

CRAIG PAEPRER  
*Chairman*

ANTHONY GIANNICO  
*Vice Chairman*

**BOARD MEMBERS**  
RAYMOND COTE  
ROBERT FRENKEL  
VICTORIA CAUSA  
JOHN NUCULOVIC  
NICHOLAS BALZANO

**TOWN OF CARMEL**  
**PLANNING BOARD**



60 McAlpin Avenue  
Mahopac, New York 10541  
Tel. (845) 628-1500 – Ext.190  
[www.ci.carmel.ny.us](http://www.ci.carmel.ny.us)

MICHAEL CARNAZZA  
*Director of Code  
Enforcement*

RICHARD FRANZETTI,  
P.E., BCEE  
*Town Engineer*

PATRICK CLEARY,  
AICP, CEP, PP, LEED AP  
*Town Planner*

**PLANNING BOARD AGENDA**  
**MARCH 27, 2024 – 7:00 P.M.**

**TAX MAP #   PUB. HEARING MAP DATE   COMMENTS**

**SITE PLAN**

- |   |                      |         |                   |
|---|----------------------|---------|-------------------|
| 1. G & F Subdivision – 2054 Route 6           | 55.-2-24.4, 2-1, 6-1 | 3/4/24  | Amended Site Plan |
| 2. Evans Septic Tank Service – 53 Old Route 6 | 55.11-1-18           | 9/27/23 | Site Plan         |
| 3. Lamanna Auto Body – 255 Route 6            | 86.7-1-37            | 3/19/24 | Site Plan         |

**MISCELLANEOUS**

- |  |            |         |   |
|--|------------|---------|---|
| 4. Yankee Land Development – Bayberry Hill Rd & Owen Drive | 76.15-1-12 | 5/17/23 | Extension of Final Subdivision Approval |
|--|------------|---------|---|



March 18, 2024

Town of Carmel Planning Board  
60 McAlpin Avenue  
Mahopac, New York 10541

RE: G&F Subdivision  
Gateway Drive

Dear Chairman Paepre and Members of the Board:

Please find enclosed the following plans and documents in support of the application for an amended site plan approval for the above referenced project:

- Schematic Cross Section of Town Road Shoulder.
- Letter from Applicant in support of the Site Plan Amendment.

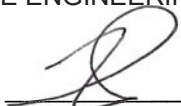
The enclosed materials have been provided in response to comments received from the Planning Board and its' consultants at the last meeting. The enclosures include a cross section of the town road shoulder as it relates to the proposed utility installation with the sidewalk and a letter from the applicant detailing the reason for the site plan amendment request to eliminate the proposed sidewalk.

We respectfully request the project be placed on the March 27, 2024 Planning Board agenda for a continued discussion of the proposed site plan amendment with the applicant and the Board. Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

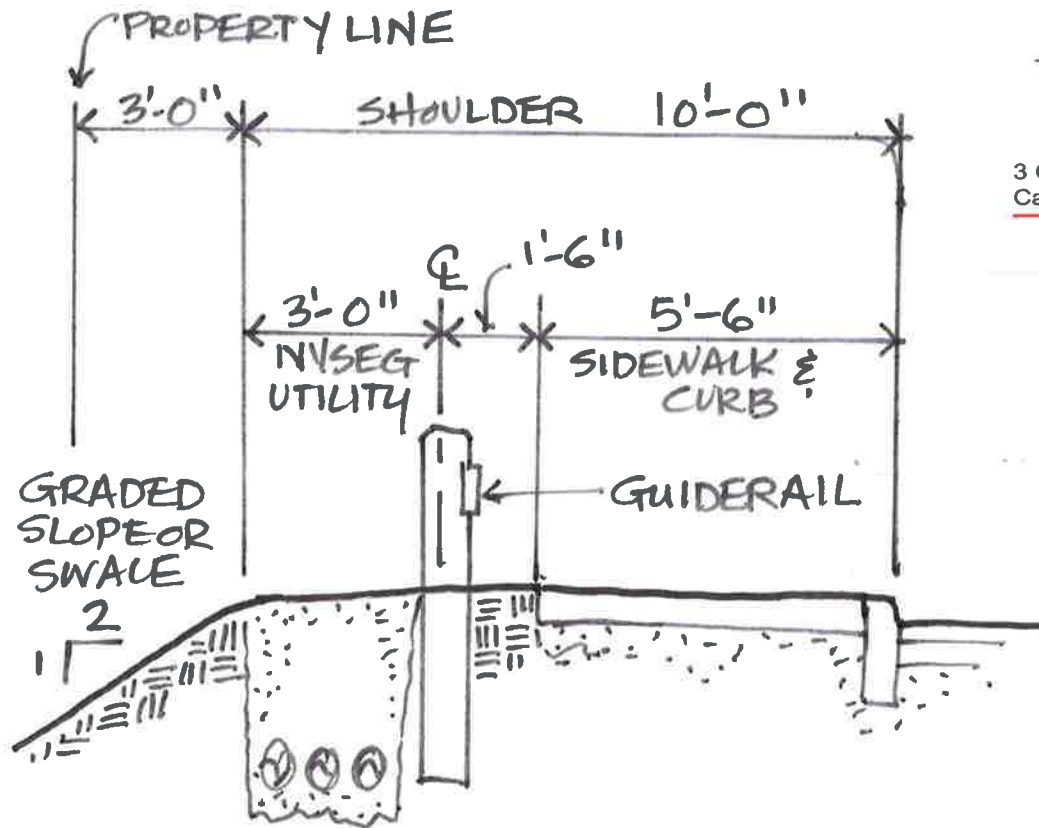
By:

  
\_\_\_\_\_  
Zachary M. Pearson, PE  
Principal Engineer

ZMP/dlm

cc: Paul Camarda, CRI

Insite File No. 04232.100



ENGINEERING, SURVEYING &  
LANDSCAPE ARCHITECTURE, P.C.

3 Garrett Place  
Carmel, New York 10512

(845) 225-9690 x146  
Fax: (845) 225-9717

G+F SUBDIVISION RD.  
(3/18/24)

SCHEMATIC SECTION OF ROAD SHOULDER  
(NOT TO SCALE)

NOTES:

1. 2H:1V GRADED SLOPE BEYOND SHOULDER HAS MAXIMUM DROP OFF OF 34 FEET.
2. MORE THAN HALF OF THE ROAD SHOULDER IS ON CURVES IN THE ROAD.

# ***HUDSON VALLEY REALTY CORP.***

1699 Route 6, Suite 1 Carmel, New York 10512 (845)228-1400 FAX: 228-5400

March 18, 2024

Chairman Craig Paeprer  
Carmel Planning Board  
60 McAlpin Ave.  
Carmel, NY 10512

Re: Gateway Fairways Town Road Sidewalks

To Chairman Craig Paeprer, Members of the Planning Board, and the Board professionals:

## Background

It is my recollection that years ago I actually volunteered to construct the sidewalk along the proposed new Town Road . You know what some say, ‘no good deed goes unpunished.’ The sidewalk was not a requirement and was not included in the extensive recreation facilities approved for either Gateway Lot 6 or Fairways Lot 7. This request also has no bearing on the planned sidewalks along the ‘private roads’ in Gateway or Fairways.

The Reasons to eliminate the sidewalk:

## Construction Difficulties / NYSEG requirements.

About 3 weeks ago at our weekly construction meeting Jim Brennan from Brennan Construction brought up the difficulties conforming to the NYSEG requirements and trenching for the multiple utilities in an area between at most 30-36 inches wide and in some areas even less than that.

This situation is made worse by the fact that most of the road 2,860 ft road is on a curve which requires even a bit more space.

The trench will be dug within less than a foot from the top edge of the steep slope which at points is more than 30ft above the bottom of the slope as per the plans. A guard rail will be installed this spring as required by the approved plans.

NYSEG has requirements that provides them extra area to maneuver in case they or the other utilities need to excavate the trench to make repairs. NYSEG also mandates that the utilities are never to be installed on the same side of the road as the water line. The water line is already installed in the shoulder on the other side of the road.

## Maintenance/ Liability

The 2,000 ft sidewalk will adjoin 3 separate lots ( lot 2 , lot 4 and lot 6 Toll ) .

Lots 2 and 4 are both commercial and none of their customers will use the sidewalk. In fact, both of the future owners / tenants will not be able justify the maintenance obligation / cost or the additional liability/ cost .

Lot 6, Toll Bro feels that few of the future residents will use the sidewalk to justify the cost to maintain the sidewalks and the liability exposure / cost. This is in spite of the fact that Toll is not contributing any money toward the cost to construct the sidewalk. Toll doesn't want it in spite of the fact it's free.



### Frontage Facts

Lot 2 fronts on Route 6 and also adjoins the Town road (on its side ) with 620 ft of frontage / sidewalk going up the new Town Road.

Lot 4 has 700 ft of frontage / sidewalk on the new Town Road.

Lot 6 ( Toll Residential) has 820 ft of frontage/ sidewalk on the new Town road.

### Clearing the snow / melting the ice

The job to clear the snow / ice is made worse by the fact that every time the Town plows the snow, they shoot the snow and ice on the road shoulder / sidewalk. This really makes winter maintenance an impossible situation considering the long length of road frontage. Meadowlands in Carmel is experiencing a similar hardship regarding the state DOT.

### Liability

Having a sidewalk on a slope, especially in the winter, is an accident waiting to happen if you are walking or riding a bike. Most bikers would rather ride on the new wide road rather than on the narrow sidewalk. The cost of the liability coverage and the injury exposure will be a big concern for the 2 commercial lots 2/4 and the Toll residential Lot 6/7 homeowner's association.

The commercial lots will say we have no need for the sidewalk, so why is this burden being put on us? Let the Toll residents up top pay for it.

Toll says we don't want the sidewalk or need it.

The Question is,

Why did I volunteer to do this years ago when there wasn't any requirement for a sidewalk?

### Unrelated Question:

Some have questioned if the Lot 6 and Lot 7 residents can use the recreation facilities on both lots. The answer is absolutely yes. There will be one homeowner's association. Gateway and Fairways will operate as one beautiful community. Also, there is a long walking trail network that can be used by all residents.

Thank you

Paul. Camarda



March 18, 2024

Town of Carmel Planning Board  
60 McAlpin Avenue  
Mahopac, New York 10541

RE: Evan's Septic  
Town of Carmel  
TM# 55.11-1-18

Dear Chairman Paepre and Members of the Board:

Please find enclosed the following plans and documents in support of an application for site plan approval for the above referenced project:

- Drawing SP-1, last revised September 27, 2023. (11 copies)

The applicant is seeking site plan approval for the construction of a 6,300 square foot steel building. The building would house the applicant's septic service business. Also proposed are the appurtenant parking, driveways, drainage system and water and wastewater services.

Over the last few months, the applicant has been exploring site layout and architectural options, but has decided to move forward with the design that was previously presented to the Board. We are in the process of updating the plans and procuring the architectural plans and elevations that were requested. These, and responses to your consultant's outstanding comments will be provided with our next submission.

In the meantime, in order to resume progress on the application, the applicant would like to request that the Board refer the project to the ZBA for the required lot width variance as noted in Mr. Carnazza's October 11, 2023 memorandum. The Board may recall the variance is for lot width and is the result of the existing lot dimensions. As such, the site plan approval process will not have any bearing on the need to seek the variance, so the applicant would request that we be referred to address this nonconformity.

Please place the project on the March 27, 2024 Planning Board agenda for a discussion of the project with the Board. Should you have any questions or comments regarding this information, please feel free to contact our office.

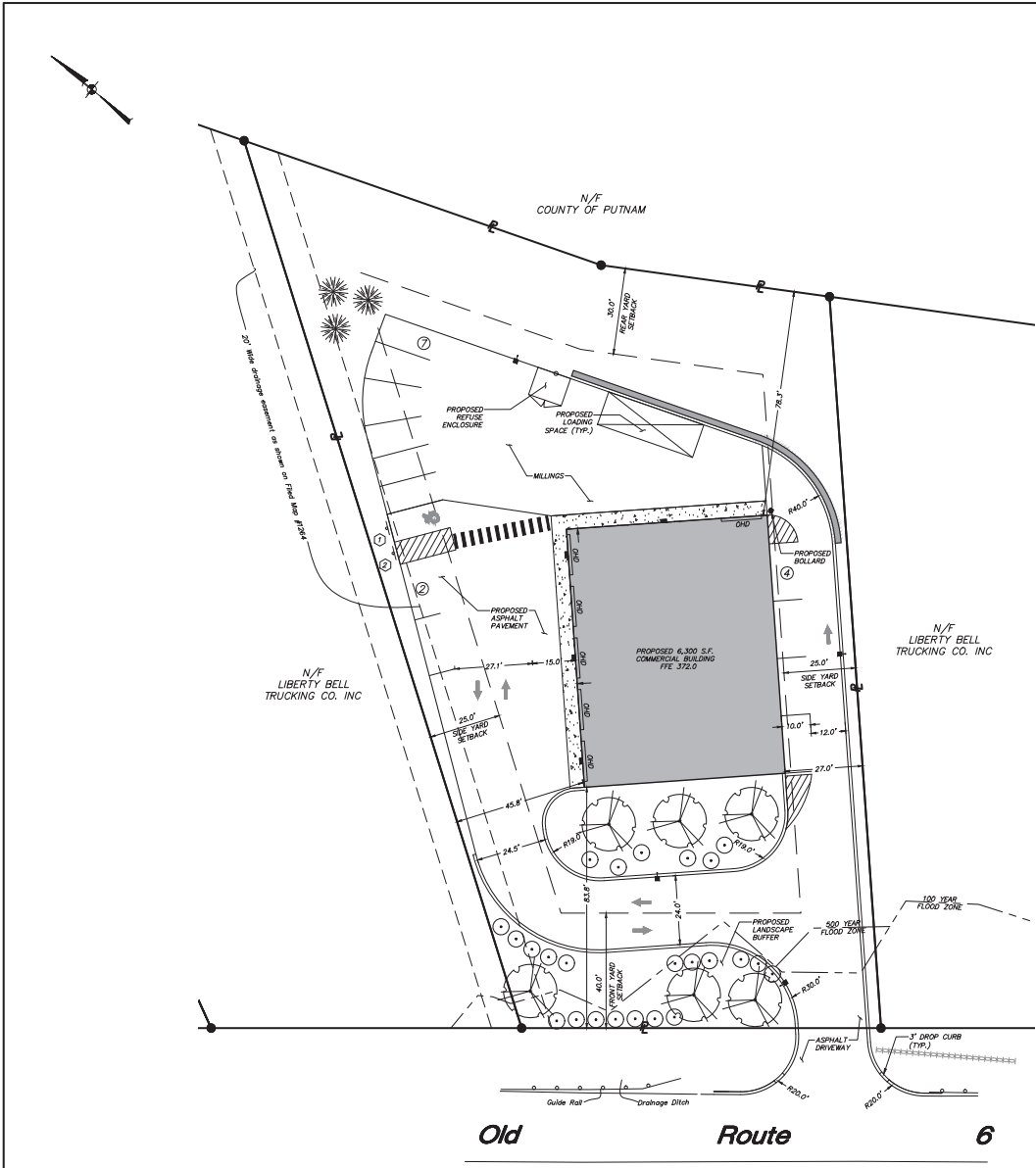
Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:   
Richard D. Williams Jr., PE  
Senior Associate Engineer

RDW/adt

Enclosures cc: (All via email only) Charlie Evans, Frank Smith, Esq  
Insite File No. 21174.100



SIGN DATA TABLE				
LOCATION NO.	TEXT	MULTIPLY NUMBER	SIZE OF SIGN (ft.)	DESCRIPTION
1	PERMITS	R7-8	12" x 18"	Blue on White
2	NO PARKING	R7-1	12" x 18"	Red on White

LUMINAIRE SCHEDULE						
Sym	Qty	Catalog Number	Description	Lamp	Mounting Height	Watts
⬇	4	RSX1 LED P2 30k R3 HS	LITHONIA LIGHTING LED POLE MOUNTED LIGHT TYPE 3 DISTRIBUTION WITH HOUSE-SIDE SHIELD	LED	16'-0"	72
■	4	LDM-FG-38 ED-TW4	LUMARK FULL CUTOFF WALL-PAK	LED	10'-0"	27

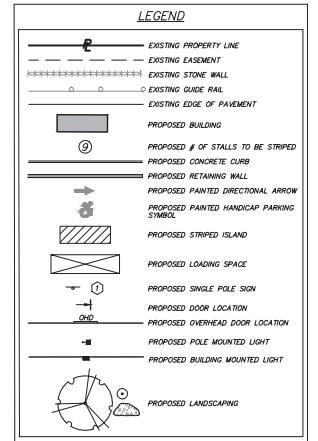
- LIGHTING NOTES:**
- All lighting shall be as noted on the plan or approved equal.
  - Style and finish of all luminaires to be selected by owner.
  - Proposed lights will run on photocells during regular business hours, and will run on motion sensors after hours.
  - Type, location, and shading of all proposed lighting shall prevent the spillover of light onto adjacent residential properties.
  - All light fixtures to be full cutoff to comply with dark sky guidelines.



**RSX1 LED Area Luminaire**

Minimum Recommended Floor Area of Lot by Building:

Minimum Permitted Coverage of Lot by Building	30%	14.4%
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ZONE REQUIREMENTS TOWN OF CARMEL COMMERCIAL DISTRICT		
	REQUIRED/ PERMITTED	PROPOSED
Minimum Lot Area:	40,000 s.f.	1.00 AC ± (43,676 s.f. ±)
Minimum Lot Width:	200'	125' ±
Minimum Lot Depth:	200'	255' ±
Minimum Front Yard:	40'	83.8' ±
Minimum Side Yard:	25'	27' ±
Minimum Rear Yard:	30'	78.1' ±
Maximum Permitted Height of Buildings:	35'	< 35'
Minimum Required Floor Area of Lot by Building:	5,000 s.f.	6,300 s.f.
Maximum Permitted Coverage of Lot by Building:	30%	14.4%

\* Pre-existing non conforming condition

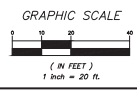
**PARKING SUMMARY**

Light Industrial Use  
 6,300 SF @ 1 space per 500 SF = 13 Spaces Required  
 Spaces Provided = 13 Parking Spaces

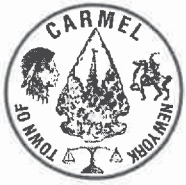
PLANT LIST				
KEY	QTY.	BOTANICAL/COMMON NAME	SIZE	ROOT/SPACING
<b>SHADE TREE</b>				
AR	3	Acer rubrum / Red Maple	1 1/2" CAL	B&B
MS	1	Wycza glycyflora / Black Tupelo	1 1/2" CAL	B&B
QP	2	Quercus palustris / Pin Oak	1 1/2" CAL	B&B
<b>FLOWERING TREES</b>				
AC	5	Amenanchier arborea / Serviceberry	1 1/4" CAL	B&B
CC	5	Cercis canadensis / Eastern Redbud	1 1/4" CAL	B&B
<b>EVERGREEN TREES</b>				
JV	5	Juniperus virginiana / Eastern Red Cedar	6"-8"	B&B
<b>SHRUBS</b>				
IG	9	Ilex glabra compacta / Compact Inkberry		#3 CONT.
JC	35	Juniperus chinensis / Sargent Juniper		#5 CONT.
KL	9	Kalmia latifolia / Mountain Laurel		#1 CONT.
VR	12	Viburnum rhytidophyllum / Leatherleaf Viburnum		#3 CONT.

- NOTES:**
- The Town of Carmel Welford Inspector to verify all plantings.
  - All planting shall be installed in accordance with Chapter 142 of the Town of Carmel Code.

NO.	DATE	REVISION	BY
<b>INSITE</b>			
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.			
PROJECT: <b>EVANS SEPTIC TANK SERVICE</b>			
53 OLD ROUTE 6, HABLET OF CARMEL, PUTNAM COUNTY, NEW YORK			
DRAWING: <b>LAYOUT AND LANDSCAPE PLAN</b>			
PROJECT NUMBER	21174.100	PROJECT MANAGER	J.J.C.
DATE	9-27-23	DRAWN BY	D.S.W
SCALE	1" = 20'	CHECKED BY	A.D.T.
			DRAWING NO. SHEET <b>SP-1</b> 2/6



ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.



# TOWN OF CARMEL SITE PLAN APPLICATION INSTRUCTIONS



The Town of Carmel Planning Board meetings are held twice a month, on the second **Thursday** and fourth **Wednesday**, at 7:00 PM at Carmel Town Hall, 60 McAlpin Avenue, Carmel

The submission deadline is 10 days prior to the Planning Board meeting. New site plan applications that have been deemed complete will be placed on the agenda in the order they are received.

**No application will be placed on the agenda that is incomplete**

**Pre-Submission:**

Prior to the formal submission of the site plan, a pre-submission conference may be requested by the applicant to be conducted with representatives from the Town, which may include the Town Planner, Town Engineer, Director of Code Enforcement and/or the Planning Board Attorney. This conference will serve to educate the applicant on the process he/she must follow, clarify the information required to submit a complete site plan application, and to highlight any specific areas of concern. You may arrange a pre-submission conference through the Planning Board Secretary at (845) 628-1500 extension 190.

**Submission Requirements:**

At least 10 days prior to the Planning Board meeting, the site plan application shall be submitted to the Planning Board Secretary as follows:

All site plans shall be signed, sealed and folded with the title box legible. The application package shall include:

- 5 copies of the Site Plan Application Form, signed and notarized.
- 5 copies of the SEQR Environmental Assessment Form (use of short form or long form shall be determined at pre-submission conference).
- 5 full size sets of the Site Plan (including floor plans and elevations)
- 1 CD (in pdf. format) containing an electronic version of the Site Plan
- 2 copies of the Disclosure Statement
- 5 copies of the Site Plan Completeness Certification Form
- All supplemental studies, reports, plans and renderings.
- 2 copies of the current deed.
- <sup>N/A</sup> 2 copies of all easements, covenants and restrictions.
- The appropriate fee, determined from the attached fee schedule. Make checks payable to the *Town of Carmel*.

*Rose Grometta* 3/28/24  
 \_\_\_\_\_  
 Planning Board Secretary; Date

*Benjamin [Signature]* 3/28/24  
 \_\_\_\_\_  
 Town Engineer; Date



# TOWN OF CARMEL SITE PLAN APPLICATION



Per Town of Carmel Code – Section 156 - Zoning

SITE IDENTIFICATION INFORMATION			
<b>Application Name:</b> Lamanna Auto Body		<b>Application #</b> 24-0004	<b>Date Submitted:</b> 2/15/24
<b>Site Address:</b> No. 255 Street: NYS Route 6 Hamlet:			
<b>Property Location:</b> (Identify landmarks, distance from intersections, etc.) 255 NYS Rte. 6 at the corner of Union Valley Road			
<b>Town of Carmel Tax Map Designation:</b> Section 86.7 Block 1 Lot(s) 37		<b>Zoning Designation of Site:</b> C - Commercial	
<b>Property Deed Recorded in County Clerk's Office</b> Date Liber Page		<b>Liens, Mortgages or other Encumbrances</b> Yes No	
<b>Existing Easements Relating to the Site</b> No Yes Describe and attach copies:  None		<b>Are Easements Proposed?</b> No Yes Describe and attach copies:  None	
<b>Have Property Owners within a 500' Radius of the Site Been Identified?</b> Yes No X Attached List to this Application Form			
APPLICANT/OWNER INFORMATION			
<b>Property Owner:</b> Gabriel Lamanna		<b>Phone #:</b> 845-224-509 <b>Fax#:</b>	<b>Email:</b> insautobody@aol.com
<b>Owners Address:</b> No. 255 Street: NYS ROUTE 6		<b>Town:</b> CARMEL	<b>State:</b> NY <b>Zip:</b> 10512
<b>Applicant (if different than owner):</b>		<b>Phone #:</b> <b>Fax#:</b>	<b>Email:</b>
<b>Applicant Address (if different than owner):</b> No. Street: Town: State: Zip:			
<b>Individual/ Firm Responsible for Preparing Site Plan:</b> Ralph G. Mastromonaco, PE., PC.		<b>Phone #:</b> 914-271-4762 <b>Fax#:</b> 914-271-2820	<b>Email:</b> Mark@rgmpepc.com
<b>Address:</b> No. 13 Street: Dove Court		<b>Town:</b> Croton-on-Hudson	<b>State:</b> NY <b>Zip:</b> 10520
<b>Other Representatives:</b>		<b>Phone #:</b> <b>Fax#:</b>	<b>Email:</b>
<b>Owners Address:</b> No. Street: Town: State: Zip:			
PROJECT DESCRIPTION			
<b>Describe the project, proposed use and operation thereof:</b> Existing 2,808 SF Brick one story building with an Auto Body establishment. Proposed 2,685 SF addition to expand the current use.			




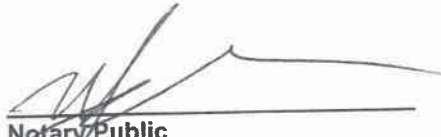
# TOWN OF CARMEL SITE PLAN APPLICATION

PROJECT INFORMATION			
Lot size: Acres: 0.624	Square Feet: 27,191 SF	Square footage of all existing structures (by floor): 2,808 SF	
# of existing parking spaces: 6	# of existing dwelling units: N/A	# of proposed parking spaces: 0	# of proposed dwelling units: N/A
Is the site served by the following public utility infrastructure:			
<ul style="list-style-type: none"> <li>• Is project in sewer district or will private septic system(s) be installed? <u>Existing Septic</u></li> <li>• If yes to Sanitary Sewer answer the following:                             <ul style="list-style-type: none"> <li>▶ Does approval exist to connect to sewer main? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/></li> <li>▶ Is this an in-district connection? _____ Out-of district connection? _____</li> <li>▶ What is the total sewer capacity at time of application? <u>NOT APPLICABLE</u></li> <li>▶ What is your anticipated average and maximum daily flow _____</li> </ul> </li> </ul>		For Town of Carmel Town Engineer ▶ What is the sewer capacity <u>NOT APPLICABLE</u>	
• Water Supply	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>		
• If Yes:	<ul style="list-style-type: none"> <li>▶ Does approval exist to connect to water main? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/></li> <li>▶ What is the total water capacity at time of application? <u>300 gpd</u></li> <li>▶ What is your anticipated average and maximum daily demand <u>300 gpd</u></li> </ul>		
• Storm Sewer	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>		
• Electric Service	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>		
• Gas Service	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>		
• Telephone/Cable Lines	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>		
For Town of Carmel Town Engineer			
Water Flows _____	- NOT TOWN OWNED		
Sewer Flows _____	=> SEPTIC		
Town Engineer, Date <u>[Signature]</u> 2/4/24			
What is the predominant soil type(s) on the site? PnB	What is the approximate depth to water table? 2+ feet		
Site slope categories:	15-25% 0 %	25-35% 0 %	>35% 0 %
Estimated quantity of excavation:	Cut (C.Y.) 15 +/-	Fill (C.Y.) 5 +/-	Unknown: <input type="checkbox"/>
Is Blasting Proposed	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	Unknown: <input type="checkbox"/>	
Is the site located in a designated Critical Environmental Area?	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>		
Does a curb cut exist on the site? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	Are new curb cuts proposed? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	What is the sight distance? Left 300'+ Right 300'+	
Is the site located within 500' of:			
• The boundary of an adjoining city, town or village	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>		
• The boundary of a state or county park, recreation area or road right-of-way	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>		
• A county drainage channel line.	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>		
• The boundary of state or county owned land on which a building is located	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>		

## TOWN OF CARMEL SITE PLAN APPLICATION

Is the site listed on the State or Federal Register of Historic Place (or substantially contiguous) Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Is the site located in a designated floodplain? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Will the project require coverage under the Current NYSDEC Stormwater Regulations <span style="float: right;">Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/></span>			
Will the project require coverage under the Current NYCDEP Stormwater Regulations <span style="float: right;">Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/></span>			
Does the site disturb more than 5,000 sq ft		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Does the site disturb more than 1 acre		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Does the site contain freshwater wetlands? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Jurisdiction: NYSDEC: <input type="checkbox"/> Town of Carmel: <input type="checkbox"/>			
<i>If present, the wetlands must be delineated in the field by a Wetland Professional, and survey located on the Site Plan.</i>			
Are encroachments in regulated wetlands or wetland buffers proposed?		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Does this application require a referral to the Environmental Conservation Board?		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Does the site contain waterbodies, streams or watercourses?		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Are any encroachments, crossings or alterations proposed?		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Is the site located adjacent to New York City watershed lands?		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
Is the project funded, partially or in total, by grants or loans from a public source? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Will municipal or private solid waste disposal be utilized? Public: <input type="checkbox"/> Private: <input checked="" type="checkbox"/>			
Has this application been referred to the Fire Department?		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
What is the estimated time of construction for the project? One year from Start of Construction			
ZONING COMPLIANCE INFORMATION			
Zoning Provision	Required	Existing	Proposed
Lot Area	40,000 SF	27,191 SF	0
Lot Coverage	30 %	10.32 %	20.2 %
Lot Width	200'	418.88'	No Change
Lot Depth	200'	79.5	No Change
Front Yard	40'	26.32	15'
Side Yard	40' Front	26.32	15'
Rear Yard	30'	59'	25'
Minimum Required Floor Area	5,000 SF	2,208 SF	5,493 SF
Floor Area Ratio			
Height	35'	15.2'	No Change
Off-Street Parking	10	6	0
Off-Street Loading			

# TOWN OF CARMEL SITE PLAN APPLICATION

Will variances be required? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	If yes, identify variances: Lot Area, Lot Depth, Front Yard Rte. 6, Side Yard Front Yard, Parking, Rear Yard.
<b>PROPOSED BUILDING MATERIALS</b>	
<b>Foundation</b>	Concrete / CMU
<b>Structural System</b>	Light Gage Steel
<b>Roof</b>	EPDM
<b>Exterior Walls</b>	Brick Veneer, Hardie Siding
<b>APPLICANTS ACKNOWLEDGEMENT</b>	
I hereby depose and certify that all the above statements and information, and all statements and information contained in the supporting documents and drawings attached hereto are true and correct.	
<u>MICHA PICARELLO</u> Applicants Name	 Applicants Signature
Sworn before me this <u>15</u>	day of <u>February</u> 20 <u>24</u>
 Notary Public	<div style="border: 1px solid black; padding: 5px; width: fit-content; margin: auto;">                     MARIO T PICARELLO                      NOTARY PUBLIC, STATE OF NEW YORK                      Registration No. 01P16444269                      Qualified in Westchester County                      Commission Expires 11/21/20<u>26</u> </div>





# TOWN OF CARMEL SITE PLAN COMPLETENESS CERTIFICATION FORM



All Site Plans submitted to the Planning Board for review shall include the following information and details, as set forth in Section 156-61 B of the Town of Carmel Zoning Ordinance.

This form shall be included with the site plan submission

	<i>Requirement Data</i>	<i>To Be Completed by the Applicant</i>	<i>Waived by the Town</i>
1	Name and title of person preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2	Name of the applicant and owner (if different from applicant)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3	Original drawing date, revision dates, scale and north arrow	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4	Tax map, block and lot number(s), zoning district	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5	All existing property lines, name of owner of each property within a 500' radius of the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6	Contour lines at two-foot intervals, grades of all roads, driveways, sanitary and storm sewers	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7	The location of all water bodies, streams, watercourses, wetland areas, wooded areas, rights-of-way, streets, roads, highways, railroads, buildings, structures	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8	The location of all existing and proposed easements	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9	The location of all existing and proposed structures, their use, setback dimensions, floor plans, front, side and rear elevations, buildable area.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10	On site circulation systems, access, egress ways and service roads, emergency service access and traffic mitigation measures	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11	Sidewalks, paths and other means of pedestrian circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12	On-site parking and loading spaces and travel aisles with dimensions	<input checked="" type="checkbox"/>	<input type="checkbox"/>
13	The location, height and type of exterior lighting fixtures	None <input type="checkbox"/>	<input type="checkbox"/>
14	Proposed signage	None <input type="checkbox"/>	<input type="checkbox"/>
15	For non-residential uses, an estimate of the number of employees who will be using the site, description of the operation, types of products sold, types of machinery and equipment used	<input type="checkbox"/>  3 Employees	<input type="checkbox"/>



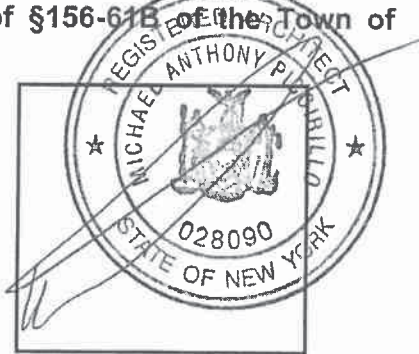
# TOWN OF CARMEL SITE PLAN COMPLETENESS CERTIFICATION FORM



	<i>Requirement Data</i>	<i>To Be Completed by the Applicant</i>	<i>Waived by the Town</i>
16	The location of clubhouses, swimming pools, open spaces, parks or other recreational areas, and identification of who is responsible for maintenance	<input type="checkbox"/>  None	<input type="checkbox"/>
17	The location and design of buffer areas, screening or other landscaping, including grading and water management. A comprehensive landscaping plan in accordance with the Tree Conservation Law	<input checked="" type="checkbox"/>	<input type="checkbox"/>
18	The location of public and private utilities, maintenance responsibilities, trash and garbage areas	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19	A list, certified by the Town Assessor, of all property owners within 500 feet of the site boundary	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20	Any other information required by the Planning Board which is reasonably necessary to ascertain compliance with this chapter	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Applicants Certification (to be completed by the licensed professional preparing the site plan:**

I Michael Piccirillo hereby certify that the site plan to which I have attached my seal and signature, meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:



**Professionals Seal**

**Signature - Applicant**

3-15-24

**Date**

**Signature - Owner**

3-15-24

**Date**



TOWN OF CARMEL  
**SITE PLAN COMPLETENESS  
CERTIFICATION FORM**



-----  
Town Certification (to be completed by the Town)

I \_\_\_\_\_ hereby confirm that the site plan meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:

Rose Lombetta  
Signature - Planning Board Secretary

3/20/24  
Date

[Signature]  
Signature - Town Engineer

3/20/23  
Date

# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing


**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

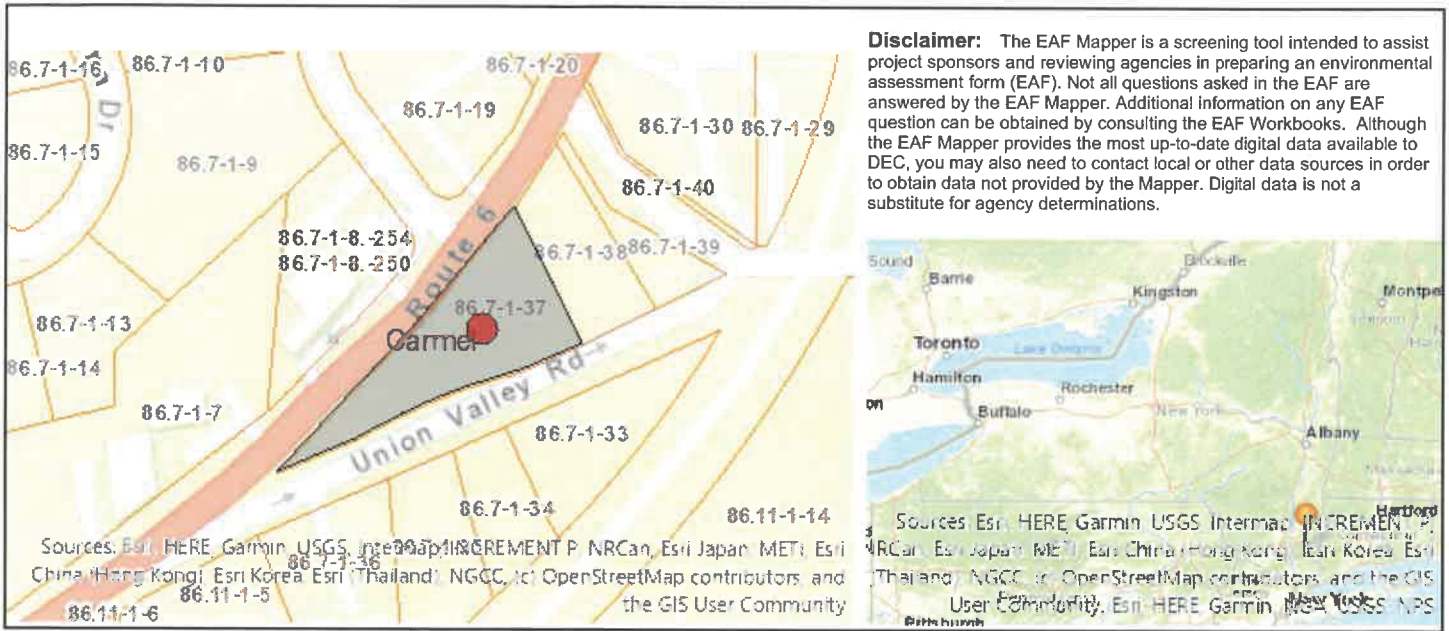
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>			
Lamanna Auto Body			
Name of Action or Project: Addition			
Project Location (describe, and attach a location map): 255 Route 6, Mahopac, NY 10541			
Brief Description of Proposed Action: Single Story Addition to existing building.			
Name of Applicant or Sponsor: Michael Piccirillo, Architect		Telephone: 914-368-9838	
		E-Mail: michael@mpiccirilloarchitect.com	
Address: 345 Kear Street			
City/PO: Yorktown Heights		State: NY	Zip Code: 10598
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		.624 acres	
b. Total acreage to be physically disturbed?		.11 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		.624 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			



	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe: _____ _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor/name: <u>Michael Piccirillo</u> Date: <u>1/29/24</u>		
Signature:  Title: <u>Architect</u>		



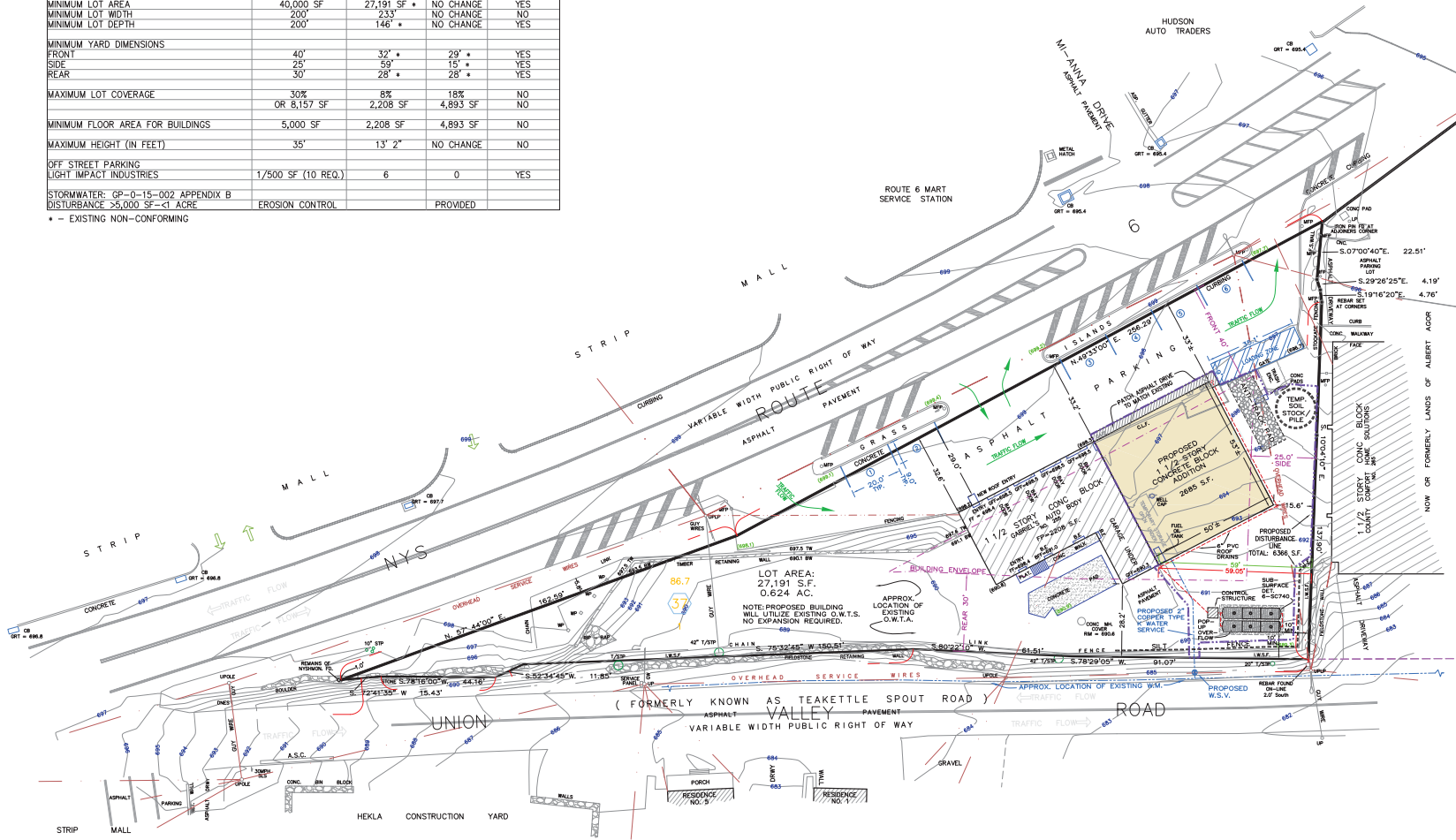
**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No

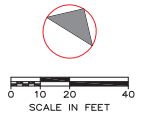
# ZONING SCHEDULE

	REQUIRED	EXISTING	PROPOSED	VARIANCE
LAMANNA AUTO BODY				
DISTRICT: C-COMMERCIAL				
SECTION 86.7 BLOCK 1 LOT 37				
TOTAL LOT AREA: 0.624 ACRES OR 27,191 SF				
MINIMUM LOT AREA	40,000 SF	27,191 SF *	NO CHANGE	YES
MINIMUM LOT WIDTH	200'	233'	NO CHANGE	NO
MINIMUM LOT DEPTH	200'	146'	NO CHANGE	YES
MINIMUM YARD DIMENSIONS				
FRONT	40'	32' *	29' *	YES
SIDE	25'	59'	15' *	YES
REAR	30'	28' *	28' *	YES
MAXIMUM LOT COVERAGE	30%	8%	18%	NO
	OR 8,157 SF	2,208 SF	4,893 SF	NO
MINIMUM FLOOR AREA FOR BUILDINGS	5,000 SF	2,208 SF	4,893 SF	NO
MAXIMUM HEIGHT (IN FEET)	35'	13' 2"	NO CHANGE	NO
OFF STREET PARKING				
LIGHT IMPACT INDUSTRIES	1/500 SF (10 REQ.)	6	0	YES
STORMWATER: GP-0-15-002 APPENDIX B				
DISTURBANCE >5,000 SF - <1 ACRE	EROSION CONTROL		PROVIDED	

\* - EXISTING NON-CONFORMING



LOCATION MAP  
N.T.S.



RALPH G. MASTROMONACO, P.E., P.C.  
Consulting Engineers  
13 Dove Court, Croton-on-Hudson, New York 10520  
(914) 271-4762 (914) 271-2820 Fax



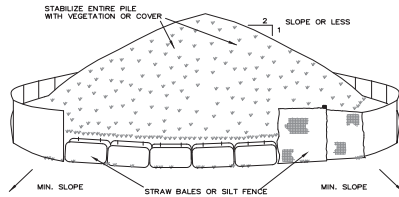
SITE PLAN  
PROPOSED ADDITION  
PREPARED FOR  
GABRIEL LAMANNA  
TOWN OF CARMEL  
PUTNAM COUNTY, NY  
JANUARY 30, 2024

BASE MAPPING BY: LINK LAND SURVEYORS P.C.  
Unauthorized alterations or additions to this drawing is a violation of Section 7209 (2) of the New York State Education Law.

REVISED: 3/19/2024

SHEET 1 OF 2 SHEETS





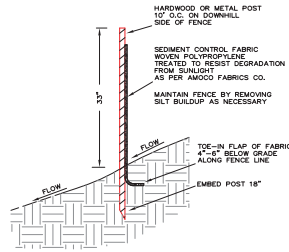
TO BE USED WHERE TOPSOIL PRESERVATION IS NECESSARY FOR REGRADING AND VEGETATING DISTURBED AREAS. TOPSOIL IS APPLIED TO SUBSOILS THAT ARE BROUGHT UP (HAVING LOW AVAILABLE MOISTURE FOR PLANTS), STONY, SALTY, HAVE LOW PERMEABILITY, OR ARE EXTREMELY ACID. IT IS ALSO USED TO BACKFILL AROUND SHRUBS AND TREE TRANSPLANTS. PRESERVATION OF EXISTING TOPSOIL IS BENEFICIAL FOR ALL TYPES OF LAWN OR ORNAMENTAL PLANTINGS.

TEMPORARY STOCKPILE STABILIZATION MEASURES INCLUDE VEGETATIVE COVER, MULCH, NON-VEGETATIVE COVER, AND PERIPHERAL SEDIMENT TRAPPING BARRIERS. THE STABILIZATION MEASURES SELECTED SHOULD BE APPROPRIATE FOR THE TIME OF YEAR, SITE CONDITIONS, AND REQUIRED DURATION OF USE.

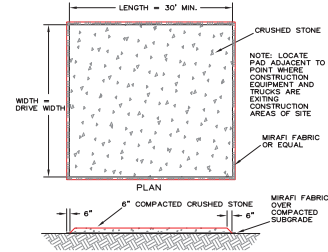
**INSTALLATION NOTES**

1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAW BALE, THEN STABILIZED WITH VEGETATION OR COVERED.

**SOIL STOCKPILING**  
N. T. S.



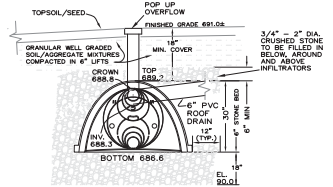
**SILT FENCE**  
N. T. S.



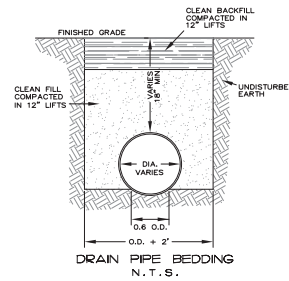
**ANTI-TRACK PAD**  
N. T. S.

**MAINTENANCE NOTES:**

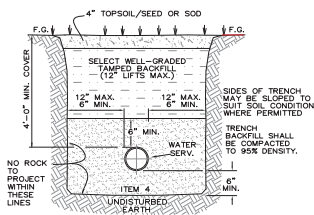
1. INSPECT INFILTRATION CHAMBER PORT EVERY SIX MONTHS.
2. REMOVE SILT INSIDE CHAMBER IF ACCUMULATION REACHES SIX INCHES.



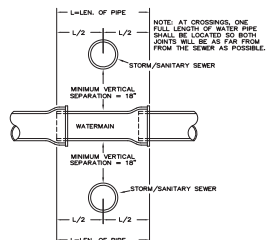
**SUBSURFACE DETENTION SYSTEM**  
17 - SC740 CHAMBERS  
N. T. S.



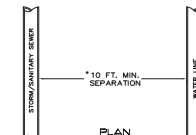
**DRAIN PIPE BEDDING**  
N. T. S.



**WATER SERVICE BEDDING**  
N. T. S.



**STORM DRAIN WATER MAIN CROSSING**  
N. T. S.



Sewers shall be held at least 10 feet (3.0 m) horizontally from any existing or proposed water main. The distance shall be measured edge to edge. In cases where it is not practical to maintain a ten foot separation, the appropriate regulatory agency may allow deviation on a case-by-case basis. If approved by both from the design engineer. Such deviation may allow a deviation of the sewer closer to a water main, provided that the water main is in a separate trench or on an undisturbed earth shell located on one side of the sewer and at an elevation on the bottom of the water main is at least 18 inches (46 cm) above the top of the sewer.

**STORM SEWER/WATER SEPARATION**  
N. T. S.

**CONSTRUCTION NOTES:**

1. THE CONTRACTOR SHALL LOCATE AND VERIFY IN THE FIELD ALL UTILITIES (GAS, WATER, ELECTRICAL) BEFORE THE START OF CONSTRUCTION. CONTRACTOR SHALL CALL CODE 753 (FORMERLY CODE 53).
2. EROSION CONTROL MEASURES, INCLUDING SILT FENCE, SHALL BE REQUIRED AS DIRECTED BY THE TOWN.
3. ALL PROPERTY DISTURBED IN THE R.O.W. OR ON PRIVATE LANDS, SHALL BE RESTORED TO NEW CONDITIONS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPLICATIONS AND PERMITS REQUIRED FOR CONSTRUCTION.
5. UNDERGROUND GAS AND ELECTRIC SHALL BE AS REQUIRED BY THE TOWN AND LOCAL POWER COMPANY.

**EROSION AND SEDIMENT CONTROL NOTES:**

1. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
2. ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND PROCEDURES SHALL COMPLY WITH THE STANDARDS AND SPECIFICATIONS OF THE TOWN OF CARMEL.
3. PRIOR TO ANY EXCAVATION, SILT FENCE SHALL BE INSTALLED AT THE APPROPRIATE LOCATIONS NOTED ON EROSION CONTROL PLAN. SILT FENCING SHALL BE INSTALLED AS DIRECTED BY THE OWNER'S REPRESENTATIVE IN THE FIELD AND INSTALLED AS PER THE INSTRUCTIONS OF THE MANUFACTURER. ADDITIONAL SILT FENCE MAY BE PLACED BY THE OWNER'S REPRESENTATIVE IN THE FIELD. SILT FENCING SHALL BE MAINTAINED IN OPERABLE CONDITION AND SHALL NOT BE REMOVED UNTIL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
4. ALL FINISHED SLOPES AND ALL ROUGH CUT SLOPES TO REMAIN OPEN FOR EXTENDED PERIODS IMMEDIATELY TOPSOIL SEED WITH A MIXTURE OF PERENNIAL RYE GRASS, ANNUAL RYE GRASS AND WINTER RYE AND MULCH WITH 6" OF HAY.
5. ALL SLOPES CONSTRUCTED WITH FILL MATERIAL AND ALL SLOPES WITH GRADE 3:1 OR STEEPER SHALL BE TOPSOILED, SEEDED, MULCHED AND STABILIZED WITH STAKED JUTE NETTING, UNLESS OTHERWISE NOTED.
6. ALL AREAS OF DISTURBED SOIL SHALL BE STABILIZED. IN ADDITION TO ALL SPECIFIED AND LOCATED EROSION CONTROL DEVICES, THE CONTRACTOR SHALL TAKE ALL STEPS PRUDENT AND NECESSARY TO STABILIZE THE SITE AT ALL TIMES.
7. DO NOT STOCKPILE MATERIALS ON STEEP SLOPES, IN DRAINAGE SWALES OR IN WETLAND AREAS. SURROUND ALL STOCKPILE AREAS WITH SILT SCREEN AND SEED THEM WITH THE ANNUAL RYE GRASS.
8. ALL CATCH BASINS ARE TO BE PROTECTED WITH HAYBALE FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
9. HAYBALES SHALL BE USED AT THE TOPS AND TOES OF SLOPES, AS NECESSARY, TO COLLECT SILT AND DIVERT FLOWS. SILT SCREENS WILL BE USED IN AREAS OF UNCONCENTRATED FLOWS TO COLLECT SILT. HAYBALES AND SILT SCREEN ON PLANS MAY BE AUGMENTED IN THE FIELD AS NECESSARY.
10. UTILITY EXCAVATED MATERIAL SHALL BE TEMPORARILY STOCKPILED ON HIGH SIDE OF EXCAVATION SO RUNOFF IS DIRECTED AWAY FROM TRENCH. AFTER BACK-FILLING, AREA IS TO BE TOPSOILED, SEEDED, AND MULCHED.
11. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
12. SEDIMENT DEPOSITS SHALL BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF A BARRIER. SEDIMENT SHALL BE DISPOSED OF IN A MANNER THAT DOES NOT RESULT IN ADDITIONAL EROSION OR POLLUTION.
13. INSTALL GRAVEL BED AT CONSTRUCTION ENTRANCE TO SERVE AS ANTI-TRACKING PAD. GRAVEL BED TO BE 2" DIAMETER CRUSHED STONE 6" DEEP, OVER GEOTEXTILE SUPPORT FABRIC. ANTI-TRACKING PADS TO MEASURE 30' (MIN.) LENGTH BY THE ROADWAY WIDTH.
14. BLASTING AREAS - ROCK, RIPPING WILL BE USED WHENEVER POSSIBLE. BLASTING WILL OCCUR IN ACCORDANCE WITH REGULATIONS AND STANDARDS PRESCRIBED BY THE TOWN OF CARMEL.

**RALPH G. MASTROMONACO, P.E., P.C.**  
Consulting Engineers  
13 Dove Court, Croton-on-Hudson, New York 10520  
(914) 271-4762 (914) 271-2820 Fax



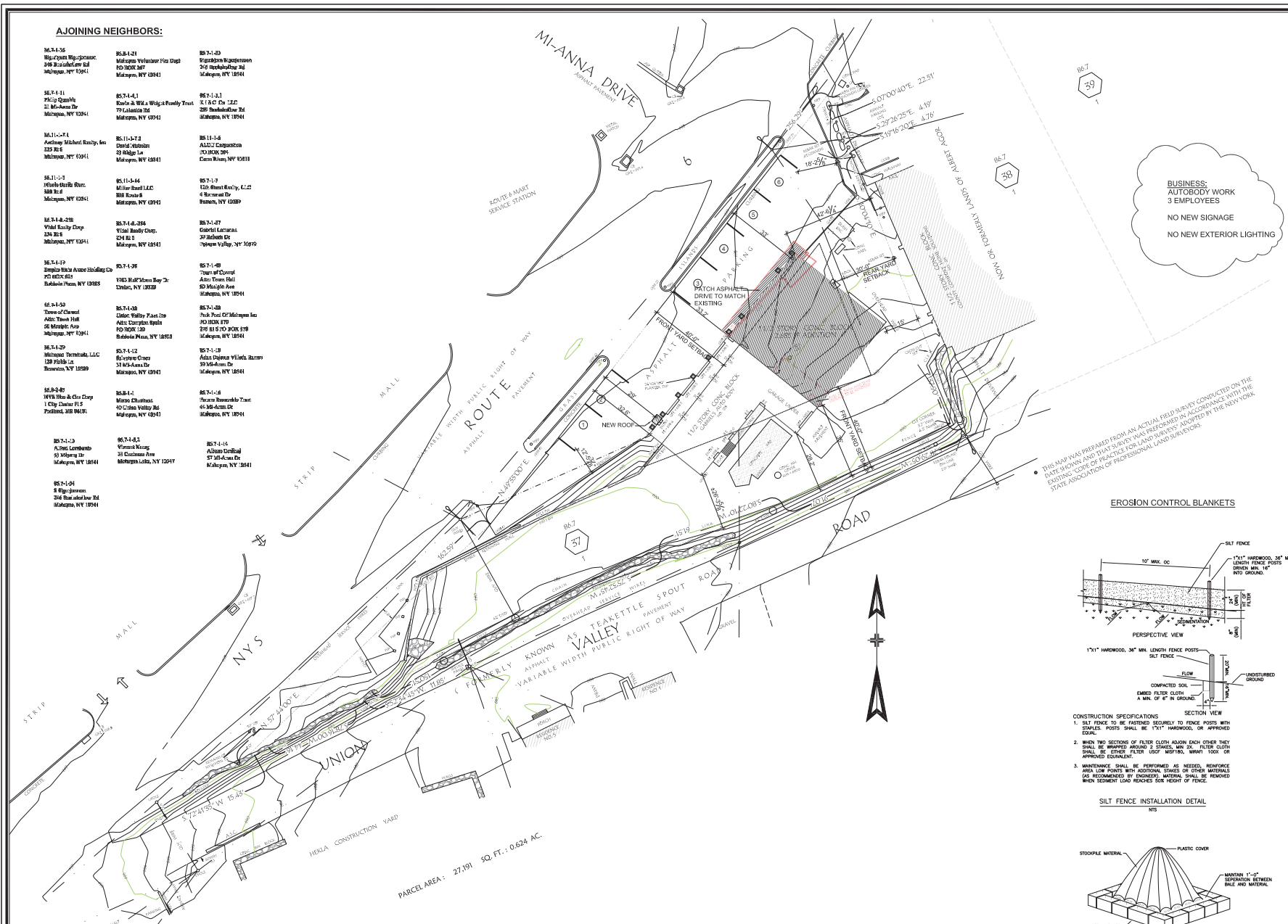
**DETAILS/NOTES**  
**PROPOSED ADDITION**  
PREPARED FOR  
**GABRIEL LAMANNA**  
TOWN OF CARMEL  
PUTNAM COUNTY, NY  
JANUARY 30, 2024

SHEET 2 OF 2 SHEETS

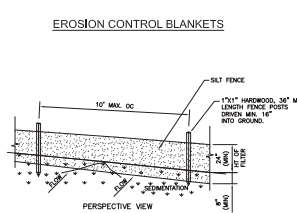
BASE MAPPING BY: LINK LAND SURVEYORS P.C.  
Unauthorized alterations or additions to this drawing is a violation of Section 7209 (2) of the New York State Education Law.

**ADJOINING NEIGHBORS:**

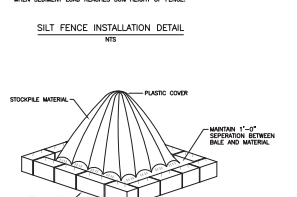
86.74-136 Mitsubishi Heavy Industry 390 B. Rockefeller Rd Mahopac, NY 10941	86.74-141 PACIFIC QUARTZ 21 Mt. Anna Dr Mahopac, NY 10941	86.74-142 Mahopac Volunteer Fire Dept 401 ROUTE 67 Mahopac, NY 10941	86.74-143 Karl & Edith's Family Trust 79 Lathrop St Mahopac, NY 10941	86.74-144 Danzel Property 53 Ridge Ln Mahopac, NY 10941	86.74-145 MILAN BROS LLC 388 Route 6 Mahopac, NY 10941	86.74-146 Vital Realty Corp 324 Rt 6 Mahopac, NY 10941	86.74-147 Vital Realty Corp 294 Rt 6 Mahopac, NY 10941	86.74-148 Empire State Assoc Building Co 701 WEST 201 Rudolph Plaza, NY 10985	86.74-149 Time of Change Auto Town Hill 50 Westgate Ave Mahopac, NY 10941	86.74-150 Michael Thermally, LLC 138 Park Rd Mahopac, NY 10941	86.74-151 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901	86.74-152 A/MS Lombardi 35 Spring Dr Mahopac, NY 10941	86.74-153 A/MS Lombardi 35 Spring Dr Mahopac, NY 10941	86.74-154 8 Biggstown 256 Rockefeller Rd Mahopac, NY 10941	86.74-155 Viviana Knapik 35 Chestnut Ave Mahopac, NY 10941	86.74-156 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901	86.74-157 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901	86.74-158 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901	86.74-159 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901	86.74-160 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901	86.74-161 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901	86.74-162 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901	86.74-163 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901	86.74-164 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901	86.74-165 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901	86.74-166 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901	86.74-167 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901	86.74-168 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901	86.74-169 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901	86.74-170 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901	86.74-171 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901	86.74-172 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901	86.74-173 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901	86.74-174 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901	86.74-175 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901	86.74-176 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901	86.74-177 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901	86.74-178 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901	86.74-179 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901	86.74-180 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901	86.74-181 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901	86.74-182 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901	86.74-183 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901	86.74-184 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901	86.74-185 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901	86.74-186 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901	86.74-187 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901	86.74-188 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901	86.74-189 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901	86.74-190 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901	86.74-191 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901	86.74-192 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901	86.74-193 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901	86.74-194 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901	86.74-195 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901	86.74-196 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901	86.74-197 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901	86.74-198 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901	86.74-199 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901	86.74-200 NYS Route 6 Club Corp 1 City Center Pl Poughkeepsie, NY 10901
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**BUSINESS:**  
AUTOBODY WORK  
3 EMPLOYEES  
NO NEW SIGNAGE  
NO NEW EXTERIOR LIGHTING



- CONSTRUCTION SPECIFICATIONS**
- SILT FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH STAPLES. POSTS SHALL BE 1 1/2" IRONWOOD, OR APPROVED EQUAL.
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**A SITE PLAN**  
SCALE: 1" = 20'



NOTE: DO NOT SCALE DRAWINGS. REFER TO WRITTEN MEASUREMENTS FOR ACCURACY. OR CONTACT ARCHITECT. CONTACT ARCHITECT IF THERE ARE ANY DISCREPANCIES, UNAUTHORIZED ALTERATIONS OR ACCORDING TO THE DRAWING IS A VIOLATION OF NEW YORK STATE EDUCATION LAW.  
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**OWNER**  
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**ARCHITECT**  
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345 KEAR STREET  
YORKTOWN HEIGHTS, NY 10598

**SITE ENGINEER**  
RALPH G MASTROMONACO, P.E., P.C.  
CONSULTING ENGINEERS  
13 DOVE COURT  
CROTON-HAHDUSON, NY 10520  
345 KEAR STREET

**CODE ANALYSIS**

PROJECT SCOPE:  
EXISTING ONE STORY BRICK / CMU BUILDING USED AS AUTOBODY BUSINESS TO REMAIN.

PROPOSED ONE STORY BRICK / SIDED ADDITION AS AUTOBODY BUSINESS

APPLICABLE CODES: 2020 ECRNY'S  
CODE PATH: PRESCRIPTIVE COMPLIANCE METHOD

CONSTRUCTION CLASSIFICATION: TYPE III (MAX 10M SPINKLERED BUILDING SIZE; 10,000 SF)

EXISTING BUILDING: 2,209 SF  
ADDITION: 2,885 SF  
TOTAL FLOOR AREA: 5,094 SF

OCCUPANCY CLASSIFICATION: F-1 OCCUPANCY

No.	DATE	ISSUE
1	3/18/24	ISSUED PER COMMENTS

**PROJECT NAME:**  
LAMANNA AUTOBODY ADDITION

**PROJECT ADDRESS:**  
255 NYS ROUTE 6  
MAHOPAC, NY 10541



**MICHAEL A. PICCIRILLO, AIA**  
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FACSIMILE: 914-302-2933  
michael@mpiccirilloarchitect.com  
www.mpiccirilloarchitect.com

**SITE PLAN**

SCALE: AS NOTED DATE: 12-25-23

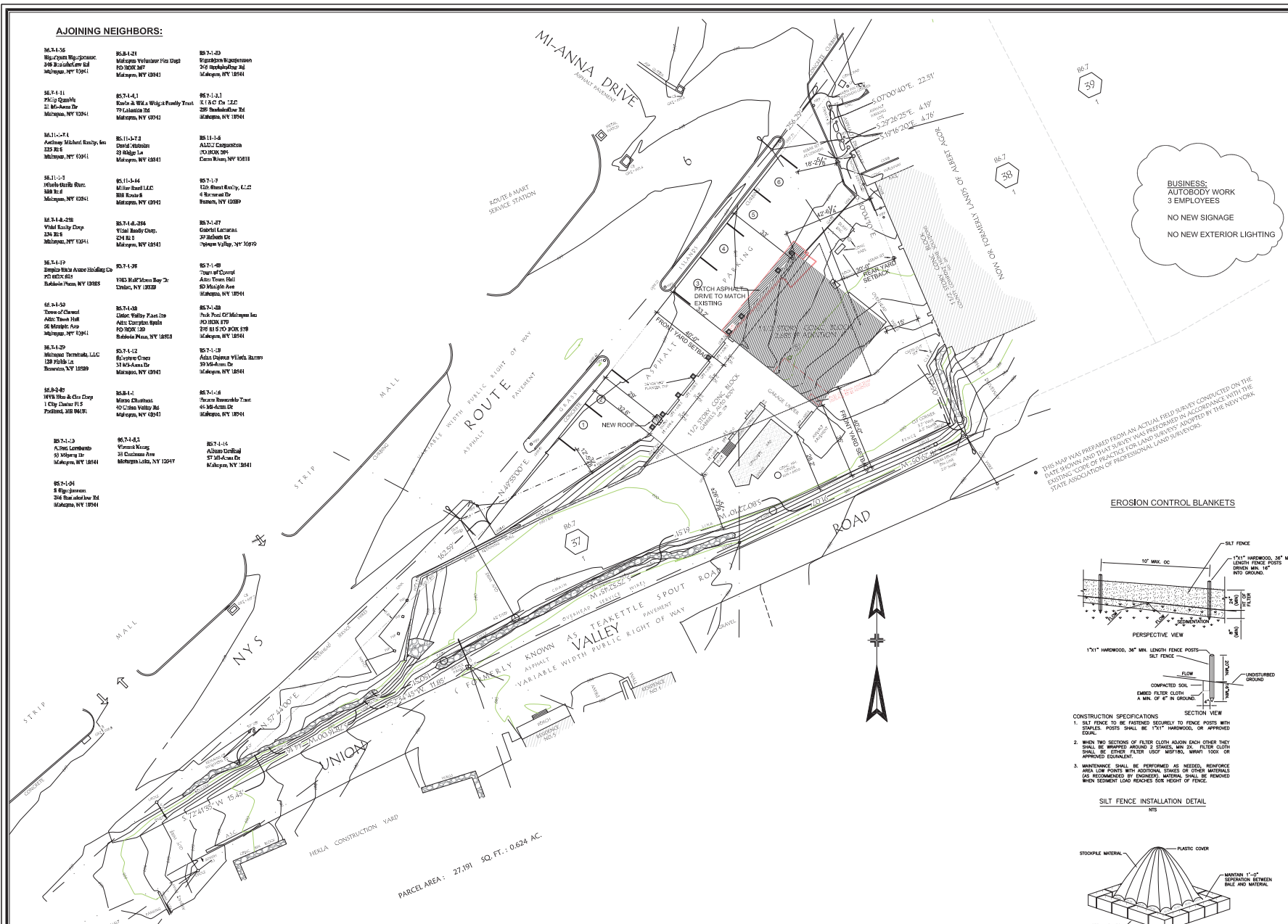
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**SP-1**

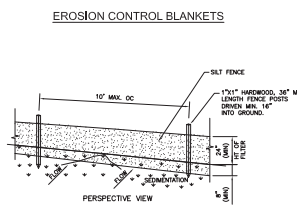
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86.74-136 Mitsubishi Heavy Industry 390 B. Rockefeller Rd Mahopac, NY 10541	86.74-141 PACIFIC QUARTZ 31 Mt. Anna Dr Mahopac, NY 10541	86.74-142 Mahopac Volunteer Fire Dept 601 ROUTE 67 Mahopac, NY 10541	86.74-143 Karl & Edith's Family Trust 79 Lathrop St Mahopac, NY 10541	86.74-144 ALIZI Corporation PO BOX 289 Carmel, NY 10518	86.74-145 Dana D. Hersh 53 Ridge Ln Mahopac, NY 10541	86.74-146 MILAN BROS LLC 388 Route 6 Mahopac, NY 10541	86.74-147 GOSSETT LUMBER 294 Rt 6 Mahopac, NY 10541	86.74-148 Vital Family Corp 324 Rt 6 Mahopac, NY 10541	86.74-149 Empire Brick Assoc. Inc/Building Co 701 WEST 201 Baldwinsville, NY 13025	86.74-149A TOWN OF CAROL Attn: Town Hall 50 Westgate Ave Mahopac, NY 10541	86.74-150 MICHAEL THERMATELL, LLC 138 FISHKILL RD Barnesville, NY 10509	86.74-151 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591	86.74-152 A/MS LOMBARDI 35 Spring Ln Mahopac, NY 10541	86.74-153 A/MS LOMBARDI 35 Spring Ln Mahopac, NY 10541	86.74-154 8 Biggstown 256 Rockledge Rd Mahopac, NY 10541	86.74-155 Vincenzo Krug 35 Chestnut Ave Mahopac, NY 10541	86.74-156 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591	86.74-157 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591	86.74-158 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591	86.74-159 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591	86.74-160 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591	86.74-161 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591	86.74-162 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591	86.74-163 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591	86.74-164 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591	86.74-165 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591	86.74-166 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591	86.74-167 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591	86.74-168 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591	86.74-169 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591	86.74-170 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591	86.74-171 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591	86.74-172 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591	86.74-173 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591	86.74-174 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591	86.74-175 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591	86.74-176 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591	86.74-177 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591	86.74-178 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591	86.74-179 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591	86.74-180 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591	86.74-181 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591	86.74-182 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591	86.74-183 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591	86.74-184 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591	86.74-185 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591	86.74-186 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591	86.74-187 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591	86.74-188 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591	86.74-189 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591	86.74-190 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591	86.74-191 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591	86.74-192 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591	86.74-193 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591	86.74-194 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591	86.74-195 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591	86.74-196 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591	86.74-197 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591	86.74-198 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591	86.74-199 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591	86.74-200 NYS Power & Light Corp 1 City Center Plz Poughkeepsie, NY 10591
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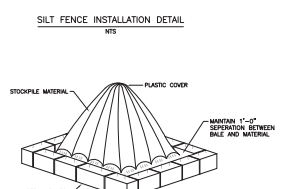


**BUSINESS:**  
AUTOBODY WORK  
3 EMPLOYEES  
  
NO NEW SIGNAGE  
  
NO NEW EXTERIOR LIGHTING

THIS MAP WAS PREPARED FROM AN ACTUAL FIELD SURVEY CONDUCTED ON THE DATE SHOWN AND THAT SURVEY WAS PERFORMED ACCORDING TO THE EXISTING CODE OF PRACTICE FOR LAND SURVEYING ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.



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**A SITE PLAN**  
SCALE: 1" = 20'



**OWNER**  
GABRIEL LAMANNA  
255 ROUTE 6  
MAHOPAC, NY 10541

**ARCHITECT**  
MICHAEL PICCIRILLO ARCHITECTURE PLLC  
345 KEAR STREET  
YORKTOWN HEIGHTS, NY 10598

**SITE ENGINEER**  
RALPH G MASTROMONACO, P.E., P.C.  
CONSULTING ENGINEERS  
13 DOVE COURT  
CROTON-HAHDUSON, NY 10520  
345 KEAR STREET

**CODE ANALYSIS**  
PROJECT SCOPE:  
EXISTING ONE STORY BRICK / CMU BUILDING USED AS AUTOBODY BUSINESS TO REMAIN.  
  
PROPOSED ONE STORY BRICK / SIDED ADDITION AS AUTOBODY BUSINESS  
  
APPLICABLE CODES: 2020 ECRNY'S  
CODE PATH: PRESCRIPTIVE COMPLIANCE METHOD  
  
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OCCUPANCY CLASSIFICATION: F-1 OCCUPANCY

No.	DATE	ISSUE
1	3/18/24	ISSUED PER COMMENTS

**PROJECT NAME:**  
LAMANNA AUTOBODY ADDITION

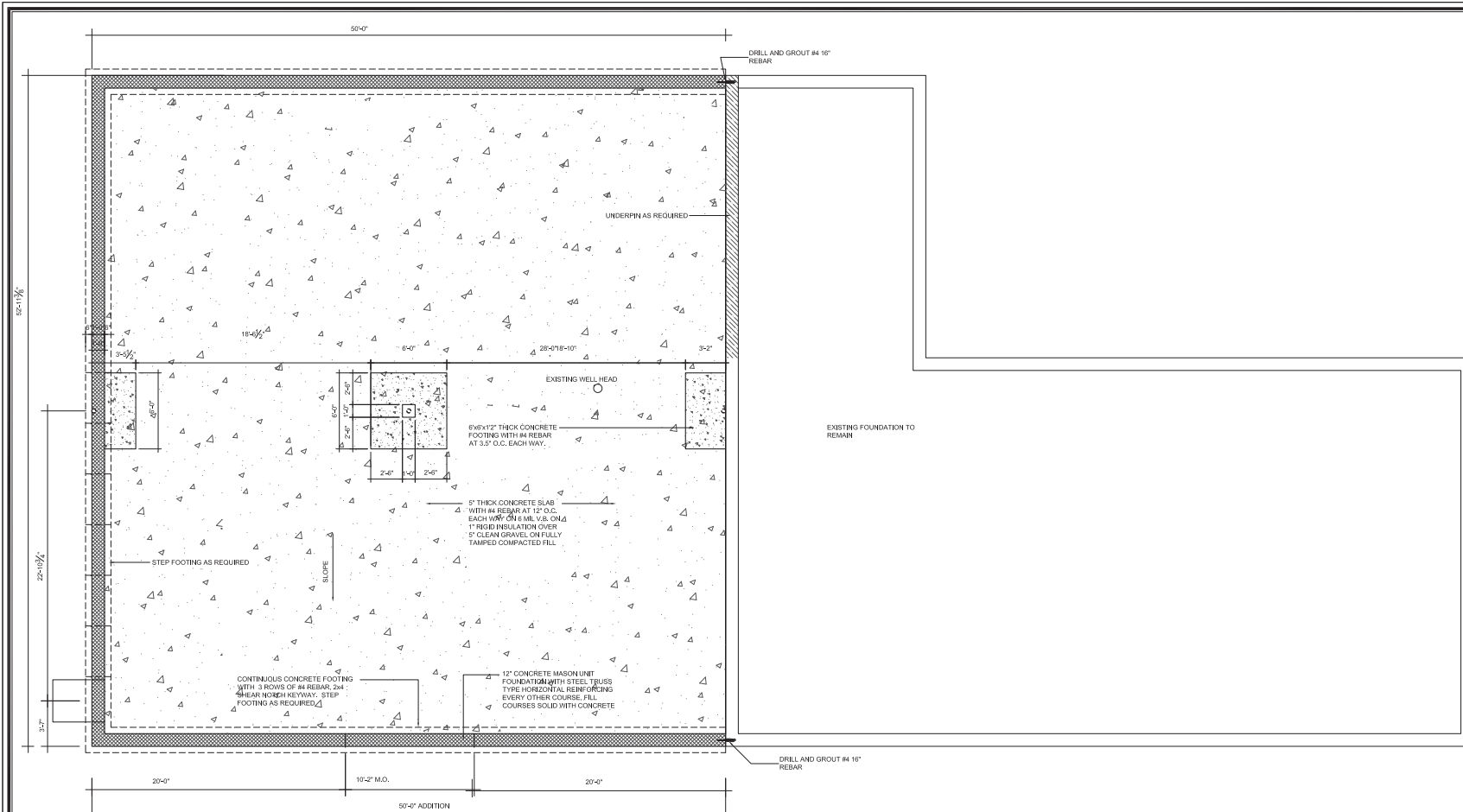
**PROJECT ADDRESS:**  
255 NYS ROUTE 6  
MAHOPAC, NY 10541



**MICHAEL A. PICCIRILLO, AIA**  
345 KEAR STREET - SUITE #203  
YORKTOWN HEIGHTS, NEW YORK 10598  
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michael@mpiccirilloarchitect.com  
www.mpiccirilloarchitect.com

**SITE PLAN**  
SCALE: AS NOTED DATE: 12-25-23

DRAWN BY: MAP	<b>SP-1</b>
CHECKED BY: MAP	
1 OF 1	



**Michael Piccirillo Architecture**  
 NOTE: DO NOT SCALE DRAWINGS. REFER TO WRITTEN MEASUREMENTS FOR ACCURACY, OR CONTACT ARCHITECT FOR CLARIFICATION IF THERE ARE ANY DISCREPANCIES.  
 UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF NEW YORK STATE EDUCATION LAW.  
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- WALL AND DOOR SYMBOLS**
- EXISTING WALL TO REMAIN
  - NEW WALLS TO BE CONSTRUCTED, SEE BUILDINGS SECTION FOR DETAILS
  - EX. DOOR TO REMAIN
  - NEW DOOR TO BE INSTALLED
  - NEW CONCRETE FOUNDATION WALL
  - EX. FOUNDATION WALL TO REMAIN
  - EX. WALL TO BE REMOVED

NO.	DATE	ISSUE

**PROJECT NAME:**  
 BERNARD RESIDENCE

**PROJECT ADDRESS:**  
 5 KITCHEN ROAD  
 MOUNT KISCO, NY 10549



**MICHAEL A. PICCIRILLO, AIA**  
 345 KEAR STREET  
 YORKTOWN HEIGHTS, NEW YORK 10598  
 TELEPHONE: 914-368-9838  
 FACSIMILE: 914-302-2933  
 michael@piccirilloarchitect.com  
 www.piccirilloarchitect.com

**FLOOR PLANS**

SCALE:	AS NOTED	DATE:	06-01-22
DRAWN BY:	MAP	<b>A-050</b>	
CHECKED BY:	MAP		
1 OF 1			

**A PROPOSED FOUNDATION PLAN**  
 SCALE: 1/4" = 1'-0"

- GENERAL NOTES**
- ALL WORK SHALL CONFORM TO NYSBC2020 AND LOCAL ZONING CODES.
  - DIMENSIONS ARE GIVEN AS GUIDES TO ESTABLISH THE LAYOUT. G.C. SHALL SURVEY AND EXAMINE THE EXISTING STRUCTURE IN ESTABLISHING LAYOUT OF THE WORK IN ORDER TO ASSURE PROPER FIT AND ALIGNMENT OF THE NEW WORK WITH PROPER RELATIONSHIP TO EXISTING FEATURES. DO NOT SCALE DRAWINGS.
  - ALL MATERIALS SHALL BE NEW, UNLESS OTHERWISE SPECIFIED.
  - ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN IN THE APPROPRIATE TRADES.
  - CONTRACTOR AGREES THAT HE IS SKILLED AND EXPERIENCED IN THE USE AND INTERPRETATION OF PLANS AND SPECIFICATIONS. HE HAS CAREFULLY REVIEWED THE PLANS AND SPECIFICATIONS FOR HIS PROJECT AND HAS FOUND THEM TO BE FREE OF AMBIGUITIES. FURTHER, HE HAS CAREFULLY EXAMINED THE SITE OF THE WORK AND FROM HIS OWN OBSERVATIONS HAS SATISFIED HIMSELF AS TO THE NATURE AND LOCATION OF THE WORK.
  - ARCHITECT SHALL BE NOTIFIED OF ANY AND ALL CONDITIONS WHICH MAY INTERFERE WITH OR OTHERWISE AFFECT OR PREVENT THE PROPER EXECUTION AND COMPLETION OF THE WORK DESCRIBED IN THIS DRAWING.

- GENERAL NOTES**
- EXCAVATION AND EARTHWORK
    - SOILS AT THE BASE OF ALL EXCAVATIONS SHALL HAVE A PRESUMED BEARING VALUE OF UNLESS TRANSFER.
    - IF SOILS ARE UNSUITABLE AT THE LEVELS SHOWN ON THE DRAWINGS THE EXCAVATION SHALL BE DEEPENED UNTIL SUITABLE SOILS ARE ENCOUNTERED.
    - SOILS AT THE EXCAVATION LEVEL SHALL BE COMPACTED TO 95% MAX. DENSITY, ASTM D 1557.
  - CONCRETE WORK
    - ALL CONCRETE SHALL CONFORM TO ACI 318.6 (REV. 1989) BUILDING CODE AND ACI DESIGN HANDBOOK 340, 1984.
    - CONCRETE F'c = 2000 PSI
    - REINFORCING STEEL Fy = 60 KSI
    - ALL EXTERIOR CONCRETE REQUIRES AIR ENTRAINMENT.
    - CONCRETE SLUMP SHALL BE NO GREATER THAN 4".
    - CURING IS REQUIRED PER ACI CODE.
    - FIELD VERIFY ALL EXISTING DIMENSIONS AS INDICATED ON DRAWINGS.

- DIVISION 4 MASONRY**
- GENERAL REQUIREMENTS:** G.C. SHALL PROVIDE ALL NECESSARY LABOR MATERIALS AND EQUIPMENT TO COMPLETE ALL MASONRY SHOWN OR NOTED IN THESE DOCUMENTS. THE GENERAL REQUIREMENTS OF SECTION 4 SHALL APPLY TO ALL WORK UNDER THE HEADING.
- ALL WORK IN THIS SECTION SHALL COMPLY WITH STATE AND LOCAL CODES.
  - ALL MATERIAL SHALL COMPLY WITH THE LATEST A.S.T.M. STANDARDS.
  - POROUS FILL (AS REQUIRED) - CLEAN GRAVEL OR CRUSHED STONE. NO CINDER.
  - MORTAR - 1:3 PORTLAND CEMENT MORTAR FOR ALL CONCRETE BLOCKWORK. 1:6 PORTLAND CEMENT - LIME MORTAR FOR STONE WORK, NO RETEMPERING PERMITTED.
  - REINFORCING (AS REQUIRED) - CURB-WALL TRUSS-TYPE REINFORCING AS NOTED.
  - CONCRETE MASONRY UNITS (CMU) (AS REQUIRED) - LOAD BEARING STONE CONCRETE MASONRY UNITS, AS MANUFACTURED BY REINFORCING BARS CONCRETE PRODUCTS CO. OR APPROVED EQUAL, SEE AS REQUIRED, AND AS NOTED IN DOCUMENTS.
  - CONCRETE BLOCKWORK SHALL BE REINFORCED ON EVERY SECOND HORIZONTAL JOINT WITH CURB-WALL TRUSS-TYPE BLOCK REINFORCING. LAY BLOCKS WITH CELLS VERTICAL AND JOINTS STAGGERED IN EACH COURSE. ALL BLOCKWORK TO BE PROPERLY BANGED TOGETHER AND TO ADJACENT WORK.
  - COMPLY WITH RECOMMENDED METHODS AND PRACTICES AS DESCRIBED BY NATIONAL CONCRETE MASONRY ASSOCIATION STANDARDS AND BROOKLYN INSTITUTE OF AMERICA.

- CAST-IN-PLACE CONCRETE**
- DO ALL WORK IN CONFORMANCE WITH AMERICAN CONCRETE INSTITUTE STANDARDS. PERFORM ALL WORK IN ACCORDANCE WITH ACI 318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE AND ACI 308 SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS, UNLESS SPECIFIED OTHERWISE.
  - INSPECTION AND TESTING INCLUDING BUT NOT LIMITED TO TEST CYLINDERS: TAKE THREE TEST CYLINDERS FROM EACH POUR, LABEL WITH DATE AND LOCATION PLACED, AND DELIVER TO OWNER FOR TESTING OF CONCRETE WORK AND CONCRETE MIX SHALL BE PERFORMED IN ACCORDANCE OF THE LOCAL BUILDING DEPARTMENT.
  - CONTRACTOR SHALL VERIFY DIMENSIONS AND LOCATION OF ALL OPENINGS, PIPE SLEEVES, ANCHOR BOLTS, ETC., AS REQUIRED BY ALL TRADES, BEFORE CONCRETE IS PLACED.
  - PROVIDE SMOKE AND GRAVEL BASE.
  - WELDED WIRE FABRIC SHALL BE 6" X 6" W2.3W2.3 SIZE PLAN FINISH CONFORMING TO ASTM A185 UNLESS OTHERWISE INDICATED. ALL REINFORCING BARS SHALL CONFORM TO ASTM SPEC. A615 GRADE 60.
  - REINFORCING STEEL SHALL BE BILLET STEEL BARS, GRADE 60, GALVANIZED FINISH, CONFORMING TO ASTM A615. COMPLETE WITH ALL ACCESSORIES SUCH AS CHAIRS, BAR SUPPORTS, SPACERS, THE WIRE, ETC.
  - SCREED AND FINISH CONCRETE SMOOTH AND LEVEL OR SLOPED AS INDICATED TO RECEIVE FURTHER CONSTRUCTION. EXTERIOR FINISHMENTS TO HAVE BROOMED FINISH.
  - ALL CONCRETE DESIGN AND PLACEMENT SHALL COMPLY WITH THE LATEST EDITION OF THE ACI 301. \*SPECIFICATION FOR STRUCTURAL CONCRETE FOR BUILDINGS\*. HOT WEATHER CONCRETING SHALL BE IN ACCORDANCE WITH ACI 308. COLD WEATHER CONCRETING SHALL BE IN ACCORDANCE WITH ACI 306. ALL OTHER APPLICABLE CODES SHALL ALSO BE FOLLOWED.
  - CONCRETE SHALL BE NORMAL WEIGHT CONCRETE EXCEPT LIGHT WEIGHT CONCRETE SHALL BE USED FOR SLABS ON STEEL DECK UNLESS NOTED OTHERWISE. CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI AT 28 DAYS FOR FOUNDATIONS. SLUMP SHALL NOT EXCEED 4".
  - REINFORCEMENT SHALL BE DEFORMED INTERMEDIATE GRADE NEW BILLET STEEL CONFORMING TO ASTM DESIGNATION A615, GRADE 60. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185.
  - FOLLOW AIA RULES AS TO TIES, ANCHORAGE, SPICES, CONCRETE COVERAGE AND REINFORCEMENT SUPPORTS.
  - REINFORCEMENT MARKED "CONTINUOUS JOINT" SHALL BE LAPPED 36 BAR DIAMETERS AT SPICES AND CORNERS, AND HOODED AT NON-CONTINUOUS ENDS OR EXTENDED 36 BAR DIAMETERS UNLESS OTHERWISE NOTED.
  - CONSTRUCTION JOINTS SHALL BE LOCATED AT POINTS OF ZERO SHEAR. NO CONSTRUCTION JOINTS SHALL BE LOCATED IN MEMBERS CARRYING A CONCENTRATED LOAD. PROVIDE SHEAR BARS AS DIRECTED BY THE ENGINEER. LOCATIONS OF CONSTRUCTION JOINTS SHALL BE ACCEPTED BY THE ENGINEER.
  - PROVIDE SLEEVES AND BOX OUT FOR OPENINGS FOR MECHANICAL TRADES FOR SIZE AND LOCATION OF ALL OPENINGS. SEE ARCHITECTURAL AND MECHANICAL DRAWINGS IN ADDITION TO STRUCTURAL DRAWINGS. OPENINGS SHALL BE PLACED SO AS NOT TO AFFECT THE STRENGTH OF THE STRUCTURAL MEMBERS.



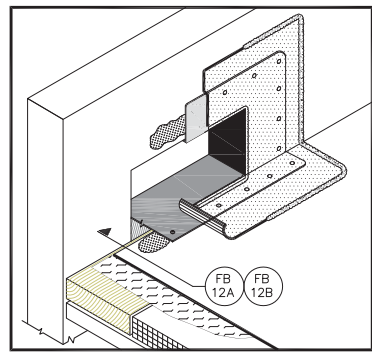
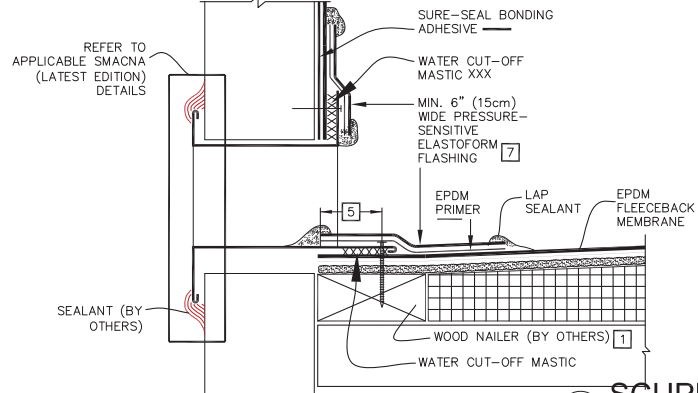


**GENERAL ROOFING NOTES**

1. PRIOR TO COMMENCEMENT OF WORK OR FABRICATION OF COMPONENTS, CONTRACTOR SHALL INVESTIGATE AND VERIFY ALL CONDITIONS, DIMENSIONS AND ELEVATIONS OF THE NEW CONSTRUCTION IN THE FIELD. ALL DISCREPANCIES BETWEEN FIELD VERIFIED CONDITIONS, DIMENSIONS AND ELEVATIONS INDICATED IN THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING.
2. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH ALL 2020 NYSBC CODES AND AUTHORITIES HAVING JURISDICTION.
3. INSTALL ALL NEW ROOFING IN ACCORDANCE WITH THE OWNER'S REQUIREMENTS AND MANUFACTURER'S INSTALLATION SPECIFICATIONS. PROVIDE ALL ACCESSORIES, MATERIALS, FASTENERS, ETC. FOR COMPLETE ROOF INSTALLATION.
4. ALL ROOF PENETRATIONS TO BE MADE WATER-TIGHT AS PER DETAILS AND ROOF MANUFACTURER'S SPECIFICATIONS. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL ROOF PENETRATIONS.
5. CONTRACTOR TO PROVIDE AND INSTALL FULLY ADHERED EPDM SINGLE PLY MEMBRANE ROOFING.

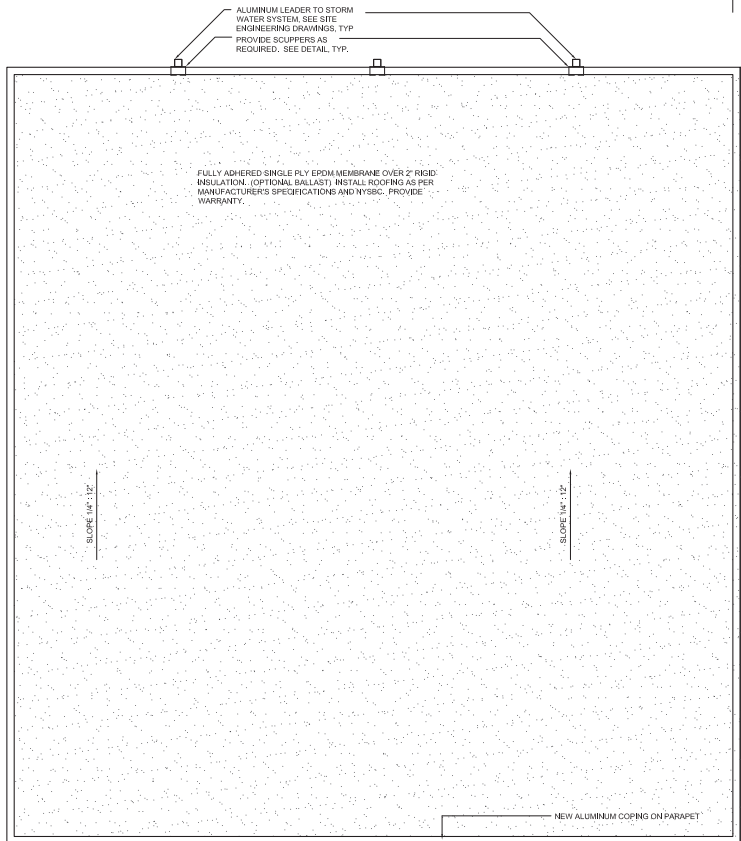
**STANDING SEAM ROOFING:**

24 GAUGE HIGH STRENGTH GALVALUM STEEL AZ-50 OR AZ-55 COATING, PREMIUM CERTIFIED PAINT SYSTEM, BRONZE, 1 1/2" SEAM HEIGHT, CONCEALED CLIP FASTENING SYSTEM, 10" WIDE COVERAGE, UL 790 CLASS FIRE RESISTANCE RATING, UL 2218 CLASS 1 HAIL IMPACT RESISTANCE, UL 580 CLASS 90 UPLIFT TEST RATING, GC TO SUBMIT COLOR SAMPLE FOR APPROVAL...

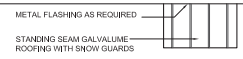


**1 SCUPPER DETAILS**  
SCALE: N.T.S.

- NOTES:
1. WOOD NAILERS ARE INSTALLED ONLY AT SCUPPERS TO SECURE METAL SLEEVE AND MUST EXTEND PAST THE WIDTH OF METAL SLEEVE FLANGE.
  2. INSTALL WALL FLASHING PRIOR TO SCUPPER INSTALLATION.
  3. METAL SCUPPER BOX MUST HAVE CONTINUOUS FLANGES WITH ROUNDED CORNERS. SOLDER ALL SCUPPER SEAMS WATER-TIGHT.
  4. WATER CUT-OFF MASTIC UNDER SCUPPER FLANGE MUST BE UNDER CONSTANT COMPRESSION.
  5. SCUPPER FLANGES MUST BE TOTALLY COVERED BY PRESSURE-SENSITIVE ELASTOFORM FLASHING WITH MINIMUM 2\"/>



**A ROOF PLAN**  
SCALE: 1/4 = 1'-0"



NOTE:  
DO NOT SCALE DRAWINGS. REFER TO WRITTEN MEASUREMENTS FOR ACCURACY, OR CONTACT ARCHITECT. CONTACT ARCHITECT IF THERE ARE ANY DISCREPANCIES.  
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NO.	DATE	ISSUE:

PROJECT NAME:  
LAMANNA AUTOBODY ADDITION

PROJECT ADDRESS:  
255 NYS ROUTE 6  
MAHOPAC, NY 10541

MICHAEL A PICCIRILLO, AIA  
345 KEAR STREET  
YORKTOWN HEIGHTS, NEW YORK 10598

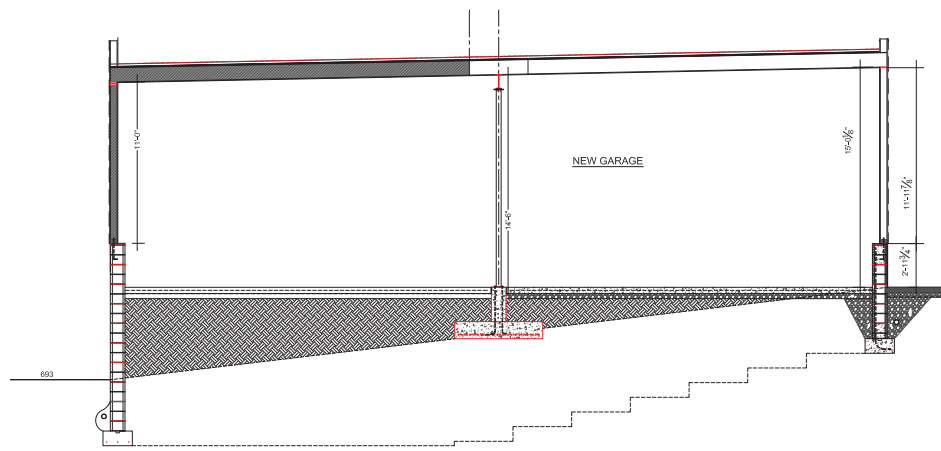
TELEPHONE: 914-368-9838  
FACSIMILE: 914-302-2933  
michael@mpiccirilloarchitect.com  
www.mpiccirilloarchitect.com

**FLOOR PLANS**

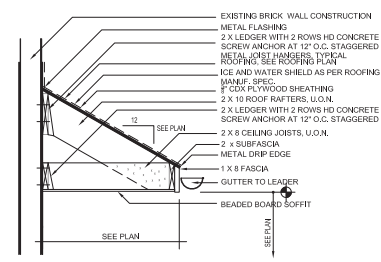
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DRAWN BY:	MAP		
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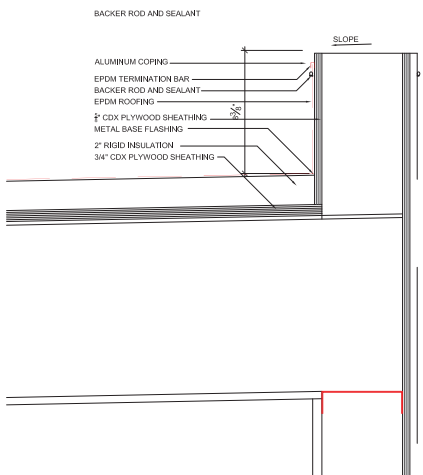
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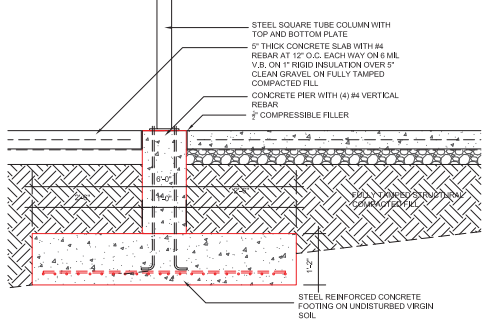
**A BUILDING SECTION**  
SCALE: 1/4" = 1'-0"



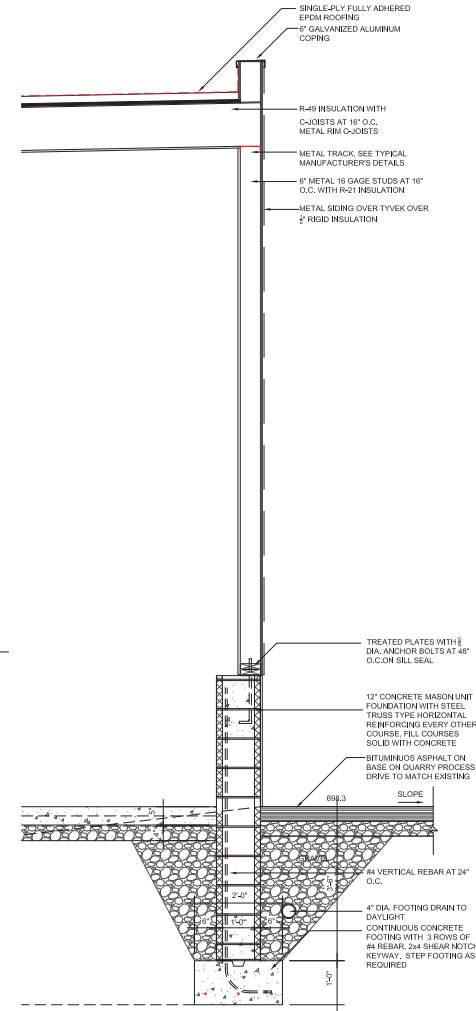
**2 SHED ROOF DETAIL**  
SCALE 3/4" = 1'-0"



**1 PARAPET DETAIL**  
SCALE 3" = 1'-0"



**3 PIER DETAIL**  
SCALE 3/4" = 1'-0"



**4 WALL SECTION**  
SCALE 3/4" = 1'-0"

NO.	DATE	ISSUE:

PROJECT NAME:  
LAMANNA AUTOBODY ADDITION

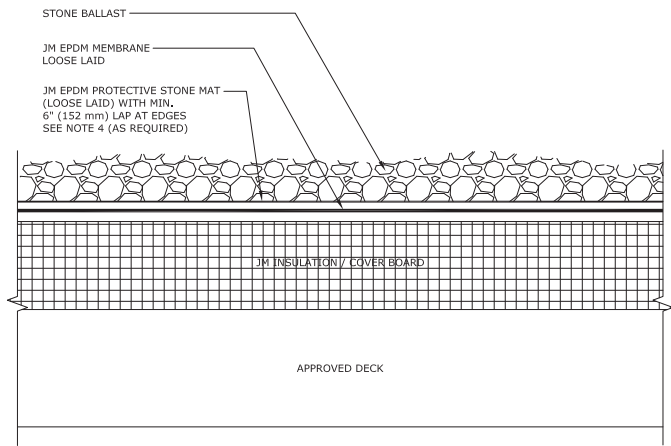
PROJECT ADDRESS:  
255 NYS ROUTE 6  
MAHOPAC, NY 10541

MICHAEL A PICCIRILLO, AIA  
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michael@mpiccirilloarchitect.com  
www.mpiccirilloarchitect.com

SECTIONS

SCALE:	AS NOTED	DATE:	06-01-22
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CHECKED BY:	MAP		
			<b>A-300</b>
	1	OF	1

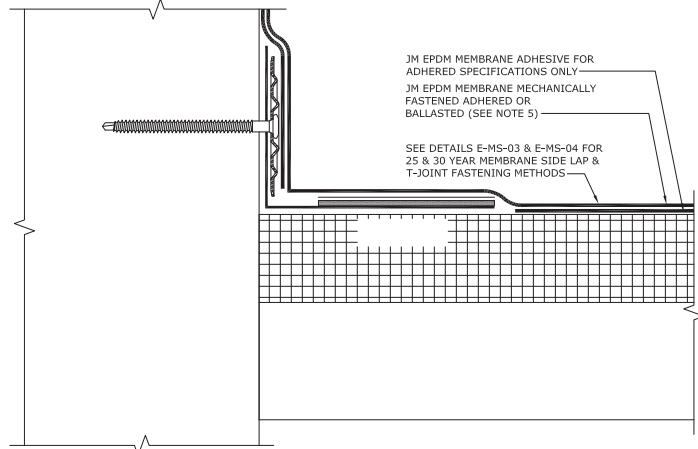




1. REFER TO JOHNS MANVILLE WEBSITE ([www.jm.com](http://www.jm.com)) FOR MOST UP-TO-DATE INFORMATION.
2. PLEASE SEE SINGLE PLY FLASHING SPECIFICATIONS FOR A FULL DESCRIPTION OF INSTALLATION INSTRUCTIONS AND REQUIREMENTS WHICH ARE CONSIDERED A PART OF THIS DETAIL.
3. ANY CARPENTRY OR METAL WORK SHOULD BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS AND/OR PROJECT SPECIFICATIONS. THESE COMPONENTS SHOULD BE REVIEWED AND APPROVED BY A LICENSED DESIGN PROFESSIONAL.
4. JM EPDM PROTECTIVE STONE MAT SHOULD BE USED WHEN BALLAST WITH SHARP EDGES IS INSTALLED.

### TYPICAL EPDM ROOF DETAIL WITH OPTIONAL BALLAST

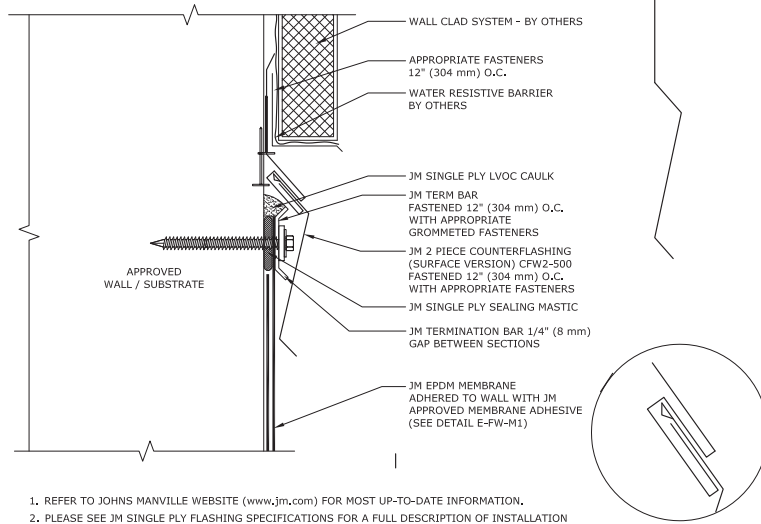
**A** SCALE: FULL SCALE



1. REFER TO JOHNS MANVILLE WEBSITE ([www.jm.com](http://www.jm.com)) FOR MOST UP-TO-DATE INFORMATION.
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4. JM EPDM TAPE PRIMER OR JM SINGLE PLY MEMBRANE PRIMER (LOW VOC) MUST BE APPLIED ON ALL JM EPDM PEEL & STICK PRODUCTS.
5. ROLL MEMBRANE WITH HAND ROLLER UNDER PRESSURE AT PEEL & STICK.

### WALL TERMINATION

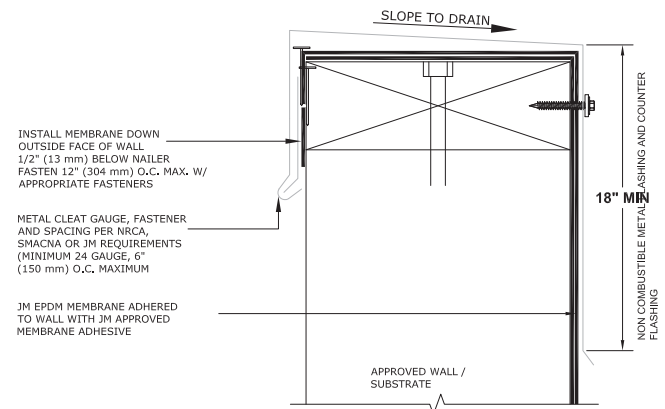
**C** SCALE: FULL SCALE



1. REFER TO JOHNS MANVILLE WEBSITE ([www.jm.com](http://www.jm.com)) FOR MOST UP-TO-DATE INFORMATION.
2. PLEASE SEE JM SINGLE PLY FLASHING SPECIFICATIONS FOR A FULL DESCRIPTION OF INSTALLATION INSTRUCTIONS AND REQUIREMENTS WHICH ARE CONSIDERED A PART OF THIS DETAIL.
3. MINIMUM FLASHING HEIGHT IS 8" (203 mm) ABOVE ROOF SURFACE.

### WALL TERMINATION

**B** SCALE: FULL SCALE



1. REFER TO JOHNS MANVILLE WEBSITE ([www.jm.com](http://www.jm.com)) FOR MOST UP-TO-DATE INFORMATION.
2. PLEASE SEE SINGLE PLY FLASHING SPECIFICATIONS FOR A FULL DESCRIPTION OF INSTALLATION INSTRUCTIONS AND REQUIREMENTS WHICH ARE CONSIDERED A PART OF THIS DETAIL.
3. ANY CARPENTRY OR METAL WORK SHOULD BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS AND/OR PROJECT SPECIFICATIONS. THESE COMPONENTS SHOULD BE REVIEWED AND APPROVED BY A LICENSED DESIGN PROFESSIONAL.

### PARAPET DETAIL

**A** SCALE: FULL SCALE



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[michael@mpiccirilloarchitect.com](mailto:michael@mpiccirilloarchitect.com)  
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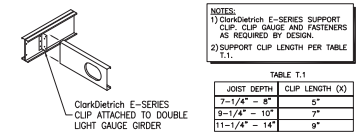
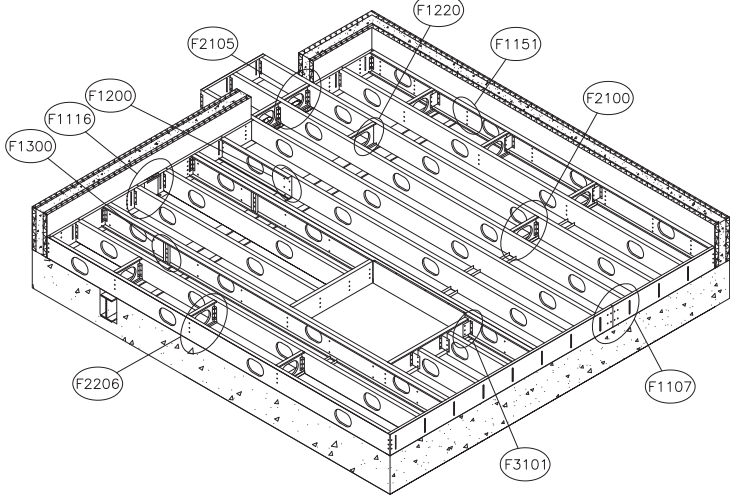
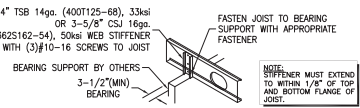
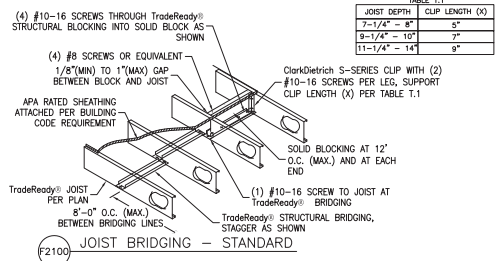
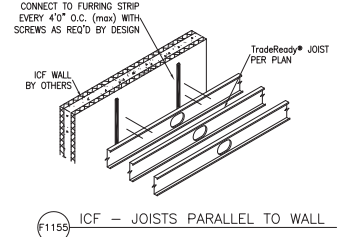
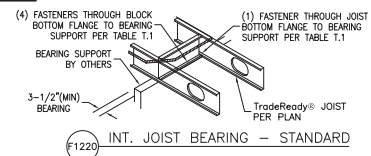
#### EPDM DETAILS

SCALE:	AS NOTED	DATE:	06-01-22
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CHECKED BY:	MAP		
1 OF 1		<b>A-350</b>	

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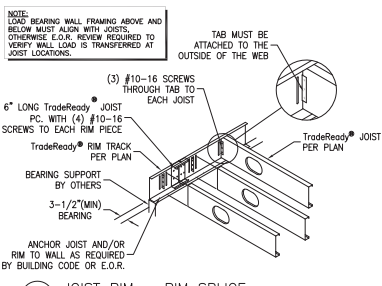
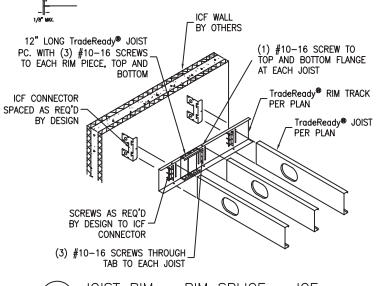
- NOTES:  
1) ATTACH SHEATHING TO BLOCKING W/ (4) #8 SCREWS OR EQUIVALENT.  
2) BLOCK LENGTH SHALL BE 1/2" (MIN.) TO 1" (MAX.) SHORTER THAN JOIST SPACE.  
3) SPACE BLOCKS @ 12" o.c. (MAX.) AND EA. END OF JOIST RUN.

SUPPORT TYPE	SUGGESTED FASTENER
STRUCTURAL STEEL, CONCRETE, OR CMU BEARING	0.145" P.D.F.
WOOD	#(MIN) APPROPRIATE SCREW
LIGHT GAUGE METAL FRAMING	#10-16 SCREWS



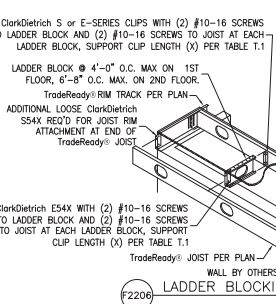
F1300 WEB STIFFENER - STANDARD

F3101 SUPPORT CLIP - ClarkDietrich E-SERIES



F1110 JOIST RIM - RIM SPLICE - ICF

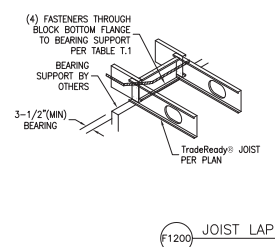
F1107 JOIST RIM - RIM SPLICE



JOIST DEPTH	CLIP LENGTH (X)
7-1/4" - 8"	5"
9-1/4" - 10"	7"
11-1/4" - 14"	9"

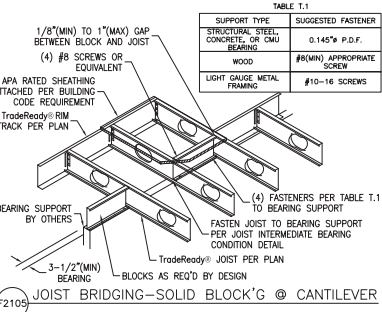
  

TYPE OF WALL BY OTHERS	(#) OF FASTENERS
STEEL FRAMED	(4) #10-16 SCREWS MIN. SPACING & EDGE DIST. = 1/2"
WOOD FRAMED	(5) COMMON NAILS #16 OR #18 WOOD SCREWS (1-1/2" MIN. EDGE DIST. = 1/2" o.c. SPACING = 1/2" o.c.)



- NOTES:  
1) ATTACH BLOCKING TO SHEATHING W/ (4) #8 SCREWS OR EQUIVALENT.  
2) BLOCK LENGTH SHALL BE 1/8" (MIN.) TO 1" (MAX.) SHORTER THAN JOIST SPACE.  
3) SPACE BLOCKS @ 12" o.c. (MAX.) AND EA. END OF JOIST RUN.  
4) USE (4) #10-16 SCREWS AS SHOWN AT JOIST LAP.

SUPPORT TYPE	SUGGESTED FASTENER
STRUCTURAL STEEL, CONCRETE, OR CMU BEARING	0.145" P.D.F.
WOOD	#(MIN) APPROPRIATE SCREW
LIGHT GAUGE METAL FRAMING	#10-16 SCREWS



F2200 LADDER BLOCKING - SINGLE JOIST RIM

F2100 JOIST LAP - STANDARD

F2109 JOIST BRIDGING - SOLID BLOCK @ CANTILEVER

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michael@mpiccirilloarchitect.com  
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METAL C-JOIST DETAILS

# BIBBO ASSOCIATES, L.L.P.

*Consulting Engineers*

Timothy S. Allen, P.E.  
Nicholas Gaboury, P.E.  
Matthew J. Girona, P.E.

March 5, 2024

Rev.: March 18, 2024

Town of Carmel Planning Board  
60 McAlpin Avenue  
Mahopac, NY 10541-2340

Attn: Mr. Craig Paepreer, Chairman

Re: Final Subdivision Approval – 2-Lot  
Yankee Land Development Subdivision  
Bayberry Hill Road & Owen Drive  
TM # 76.15-1-12

Dear Chairman and Members of the Board:

On behalf of the owners of the above captioned property we are hereby requesting an 180-day extension of Final Subdivision Approval. This project was granted approval on September 14, 2023, Resolution #23-18. Check # 115 in the amount of \$ 2,500 for the renewal fee is enclosed. *(Was submitted with previous letter of March 5, 2024)*

We respectfully request to be placed on your next available agenda. Should you require any additional information, please feel free to contact me.

Very truly yours,



Edward J. Delaney, Jr.  
Project Manager

TSA/mme  
Enclosures

cc: Angelo Luppino, Owner *(via-email)*  
Pat Cleary, Planner *(via-email)*  
Timothy S. Allen, P.E.

*Site Design ♦ Environmental*

Mill Pond Offices · 293 Route 100 · Suite 203 · Somers, New York 10589

Phone: 914.277.5805 · Fax: 914.277.8210

Website: [www.bibboassociates.com](http://www.bibboassociates.com) · E-mail: [bibbo@bibboassociates.com](mailto:bibbo@bibboassociates.com)