF CARMEL CODE.

A TREE PLANTING DETAIL
SCALE : N.T.S.



B EVERGREEN PLANTING DETAIL
SCALE : N.T.S.

Dig Safely. New York Call 811 before you dig

DIG SAFELY NY

PRIOR TO CONSTRUCTION, CONTRACTOR SHALL LOCATE ALL BURIED UTILITIES TO ENSURE THAT NO INTERFERENCE EXISTS DURING CONSTRUCTION ACTIVITIES

MASTROGIACOMO ENGINEERING, P.C.
CONSULTING ENGINEERING & LAND SURVEYING
49 Milltail Avenue, Suite 109
Mahopac, New York 10541
Tel. 914-628-0070 Fax 845-628-0080
www.mastrogiacomo.com
professional engineer / professional surveyor

All ideas, designs, arrangements and plans indicated or represented are owned by and the property of this office and were created, evolved and developed for use and in connection with this specific project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation for any purpose whatsoever without written permission of Mastrogiacomo Engineering, P.C.

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variation from these dimensions and conditions shown hereon in writing.

Unauthorized alterations or additions to drawings, maps and/or plats is a violation of Section 7209, Sub-Division 2, of the New York State Education Law.

Revisions

1	11.20.2020 Town Comments
2	07.22.2021 Redesign Building & Site
3	11.22.2021 Revisions per Staff Comments
4	01.17.2022 Revise application for Hotel
5	03.11.2022 Revise application for Hotel
6	05.12.2022 Revise application for Hotel
7	09.16.2022 Revise application for Hotel
8	01.24.2023 Revise application to respond to staff Comments

Drawing North

client Name and Address
910 SOUTH LAKE LLC
57 ROUTE 6
SUITE 204
BALDWIN PLACE, NY
10505

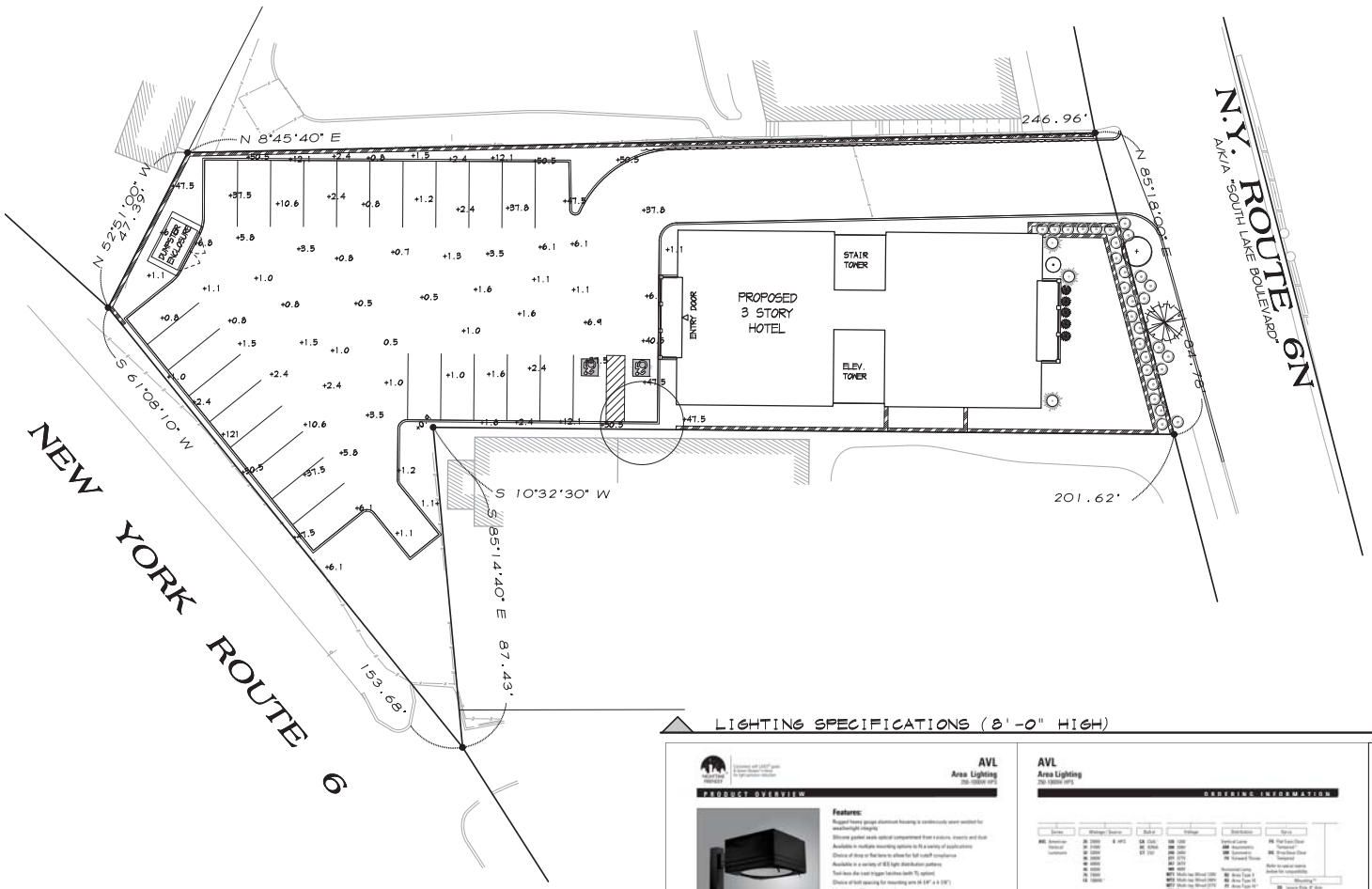
Project Information
PROPOSED HOTEL
Situated At
910 S. LAKE BLVD
TOWN OF CARMEL
PUTNAM CO.
NEW YORK

Job No.	20-078
Scale	AS NOTED
Date	8 OCT 2020
Drawn By	M.M.
Checked By	M.M.
Sheet	C104

Seal & Signature

MICHAEL MASTROGIACOMO, P.E./L.S.
NEW YORK STATE PE. LIC. NO. 068859
NEW YORK STATE LS. LIC. NO. 050854
CONNECTICUT STATE PE. & LS. LIC. NO. 21719

Sheet Title
PROPOSED LANDSCAPING PLAN, NOTES & DETAILS PLAN



1 EXTERIOR LIGHTING SPILL PLAN ANALYSIS

SCALE : 1"=15'

NOTE:

LIGHTING SPECIFICATIONS (8'-0" HIGH)

Dig Safely. New York Call 811 before you dig

DIG SAFELY NY

PRIOR TO CONSTRUCTION, CONTRACTOR SHALL LOCATE ALL BURIED UTILITIES TO ENSURE THAT NO INTERFERENCE EXISTS DURING CONSTRUCTION ACTIVITIES

MASTROGIACOMO ENGINEERING, P.C.

CONSULTING ENGINEERING & LAND SURVEYING

49 Milford Avenue, Suite 109
Stark Glendon, New York 10598
TEL 914.000.0000 Fax 000.000.0000
www.mastroeng.com

All ideas, designs, arrangements and plans indicated or represented are owned by and the property of this office and were created, evolved and developed for use and in connection with this specific project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation for any purpose whatsoever without written permission of Mastrogiacomo Engineering, P.C.

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variation from these dimensions and conditions shown hereon in writing.

Unauthorized alterations or additions to drawings, maps and/or plats is a violation of Section 7209, Sub-Division 2, of the New York State Education Law.

Revisions

1	11.20.2020 Town Comments
2	07.22.2021 Redesign Building & Site
3	11.22.2021 Revisions per Staff Comments
4	01.17.2022 Revise application for Hotel
5	03.11.2022 Revise application for Hotel
6	05.12.2022 Revise application for Hotel
7	09.16.2022 Revise application for Hotel
8	01.24.2023 Revise application to respond to staff Comments

Drawing North

Client Name and Address

910 SOUTH LAKE LLC

57 ROUTE 6
SUITE 204
BALDWIN PLACE, NY
10505

Project Information

PROPOSED HOTEL

Situated At

910 S. LAKE BLVD
TOWN OF CARMEL
PUTNAM CO.
NEW YORK

Job No.	20-078
Scale	AS NOTED
Date	8 OCT 2020
Drawn By	M.M.
Checked By	M.M.

Sheet

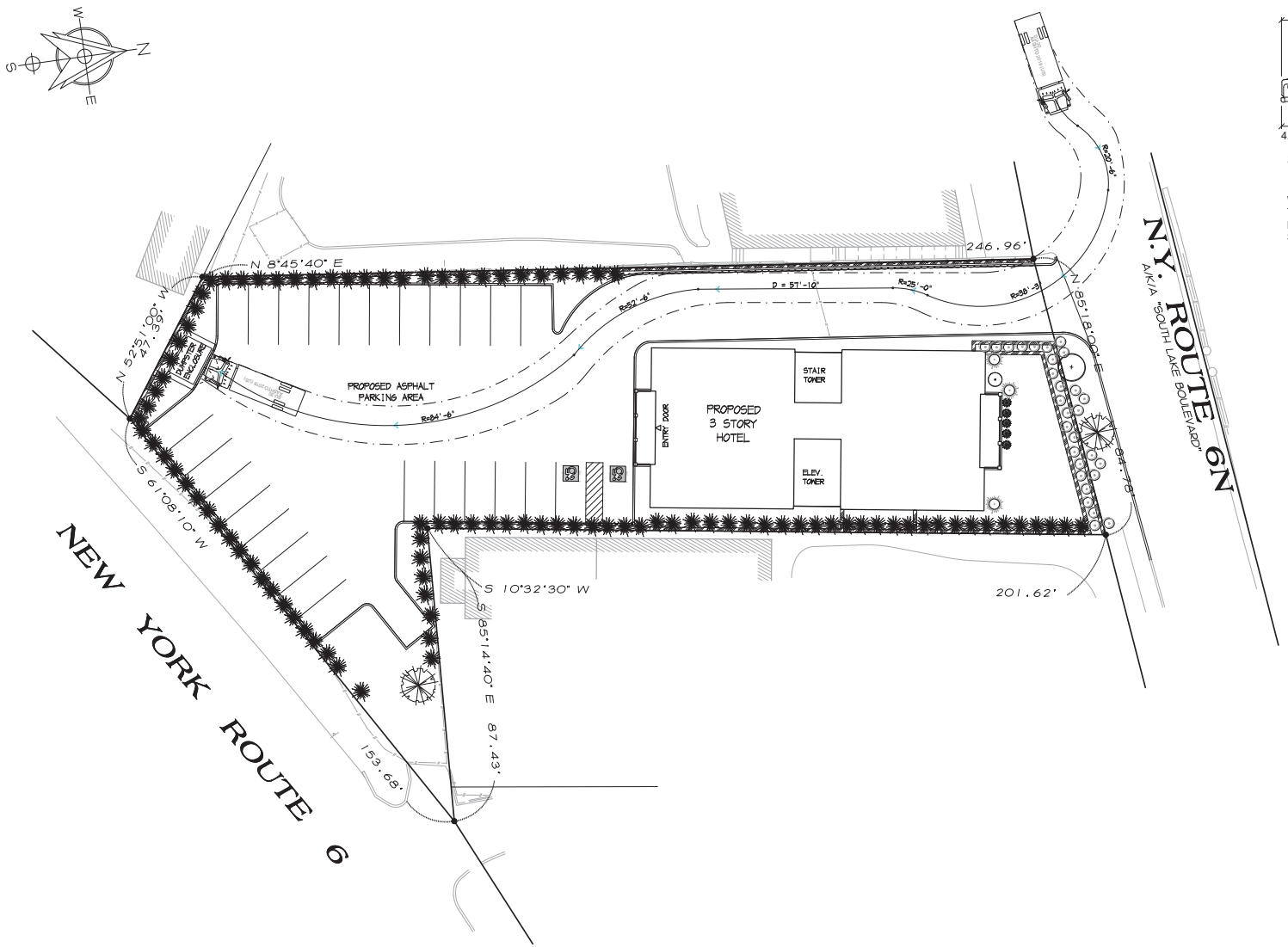
C105

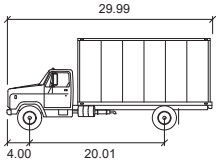
Seal & Signature

MICHAEL MASTROGIACOMO, P.E.L.S.
NEW YORK STATE PE, LIC. NO. 080810
NEW YORK STATE LS, LIC. NO. 050804
CONNECTICUT STATE PE & LS, LIC. NO. 21719

Sheet Title

EXTERIOR LIGHTING SPILL PLAN ANALYSIS





SU-30

	Feet
Width	: 8.01
Track	: 8.01
Lock to Lock Time	: 6.0 s
Steering Angle	: 31.8 deg

1 MANEUVERABILITY PLAN - TRUCK - INGRESS
SCALE : 1"=15'
NOTE:

Dig Safely. New York Call 811 before you dig

DIG SAFELY NY
PRIOR TO CONSTRUCTION, CONTRACTOR SHALL LOCATE ALL BURIED UTILITIES TO ENSURE THAT NO INTERFERENCE EXISTS DURING CONSTRUCTION ACTIVITIES

MASTROGIACOMO ENGINEERING, P.C.
CONSULTING ENGINEERING & LAND SURVEYING
49 Milford Avenue, Suite 109
Port Chester, New York 10573
Tel. 914-934-0570 Fax 914-934-0580
www.mastrogiacomo.com

All ideas, designs, arrangements and plans indicated or represented are owned by and the property of this office and were created, evolved and developed for use and in connection with this specific project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation for any purpose whatsoever without written permission of Mastrogiacomo Engineering, P.C.

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variation from these dimensions and conditions shown hereon in writing.

Unauthorized alterations or additions to drawings, maps and/or plats is a violation of Section 7209, Sub-Division 2, of the New York State Education Law.

Revisions

1	11.20.2020 Town Comments
2	07.22.2021 Redesign Building & Site
3	11.22.2021 Revisions per Staff Comments
4	01.17.2022 Revise application for Hotel
5	03.11.2022 Revise application for Hotel
6	05.12.2022 Revise application for Hotel
7	09.19.2022 Revise application for Hotel
8	01.24.2023 Revise application to respond to staff Comments

Drawing North

Client Name and Address
910 SOUTH LAKE LLC
57 ROUTE 6
SUITE 204
BALDWIN PLACE, NY
10505

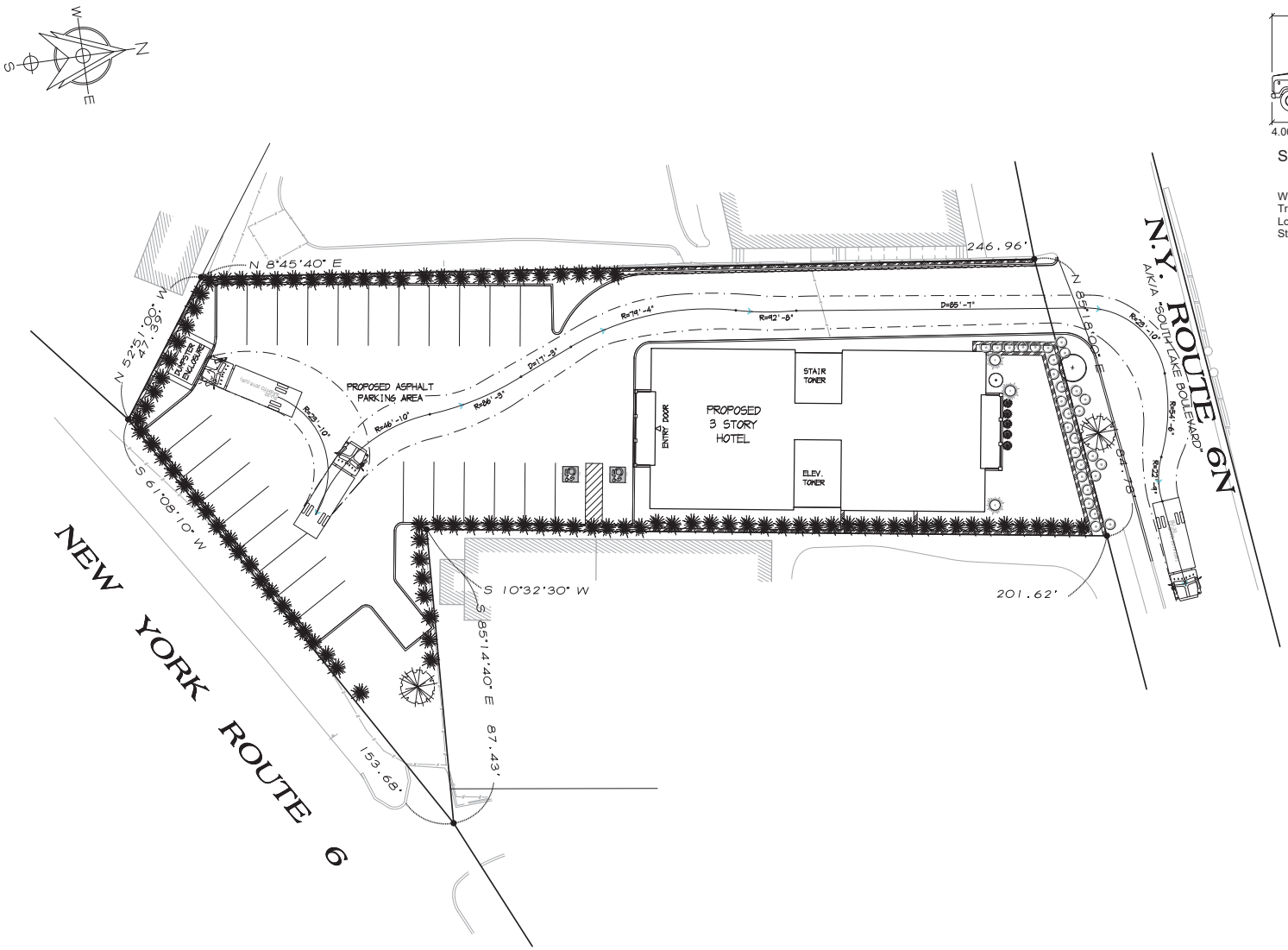
Project Information
PROPOSED HOTEL
Situated At
910 S. LAKE BLVD
TOWN OF CARMEL
PUTNAM CO.
NEW YORK

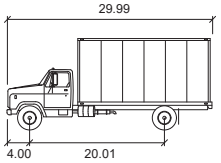
Job No.	20-078
Scale	AS NOTED
Date	8 OCT 2020
Drawn By	M.M.
Checked By	M.M.

Sheet
C106

Seal & Signature
MICHAEL MASTROGIACOMO, P.E./L.S.
NEW YORK STATE PE, LIC. NO. 082613
NEW YORK STATE LS, LIC. NO. 050854
CONNECTICUT STATE PE & LS, LIC. NO. 21715

Sheet Title
MANEUVERABILITY PLAN - TRUCK - INGRESS





SU-30

	Feet
Width	: 8.01
Track	: 8.01
Lock to Lock Time	: 6.0 s
Steering Angle	: 31.8 deg

1 MANEUVERABILITY PLAN - TRUCK - EGRESS
SCALE : 1"=15'
NOTE:

Dig Safely. New York Call 811 before you dig

DIG SAFELY NY
PRIOR TO CONSTRUCTION, CONTRACTOR SHALL LOCATE ALL BURIED UTILITIES TO ENSURE THAT NO INTERFERENCE EXISTS DURING CONSTRUCTION ACTIVITIES

MASTROGIACOMO ENGINEERING, P.C.
CONSULTING ENGINEERING & LAND SURVEYING
49 Milford Avenue, Suite 109
Park Chester, New York 10598
Tel. 914-666-6570 Fax 666-666-6666
www.mastrogiacomo.com
engineers@mastrogiacomo.com

All ideas, designs, arrangements and plans indicated or represented are owned by and the property of this office and were created, evolved and developed for use and in connection with this specific project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation for any purpose whatsoever without written permission of Mastrogiacomo Engineering, P.C.

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variation from these dimensions and conditions shown hereon in writing.

Unauthorized alterations or additions to drawings, maps and/or plats is a violation of Section 7209, Sub-Division 2, of the New York State Education Law.

Revisions

1	11.20.2020	Town Comments
2	07.22.2021	Redesign Building & Site
3	11.22.2021	Revisions per Staff Comments
4	01.17.2022	Revise application for Hotel
5	03.11.2022	Revise application for Hotel
6	05.12.2022	Revise application for Hotel
7	06.16.2022	Revise application for Hotel
8	01.24.2023	Revise application to respond to staff Comments
9		
10		
11		

Drawing North

Client Name and Address
910 SOUTH LAKE LLC
57 ROUTE 6
SUITE 204
BALDWIN PLACE, NY
10505

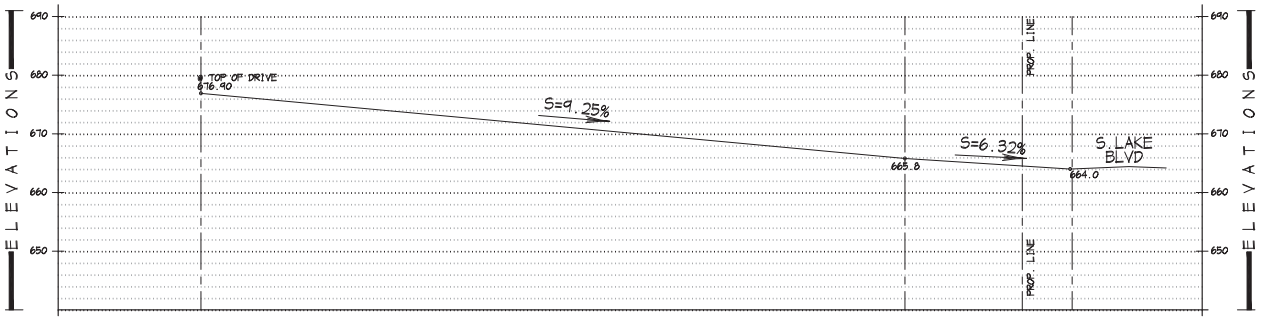
Project Information
PROPOSED HOTEL
Situated At
910 S. LAKE BLVD
TOWN OF CARMEL
PUTNAM CO.
NEW YORK

Job No.	20-078
Scale	AS NOTED
Date	8 OCT 2020
Drawn By	M.M.
Checked By	M.M.

Sheet
C106

Seal & Signature
MICHAEL MASTROGIACOMO, P.E./L.S.
NEW YORK STATE PE, LIC. NO. 082613
NEW YORK STATE LS, LIC. NO. 050854
CONNECTICUT STATE PE & LS, LIC. NO. 21715

Sheet Title
MANEUVERABILITY PLAN - TRUCK - EGRESS



1 DRIVEWAY PROFILE
SCALE : 1"=10'
NOTE:

Dig Safely. New York Call 811 before you dig

DIG SAFELY NY

PRIOR TO CONSTRUCTION, CONTRACTOR SHALL LOCATE ALL BURIED UTILITIES TO ENSURE THAT NO INTERFERENCE EXISTS DURING CONSTRUCTION ACTIVITIES

MASTROGIACOMO ENGINEERING, P.C.
CONSULTING ENGINEERING & LAND SURVEYING
49 Milford Avenue, Suite 109
Park Chester, New York 10973
TEL 914.692.6979 FAX 845.692.6979
www.mastrogiacomo.com

All ideas, designs, arrangements and plans indicated or represented are owned by and the property of this office and were created, evolved and developed for use and in connection with this specific project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation for any purpose whatsoever without written permission of Mastrogiacomo Engineering, P.C.

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variation from these dimensions and conditions shown hereon in writing.

Unauthorized alterations or additions to drawings, maps and/or plats is a violation of Section 7209, Sub-Division 2, of the New York State Education Law.

Revisions

1	11.20.2020 Town Comments
2	07.22.2021 Redesign Building & Site
3	11.22.2021 Revisions per Staff Comments
4	01.17.2022 Revise application for Hotel
5	03.11.2022 Revise application for Hotel
6	05.12.2022 Revise application for Hotel
7	09.16.2022 Revise application for Hotel
8	01.24.2023 Revise application to respond to staff Comments

Drawing North

client Name and Address

910 SOUTH LAKE LLC

57 ROUTE 6
SUITE 204
BALDWIN PLACE, NY
10505

Project Information

PROPOSED HOTEL

Situated At

910 S. LAKE BLVD
TOWN OF CARMEL
PUTNAM CO.
NEW YORK

Job No.	20-078
Scale	AS NOTED
Date	8 OCT 2020
Drawn By	M.M.
Checked By	M.M.

Sheet

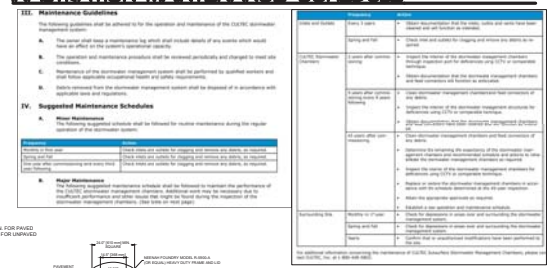
C107

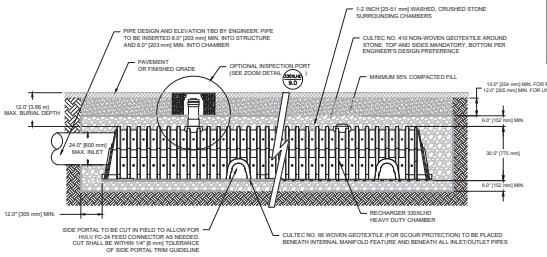
Sheet Title
DRIVEWAY PROFILES

Seal & Signature

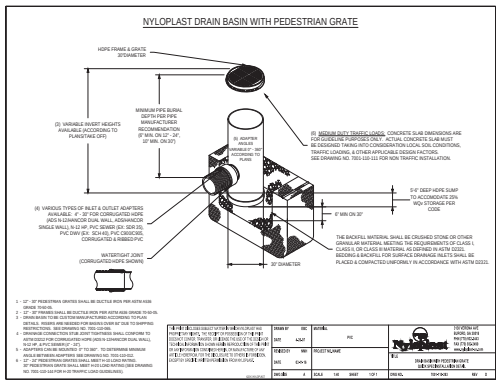
MICHAEL MASTROGIACOMO, P.E./L.S.
NEW YORK STATE PE, LIC. NO. 082813
NEW YORK STATE LS, LIC. NO. 050854
CONNECTICUT STATE PE & LS, LIC. NO. 21715

INFILTRATION MAINTENANCE SCHEDULE

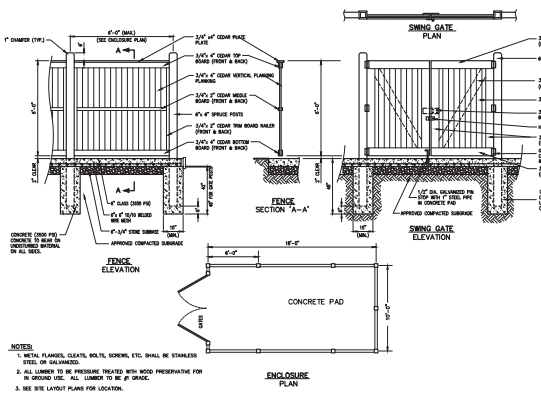




A INFILTRATOR DETAIL
N.T.S.

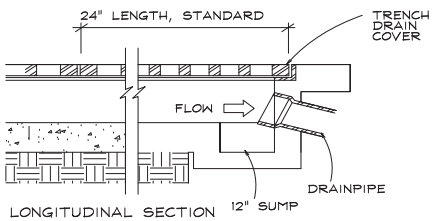


B N.D.S. DRAIN INLET DETAIL
N.T.S.

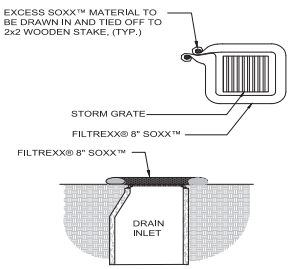


NOTES:
1. METAL FLANGES, CLEATS, BOLTS, SCREWS, ETC. SHALL BE STAINLESS STEEL OR GALVANIZED.
2. ALL LUMBER TO BE PRESSURE TREATED WITH WOOD PRESERVATIVE FOR IN GROUND USE. ALL LUMBER TO BE #1 GRADE.
3. SEE SITE LAYOUT PLANS FOR LOCATION.

C TRASH ENCLOSURE DETAIL
N.T.S.



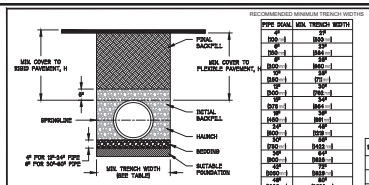
D TRENCH DRAIN DETAIL
N.T.S.



E INLET PROTECTION DETAIL
N.T.S.

RECOMMENDED MINIMUM TRENCH WIDTHS

PIPE DIAM.	MIN. TRENCH WIDTH
4"	20"
[100 mm]	[500 mm]
6"	20"
[150 mm]	[500 mm]
8"	20"
[200 mm]	[500 mm]
10"	20"
[250 mm]	[510 mm]
12"	20"
[300 mm]	[510 mm]
15"	24"
[375 mm]	[610 mm]
18"	24"
[450 mm]	[610 mm]
21"	28"
[525 mm]	[710 mm]
24"	28"
[600 mm]	[710 mm]
27"	32"
[675 mm]	[815 mm]
30"	32"
[750 mm]	[815 mm]
36"	36"
[900 mm]	[915 mm]
42"	40"
[1050 mm]	[1020 mm]
48"	44"
[1200 mm]	[1120 mm]
54"	48"
[1350 mm]	[1220 mm]
60"	52"
[1500 mm]	[1320 mm]



NOTES:
1. ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST ADDITION
2. MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL WHEN REQUIRED.
3. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
4. BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100mm-600mm); 6" (150mm) FOR 30"-60" (750mm-1500mm).
5. INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
6. MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOTATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR 54" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT. FOR TRAFFIC APPLICATIONS WITH LESS THAN FOUR FEET OF COVER, EMBEDMENT OF THE PIPE SHALL BE USING ONLY A CLASS I OR CLASS II BACKFILL.

MINIMUM RECOMMENDED COVER BASED ON VEHICLE LOADING CONDITIONS*

PIPE DIAM.	SURFACE LIVE LOADING CONDITION	
	H-20	HEAVY CONSTRUCTION 787 AXLE LOADS *
12" - 48" [300 mm - 1200 mm]	12" [300 mm]	48" [1200 mm]
54" [1350 mm]	24" [600 mm]	72"** [1854 mm]

*VEHICLES IN EXCESS OF 787 MAY REQUIRE ADDITIONAL COVER
**SEE BACKFILL REQUIREMENTS IN NOTE 6.

MAXIMUM RECOMMENDED COVER BASED ON VEHICLE LOADING CONDITIONS

PIPE DIAM.	CLASS I		CLASS II		CLASS III
	COMPACTED	DUMPED	85%	90%	95%
4" [100 mm]	37 [1.13 m]	5.5 [0.5 m]	7.5 [0.7 m]	9.5 [0.9 m]	11.5 [1.0 m]
6" [150 mm]	53 [1.4 m]	6.5 [0.6 m]	9.5 [0.9 m]	11.5 [1.0 m]	14.5 [1.4 m]
8" [200 mm]	72 [1.8 m]	7.5 [0.7 m]	11.5 [1.0 m]	13.5 [1.3 m]	16.5 [1.6 m]
10" [250 mm]	91 [2.3 m]	8.5 [0.8 m]	13.5 [1.3 m]	15.5 [1.4 m]	18.5 [1.8 m]
12" [300 mm]	110 [2.8 m]	9.5 [0.9 m]	15.5 [1.4 m]	17.5 [1.7 m]	20.5 [2.0 m]
15" [375 mm]	136 [3.4 m]	10.5 [1.0 m]	17.5 [1.7 m]	19.5 [1.9 m]	22.5 [2.2 m]
18" [450 mm]	162 [4.1 m]	11.5 [1.1 m]	19.5 [1.9 m]	21.5 [2.1 m]	24.5 [2.4 m]
21" [525 mm]	188 [4.8 m]	12.5 [1.2 m]	21.5 [2.1 m]	23.5 [2.3 m]	26.5 [2.6 m]
24" [600 mm]	214 [5.4 m]	13.5 [1.3 m]	23.5 [2.3 m]	25.5 [2.5 m]	28.5 [2.8 m]
27" [675 mm]	240 [6.1 m]	14.5 [1.4 m]	25.5 [2.5 m]	27.5 [2.7 m]	30.5 [3.0 m]
30" [750 mm]	266 [6.8 m]	15.5 [1.5 m]	27.5 [2.7 m]	29.5 [2.9 m]	32.5 [3.2 m]
36" [900 mm]	318 [8.1 m]	17.5 [1.7 m]	31.5 [3.1 m]	33.5 [3.3 m]	36.5 [3.6 m]
42" [1050 mm]	370 [9.4 m]	19.5 [1.9 m]	35.5 [3.5 m]	37.5 [3.7 m]	40.5 [4.0 m]
48" [1200 mm]	422 [10.7 m]	21.5 [2.1 m]	39.5 [3.9 m]	41.5 [4.1 m]	44.5 [4.4 m]
54" [1350 mm]	474 [12.0 m]	23.5 [2.3 m]	43.5 [4.3 m]	45.5 [4.5 m]	48.5 [4.8 m]
60" [1500 mm]	526 [13.4 m]	25.5 [2.5 m]	47.5 [4.7 m]	49.5 [4.9 m]	52.5 [5.2 m]

FILL HEIGHT TABLE GENERATED USING AASHTO SECTION 12, LOAD RESISTANCE FACTOR DESIGN (LRFD) PROCEDURE WITH THE FOLLOWING ASSUMPTIONS:
NO HYDROSTATIC PRESSURE
UNIT WEIGHT OF SOIL (Ys) = 120 PCF

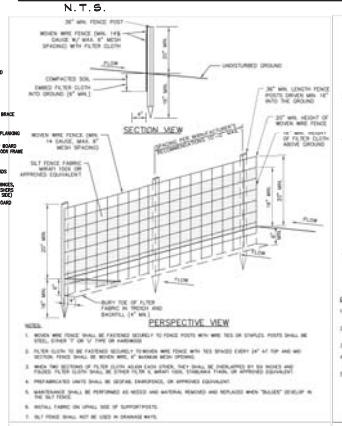
COVER HEIGHTS TO MATCH THE HIGHEST COVER IN EACH TRENCH INSTALLATION INSTALL (H-10 PER AASHTO)

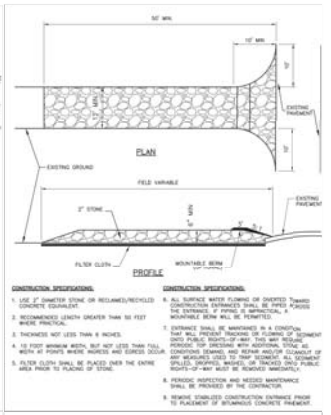
DRAWING NUMBER: STD-101

ADVANCED DRAINAGE SYSTEMS, INC. ("ADS") HAS PREPARED THIS DETAIL BASED ON INFORMATION PROVIDED TO ADS. THIS DRAWING IS INTENDED TO DEPICT THE COMPONENTS AS REQUESTED. ADS HAS NOT PERFORMED ANY ENGINEERING OR DESIGN SERVICES FOR THIS PROJECT. THE END USER, OWNER, ENGINEER, CONTRACTOR, OR THEIR REPRESENTATIVES SHALL REVIEW THIS DRAWING PRIOR TO CONSTRUCTION. IT IS THE DESIGN ENGINEERS RESPONSIBILITY TO ENSURE THE STRUCTURE DESIGNED HEREIN MEETS OR EXCEEDS THE APPLICABLE NATIONAL, STATE, OR LOCAL REQUIREMENTS AND TO ENSURE THAT THE DETAILS PROVIDED HEREIN ARE ACCEPTABLE FOR THIS PROJECT.

ADS 910 SOUTH LAKE LLC 57 ROUTE 6 SUITE 204 BALDWIN PLACE, NY 10505 PROPOSED HOTEL 910 S. LAKE BLVD TOWN OF CARMEL PUTNAM CO. NEW YORK

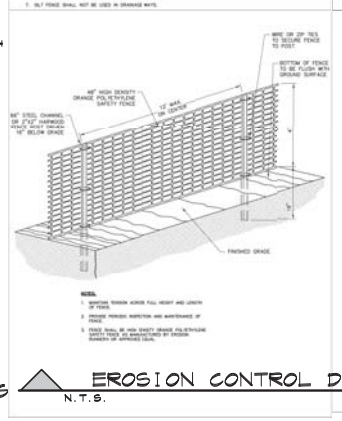
F PIPE TRENCH DETAIL
N.T.S.



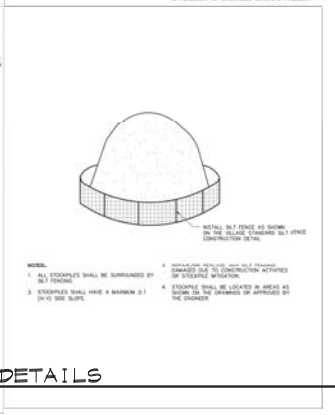


CONSTRUCTION SPECIFICATIONS:
1. USE 3" DIAMETER STONE OR RECLAIMED/RECYCLED CONCRETE EQUIVALENT.
2. RECOMMENDED LENGTH GREATER THAN 50 FEET WHERE PRACTICAL.
3. THICKNESS NOT LESS THAN 6 INCHES.
4. 10 FOOT MINIMUM WIDTH, BUT NOT LESS THAN FULL WIDTH AT POINTS WHERE INGRESS AND EGRESS OCCUR.
5. FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION EXITS SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WILL BE PERMITTED.
7. ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED BY THE CONTRACTOR.
9. REMOVE STABILIZED CONSTRUCTION ENTRANCE PRIOR TO PLACEMENT OF BITUMINOUS/CONCRETE PAVEMENT.

G EROSION CONTROL DETAILS
N.T.S.



NOTES:
1. MINIMUM TENSION ACROSS FULL HEIGHT AND LENGTH OF FENCE.
2. ENSURE PROPER INSPECTION AND MAINTENANCE OF FENCE.
3. FENCE SHALL BE HIGH DENSITY ORANGE POLYETHYLENE SAFETY FENCE AS MANUFACTURED BY ENSIGN, BARRIER OR APPROVED EQUAL.



NOTES:
1. ALL STOCKPILES SHALL BE SURROUNDED BY SILT FENCING.
2. STOCKPILES SHALL HAVE A MAXIMUM 2:1 (H:V) SIDE SLOPE.
3. REPAIR/RE-INSTALL ANY SILT FENCING DAMAGED DUE TO CONSTRUCTION ACTIVITIES OR STOCKPILE MITIGATION.
4. STOCKPILE SHALL BE LOCATED IN AREAS AS SHOWN ON THE DRAWINGS OR APPROVED BY THE ENGINEER

MASTROIACOMO ENGINEERING, P.C.
CONSULTING ENGINEERING & LAND SURVEYING
49 Milliard Avenue, Suite 109
Park Chester, New York 10918
TEL 914-855-9570 FAX 914-855-9569
www.mastroiacomo.com
Licensed in New York & Connecticut

All ideas, designs, arrangements and plans indicated or represented are owned by and the property of this office and were created, evolved and developed for use and in connection with the specific project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation for any purpose whatsoever without written permission of Mastroiacomo Engineering, P.C.

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variation from these dimensions and conditions shown hereon in writing.

Unauthorized alterations or additions to drawings, maps and/or plats is a violation of Section 7209, Sub-Division 2, of the New York State Education Law.

Revisions

1	11.20.2020 Town Comments
2	07.22.2021 Redesign Building & Site
3	11.22.2021 Revisions per Staff Comments
4	01.17.2022 Revise application for Hotel
5	03.11.2022 Revise application for Hotel
6	05.12.2022 Revise application for Hotel
7	07.19.2022 Revise application for Hotel
8	01.24.2023 Revise application to respond to staff comments

Drawing North

client Name and Address
910 SOUTH LAKE LLC
57 ROUTE 6
SUITE 204
BALDWIN PLACE, NY
10505

Project Information
PROPOSED HOTEL
Situated At
910 S. LAKE BLVD
TOWN OF CARMEL
PUTNAM CO.
NEW YORK

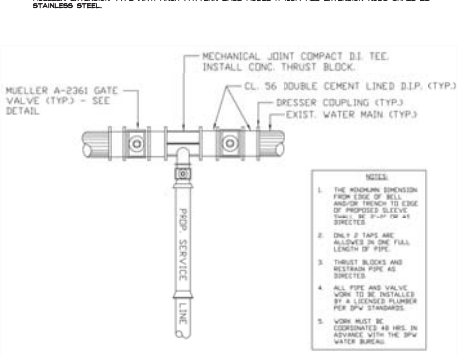
Job No.	20-078
Scale	AS NOTED
Date	8 OCT 2020
Drawn By	M.M.
Checked By	M.M.
Sheet	C200

Seal & Signature
MICHAEL MASTROIACOMO, P.E./L.S.
NEW YORK STATE PE. LIC. NO. 092613
NEW YORK STATE LA. LIC. NO. 002554
CONNECTICUT STATE PE. & LA. LIC. NO. 3119

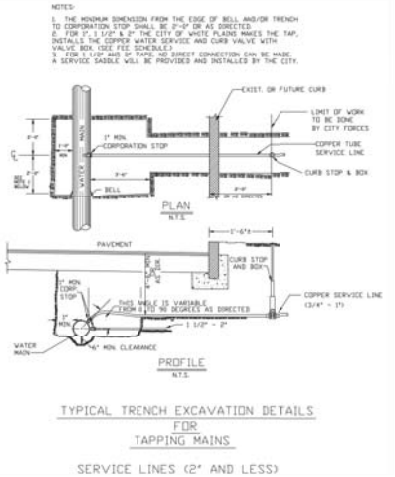
Sheet Title
CONSTRUCTION DETAILS

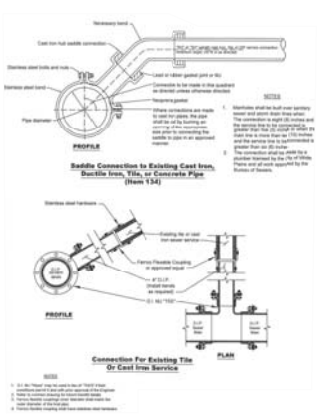
WATER SERVICE PIPING NOTES

- GATE VALVES SHALL BE AWWA NON-RISING STEM TYPE, AS MANUFACTURED BY MUELLER COMPANY, MODEL A-2360-23, OR APPROVED EQUAL, CONFORMING TO THE LATEST AWWA STANDARD FOR GATE VALVES - 3" THROUGH 48" - FOR WATER AND OTHER LIQUIDS, AWWA DESIGNATION C-509.
- SIZES UP TO AND INCLUDING 12" SHALL BE 250 PSI WORKING PRESSURE. THE VALVE BODY AND BONNET SHALL BE DUCTILE IRON. ALL INTERIOR AND EXTERIOR METAL SURFACES SHALL BE COATED WITH A TWO PART THERMOSETTING EPOXY CMPLYING WITH AWWA C550.
- VALVES SHALL HAVE DUAL "O" RING SEALS, INSIDE SCREW, RESILIENT WEDGE SEATS IN ACCORDANCE WITH AWWA DESIGNATION C-550 AND SHALL BE CONSTRUCTED SO AS TO PROVIDE UNOBSTRUCTED FULL PORT CLEARANCE WHEN FULLY OPEN AND IMMEDIATE COMPLETE CLOSURE WHEN CLOSED. THE ENDS OF THE VALVES SHALL BE MECHANICAL JOINT.
- ALL VALVES SHALL BE ARRANGED TO OPEN COUNTER CLOCKWISE DIRECTION UNLESS OTHERWISE SPECIFICALLY INDICATED AND OPERATING NUTS SHALL BE 2" SQUARE.
- VALVES SHALL BE TESTED TO A PRESSURE OF NOT LESS THAN TWO TIMES THE WORKING PRESSURE.
- WATER SERVICE SADDLES SHALL BE EQUAL TO THOSE MANUFACTURED BY MUELLER, MODEL 7-1/2"x1" DS SERIES STAINLESS STEEL SADDLE, DOUBLE STUD.
- CORPORATION STOPS SHALL BE EQUAL TO THOSE AS MANUFACTURED BY MUELLER COMPANY, MODEL B-25000 SERIES, NRS AND OF THE SIZE REQUIRED. SUCH CORPORATION STOPS SHALL MEET THE REQUIREMENTS OF AWWA SPECIFICATION NO. C800.
- CURB VALVES (STOPS) SHALL BE EQUAL TO THOSE AS MANUFACTURED BY MUELLER COMPANY, MODEL H-15214 AND SHALL CONFORM TO AWWA SPECIFICATION NO. C800.
- CURB BOXES SHALL BE EQUAL TO THOSE AS MANUFACTURED BY MUELLER COMPANY AND SIMILAR TO MUELLER EXTENSION TYPE WITH ARCH PATTERN BASE MODEL H-10314 ALL EXTENSION RODS SHALL BE STAINLESS STEEL.

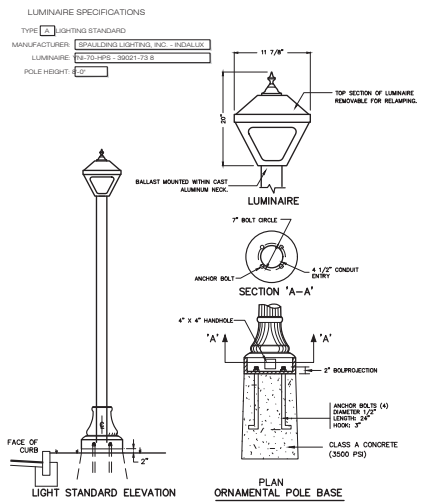


A WATER SERVICE CONNECTION DETAILS
SCALE : N.T.S.

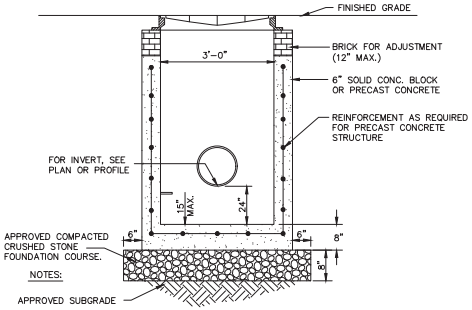




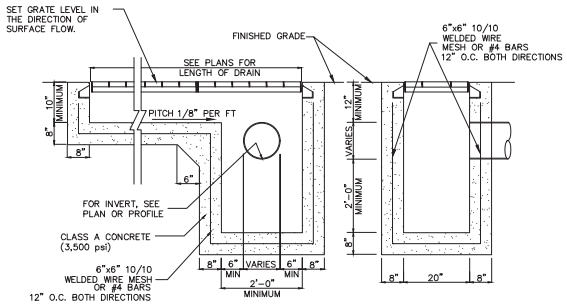
B SEWER SERVICE DETAIL
SCALE : N.T.S.



C DECORATIVE LIGHT DETAIL
SCALE : N.T.S.



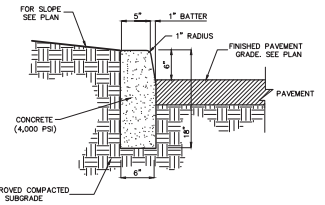
D DRAIN INLET DETAIL
SCALE : N.T.S.



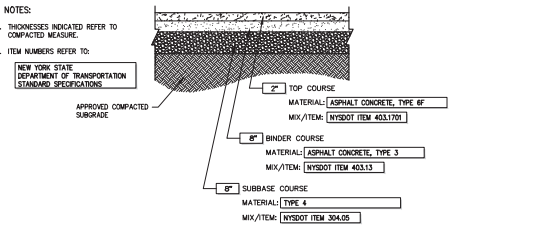
NOTE: ALL STRUCTURES AND CASTINGS SHALL BE CAPABLE OF H20 LOADING.

ALL PROPOSED CATCH BASINS, RECEIVING RUNOFF FROM PAVED AREAS MUST BE INSTALLED WITH MINIMUM 24" SUMPS, AND MUST BE EQUIPPED WITH ENVIRONMENTAL FRIENDLY, ECO PHASE II CASTINGS.

E TRENCH DRAIN DETAIL
SCALE : N.T.S.



F CONCRETE CURB DETAIL
SCALE : N.T.S.



G SITE PAVEMENT DETAIL (LIGHT DUTY)
SCALE : N.T.S.

MASTROGIACOMO ENGINEERING, P.C.
CONSULTING ENGINEERING & LAND SURVEYING
49 Mitchell Avenue, Suite 100
Park Chester, New York 10918
TEL 914-855-0070 Office
www.mastrogiacomo.com

All ideas, designs, arrangements and plans indicated or represented are owned by and the property of this office and were created, evolved and developed for use and in connection with this specific project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation for any purpose whatsoever without written permission of Mastrogiacomo Engineering, P.C.

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variation from these dimensions and conditions shown hereon in writing.

Unauthorized alterations or additions to drawings, maps and/or plats is a violation of Section 7209, Sub-Division 2, of the New York State Education Law.

Revisions

1	11.20.2020 Town Comments
2	07.22.2021 Redesign Building & Site
3	11.22.2021 Revisions per Staff Comments
4	01.17.2022 Revise application for Hotel
5	03.11.2022 Revise application for Hotel
6	05.12.2022 Revise application for Hotel
7	09.16.2022 Revise application for Hotel
8	01.24.2023 Revise application to respond to staff Comments

Drawing North

Client Name and Address
910 SOUTH LAKE LLC
57 ROUTE 6
SUITE 204
BALDWIN PLACE, NY
10505

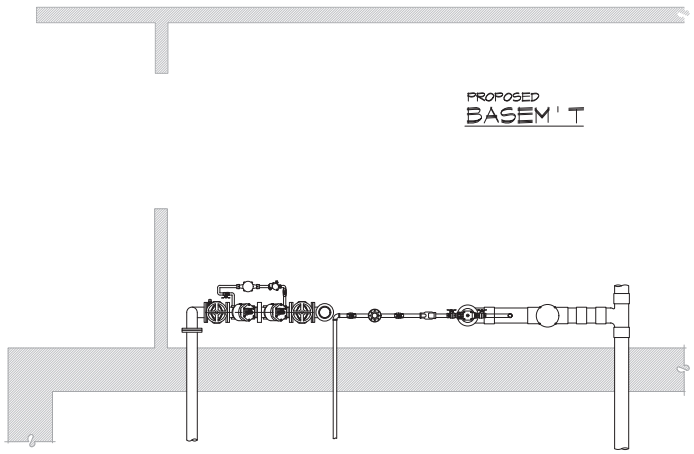
Project Information
PROPOSED HOTEL
Situated At
910 S. LAKE BLVD
TOWN OF CARMEL
PUTNAM CO.
NEW YORK

Job No.	20-078
Scale	AS NOTED
Date	8 OCT 2020
Drawn By	M.M.
Checked By	M.M.

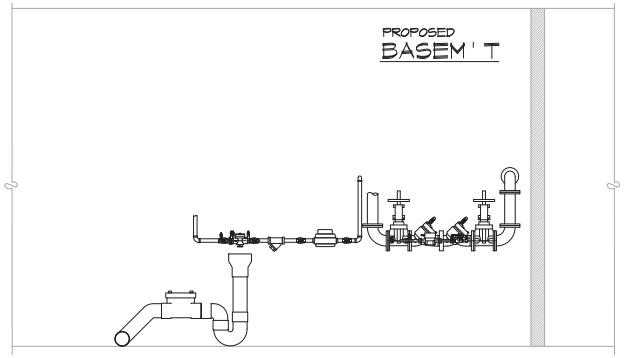
Sheet
C201

Seal & Signature
MICHAEL MASTROGIACOMO, P.E./L.S.
NEW YORK STATE PE, LIC. NO. 068819
NEW YORK STATE LS, LIC. NO. 050854
CONNECTICUT STATE PE & LS, LIC. NO. 21719

Sheet Title
CONSTRUCTION DETAILS



A BACKFLOW DETAIL - PLAN
SCALE : N.T.S.



B BACKFLOW DETAIL - ELEVATION
SCALE : N.T.S.

GENERAL NOTES - BACKFLOW DEVICE

GENERAL SPECIFICATIONS

- ENGINEER NOT ENGAGED FOR CONSTRUCTION SUPERVISION.
- VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO COMMENCEMENT OF ANY & ALL WORK. ALL DISCREPANCIES BETWEEN THESE PLANS & ACTUAL FIELD CONDITIONS SHALL BE NOTIFIED TO THE ENGINEER IN WRITING PRIOR TO COMMENCEMENT OF WORK.
- ALL WORK SHALL COMPLY WITH THE MUNICIPAL PLUMBING CODES, RULES & REGULATIONS; WATER CONVEYOR CODES & THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH.
- ALL WORK SHALL BE PERFORMED BY A LICENSED PLUMBER IN THE LOCAL MUNICIPALITY.
- TESTING OF THE D.C.V. DEVICE INSTALLED SHALL BE PERFORMED BY A CERTIFIED TESTER ACCEPTABLE BY THE DEPARTMENT OF HEALTH.
- ALL FEES MUST BE PAID, PLANS SUBMITTED & APPROVED, & PERMITS OBTAINED BEFORE & WORK MAY BEGIN.
- THE WATER SERVICE TO THE EXISTING RESIDENCE SHALL BE SHUT OFF BEFORE WORK BEGINS.
- THE D.C.V. DEVICE SHALL BE TESTED ONCE A YEAR & ALL RESULTS SHALL BE FORWARDED TO THE DEPARTMENT OF HEALTH.
- THE D.C.V. DEVICE SHALL BE OVERHAULED EVERY FIVE (5) YEARS & OVERHAULED.

SPECIFICATIONS

- THE DOUBLE CHECK VALVE BACKFLOW PREVENTOR SHALL CONSIST OF INDEPENDENTLY OPERATING, SPRING LOADED, "Y" PATTERN CHECK VALVES & ONE HYDRAULICALLY DEPENDENT DIFFERENTIAL RELIEF VALVE. THE DEVICE SHALL AUTOMATICALLY REDUCE THE PRESSURE IN THE "ZONE" BETWEEN THE CHECK VALVES TO AT LEAST FIVE (5) P.S.I. LOWER THAN THE INLET PRESSURE. SHOULD THE DIFFERENTIAL BETWEEN THE UPSTREAM & THE ZONE OF THE UNIT DROP TO TWO (2) PSI, THE DIFFERENTIAL RELIEF VALVE SHALL OPEN & MAINTAIN THE PROPER DIFFERENTIAL.
- MAINLINE VALVE BODY & CAPS INCLUDING RELIEF VALVE BODY & COVER SHALL BE BRONZE.
- CHECK VALVE MOVING MEMBER SHALL BE CENTER STEM GUIDED. ALL HYDRAULIC SENSING PASSAGES SHALL BE INTERNALLY LOCATED WITHIN THE MAINLINE BODIES.
- DIAPHRAGM TO SEAT AREA RATIO SHALL BE 10 : 1 MINIMUM.
- CHECK VALVE COMPONENTS SHALL BE CONSTRUCTED SO THEY MAY BE SERVICED WITHOUT REMOVING THE VALVE BODY FROM THE LINE. ALL SEAT DISCS SHALL BE REVERSIBLE & SHUT OFF VALVES SHALL BE FULL PORTED.
- THE DEVICE SHALL BE RATED TO 175 P.S.I. WATER WORKING PRESSURE & WATER TEMPERATURE RANGE FROM 35°F TO 100°F.
- THE DEVICE SHALL MEET THE REQUIREMENTS OF A.S.S.E. STANDARD 101-3, A.W.W.A. STANDARD CODE C506-78, & U.S.C. FOUNDATION FOR CROSS CONNECTION CONTROL & HYDRAULIC RESEARCH, SIXTH EDITION.
- THE LOCATION OF THE PROPOSED D.C.V. WILL PROVIDE ADEQUATE LIGHT & HEAT.
- THE PROPOSED D.C.V. SHALL BE INSTALLED IN AN AREA PROTECTED FROM THE HIGHEST POSSIBLE FLOOD PLAIN.
- AN O.S.H.A. APPROVED LADDER IS REQUIRED FOR DEVICES INSTALLED AT A HEIGHT OF 5'-0" & GREATER.
- WHERE THE DISTANCE BETWEEN THE WATER METER & THE BACKFLOW PREVENTOR DEVICE IS GREATER THAN 10'-0", ALL EXPOSED PIPING SHALL BE STENCILED "FEED LINE TO BACKFLOW PREVENTOR - DO NOT TAP" AT 5'-0" INTERVALS.

MASTROGIACOMO ENGINEERING, P.C.
CONSULTING ENGINEERING & LAND SURVEYING
49 Milford Avenue, Suite 109
Port Chester, New York 10573
Tel. 914-939-0979 Fax 914-939-0980
www.mastrogiacomo.com
engineers@mastrogiacomo.com

All ideas, designs, arrangements and plans indicated or represented are owned by and the property of this office and were created, evolved and developed for use and in connection with this specific project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation for any purpose whatsoever without written permission of Mastrogiacomo Engineering, P.C.

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variation from these dimensions and conditions shown hereon in writing.

Unauthorized alterations or additions to drawings, maps and/or plats is a violation of Section 7209, Sub-Division 2, of the New York State Education Law.

Revisions

1	11.20.2020 Town Comments
2	07.22.2021 Redesign Building & Site
3	11.22.2021 Revisions per Staff Comments
4	01.17.2022 Revise application for Hotel
5	03.11.2022 Revise application for Hotel
6	05.12.2022 Revise application for Hotel
7	09.16.2022 Revise application for Hotel
8	01.24.2023 Revise application to respond to staff comments

Drawing North

Client Name and Address

910 SOUTH LAKE LLC
57 ROUTE 6
SUITE 204
BALDWIN PLACE, NY
10505

Project Information

PROPOSED HOTEL
Situated At
910 S. LAKE BLVD
TOWN OF CARMEL
PUTNAM CO.
NEW YORK

Job No.	20-078
Scale	AS NOTED
Date	8 OCT 2020
Drawn By	M.M.
Checked By	M.M.

Sheet
C202

Seal & Signature

MICHAEL MASTROGIACOMO, P.E./L.S.
NEW YORK STATE PE, LIC. NO. 082813
NEW YORK STATE LS, LIC. NO. 050154
CONNECTICUT STATE PE & LS, LIC. NO. 21715

Sheet Title
CONSTRUCTION DETAILS

1 FRONT ELEVATION (NORTH SIDE)
SCALE : 1/4" = 1'-0"
NOTE:

2 REAR ELEVATION (SOUTH SIDE)
SCALE : 1/4" = 1'-0"
NOTE:

MASTROGIACOMO ENGINEERING, P.C.
CONSULTING ENGINEERING & LAND SURVEYING
49 Mildred Avenue, Suite 103
Pork Chester, New York 10573
TEL 914.592.6570 FAX 914.592.6580
www.mastrogiacomo.com

All ideas, designs, arrangements and plans indicated or represented are owned by and the property of this office and were created, evolved and developed for use and in connection with this specific project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation for any purpose whatsoever without written permission of Mastrogiacomo Engineering, P.C.

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variation from these dimensions and conditions shown hereon in writing.

Unauthorized alterations or additions to drawings, misuse and/or plans is a violation of Section 7209, Sub-Division 2, of the New York State Education Law.

Revisions

11.20.2020	Town Comments
07.22.2021	Redesign Building & Site
11.22.2021	Revisions per Staff Comments
01.17.2022	Revise application for Hotel
03.11.2022	Revise application for Hotel
05.12.2022	Revise application for Hotel
09.19.2022	Revise application for Hotel
01.24.2023	Revise application to respond to staff Comments

Drawing North

Client Name and Address

910 SOUTH LAKE LLC
57 ROUTE 6
SUITE 204
BALDWIN PLACE, NY
10505

Project Information

PROPOSED HOTEL
Situated At
910 S. LAKE BLVD
TOWN OF CARMEL
PUTNAM CO.
NEW YORK

Job No.	20-078
Scale	AS NOTED
Date	8 OCT 2020
Drawn By	M.M.
Checked By	M.M.

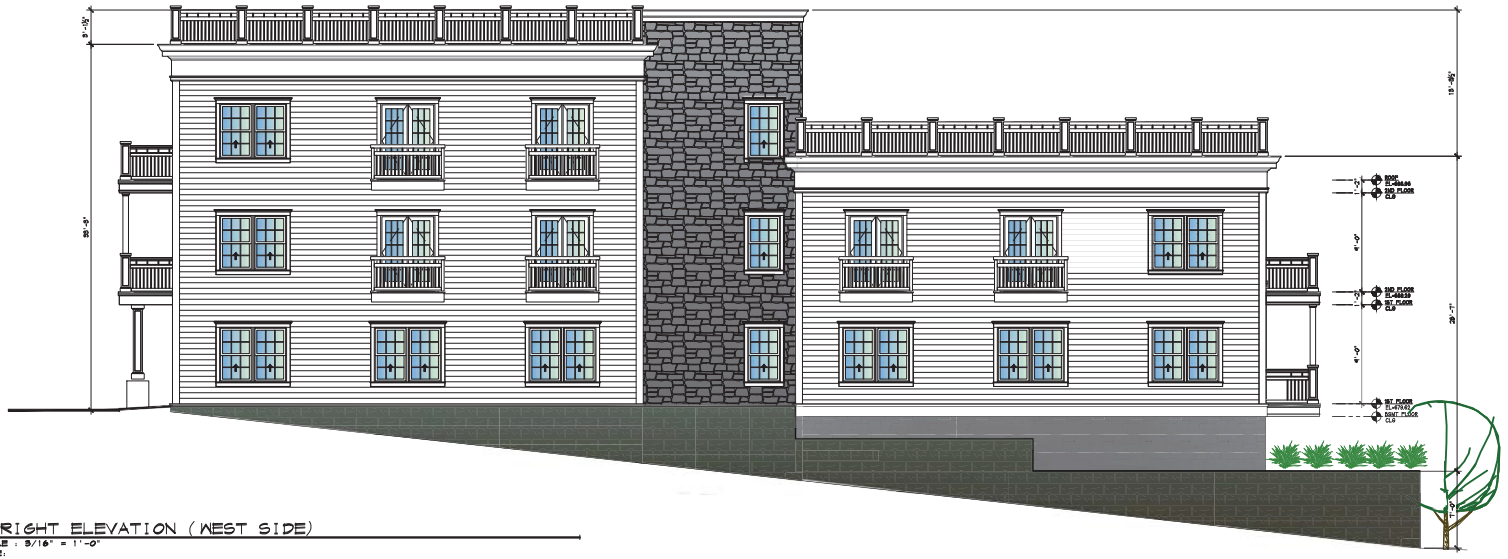
Sheet
A100

Seal & Signature

MICHAEL MASTROGIACOMO, P.E./L.S.
NEW YORK STATE PE, LIC. NO. 082813
NEW YORK STATE LS, LIC. NO. 050854
CONNECTICUT STATE PE & LS, LIC. NO. 2170

Sheet Title
ELEVATIONS

1 LEFT ELEVATION (EAST SIDE)
SCALE : 3/16" = 1'-0"
NOTE:



2 RIGHT ELEVATION (WEST SIDE)
SCALE : 3/16" = 1'-0"
NOTE:

MASTROGIACOMO ENGINEERING, P.C.
CONSULTING ENGINEERING & LAND SURVEYING
49 Mitchell Avenue, Suite 109
Park Chester, New York 10918
Tel. 914-692-6979 Fax 845-692-6980
www.mastrogiacomo.com

All ideas, designs, arrangements and plans indicated or represented are owned by and the property of this office and were created, evolved and developed for use and in connection with this specific project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation for any purpose whatsoever without written permission of Mastrogiacomo Engineering, P.C.

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variation from these dimensions and conditions shown hereon in writing.

Unauthorized alterations or additions to drawings, misleadingly plans is a violation of Section 7209, Sub-Division 2, of the New York State Education Law.

Revisions

11.20.2020	Town Comments
07.22.2021	Redesign Building & Site
11.22.2021	Revisions per Staff Comments
01.17.2022	Revise application for Hotel
03.11.2022	Revise application for Hotel
05.12.2022	Revise application for Hotel
09.19.2022	Revise application for Hotel
01.24.2023	Revise application to respond to staff Comments

Drawing North

client Name and Address

910 SOUTH LAKE LLC

57 ROUTE 6
SUITE 204
BALDWIN PLACE, NY
10505

Project Information

PROPOSED HOTEL

Situated At

910 S. LAKE BLVD
TOWN OF CARMEL
PUTNAM CO.
NEW YORK

Job No.	20-078
Scale	AS NOTED
Date	8 OCT 2020
Drawn By	M.M.
Checked By	M.M.

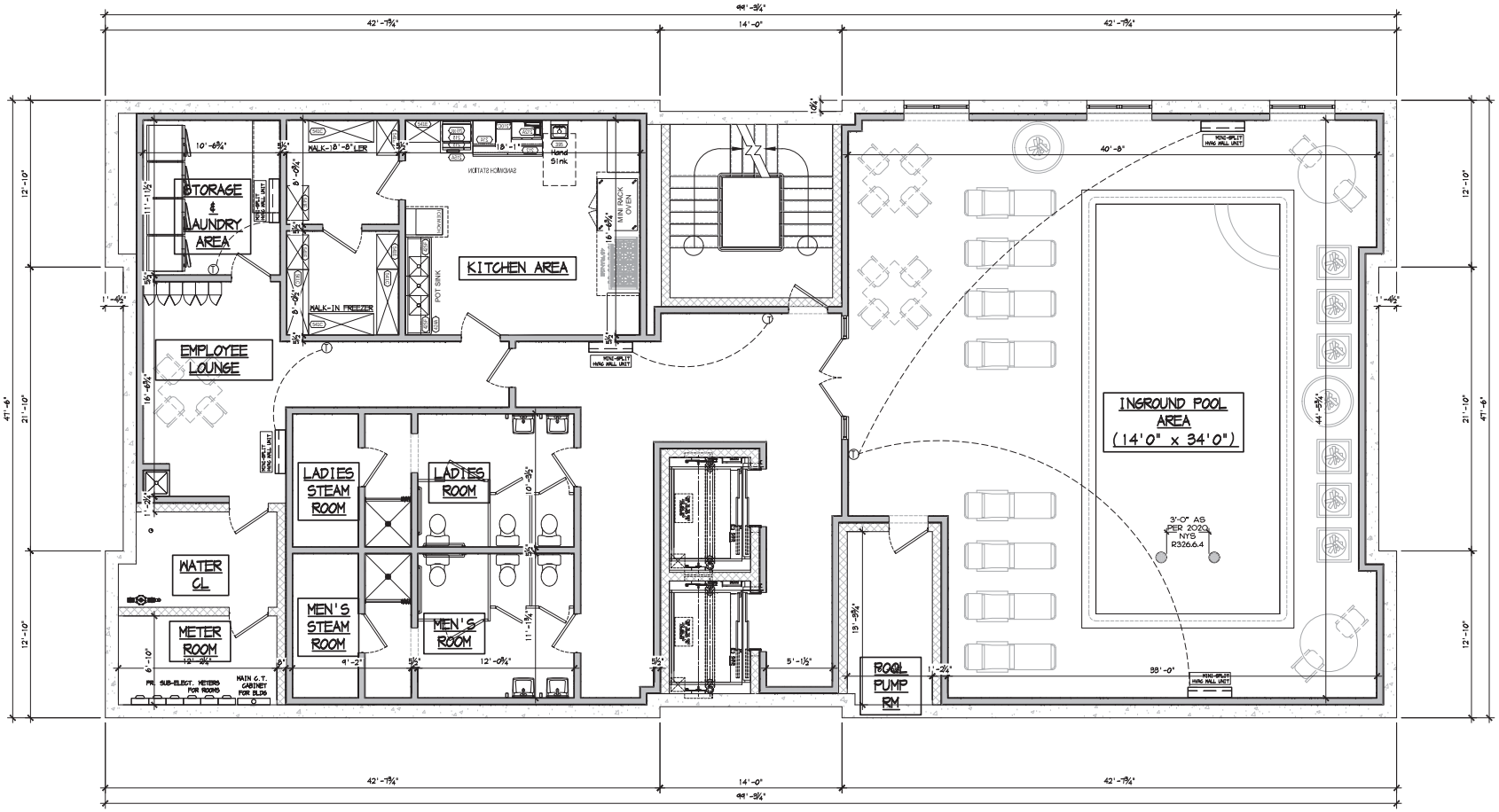
Sheet

A101

Seal & Signature

MICHAEL MASTROGIACOMO, P.E.L.S.
NEW YORK STATE PE, LIC. NO. 082803
NEW YORK STATE LA, LIC. NO. 002644
CONNECTICUT STATE PE & LA, LIC. NO. 2115

Sheet Title
ELEVATIONS



1 PROPOSED FLOOR PLAN - BASEMENT FLOOR
SCALE : 1/4" = 1'-0"
NOTE:

MASTROGIACOMO ENGINEERING, P.C.
CONSULTING ENGINEERING & LAND SURVEYING
49 Milford Avenue, Suite 109
Stamford, New York 12167
TEL 607-652-2070 FAX 607-652-2071
www.mastrogiacomo.com

All ideas, designs, arrangements and plans indicated or represented are owned by and the property of this office and were created, evolved and developed for use and in connection with this specific project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation for any purpose whatsoever without written permission of Mastrogiacomo Engineering, P.C.

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variation from these dimensions and conditions shown hereon in writing.

Unauthorized alterations or additions to drawings, maps and/or plats is a violation of Section 7209, Sub-Division 2, of the New York State Education Law.

Revisions

1	11.20.2020 Town Comments
2	07.22.2021 Redesign Building & Site
3	11.22.2021 Revisions per Staff Comments
4	01.17.2022 Revise application for Hotel
5	03.11.2022 Revise application for Hotel
6	05.12.2022 Revise application for Hotel
7	09.19.2022 Revise application for Hotel
8	01.24.2023 Revise application to respond to staff Comments
9	
10	
11	

Drawing North

Client Name and Address

910 SOUTH LAKE LLC
57 ROUTE 6
SUITE 204
BALDWIN PLACE, NY
10505

Project Information

PROPOSED HOTEL
Situated At
910 S. LAKE BLVD
TOWN OF CARMEL
PUTNAM CO.
NEW YORK

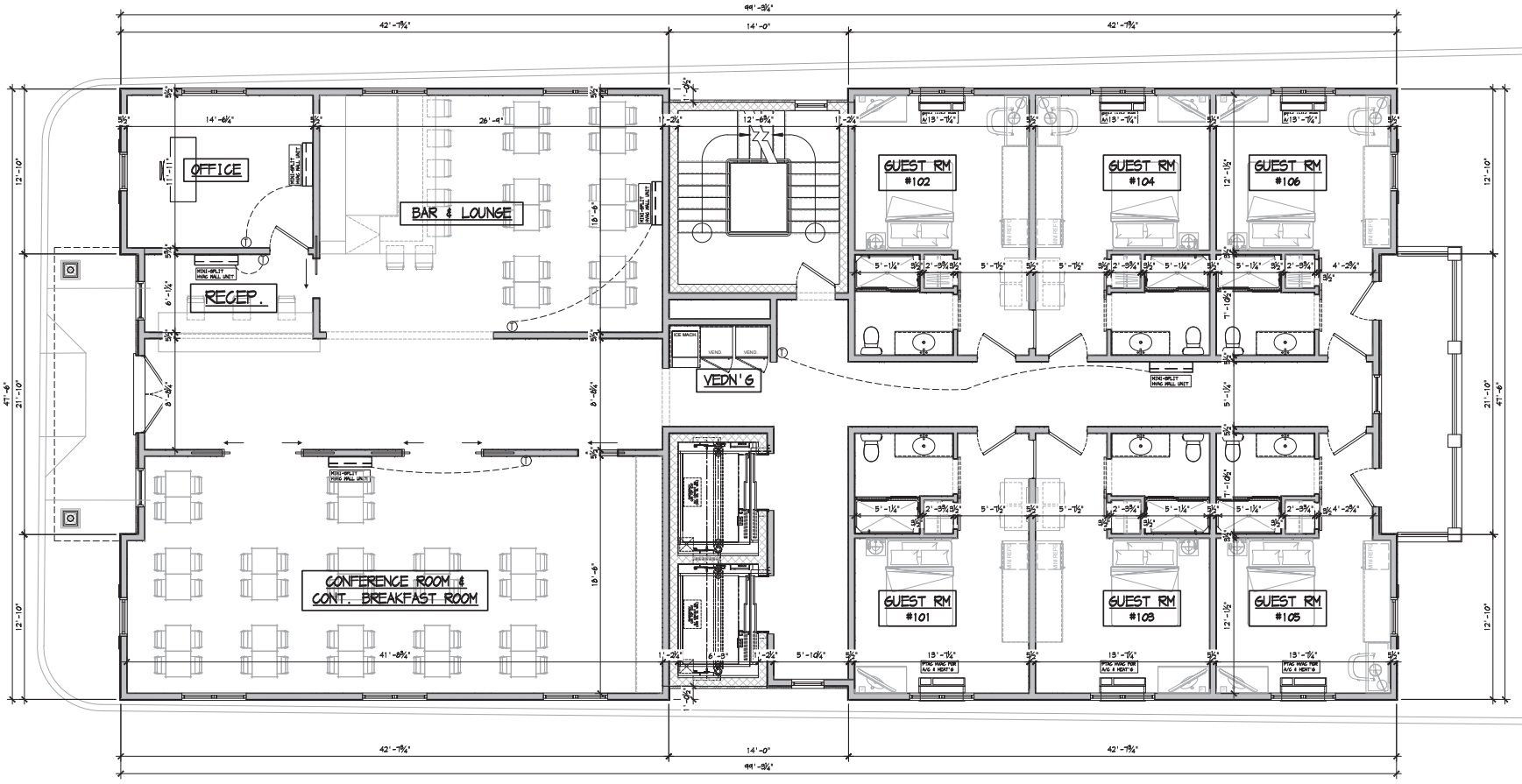
Job No.	20-078
Scale	AS NOTED
Date	8 OCT 2020
Drawn By	M.M.
Checked By	M.M.

Sheet
A200

Seal & Signature

MICHAEL MASTROGIACOMO, P.E./L.S.
NEW YORK STATE PE, LIC. NO. 082813
NEW YORK STATE LS, LIC. NO. 050854
CONNECTICUT STATE PE & LS, LIC. NO. 21715

Sheet Title
PROPOSED FLOOR PLAN - BASEMENT FLOOR



1 PROPOSED FLOOR PLAN - 1ST FLOOR
SCALE : 1/4" = 1'-0"
NOTE:

MASTROGIACOMO ENGINEERING, P.C.
CONSULTING ENGINEERING & LAND SURVEYING
49 Milford Avenue, Suite 109
Park Chester, New York 10918
Tel. 914-238-0070 Fax 845-238-0080
www.mastroengineering.com

All ideas, designs, arrangements and plans indicated or represented are owned by and the property of this office and were created, evolved and developed for use and in connection with this specific project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation for any purpose whatsoever without written permission of Mastrogiacomo Engineering, P.C.

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variation from these dimensions and conditions shown hereon in writing.

Unauthorized alterations or additions to drawings, specifications or plans is a violation of Section 7209, Sub-Division 2, of the New York State Education Law.

Revisions

1	11.20.2020 Town Comments
2	07.22.2021 Redesign Building & Site
3	11.22.2021 Revisions per Staff Comments
4	01.17.2022 Revise application for Hotel
5	03.11.2022 Revise application for Hotel
6	05.12.2022 Revise application for Hotel
7	09.19.2022 Revise application for Hotel
8	01.24.2023 Revise application to respond to staff Comments

Drawing North

Client Name and Address

910 SOUTH LAKE LLC
57 ROUTE 6
SUITE 204
BALDWIN PLACE, NY
10505

Project Information

PROPOSED HOTEL
Situated At
910 S. LAKE BLVD
TOWN OF CARMEL
PUTNAM CO.
NEW YORK

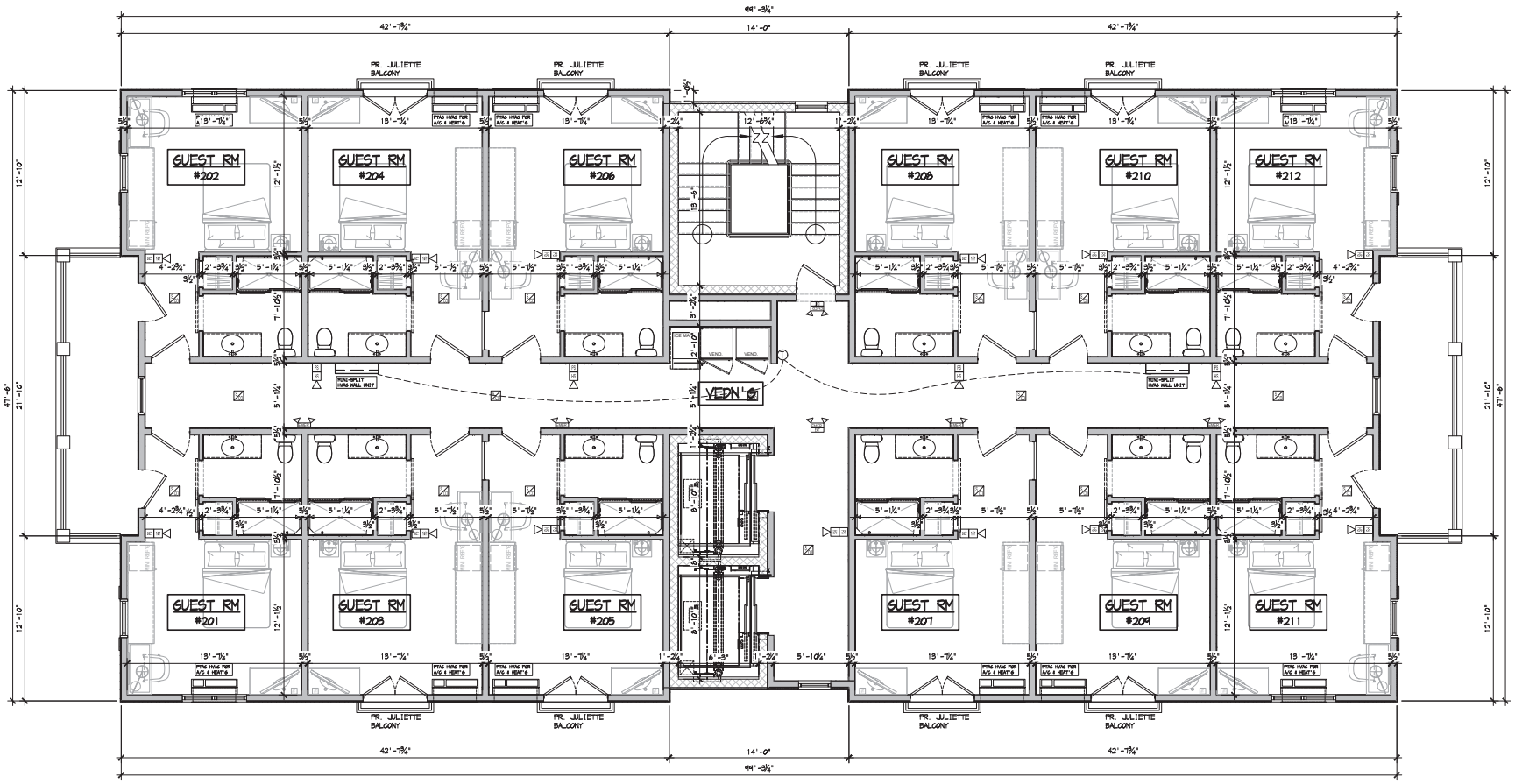
Job No.	20-078
Scale	AS NOTED
Date	8 OCT 2020
Drawn By	M.M.
Checked By	M.M.

Sheet
A201

Seal & Signature

MICHAEL MASTROGIACOMO, P.E.L.S.
NEW YORK STATE PE, LIC. NO. 082803
NEW YORK STATE LS, LIC. NO. 050804
CONNECTICUT STATE PE & LS, LIC. NO. 21715

Sheet Title
PROPOSED FLOOR PLAN - 1ST FLOOR



1 PROPOSED FLOOR PLAN - 2ND FLOORS
SCALE : 1/4" = 1'-0"
NOTE:

MASTROGIACOMO ENGINEERING, P.C.
CONSULTING ENGINEERING & LAND SURVEYING
49 Milford Avenue, Suite 109
Stark Glendon, New York 10598
TEL 914.000.0000 FAX 000.000.0000
www.mastroengineering.com

All ideas, designs, arrangements and plans indicated or represented are owned by and the property of this office and were created, evolved and developed for use and in connection with this specific project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation for any purpose whatsoever without written permission of Mastrogiacomo Engineering, P.C.

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variation from these dimensions and conditions shown hereon in writing.

Unauthorized alterations or additions to drawings, maps and/or plats is a violation of Section 7209, Sub-Division 2, of the New York State Education Law.

Revisions

1	11.20.2020 Town Comments
2	07.22.2021 Redesign Building & Site
3	11.22.2021 Revisions per Staff Comments
4	01.17.2022 Revise application for Hotel
5	03.11.2022 Revise application for Hotel
6	05.12.2022 Revise application for Hotel
7	09.19.2022 Revise application for Hotel
8	01.24.2023 Revise application to respond to staff Comments

Drawing North

Client Name and Address
910 SOUTH LAKE LLC
57 ROUTE 6
SUITE 204
BALDWIN PLACE, NY
10505

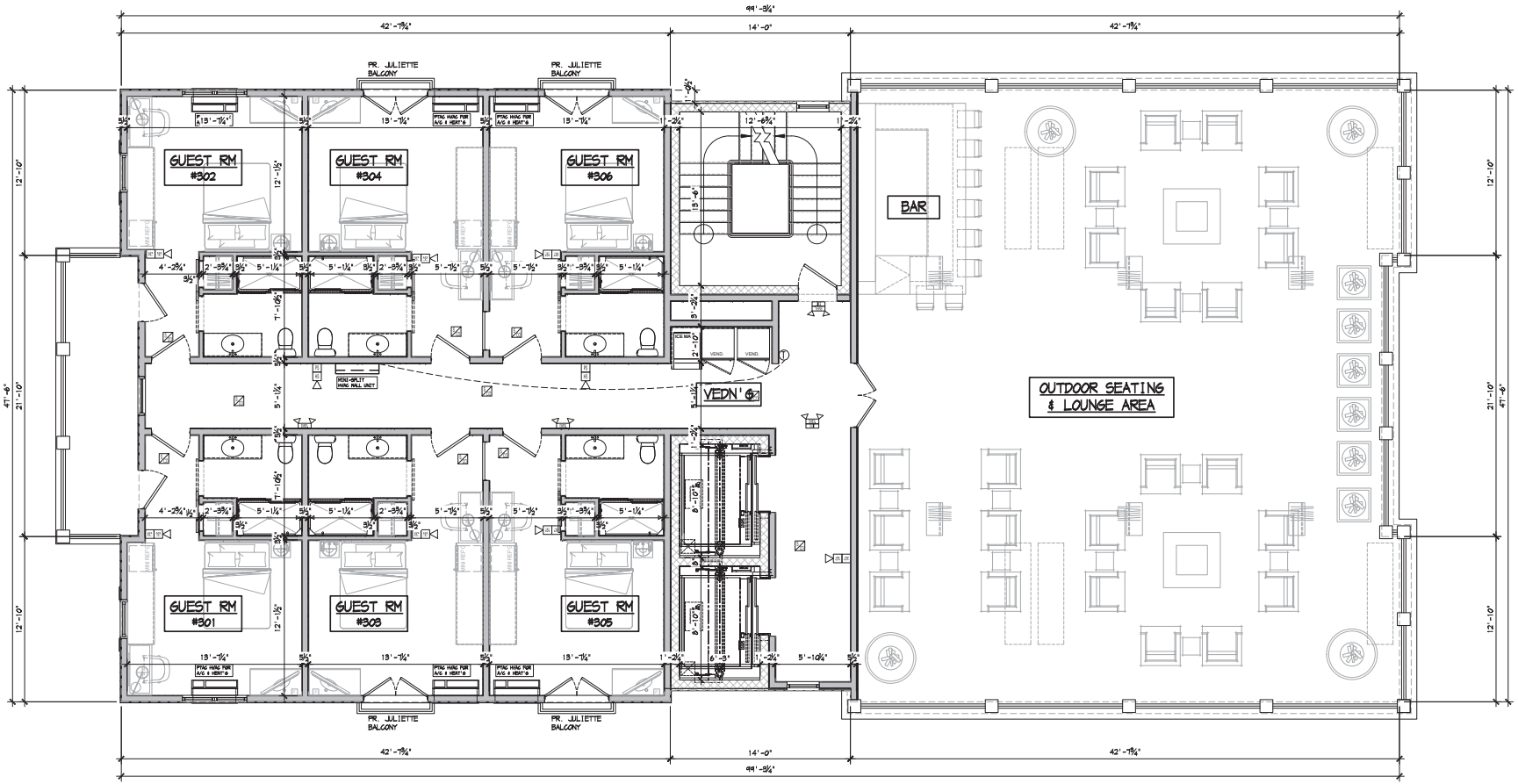
Project Information
PROPOSED HOTEL
Situated At
910 S. LAKE BLVD
TOWN OF CARMEL
PUTNAM CO.
NEW YORK

Job No.	20-078
Scale	AS NOTED
Date	8 OCT 2020
Drawn By	M.M.
Checked By	M.M.

Sheet
A202

Seal & Signature
MICHAEL MASTROGIACOMO, P.E./L.S.
NEW YORK STATE PE, LIC. NO. 082803
NEW YORK STATE LS, LIC. NO. 050804
CONNECTICUT STATE PE & LS, LIC. NO. 21715

Sheet Title
PROPOSED FLOOR PLAN - 2ND FLOORS



1 PROPOSED FLOOR PLAN - 3RD FLOORS
SCALE : 1/4" = 1'-0"
NOTE:

MASTROGIACOMO ENGINEERING, P.C.
CONSULTING ENGINEERING & LAND SURVEYING

All ideas, designs, arrangements and plans indicated or represented are owned by and the property of this office and were created, evolved and developed for use and in connection with this specific project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation for any purpose whatsoever without written permission of Mastrogiacomo Engineering, P.C.

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variation from these dimensions and conditions shown hereon in writing.

Unauthorized alterations or additions to drawings, maps and/or plats is a violation of Section 7209, Sub-Division 2, of the New York State Education Law.

Revisions

1	11.20.2020 Town Comments
2	07.22.2021 Redesign Building & Site
3	11.22.2021 Revisions per Staff Comments
4	01.17.2022 Revise application for Hotel
5	03.11.2022 Revise application for Hotel
6	05.12.2022 Revise application for Hotel
7	09.19.2022 Revise application for Hotel
8	01.24.2023 Revise application to respond to staff Comments

Drawing North

Client Name and Address
910 SOUTH LAKE LLC
57 ROUTE 6
SUITE 204
BALDWIN PLACE, NY
10505

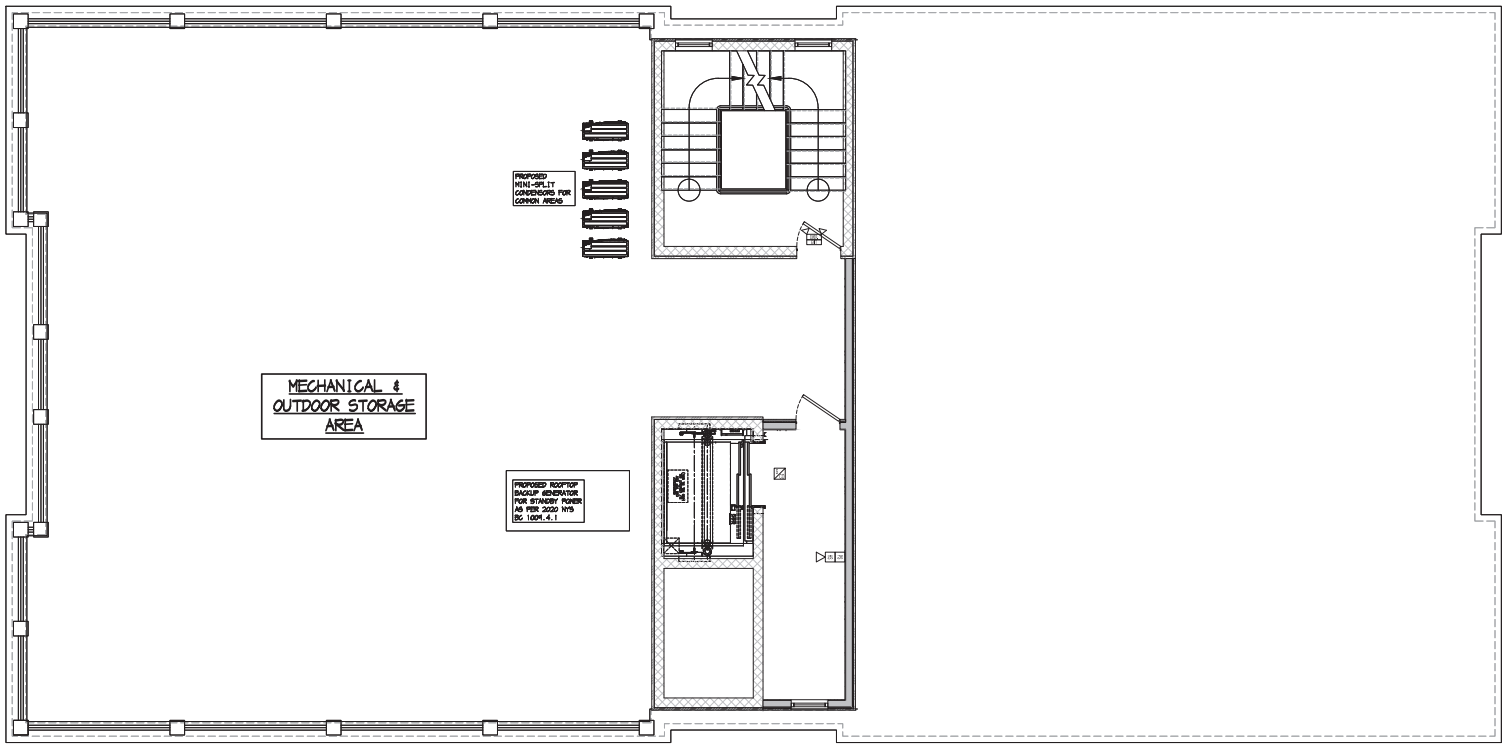
Project Information
PROPOSED HOTEL
Situated At
910 S. LAKE BLVD
TOWN OF CARMEL
PUTNAM CO.
NEW YORK

Job No.	20-078
Scale	AS NOTED
Date	8 OCT 2020
Drawn By	M.M.
Checked By	M.M.

Sheet
A203

Seal & Signature
MICHAEL MASTROGIACOMO, P.E./L.S.
NEW YORK STATE PE, LIC. NO. 082813
NEW YORK STATE LS, LIC. NO. 050804
CONNECTICUT STATE PE & LS, LIC. NO. 21715

Sheet Title
PROPOSED FLOOR PLAN - 3RD FLOORS



1 PROPOSED FLOOR PLAN - ROOF
SCALE : 1/4" = 1'-0"
NOTE:

MASTROGIACOMO ENGINEERING, P.C.
CONSULTING ENGINEERING & LAND SURVEYING
49 Milford Avenue, Suite 109
Port Chester, New York 10573
Tel. 914-934-0570 Fax 914-934-0580
www.mastrogiacomo.com
proposed@mastrogiacomo.com

All ideas, designs, arrangements and plans indicated or representated are owned by and the property of this office and were created, evolved and developed for use and in connection with this specific project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation for any purpose whatsoever without written permission of Mastrogiacomo Engineering, P.C.

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variation from these dimensions and conditions shown hereon in writing.

Unauthorized alterations or additions to drawings, maps and/or plats is a violation of Section 7209, Sub-Division 2, of the New York State Education Law.

Revisions

1	11.20.2020	Town Comments
2	07.22.2021	Redesign Building & Site
3	11.22.2021	Revisions per Staff Comments
4	01.17.2022	Revise application for Hotel
5	03.11.2022	Revise application for Hotel
6	05.12.2022	Revise application for Hotel
7	06.16.2022	Revise application for Hotel
8	01.24.2023	Revise application to respond to staff Comments

Drawing North

client Name and Address

910 SOUTH LAKE LLC
57 ROUTE 6
SUITE 204
BALDWIN PLACE, NY
10505

Project Information

PROPOSED HOTEL
Situated At
910 S. LAKE BLVD
TOWN OF CARMEL
PUTNAM CO.
NEW YORK

Job No.	20-078
Scale	AS NOTED
Date	8 OCT 2020
Drawn By	M.M.
Checked By	M.M.

Sheet

A204

Seal & Signature

MICHAEL MASTROGIACOMO, P.E.,L.S.
NEW YORK STATE PE, LS, NO. 082813
NEW YORK STATE LA, LD, NO. 002564
CONNECTICUT STATE PE & LA, LIC. NO. 2115

Sheet Title
PROPOSED FLOOR PLAN - ROOF

TOWN OF CARMEL
SUBDIVISION APPLICATION INSTRUCTIONS

The Town of Carmel Planning Board meetings are held twice a month, on the **second and fourth Wednesday's, at 7:00 PM** at Carmel Town Hall, 60 McAlpin Avenue, Carmel

The submission deadline is 10 days prior to the Planning Board meeting. New subdivision applications that have been deemed complete will be placed on the agenda in the order they are received.

Pre-Submission:

Prior to the formal submission of the subdivision, a pre-submission conference may be requested by the applicant to be conducted with representatives from the Town, which may include the Town Planner, Town Engineer, Director of Code Enforcement, Planning Board Attorney. This conference will serve to educate the applicant on the process he/she must follow, clarify the information required to submit a complete subdivision application, and to highlight any specific areas of concern. You may arrange a pre-submission conference through the Planning Board Secretary at (845) 628-1500.

Submission Requirements:

At least 10 days prior to the Planning Board meeting, the subdivision application shall be submitted to the Planning Board Secretary as follows:

All subdivisions shall be signed, sealed and folded with the title box legible. The application package shall include:

- ☑ 11 copies of the Subdivision Application Form signed and notarized.
- ☑ 11 copies of the SEQR Environmental Assessment Form (use of short form or long form shall be determined at pre-submission conference).
- ☑ 5 full size sets of the Subdivision Plan
- ☐ 1 CD (in pdf. format) containing an electronic version of the Subdivision Plan
- ☑ 2 copies of the Disclosure Statement
- ☑ 11 copies of the Subdivision Completeness Certification Form
- ☑ All supplemental studies, reports, plans and renderings.
- ☑ 2 copies of the current deed.
- ☑ 2 copies of all easements, covenants and restrictions.
- ☑ The appropriate fee, determined from the attached fee schedule. Make checks payable to the *Town of Carmel.*

Planning Board Secretary; Date 3/1/23

Town Engineer; Date 3/1/23

TOWN OF CARMEL
SUBDIVISION APPLICATION

Per Town of Carmel Code – Section 131 – Subdivision of Land

SITE IDENTIFICATION INFORMATION

Application Name: AnB Holdings GCCM LLC Michael Scoca	**Application #** 23-0001	**Date Submitted:** 01/30/23

Site Address:
No. 93 *Street:* Teakettle Spout Road *Hamlet:* Mahopac NY 10541

Property Location: *(Identify landmarks, distance from intersections, etc.)*
0.5 miles from Teakettle Spout Lake

Town of Carmel Tax Map Designation: *Section* 76.17 *Block* 1 *Lot(s)* 17	**Zoning Designation of Site:** Residential
Property Deed Recorded in County Clerk's Office *Date* 06/17/22 *Liber* 2282 *Page* 348	**Liens, Mortgages or other Encumbrances** *Yes* (No)
Existing Easements Relating to the Site *No* (Yes) *Describe and attach copies:*	**Are Easements Proposed?** (No) *Yes* *Describe and attach copies:*

Have Property Owners within a 500' Radius of the Site Been Identified?
Yes *No* *Attached List to this Application Form*

APPLICANT/OWNER INFORMATION

Property Owner: Michael Scoca, AnB Holdings GCCM LLC	**Phone #:** **Fax#:** 9145721197	**Email:** anbholdgccm@gmail.com

Owners Address:
No. 222 *Street:* Center Ave. 6J *Town:* New Rochelle *State:* NY *Zip:* 10805

Applicant (If different than owner):	**Phone #:** **Fax#:**	**Email:**

Applicant Address (If different than owner):
No. *Street:* *Town:* *State:* *Zip:*

Individual/ Firm Responsible for Preparing Site Plan: LEAP Architecture	**Phone #:** **Fax#:** 518 669 9435	**Email:** feargal@leaparchitecture.com

Address:
No. 256 *Street:* Seaman Ave. #2 *Town:* New York *State:* NY *Zip:* 10034

Other Representatives:	**Phone #:** **Fax#:**	**Email:**

Owners Address:
No. *Street:* *Town:* *State:* *Zip:*

PROJECT DESCRIPTION

Describe the project, proposed use and operation thereof:
TWO STOREY WOOD FRAMED SINGLE FAMILY HOUSE ON CONCRETE FOUNDATIONS, WITH ASSOCIATED SEPTIC SYSTEM, WELL, DRIVEWAY AND CONNECTION TO EXISTING MUNICIPAL UTILITIES.

TOWN OF CARMEL SUBDIVISION APPLICATION

PROJECT INFORMATION

Size of existing parcel to be subdivided:
Acres: 0.98 Acres *Square Feet:* 42,849 sq.ft

Major Subdivision ☐	**Minor Subdivision** ☒
Number of proposed lots: 2	**Size of proposed lots:** 0.98
Conventional Subdivision ☒	**Cluster Subdivision** ☐
Will a 10% open space set aside be provided? Yes: ☒ No: ☐	**If no, will a payment in-lieu be provided?** Yes: ☐ No: ☐
Will all new lots have frontage on a mapped street? Yes: ☒ No: ☐	**If not, how will this deficiency be addressed?**

Is the site served by the following public utility infrastructure:

- **Sanitary Sewer** Yes: ☐ No: ☒

  If Yes:
  - **Does approval exist to connect to sewer main? Yes: ☐ No: ☐** NOT APPLICABLE
  - **Is this an in-district connection? _____ Out-of district connection?**
  - **What is the total sewer capacity at time of application? _____**
  - **What is your anticipated average and maximum daily flow _____**

For Town of Carmel Town Engineer
- *What is the sewer capacity* RJF 2/14/23 N A

- **Water Supply** Yes: ☐ No: ☒

  If Yes:
  - **Does approval exist to connect to water main? Yes: ☐ No: ☐** NOT APPLICABLE
  - **What is the total water capacity at time of application? _____**
  - **What is your anticipated average and maximum daily demand _____**

- **Storm Sewer** Yes: ☐ No: ☒
- **Electric Service** Yes: ☒ No: ☐
- **Gas Service** Yes: ☐ No: ☒
- **Telephone/Cable Lines** Yes: ☒ No: ☐

Will any common areas be created outside of individual lots (road rights-of-way, recreation areas, stormwater management areas, etc.)? Yes: ☐ No: ☒			
Is a homeowners association proposed? Yes: ☐ No: ☒			
What is the predominant soil type(s) on the site? soil/sand		**What is the approximate depth to water table?**	
Site slope categories:	**15-25%** ___ %	**25-35%** ___ %	**>35%** ___ %
Estimated quantity of excavation:	**Cut (C.Y.)** 400	**Fill (C.Y.)** 0	
Is Blasting Proposed Yes: ☐	**No:** ☒	**Unknown:** ☐	
Is the site located ion a designated Critical Environmental Area?	**Yes:** ☐	**No:** ☒	
Does a curb cut exist on the site? Yes: ☐ No: ☒	**Are new curb cuts proposed?** Yes: ☐ No: ☒	**What is the sight distance?** Left_____ Right _____	

Is the site located within 500' of:

- **The boundary of an adjoining city, town or village** Yes: ☐ No: ☒
- **The boundary of a state or county park, recreation area or road right-of-way** Yes: ☐ No: ☒
- **A county drainage channel line.** Yes: ☐ No: ☒

- **The boundary of state or county owned land on which a building is located** Yes: ☐ No: ■

Is the site listed on the State or Federal Register of Historic Place (or substantially (contiguous)
Yes: ☐ No: ■

Is the site located in a designated floodplain?
Yes: ☐ No: ■

Does the site contain freshwater wetlands?
Yes: ■ No: ☐

Jurisdiction:
NYSDEC: ■ Town of Carmel: ■

If present, the wetlands must be delineated in the field by a Wetland Professional, and survey located on the Site Plan.

Are encroachments in regulated wetlands or wetland buffers proposed? Yes: ■ No: ☐

Does this application require a referral to the Environmental Conservation Board? Yes: ☒ No: ☐

Does the site contain waterbodies, streams or watercourses? Yes: ☐ No: ☒

Are any encroachments, crossings or alterations proposed? Yes: ☐ No: ☒

Is the site located adjacent to New York City watershed lands? Yes: ☐ No: ☒

Will municipal or private solid waste disposal be utilized?
Public: ☐ Private: ☒

Has this application been referred to the Fire Department? Yes: ☐ No: ☒

What is the estimated time of construction for the project?
100 Days

ZONING COMPLIANCE INFORMATION

Zoning Provision	Required	Existing	Lot 1	Lot 2	Lot 3	Lot 4	Lot 5
Lot Area	120,000	42,849 sq.ft					
Lot Coverage	max 15%	12%					
Lot Width	min. 200ft	191ft					
Front Yard	min. 40ft	102ft					
Side Yard (minimum of 1)	25/25ft min.	61ft, 64ft					
Side Yard (total of both)	50ft	125ft					
Rear Yard	min. 40ft	60ft					
Habitable Floor Area		4982sq.ft					
Height	max. 35ft	33.5 ft					

(if more than 5 lots are proposed, include additional zoning compliance information on a separate sheet)

Will variances be required? Yes: ☐ No: ☒

If yes, identify variances required for each lot:

APPLICANTS ACKNOWLEDGEMENT

I hereby depose and certify that all the above statements and information, and all statements and information contained in the supporting documents and drawings attached hereto are true and correct.

Michael Scocca
Applicants Name

Applicants Signature

Sworn before me this 14th **day of** February **20**23

Alice Daly
Notary Public

ALICE DALY
Notary Public, State of New York
No. 01DA6345218
Qualified in Putnam County
Commission Expires July 25, 2024

TOWN OF CARMEL

SUBDIVISION COMPLETENESS CERTIFICATION FORM

All Subdivisions submitted to the Planning Board for review shall include the following information and details, as set forth in Section 131-11-14 of the Town of Carmel Subdivision Regulations.

This form shall be included with the subdivision submission

Drawing Set incomplete need to be signed/sealed by PE

	Requirement Data	To Be Completed by the Applicant	Waived by the Town
General Requirements			
1	Key map at a scale of one inch equals 800 feet	☒	☐
2	Title block, including title of map; name of subdivision; name, address, seal and signature of professional engineer or land surveyor preparing the plat; written scale; date of original and all revisions.	☒	☐
3	A legend, including, names of all adjacent landowners and those within 500 feet of any property line; zoning district with the requirements of said zone; tax map, block and lot number; names and addresses of owner and subdivider; north point and graphic scale.	☒	☐
4	Location and identification of all zoning district boundaries.	☐ NA	☐
5	Identification of all maps filed in the County Clerk's office affecting properties within 500 feet of the lot to be subdivided.	☐ NA	☐
Sketch Plan Requirements			
1	All General Requirements	☒	☐
2	Proposed subdivision layout at a scale of not less than one inch equals 100 feet.	☒	☐
3	All proposed lot lines, dimensions in feet and the areas of all lots in square feet and identifying numbers for each lot.	☒	☐
4	The location of existing and proposed setback lines, streets within 200 feet of the subdivision, buildings, watercourses, railroads and bridges, culverts, drainpipes and any natural features, such as wooded areas and rock formations.	☒	☐
5	Location and size of areas proposed to be reserved for recreation/open space.	☒	☐

TOWN OF CARMEL
SUBDIVISION COMPLETENESS CERTIFICATION FORM

	Requirement Data	To Be Completed by the Applicant	Waived by the Town
Preliminary Plat Requirements			
1	All General and Sketch Plan Requirements	☒	☐
2	The area included in the subdivision, by area of lots, roads, reservations if any, and total acreage.	☒	☐
3	The existing and proposed contours (at an interval of not more than two feet), suitably designated to differentiate, with proposed first-floor elevations of the buildings.	☒	☐
4	Names of existing streets and proposed names of new streets.	☒ NA	☐
5	Preliminary profiles of all proposed roads.	☒ NA	☐
6	Location, type and size of curbs, sidewalks and bikeways.	☒ NA	☐
7	For subdivisions of five or more lots, front building elevation sketches and distribution of dissimilar building types on the site to avoid excessive similarity of exterior design.	☒ NA	☐
8	Plans of proposed utility layouts and all facilities, unsized.	☒	☐
9	The natural flow of surface drainage (indicated with arrows and the final disposal of surface waters); location of existing and proposed watercourses, culverts, bridges, drainpipes, lakes and ponds, detention or retention ponds; tentative location of storm drain inlets with the drainage areas tributary to each outlined and the area shown.	☒	☐
10	Existing or proposed covenants or deed restrictions applying to the site and a preliminary draft of homeowners' association documents, if applicable.	☒ NA	☐
11	A stormwater pollution prevention plan (SWPPP) consistent with the requirements of Article X of Chapter 156 of the Code of the Town of Carmel.	☒	☐
Final Plat Requirements			
1	All General, Sketch and Preliminary Plat Requirements.	☒	☐

TOWN OF CARMEL

SUBDIVISION COMPLETENESS CERTIFICATION FORM

	Requirement Data	To Be Completed by the Applicant	Waived by the Town
2	Dimensions exactly with reference to monuments, bearings, distances in feet, radii, points of curvature and tangency of property lines, lot widths and depths and square feet of each lot.	☒	☐
3	Location of all proposed setback lines on each lot, with corner and irregular-shaped lots identified as to front, side and rear yards.	☒	☐
4	Location of all existing and proposed monuments.	☒ SEE LAND SURVEY MAP PROVIDED	☐
5	All existing streets and streams within the subdivision and within 200 feet of the boundaries thereof, the width of the right-of-way of each street and existing public easements and municipal boundaries within 200 feet of the subdivision.	☒ SEE KEY MAP PROVIDED	☐
6	All proposed public easements or rights-of-way and the purposes thereof and proposed streets, identifying right-of-way width and names.	☐ NA	☐
7	All parcels proposed for open space/recreation use, with a statement of the purpose of each.	☐ NA	☐
8	Construction plat, which shall include, in addition to the above: final first-floor elevations of dwellings and outside grades at their corner; proposed curb elevations at all lot corners; all existing structures, including a note indicating those to be removed and yard dimensions of those to remain; plans and profiles and proposed improvements and utility layouts; paving widths and locations, section and profiles; sidewalk widths and locations and sections; road alignment, complete with stations, center line curve data and existing and finished contours of the road and all regraded areas; details of manholes, catch basins, headwalls and any other required structure; locations of all street trees, lights and signs; maximum anticipated extent of the areas of cuts and fills where grade	☒ DETAILS WILL BE PROVIDED AT LATER DATE	☐

TOWN OF CARMEL
SUBDIVISION COMPLETENESS CERTIFICATION FORM

	Requirement Data	To Be Completed by the Applicant	Waived by the Town
	changes are proposed; the natural flow of surface drainage and the final disposal of surface waters; slopes of banks of all watercourses, if defined, and boundaries of floodplains; specifications, locations, profiles and detailed cross sections of the proposed storm drains, including all inlets and size of the drainage area of the streets, including grades and all other improvements.		
9	Final copy of the homeowners' association documents, if applicable.	☐ NA	☐
10	Deeds for land to be dedicated for road widening, recreation or other purposes.	☐ NA	☐
11	Erosion control standards.	☒	☐
12	A stormwater pollution prevention plan (SWPPP) consistent with the requirements of Article X of Chapter 156 of the Code of the Town of Carmel and with the terms of preliminary plan approval.	☒	☐

Applicants Certification (to be completed by the licensed professional preparing the subdivision plan:

I ERIC DAVENPORT **hereby certify that the site plan to which I have attached my seal and signature, meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:**

REGISTERED ARCHITECT ERIC F DAVENPORT 035755 STATE OF NEW YORK

Professionals Seal

_____ 02/14/2023

Signature - Applicant **Date**

_____ 2-14-2023

Signature - Owner **Date**

TOWN OF CARMEL
SUBDIVISION COMPLETENESS CERTIFICATION FORM

Town Certification (to be completed by the Town)

I _____ hereby confirm that the site plan meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:

Rose Tomlytta — 3/1/23

Signature - Planning Board Secretary — **Date**

Richard D'Amore — 3/1/23

Signature - Town Engineer — **Date**

Short Environmental Assessment Form
Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information		
93 Teakettle Spout Road - Single Family House		
Name of Action or Project:		
Project Location (describe, and attach a location map): 93 Teakettle Spout Road, Mahopac, NY 10541		
Brief Description of Proposed Action: Construct single family, two story dwelling, wood framed on concrete foundations with associated septic system, well, driveway and utility hookups.		
Name of Applicant or Sponsor: ANB Holdings GCCM LLC - Michael Scoca	Telephone: 914-572-1197	
	E-Mail: anbholdgccm@gmail.com	
Address: 222 Centre Ave, Apt 6J		
City/PO: New Rochelle	State: New York	Zip Code: 10805

	NO	YES
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.	☑	☐
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:	☑	☐

3. a. Total acreage of the site of the proposed action? 0.98 acres
   b. Total acreage to be physically disturbed? _____ acres
   c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres

4. Check all land uses that occur on, are adjoining or near the proposed action:

5. ☐ Urban ☐ Rural (non-agriculture) ☐ Industrial ☐ Commercial ☑ Residential (suburban)
   ☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other(Specify):
   ☐ Parkland

	NO	YES	N/A
5. Is the proposed action,			
a. A permitted use under the zoning regulations?	☐	☑	☐
b. Consistent with the adopted comprehensive plan?	☐	☑	☐

	NO	YES
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	☐	☑

	NO	YES
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?		
If Yes, identify: _____	☑	☐

	NO	YES
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	☑	☐
b. Are public transportation services available at or near the site of the proposed action?	☑	☐
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	☑	☐

	NO	YES
9. Does the proposed action meet or exceed the state energy code requirements?		
If the proposed action will exceed requirements, describe design features and technologies:	☐	☑

	NO	YES
10. Will the proposed action connect to an existing public/private water supply?		
If No, describe method for providing potable water: Well drilling	☑	☐

	NO	YES
11. Will the proposed action connect to existing wastewater utilities?		
If No, describe method for providing wastewater treatment: Septic	☑	☐

	NO	YES
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	☑	☐
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	☑	☐

	NO	YES
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	☐	☑
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	☑	☐
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____		

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:

☐ Shoreline ☐ Forest ☐ Agricultural/grasslands ☐ Early mid-successional

☑ Wetland ☐ Urban ☐ Suburban

	NO	YES
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? Northern Long-eared Bat	☐	☑
16. Is the project site located in the 100-year flood plan?	☑	☐
17. Will the proposed action create storm water discharge, either from point or non-point sources?	☑	☐
If Yes,		
a. Will storm water discharges flow to adjacent properties?	☑	☐
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	☑	☐
If Yes, briefly describe:		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	☑	☐
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	☑	☐
20.Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	☑	☐

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

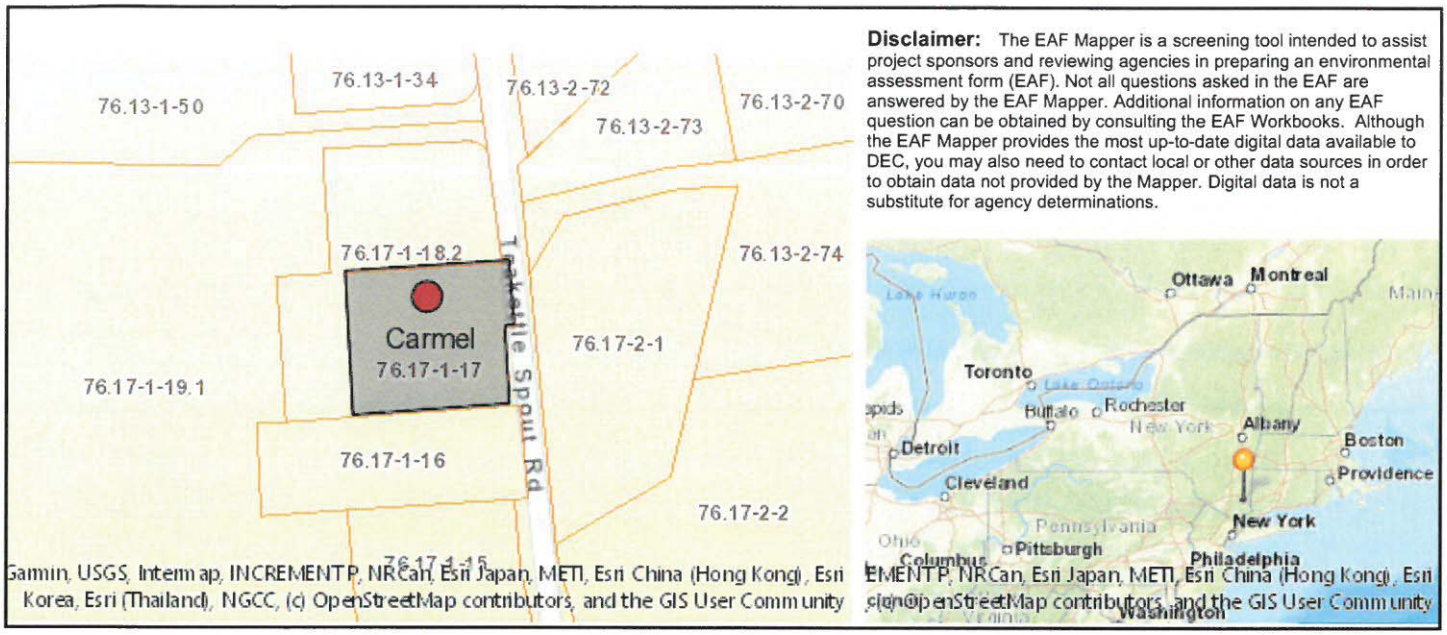
Applicant/sponsor/name: ANB Holdings GCCM LLC - Michael Scoca Date: 11/16/22

Signature: Michael Scoca Title: Owner

PRINT FORM

EAF Mapper Summary Report

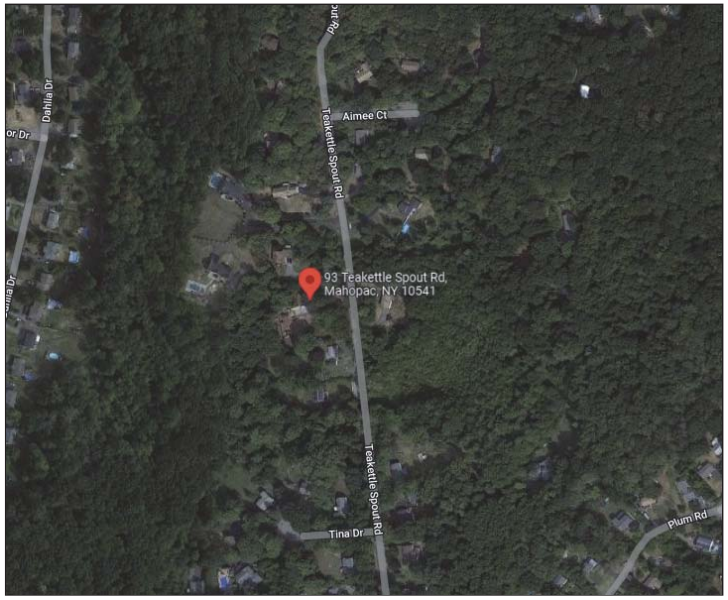
Wednesday, November 16, 2022 12:27 PM



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Northern Long-eared Bat
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No

MAHOPAC HOUSE
AT
93 TEAKETTLE SPOUT ROAD,
MAHOPAC, N7 10541



SITE LOCATION MAP

DRAWING LIST

C- 001 PROJECT NOTES AND SPECIFICATIONS

C- 100 EXISTING CONDITIONS

C- 200 SITE PLAN

C- 300 DRAINAGE AND GRADING PLAN

C- 400 WATER WELL AND SEPTIC SYSTEM PLAN

C- 500 SOIL EROSION AND SEDIMENT CONTROLS

C- 600 CONSTRUCTION DETAILS

C- 601 CONSTRUCTION DETAILS

FEBRUARY 2023

A2L ENGINEERING

GENERAL NOTES:

1. EXISTING SITE CONDITIONS SHOWN ARE BASED ON TOPOGRAPHIC SURVEY PREPARED BY ANB HOLDINGS GCCM, LLC DATED JULY 14, 2022.
2. SITE PLAN LAYOUT MUST CONFORM WITH LAND USE APPROVALS. CONTRACTOR MAY NOT DEVIATE FROM THE LAYOUT.
3. CONTRACTOR SHALL NOTIFY UTILITY COMPANIES PRIOR TO PERFORMING ANY EXCAVATIONS IN ACCORDANCE WITH NYS CODE RULE 753.
4. CONTRACTOR SHALL VERIFY EXISTING UNDERGROUND UTILITIES OR FEATURES THAT MAY EXIST WITHIN THE WORK AREA.
5. CONSTRUCTION WORK SHALL COMPLY WITH APPLICABLE CODE, PERMIT CONDITIONS AND SAFETY REGULATIONS.
6. ANNOTATED DIMENSIONS SHOWN SHALL TAKE PRECEDENCE OVER ANY SCALED DIMENSION.
7 .CONSTRUCTION HEALTH AND SAFETY IS THE RESPONSIBILY OF THE CONTRACTOR PERFORMING THE WORK.
8. CONTRACTOR SHALL SECURE ALL PERMIT(S) REQUIRED TO PERFORM THE WORK UNDER CONTRACT.
9. CONTRACTOR SHALL VERIFY ALL DIMENSIONS BY MEASUREMENTS AT THE JOB SITE AND SHALL TAKE ANY AND ALL OTHER MEASUREMENTS NECESSARY TO VERIFY THE DRAWINGS AND TO PERFORM THE WORK PROPERLY. ANY DISCREPANCY BETWEEN THE DRAWINGS AND THE MEASURED DIMENSIONS OF THE EXISTING SHALL BE NOTIFIED TO THE ENGINEER. NO WORK SHALL PROCEED UNTIL SUCH DISCREPANCY HAS BEEN ADDRESSED.
10. CONTRACTOR SHALL CLEAN THE SITE OF ANY CONSTRUCTION DEBRIS AND SURPLUS MATERIALS AT COMPLETIONOF THE WORK.

SOIL EROSION AND SEDIMENT CONTROL NOTES:

1. ALL PROPOSED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH NYSDEC STANDARDS.
2. GRASS SEED MIX FOR EROSION CONTROL MAY BE APPLIED BY EITHER MECHANICAL OR HYDROSEEDING METHODS.
3. AREAS OF EXPOSED SOIL WHERE IS NOT FEASIBLE TO ESTABLISH TEMPORARY GROUND COVER DUE TO CONSTRUCTION OPERATIONS SHALL BE MOISTEN WITH WATER AT LEAST TWICE A DAY FOR DUST CONTROL.
4. TEMPORARY SEDIMENT CONTROLS SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE PRESCRIBED SCHEDULE SHOWN ON THIS SHEET.
5. DISTURBED SOILS SHALL BE RESTORED IN ACCORDANCE WITH SOIL RESTORATION STANDARDS IN CHAPTER 5 OF THE NYSDEC STORMWATER MANAGEMENT DESIGN MANUAL, LATEST EDITION.
6. CONSTRUCTION FUELS AND CHEMICALS SHALL BE PROPERLY STORED WITHOUT EXPOSURE TO PRECIPITATION.
7. CONTRACTOR SHALL PROTECT ADJOINING PROPERTIES AND THE PUBLIC RIGHT OF WAY FROM SEDIMENT MIGRATION DURING CONSTRUCTION.
8. TEMPORARY SOIL EROSION AND SEDIMENT CONTROLS MUST BE REMOVED AND DISPOSED OFF SITE, BUT ONLY AFTER PERMANENT VEGETATION HAS BEEN ESTABLISHED.

CONSTRUCTION NOTES:

1. ANY CHANGES TO THE ENGINEERING PLANS OR CONSTRUCTION DETAILS SHALL BE APPROVED BY THE ENGINEER.
2. CONCRETE WASHOUT SHALL BE PROPERLY DISPOSED IN DESIGNATED WASHOUT AREA.
3. CONTRACTOR SHALL PROVIDE TEMPORARY CONSTRUCTION FENCE AS SHOWN ON PLANS.
4. CONTRACTOR SHALL AVOID THE PRESENCE HEAVY EQUIPMENT AND STOCKPILING OF MATERIALS WITHIN THE DESIGNATED STORMWATER AND SEPTIC INFRILTRATION AREAS.
5. CONTRACTOR SHALL PLAN CONSTRUCTION TO PROGRESS WITHOUT THE DISTURBANCE OF WORK THAT HAS BEEN PREVIOUSLY COMPLETED.

CONSTRUCTION SEQUENCE

1. INSTALL SITE FENCING AND TEMPORARY SOIL EROSION AND SEDIMENT CONTROLS
2. COMPLETE SITE CLEARING AND DISPOSALS
3. COMPLETE SITE WORK CONSTRUCTION (COMPLY WITH REQUIRED INSPECTIONS PRIOR TO BACKFILL)
4. REMOVE AND DISPOSE TEMPORARY SOIL EROSION AND SEDIMENT CONTROLS UPON ESTABLISHMENT OF LAWNS
5. PROCURE AS-BUILT SURVEY
6. PERMIT CLOSE OUT

DRAINAGE AND GRADING NOTES:

1. FINAL GRADE SHALL PROMOTE DRAINAGE AWAY FROM BUILDINGS AND PITCH TO DRAIN.
2. CONTRACTOR SHALL GRADE TEH SITE SMOOTHLY WITHOUT ABRUPT CHANGES TO GROUND ELEVATIONS.
3. IMPORTED STRUCTURAL FILL, IF REQUIRED, SHALL BE WELL-GRADED GRANULAR SOIL THAT MEETS THE GENERAL GRADATION REQUIREMENTS FOR NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYSDOT) SELECT GRANULAR FILL (ITEM NO. 733.1101)
4. IN-SITU MATERIAL INTENDED TO BE RE-USED AS STRUCTURAL BACKFILL SHALL BE FREE OF DELETIRUS AND ORGANIC MATERIALS AND APPROVED BY ENGINEER.
5. COMPACT DRIVEWAY SUBGRADE TO 95 PERCENT MAXIMUM DRY DENSITY IN ACCORDANCE WITH ANSI/ASTMD1557.
6. CUT OUT SOFT AREAS OF SUBGRADE NOT CAPABLE OF IN-SITU COMPACTIONS. DO NOT BACKFILL OVER POROUS, WET, FROZEN OR SPONGY MATERIALS.
7. ALL BACKFILL MATERIALS SHALL BE COMPACTED TO 95 PERCENT MAXIMUM DRY DENSITY IN ACCORDANCE WITH ANSI/ASTM D1557. MAINTAIN OPTIMUM MOISTURE CONTENT TO ATTAIN REQUIRED DENSITY.

MATERIAL SPECIFICATIONS:

1. DRAINAGE PIPING SHALL BE SOILTIGHT CORRUGATED HDPE N-12 BY ADS.
2. DRAINAGE STRUCTURES SHALL BE NYLOPLAST BY ADS AND EQUIPPED WITH CAST-IRON GRATES. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO ORDERING.
3. STORMWATER CHAMBERS SHALL BE RECHARGER 280HD BY CULTEC.
4. ISOLATOR ROW LINER SHALL BE WOVEN GEOTEXTILE EQIUVALENT TO No. 48 BY CULTEC.
5. GEOTEXTILE FABRIC AROUND STORMWATER DETENTION SYSTEM SHALL BE NON-WOVEN EQUIVALENT TO No. 410 BY CULTEC
6. GRAVEL DRIVEWAY SHALL BE NATURAL, CLEAN, ANGULAR 3/4" OR LARGER. SUBMIT SAMPLE FOR OWNER APPROVAL OF COLOR AND APPERANCE PRIOR TO ODERDERING.
7. MATERIALS NOT SPECIFIED HEREIN SHALL MEET THE SPECIFICATIONS NOTED ON THE PLANS OR DETAILS.

SCHEDULE OF TEMPORARY SOIL EROSION AND SEDIMENT CONTROLS

MEASURE	DATES FOR USE	TIMING, ACTIVITY, AND LOCATION
SILT FENCE/ CONSTRUCTION FENCE	ALL	CONTRACTOR TO INSTALL CONSTRUCTION AND SILT FENCE PRIOR TO THE START OF ANY EXCAVATION AND/OR FILLING ON THE SITE. SILT FENCE SHALL BE INSTALLED AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN AND DETAIL SHEETS, AND SHALL BE MAINTAINED IN EFFECTIVE OPERATING CONDITION THROUGHOUT THE CONSTRUCTION PROCESS. ALL STOCKPILES OF DIRT SHALL BE RIMMED WITH SILT FENCE IN ADDITION TO BEING TEMPORARILY SEEDED. DAMAGED SECTIONS OF SILT FENCE SHALL BE REPLACED IMMEDIATELY. FENCING SHALL BE REMOVED ONLY AFTER ALL CONSTRUCTION HAS BEEN COMPLETED AND ALL AREAS HAVE BEEN PERMANENTLY STABILIZED.
DUST CONTROL	ALL	DURING DRY WEATHER, FOR AREAS OF EXPOSED SOIL WHERE IT IS NOT FEASIBLE TO ESTABLISH TEMPORARY GROUND COVER DUE TO CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL WET AREAS WITH WATER AT LEAST TWICE A DAY IN ORDER TO CONTROL DUST. THE MOISTENING OF SUCH AREAS MAY BE INCREASED TO FOUR TIMES A DAY DURING PERIODS OF LITTLE RAIN AS DETERMINED BY THE ENGINEER AND/OR THE CONTRACTOR.
TEMPORARY SEEDING	ALL	CONTRACTOR SHALL TEMPORARILY SEED ALL EXPOSED AREAS OF SOIL THAT WILL NOT RECEIVE PERMANENT SURFACE TREATMENT IMMEDIATELY (WITHIN SEVEN DAYS) AND ALL PILES OF DIRT AND SOIL STOCKPILES. GRASS SEED MIX FOR EROSION AND SEDIMENT CONTROL MAY BE APPLIED BY EITHER MECHANICAL OR HYDROSEEDING METHODS. HYDROSEEDING SHALL BE PERFORMED IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMAN, AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION. SEEDING RATES AND DATES OF APPLICATION SHALL BE DETERMINED AS FOLLOWS.
	APRIL 1–JULY 1 AUGUST 15–SEPT. 15	SEED MIXTURE: OATS APPLIED RATE: 1.8 LBS/1,000 S.F.
	APRIL 1–JULY 1	SEED MIXTURE: ANNUAL RYEGRASS APPLIED RATE: 0.9 LBS/1,000 S.F.
	MAY 15– AUGUST 15	SEED MIXTURE: SUDANGRASS APPLIED RATE: 0.9 LBS/1,000 S.F.
INSPECTIONS	UNTIL SITE IS PERMANENTLY STABILIZED	ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED BY THE CONTRACTOR IMMEDIATELY AFTER EACH RAINFALL EVENT AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE BY THE CONTRACTOR. WEEKLY EROSION AND SEDIMENT CONTROL INSPECTIONS SHALL BE COMPLETED AND DOCUMENTED BY A COMPETENT PARTY IN ACCORDANCE WITH NYSDEC SPDES GENERAL PERMIT REQUIREMENTS. INSPECTION REPORTS SHALL BE STORED WITH THE SWPPP ON–SITE.

A2L ENGINEERING

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

PROJECT NAME:
MAHOPAC HOUSE

PROJECT ADDRESS:
93 TEAKETTLE SPOUT ROAD, MAHOPAC, NY 10541

LEGEND

MARK	DATE	DESCRIPTION
2	2/23/23	ISSUED AS FINAL
1	1/23/23	REVISED DRAFT
0	1/19/23	ISSUED FOR REVIEW

PROJECT NO: 202237
CAD DWG FILE:
DRAWN BY: LR
CHECKED BY: AL

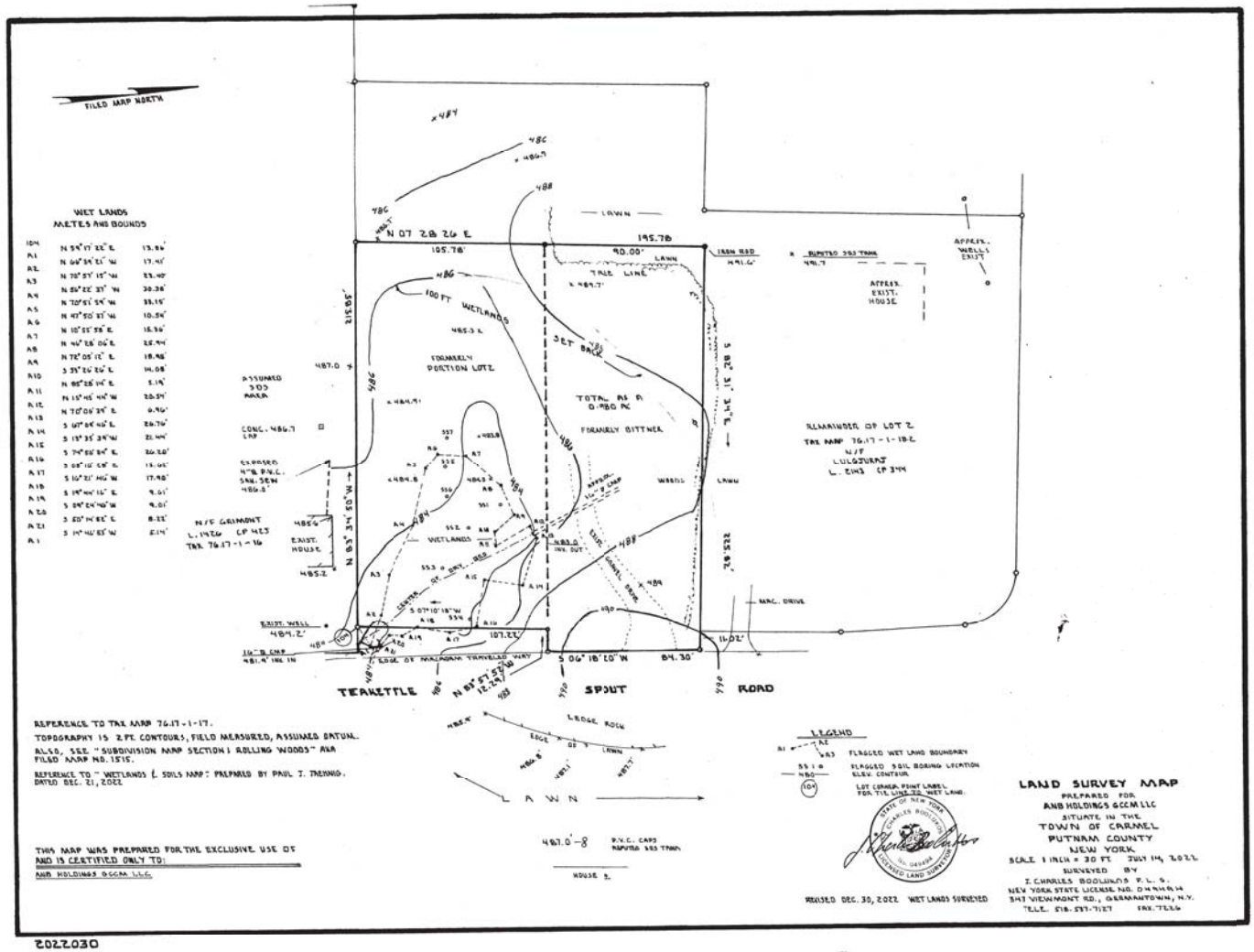
SHEET TITLE
PROJECT NOTES AND SPECIFICATIONS

SHEET NUMBER
C-001

WETLAND NOTES:

1. WETLANDS BOUNDARY SHOWN AS MAPPED ON SITE BY PAIL J. JAENNING ON DECEMBER 21, 2022.

2. PROPERTY IS MORE THAN 100 FEET AWAY FROM THE STATE REGULATED WETLAND CF-9 , AS CONFIRMED BY NYSDEC ON EMAIL DATED JUNE 9, 2022 FROM SARAH PAWLICZAK.



A2L ENGINEERING

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

PROJECT NAME:
MAHOPAC HOUSE

PROJECT ADDRESS:
93 TEAKETTLE SPOUT ROAD, MAHOPAC, NY 10541

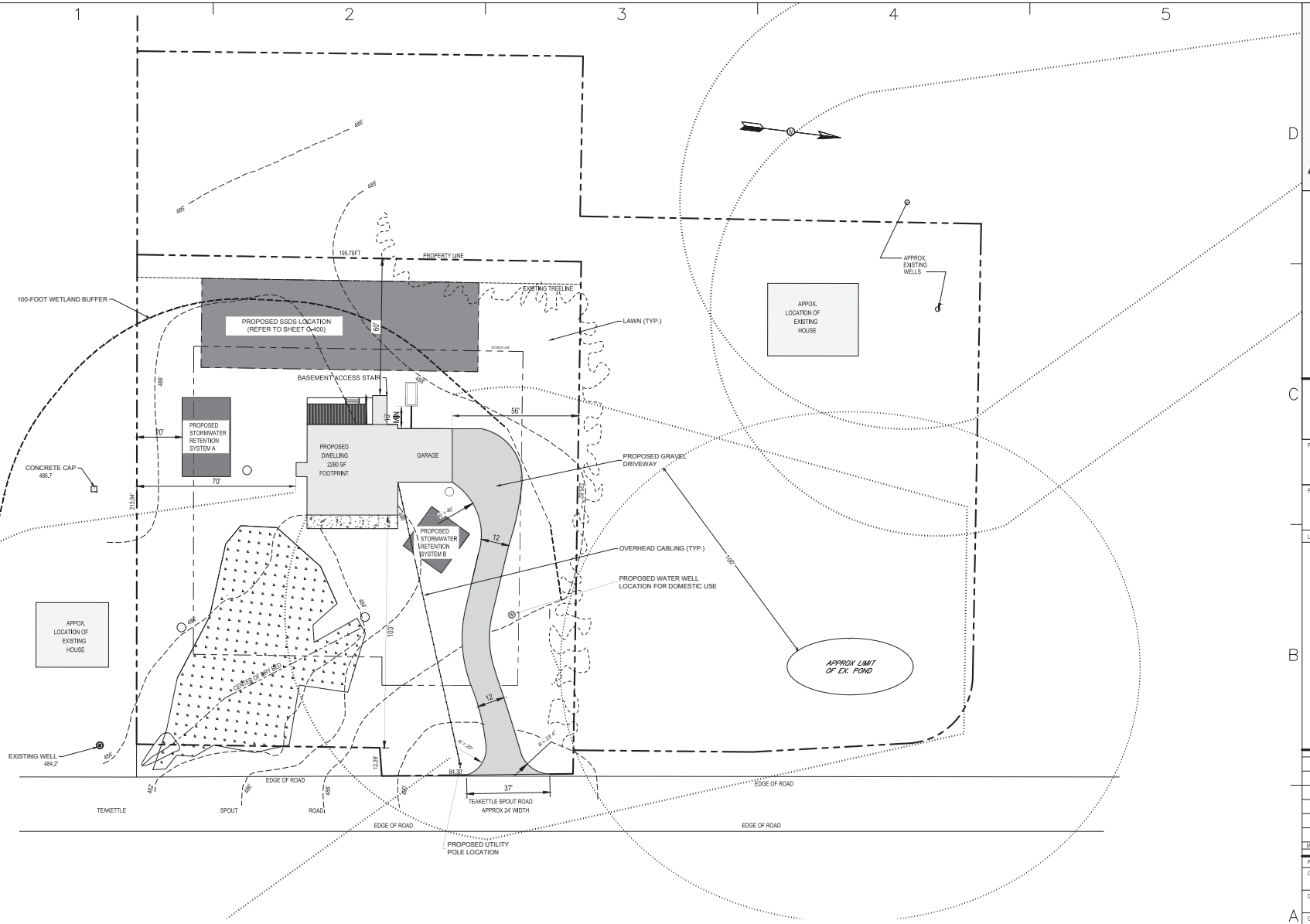
LEGEND

MARK	DATE	DESCRIPTION
2	2/23/23	ISSUED AS FINAL
1	1/23/23	REVISED DRAFT
0	1/19/23	ISSUED FOR REVIEW

PROJECT NO: 202237
CAD DWG FILE:
DRAWN BY: LR
CHECKED BY: AL

SHEET TITLE
EXISTING CONDITIONS

SHEET NUMBER
C-100



GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 inch = 20 ft.

A2L ENGINEERING

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

PROJECT NAME:
MAHOPAC HOUSE

PROJECT ADDRESS:
93 TEAKETTLE SPOUT ROAD, MAHOPAC, NY 10541

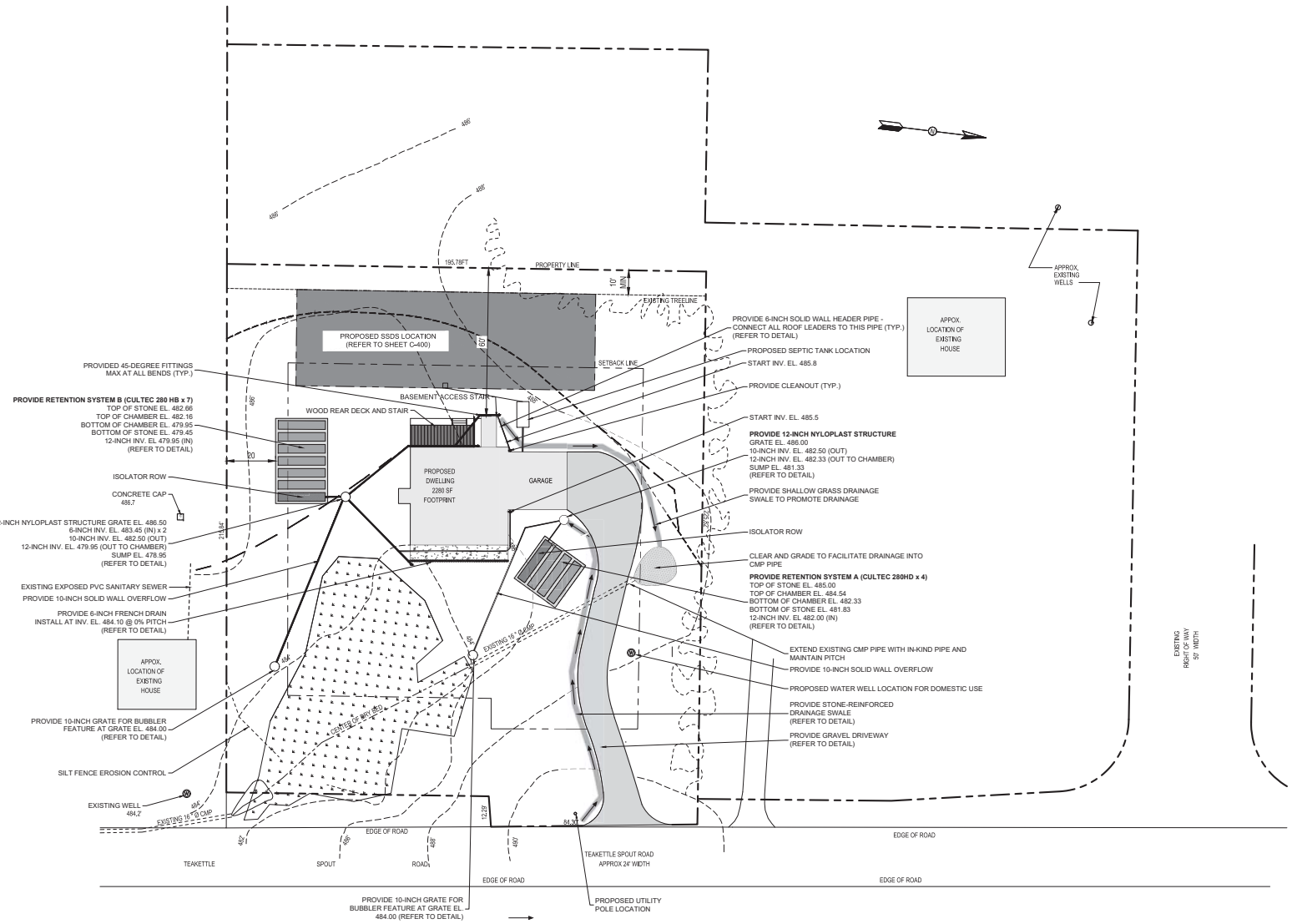
LEGEND

MARK	DATE	DESCRIPTION
2	2/23/23	ISSUED AS FINAL
1	1/23/23	REVISED DRAFT
0	1/19/23	ISSUED FOR REVIEW

PROJECT NO: 202237
CAD DWG FILE:
DRAWN BY: LR
CHECKED BY: AL

SHEET TITLE
SITE PLAN

SHEET NUMBER
C-200



A2L ENGINEERING

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

PROJECT NAME:
MAHOPAC HOUSE

PROJECT ADDRESS:
93 TEAKETTLE SPOUT ROAD, MAHOPAC, NY 10541

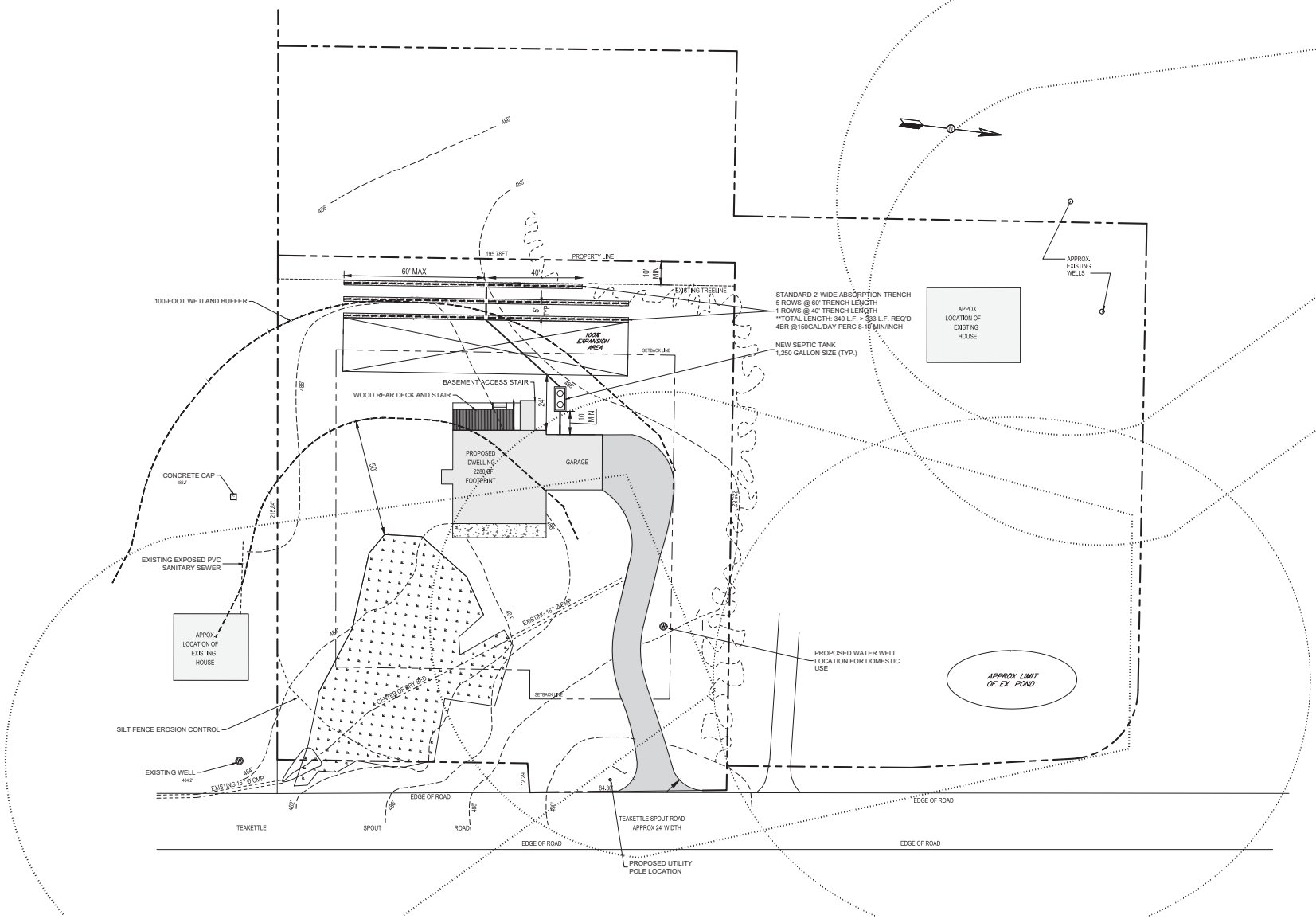
LEGEND

MARK	DATE	DESCRIPTION
2	2/23/23	ISSUED AS FINAL
1	1/23/23	REVISED DRAFT
0	1/19/23	ISSUED FOR REVIEW

PROJECT NO: 202237
CAD DWG FILE:
DRAWN BY: LR
CHECKED BY: AL

SHEET TITLE
DRAINAGE AND GRADING PLAN

SHEET NUMBER
C-300



GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 inch = 20 ft.

A2L ENGINEERING

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

PROJECT NAME:
MAHOPAC HOUSE

PROJECT ADDRESS:
93 TEAKETTLE SPOUT ROAD, MAHOPAC, NY 10541

LEGEND

MARK	DATE	DESCRIPTION
2	2/23/23	ISSUED AS FINAL
1	1/23/23	REVISED DRAFT
0	1/19/23	ISSUED FOR REVIEW

PROJECT NO: 202237

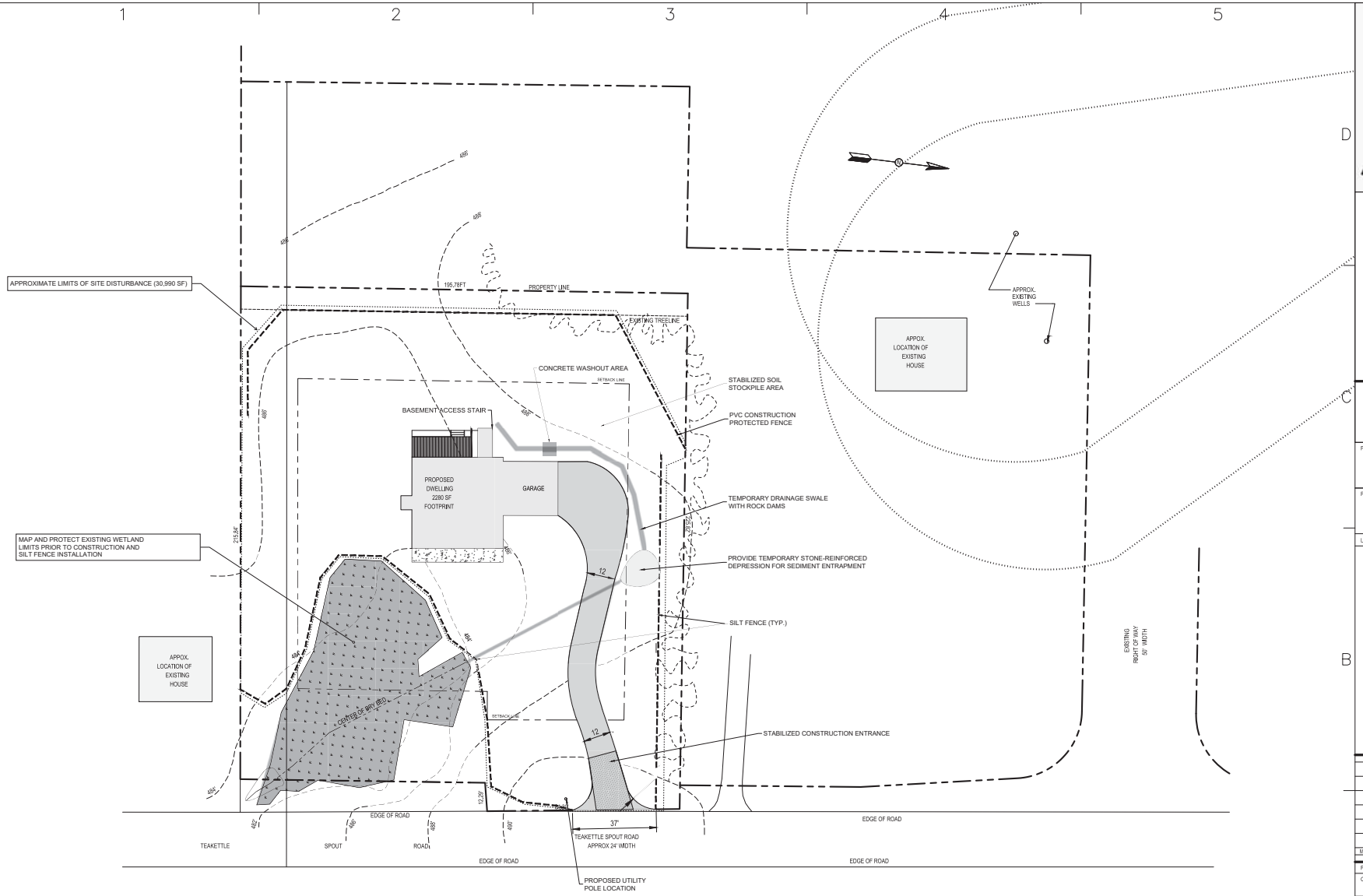
CAD DWG FILE:

DRAWN BY: LR

CHECKED BY: AL

SHEET TITLE
WATER WELL AND SEPTIC SYSTEM PLAN

SHEET NUMBER
C-400



GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 inch = 20 ft.

A2L ENGINEERING

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

PROJECT NAME:
MAHOPAC HOUSE

PROJECT ADDRESS:
93 TEAKETTLE SPOUT ROAD, MAHOPAC, NY 10541

LEGEND

MARK	DATE	DESCRIPTION
2	2/23/23	ISSUED AS FINAL
1	1/23/23	REVISED DRAFT
0	1/19/23	ISSUED FOR REVIEW

PROJECT NO: 202237

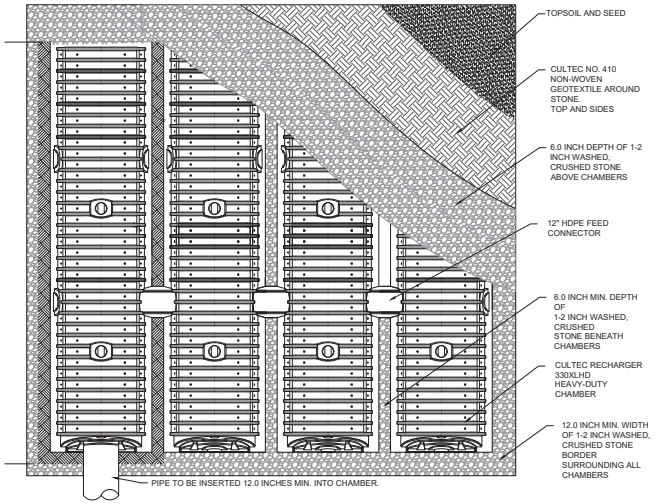
CAD DWG FILE:

DRAWN BY: LR

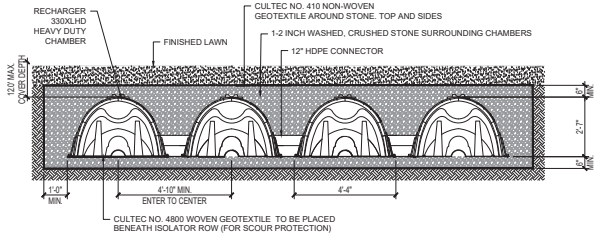
CHECKED BY: AL

SHEET TITLE
SOIL EROSION AND SEDIMENT CONTROLS

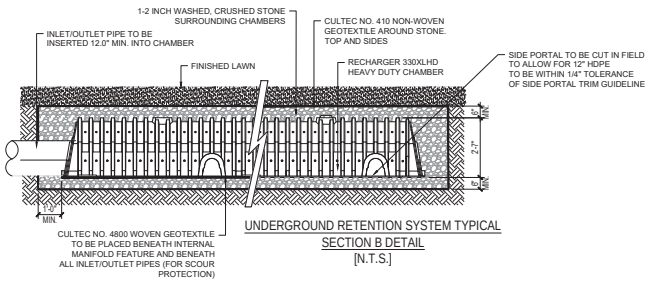
SHEET NUMBER
C-500



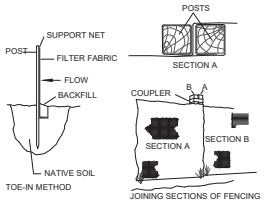
UNDERGROUND RETENTION SYSTEM TYPICAL PLAN VIEW DETAIL
[N.T.S.]



UNDERGROUND RETENTION SYSTEM TYPICAL SECTION A DETAIL
[N.T.S.]

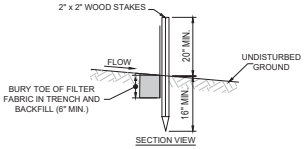


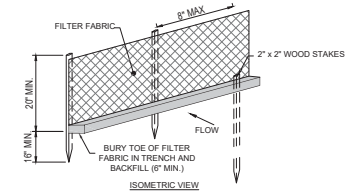
UNDERGROUND RETENTION SYSTEM TYPICAL SECTION B DETAIL
[N.T.S.]



INSTALLATION NOTES

1. EXCAVATE A 4 INCH * 4 INCH TRENCH ALONG THE LOWER PERIMETER OF THE SITE.
2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH (NET SIDE AWAY FROM DIRECTION OF FLOW).
3. DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS APPROXIMATELY 2 INCHES FROM THE TRENCH BOTTOM.
4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH, BACKFILL THE TRENCH AND TAMP THE SOIL. STEEPER SLOPES REQUIRE AN INTERCEPT TRENCH.
5. JOIN SECTIONS AS SHOWN ABOVE.



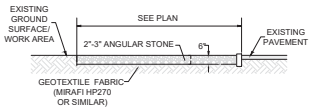


NOTE TO USER:
1. IF PROJECT HAS SPECIFICATIONS DELETE NOTES 4 AND 5.

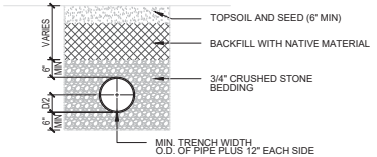
NOTES

1. INSTALL FABRIC ON UPHILL SIDE OF WOOD STAKES.
2. SPACING BETWEEN WOOD STAKES PER MANUFACTURER'S RECOMMENDATION
3. SILT FENCE WILL NOT BE USED IN DRAINAGE WAYS.
4. MAINTENANCE: INSPECT FOR TEARS IN THE FABRIC OR DAMAGE TO SUPPORTS. REPAIR AS NECESSARY. REMOVE ACCUMULATED SEDIMENT WHEN IT REACHES A DEPTH OF SIX-INCHES OR MORE.
5. REMOVAL: WHEN UPSLOPE AREAS ARE STABILIZED, THE STURCTURE AND ANY ACCUMULATED SEDIMENT WILL BE REMOVED.

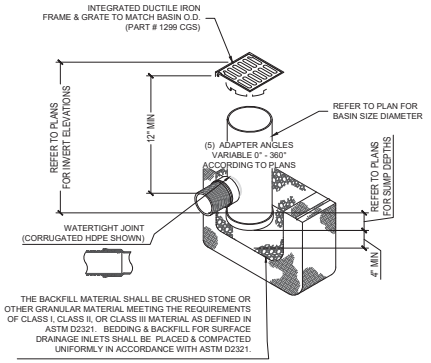
SILT FENCE DETAIL
[N.T.S.]



STABILIZED CONSTRUCTION ENTRANCE
[N.T.S.]



PIPE TRENCH DETAIL
[N.T.S.]



NYLOPLAST BASIN DETAIL
[N.T.S.]

A2L ENGINEERING

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

PROJECT NAME:
MAHOPAC HOUSE

PROJECT ADDRESS:
93 TEAKETTLE SPOUT ROAD, MAHOPAC, N7 10541

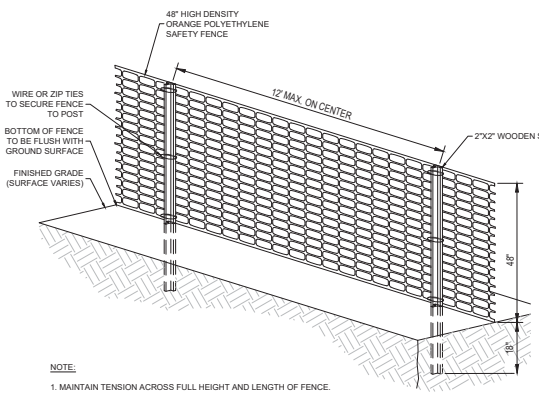
LEGEND

MARK	DATE	DESCRIPTION
2	2/23/23	ISSUED AS FINAL
1	1/23/23	REVISED DRAFT
0	1/19/23	ISSUED FOR REVIEW

PROJECT NO: 202237
CAD DWG FILE:
DRAWN BY: AL
CHECKED BY: AL

SHEET TITLE
CONSTRUCTION DETAILS 1

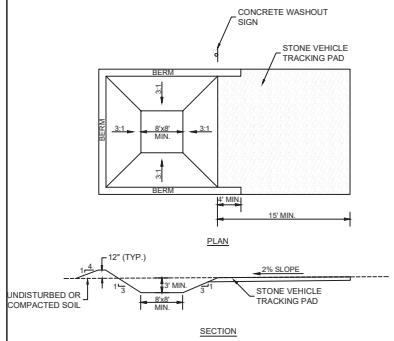
SHEET NUMBER
C-600



NOTE:

1. MAINTAIN TENSION ACROSS FULL HEIGHT AND LENGTH OF FENCE.

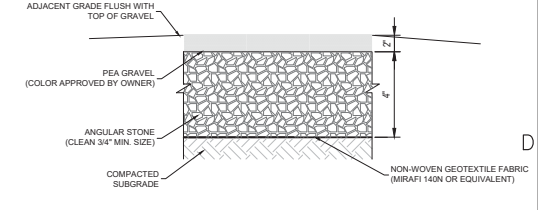
PLASTIC CONSTRUCTION SAFETY FENCE
[N.T.S.]



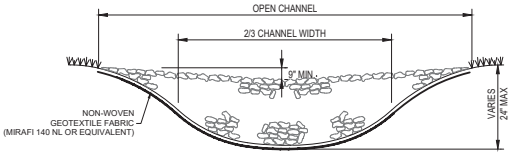
NOTES:

1. THE CONCRETE WASHOUT AREA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
2. USE EXCAVATED MATERIAL FOR PERIMETER BERM CONSTRUCTION.

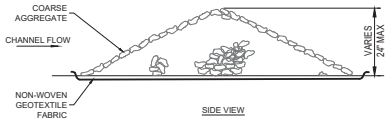
CONCRETE WASHOUT AREA DETAIL
[N.T.S.]



GRAVEL DRIVEWAY
[N.T.S.]



FRONT VIEW

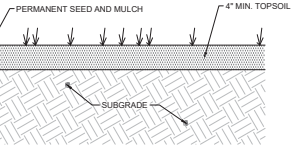


SIDE VIEW

NOTES:

1. CHECK DAMS SHALL BE SPACED SO THE TOP OF DOWNGRADIENT CHECK DAM AND BOTTOM OF THE UPGRADIENT CHECK DAM SHALL BE AT THE SAME ELEVATION.
2. REPLACE OR REPAIR CHECK DAM WITHIN TWENTY-FOUR (24) HOURS OF OBSERVED FAILURE.

STONE CHECK DAM
[N.T.S.]



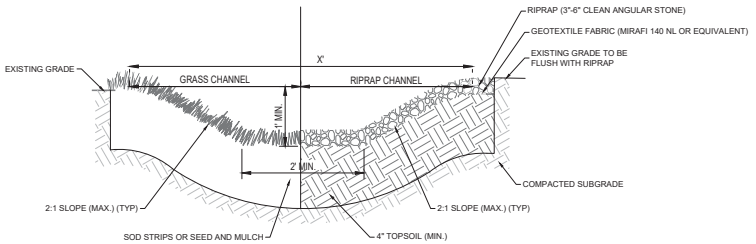
TOPSOIL RESTORATION
[N.T.S.]

NOTES

1. AVOID COMPACTION, UNLESS OTHERWISE NOTED ON PLANS.
2. TOPSOIL SHALL BE FERTILE, FRIABLE SOIL, TYPICAL OF PRODUCT SOILS IN THE SURROUNDING AREA AND SHALL CONTAIN BETWEEN 5% AND 20% ORGANIC MATTER.
3. TOPSOIL SHALL HAVE A MAXIMUM STONE SIZE OF 1" AND SHALL CONFORM TO THE FOLLOWING GRADATION:

SIEVE	%PASSING
1"	100
NO. 4	85-100
NO.40	60-85
NO. 100	38-60
NO. 200	28-40

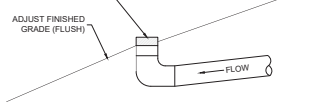
4. TOPSOIL SHALL NOT BE DISTRIBUTED OVER PARTLY OR FULL FROZEN, MUDDY, SNOWY, ICY OR EXCESSIVELY WET SURFACES.
5. SOD AND SEED MIXTURE(S) SHALL BE APPROPRIATE FOR GROWING SEASON, CLIMATE AND SOIL CONDITIONS, AND SURFACE USAGE. REFER TO STATE GUIDELINES.
6. SEED SHALL BE APPLIED AT RATES RECOMMENDED BY STATE GUIDELINES.
7. APPLY MULCH OVER SEEDED AREAS IN ACCORDANCE WITH STATE GUIDELINES.
8. SODDING SHALL BE INSTALLED IN ACCORDANCE WITH SUPPLIER'S GUIDELINES. AT MINIMUM, LAY SOD IN STAGGERED ROWS OVER DAMPENED AND LOOSENED/SCARIFIED TOPSOIL. PLACE STRIPS PERPENDICULAR TO THE DIRECTION OF FLOW. ON SLOPES, ANCHOR SOD TO HOLD IN PLACE UNTIL SECURED BY PLANT GROWTH.
9. INSTALL AND/OR REPAIR EROSION AND SEDIMENT CONTROL MEASURES BEFORE LAYING TOPSOIL. MAINTAIN EROSION CONTROL MEASURES DURING TOPSOILING.
10. MAXIMUM SLOPE TOPSOIL CAN BE USED IS 2:1.



NOTES:

1. DISTURBED AREA ADJACENT TO CHANNEL TO BE BROUGHT TO FINISHED GRADE IMMEDIATELY, TOPSOILED, SEEDED AND MAINTAINED FOR EROSION CONTROL.

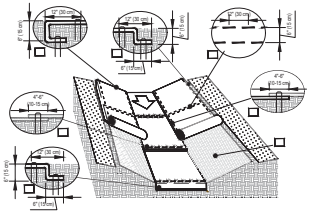
REINFORCED DRAINAGE SWALE
[N.T.S.]



NOTES

1. REFER TO DRAINAGE AND GRADING PLAN FOR GRATE AND PIPE SIZE, MATERIAL AND LOCATIONS.
2. ENSURE GRATE IS INSTALLED HORIZONTALLY LEVELED.

STORMWATER OVERFLOW (BUBBLER)
[N.T.S.]



CRITICAL POINTS

A. OVERLAPS AND SEAMS
B. PROJECTED WATER LINE
C. CHANNEL BOTTOM/SIDE SLOPE VERTICES

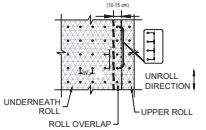
NOTES

- HORIZONTAL STAPLE SPACING SHOULD BE ALTERED IF NECESSARY TO ALLOW STAPLES TO SECURE THE CRITICAL POINTS ALONG THE CHANNEL SURFACE.

EROSION CONTROL BLANKET
[N.T.S.]

INSTRUCTIONS

1. PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECPS), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. GROUND SURFACE MUST BE FREE OF DEBRIS, ROCKS, CLAY CLODS AND RAKED SMOOTH SUFFICIENT TO ALLOW INTIMATE CONTACT OF THE RECP WITH THE SOIL OVER THE ENTIRETY OF THE INSTALLATION.
2. BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE RECPS IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30 CM) OF RECPS EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. USE SHOREMAX MAT AT THE CHANNEL/CULVERT OUTLET AS SUPPLEMENTAL SCOUR PROTECTION AS NEEDED. ANCHOR THE RECPS WITH A ROW OF STAPLES/STAKES/PINS APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO THE COMPACTED SOIL AND FOLD THE REMAINING 12" (30 CM) PORTION OF RECPS BACK OVER THE SEED AND COMPACTED SOIL. SECURE RECPS OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES/PINS SPACED APPROXIMATELY 12" (30 CM) APART ACROSS THE WIDTH OF THE RECPS.
3. ROLL CENTER RECPS IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. RECPS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECPS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES/PINS IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE.
4. PLACE CONSECUTIVE RECPS END-OVER-END (SHINGLE STYLE) WITH A 4"- 6" (10 - 15 CM) OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER TO SECURE RECPS.
5. FULL LENGTH EDGE OF RECPS AT TOP OF SIDE SLOPES MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES/PINS SPACED AT S_T APART IN A 6" (15 CM) DEEP X 6"(15 CM) WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
6. ADJACENT RECPS MUST BE OVERLAPPED APPROXIMATELY 4"- 6" (10 - 15 CM) AND SECURED WITH STAPLES/STAKES/PINS AT S_T.
7. IN HIGH FLOW CHANNEL APPLICATIONS A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT (9 -12M) INTERVALS. USE A DOUBLE ROW OF STAPLES STAGGERED 6" (15 CM) APART AND 12" (30 CM) ON CENTER OVER ENTIRE WIDTH OF THE CHANNEL.
8. THE TERMINAL END OF THE RECPS MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES/PINS SPACED AT S_T APART IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
9. FASTENERS SHOULD PROVIDE A MINIMUM OF TWENTY POUNDS OF PULLOUT RESISTANCE. SIX-INCH (10 CM) X ONE-INCH (2.5 CM) ELEVEN GAUGE STAPLES ARE TYPICALLY ADEQUATE. IN LOOSE SOILS, LONGER STAPLES MAY BE NECESSARY. TWIST PINS CAN PROVIDE THE GREATEST PULLOUT RESISTANCE. IN HARD OR ROCKY SOILS, STRAIGHT PINS MAY BY USED WHERE STAPLES OR TWIST PINS ARE REFUSED, PROVIDED THE MINIMUM PULLOUT REQUIREMENTS ARE MET. BIO-DEGRADABLE FASTENERS SHALL NOT BE USED WITH VMAX (TRM) OR TMAX (HPTRM) MATERIALS.



• PIN / STAPLE / TWIST PIN, AS APPROPIATE FOR FIELD CONDITIONS

PLAN VIEW

	STAPLE PATTERN
DIMENSION	E
W_T	20" (50 cm)
L_T	20" (50 cm)
S_T	18" (45 cm)
NOMINAL FREQUENCY	3.8 / SY

A2L ENGINEERING

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

PROJECT NAME:

MAHOPAC HOUSE

PROJECT ADDRESS:

93 TEAKETTLE SPOUT ROAD, MAHOPAC, N7 10541

LEGEND

MARK	DATE	DESCRIPTION
2	2/23/23	ISSUED AS FINAL
1	1/23/23	REVISED DRAFT
0	1/19/23	ISSUED FOR REVIEW

PROJECT NO: 202237

CAD DWG FILE:

DRAWN BY:

CHECKED BY:

SHEET TITLE

CONSTRUCTION DETAILS 2

SHEET NUMBER

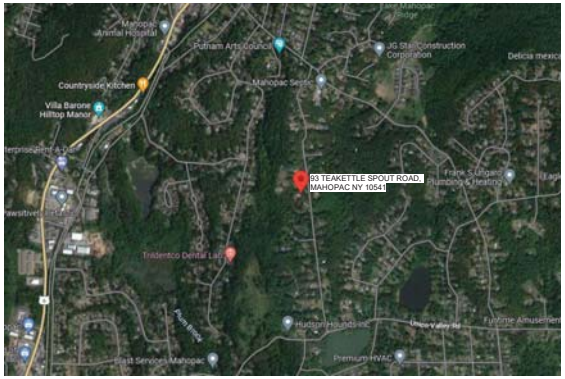
C-601

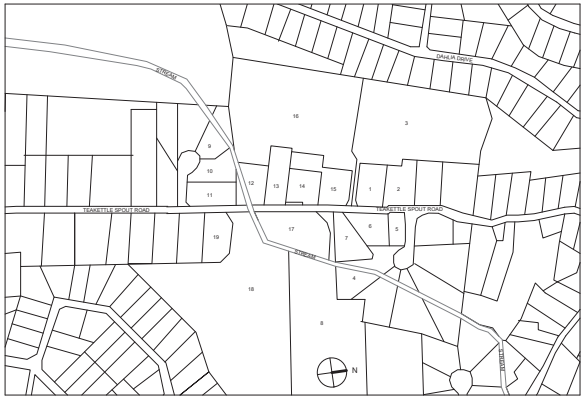
MAHOPAC HOUSE

93 TEAKETTLE SPOUT ROAD, MAHOPAC, NY 10541

DESIGN DEVELOPMENT SET

SHEET LIST				
SHEET NUMBER	SHEET NAME	SHEET ISSUE DATE	CURRENT REVISION	CURRENT REVISION DATE
A-000	COVER SHEET	02/11/23		
A-001	SITE PLAN	02/11/23		
A-002	GENERAL NOTES	02/11/23		
A-003	MATERIAL SYSTEMS	02/11/23		
A-100	FOUNDATION / BASEMENT PLAN	02/11/23		
A-101	FIRST FLOOR PLAN	02/11/23		
A-102	SECOND FLOOR PLAN	02/11/23		
A-103	ROOF PLAN	02/11/23		
A-201	ELEVATIONS	02/11/23		
A-301	SECTION AA	02/11/23		
A-302	SECTION BB	02/11/23		
A-310	WALL SECTION	02/11/23		
A-401	Kitchen	02/11/23		
A-402	COMMON BATHROOMS	02/11/23		
A-403	PRINCIPAL BATHROOM	02/11/23		
A-404	PRINCIPAL BEDROOM WARDROBE	02/11/23		
A-503	EXTERIOR BUILDING DETAILS	02/11/23		
A-601	DOOR AND WINDOW SCHEDULES	02/11/23		
A-901	3D VIEWS	02/11/23		





1 KEY MAP
1" = 400'-0"

KEY MAP LEGEND

KEY	Tax Map	Owner	Address
1	76.13-1-34	Lisa Munrett	105 Teakettle Spout Road, Mahopac, NY 10541
2	76.13-1-35	Edward O'Brien	113 Teakettle Spout Road, Mahopac, NY 10541
3	76.13-1-50	Loreylys Perez	103 Teakettle Spout Road, Mahopac, NY 10541
4	76.13-2-70	Peter Fioti	13 Aimee Ct. Mahopac, NY 10541
5	76.13-2-71	Christopher Alonzi	59 Sunset Drive., North Salem, NY 10560
6	76.13-2-72	Samantha Cabrera	106 Teakettle Spout Road, Mahopac, NY 10541
7	76.13-2-73	Hansel Rocha	100 Teakettle Spout Road, Mahopac, NY 10541
8	76.13-2-74	Ronald Drumheller	94 Teakettle Spout Road, Mahopac, NY 10541
9	76.17-1-12	Vita Sokerka	12 Tina Dr., Mahopac, NY 10541
10	76.17-1-13	Anthony Tarantino	8 Tina Dr. Mahopac, NY 10541
11	76.17-1-14	Ali Nikqi	2 Tina Drive, Mahopac, NY 10541
12	76.17-1-15	Joseph Ferrara	77 Teakettle Spout Road, Mahopac, NY 10541
13	76.17-1-16	Clara Grimont	PO Box 576, Mahopac, NY 10541
14	76.17-1-17	AnB Holdings GCCM LLC	222 Centre Ave. Apt.6J, New Rochelle, NY 10805
15	76.17-1-18.2	Lulgjural Settlement Trust	99 Teakettle Spout Road, Mahopac, NY 10541
16	76.17-1-19.1	Peter Polimino	101 Teakettle Spout Road, Mahopac, NY 10541
17	76.17-2-1	Michael Gallagher	86 Teakettle Spout Road, Mahopac, NY 10541
18	76.17-2-2	Jeffrey Kessler	74 Teakettle Spout Road, Mahopac, NY 10541
19	76.17-2-3	Paul Merlini	70 Teakettle Spout Road, Mahopac, NY 10541

ALL DRAWINGS , SPECIFICATIONS, IDEAS, ARRANGEMENTS AND DESIGNS REPRESENTED OR REFERRED TO ARE THE PROPERTY OF AND OWNED BY LEAP ARCHITECTURE WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. THEY WERE CREATED, EVOLVED, DEVELOPED AND PRODUCED FOR THE SOLE USE ON AND IN CONNECTION WITH THIS PROJECT AND NONE OF THE ABOVE MAY BE DISCLOSED OR GIVEN TO OR USED BY ANY FIRM OR CORPORATION OR PERSON FOR ANY USE OR PURPOSE WHATSOEVER INCLUDING ANY OTHER PROJECT EXCEPT UPON WRITTEN PERMISSION AND DIRECTION FROM LEAP ARCHITECTURE.

LEAP ARCHITECTURE

LIVING ENVIRONMENTS | APPROPRIATE PROJECTS
256 SEAMAN AVE. #2 NEW YORK, NY 10507 518.669.9435

REV DESCRIPTION DATE ISSUED

MAHOPAC HOUSE
93 TEAKETTLE SPOUT ROAD, MAHOPAC, NY 10541
MICHAEL SCOCA, AnB HOLDINGS GCCM LLC

COVER SHEET

Project Number	22-018.01
Date	11 FEBRUARY 2023
Drawn By	JND
Scale	1" = 400'-0"

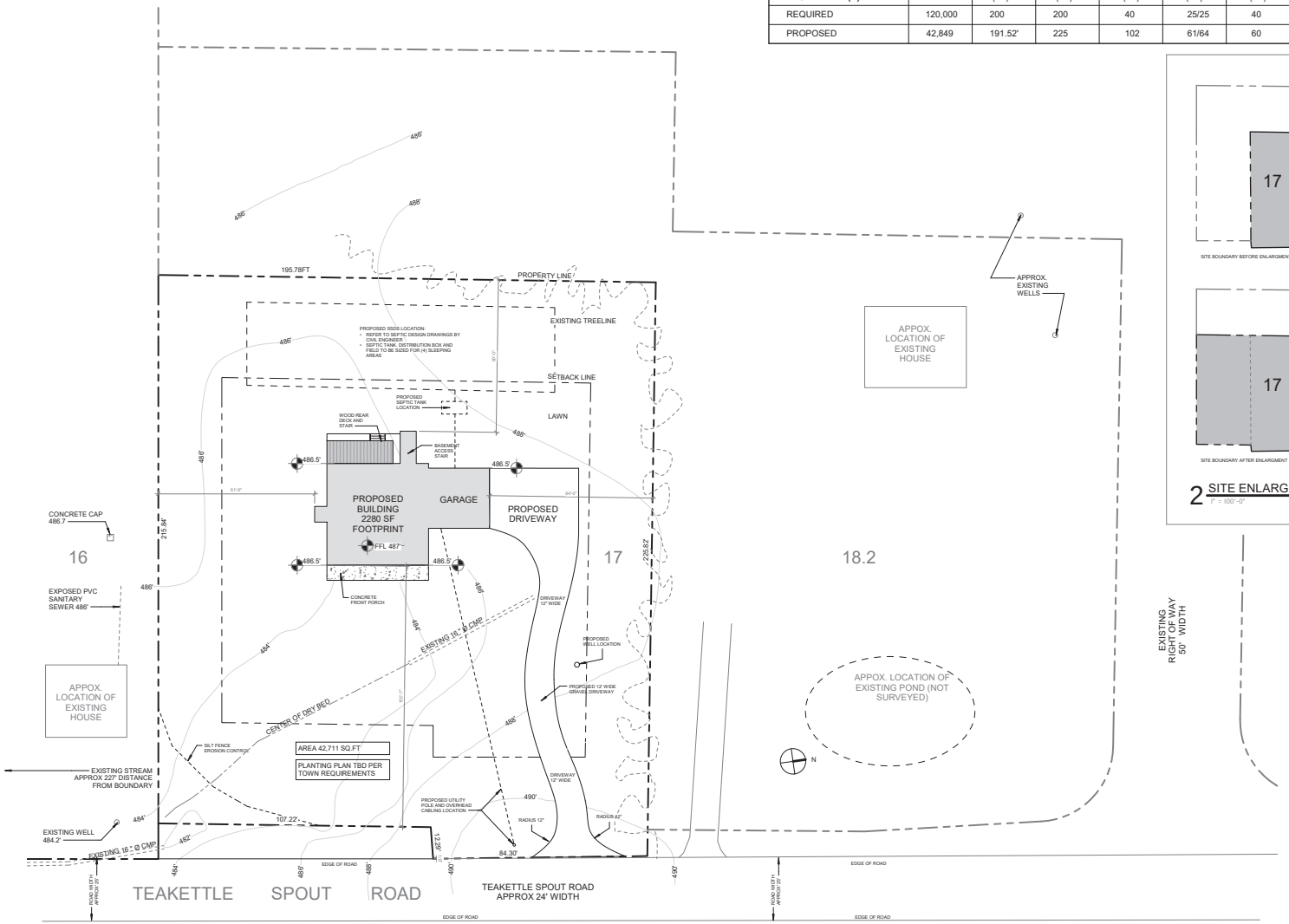
REGISTERED ARCHITECT JOSEPH N. GARRAMONE 026750 STATE OF NEW YORK

A-000

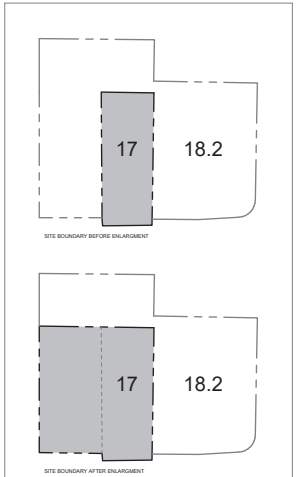
© Copyright LEAP

TOWN OF CARMEL, NY - DISTRICT ZONING REGULATIONS

RESIDENTIAL (R)	LOT AREA (SQ.FT)	MIN. LOT WIDTH (FT)	MIN. LOT DEPTH (FT)	FRONT YARD SETBACK (FT)	SIDE YARD SETBACK (FT)	REAR YARD SETBACK (FT)	HEIGHT LIMITS (FT)	MAXIMUM COVERAGE BUILDINGS
REQUIRED	120,000	200	200	40	25/25	40	35	15%
PROPOSED	42,849	191.52'	225	102	61/64	60	33.5	5%



1 SITE PLAN
1" = 20'-0"



2 SITE ENLARGEMENT
1" = 100'-0"

ALL DRAWINGS , SPECIFICATIONS, IDEAS, ARRANGEMENTS AND DESIGNS REPRESENTED OR REFERRED TO ARE THE PROPERTY OF AND OWNED BY LEAP ARCHITECTURE WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. THEY WERE CREATED, EVOLVED, DEVELOPED AND PRODUCED FOR THE SOLE USE ON AND IN CONNECTION WITH THIS PROJECT AND NONE OF THE ABOVE MAY BE DISCLOSED OR GIVEN TO OR USED BY ANY FIRM OR CORPORATION OR PERSON FOR ANY USE OR PURPOSE WHATSOEVER INCLUDING ANY OTHER PROJECT EXCEPT UPON WRITTEN PERMISSION AND DIRECTION FROM LEAP ARCHITECTURE.

Structural Engineer:
Studio A Landscape Architecture and Engineering, D.P.C.
38 High Rock Avenue, Suite 3
Saratoga Springs, NY 12866
info@studioapc.com
518.450.4030

LEAP ARCHITECTURE
LIVING ENVIRONMENTS | APPROPRIATE PROJECTS
256 SEAMAN AVE. #2 NEW YORK, NY 10007 518.669.9435

REV	DESCRIPTION	DATE ISSUED

MAHOPAC HOUSE

93 TEAKETTLE SPOUT ROAD, MAHOPAC, NY 10541
MICHAEL SCOCA, ANB HOLDINGS GCCM LLC

SITE PLAN

Project Number	22-018.01
Date	11 FEBRUARY 2023
Drawn By	FD
Scale	AS INDICATED

A-001

© Copyright LEAP

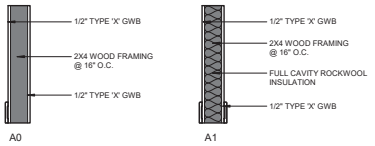
ARCHITECTURAL GENERAL NOTES

- ALL WORK SHALL COMPLY WITH ALL APPLICABLE GOVERNMENT CODES, RULES AND REGULATIONS INCLUDING BUT NOT LIMITED TO THE "CODES, RULES AND REGULATIONS OF NEW YORK STATE", "NEW YORK STATE ENERGY CONSERVATION CODE", OSHA, ANSI AND NFPA.
- CONTRACTOR SHALL SECURE AND PAY FOR ALL REQUIRED PERMITS.
- COMMENCE WORK IMMEDIATELY UPON AWARD OF THE CONTRACT AND PROCEED DILIGENTLY AND CONTINUOUSLY TO COMPLETION.
- DO NOT INTERRUPT EXISTING UTILITY SERVICE WITHOUT AUTHORIZATION FROM THE OWNER. PROVIDE TEMPORARY SERVICE DURING INTERRUPTIONS UNLESS OTHERWISE DIRECTED BY THE OWNER'S REPRESENTATIVE.
- PERFORM WORK IN A MANNER WHICH MINIMIZES NOISE. SCHEDULE OPERATIONS AS MAY BE DIRECTED BY OWNER.
- CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS REQUIRED TO COMPLETE THE WORK.
- PROVIDE ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH RECOGNIZED GOOD STANDARD PRACTICES.
- ALL ITEMS WHICH ARE NOT SPECIFICALLY REFERRED TO ON THESE DRAWINGS ARE TO BE SELECTED BY THE ARCHITECT FROM THE MANUFACTURER'S STANDARD SAMPLES SHOWING FULL RANGE OF TEXTURES AND COLORS AVAILABLE.
- FOLLOW MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS FOR INSTALLATION OF ALL MATERIALS.
- THE WORDS "PROVIDE OR SUPPLY" SHALL INCLUDE BOTH FURNISHING AND INSTALLING THE SPECIFIED OR DETAILED ITEM, IN PLACE AND READY FOR OPERATION AND USE.
- FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK.
- ALL DIMENSIONS SHALL BE FIELD VERIFIED. DO NOT SCALE DRAWINGS. INDICATED DIMENSIONS ARE TO THE CENTERLINE OF STEEL, FACE OF STUDS AT NEW GYPSUM BOARD PARTITIONS, FACE OF EXISTING WALL OR FACE OF CMU.
- MINOR ITEMS OF WORK SUCH AS CUTTING, BLOCKING, TRIM, ETC. SHALL BE PERFORMED AS REQUIRED TO MAKE THE WORK COMPLETE, WHETHER SHOWN OR NOTED ON THE CONTRACT DOCUMENTS OR NOT.
- PROVIDE TEMPORARY AND REMOVABLE PROTECTION FOR INSTALLED PRODUCTS. CONTROL ACTIVITY IN IMMEDIATE WORK AREA TO MINIMIZE DAMAGE.
- PROVIDE PROTECTIVE COVERINGS AT WALLS, PROJECTIONS, JAMBS, SILLS AND SOFFITS OF OPENINGS NOT AFFECTED BY CONSTRUCTION.
- PROTECT FINISHED FLOORS AND OTHER SURFACES WITH DURABLE SHEET MATERIALS. FLOOR TO BE PROTECTED FROM TRAFFIC, DIRT, WEAR, DAMAGE OR MOVEMENT OF HEAVY OBJECTS.
- USE SUITABLE METHODS TO LIMIT DUST AND DIRT FROM ADJACENT AREAS.
- CONTROL ACCUMULATION OF WASTE MATERIALS AND RUBBISH DURING CONSTRUCTION. LEAVE PROJECT AREA BROOM CLEAN AT THE END OF EACH DAY. REMOVE ALL DEBRIS FROM THE SITE IN ACCORDANCE WITH STATE AND LOCAL CODES. COORDINATE REMOVAL WITH OWNER.
- THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, RULES AND ORDINANCES AND ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF WORK.
- THE CONTRACTOR (CM) IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES, AND FOR COORDINATING ALL PORTIONS OF THE WORK.
- ALL WIRING, LIGHTING, GROUNDING, AND DEVICES SHALL BE UL RATED, LISTED, AND COMPLY WITH NEC INCLUDING GROUND- FAULT PROTECTION FOR ALL BATHROOMS AND OUTSIDE OUTLETS.
- SEE WINDOW SCHEDULE FOR ROUGH OPENING DIMENSIONS. ALL DIMENSIONS ON PLANS ARE TO CENTER OF ROUGH OPENING, UNLESS NOTED OTHERWISE.
- NO CAVITY OR VOID, INCLUDING STUD CAVITIES, SHALL CONTINUE FOR MORE THAN 10' WITHOUT SOLID BLOCKING.
- RESTORE DAMAGED AND EXPOSED FINISHES OR PATCHED AREAS IN A MANNER WHICH ELIMINATED EVIDENCE OF PATCHING AND REFINISHING.
- PAINT ALL EXPOSED INTERIOR AND EXTERIOR PIPING, CONDUITS, ETC. TO MATCH ADJACENT WALL SURFACE, UNLESS OTHERWISE NOTED BY THE REQUIREMENTS OF THE PROJECT DOCUMENTS.
- ALL DOORS IN A FIRE-RATED PARTITION ARE TO BE FIRE-RATED AS REQUIRED BY STATE CODE.

PARTITION / FRAMING NOTES

- ALL WET AREAS TO HAVE MOISTURE- AND MOLD-RESISTANT GYPSUM WALL BOARD AND BACK-UP MATERIALS
- FRAMING SYSTEMS TO BE INSTALLED PER MANUFACTURER'S SPAN TABLES, STANDARD DETAILS AND RECOMMENDATIONS AND/OR THE BCONYS REQUIREMENTS
- LUMBER TO HAVE MINIMUM Fb = 850 PSI
- GYPSUM WALL BOARD, TILE, AND OTHER FINISH MATERIAL SYSTEMS TO INCLUDE ALL ACCESSORIES NECESSARY FOR A COMPLETED, FINISHED, SPACE
- ANY AND ALL PARTITIONS INCORPORATING NEW PLUMBING TO HAVE ACCESS PANELS. COORDINATE TYPES AND LOCATIONS WITH ARCHITECT/OWNER.
- ALL OUTSIDE CORNERS AT DRYWALL PARTITIONS SHALL HAVE METAL CORNER BEADS. TAPE AND SPACKLE SMOOTH WHERE REQUIRED. THREE COAT SPACKLE FINISH MIN.
- ALL DEFECTIVE PLASTER AND/OR DRYWALL ON ADJACENT EXISTING WALLS, IF APPLICABLE, SHALL BE CHOPPED OUT AND/OR PATCHED FREE OF IRREGULARITIES AND SHALL MATCH ADJACENT WALLS IN FINISH AND THICKNESS.
- ALIGNMENT OF NEW WALL CONSTRUCTION TO EXISTING, IF APPLICABLE, WALLS AND COLUMNS SHALL BE DONE IN A MANNER AS TO VISIBLY ELIMINATE THE POINT OF CONTACT OR JOINT OF NEW AND EXISTING MATERIALS.
- WHERE DEMOLITION HAS OCCURRED, CONTRACTOR SHALL FILL ALL HOLES, PATCH SMOOTH AND LEVEL ALL REMAINING SURFACES, INCLUDING WALLS, FLOORS AND CEILINGS. SQUARE ALL CORNERS, AND PROPERLY PREPARE ALL SURFACES TO RECEIVE FINISHES.
- ALL BLOCKING AS REQUIRED FOR INSTALLATION OF PROPOSED AND FUTURE, ACCESSIBILITY ACCESSORIES, SYSTEMS OR BUILDING COMPONENTS AS REQUIRED BY ANSI 117.1 TO BE INCLUDED BY GC
- PROVIDE WOOD OR METAL BRIDGING EVERY 8'-0" O.C. BETWEEN JOISTS, 2 NAILS AT EACH BEARING.
- ALL HEADERS TO BE (2)-2X10'S UNLESS NOTED OTHERWISE. SEE STRUCTURAL DRAWINGS AS APPLICABLE.
- ALL HEADERS IN BEARING WALLS ON OPENINGS 4'-0" OR GREATER SHALL BE SUPPORTED ON EACH SIDE BY A MINIMUM OF TWO (2) STUDS THE SIZE OF THE ADJACENT BEARING WALL OR PER ADVANCED FRAMING REQUIREMENTS.
- PROVIDE DOUBLE FRAMING AROUND ALL OPENINGS AND DOUBLE JOISTS UNDER ALL PARTITIONS PARALLEL TO JOISTS AS NOTED.
- ALL ROOF RAFTERS/TRUSSES TO BE FASTENED TO TOP PLATE WITH HURRICANE CLIPS AND A MINIMUM OF FOUR (4) 19d NAILS.
- SEE WINDOW SCHEDULE FOR ROUGH OPENING DIMENSIONS. ALL DIMENSIONS ON PLANS ARE TO CENTER OF ROUGH OPENING.
- ALL DOOR ROUGH OPENINGS ARE ASSUMED TO BE 2" WIDER THAN DOOR SIZE LISTED ON PLANS.
- ALL DOOR ROUGH OPENING HEAD HEIGHTS ARE 2" HIGHER FROM SUBFLOOR OR CONCRETE SLAB THAN DOOR SIZE LISTED ON PLANS.
- NO CAVITY OR VOID, INCLUDING STUD CAVITIES, SHALL CONTINUE FOR MORE THAN 10' WITHOUT SOLID BLOCKING.
- CONTRACTOR TO COORDINATE LOCATION OF ALL PARTITIONS ENCLOSING EQUIPMENT, INCLUDING WATER COOLERS, WITH APPROVED SHOP DRAWINGS AND ARCHITECT PRIOR TO BEGINNING ERECTION OF PARTITIONS.
- PARTITION CONSTRUCTION IS INDICATED BY WALL TYPE THICKNESS AND ROOM FINISH SCHEDULE.
- NEW PARTITIONS:
  1. EXTEND ALL PARTITIONS TO STRUCTURE ABOVE, UNLESS OTHERWISE NOTED.
  2. EXTEND NON-FULL PARTITIONS 6" ABOVE CEILING MINIMUM. BRACE HORIZONTALLY TO STRUCTURE ABOVE AT 4'-0" O.C. STAGGERED.
  3. PROVIDE ¾" PLYWOOD BLOCKING OR 6" HIGH X 18 GA. STEEL SHEET BLOCKING IN PARTITIONS AT ALL LOCATIONS WITH SURFACE APPLIED EQUIPMENT OR ACCESSORIES, SUCH AS HANDRAILS, TOILET ACCESSORIES, WALL BUMPERS, WALL MOUNTED DOOR STOPS AND FOR SUPPORT OF WALL CABINETS, SHELVES, EQUIPMENT, ETC.
- PROVIDE ¾" PLYWOOD BLOCKING OR 6" HIGH X 18 GA. STEEL SHEET BLOCKING IN PARTITIONS AT ALL LOCATIONS WITH SURFACE APPLIED EQUIPMENT OR ACCESSORIES, SUCH AS HANDRAILS, TOILET ACCESSORIES, WALL BUMPERS, WALL MOUNTED DOOR STOPS AND FOR SUPPORT OF WALL CABINETS, SHELVES, EQUIPMENT, ETC.
- CONFIRM CHASE WALL DIMENSIONS WITH PLUMBING CONTRACTOR. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- LOCATE HINGE SIDE OF DOOR FRAMES 6" FROM PERPENDICULAR WALL UNLESS OTHERWISE NOTED.

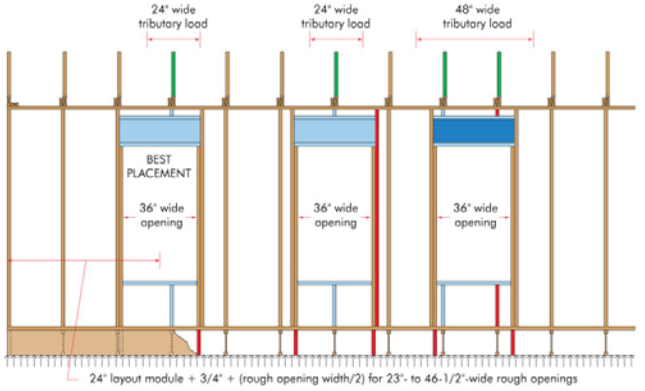
INTERIOR PARITION TYPES



ADVANCED FRAMING DIAGRAMS

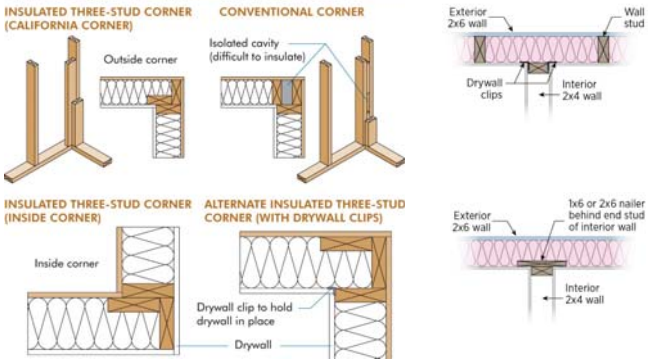
ROUGH OPENING PLACEMENT

The placement of openings in load-bearing walls and the layout of framing members above openings have significant impact on header sizing for advanced framing.



Note: Jack studs may not be required if using wood structural panel headers (as shown in Figure 9).

THREE-STUD CORNERS



ALL DRAWINGS, SPECIFICATIONS, IDEAS, ARRANGEMENTS AND DESIGNS REPRESENTED OR REFERRED TO ARE THE PROPERTY OF AND OWNED BY LEAP ARCHITECTURE WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. THEY WERE CREATED, EVOLVED, DEVELOPED AND PRODUCED FOR THE SOLE USE ON AND IN CONNECTION WITH THIS PROJECT AND NONE OF THE ABOVE MAY BE DISCLOSED OR GIVEN TO OR USED BY ANY FIRM OR CORPORATION OR PERSON FOR ANY USE OR PURPOSE WHATSOEVER INCLUDING ANY OTHER PROJECT EXCEPT UPON WRITTEN PERMISSION AND DIRECTION FROM LEAP ARCHITECTURE.

Structural Engineer:
Studio A Landscape Architecture and Engineering, D.P.C.
38 High Rock Avenue, Suite 3
Saratoga Springs, NY 12866
info@studioaspc.com
518.450.4030

LEAP ARCHITECTURE
LIVING ENVIRONMENTS | APPROPRIATE PROJECTS
256 SEAMAN AVE. #2 NEW YORK, NY 10507 518.669.9435

REV DESCRIPTION DATE ISSUED

MAHOPAC HOUSE

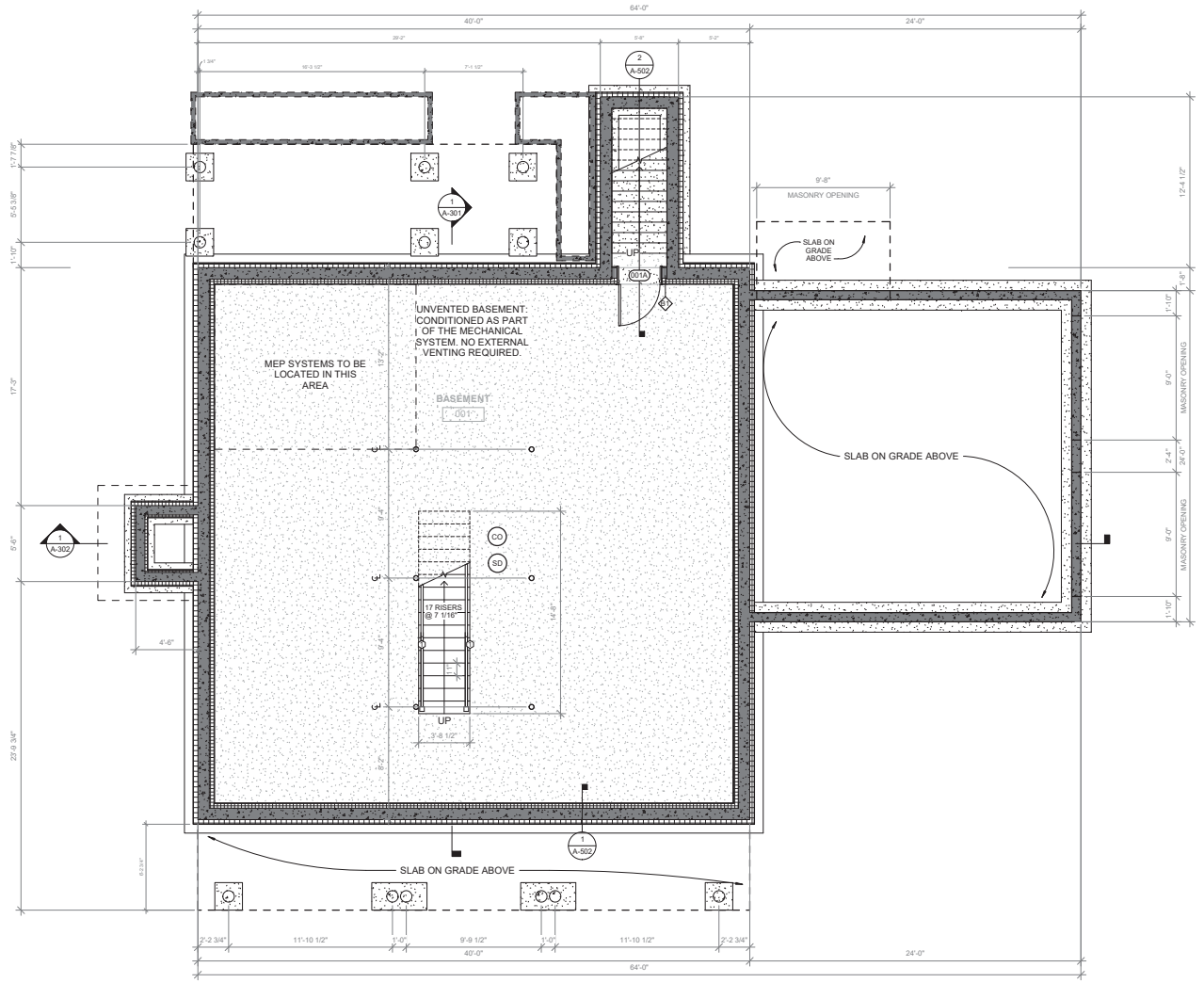
93 TEAKETTLE SPOUT ROAD, MAHOPAC, NY 10541
MICHAEL SCOCA, AND HOLDINGS GCCM LLC

GENERAL NOTES

Project Number	22-018.01
Date	11 FEBRUARY 2023
Drawn By	VARIOUS
Scale	AS INDICATED

A-002

© Copyright LEAP



1 BASEMENT
1/4" = 1'-0"

ALL DRAWINGS , SPECIFICATIONS, IDEAS, ARRANGEMENTS AND DESIGNS REPRESENTED OR REFERRED TO ARE THE PROPERTY OF AND OWNED BY LEAP ARCHITECTURE WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. THEY WERE CREATED, EVOLVED, DEVELOPED AND PRODUCED FOR THE SOLE USE ON AND IN CONNECTION WITH THIS PROJECT AND NONE OF THE ABOVE MAY BE DISCLOSED OR GIVEN TO OR USED BY ANY FIRM OR CORPORATION OR PERSON FOR ANY USE OR PURPOSE WHATSOEVER INCLUDING ANY OTHER PROJECT EXCEPT UPON WRITTEN PERMISSION AND DIRECTION FROM LEAP ARCHITECTURE.

Structural Engineer:
Studio A Landscape Architecture and Engineering, D.P.C.
38 High Rock Avenue, Suite 3
Saratoga Springs, NY 12866
info@studioapc.com
518.820.4030

ARCHITECTURAL KEYNOTES

1. HANDRAILS AT STAIRS.
2. DIRECT VENT GAS -OR- WOOD BURNING FIREPLACE INSERT. INSTALL PER MANUFACTURER'S REQUIREMENTS, INCLUDING DOUBLE-WALL ZERO-CLEARANCE FLUE
3. BLOCKING NEEDED FOR ALL POSSIBLE GRAB BAR LOCATIONS; (TOWEL BARS CANNOT BE GRAB BARS); GRAB BAR LOCATIONS TO SPAN THE ENTIRE WALL AND BE CENTERED
4. CURBLESS FROSTED GLASS WALL AND SHOWER DOOR
5. REMOVABLE STAINLESS STEEL GRATE OVER FRENCH DRAIN
6. SHOWER SET TO INCLUDE: HAND-HELD WITH 6' HOSE AND SHOWERHEAD ON SLIDING VERTICAL BAR; CONTROLS ADJACENT TO SHOWER DOOR TO ENSURE EASY ACCESS; THERMOSTATIC VALVE AS SEPERATE FROM VOLUME CONTROL; MOBILE TEAK BENCHES
7. TUB LOADS WHERE POSSIBLE; ALLOW FOR A SET ENTRY AND EXIT
8. DUAL FLUSH TOILET UNITS FOR EASY CLEANING
9. COMBINATION TOILET PAPER HOLDER AND GRAB BAR
10. SINKS: 30 TO 34 INCHES ABOVE FINISH FLOOR; REMOVABLE THE WALL CABINETS FOR FUTURE KNEE AND TOE CLEARANCE; EXTRA SUPPORT NEEDED; LEANING HEAVILY ON SINKS IS COMMON; SINGLE LEVER FAUCETS
11. SEMI-RECESSED MIRRORED MEDICINE CABINETS WITH INTEGRATED POWER OUTLETS
12. OUTDOOR COUNTER, STORAGE & GAS GRILL G.C. TO COORDINATE GAS LINE FOR GRILL HOOK-UP
13. FLOOR AND WALL FINISHES TO CONTRAST, LIGHT AND DARK
14. FLOORING COEFFICIENT OF FRICTION TO BE GREATER THAN 0.42
15. SHELF WITH PULL-DOWNS
16. FRONT-LOADING WASHER AND DRYER

GENERAL NOTES - STAIR & RAILING

1. STAIRS TO MEET CODE REQUIREMENTS OF CURRENT VERSION OF THE NEW YORK STATE BUILDING CODE. PROVIDE MAX 7" RISE AND MINIMUM 11" TREAD FROM NOSE TO NOSE WITH 1" NOSING. RETURN ANGLE OF RISER SHALL BE 30 DEGREES OR LESS.
2. 36" HANDRAILS WITH BALUSTRADE SPACING TO PREVENT THE PASSAGE OF A 4" SPHERE. HANDRAIL HEIGHT TO BE 34-38" CONTINUOUS WHEN MEASURED VERTICALLY FROM SLOPED ADJOINING STAIR NOSING, EXTENDING THE FULL RUNOFF THE STAIR AND RETURNING INTO POSTS OR WALL OR SAFETY TERMINAL. RAIL TO BE CIRCULAR, WITH PERIMETER TO BE 1 1/4" TO 2" CIRCUMFERENCE AND 1 1/2" AWAY FROM ADJACENT WALL.
3. HANDRAILS AND GUARDS SHALL BE DESIGNED TO RESIST A LINEAR LOAD OF 50 POUNDS PER LINEAR FOOT (PLF) (0.73 KN/M) IN ACCORDANCE WITH SECTION 4.5.1 OF ASCE 7. GLASS HANDRAIL ASSEMBLIES AND GUARDS SHALL ALSO COMPLY WITH SECTION 2407.
4. STAIRS TO BE WOOD TREADS ON WOOD CARRIAGE
5. VERIFY DIMENSIONS IN FIELD BEFORE ORDERING STAIR.

LEAP ARCHITECTURE
LIVING ENVIRONMENTS | APPROPRIATE PROJECTS
256 SEAMAN AVE. #2 NEW YORK, NY 10507 518.669.9435

REV	DESCRIPTION	DATE ISSUED

MAHOPAC HOUSE

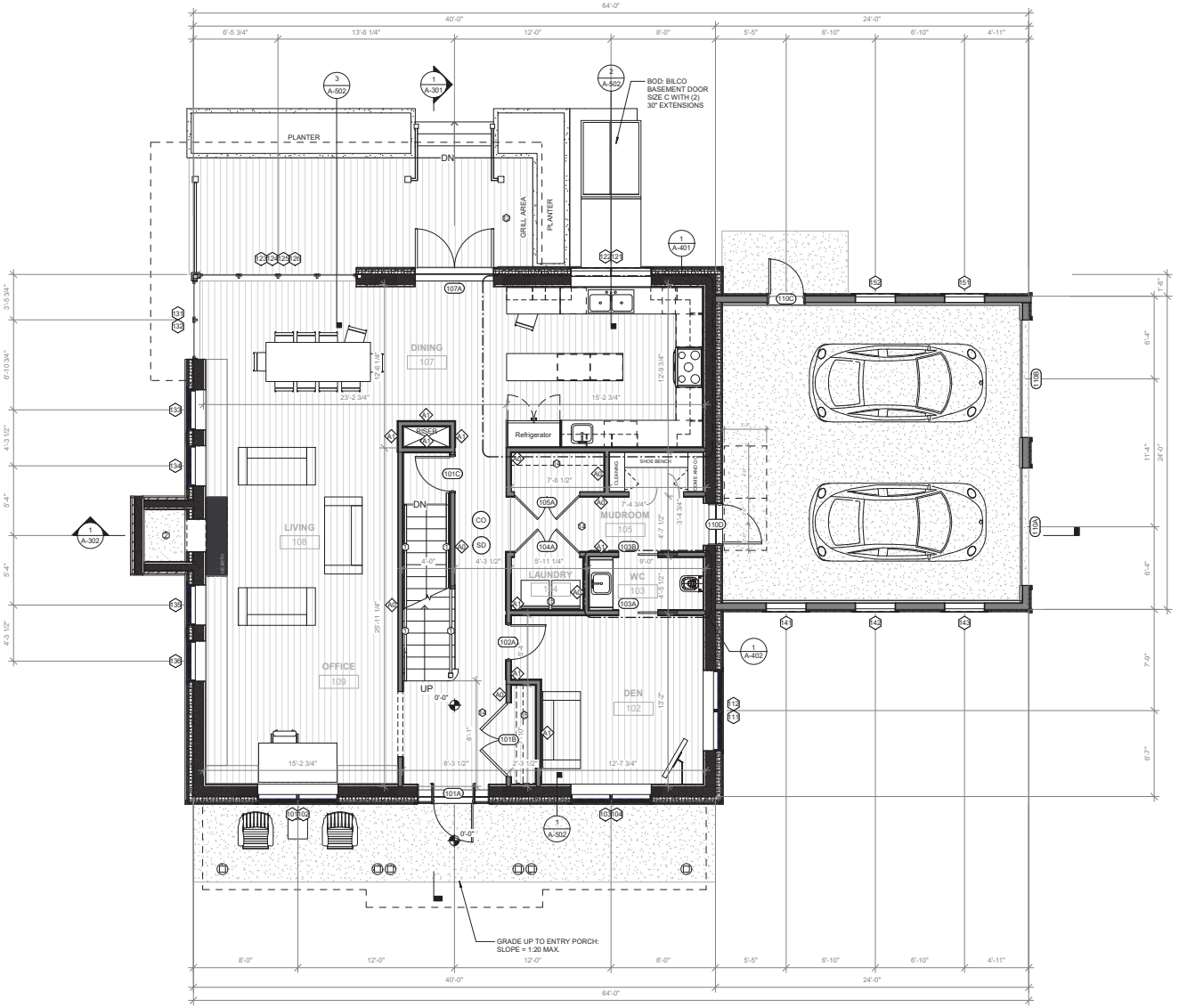
93 TEAKETTLE SPOUT ROAD, MAHOPAC, NY 10541
MICHAEL SCOCA, ANB HOLDINGS GCCM LLC

FOUNDATION / BASEMENT PLAN

Project Number	22-018.01
Date	11 FEBRUARY 2023
Drawn By	VARIOUS
Scale	AS INDICATED

A-100

© Copyright LEAP



1 LEVEL 1
1/4" = 1'-0"

ALL DRAWINGS , SPECIFICATIONS, IDEAS, ARRANGEMENTS AND DESIGNS REPRESENTED OR REFERRED TO ARE THE PROPERTY OF AND OWNED BY LEAP ARCHITECTURE WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. THEY WERE CREATED, EVOLVED, DEVELOPED AND PRODUCED FOR THE SOLE USE ON AND IN CONNECTION WITH THIS PROJECT AND NONE OF THE ABOVE MAY BE DISCLOSED OR GIVEN TO OR USED BY ANY FIRM OR CORPORATION OR PERSON FOR ANY USE OR PURPOSE WHATSOEVER INCLUDING ANY OTHER PROJECT EXCEPT UPON WRITTEN PERMISSION AND DIRECTION FROM LEAP ARCHITECTURE.

Structural Engineer:
Studio A Landscape Architecture and Engineering, D.P.C.
38 High Rock Avenue, Suite 3
Saratoga Springs, NY 12866
info@studioapc.com
518.450.4030

ARCHITECTURAL KEYNOTES

1. HANDRAILS AT STAIRS.
2. DIRECT VENT GAS -OR- WOOD BURNING FIREPLACE INSERT. INSTALL PER MANUFACTURER'S REQUIREMENTS, INCLUDING DOUBLE-WALL ZERO-CLEARANCE FLUE
3. BLOCKING NEEDED FOR ALL POSSIBLE GRAB BAR LOCATIONS; (TOWEL BARS CANNOT BE GRAB BARS); GRAB BAR LOCATIONS TO SPAN THE ENTIRE WALL AND BE CENTERED
4. CURBLESS FROSTED GLASS WALL AND SHOWER DOOR
5. REMOVABLE STAINLESS STEEL GRATE OVER FRENCH DRAIN
6. SHOWER SET TO INCLUDE: HAND-HELD WITH 6' HOSE AND SHOWERHEAD ON SLIDING VERTICAL BAR; CONTROLS ADJACENT TO SHOWER DOOR TO ENSURE EASY ACCESS; THERMOSTATIC VALVE AS SEPERATE FROM VOLUME CONTROL; MOBILE TEAK BENCHET
7. TUB LOADS WHERE POSSIBLE; ALLOW FOR A SET ENTRY AND EXIT
8. FLUSH LOADING TOILET UNITS FOR EASY CLEANING
9. COMBINATION TOILET PAPER HOLDER AND GRAB BAR
10. SINKS: 30 TO 34 INCHES ABOVE FINISH FLOOR; REMOVABLE THE WALL CABINETS FOR FUTURE KNEE AND TOE CLEARANCE; EXTRA SUPPORT NEEDED: LEANING HEAVILY ON SINKS IS COMMON; SINGLE LEVER FAUCETS
11. SEMI-RECESSED MIRRORED MEDICINE CABINETS WITH INTEGRATED POWER OUTLETS
12. OUTDOOR COUNTER, STORAGE & GAS GRILL G.C. TO COORDINATE GAS LINE FOR GRILL LOCATION
13. FLOOR AND WALL FINISHES TO CONTRAST, LIGHT AND DARK
14. FLOORING COEFFICIENT OF FRICTION TO BE GREATER THAN 0.42
15. SHELF WITH PULL-DOWNS
16. FRONT-LOADING WASHER AND DRYER

GENERAL NOTES - STAIR & RAILING

1. STAIRS TO MEET CODE REQUIREMENTS OF CURRENT VERSION OF THE NEW YORK STATE BUILDING CODE. PROVIDE MAX 7" RISE AND MINIMUM 11" TREAD FROM NOSE TO NOSE WITH 1" NOSING. RETURN ANGLE OF RISER SHALL BE 30 DEGREES OR LESS.
2. 36" HANDRAILS WITH BALUSTRADE SPACING TO PREVENT THE PASSAGE OF A 4" SPHERE. HANDRAIL HEIGHT TO BE 34-38" CONTINUOUS WHEN MEASURED VERTICALLY FROM SLOPED ADJOINING STAIR NOSING, EXTENDING THE FULL RUNOFF THE STAIR AND RETURNING INTO POSTS OR WALL OR SAFETY TERMINAL. RAIL TO BE CIRCULAR, WITH PERIMETER TO BE 1 1/4" TO 2" CIRCUMFERENCE AND 1 1/2" AWAY FROM ADJACENT WALL.
3. HANDRAILS AND GUARDS SHALL BE DESIGNED TO RESIST A LINEAR LOAD OF 50 POUNDS PER LINEAR FOOT (PLF) (0.73 KN/M) IN ACCORDANCE WITH SECTION 4.5.1 OF ASCE 7. GLASS HANDRAIL ASSEMBLIES AND GUARDS SHALL ALSO COMPLY WITH SECTION 2407.
4. STAIRS TO BE WOOD TREADS ON WOOD CARRIAGE
5. VERIFY DIMENSIONS IN FIELD BEFORE ORDERING STAIR.

LEAP ARCHITECTURE
LIVING ENVIRONMENTS | APPROPRIATE PROJECTS
256 SEAMAN AVE. #2 NEW YORK, NY 10507 518.669.9435

REV	DESCRIPTION	DATE ISSUED

MAHOPAC HOUSE

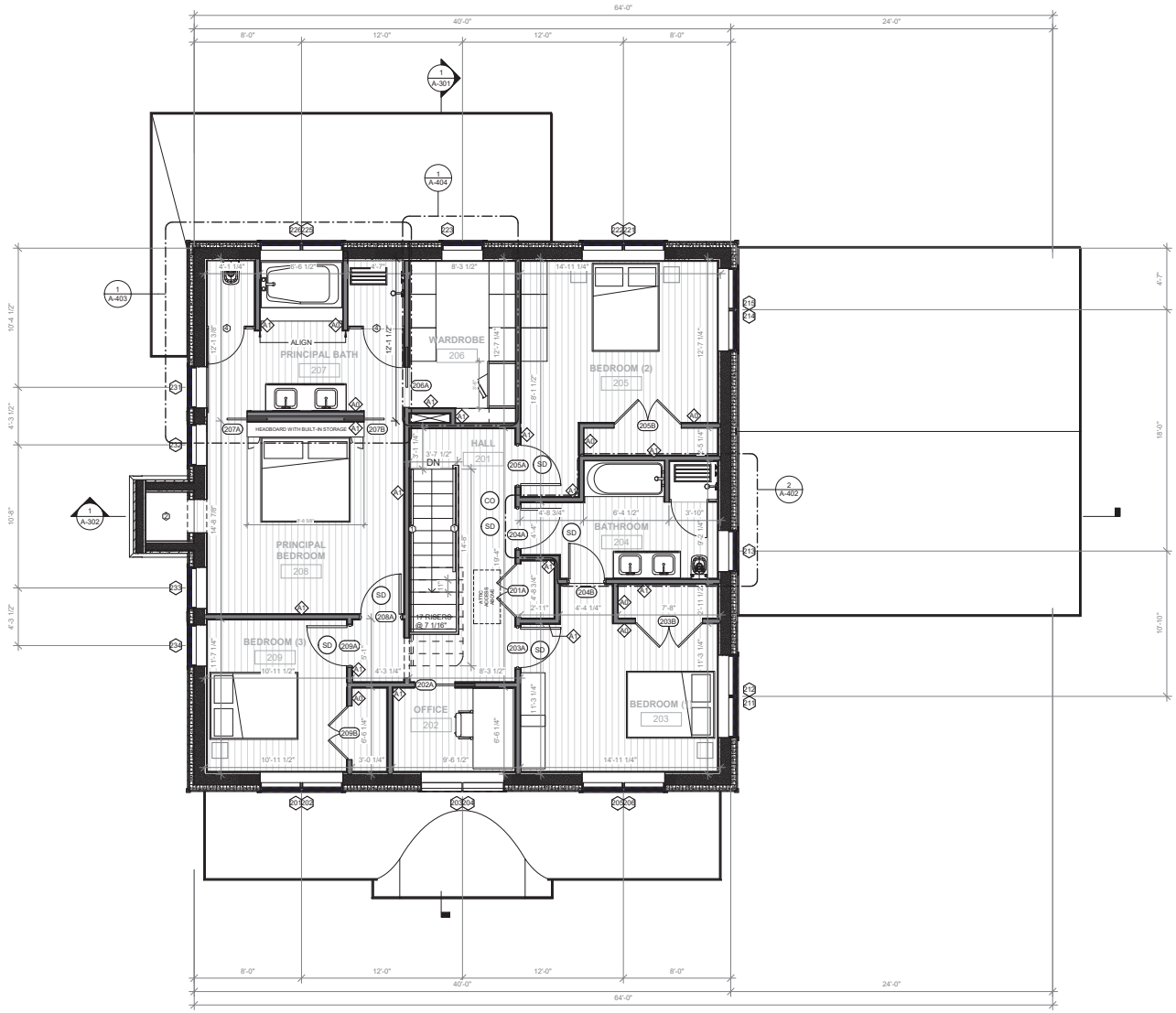
93 TEAKETTLE SPOUT ROAD, MAHOPAC, NY 10541
MICHAEL SCOCA, ANB HOLDINGS GCCM LLC

FIRST FLOOR PLAN

Project Number	22-018.01
Date	11 FEBRUARY 2023
Drawn By	VARIOUS
Scale	AS INDICATED

A-101

© Copyright LEAP



1 LEVEL 2
1/4" = 1'-0"

ALL DRAWINGS , SPECIFICATIONS, IDEAS, ARRANGEMENTS AND DESIGNS REPRESENTED OR REFERRED TO ARE THE PROPERTY OF AND OWNED BY LEAP ARCHITECTURE WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. THEY WERE CREATED, EVOLVED, DEVELOPED AND PRODUCED FOR THE SOLE USE ON AND IN CONNECTION WITH THIS PROJECT AND NONE OF THE ABOVE MAY BE DISCLOSED OR GIVEN TO OR USED BY ANY FIRM OR CORPORATION OR PERSON FOR ANY USE OR PURPOSE WHATSOEVER INCLUDING ANY OTHER PROJECT EXCEPT UPON WRITTEN PERMISSION AND DIRECTION FROM LEAP ARCHITECTURE.

Structural Engineer:
Studio A Landscape Architecture and Engineering, D.P.C.
38 High Rock Avenue, Suite 3
Saratoga Springs, NY 12866
info@studioapc.com
518.820.4030

ARCHITECTURAL KEYNOTES

1. HANDRAILS AT STAIRS.
2. DIRECT VENT GAS -OR- WOOD BURNING FIREPLACE INSERT. INSTALL PER MANUFACTURER'S REQUIREMENTS, INCLUDING DOUBLE-WALL ZERO-CLEARANCE FLUE
3. BLOCKING NEEDED FOR ALL POSSIBLE GRAB BAR LOCATIONS; (TOWEL BARS CANNOT BE GRAB BARS); GRAB BAR LOCATIONS TO SPAN THE ENTIRE WALL AND BE CENTERED
4. CURBLESS FROSTED GLASS WALL AND SHOWER DOOR
5. REMOVABLE STAINLESS STEEL GRATE OVER FRENCH DRAIN
6. SHOWER SET TO INCLUDE: HAND-HELD WITH 6' HOSE AND SHOWERHEAD ON SLIDING VERTICAL BAR; CONTROLS ADJACENT TO SHOWER DOOR TO ENSURE EASY ACCESS; THERMOSTATIC VALVE AS SEPERATE FROM VOLUME CONTROL; MOBILE TEAK BENCHET
7. TUB LOADS WHERE POSSIBLE; ALLOW FOR A SET ENTRY AND EXIT
8. TOILETS WITH CLOSED TOILET UNITS FOR EASY CLEANING
9. COMBINATION TOILET PAPER HOLDER AND GRAB BAR
10. SINKS: 30 TO 34 INCHES ABOVE FINISH FLOOR; REMOVABLE THE WALL CABINETS FOR FUTURE KNEE AND TOE CLEARANCE; EXTRA SUPPORT NEEDED: LEANING HEAVILY ON SINKS IS COMMON; SINGLE LEVER FAUCETS
11. SEMI-RECESSED MIRRORED MEDICINE CABINETS WITH INTEGRATED POWER OUTLETS
12. OUTDOOR COUNTER, STORAGE & GAS GRILL G.C. TO COORDINATE GAS LINE FOR GRILL LOCATION
13. FLOOR AND WALL FINISHES TO CONTRAST, LIGHT AND DARK
14. FLOORING COEFFICIENT OF FRICTION TO BE GREATER THAN 0.42
15. SHELF WITH PULL-DOWNS
16. FRONT-LOADING WASHER AND DRYER

GENERAL NOTES - STAIR & RAILING

1. STAIRS TO MEET CODE REQUIREMENTS OF CURRENT VERSION OF THE NEW YORK STATE BUILDING CODE. PROVIDE MAX 7" RISE AND MINIMUM 11" TREAD FROM NOSE TO NOSE WITH 1" NOSING. RETURN ANGLE OF RISER SHALL BE 30 DEGREES OR LESS.
2. 36" HANDRAILS WITH BALUSTRADE SPACING TO PREVENT THE PASSAGE OF A 4" SPHERE. HANDRAIL HEIGHT TO BE 34-38" CONTINUOUS WHEN MEASURED VERTICALLY FROM SLOPED ADJOINING STAIR NOSING, EXTENDING THE FULL RUNOFF THE STAIR AND RETURNING INTO POSTS OR WALL OR SAFETY TERMINAL. RAIL TO BE CIRCULAR, WITH PERIMETER TO BE 1 1/4" TO 2" CIRCUMFERENCE AND 1 1/2" AWAY FROM ADJACENT WALL.
3. HANDRAILS AND GUARDS SHALL BE DESIGNED TO RESIST A LINEAR LOAD OF 50 POUNDS PER LINEAR FOOT (PLF) (0.73 KN/M) IN ACCORDANCE WITH SECTION 4.5.1 OF ASCE 7. GLASS HANDRAIL ASSEMBLIES AND GUARDS SHALL ALSO COMPLY WITH SECTION 2407.
4. STAIRS TO BE WOOD TREADS ON WOOD CARRIAGE
5. VERIFY DIMENSIONS IN FIELD BEFORE ORDERING STAIR.

LEAP ARCHITECTURE
LIVING ENVIRONMENTS | APPROPRIATE PROJECTS
256 SEAMAN AVE. #2 NEW YORK, NY 10007 518.669.9435

REV	DESCRIPTION	DATE ISSUED

MAHOPAC HOUSE

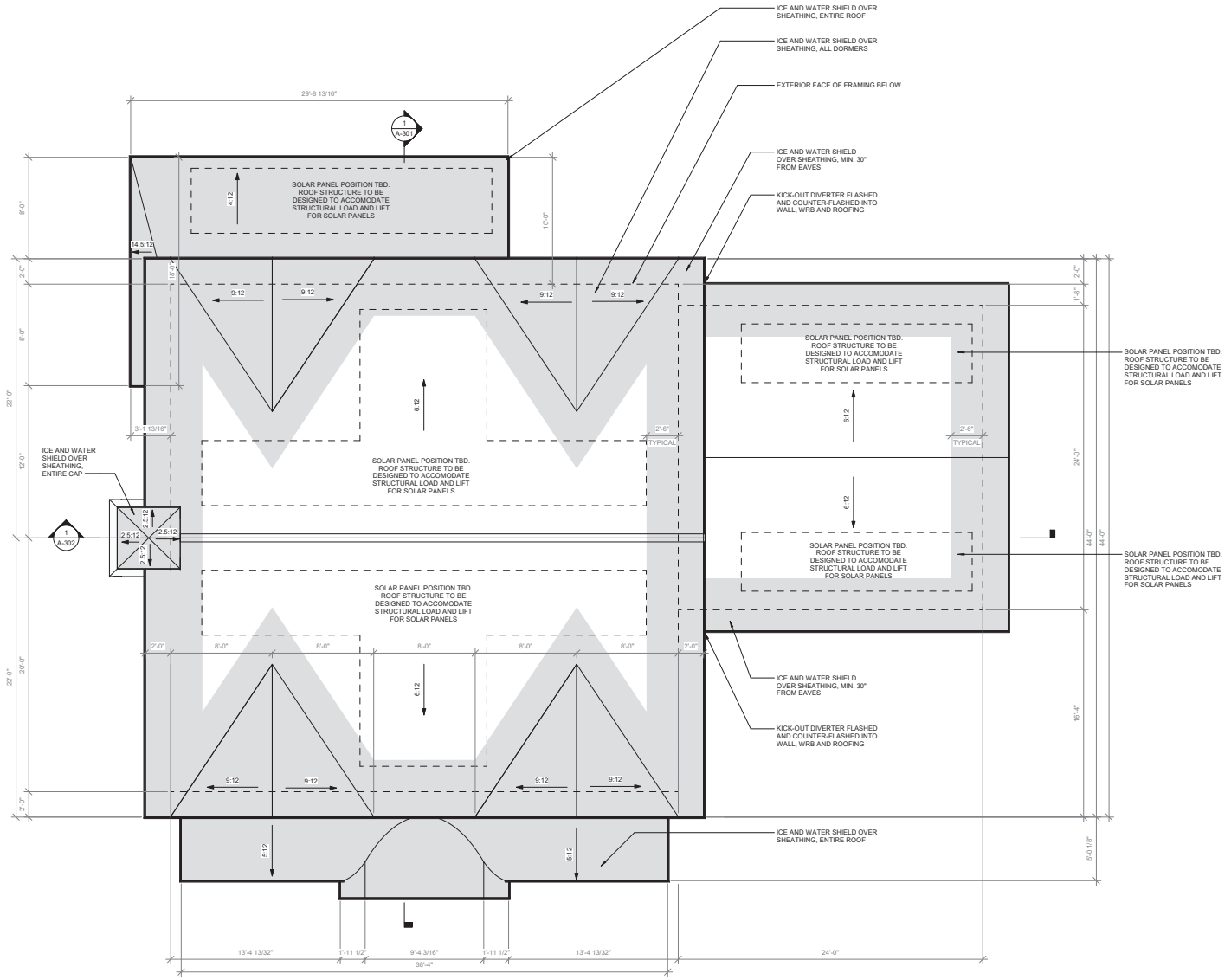
93 TEAKETTLE SPOUT ROAD, MAHOPAC, NY 10541
MICHAEL SCOCA, ANB HOLDINGS GCCM LLC

SECOND FLOOR PLAN

Project Number	22-018.01
Date	11 FEBRUARY 2023
Drawn By	VARIOUS
Scale	AS INDICATED

A-102

© Copyright LEAP



1 ROOF PLAN
1/4" = 1'-0"

ALL DRAWINGS , SPECIFICATIONS, IDEAS, ARRANGEMENTS AND DESIGNS REPRESENTED OR REFERRED TO ARE THE PROPERTY OF AND OWNED BY LEAP ARCHITECTURE WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. THEY WERE CREATED, EVOLVED, DEVELOPED AND PRODUCED FOR THE SOLE USE ON AND IN CONNECTION WITH THIS PROJECT AND NONE OF THE ABOVE MAY BE DISCLOSED OR GIVEN TO OR USED BY ANY FIRM OR CORPORATION OR PERSON FOR ANY USE OR PURPOSE WHATSOEVER INCLUDING ANY OTHER PROJECT EXCEPT UPON WRITTEN PERMISSION AND DIRECTION FROM LEAP ARCHITECTURE.

Structural Engineer:
Studio A Landscape Architecture and Engineering, D.P.C.
38 High Rock Avenue, Suite 3
Saratoga Springs, NY 12866
info@studioapc.com
518.820.4030

GENERAL ROOF PLAN NOTES:

- COORDINATE MISCELLANEOUS ROOF PENETRATIONS WITH ALL TRADES, VENDORS, AND ENGINEERED DRAWINGS. MAJOR ROOF SCOPE IS SHOWN, SMALLER PENETRATIONS REQUIRE FLASHING/DETAILS PER ROOFING AND BUILDING SHELL REQUIREMENTS.
- ALL METAL FLASHING TO BE PER SMACNA STANDARD DETAILS AND REQUIREMENTS
- STANDING SEAM METAL ROOF SYSTEM - OR - COMPOSITE SHINGLES. VERIFY ROOFING SYSTEM IS COMPATIBLE WITH 1:10 ROOF SLOPE (E.G. 3" TALL SEAMS IF STANDING SEAM SYSTEM IS USED)

LEAP ARCHITECTURE
LIVING ENVIRONMENTS | APPROPRIATE PROJECTS
256 SEAMAN AVE. #2 NEW YORK, NY 10507 518.669.9435

REV	DESCRIPTION	DATE ISSUED

MAHOPAC HOUSE

93 TEAKETTLE SPOUT ROAD, MAHOPAC, NY 10541
MICHAEL SCOCA, ANB HOLDINGS GCCM LLC

ROOF PLAN

Project Number	22-018.01
Date	11 FEBRUARY 2023
Drawn By	VARIOUS
Scale	1/4" = 1'-0"

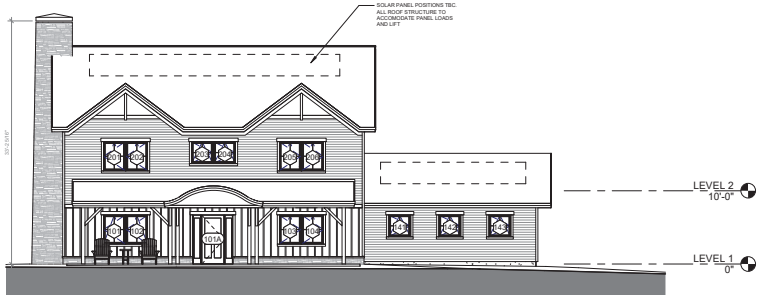
A-103

© Copyright LEAP

ALL DRAWINGS , SPECIFICATIONS, IDEAS, ARRANGEMENTS AND DESIGNS REPRESENTED OR REFERRED TO ARE THE PROPERTY OF AND OWNED BY LEAP ARCHITECTURE WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. THEY WERE CREATED, EVOLVED, DEVELOPED AND PRODUCED FOR THE SOLE USE ON AND IN CONNECTION WITH THIS PROJECT AND NONE OF THE ABOVE MAY BE DISCLOSED OR GIVEN TO OR USED BY ANY FIRM OR CORPORATION OR PERSON FOR ANY USE OR PURPOSE WHATSOEVER INCLUDING ANY OTHER PROJECT EXCEPT UPON WRITTEN PERMISSION AND DIRECTION FROM LEAP ARCHITECTURE.

Structural Engineer:
Studio A Landscape Architecture and Engineering, D.P.C.
38 High Rock Avenue, Suite 3
Saratoga Springs, NY 12866
info@studioapc.com
518.450.4030

4 SOUTH
1/8" = 1'-0"



3 EAST
1/8" = 1'-0"

1 NORTH
1/8" = 1'-0"

2 WEST
1/8" = 1'-0"

LEAP ARCHITECTURE

LIVING ENVIRONMENTS | APPROPRIATE PROJECTS
256 SEAMAN AVE. #2 NEW YORK, NY 10507 518.669.9435

REV	DESCRIPTION	DATE ISSUED

MAHOPAC HOUSE

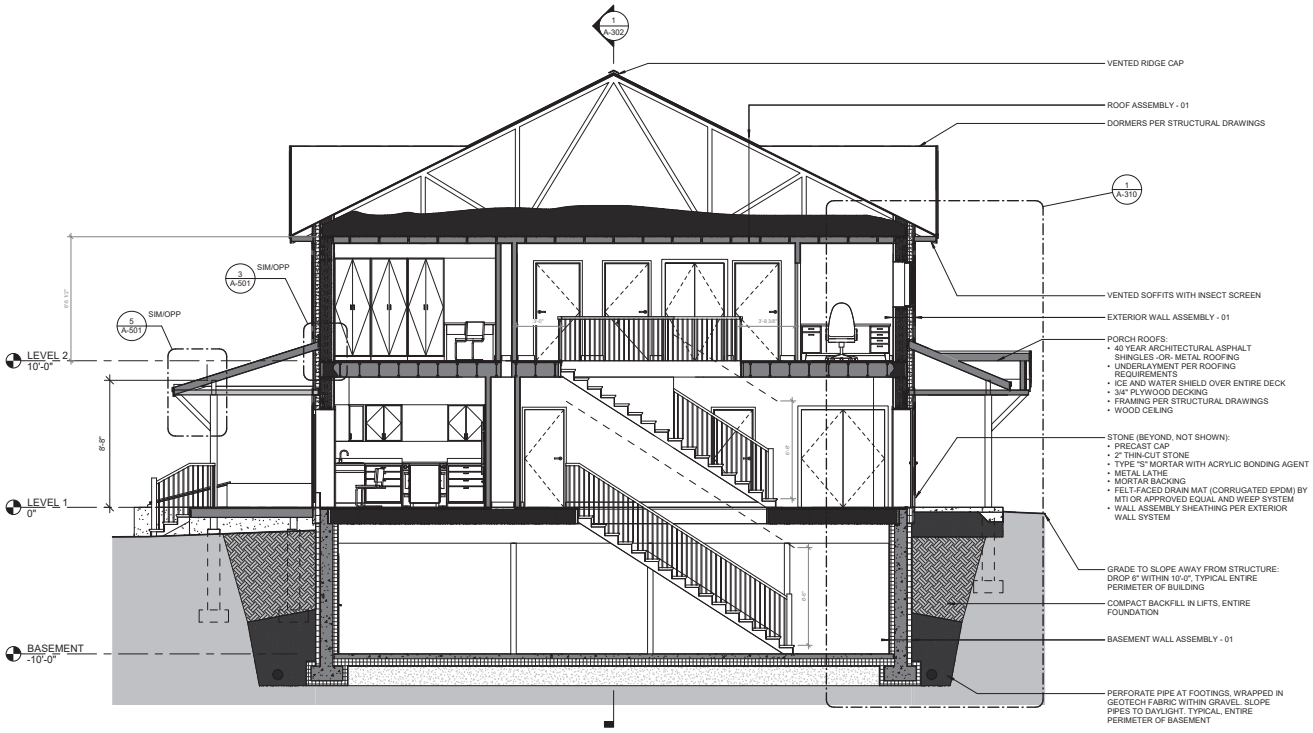
93 TEAKETTLE SPOUT ROAD, MAHOPAC, NY 10541
MICHAEL SCOCA, AnB HOLDINGS GCCM LLC

ELEVATIONS

Project Number	22-018.01
Date	11 FEBRUARY 2023
Drawn By	VARIOUS
Scale	1/8" = 1'-0"

A-201

© Copyright LEAP



1 Section AA
1/4" = 1'-0"

ASSEMBLY TYPES

ROOF ASSEMBLY - 01
- 40-YEAR ARCHITECTURAL ASPHALT SHINGLES OR METAL ROOFING
- UNDERLAYMENT PER ROOFING MANUFACTURER'S REQUIREMENTS
- ICE AND WATER SHIELD, 30" UP FROM EAVES
- SHEATHING PER STRUCTURAL DRAWINGS
- PRE-ENGINEERED, PRE-FABRICATED WOOD TRUSSES, "STORAGE-TYPE"
- DORMERS: GC OPTION STICK FRAME OR TRUSSES
- R-72 MIN. BLOWN-IN CELLULOSE INSULATION
- VAPOR RETARDER -OR- 1/2" SHEATHING WITH INTEGRAL WRB, TAPE ALL SEAMS AND SEAL ENTIRE PERIMETER
- 2X6 JOIST FRAMING FOR UTILITY SPACE
- 5/8" GWB

EXTERIOR WALL ASSEMBLY - 01
- SIDING SYSTEM
- FURRING STRIPS
- 4" FIBER BOARD WITH INTEGRAL WRB
- 1/2" OSB SHEATHING
- DOUBLE WALL: TWO SETS OF 2X4" STUDS @ 24" CENTERS
- VAPOR BARRIER
- 1 1/2" COUNTER BATTENS UTILITY SPACE
- 1/2" GYPSUM WALLBOARD

GARAGE WALL ASSEMBLY
- SIDING SYSTEM
- FURRING STRIPS
- SHEATHING
- 2X6 FRAMING @24" O.C.
- 1/2" GWB

FLOOR ASSEMBLY - L1
- FINISH FLOORING PER SCHEDULES WITH UNDERLAYMENTS AS NEEDED
- 3/4" PLYWOOD DECKING
- FOOTFALL ACOUSTIC DAMPENING
- FLOOR JOISTS PER STRUCTURAL DRAWINGS; DENSE-PACK CELLULOSE TO FILL CAVITIES
- 5/8" GYPSUM BOARD CEILING (UNDERSIDE)

FLOOR ASSEMBLY - L2
- FINISH FLOORING PER SCHEDULES WITH UNDERLAYMENTS AS NEEDED
- 3/4" PLYWOOD DECKING
- FOOTFALL ACOUSTIC DAMPENING
- FLOOR JOISTS PER STRUCTURAL DRAWINGS
- 5/8" GYPSUM BOARD CEILING (UNDERSIDE)

GARAGE SLAB ASSEMBLY
- CONCRETE SLAB PER STRUCTURAL DRAWINGS
- PITCH 1/8:12 TOWARDS SECTIONAL DOORS
- SUBBASE PER STRUCTURAL DRAWINGS

FOUNDATION WALL ASSEMBLY - 01
- 8" RIGID INSULATION
- WATERPROOF MEMBRANE
- CONCRETE BASEMENT WALL PER STRUCTURAL DRAWINGS
- 4" Z-FRAMING @ 24" CENTERS
- EPS INSULATION BOARD BETWEEN STUDS
- TAPE ALL EPS BOARD SEAMS AND CAULK ENTIRE PERIMETER
- 1/2" GYPSUM WALL BOARD

FOUNDATION FLOOR SLAB - 01
- CONCRETE SLAB PER STRUCTURAL DRAWINGS
- EPS RIGID INSULATION 6"
- VAPOR RETARDER
- SUB-BASE PER STRUCTURAL DRAWINGS

ALL DRAWINGS , SPECIFICATIONS, IDEAS, ARRANGEMENTS AND DESIGNS REPRESENTED OR REFERRED TO ARE THE PROPERTY OF AND OWNED BY LEAP ARCHITECTURE WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. THEY WERE CREATED, EVOLVED, DEVELOPED AND PRODUCED FOR THE SOLE USE ON AND IN CONNECTION WITH THIS PROJECT AND NONE OF THE ABOVE MAY BE DISCLOSED OR GIVEN TO OR USED BY ANY FIRM OR CORPORATION OR PERSON FOR ANY USE OR PURPOSE WHATSOEVER INCLUDING ANY OTHER PROJECT EXCEPT UPON WRITTEN PERMISSION AND DIRECTION FROM LEAP ARCHITECTURE.

Structural Engineer:
Studio A Landscape Architecture and Engineering, D.P.C.
38 High Rock Avenue, Suite 3
Saratoga Springs, NY 12866
info@studioapc.com
518.450.4030

SECTION GENERAL NOTES

FRAMING
CONTRACTOR TO ENSURE COMPLETE AIR SEAL TO PREVENT AIR INFILTRATION AND COMPLY WITH ALL ENERGY-STAR FRAMING TECHNIQUES.

INSULATION
CONTINUOUS AROUND THE BUILDING ENVELOPE
R-VALUES PER WALL ASSEMBLIES. USE ADVANCED FRAMING TECHNIQUES TO ENSURE INSULATION IS AGAINST BLOCKING AND IS AIR-SEALED.

GENERAL MATERIALS
PLYWOOD AND COMPOSITES ALL TO BE FORMALDEHYDE-FREE AND NO/LOW VOC, FSC CERTIFIED WITH POST-CONSUMER RECYCLED CONTENT PER USGBC REGULATIONS

FOUNDATION DRAINAGE - SURFACE
SLOPE GRADE CONTINUOUSLY AWAY FROM FOUNDATION. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10'-0" - TYPICAL

FOOTINGS
ALL CONCRETE FOOTINGS TO BE MINIMUM 4'-0" BELOW GRADE

PRESCRIPTIVE METHOD ENERGY CODE REQUIREMENTS FOR ZONE 5		
COMPONENT	CODE REQUIRED VALUE	DESIGNED VALUE
FENESTRATION	U-0.32 MAX.	U-0.32 MAX.
ROOF INSULATION	R-49 MIN.	R-52.775
WALL INSULATION	R-20 MIN. OR R-13 + R-5 EXTERIOR	R-19.25+R-4.8 INTERIOR +R-7.956 EXTERIOR
SLAB INSULATION	R-10 MIN., 2' MIN. DEPTH	R-22.8 CONTINUOUS

LEAP ARCHITECTURE
LIVING ENVIRONMENTS | APPROPRIATE PROJECTS
256 SEAMAN AVE. #2 NEW YORK, NY 10507 518.669.9435

REV	DESCRIPTION	DATE ISSUED

MAHOPAC HOUSE

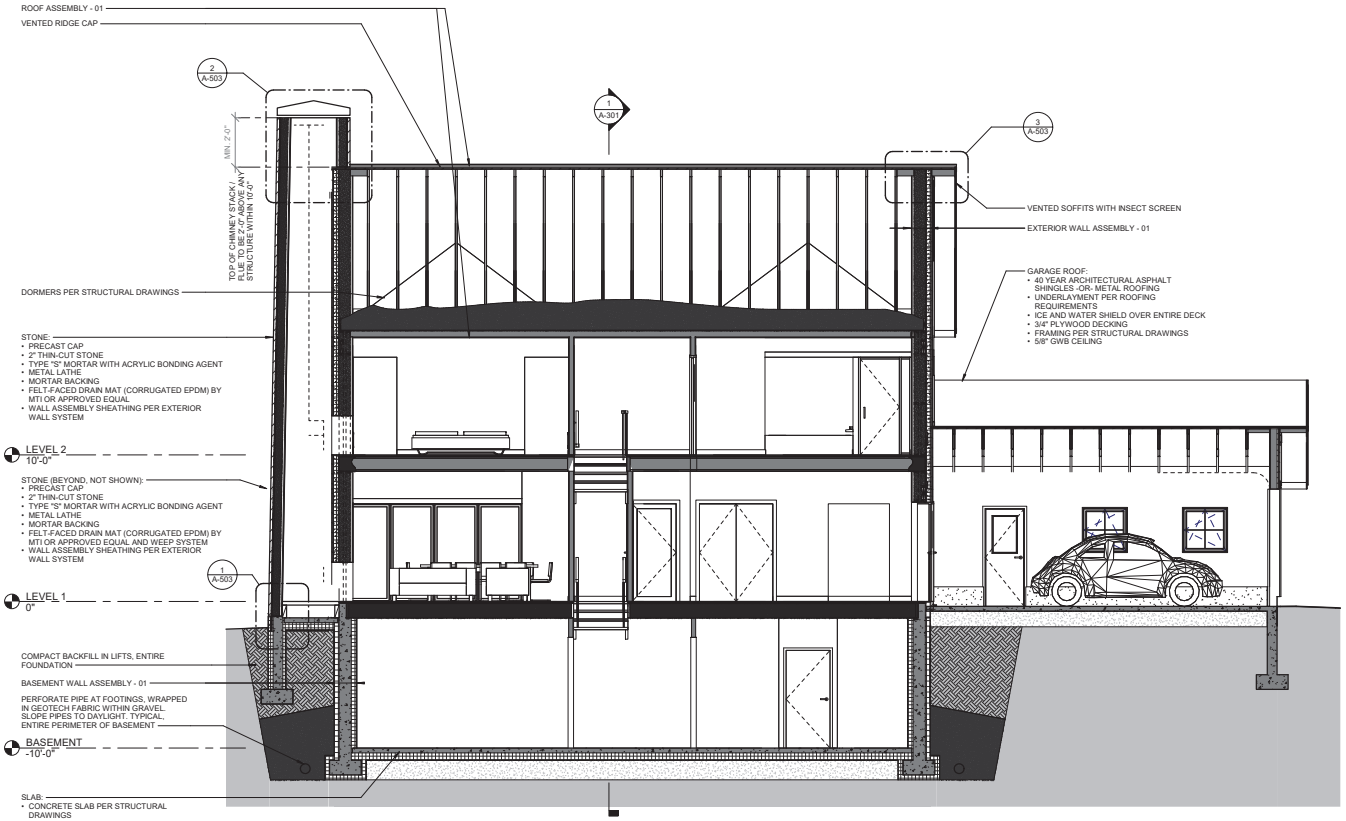
93 TEAKETTLE SPOUT ROAD, MAHOPAC, NY 10541
MICHAEL SCOCA, ANB HOLDINGS GCCM LLC

SECTION AA

Project Number	22-018.01
Date	11 FEBRUARY 2023
Drawn By	AUTHOR
Scale	AS INDICATED

A-301

© Copyright LEAP



1 Section BB
1/4" = 1'-0"

ASSEMBLY TYPES

ROOF ASSEMBLY - 01
- 40 YEAR ARCHITECTURAL ASPHALT SHINGLES OR METAL ROOFING
- UNDERLAYMENT PER ROOFING MANUFACTURER'S REQUIREMENTS
- ICE AND WATER SHIELD, 30" UP FROM EAVES
- SHEATHING PER STRUCTURAL DRAWINGS
- PRE-ENGINEERED, PRE-FABRICATED WOOD TRUSSES, "STORAGE-TYPE"
- DORMERS: GC OPTION STICK FRAME OR TRUSSES
- R-72 MIN. BLOWN-IN CELLULOSE INSULATION
- VAPOR RETARDER -OR- 1/2" SHEATHING WITH INTEGRAL WRB, TAPE ALL SEAMS AND SEAL ENTIRE PERIMETER
- 2X6 JOIST FRAMING FOR UTILITY SPACE
- 5/8" GWB

EXTERIOR WALL ASSEMBLY - 01
- SIDING SYSTEM
- FURRING STRIPS
- 4" FIBER BOARD WITH INTEGRAL WRB
- 1/2" OSB SHEATHING
- DOUBLE WALL: TWO SETS OF 2X4" STUDS @ 24" CENTERS
- VAPOR BARRIER
- 1 1/2" COUNTER BATTENS UTILITY SPACE
- 1/2" GYPSUM WALLBOARD

GARAGE WALL ASSEMBLY
- SIDING SYSTEM
- FURRING STRIPS
- SHEATHING
- 2X6 FRAMING @24" O.C.
- 1/2" GWB

FLOOR ASSEMBLY - L1
- FINISH FLOORING PER SCHEDULES WITH UNDERLAYMENTS AS NEEDED
- 3/4" PLYWOOD DECKING
- FOOTFALL ACOUSTIC DAMPENING
- FLOOR JOISTS PER STRUCTURAL DRAWINGS; DENSE-PACK CELLULOSE TO FILL CAVITIES
- 5/8" GYPSUM BOARD CEILING (UNDERSIDE)

FLOOR ASSEMBLY - L2
- FINISH FLOORING PER SCHEDULES WITH UNDERLAYMENTS AS NEEDED
- 3/4" PLYWOOD DECKING
- FOOTFALL ACOUSTIC DAMPENING
- FLOOR JOISTS PER STRUCTURAL DRAWINGS
- 5/8" GYPSUM BOARD CEILING (UNDERSIDE)

GARAGE SLAB ASSEMBLY
- CONCRETE SLAB PER STRUCTURAL DRAWINGS
- PITCH 1/8:12 TOWARDS SECTIONAL DOORS
- SUBBASE PER STRUCTURAL DRAWINGS

FOUNDATION WALL ASSEMBLY - 01
- 8" RIGID INSULATION
- WATERPROOF MEMBRANE
- CONCRETE BASEMENT WALL PER STRUCTURAL DRAWINGS
- 4" Z-FRAMING @ 24" CENTERS
- EPS INSULATION BOARD BETWEEN STUDS
- TAPE ALL EPS BOARD SEAMS AND CAULK ENTIRE PERIMETER
- 1/2" GYPSUM WALL BOARD

FOUNDATION FLOOR SLAB - 01
- CONCRETE SLAB PER STRUCTURAL DRAWINGS
- EPS RIGID INSULATION 6"
- VAPOR RETARDER
- SUB-BASE PER STRUCTURAL DRAWINGS

ALL DRAWINGS , SPECIFICATIONS, IDEAS, ARRANGEMENTS AND DESIGNS REPRESENTED OR REFERRED TO ARE THE PROPERTY OF AND OWNED BY LEAP ARCHITECTURE WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. THEY WERE CREATED, EVOLVED, DEVELOPED AND PRODUCED FOR THE SOLE USE ON AND IN CONNECTION WITH THIS PROJECT AND NONE OF THE ABOVE MAY BE DISCLOSED OR GIVEN TO OR USED BY ANY FIRM OR CORPORATION OR PERSON FOR ANY USE OR PURPOSE WHATSOEVER INCLUDING ANY OTHER PROJECT EXCEPT UPON WRITTEN PERMISSION AND DIRECTION FROM LEAP ARCHITECTURE.

Structural Engineer:
Studio A Landscape Architecture and Engineering, D.P.C.
38 High Rock Avenue, Suite 3
Saratoga Springs, NY 12866
info@studioapc.com
518.830.4030

SECTION GENERAL NOTES

FRAMING
CONTRACTOR TO ENSURE COMPLETE AIR SEAL TO PREVENT AIR INFILTRATION AND COMPLY WITH ALL ENERGY-STAR FRAMING TECHNIQUES.

INSULATION
CONTINUOUS AROUND THE BUILDING ENVELOPE
R-VALUES PER WALL ASSEMBLIES. USE ADVANCED FRAMING TECHNIQUES TO ENSURE INSULATION IS AGAINST BLOCKING AND IS AIR-SEALED.

GENERAL MATERIALS
PLYWOOD AND COMPOSITES ALL TO BE FORMALDEHYDE-FREE AND NO/LOW VOC, FSC CERTIFIED WITH POST-CONSUMER RECYCLED CONTENT PER USGBC REGULATIONS

FOUNDATION DRAINAGE - SURFACE
SLOPE GRADE CONTINUOUSLY AWAY FROM FOUNDATION. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10'-0" - TYPICAL

FOOTINGS
ALL CONCRETE FOOTINGS TO BE MINIMUM 4'-0" BELOW GRADE

PRESCRIPTIVE METHOD ENERGY CODE REQUIREMENTS FOR ZONE 5		
COMPONENT	CODE REQUIRED VALUE	DESIGNED VALUE
FENESTRATION	U-0.32 MAX.	U-0.32 MAX.
ROOF INSULATION	R-49 MIN.	R-52.775
WALL INSULATION	R-20 MIN. OR R-13 + R-5 EXTERIOR	R-19.25+R-4.8 INTERIOR +R-7.956 EXTERIOR
SLAB INSULATION	R-10 MIN., 2' MIN. DEPTH	R-22.8 CONTINUOUS

LEAP ARCHITECTURE
LIVING ENVIRONMENTS | APPROPRIATE PROJECTS
256 SEAMAN AVE. #2 NEW YORK, NY 10507 518.669.9435

REV DESCRIPTION DATE ISSUED

MAHOPAC HOUSE

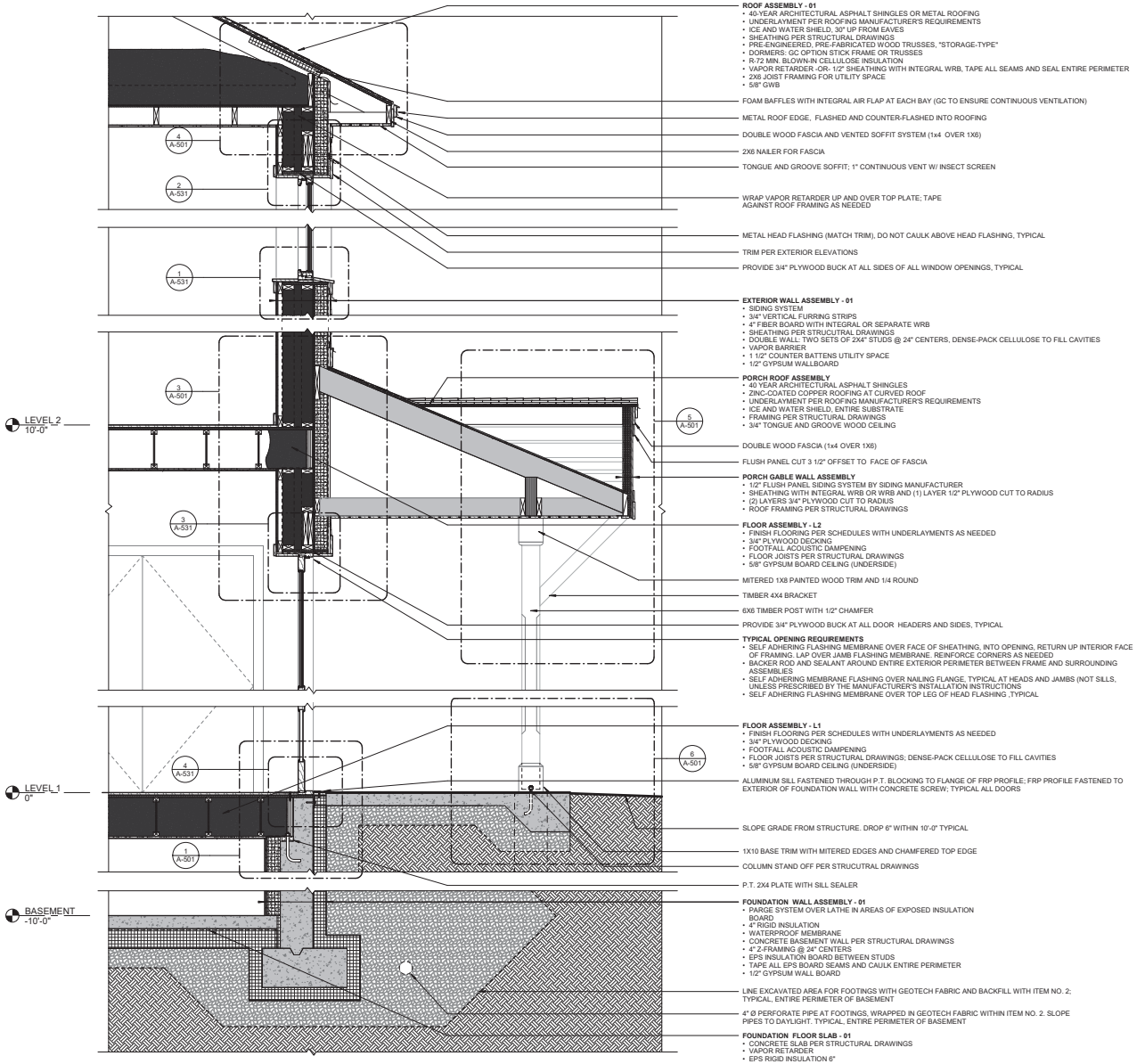
93 TEAKETTLE SPOUT ROAD, MAHOPAC, NY 10541
MICHAEL SCOCA, ANB HOLDINGS GCCM LLC

SECTION BB

Project Number	22-018.01
Date	11 FEBRUARY 2023
Drawn By	AUTHOR
Scale	AS INDICATED

A-302

© Copyright LEAP



1 WALL SECTION
3/4" = 1'-0"

ALL DRAWINGS , SPECIFICATIONS, IDEAS, ARRANGEMENTS AND DESIGNS REPRESENTED OR REFERRED TO ARE THE PROPERTY OF AND OWNED BY LEAP ARCHITECTURE WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. THEY WERE CREATED, EVOLVED, DEVELOPED AND PRODUCED FOR THE SOLE USE ON AND IN CONNECTION WITH THIS PROJECT AND NONE OF THE ABOVE MAY BE DISCLOSED OR GIVEN TO OR USED BY ANY FIRM OR CORPORATION OR PERSON FOR ANY USE OR PURPOSE WHATSOEVER INCLUDING ANY OTHER PROJECT EXCEPT UPON WRITTEN PERMISSION AND DIRECTION FROM LEAP ARCHITECTURE.

Structural Engineer:
Studio A Landscape Architecture and Engineering, D.P.C.
38 High Rock Avenue, Suite 3
Saratoga Springs, NY 12866
info@studioapc.com
518.450.4030

LEAP ARCHITECTURE
LIVING ENVIRONMENTS | APPROPRIATE PROJECTS
256 SEAMAN AVE. #2 NEW YORK, NY 10507 518.669.9435

REV	DESCRIPTION	DATE ISSUED

PROGRESS PRINT
NOT FOR CONSTRUCTION

MAHOPAC HOUSE

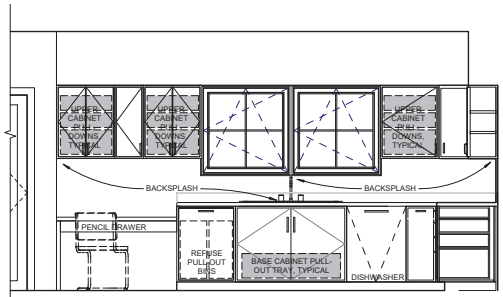
93 TEAKETTLE SPOUT ROAD, MAHOPAC, NY 10541
MICHAEL SCOCA, ANB HOLDINGS GCCM LLC

WALL SECTION

Project Number	22-018.01
Date	11 FEBRUARY 2023
Drawn By	JND
Scale	3/4" = 1'-0"

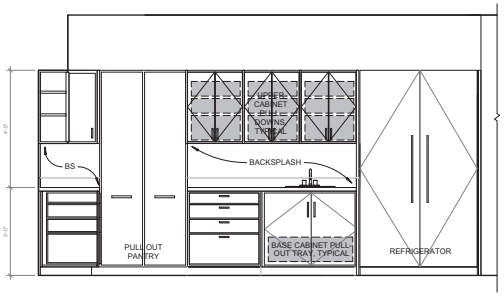
A-310

© Copyright LEAP

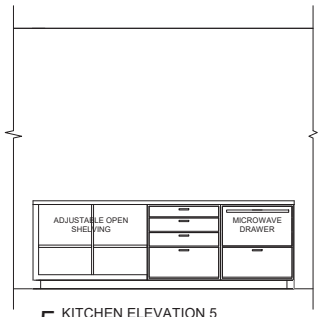


2 KITCHEN ELEVATION 2
1/2" = 1'-0"

3 KITCHEN ELEVATION 3
1/2" = 1'-0"

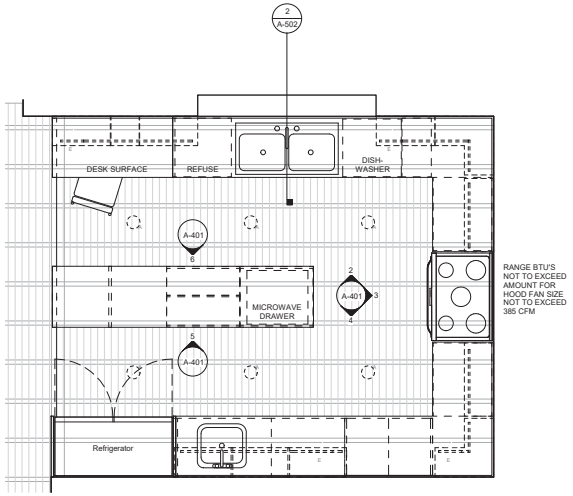


4 KITCHEN ELEVATION 4
1/2" = 1'-0"



5 KITCHEN ELEVATION 5
1/2" = 1'-0"

6 KITCHEN ELEVATION 6
1/2" = 1'-0"



1 ENLARGED KITCHEN PLAN
1/2" = 1'-0"

ALL DRAWINGS , SPECIFICATIONS, IDEAS, ARRANGEMENTS AND DESIGNS REPRESENTED OR REFERRED TO ARE THE PROPERTY OF AND OWNED BY LEAP ARCHITECTURE WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. THEY WERE CREATED, EVOLVED, DEVELOPED AND PRODUCED FOR THE SOLE USE ON AND IN CONNECTION WITH THIS PROJECT AND NONE OF THE ABOVE MAY BE DISCLOSED OR GIVEN TO OR USED BY ANY FIRM OR CORPORATION OR PERSON FOR ANY USE OR PURPOSE WHATSOEVER INCLUDING ANY OTHER PROJECT EXCEPT UPON WRITTEN PERMISSION AND DIRECTION FROM LEAP ARCHITECTURE.

Structural Engineer:
Studio A Landscape Architecture and Engineering, D.P.C.
38 High Rock Avenue, Suite 3
Saratoga Springs, NY 12866
info@studioapc.com
518.830.4030

ARCHITECTURAL KEYNOTES

1. HANDRAILS AT STAIRS
2. DIRECT VENT GAS -OR- WOOD BURNING FIREPLACE INSERT. INSTALL PER MANUFACTURER'S REQUIREMENTS, INCLUDING DOUBLE-WALL ZERO-CLEARANCE FLUE
3. BLOCKING NEEDED FOR ALL POSSIBLE GRAB BAR LOCATIONS; (TOWEL BARS CANNOT BE GRAB BARS); GRAB BAR LOCATIONS TO SPAN THE ENTIRE WALL AND WALKING LINES
4. CURBLESS FROSTED GLASS WALL AND SHOWER DOOR
5. REMOVABLE STAINLESS STEEL GRATE OVER FRENCH DRAIN
6. SHOWER SET TO INCLUDE: HAND-HELD WITH 6' HOSE AND SHOWERHEAD ON SLIDING VERTICAL BAR; CONTROLS ADJACENT TO SHOWER DOOR TO ENSURE EASY ACCESS; THERMOSTATIC VALVE AS SEPERATE FROM VOLUME CONTROL; MOBILE TUB SPOUT
7. TUB DECK WHERE POSSIBLE; ALLOW FOR A SET ENTRY AND EXIT
8. WALL-MOUNTED TOILET UNITS FOR EASY CLEANING
9. COMBINATION TOILET PAPER HOLDER AND GRAB BAR
10. SINKS: 30 TO 34 INCHES ABOVE FINISH FLOOR; REMOVABLE THE WALL CABINETS FOR FUTURE KNEE AND TOE CLEARANCE; EXTRA SUPPORT NEEDED. LEANING HEAVILY ON SINKS IS COMMON; SINGLE LEVER FAUCETS
11. SEMI-RECESSED MIRRORED MEDICINE CABINETS WITH INTEGRATED POWER STRIPS
12. OUTDOOR COUNTER, STORAGE & GAS GRILL G.C. TO COORDINATE GAS LINE FOR GRILL HOOKUP
13. FLOOR AND WALL FINISHES TO CONTRAST, LIGHT AND DARK
14. FLOORING COEFFICIENT OF FRICTION TO BE GREATER THAN 0.42
15. SHELF W/ PULL-DOWNS
16. FRONT-LOADING WASHER AND DRYER

LIGHTING LEGEND

- = ILLUMINATED LIGHTSWITCH/NIGHT LIGHT
- = RECESSED DOWNLIGHT
- = RECESSED DOWNLIGHT, DIRECTIONAL
- = WALL MOUNTED SCONCE
- = STEP LIGHT WITH OCCUPANCY SENSOR
- = ALL UPPER CABINETS TO HAVE UNDER CABINET STRIP COUNTER LIGHTS

NOTE: ALL FIXTURES IN WET AREAS TO BE RATED FOR MOISTURE RESISTANCE

LEAP ARCHITECTURE
LIVING ENVIRONMENTS | APPROPRIATE PROJECTS
256 SEAMAN AVE. #2 NEW YORK, NY 10507 518.669.9435

REV	DESCRIPTION	DATE ISSUED

PROGRESS PRINT
NOT FOR CONSTRUCTION

MAHOPAC HOUSE

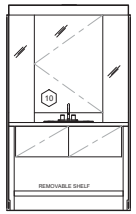
93 TEAKETTLE SPOUT ROAD, MAHOPAC, NY 10541
MICHAEL SCOCA, ANB HOLDINGS GCCM LLC

Kitchen

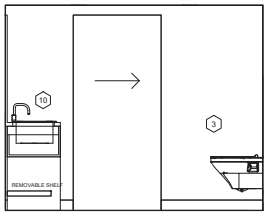
Project Number	22-018.01
Date	11 February 2023
Drawn By	Various
Scale	As indicated

A-401

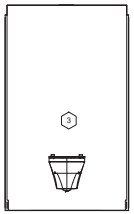
© Copyright LEAP



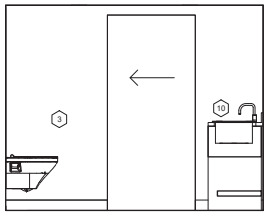
3 LEVEL 1 WC ELEVATION
1/2" = 1'-0"



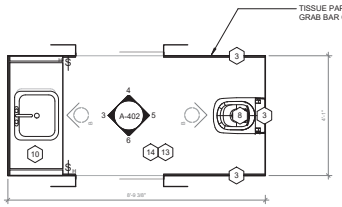
4 LEVEL 1 WC ELEVATION
1/2" = 1'-0"



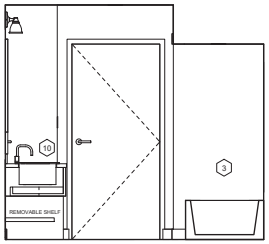
5 LEVEL 1 WC ELEVATION
1/2" = 1'-0"



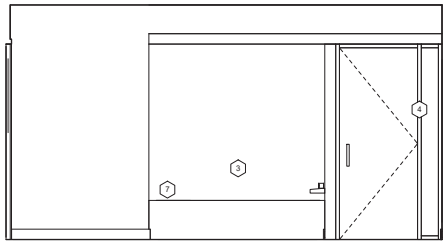
6 LEVEL 1 WC ELEVATION
1/2" = 1'-0"



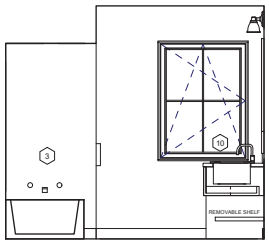
1 LEVEL 1 WC PLAN
1/2" = 1'-0"



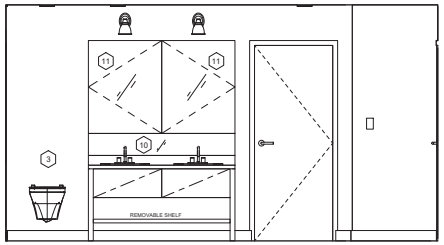
7 LEVEL 2 BATHROOM ELEVATION
1/2" = 1'-0"



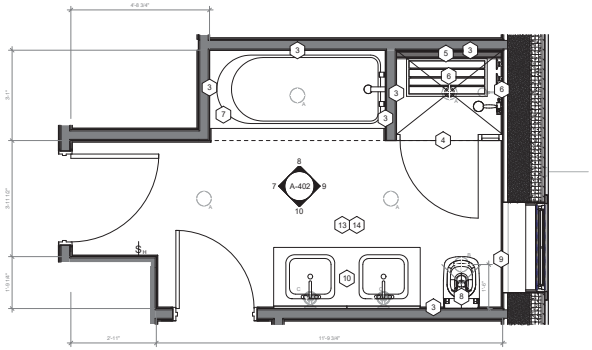
8 LEVEL 2 BATHROOM ELEVATION
1/2" = 1'-0"



9 LEVEL 2 BATHROOM ELEVATION
1/2" = 1'-0"



10 LEVEL 2 BATHROOM ELEVATION
1/2" = 1'-0"



2 LEVEL 2 BATHROOM PLAN
1/2" = 1'-0"

ALL DRAWINGS, SPECIFICATIONS, IDEAS, ARRANGEMENTS AND DESIGNS REPRESENTED OR REFERRED TO ARE THE PROPERTY OF AND OWNED BY LEAP ARCHITECTURE WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. THEY WERE CREATED, EVOLVED, DEVELOPED AND PRODUCED FOR THE SOLE USE ON AND IN CONNECTION WITH THIS PROJECT AND NONE OF THE ABOVE MAY BE DISCLOSED OR GIVEN TO OR USED BY ANY FIRM OR CORPORATION OR PERSON FOR ANY USE OR PURPOSE WHATSOEVER INCLUDING ANY OTHER PROJECT EXCEPT UPON WRITTEN PERMISSION AND DIRECTION FROM LEAP ARCHITECTURE.

Structural Engineer:
Studio A Landscape Architecture and Engineering, D.P.C.
38 High Rock Avenue, Suite 3
Saratoga Springs, NY 12866
info@studioapc.com
518.450.4030

ARCHITECTURAL KEYNOTES

1. HANDRAILS AT STAIRS
2. FIREPLACE INSERT: GAS WOOD BURNING FIREPLACE INSERT. INSTALL PER MANUFACTURER'S REQUIREMENTS, INCLUDING DOUBLE-WALL ZERO-CLEARANCE FLUE
3. BLOCKING NEEDED FOR ALL POSSIBLE GRAB BAR LOCATIONS; (TOWEL BARS CANNOT BE GRAB BARS); GRAB BAR LOCATIONS TO SPAN THE ENTIRE WALL AND WALKING LINES
4. CURBLESS FROSTED GLASS WALL AND SHOWER DOOR
5. TILED SHOWER FLOOR WITH LINEAR TILE SHOWER DRAIN
6. SHOWER SET TO INCLUDE: HAND-HELD WITH 6' HOSE AND SHOWERHEAD ON SLIDING VERTICAL BAR; CONTROLS ADJACENT TO SHOWER DOOR TO ENSURE EASY ACCESS; THERMOSTATIC VALVE AS SEPERATE FROM VOLUME CONTROL; MOBILE TEAK BENCHES
7. TUB DECKS WHERE POSSIBLE; ALLOW FOR A SET ENTRY AND EXIT
8. WALL-MOUNTED TOILET UNITS FOR EASY CLEANING
9. COMBINATION TOILET PAPER HOLDER AND GRAB BAR
10. SINK: UNDERMOUNT, CAST IRON, SOLID SURFACE OR PORCELAIN; TILE WALL CABINETS WITH PUTTY KNIFE AND TOE CLEARANCE; EXTRA SUPPORT NEEDED; LEANING HEAVILY ON SINKS IS COMMON; SINGLE LEVER FAUCETS
11. SEMI-RECESSED MIRRORED MEDICINE CABINETS WITH INTEGRATED POWER OUTLETS
12. OUTDOOR COUNTER, STORAGE & GAS GRILL G.C. TO COORDINATE GAS LINE FOR GRILL HOOKUP
13. FLOOR AND WALL FINISHES TO CONTRAST, LIGHT AND DARK
14. SLIP RESISTANT FLOORING: COF FRICTION TO BE GREATER THAN 0.42
15. SHELF WITH PULL-DOWNS
16. FRONT-LOADING WASHER AND DRYER

LIGHTING LEGEND

- H = ILLUMINATED LIGHTSWITCH/NIGHT LIGHT
- A = RECESSED DOWNLIGHT
- B = RECESSED DOWNLIGHT, DIRECTIONAL
- C = WALL MOUNTED SCONCE
- D = STEP LIGHT WITH OCCUPANCY SENSOR
- E = ALL UPPER CABINETS TO HAVE UNDER CABINET STRIP COUNTER LIGHTS

NOTE: ALL FIXTURES IN WET AREAS TO BE RATED FOR MOISTURE RESISTANCE

LEAP ARCHITECTURE
LIVING ENVIRONMENTS | APPROPRIATE PROJECTS
256 SEAMAN AVE. #2 NEW YORK, NY 10507 518.669.9435

REV	DESCRIPTION	DATE ISSUED

PROGRESS PRINT
NOT FOR CONSTRUCTION

MAHOPAC HOUSE

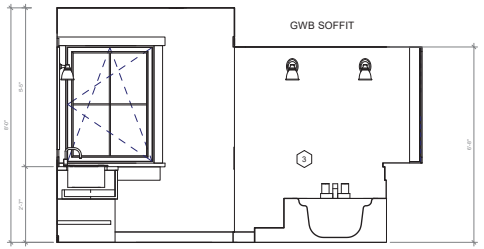
93 TEAKETTLE SPOUT ROAD, MAHOPAC, NY 10541
MICHAEL SCOCA, AND HOLDINGS GCCM LLC

COMMON BATHROOMS

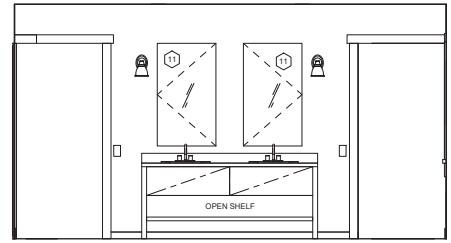
Project Number	22-018.01
Date	11 FEBRUARY 2023
Drawn By	VARIOUS
Scale	AS INDICATED

A-402

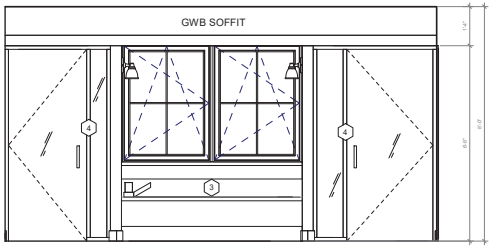
© Copyright LEAP



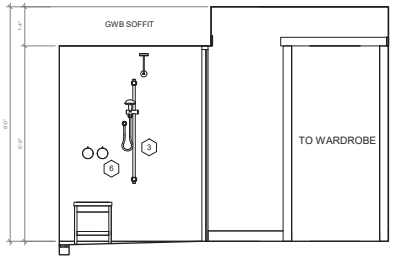
5 PRINCIPAL BATHROOM ELEVATION PLAN WEST
1/2" = 1'-0"



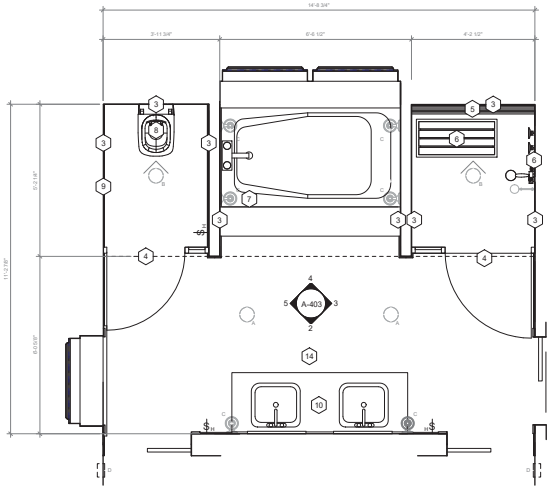
2 PRINCIPAL BATHROOM ELEVATION PLAN SOUTH
1/2" = 1'-0"



4 PRINCIPAL BATHROOM ELEVATION PLAN NORTH
1/2" = 1'-0"



3 PRINCIPAL BATHROOM ELEVATION PLAN EAST
1/2" = 1'-0"



1 PRINCIPAL BATHROOM
1/2" = 1'-0"

ALL DRAWINGS , SPECIFICATIONS, IDEAS, ARRANGEMENTS AND DESIGNS REPRESENTED OR REFERRED TO ARE THE PROPERTY OF AND OWNED BY LEAP ARCHITECTURE WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. THEY WERE CREATED, EVOLVED, DEVELOPED AND PRODUCED FOR THE SOLE USE ON AND IN CONNECTION WITH THIS PROJECT AND NONE OF THE ABOVE MAY BE DISCLOSED OR GIVEN TO OR USED BY ANY FIRM OR CORPORATION OR PERSON FOR ANY USE OR PURPOSE WHATSOEVER INCLUDING ANY OTHER PROJECT EXCEPT UPON WRITTEN PERMISSION AND DIRECTION FROM LEAP ARCHITECTURE.

Structural Engineer:
Studio A Landscape Architecture and Engineering, D.P.C.
38 High Rock Avenue, Suite 3
Saratoga Springs, NY 12866
info@studioapc.com
518.830.4030

ARCHITECTURAL KEYNOTES

1. HANDRAILS AT STAIRS
2. FIREPLACE AND FLUES: WOOD BURNING FIREPLACE INSERT. INSTALL PER MANUFACTURER'S REQUIREMENTS, INCLUDING DOUBLE-WALL ZERO-CLEARANCE FLUE
3. BLOCKING NEEDED FOR ALL POSSIBLE GRAB BAR LOCATIONS: (TOWEL BARS CANNOT BE GRAB BARS); GRAB BAR LOCATIONS TO SPAN THE ENTIRE WALL AND WALKING LINES
4. CURBLESS FROSTED GLASS WALL AND SHOWER DOOR
5. SHOWER TO HAVE LINEAR DRAIN AT PERIMETER OF SHOWER PAN
6. SHOWER SET TO INCLUDE: HAND-HELD WITH 6' HOSE AND SHOWERHEAD ON SLIDING VERTICAL BAR; CONTROLS ADJACENT TO SHOWER DOOR TO ENSURE EASY ACCESS; THERMOSTATIC VALVE AS SEPERATE FROM VOLUME CONTROL; MOBILE TEAK BENCHES
7. TUB DECKS WHERE POSSIBLE; ALLOW FOR A SET ENTRY AND EXIT
8. WALL-MOUNTED TOILET UNITS FOR EASY CLEANING
9. COMBINATION TOILET PAPER HOLDER AND GRAB BAR
10. SINKS: ALL SINKS TO BE WALL-MOUNTED OR REMOVABLE THE WALL CABINETS BELOW TO FIT KNEE AND TOE CLEARANCES; EXTRA SUPPORT NEEDED; LEANING HEAVILY ON SINKS IS COMMON; SINGLE LEVER FAUCETS
11. SEMI-RECESSED MIRRORED MEDICINE CABINETS WITH INTEGRATED POWER OUTLETS
12. OUTDOOR COUNTER, STORAGE & GAS GRILL G.C. TO COORDINATE GAS LINE FOR GRILL HOOKUP
13. FLOOR AND WALL FINISHES TO CONTRAST, LIGHT AND DARK
14. SHOWER FLOOR TILE TO HAVE A COF FRICTION TO BE GREATER THAN 0.42
15. SHELF WITH PULL-DOWNS
16. FRONT-LOADING WASHER AND DRYER

LIGHTING LEGEND

- = ILLUMINATED LIGHTSWITCH/NIGHT LIGHT
- = RECESSED DOWNLIGHT
- = RECESSED DOWNLIGHT, DIRECTIONAL
- = WALL MOUNTED SCONCE
- = STEP LIGHT WITH OCCUPANCY SENSOR
- = ALL UPPER CABINETS TO HAVE UNDER CABINET STRIP COUNTER LIGHTS

NOTE: ALL FIXTURES IN WET AREAS TO BE RATED FOR MOISTURE RESISTANCE

LEAP ARCHITECTURE
LIVING ENVIRONMENTS | APPROPRIATE PROJECTS
256 SEAMAN AVE. #2 NEW YORK, NY 10507 518.669.9435

REV	DESCRIPTION	DATE ISSUED

PROGRESS PRINT
NOT FOR CONSTRUCTION

MAHOPAC HOUSE

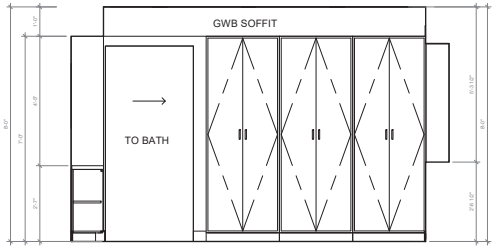
93 TEAKETTLE SPOUT ROAD, MAHOPAC, NY 10541
MICHAEL SCOCA, ANB HOLDINGS GCCM LLC

PRINCIPAL BATHROOM

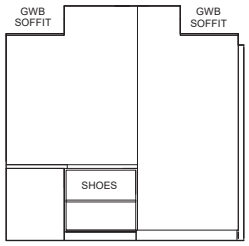
Project Number	22-018.01
Date	11 FEBRUARY 2023
Drawn By	VARIOUS
Scale	AS INDICATED

A-403

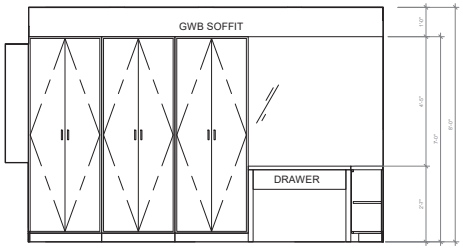
© Copyright LEAP



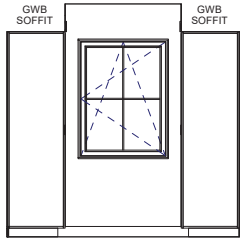
5 PRINCIPAL WARDROBE ELEVATION WEST
1/2" = 1'-0"



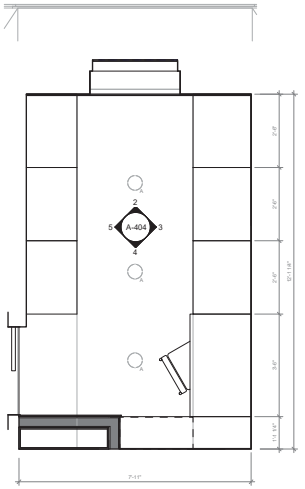
4 PRINCIPAL WARDROBE ELEVATION SOUTH
1/2" = 1'-0"



3 PRINCIPAL WARDROBE ELEVATION EAST
1/2" = 1'-0"



2 PRINCIPAL WARDROBE ELEVATION NORTH
1/2" = 1'-0"



1 PRINCIPAL WARDROBE
1/2" = 1'-0"

ALL DRAWINGS , SPECIFICATIONS, IDEAS, ARRANGEMENTS AND DESIGNS REPRESENTED OR REFERRED TO ARE THE PROPERTY OF AND OWNED BY LEAP ARCHITECTURE WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. THEY WERE CREATED, EVOLVED, DEVELOPED AND PRODUCED FOR THE SOLE USE ON AND IN CONNECTION WITH THIS PROJECT AND NONE OF THE ABOVE MAY BE DISCLOSED OR GIVEN TO OR USED BY ANY FIRM OR CORPORATION OR PERSON FOR ANY USE OR PURPOSE WHATSOEVER INCLUDING ANY OTHER PROJECT EXCEPT UPON WRITTEN PERMISSION AND DIRECTION FROM LEAP ARCHITECTURE.

Structural Engineer:
Studio A Landscape Architecture and Engineering, D.P.C.
38 High Rock Avenue, Suite 3
Saratoga Springs, NY 12866
info@studioapc.com
518.830.4030

ARCHITECTURAL KEYNOTES

1. HANDRAILS AT STAIRS
2. FIREPLACE AND FLUES: WOOD BURNING FIREPLACE INSERT. INSTALL PER MANUFACTURER'S REQUIREMENTS, INCLUDING DOUBLE-WALL ZERO-CLEARANCE FLUE
3. BLOCKING NEEDED FOR ALL POSSIBLE GRAB BAR LOCATIONS; (TOWEL BARS CANNOT BE GRAB BARS); GRAB BAR LOCATIONS TO SPAN THE ENTIRE WALL AND WALKING LINES
4. CURBLESS FROSTED GLASS WALL AND SHOWER DOOR
5. SHOWER TO HAVE TILE FLOOR WITH SLOPE TO FLOOR DRAIN
6. SHOWER SET TO INCLUDE: HAND-HELD WITH 6' HOSE AND SHOWERHEAD ON SLIDING VERTICAL BAR. CONTROLS ADJACENT TO SHOWER DOOR TO ENSURE EASY ACCESS. THERMOSTATIC VALVE AS SEPERATE FROM VOLUME CONTROL; MOBILE TEAK BENCHES
7. TUB DECKS WHERE POSSIBLE; ALLOW FOR A SET ENTRY AND EXIT
8. WALL-MOUNTED TOILET UNITS FOR EASY CLEANING
9. COMBINATION TOILET PAPER HOLDER AND GRAB BAR
10. SINKS: TO BE WALL-MOUNTED OR SUPPORTED BY REMOVABLE TYE WALL CABINETS WITH TOE KICK AND KNEE CLEARANCE; EXTRA SUPPORT NEEDED; LEANING HEAVILY ON SINKS IS COMMON; SINGLE LEVER FAUCETS
11. SEMI-RECESSED MIRRORED MEDICINE CABINETS WITH INTEGRATED POWER OUTLETS
12. OUTDOOR COUNTER, STORAGE & GAS GRILL G.C. TO COORDINATE GAS LINE FOR GRILL HOOKUP
13. FLOOR AND WALL FINISHES TO CONTRAST, LIGHT AND DARK
14. FLOOR FINISHES TO HAVE COF FRICTION TO BE GREATER THAN 0.42
15. SHELF WITH PULL-DOWNS
16. FRONT-LOADING WASHER AND DRYER

LIGHTING LEGEND

- = ILLUMINATED LIGHTSWITCH/NIGHT LIGHT
- = RECESSED DOWNLIGHT
- = RECESSED DOWNLIGHT, DIRECTIONAL
- = WALL MOUNTED SCONCE
- = STEP LIGHT WITH OCCUPANCY SENSOR
- = ALL UPPER CABINETS TO HAVE UNDER CABINET STRIP COUNTER LIGHTS

NOTE: ALL FIXTURES IN WET AREAS TO BE RATED FOR MOISTURE RESISTANCE

LEAP ARCHITECTURE
LIVING ENVIRONMENTS | APPROPRIATE PROJECTS
256 SEAMAN AVE. #2 NEW YORK, NY 10507 518.669.9435

REV	DESCRIPTION	DATE ISSUED

PROGRESS PRINT
NOT FOR CONSTRUCTION

MAHOPAC HOUSE

93 TEAKETTLE SPOUT ROAD, MAHOPAC, NY 10541
MICHAEL SCOCA, AnB HOLDINGS GCCM LLC

PRINCIPAL BEDROOM WARDROBE

Project Number	22-018.01
Date	11 FEBRUARY 2023
Drawn By	VARIOUS
Scale	AS INDICATED

A-404

© Copyright LEAP

WINDOW SCHEDULE

MARK	TYPE MARK	LEVEL	OPERATION	WINDOW SIZE			COMMENTS
				WIDTH	HEIGHT	HEAD HEIGHT	
101	A	LEVEL 1	TILT AND TURN	3'-0"	4'-0"	6'-8"	GANGED UNIT
102	A	LEVEL 1	TILT AND TURN	3'-0"	4'-0"	6'-8"	GANGED UNIT
103	A	LEVEL 1	TILT AND TURN	3'-0"	4'-0"	6'-8"	GANGED UNIT
104	A	LEVEL 1	TILT AND TURN	3'-0"	4'-0"	6'-8"	GANGED UNIT
111	A	LEVEL 1	TILT AND TURN	3'-0"	4'-0"	6'-8"	GANGED UNIT; EERO
112	A	LEVEL 1	TILT AND TURN	3'-0"	4'-0"	6'-8"	GANGED UNIT; EERO
121	A	LEVEL 1	TILT AND TURN	3'-0"	3'-0"	6'-11"	GANGED UNIT
122	A	LEVEL 1	TILT AND TURN	3'-0"	3'-0"	6'-11"	GANGED UNIT
123	B	LEVEL 1	FIXED	3'-0"	6'-8"	6'-8"	GANGED UNIT
124	B	LEVEL 1	FIXED	3'-0"	6'-8"	6'-8"	GANGED UNIT
125	B	LEVEL 1	FIXED	3'-0"	6'-8"	6'-8"	GANGED UNIT
126	B	LEVEL 1	FIXED	3'-0"	6'-8"	6'-8"	GANGED UNIT
131	B	LEVEL 1	FIXED	3'-0"	6'-8"	6'-8"	GANGED UNIT
132	B	LEVEL 1	FIXED	3'-0"	6'-8"	6'-8"	GANGED UNIT
133	A	LEVEL 1	TILT AND TURN	3'-0"	4'-0"	6'-8"	
134	A	LEVEL 1	TILT AND TURN	3'-0"	4'-0"	6'-8"	
135	A	LEVEL 1	TILT AND TURN	3'-0"	4'-0"	6'-8"	
136	A	LEVEL 1	TILT AND TURN	3'-0"	4'-0"	6'-8"	
141	A	LEVEL 1	TILT AND TURN	3'-0"	3'-0"	6'-8"	
142	A	LEVEL 1	TILT AND TURN	3'-0"	3'-0"	6'-8"	
143	A	LEVEL 1	TILT AND TURN	3'-0"	3'-0"	6'-8"	
151	A	LEVEL 1	TILT AND TURN	3'-0"	3'-0"	6'-4"	
152	A	LEVEL 1	TILT AND TURN	3'-0"	3'-0"	6'-4"	
201	A	LEVEL 2	TILT AND TURN	3'-0"	4'-0"	6'-8"	GANGED UNIT; EERO
202	A	LEVEL 2	TILT AND TURN	3'-0"	4'-0"	6'-8"	GANGED UNIT; EERO
203	A	LEVEL 2	TILT AND TURN	3'-0"	3'-0"	6'-8"	GANGED UNIT
204	A	LEVEL 2	TILT AND TURN	3'-0"	3'-0"	6'-8"	GANGED UNIT
205	A	LEVEL 2	TILT AND TURN	3'-0"	4'-0"	6'-8"	GANGED UNIT; EERO
206	A	LEVEL 2	TILT AND TURN	3'-0"	4'-0"	6'-8"	GANGED UNIT; EERO
211	A	LEVEL 2	TILT AND TURN	3'-0"	4'-0"	6'-8"	GANGED UNIT; EERO
212	A	LEVEL 2	TILT AND TURN	3'-0"	4'-0"	6'-8"	GANGED UNIT; EERO
213	A	LEVEL 2	TILT AND TURN	3'-0"	4'-0"	6'-8"	TEMPERED
214	A	LEVEL 2	TILT AND TURN	3'-0"	4'-0"	6'-8"	GANGED UNIT; EERO
215	A	LEVEL 2	TILT AND TURN	3'-0"	4'-0"	6'-8"	GANGED UNIT; EERO
221	A	LEVEL 2	TILT AND TURN	3'-0"	4'-0"	6'-8"	GANGED UNIT; EERO
222	A	LEVEL 2	TILT AND TURN	3'-0"	4'-0"	6'-8"	GANGED UNIT; EERO
223	A	LEVEL 2	TILT AND TURN	3'-0"	4'-0"	6'-8"	GANGED UNIT
225	A	LEVEL 2	TILT AND TURN	3'-0"	4'-0"	6'-8"	GANGED UNIT; TEMPERED
226	A	LEVEL 2	TILT AND TURN	3'-0"	4'-0"	6'-8"	GANGED UNIT; TEMPERED
231	A	LEVEL 2	TILT AND TURN	3'-0"	4'-0"	6'-8"	TEMPERED
232	A	LEVEL 2	TILT AND TURN	3'-0"	4'-0"	6'-8"	EERO
233	A	LEVEL 2	TILT AND TURN	3'-0"	4'-0"	6'-8"	EERO
234	A	LEVEL 2	TILT AND TURN	3'-0"	4'-0"	6'-8"	EERO

WINDOW GENERAL NOTES:

WINDOWS AND DOORS

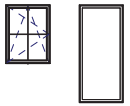
BASIS OF DESIGN = YARO

- ALL GLAZING TO BE DOUBLE PANE, LOW-E, ARGON FILLED INSULATED GLASS
- PROVIDE NEW WINDOW UNITS PER WINDOW SCHEDULE. ALL FLASHING PER WINDOW MANUFACTURER'S SPECIFICATIONS AND STANDARD DETAILS
- CAULK PER MANUFACTURER'S SPECIFICATIONS
- TEMPERING REQUIREMENTS: ALL GLAZING TO BE TEMPERED WHEN WITHIN 18" OF FINISH FLOOR, WITHIN 24" OF THE ARC SWING OF A DOOR, STAIRWAYS, OR IN BATHROOMS.

WINDOW HARDWARE

- ALL STANDARD LOCKS AND PULLS FROM MANUFACTURER. FINISH TBD

WINDOW TYPE KEY



A B

DOOR SCHEDULE

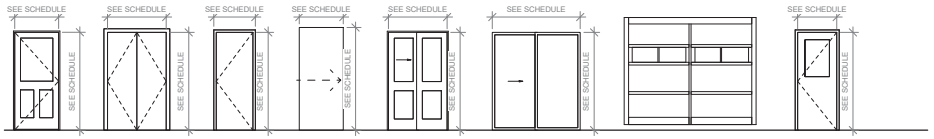
MARK	TYPE MARK	LEVEL	DOOR SIZE		THICKNESS	FUNCTION	COMMENTS
			WIDTH	HEIGHT			
001A	C	BASEMENT	3'-0"	6'-8"	1 3/4"	Exterior	INSULATED WITH SEALS, EERO
101A	A	LEVEL 1	3'-0"	6'-8"	1 3/8"	Exterior	INSULATED WITH SEALS
101B	B	LEVEL 1	5'-8"	6'-8"	2"	Interior	
101C	C	LEVEL 1	2'-8"	6'-8"	1 3/8"	Exterior	
102A	C	LEVEL 1	2'-8"	6'-8"	1 3/8"	Exterior	
103A	D	LEVEL 1	3'-0"	6'-8"	1 1/2"	Interior	
103B	D	LEVEL 1	3'-0"	6'-8"	1 1/2"	Interior	
104A	B	LEVEL 1	5'-0"	6'-8"	1 3/8"	Interior	
105A	B	LEVEL 1	5'-0"	6'-8"	1 3/8"	Interior	
105C	J	LEVEL 1					
107A	A	LEVEL 1	6'-0"	6'-8"	2"	Exterior	
110A	G	LEVEL 1	9'-0"	8'-0"	1 1/2"	Exterior	
110B	G	LEVEL 1	9'-0"	8'-0"	1 1/2"	Exterior	
110C	H	LEVEL 1	2'-8"	6'-8"	1 3/4"	Exterior	
110D	C	LEVEL 1	3'-0"	6'-8"	1 3/4"	Exterior	INSULATED WITH SEALS; DOOR BETWEEN HOUSE AND ATTACHED GARAGE. SEE DOOR GENERAL NOTES FOR REQUIREMENTS
	SHOWER DOOR	LEVEL 2	2'-8"	6'-6 1/2"		Interior	
201A	B	LEVEL 2	4'-0"	6'-8"	1 3/8"	Interior	
202A	D	LEVEL 2	3'-0"	6'-8"	1 1/2"	Interior	
203A	C	LEVEL 2	3'-0"	6'-8"	1 3/4"	Exterior	
203B	B	LEVEL 2	5'-0"	6'-8"	1 3/8"	Interior	
204A	C	LEVEL 2	3'-0"	6'-8"	1 3/4"	Exterior	
204B	C	LEVEL 2	2'-8"	6'-8"	1 3/8"	Exterior	
205A	C	LEVEL 2	3'-0"	6'-8"	1 3/4"	Exterior	
205B	B	LEVEL 2	5'-0"	6'-8"	1 3/8"	Interior	
206A	D	LEVEL 2	3'-0"	6'-8"	1 1/2"	Interior	
207A	D	LEVEL 2	3'-0"	6'-8"	1 1/2"	Interior	
207B	D	LEVEL 2	3'-0"	6'-8"	1 1/2"	Interior	
208A	C	LEVEL 2	3'-0"	6'-8"	1 3/4"	Exterior	
209A	C	LEVEL 2	3'-0"	6'-8"	1 3/4"	Exterior	
209B	B	LEVEL 2	4'-0"	6'-8"	1 3/8"	Interior	

DOOR GENERAL NOTES:

BASIS OF DESIGN = YARO

- ALL DOORS TO BE KEYED PER OWNER DIRECTION. GC TO COORD W/ OWNER.
- ALL GLAZING IN DOORS AND WITHIN A 24" ARC OF THE SIDES OF DOORS SHALL BE OF AN APPROVED SAFETY TYPE.
- MAXIMUM OPENING FORCE OF DOORS SHALL BE 5 LBF.
- EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- ALL HARDWARE SHALL BE PROVIDED AND INSTALLED BY G.C.
- SEE HARDWARE SETS FOR REQUIRED FINISHES.
- ALL HARDWARE REPRESENTS THE INTENDED QUALITY, STYLE AND APPEARANCE. CONTRACTOR TO PROVIDE HARDWARE CUT SHEETS TO ARCHITECT PRIOR TO INSTALLATION.
- PROVIDE WEATHER STRIPPING AND AN ADA COMPLIANT THRESHOLD AT ALL EXTERIOR DOORS.
- UNDER CUT INTERIOR DOORS 3/4" TO PROVIDE AIR FLOW.
- INSTALL DOOR STOPS WHERE A DOOR WOULD STRIKE A WALL OR OTHER PART OF CONSTRUCTION WHEN OPEN.
- ALL DOOR INSTALLATIONS AND DETAILS TO BE INSTALLED PER MANUFACTURER'S STANDARD DETAILS AND RECOMMENDATIONS.
- DOOR DIMENSIONS IN THE SCHEDULE ARE NOMINAL. GC TO COORDINATE FRAMING WITH ACTUAL DIMENSIONS FROM MANUFACTURER.
- FOR DOORS BETWEEN HOUSE AND ATTACHED GARAGE, PROVIDE 1 3/8" SOLID WOOD OR STEEL HONEY COMB CORE DOOR OR 20-MINUTE FIRE-RATED DOOR WITH SELF-CLOSING OR AUTOMATIC CLOSING DEVICE AND SEAL PER NYSRC 302.5.1

DOOR TYPE KEY



ALL DRAWINGS , SPECIFICATIONS, IDEAS, ARRANGEMENTS AND DESIGNS REPRESENTED OR REFERRED TO ARE THE PROPERTY OF AND OWNED BY LEAP ARCHITECTURE WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. THEY WERE CREATED, EVOLVED, DEVELOPED AND PRODUCED FOR THE SOLE USE ON AND IN CONNECTION WITH THIS PROJECT AND NONE OF THE ABOVE MAY BE DISCLOSED OR GIVEN TO OR USED BY ANY FIRM OR CORPORATION OR PERSON FOR ANY USE OR PURPOSE WHATSOEVER INCLUDING ANY OTHER PROJECT EXCEPT UPON WRITTEN PERMISSION AND DIRECTION FROM LEAP ARCHITECTURE.

Structural Engineer:
Studio A Landscape Architecture and Engineering, D.P.C.
38 High Rock Avenue, Suite 3
Saratoga Springs, NY 12866
info@studioapc.com
518.830.4030

LEAP ARCHITECTURE
LIVING ENVIRONMENTS | APPROPRIATE PROJECTS
256 SEAMAN AVE. #2 NEW YORK, NY 10507 518.669.9435

REV DESCRIPTION DATE ISSUED

MAHOPAC HOUSE

93 TEAKETTLE SPOUT ROAD, MAHOPAC, NY 10541
MICHAEL SCOCA, AND HOLDINGS GCCM LLC

DOOR AND WINDOW SCHEDULES

Project Number	22-018.01
Date	11 FEBRUARY 2023
Drawn By	VARIOUS
Scale	1/4" = 1'-0"

A-601

© Copyright LEAP

ALL DRAWINGS , SPECIFICATIONS, IDEAS, ARRANGEMENTS AND DESIGNS REPRESENTED OR REFERRED TO ARE THE PROPERTY OF AND OWNED BY LEAP ARCHITECTURE WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. THEY WERE CREATED, EVOLVED, DEVELOPED AND PRODUCED FOR THE SOLE USE ON AND IN CONNECTION WITH THIS PROJECT AND NONE OF THE ABOVE MAY BE DISCLOSED OR GIVEN TO OR USED BY ANY FIRM OR CORPORATION OR PERSON FOR ANY USE OR PURPOSE WHATSOEVER INCLUDING ANY OTHER PROJECT EXCEPT UPON WRITTEN PERMISSION AND DIRECTION FROM LEAP ARCHITECTURE.

Structural Engineer:
Studio A Landscape Architecture and Engineering, D.P.C.
38 High Rock Avenue, Suite 3
Saratoga Springs, NY 12866
info@studioapc.com
518.450.4030

1 3D - REAR - GROUND LEVEL

2 3D - FRONT - GROUND LEVEL

LEAP ARCHITECTURE

LIVING ENVIRONMENTS | APPROPRIATE PROJECTS
256 SEAMAN AVE. #2 NEW YORK, NY 10507 518.669.9435

REV	DESCRIPTION	DATE ISSUED

MAHOPAC HOUSE

93 TEAKETTLE SPOUT ROAD, MAHOPAC, NY 10541
MICHAEL SCOCA, ANB HOLDINGS GCCM LLC

3D VIEWS

Project Number	22-018.01
Date	11 FEBRUARY 2023
Drawn By	AUTHOR
Scale	

A-901

© Copyright LEAP