

CRAIG PAEPRER  
*Chairman*

ANTHONY GIANNICO  
*Vice Chairman*

**BOARD MEMBERS**  
KIM KUGLER  
RAYMOND COTE  
ROBERT FRENKEL  
VICTORIA CAUSA  
JOHN NUCULOVIC

**TOWN OF CARMEL**  
**PLANNING BOARD**



60 McAlpin Avenue  
Mahopac, New York 10541  
Tel. (845) 628-1500 – Ext.190  
[www.ci.carmel.ny.us](http://www.ci.carmel.ny.us)

MICHAEL CARNAZZA  
*Director of Code  
Enforcement*

RICHARD FRANZETTI, P.E.  
*Town Engineer*

PATRICK CLEARY,  
AICP, CEP, PP, LEED AP  
*Town Planner*

**PLANNING BOARD AGENDA**  
**MARCH 23, 2022 – 7:00 P.M.**

**TAX MAP #   PUB. HEARING   MAP DATE   COMMENTS**

**SITE PLAN**

- |  |                  |         |                   |
|--|------------------|---------|-------------------|
| 1. Willow Wood Country Club, Inc. –<br>551 Union Valley Road | 87.7-1-6, 7 & 11 | 3/10/22 | Amended Site Plan |
| 2. 910 South Lake Blvd LLC – 910 South Lake Blvd             | 75.44-1-57 & 64  | 3/11/22 | Amended Site Plan |

**SUBDIVISION**

- |   |                |         |                     |
|---|----------------|---------|---------------------|
| 3. Shallow Stream Properties Inc -<br>145 & 153 Shindagen Hill Road | 87.8-1-4,5 & 6 | 3/11/22 | Lot Line Adjustment |
|---|----------------|---------|---------------------|

**MISCELLANEOUS**

- |                       |  |  |  |
|-----------------------|--|--|--|
| 4. Minutes – 02/10/22 |  |  |  |
|-----------------------|--|--|--|



March 11, 2022

Town of Carmel Planning Board  
60 McAlpin Avenue  
Mahopac, New York 10541

RE: Willow Wood Country Club, Inc.  
Amended Site Plan  
Union Valley Road  
Tax Map No. 87.7-1-6, 7 & 11

Dear Chairman Paepre and Members of the Board:

Please find enclosed five (5) copies of the following plans in support of an application for Amended Site Plan Approval for the above referenced project:

- Site Plan Drawings (5 sheets total), last revised March 10, 2022.

This project was last presented before your Board in 2019 at which point it was referred to the Zoning Board of Appeals (ZBA) to obtain the necessary variances associated with the project. All necessary variances have now been obtained and we are seeking to be placed back on the Planning Board agenda for continued project review.


The project plans are relatively similar to those presented to your Board, with the only changes being those recommended by the Club's noise consultant. Willow Wood Country Club Inc. (Willow Wood) routinely engages with a noise consultant to assist in course design to be sensitive to the surrounding community. Based on comments heard during the ZBA public hearings, some of the neighbors complained about noise. As a result of those comments, Willow Wood is electing to add additional noise mitigation beyond the previously proposed noise barriers at Stations 13 and 14. The additional mitigation measures listed below:

- Sound barriers have been proposed at Stations 4 and 12.
- Station 6 has been rotated.
- Station 9 has been relocated and rotated.
- The existing sound barriers at Stations 13 and 14 have been proposed to be enhanced with wing walls and roofs.

Other than the above changes the site plan is the same as that previously presented. With this submission, we respectfully request this matter be placed on your March 23, 2022 meeting agenda, at which point we are hopeful you will schedule the public hearing. Should you have any questions or comments regarding this information, please do not hesitate to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

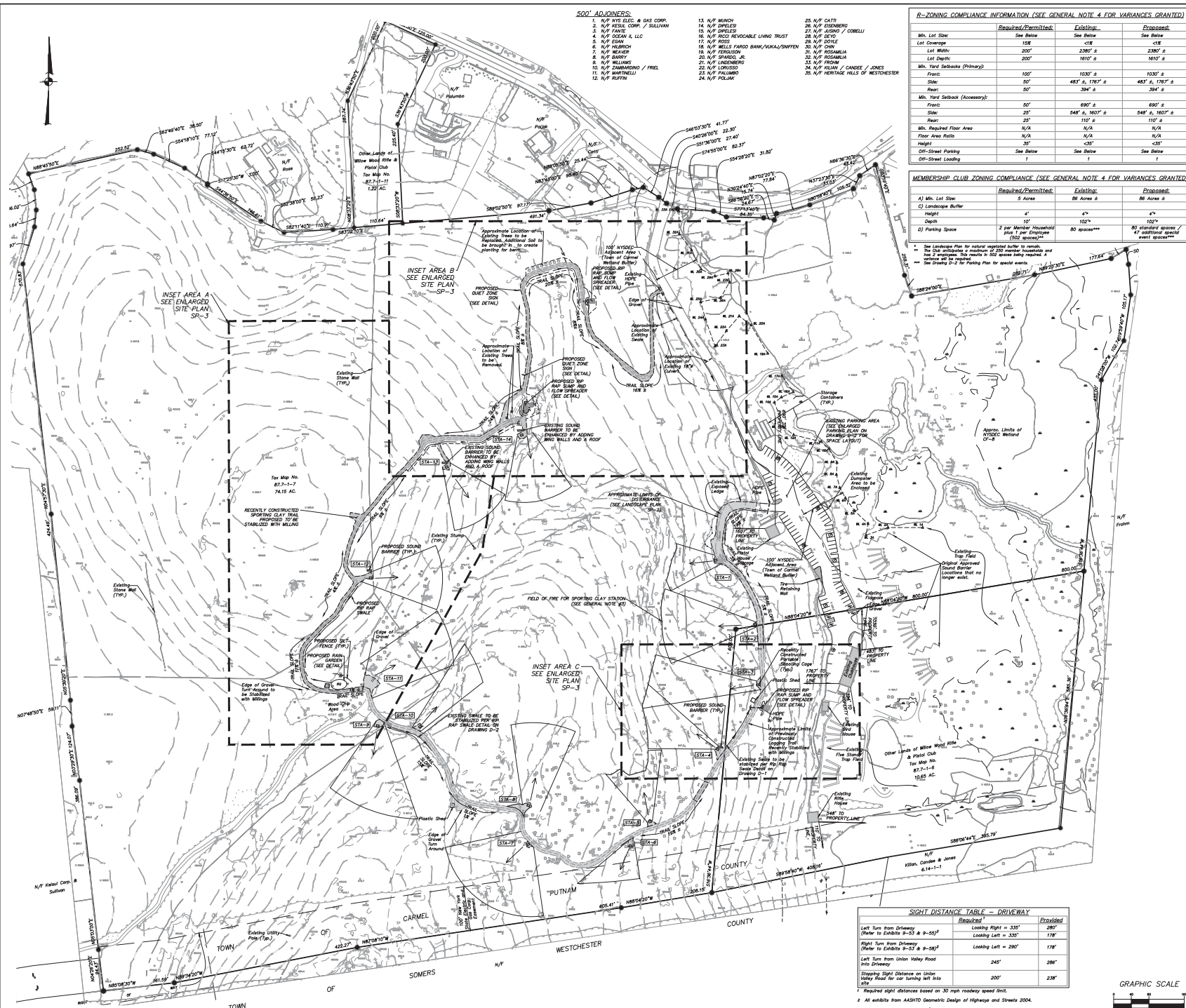
By:   
Richard D. Williams, Jr. P.E.  
Principal Engineer

RDW/jwm

Enclosure(s)

cc: George J. Calcagnini

Insite File No. 18173.100



**500' ADJACENTS:**

- 1. N/F VEG & GAS CORP.
- 2. N/F KESSE CORP / SULLIVAN
- 3. N/F FAIVE
- 4. N/F OCEAN R, LLC
- 5. N/F EDWIN
- 6. N/F HILBORN
- 7. N/F BECKER
- 8. N/F BARKOFF
- 9. N/F WILLIAMS
- 10. N/F ZAMBRANO / FRIEL
- 11. N/F MARTINELLI
- 12. N/F RUFFIN
- 13. N/F MUNCH
- 14. N/F DWELDS
- 15. N/F FAVRE
- 16. N/F ROSS
- 17. N/F WELLS PAROD BANK/MARAJ/SWEN
- 18. N/F TANGSON
- 19. N/F SPINELLO, JR
- 20. N/F SPINELLO, JR
- 21. N/F SPINELLO, JR
- 22. N/F SPINELLO, JR
- 23. N/F PALIARD
- 24. N/F PLUM
- 25. N/F CATTI
- 26. N/F DISBORNE
- 27. N/F JORDY / CORRELLI
- 28. N/F DEO
- 29. N/F DOWLE
- 30. N/F CHA
- 31. N/F ROSAMARIA
- 32. N/F ROSAMARIA
- 33. N/F ROSAMARIA
- 34. N/F ROSAMARIA
- 35. N/F KILBY / GANESSE / JONES
- 36. N/F HERITAGE HILLS OF WESTCHESTER

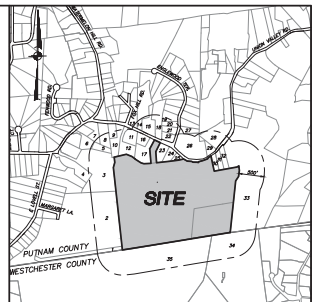
**R-ZONING COMPLIANCE INFORMATION (SEE GENERAL NOTE 4 FOR VARIANCES GRANTED)**

Min. Lot Size	Required/Permitted	Existing	Proposed
Lot Coverage	See Below	See Below	See Below
Lot Width	200'	< 85'	2380' ±
Lot Depth	200'	1810'	1810'
Front: Yards Setback (Primary)			
Front:	100'	1030'	1030'
Side:	50'	463' ±, 1767' ±	463' ±, 1767' ±
Back:	50'	394'	394'
Min. Yard Setback (Accessory)			
Front:	50'	690'	690'
Side:	20'	548' ±, 1907' ±	548' ±, 1907' ±
Back:	20'	110'	110'
Min. Required Floor Area	N/A	N/A	N/A
Floor Area Ratio	N/A	N/A	N/A
Height	35'	< 35'	< 35'
Off-Street Parking	See Below	See Below	See Below
Off-Street Loading	1	1	1

**MEMBERSHIP CLUB ZONING COMPLIANCE (SEE GENERAL NOTE 4 FOR VARIANCES GRANTED)**

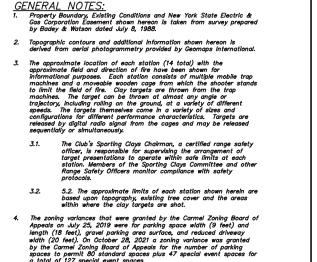
A) Min. Lot Size	Required/Permitted	Existing	Proposed
Lot Coverage	5 Acres	86 Acres ±	86 Acres ±
C) Landscape Buffer	4'	4'	4'
Height	10'	102'	102'
D) Parking Space	2 per Member Household plus 1 per Employee (500 spaces)**	80 spaces**	80 standard spaces / 17 additional spaces / 97 total spaces**

\*\* See Landscape Plan for natural material to be used.  
 \*\*\* The Club anticipates a maximum of 200 member households and has 2 employees. This results in 500 spaces being required.  
 \*\*\*\* See Overlay D-2 for Parking Plan for special events.



LOCATION MAP SCALE: 1" = 1000'  
 OWNER/APPLICANT: **WILLOW WOOD COUNTRY CLUB, INC.**  
 SITE DATA: Zone R-1 (Residential), Total Area: 86.2 ± AC, For Map No. 87-1-6, 87-1-11

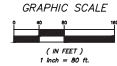
**GENERAL NOTES:**  
 1. Property Boundary, Existing Conditions and New York State Electric & Gas Corporation (Enrolled) are shown in colors from survey prepared by Boley & Wilson dated July 5, 1988.  
 2. Topographic contour and spot elevations shown herein is derived from aerial photography provided by Geomatics International.  
 3. The approximate location of each station (14 total) with the approximate date and direction of the flow are shown for informational purposes. Each station consists of multiple mobile trip machines and it is recommended that the operator should be trained to use the target for the flow of the water. The target can be thrown at almost any angle. The target is made of a material that is very durable and is designed to be used in a variety of different settings. The target is made of a material that is very durable and is designed to be used in a variety of different settings. The target is made of a material that is very durable and is designed to be used in a variety of different settings. Targets are released by digital radio signal from the coxey and may be released manually or automatically.  
 3.1. The Club's Sporting Clay Chairman, a certified range safety officer, is responsible for the supervision of the operation of target presentations to clients within site limits at each station, members of the Sporting Clay Committee and other Range Safety Officers monitor compliance with safety protocols.  
 3.2. The approximate limits of each station shown herein are based upon topographic, existing tree cover and the area width where the clay targets are shot.  
 4. The results of the survey were reviewed by the Current Zoning Board of Appeals on July 26, 2019 were for parking spaces within (9 feet) and height (10 feet). Small structures are to be located directly within (10 feet). On October 25, 2021 a zoning variance was granted by the Current Zoning Board of Appeals for the number of parking spaces to permit 80 standard spaces plus 17 special event spaces for a total of 97 special event spaces.



NO.	DATE	REVISION	BY
5	3-10-22	PLANNING BOARD SUBMISSION	J.M.W.
4	9-11-19	ZBA SUBMISSION	J.M.W.
3	5-9-19	REVISED PER TOWN COMMENTS	J.M.W.
2	3-25-19	REVISED PER TOWN COMMENTS	J.M.W.
1	1-2-19	REVISED PER TOWN COMMENTS	J.M.W.

**SIGHT DISTANCE TABLE - DRIVEWAY**

Left Turn from Driveway (Refer to Exhibits 9-53 & 9-55) <sup>1</sup>	Required <sup>2</sup>	Existing
Looking Right = 335'	280'	178'
Looking Left = 335'	178'	280'
Right Turn from Driveway (Refer to Exhibits 9-53 & 9-58) <sup>1</sup>	Looking Left = 290'	245'
Looking Right = 290'	245'	298'
Left Turn from Union Valley Road into Driveway	245'	298'
Stopping Sight Distance on Union Valley Road for car turning left into left	200'	238'



PROJECT NUMBER	PROJECT MANAGER	R.D.W.
18173.100	J.M.W.	J.M.W.

**INSITE** ENGINEERING SURVEYING & LANDSCAPE ARCHITECTURE, P.C.  
 3 Cornell Place  
 Cornwall, NY 10812  
 (845) 255-8999  
 (845) 255-8999 fax  
 www.insite-nyc.com

PROJECT: **WILLOW WOOD COUNTRY CLUB, INC.**  
 DRAWING: **OVERALL/CURRENT CONDITIONS SITE PLAN**  
 DATE: 12-26-18  
 SCALE: 1" = 80'

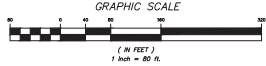
ALL INFORMATION ON THIS DOCUMENT MUST BE USED IN ACCORDANCE WITH THE PROVISIONS OF A LICENSED PROFESSIONAL ENGINEER'S OR A LICENSED PROFESSIONAL LANDSCAPE ARCHITECT'S SEAL AND SIGNATURE.





PLANT LIST				
QTY	SYMBOL	BOTANICAL/COMMON NAME	SIZE	ROOT
9	WR	EVERGREEN TREES		
		Ulmus thlyptifolius / Leather Leaf Ulmus	5' - 6' HT.	B & B

LEGEND	
[Symbol]	EXISTING PROPERTY LINE
[Symbol]	EXISTING BUILDING
[Symbol]	EXISTING CHAIN LINK FENCE
[Symbol]	EXISTING STONEWALL
[Symbol]	EXISTING DRAINAGE PIPE
[Symbol]	EXISTING TRENCH
[Symbol]	EXISTING 10' CONTOUR
[Symbol]	EXISTING SPOT GRADE
[Symbol]	SPORTING CLAY STATION LABEL (SEE GENERAL NOTE)
[Symbol]	EXISTING TREE
[Symbol]	EXISTING STUMP
[Symbol]	PROPOSED 3/4" FENCE
[Symbol]	LIMITS OF DISTURBANCE ASSOCIATED WITH PREVIOUSLY CONSTRUCTED AND PROPOSED IMPROVEMENTS
[Symbol]	APPROXIMATE LIMITS OF NATURAL WOODS & LANDSCAPED AREA
[Symbol]	EXISTING TREE REMOVAL
[Symbol]	PROPOSED EVERGREEN TREE



3	3-10-22	PLANNING BOARD SUBMISSION	PJM
2	8-11-19	ZMA SUBMISSION	JMM
1	5-9-19	REVISED PER TOWN COMMENTS	JMM
NO.	DATE	REVISION	BY

**INSITE**  
ENGINEERING, SURVEYING &  
LANDSCAPE ARCHITECTURE, P.C.

3 Garrett Place  
Carmel, NY 12012  
(845) 225-8997  
(845) 225-8997 fax  
www.insite-arg.com

PROJECT:  
**WILLOW WOOD COUNTRY CLUB, INC.**  
UNION VALLEY ROAD, TOWN OF CARMEL, PUTNAM COUNTY, NY

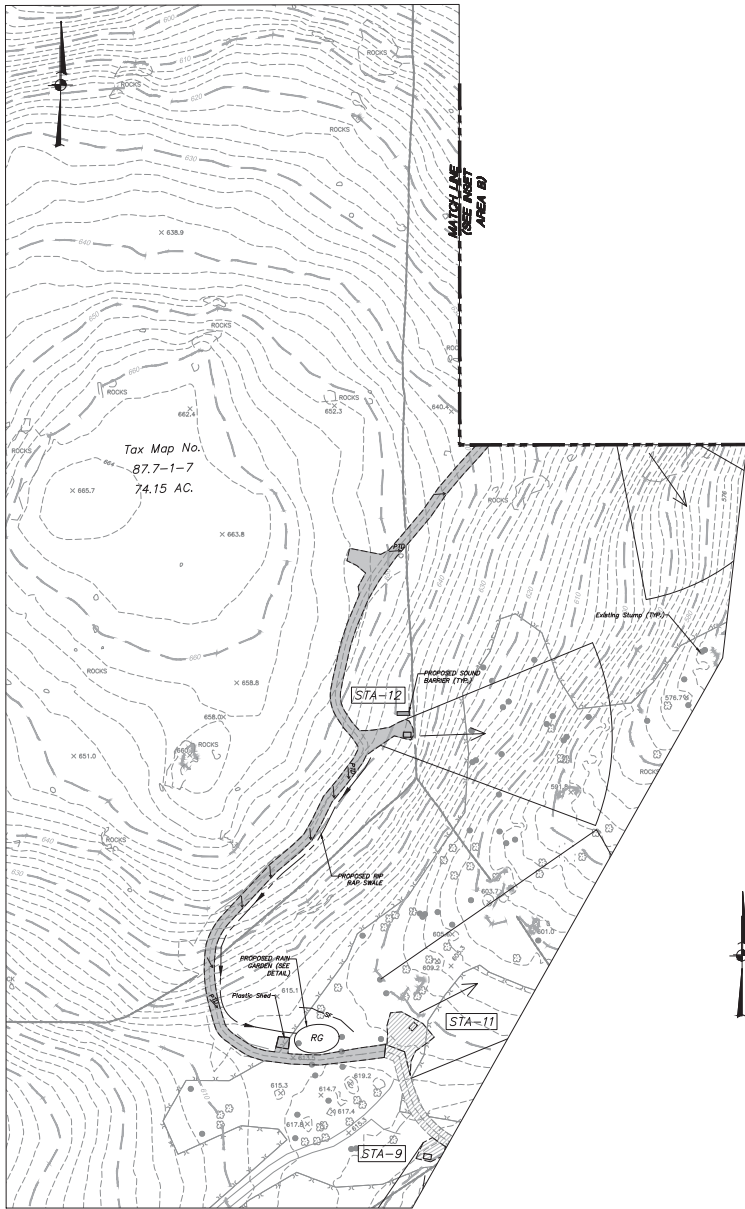


DRAWING:  
**LANDSCAPE & LIMITS OF DISTURBANCE PLAN**

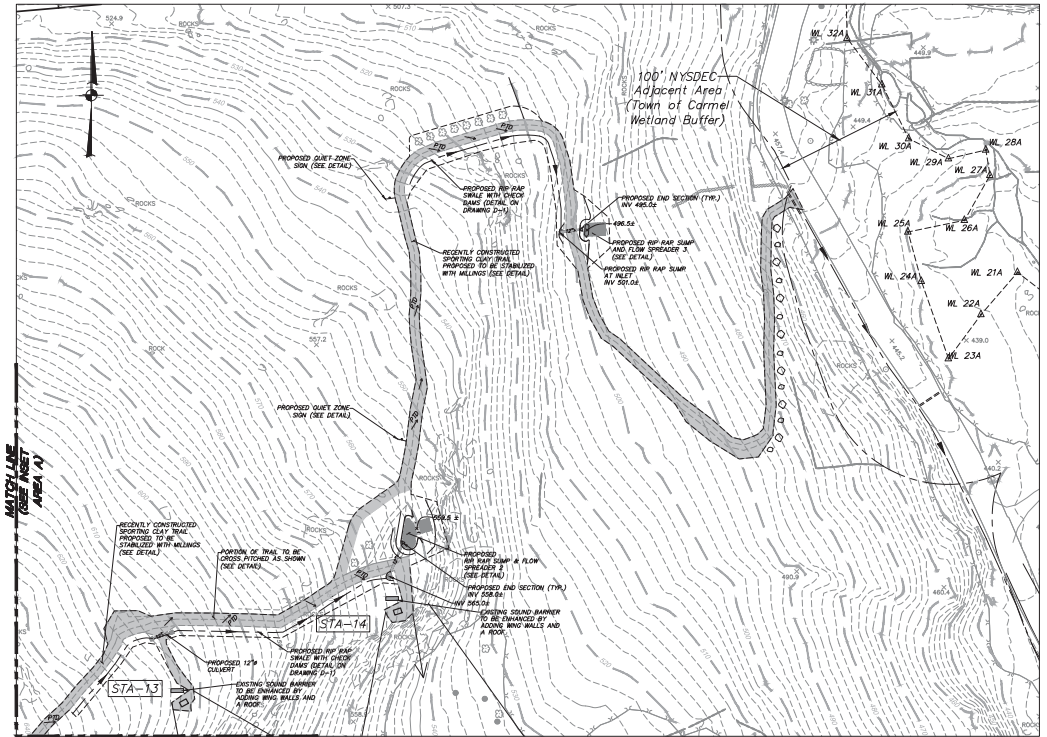
PROJECT NUMBER	18173.100	PROJECT MANAGER	R.D.W.	DRAWING NO.	SHEET
DATE	3-27-19	DRAWN BY	J.W.M.	SP-2	2
SCALE	AS SHOWN	CHECKED BY			5

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2009 OF ARTICLE 146 OF THE EDUCATION LAW.

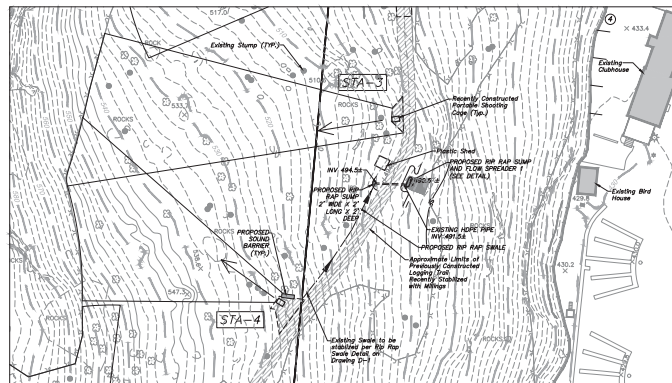




ENLARGED SITE PLAN  
INSET AREA A  
SCALE: 1" = 40'



ENLARGED SITE PLAN  
INSET AREA B  
SCALE: 1" = 40'



ENLARGED SITE PLAN  
INSET AREA C  
SCALE: 1" = 40'

4	3-10-22	PLANNING BOARD SUBMISSION	J.M.
3	3-11-19	ZBA SUBMISSION	J.M.
2	3-9-19	REVISED PER TOWN COMMENTS	J.M.
1	3-17-19	REVISED PER TOWN COMMENTS	J.M.
NO.	DATE	REVISION	BY

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www.insite-arg.com

PROJECT:  
**WILLOW WOOD  
COUNTRY CLUB, INC.**

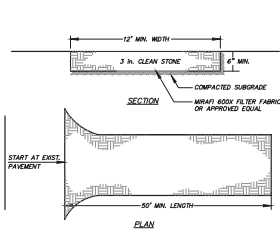


DRAWING:  
**ENLARGED SITE  
PLANS**

PROJECT NUMBER	18173.100	PROJECT MANAGER	R.D.W.	DRAWING NO.	SHEET
DATE	12-26-18	DRAWN BY	J.W.M.	SP-3	3
SCALE	AS SHOWN	CHECKED BY			5

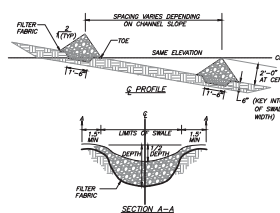
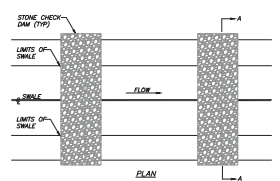
**EROSION & SEDIMENTATION CONTROL NOTES:**

- The owner's field representative (O.F.R.) will be responsible for the implementation and maintenance of erosion and sediment control measures on the site prior to and during construction.
- All construction activities involving the removal or disturbance of soil are to be performed with appropriate erosion prevention measures to minimize erosion. Erosion control measures shall be implemented as shown on the plans and shall be installed in accordance with the New York Standards and Specifications for Erosion and Sediment Control.
- Whenever feasible, sedimentation should be retained and protected. Disturbance shall be minimized in the areas required to perform construction. No erosion control measures shall be installed in the areas required to perform construction.
- When land is exposed during development, the exposure shall be kept to the shortest practical period of time, but in no case more than 7 days after the construction activity in that portion of the site has ceased. Disturbance shall be minimized in the areas required to perform construction.
- All construction vehicles shall be kept clear of the watercourses and wetland control areas outside the areas of proposed development. Silt fence and drainage construction fence shall be installed in the areas where the grading is in close proximity of the watercourses or wetland control areas.
- The stabilized construction entrances, silt fence, and storage construction fence shall be installed as shown on the plans prior to beginning any clearing, grubbing or earthwork.
- All topsoil to be stripped from the area being developed shall be stockpiled and immediately seeded with Lolium perenne or other species equivalent to the temporary stabilization. Lolium perenne seed shall be used for winter seeding and Lolium perenne multiflorum shall be used for spring and summer seeding.
- All graded areas not subject to further disturbance or construction traffic shall, within 7 days of final grading, receive permanent vegetation cover in combination with a suitable mulch. All seeded areas to receive a minimum 4" topsoil (from stockpiles) and be seeded immediately on October 15 and May 20, or between August 15 and October 15 or as directed by written correspondence at a rate of 100 Kentucky Bluegrass 20% Orchard Grass 80%.
- Grass seed may be applied by either mechanical or hydroseeding methods. Hydroseeding shall be performed in accordance with the current edition of the NYSDOT Standard Specifications, Construction and Materials, Section 810-1.02, Method No. 1.
- Cut or fill shall be greater than 3:1 shall be stabilized immediately after grading with Curlex / Single Net Erosion Control Blanket, or approved equivalent.
- Powered roadways shall be kept clean at all times.
- The site shall be graded and established such that all stormwater runoff is directed to silt erosion and sediment control facilities.
- All storm drainage outlets shall be stabilized, as required, before the discharge points become operational.
- Stormwater from disturbed areas must be passed through erosion control barriers before stormwater discharged areas or discharged into other drainage systems.
- Erosion and sediment control measures shall be inspected and maintained on a daily basis by the O.F.R. to ensure that channels, temporary and permanent ditches and plans are clear of debris, that embankments and berm areas are not eroded and that all storm drains and silt fences are intact. Any failure of erosion and sediment control measures shall be immediately reported by the contractor and repaired by approval by the O.F.R. and/or site engineer.
- Dist shall be controlled by spraying or other approved methods as necessary, or as directed by the O.F.R.
- Cut and fill shall not endanger adjoining property, nor divert water into the property of others.
- All fill shall be placed and compacted in 6" lifts to provide stability of material and to prevent settlement.
- The O.F.R. shall inspect downstream conditions for evidence of sedimentation on a weekly basis and after rainstorms.
- As warranted by field conditions, special additional erosion and sediment control measures, as specified by the site engineer, the Wetlands Inspector, the Town Engineer and/or NYSDOT shall be installed by the contractor.
- Erosion and sediment control measures shall remain in place until all disturbed areas are fully stabilized.



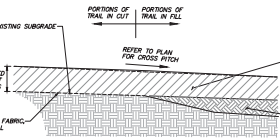
- INSTALLATION NOTES**
- STONE SIZE - USE 3" STONE
  - LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.)
  - THICKNESS - NOT LESS THAN SIX (6) INCHES.
  - WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE TURNS OR CORNERS OCCUR.
  - FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
  - SURFACE WATER - ALL SURFACE WATER FLOWING ON IMPROVED DRAINAGE CONSTRUCTION ENTRANCES SHALL BE PAVED ACROSS THE ENTRANCE IF PAVING IS PRACTICAL, A MEASURABLE BERM WITH 4" OF STONE SHALL BE PROVIDED.
  - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT THE ENTRANCE FROM BEING BLOCKED BY DEBRIS OR MUD. THIS MAY REQUIRE PERIODIC TRIMMING WITH ADDITIONAL STONE AT CONDITIONS DEMAND AND REPAIR AND CLEANING OF ANY MEASURES USED TO STOP SEDIMENT. ALL SEDIMENT, SLUDGES, MUDS OR TRUCKS ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
  - WARNING - VEHICLES SHALL BE KEPT TO REMOTE SECTOR PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WARNING IS REQUIRED, IT SHALL BE DONE IN AN AREA ADJACENT WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
  - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

**STABILIZED CONSTRUCTION ENTRANCE DETAIL (N.T.S.)**



- NOTES:**
- AREA CHOSEN FOR STOCKPILE LOCATION SHALL BE DRY AND STABLE.
  - MAXIMUM SLOPE OF STOCKPILE SHALL BE 2:1.
  - UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE IMMEDIATELY SEEDED WITH FESCUE PERennial TALL FESCUE.
  - ALL STOCKPILES SHALL BE PROTECTED WITH SILT FENCE INSTALLED ON THE DOWNWIND SIDE.

**TEMPORARY SOIL STOCKPILE DETAIL (N.T.S.)**

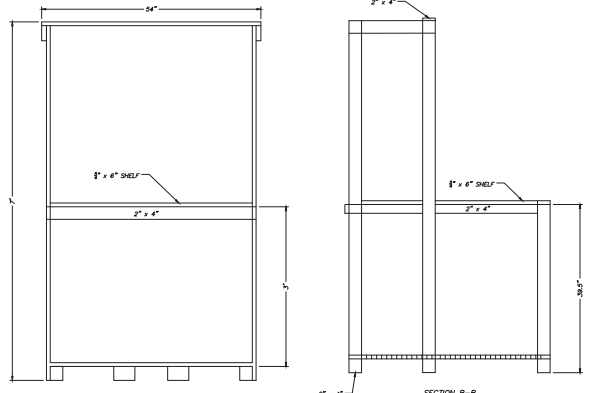


- NOTES:**
- STONE SHALL BE PLACED ON A FILTER FABRIC FOUNDATION.
  - SEE GRADING OF CHECK DAMS SO THAT THE ELEVATION OF THE CREST OF THE CONSTRUCTION DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
  - EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE BOTH DAMS TO PREVENT OVERTOPPING BEHIND THE DAMS.
  - PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SOULS AND EROSION WITH STONE CHECK AS APPROPRIATE.
  - ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR OBSCURE FROM OVERLAPED STONE.

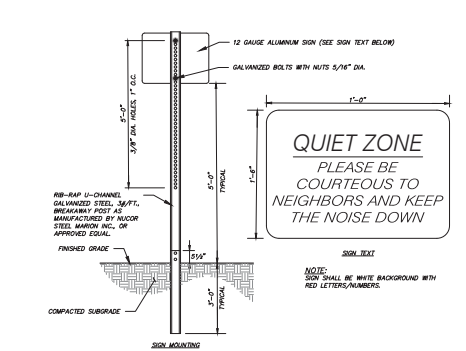
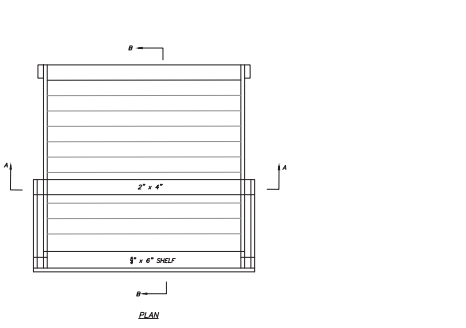
**STONE CHECK DAM DETAIL (N.T.S.)**



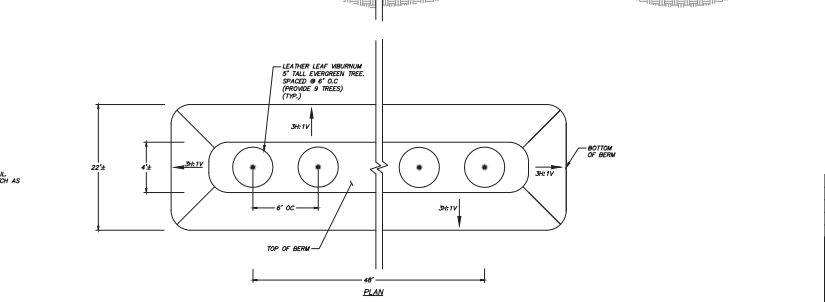
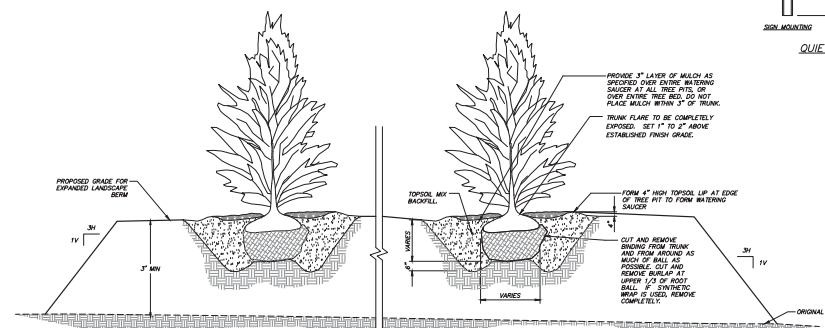
**SPORTING CLAY TRAIL DETAIL (N.T.S.)**



**EXISTING SPORTING CLAY STAND DETAIL BY OTHERS (N.T.S.)**



**QUIET ZONE SIGN DETAIL (N.T.S.)**



**EVERGREEN TREE REPLACEMENT AND LANDSCAPE BERM DETAIL (N.T.S.)**

4	3-10-22	PLANNING BOARD SUBMISSION	P.M.
3	8-11-19	ZBA SUBMISSION	J.M.
2	5-8-19	REVISED PER TOWN COMMENTS	J.M.
1	3-17-19	REVISED PER TOWN COMMENTS	J.M.
NO.	DATE	REVISION	BY

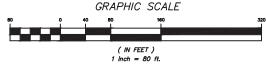
**INSITE**  
ENGINEERING, SURVEYING &  
LANDSCAPE ARCHITECTURE, P.C.

PROJECT: **WILLOW WOOD COUNTRY CLUB, INC.**

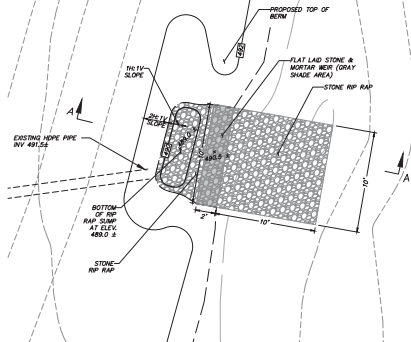
1500 VALLEY ROAD, TOWN OF DANES, PUTNAM COUNTY, NY

DRAWING: **DETAILS**

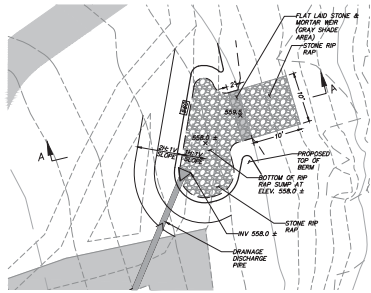
PROJECT NUMBER	18173.100	PROJECT MANAGER	R.D.W.	DRAWING NO.	SHEET
DATE	12-26-18	DRAWN BY	J.W.M.	<b>D-1</b>	<b>4</b>
SCALE	AS SHOWN	CHECKED BY			<b>5</b>



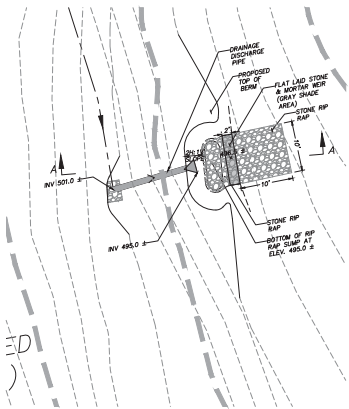
ALLOCATION OF THIS DOCUMENT, UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 1005 OF ARTICLE 148 OF THE EDUCATION LAW.



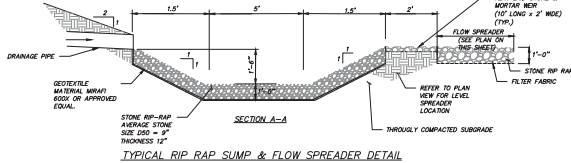
RIP RAP & FLOW SPREADER 1 DETAIL  
(N.T.S.)



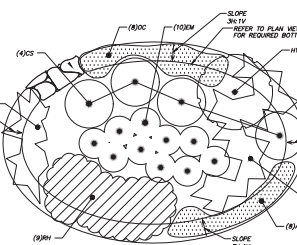
RIP RAP & FLOW SPREADER 2 DETAIL  
(N.T.S.)



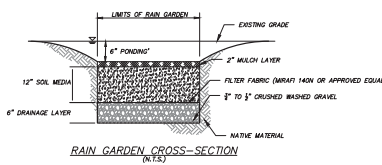
RIP RAP & FLOW SPREADER 3 DETAIL  
(N.T.S.)



TYPICAL RIP RAP SUMP & FLOW SPREADER DETAIL  
(N.T.S.)



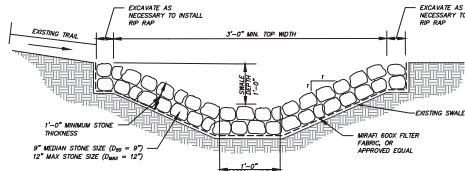
SCHEMATIC RAIN GARDEN LANDSCAPE PLAN  
(N.T.S.)



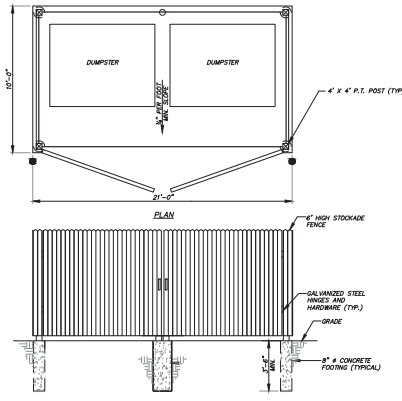
RAIN GARDEN CROSS-SECTION  
(N.T.S.)

NOTES:  
1. SOIL MEDIA TO CONSIST OF 80% SAND, 20% TOPSOIL WITH LESS THAN 1% CLAY CONTENT, AND 20% LEAF COMPOST.  
2. DRAINAGE LAYER TO CONSIST OF 1.5"-2.0" DIA. CLEAN WASHED GRAVEL.

SCHEMATIC RAINGARDEN PLANT LIST			
KEY	BOTANICAL/COMMON NAME	SIZE	ROOT/SPACING
CS	Cornus sericea / Red-Osier Dogwood	18-24" HIG.	#2 CONT.
HW	Hieracium alpinum / Common Whitetail	2"-3" HIG.	8/8#
AF	Alyrium rho-numbia / Lady Fern	#1 CONT.	18" ON CENTER
CS	Chamaenerion / White Turtleneck	#1 CONT.	18" ON CENTER
EW	Eupatorium maculatum / Joe-pye Weed	#1 CONT.	AS SHOWN
OC	Oenanthe lachnantha / Cleonora Fern	#1 CONT.	24" ON CENTER
HW	Hieracium alpinum / Black-Cow Slane	#1 CONT.	24" ON CENTER
WH	Veronica novboracensis / Common Ironweed	#1 CONT.	18" ON CENTER

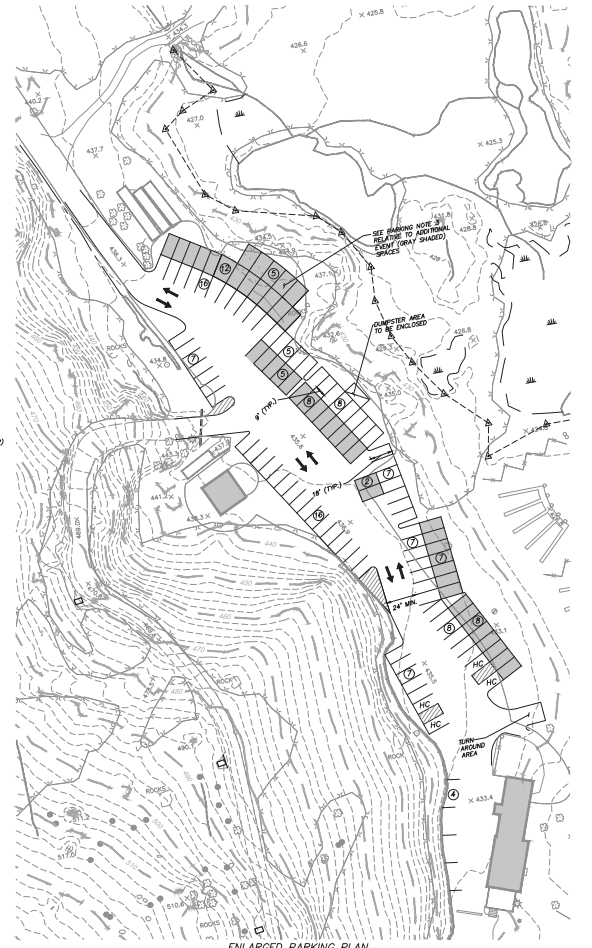


RIP RAP SWALE DETAIL  
(N.T.S.)



DUMPSTER ENCLOSURE DETAIL  
(N.T.S.)

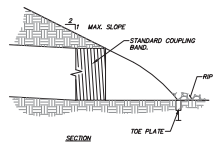
NOTE: CHECK WITH REUSE HALLER PRIOR TO INSTALLATION OF REUSE ENCLOSURE FOR DIMENSIONS.



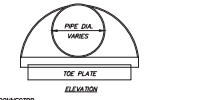
ENLARGED PARKING PLAN  
SCALE: 1" = 40'

PARKING SUMMARY	
DURING CONFORMING SPACES	80 SPACES
ADDITIONAL SPECIAL EVENT PARKING	47 SPACES
TOTAL (INCLUDING EVENT PARKING)	127 SPACES

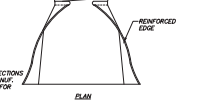
- REVISIONS:
- SEE GENERAL NOTE 4 ON SP-1 FOR ZONING VARIANCES GRANTED WITH RESPECT TO THE EXISTING CONFORMING SPACES.
  - DURING DAILY OPERATION AND MEMBER ONLY SPECIAL EVENTS, 80 SPACES IS SUFFICIENT TO ACCOMMODATE THE PARKING DEMAND.
  - PERIODICALLY WILLOW WOOD COUNTY CLUB, INC. WILL HOLD SPECIAL EVENTS FOR MEMBERS & NON MEMBERS BASED ON COURSE CAPACITY ONLY (11) INDIVIDUALS CAN OCCUPY ALL COURSE FACILITIES. DURING THESE EVENTS VALET PARKING CAN BE PROVIDED TO ALLOW THE STAGING OF PARKING SPACES SHOWN IN GRAY. THE ADDITIONAL SPACES DURING PARKING SPACES SHOWN IN GRAY ARE NOT DRIVE ASLE SHALL BE MAINTAINED AT ALL TIMES AND THE PARKING SPACE LAYOUT SHOWN HEREIN PROVIDES THE 24 FOOT REQUIRED ACCESS ASLE.



SECTION



ELEVATION



END SECTION DETAIL  
(N.T.S.)

NOTE: SEE SECTION CONNECTIONS DRAWING TO MAKE RECOMMENDATIONS FOR VARIOUS PIPE SIZES

NO.	DATE	REVISION	BY
3	3-10-22	PLANNING BOARD SUBMISSION	J.M.
2	2-11-19	ZMA SUBMISSION	J.M.
1	5-8-19	REVISED PER TOWN COMMENTS	J.M.

PROJECT: WILLOW WOOD COUNTRY CLUB, INC.  
 1200 VALLEY ROAD, TOWN OF DANIEL, PUTNAM COUNTY, NY.  
 DRAWING: DETAILS

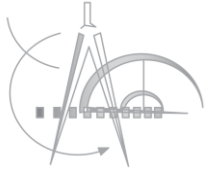
INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.  
 3 Corbett Place  
 Oneonta, NY 13827  
 (845) 225-8997  
 (845) 225-8997 fax  
 www.insite-arg.com

PROJECT NUMBER: 18173.100  
 DATE: 3-27-19  
 SCALE: AS SHOWN

PROJECT MANAGER: R.D.W.  
 DRAWN BY: J.W.M.  
 CHECKED BY:

DRAWING NO. SHEET: D-2 5/5





# MASTROGIACOMO ENGINEERING, P.C.

14 March 2022

Mrs. Rose Trombetta  
Planning Office  
Carmel Town Hall  
60 McAplin Avenue  
Mahopac, New York 10541

Re: Submission Package for Proposed Botique Hotel at  
910 South Lake Blvd, Town of Carmel, NY

Dear Mrs. Trombetta:

Attached please find the required five (5) sets of site plans and architectural floor plan for the proposed project. During our pre-submission meeting with Mr. Carnazza, Mr. Franzetti and Mr. Cleary, the project was explained as a twenty-four (24) room boutique hotel was proposed on the site. Currently there are two (2) non-conforming structures on the property which are proposed to be removed for the construction of the new proposed multi-family residential building. The proposed hotel will have two driveways on either side for ingress and egress and the proposed parking will be at the rear of the property. There is also a continental breakfast area, conference/dining area and lounge proposed as amenity spaces in the hotel. All cooking, mechanical, laundry, and hotel offices will be located in the basement area. There are some variances required due to the size of the existing property and its non-conformity with the Town of Carmel Zoning Code.

At this time we are requesting being on the March Planning Board meeting to continue with our project approvals to obtain any comment and/or concerns the Planning Board may have before we make any submissions to the Zoning Board.

If you have any questions, or if you need any additional information, please do not hesitate to call me at (914) 920-6372. I can also be reached via electronic mail at [michaelm@masengpc.com](mailto:michaelm@masengpc.com).

Sincerely,

Michael Mastrogiacomo, P.E., L.S.  
New York State P.E. Lic. No. 083863  
New York State L.S. Lic. No. 051124  
Connecticut State Combined P.E. & L.S. No. 021713

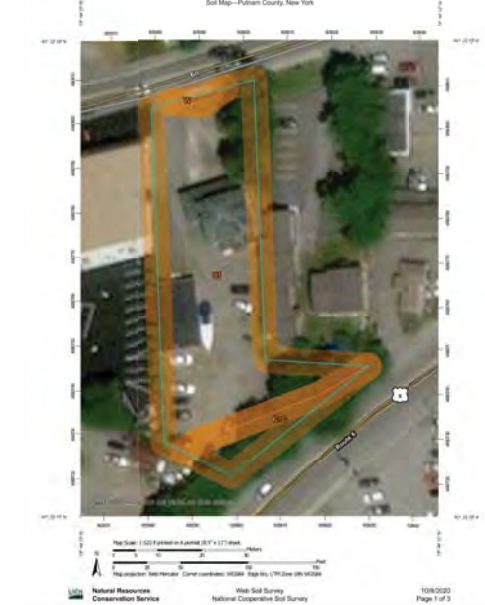
# GENERAL NOTES

- GENERAL**
- STANDARDS OF CONSTRUCTION: ALL CONSTRUCTION SHALL CONFORM TO THE TOWN OF CARMEL STANDARDS, RULES AND REGULATIONS REGARDLESS OF WHAT MAY BE INDICATED ON THE PLANS.
  - IMPORTED FILL: IF THE SITE REQUIRES IMPORTED FILL, IN THE PROPOSED MUNICIPAL RIGHT OF WAY OR MUNICIPAL OWNED PROPERTY, ALL FILL MUST BE TESTED FOR COMPOSITION AND CHEMICALS IN ACCORDANCE WITH DPW DIRECTIONS AND AT THE FULL EXPENSE OF THE OWNER. THESE TEST RESULTS MUST BE RECEIVED PRIOR TO DEPOSITING MATERIAL ON MUNICIPAL PROPERTY. A LICENSED PROFESSIONAL ENGINEER MUST BE ON SITE TO APPROVE THE FILL, KEEP RECORDS, AND REVIEW THE CHAIN OF CUSTODY DOCUMENTATION OF EACH TRUCK BROUGHT TO THE SITE. THE REQUIRED NUMBER OF SAMPLES MUST BE TAKEN AND TESTED BY THE STATE CERTIFIED LABORATORY. IN ADDITION, POLLUTION INSURANCE MUST BE PROVIDED PRIOR TO CONSTRUCTION. IN THE AMOUNT TO BE DETERMINED BY THE COMMISSIONER OF PUBLIC WORKS.
  - EROSION, DUST & SEDIMENT CONTROL: THE DEVELOPER SHALL BE RESPONSIBLE FOR PROVIDING PROPER EROSION, SEDIMENT AND DUST CONTROL. ALL EROSION AND SEDIMENT CONTROL MUST BE SIZED AND DESIGNED IN ACCORDANCE WITH THE STANDARDS AND GUIDELINES PRESENTED IN THE LATEST NYSDRG REGULATIONS. THE DEVELOPER SHALL SUBMIT TO THE COMMISSIONER FOR APPROVAL, A PLAN WITH DETAILS DELINEATING THE METHODS HE INTENDS TO USE FOR EROSION, SEDIMENTATION AND DUST CONTROL DURING THE CONSTRUCTION OF THIS PROJECT. SILT PROTECTION AND ANY WATER RETENTION BASINS WILL BE THE FIRST ITEMS OF CONSTRUCTION. THE EROSION, SEDIMENTATION AND DUST CONTROLS MUST BE MAINTAINED THROUGHOUT CONSTRUCTION OR A STOP WORK ORDER WILL BE ISSUED BY DPW.
  - ELEVATION DATUM: ELEVATIONS SHOWN ON THE PLANS ARE FROM THE PUTNAM COUNTY 615 NEBSITE.
  - INDUSTRIAL CODE RULE '89: THE DEVELOPER SHALL NOTIFY ALL UTILITY COMPANIES 72 HOURS PRIOR TO THE START OF HIS OPERATIONS AND SHALL COMPLY WITH ALL THE LATEST INDUSTRIAL CODE RULE '89 REGULATIONS.
  - VERIFICATION AND PROTECTION OF EXISTING UTILITIES: THE DEVELOPER SHALL VERIFY THE SIZE, LOCATION, DEPTH AND INVERTS OF ALL EXISTING UTILITIES PRIOR TO COMMENCING HIS OPERATIONS. THE DEVELOPER SHALL PRESERVE AND PROTECT EXISTING PRIVATE AND MUNICIPAL UNDERGROUND AND OVERHEAD UTILITIES AND STRUCTURES, WHETHER OR NOT THEY ARE SHOWN ON THE APPROVED PLANS OR LOCATED UNDER INDUSTRIAL CODE RULE '89. THE COST OF REPAIRING DAMAGED UTILITIES OR STRUCTURES SHALL BE BORNE BY THE DEVELOPER. IF TEMPORARY UTILITIES ARE REQUIRED IT IS THE RESPONSIBILITY OF THE DEVELOPER TO PROVIDE AND MAINTAIN SAID UTILITIES.
  - PIPE LAYOUT: THE DEVELOPER SHALL PERFORM ALL PROPOSED PIPE LAYOUT REQUIRED BY MEANS OF A LASER FOR EXACT VERTICAL AND HORIZONTAL ALIGNMENT. THE USE OF BATTER BOARDS, AS SPECIFIED IN THE MUNICIPAL STANDARD CONSTRUCTION SPECIFICATIONS ARTICLE 99.192 "LAYOUT", SHALL NOT BE ALLOWED. THE DEVELOPER'S EQUIPMENT MUST HAVE BEEN CALIBRATED WITHIN THE PREVIOUS SIX (6) MONTHS PRIOR TO CONSTRUCTION. WRITTEN PROOF OF CALIBRATION MUST BE PROVIDED IF REQUIRED BY THE COMMISSIONER OF PUBLIC WORKS.
  - INSPECTION & BACKFILL: NO BACKFILL SHALL BE PLACED OVER NEW CONSTRUCTION PRIOR TO INSPECTION AND APPROVAL BY DPW. THE DEVELOPER MUST HAVE A SUFFICIENT STOCKPILE OF CLEAN FILL IF EXCAVATED MATERIAL IS UNSUITABLE FOR BACKFILL (I.E., ROCK, ORGANIC MATERIAL). THE USE OF CONTROLLED BACKFILL MATERIAL MAY BE REQUIRED IN TRENCHES IF DETERMINED BY THE COMMISSIONER OF PUBLIC WORKS.

- EROSION CONTROL**
- INSTALL ALL EROSION CONTROL DEVICES AS INDICATED ON DRAWINGS AND IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS & SPECIFICATIONS FOR EROSION & SEDIMENT CONTROL, LATEST REVISION.
  - CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES DURING COURSE OF CONSTRUCTION.
  - EROSION CONTROL DEVICES SHALL NOT BE REMOVED UNTIL FULL VEGETATION GROWTH HAS OCCURRED AND AS APPROVED BY THE VILLAGE INSPECTOR.
  - SEEDING AND MULCHING SHALL BE AS FOLLOWS:
    - TEMPORARY SEEDING & MULCHING
      - LIME: 40 LBS./1,000 SQ. FT., GROUND LIMESTONE, FERTILIZER: 4 LBS./1,000 SQ. FT., 10-20-10 OR EQUIVALENT WORKED INTO SOIL A MINIMUM OF 4 INCHES.
      - SEED: ANNUAL RYEBGRASS 40 LBS./ACRE OR OTHER APPROVED SEED, PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
      - MULCH: 1" SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 10 TO 40 LBS./1,000 SQ. FT. TO BE APPLIED ACCORDING TO STANDARD PRACTICES. MULCH SHALL BE SECURED BY APPROVED METHODS.
  - THE APPLICANT SHALL BE REQUIRED TO CLEAN ROADWAYS FROM ALL SILTATION AND CONSTRUCTION DEBRIS AS REQUIRED, AND UPON COMPLETION OF THE WORK, WITHIN THE VICINITY OF THE PROJECT SITE.
  - ALL PLANS SHALL FULLY INCORPORATE THE APPROPRIATE RECOMMENDATIONS FROM NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION'S STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, DATED AUGUST 2001, OR THE MOST CURRENT VERSION OR ITS SUCCESSOR. THE PLAN AND ITS IMPLEMENTATION SHALL BE SUBJECT TO THE APPROVAL OF THE VILLAGE ENGINEER.

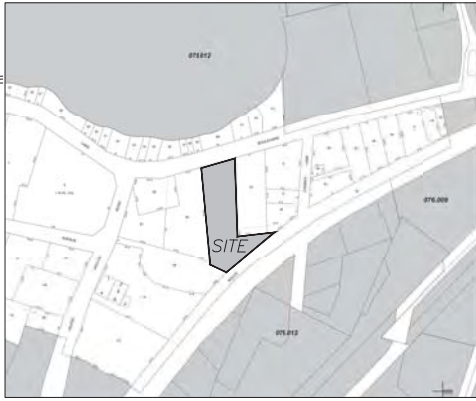
- SITE WORK:**
- THE SITE SHALL BE GRADED AS INDICATED ON THE DRAWINGS. ALL PROPOSED CONTOURS SHALL BE GRADED TO BLEND EVENLY WITH THE EXISTING CONTOURS.
  - ALL DISTURBED AREAS WHICH WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT BE SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH SALT HAY, OR APPROVED EQUAL, AND BOUND AS PER THE NEW YORK STATE STANDARDS & SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
  - FILL MATERIAL SHALL BE CLEAN FILL AND SHALL BE INSTALLED IN 12 INCH LIFTS AND COMPACTED TO 98% OPTIMUM DENSITY.
  - ALL PIPES SHALL BE SCHEDULE 40 P.V.C., PIPES UNLESS OTHERWISE NOTED.
  - ALL GRAVEL SHALL BE 3/4" GRADED STONE OR RECYCLED MATERIAL IF ALLOWED BY THE MUNICIPALITY.
  - MAINTAIN POSITIVE PITCHES ON ALL DRAIN PIPES TO EXISTING & PROPOSED DRAINAGE STRUCTURES UNLESS OTHERWISE NOTED HEREON.

# WEB SOIL SURVEY DATA



# CONSTRUCTION SEQUENCE

- INSTALL SILT FENCE IN AREAS LOCATED INDICATED ON THE PLAN.
  - EXCAVATE & DEWATER OF PROPOSED FOUNDATION.
  - INSTALL DRAINAGE STRUCTURES AND PIPES.
  - INSTALL CONSTRUCTION OF NEW FOOTING.
  - FINAL GRADING OF PROPERTY & INSTALLATION OF ASPHALT DRIVEWAY.
  - TERRACE AND FLAG ALL DISTURBED AREAS AS SOON AS PRACTICAL IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL MEASURES ON THIS PLAN.
- NOTE: TEMPORARY EROSION & SEDIMENT CONTROL MEASURES MUST BE REMOVED UPON SITE STABILIZATION (AS DETERMINED BY VISUAL INSPECTION OR FURTHER ANALYSIS) HAS BEEN ACHIEVED.**
- NOTE:**
- ALL IMPORTED SOIL SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS FOR QUALITY AND USE.
  - OFFSITE DISPOSAL OF EXCESS GUT SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS.
  - ALL EROSION & SEDIMENT CONTROL MEASURES SHALL CONFORM TO NEW YORK STATE STANDARDS & SPECIFICATIONS FOR EROSION & SEDIMENT CONTROL DATED NOVEMBER 2016.
  - SEEDING AND MULCHING SHALL BE AS FOLLOWS:
    - LIME: 40 LBS./1,000 SQ. FT., GROUND LIMESTONE, FERTILIZER: 4 LBS./1,000 SQ. FT., 10-20-10 OR EQUIVALENT WORKED INTO SOIL A MINIMUM OF 4 INCHES.
    - SEED: ANNUAL RYEBGRASS 40 LBS./ACRE OR OTHER APPROVED SEED, PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
    - MULCH: 1" SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 10 TO 40 LBS./1,000 SQ. FT. TO BE APPLIED ACCORDING TO STANDARD PRACTICES. MULCH SHALL BE SECURED BY APPROVED METHODS.



**MASTROGIACOMO ENGINEERING P.C.**  
 10 MELAND AVENUE, SUITE 204A  
 PORT CHESTER, NEW YORK 10573  
 TEL: 945.903.6372  
 FAX: 945.903.6373  
 WWW.MASTROGIACOMO.COM  
 LICENSE # 104 164 00000000

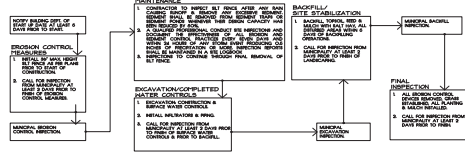
All Plans, permits, arrangements and items indicated or referenced are subject to the approval of the staff and other entities, outside the jurisdiction of the staff and the engineering responsibility of the engineer. All work shall be done in accordance with the rules and regulations of the Professional Engineers Board of the State of New York.

It is a violation of the New York State Education Law for any person to practice as a Professional Engineer without being duly licensed and without the approval of the State Education Department. It is also a violation of the New York State Education Law for any person to practice as a Professional Engineer without being duly licensed and without the approval of the State Education Department.

# POST-CONSTRUCTION MAINTENANCE SCHEDULE

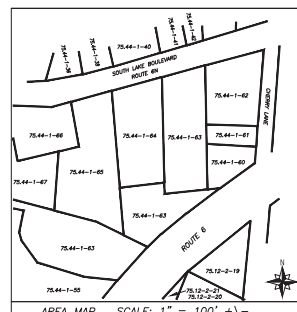
- MAINTENANCE OF CONTROLS AFTER CONSTRUCTION:
  - TEMPORARY EROSION & SEDIMENT CONTROL MEASURES SHOULD BE INSPECTED PERIODICALLY FOR THE FIRST 12 MONTHS AFTER CONSTRUCTION AND ON AN ANNUAL BASIS THEREAFTER. THIS CHECKUP SHALL ALSO BE INSPECTED AFTER MAJOR STORM EVENTS.
  - DEBRIS AND LITTER REMOVAL: TRICE A YEAR, IMPACT OUTLET STRUCTURES AND DRAIN INLETS FOR ACCUMULATED DEBRIS. ALSO, REMOVE ANY ACCUMULATIONS DURING EACH MONTHLY OPERATION.
- STRUCTURAL REPAIRS/REPLACEMENTS:
  - STRUCTURAL DAMAGE MUST BE IDENTIFIED TRICE A YEAR FOR EVIDENCE OF STRUCTURAL DAMAGE AND REPAIRED IMMEDIATELY.
- EROSION CONTROL:
  - SEEDABLE AREAS SHALL IMMEDIATELY BE STABILIZED WITH VEGETATION OR OTHER APPROPRIATE EROSION CONTROL MEASURES.
  - SEEDING SHOULD BE REMOVED AFTER IT HAS REACHED A MAXIMUM DEPTH OF FIVE INCHES ABOVE THE STOPWORK MANAGEMENT SYSTEM FLOOR.

# CONSTRUCTION EROSION CONTROL SCHEDULE



# VICINITY MAP

SCALE: 1"=100'



**ADJOINING OWNERS**

White Hill Management Corp. 900 S. Lake Blvd. Mahopac, NY 10541 75.44-1-65	White Hill Management Corp. 900 S. Lake Blvd. Mahopac, NY 10541 75.44-1-67
Dynomite Properties Corp. 58 Piquette St. Mahopac, NY 10541 75.44-1-66	Palladio Realty Mgmt LLC PO Box 501 Brewster, NY 10509 75.44-1-68
Mr. Grah Group LLC 914 S. Lake Blvd. Mahopac, NY 10541 75.44-1-63	Joe & Wendi Corp. 215 East Horner Ave., 2 Mahopac, NY 10541 75.44-1-61
White Hill Management Corp. 900 S. Lake Blvd. Mahopac, NY 10541 75.44-1-66	Nadia Pinchos 213 Shear Hill Rd. Mahopac, NY 10541 75.44-1-62

# AREA MAP & ADJOINING OWNERS LIST

SCALE: 1"=100' +/-

- REVISIONS**
- | NO. | DATE       | DESCRIPTION                   |
|-----|------------|-------------------------------|
| 1   | 01.20.2020 | Final Comments                |
| 2   | 01.20.2020 | Revised Building 1 Site       |
| 3   | 11.22.2021 | Revisions per Staff Comments  |
| 4   | 01.17.2022 | Revised application for hotel |
| 5   | 09.11.2022 | Revised application for hotel |



910 SOUTH LAKE LLC  
 57 ROUTE 6  
 SUITE 204  
 BALDWIN PLACE, NY 10505

**PROPOSED HOTEL**

910 S. LAKE BLVD  
 TOWN OF CARMEL  
 PUTNAM CO., NEW YORK

**Job No.** AS-018

**Scale** AS NOTED

**Date** 8 OCT 2020

**Drawn By** MMA

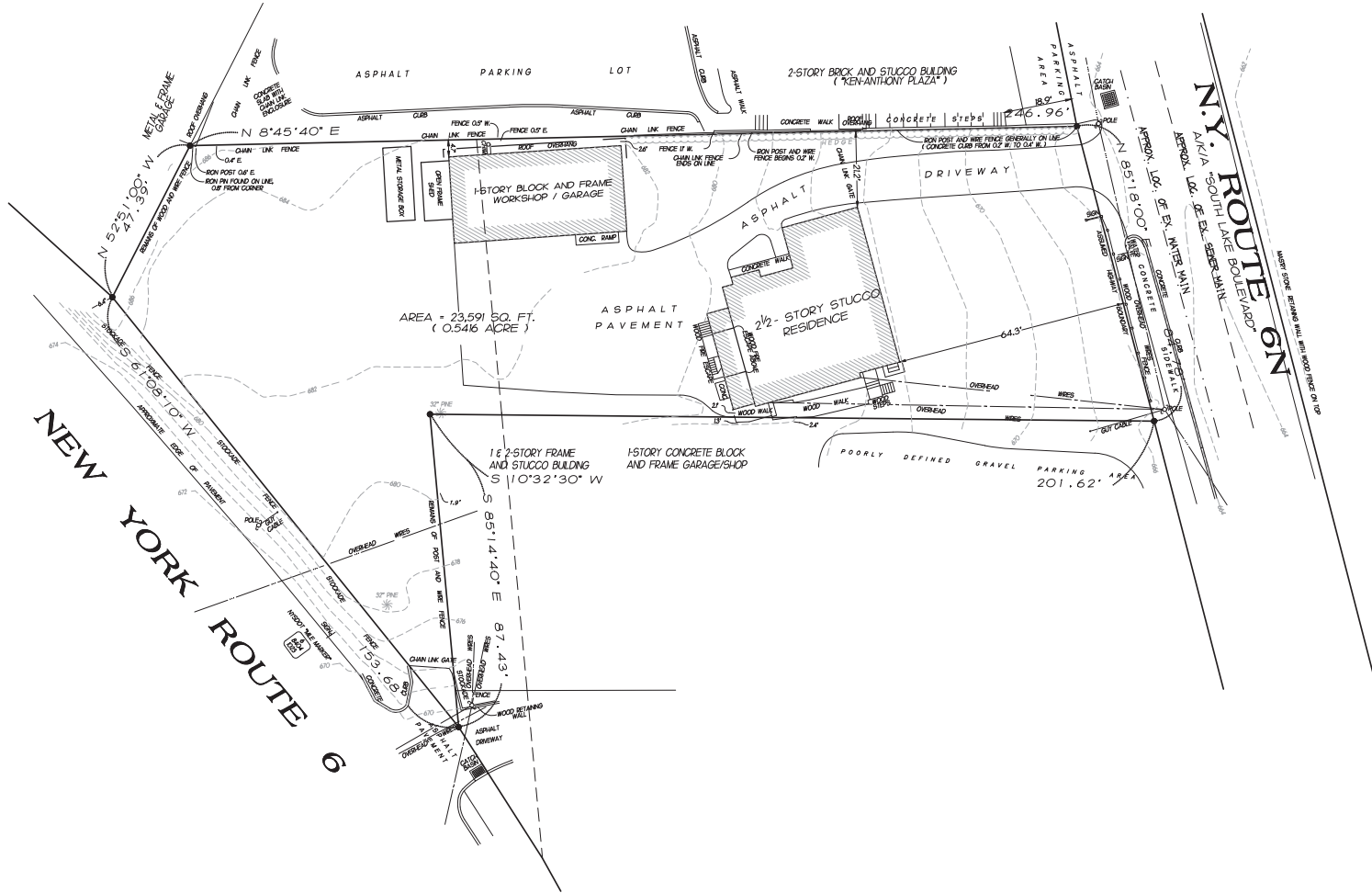
**Checked By** MMA

**Sheet**

**COO1**

Seal & Signature

MICHAEL MASTROGIACOMO, P.E.  
 NO. 104 164 00000000  
 CONSUMER STATE REG. ID: 104 164 00000000



1 EXISTING CONDITIONS & SITE DEMOLITION PLAN

SCALE: 1"=10'  
NOTE:



**Call 811**  
before you dig

**DIG SAFELY NY**  
PRIOR TO CONSTRUCTION, CONTRACTOR SHALL LOCATE ALL BURIED UTILITIES TO ENSURE THAT NO INTERFERENCE EXISTS DURING CONSTRUCTION ACTIVITIES.

**MASTROGIACOMO ENGINEERING P.C.**  
10 MELAND AVENUE, SUITE 204A  
PORT CHESTER, NEW YORK 10573  
TEL: 914.930.6372  
LETRAK\_ZOSKAM@COMCAST.NET  
WWW.MASTROGIACOMO.COM  
LICENSED IN THE STATE OF NEW YORK

All plans, designs, arrangements and items indicated or mentioned here shall be the property of this office and shall remain the property of this office and shall not be used for any other project without the express written consent of the engineer. No part of this drawing shall be used or reproduced in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the engineer.

Any person who uses these drawings shall have obtained the necessary permits and approvals from the appropriate authorities and shall be responsible for obtaining all necessary permits and approvals from these authorities and conditions shown thereon in writing.

It is a violation of the New York State Education Law for any person, other than the person of the architect or engineer, to use these drawings for any purpose other than that for which they were prepared. The architect or engineer shall not be held responsible for any use of these drawings for any purpose other than that for which they were prepared.

REVISIONS

11.30.2020	Issue Comments
07.20.2021	Revised per Building & Site
11.22.2021	Revisions per Staff Comments
01.17.2022	Revised application for hotel
09.11.2022	Revised application for hotel



Client Name and Address  
**910 SOUTH LAKE LLC**  
57 ROUTE 6  
SUITE 204  
BALDWIN PLACE, NY  
10505

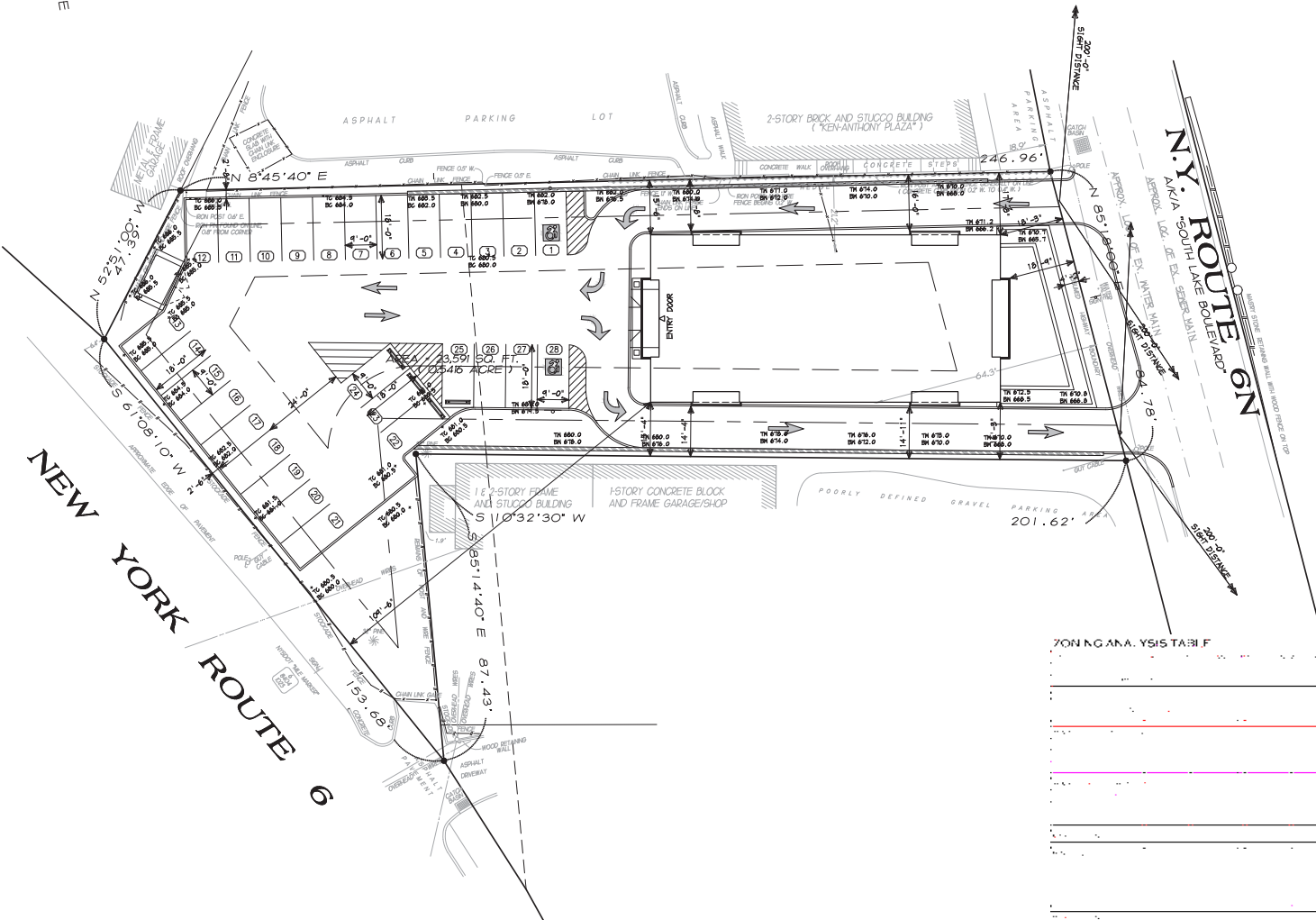
Project Information  
**PROPOSED HOTEL**  
Site located at:  
910 S. LAKE BLVD  
TOWN OF CARMEL  
PUTNAM CO.  
NEW YORK

Job No.	20-078
Scale	AS NOTED
Date	8 OCT 2020
Drawn By	MMA
Checked By	MMA
Sheet	

**C100**

Seal & Signature  
  
 MICHAEL MASTROGIACOMU, P.E.  
 No. 105, STATE OF NEW YORK  
 EXPIRES 12/31/2024

EXISTING CONDITIONS & SITE DEMOLITION PLAN



1 PROPOSED SITE PLAN  
SCALE: 1/4"=1'-0"  
NOTE:



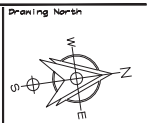
**DIG SAFELY NY**  
PRIOR TO CONSTRUCTION, CONTRACTOR  
SHALL LOCATE ALL BURIED UTILITIES TO  
ENSURE THAT NO INTERFERENCE EXISTS  
DURING CONSTRUCTION ACTIVITIES

**MASTROGIACOMO**  
**ENGINEERING P.C.**  
10 MELAND AVENUE, SUITE 200A  
PORT CHESTER, NEW YORK 10573  
TEL: 914.900.6372  
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WWW.MASTROGIACOMO.COM  
LICENSED IN THE STATE OF NEW YORK

All laws, codes, regulations and plans indicated or referenced are noted to not be the property of this office and shall remain the property of the original owner. In connection with this project, the client has agreed to indemnify, defend and hold the engineer harmless from any claims, suits or damages for any errors, omissions or negligence, whether or not caused in whole or in part by the engineer's professional services.

It is a violation of the New York State Education Law for any person, unless acting under the direction of a duly licensed professional engineer, to prepare or cause to be prepared any drawings or specifications for any building or structure which shall be subject to public inspection and which shall be subject to the provisions of the State Education Law, without the signature and seal of a duly licensed professional engineer.

- REVISIONS
- 11.20.2020 Issue Comments
  - 07.20.2021 Revisions for Staff Comments
  - 11.20.2021 Revisions per Staff Comments
  - 01.11.2022 Revisions application for hotel
  - 09.11.2022 Revisions application for hotel



Client Name and Address  
**910 SOUTH LAKE LLC**  
57 ROUTE 6  
SUITE 204  
BALDWIN PLACE, NY  
10505

Project Information  
**PROPOSED HOTEL**  
910 S. LAKE BLVD  
TOWN OF CARMEL  
PUTNAM CO.  
NEW YORK

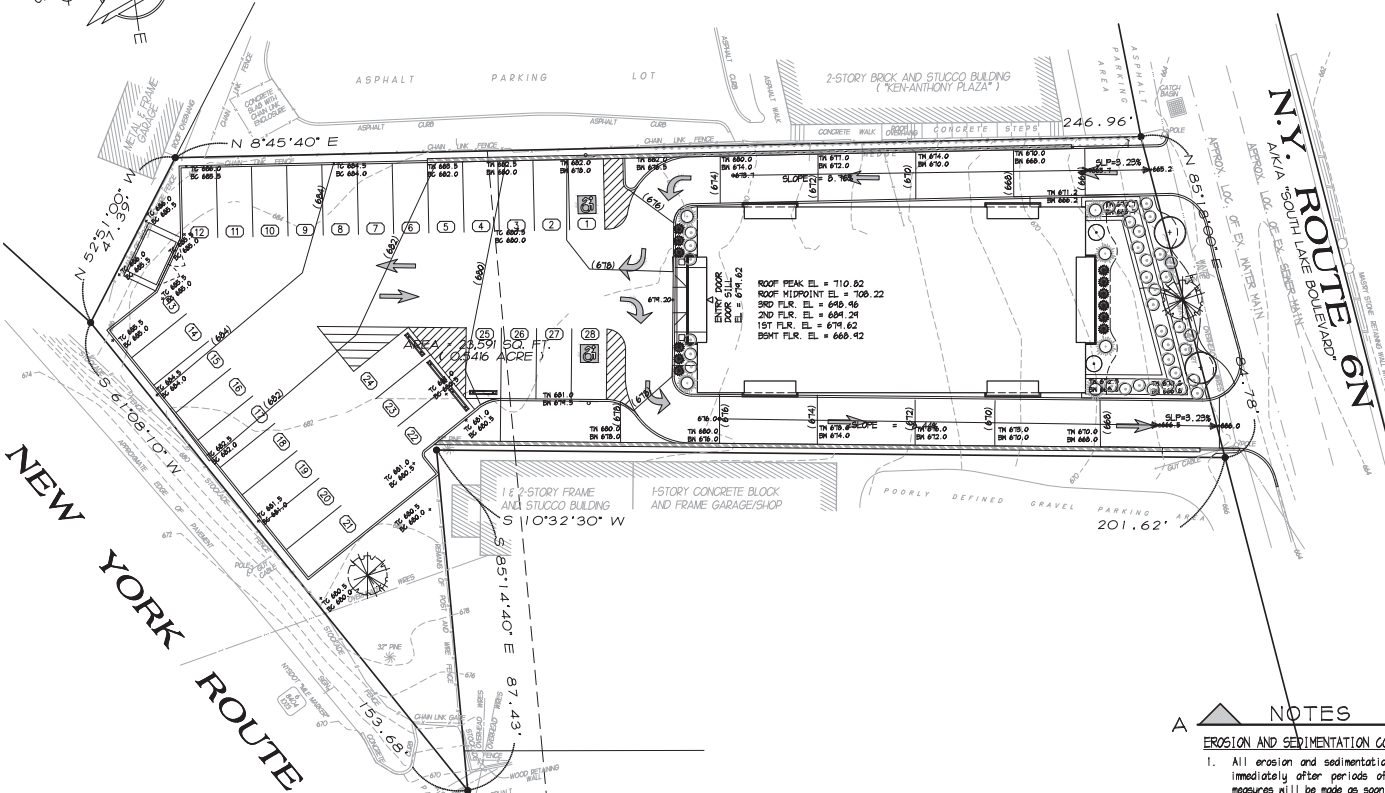
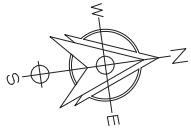
Job No. 20-078  
Scale AS NOTED  
Date 8 OCT 2020  
Drawn By MMA  
Checked By MMA  
Sheet

**C101**

Signature  
  
MICHAEL MASTROGIACOMO, P.E., S.E.  
NO. 102, STATE OF NY, EXP. 12/31/2022  
CIVIL ENGINEERING

PROPOSED SITE PLAN





- CONSTRUCTION & DESIGN NOTES**
- SEWER & WATER DEMANDS:
    - PROPOSED SANITARY SEWER FLOW: 300GPD X 36 BEDROOMS = 10,800 GPD
    - PROPOSED WATER DEMAND: 400GPD X 36 BEDROOMS = 14,400 GPD
  - WHERE NEW CONNECTIONS ARE MADE TO EXISTING SANITARY SEWER & STORM DRAIN STRUCTURES, THE STRUCTURES SHALL BE INSPECTED FOR CAPACITY & STRUCTURAL INTEGRITY TO VERIFY THE STRUCTURES CAN SAFELY ACCEPT THE PROPOSED CONNECTIONS & ADDITIONAL LOADS & A REPORT SHALL BE SUBMITTED TO DPM PRIOR TO CONNECTION OF UTILITIES.
  - ALL IMPORTED FILL FOR SITE DEVELOPMENT SHALL HAVE DOCUMENTATION CERTIFYING THE MATERIAL IS CLEAN & FREE OF CONTAMINANTS & SHALL BE SUBMITTED TO DPM FOR APPROVAL PRIOR TO PLACING OF MATERIAL. IF DOCUMENTATION IS NOT AVAILABLE, SOIL SAMPLES MUST BE TAKEN & TESTED FOR COMPOSITION & CHEMICALS AT THE APPLICANT'S EXPENSE. IF CERTIFIED BY A SOIL TESTING LABORATORY TO PRESENT THERE ARE NO CONTAMINANTS PRESENT AND RESULTS SHALL BE SUBMITTED & APPROVED BY DPM PRIOR TO PLACEMENT OF SOIL.
  - ALL CONSTRUCTION UNDER THE JURISDICTION OF DPM MUST BE IN CONFORMANCE WITH DPM STANDARDS REGARDLESS OF WHAT MAY BE SHOWN ON THE PLANS. ALL MATERIAL USED WITHIN THE MUNICIPAL RIGHT-OF-WAY MUST BE DOMESTIC MAKE AND/OR MUST COMPLY WITH THE LATEST REVISION OF 1801 AMERICAN PROVISIONS OF THE AMERICAN RECOVERY AND REINVESTMENT ACT OF 2009. PRIOR TO DELIVERY OF MATERIALS, APPLICATION SHALL SUBMIT SHOP DRAWINGS AND/OR CATALOGS OUT SHEETS TO DPM FOR REVIEW AND APPROVAL.
  - BACKFLOW PREVENTION DEVICES SHALL BE SUBMITTED & APPROVED BY DPM PRIOR TO INSTALLATION. AFTER INSTALLATION THE DEVICES SHALL BE TESTED BY A CERTIFIED TESTER & INSPECTED BY THE DESIGN PROFESSIONAL & A COMPLETED DOH-1019 SHALL BE SUBMITTED TO THE CITY, AS THE WATER PURVEYOR, & DPM PRIOR TO ISSUANCE OF A T.O.
  - ALL CONSTRUCTION OF STORMWATER FACILITIES MUST BE UNDER THE SUPERVISION OF THE STORMWATER DESIGN PROFESSIONAL. TO ENSURE PROPER MAINTENANCE OF THE STORMWATER DEVICES, AS AS-BUILT DRAWING SIGNED & SEALED BY THE DESIGN ENGINEER OR LAND SURVEYOR SHALL BE SUBMITTED TO DPM & A TYPICAL EROSION ACCOUNT MUST BE ESTABLISHED FOR THE MAINTENANCE OF THE PERMANENT STORMWATER FACILITIES. THE COMMISSIONERS OF PUBLIC WORKS HAS THE RIGHT TO UTILIZE THIS EROSION ACCOUNT TO PERFORM MAINTENANCE WORK SHOULD THE OWNER FAIL TO BE RESPONSIVE. FURTHER, THE DPM SHOULD THEY BE REQUIRED TO CONTRACT THE WORK, WILL RECEIVE AN ADMINISTRATIVE FEE. A STANDARD DPM STORMWATER MAINTENANCE AGREEMENT MUST BE EXECUTED WITH THE CITY, APPROVED BY THE CORPORATION COUNSEL, PRIOR TO ISSUANCE OF A T.O.

**Dig Safely**  
**Call 811**  
 before you dig

**DIG SAFELY NY**  
 PRIOR TO CONSTRUCTION, CONTRACTOR SHALL LOCATE ALL BURIED UTILITIES TO ENSURE THAT NO INTERFERENCE EXISTS DURING CONSTRUCTION ACTIVITIES

- 1. PROPOSED GRADING & EROSION CONTROL PLAN**
- SCALE: 1"=10'  
 NOTE: 1. COMPUTED EARTHWORK: CUT = 2,100 C.Y. FILL = 0.00 C.Y.  
 2. ALL FILL BROUGHT TO SITE MUST BE CERTIFIED PER NYSDOT REGULATIONS & MANIFESTS/CERTIFICATIONS OF FILL MATERIAL BEING DELIVERED SHOULD BE PROVIDED.

**CONSTRUCTION SEQUENCE**

- INSTALL SILT FENCE IN GENERAL LOCATIONS INDICATED ON THE PLAN.
- EXCAVATION & INSTALLATION OF PROPOSED FOUNDATION.
- INSTALL UTILITY STRUCTURES AND PIPES.
- COMPLETE CONSTRUCTION OF NEW ADDITION.
- ROUGH GRADING OF DRIVEWAY & INSTALL CURB.
- FINAL GRADING OF PROPERTY & INSTALLATION OF ASPHALT PAVEMENT.
- TOPSOIL, SEED, AND MULCH ALL DISTURBED AREAS AS SOON AS PRACTICAL IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL NOTES CONTAINED ON THIS PAGE.

NOTE: TEMPORARY EROSION & SEDIMENT CONTROL MEASURES CANNOT BE REMOVED UNTIL SITE STABILIZATION (80% UNIFORM DENSITY OR PERMANENT VEGETATION OR PERMANENT MULCH/STONE) HAS BEEN ACHIEVED.

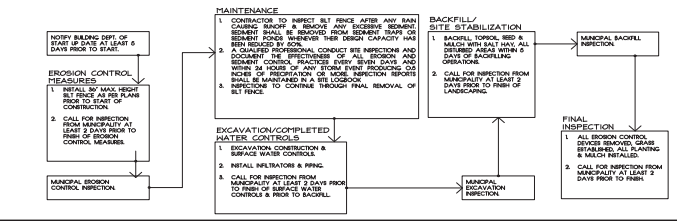
- NOTE 1: ALL IMPORTED SOIL SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL REQUIREMENTS FOR QUALITY AND USE.
- OFF-SITE DISPOSAL OF EXCESS CUT SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REQUIREMENTS.
  - ALL EROSION & SEDIMENT CONTROL MEASURES SHALL CONFORM TO NEW YORK STATE STANDARDS & SPECIFICATIONS FOR EROSION & SEDIMENT CONTROL DATED NOVEMBER 2016.
  - SEEDING AND MULCHING SHALL BE AS FOLLOWS:
    - LIME: 90 LBS./1,000 SQ.FT. GROUND LIMESTONE, FERTILIZER: 4 LBS./1,000 SQ.FT. 10-20-10 OR EQUIVALENT WORKED INTO SOIL A MINIMUM OF 4 INCHES.
    - SEED: ANNUAL RYEGRASS 40 LBS./ACRE OR OTHER APPROVED SEED PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
    - MULCH: MULCH SHALL BE SMALL GRAIN STRAW AT A RATE OF 70 TO 90 LBS./1,000 SQ.FT. TO BE APPLIED ACCORDING TO STANDARD PRACTICES. MULCH SHALL BE SECURED BY APPROVED METHODS.

**NOTES**

**EROSION AND SEDIMENTATION CONTROL MEASURES**

- All erosion and sedimentation measures and devices shall be inspected by the Contractor daily, and immediately after periods of rainfall. Repair and/or maintenance of sedimentation erosion control measures will be made as soon as needed. The Contractor will be held responsible of all control measures on this site. It is intended that all erosion and sedimentation measures conform to the Westchester County Water Quality Management Program, Best Management Practice Manual on Construction Related Activities Standards and Specifications for Erosion and Sedimentation Control.
- Land disturbance shall be kept to a minimum. Where construction is involved, restabilization will be scheduled immediately after any disturbances.
- Catch basins shall be protected with appropriate devices throughout the construction sequence, and until all disturbed areas are stabilized.
- Erosion and sedimentation control measures will be installed prior to all construction activities.
- Fabric sedimentation barriers approved by the City's Commissioner of Public Works.
- Sediment removed from the control structures shall be disposed in a manner which is consistent with the overall plan.
- Additional control measures will be installed during the construction period if necessary or required.

**CONSTRUCTION EROSION CONTROL SCHEDULE**



**MASTROGIACOMO ENGINEERING P.C.**  
 10 MELAND AVENUE, SUITE 204A  
 PORT CHESTER, NEW YORK 10573  
 TEL: 914.900.6372  
 FAX: 914.900.6373  
 WWW.MASTROGIACOMO.COM  
 LICENSE NO. 104 100000000

All plans, permits, arrangements and items indicated or mentioned are based on the accuracy of the information and data furnished and are not to be construed as a warranty of any kind. The contractor shall be responsible for the accuracy of the information and data furnished and for the accuracy of the information and data furnished and for the accuracy of the information and data furnished.

Revision Log

NO.	DATE	DESCRIPTION
1	11.20.2020	Issue for Permit
2	07.20.2021	Revised for 1.5' Rise
3	11.22.2021	Revised for 1.5' Rise
4	01.11.2022	Revised application for permit
5	09.11.2022	Revised application for permit

**910 SOUTH LAKE LLC**  
 57 ROUTE 6  
 SUITE 204  
 BALDWIN PLACE, NY  
 10505

**PROPOSED HOTEL**  
 910 S. LAKE BLVD  
 TOWN OF CAMEL  
 PUTNAM CO.,  
 NEW YORK

**PROJECT INFORMATION**

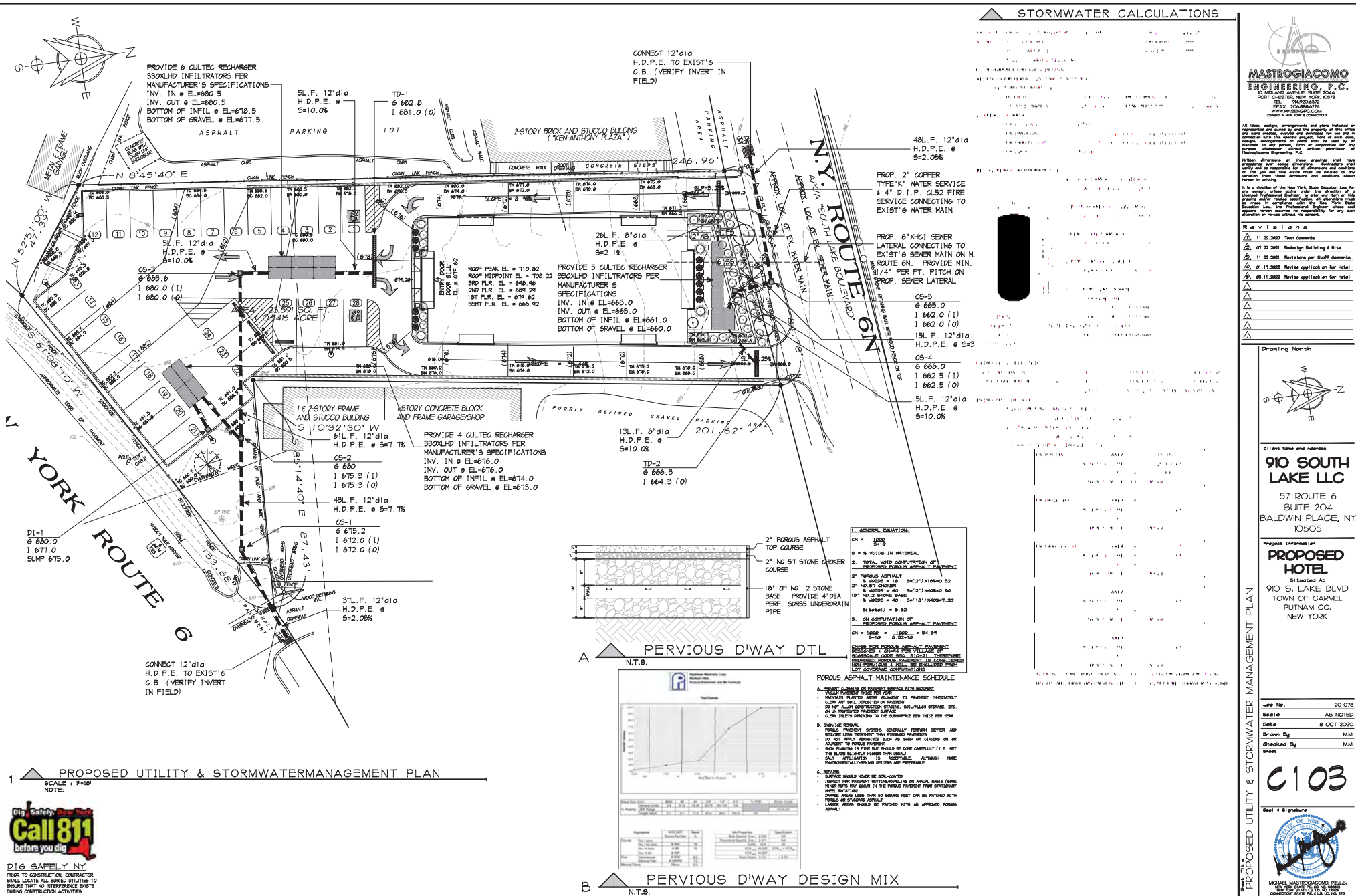
Job No: 20-078  
 Scale: AS NOTED  
 Date: 8 OCT 2020  
 Drawn By: MMA  
 Checked By: MMA  
 Sheet: 1 of 1

**C102**

Scale: 1"=10'

**Signature**

Signature of Michael Mastrogioacomo, P.E., S.E.



**STORMWATER CALCULATIONS**

TABLE WITH 2 COLUMNS: AREA, CALCULATION

**MASTROGIACOMO ENGINEERING P.C.**  
 10 BELMONT AVENUE, SUITE 204A  
 PORT CHESTER, NEW YORK 10573  
 TEL: 914-935-8372  
 FAX: 914-935-8373  
 WWW.MASTROGIACOMO.COM

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REVISIONS

NO.	DATE	DESCRIPTION
1	11.20.2020	Initial
2	11.22.2020	Revised for 1.5' Rise
3	11.22.2020	Revised for 1.5' Rise
4	11.22.2020	Revised for 1.5' Rise
5	11.22.2020	Revised for 1.5' Rise

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Job No. 20-078  
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 Date 8 OCT 2020  
 Drawn By MMA  
 Checked By MMA

**C103**

Signature

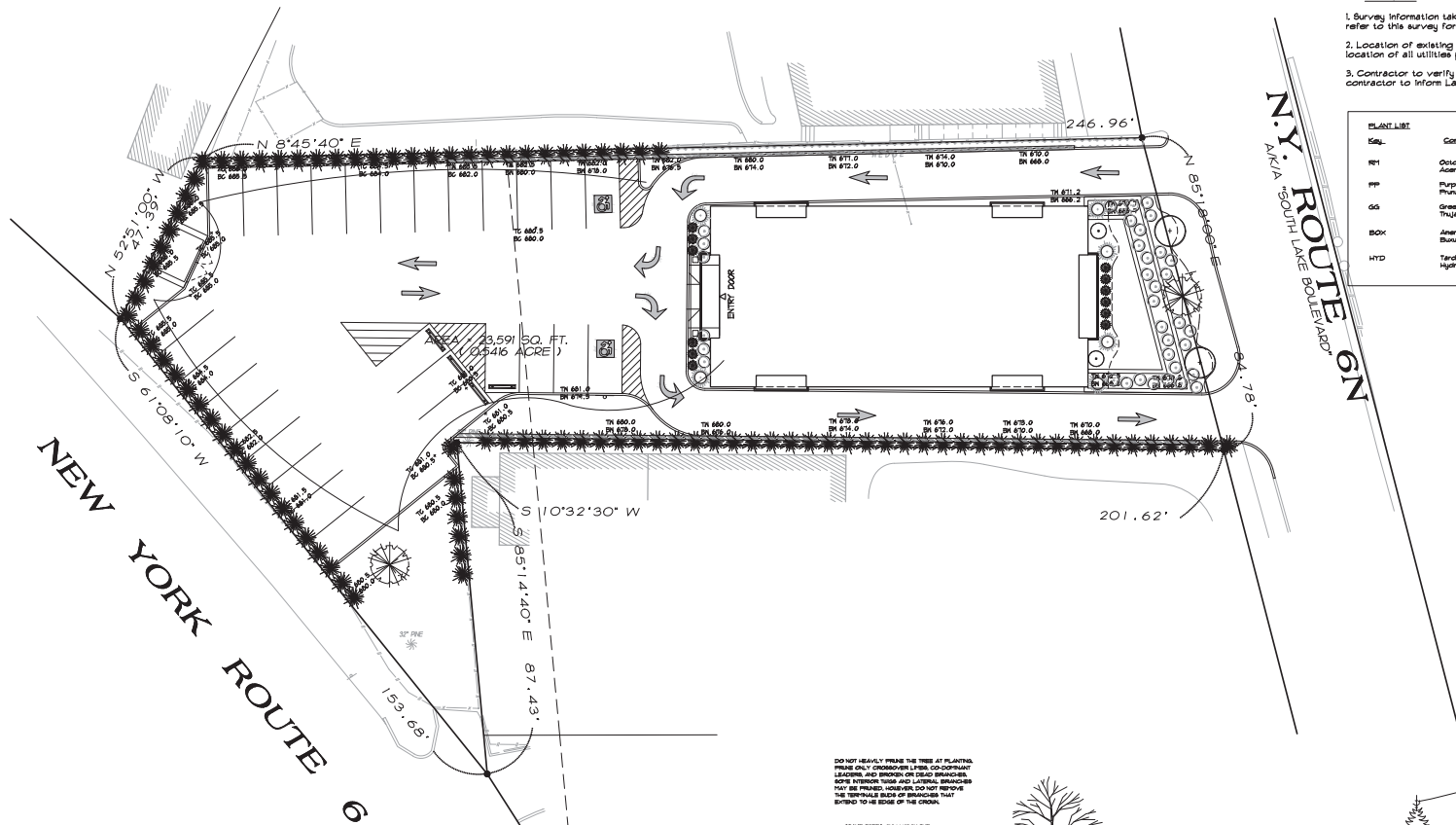
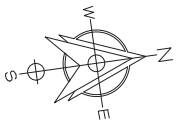
**MASTROGIACOMO ENGINEERING P.C.**  
 MICHAEL MASTROGIACOMO, P.E.  
 10 BELMONT AVENUE, SUITE 204A  
 PORT CHESTER, NEW YORK 10573

**PROPOSED UTILITY & STORMWATER MANAGEMENT PLAN**  
 SCALE: 1/4"=1'-0"  
 NOTE:

**Dig Safety Call 811 before you dig**

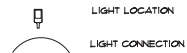
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**DI-6 SAFELY NY**  
 PRIOR TO CONSTRUCTION, CONTRACTOR SHALL LOCATE ALL BURIED UTILITIES TO ENSURE THAT NO INTERFERENCE EXISTS DURING CONSTRUCTION ACTIVITIES



**SITE NOTES**

1. LIGHTING TO BE VIPER 8 LUMINAIRE BY HUBBEL LIGHTING REFER TO PHOTOMETRICS PLAN
2. POLE TO BE 16' HT.



**NOTES:**

1. Survey information taken from a site plan prepared by RAYEX DESIGN refer to this survey for more information.
2. Location of existing utilities not performed by this office, confirm location of all utilities prior to construction, CALL dig safely New York.
3. Contractor to verify all grades and dimensions prior to construction, contractor to inform Landscape Architect with any discrepancies.

PLANT LIST	Common & Botanical Name	Size
OP1	Outdoor Glory Maple Acer rubrum Outdoor glory	3 1/2' Cal.
PP	Purple Plum Prunus cerasifera 'Thundercloud'	2' Cal.
GG	Green Giant Arborvitae Thuja standishii 'Green Giant'	8' Ht.
BOX	American Boxwood Buxus sempervirens	36" Ht.
HTD	Tardive Hydrangea Hydrangea paniculata Tardive	*1 cont.

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Drawing North

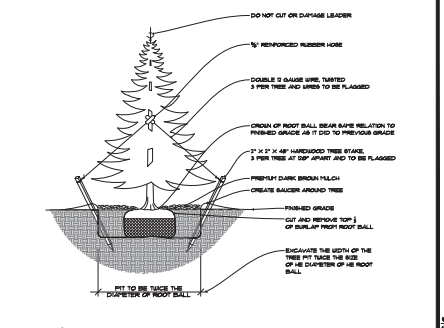
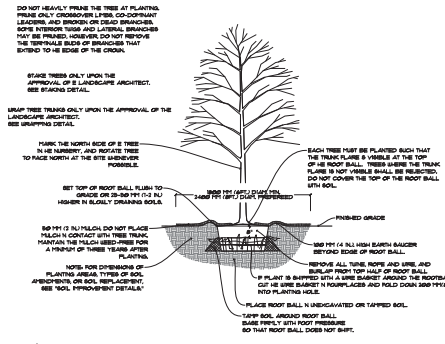
Client Name and Address  
**910 SOUTH LAKE LLC**  
 57 ROUTE 6  
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 BALDWIN PLACE, NY  
 10505

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 TOWN OF CARMEL  
 PUTNAM CO.  
 NEW YORK

Job No. 20-078  
 Scale AS NOTED  
 Date 8 OCT 2020  
 Drawn By MMA  
 Checked By MMA

C104  
 Seal & Signature

**1 PROPOSED LANDSCAPING PLAN**  
 SCALE: 1"=100'  
 NOTE: 1. ALL PROPOSED PLANTINGS SHALL BE VERIFIED BY THE TOWN OF CARMEL, NEWLANDS INSPECTOR.  
 2. ALL PROPOSED PLANTINGS SHALL BE INSTALLED PER SECTION 142 OF THE TOWN OF CARMEL CODE.



Dig Safely  
**Call 811**  
 before you dig

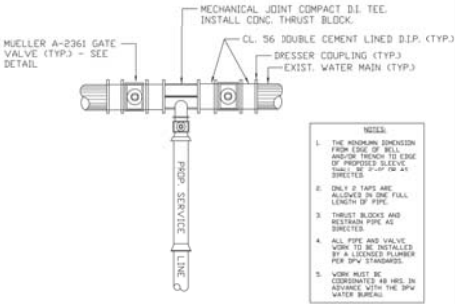
DIG SAFELY NY  
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PROJECT INFORMATION, NOTES & DETAILS PLAN

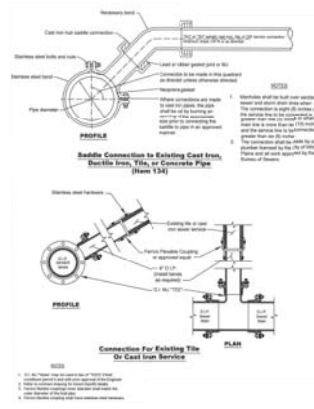
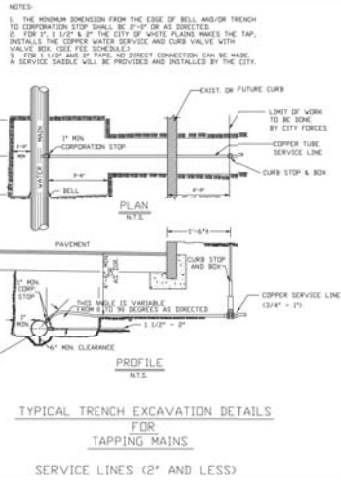




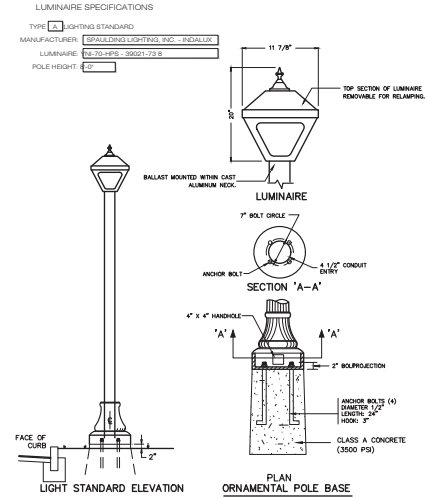




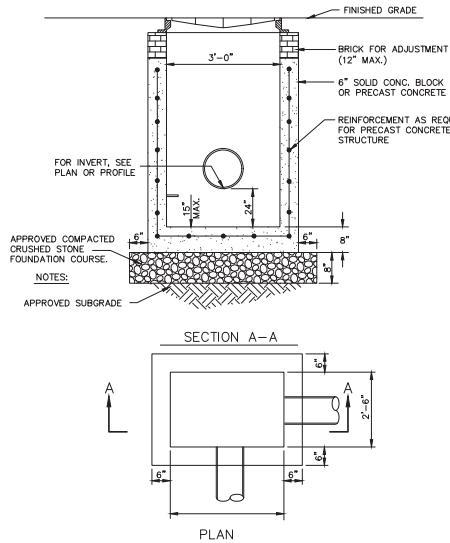
**A WATER SERVICE CONNECTION DETAILS**  
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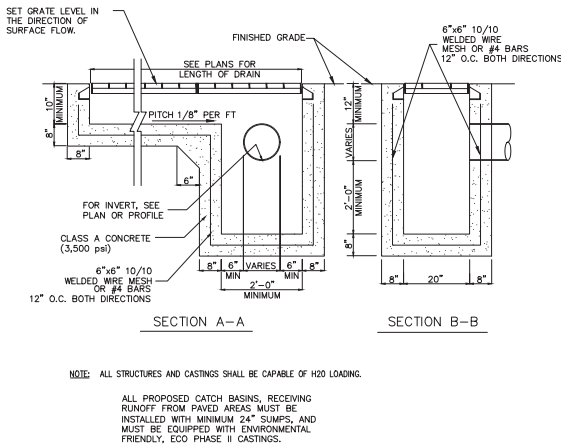
**B SEWER SERVICE DETAIL**  
SCALE: N.T.S.



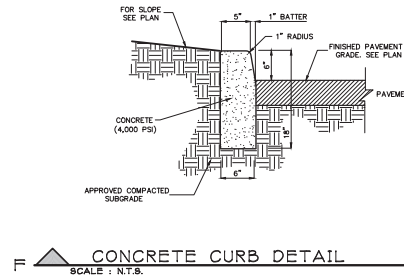
**C DECORATIVE LIGHT DETAIL**  
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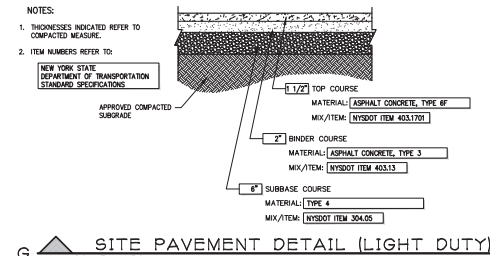
**D DRAIN INLET DETAIL**  
SCALE: N.T.S.



**E TRENCH DRAIN DETAIL**  
SCALE: N.T.S.



**F CONCRETE CURB DETAIL**  
SCALE: N.T.S.



**G SITE PAVEMENT DETAIL (LIGHT DUTY)**  
SCALE: N.T.S.

**MASTROGIACOMO ENGINEERING P.C.**  
10 HIGHLAND AVENUE, SUITE 200A  
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WWW.MASTROGIACOMO.COM

**CLIENT Name and Address**  
**910 SOUTH LAKE LLC**  
57 ROUTE 6  
SUITE 204  
BALDWIN PLACE, NY 10505

**PROJECT INFORMATION**  
**PROPOSED HOTEL**  
910 S. LAKE BLVD  
TOWN OF CARMEL  
PUTNAM CO.  
NEW YORK

**Job No.** 20-078  
**Scale** AS NOTED  
**Date** 8 OCT 2020  
**Drawn By** MMA  
**Checked By** MMA  
**Sheet** C201

**Client's Name and Address**  
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**Client's Signature**  
MICHAEL MASTROGIACOMO, P.E., S.E.  
NEW YORK STATE REG. NO. 16518  
CONCRETE STATE REG. NO. 16518

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**Client's Signature**  
MICHAEL MASTROGIACOMO, P.E., S.E.  
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 License No. 104 100000000

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REVISIONS	NO.	DATE	DESCRIPTION
1	11.20.2020	1	Issue Comments
2	07.20.2021	1	Revisions for Lighting & Site
3	11.22.2021	1	Revisions per Staff Comments
4	01.17.2022	1	Revised application for hotel
5	09.11.2022	1	Revised application for hotel
6			
7			
8			
9			
10			

Draining North



Client Name and Address

**910 SOUTH LAKE LLC**  
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Job No. 20-078  
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 Drawn By MMA  
 Checked By MMA  
 Sheet

**A100**

Seal & Signature  
  
 MICHAEL MASTROGIACOMO, P.E.  
 License No. 104 100000000  
 STATE OF NEW YORK

ELEVATIONS



1 FRONT ELEVATION (NORTH SIDE)  
 SCALE: 1/4" = 1'-0"  
 NOTE:



2 REAR ELEVATION (SOUTH SIDE)  
 SCALE: 1/4" = 1'-0"  
 NOTE:

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- 11.20.2020 Issue Comments
- 07.20.2020 Revising the Elevation & Site
- 11.22.2021 Revising per Staff Comments
- 01.17.2022 Revising application for hotel
- 09.11.2022 Revising application for hotel

Draining North



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 Sheet

**A101**

Seal & Signature



MICHAEL MASTROGIACOMO, P.E., S.E.  
 NEW YORK STATE REG. NO. 104 104 104 104  
 CONTRACT STATE REG. # 104 104 104 104



1 LEFT ELEVATION (EAST SIDE)  
 SCALE: 3/16" = 1'-0"  
 NOTE:



2 RIGHT ELEVATION (WEST SIDE)  
 SCALE: 3/16" = 1'-0"  
 NOTE:

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- REVISIONS
- |            |                               |
|------------|-------------------------------|
| 11.20.2020 | Issue Comments                |
| 07.20.2020 | Revised Building & Site       |
| 11.20.2021 | Revisions per Staff Comments  |
| 01.17.2022 | Revised application for hotel |
| 09.11.2022 | Revised application for hotel |

Drawing North



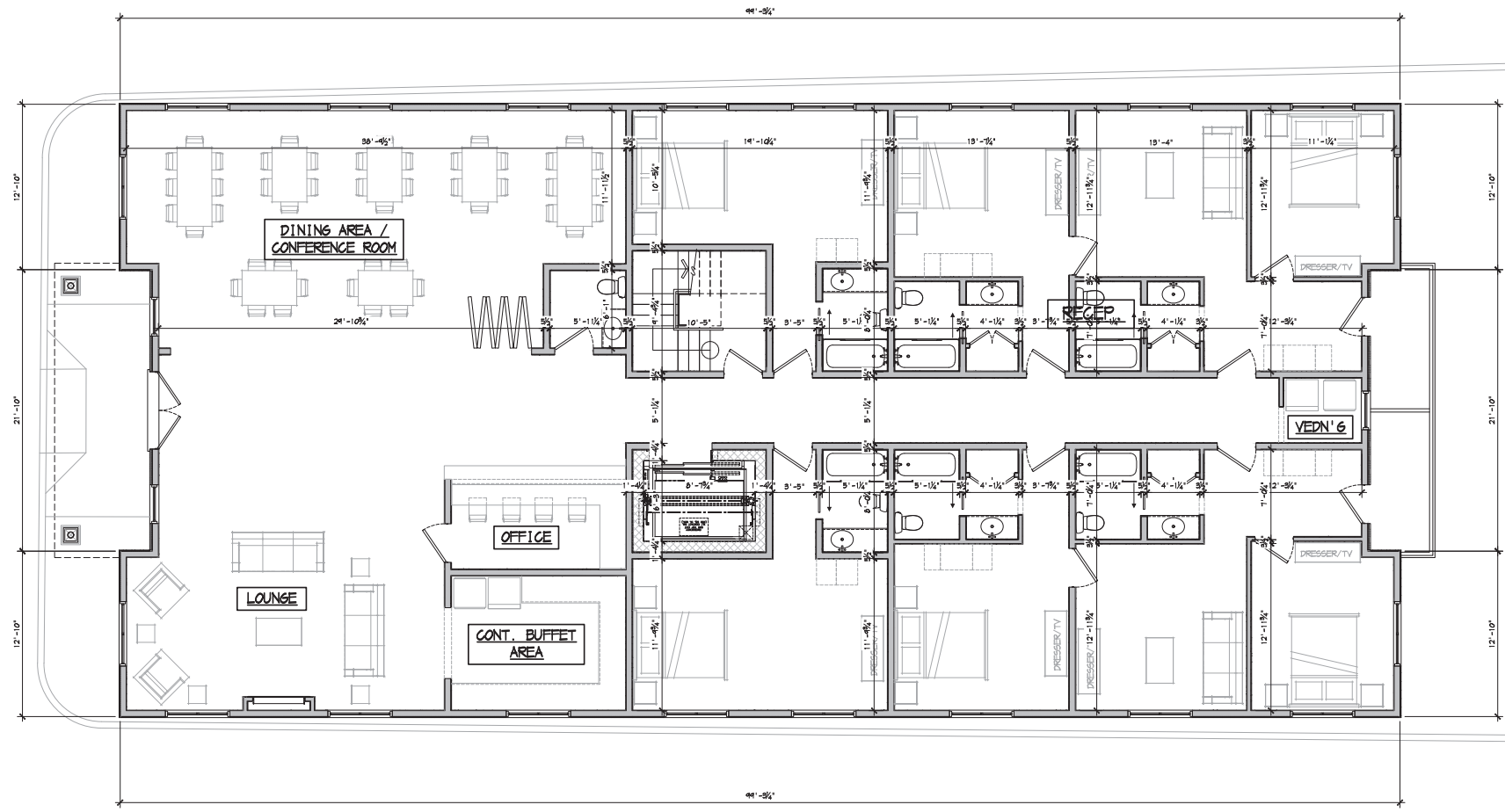
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Seal & Signature  
  
 MICHAEL MASTROGIACOMO, P.E.  
 No. 105, State of New York, Expiration 12/31/2024  
 CONTRACT STATE AND FEDERAL



1 PROPOSED FLOOR PLAN - 1ST FLOOR  
 SCALE: 1/4" = 1'-0"  
 NOTE:

SHEET 1 OF 1 PROPOSED FLOOR PLAN - 1ST FLOOR



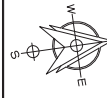
All plans, designs, arrangements and items indicated on this drawing were prepared by the drafter of this office and unless expressly stated otherwise, the drafter is not responsible for any errors or omissions. The drafter shall be held harmless for any errors or omissions. The drafter shall be held harmless for any errors or omissions. The drafter shall be held harmless for any errors or omissions.

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Revisions:  
 01.20.2020: Initial Design  
 07.20.2020: Revisions for Permitting & Site  
 11.20.2020: Revisions per Staff Comments  
 01.11.2022: Revisions for Permit  
 09.11.2022: Revisions for Permit

01.20.2020	Initial Design
07.20.2020	Revisions for Permitting & Site
11.20.2020	Revisions per Staff Comments
01.11.2022	Revisions for Permit
09.11.2022	Revisions for Permit

Drawing North



Client Name and Address

**910 SOUTH LAKE LLC**  
 57 ROUTE 6  
 SUITE 204  
 BALDWIN PLACE, NY 10505

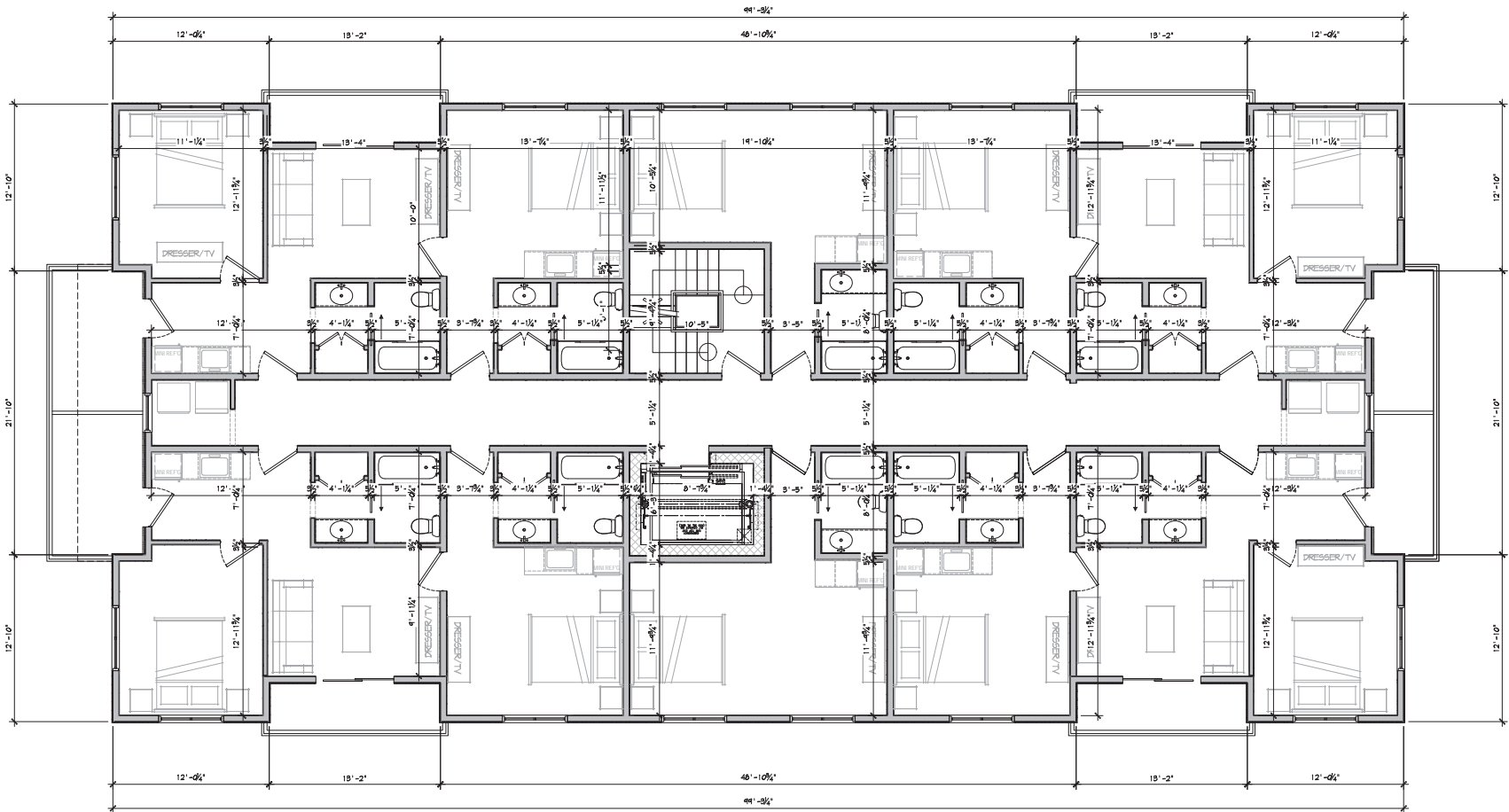
Project Information

**PROPOSED HOTEL**  
 910 S. LAKE BLVD  
 TOWN OF CARMEL  
 PUTNAM CO.  
 NEW YORK

Job No.	20-078
Scale	AS NOTED
Date	8 OCT 2020
Drawn By	MMA
Checked By	MMA
Sheet	

**A202**

Scale: Signature



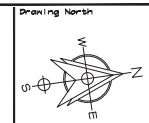
1 **PROPOSED FLOOR PLAN - 2ND FLOOR**  
 SCALE: 1/4" = 1'-0"  
 NOTE:

SHEET 1 OF 1 PROPOSED FLOOR PLAN - 2ND FLOOR

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- 11.20.2020 Issue for Client Comments
- 07.20.2020 Revision for Client Comments
- 11.22.2021 Revision per Client Comments
- 01.17.2022 Revision application for hotel
- 09.11.2022 Revision application for hotel



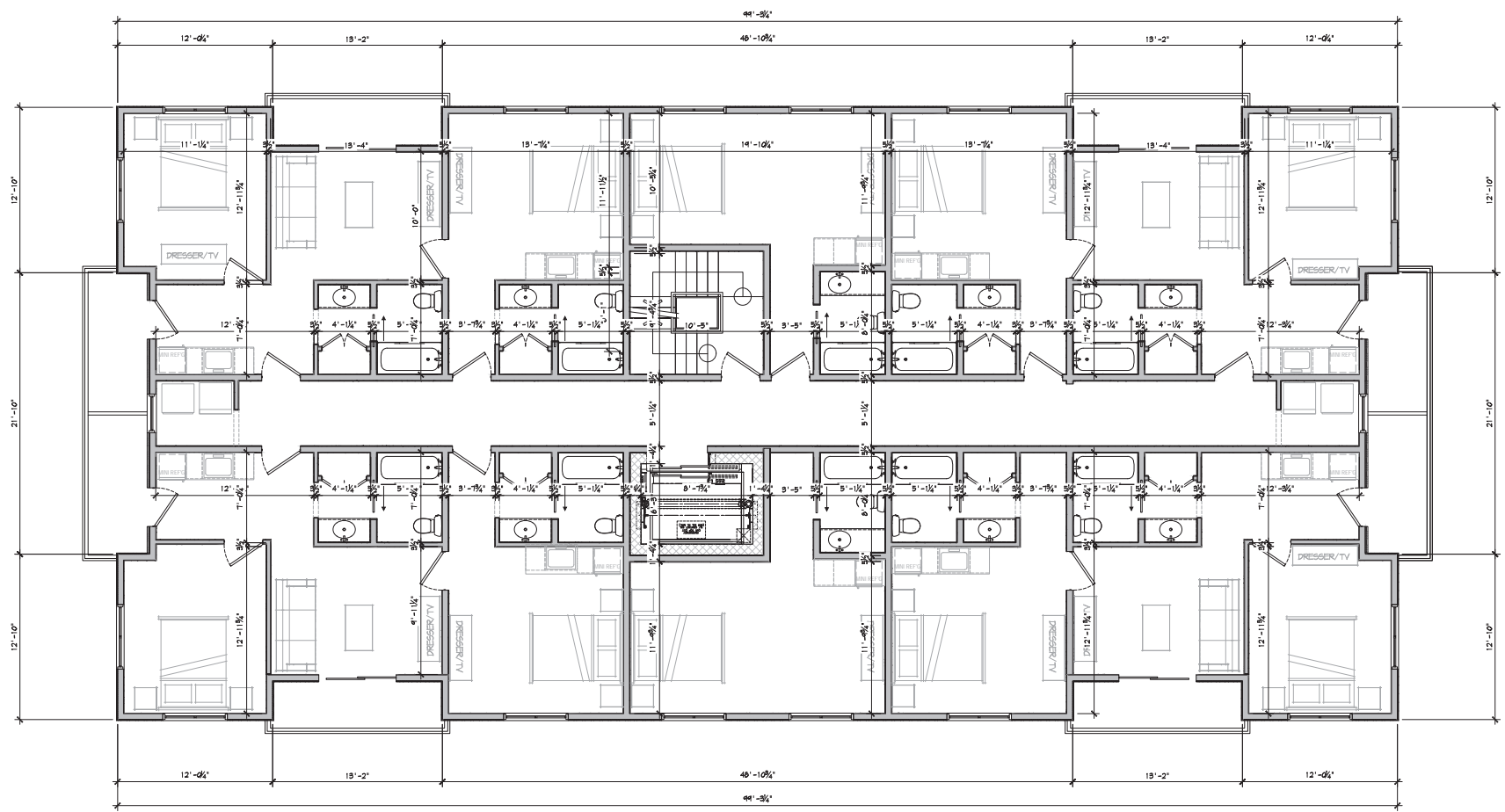
Client Name and Address  
**910 SOUTH LAKE LLC**  
 57 ROUTE 6  
 SUITE 204  
 BALDWIN PLACE, NY  
 10505

Project Information  
**PROPOSED HOTEL**  
 910 S. LAKE BLVD  
 TOWN OF CARMEL  
 PUTNAM CO.  
 NEW YORK

Job No. 20-078  
 Scale AS NOTED  
 Date 8 OCT 2020  
 Drawn By MMA  
 Checked By MMA

**A203**

Seal & Signature  
  
 MICHAEL MASTROGIACOMO, P.E., No. 10416, STATE OF NEW YORK  
 CONTRACT STATE AND FEDERAL REGISTER



1 **PROPOSED FLOOR PLAN - 3RD FLOOR**  
 SCALE: 1/4" = 1'-0"  
 NOTE:

SHEET 1 OF 1 PROPOSED FLOOR PLAN - 3RD FLOOR



March 14, 2022

Mr. Craig Paeprer, Chairman  
Town of Carmel Planning Board  
60 McAlpin Avenue  
Mahopac, NY 10541

Re: Shallow Stream Properties, Inc.  
Lot Line Adjustment  
145 & 153 Shindagen Hill Road  
T.M. 87.08-1-4, 5 and 6

Dear Chairman Paeprer and Members of the Board:

Shallow Stream Properties, Inc. appeared before the Zoning Board of Appeals (ZBA) on December 2, 2021 and received an approval of their variance request. The ZBA approved of the transfer of 75,445.92 square feet from Parcel B (lot 2) which was 33.333 percent of the lot area to Parcel A (lot 1). As a result there will be two conforming lots. We ask that a public hearing be scheduled at this time.

The plans have been revised to reflect comments that were received from the Town Engineer as well as the Zoning Enforcement Officer. Specifically we revised the Title Block on Sheet 1 to include the phrase "Lot Line Adjustment." We added the Planning Board signature block and the Putnam County Health Department non jurisdictional signature block. We have added the footprint of the house which is under construction and showed the Well and Subsurface Sanitary Treatment System location as approved by the P.C.H.D.

Sincerely,

PUTNAM ENGINEERING, PLLC

A handwritten signature in black ink, appearing to read 'Paul M. Lynch', written over a horizontal line.

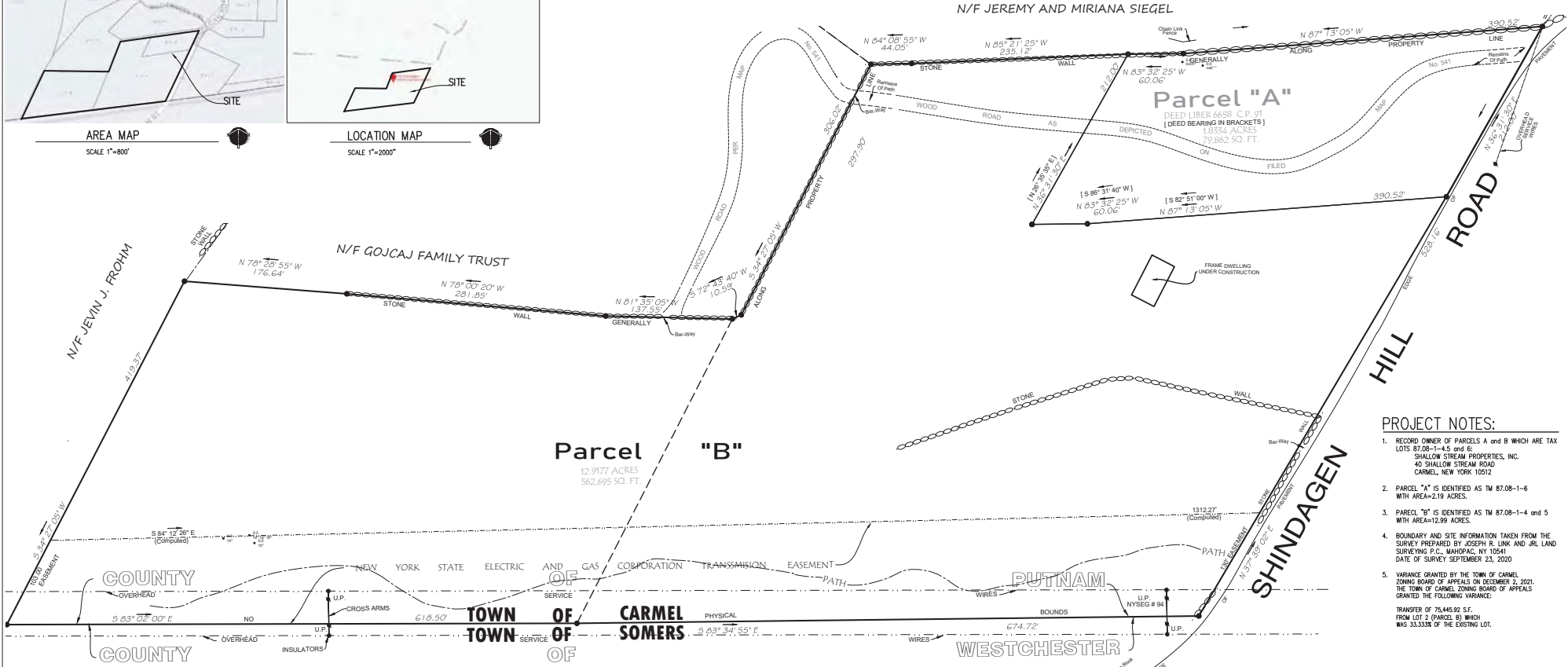
Paul M. Lynch, P.E.  
PML/rrm

L2055



AREA MAP  
SCALE 1"=800'

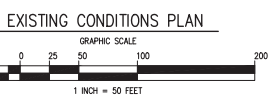
LOCATION MAP  
SCALE 1"=2000'



- PROJECT NOTES:**
- RECORD OWNER OF PARCELS A and B WHICH ARE TAX LOTS 87.08-1-4.5 and 6- SHALLOW STREAM PROPERTIES, INC. 40 SHALLOW STREAM ROAD CARMEL, NEW YORK 10512
  - PARCEL "A" IS IDENTIFIED AS TM 87.08-1-6 WITH AREA=2.19 ACRES.
  - PARCEL "B" IS IDENTIFIED AS TM 87.08-1-4 and 5 WITH AREA=12.99 ACRES.
  - BOUNDARY AND SITE INFORMATION TAKEN FROM THE SURVEY PREPARED BY JOSEPH R. LINK AND JR. LAND SURVEYING P.C., MAHOPAC, NY 10541 DATE OF SURVEY SEPTEMBER 23, 2020
  - VARIANCE GRANTED BY THE TOWN OF CARMEL ZONING BOARD OF APPEALS ON DECEMBER 2, 2021. THE TOWN OF CARMEL ZONING BOARD OF APPEALS GRANTED THE FOLLOWING VARIANCE: TRANSFER OF 75,445.92 S.F. FROM LOT 2 (PARCEL B) WHICH WAS 33,333% OF THE EXISTING LOT.

**PROPERTIES WITHIN 500'**

6.10-2-5	Nicholas B. Pasquale, Jr	116 Warren Street Somers, NY 10589
6.10-2-4	Leslie C. Patron	114 Warren Street Somers, NY 10589
6.10-2-3	Christopher Melillo	112 Warren Street Somers, NY 10589
6.10-2-2	Moore Family, Irrevocable Trust	110 Warren Street Somers, NY 10589
6.10-1-1	N.Y.S.E.G. Corp	c/o Anvorgid Management Company Local Tax 1 City Center, Floor 5 - Portland, Maine 04101
6.10-1-2	Stephied & Lynn Sandbank	113 Warren Street Somers, NY 10589
6.10-1-3	William Tracy Balaban	111 Warren Street Somers, NY 10589
6.10-1-4	Anthony & Sylvia Maffei	109 Warren Street Somers, NY 10589
6.10-1-5	Farrando D. Leal	107 Warren Street Somers, NY 10589
6.10-1-7	Green S. Cooper	8 Wilson Road Somers, NY 10589
6.14-1-1	Candee & Jones Kilian	85 Warren Street Somers, NY 10589
87.08-1-12	Kevin J. Frahme	597 Union Valley Road Mahopac, NY 10541
87.08-1-11	Jeremy & Mariana Siegel	23 Wilderness Trail Carmel, NY 10512
87.08-1-72	Gojcaj Family Trust	29 Wilderness Trail Carmel, NY 10512
87.08-1-73	Giorgio Valera Jr. & Luciana F. Dellomo	11581 Kensington Court Boca Raton, FL 33428
87.08-1-8	Stanley & Gina Scarfo	20 Wilderness Trail Carmel, NY 10512
87.08-1-9	Francis L. Belloni & Margaret E. Clarco	119 Shindagen Hill Road Carmel, NY 10512
87.08-1-12	Beverly Bonnes	124 Shindagen Hill Road Carmel, NY 10512
87.08-1-14	Kevin Kelly	5 Orchard Drive White Plains, NY 10603
88.05-1-11	Beverly Bonnes	124 Shindagen Hill Road Carmel, NY 10512
88.05-1-12	N.Y.S.E.G. Corp.	c/o Anvorgid Management Company Local Tax 1 City Center, Floor 5 - Portland, Maine 04101



**PUTNAM ENGINEERING, P.C.**  
ENGINEERS - ARCHITECTS  
4 OLD ROUTE 6, BREWSTER, NEW YORK 10509  
(845) 279-6789 FAX (845) 279-6769  
P: PUTNAM ENGINEERING FILE: 2021

PURSUANT TO NEW YORK STATE EDUCATION LAW, ARTICLE 140, SECTION 2009 SUBDIVISION 2, IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER AN ITEM IN ANY WAY, IF AN ITEM BEARING THE SEAL OF AN ENGINEER IS ALTERED. THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

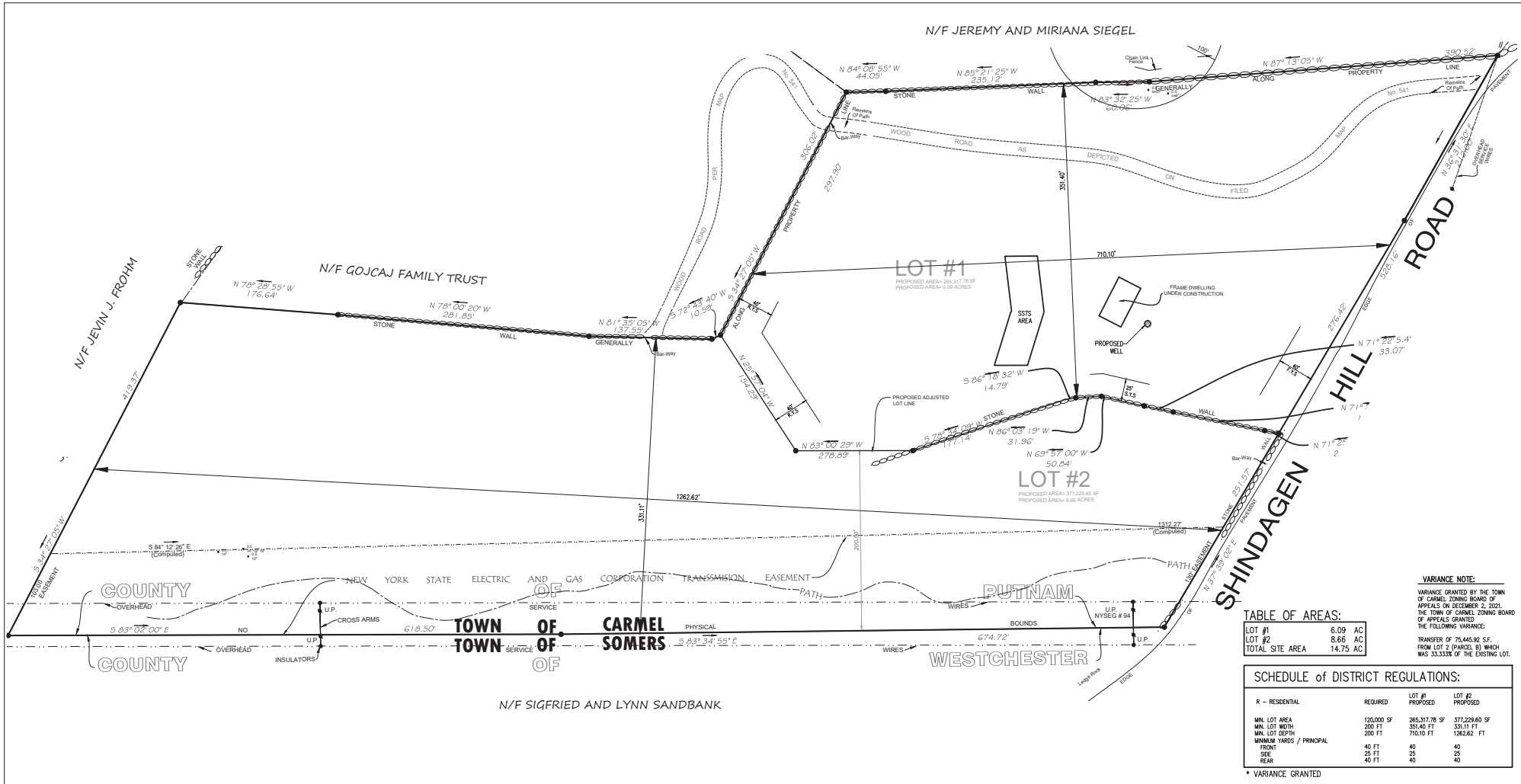
NO.	DATE	DESCRIPTION
1	03/11/2022	PER TOWN COMMENTS

PROJECT: SHALLOW STREAM PROPERTIES, INC.  
FOR LANDS LOCATED AT:  
145 AND 153 SHINDAGEN HILL ROAD, CARMEL, NY 10512  
TOWN OF CARMEL  
PUTNAM COUNTY, NEW YORK  
TM 87.08 BLOCK 1, LOT 4, 5, and 6

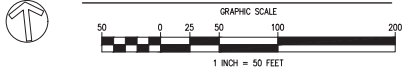
PLAN PREPARED FOR:  
DATE: 30 SEPT 2021  
PROJECT MANAGER: PNL  
DRAWN BY: PNL  
CHECKED BY: PNL  
SCALE: AS NOTED

DRAWING: LOT LINE ADJUSTMENT- EXISTING CONDITIONS PLAN  
PROJECT NUMBER: 8399  
DRAWING NUMBER: S-1  
SHEET 1 OF 2





**PROPOSED LOT LINE ADJUSTMENT PLAN**



**"NON-JURISDICTIONAL" APPROVAL STATEMENT**

THIS IS TO CERTIFY THAT THE DIVISION OF LAND AS REPRESENTED ON THIS MAP DOES NOT FALL WITHIN THE DEFINITION OF SUBDIVISION AS SPECIFIED IN SECTION 1115 OF THE PUBLIC HEALTH LAW, AND SECTION 1117 OF THE PUBLIC HEALTH LAW, AND THEREFORE IS NOT APPLICABLE. THIS MAP IN NO WAY EXPLICIT OR IMPLIED, CONVEYS THE APPROVAL OF THE PUTNAM COUNTY DEPARTMENT OF HEALTH. APPROVAL OF THIS PLAT IS NOT REQUIRED, BUT ALL OTHER PROVISIONS OF THE PUTNAM COUNTY SANITARY CODE APPLY.

BY: ENVIRONMENTAL HEALTH SERVICES DATE: \_\_\_\_\_

**PLANNING BOARD APPROVAL**

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF CARMEL, NEW YORK ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_ SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAS. RESOLUTION, ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

TOWN OF CARMEL PLANNING BOARD  
SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_ BY \_\_\_\_\_  
CHAIRMAN: \_\_\_\_\_

**PUTNAM ENGINEERING, P.C.**  
ENGINEERS - ARCHITECTS

4 OLD ROUTE 6, BREWSTER, NEW YORK 10509  
(845) 279-6789 FAX (845) 279-6769  
PUTNAM ENGINEERING P.C. 2011

PURSUANT TO NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 2209 SUBSECTION 2, IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER AN ITEM IN ANY WAY, IF AN ITEM BEARING THE SEAL OF AN ENGINEER IS ALTERED BY FOLLOWING BY AN ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

NO.	DATE	DESCRIPTION
1	03/11/2022	PER TOWN COMMENTS

PROJECT: SHALLOW STREAM PROPERTIES, INC.  
FOR LANDS LOCATED AT:  
145 AND 153 SHINDAGEN HILL ROAD, CARMEL, NY 10512  
TOWN OF CARMEL  
PUTNAM COUNTY, NEW YORK  
TM 87.08 BLOCK 1, LOT 4, 5, and 6

DATE: 30 SEPT 2021  
PROJECT MANAGER: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
SCALE: AS NOTED

DRAWING: PROPOSED LOT LINE ADJUSTMENT PLAN

PROJECT NUMBER: 8300  
DRAWING NUMBER: S-2  
SHEET 2 OF 2