

CRAIG PAEPRER
Chairman

ANTHONY GIANNICO
Vice Chairman

BOARD MEMBERS
RAYMOND COTE
ROBERT FRENKEL
VICTORIA CAUSA
JOHN NUCULOVIC
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TOWN OF CARMEL
PLANNING BOARD



60 McAlpin Avenue
Mahopac, New York 10541
Tel. (845) 628-1500 – Ext.190
www.ci.carmel.ny.us

MICHAEL CARNAZZA
*Director of Code
Enforcement*

RICHARD FRANZETTI,
P.E., BCEE
Town Engineer

PATRICK CLEARY,
AICP, CEP, PP, LEED AP
Town Planner

PLANNING BOARD AGENDA
MARCH 14, 2024 – 7:00 P.M.

TAX MAP # PUB. HEARING MAP DATE COMMENTS

PUBLIC HEARING

- | | | | | | |
|----|--|------------|---------|---------|-----------------------------|
| 1. | Jordano/Gervasi Subdivision – 182 Bullet Hole Rd | 63.-1-16 | 3/14/24 | | Bond Return |
| 2. | P & R Estate Corp – 122 Gleneida Ave, Carmel | 44.13-2-68 | 3/14/24 | 5/16/23 | Public Hearing & Resolution |

RESOLUTION

- | | | | | | |
|----|--|----------------|--|----------|---------------------------|
| 3. | TTSHR, LLC – 25 & 27 Seminary Hill Road | 55.6-1-69 & 70 | | 12/19/23 | SEQR Negative Declaration |
| 4. | Diamond Point Development – 4 Baldwin Place Rd | 86.10-1-2 & 3 | | 2/2/24 | Site Plan |

SITE PLAN

- | | | | | | |
|----|--|----------------------|--|---------|-----------------------|
| 5. | G & F Subdivision – 2054 Route 6 | 55.-2-24.4, 2-1, 6-1 | | 3/4/24 | Amended Site Plan |
| 6. | Veolia (formerly Suez) Water – Mahopac Wells | 75.20-2-68 | | 1/19/24 | Site Plan |
| 7. | Carrillo, Marcel – 1849 Route 6, Carmel | 55.10-1-16 | | 2/27/24 | Residential Site Plan |

MISCELLANEOUS

- | | | | | | |
|----|---------------------------------------|-----------|--|--|-------------|
| 8. | 20 Day Road LLC – 20 Day Road, Carmel | 55.6-1-41 | | | Bond Return |
|----|---------------------------------------|-----------|--|--|-------------|



March 4, 2024

Town of Carmel Planning Board
60 McAlpin Avenue
Mahopac, New York 10541

RE: G&F Subdivision
Gateway Drive

Dear Chairman Paeprer and Members of the Board:

As the Board is aware, the G&F Subdivision road construction is substantially complete as evidenced by the Town's review and acceptance of recent bond reduction request for the work completed to date.

The applicant is requesting a site plan amendment for the elimination of the proposed concrete sidewalk north of the entrance to Lot #2 / #3 of the subdivision to the proposed bus shelter near the cul-de-sac, as shown on the enclosed plans. The amended siteplan application documents and check for the fee of \$3,000.00 are included herewith.


Kindly place this item on the Board's upcoming meeting agenda for consideration, as the applicant will be in attendance to discuss the proposed site plan amendment with the Board.

Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:


Zachary M. Pearson, PE
Principal Engineer

ZMP/dlm

cc: Paul Camarda, CRI

Insite File No. 04232.100



TOWN OF CARMEL SITE PLAN APPLICATION INSTRUCTIONS



The Town of Carmel Planning Board meetings are held twice a month, on the second **Thursday** and fourth **Wednesday**, at 7:00 PM at Carmel Town Hall, 60 McAlpin Avenue, Carmel

The submission deadline is 10 days prior to the Planning Board meeting. New site plan applications that have been deemed complete will be placed on the agenda in the order they are received.

No application will be placed on the agenda that is incomplete

Pre-Submission:

Prior to the formal submission of the site plan, a pre-submission conference may be requested by the applicant to be conducted with representatives from the Town, which may include the Town Planner, Town Engineer, Director of Code Enforcement and/or the Planning Board Attorney. This conference will serve to educate the applicant on the process he/she must follow, clarify the information required to submit a complete site plan application, and to highlight any specific areas of concern. You may arrange a pre-submission conference through the Planning Board Secretary at (845) 628-1500 extension 190.

Submission Requirements:

At least 10 days prior to the Planning Board meeting, the site plan application shall be submitted to the Planning Board Secretary as follows:

All site plans shall be signed, sealed and folded with the title box legible. The application package shall include:

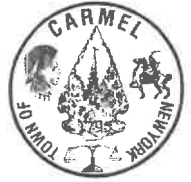
- 5 copies of the Site Plan Application Form, signed and notarized.
- N/A 5 copies of the SEQR Environmental Assessment Form (use of short form or long form shall be determined at pre-submission conference).
- 5 full size sets of the Site Plan (including floor plans and elevations)
- ~~4 CD (in pdf. format) containing an~~ electronic version of the Site Plan pdf's to be sent via email
- 2 copies of the Disclosure Statement
- 5 copies of the Site Plan Completeness Certification Form
- N/A All supplemental studies, reports, plans and renderings.
- * 2 copies of the current deed. (on file with Town)*
- * 2 copies of all easements, covenants and restrictions. (on file with Town)*
- The appropriate fee, determined from the attached fee schedule. Make checks payable to the *Town of Carmel*.

Rose Troncello 3/4/20
Planning Board Secretary; Date

Barney [Signature] 3/4/20
Town Engineer; Date



TOWN OF CARMEL SITE PLAN APPLICATION



Per Town of Carmel Code – Section 156 - Zoning

SITE IDENTIFICATION INFORMATION		
Application Name: G&F Subdivision Road	Application # 24-0006	Date Submitted: 3/4/24
Site Address: No.2054 Street: Route 6 Hamlet: Carmel		
Property Location: (Identify landmarks, distance from intersections, etc.) North side of Route 6 in the Town of Carmel north of Putnam Trailway		
Town of Carmel Tax Map Designation: Section 55.-2 Block 24 Lot(s) 2-1,4,5,6-1,7-1	Zoning Designation of Site: R-Residential and C/BP Commercial Business	
Property Deed Recorded in County Clerk's Office Date Liber Page <small>on file with Town</small>	Liens, Mortgages or other Encumbrances Yes No	
Existing Easements Relating to the Site No <input type="radio"/> <input checked="" type="radio"/> Yes Describe and attach copies: On file with Town	Are Easements Proposed? No <input type="radio"/> Yes <input type="radio"/> Describe and attach copies:	
Have Property Owners within a 500' Radius of the Site Been Identified? <input checked="" type="radio"/> Yes No Attached List to this Application Form		
APPLICANT OWNER INFORMATION		
Property Owner: Hudson Valley Realty Corp (Gateway)/Par Four (Fairways)	Phone #: 845-228-1400	Email: crillc@comcast.net
Owners Address: No.1699 Street: Route 6, Suite 1 Town: Carmel State: NY Zip: 10512		
Applicant (if different than owner): same as above	Phone #: Fax#:	Email:
Applicant Address (if different than owner): No. Street: Town: State: Zip:		
Individual/ Firm Responsible for Preparing Site Plan: Insite Engineering, Surveying & Landscape Architecture, P.C.	Phone #: 845-225-9690 Fax#: 845-225-9717	Email: zpearson@insite-eng.com
Address: No. 3 Street: Garrett Place Town: Carmel State: NY Zip: 10512		
Other Representatives:	Phone #: Fax#:	Email:
Owners Address: No. Street: Town: State: Zip:		
PROJECT DESCRIPTION		
Describe the project, proposed use and operation thereof: Amended site plan for G&F Subdivision Road to eliminate portion of the sidewalk along the road.		

TOWN OF CARMEL SITE PLAN APPLICATION



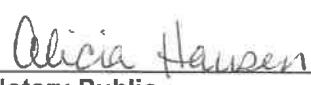
PROJECT INFORMATION			
Lot size: Acres: 144.65 Square Feet:		Square footage of all existing structures (by floor):	
# of existing parking spaces:		# of proposed parking spaces:	
# of existing dwelling units:		# of proposed dwelling units	
Is the site served by the following public utility infrastructure: N/A			
▪ Is project in sewer district or will private septic system(s) be installed? _____			
▪ If yes to Sanitary Sewer answer the following:			
▶ Does approval exist to connect to sewer main? Yes: <input type="checkbox"/> No: <input type="checkbox"/>			
▶ Is this an in-district connection? _____ Out-of district connection? _____			
▶ What is the total sewer capacity at time of application? _____			
▶ What is your anticipated average and maximum daily flow _____			
For Town of Carmel Town Engineer			
▶ What is the sewer capacity _____			
▪ Water Supply		Yes: <input type="checkbox"/> No: <input type="checkbox"/> N/A	
If Yes:		▶ Does approval exist to connect to water main? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
		▶ What is the total water capacity at time of application? <small>See Report</small> _____	
		▶ What is your anticipated average and maximum daily demand <small>See Report</small> _____	
▪ Storm Sewer		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
▪ Electric Service		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
▪ Gas Service		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
• Telephone/Cable Lines		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
For Town of Carmel Town Engineer			
Water Flows _____			
Sewer Flows _____			

Town Engineer; Date			
What is the predominant soil type(s) on the site?		What is the approximate depth to water table?	
Pn Paxton Loam		Greater than 6 feet	
Site slope categories: <small>See FEIS</small>			
15-25% _____ %		25-35% _____ %	>35% _____ %
Estimated quantity of excavation:		Cut (C.Y.) _____	Fill (C.Y.) _____
Is Blasting Proposed		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	Unknown: <input type="checkbox"/>
Is the site located in a designated Critical Environmental Area?			Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
Does a curb cut exist on the site?	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	Are new curb cuts proposed?	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
		What is the sight distance?	
		Left _____	Right _____ <small>Approved by NYSDOT</small>
Is the site located within 500' of:			
• The boundary of an adjoining city, town or village		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
• The boundary of a state or county park, recreation area or road right-of-way		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
• A county drainage channel line.		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
• The boundary of state or county owned land on which a building is located		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
100-112 Old Route 6, County of Putnam			

TOWN OF CARMEL SITE PLAN APPLICATION

Is the site listed on the State or Federal Register of Historic Place (or substantially contiguous) Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Is the site located in a designated floodplain? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Will the project require coverage under the Current NYSDEC Stormwater Regulations Project already has coverage Yes: <input type="checkbox"/> No: <input type="checkbox"/>			
Will the project require coverage under the Current NYCDEP Stormwater Regulations Yes: <input type="checkbox"/> No: <input type="checkbox"/>			
Does the site disturb more than 5,000 sq ft		Yes: <input type="checkbox"/> No: <input type="checkbox"/> N/A	
Does the site disturb more than 1 acre		Yes: <input type="checkbox"/> No: <input type="checkbox"/>	
Does the site contain freshwater wetlands?			
Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>		No disturbance to wetlands / wetland buffers as part of current application.	
Jurisdiction: NYSDEC: <input checked="" type="checkbox"/> Town of Carmel: <input checked="" type="checkbox"/>			
<i>If present, the wetlands must be delineated in the field by a Wetland Professional, and survey located on the Site Plan.</i>			
Are encroachments in regulated wetlands or wetland buffers proposed?		Yes: <input type="checkbox"/> No: <input type="checkbox"/>	
Does this application require a referral to the Environmental Conservation Board?		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Does the site contain waterbodies, streams or watercourses?		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
Are any encroachments, crossings or alterations proposed?		Yes: <input type="checkbox"/> No: <input type="checkbox"/> N/A	
Is the site located adjacent to New York City watershed lands?		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
Is the project funded, partially or in total, by grants or loans from a public source? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Will municipal or private solid waste disposal be utilized? Public: <input type="checkbox"/> Private: <input type="checkbox"/> N/A			
Has this application been referred to the Fire Department? Previously as part of subdivision approval		Yes: <input type="checkbox"/> No: <input type="checkbox"/>	
What is the estimated time of construction for the project?			
ZONING COMPLIANCE INFORMATION			
Zoning Provision	Required	Existing	Proposed
Lot Area			
Lot Coverage			
Lot Width			
Lot Depth			
Front Yard		N/A	
Side Yard			
Rear Yard			
Minimum Required Floor Area			
Floor Area Ratio			
Height			
Off-Street Parking			
Off-Street Loading			

TOWN OF CARMEL SITE PLAN APPLICATION

Will variances be required? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	If yes, identify variances:
PROPOSED BUILDING MATERIALS	
Foundation	N/A
Structural System	
Roof	
Exterior Walls	
APPLICANTS ACKNOWLEDGEMENT	
I hereby depose and certify that all the above statements and information, and all statements and information contained in the supporting documents and drawings attached hereto are true and correct.	
 Applicants Name	 Applicants Signature
Sworn before me this <u>4th</u> day of <u>March</u> 20 <u>24</u>	
 Notary Public	Alicia Hansen Notary Public, State of New York Reg. # 01HA6086470 Qualified in Dutchess County Commission Expires January 21, 20 <u>27</u>



TOWN OF CARMEL SITE PLAN COMPLETENESS CERTIFICATION FORM



All Site Plans submitted to the Planning Board for review shall include the following information and details, as set forth in Section 156-61 B of the Town of Carmel Zoning Ordinance.

This form shall be included with the site plan submission

	<i>Requirement Data</i>	<i>To Be Completed by the Applicant</i>	<i>Waived by the Town</i>
1	Name and title of person preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2	Name of the applicant and owner (if different from applicant)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3	Original drawing date, revision dates, scale and north arrow	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4	Tax map, block and lot number(s), zoning district	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5	All existing property lines, name of owner of each property within a 500' radius of the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6	Contour lines at two-foot intervals, grades of all roads, driveways, sanitary and storm sewers	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7	The location of all water bodies, streams, watercourses, wetland areas, wooded areas, rights-of-way, streets, roads, highways, railroads, buildings, structures	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8	The location of all existing and proposed easements	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9	The location of all existing and proposed structures, their use, setback dimensions, floor plans, front, side and rear elevations, buildable area.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10	On site circulation systems, access, egress ways and service roads, emergency service access and traffic mitigation measures	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11	Sidewalks, paths and other means of pedestrian circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12	On-site parking and loading spaces and travel aisles with dimensions	<input type="checkbox"/> N/A	<input type="checkbox"/>
13	The location, height and type of exterior lighting fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>
14	Proposed signage	<input checked="" type="checkbox"/>	<input type="checkbox"/>
15	For non-residential uses, an estimate of the number of employees who will be using the site, description of the operation, types of products sold, types of machinery and equipment used	<input type="checkbox"/> N/A	<input type="checkbox"/>



TOWN OF CARMEL SITE PLAN COMPLETENESS CERTIFICATION FORM



Requirement Data		To Be Completed by the Applicant	Waived by the Town
16	The location of clubhouses, swimming pools, open spaces, parks or other recreational areas, and identification of who is responsible for maintenance	<input type="checkbox"/> N/A	<input type="checkbox"/>
17	The location and design of buffer areas, screening or other landscaping, including grading and water management. A comprehensive landscaping plan in accordance with the Tree Conservation Law	<input checked="" type="checkbox"/>	<input type="checkbox"/>
18	The location of public and private utilities, maintenance responsibilities, trash and garbage areas	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19	A list, certified by the Town Assessor, of all property owners within 500 feet of the site boundary	<input type="checkbox"/> To Be Provided	<input type="checkbox"/>
20	Any other information required by the Planning Board which is reasonably necessary to ascertain compliance with this chapter	<input type="checkbox"/> To Be Determined	<input type="checkbox"/>

Applicants Certification (to be completed by the licensed professional preparing the site plan:

I Zachary M. Pearson, P.E. hereby certify that the site plan to which I have attached my seal and signature, meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:



Professionals Seal

Zachary M. Pearson 3-4-24
Signature - Applicant Date

[Signature] 3-4-24
Signature - Owner Date



TOWN OF CARMEL SITE PLAN COMPLETENESS CERTIFICATION FORM



Town Certification (to be completed by the Town)

I _____ hereby confirm that the site plan meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:

Rose Lombetta
Signature - Planning Board Secretary

3/4/24
Date

Randy O'Dell
Signature - Town Engineer

3/4/24
Date

MATCHLINE TO DRAWING SP-12
MATCHLINE TO DRAWING SP-12

LEGEND

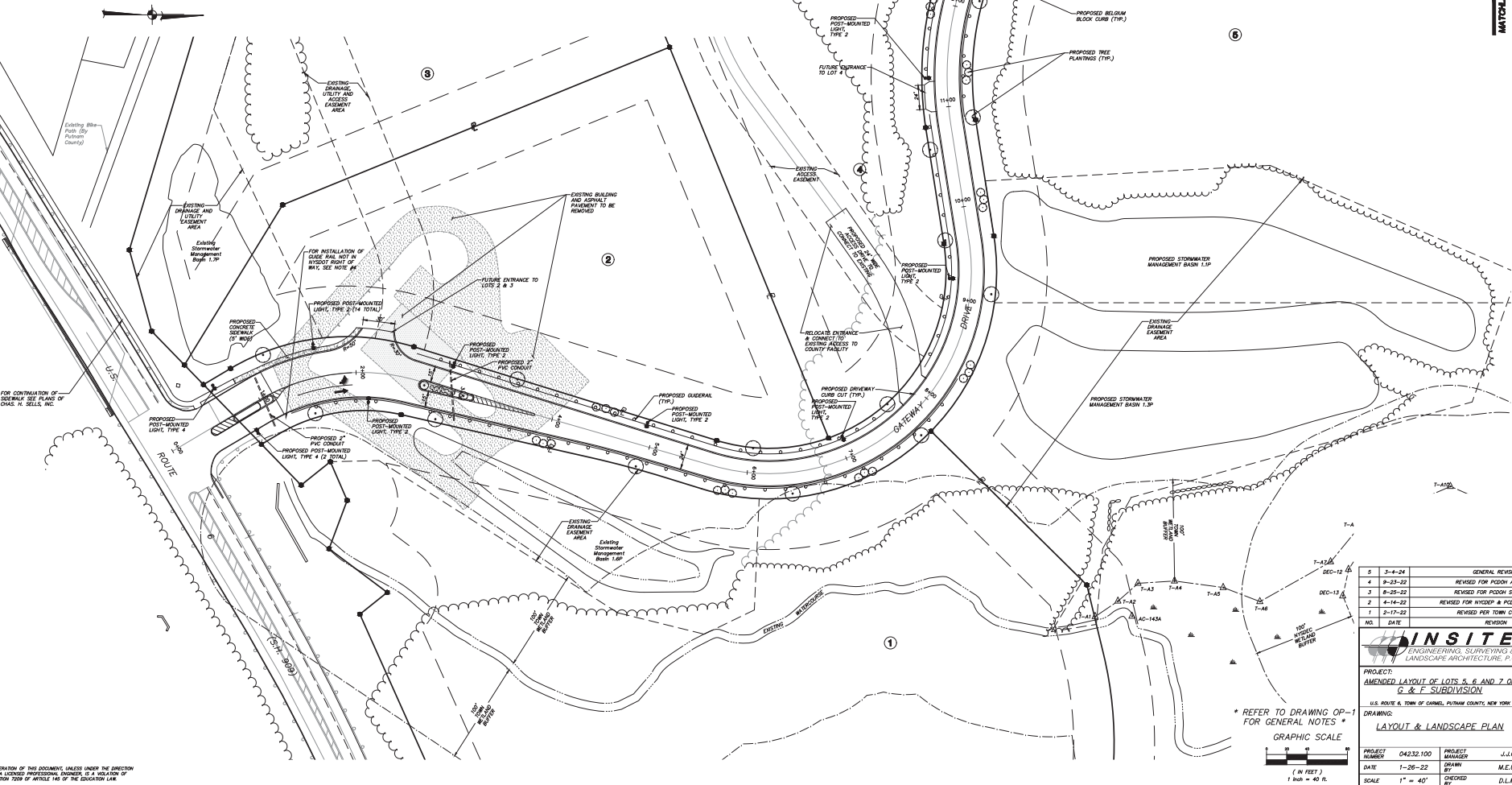
- EXISTING PROPERTY LINE
- EXISTING EASEMENT
- EXISTING TOWN WETLAND LIMIT LINE WITH FLAG
- EXISTING TOWN/VISDEC WETLAND LIMIT LINE WITH FLAG
- EXISTING VISDEC WETLAND LIMIT LINE WITH FLAG
- 100' VISDEC & VISDEC WETLAND BUFFER
- 100' TOWN WETLAND BUFFER
- EXISTING TRESLINE
- EXISTING TRESLINE TO BE REMOVED
- PROPOSED GOLF BALL
- PROPOSED CURB
- PROPOSED LANDSCAPING
- PROPOSED TRESLINE
- PROPOSED LOT NUMBER

PLANT LIST				
KEY	BOTANICAL/COMMON NAME	SIZE	ROOT	REMARKS
SHADE TREES				
AP	American Sycamore Tree / White Oak Red Maple	2 1/2" - 3" CAL.	###	
AV	Baldcypress / Blue Spruce	8" - 10" CAL.	###	BUFF-CROWN
AT	Eastern White Pine / Spruce	8" - 10" CAL.	###	BUFF-CROWN
AS	American Sycamore / Sweetgum	2 1/2" - 3" CAL.	###	
AP	Pinus strobus / Loblolly Short Pine	8" - 10" CAL.	###	
EMERGING TREES				
AC	American Sycamore / Sweetgum	8" - 10" CAL.	###	BUFF-CROWN
AD	Chinese Wisteria / Eastern Redbud	8" - 10" CAL.	###	
AE	Chinese Wisteria / Eastern Redbud	8" - 10" CAL.	###	
AF	Black Mulberry / American Double Cherry	2" - 3" CAL.	###	
AG	Pinus strobus / Loblolly Short Pine	2" - 3" CAL.	###	
SHRUBS				
AS	Chinese Wisteria / Red Holly Dogwood	4" - 8" CAL.	###	
AT	White Jasmine Shrub / Japanese Flowering Quince	2" - 4" CAL.	###	
AV	Veitchii arbutus / Lorain Bushberry	2 CAL.	###	
PERENNIALS & BIENNIALS				
AE	Delphinium elatum / Columbine	2 CAL.	###	
AF	Hemerocallis sp. / Black Day Lily	2 CAL.	###	
AG	Rudbeckia hirta / Black Eye Susan	2 CAL.	###	
AD	Salix alba / Willow Weeping	2 CAL.	###	

- GENERAL PLANTING NOTES:**
- All proposed planting beds to receive a 2" soil depth of topsoil. Soil amendments and nutrient application rates shall be determined based on specific testing of topsoil nutrient.
 - Any new soils added will be amended as required by results of soil testing and placed using a method that will not cause compaction.
 - No fertilizer shall be added to stormwater basin plantings. Nutrient requirements to be met by incorporation of acceptable organic matter.
 - All plant material to be nursery grown.
 - Plants shall conform with ANSI 2001 American Standard for Nursery Stock in all ways including dimensions.
 - Plant material shall be taken from healthy nursery stock.
 - All plants shall be grown under climate conditions similar to those in the locality of the PROJECT.
 - Plants shall be planted in all locations designed on the plan or as stated in the field by the landscape architect.
 - The location and layout of landscape plants shown on the site plan shall take precedence in any discrepancy between the quantities of plants shown on the plan and the quantity of plants in the Plant List.
 - Provide a 3" top of shrouded pine bark mulch (or as specified) over entire wetting surface of all tree pits or over entire planting bed. Do not place mulch within 2" of tree or shrub trunks.
 - All landscape plantings shall be maintained in a healthy condition at all times. Any dead or diseased plants shall immediately be replaced "in kind" by the contractor during warranty period or project owner.
 - For additional information on temporary and permanent seeding, refer to the sediment and erosion control notes on drawing SP-12.
 - For additional information on stormwater basin planting and seeding, refer to the notes on drawing SP-12.

LUMINAIRE SCHEDULE

Sym	Qty	Catalog Number	Description	Lamp	Mounting Height	Watts
TYPE 2	14	OS2 LED P1 30K T2M W/OLT	LITHONIA D-SERIES TYPE 2 POLE-MOUNTED LIGHT	LED	20'	140
TYPE 4	2	OS2 LED P1 27K 800K T5M	LITHONIA D-SERIES TYPE 4 POLE-MOUNTED LIGHT	LED	20'	134.5



NO.	DATE	REVISION	BY
5	3-4-24	GENERAL REVISION	TSW
4	9-25-22	REVISED FOR PCDM APPROVAL	E.P.
3	8-25-22	REVISED FOR PCDM SUBMISSION	JMM
2	4-14-22	REVISED FOR HYDRO/ & PCDM SUBMISSION	E.P.
1	2-17-22	REVISED FOR TOWN COMMENTS	MEU

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.
3 Corbett Plaza
Connetquot, NY 11742
(609) 225-9992
www.insite-arg.com

PROJECT:
AMENDED LAYOUT OF LOTS 5, 6 AND 7 OF
G & F SUBDIVISION
U.S. ROUTE 5, TOWN OF CORNELIUS, PUTNAM COUNTY, NEW YORK

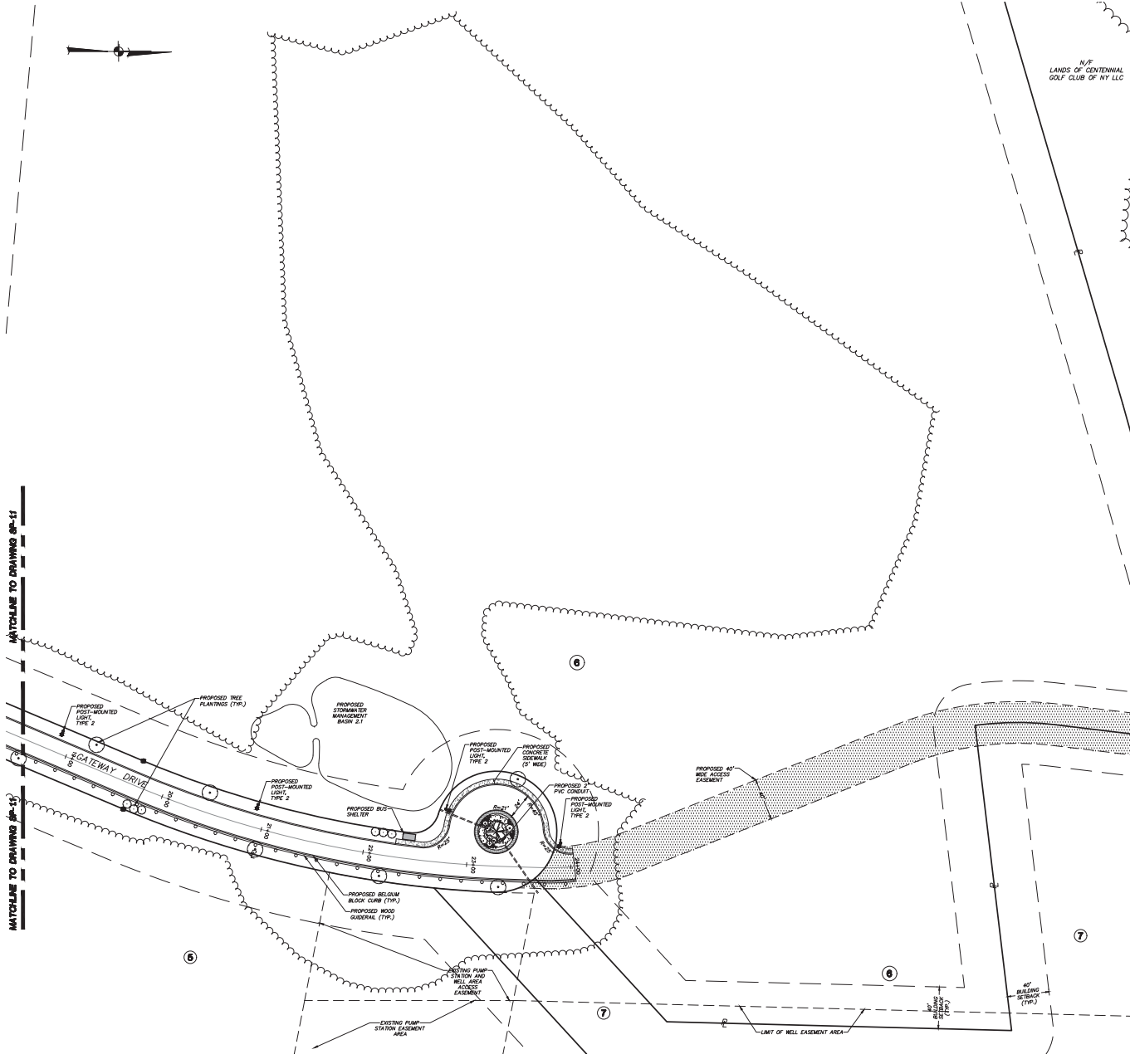
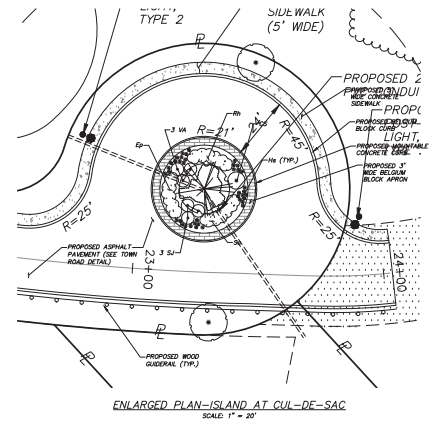
DRAWING:
LAYOUT & LANDSCAPE PLAN

PROJECT NUMBER 04232.100	PROJECT MANAGER J.J.C.	DRAWING NO. 2	SHEET 18
DATE 1-26-22	DRAWN BY M.E.U.	CHECKED BY D.L.M.	
SCALE 1" = 40'			

SP-1.1

ALTOGETHER OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2309 OF ARTICLE 146 OF THE EDUCATION LAW

LEGEND	
	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	EXISTING WETLAND
	EXISTING TOWN WETLAND LIMIT LINE WITH FLAG
	EXISTING TOWN/NYSDEC WETLAND LIMIT LINE WITH FLAG
	EXISTING NYSDEC WETLAND LIMIT LINE WITH FLAG
	100' NYSDEC & NYSDEC WETLAND BUFFER
	100' TOWN WETLAND BUFFER
	EXISTING TIELINE TO BE REMOVED
	PROPOSED GRADE RAIL
	PROPOSED CURB
	PROPOSED LANDSCAPING
	PROPOSED TIELINE
	PROPOSED LOT NUMBER



MATCHLINE TO DRAWING SP-11

* REFER TO DRAWING SP-1.1 FOR SCHEMATIC PLANTING LIST & GENERAL PLANTING NOTES*

NO.	DATE	REVISION	BY
5	3-4-24	GENERAL REVISION	TSM
4	9-23-22	REVISED FOR PCDM APPROVAL	E.P.
3	8-25-22	REVISED FOR PCDM SUBMISSION	JMM
2	4-14-22	REVISED FOR NYCDOT & PCDM SUBMISSION	E.P.
1	2-17-22	REVISED PER TOWN COMMENTS	MEL

INSITE
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.
3 Carrett Plaza
Carroll, NY 10012
(845) 225-8997
(845) 225-8997 fax
www.insite-arg.com

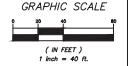
PROJECT:
AMENDED LAYOUT OF LOTS 5, 6 AND 7 OF
C & F SUBDIVISION

U.S. ROUTE 5, TOWN OF CARROLL, PUTNAM COUNTY, NEW YORK

DRAWING:
LAYOUT & LANDSCAPE PLAN

PROJECT NUMBER	PROJECT MANAGER	J.L.C.	DRAWING NO.	SHEET
04232.100	J.L.C.	J.L.C.	SP-1.2	3
DATE	DRAWN BY	CHECKED BY	SCALE	
1-26-23	M.E.U.	D.L.M.	AS SHOWN	18

* REFER TO DRAWING OP-1 FOR GENERAL NOTES *





ATZL, NASHER & ZIGLER P.C.

ENGINEERS - SURVEYORS - PLANNERS

Web: www.anzny.com

February 29, 2024

Planning Board
Town of Carmel
60 McAlpin Avenue
Mahopac, NY 10541
Attn: Craig Paeprer, Chairman

Re: Veolia (formerly Suez) Water
Mahopac Wells
Tax Lot 75.20-2-68

Dear Chairman Paeprer and Honorable Board Members,

The following is our response to Patrick Cleary, AICP, CEP, PP, LEED AP of Cleary Consulting, letter dated February 8, 2024:

1. Comment: Are any changes to the access road proposed?

Response: There are no new changes to the access road until it comes on the site (i.e., where our wells are located).

2. Comment: The new building location, stormwater management facilities and gravel driveway are all located within wetland buffers to the east and west. The jurisdictions of these wetlands must be identified. Minimally, ECB approval is required.

Response: We have received approval from the DEC and US Army Corp for disturbance within the wetland and wetland buffer. We will also be submitting this project for ECB approval.

3. Comment: It is noted that 22 trees are proposed to be removed. How many trees were to be removed in the previous plan?

Response: The prior landscape plan dated 2/25/2022 proposed the removal of 14 trees. The current landscaping plan is proposing the removal of 29 trees.

4. Comment: Is the lower height of the building a result of a reduction in the height of the building, or a modification to the grading?

Response: The peak of the building is at a five-foot lower elevation due to the lower grade of the new proposed location. The building itself will remain the same and has the same height as before.

5. Comment: Identify the location of the emergency generator.

Response: The new generator location is shown on the site plan (see sheet 4).

6. Comment: In addition to the new lighting on the new building, is any modification or addition to existing lighting proposed?

Response: The proposed lighting on the new building will be controlled by motion sensors. No other change to the lighting plan is proposed.

7. Comment: It is noted that this new plan is a result of a negotiated agreement with the Hunters Run HOA. Are there terms to this agreement that would have an impact on the site plan, or any operational aspects of the facility that would be enforceable by the Town?

Response: A copy of the agreement is part of this submission. The changes to the site plan that have been incorporated due to the agreement with the Hunters Run HOA are as follows:

- 1. GAC Treatment Building relocated approximately 62 feet to the south of the location shown on the Original Plans.*

2. *GAC Treatment Building shown on the Revised Plan will have a peak elevation which is five feet lower than that of the corresponding building depicted on the Original Plans.*
3. *Note has been added on site plan stating that white trailer (the "Treatment Trailer") will be removed within 20 days after construction of the GAC Treatment Building.*
4. *Area beneath the Treatment Trailer will be landscaped with grass when the trailer is removed.*
5. *Proposed landscaping has been extended on the right side of GAC Treatment Building up to its new current location.*
6. *The following note has been added to the site plan - "In its attempts to meet New York State Department of Health regulations more quickly, Veolia ordered the building in the green color previously found provisionally acceptable to (but not finally approved by) the Planning Board. The HOA prefers the color Fairview Taupe (Benjamin Moore, HC-85). If this color is acceptable to and approved by the Planning Board, VEOLIA will paint the GAC Treatment Building and existing Pump House Fairview Taupe (Benjamin Moore, HC-85) within three months of the final landscaping installation."*
7. *Motion sensor light has been proposed on the site plan.*

The terms of the agreement will not be enforceable by the Town.

The following is our response to Michael G. Carnazza, Director of Code Enforcement for the Town of Carmel, letter dated February 5, 2024:

1. Comment: Code §156-37C requires "A landscaped buffer area at least 10 feet in width and six feet in height shall be provided and maintained along all property lines to satisfactorily screen public utility substations and any other buildings from surrounding uses of land". The Planning Board should look

closely at this site as the entire operation is in the backyards of Coventry Circle and Nottingham Way.

Response: A landscaped buffer has been provided and maintained along property lines. The revised landscaping plan has been developed based on input from the Planning Board and subsequent discussions and agreement with the HOA. We believe it adequately screens the proposed development. A photo package and associated renderings have been provided to substantiate the same.

Our view is also supported by the aerial photographic exhibit that is part of this submission, which demonstrates that the facility is separated from the nearest residence to the east on Nottingham Way by more than 300 feet of densely- wooded land. (It is also 192 feet from the boundary line of the closest residential lot fronting on Coventry Circle). Veolia, therefore, requests that under Section 156-37(g) of the Town Code the Planning Board grant a waiver from the landscaping requirement.

2. Comment: Is the Hunter's Run H.O.A. aware of this project? The work is being done on the Common Space for the Hunter's Run Condominium complex, therefore, the H.O.A. should be made aware, and have all issues ironed out with them before the public hearing. If this is the case, a letter from the H.O.A. stating their consent to the proposed structures and amenities should be made part of the file.

Response: See response to comment 7 of Mr. Cleary. Further, Veolia's counsel provided the counsel for the HOA with Veolia's last submission and will continue to send copies of this and all future submissions to the HOA's attorney.

3. Comment: Referral to the ECB, Fire Department and Putnam County Dept. of Health are required by code.

Response: We note the following:
a. The ECB approval will be sought as part of this permitting process.

- b. *Copies of the updated site plan and renderings have been sent to the Fire Department to supplement the initial referral submission dated 2/28/22.*
- c. *Copies of the narrative, Planning Board application, Long EAF, deed and easement information, updated site plan, renderings, wastewater discharge report, and the SWPPP have been sent to the Putnam County Dept. of Health to satisfy this referral/review requirement.*

The following is our response to Richard J. Franzetti, P.E, letter dated January 30, 2024:

General Comments

- 1. Comment: The following referrals are required:
 - a. New York State Department of Environmental Conservation (NYSDEC).
 - b. Putnam County Department of Health (PCDOH).
 - c. The Town of Carmel Environmental Conservation Board (ECB).
 - d. The Town of Carmel Highway Department.
 - e. Mahopac Fire Department.

The applicant has previously noted these referrals

- Response:*
- We note the following:*
 - a. *Applicable NYSDEC permits will be obtained.*
 - b. *Copies of the narrative, Planning Board application, Long EAF, deed and easement information, updated site plan, renderings, wastewater discharge report, and the SWPPP have been sent to the Putnam County Dept. of Health to satisfy this referral/review requirement*
 - c. *The ECB approval will be sought as part of this permitting process.*
 - d. *Town of Carmel Highway Department approval will be sought after Planning Board and ECB approvals have been obtained.*

e. *Copies of the updated site plan and renderings have been sent to the Fire Department to supplement the initial referral submission dated 2/28/22.*

2. Comment: The following permits are required.

- a. NYSDEC - for stormwater and wetlands;
- b. PCDOH for well and treatment system.
- c. Town of Carmel Highway- work permit.
- d. ECB for wetlands.

The applicant has previously noted these permit requirements

Response: See above response.

3. Comment: The area of disturbance for the work as provided is now 0.994 acres. The threshold criteria of disturbances for the NYSDEC stormwater regulation are between 5,000 square feet and one (1) acre and over one (1) acre. The project will require coverage under the NYSEC SPDES General Permit for Stormwater Discharges from Construction Activity (GP-0-20-001) and the development of Stormwater Pollution Prevention Plan (SWPPP) that has erosion and sediment controls.

The applicant has provided a SWPPP which is currently under review. It is unclear if the area of disturbance includes the work being performed to connect into the sewer system.

Response: The site plan now includes the work being performed to connect into the sewer system in the area of disturbance calculation. The area of disturbance is still 0.994 acres, as we reworked and reduced the LOD in other areas.

4. Comment: Traffic and Vehicle Movement Plans should be provided which provide the following:

Typical Town Road paving requirements are 12” item 4, 3” base, 2” binder and 2” top. The prior memorandum by this office had 1-inch top which was incorrect.

Applicant should further note that for driveways and/or roads not being dedicated to the Town the paving requirements are 8” base, 3” binder and , 2” top.

Response: Asphaltic concrete pavement detail has been updated to match Town’s driveway specification (see sheet 4).

5. Comment: Applicant has indicated that they have negotiated an agreement with the Hunters Run HOA. Copies of formal agreements/easements should be provided to the Planning Board for review.

Response: The HOA Agreement is part of this submission.

6. Comment: All easement information regarding the areas for the proposed underground utility service must be provided. Applicant has provided easement information. This should be reviewed by Planning Counsel.

Response: No response required.

7. Comment: Should any public improvements be deemed necessary as part of the development of the tract, a Performance Bond and associated Engineering Fee must eventually be established for the work. The applicant will need to develop a quantity take off for bonding purposes.

The applicant has noted this requirement. The applicant should note that a Performance Bond and associated Engineering fee is minimally required for the stormwater management practices, erosion and sediment control drainage features, landscaping etc. installed on the site. Please see §156-61 J and K of the Town Code for additional information.

Response: No response required.

Detailed Comments

1. Comment: The wastewater report should provide confirmation that no backwash for the PFAS treatment system will be discharged into the Town of Carmel sewer system.

Response: There will be no GAC backwash waste going to the sewer system. All waste from the GAC units will be placed in a Frac tank and will be properly disposed of. Only the backwash discharge from the Green Sand System will be directed to the sewer.

2. Comment: Details for the proposed connection to the Town of Carmel Sewer System must be provided.

Applicant has provided some additional information which is currently under review. The drawings provided in the water discharge package should be provided as a full size set and included as part of the overall submittal package.

Response: We are resubmitting the wastewater report along with its associated drawings printed full size (24" x 36").

SUEZ Water New York, Inc.

PFAS COMPLIANCE PROJECT F MAHOPAC WELLS

Putnam County, New York

TOWN OF CARMEL WASTEWATER DISCHARGE PERMIT PACKAGE

SUEZ Water New York Inc.
162 Old Mill Road
West Nyack, NY 10944

Prepared by:



January 2024

Project Number: 068577

CONTENTS

- 1. PROJECT DESCRIPTION 1
 - 1.1. Background 1
 - 1.2. Existing Conditions 1
- 2. PROPOSED SYSTEM 2
 - 2.1. Greensand Filtration System 2
- 3. WATER QUALITY 3

APPENDICES

- APPENDIX A - Location Map
- APPENDIX B – Design Drawings
- APPENDIX C - Backwash Laboratory Results

1. PROJECT DESCRIPTION

1.1. Background

Perfluorooctanoic Acid (PFOA) and Perfluorooctane Sulfonate (PFOS) are chemical substances that have been used for decades to manufacture firefighting foam and many common household and consumer products the public uses frequently, including non-stick cookware, fast food packaging, adhesives, paints, shampoo and cosmetics. In late August 2020, the State of New York adopted new drinking water standards that set a Maximum Contaminant Level (MCL) of 10 ppt for these substances in drinking water.

To comply with these new MCLs, SUEZ Water New York, Inc. (SWNY) plans to construct a treatment facility at the existing Mahopac Well site. The planned upgrade will not increase the firm capacity of the wells but add Granular Activated Carbon (GAC) as treatment to remove the PFOS and PFOA prior to entering the distribution system and ensuring compliance with the new regulations. To maintain effectivity, Greensand filters will also be installed to remove the excess iron and manganese from the water and will serve to prevent solids from plugging the GAC and requiring regular backwashing. As a result, the GAC will only be backwashed when it is replaced. SWNY will use frac tanks to contain the spent backwash water during the carbon installation/ replacement process. Backwash from the proposed Greensand filters decant tank is proposed to be discharged into the existing Town’s sewer through a new sewer connection.

A pilot system using the well with the highest level of iron and manganese is currently at the site. This pilot system has been used to confirm proof of concept for the iron and manganese removal, as well as to provide specimens to analyze the water quality makeup of both the effluent and the backwash waste. The backwash waste information is presented below as well as the quality of backwash that will enter the Town’s sewer system per day.

1.2. Existing Conditions

Mahopac Wells 1, 2, & 3 are located in a residential area 150 feet southwest of 34 Coventry Circle, Mahopac, Putnam County, New York and serve approximately 300 customers. The site is surrounded by Federal and State wetland areas. It is also located in an area with confirmed bog turtle and bat habitats.

The well water comes from three constant speed well pumps that convey water into a 34,200-gallon above ground finished water storage tank. Well No. 2 has been closed for production until iron and manganese mitigation is achieved. An existing temporary iron and manganese treatment trailer is currently in place at the Well No. 2 location. Existing on-site control includes the ability to operate the site remotely through the SCADA system.

The Mahopac Well site has a capacity of 130 gpm that will not be increased. The Standard Industrial Classification (SIC) Code for this facility is 4941, which corresponds to facilities primarily engaged in distributing water for domestic, commercial, and industrial use.

2. PROPOSED SYSTEM

The proposed treatment system will include upsizing of the well pumps. The well water will be conveyed by three variable speed well pumps into Greensand filtration units. Raw water will be dosed with sodium hypochlorite for oxidation before passing thru the filtration units. Backwash waste is transferred to a decant tank to separate the sludge. Decant water is recycled back to the inlet of the Greensand units and sludge will be discharge into the existing sewer thru a new sewer connection.

Following the Greensand units, the water shall pass through the GAC treatment system. Backwash water from the GAC treatment system will be transferred to a frac tank. The treated water will be dosed with sodium hypochlorite after treatment to achieve proper chlorination and will be transferred into an off-site 34,200-gallon aboveground finished water storage tank before distribution.

Sodium hypochlorite will be housed in two 50-gallon double walled chemical storage tanks.

Design drawings for the proposed treatment system are included in Appendix B.

2.1. Greensand Filtration System

A Greensand Plus Catalytic Filtration System will be provided to remove iron and manganese in the well water. Filtration will be provided via four vertical Greensand plus pressure filters operated in parallel and capable of automatic backwashes to clean the media. A 7,400-gallon decant tank for backwashing waste, along with sludge and decant pumps with associated piping and valves, are also included with the system.

Table 1 below summarizes the Greensand filtration criteria.

Table 1. Greensand Filtration Criteria

DESCRIPTION	MAHOPAC WELLS
Number Of Greensand Plus Vessels	4 (3 In Parallel And 1 Redundant)
Vessel Diameter (in)	42
Service Flow (gpm)	130
Filter Surface Area (ft ²)	9.62
Design Surface Loading Rate (gpm/Ft ²)	4.5
Backwash Rate Max Per Vessel (gpm @50f)	125
Rinse Rate (gpm)	130
Vessel Pressure Rating (psi)	150
Total Media Content (ft ³)	120
Backwash Duration	15 Min Plus A 2 Min Rinse

Backwashing is typically performed once every 24 to 48 hours depending on the contaminant levels. It can be performed sequentially or be set to go off at predetermined times. A maximum daily flow of 588.5 gal will be discharge into the sewer in a 6 hour batch, flow calculations are presented below:

Backwash Rate=	125	gal/min*vessel
No. Vessels=	3	vessels
Backwash Duration=	15	min
Backwash Flow=	5625	gal
<hr/>		
Rinse Rate=	130	gal/min
Rinse Duration=	2	min
Rinse Flow=	260	gal
<hr/>		
Total Flow to Decant Tank=	5885	gal
90% Recycled=	5296.5	gal
10% Sewer Discharge=	588.5	gal

3. WATER QUALITY

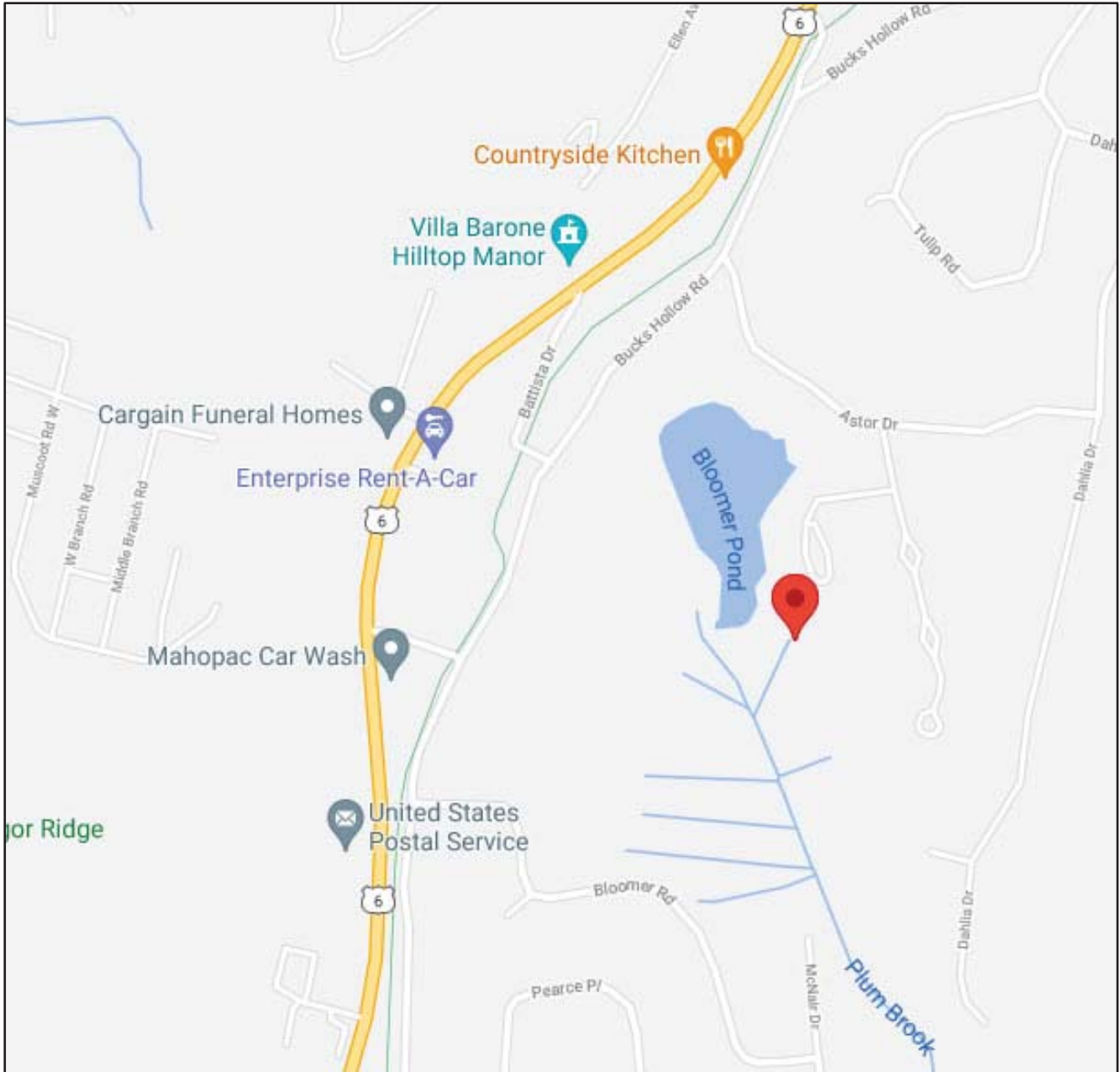
The temporary iron and manganese treatment system pilot is currently being operated at the Mahopac Wells site. On August 4, 2021, September 3, 2021, and November 22, 2021 representative samples were taken and tested from the backwash water line. Results are included in Appendix C and summarized in Table 2 below.

Table 2. Backwash Test Results

PARAMETER	RESULTS AUGUST SAMPLE	RESULTS SEPTEMBER SAMPLE	RESULTS NOVEMBER SAMPLE
Ammonia as Nitrogen (lb/day)	0.0008	0.00047	-
Arsenic (lb/day)	-	<0.000009	-
BOD/5day (lb/day)	<0.0186	<0.186	-
Cadmium (lb/day)	-	<0.000005	-
Chlorine Demand (lb/day)	0.0093	-	-
Chromium (lb/day)	-	0.000019	-
COD (lb/day)	0.275	-	-
Copper (lb/day)	-	0.0001	-

PARAMETER	RESULTS AUGUST SAMPLE	RESULTS SEPTEMBER SAMPLE	RESULTS NOVEMBER SAMPLE
Iron (lb/day)	-	-	0.163
Lead (lb/day)	-	0.000014	-
Manganese (lb/day)	-	0.0717	0.239
Mercury (lb/day)	-	<0.0000009	-
Molybdenum (lb/day)	-	<0.000017	-
Nickel (lb/day)	-	0.000061	-
Nitrogen (lb/day)	0.0028	-	-
Oil and Grease (lb/day)	<0.0065	<0.0065	-
pH	7.92	-	-
Phosphorus as P (lb/day)	0.0005	0.00095	-
Selenium (lb/day)	-	<0.000023	-
Silver (lb/day)	-	0.000009	-
Total Cyanide (lb/day)	-	<0.000093	-
Total Suspended Solids (lb/day)	0.466	0.978	-
Zinc (lb/day)	-	0.00137	-

**APPENDIX A
LOCATION MAP**



**MAHOPAC WELLS
LOCATION MAP**

**APPENDIX B
CIVIL AND PROCESS
DESIGN DRAWINGS**

FULL SIZE DRAWINGS HAVE BEEN PROVIDED

SUEZ WATER NEW YORK INC

ONLY CIVIL AND PROCESS DRAWINGS INCLUDED

PUTNAM COUNTY, NEW YORK

PFAS COMPLIANCE MAHOPAC WELLS



LOCATION MAP

SCALE: 1" = 5000'

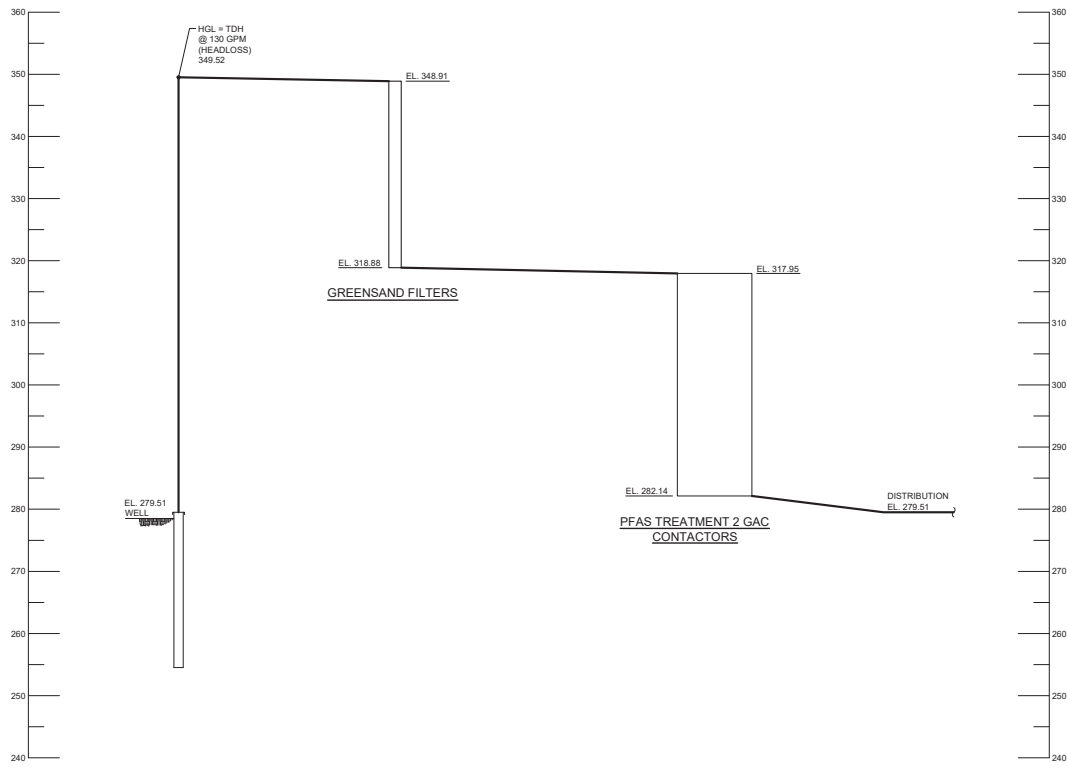
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68577

JANUARY 2024



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 DATE PLOTTED: 10/19/2021 1:58 PM



HYDRAULIC PROFILE

HORZ: NO SCALE
 VERT: 1" = 10'
 VERTICAL
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No.	DESCRIPTION	DATE	BY

DESIGNED	CADD	SCALE
	T.L.M. <td>AS NOTED</td>	AS NOTED
CHECKED	APPROVED	APPROVED

GANNETT FLEMING
 ENGINEERS AND ARCHITECTS, P.C.

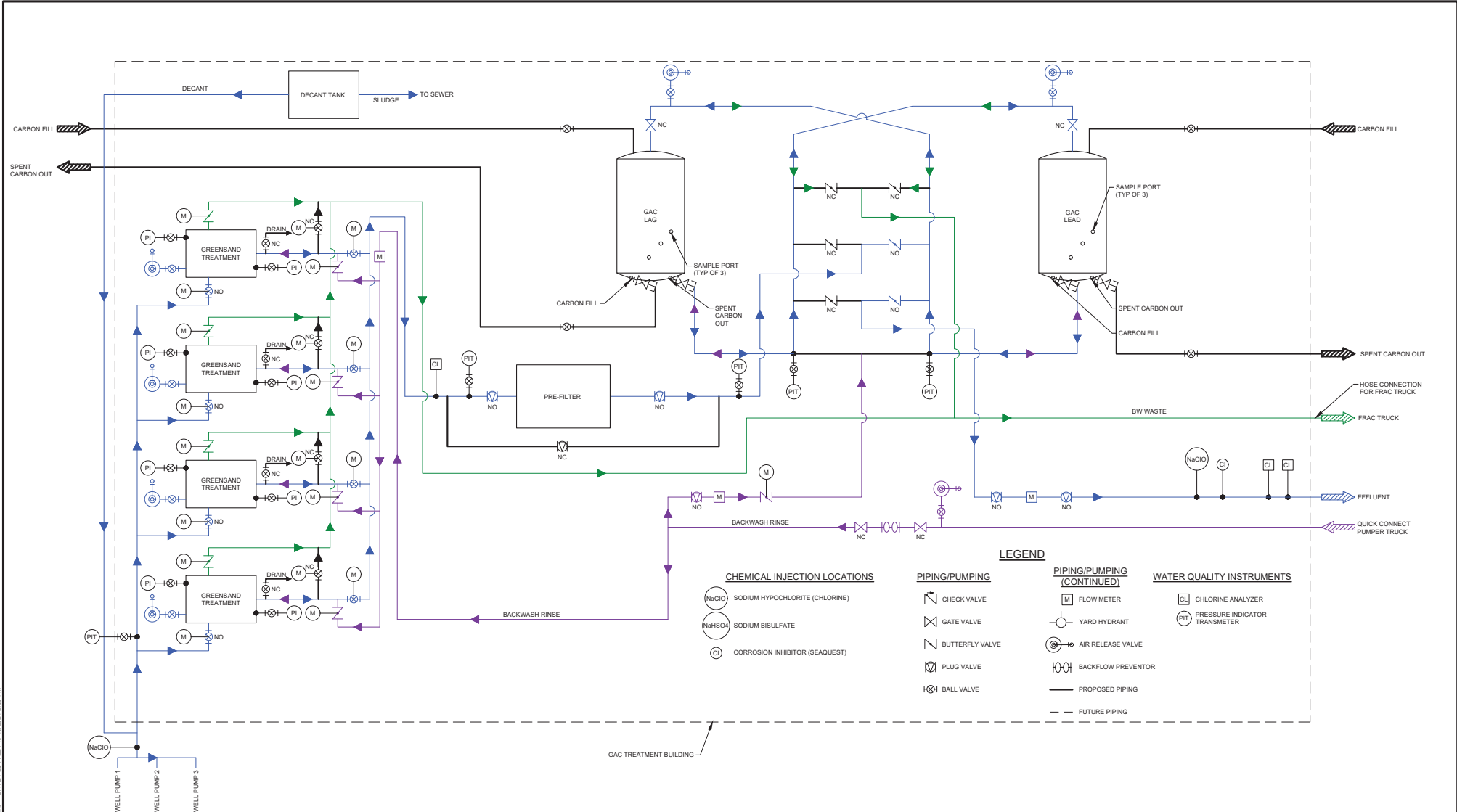
SUEZ WATER NEW YORK INC.
 WEST NYACK, ROCKLAND COUNTY, NEW YORK

PFAS COMPLIANCE

MAHOPAC WELLS
 PROCESS
 HYDRAULIC PROFILE

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DATE	JANUARY 2024		

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No.	DESCRIPTION	DATE	BY

DESIGNED	CADD	SCALE
•	T.L.M.	AS NOTED
CHECKED	APPROVED	APPROVED
•	•	•


GANNETT FLEMING
 ENGINEERS AND ARCHITECTS, P.C.


CREAMER
 TELEUTCH CREAMER & SOIL, INC.
MEMBER OF AEC GROUP

SUEZ WATER NEW YORK INC.
 WEST NYACK, ROCKLAND COUNTY, NEW YORK
PFAS COMPLIANCE

MAHOPAC WELLS
 PROCESS
PROCESS FLOW DIAGRAM

JOB No.	SHEET No.
68577	G-502
DATE	
JANUARY 2024	

SHADED FACILITIES

	MASONRY WALL (PLANS AND SECTIONS)
	FILL CONCRETE (USED ON SECTIONS)
	REINFORCED CONCRETE (USED ON SECTIONS)
	DEMOLITION
	STABILIZED TURF

CIVIL/SITE SYMBOLS

	AIR RELEASE MANHOLE
	BENCH MARK
	BORING
	BUTTERFLY VALVE AND VALVE BOX
	CATCH BASIN/INLET
	CHECK VALVE
	CONTROL POINT
	EXISTING GAS VALVE
	EXISTING GAS CURB BOX
	GATE VALVE AND VALVE BOX
	HYDRANT
	LIGHT
	MANHOLE
	SIGN
	SIGNAL
	UTILITY POLE
	TEST PIT
	TREES, BUSHES AND SHRUBS
	VENT
	WATER CURB BOX
	EXISTING WATER VALVE

ANY BORINGS, SOUNDINGS, TEST PILES, SUBSURFACE CONDITIONS AND LOCATIONS OF AND NATURE OF EXISTING UNDERGROUND STRUCTURES SHOWN OR INDICATED ON THIS DRAWING ARE FOR THE INFORMATION OF THE OWNER AND IN NO EVENT IS THIS INFORMATION TO BE CONSIDERED AS PART OF THE CONTRACT. SEE PROJECT MANUAL.

THIS SHEET IS FOR CIVIL/SITE SYMBOLS AND ABBREVIATIONS ONLY. REFER TO ARCHITECTURAL, STRUCTURAL, PROCESS, INSTRUMENTATION, MECHANICAL AND ELECTRICAL DRAWINGS FOR SYMBOLS AND ABBREVIATIONS FOR THAT WORK.

EXISTING LINE WORK

	AIR LINE
	BITUMINOUS ROAD SURFACE AND DRIVES
	CENTER LINE
	CONCRETE SIDEWALK OR RETAINING WALL
	DITCH, STREAM OR SWALE
	FENCE
	FIVE FOOT CONTOUR INTERVAL
	GAS MAIN AND VALVE
	GRAVEL OR EARTH DRIVES
	MISCELLANEOUS UTILITY
	TWO FOOT CONTOUR INTERVAL
	OVERHEAD ELECTRIC LINE
	OVERHEAD TELEPHONE LINE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	SANITARY FORCE MAIN
	SANITARY SEWER AND MANHOLE
	STORM SEWER AND INLET
	SOIL BOUNDARY LINE
	UNDERGROUND ELECTRIC CABLE
	UNDERGROUND TELEPHONE CABLE
	WASTEWATER MAIN
	WATER MAIN AND VALVE
	WOOD OR VEGETATION LINE

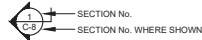
PROPOSED LINE WORK

	PROPOSED PIPE (4" DIA. AND LARGER)
	PROPOSED PIPE (3" DIA. AND SMALLER)
	STORM SEWER AND INLET
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	TEMP. CONSTRUCTION EASEMENT LINE
	GRADING SLOPE
	SLOPE DIRECTION

LINE COMPOSITION

PROPOSED FACILITIES SHOWN WITH HEAVIER AND BOLDER LINE WORK WITH CALLOUTS IN UPPERCASE LETTERS. EXISTING FACILITIES SHOWN WITH LIGHT LINE WORK WITH CALLOUTS IN UPPER AND LOWERCASE LETTERS.
EXAMPLES:
Existing Callout
PROPOSED CALLOUT

CIVIL SHEET REFERENCE LEGEND



GENERAL NOTES

- ALL ELEVATIONS REFER TO U.S.G.S. NAVD 88 DATUM.
- HORIZONTAL CONTROL IS BASED UPON STATE PLANE COORDINATE SYSTEM.
- INFORMATION SHOWN HEREIN IS BASED ON FIELD SURVEY PERFORMED BY ATZI, NASHIER & ZIGLER P.C. APRIL AND MAY 2021.
- FROM INVESTIGATIONS AND FIELD SURVEYS, IT IS ASSUMED THAT LOCATIONS OF PHYSICAL CONDITIONS, UTILITIES, ETC., ARE APPROXIMATE AND THE NATURE OF MATERIALS IS NOT GUARANTEED.
- THE CONTRACTOR SHALL BE REQUIRED TO VERIFY ALL CONDITIONS AND DIMENSIONS OF THE JOB SITE BEFORE PROCEEDING WITH THE WORK AND SHALL MAKE MINOR ADJUSTMENTS AS REQUIRED ON THE JOB. SUCH ADJUSTMENTS ARE TO BE APPROVED BY THE ENGINEER AND THE OWNER.
- LOCATION AND DEPTH OF EXISTING UTILITY LINES INCLUDING SERVICES SHALL BE VERIFIED BY THE CONTRACTOR IN ADVANCE OF THE NEW UTILITIES CONSTRUCTION. EXTREME CARE SHALL BE EXERCISED WHEN EXCAVATING EXISTING UTILITY LINES. HAND EXCAVATION ONLY WILL BE PERMITTED IN THE VICINITY OF EXISTING PIPES AND/OR CONDUITS. ANY DAMAGE TO UTILITIES SHALL BE REPAIRED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
- THE CONTRACTOR SHALL SUSTAIN IN THEIR PLACES AND PROTECT FROM DIRECT OR INDIRECT INJURY ALL PIPES, CONDUITS, TRACKS, UTILITY POLES, GUIDE RAILS, GUARD POSTS, WALLS, FOUNDATIONS, BUILDINGS, AND OTHER STRUCTURES OR PROPERTY IN THE VICINITY OF HIS WORK, WHETHER ABOVE OR BELOW GROUND, OR THAT MAY APPEAR IN THE TRENCH, PIPES AND UNDERGROUND CONDUITS EXPOSED AS A RESULT OF THE CONTRACTOR'S OPERATIONS SHALL BE ADEQUATELY SUPPORTED ALONG THEIR ENTIRE EXPOSED LENGTHS.
- AT POINTS OF CONNECTION, CONTRACTOR SHALL EXPOSE EXISTING WATER MAINS TO VERIFY LOCATION, GEOMETRY, AND MATERIAL REQUIREMENTS PRIOR TO ORDERING MATERIALS OR STARTING CONSTRUCTION OF ANY MAIN CONNECTING THERE TO.

GENERAL ABBREVIATIONS

CLR	—	CLEARANCE
ℓ	—	CENTERLINE
CMU	—	CONCRETE MASONRY UNIT
DIA	—	DIAMETER
EC	—	ELECTRICAL CONTRACT
EL or ELEV	—	ELEVATION
EX	—	EXISTING
FT	—	FOOT OR FEET
GC	—	GENERAL CONTRACT
ID	—	INSIDE DIAMETER
INV	—	INVERT
MAX	—	MAXIMUM
MC	—	MECHANICAL CONTRACT
MIN	—	MINIMUM
NA	—	NOT APPLICABLE
NTS	—	NOT TO SCALE
OD	—	OUTSIDE DIAMETER
PC	—	PLUMBING CONTRACT
ℓ	—	PLATE
SHT	—	SHEET
SQ	—	SQUARE
STA	—	STATION
TYP	—	TYPICAL
W	—	WATER
WW	—	WASTEWATER
LOX	—	LIQUID OXYGEN
LIN	—	LIQUID NITROGEN

CIVIL/SITE ABBREVIATIONS

AVE	—	AVENUE
BIT	—	BITUMINOUS
CB	—	CATCH BASIN
CC	—	CHEMICAL CONDUIT
CIR	—	CIRCLE
CM	—	CONCRETE MONUMENT
D	—	DRAIN
DR	—	DRIVE
FH	—	FIRE HYDRANT
G	—	GAS
GCB	—	GAS CURB BOX
GV	—	GAS VALVE
HYD	—	HYDRANT
IP	—	IRON PIN
MAC	—	MACADAM
MH	—	MANHOLE
MJ	—	MECHANICAL JOINT
NC	—	NETWORK CABLE
OE	—	OVERHEAD ELECTRICAL
OT	—	OVERHEAD TELEPHONE
ℓ	—	PROPERTY LINE
PM	—	PIPELINE MARKER
PC	—	POINT OF CURVE
PI	—	POINT OF INTERSECTION
POB	—	POINT OF BEGINNING
POE	—	POINT OF ENDING
POL	—	POINT ON LINE
PT	—	POINT OF TANGENT
PVC	—	POINT OF VERTICAL CURVE
PVT	—	POINT OF VERTICAL TANGENT
RD	—	ROAD
RJ	—	RESTRAINED JOINT
RTE	—	ROUTE
RW	—	RAW WATER
S	—	SANITARY SEWER
SD	—	STORM DRAIN
SEG	—	SEGMENT
SS	—	STORM SEWER
ST	—	STREET
SWS	—	SHORT WATER SERVICE
UGE	—	UNDERGROUND ELECTRIC
UGT	—	UNDERGROUND TELEPHONE
W	—	WATER
WARG	—	WEDGE ACTION RETAINING GLAND
WCB	—	WATER CURB BOX
WS	—	WATER SERVICE
WV	—	WATER VALVE

MATERIAL

AL	—	ALUMINUM
ACP	—	ASBESTOS CEMENT PIPE
CI	—	CAST IRON
CIP	—	CAST IRON PIPE
CISP	—	CAST IRON SOIL PIPE
CMP	—	CORRUGATED METAL PIPE
CPVC	—	CHLORINATED POLYVINYL CHLORIDE PIPE
CU	—	COPPER
DI	—	DUCTILE IRON
DIP	—	DUCTILE IRON PIPE
FRP	—	FIBERGLASS REINFORCED PLASTIC
GI	—	GALVANIZED IRON
GLDIP	—	GLASS LINED DUCTILE IRON PIPE
HDPE	—	HIGH DENSITY POLYETHYLENE
PCCP	—	PRESTRESSED CONCRETE CYLINDER PIPE
PEX	—	CROSS-LINKED POLYETHYLENE
PVC	—	POLYVINYL CHLORIDE PIPE
RCCP	—	REINFORCED CEMENT CONCRETE PIPE
SS	—	STAINLESS STEEL
STL	—	STEEL

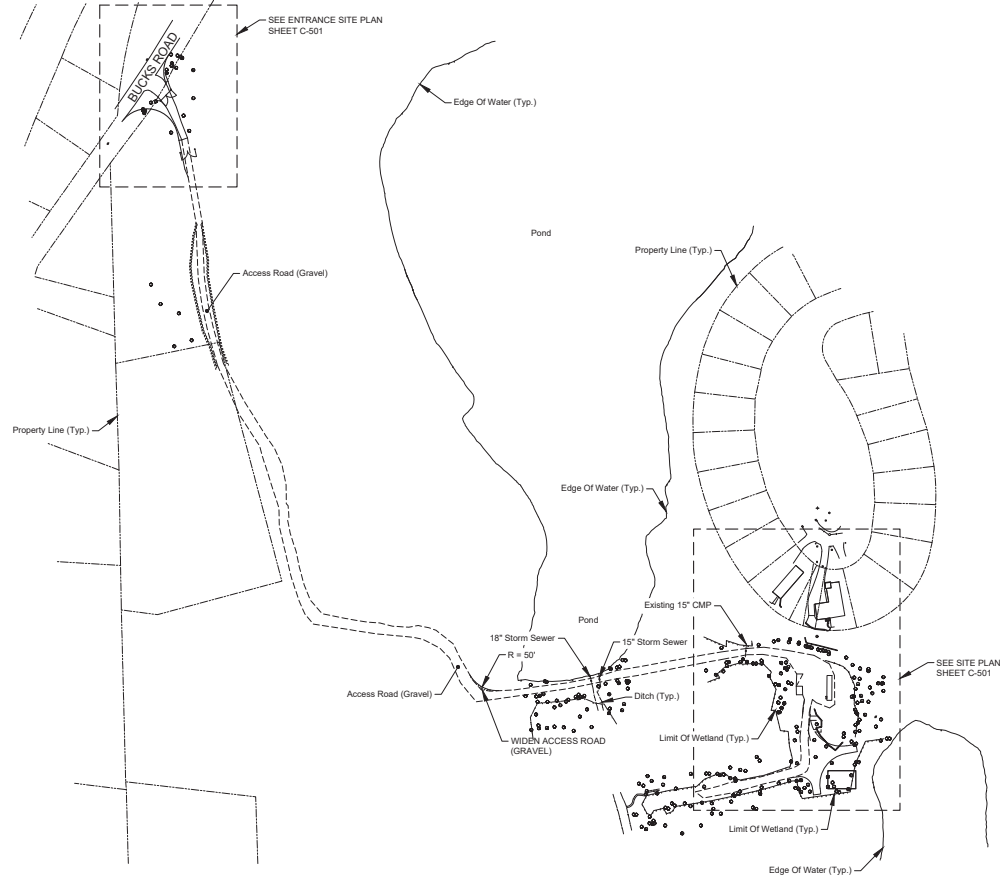
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DESIGNED J.L.G.	CADD J.L.G.	SCALE AS NOTED	 GANNETT FLEMING ENGINEERS AND ARCHITECTS, P.C.	 CREAMER A FLETCHER CREAMER & SON, INC. COMPANY	SUEZ WATER NEW YORK INC. WEST NYACK, ROCKLAND COUNTY, NEW YORK	CIVIL GENERAL NOTES, LEGENDS AND ABBREVIATIONS	JOB No. 68577	SHEET No. C-1
CHECKED S.Z.L.	APPROVED	DATE JANUARY 2024						



LOCATION PLAN

SCALE 1" = 100'



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CHECKED	APPROVED	APPROVED
S.Z.L.		


GANNETT FLEMING
 ENGINEERS AND ARCHITECTS, P.C.

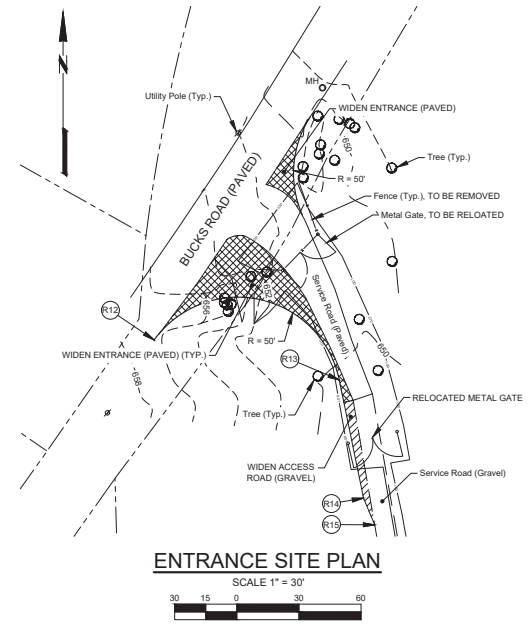
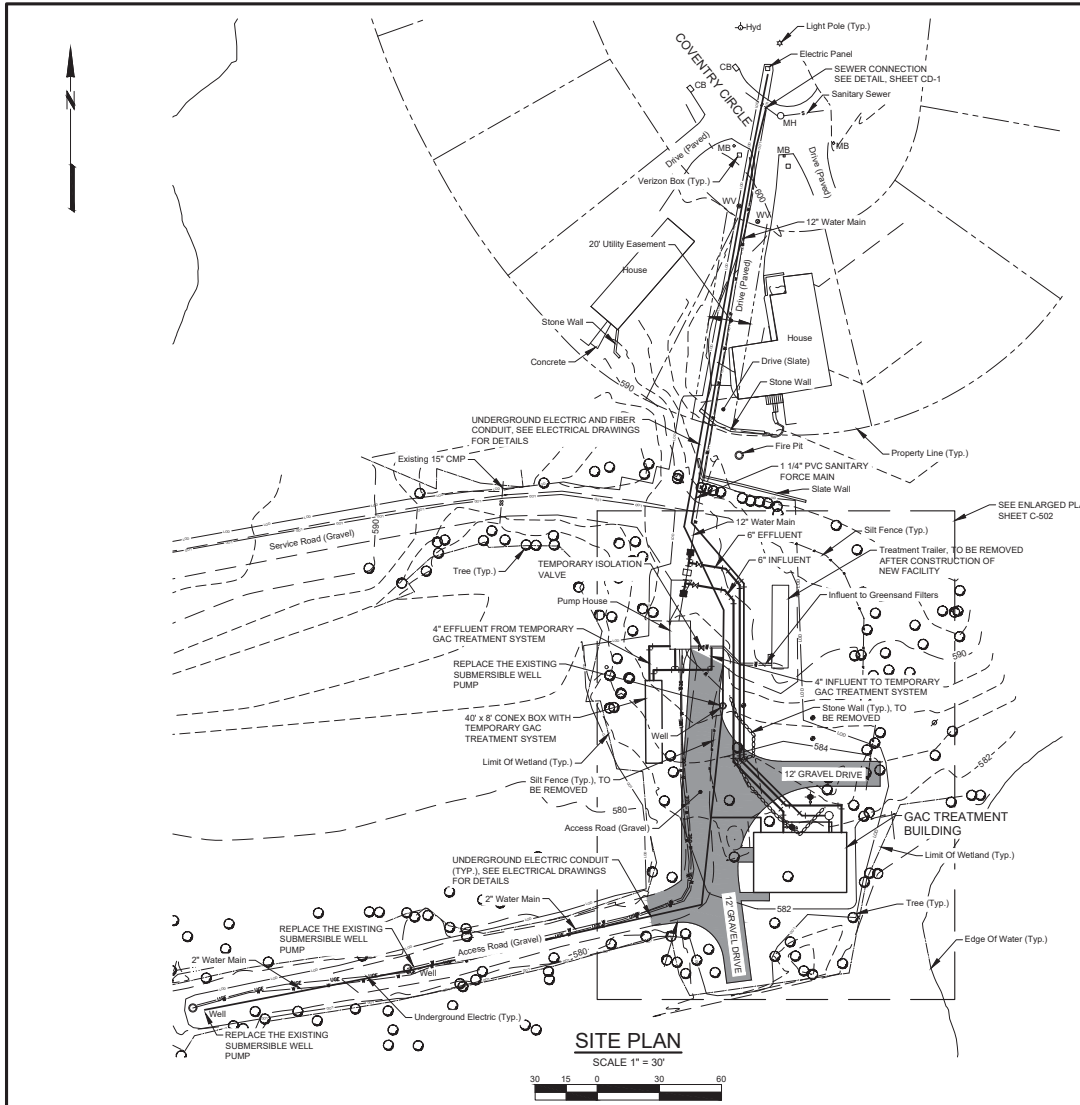

CREAMER
A FLETCHER CREAMER & SON, INC. COMPANY OF AEC GROUP

SUEZ WATER NEW YORK INC.
 WEST NYACK, ROCKLAND COUNTY, NEW YORK

PFAS COMPLIANCE

MAHOPAC WELLS
 CIVIL
 LOCATION PLAN

JOB No.	SHEET No.
68577	C-500
DATE	
JANUARY 2024	



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			CHECKED	APPROVED	APPROVED
			S.Z.L.		
DESCRIPTION	DATE	BY			
REVISIONS					

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ENGINEERS AND ARCHITECTS, P.C.

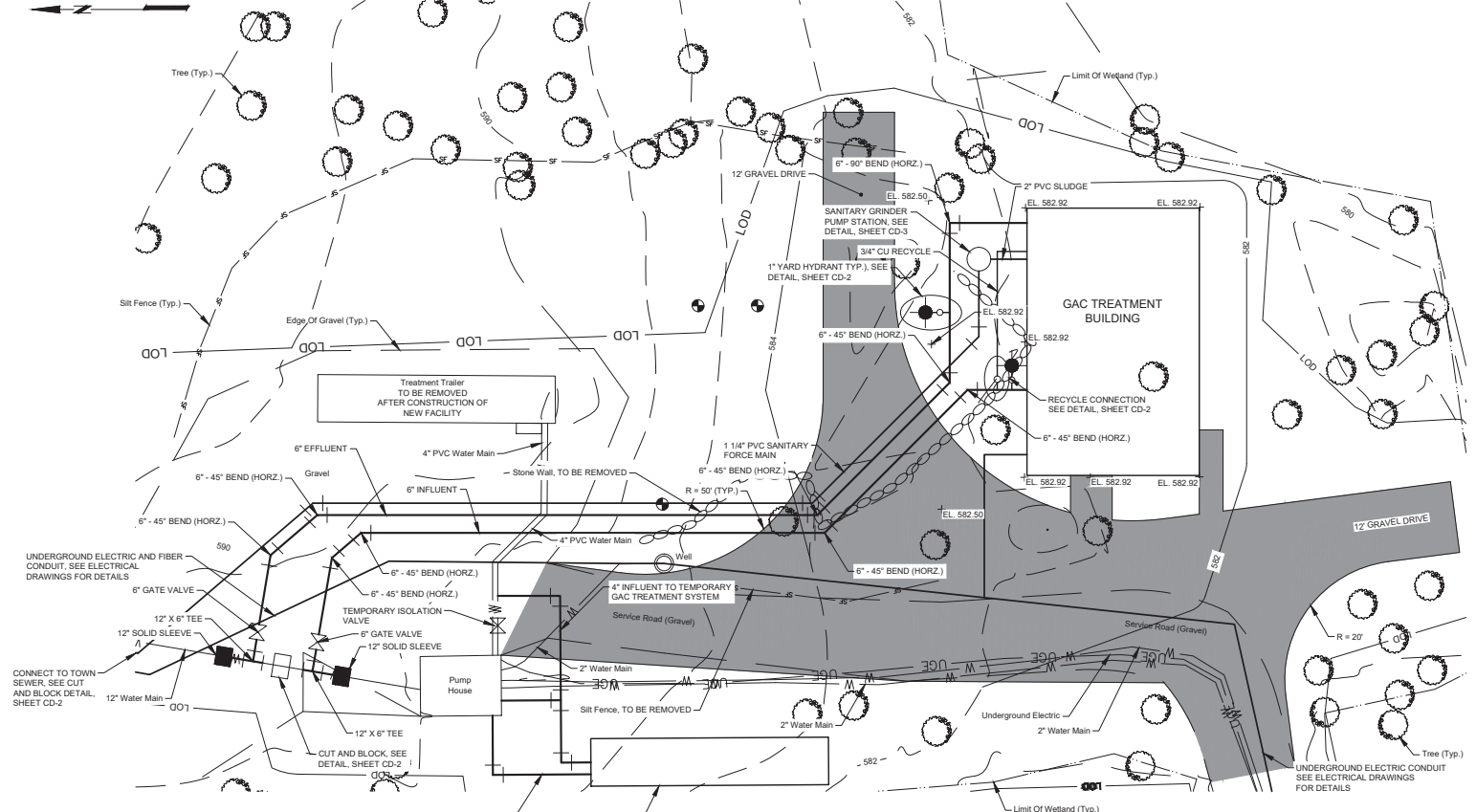
CREAMER
FLETCHER CREAMER & SOIL, INC.
MEMBER OF AECOM

SUEZ WATER NEW YORK INC.
WEST NYACK, ROCKLAND COUNTY, NEW YORK

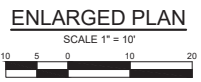
PFAS COMPLIANCE

MAHOPAC WELLS
CIVIL
SITE AND ENTRANCE SITE PLANS

JOB No. 68577
DATE JANUARY 2024
SHEET No. C-501



- NOTES**
1. ALL PIPING TO BE DUCTILE IRON UNLESS NOTED OTHERWISE.
 2. PIPING AND FITTINGS TO BE RESTRAINED JOINT UNLESS NOTED OTHERWISE.
 3. AT POINTS OF CONNECTION, CONTRACTOR SHALL EXPOSE EXISTING WATER MAINS TO VERIFY LOCATION, GEOMETRY, AND MATERIAL REQUIREMENTS PRIOR TO ORDERING MATERIALS OR STARTING CONSTRUCTION OF ANY MAIN CONNECTING THERE TO.



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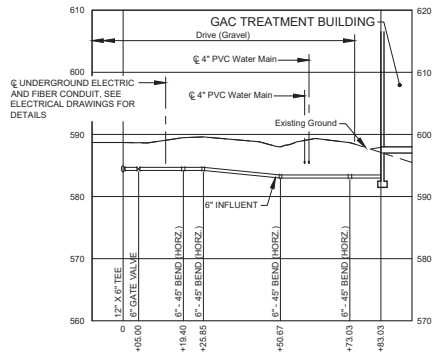
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CHECKED	APPROVED	APPROVED
S.Z.L.		

GANNETT FLEMING ENGINEERS AND ARCHITECTS, P.C.

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FLETCHER CREAMER & SOIL, INC.
MEMBER OF AECOM GROUP

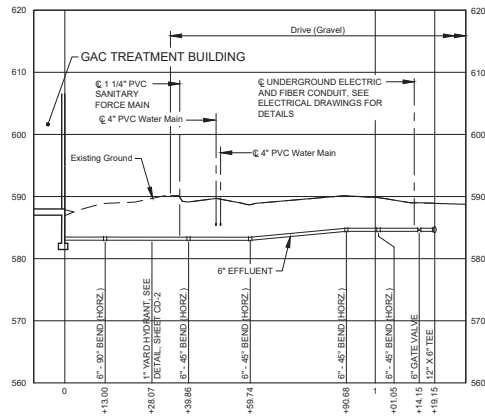
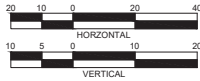
SUEZ WATER NEW YORK INC.
WEST NYACK, ROCKLAND COUNTY, NEW YORK

90% SUBMISSION		JOB No.	SHEET No.
MAHOPAC WELLS CIVIL ENLARGED PLAN		68577	C-502
PFAS COMPLIANCE		DATE	JANUARY 2024



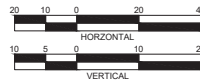
INFLUENT

HORZ. 1" = 20'
VERT. 1" = 10'



EFFLUENT

HORZ. 1" = 20'
VERT. 1" = 10'



NOTES

1. ALL PIPING TO BE DUCTILE IRON UNLESS NOTED OTHERWISE.
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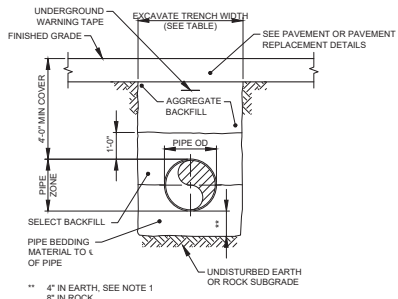

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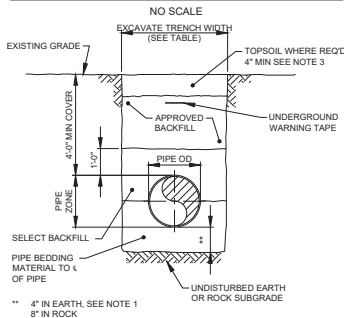
PFAS COMPLIANCE

MAHOPAC WELLS
 CIVIL
 PROFILES

JOB No.	SHEET No.
68577	C-503
DATE	
JANUARY 2024	



TYPICAL TRENCH PAVED AREAS



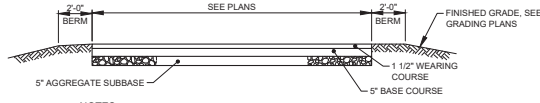
TYPICAL TRENCH UNPAVED AREAS

NO SCALE

PRESSURIZED PIPE TRENCH WIDTH TABLE	
DIAMETER OF PIPE	MAX TRENCH WIDTH (OD OF PIPE AT BARREL PLUS)
3" - 36"	24"

TRENCH NOTES:

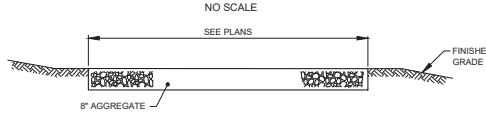
- IF UNSUITABLE SUBSOIL IS ENCOUNTERED AT THE NORMAL TRENCH SUBGRADE, THE CONTRACTOR SHALL REMOVE IT TO THE DEPTH DIRECTED BY THE ENGINEER IN THE FIELD, AND BACKFILL W/ PIPE BEDDING MATERIAL IN 4" LAYERS.
- BOTTOM OF TRENCH SHALL BE FREE OF WATER PRIOR TO PLACING BEDDING.
- PROVIDE 4" OF TOPSOIL WHERE SEEDING IS REQUIRED.
- CONTRACTOR SHALL SHORE THE TRENCH IN ACCORDANCE WITH SECTION 02255 OF THE SPECIFICATIONS.
- GRAVEL AND PAVED DRIVEWAYS TO BE RESTORED IN KIND WITH MINIMUM REQUIREMENTS AS INDICATED ON THIS SHEET.



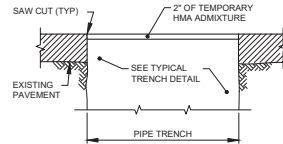
NOTES:

- WHERE STRUCTURES ARE INDICATED ON DRAWINGS, NO BERM REQUIRED. SEE CONCRETE CURB SECTION THIS SHEET.
- SEE PLANS FOR SLOPE OF ROAD.

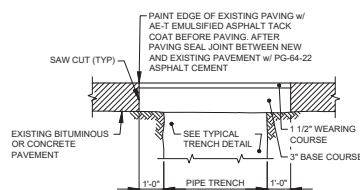
PAVING DETAIL



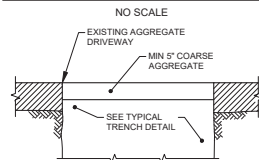
GRAVEL ROAD DETAIL



TEMPORARY PAVEMENT REPLACEMENT



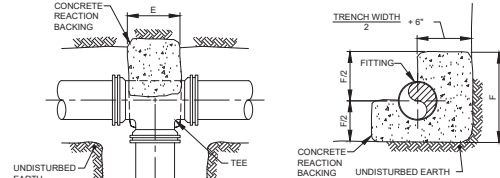
BITUMINOUS DRIVEWAY PAVEMENT REPLACEMENT



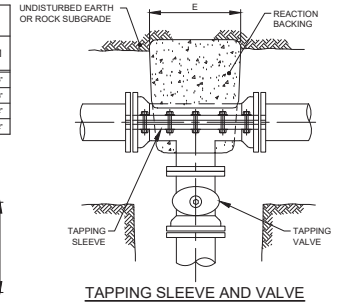
AGGREGATE DRIVEWAY REPLACEMENT

TABLE OF REACTION BACKING DIMENSIONS

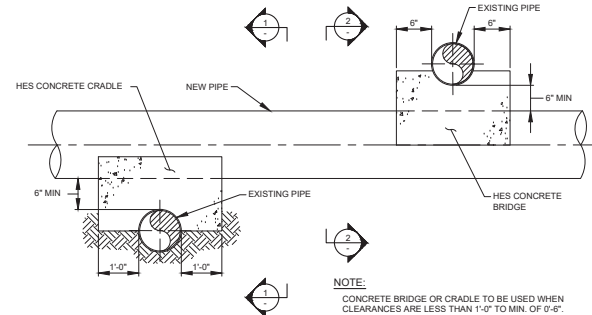
PIPE DIA	TEST PRESSURE (PSI)	A	B	C	D	E	F	G	H	I	J	K	L	M
8"	150	3/8"	2/8"	1/2"	1/2"	2/8"	2/8"	2/8"	1/8"	1/2"	1/2"	1/2"	1/2"	1/2"
6"	150	2/8"	1/8"	1/2"	1/2"	2/8"	1/8"	2/8"	1/8"	1/2"	1/2"	1/2"	1/2"	1/2"
4"	150	2/8"	1/8"	1/2"	1/2"	2/8"	1/8"	2/8"	1/8"	1/2"	1/2"	1/2"	1/2"	1/2"
2"	150	1/8"	1/8"	1/2"	1/2"	2/8"	1/8"	2/8"	1/8"	1/2"	1/2"	1/2"	1/2"	1/2"



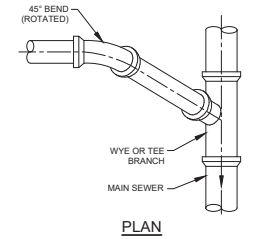
SECTION REACTION BACKINGS



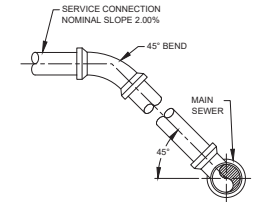
TAPPING SLEEVE AND VALVE



SECTION 1 CONCRETE CRADLE AND CONCRETE BRIDGE



PLAN



ELEVATION SERVICE CONNECTION

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 CHECKED: S.Z.L. APPROVED: [Signature]

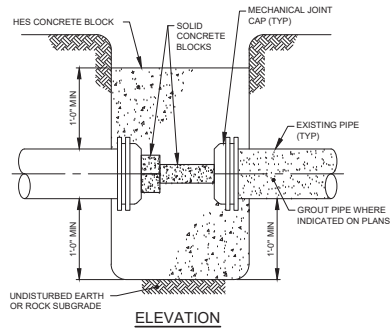
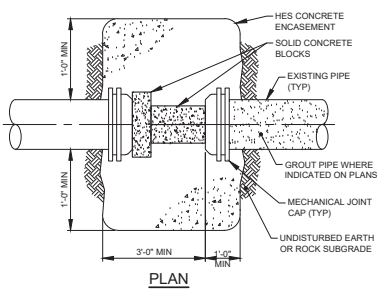
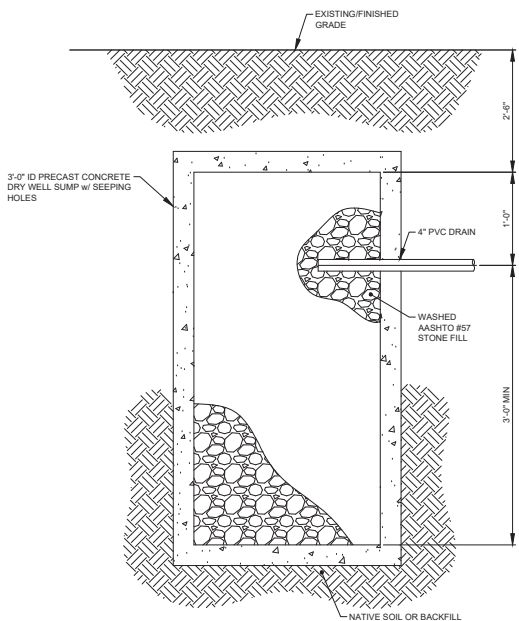
GANNETT FLEMING ENGINEERS AND ARCHITECTS, P.C.

CREAMER
 FLEETNER CREAMER & SON, INC.
 WEST NYACK, ROCKLAND COUNTY, NEW YORK

PFAS COMPLIANCE

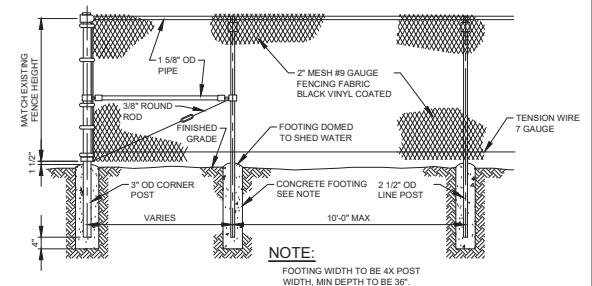
CIVIL TRENCH, PAVING AND PIPING DETAILS

JOB No. 68577
 DATE JANUARY 2024
 SHEET No. CD-1

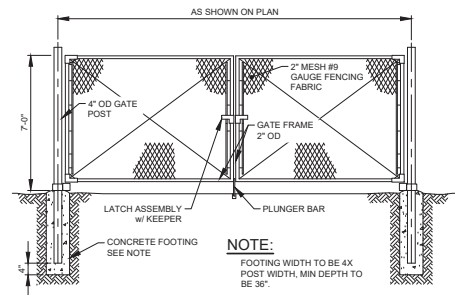


- NOTES:**
1. UNCOVER EXISTING PIPE.
 2. CUT 2'-0" SECTION FROM MAIN IN CENTER OF EXCAVATION.
 3. CAP EXISTING MAIN.
 4. PLACE SOLID CONCRETE BLOCKS AS SHOWN. WEDGE TIGHTLY BETWEEN ENDS OF PIPE CAPS OR PLUGS.
 5. CONCRETE ENCASMENT OPPOSITE CAP MUST BEAR ON UNDISTURBED EARTH.

CUT AND BLOCK
NO SCALE

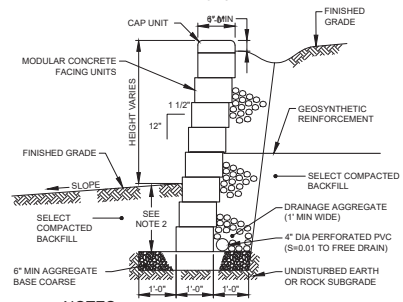


CHAIN LINK FENCE
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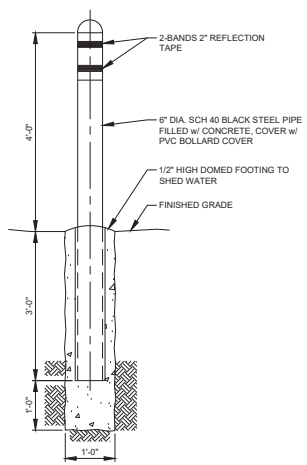
DOUBLE SWING GATE
NO SCALE

GRAVEL SUMP
NO SCALE

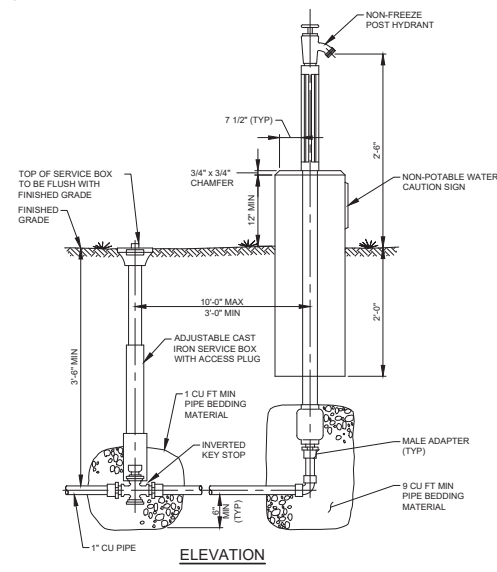


- NOTES:**
1. SEE SITE GRADING PLAN FOR ELEVATIONS.
 2. ALL CONSTRUCTION SHALL CONFORM TO THE MANUFACTURER'S SPECIFICATIONS AND INSTALLATION RECOMMENDATIONS.

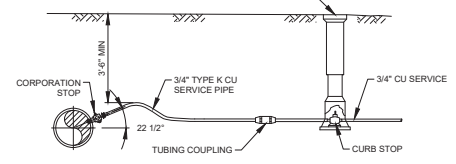
MODULAR CONCRETE RETAINING WALL
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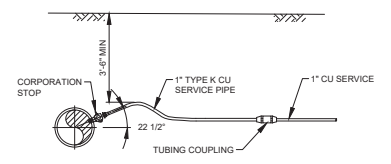
PIPE BOLLARD
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YARD HYDRANT
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RECYCLE CONNECTION
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YARD HYDRANT CONNECTION
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S.Z.L.		

GANNETT FLEMING ENGINEERS AND ARCHITECTS, P.C.

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
SUEZ WATER NEW YORK INC.
WEST NYACK, ROCKLAND COUNTY, NEW YORK

PFAS COMPLIANCE

CIVIL
MISCELLANEOUS DETAILS

JOB No.	SHEET No.
68577	CD-2
DATE	
JANUARY 2024	

SHADED FACILITIES

-  MASONRY WALL (PLANS AND SECTIONS)
-  FILL CONCRETE (USED ON SECTIONS)
-  REINFORCED CONCRETE (USED ON SECTIONS)

CHEMICAL FEED SYSTEMS

- A - ALUM
- AC - ALTERNATE COAGULANT
- AM - AMMONIA
- CA - COAGULANT AID
- CD - CHLORINE DIOXIDE
- CI - CORROSION INHIBITOR
- CL - CHLORINE
- CO - CARBON DIOXIDE
- CP - COAGULANT POLYMER
- CS - CAUSTIC SODA
- F - FLUORIDE
- FA - FILTER AID
- FC - FERRIC CHLORIDE
- FS - FERRIC SULFATE
- HP - HYDROGEN PEROXIDE
- HW - HOT WATER
- K - POTASSIUM PERMANGANATE
- L - LIME
- O - OXYGEN
- OZ - OZONE
- PAC - POWDERED ACTIVATED CARBON
- PACL - POLYALUMINUM CHLORIDE
- S - SPARE
- SA - SODA ASH
- SB - SODIUM BISULFITE
- SBP - SLUDGE BLANKET POLYMER
- SC - SODIUM CHLORITE
- SCP - SLUDGE CONDITIONER POLYMER
- SHC - SODIUM HYPOCHLORITE
- SO - SULFUR DIOXIDE
- WCP - WASTEWATER CONDITIONER POLYMER
- 'X' D - 'X' DRAIN
- 'X' F - 'X' FILL
- 'X' V - 'X' VENT

PROCESS PIPING ABBREVIATIONS

- AIR - AIR
- B - BELL
- BW - BACKWASH WATER
- CE - CONTACTOR EFFLUENT
- CI - CLEARWELL INFLUENT
- D - DRAIN
- FE - FILTER EFFLUENT
- FI - FILTER INFLUENT
- FLG - FLANGE
- FR - FILTER RINSE
- FW - FINISHED WATER
- GAC - GRANULAR ACTIVATED CARBON
- MJ - MECHANICAL JOINT
- MW - MIXED WATER
- PE - PLAIN END
- PS - PLANT SERVICE
- RJ - RESTRAINED JOINT
- RW - RAW WATER
- SL - SLUDGE
- SW - SETTLED WATER
- V - VENT
- WW - WASTEWATER
- W - WATER

SAMPLE LINES

- CES - CONTACTOR EFFLUENT SAMPLE
- CIS - CLEARWELL INFLUENT SAMPLE
- FIS - FILTER INFLUENT SAMPLE
- FES - FILTER EFFLUENT SAMPLE
- FWS - FINISHED WATER SAMPLE
- MWS - MIXED WATER SAMPLE
- PES - PLANT EFFLUENT SAMPLE
- PIS - PLANT INFLUENT SAMPLE
- RWS - RAW WATER SAMPLE

PROCESS FLOW ABBREVIATIONS

- CFM - CUBIC FEET PER MINUTE
- CFS - CUBIC FEET PER SECOND
- FPS - FEET PER SECOND
- GPM - GALLONS PER MINUTE
- MGD - MILLION GALLONS PER DAY

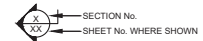
GENERAL ABBREVIATIONS

- CLR - CLEARANCE
- ¢ - CENTERLINE
- CMU - CONCRETE MASONRY UNIT
- DIA - DIAMETER
- EC - ELECTRICAL CONTRACT
- EL or ELEV - ELEVATION
- EX - EXISTING
- FT - FOOT OR FEET
- GC - GENERAL CONTRACT
- ID - INSIDE DIAMETER
- INV - INVERT
- MAX - MAXIMUM
- MC - MECHANICAL CONTRACT
- MIN - MINIMUM
- NA - NOT APPLICABLE
- NTS - NOT TO SCALE
- OD - OUTSIDE DIAMETER
- PC - PLUMBING CONTRACT
- ¢ - PLATE
- SHT - SHEET
- SQ - SQUARE
- STA - STATION
- TYP - TYPICAL
- W - WATER
- WW - WASTEWATER

MATERIAL

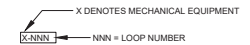
- AL - ALUMINUM
- ACP - ASBESTOS CEMENT PIPE
- CI - CAST IRON
- CIP - CAST IRON PIPE
- CISP - CAST IRON SOIL PIPE
- CMP - CORRUGATED METAL PIPE
- CPVC - CHLORINATED POLYVINYL CHLORIDE PIPE
- CU - COPPER
- DI - DUCTILE IRON
- DIP - DUCTILE IRON PIPE
- FRP - FIBERGLASS REINFORCED PLASTIC
- GI - GALVANIZED IRON
- GLDIP - GLASS LINED DUCTILE IRON PIPE
- HDPE - HIGH DENSITY POLYETHYLENE
- PCCP - PRESTRESSED CONCRETE CYLINDER PIPE
- PEX - CROSS-LINKED POLYETHYLENE
- PVC - POLYVINYL CHLORIDE
- RCCP - REINFORCED CEMENT CONCRETE PIPE
- SS - STAINLESS STEEL
- STL - STEEL

PROCESS SHEET REFERENCE LEGEND



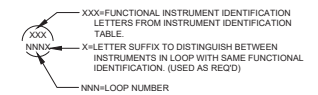
PROCESS INSTRUMENTATION IDENTIFICATION LEGEND

EQUIPMENT TAGGING



* SEE INSTRUMENTATION DRAWINGS FOR INSTRUMENTATION IDENTIFICATION ABBREVIATIONS.

INSTRUMENT & FUNCTION TAGGING



* SEE INSTRUMENTATION DRAWINGS FOR INSTRUMENTATION IDENTIFICATION ABBREVIATIONS.

LINE COMPOSITION

- NEW FACILITIES SHOWN WITH HEAVIER LINE WORK AND BOLDER TEXT THAN EXISTING FACILITIES.

NOTE:

'X' - INSERT CHEMICAL ABBREVIATION AS REQUIRED. (EXAMPLE CSV - CAUSTIC SODA VENT)

THIS SHEET IS FOR PROCESS SYMBOLS AND ABBREVIATIONS ONLY. REFER TO ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR SYMBOLS AND ABBREVIATIONS FOR THAT WORK.

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NO.	DESCRIPTION	DATE	BY	DESIGNED	CADD	SCALE


GANNETT FLEMING
 ENGINEERS AND ARCHITECTS, P.C.


CREMER
 FLETCHER CREMER & SOIL, INC.
MEMBER OF AEC GROUP

SUEZ WATER NEW YORK INC.
 WEST NYACK, ROCKLAND COUNTY, NEW YORK
PFAS COMPLIANCE

PROCESS
PROCESS LEGEND AND ABBREVIATIONS

JOB No. 68577	SHEET No. P-1
DATE JANUARY 2024	

FILE PATH: C:\Users\mcc\Documents\GANNETT FLEMING INC\068577\SuezNY_PFA5_Project_F_and_JL_DB\Project Files\Water\DWG\Process\68577P2.dwg
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© GANNETT FLEMING, INC. 2021

WALL FITTINGS		
DESCRIPTION	SINGLE LINE	THREE LINE
WALL SLEEVE CAULKED (P.E., F. & P.E.)		
WALL SLEEVE MODULAR TYPE SEAL (P.E., F. & P.E.)		
WALL SLEEVE (M.J., F. & M.J.)		
WALL PIPE (F., F. & F.)		
WALL PIPE (B., F. & B.)		
WALL PIPE (B., F. & F.)		
WALL PIPE (M.J., F. & F.)		
WALL PIPE (F., F. & P.E.)		

NOTE: APPLIES TO FLOOR SLEEVES ALSO.

PIPE FITTINGS (CONT.)		
DESCRIPTION	SINGLE LINE	THREE LINE
REDUCER		
ECCENTRIC REDUCER		
BLIND FLANGE		
CLAMPED RESTRAINED COUPLING		
MECHANICAL COUPLING		
RESTRAINED MECH. COUPLING		
FLANGED ADAPTOR	N.A.	
FLANGED ADAPTOR W/ ANCHOR STUDS	N.A.	

VALVE SYMBOLS			
DESCRIPTION	SINGLE LINE	THREE LINE PLAN	THREE LINE ELEVATION
GATE			
BUTTERFLY			
BALL			
BALL CHECK		N.A.	N.A.
CHECK			
DIAPHRAGM		N.A.	N.A.
PLUG			
GLOBE		N.A.	N.A.
PINCH		N.A.	N.A.
NEEDLE		N.A.	N.A.
SOLENOID		N.A.	N.A.
AIR RELEASE	N.A.		
AIR VACUUM	N.A.		
COMBINATION AIR RELEASE - AIR/VACUUM	N.A.		
KINETIC AIR VACUUM	N.A.		
KINETIC COMBINATION AIR RELEASE - AIR VACUUM	N.A.		
PRESSURE REDUCING		N.A.	N.A.
HOSE BIBB			
STOP AND DRAIN			
PRESSURE RELIEF		N.A.	N.A.

PIPE FITTINGS		
DESCRIPTION	SINGLE LINE	THREE LINE
CROSS		
CROSS (VERT.)		
TEE		
TEE (VERT. UP)		
TEE (VERT. DOWN)		
90 ELBOW		
90 ELBOW (VERT. DOWN)		
90 ELBOW (VERT. UP)		
90 LONG RADIUS ELBOW		
45 ELBOW		
90 BASE ELBOW		
45° WYE		
UNION (SCREWED)		N.A.
ADAPTOR		N.A.
HOSE CONNECTION		N.A.

VALVE OPERATOR		
DESCRIPTION	SINGLE LINE	THREE LINE
MANUAL OPERATOR	N.A.	
MOTOR OPERATOR	N.A.	
CYLINDER OPERATOR	N.A.	

PIPE JOINTS		
DESCRIPTION	SINGLE LINE	THREE LINE
FLANGE		
MECHANICAL JOINT		
RESTRAINED JOINT		
PUSH ON OR BELL AND SPIGOT		
THREADED		
VICTAULIC COUPLING		
WELDED	N.A.	

PIPING ACCESSORIES		
DESCRIPTION	SINGLE LINE	THREE LINE
VENTURI METER		
STRAINER		
PRESSURE SWITCH		
PRESSURE GAUGE		
PRESSURE GAUGE W/ PRESSURE SWITCH		
THERMOMETER		
PROPELLER OR TURBINE METER		N.A.
MAGNETIC FLOWMETER		

NO.	DESCRIPTION	DATE	BY

DESIGNED	CADD	SCALE
M.J.C./M.M.S.	M.T.K.	AS NOTED
CHECKED	APPROVED	APPROVED
J.L.R.		

GANNETT FLEMING
 ENGINEERS AND ARCHITECTS, P.C.

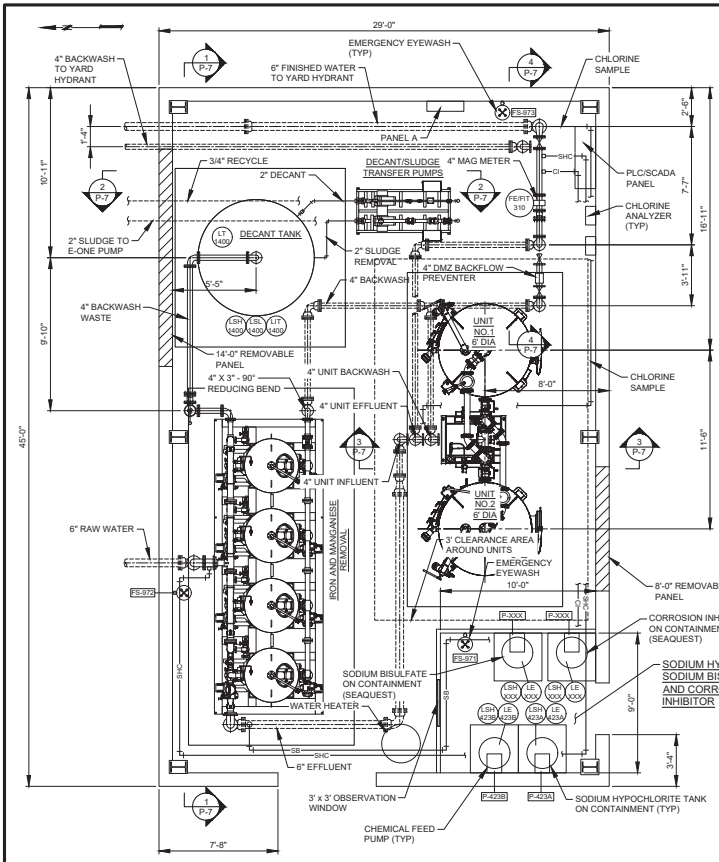
CREMER
 A FLETCHER CREMER & SOIL, INC. MEMBER OF AEC GROUP

SUEZ WATER NEW YORK INC.
 WEST NYACK, ROCKLAND COUNTY, NEW YORK

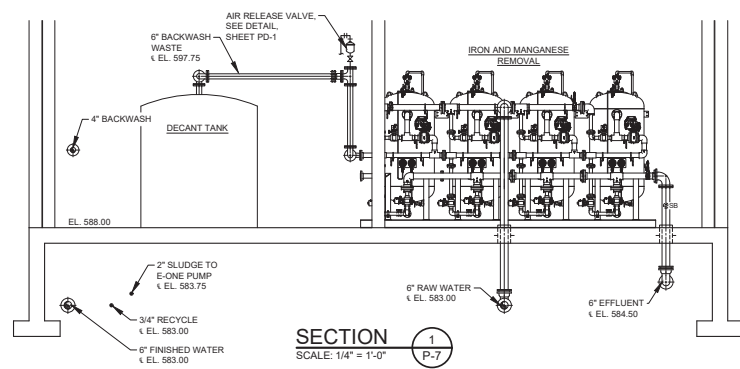
PFAS COMPLIANCE

PROCESS
 PROCESS PIPING SYMBOLS

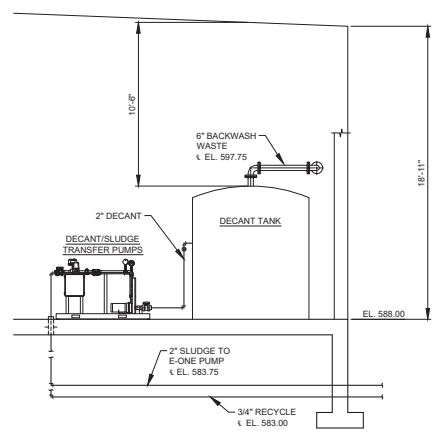
JOB No.	SHEET No.
68577	P-2
DATE	
JANUARY 2024	



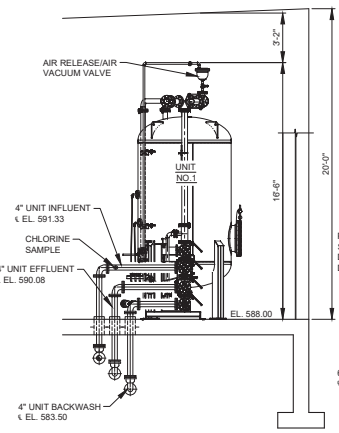
FLOOR PLAN
SCALE 1/4" = 1'-0"



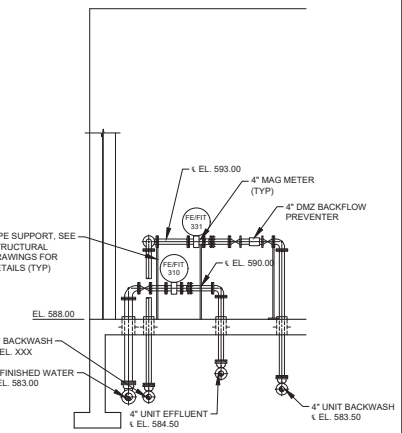
SECTION 1
SCALE: 1/4" = 1'-0"
P-7



SECTION 2
SCALE: 1/4" = 1'-0"
P-7



SECTION 3
SCALE: 1/4" = 1'-0"
P-7



SECTION 4
SCALE: 1/4" = 1'-0"
P-7

- NOTES**
1. PROVIDE AIR RELEASE/AIR VACUUM VALVES ON TOP OF FILTER AND UNITS.
 2. PROVIDE PRESSURE RELIEF VALVE AT EACH UNIT.

- CHEMICAL PIPING NOTES:**
1. PIPING 3" OR SMALLER TO BE WALL MOUNTED WITH PVC COATED UNISTRUT SUPPORTS UNLESS OTHERWISE NOTED.
 2. ALL SMALL PIPING TO BE MOUNTED A MINIMUM 9'-0" ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED.
 3. PROVIDE DOUBLE CONTAINMENT PIPE FOR CHEMICAL FILL LINES ON THE CHEMICAL SCHEMATICS.
 4. SEE CHEMICAL FEED SYSTEM SCHEMATICS FOR ADDITIONAL SMALL PIPING INFORMATION.
 5. CHEMICAL PIPING OUTSIDE CONTAINMENT AREA TO BE DOUBLE CONTAINMENT PIPE.

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				CHECKED	APPROVED	APPROVED

GANNETT FLEMING ENGINEERS AND ARCHITECTS, P.C.

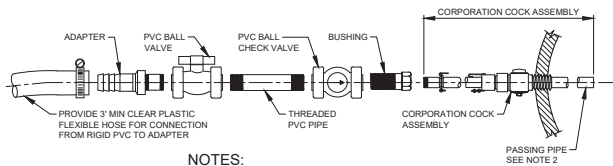
CREAMER
FLETCHER CREAMER & SOIL, INC.
MEMBER OF AEC GROUP

SUEZ WATER NEW YORK INC.
WEST NYACK, ROCKLAND COUNTY, NEW YORK

PFAS COMPLIANCE

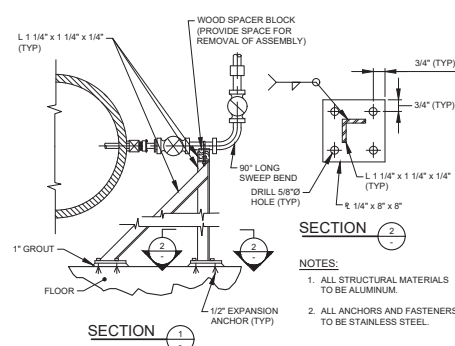
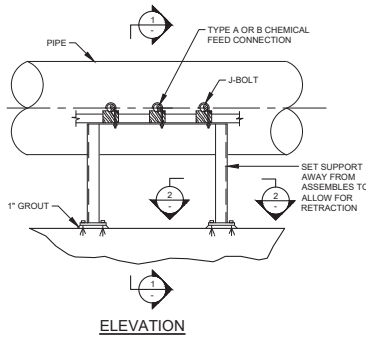
MAHOPAC WELLS PROCESS FLOOR PLAN AND SECTIONS

JOB No. 68577	SHEET No. P-501
DATE JANUARY 2024	



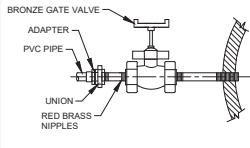
NOTES:

1. TYPE 'A' CONNECTION IS WHERE FEED LINE PROJECTS 1/3 DIA TO 1/2 DIA INTO MAIN.
2. FEED LINES UP TO AND INCLUDING 1" IN SIZE SHALL USE A 1/2" PASSING PIPE IN THE ASSEMBLY. ALL LARGER FEED LINES SHALL USE A 1 1/2" PASSING PIPE.



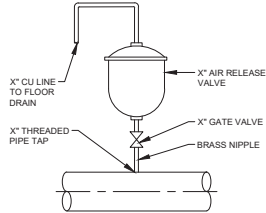
TYPE 'A' CONNECTION

NO SCALE



TYPE 'C' CONNECTION

NO SCALE



NOTE:

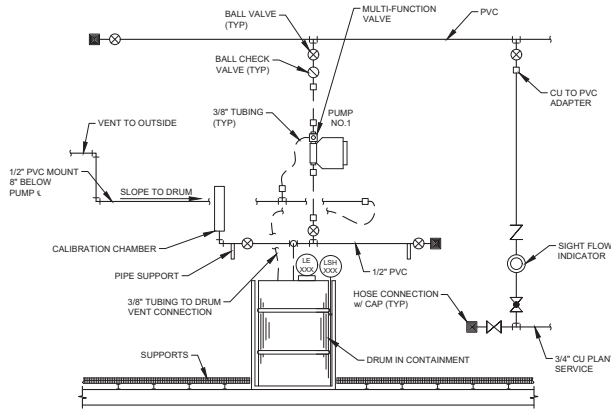
'X' = SIZE OF AIR VALVE NOTED ON PLANS.

AIR RELEASE VALVE

NO SCALE

FLOOR SUPPORT FOR CHEMICAL FEED CONNECTIONS

NO SCALE



TYPICAL CHEMICAL SCHEMATIC

NO SCALE

FILE PATH: C:\Users\mcc\Documents\GANNETT FLEMING\INC\08677\SuezNY_PFA_S\Project_F_and_J\DBA\Project Files\Water\DWG\Process\68577\FD-1.dwg DATE SAVED: 11/05/2021 3:22 PM BY: mcc

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DESIGNED	CADD	SCALE
CHECKED	APPROVED	APPROVED
	K.R.S.	AS NOTED

GANNETT FLEMING ENGINEERS AND ARCHITECTS, P.C.

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ELECTRICAL ENGINEERS & SOIL, INC.
MEMBER OF AEP GROUP

SUEZ WATER NEW YORK INC.
WEST NYACK, ROCKLAND COUNTY, NEW YORK

PFAS COMPLIANCE

PROCESS
DETAILS AND CHEMICAL
FEED SYSTEM SCHEMATIC

JOB No.	SHEET No.
68577	PD-1
DATE	
JANUARY 2024	

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DESIGNED	CADD	SCALE
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	APPROVED	APPROVED

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 FLEETCHER CREAMER & SOIL, INC.
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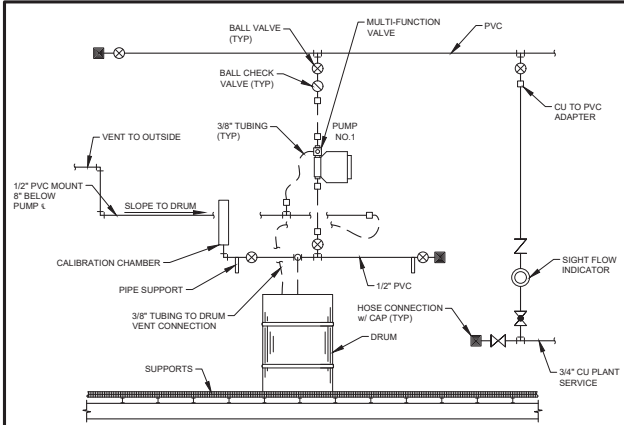
PFAS COMPLIANCE

PROCESS
 CHEMICAL FEED SYSTEM SCHEMATICS

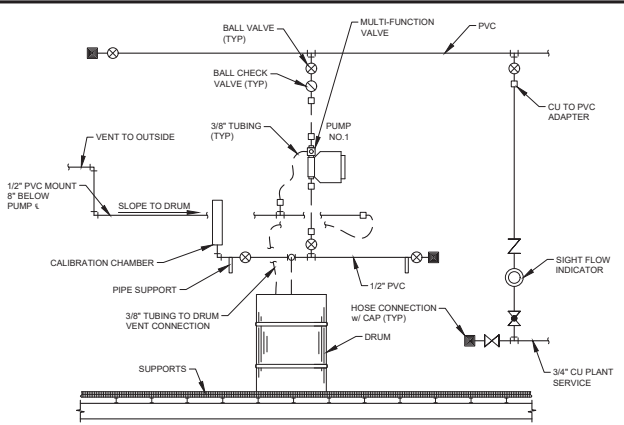
JOB No.
 68577

DATE
 JANUARY 2024

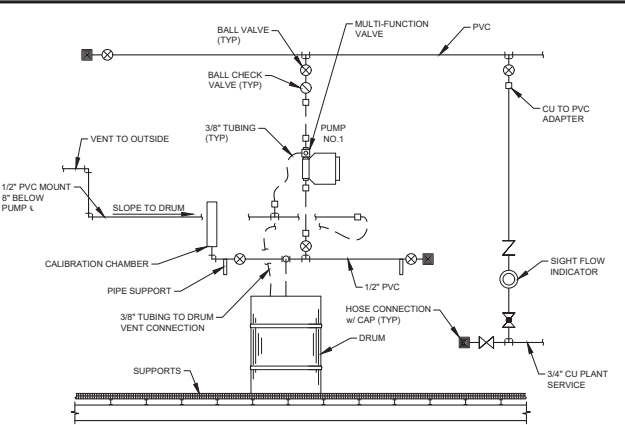
SHEET No.
 PD-2



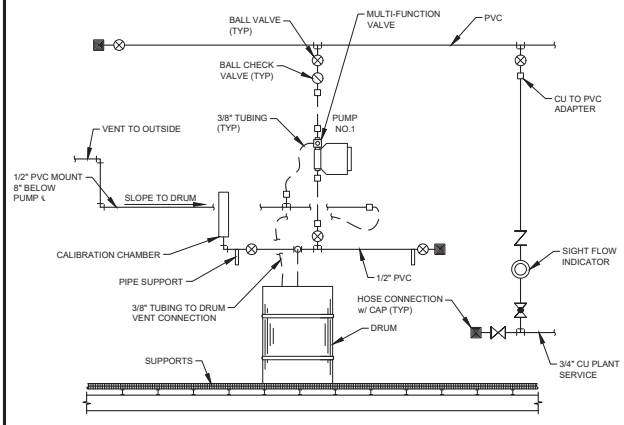
SODIUM HYPCHLORITE SCHEMATIC
 CHATEAU
 NO SCALE



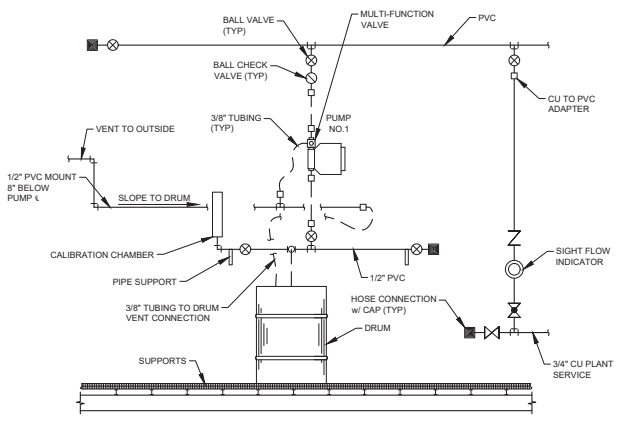
CORROSION INHIBITOR SCHEMATIC
 MAHOPAC
 NO SCALE



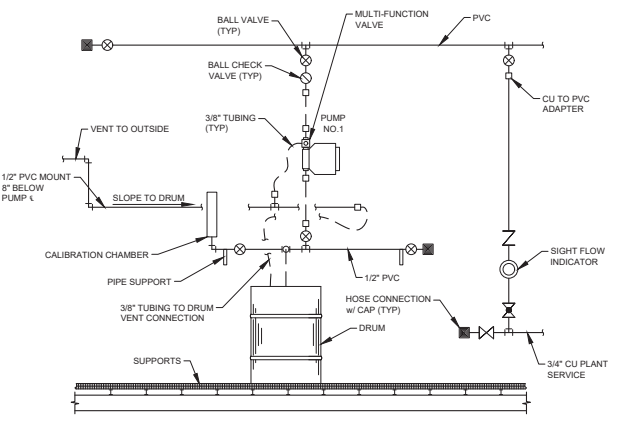
SODIUM HYPCHLORITE SCHEMATIC
 MAHOPAC
 NO SCALE



SODIUM HYPCHLORITE SCHEMATIC
 ARCHER
 NO SCALE



CORROSION INHIBITOR SCHEMATIC
 ARCHER
 NO SCALE



CAUSTIC SODA SCHEMATIC
 ARCHER
 NO SCALE

**APPENDIX C
BACKWASH LABORATORY
TEST RESULTS**



Friday, August 13, 2021

Attn: Roy Barticciotto
CEMCO Water & Wastewater Specialists Inc
59 Healey Lane
Stormville, NY 12582

Project ID: MAHPOPAC TREATMENT TRAILER
SDG ID: GCI88573
Sample ID#s: CI88573

This laboratory is in compliance with the NELAC requirements of procedures used except where indicated.

This report contains results for the parameters tested, under the sampling conditions described on the Chain Of Custody, as received by the laboratory. This report is incomplete unless all pages indicated in the pagination at the bottom of the page are included.

A scanned version of the COC form accompanies the analytical report and is an exact duplicate of the original.

If you are the client above and have any questions concerning this testing, please do not hesitate to contact Phoenix Client Services at ext.200. The contents of this report cannot be discussed with anyone other than the client listed above without their written consent.

Sincerely yours,

A handwritten signature in black ink that reads "Phyllis Shiller". The signature is written in a cursive style.

Phyllis Shiller

Laboratory Director

NELAC - #NY11301
CT Lab Registration #PH-0618
MA Lab Registration #M-CT007
ME Lab Registration #CT-007
NH Lab Registration #213693-A,B

NJ Lab Registration #CT-003
NY Lab Registration #11301
PA Lab Registration #68-03530
RI Lab Registration #63
UT Lab Registration #CT00007
VT Lab Registration #VT11301



Environmental Laboratories, Inc.
587 East Middle Turnpike, P.O.Box 370, Manchester, CT 06045
Tel. (860) 645-1102 Fax (860) 645-0823



Sample Id Cross Reference

August 13, 2021

SDG I.D.: GC188573

Project ID: MAHPOPAC TREATMENT TRAILER

Client Id	Lab Id	Matrix
BACKWASH	CI88573	WATER



Environmental Laboratories, Inc.
 587 East Middle Turnpike, P.O.Box 370, Manchester, CT 06045
 Tel. (860) 645-1102 Fax (860) 645-0823



Analysis Report

August 13, 2021

FOR: Attn: Roy Barticcio
 CEMCO Water & Wastewater Specialists Inc
 59 Healey Lane
 Stormville, NY 12582

Sample Information

Matrix: WATER
 Location Code: CEMCO
 Rush Request: Standard
 P.O.#:

Custody Information

Collected by:
 Received by: LB
 Analyzed by: see "By" below

Date

08/04/21
 08/04/21

Time

11:00
 17:34

Laboratory Data

SDG ID: GCI88573
 Phoenix ID: CI88573

Project ID: MAHPOPAC TREATMENT TRAILER
 Client ID: BACKWASH

Parameter	Result	RL/ PQL	Units	Dilution	Date/Time	By	Reference
B.O.D./5 day	< 4.0	4.0	mg/L	2	08/04/21 17:34	J/LJ	SM 5210B-11
B.O.D./5 day End Incubation					08/09/21 15:00	J/LJ	SM 5210B-11
Chlorine Demand	2.00	0.1	mg/L	1	08/13/21	KDB	SM2350
C.O.D.	59	10	mg/L	1	08/05/21	QH	SM 5220D-11
Ammonia as Nitrogen	0.18	0.10	mg/L	2	08/11/21	KDB	E350.1
Oil and Grease by EPA 1664A	< 1.4	1.4	mg/L	1	08/06/21	BJA	EPA 1664
pH	7.92	1.00	pH Units	1	08/05/21 01:25	MW/EG	SM4500-H B-11
Nitrogen Tot Kjeldahl	0.60	0.20	mg/L	2	08/11/21	KDB	E351.1
Phosphorus, as P	0.11	0.10	mg/L	10	08/06/21	JR	SM4500PE-11
Total Suspended Solids	100	6.3	mg/L	1.3	08/05/21	MCH/QH	SM 2540D-11

1 = This parameter is not certified by the primary accrediting authority (NY NELAC) for this matrix. NY NELAC does not offer certification for all parameters at this time.

RL/PQL=Reporting/Practical Quantitation Level (Equivalent to NELAC LOQ, Limit of Quantitation) ND=Not Detected at RL/PQL
 BRL=Below Reporting Level L=Biased Low

Comments:

The regulatory hold time for pH is immediately. This pH was performed in the laboratory and may be considered outside of hold-time.

If you are the client above and have any questions concerning this testing, please do not hesitate to contact Phoenix Client Services at ext.200. The contents of this report cannot be discussed with anyone other than the client listed above without their written consent.

Phyllis Shiller, Laboratory Director

August 13, 2021

Reviewed and Released by: Helen Geoghegan, Project Manager



Environmental Laboratories, Inc.
 587 East Middle Turnpike, P.O.Box 370, Manchester, CT 06045
 Tel. (860) 645-1102 Fax (860) 645-0823



QA/QC Report

August 13, 2021


QA/QC Data

SDG I.D.: GCI88573

Parameter	Blank	Blk RL	Sample Result	Dup Result	Dup RPD	LCS %	LCSD %	LCS RPD	MS %	MSD %	MS RPD	% Rec Limits	% RPD Limits
QA/QC Batch 586491 (pH), QC Sample No: CI88378 (CI88573)													
pH			8.4	8.16	2.90	97.9						85 - 115	20
QA/QC Batch 586721 (mg/L), QC Sample No: CI88387 (CI88573)													
Phosphorus, as P	BRL	0.01	0.019	0.022	NC	95.2			104			85 - 115	20
Comment: Additional criteria matrix spike acceptance range is 75-125%.													
QA/QC Batch 586589 (mg/L), QC Sample No: CI88430 (CI88573)													
C.O.D.	BRL	10	31	31	NC	104			105			85 - 115	20
Comment: Additional criteria matrix spike acceptance range is 75-125%.													
QA/QC Batch 586542 (mg/L), QC Sample No: CI88558 (CI88573)													
Total Suspended Solids	BRL	2.5	<3.3	<3.5	NC	93.0						85 - 115	20
QA/QC Batch 586394 (mg/L), QC Sample No: CI88570 (CI88573)													
B.O.D./5 day	BRL	2.0	<4.0	<4.0	NC	100			92.5			70 - 130	20
B.O.D./5 day GGA BOD						111						84 - 115	20
QA/QC Batch 586699 (mg/L), QC Sample No: CI89235 (CI88573)													
Oil and Grease by EPA 1664A	BRL	1.4	<1.4	<1.4	NC	103			97.0			85 - 115	20
Comment: Additional: MS acceptance range 75-125%.													
QA/QC Batch 587135 (mg/L), QC Sample No: CI88389 (CI88573)													
Ammonia as Nitrogen	BRL	0.05	21.8	21.9	0.50	96.1			101			90 - 110	20
Nitrogen Tot Kjeldahl	BRL	0.10	28.8	29.34	1.90	99.0			104			85 - 115	20
Comment: TKN is reported as Organic Nitrogen in the Blank, LCS, DUP and MS.													

If there are any questions regarding this data, please call Phoenix Client Services at extension 200.

- RPD - Relative Percent Difference
- LCS - Laboratory Control Sample
- LCSD - Laboratory Control Sample Duplicate
- MS - Matrix Spike
- MS Dup - Matrix Spike Duplicate
- NC - No Criteria
- Intf - Interference


 Phyllis Shiller, Laboratory Director
 August 13, 2021

Friday, August 13, 2021

Criteria: None

State: NY

Sample Criteria Exceedances Report

GCI88573 - CEMCO

SampNo	Acode	Phoenix Analyte	Criteria	Result	RL	Criteria	RL Criteria	Analysis Units
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*** No Data to Display ***

Phoenix Laboratories does not assume responsibility for the data contained in this exceedance report. It is provided as an additional tool to identify requested criteria exceedences. All efforts are made to ensure the accuracy of the data (obtained from appropriate agencies). A lack of exceedence information does not necessarily suggest conformance to the criteria. It is ultimately the site professional's responsibility to determine appropriate compliance.



Environmental Laboratories, Inc.
587 East Middle Turnpike, P.O.Box 370, Manchester, CT 06045
Tel. (860) 645-1102 Fax (860) 645-0823



Analysis Comments

August 13, 2021

SDG I.D.: GCI88573

The following analysis comments are made regarding exceptions to criteria not already noted in the Analysis Report or QA/QC Report: None.



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NY Temperature Narration

August 13, 2021

SDG I.D.: GCI88573

The samples in this delivery group were received at 1.4°C.
(Note acceptance criteria for relevant matrices is above freezing up to 6°C)



Monday, September 13, 2021

Attn: Roy Barticciotto
CEMCO Water & Wastewater Specialists Inc
59 Healey Lane
Stormville, NY 12582

Project ID: MAHOPAC TREATMENT TRAILER
SDG ID: GCJ19988
Sample ID#s: CJ19988

This laboratory is in compliance with the NELAC requirements of procedures used except where indicated.

This report contains results for the parameters tested, under the sampling conditions described on the Chain Of Custody, as received by the laboratory. This report is incomplete unless all pages indicated in the pagination at the bottom of the page are included.

A scanned version of the COC form accompanies the analytical report and is an exact duplicate of the original.

If you are the client above and have any questions concerning this testing, please do not hesitate to contact Phoenix Client Services at ext.200. The contents of this report cannot be discussed with anyone other than the client listed above without their written consent.

Sincerely yours,

A handwritten signature in black ink that reads "Phyllis Shiller". The signature is written in a cursive style.

Phyllis Shiller

Laboratory Director

NELAC - #NY11301
CT Lab Registration #PH-0618
MA Lab Registration #M-CT007
ME Lab Registration #CT-007
NH Lab Registration #213693-A,B

NJ Lab Registration #CT-003
NY Lab Registration #11301
PA Lab Registration #68-03530
RI Lab Registration #63
UT Lab Registration #CT00007
VT Lab Registration #VT11301



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Sample Id Cross Reference

September 13, 2021

SDG I.D.: GCJ19988

Project ID: MAHOPAC TREATMENT TRAILER

Client Id	Lab Id	Matrix
BACKWASH	CJ19988	WASTE WATER



Environmental Laboratories, Inc.
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 Tel. (860) 645-1102 Fax (860) 645-0823



Analysis Report

September 13, 2021

FOR: Attn: Roy Barticcio
 CEMCO Water & Wastewater Specialists Inc
 59 Healey Lane
 Stormville, NY 12582

Sample Information

Matrix: WASTE WATER
 Location Code: CEMCO
 Rush Request: Standard
 P.O.#:

Custody Information

Collected by:
 Received by: LB
 Analyzed by: see "By" below

Date

09/03/21
 09/03/21

Time

11:00
 17:05

Laboratory Data

SDG ID: GCJ19988
 Phoenix ID: CJ19988

Project ID: MAHOPAC TREATMENT TRAILER
 Client ID: BACKWASH

Parameter	Result	RL/ PQL	LOD/ MDL	Units	Dilution	Date/Time	By	Reference
Silver	0.002	0.001		mg/L	1	09/08/21	EK	E200.7
Arsenic	< 0.002	0.002		mg/L	1	09/08/21	EK	E200.7
Cadmium	< 0.001	0.001		mg/L	1	09/08/21	EK	E200.7
Chromium	0.004	0.001		mg/L	1	09/08/21	EK	E200.7
Copper	0.022	0.003		mg/L	1	09/08/21	EK	E200.7
Mercury	< 0.0002	0.0002		mg/L	1	09/08/21	AT	E245.1
Manganese	15.4	0.050		mg/L	100	09/09/21	EK	E200.7
Molybdenum	< 0.003	0.003		mg/L	1	09/08/21	EK	E200.7
Nickel	0.013	0.001		mg/L	1	09/08/21	EK	E200.7
Lead	0.003	0.001		mg/L	1	09/08/21	EK	E200.7
Selenium	< 0.005	0.005		mg/L	1	09/08/21	EK	E200.7
Zinc	0.294	0.002		mg/L	1	09/08/21	EK	E200.7
B.O.D./5 day	< 40	40		mg/L	30	09/03/21 17:05	A/LJ	SM 5210B-11
B.O.D./5 day End Incubation						09/08/21 15:01	A/LJ	SM 5210B-11
Ammonia as Nitrogen	0.10	0.05		mg/L	1	09/10/21	KDB	E350.1
Oil and Grease by EPA 1664A	< 1.4	1.4		mg/L	1	09/11/21	MSF	EPA 1664
Total Cyanide	< 0.020	0.020		mg/L	2	09/13/21	ARC/GD	E335.4
Phosphorus, as P	0.203	0.010		mg/L	1	09/09/21	JR	SM4500PE-11
Total Suspended Solids	210	13		mg/L	2.5	09/08/21	AMM/ARGSM	2540D-11
Mercury Digestion	Completed					09/05/21	AB/AB	E245.1
Total Metals Digestion	Completed					09/07/21	AG	

Acrolein, Acrylonitrile, 2 CEVE

2-Chloroethyl vinyl ether	ND	5.0	5.0	ug/L	1	09/03/21	MH	E624.1 As is
Acrolein	ND	5.0	1.0	ug/L	1	09/03/21	MH	E624.1 As is
Acrylonitrile	ND	5.0	0.50	ug/L	1	09/03/21	MH	E624.1 As is

Parameter	Result	RL/ PQL	LOD/ MDL	Units	Dilution	Date/Time	By	Reference
<u>Volatiles</u>								
1,1,1-Trichloroethane	ND	5.0	0.50	ug/L	1	09/03/21	MH	E624.1
1,1,2,2-tetrachloroethane	ND	5.0	0.50	ug/L	1	09/03/21	MH	E624.1
1,1,2-Trichloroethane	ND	5.0	0.50	ug/L	1	09/03/21	MH	E624.1
1,1-Dichloroethane	ND	5.0	0.50	ug/L	1	09/03/21	MH	E624.1
1,1-Dichloroethene	ND	5.0	0.50	ug/L	1	09/03/21	MH	E624.1
1,2-Dichlorobenzene	ND	5.0	0.50	ug/L	1	09/03/21	MH	E624.1
1,2-Dichloroethane	ND	5.0	0.50	ug/L	1	09/03/21	MH	E624.1
1,2-Dichloropropane	ND	5.0	0.50	ug/L	1	09/03/21	MH	E624.1
1,3-Dichlorobenzene	ND	5.0	0.50	ug/L	1	09/03/21	MH	E624.1
1,3-Dichloropropene	ND	5.0	5.0	ug/L	1	09/03/21	MH	E624.1
1,4-Dichlorobenzene	ND	5.0	0.50	ug/L	1	09/03/21	MH	E624.1
Benzene	ND	5.0	0.50	ug/L	1	09/03/21	MH	E624.1
Bromodichloromethane	9.1	5.0	0.50	ug/L	1	09/03/21	MH	E624.1
Bromoform	0.89	J 5.0	0.50	ug/L	1	09/03/21	MH	E624.1
Bromomethane	ND	5.0	0.50	ug/L	1	09/03/21	MH	E624.1
Carbon tetrachloride	ND	5.0	0.50	ug/L	1	09/03/21	MH	E624.1
Chlorobenzene	ND	5.0	0.50	ug/L	1	09/03/21	MH	E624.1
Chloroethane	ND	5.0	0.50	ug/L	1	09/03/21	MH	E624.1
Chloroform	9.5	5.0	0.50	ug/L	1	09/03/21	MH	E624.1
Chloromethane	ND	5.0	0.50	ug/L	1	09/03/21	MH	E624.1
cis-1,2-Dichloroethene	ND	5.0	0.50	ug/L	1	09/03/21	MH	E624.1
cis-1,3-Dichloropropene	ND	5.0	0.50	ug/L	1	09/03/21	MH	E624.1
Dibromochloromethane	6.3	5.0	0.50	ug/L	1	09/03/21	MH	E624.1
Ethylbenzene	ND	5.0	0.50	ug/L	1	09/03/21	MH	E624.1
m&p-Xylenes	ND	5.0	0.50	ug/L	1	09/03/21	MH	E624.1
Methyl t-butyl ether (MTBE)	ND	5.0	0.50	ug/L	1	09/03/21	MH	E624.1
Methylene chloride	ND	5.0	0.50	ug/L	1	09/03/21	MH	E624.1
o-Xylene	ND	5.0	0.45	ug/L	1	09/03/21	MH	E624.1
Tetrachloroethene	ND	5.0	0.50	ug/L	1	09/03/21	MH	E624.1
Toluene	0.52	J 5.0	0.50	ug/L	1	09/03/21	MH	E624.1
Total Xylenes	ND	5.0	5.0	ug/L	1	09/03/21	MH	E624.1
trans-1,2-Dichloroethene	ND	5.0	0.50	ug/L	1	09/03/21	MH	E624.1
trans-1,3-Dichloropropene	ND	5.0	0.50	ug/L	1	09/03/21	MH	E624.1
Trichloroethene	ND	5.0	0.50	ug/L	1	09/03/21	MH	E624.1
Trichlorofluoromethane	ND	5.0	0.50	ug/L	1	09/03/21	MH	E624.1
Vinyl chloride	ND	5.0	0.50	ug/L	1	09/03/21	MH	E624.1
<u>QA/QC Surrogates</u>								
% 1,2-dichlorobenzene-d4	101			%	1	09/03/21	MH	70 - 130 %
% Bromofluorobenzene	97			%	1	09/03/21	MH	70 - 130 %
% Dibromofluoromethane	106			%	1	09/03/21	MH	70 - 130 %
% Toluene-d8	102			%	1	09/03/21	MH	70 - 130 %

Parameter	Result	RL/ PQL	LOD/ MDL	Units	Dilution	Date/Time	By	Reference
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1 = This parameter is not certified by the primary accrediting authority (NY NELAC) for this matrix. NY NELAC does not offer certification for all parameters at this time.

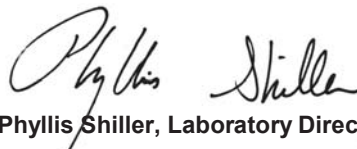
RL/PQL=Reporting/Practical Quantitation Level (Equivalent to NELAC LOQ, Limit of Quantitation) ND=Not Detected at RL/PQL
BRL=Below Reporting Level L=Biased Low J=Estimated Below RL LOD=Limit of Detection MDL=Method Detection Limit1
QA/QC Surrogates: Surrogates are compounds (preceded with a %) added by the lab to determine analysis efficiency. Surrogate results(%) listed in the report are not "detected" compounds.

Comments:

Total Cyanide:

Chlorine was present; Sample was de-chlorinated prior to digestion/analysis. (EPA requires dechlorination at time of sampling.) A sample bias can not be ruled out.

If you are the client above and have any questions concerning this testing, please do not hesitate to contact Phoenix Client Services at ext.200. The contents of this report cannot be discussed with anyone other than the client listed above without their written consent.



Phyllis Shiller, Laboratory Director

September 13, 2021

Reviewed and Released by: Helen Geoghegan, Project Manager



Environmental Laboratories, Inc.
 587 East Middle Turnpike, P.O.Box 370, Manchester, CT 06045
 Tel. (860) 645-1102 Fax (860) 645-0823



QA/QC Report

September 13, 2021

QA/QC Data

SDG I.D.: GCJ19988

Parameter	Blank	Blk RL	Sample Result	Dup Result	Dup RPD	LCS %	LCSD %	LCS RPD	MS %	MSD %	MS RPD	% Rec Limits	% RPD Limits
QA/QC Batch 590698 (mg/L), QC Sample No: CJ19853 (CJ19988)													
Mercury - Water	BRL	0.0002	<0.0002	<0.0002	NC	96.0			99.9			80 - 120	20
Comment:													
Additional Mercury criteria: LCS acceptance range for waters is 80-120% and for soils is 70-130%. MS acceptance range is 75-125%.													
QA/QC Batch 590802 (mg/L), QC Sample No: CJ20437 (CJ19988)													
<u>ICP Metals - Aqueous</u>													
Arsenic	BRL	0.0020	<0.002	<0.0020	NC	97.5	97.0	0.5	96.2			80 - 120	20
Cadmium	BRL	0.0005	<0.001	<0.0005	NC	97.2	96.8	0.4	93.0			80 - 120	20
Chromium	BRL	0.0005	<0.001	0.0007	NC	97.6	96.8	0.8	94.3			80 - 120	20
Copper	BRL	0.0025	0.009	0.0084	NC	101	100	1.0	102			80 - 120	20
Lead	BRL	0.0010	<0.001	<0.0010	NC	98.7	98.6	0.1	95.8			80 - 120	20
Manganese	BRL	0.0005	0.160	0.160	0	98.9	98.6	0.3	95.0			80 - 120	20
Molybdenum	BRL	0.0025	<0.003	<0.0025	NC	100	99.0	1.0	97.2			80 - 120	20
Nickel	BRL	0.0005	0.005	0.0045	10.5	98.7	98.4	0.3	94.8			80 - 120	20
Selenium	BRL	0.0050	<0.005	<0.0050	NC	90.9	90.8	0.1	88.9			80 - 120	20
Silver	BRL	0.0005	<0.001	<0.0005	NC	95.4	95.8	0.4	96.4			80 - 120	20
Zinc	BRL	0.0020	0.083	0.0819	1.30	95.8	95.4	0.4	94.5			80 - 120	20

Comment:

Additional Criteria: LCS acceptance range is 80-120% MS acceptance range 75-125%.



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QA/QC Report

September 13, 2021

QA/QC Data

SDG I.D.: GCJ19988

Parameter	Blank	Blk RL	Sample Result	Dup Result	Dup RPD	LCS %	LCSD %	LCS RPD	MS %	MSD %	MS RPD	% Rec Limits	% RPD Limits
QA/QC Batch 591319 (mg/L), QC Sample No: CJ21229 (CJ19988)													
Total Cyanide	BRL	0.010	0.102	0.103	1.00	102			94.0			90 - 110	20
Comment:													
Additional: LCS acceptance range is 80-120% for soils MS acceptance range 75-125% for soils													
QA/QC Batch 590611 (mg/L), QC Sample No: CJ19902 (CJ19988 (10X))													
B.O.D./5 day	BRL	2.0	<4.0	<4.0	NC	102			104			70 - 130	20
B.O.D./5 day GGA BOD						107						84 - 115	20
QA/QC Batch 590946 (mg/L), QC Sample No: CJ19903 (CJ19988)													
Total Suspended Solids	BRL	2.5	6.7	7.3	NC	108						85 - 115	20
QA/QC Batch 591534 (mg/L), QC Sample No: CJ19988 (CJ19988)													
Oil and Grease by EPA 1664A	BRL	1.4				96.0	98.0	2.1				85 - 115	20
Comment:													
Additional: MS acceptance range 75-125%.													
QA/QC Batch 591165 (mg/L), QC Sample No: CJ20520 (CJ19988)													
Phosphorus, as P	BRL	0.01	4.10	4.19	2.20	97.8			101			85 - 115	20
Comment:													
Additional criteria matrix spike acceptance range is 75-125%.													
QA/QC Batch 591233 (mg/L), QC Sample No: CJ19322 (CJ19988)													
Ammonia as Nitrogen	BRL	0.05	<0.10	0.12	NC	94.9			100			90 - 110	20



Environmental Laboratories, Inc.
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QA/QC Report

September 13, 2021

QA/QC Data

SDG I.D.: GCJ19988

Parameter	Blank	Blk RL	LCS %	LCSD %	LCS RPD	MS %	MSD %	MS RPD	% Rec Limits	% RPD Limits
QA/QC Batch 590759 (ug/L), QC Sample No: CJ19372 (CJ19988)										
<u>Volatiles - Waste Water</u>										
1,1,1-Trichloroethane	ND	1.0	84	84	0.0				75 - 125	20
1,1,2,2-Tetrachloroethane	ND	0.50	81	80	1.2				60 - 140	20
1,1,2-Trichloroethane	ND	1.0	90	89	1.1				71 - 129	20
1,1-Dichloroethane	ND	1.0	95	92	3.2				72 - 128	20
1,1-Dichloroethene	ND	1.0	81	81	0.0				50 - 150	20
1,2-Dichlorobenzene	ND	1.0	87	86	1.2				63 - 137	20
1,2-Dichloroethane	ND	1.0	91	89	2.2				68 - 132	20
1,2-Dichloropropane	ND	1.0	98	98	0.0				40 - 160	20
1,3-Dichlorobenzene	ND	1.0	92	90	2.2				73 - 127	20
1,4-Dichlorobenzene	ND	1.0	85	84	1.2				63 - 137	20
2 chlorethyl vinyl ether	ND	1.0	84	80	4.9				50 - 150	20
Acrolein	ND	5.0	90	88	2.2				50 - 150	20
Acrylonitrile	ND	5.0	83	80	3.7				50 - 150	20
Benzene	ND	0.70	97	95	2.1				64 - 136	20
Bromodichloromethane	ND	0.50	92	91	1.1				65 - 135	20
Bromoform	ND	1.0	77	75	2.6				71 - 129	20
Bromomethane	ND	1.0	90	89	1.1				40 - 160	20
Carbon tetrachloride	ND	1.0	91	91	0.0				73 - 127	20
Chlorobenzene	ND	1.0	89	87	2.3				66 - 134	20
Chloroethane	ND	1.0	89	89	0.0				40 - 160	20
Chloroform	ND	1.0	90	89	1.1				67 - 133	20
Chloromethane	ND	1.0	93	93	0.0				40 - 160	20
cis-1,2-Dichloroethene	ND	1.0	99	99	0.0				69 - 131	20
cis-1,3-Dichloropropene	ND	0.40	101	99	2.0				40 - 160	20
Dibromochloromethane	ND	0.50	87	83	4.7				67 - 133	20
Ethylbenzene	ND	1.0	91	88	3.4				59 - 141	20
m&p-Xylene	ND	1.0	91	90	1.1				70 - 130	30
Methyl t-butyl ether (MTBE)	ND	1.0	94	92	2.2				70 - 130	30
Methylene chloride	ND	1.0	98	97	1.0				60 - 140	20
o-Xylene	ND	1.0	96	93	3.2				70 - 130	30
Tetrachloroethene	ND	1.0	83	83	0.0				73 - 127	20
Toluene	ND	1.0	93	91	2.2				74 - 126	20
trans-1,2-Dichloroethene	ND	1.0	92	92	0.0				69 - 131	20
trans-1,3-Dichloropropene	ND	0.40	96	94	2.1				50 - 150	20
Trichloroethene	ND	1.0	87	86	1.2				66 - 134	20
Trichlorofluoromethane	ND	1.0	82	82	0.0				48 - 152	20
Vinyl chloride	ND	1.0	93	94	1.1				40 - 160	20
% 1,2-dichlorobenzene-d4	103	%	97	98	1.0				70 - 130	30
% Bromofluorobenzene	99	%	101	100	1.0				70 - 130	30
% Dibromofluoromethane	127	%	101	103	2.0				70 - 130	30
% Toluene-d8	104	%	102	102	0.0				70 - 130	30

QA/QC Data

SDG I.D.: GCJ19988

Parameter	Blank	Blk RL	LCS %	LCSD %	LCS RPD	MS %	MSD %	MS RPD	% Rec Limits	% RPD Limits
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Comment:

The MS/MSD are not reported for this batch.

If there are any questions regarding this data, please call Phoenix Client Services at extension 200.

RPD - Relative Percent Difference
LCS - Laboratory Control Sample
LCSD - Laboratory Control Sample Duplicate
MS - Matrix Spike
MS Dup - Matrix Spike Duplicate
NC - No Criteria
Intf - Interference



Phyllis Shiller, Laboratory Director
September 13, 2021

Monday, September 13, 2021

Criteria: None

State: NY

Sample Criteria Exceedances Report

GCJ19988 - CEMCO

SampNo	Acode	Phoenix Analyte	Criteria	Result	RL	Criteria	RL Criteria	Analysis Units
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*** No Data to Display ***

Phoenix Laboratories does not assume responsibility for the data contained in this exceedance report. It is provided as an additional tool to identify requested criteria exceedences. All efforts are made to ensure the accuracy of the data (obtained from appropriate agencies). A lack of exceedence information does not necessarily suggest conformance to the criteria. It is ultimately the site professional's responsibility to determine appropriate compliance.



Environmental Laboratories, Inc.
587 East Middle Turnpike, P.O.Box 370, Manchester, CT 06045
Tel. (860) 645-1102 Fax (860) 645-0823



Analysis Comments

September 13, 2021

SDG I.D.: GCJ19988

The following analysis comments are made regarding exceptions to criteria not already noted in the Analysis Report or QA/QC Report: None.



Environmental Laboratories, Inc.
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Tel. (860) 645-1102 Fax (860) 645-0823



NY Temperature Narration

September 13, 2021

SDG I.D.: GCJ19988

The samples in this delivery group were received at 1.4°C.
(Note acceptance criteria for relevant matrices is above freezing up to 6°C)



NY/NJ CHAIN OF CUSTODY RECORD

587 East Middle Turnpike, P.O. Box 370, Manchester, CT 06040
 Email: info@phoenixlabs.com Fax (860) 645-0823

WC
JPK

Temp 1.4 Pg of

Data Delivery:

Fax #: _____
 Email: Cemco59@gmail.com

Client Services (860) 645-8726

Customer: Cemco Water and Wastewater Specialists, Inc.
 Address: 59 Healey Lane
Stormville, NY 12582

Project: Mahopac Treatment Trailer
 Report to: Cemco
 Invoice to: Cemco

Project P.O.: _____
 Phone #: 845-878-9711
 Fax #: 845-878-6578

Client Sample - Information - Identification

Sampler's Signature: _____ Date: 9/13

Analysis Request

Matrix Code:

DW=drinking water WW=wastewater S=soil/solid O=oil
 GW=groundwater SL=sludge A=air X=other

Phoenix Sample #	Customer Sample Identification	Sample Matrix	Date Sampled	Time Sampled	BOD	TSS	Cyanide	624	metals	oil and grease	ammonia and TP	X	X	X	X	120 ml AS IS	Soil VOA [] Methanol [] S. Bisulfate [] H2O	GL Soil container () oz	GL Soil container () oz	40 ml VOA Vial [] As is [X] HCl	GL Amber 1000ml [] As is [] H2SO4	PL As is [] 250ml [] 500ml [] 1000ml	PL H2SO4 [] 250ml [] 500ml	PL HNO3 250ml	Bacteria Bottle
19988	backwash	ww	9/3/2021	11am	X																				
	backwash	ww	9/3/2021	11am		x																			
	backwash	ww	9/3/2021	11am			x																		
	backwash	ww	9/3/2021	11am				x																	
	backwash	ww	9/3/2021	11am					x																
	backwash	ww	9/3/2021	11am						x															
	backwash	ww	9/3/2021	11am							x														
	backwash	ww	3-Sep	11am								x													
	backwash	ww	3-Sep	11am									x												

Relinquished by: _____	Accepted by: <u>Manja Mario</u>	Date: <u>9/13</u>	Time: <u>13:30</u>	Turnaround: <input type="checkbox"/> 1 Day* <input type="checkbox"/> 2 Days* <input type="checkbox"/> 3 Days* <input checked="" type="checkbox"/> Standard <input type="checkbox"/> Other	NJ <input type="checkbox"/> Res. Criteria <input type="checkbox"/> Non-Res. Criteria <input type="checkbox"/> Impact to GW Soil Cleanup Criteria <input type="checkbox"/> GW Criteria	NY <input type="checkbox"/> TAGM 4046 GW <input type="checkbox"/> TAGM 4046 SOIL <input type="checkbox"/> NY375 Unrestricted Soil <input type="checkbox"/> NY375 Residential Soil <input type="checkbox"/> NY375 Restricted Non-Residential Soil	Data Format <input checked="" type="checkbox"/> Phoenix Std Report <input type="checkbox"/> Excel <input type="checkbox"/> PDF <input type="checkbox"/> GIS/Key <input type="checkbox"/> EquiS <input type="checkbox"/> NJ Hazsite EDD <input type="checkbox"/> NY EZ EDD (ASP) <input type="checkbox"/> Other _____
Comments, Special Requirements or Regulations: <u>NO TRENDS per body</u>				* SURCHARGE APPLIES	State where samples were collected: <u>NY</u>		Data Package <input type="checkbox"/> NJ Reduced Deliv. * <input type="checkbox"/> NY Enhanced (ASP B) * <input type="checkbox"/> Other _____



Environmental Laboratories, Inc.
 587 East Middle Turnpike, P.O.Box 370, Manchester, CT 06045
 Tel. (860) 645-1102 Fax (860) 645-0823



Analysis Report
 December 02, 2021

FOR: Attn: Roy Barticcio
 CEMCO Water & Wastewater Specialists Inc
 59 Healey Lane
 Stormville, NY 12582

Sample Information

Matrix: DRINKING WATER
 Location Code: CEMCO
 Rush Request: Standard
 P.O.#:

Custody Information

Collected by:
 Received by: CP
 Analyzed by: see "By" below

Date Time
 11/22/21 13:09
 11/23/21 17:22

Laboratory Data

SDG ID: GCJ84535
 Phoenix ID: CJ84537

Project ID: MAHOPAC TREATMENT TRAILER
 Client ID: TREATMENT TRAILER WASTE

Parameter	Result	RL/ PQL	DIL	Units	AL	MCL	MCLG	Date/Time	By	Reference
Iron	35.1	0.20	1	mg/L		0.3		11/27/21	CPP	E200.7
*** Iron exceeds MCL levels of 0.3 ***										
Manganese	51.4	0.20	10	mg/L		0.3		12/01/21	EK	E200.7
*** Manganese exceeds MCL levels of 0.3 ***										
Total Metal Digestion	Completed							11/24/21		E200.5/E200.7

RL/PQL=Reporting/Practical Quantitation Level DIL=Dilution (analysis required diluting to evaluate) ND=Not Detected
 BRL=Below Reporting Level (less than the reporting level, the lowest amount the laboratory can detect and report.)
 AL = Action Level MCL = Maximum Contaminant Level MCLG = Maximum Contaminant Level Goal

Comments:

Maximum Contaminant Level (MCL): New York State Public Health Law, Section 225 Part 5. The highest level of a contaminant that is allowed in drinking water. MCLs are enforceable standards.

Secondary DW Maximum Contaminant Level Goal (MCLG): 40 CFR Part 143 Secondary Goals. The level of a contaminant in drinking water below which there is no known or expected risk to health. MCLGs are non-enforceable public health goals.

If you are the client above and have any questions concerning this testing, please do not hesitate to contact Phoenix Client Services at ext.200. The contents of this report cannot be discussed with anyone other than the client listed above without their written consent.

Phyllis Shiller, Laboratory Director

December 02, 2021

Reviewed and Released by: Helen Geoghegan, Project Manager

**AGREEMENT BETWEEN VEOLIA WATER NEW YORK, INC., AND
HUNTER'S RUN HOMEOWNERS' ASSOCIATION, INC.**

THIS AGREEMENT is entered into this 4th day of May, 2023 by and between VEOLIA WATER NEW YORK, INC., ("VEOLIA") formerly known as SUEZ Water New York Inc.¹ and HUNTER'S RUN HOMEOWNERS' ASSOCIATION, INC., acting by and through its board of directors (the "HOA").

WHEREAS, the HOA is the record owner of a 53.5 acre-property (property identification number 75.20-2-68) located in the Town of Carmel, New York (the "Property"); and

WHEREAS, to comply with the recently imposed regulations of the New York State Department of Health, VEOLIA is required by such Department to install a PFAS treatment facility, including a GAC Treatment Building with associated structures and infrastructure (collectively the "Treatment Facility"), which Treatment Facility VEOLIA proposes to locate on a portion of the HOA's Property; and

WHEREAS, VEOLIA maintains certain rights in accordance with a Utility Line Easement Agreement dated April 12, 1988 and recorded at Liber 1004, page 0285 ("Easement Agreement" attached as **Exhibit "A"**) that granted VEOLIA: (i) an easement over the Property "for the providing of sewer and water service to the residential development presently under construction on the Premises and known as 'Hunter's Run'; and (ii) "the right to construct a well or wells on Lot 50 as shown on the subdivision map described in Schedule 'A' hereto, and any such well shall not be constructed within 100 feet of any Lot line shown on such map"; and

WHEREAS, during the review of the proposed Treatment Facility by the Town of Carmel Planning Board (the "Planning Board"), the HOA opposed VEOLIA's application for site plan approval, contending that: (i) VEOLIA could not develop any portion of the HOA's Property with a Treatment Facility without the HOA's consent and approval; and (ii) under the Easement Agreement, VEOLIA did not possess the right to construct the Treatment Facility on the HOA's Property, aspects of which the HOA found to be objectionable; and

WHEREAS, the HOA specifically objected to the size and location of the GAC Treatment Building, which is part of the Treatment Facility, on the HOA's Property; and

WHEREAS, a copy of the 9-sheet plans for the Treatment Facility being reviewed by the Planning Board and having a last revision date of 2/25/22 is annexed to this Agreement as **Exhibit "B"** (the "Original Plans"); and

WHEREAS, while VEOLIA does not concede that the HOA's legal position is correct, VEOLIA and the HOA have worked diligently and in good faith to modify the Original Plans for the layout, design and location of the proposed GAC Treatment Building to make it acceptable to the HOA, which efforts have generated new conceptual plans for the Treatment Facility, including

¹ SUEZ Water New York Inc., was rebranded on March 28, 2022 to Veolia Water New York, Inc. after a change in control of ownership of its parent entity, SUEZ S.A. which was acquired by Veolia Environment S.A. in January 2022.

the GAC Treatment Building, last revised January 2023 (the “Revised Plan”, annexed to this Agreement as **Exhibit “C”**); and

WHEREAS, the Revised Plan among other things, depicts that:

- a. the GAC Treatment Building will be relocated approximately 62 feet to the south of the location shown on the Original Plans;
- b. the GAC Treatment Building shown on the Revised Plan will have a peak elevation which is five feet lower than that of the corresponding building depicted on the Original Plans; and
- c. Although a white trailer (the “Treatment Trailer”) is still depicted on the Revised Plan, the Revised Plan provides that after construction of the GAC Treatment Building is complete, the Treatment Trailer will be removed from the site and the area beneath the Treatment Trailer landscaped.

WHEREAS, the HOA finds the Revised Plans to be acceptable in principle except as to the color of the proposed GAC Treatment Building; and

WHEREAS, the Parties recognize that substantial engineering and design work remains to be accomplished to convert the Revised Plans, which are largely conceptual in nature, into a plan set, with supporting technical documentation, that can qualify for approval from the Planning Board and other governmental entities with regulatory jurisdiction over the Treatment Facility and that requirements of the Planning Board and such other regulatory entities may require that changes be made to the Revised Plans; and

WHEREAS, the Parties recognize that Veolia cannot, as a public utility with responsibility to answer to its customers (who pay its water rates), undertake the expense of such substantial engineering and design work (roughly estimated to be \$200,000 when new DEC and other approvals are included) without clear expression of approval by the HOA of the Revised Plans

NOW, THEREFORE, the parties agree as follows:

1. The HOA will provide letters of unconditional support in the forms attached as **Exhibit “D”** to include with VEOLIA’s submission of the Amended Plans (as defined below) to the Planning Board and other regulatory agencies for the Treatment Facility. However, such letters will be held in escrow by Silverberg Zalantis LLC until such time as the conditions of Paragraphs 2 and 3 below are satisfied.
2. VEOLIA will prepare an amended application to the Planning Board for approval of the Treatment Facility, which application will include supporting technical documentation and a complete set of amended plans that include: (i) a site plan substantially identical to and consistent with the Revised Plan with respect to parameters including, but not limited to the location, layout, configuration, height, elevation, and appearance of the building identified as “GAC Treatment Building” on the Revised Plans and containing the notation that the “Treatment Trailer” will be removed within twenty (20) days after construction of the GAC

Treatment Building as indicated on the Revised Plan, (ii) a lighting plan providing that all site lighting will be on a motion detectors; and (iii) a landscaping plan substantially similar to the landscaping Plan entitled "Tree and Landscape Plan" attached hereto as **Exhibit "E"** (hereinafter "New Landscaping Plan") except that said landscaping plan will additionally provide that after the removal of the Treatment Trailer, the area beneath the Treatment Trailer shall be landscaped and specify such landscaping and/or plantings (collectively, the "Amended Plans"). Although the Amended Plans will still reflect that the color of the proposed GAC Treatment Building as green, the following note will be placed upon the plan: "In its attempts to more quickly meet New York State Department of Health regulations, Veolia ordered the building in the green color previously found provisionally acceptable to (but not finally approved by) the Planning Board. The HOA prefers the color Fairview Taupe (Benjamin Moore, HC-85). If this color is acceptable to and approved by the Planning Board, VEOLIA will paint the GAC Treatment Building and existing Pump House Fairview Taupe (Benjamin Moore, HC-85) within three months of the final landscaping installation."

3. Prior to submitting its amended application to the Planning Board, VEOLIA will submit the Amended Plans (including the lighting and landscaping plans) to the HOA and give at least 20 days' notice to Silverberg Zalantis LLC that it will be making a submission to the Planning Board and request a response from the HOA within 20 days from the date of notice confirming that the Amended Plans comply with paragraph 2 and include a site plan and landscaping plans that are substantially identical to and consistent with Revised Plan and New Landscaping Plan as such plans are to be modified as set forth in paragraph 2. Upon the HOA's affirmative response to said notice or the passage of 20 days, whichever comes first, VEOLIA will submit its amended application to the Planning Board, which amended application will include the Amended Plans that have been accepted by the HOA, either expressly or by failure to act within 20 days of the date of notice (the "Accepted Amended Plans"). The letter of unconditional support referred to in paragraph 1 shall be released to Veolia upon the HOA's approval of the Amended Plans or upon the passage of 20 days, whichever comes first.
4. Before the Planning Board and other regulatory agencies and officials, VEOLIA will diligently and in good faith pursue all necessary approvals for the Treatment Facility based upon the Accepted Amended Plans as is reasonably practicable. VEOLIA shall not make any material changes to the Accepted Amended Plans submitted to the Planning Board and other regulatory agencies, unless it is required to do so by such entities, as a result of technical requirements or to comply with applicable laws, regulations or industry standards.
5. To the extent necessary, in its capacity as owner of the Property on which the Treatment Facility is to be located, the HOA will authorize VEOLIA to make the Planning Board application for the Treatment Facility and the HOA will within 15 business days of a request from Veolia execute any forms required for Building Permits and any other required permits or approvals, utility connections and the like in furtherance of the Treatment Facility. If VEOLIA meets the conditions in this Agreement, the HOA and its members agree not to

commence or join in any litigation challenging any approvals, permits, waivers and/or variances authorizing development and operation of the Treatment Facility. All costs associated with the application, approvals, permits, development and operation of the Treatment Facility, including but not limited to utility costs, shall be borne entirely and exclusively by VEOLIA.

6. Notwithstanding the foregoing and other than the Treatment Facility approved by the Planning Board (including all improvements shown on the Accepted Amended Plans, as may have been modified pursuant to Paragraph 7 of this agreement), nothing herein authorizes VEOLIA to undertake any changes requiring site plan approval from the Town of Carmel Planning Board without the HOA's consent or authorization or erect or construct any new buildings or structures or expand any existing buildings or structures without the HOA's approval, except that nothing herein shall preclude VEOLIA from installing temporary buildings and structures on the Property near or in the vicinity of the Treatment Facility to respond to emergency situations.
7. In the event material changes to elements of the Accepted Amended Plans, including, but not limited to, those enumerated in this Agreement, are required by the Planning Board or any other permitting authority or because of technical or legal imperatives or industry standards, the Parties will confer and negotiate in good faith to attempt to reach an agreement regarding the acceptability of such changes and acceptable revisions to the Accepted Amended Plans; but in such case unless there is an amended agreement incorporating the material changes, the HOA shall not be bound by the terms of this Agreement and may revoke its consent to the Treatment Facility being placed on the HOA's Property and take all necessary actions to challenge any such proposed development or approvals.
8. Within 10 days of the execution of this agreement a representative of VEOLIA will email to Katherine Zalantis confirmation that within 30 days VEOLIA shall pay to Silverberg Zalantis, LLC and then within said 30 days, VEOLIA shall pay to Silverberg Zalantis LLC a onetime fee of _____ to compensate the HOA for reasonable attorneys' fees the HOA has and will incur in connection with VEOLIA's pending application and the HOA's actions with respect thereto.
9. After having paid the HOA the sum specified in Paragraph 8 of this Agreement, VEOLIA shall have the right, in its sole discretion, to withdraw its application(s) for the Treatment Facility and upon such withdrawal this Agreement shall be of no further force and effect.
10. VEOLIA represents it will provide new electrical service from Buckshollow Road as shown on the plan attached hereto as **Exhibit "F"**. Based upon the foregoing, simultaneously with the execution of the agreement, the HOA will provide letter of unconditional support to the ECB providing that electrical service can be brought in from Buckshollow Road through its property in the form attached as **Exhibit "G"**.

11. The undersigned represent that they are fully authorized to execute this Agreement and all requisite and/or appropriate organizational approvals, consents and/or authorizations have been obtained.
12. This Agreement may be executed in one or more counterparts, each of which shall be deemed to be an original, but all of which together shall constitute one and the same instrument.

IN WITNESS WHEREOF, the Parties hereto have executed this Agreement as of the date and year first written above.

VEOLIA WATER NEW YORK, INC.

By: 
 Name: Chris Graziano
 Title: Vice President-GM

HUNTER'S RUN HOMEOWNERS' ASSOCIATION, INC.

By: _____
 Name:
 Title:

ACKNOWLEDGMENT

STATE OF New York)
) ss.:
 COUNTY OF Dutchess)

On the 4th day of MAY, 2023, before me the undersigned, a Notary Public in and for said state personally appeared CHRIS GRAZIANO, personally known to me or proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in her capacity and that by her signature on the instrument, the person or the entity upon behalf of which the person acted, executed the instrument.


 Notary Public



11. The undersigned represent that they are fully authorized to execute this Agreement and all requisite and/or appropriate organizational approvals, consents and/or authorizations have been obtained.
12. This Agreement may be executed in one or more counterparts, each of which shall be deemed to be an original, but all of which together shall constitute one and the same instrument.

IN WITNESS WHEREOF, the Parties hereto have executed this Agreement as of the date and year first written above.

VEOLIA WATER NEW YORK, INC.

By: _____
 Name:
 Title:

HUNTER'S RUN HOMEOWNERS' ASSOCIATION, INC.

By: *Kenneth Schwegler*
 Name: KENNETH SCHWEGLER
 Title: HOA PRESIDENT

ACKNOWLEDGMENT

STATE OF *New York*
) ss.:
 COUNTY OF *Putnam*

On the *4th* day of *May*, 2023, before me the undersigned, a Notary Public in and for said state personally appeared *Kenneth Schwegler*, personally known to me or proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in her capacity and that by her signature on the instrument, the person or the entity upon behalf of which the person acted, executed the instrument.

Kelly Puccio

 Notary Public

KELLY PUCCIO
 Notary Public, State of New York
 No. 01PU6088070
 Qualified in Putnam County
 Commission Expires March 03, 20*27*

EXHIBIT A

1004 0285

UTILITY LINE EASEMENT AGREEMENT

THIS AGREEMENT made this 12th day of April, 1988, by and between APHRODITE ACQUISITIONS, INC., a New York corporation having an office at 9 Blueberry Lane, Mill Ponds, Putnam Valley, New York 10579, "Grantor", and FOREST PARK WATER COMPANY and BUCKSHOLLOW SEWER CORPORATION, New York corporations, having offices at Union Valley Road, Mahopac, New York 10541, collectively, "Grantee".

W I T N E S S E T H:

THAT the Grantor in consideration of ONE (\$1.00) DOLLAR and other good and valuable consideration paid by the Grantee, the receipt of which is hereby acknowledged, hereby grants to the Grantee, its successors and assigns, an exclusive and permanent general right of way and easement over lands owned by the Grantor as described on Schedule "A" attached hereto and made a part hereto (the "Premises"), to install, construct, extend, replace, relocate, operate, repair, maintain and renew wells, water and sewer pipes and lines and such other appurtenant and supporting equipment, apparatus or structures as the Grantee, or such assignees as the Grantee may elect, may now or shall from time to time hereafter deem necessary or appropriate for the providing of sewer and water service to the residential development presently

03848

1004 0286

under construction on the Premises and known as "Hunter's Run", together with the right of ingress and egress over the Premises for the passage of men, vehicles and machines as shall be deemed necessary or appropriate by the Grantee for all of the above purposes.

Notwithstanding anything contained herein to the contrary, Grantee only has the right to construct a well^{or wells} on Lot 50 as shown on the subdivision map described on Schedule "A" hereto, and any such well shall not be constructed within 100 feet of any Lot line shown on such map. *LLA*

The rights granted hereunder by the Grantor to the Grantee shall only be exercised in a manner so as not to interfere with the use and enjoyment of the Premises as a residential community comprising 49 residences, open spaces and recreational facilities, except during the period of time when the Grantee is actually making any repair, maintenance or replacement.

The parties hereto acknowledge that the residences to be constructed on some of the Lots will be in close proximity to the sewer line which crosses such Lots. The Grantee agrees that the residences may be constructed on such Lots and further agrees that in the event any repair, maintenance or replacement is required with respect to any portion of the sewer line crossing such Lots, Grantee shall make such repairs, maintenance or replacement in such a manner so as not to disturb or interfere with the use and

1004 0287

enjoyment of the residences on such Lots except during the period of time when the Grantee is actually making such repair, maintenance or replacement.

The Grantee shall bear all costs and expenses in connection with the repair, maintenance and replacement of the utility lines and shall restore all disturbed areas to their original condition, or as close to their original condition as is reasonably possible.

This Agreement shall be binding upon and inure to the benefit of the respective parties hereto, and their respective successors and assigns.

WHEREAS, the parties hereunder have set their hands and seals the day first above written.

APHRODITE ACQUISITIONS, INC.

By: Joseph Marinelli
Joseph Marinelli, President
Grantor

FOREST PARK WATER COMPANY

By: Lee Archer
Lee Archer, President
Grantee

BUCKSHOLLOW SEWER CORPORATION

By: Lee Archer
Lee Archer, President
Grantee

1004 0288

STATE OF NEW YORK)
COUNTY OF PUTNAM) SS.:

On the 12th day of April, 1988, before me personally came JOSEPH MARINELLI, to me known, who, being by me duly sworn, did depose and say that he resides at Putnam Valley, New York, that he is the President of APHRODITE ACQUISITIONS, INC., the corporation described in and which executed the foregoing instrument; and that he signed his name thereto by order of the Board of Directors of said corporation.

Alan R. Braun
Notary Public
Notary Public, State of New York
Qualified in Putnam County
Commission Expires 1/31/90

STATE OF NEW YORK)
COUNTY OF PUTNAM) SS.:

On the 12th day of April, 1988, before me personally came LEE ARCHER, to me known, who, being by me duly sworn, did depose and say that he resides at Union Valley Road, Mahopac, New York, that he is the President of FOREST PARK WATER COMPANY and BUCKSHOLLOW SEWER CORPORATION, the corporations described in and which executed the foregoing instrument; and that he signed his name thereto by order of the Board of Directors of said corporation.

Alan R. Braun
Notary Public
Notary Public, State of New York
Qualified in Putnam County
Commission Expires 1/31/90

2000

TCE87408

1004 0289

SCHEDULE A

ALL that certain plot, piece or parcel of land, situate, lying and being in the Town of Carmel, County of Putnam and State of New York, shown and designated as Lots Nos. 1 through 51 on a certain map entitled "Subdivision Map of Hunter's Run" filed in the Office of the Putnam County Clerk on March 28, 1988 as Map Nos. 2298 and 2298A.

SECTION 139
BLOCK 4
LOTS 4.0100 through 4.4900
4.0100 through 4.4900

RECORD AND RETURN TO:

MARY C. NEARY, ESQ.
GOODHUE BANKS ARONS & PICKETT
P.O. BOX 120
MT. KISCO, NEW YORK 10549

RECEIVED
~~\$ 500.00~~
REAL ESTATE
APR 18 1988
TRANSFER TAX
PUTNAM
COUNTY

2134

PUTNAM COUNTY CLERK'S OFFICE
RECEIVED ON THE 18 DAY OF April 19 88
AT 9:10 AM M. RECORDED IN
BOOK No. 1004 OF Deeds
AT PAGE 285 AND EXAMINED

Joseph A. Telburt
CLERK

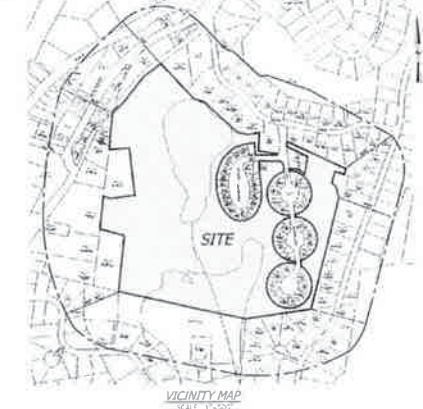
PUTNAM COUNTY
CLERK'S OFFICE
APR 18 9 10 AM '88

EXHIBIT B

OWNERS WITHIN 500 FEET

BASED ON 2019 TAX MAP

75-04-41	LOPEZ P & IMELDA S DOMINIC 100 W 150th ST MAHOPAC, NY 10541	75-04-41	MARTINE & CAROLYN TURKIC 100 W 150th ST MAHOPAC, NY 10541	75-04-209	WALSH C & IRISH V DENARDI 320 W 150th ST MAHOPAC, NY 10541
75-04-42	JOHN BIRBA 100 W 150th ST MAHOPAC, NY 10541	75-04-210	ROBERT J. JACOBSON 100 W 150th ST MAHOPAC, NY 10541	75-04-210	EDWARD J & WAFI J 100 W 150th ST MAHOPAC, NY 10541
75-04-43	JOHN BIRBA 100 W 150th ST MAHOPAC, NY 10541	75-04-211	DOUGLAS R & MARGO W HANSEN ET 100 W 150th ST MAHOPAC, NY 10541	75-04-211	ALAN R & WILMA L CONRUE 100 W 150th ST MAHOPAC, NY 10541
75-04-44	FALKA WILLY W & WIFE 100 W 150th ST MAHOPAC, NY 10541	75-04-212	TOMMY J CARROLL 100 W 150th ST MAHOPAC, NY 10541	75-04-212	JOHN & JOSEPH MULLA 100 W 150th ST MAHOPAC, NY 10541
75-04-45	JAMES W & WIFE B 100 W 150th ST MAHOPAC, NY 10541	75-04-213	DAVE HOGAN 100 W 150th ST MAHOPAC, NY 10541	75-04-213	JOHN J & JOSEPH A 100 W 150th ST MAHOPAC, NY 10541
75-04-46	JOHN W & WIFE B 100 W 150th ST MAHOPAC, NY 10541	75-04-214	HUNTER J & WIFE 100 W 150th ST MAHOPAC, NY 10541	75-04-214	EDWARD J & WIFE T DUNN 100 W 150th ST MAHOPAC, NY 10541
75-04-47	JOHN W & WIFE B 100 W 150th ST MAHOPAC, NY 10541	75-04-215	FRANK J 100 W 150th ST MAHOPAC, NY 10541	75-04-215	ELIZABETH M & EDWARD 100 W 150th ST MAHOPAC, NY 10541
75-04-48	JAMES W & WIFE B 100 W 150th ST MAHOPAC, NY 10541	75-04-216	WALTER & WIFE 100 W 150th ST MAHOPAC, NY 10541	75-04-216	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541
75-04-49	JAMES W & WIFE B 100 W 150th ST MAHOPAC, NY 10541	75-04-217	DOUGLAS & WIFE 100 W 150th ST MAHOPAC, NY 10541	75-04-217	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541
75-04-50	JAMES W & WIFE B 100 W 150th ST MAHOPAC, NY 10541	75-04-218	FRANK J 100 W 150th ST MAHOPAC, NY 10541	75-04-218	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541
75-04-51	JAMES W & WIFE B 100 W 150th ST MAHOPAC, NY 10541	75-04-219	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541	75-04-219	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541
75-04-52	JAMES W & WIFE B 100 W 150th ST MAHOPAC, NY 10541	75-04-220	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541	75-04-220	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541
75-04-53	JAMES W & WIFE B 100 W 150th ST MAHOPAC, NY 10541	75-04-221	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541	75-04-221	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541
75-04-54	JAMES W & WIFE B 100 W 150th ST MAHOPAC, NY 10541	75-04-222	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541	75-04-222	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541
75-04-55	JAMES W & WIFE B 100 W 150th ST MAHOPAC, NY 10541	75-04-223	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541	75-04-223	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541
75-04-56	JAMES W & WIFE B 100 W 150th ST MAHOPAC, NY 10541	75-04-224	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541	75-04-224	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541
75-04-57	JAMES W & WIFE B 100 W 150th ST MAHOPAC, NY 10541	75-04-225	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541	75-04-225	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541
75-04-58	JAMES W & WIFE B 100 W 150th ST MAHOPAC, NY 10541	75-04-226	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541	75-04-226	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541
75-04-59	JAMES W & WIFE B 100 W 150th ST MAHOPAC, NY 10541	75-04-227	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541	75-04-227	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541
75-04-60	JAMES W & WIFE B 100 W 150th ST MAHOPAC, NY 10541	75-04-228	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541	75-04-228	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541



LOCATION MAP
Scale: 1"=50'

TAX MAP REFERENCE:
2019 TAX MAP SECTION 100-10
ADDRESS: 100 W 150th ST
AREA: 0.15 ACRES
DATUM: NAD 83
ELEVATION: 100 FT

SUBDIVISION REFERENCES:
100 W 150th ST
100 W 150th ST
100 W 150th ST

75-04-20	WALTER & WIFE 100 W 150th ST MAHOPAC, NY 10541	75-04-20	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541	75-04-20	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541
75-04-21	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541	75-04-21	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541	75-04-21	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541
75-04-22	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541	75-04-22	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541	75-04-22	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541
75-04-23	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541	75-04-23	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541	75-04-23	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541
75-04-24	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541	75-04-24	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541	75-04-24	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541
75-04-25	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541	75-04-25	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541	75-04-25	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541
75-04-26	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541	75-04-26	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541	75-04-26	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541
75-04-27	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541	75-04-27	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541	75-04-27	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541
75-04-28	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541	75-04-28	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541	75-04-28	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541
75-04-29	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541	75-04-29	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541	75-04-29	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541
75-04-30	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541	75-04-30	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541	75-04-30	JOHN M & WIFE 100 W 150th ST MAHOPAC, NY 10541

ATZEL, NASHER & ZIGLER P.C.
ENGINEERS ARCHITECTS PLANNERS

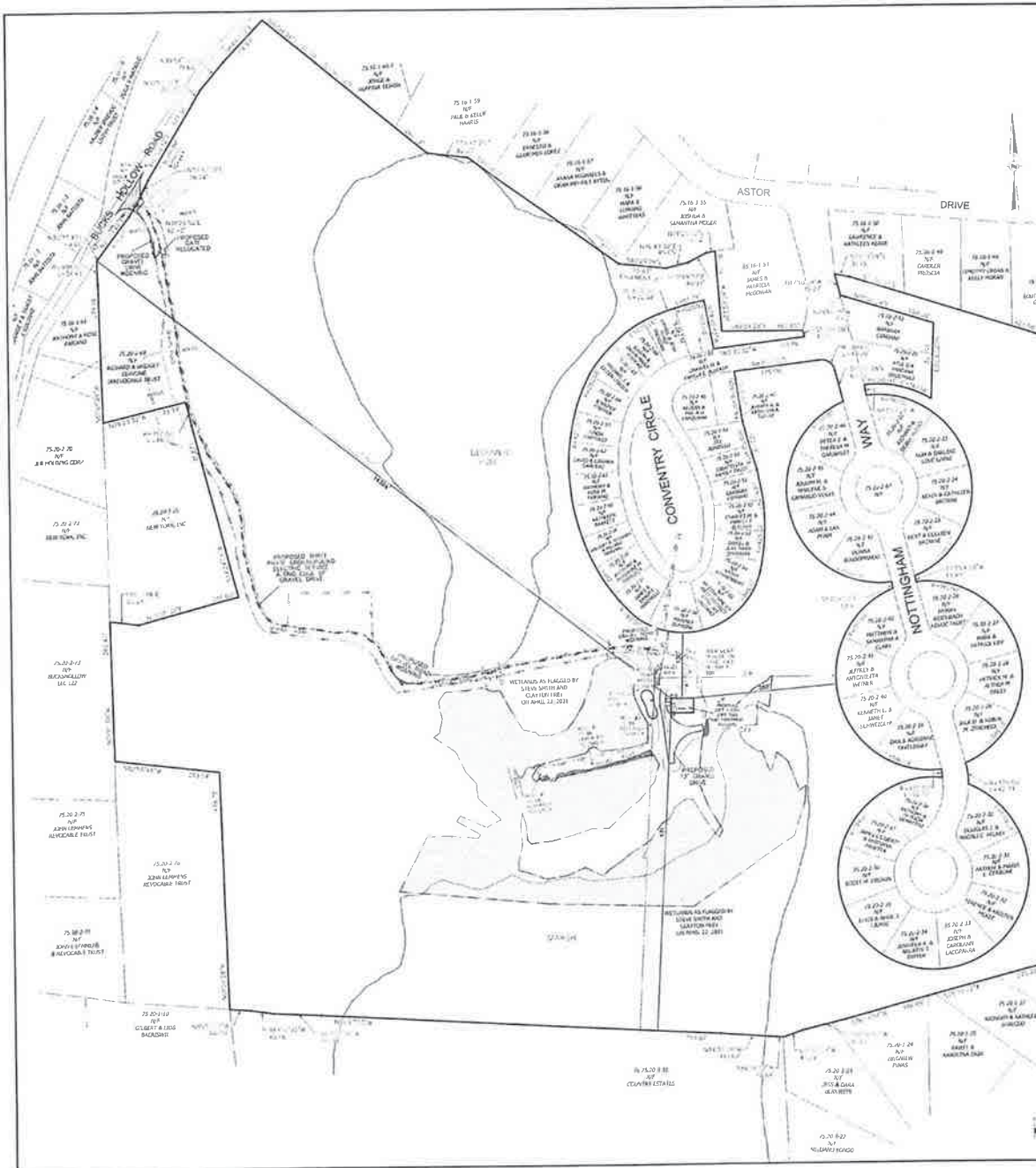
2100 Bank Main Street
New City, New York 10956
Tel: (845) 414-4100
Fax: (845) 414-4100
www.atzelnasherez.com

MAHOPAC WELLS 1, 2 & 3

TOWN OF CARMEL
PUTNAM COUNTY, NEW YORK

LOCATION MAP

DATE: 10/1/2019
PROJECT: 100 W 150th ST
SHEET: 4870



- PLAN NOTES:**
1. OWNER'S PROPERTY
 2. EXISTING LOT LINES & DIMENSIONS & TYPICAL AVERAGE DISTANCE BETWEEN LOTS
 3. THE DISTRICT REGULATIONS REQUIRE A 10' BUFFER FROM THE DISTRICT BOUNDARY TO THE PROPERTY LINE. THIS BUFFER SHALL BE MAINTAINED THROUGHOUT THE DISTRICT.
 4. THE DISTRICT REGULATIONS REQUIRE A 10' BUFFER FROM THE DISTRICT BOUNDARY TO THE PROPERTY LINE. THIS BUFFER SHALL BE MAINTAINED THROUGHOUT THE DISTRICT.
 5. THE DISTRICT REGULATIONS REQUIRE A 10' BUFFER FROM THE DISTRICT BOUNDARY TO THE PROPERTY LINE. THIS BUFFER SHALL BE MAINTAINED THROUGHOUT THE DISTRICT.
 6. THE DISTRICT REGULATIONS REQUIRE A 10' BUFFER FROM THE DISTRICT BOUNDARY TO THE PROPERTY LINE. THIS BUFFER SHALL BE MAINTAINED THROUGHOUT THE DISTRICT.
 7. THE DISTRICT REGULATIONS REQUIRE A 10' BUFFER FROM THE DISTRICT BOUNDARY TO THE PROPERTY LINE. THIS BUFFER SHALL BE MAINTAINED THROUGHOUT THE DISTRICT.
 8. THE DISTRICT REGULATIONS REQUIRE A 10' BUFFER FROM THE DISTRICT BOUNDARY TO THE PROPERTY LINE. THIS BUFFER SHALL BE MAINTAINED THROUGHOUT THE DISTRICT.



DISTRICT REGULATIONS:

TYPE OF DISTRICT	MINIMUM LOT AREA	MINIMUM LOT WIDTH	MINIMUM FRONT YARD SETBACK	MINIMUM SIDE YARD SETBACK	MINIMUM REAR YARD SETBACK	MINIMUM FRONT SETBACK	MINIMUM SIDE SETBACK	MINIMUM REAR SETBACK
RESIDENTIAL SINGLE-FAMILY	10,000	30	10	5	5	10	5	5
RESIDENTIAL TWO-FAMILY	12,000	35	10	5	5	10	5	5
RESIDENTIAL THREE-FAMILY	15,000	40	10	5	5	10	5	5
RESIDENTIAL FOUR-FAMILY	20,000	45	10	5	5	10	5	5
RESIDENTIAL FIVE-FAMILY	25,000	50	10	5	5	10	5	5
RESIDENTIAL SIX-FAMILY	30,000	55	10	5	5	10	5	5
RESIDENTIAL SEVEN-FAMILY	35,000	60	10	5	5	10	5	5
RESIDENTIAL EIGHT-FAMILY	40,000	65	10	5	5	10	5	5
RESIDENTIAL NINE-FAMILY	45,000	70	10	5	5	10	5	5
RESIDENTIAL TEN-FAMILY	50,000	75	10	5	5	10	5	5

HIT LOT AREA CALCULATION:

LOT AREA: 10,000 SQ. FT.

MINIMUM LOT AREA: 10,000 SQ. FT.

MINIMUM LOT WIDTH: 30 FT.

MINIMUM FRONT YARD SETBACK: 10 FT.

MINIMUM SIDE YARD SETBACK: 5 FT.

MINIMUM REAR YARD SETBACK: 5 FT.

FLOOD HAZARD:

NO FLOOD HAZARD IDENTIFIED.

TOILET:

NO TOILET IDENTIFIED.

SUBDIVISION REFERENCES:

NO SUBDIVISION REFERENCES IDENTIFIED.

LEGEND:

- Lot Lines
- Street Lines
- Wetlands (PFD)
- Proposed Lot Lines
- Proposed Street Lines
- Proposed Wetlands (PFD)

TAX MAP REFERENCE:

TAX MAP NO. 100

ADDRESS:

100 ASTOR DRIVE

AREA:

100 ACRES

DISTRICT:

RESIDENTIAL SINGLE-FAMILY



DRAWING LIST:

NO.	DESCRIPTION	DATE
1	PRELIMINARY PLAN	10/1/20
2	FINAL PLAN	10/1/20
3	AS-BUILT PLAN	10/1/20
4	CONTRACT DOCUMENTS	10/1/20
5	CONTRACT DOCUMENTS	10/1/20
6	CONTRACT DOCUMENTS	10/1/20

AN&Z

ATZL, NASHER & ZULER P.C.

2001 MAHOPAC ROAD, SUITE 100
 NEWburgh, New York 12551
 TEL: 845.562.1000
 FAX: 845.562.1001
 E-MAIL: info@anandz.com

MAHOPAC WELLS 1, 2 & 3

TOWN OF CARMEL
 PUTNAM COUNTY, NEW YORK

OVERALL SITE PLAN

Project No. 100
 Date: 10/1/20
 Scale: 1" = 100'

4870 1



LEGEND

- WETLANDS (PFO)
- WETLANDS (DFO)
- WETLANDS (M)
- WETLANDS (S)
- WETLANDS (SW)
- WETLANDS (S1)
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- WETLANDS (S97)
- WETLANDS (S98)
- WETLANDS (S99)
- WETLANDS (S100)

WETLANDS AS MAPPED BY
STATE DEPARTMENT OF
CLIMATE AND PLANNING
ON APRIL 23, 2011

WETLANDS AS MAPPED BY
STATE DEPARTMENT OF
CLIMATE AND PLANNING
ON APRIL 23, 2011

EXISTING CONDITION DETAIL
SHEET 1 OF 3

4721 NASHER & ZIGLER P.C.
INCORPORATED IN NEW YORK STATE
232 North Main Street
New City, New York 10956
Tel: (914) 524-1034
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E-mail: nash@nashandzigler.com
Web: www.NAZP.com

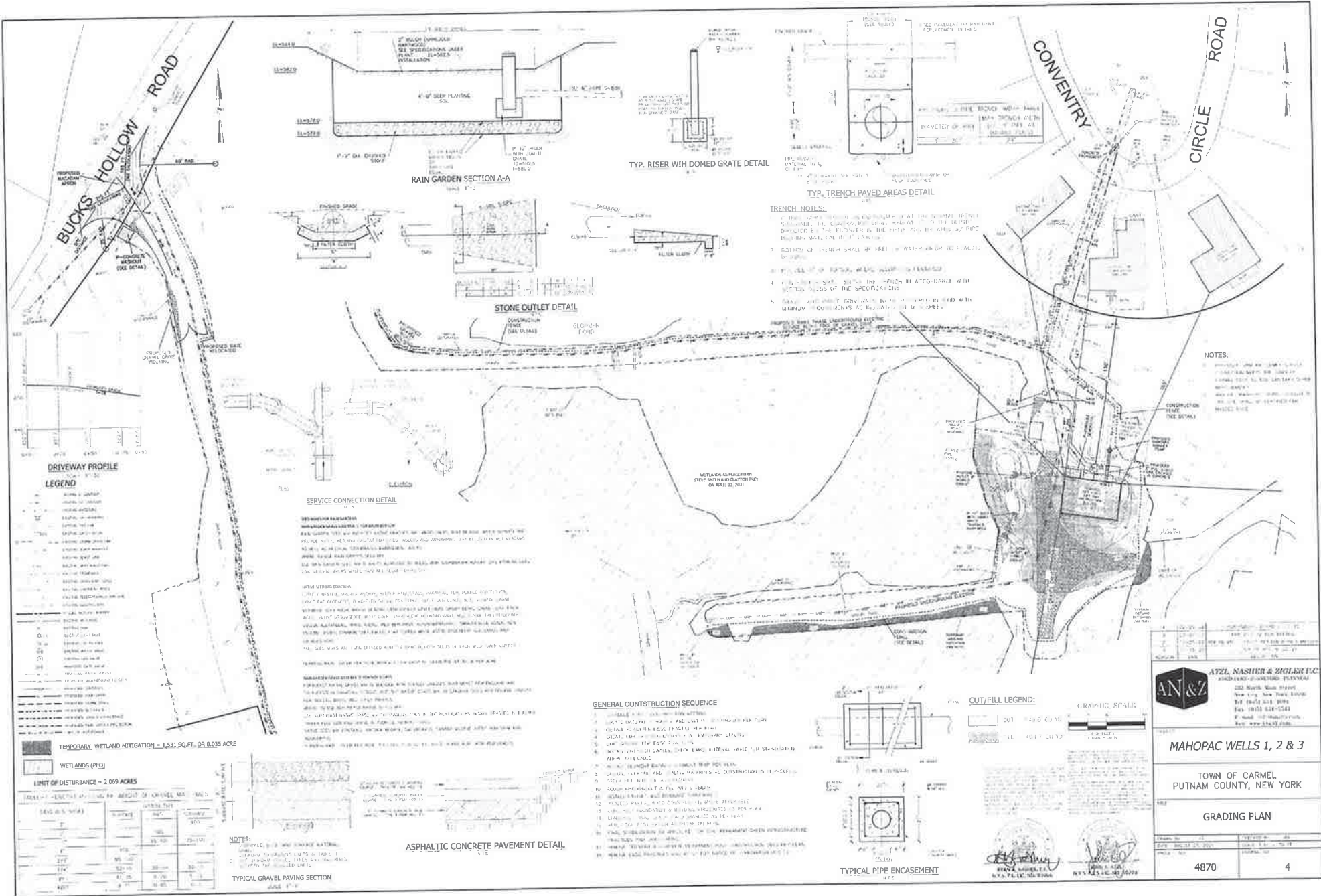
MAHOPAC WELLS 1, 2 & 3

TOWN OF CARMEL
PUTNAM COUNTY, NEW YORK

EXISTING CONDITION



SHEET	NO.	DATE	BY	CHECKED
PROJECT NO.	4870			
DRAWING NO.	3			



NOTES:

1. SEE PLAN FOR ALL DIMENSIONS AND ELEVATIONS. ALL DIMENSIONS ARE TO CENTER UNLESS OTHERWISE NOTED.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NEW YORK STATE ENGINEERING DESIGN SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NEW YORK STATE ENGINEERING DESIGN SPECIFICATIONS FOR WATER SUPPLY.
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NEW YORK STATE ENGINEERING DESIGN SPECIFICATIONS FOR SEWER AND WASTE WATER COLLECTION AND TREATMENT.
5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NEW YORK STATE ENGINEERING DESIGN SPECIFICATIONS FOR RAINFALL MANAGEMENT.

GENERAL CONSTRUCTION SEQUENCE

1. EXISTING UTILITIES TO BE REMOVED OR DELETED.
2. EXISTING UTILITIES TO BE RELOCATED TO BE PROTECTED FROM CONSTRUCTION.
3. EXISTING UTILITIES TO BE RELOCATED TO BE PROTECTED FROM CONSTRUCTION.
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19. EXISTING UTILITIES TO BE RELOCATED TO BE PROTECTED FROM CONSTRUCTION.
20. EXISTING UTILITIES TO BE RELOCATED TO BE PROTECTED FROM CONSTRUCTION.

CUT/FILL LEGEND:



GRAPHIC SCALE:



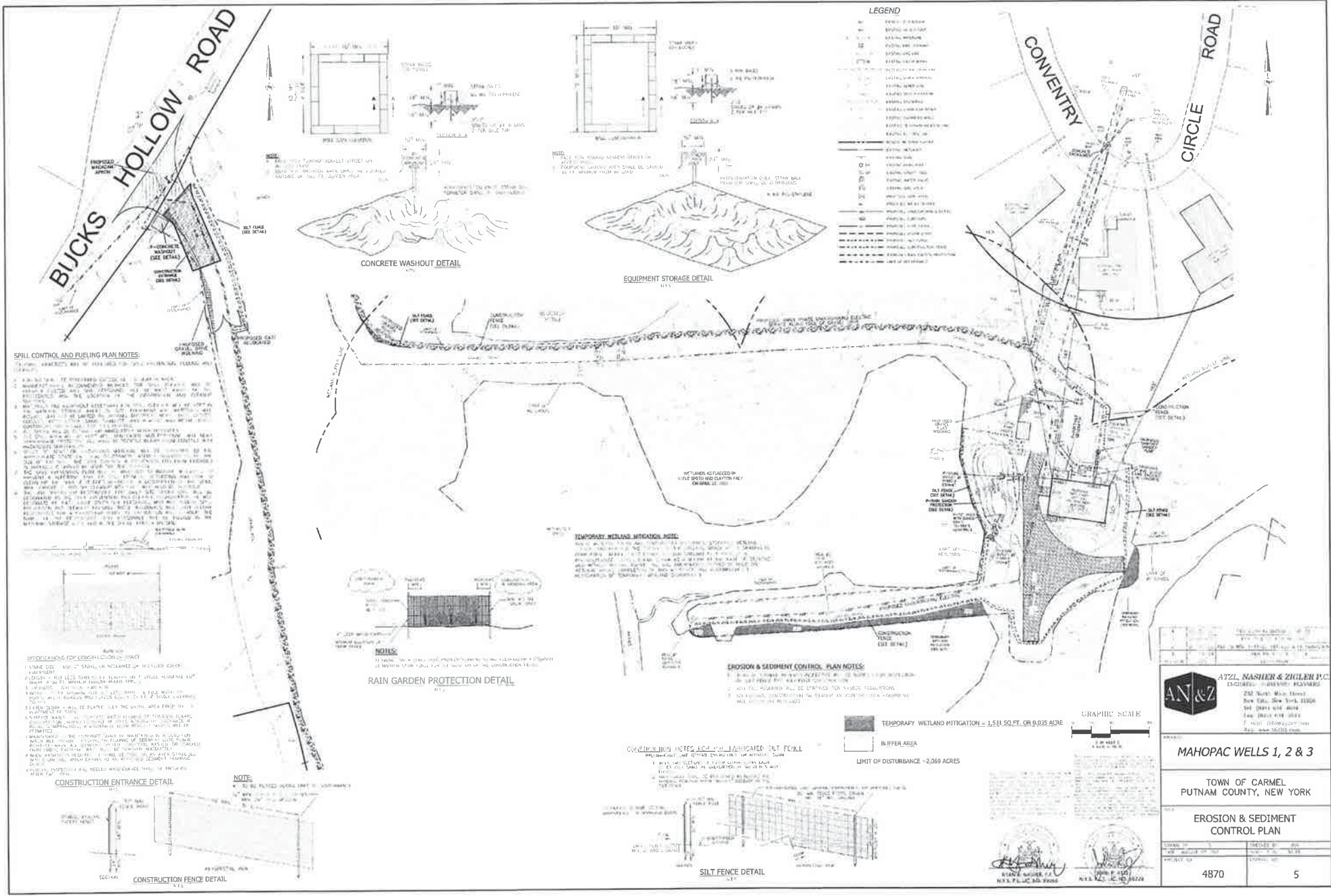
AT&Z, SASHER & ZIGLAR P.C.
 REGISTERED PROFESSIONAL ENGINEERS
 333 North Main Street
 New York, New York 10014
 Tel: (212) 512-3000
 Fax: (212) 512-3333
 E-Mail: info@at&z.com
 Web: www.at&z.com

MAHOPAC WELLS 1, 2 & 3

TOWN OF CARMEL
 PUTNAM COUNTY, NEW YORK

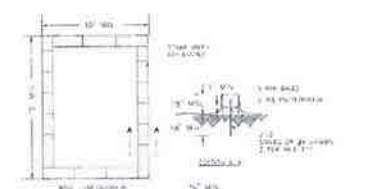
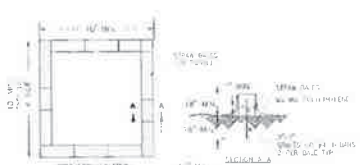
GRADING PLAN

4870 4



SPILL CONTROL AND FUELING PLAN NOTES:
1. ALL FUELING OPERATIONS SHALL BE CONDUCTED IN THE DESIGNATED FUELING AREA.
2. FUELING EQUIPMENT SHALL BE MAINTAINED IN GOOD WORKING ORDER AND INSPECTED BY THE OWNER.
3. FUELING OPERATIONS SHALL BE CONDUCTED IN THE DESIGNATED FUELING AREA.
4. FUELING OPERATIONS SHALL BE CONDUCTED IN THE DESIGNATED FUELING AREA.
5. FUELING OPERATIONS SHALL BE CONDUCTED IN THE DESIGNATED FUELING AREA.

EROSION & SEDIMENT CONTROL PLAN NOTES:
1. ALL CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH THE EROSION & SEDIMENT CONTROL PLAN.
2. ALL CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH THE EROSION & SEDIMENT CONTROL PLAN.
3. ALL CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH THE EROSION & SEDIMENT CONTROL PLAN.



LEGEND

---	EXISTING ROAD
- - - - -	PROPOSED ROAD
---	EXISTING DRIVE
- - - - -	PROPOSED DRIVE
---	EXISTING SIDEWALK
- - - - -	PROPOSED SIDEWALK
---	EXISTING CURB
- - - - -	PROPOSED CURB
---	EXISTING UTILITY
- - - - -	PROPOSED UTILITY
---	EXISTING PROPERTY LINE
- - - - -	PROPOSED PROPERTY LINE
---	EXISTING EROSION CONTROL
- - - - -	PROPOSED EROSION CONTROL
---	EXISTING CONSTRUCTION AREA
- - - - -	PROPOSED CONSTRUCTION AREA
---	EXISTING CONSTRUCTION FENCE
- - - - -	PROPOSED CONSTRUCTION FENCE
---	EXISTING CONSTRUCTION ENTRANCE
- - - - -	PROPOSED CONSTRUCTION ENTRANCE
---	EXISTING CONSTRUCTION WASHOUT
- - - - -	PROPOSED CONSTRUCTION WASHOUT
---	EXISTING CONSTRUCTION STORAGE
- - - - -	PROPOSED CONSTRUCTION STORAGE
---	EXISTING CONSTRUCTION RAIN GARDEN
- - - - -	PROPOSED CONSTRUCTION RAIN GARDEN
---	EXISTING CONSTRUCTION SILT FENCE
- - - - -	PROPOSED CONSTRUCTION SILT FENCE
---	EXISTING CONSTRUCTION BUFFER AREA
- - - - -	PROPOSED CONSTRUCTION BUFFER AREA
---	EXISTING CONSTRUCTION TEMPORARY WETLAND MITIGATION
- - - - -	PROPOSED CONSTRUCTION TEMPORARY WETLAND MITIGATION
---	EXISTING CONSTRUCTION LIMIT OF DISTURBANCE
- - - - -	PROPOSED CONSTRUCTION LIMIT OF DISTURBANCE

ATZL, NASHER & ZICKLER P.C.
ENGINEERS - ARCHITECTS - PLANNERS
232 North Main Street
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E-mail: info@atn.com
Web: www.atn.com

MAHOPAC WELLS 1, 2 & 3

TOWN OF CARMEL
PUTNAM COUNTY, NEW YORK

EROSION & SEDIMENT CONTROL PLAN

DATE: 12/15/2011	DESIGNED BY: J. NASHER
PROJECT NO: 4870	DRAWN BY: J. NASHER
SCALE: AS SHOWN	CHECKED BY: J. NASHER
PROJECT: MAHOPAC WELLS 1, 2 & 3	DATE: 12/15/2011

RAB CONTACT INFORMATION
 DAWN SALES (716) 955-8866
 RAB LIGHTING (201) 681-8882



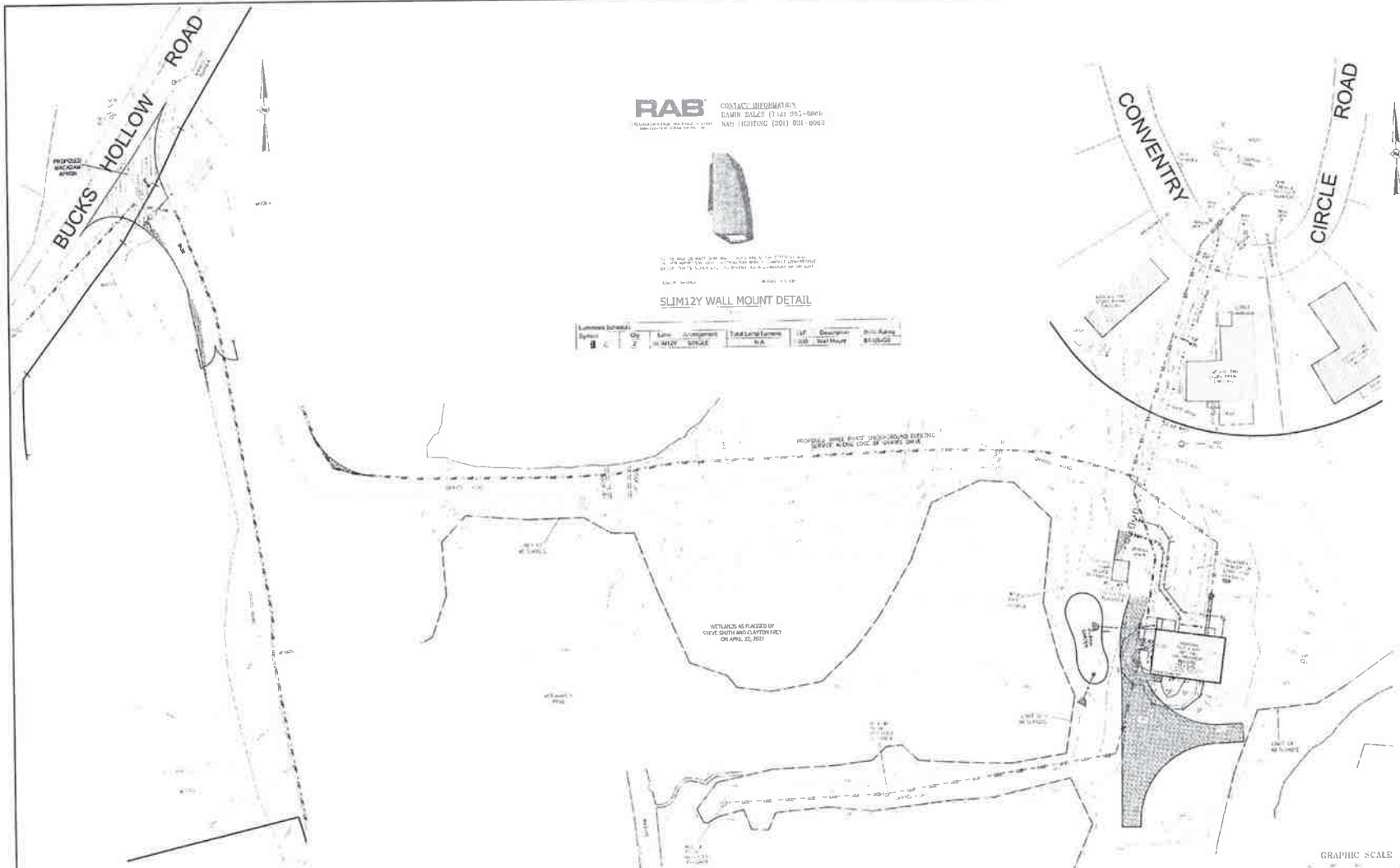
TO: [REDACTED]
 FROM: [REDACTED]
 DATE: [REDACTED]

SLIM12Y WALL MOUNT DETAIL

Quantity	Unit	Description	Total Quantity	Unit Price	Total Price
1	EA	SLIM12Y WALL MOUNT	1	100.00	100.00

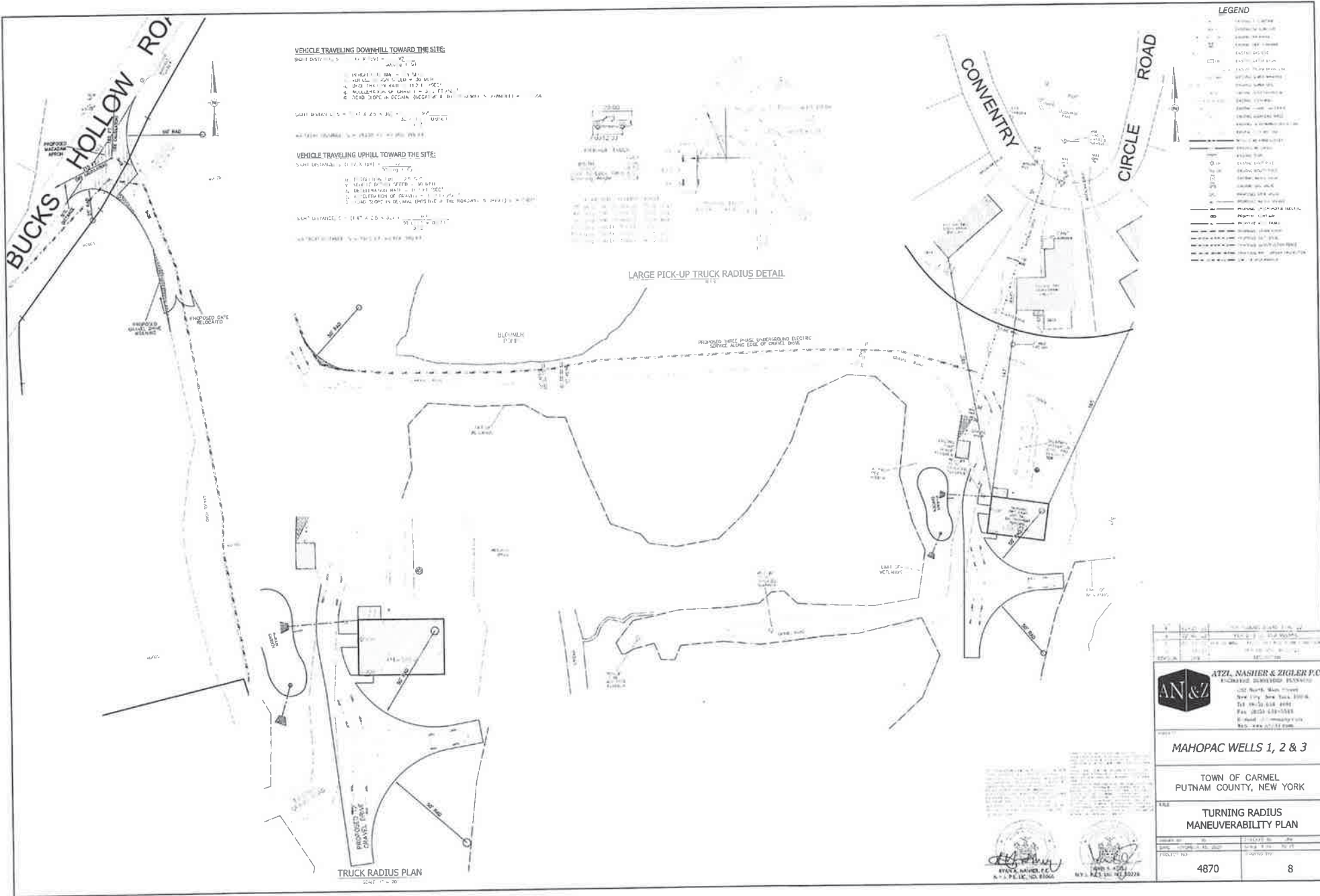
LEGEND

[Symbol]	EXISTING LIGHTING
[Symbol]	PROPOSED LIGHTING
[Symbol]	PROPOSED LIGHTING - DIMMABLE
[Symbol]	PROPOSED LIGHTING - NON-DIMMABLE
[Symbol]	PROPOSED LIGHTING - 120V
[Symbol]	PROPOSED LIGHTING - 277V
[Symbol]	PROPOSED LIGHTING - 480V
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ATZ, NASHER & ZIGLER P.C. ENGINEERS, ARCHITECTS, PLANNERS 200 North Main Street New York, New York 10014 Tel: (212) 691-1111 Fax: (212) 691-1111 E-Mail: info@anz.com Web: www.anz.com	
MAHOPAC WELLS 1, 2 & 3	
TOWN OF CARMEL PUTNAM COUNTY, NEW YORK	
LIGHTING PLAN	
DATE: 04/22/11	SCALE: AS SHOWN
PROJECT NO: 4870	SHEET NO: 7

[Signatures]
 ERIC J. NASHER, E.E.
 JOHN E. ZIGLER, E.E.
 N.Y.S. REG. NO. 121022A



LEGEND

- 1. 1/4\"/>

VEHICLE TRAVELING DOWNHILL TOWARD THE SITE:
 SIGHT DISTANCE = 114' ± 25' ± 30'
 1. HEIGHT OF VEHICLE = 5' ± 1'
 2. HEIGHT OF OBSTACLE = 50' ± 0'
 3. GRADE = 1.2% ± 0.1%
 4. ROADWAY WIDTH = 10' ± 0'
 5. STOPPING DISTANCE = 114' ± 25' ± 30'

VEHICLE TRAVELING UPHILL TOWARD THE SITE:
 SIGHT DISTANCE = 114' ± 25' ± 30'
 1. HEIGHT OF VEHICLE = 5' ± 1'
 2. HEIGHT OF OBSTACLE = 50' ± 0'
 3. GRADE = 1.2% ± 0.1%
 4. ROADWAY WIDTH = 10' ± 0'
 5. STOPPING DISTANCE = 114' ± 25' ± 30'

LARGE PICK-UP TRUCK RADIUS DETAIL

TRUCK RADIUS PLAN
 24' ± 30'


ATZL, NASHER & ZIGLER P.C.
 REGISTERED PROFESSIONAL ENGINEERS
 100 West 10th Street, New York, New York 10011
 Tel: (212) 485-9900 Fax: (212) 485-9901
 E-Mail: info@anandz.com Web: www.anandz.com

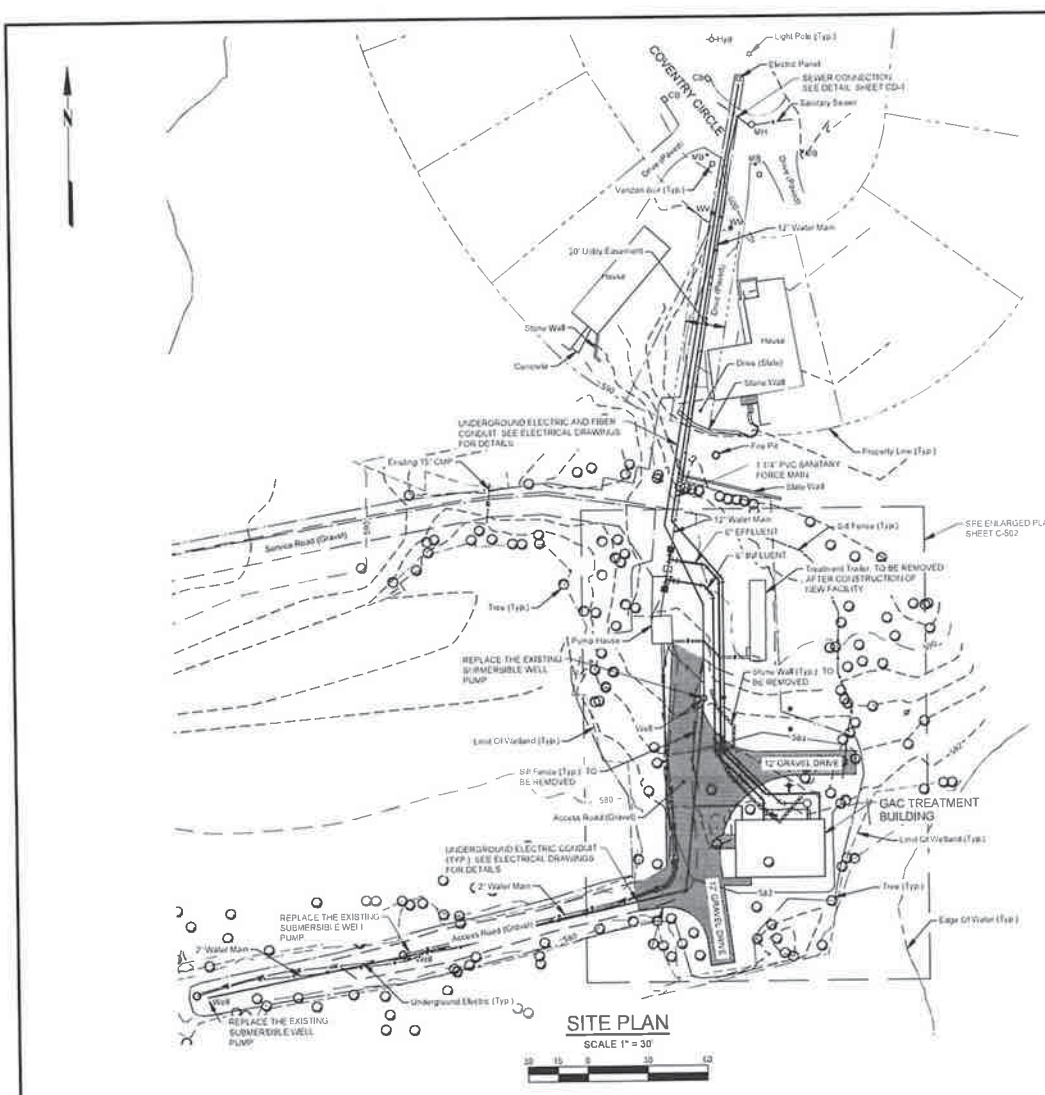
MAHOPAC WELLS 1, 2 & 3

 TOWN OF CARMEL
 PUTNAM COUNTY, NEW YORK

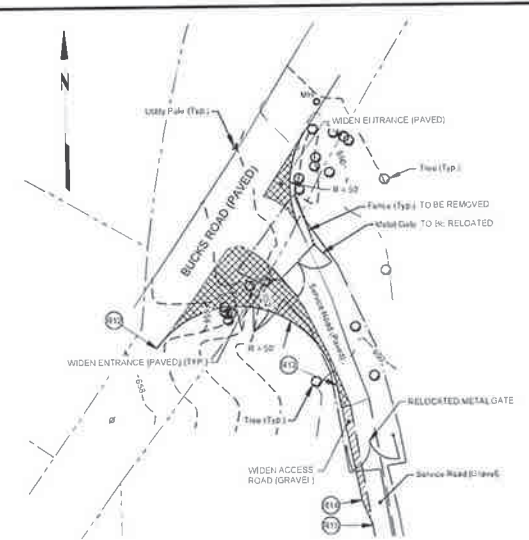
**TURNING RADIUS
 MANEUVERABILITY PLAN**

DATE	ISSUE	NO.
11/14/00	1	1
11/14/00	1	1
11/14/00	1	1
11/14/00	1	1
11/14/00	1	1

EXHIBIT C



SITE PLAN
SCALE 1" = 30'



ENTRANCE SITE PLAN
SCALE 1" = 30'

ALL DIMENSIONS ARE IN FEET AND DECIMALS THEREOF UNLESS OTHERWISE SPECIFIED.
 ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY.
 THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
 THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 THE CONTRACTOR SHALL PROTECT ALL EXISTING TREES AND LANDSCAPE FEATURES.
 THE CONTRACTOR SHALL MAINTAIN PROPER EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION.
 THE CONTRACTOR SHALL MAINTAIN PROPER SAFETY MEASURES THROUGHOUT CONSTRUCTION.
 THE CONTRACTOR SHALL MAINTAIN PROPER RECORD DRAWINGS THROUGHOUT CONSTRUCTION.

NO.	REVISIONS	DATE	BY	APPROVED
1	REVISED DRAWING	10/23/22	J.L.G.	J.L.G.
2				
3				

DESIGNER J.L.G.	CHECKER S.Z.L.	SCALE AS NOTED	APPROVED
 GANNETT FLEMING ENGINEERS AND ARCHITECTS, P.C.			

CREAMER <small>7 FLEMING COVENRY SQ INC</small> <small>MEMBER OF AEC GROUP</small>	SUEZ WATER NEW YORK INC. WEST NYACK, ROCKLAND COUNTY, NEW YORK PFAS COMPLIANCE
---	---

MAHOPAC WELLS CIVIL SITE AND ENTRANCE SITE PLANS

SHEET NO. 68577	SHEET NO. C-501
DATE APRIL 2022	

EXHIBIT D

[FORM OF LETTER FOR HOA PLANNING BOARD]

, 2023

Via Electronic Mail and Federal Express

Hon. Craig Praeper, Chair, and
Members of the Town of Carmel Planning Board
Carmel Town Hall
60 McAlpin Avenue
Mahopac, New York 10541

*Re: Submission by the Hunter's Run Homeowners' Association, Inc., in Support of
the Amended Application by Veolia Water New York Inc. (Veolia) (formerly SUEZ Water
New York, Inc.),
for Site Plan Approval of the PFAS Treatment Facility*

Dear Chairman Praeper and Members of the Board:

I am president of the Hunter's Run Homeowners' Association, Inc. (the "HOA"), and am writing on behalf of the HOA in support of the above-referenced application. As you are aware, Veolia Water New York Inc. (Veolia) (formerly SUEZ Water New York, Inc. ("SUEZ")), applied for site plan approval to authorize a PFAS water treatment facility within its easement that encumbers property owned by the HOA (the "Original Application"). The HOA reviewed the Original Application, including the plans incorporated therein, and opposed it for two reasons. First, the HOA believed that SUEZ did not have the right to develop the proposed improvements on the HOA's property without permission. Second, it viewed aspects of the design and location of the treatment facility depicted on the plans to be objectionable.

Following the Planning Board's initial review of the Original Application and consideration of the HOA's opposition to it, the Planning Board asked Veolia and the HOA to work together to achieve the goal of generating new plans for the proposed treatment facility which would be acceptable to both parties. The parties have since collaborated with each other and, in fact, reached an agreement as to a conceptual plan which the HOA has approved (the "Revised Plan"). After thorough review of the full set of plans which are being submitted to your Board contemporaneously with this letter (the "Amended Plans"), the HOA has determined that they are substantially consistent with the Revised Plan. As a result, the HOA supports approval of the Amended Plans which it has concluded will advance the important objective of meeting state-

Hon. Craig Praeper, Chair, and
Members of the Town of Carmel Planning Board
October , 2022
Page 2

imposed guidelines for water treatment, serving both the public at large and the HOA's members, while not generating any significant impacts.

Accordingly, we urge your Board to move quickly to approve Veolia's pending application, requiring as few changes as practical to the Amended Plans.

Respectfully submitted,

Hunter's Run Homeowners Association, Inc.

By: _____,
President

[FORM OF LETTER FOR HOA TO APPROVAL AGENCY]

Via Electronic Mail and Federal Express

Involved Agency

*Re: Application of Veolia Water New York Inc (Veolia) (formerly known as SUEZ Water New York, Inc.) for Approval of the
PFAS Treatment Facility in the Town of Carmel, New York*

Dear _____:

I am president of the Hunter's Run Homeowners' Association, Inc. (the "HOA"), and am writing on behalf of the HOA to support the above-referenced application. Veolia Water New York Inc. (Veolia) (formerly SUEZ Water New York, Inc. ("SUEZ")), has applied to your agency to authorize installation of a PFAS water treatment facility within its easement that encumbers property owned by the HOA in the Town of Carmel. The HOA has reviewed the application and, in fact, worked with Veolia to refine the plans included therein. We believe that granting the requested approval will advance the important objective of meeting state-imposed guidelines for water treatment, while not having significant impacts on HOA members or the public.

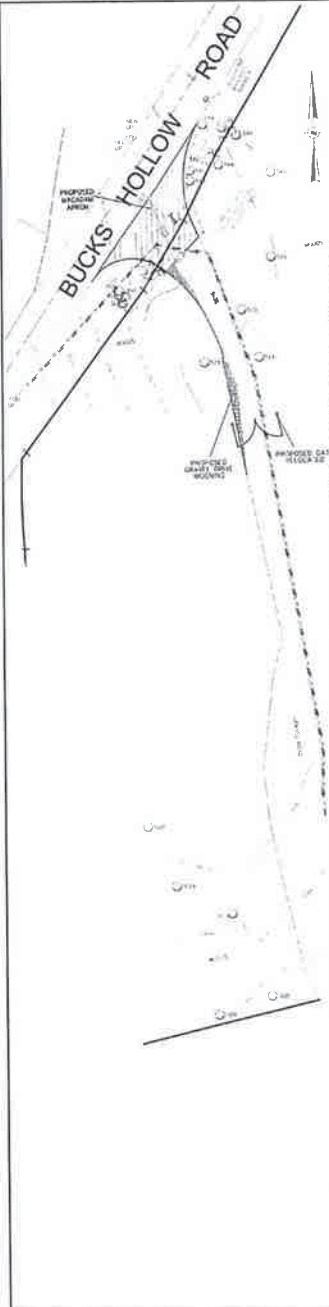
Accordingly, we ask that you move quickly to approve Veolia's pending application.

Respectfully submitted,

Hunter's Run Homeowners Association, Inc.

By: _____,
President

EXHIBIT E



TREE LEGEND

- PLANTING SITE
- TREE TO BE MAINTAINED
- TREE TO BE REMOVED

TREE LIST

ID	SYMBOL	PLANT NAME	HEIGHT	QUANTITY	SIZE	REMARKS
1	○	AMALGAM VITIFOLIA	5 FT TO 6 FT	3	3 FT W x 1 FT D	PLANTED BY UC
2	○	POALES	5 FT TO 6 FT	7	5 FT W x 1 FT D	PLANTED BY UC
3	○	THALASSEODON PUNCTATA	5 FT TO 6 FT	7	5 FT W x 1 FT D	PLANTED BY UC
4	○

PLANTING SPECIFICATIONS:

1. ALL PLANTS SHALL BE PLANTED IN FULL TARA WITH THE EXCEPT OF ...

2. ...

3. ...

4. ...

5. ...

6. ...

7. ...

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9. ...

10. ...

11. ...

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13. ...

14. ...

15. ...

16. ...

17. ...

18. ...

19. ...

20. ...

PLANT LIST

SYMBOL	PLANT NAME	HEIGHT	QUANTITY	SIZE	REMARKS
○ 1	AMALGAM VITIFOLIA	5 FT TO 6 FT	3	3 FT W x 1 FT D	PLANTED BY UC
○ 2	POALES	5 FT TO 6 FT	7	5 FT W x 1 FT D	PLANTED BY UC
○ 3	THALASSEODON PUNCTATA	5 FT TO 6 FT	7	5 FT W x 1 FT D	PLANTED BY UC

TREE LIST

ID	SYMBOL	PLANT NAME	HEIGHT	QUANTITY	SIZE	REMARKS
1	○
2	○
3	○



LEGEND

- PLANTING SITE
- TREE TO BE MAINTAINED
- TREE TO BE REMOVED
- BUFFER AREA



ATZEL NASHER & ZIGLER P.C.
 LANDSCAPE ARCHITECTS
 290 N. 4th St., New York, NY 10003
 Tel: (212) 512-1000
 Fax: (212) 512-1001
 E-Mail: anze@anze.com
 Web: www.anze.com

PROJECT:
 MAHOPAC WELLS 1, 2 & 3
 TOWN OF CARMEL
 PUTNAM COUNTY, NEW YORK

TITLE:
 TREE & LANDSCAPE PLAN

4870 6

EXHIBIT F

EXHIBIT G

LETTERHEAD

DATE

**Environmental Conservation Board
60 McAlpin Avenue
Mahopac NY 10541**

rtrombetta@ci.carmel.ny.us

RE: Veolia Application to allow new electrical service from Buckshollow Road

Dear Chairman Laga and Members of the Board,

I write this letter to confirm that the Hunters Run HOA, owner of the property in question, consents to and endorses the new electric service application by Veolia.

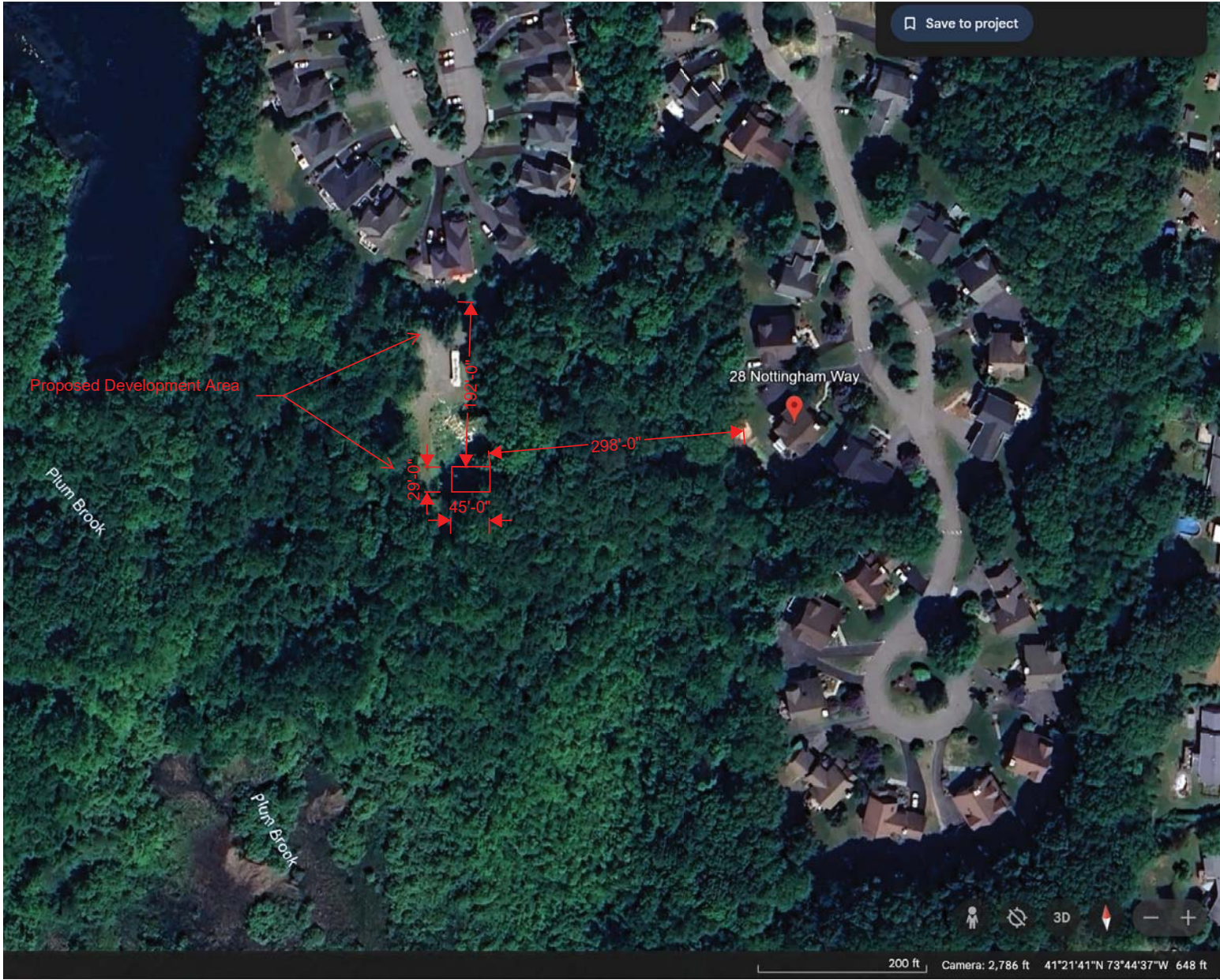
Sincerely,

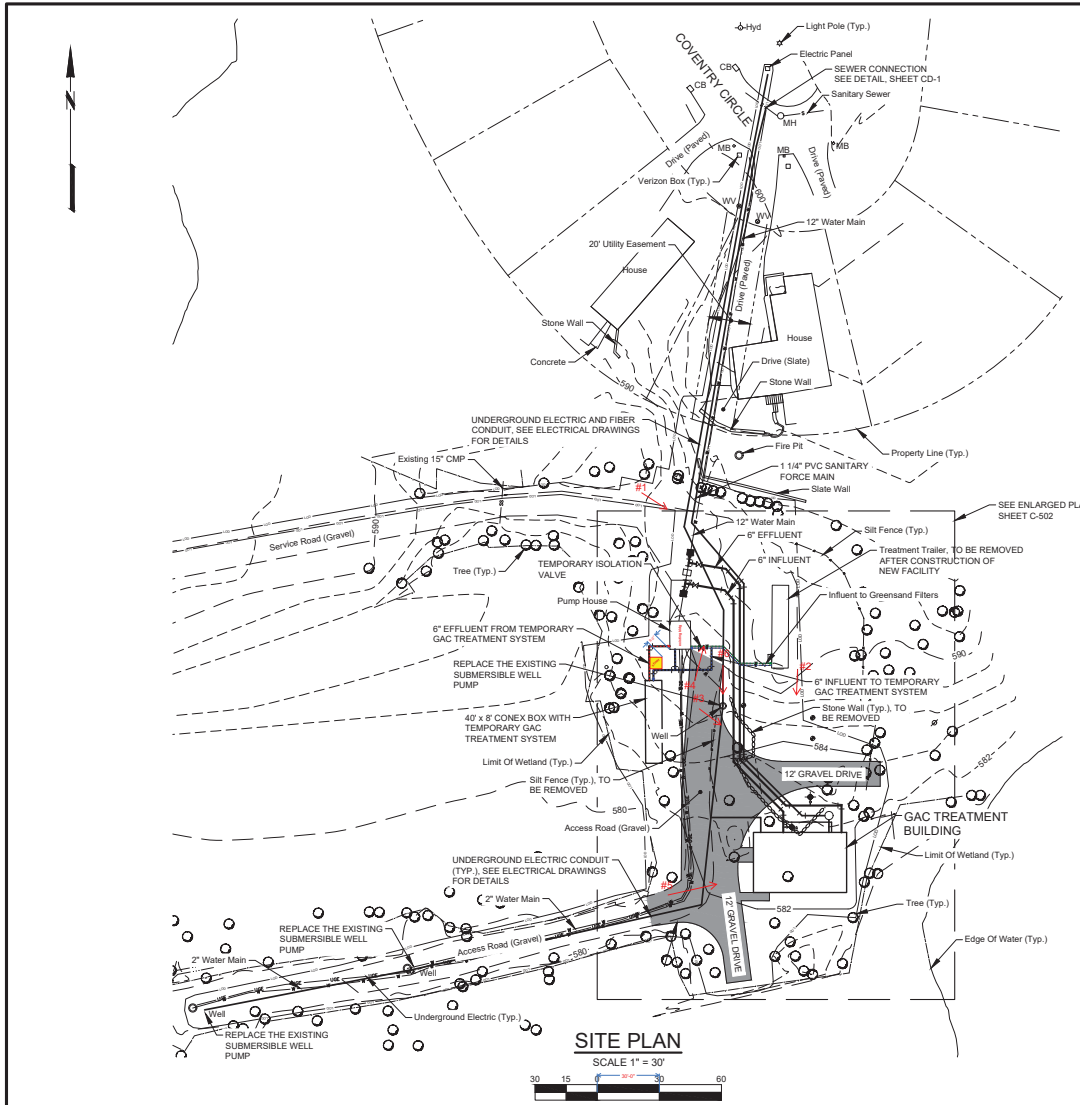
**Hunters Run HOA
BY: its Authorized officer/agent**

Signature

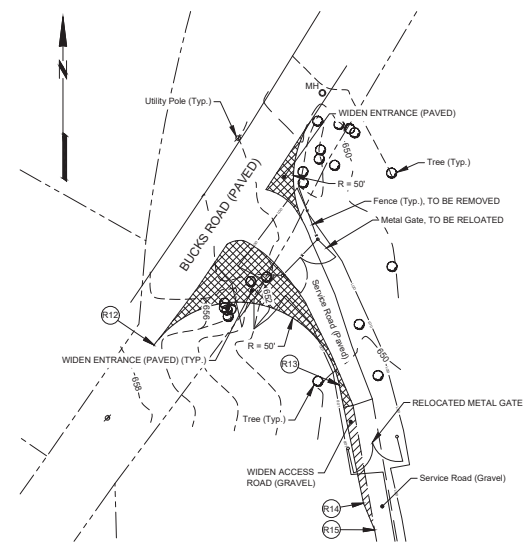
Printed Name

Title

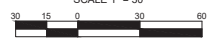




SITE PLAN
SCALE 1" = 30'



ENTRANCE SITE PLAN
SCALE 1" = 30'



THIS DRAWING AND SHALL REMAIN THE PROPERTY OF GANNETT FLEMING, INC. ANY REUSE, REUSE, ALTERATION, ADDITIONS AND/OR DELETIONS OF THESE DRAWINGS ON PROJECTS EXTENDING OR OTHER PROJECTS SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO GANNETT FLEMING, INC. IN THE EVENT THAT A DISCREPANCY EXISTS BETWEEN THE SEALED DRAWINGS AND THE ELECTRONIC FILES, THE SEALED DRAWINGS WILL GOVERN.

REVISED DRAWING	1/23	S.Z.L.	DESIGNED	CADD	SCALE
			J.L.G.	J.L.G.	AS NOTED
			CHECKED	APPROVED	APPROVED
			S.Z.L.		
DESCRIPTION	DATE	BY			
REVISIONS					

GANNETT FLEMING
ENGINEERS AND ARCHITECTS, P.C.

SUEZ WATER NEW YORK INC.
WEST NYACK, ROCKLAND COUNTY, NEW YORK

PFAS COMPLIANCE

MAHOPAC WELLS
CIVIL
SITE AND ENTRANCE SITE PLANS

JOB No.
68577
DATE
APRIL 2022

SHEET No.
C-501

Reference Image #1



Reference Image #2



Reference Image #3



Reference Image #4



Reference Image #5



Reference Image #6





PFAS COMPLIANCE AT
MAHOPAC WELL



ADJACENT NEIGHBOR- 8 FT TREES



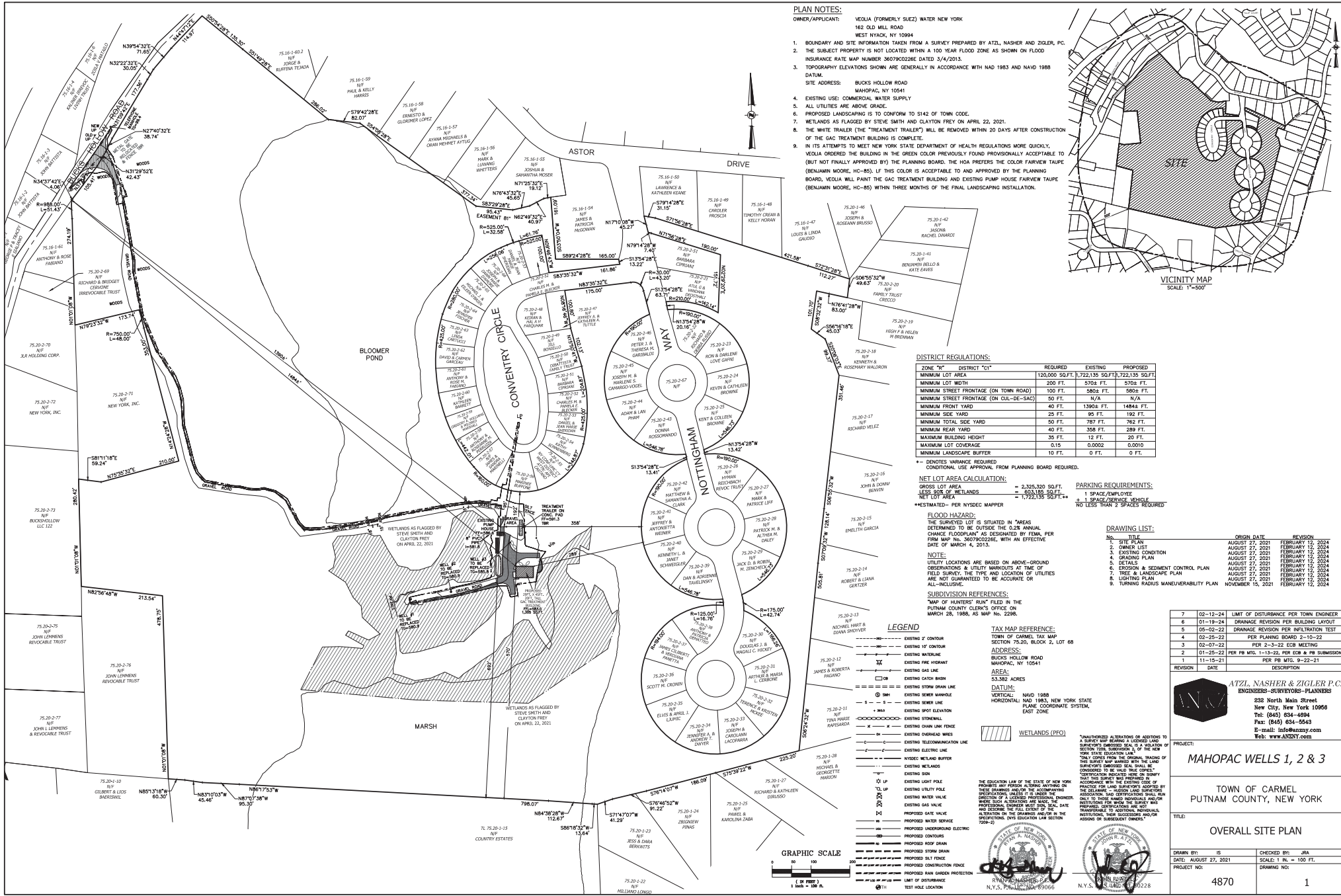
ADJACENT NEIGHBOR- 20 FT TREES



PFAS COMPLIANCE AT
MAHOPAC WELL



YARD- LOOKING NORTH



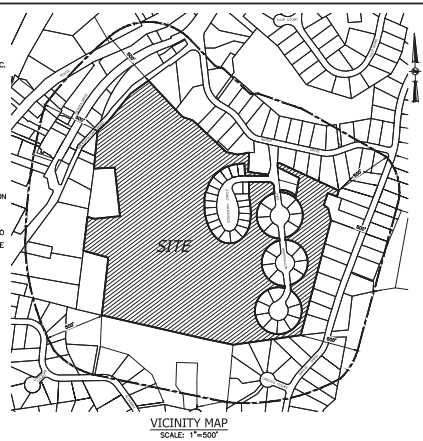
PLAN NOTES:

OWNER/APPLICANT: VEOLIA (FORMERLY SUEZ) WATER NEW YORK
 162 OLD MILL ROAD
 WEST HAVEN, NY 10594

- BOUNDARY AND SITE INFORMATION TAKEN FROM A SURVEY PREPARED BY ATZL, NASHER AND ZIGLER, P.C.
- THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A 100 YEAR FLOOD ZONE AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 3607900226 DATED 5/4/2013.
- TOPOGRAPHY ELEVATIONS SHOWN ARE GENERALLY IN ACCORDANCE WITH NAD 1983 AND NAVD 1988 DATUM.

SITE ADDRESS: BUCKS HOLLOW ROAD
 MAHOPAC, NY 10541

- EXISTING USE: COMMERCIAL WATER SUPPLY
- ALL UTILITIES ARE ABOVE GRADE.
- PROPOSED LANDSCAPING IS TO CONFORM TO S142 OF TOWN CODE.
- WETLANDS AS FLAGGED BY STEVE SMITH AND CLAYTON FREY ON APRIL 22, 2011.
- THE WHITE TRAILER (THE "TREATMENT TRAILER") WILL BE REMOVED WITHIN 20 DAYS AFTER CONSTRUCTION OF THE GAC TREATMENT BUILDING IS COMPLETE.
- IN ITS ATTEMPTS TO MEET NEW YORK STATE DEPARTMENT OF HEALTH REGULATIONS MORE QUICKLY, VEOLIA ORDERED THE BUILDING IN THE GREEN COLOR PREVIOUSLY FOUND PROVISIONALLY ACCEPTABLE TO (BUT NOT FINALLY APPROVED BY) THE PLANNING BOARD. THE HIGH PRETENS COLOR FARVIEW TAUPPE (BENJAMIN MOORE, HC-85). IF THIS COLOR IS ACCEPTABLE TO AND APPROVED BY THE PLANNING BOARD, VEOLIA WILL PLAN THE GAC TREATMENT BUILDING AND EXISTING PUMP HOUSE FARVIEW TAUPPE (BENJAMIN MOORE, HC-85) WITHIN THREE MONTHS OF THE FINAL LANDSCAPING INSTALLATION.



DISTRICT REGULATIONS:

ZONE "N"	DISTRICT "C1"	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA		120,000 SQ. FT.	7,721.15 SQ. FT.	72,115.50 SQ. FT.
MINIMUM LOT WIDTH		200 FT.	570.5 FT.	570.5 FT.
MINIMUM STREET FRONTAGE (ON TOWN ROAD)		100 FT.	580.8 FT.	580.8 FT.
MINIMUM STREET FRONTAGE (ON CUL-DE-SAC)		50 FT.	N/A	N/A
MINIMUM FRONT YARD		40 FT.	138.06 FT.	144.84 FT.
MINIMUM SIDE YARD		25 FT.	95 FT.	192 FT.
MINIMUM TOTAL SIDE YARD		50 FT.	787 FT.	782 FT.
MINIMUM REAR YARD		40 FT.	308 FT.	289 FT.
MAXIMUM BUILDING HEIGHT		12 FT.	12 FT.	22 FT.
MAXIMUM LOT COVERAGE		0.15	0.0002	0.0010
MINIMUM LANDSCAPE BUFFER		10 FT.	0 FT.	0 FT.

NET LOT AREA CALCULATION:
 GROSS LOT AREA = 2,325,320 SQ. FT.
 LESS NET WETLANDS = 1,633,185 SQ. FT.
 NET LOT AREA = 692,135 SQ. FT. ±

FLOOD HAZARD:
 THE SURVEYED LOT IS SITUATED IN "AREA B" DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS DESIGNATED BY FEMA, PER FIRM MAP NO. 3607900226, WITH AN EFFECTIVE DATE OF MARCH 4, 2013.

NOTE:
 UTILITY LOCATIONS ARE BASED ON ABOVE-GROUND OBSERVATIONS & UTILITY MARKOUTS AT TIME OF FIELD SURVEY. THE TYPE AND LOCATION OF UTILITIES ARE NOT GUARANTEED TO BE ACCURATE OR ALL-INCLUSIVE.

SUBDIVISION REFERENCES:
 "MAP OF HUNTERS' RUN" FILED IN THE PUTNAM COUNTY CLERK'S OFFICE ON MARCH 25, 1988, AS MAP NO. 2298.

NET LOT AREA CALCULATION (continued):
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DRAWING LIST:

No.	TITLE	ORIGIN DATE	REVISION
1	SITE PLAN	AUGUST 27, 2021	FEBRUARY 12, 2024
2	OWNER LIST	AUGUST 27, 2021	FEBRUARY 12, 2024
3	EXISTING CONDITION	AUGUST 27, 2021	FEBRUARY 12, 2024
4	DRAINING PLAN	AUGUST 27, 2021	FEBRUARY 12, 2024
5	DETAILS	AUGUST 27, 2021	FEBRUARY 12, 2024
6	EROSION & SEDIMENT CONTROL PLAN	AUGUST 27, 2021	FEBRUARY 12, 2024
7	TREE & LANDSCAPE PLAN	AUGUST 27, 2021	FEBRUARY 12, 2024
8	LIGHTING PLAN	AUGUST 27, 2021	FEBRUARY 12, 2024
9	TURNING RADIUS MANEUVERABILITY PLAN	NOVEMBER 15, 2021	FEBRUARY 12, 2024

7	02-12-24	LIMIT OF DISTURBANCE PER TOWN ENGINEER
6	01-19-24	DRAINAGE REVISION PER BUILDING LAYOUT
5	06-02-22	DRAINAGE REVISION PER INFILTRATION TEST
4	02-25-22	PER PLANNING BOARD 2-15-22
3	02-07-22	PER 2-3-22 ECB MEETING
2	01-25-22	PER PW MTL 1-15-22, PER ECB & PW SUBMISSION
1	11-15-21	PER PW MTL 9-22-21

REVISION DATE DESCRIPTION

ATZL, NASHER & ZIGLER P.C.
 ENGINEERS-SEWERERS-PLANNERS
 232 North Main Street
 New City, New York 10566
 Tel: (845) 654-4894
 Fax: (845) 654-5543
 E-mail: info@anzny.com
 Web: www.ANZNY.com

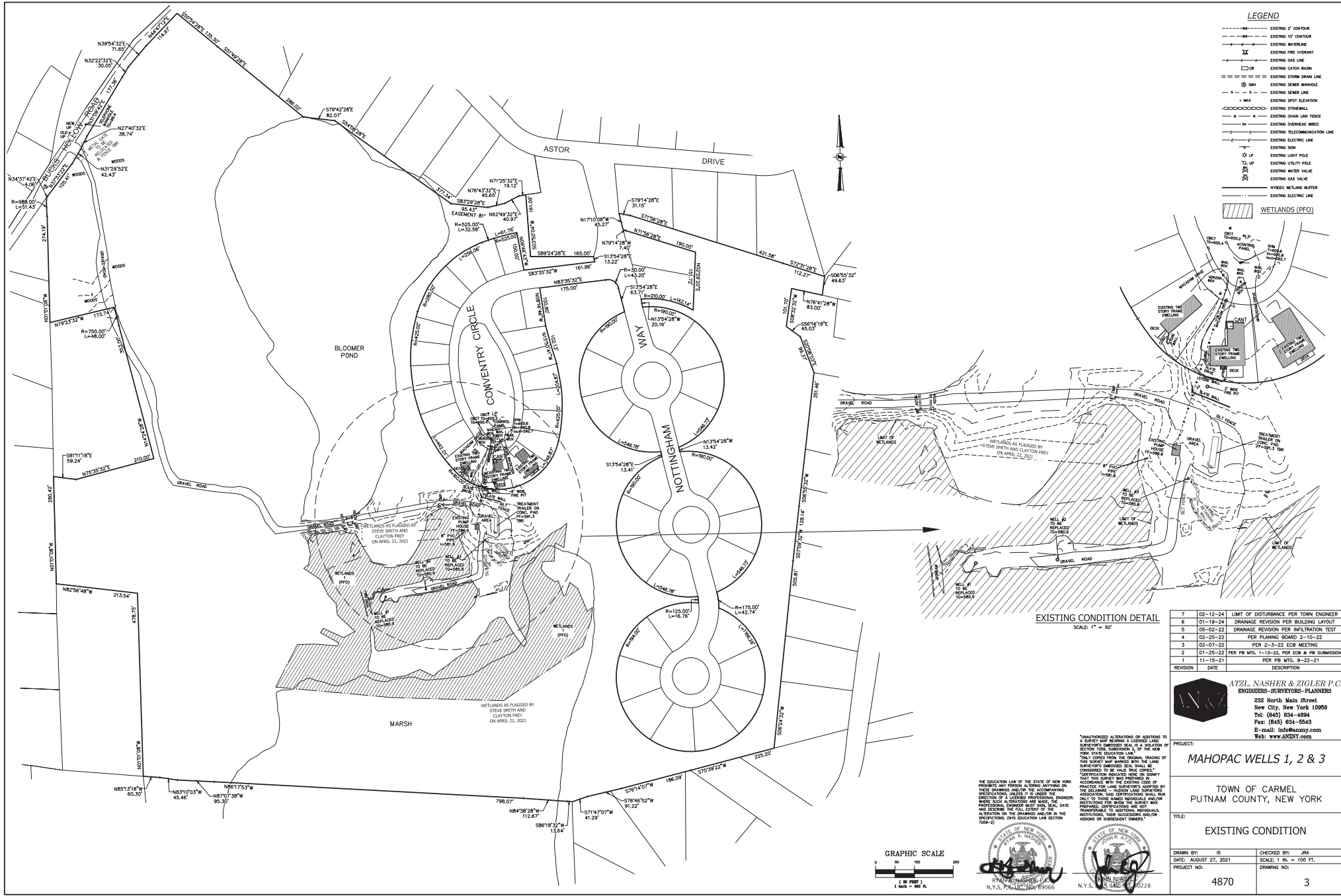
PROJECT: MAHOPAC WELLS 1, 2 & 3

TOWN OF CARMEL
 PUTNAM COUNTY, NEW YORK

TITLE: OVERALL SITE PLAN

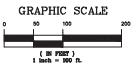
DRAWN BY: JSI CHECKED BY: JSA
 DATE: AUGUST 27, 2021 SCALE: 1" = 100' FT.
 PROJECT NO: 4870 DRAWING NO: 1





LEGEND

- EXISTING LOT CONTOUR
- EXISTING LOT CONTOUR
- EXISTING FIRE HYDRANT
- EXISTING GAS LINE
- EXISTING WATER MAIN
- EXISTING STORM DRAIN LINE
- EXISTING SEWER MANHOLE
- EXISTING SEWER LINE
- EXISTING SPOT ELEVATION
- EXISTING STORMWALL
- EXISTING CHAIN LINK FENCE
- EXISTING OVERHEAD WIRES
- EXISTING TELECOMMUNICATION LINE
- EXISTING ELECTRIC LINE
- EXISTING SIGN
- EXISTING LIGHT POLE
- EXISTING UTILITY POLE
- EXISTING WATER VALVE
- EXISTING GAS VALVE
- HYDRO WETLAND BUFFER
- EXISTING ELECTRIC LINE
- WETLANDS (PF0)



EXISTING CONDITION DETAIL
SCALE 1" = 50'

7	02-12-24	LIMIT OF DISTURBANCE PER TOWN ENGINEER
6	01-19-24	DRAINAGE REVISION PER BUILDING LAYOUT
5	06-02-22	DRAINAGE REVISION PER INFILTRATION TEST
4	02-25-22	PER PLANNING BOARD 2-15-22
3	02-07-22	PER 2-3-22 ECB MEETING
2	01-25-22	PER PUB MTL 1-13-22, PER ECB & PUB SUBMISSION
1	11-15-21	PER PUB MTL 9-22-21
REVISION	DATE	DESCRIPTION

ATZL, NASHER & ZIGLER P.C.
ENGINEERS-SEWER/DRY-PLANNERS
232 North Main Street
New City, New York 10966
Tel: (845) 634-4694
Fax: (845) 634-5543
E-mail: info@anzny.com
Web: www.ANZNY.com

PROJECT: **MAHOPAC WELLS 1, 2 & 3**

TOWN OF CARMEL
PUTNAM COUNTY, NEW YORK

TITLE: **EXISTING CONDITION**

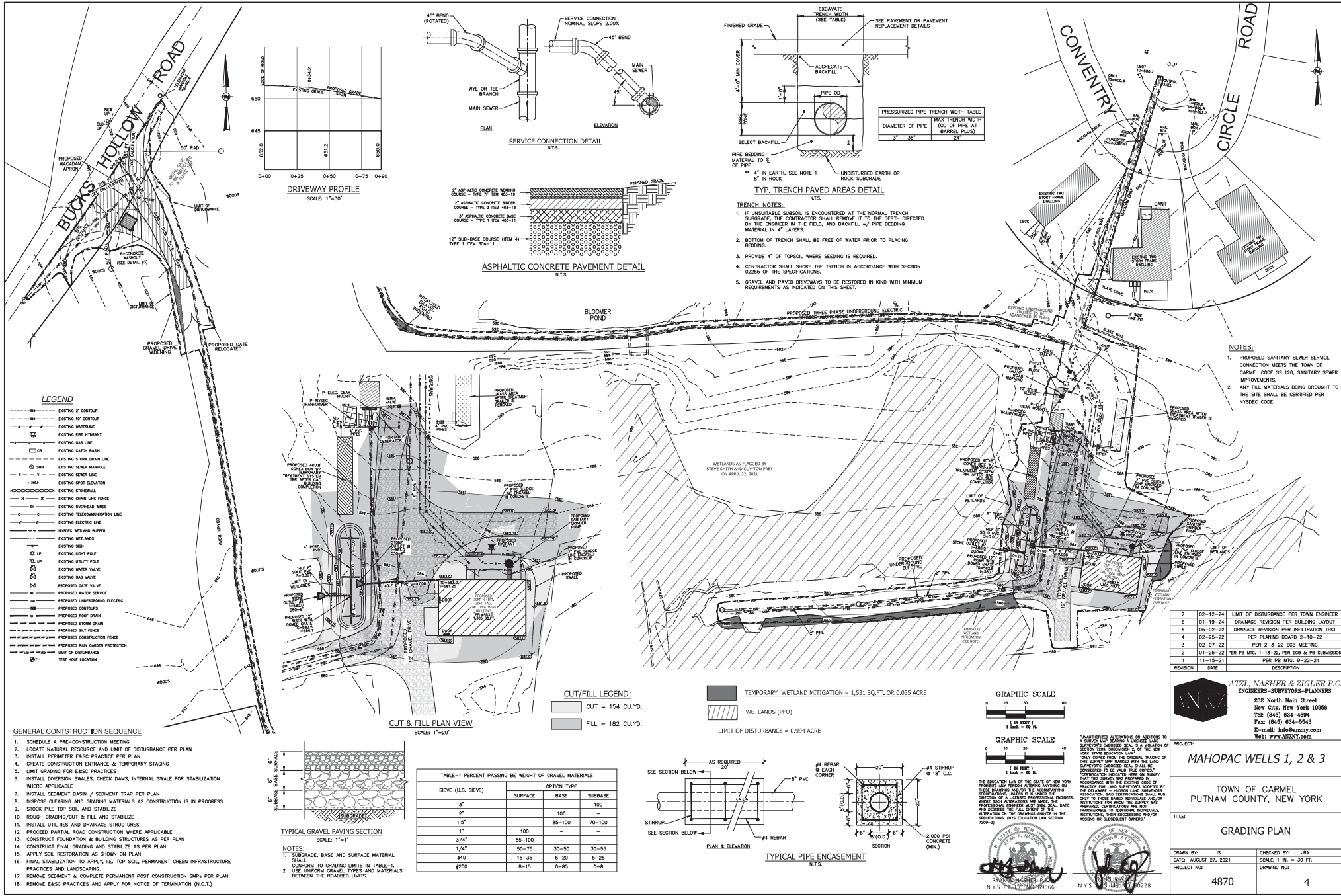
DRAWN BY: IS	CHECKED BY: JSA
DATE: AUGUST 27, 2021	SCALE: 1/4" = 100 FT.
PROJECT NO: 4870	DRAWING NO: 3

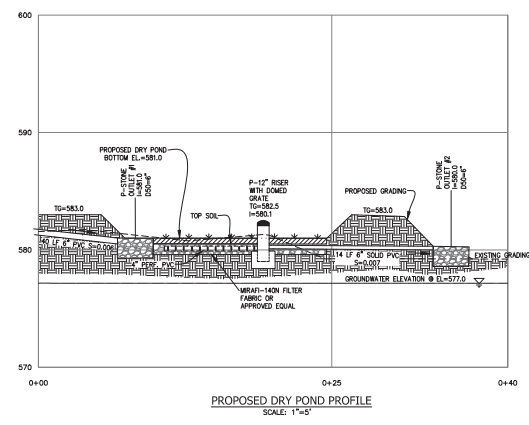
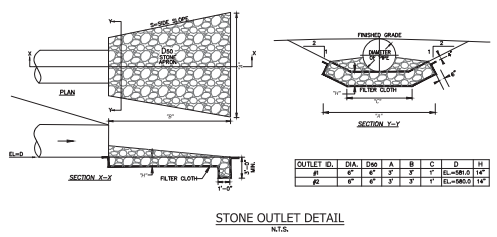
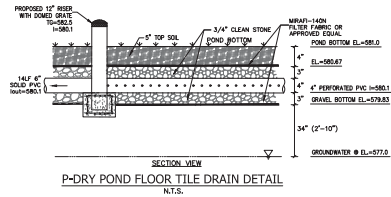
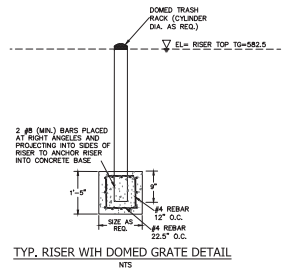
UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A SURVEY MADE BY ANY PERSON OTHER THAN THE SURVEYOR OR HIS EMPLOYEES ARE PROHIBITED BY LAW. THE SURVEYOR'S LIABILITY IS LIMITED TO THE PROFESSIONAL STANDARDS OF THE SURVEYING INDUSTRY. THE SURVEYOR DOES NOT WARRANT THE ACCURACY OF THE DATA PROVIDED TO HIM BY OTHER SOURCES. THE SURVEYOR'S LIABILITY IS LIMITED TO THE PROFESSIONAL STANDARDS OF THE SURVEYING INDUSTRY. THE SURVEYOR DOES NOT WARRANT THE ACCURACY OF THE DATA PROVIDED TO HIM BY OTHER SOURCES.

THE EDUCATION LAW OF THE STATE OF NEW YORK PROVIDES ANY PERSON ATTEMPTING ANYTHING ON THESE DRAWINGS AND/OR THE ACCOMPANYING INSTRUMENTS, UNLESS IT IS UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER, SHALL BE CONSIDERED TO BE VIOLATING THE EDUCATION LAW OF THE STATE OF NEW YORK. THE EDUCATION LAW OF THE STATE OF NEW YORK PROVIDES ANY PERSON ATTEMPTING ANYTHING ON THESE DRAWINGS AND/OR THE ACCOMPANYING INSTRUMENTS, UNLESS IT IS UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER, SHALL BE CONSIDERED TO BE VIOLATING THE EDUCATION LAW OF THE STATE OF NEW YORK.

STATE OF NEW YORK
COUNTY OF PUTNAM
JULY 15 2021
N.Y.S. PUBLIC NOTARY #09066

STATE OF NEW YORK
COUNTY OF PUTNAM
AUGUST 27 2021
N.Y.S. PUBLIC NOTARY #02228





REVISION	DATE	DESCRIPTION
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ATZL, NASHER & ZIGLER P.C.
 ENGINEERS-SEVEREYBOS-PLANNERS
 232 North Main Street
 New City, New York 10956
 Tel: (845) 634-4694
 Fax: (845) 634-5543
 E-mail: info@anzny.com
 Web: www.anzny.com

PROJECT: **MAHOPAC WELLS 1, 2 & 3**

TOWN OF CARMEL
 PUTNAM COUNTY, NEW YORK

TITLE: **DETAILS**

DRAWN BY: IS CHECKED BY: JSA
 DATE: AUGUST 27, 2021 SCALE: AS SHOWN
 PROJECT NO: **4870** DRAWING NO: **5**

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A SEWER LINE BEARING A LICENSED LAND SURVEYOR'S SURVEYOR'S SEAL, OR A VIOLATION OF SECTION 2030, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

THE TOWN ENGINEER HAS REVIEWED THE DRAWING AND HAS CONSIDERED IT TO BE A TRUE COPY OF THE ORIGINAL DRAWING AS SUBMITTED TO HIM OR HER.

ONLY TO THOSE INDIVIDUALS WHOSE PROFESSIONAL SEALS ARE NOTED ON THIS DRAWING.

NO OTHER INDIVIDUALS ARE TO BE CONSIDERED TO HAVE REVIEWED OR APPROVED THIS DRAWING.

THE EDUCATION LAW OF THE STATE OF NEW YORK PROVIDES ANY PERSON ALTERING ANYTHING ON THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS, UNLESS IT IS UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER, WHERE SUCH ALTERATIONS ARE MADE, THE PROFESSIONAL ENGINEER'S SEAL AND DATE OF SIGNATURE THEREON SHALL BE VOID.

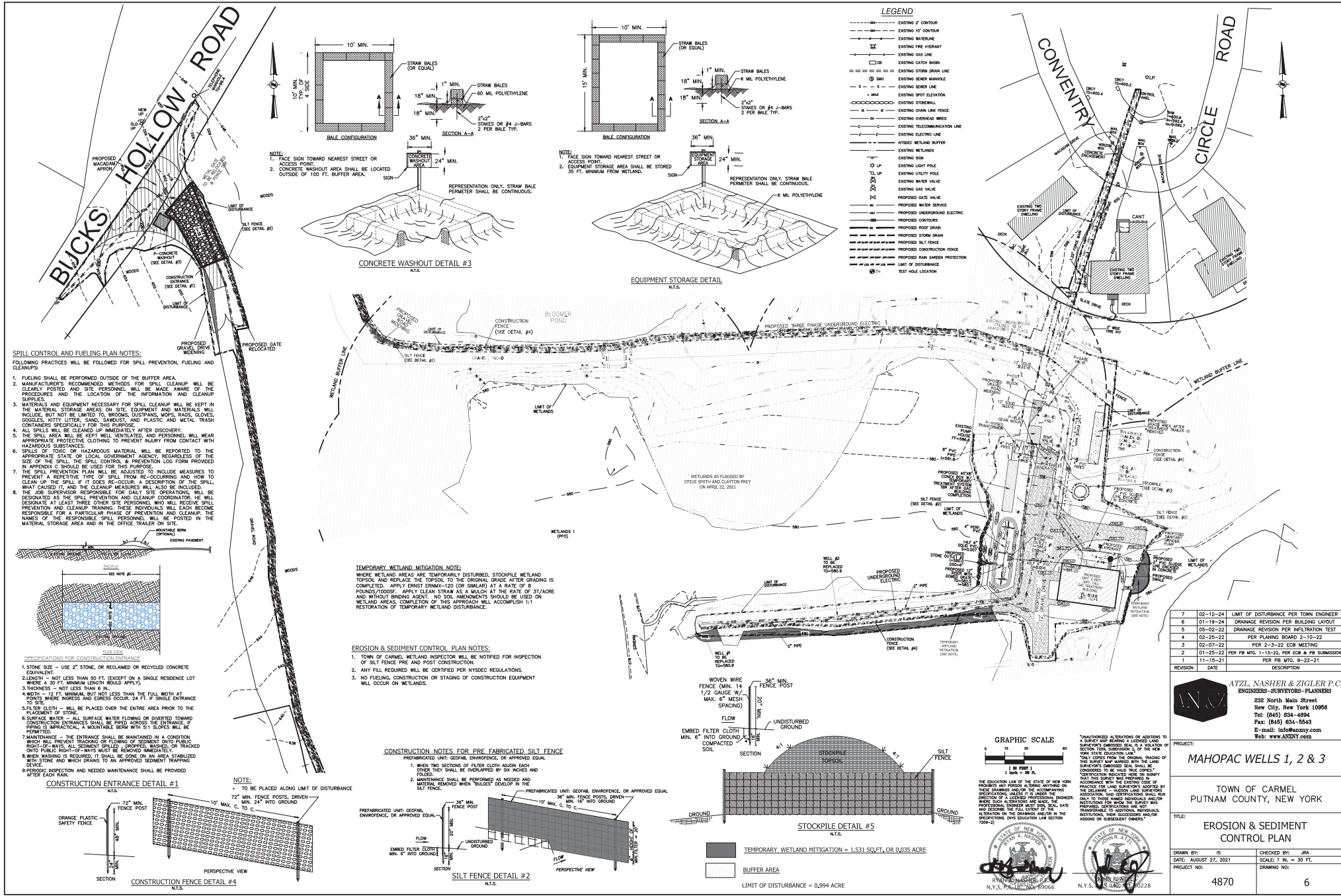
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STATE OF NEW YORK
 SEAL OF
 JAMES A. NASHER
 LICENSE NO. 10228
 N.Y.S. PUBLIC LAW 89066

STATE OF NEW YORK
 SEAL OF
 JAMES A. NASHER
 LICENSE NO. 10228
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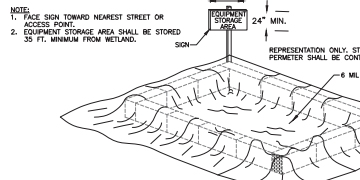
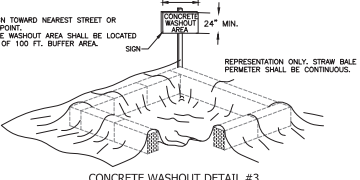
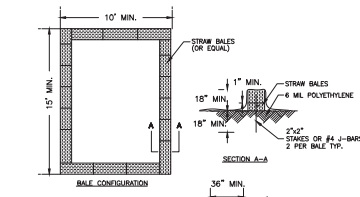
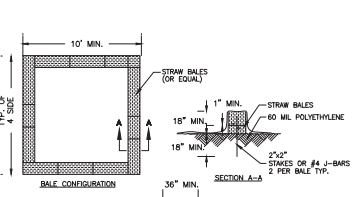
SPILL CONTROL AND FUELING PLAN NOTES:

FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION, FUELING AND CLEANUPS:

1. FUELING SHALL BE PERFORMED OUTSIDE OF THE BUFFER AREA.
2. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
3. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREAS ON SITE. EQUIPMENT AND MATERIALS WILL INCLUDE, BUT NOT BE LIMITED TO, BROOMS, DUSTPANS, ROPS, RAGS, GLOVES, COOLES, RITTY LITTER, SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
4. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
5. THE SPILL AREA WILL BE KEPT WELL VENTILATED, AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH HAZARDOUS SUBSTANCES.
6. SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE OF THE SPILL. THE SPILL CONTROL & PREVENTION LOG FORM PROVIDED IN APPENDIX C SHOULD BE USED FOR THIS PURPOSE.
7. THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT A RECURRING TYPE OF SPILL FROM RE-OCCURRING AND HOW TO CLEAN UP THE SPILL IF IT DOES RE-OCCUR. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.
8. THE JOB SUPERVISOR RESPONSIBLE FOR DAILY SITE OPERATIONS WILL BE DESIGNATED AS THE SPILL PREVENTION AND CLEANUP COORDINATOR. HE WILL IDENTIFY AT LEAST THREE OTHER SITE PERSONNEL WHO WILL RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF THE RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IN THE OFFICE TRAILER ON SITE.

NOTES:

1. FACE SIGN TOWARD NEAREST STREET OR ACCESS POINT.
2. CONCRETE WASHOUT AREA SHALL BE LOCATED OUTSIDE OF 100 FT. BUFFER AREA.



TEMPORARY WETLAND MITIGATION NOTE:

WHERE WETLAND AREAS ARE TEMPORARILY DISTURBED, STOCKPILE WETLAND TOPSOIL AND REPLACE TO THE ORIGINAL GRADE AFTER GRADING IS COMPLETED. APPLY ERNST ERMA-100 (OR SIMILAR) AT A RATE OF 8 POUNDS/1000SQ. APPLY CLEAN STRAW AS A MULCH AT THE RATE OF 3T/ACRE AND WITHOUT SMOKE AGENT. NO SOIL AMENDMENTS SHOULD BE USED ON WETLAND AREAS. COMPLETION OF THIS APPROACH WILL ACCOMPLISH 1:1 RESTORATION OF TEMPORARY WETLAND DISTURBANCE.

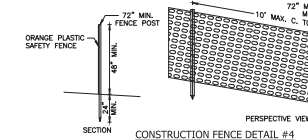
EROSION & SEDIMENT CONTROL PLAN NOTES:

1. TOWN OF CARMEL WETLAND INSPECTOR WILL BE NOTIFIED FOR INSPECTION OF SILT FENCE PRE AND POST CONSTRUCTION.
2. ANY FILL REQUIRED WILL BE CERTIFIED PER NYSDC REGULATIONS.
3. NO FUELING, CONSTRUCTION OR STAGING OF CONSTRUCTION EQUIPMENT WILL OCCUR ON WETLANDS.

CONSTRUCTION NOTES FOR PRE FABRICATED SILT FENCE

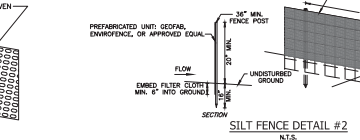
1. WHEN TWO SECTIONS OF FLEXI CLOTH ALLOW EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FUSED.
2. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN THROUGH DEVELOP IN THE SILT FENCE.

CONSTRUCTION ENTRANCE DETAIL #1

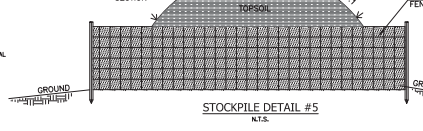


NOTE:

TO BE PLACED ALONG LIMIT OF DISTURBANCE



STOCKPILE DETAIL #5



TEMPORARY WETLAND MITIGATION = 1,531 SQ.FT. OR 0.035 ACRE
 BUFFER AREA
 LIMIT OF DISTURBANCE = 0.994 ACRE

7	02-12-24	LIMIT OF DISTURBANCE PER TOWN ENGINEER
6	01-19-24	DRAINAGE REVISION PER BUILDING LAYOUT
5	06-02-22	DRAINAGE REVISION PER INFILTRATION TEST
4	02-25-22	PER PLANNING BOARD 2-10-22
3	02-07-22	PER 2-3-22 EOB MEETING
2	01-25-22	PER PW MTS. 1-13-22, PER EOB & PW SUBMISSION
1	11-15-21	PER PW MTS. 9-22-21
REVISION	DATE	DESCRIPTION

ATZL, NASHER & ZIGLER P.C.
 ENGINEERS-SEVERSIORS-PLANNERS
 232 North Main Street
 New City, New York 10966
 Tel: (845) 634-4694
 Fax: (845) 634-5543
 E-mail: info@anzny.com
 Web: www.ANZNY.com

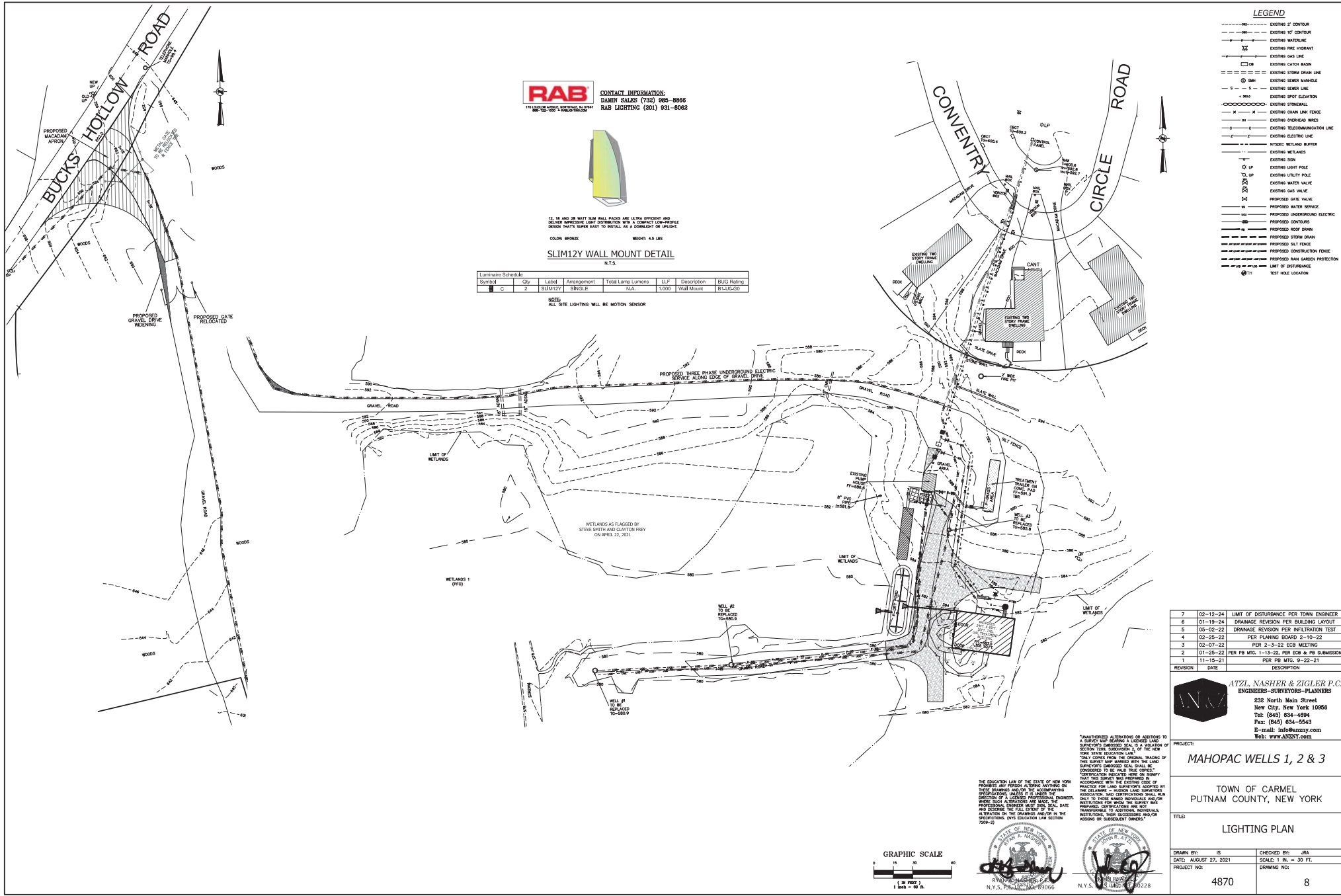
PROJECT: **MAHOPAC WELLS 1, 2 & 3**

TOWN OF CARMEL
 PUTNAM COUNTY, NEW YORK

EROSION & SEDIMENT CONTROL PLAN

DRAWN BY: IS CHECKED BY: JSA
 DATE: AUGUST 27, 2021 SCALE: 1" = 30' FT.
 PROJECT NO: 4870 DRAWING NO: 6





RAB CONTACT INFORMATION:
 DANIEL SALES (782) 965-8806
 RAB LIGHTING (201) 931-6062



12, 18 AND 24 WATT SLIM WALL MOUNTS ARE ULTRA EFFICIENT AND
 DESIGN SPECIFIC LIGHT DISTRIBUTION WITH A COMPACT LOW PROFILE
 DESIGN THAT'S SUPER EASY TO INSTALL AS A DOWNLIGHT OR UPLIGHT.

COLOR: BRONZE WEIGHT: 4.5 LBS
SLIM12X WALL MOUNT DETAIL
 N.T.S.

Luminaire Schedule	Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	BUD Rating
C	2	SLIM12X	SINGLE	N/A	N/A	1,000	Wall Mount	EX-100-030

NOTE:
 ALL SITE LIGHTING WILL BE MOTION SENSOR

- LEGEND**
- EXISTING 1' CONTOUR
 - EXISTING 10' CONTOUR
 - EXISTING WATERLINE
 - EXISTING FIRE HYDRANT
 - EXISTING GAS LINE
 - EXISTING CATCH BASIN
 - EXISTING STORM DRAIN LINE
 - EXISTING SEWER MANHOLE
 - EXISTING SEWER LINE
 - EXISTING SPOT ELEVATION
 - EXISTING STONEWALL
 - EXISTING CHAIN LINK FENCE
 - EXISTING OVERHEAD WIRE
 - EXISTING TELECOMMUNICATION LINE
 - EXISTING ELECTRIC LINE
 - NYSD&C WETLAND BUFFER
 - EXISTING WETLANDS
 - EXISTING SIGN
 - EXISTING LIGHT POLE
 - EXISTING UTILITY POLE
 - EXISTING WATER VALVE
 - EXISTING GAS VALVE
 - PROPOSED GATE VALVE
 - PROPOSED WATER SERVICE
 - PROPOSED UNDERGROUND ELECTRIC
 - PROPOSED CONTOURS
 - PROPOSED ROOF DRAIN
 - PROPOSED STORM DRAIN
 - PROPOSED SILT FENCE
 - PROPOSED CONSTRUCTION FENCE
 - PROPOSED RUN DAMMED PROTECTION
 - LIMIT OF DISTURBANCE
 - TEST HOLE LOCATION

WETLANDS AS FLAGGED BY STEVE SMITH AND CLAYTON FREY ON APRIL 22, 2021

WETLANDS 1 (PFD)

WETLANDS 2 (PFD)

WETLANDS 3 (PFD)

WETLANDS 4 (PFD)

WETLANDS 5 (PFD)

WETLANDS 6 (PFD)

WETLANDS 7 (PFD)

WETLANDS 8 (PFD)

WETLANDS 9 (PFD)

WETLANDS 10 (PFD)

WETLANDS 11 (PFD)

WETLANDS 12 (PFD)

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WETLANDS 96 (PFD)

WETLANDS 97 (PFD)

WETLANDS 98 (PFD)

WETLANDS 99 (PFD)

WETLANDS 100 (PFD)

REVISION	DATE	DESCRIPTION
7	02-12-24	LIMIT OF DISTURBANCE PER TOWN ENGINEER
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ATZEL, NASHER & ZIGLER P.C.
 ENGINEERS - SURVEYORS - PLANNERS
 232 North Main Street
 New City, New York 10956
 Tel: (845) 634-4694
 Fax: (845) 634-5543
 E-mail: info@azny.com
 Web: www.ANZNY.com

PROJECT: **MAHOPAC WELLS 1, 2 & 3**

TOWN OF CARMEL
 PUTNAM COUNTY, NEW YORK

TITLE: **LIGHTING PLAN**

DRAWN BY: IS	CHECKED BY: JSA
DATE: AUGUST 27, 2021	SCALE: 1" = 30' FT.
PROJECT NO: 4870	DRAWING NO: 8

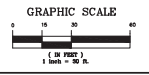
THE EDUCATION LAW OF THE STATE OF NEW YORK
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 OF AN ENGINEER, ARCHITECT, LAND SURVEYOR, OR
 PROFESSIONAL ENGINEER, SHALL BE CONSIDERED
 TO BE IN VIOLATION OF THE EDUCATION LAW AND
 SUBJECT TO THE PENALTIES THEREOF.

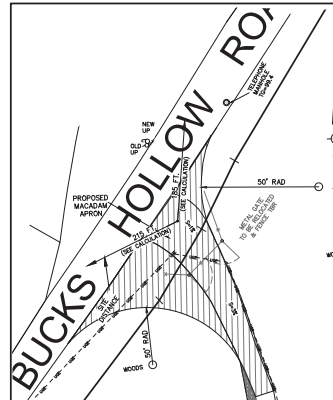
THE STATE ENGINEERING BOARD OF
 PRACTICE FOR LAND SURVEYORS, SOOBYED BY
 THE OFFICE OF THE STATE ENGINEER, HAS REVIEWED
 THESE DRAWINGS AND SPECIFICATIONS AND HAS
 DETERMINED THAT THEY COMPLY WITH THE
 REQUIREMENTS OF THE EDUCATION LAW AND THE
 REGULATIONS OF THE BOARD OF PRACTICE FOR
 LAND SURVEYORS.

DATE: AUGUST 27, 2021

STATE OF NEW YORK
 OFFICE OF THE STATE ENGINEER
 N.Y.S. PUBLIC LAW 89066

STATE OF NEW YORK
 OFFICE OF THE STATE ENGINEER
 N.Y.S. PUBLIC LAW 890228



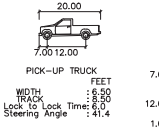


VEHICLE TRAVELING DOWNHILL TOWARD THE SITE:
 SIGHT DISTANCE, $S = (1.47 \times tpV) + \frac{V^2}{30(C/G + G)}$
 tp, PERCEPTION TIME = 2.5 SEC
 V, VEHICLE DESIGN SPEED = 30 MPH
 C, DECELERATION RATE = 11.2 FT./SEC²
 G, ACCELERATION OF GRAVITY = 32.2 FT./SEC²
 G, ROAD SLOPE IN DECIMAL (NEGATIVE IF THE ROADWAY IS DOWNHILL) = - 0.056

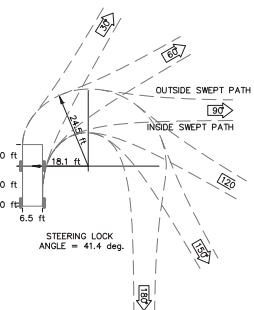
SIGHT DISTANCE, $S = (1.47 \times 2.5 \times 30) + \frac{30^2}{30(-0.056 + 0)}$
 => SIGHT DISTANCE, S = 213.05 FT. => USE 215 FT.

VEHICLE TRAVELING UPHILL TOWARD THE SITE:
 SIGHT DISTANCE, $S = (1.47 \times tpV) + \frac{V^2}{30(C/G + G)}$
 tp, PERCEPTION TIME = 2.5 SEC
 V, VEHICLE DESIGN SPEED = 30 MPH
 C, DECELERATION RATE = 11.2 FT./SEC²
 G, ACCELERATION OF GRAVITY = 32.2 FT./SEC²
 G, ROAD SLOPE IN DECIMAL (POSITIVE IF THE ROADWAY IS UPHILL) = + 0.073

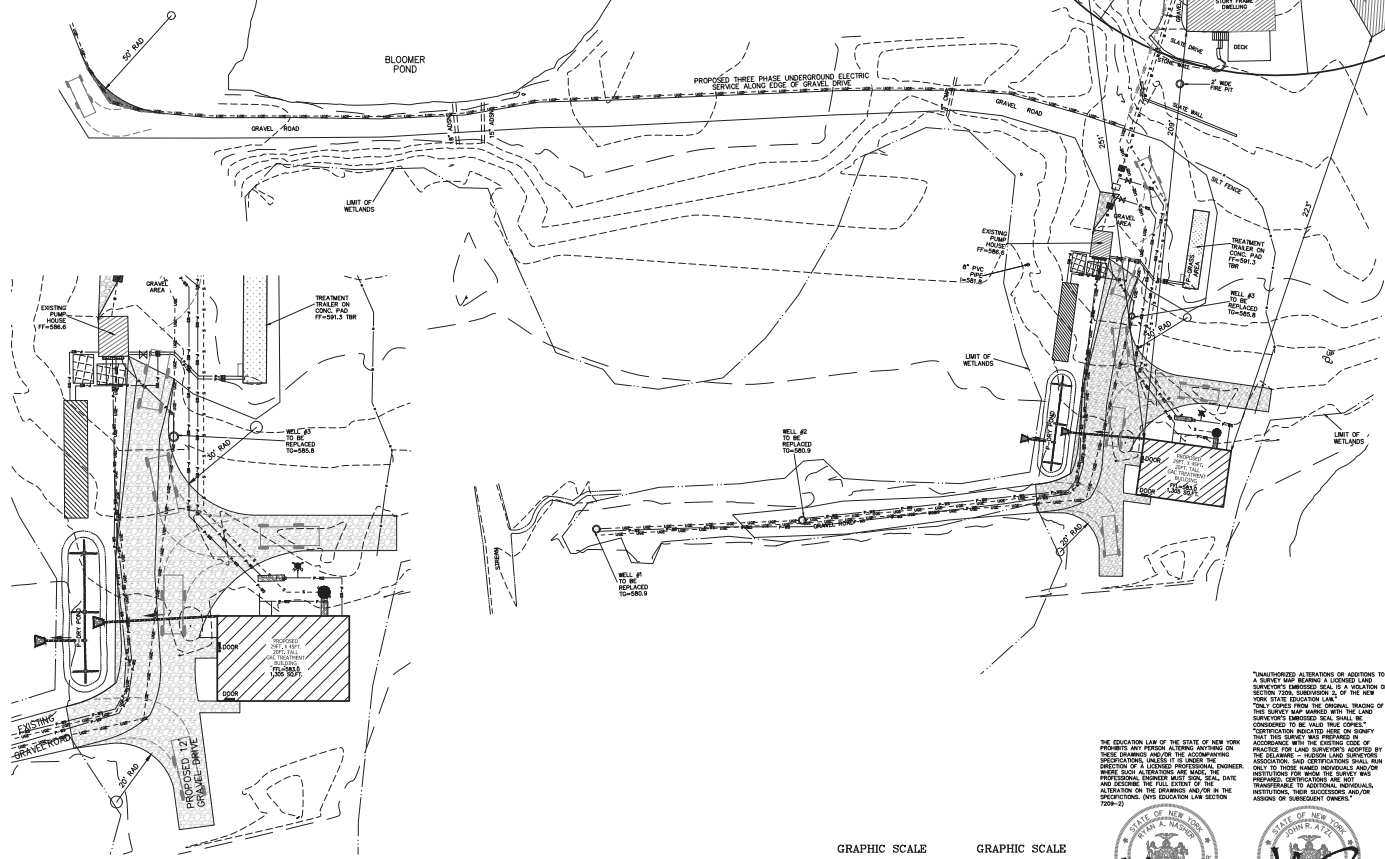
SIGHT DISTANCE, $S = (1.47 \times 2.5 \times 30) + \frac{30^2}{30(0.073 + 0)}$
 => SIGHT DISTANCE, S = 181.6 FT. => USE 185 FT.



ACHIEVED STEERING ANGLE:
 30 deg. SWEEP ANGLE: 20.8 deg.
 60 deg. SWEEP ANGLE: 30.8 deg.
 90 deg. SWEEP ANGLE: 35.8 deg.
 120 deg. SWEEP ANGLE: 38.4 deg.
 150 deg. SWEEP ANGLE: 39.8 deg.
 180 deg. SWEEP ANGLE: 40.6 deg.



LARGE PICK-UP TRUCK RADIUS DETAIL



TRUCK RADIUS PLAN
 SCALE: 1" = 20'

LEGEND

- EXISTING 2" CONTOUR
- EXISTING 10" CONTOUR
- EXISTING WATERLINE
- EXISTING FINE WIREMANT
- EXISTING GAS LINE
- EXISTING CATCH BASIN
- EXISTING STORM DRAIN LINE
- EXISTING SEWER MANHOLE
- EXISTING OVERHEAD WIRE
- EXISTING SEWER LINE
- EXISTING SPOT ELEVATION
- EXISTING STORMWALL
- EXISTING OVERHEAD WIRE
- EXISTING TELECOMMUNICATION LINE
- EXISTING ELECTRIC LINE
- WYSESE WETLAND BUFFER
- EXISTING WETLANDS
- EXISTING SIGN
- EXISTING LIGHT POLE
- EXISTING UTILITY POLE
- EXISTING WATER VALVE
- EXISTING GAS VALVE
- EXISTING GATE VALVE
- EXISTING WATER SERVICE
- PROPOSED UNDERGROUND ELECTRIC
- PROPOSED CONTOURS
- PROPOSED ROOF DRAIN
- PROPOSED STORM DRAIN
- PROPOSED SLEET FENCE
- PROPOSED OBSTRUCTION FENCE
- PROPOSED RAIN GARDEN PROTECTION
- LIMIT OF DISTURBANCE
- TEST HOLE LOCATION

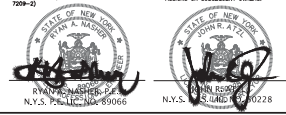
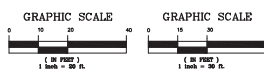
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REVISION	DATE	DESCRIPTION

ATZL, NASHER & ZIGLER P.C.
 ENGINEERS-SEWER/PLANNERS
 232 North Main Street
 New City, New York 10956
 Tel: (845) 634-4894
 Fax: (845) 634-5543
 E-mail: info@atzy.com
 Web: www.ANZNY.com

PROJECT: **MAHOPAC WELLS 1, 2 & 3**
 TOWN OF CARMEL
 PUTNAM COUNTY, NEW YORK

TITLE: **TURNING RADIUS
 MANEUVERABILITY PLAN**

DATE: NOVEMBER 15, 2021
 DRAWN BY: IS
 CHECKED BY: JSA
 PROJECT NO: 4870
 SCALE: 1" = 20 FT.
 DRAWING NO: 9



THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERNATING ANYWAY ON THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS, UNLESS IT IS UNDER THE SUPERVISION OF THE REGISTERED PROFESSIONAL ENGINEER, ARCHITECT OR PROFESSIONAL DESIGNER WHOSE NAME AND DATE OF SIGNING THE FULL TITLE FOR SUCH PROFESSIONAL DESIGNER ARE SHOWN ON THE DRAWING AND/OR IN THE DESCRIPTIONS AND EXPLANATION LINE SECTION 7209-2)

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A SEWER LINE BEARING A LICENSED LAND SURVEYOR'S NAME SHALL BE A VIOLATION OF SECTION 7203, SUBSECTION 2 OF THE NEW YORK STATE ELECTION LAW. THE OFFICE KNOWS THE ORIGINAL DRAUGHTING OF THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS AND CERTIFICATIONS SHALL BE RESPONSIBLE FOR ANY SUCH ALTERATIONS AND/OR ADDITIONS TO THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS. ANY SUCH ALTERATIONS AND/OR ADDITIONS TO THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS SHALL BE THE RESPONSIBILITY OF THE PERSON MAKING SUCH ALTERATIONS AND/OR ADDITIONS TO THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS.



TOWN OF CARMEL SITE PLAN APPLICATION INSTRUCTIONS



The Town of Carmel Planning Board meetings are held twice a month, on the second **Thursday** and fourth **Wednesday**, at 7:00 PM at Carmel Town Hall, 60 McAlpin Avenue, Carmel

The submission deadline is 10 days prior to the Planning Board meeting. New site plan applications that have been deemed complete will be placed on the agenda in the order they are received.

No application will be placed on the agenda that is incomplete

Pre-Submission:

Prior to the formal submission of the site plan, a pre-submission conference may be requested by the applicant to be conducted with representatives from the Town, which may include the Town Planner, Town Engineer, Director of Code Enforcement and/or the Planning Board Attorney. This conference will serve to educate the applicant on the process he/she must follow, clarify the information required to submit a complete site plan application, and to highlight any specific areas of concern. You may arrange a pre-submission conference through the Planning Board Secretary at (845) 628-1500 extension 190.

Submission Requirements:

At least 10 days prior to the Planning Board meeting, the site plan application shall be submitted to the Planning Board Secretary as follows:

All site plans shall be signed, sealed and folded with the title box legible. The application package shall include:

- 5 copies of the Site Plan Application Form, signed and notarized.
- 5 copies of the SEQR Environmental Assessment Form (use of short form or long form shall be determined at pre-submission conference).
- 5 full size sets of the Site Plan (including floor plans and elevations)
- 1 CD (in pdf. format) containing an electronic version of the Site Plan
- 2 copies of the Disclosure Statement
- 5 copies of the Site Plan Completeness Certification Form
- All supplemental studies, reports, plans and renderings.
- 2 copies of the current deed.
- ^{N/A} 2 copies of all easements, covenants and restrictions.
- The appropriate fee, determined from the attached fee schedule. Make checks payable to the *Town of Carmel*.

Rose Lombetta 3/4/24

Planning Board Secretary; Date

[Signature] 3/4/24

Town Engineer; Date



TOWN OF CARMEL SITE PLAN APPLICATION



Per Town of Carmel Code -- Section 156 - Zoning

SITE IDENTIFICATION INFORMATION		
Application Name: MARCEL CARRILLO	Application # 24-0045	Date Submitted: 2/29/24
Site Address: No. 1849 Street: RT. 6 Hamlet: CARMEL		
Property Location: (Identify landmarks, distance from intersections, etc.) ACROSS FROM PUTNAM PLAZA, RIGHT OF MAVIS TIRE		
Town of Carmel Tax Map Designation: Section 55.10 Block 1 Lot(s) 16	Zoning Designation of Site: COMMERCIAL	
Property Deed Recorded in County Clerk's Office Date _____ Liber _____ Page _____	Liens, Mortgages or other Encumbrances Yes _____ No <input checked="" type="checkbox"/>	
Existing Easements Relating to the Site No <input checked="" type="checkbox"/> Yes _____ Describe and attach copies: _____	Are Easements Proposed? No <input checked="" type="checkbox"/> Yes _____ Describe and attach copies: _____	
Have Property Owners within a 500' Radius of the Site Been Identified? Yes <input checked="" type="checkbox"/> No _____ Attached List to this Application Form		
APPLICANT/OWNER INFORMATION		
Property Owner: MARCEL CARRILLO	Phone #: (914)-497-9640 Fax#: _____	Email: MARCELCARRILLO@YAHOO.COM CENTER
Owners Address: No. _____ Street: _____ Town: _____ State: _____ Zip: _____		
Applicant (If different than owner): No. _____ Street: _____ Town: _____ State: _____ Zip: _____		
Applicant Address (If different than owner): No. _____ Street: _____ Town: _____ State: _____ Zip: _____		
Individual/ Firm Responsible for Preparing Site Plan: THOMAS R. NIKENT, ARCHITECT	Phone #: (845)-628-7495 Fax#: _____	Email: tnugearch@YAHOO.COM
Address: No. 79 Street: AUSTIN RD, Town: MAHOPAC State: NY Zip: 10541		
Other Representatives: <input checked="" type="checkbox"/>	Phone #: _____ Fax#: _____	Email: _____
Owners Address: <input checked="" type="checkbox"/> No. _____ Street: _____ Town: _____ State: _____ Zip: _____		
PROJECT DESCRIPTION		
Describe the project, proposed use and operation thereof: CONVERT COMMERCIAL OFFICE THAT WAS ORIGINALLY RESIDENTIAL, BACK TO RESIDENTIAL, 3 UNITS		

TOWN OF CARMEL SITE PLAN APPLICATION

PROJECT INFORMATION	
Lot size: Acres: <u>41</u> Square Feet: <u>17,900</u>	Square footage of all existing structures (by floor): <u>912 S.F. EACH OF 3 LEVEL</u>
# of existing parking spaces: <u>7</u>	# of proposed parking spaces: <u>7</u>
# of existing dwelling units: <u>0</u>	# of proposed dwelling units: <u>3</u>
Is the site served by the following public utility infrastructure:	
<ul style="list-style-type: none"> ▪ Is project in sewer district or will private septic system(s) be installed? <u>TOWN SEWER</u> ▪ If yes to Sanitary Sewer answer the following: <ul style="list-style-type: none"> ▶ Does approval exist to connect to sewer main? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> ▶ Is this an in-district connection? <input checked="" type="checkbox"/> Out-of district connection? ▶ What is the total sewer capacity at time of application? <u>75 x 15 = 1,125</u> ▶ What is your anticipated average and maximum daily flow <u>110 x 12 = 1,320</u> 	
For Town of Carmel Town Engineer	
▶ What is the sewer capacity _____	
<ul style="list-style-type: none"> ▪ Water Supply Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> 	
If Yes: <ul style="list-style-type: none"> ▶ Does approval exist to connect to water main? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> ▶ What is the total water capacity at time of application? <u>75 x 15 = 1,125</u> ▶ What is your anticipated average and maximum daily demand <u>110 x 12 = 1,320</u> 	
<ul style="list-style-type: none"> ▪ Storm Sewer Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> ▪ Electric Service Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> ▪ Gas Service Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> • Telephone/Cable Lines Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> 	
For Town of Carmel Town Engineer	
Water Flows <u>✓ 3/6/24</u> Sewer Flows <u>3/6/24</u> Town Engineer; Date	
What is the predominant soil type(s) on the site?	What is the approximate depth to water table? <u>120'</u>
Site slope categories: 15-25% _____ % 25-35% _____ % >35% _____ %	
Estimated quantity of excavation: Cut (C.Y.) <u>0</u> Fill (C.Y.) <u>0</u>	
Is Blasting Proposed Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> Unknown: <input type="checkbox"/>	
Is the site located in a designated Critical Environmental Area? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Does a curb cut exist on the site? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	Are new curb cuts proposed? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
What is the sight distance? Left _____ Right _____	
Is the site located within 500' of:	
<ul style="list-style-type: none"> • The boundary of an adjoining city, town or village 	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
<ul style="list-style-type: none"> • The boundary of a state or county park, recreation area or road right-of-way 	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
<ul style="list-style-type: none"> • A county drainage channel line. 	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
<ul style="list-style-type: none"> • The boundary of state or county owned land on which a building is located 	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>


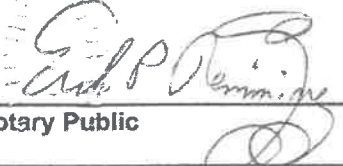
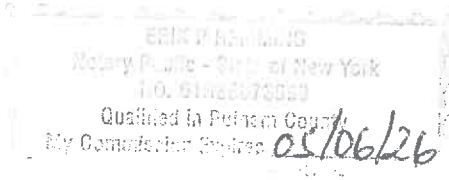
TOWN OF CARMEL SITE PLAN APPLICATION

Is the site listed on the State or Federal Register of Historic Place (or substantially contiguous) Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Is the site located in a designated floodplain? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Will the project require coverage under the Current NYSDEC Stormwater Regulations Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Will the project require coverage under the Current NYCDEP Stormwater Regulations Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Does the site disturb more than 5,000 sq ft	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
Does the site disturb more than 1 acre	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
Does the site contain freshwater wetlands? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Jurisdiction: NYSDEC: <input type="checkbox"/> Town of Carmel: <input checked="" type="checkbox"/>	
<i>If present, the wetlands must be delineated in the field by a Wetland Professional, and survey located on the Site Plan.</i>	
Are encroachments in regulated wetlands or wetland buffers proposed?	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
Does this application require a referral to the Environmental Conservation Board?	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
Does the site contain waterbodies, streams or watercourses?	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
Are any encroachments, crossings or alterations proposed?	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
Is the site located adjacent to New York City watershed lands?	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
Is the project funded, partially or in total, by grants or loans from a public source? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Will municipal or private solid waste disposal be utilized? Public: <input checked="" type="checkbox"/> Private: <input type="checkbox"/>	
Has this application been referred to the Fire Department?	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
What is the estimated time of construction for the project? <div style="text-align: right; font-family: cursive; font-size: 1.2em;">2 MONTHS</div>	

ZONING COMPLIANCE INFORMATION

Zoning Provision	Required	Existing	Proposed
Lot Area	17,900 SF	17,900 SF	17,900 SF
Lot Coverage	5000, MIN	7192	7192
Lot Width	200'	85'	85'
Lot Depth	200'	212'	212'
Front Yard	40'	57.2'	57.2'
Side Yard	25'	5.3'	5.3'
Rear Yard	30'	127'	127'
Minimum Required Floor Area	5,000 SF	2,928 SF	2,928 SF
Floor Area Ratio		.16	.16
Height	35	27	27
Off-Street Parking	15	7	7
Off-Street Loading	1	1	1

TOWN OF CARMEL SITE PLAN APPLICATION

Will variances be required? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	If yes, identify variances: USE SIDE YARD, FLOOR AREA
PROPOSED BUILDING MATERIALS	
Foundation	
Structural System	
Roof	
Exterior Walls	
APPLICANTS ACKNOWLEDGEMENT	
I hereby depose and certify that all the above statements and information, and all statements and information contained in the supporting documents and drawings attached hereto are true and correct.	
<u>MARCEL CORRIUO</u> Applicants Name	 Applicants Signature
Sworn before me this <u>28TH</u> day of <u>FEBRUARY</u> 20 <u>24</u>	
 Notary Public	



TOWN OF CARMEL SITE PLAN COMPLETENESS CERTIFICATION FORM



All Site Plans submitted to the Planning Board for review shall include the following information and details, as set forth in Section 156-61 B of the Town of Carmel Zoning Ordinance.

This form shall be included with the site plan submission

*Need
Site Plan*

	Requirement Data	To Be Completed by the Applicant	Waived by the Town
1	Name and title of person preparing the site plan	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
2	Name of the applicant and owner (if different from applicant)	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
3	Original drawing date, revision dates, scale and north arrow	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
4	Tax map, block and lot number(s), zoning district	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
5	All existing property lines, name of owner of each property within a 500' radius of the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6	Contour lines at two-foot intervals, grades of all roads, driveways, sanitary and storm sewers	<input type="checkbox"/> <i>EXISTING NO CHANGES</i>	<input type="checkbox"/>
7	The location of all water bodies, streams, watercourses, wetland areas, wooded areas, rights-of-way, streets, roads, highways, railroads, buildings, structures	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8	The location of all existing and proposed easements	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
9	The location of all existing and proposed structures, their use, setback dimensions, floor plans, front, side and rear elevations, buildable area.	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
10	On site circulation systems, access, egress ways and service roads, emergency service access and traffic mitigation measures	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
11	Sidewalks, paths and other means of pedestrian circulation	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
12	On-site parking and loading spaces and travel aisles with dimensions	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
13	The location, height and type of exterior lighting fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>
14	Proposed signage	<input checked="" type="checkbox"/>	<input type="checkbox"/>
15	For non-residential uses, an estimate of the number of employees who will be using the site, description of the operation, types of products sold, types of machinery and equipment used	<input checked="" type="checkbox"/>	<input type="checkbox"/>



TOWN OF CARMEL SITE PLAN COMPLETENESS CERTIFICATION FORM



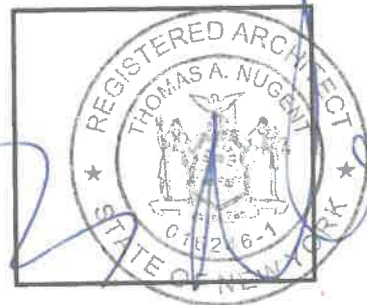
	Requirement Data	To Be Completed by the Applicant	Waived by the Town
16	The location of clubhouses, swimming pools, open spaces, parks or other recreational areas, and identification of who is responsible for maintenance	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17	The location and design of buffer areas, screening or other landscaping, including grading and water management. A comprehensive landscaping plan in accordance with the Tree Conservation Law	<input checked="" type="checkbox"/>	<input type="checkbox"/>
18	The location of public and private utilities, maintenance responsibilities, trash and garbage areas	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19	A list, certified by the Town Assessor, of all property owners within 500 feet of the site boundary	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20	Any other information required by the Planning Board which is reasonably necessary to ascertain compliance with this chapter	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Applicants Certification (to be completed by the licensed professional preparing the site plan:

I THOMAS A. NUGENT hereby certify that the site plan to which I have attached my seal and signature, meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:


Signature - Applicant

2-28-24
Date



Professionals Seal

Signature - Owner

Date



TOWN OF CARMEL
**SITE PLAN COMPLETENESS
CERTIFICATION FORM**



Town Certification (to be completed by the Town)

I _____ hereby confirm that the site plan meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:

Rose Yrombetta

Signature - Planning Board Secretary

3/4/24

Date

Richard [Signature]

Signature - Town Engineer

3/4/24

Date

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

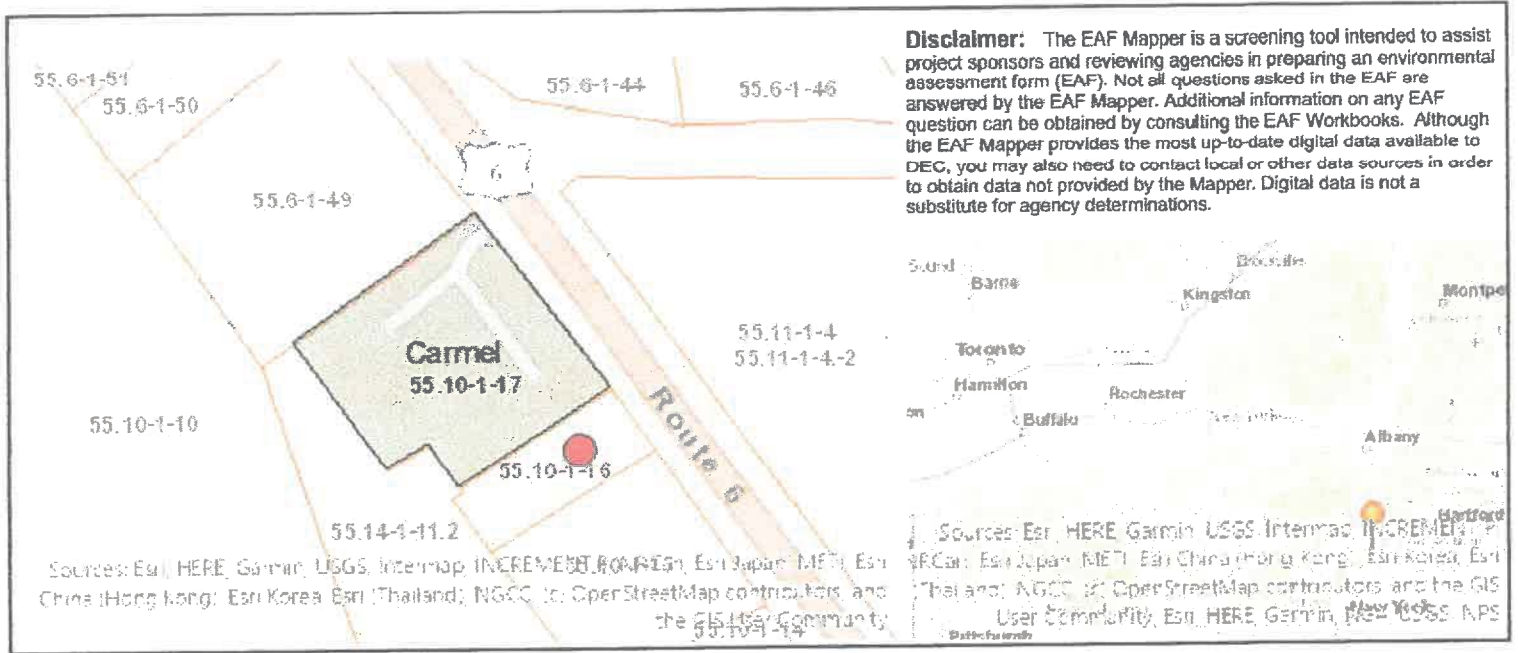
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

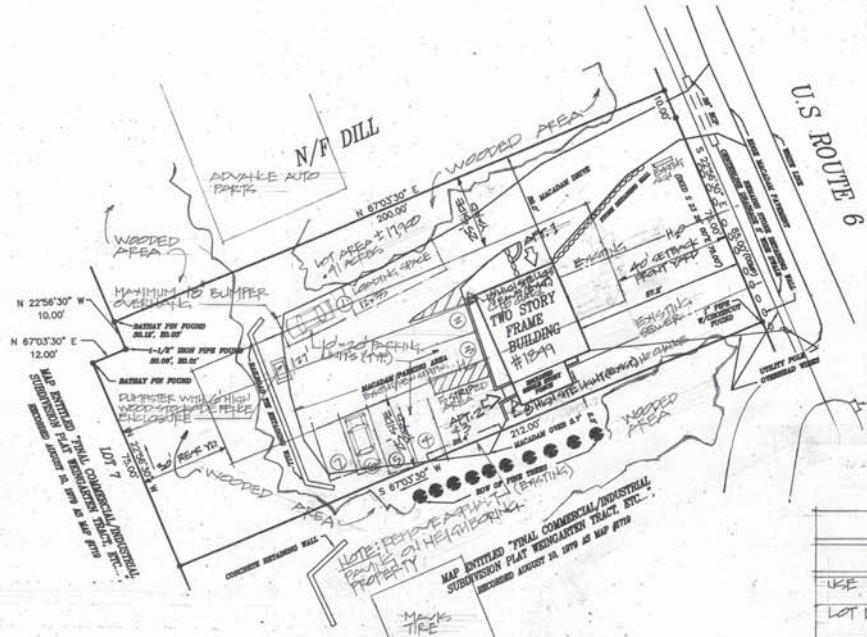
Part 1 – Project and Sponsor Information			
Marcel Carrillo			
Name of Action or Project: 1849 route 6 Carmel Ny			
Project Location (describe, and attach a location map): Across from Putnam Plaza Right of Mavis Tire			
Brief Description of Proposed Action: Convert Existing Office Sopace to Three Apartments			
Name of Applicant or Sponsor: Marcel Carrillo		Telephone: (914) 497-9640	
		E-Mail: marceldcarpenter@yahoo.com	
Address: 412 Haviland Dr			
City/PO: Patterson		State: New York	Zip Code: 12563
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		_____ 0.41 acres	
b. Total acreage to be physically disturbed?		_____ acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ Municipal Water or Town Water	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

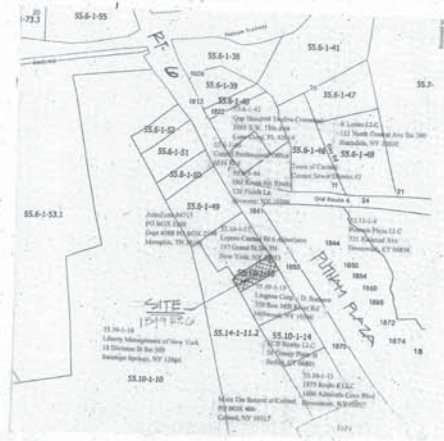
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
Northern Long-eared Bat	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe:		
The Runoff Water will discharge in to storm drain		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: <u>Marcel Carrillo</u> <u>TUDMAS NUGENT</u> Date: <u>02/28/2024</u> Signature: <u>Marcel Carrillo</u> <u>[Signature]</u> Title: <u>OWNER</u> <u>ARCHITECT</u>		



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Northern Long-eared Bat
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No



SITE DEVELOPMENT PLAN TAX MAP # 55.10-1-10
SCALE: 1" = 20'



PLAN OF PROPERTY OWNERS WITHIN 500' OF SITE

	ZONING SCHEDULE		ZONE C	
	REQUIRED	PROVIDED	APPROX. REQUIRED	REMARKS
USE	AS PER ZONE C	AS PER ZONE R	YES	
LOT DIMENSIONS				
FRONTAGE	100' MIN.	75' EXISTING	EXISTING/NO	
AREA	40,000 MIN.	17,900 S.F.	EXISTING/NO	
LOT WIDTH	200' MIN.	85'	EXISTING/NO	
LOT DEPTH	200' MIN.	212'	NO	
FRONT YARD SETBACK	40' MIN.	57.2'	NO	
REAR YARD SETBACK	30' MIN.	127'	NO	
SIDE YARD SETBACK	25' MIN.	5.5' EXISTING	YES	
BUILDING HEIGHT	35' MAX.	27'	NO	
FLOOR AREA	5,000 S.F. MIN.	2,928 S.F.	YES	
BUILDING COVERAGE	30% MAX. 30% x 17,900 S.F. = 5,370 S.F.	1,092 S.F.	NO	
FLOOR AREA RATIO	NA	NA	NA	
OFF-STREET PARKING	1 UNIT PER 200 S.F. OF FLOOR AREA = 15 SPACES	2 UNITS PER DWELLING 3 DWELLINGS = 6 TOTAL	NO	TOTAL UNITS INCLUDING HEIGHT
HANDICAPPED PARKING	2 UNITS MIN.	1 UNIT MIN.	NO	
LOADING UNITS	1 UNIT	NONE	NO	

TAX MAP # 55.10-1-10

PREPARED BY: MARCEL CARRELLI
 DATE: 2/21/11
 PROJECT: APARTMENTS FOR MARCEL CARRELLI
 1819 RATE 0
 ARCHITECT: THOMAS A. NUGENT
 79 Austin Road
 Mahwah, NY 10951
 (845) 428-7495
 SHEET: SY-1

Trombetta,Rose

From: Ed Kuck <septichappens@yahoo.com>
Sent: Thursday, February 15, 2024 11:35 AM
To: Trombetta,Rose
Subject: Re: My email

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Ms. Trombetta,

As per our conversation, please accept this email as a formal request for bond return the next opportunity the planning board meets. The bond was issued for 20 Day Road, Carmel, New York, 10541. The Tax ID number is 55:6-1-41:

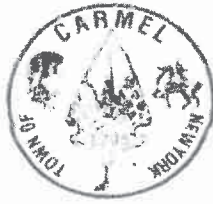
Please advise me if you need any additional information. As always, I appreciate your assistance with this matter.

Sincerely,
Ed Kuck send your
Sent from my iPad

On Feb 15, 2024, at 11:28 AM, Trombetta,Rose <rtrombetta@ci.carmel.ny.us> wrote:

Rose Trombetta

**Planning Office
Carmel Town Hall
60 McAlpin Ave
Mahopac, NY 10541
845-628-1500 Ext. 190**



TOWN OF CARMEL

Day Road LLC

TM 55.6-1-41

Carmel, NY

Engineering Department

April 10, 2017

PERFORMANCE BOND AMOUNT

ITEM	QUANTITY	UNIT	UNIT PRICE	ORIGINAL AMOUNT	BALANCE	
<u>SITWORK</u>						
Silt Fence	400	LF	\$1.50	\$600.00	\$ 0	
Orange Construction Fence	500	LF	\$1.50	\$750.00	\$ 0	
CUT/FILL	5000	CY	\$1.75	\$8,750.00	\$ 0	
<u>DRAINAGE</u>						
Catch Basins	3	EA	\$1,150.00	\$3,450.00	\$ 0	
Drainage Manholes	2	EA	\$700.00	\$1,400.00	\$ 0	
15" HDPE	240	LF	\$10.00	\$2,400.00	\$ 0	
18" HDPE	20	LF	\$15.00	\$300.00	\$ 0	
End Sections	2	EA	\$150.00	\$300.00	\$ 0	
12" RCP	144	LF	\$17.00	\$2,448.00	\$ 0	
15" RCP	88	LF	\$20.00	\$1,760.00	\$ 0	
Infiltration Basin	1	EA	\$10,000.00	\$10,000.00	\$ 0	
<u>PAVEMENT</u>						
6" ITEM #4 Base	355	CY	\$12.00	\$4,260.00	\$ 0	
3" Asphalt Binder Course	263	TON	\$65.00	\$17,095.00	\$ 0	
2" Asphalt Top Course	242	TON	\$65.00	\$15,730.00	\$ 0	
<u>PAVEMENT MARKINGS</u>						
4" Epoxy Striping	150	LF	\$1.25	\$187.50	\$ 0	
				Subtotal	\$69,430.50	\$ 0
				Contingencies (use 5%)	\$3,471.53	\$ 0
				Total Estimated Construction Cost	\$72,902.03	\$ 0
				PERFORMANCE BOND AMOUNT, USE	\$73,000.00	\$ 0
				Engineering Fee (5%)	\$3,650.00	\$ 0