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ANTHONY GIANNICO
Vice Chairman

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RAYMOND COTE
ROBERT FRENKEL
VICTORIA CAUSA
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TOWN OF CARMEL
PLANNING BOARD



60 McAlpin Avenue
Mahopac, New York 10541
Tel. (845) 628-1500 – Ext.190
www.ci.carmel.ny.us

MICHAEL CARNAZZA
*Director of Code
Enforcement*

RICHARD FRANZETTI,
P.E., BCEE
Town Engineer

PATRICK CLEARY,
AICP, CEP, PP, LEED AP
Town Planner

PLANNING BOARD AGENDA
APRIL 11, 2024 – 7:00 P.M.

TAX MAP # PUB. HEARING MAP DATE COMMENTS

PUBLIC HEARING

1. 20 Day Road LLC – 20 Day Road, Carmel 55.6-1-41 4/11/24 Bond Return

SITE PLAN

2. 355 Huguenot, Inc. – 85 Gleneida Ave, Carmel 44.14-1-6 3/27/24 Site Plan
3. Crecco – DAG Route 6, LLC – 395 Route 6 75.19-1-8 & 75.20-2-5 4/1/24 Site Plan
4. Knights of Columbus – 10 Fair St, Carmel 44.18-1-20 4/1/24 Site Plan

SUBDIVISION

5. Frey Subdivision – 79 Secor Road 74.12-1-33 3/25/24 Sketch Plan (2 Lots)

MISCELLANEOUS

6. Platinum Propane - 1035 Route 6 65.10-2-11 Extension of Final Subdivision
Approval
7. Gateway Summit Multi-Family – Lot 6 55.-2-24.6-1, 3/27/24 Extension of Amended Final
2054 Route 6 55.-2-24.6-2 Site Plan
8. The Fairways Multi-Family – Lot 7 55.-2-24.8-1, 3/27/24 Extension of Amended Final
2054 Route 6 55.-2-24.8-2 Site Plan



March 27, 2024

Town of Carmel Planning Board
60 McAlpin Avenue
Mahopac, New York 10541

RE: 355 Huguenot, Inc.
85 Gleneida Ave.
Town of Carmel
TM# 44.14-1-6

Dear Chairman Paepre and Members of the Board:

Please find enclosed the following plans and documents in support of an application for site plan:

- Site Plan, dated March 27, 2024. (5 copies)
- Site Plan Application. (5 copies)
- Disclosure Statement. (2 copies)
- Site Plan Completeness Certification Form. (5 copies)
- Short Environmental Assessment Form. (5 copies)
- Deed. (2 copies)
- List of 500' Foot Adjoiners. (5 copies)
- Check in the amount of \$2,600 for Site Plan Application Fee.

The applicant, 355 Huguenot, Inc., is requesting a change of use to Light Impact Industry for the subject property at 85 Gleneida Ave. in the Town of Carmel. The property was formerly used by the Carmel Board of Fire Commissioners. The applicant wishes to operate his business within the existing building, providing car alarms, remote starters, audio equipment, lettering and window tinting for automobiles. He services one car at a time on an appointment basis, and will be working completely within the first floor of the building. Business hours are 10am – 6pm, Tuesday – Saturday.

There will be no exterior improvements as part of this site plan application.

Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:


John M. Watson, PE
Senior Principal Engineer

JMW/smr

Enclosures

cc: John Zambrano

Insite File No. 24123.100

3 Garrett Place, Carmel, New York 10512 (845) 225-9690 Fax (845) 225-9717
www.insite-eng.com



TOWN OF CARMEL SITE PLAN APPLICATION INSTRUCTIONS



The Town of Carmel Planning Board meetings are held twice a month, on the second **Thursday** and fourth **Wednesday**, at 7:00 PM at Carmel Town Hall, 60 McAlpin Avenue, Carmel

The submission deadline is 10 days prior to the Planning Board meeting. New site plan applications that have been deemed complete will be placed on the agenda in the order they are received.

No application will be placed on the agenda that is incomplete

Pre-Submission:

Prior to the formal submission of the site plan, a pre-submission conference may be requested by the applicant to be conducted with representatives from the Town, which may include the Town Planner, Town Engineer, Director of Code Enforcement and/or the Planning Board Attorney. This conference will serve to educate the applicant on the process he/she must follow, clarify the information required to submit a complete site plan application, and to highlight any specific areas of concern. You may arrange a pre-submission conference through the Planning Board Secretary at (845) 628-1500 extension 190.

Submission Requirements:

At least 10 days prior to the Planning Board meeting, the site plan application shall be submitted to the Planning Board Secretary as follows:

All site plans shall be signed, sealed and folded with the title box legible. The application package shall include:

- 5 copies of the Site Plan Application Form, signed and notarized.
- 5 copies of the SEQR Environmental Assessment Form (use of short form or long form shall be determined at pre-submission conference).
- 5 full size sets of the Site Plan (including floor plans and elevations)
- 1 CD (in pdf. format) containing an electronic version of the Site Plan
- 2 copies of the Disclosure Statement
- 5 copies of the Site Plan Completeness Certification Form
- All supplemental studies, reports, plans and renderings.
- 2 copies of the current deed.
- 2 copies of all easements, covenants and restrictions.
- The appropriate fee, determined from the attached fee schedule. Make checks payable to the *Town of Carmel*.

Rose Trombetta 3/28/24

Planning Board Secretary; Date

Richard [Signature] 3/27/24

Town Engineer; Date



TOWN OF CARMEL SITE PLAN APPLICATION



Per Town of Carmel Code – Section 156 - Zoning

SITE IDENTIFICATION INFORMATION		
Application Name: 355 Huguenot, Inc.	Application # 24-0008	Date Submitted: 3-27-24
Site Address: No. 85 Street: Gleneida Ave. Hamlet: Carmel		
Property Location: (Identify landmarks, distance from intersections, etc.) 2001 South of Vink Drive		
Town of Carmel Tax Map Designation: Section 44.14 Block 1 Lot(s) 6	Zoning Designation of Site: C - Commercial	
Property Deed Recorded in County Clerk's Office Date 1915 Liber 111 Page 66	Liens, Mortgages or other Encumbrances Yes <u>No</u>	
Existing Easements Relating to the Site <u>No</u> Yes Describe and attach copies:	Are Easements Proposed? <u>No</u> Yes Describe and attach copies:	
Have Property Owners within a 500' Radius of the Site Been Identified? <u>Yes</u> No Attached List to this Application Form		
APPLICANT/OWNER INFORMATION		
Property Owner: 355 Huguenot Inc.	Phone #: 914-447-2220 Fax#:	Email: huguenotinc@yahoo.com
Owners Address: No. 1511 Street: Route 22 Suite 172 Town: Brewster State: NY Zip: 10509		
Applicant (if different than owner): John Zambrano	Phone #: 914-447-2220 Fax#:	Email: huguenotinc@yahoo.com
Applicant Address (if different than owner): No. Street: Town: State: Zip:		
Individual/ Firm Responsible for Preparing Site Plan: John M. Watson, PE Insite Engineering, Surveying & Landscape Architecture, PC	Phone #: 845-225-9690 Fax#: 845-225-9717	Email: jwatson@insite-eng.com
Address: No. 3 Street: Garrett Place Town: Carmel State: NY Zip: 10512		
Other Representatives:	Phone #: Fax#:	Email:
Owners Address: No. Street: Town: State: Zip:		
PROJECT DESCRIPTION		
Describe the project, proposed use and operation thereof: 355 Huguenot, Inc. provides mobile electronics, car alarms, remote starts, lettering and tinting to local car owners, business hours are 10am-6pm Tuesday-Saturday. This application is for a change of code only. No exterior improvements are proposed.		

TOWN OF CARMEL SITE PLAN APPLICATION

PROJECT INFORMATION			
Lot size: Acres: 0.06 Square Feet: 2820		Square footage of all existing structures (by floor): 1st Floor 1,000 and 2nd Floor 1,000	
# of existing parking spaces: 2		# of proposed parking spaces: 2	
# of existing dwelling units: 0		# of proposed dwelling units: 0	
Is the site served by the following public utility infrastructure:			
<ul style="list-style-type: none"> ▪ Is project in sewer district or will private septic system(s) be installed? Sewer _____ ▪ If yes to Sanitary Sewer answer the following: <ul style="list-style-type: none"> ▶ Does approval exist to connect to sewer main? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> N/A ▶ Is this an in-district connection? <input checked="" type="checkbox"/> Out-of district connection? _____ ▶ What is the total sewer capacity at time of application? <u>TBD</u> ▶ What is your anticipated average and maximum daily flow <u>50 Gal. / Day</u> 			
For Town of Carmel Town Engineer			
▶ What is the sewer capacity _____			
▪ Water Supply		Yes: <input type="checkbox"/> No: <input type="checkbox"/>	
If Yes:		▶ Does approval exist to connect to water main? Yes: <input type="checkbox"/> No: <input type="checkbox"/>	
		▶ What is the total water capacity at time of application? _____	
		▶ What is your anticipated average and maximum daily demand _____	
▪ Storm Sewer		Yes: <input type="checkbox"/> No: <input type="checkbox"/>	
▪ Electric Service		Yes: <input type="checkbox"/> No: <input type="checkbox"/>	
▪ Gas Service		Yes: <input type="checkbox"/> No: <input type="checkbox"/>	
• Telephone/Cable Lines		Yes: <input type="checkbox"/> No: <input type="checkbox"/>	
For Town of Carmel Town Engineer			
Water Flows _____			
Sewer Flows _____			


Town Engineer; Date _____			
What is the predominant soil type(s) on the site? Urban Land Charlton UH Complex 3-8% Slopes		What is the approximate depth to water table? Greater than 6.5 feet.	
Site slope categories:		15-25% 0 %	25-35% 0 %
Estimated quantity of excavation:		Cut (C.Y.) 0	Fill (C.Y.) 0
Is Blasting Proposed		Yes: <input type="checkbox"/>	No: <input checked="" type="checkbox"/>
		Unknown: <input type="checkbox"/>	
Is the site located in a designated Critical Environmental Area?		Yes: <input type="checkbox"/>	No: <input checked="" type="checkbox"/>
Does a curb cut exist on the site? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	Are new curb cuts proposed? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	What is the sight distance? Left 300' Right 300'	
Is the site located within 500' of:			
• The boundary of an adjoining city, town or village		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
• The boundary of a state or county park, recreation area or road right-of-way		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
• A county drainage channel line.		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
• The boundary of state or county owned land on which a building is located		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	

TOWN OF CARMEL SITE PLAN APPLICATION

Is the site listed on the State or Federal Register of Historic Place (or substantially contiguous) Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>			
Is the site located in a designated floodplain? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Will the project require coverage under the Current NYSDEC Stormwater Regulations <div style="text-align: right;">Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/></div>			
Will the project require coverage under the Current NYCDEP Stormwater Regulations <div style="text-align: right;">Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/></div>			
Does the site disturb more than 5,000 sq ft		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Does the site disturb more than 1 acre		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Does the site contain freshwater wetlands? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Jurisdiction: NYSDEC: <input type="checkbox"/> Town of Carmel: <input checked="" type="checkbox"/>			
If present, the wetlands must be delineated in the field by a Wetland Professional, and survey located on the Site Plan.			
Are encroachments in regulated wetlands or wetland buffers proposed?		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Does this application require a referral to the Environmental Conservation Board?		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Does the site contain waterbodies, streams or watercourses?		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Are any encroachments, crossings or alterations proposed?		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Is the site located adjacent to New York City watershed lands?		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
Is the project funded, partially or in total, by grants or loans from a public source? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Will municipal or private solid waste disposal be utilized? Public: <input checked="" type="checkbox"/> Private: <input type="checkbox"/>			
Has this application been referred to the Fire Department?		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
What is the estimated time of construction for the project? N/A no construction proposed as part of this application.			
ZONING COMPLIANCE INFORMATION			
Zoning Provision	Required	Existing	Proposed
Lot Area	40,000 sf	2,820 sf *	2,820 sf
Lot Coverage	30%	35.6%	35.6%
Lot Width	200'	58'± *	58'±
Lot Depth	200'	90'± *	90'±
Front Yard	40'	62'± *	62'±
Side Yard	25'	2'± *	2'±
Rear Yard	30'	1'± *	1'±
Minimum Required Floor Area	5,000 sf	1,000 sf	1,000 sf
Floor Area Ratio	N/A	N/A	N/A
Height	35'	Less than 35'	Less than 35'
Off-Street Parking	2	2	2
Off-Street Loading	0	0	0

* pre-existing non-conforming condition.

TOWN OF CARMEL SITE PLAN APPLICATION

Will variances be required? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	If yes, identify variances:
PROPOSED BUILDING MATERIALS	
Foundation	N/A
Structural System	N/A
Roof	N/A
Exterior Walls	N/A
APPLICANTS ACKNOWLEDGEMENT	
I hereby depose and certify that all the above statements and information, and all statements and information contained in the supporting documents and drawings attached hereto are true and correct.	
<u>John Zambardo</u> Applicants Name	 Applicants Signature
Sworn before me this <u>22nd</u> day of <u>March</u> 20 <u>24</u>	
<u>Alicia Hansen</u> Notary Public	

Alicia Hansen
 Notary Public, State of New York
 Reg. # 01HA6088470
 Qualified In Dutchess County
 Commission Expires January 21, 2027



TOWN OF CARMEL SITE PLAN COMPLETENESS CERTIFICATION FORM



All Site Plans submitted to the Planning Board for review shall include the following information and details, as set forth in Section 156-61 B of the Town of Carmel Zoning Ordinance.

This form shall be included with the site plan submission

Requirement Data		To Be Completed by the Applicant	Waived by the Town
1	Name and title of person preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2	Name of the applicant and owner (if different from applicant)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3	Original drawing date, revision dates, scale and north arrow	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4	Tax map, block and lot number(s), zoning district	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5	All existing property lines, name of owner of each property within a 500' radius of the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6	Contour lines at two-foot intervals, grades of all roads, driveways, sanitary and storm sewers	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7	The location of all water bodies, streams, watercourses, wetland areas, wooded areas, rights-of-way, streets, roads, highways, railroads, buildings, structures	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8	The location of all existing and proposed easements	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9	The location of all existing and proposed structures, their use, setback dimensions, floor plans, front, side and rear elevations, buildable area.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10	On site circulation systems, access, egress ways and service roads, emergency service access and traffic mitigation measures	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11	Sidewalks, paths and other means of pedestrian circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12	On-site parking and loading spaces and travel aisles with dimensions	<input checked="" type="checkbox"/>	<input type="checkbox"/>
13	The location, height and type of exterior lighting fixtures	N/A <input type="checkbox"/>	<input type="checkbox"/>
14	Proposed signage	N/A <input type="checkbox"/>	<input type="checkbox"/>
15	For non-residential uses, an estimate of the number of employees who will be using the site, description of the operation, types of products sold, types of machinery and equipment used	<input checked="" type="checkbox"/>	<input type="checkbox"/>

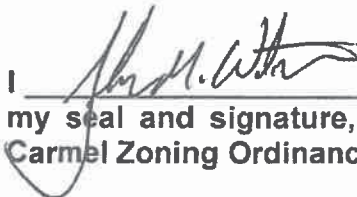


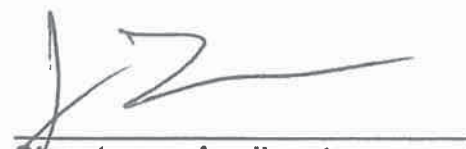
TOWN OF CARMEL SITE PLAN COMPLETENESS CERTIFICATION FORM

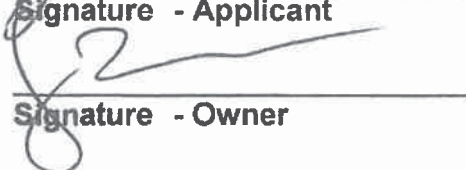


	<i>Requirement Data</i>	<i>To Be Completed by the Applicant</i>	<i>Waived by the Town</i>
16	The location of clubhouses, swimming pools, open spaces, parks or other recreational areas, and identification of who is responsible for maintenance	☐ N/A	☐
17	The location and design of buffer areas, screening or other landscaping, including grading and water management. A comprehensive landscaping plan in accordance with the Tree Conservation Law	☐ N/A	☐
18	The location of public and private utilities, maintenance responsibilities, trash and garbage areas	☐ N/A	☐
19	A list, certified by the Town Assessor, of all property owners within 500 feet of the site boundary	☑	☐
20	Any other information required by the Planning Board which is reasonably necessary to ascertain compliance with this chapter	☑	☐

Applicants Certification (to be completed by the licensed professional preparing the site plan:

I  hereby certify that the site plan to which I have attached my seal and signature, meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:


Signature - Applicant


Signature - Owner

3/22/24
Date

3/27/24
Date



Professionals Seal



TOWN OF CARMEL
**SITE PLAN COMPLETENESS
CERTIFICATION FORM**



Town Certification (to be completed by the Town)

I _____ hereby confirm that the site plan meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:

Rose Trombetta
Signature - Planning Board Secretary

3/28/24
Date

[Signature]
Signature - Town Engineer

3/27/24
Date

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

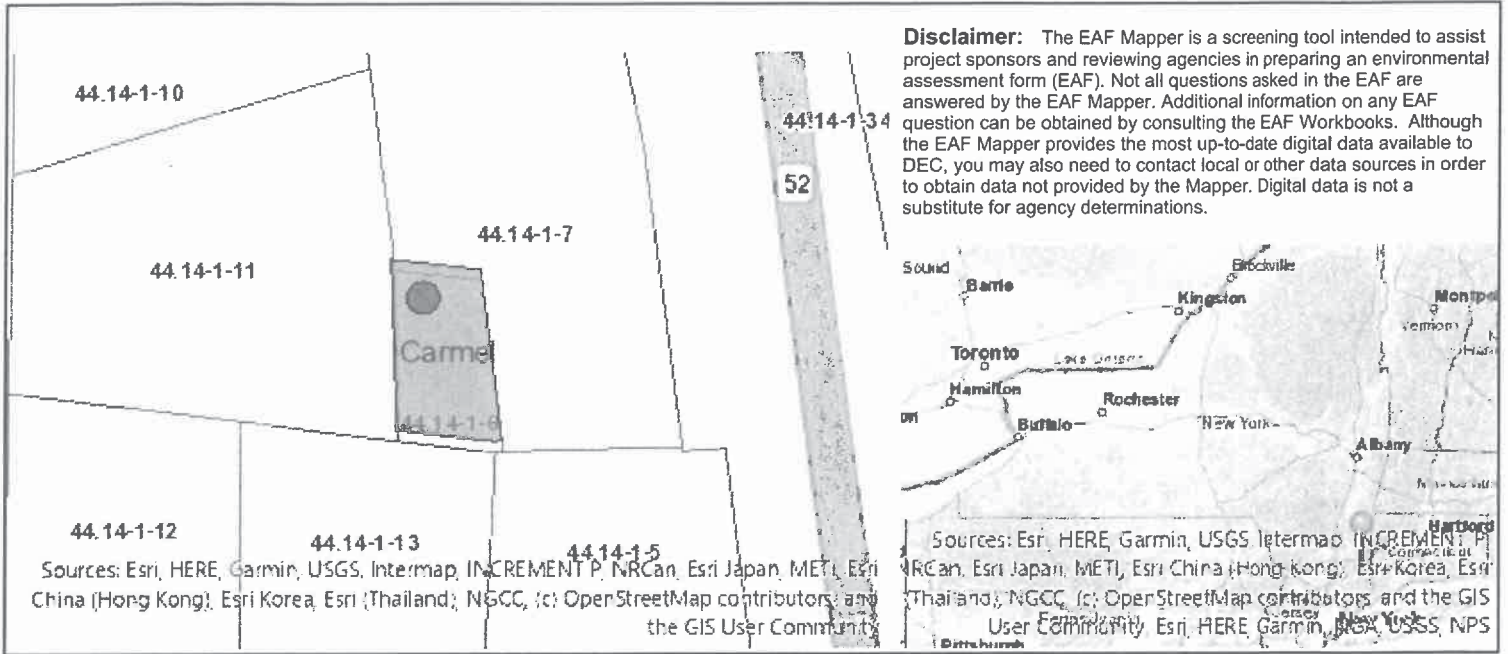
Part 1 – Project and Sponsor Information			
Name of Action or Project: 355 Huguenot, Inc.			
Project Location (describe, and attach a location map): 85 Gleneida Avenue, Carmel, NY			
Brief Description of Proposed Action: 355 Huguenot, Inc. provides mobile electronic remote starters, lettering and tinting to local car owners. The applicant is proposing a change of use for his property to retail sales and service establishment. Tax Map #44.14-1-6 in the C-commercial district. No exterior improvements are proposed as part of this application.			
Name of Applicant or Sponsor: 355 Huguenot, Inc. c/o John Zambrano		Telephone: 914-447-22220 E-Mail: huguenotinc@yahoo.com	
Address: 1511 Route 22, Suite 172			
City/PO: Brewster		State: NY	Zip Code: 10509
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Planning Board Site Plan Approval			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ 0.06 acres			
b. Total acreage to be physically disturbed? _____ 0 acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 0.06 acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

		NO	YES	N/A
5. Is the proposed action,	a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		NO	YES	
		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?		NO	YES	
If Yes, identify: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		NO	YES	
	b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?		NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?		NO	YES	
If No, describe method for providing potable water: _____ _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?		NO	YES	
If No, describe method for providing wastewater treatment: _____ _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?		NO	YES	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		NO	YES	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____				

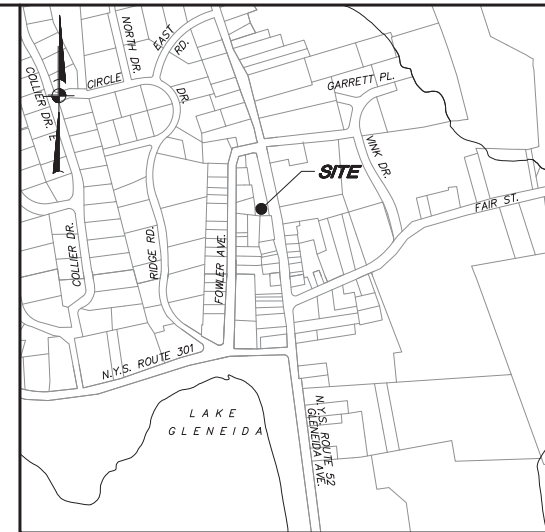
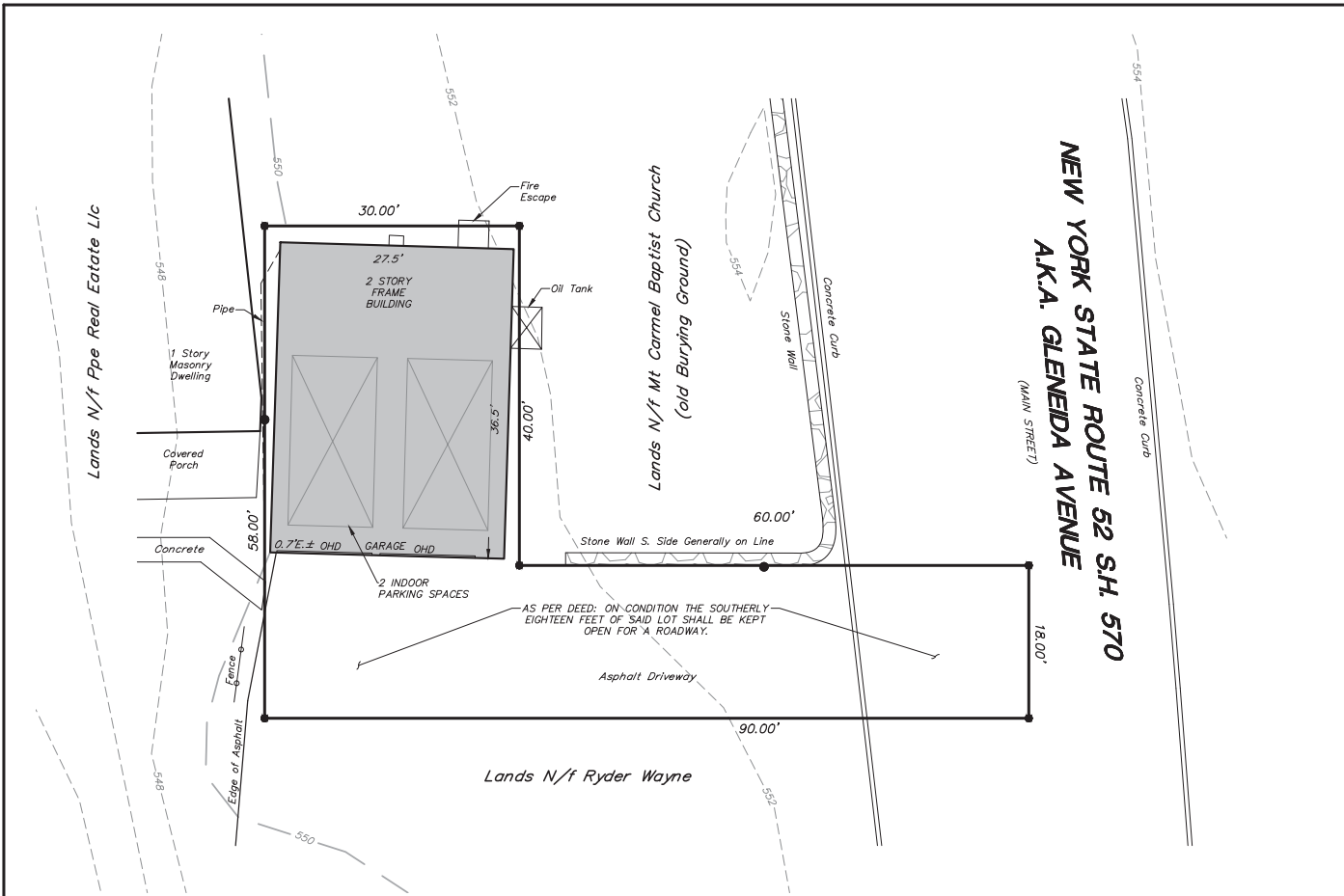
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? Northern Long-eared Bat	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor/name: John M. Watson, P.E. Date: March 25, 2024
Insite Engineering, Surveying & Landscape Architecture, P.C.
Signature:  Title: Senior Principal Engineer



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Northern Long-eared Bat
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes

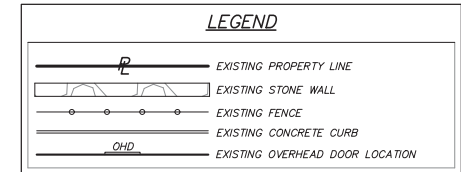


LOCATION MAP SCALE: 1" = 500'±

OWNER/APPLICANT: 355 Huguenot, Inc.
1511 Route 22 Suite 172
Brewster, NY 10509

SITE DATA: Zone: C- Commercial
Total Acreage 0.06 AC
Tax Map No.: 44-14-6

- GENERAL NOTES:**
- Property lines and locations shown hereon is taken from a survey prepared by Laisa Land Surveying, PLLC, dated September 7, 2023.
 - Topography shown hereon is taken from the Westchester County 2' contour, 1" = 100' scale GIS dataset dated April 2004. Elevations reference the North American Vertical Datum of 1988 (NAVD 88).
 - This site plan only to be used for site plan approval for change of use of subject property. No exterior improvements are associated with this project.

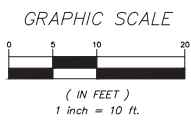


ZONE REQUIREMENTS TOWN OF CARMEL COMMERCIAL DISTRICT

	REQUIRED/ PERMITTED	EXISTING/PROPOSED
Minimum Lot Area:	40,000 s.f.	2,820 s.f. *
Minimum Lot Width:	200'	58' ± *
Minimum Lot Depth:	200'	90' ± *
Minimum Front Yard:	40'	62' ±
Minimum Side Yard:	25'	2' ± *
Minimum Rear Yard:	30'	1' ± *
Maximum Permitted Height of Buildings:	35'	< 35'
Minimum Required Floor Area of Buildings:	5,000 s.f.	1,000 s.f.*
Maximum Permitted Coverage of Lot by Buildings:	30%	35.6% *

* Pre-existing nonconforming condition

PARKING SUMMARY
Light Impact Industry
1,000 SF @ 1 space per 500 SF = 2 Spaces Required
Spaces Provided = 2 Parking Spaces (Indoor)



NO.	DATE	REVISION	BY
PROJECT:		355 HUGUENOT INC.	
DRAWING:		85 GLENEIDA AVENUE, TOWN OF CARMEL, PUTNAM COUNTY, NY	
PROJECT NUMBER		24123.100	PROJECT MANAGER
DATE		3-27-24	DRAWN BY
SCALE		1" = 10'	CHECKED BY
		X.X.X.	M.E.U.
		S.M.R.	
		DRAWING NO.	SHEET
		SP-1	1/1



ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

Z:\E\14123003\355 Huguenot Inc. 85 Gleneida Ave. Comm\103 - EP - Map - 3/27/2024 9:00:59 PM - en-04.dwg, 11



April 1, 2024

Town of Carmel Planning Board
60 McAlpin Avenue
Mahopac, New York 10541

RE: DAG Route 6 LLC
395 US Route 6
Town of Carmel
TM# 75.19-1-8 & 75.20-2-5

Dear Chairman Paeprrer and Members of the Board:

Please find enclosed the following plans and documents in support of an application for site plan approval for the above referenced project:

- Site plan set, revised April 1, 2024.
- Streetview Site Rendering
- Building Renderings, by William Bersharat.

In response to open comments received from Code Enforcement Director, Michael Carnazza, dated February 27, 2024, we offer the following responses:

3. The required side yard variance was granted at the March 28 meeting of the ZBA.

In response to open comments received from Town Engineer Richard Franzetti, PE, dated February 23, 2024, we offer the following responses:

Detailed Comments

1. Drawing SP-3 has been added to the site plan set, which includes vehicle movements. Sight distances at Bucks Hollow Road are shown on drawing SP-1. Existing driveway slopes are to remain. Internal to the site the slopes will vary from 2 to 5%, generally following the existing topography. At the entrance to Bucks Hollow Road the existing driveway varies from 3 to 6%.

With regard to signage at the Bucks Hollow Road exit, a stop sign and stop bar have been shown, along with a sign indicating the pedestrian trail crossing. It is noted that the bike trail already has stop control to accommodate the existing driveway that serves multiple properties.

2. Generic details for the proposed septic system have been provided on the project drawings. The details will be further advanced in future submissions as part of the design and permitting process with the PCDOH for the septic system. The applicant's architect has determined that sprinklers are not required for these buildings, and so, are not proposed.
3. Rim and invert elevations have been provided on the project drawings for the proposed drainage piping. The existing drainage pipes being bypassed are 18"-diameter corrugated

3 Garrett Place, Carmel, New York 10512 (845) 225-9690 Fax (845) 225-9717
www.insite-eng.com

metal pipe (CMP) at 0.3% and 2.8% slope, which have a capacity of 3.0 cfs and 9.1 cfs, respectively. The proposed drainage piping consists of 24"-diameter HDPE pipe at 1.3% slope with a capacity of 27.9 cfs, which far exceeds the existing drainage network proposed to be rerouted. It is noted that although a larger pipe is being provided, the system capacity is ultimately restrained by the downstream pipe network.

Per comments received from Town Planner, Patrick Cleary, dated February 28, 2024, we offer the following responses:

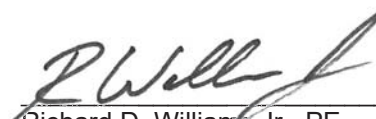
10. A detailed planting plan has been provided with a planting schedule. We have also provided a street view site rendering depicting a view from Bucks Hollow Road with the proposed in-filled hedge.

We respectfully request to be placed on the April 14, 2024, Planning Board agenda for discussion of the project with the Board. Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:

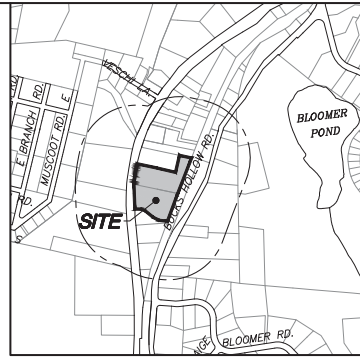
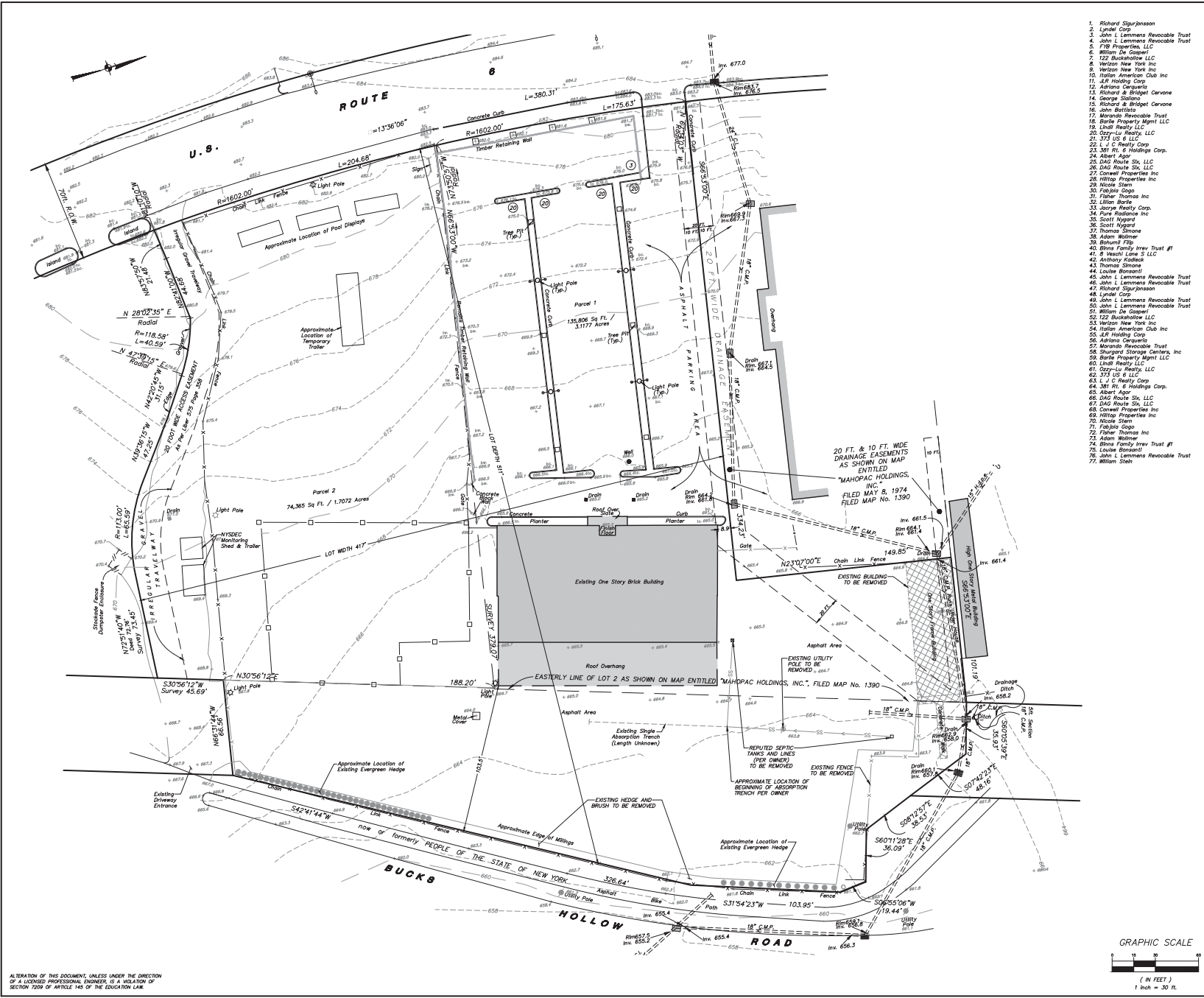

Richard D. Williams Jr., PE
Senior Principal Engineer

RDW/adt

Enclosures

cc: (All via email only) Nick Crecco

Insite File No. 16230.100



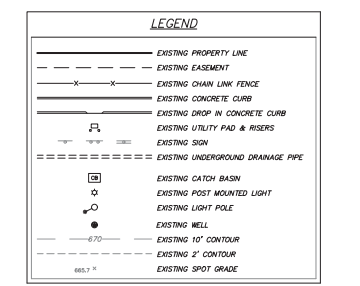
LOCATION MAP SCALE: 1" = 500'±

OWNER/APPLICANT: DAG ROUTE SIX, LLC
 PO BOX 638 MAHOPAC, NY 10541

SITE DATA: Zone: C
 Total Acreage: 4.84 AC ±
 Top Map No.: 7519-1-B
 7520-2-3

GENERAL NOTES:

- Boundary and topographic info shown hereon are taken from a survey entitled, "Topographic Survey of Property," prepared by Link Land Surveyors, P.C., dated January 2, 2013.
- The approximate locations of the pool displays and temporary trailer are taken from aerial orthorectified.



- Richard Sturjansson
- David Culp
- John L. Lemmas Revocable Trust
- F.Y.B. Properties, LLC
- William De Goopt
- 129 Buckshollow LLC
- Verizon New York Inc
- Verizon New York Inc
- Hallan American Club Inc
- J.P. Holding Corp
- Adrian Carpentis
- Richard & Bridget Carvone
- John Battaglia
- Moranda Revocable Trust
- Starke Property Mgmt LLC
- Linell Realty LLC
- 300 Green Leafy LLC
- 373 US & LLC
- J.C. Realty Corp
- 381 Rt. 6 Holdings Corp.
- Albert Apple
- DAG Route Six, LLC
- DAG Route Six, LLC
- Conwell Properties Inc
- Conwell Properties Inc
- Nicole Stern
- Robbie Cooper
- Fisher Thomas Inc
- Adam Walker
- Acure Realty Corp.
- Pure Residence Inc
- Scott Nygard
- Scott Nygard
- Thomas Simone
- Adam Walker
- Behnam Filip
- Blina Family Inv Trust #1
- A. Veschi Lane S LLC
- Anthony Scuderi
- Thomas Simone
- Louise Branson
- John L. Lemmas Revocable Trust
- John L. Lemmas Revocable Trust
- Richard Sturjansson
- John L. Lemmas Revocable Trust
- William De Goopt
- 129 Buckshollow LLC
- Hallan American Club Inc
- Hallan American Club Inc
- Adrian Carpentis
- Moranda Revocable Trust
- Shurgard Storage Centers, Inc
- DAG Route Six, LLC
- Conwell Properties Inc
- Conwell Properties Inc
- Nicole Stern
- Robbie Cooper
- Fisher Thomas Inc
- Adam Walker
- Blina Family Inv Trust #1
- Louise Branson
- John L. Lemmas Revocable Trust
- William De Goopt

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2	4-1-24	REVISED PER TOWN COMMENTS	KJK
1	2-19-24	REVISED PER TOWN COMMENTS	KJK

NO. DATE REVISION BY

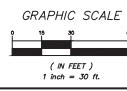
INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

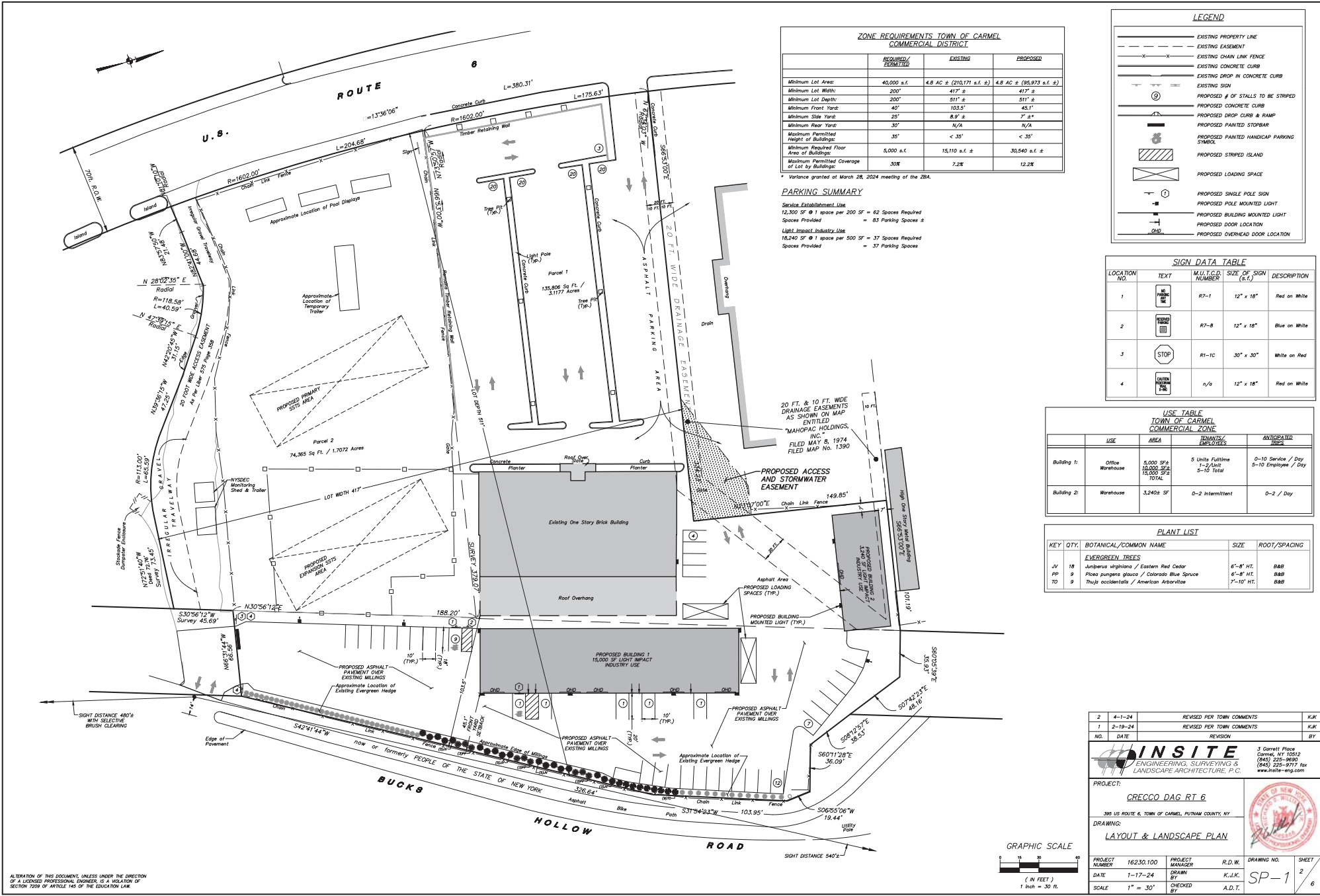
PROJECT: CRECCO DAG RT 6

385 US ROUTE 6, TOWN OF CAMEL, PUTNAM COUNTY, NY

DRAWING: EXISTING CONDITIONS AND REMOVALS PLAN

PROJECT NUMBER	16230.100	PROJECT MANAGER	R.D.W.	DRAWING NO.	EX-1	SHEET	1
DATE	1-17-24	BY	K.J.K.	CHECKED BY	A.D.T.		6
SCALE	1" = 30'						





ZONE REQUIREMENTS TOWN OF CARMEL COMMERCIAL DISTRICT

	REQUIRED / EXISTING	EXISTING	PROPOSED
Minimum Lot Area:	40,000 s.f.	4.8 AC ± (210,171 s.f. ±)	4.8 AC ± (85,973 s.f. ±)
Minimum Lot Width:	200'	417' ±	417' ±
Minimum Lot Depth:	200'	517' ±	517' ±
Minimum Front Yard:	40'	103.5'	43.1'
Minimum Side Yard:	25'	8.9' ±	7' ±
Minimum Rear Yard:	30'	N/A	N/A
Maximum Permitted Height of Buildings:	35'	< 35'	< 35'
Minimum Required Floor Area of Buildings:	5,000 s.f.	15,110 s.f. ±	30,540 s.f. ±
Maximum Permitted Coverage of Lot by Buildings:	30%	7.2%	12.2%

* Variance granted at March 28, 2024 meeting of the ZBA.

PARKING SUMMARY

Service Establishment Use
 12,300 SF @ 1 space per 200 SF = 62 Spaces Required
 Spaces Provided = 83 Parking Spaces ±

Light Impact Industry Use
 16,240 SF @ 1 space per 500 SF = 33 Spaces Required
 Spaces Provided = 37 Parking Spaces

LEGEND

- EXISTING PROPERTY LINE
- EXISTING EASEMENT
- x-x-x- EXISTING CHAIN LINK FENCE
- EXISTING CONCRETE CURB
- EXISTING DROP IN CONCRETE CURB
- EXISTING SIGN
- PROPOSED # OF STALLS TO BE STRIPPED
- PROPOSED CONCRETE CURB
- PROPOSED DROP CURB & RAMP
- PROPOSED PAINTED STOPBAR
- PROPOSED STRIPED ISLAND
- PROPOSED LOADING SPACE
- PROPOSED SINGLE POLE SIGN
- PROPOSED POLE MOUNTED LIGHT
- PROPOSED BUILDING MOUNTED LIGHT
- PROPOSED DOOR LOCATION
- PROPOSED OVERHEAD DOOR LOCATION

SIGN DATA TABLE

LOCATION NO.	TEXT	M.U.T.C.D. NUMBER	SIZE OF SIGN (s.f.)	DESCRIPTION
1	NO PARKING	R7-1	12" x 18"	Red on White
2	NO PARKING	R7-B	12" x 18"	Blue on White
3	STOP	R1-1C	30" x 30"	White on Red
4	NO PARKING	n/a	12" x 18"	Red on White

USE TABLE TOWN OF CARMEL COMMERCIAL ZONE

USE	AREA	TECHNICAL EMPLOYEES	ANTICIPATED TRIPS
Building 1:	Office Warehouse 5,000 SF ± 10,000 SF ± 15,000 SF ± TOTAL	5 Units Fulltime 1-2 Part 5-10 Total	0-10 Service / Day 5-10 Employee / Day
Building 2:	Warehouse 3,240 SF	0-2 Intermittent	0-2 / Day

PLANT LIST

KEY	QTY:	BOTANICAL/Common NAME	SIZE	ROOT/SPACING
EVERGREEN TREES				
JV	18	Juniperus virginiana / Eastern Red Cedar	6"-8" HT.	B&B
PP	9	Picea pungens glauca / Colorado Blue Spruce	6"-8" HT.	B&B
TO	9	Thuja occidentalis / American Arborvitae	7"-10" HT.	B&B

2 4-1-24 REVISED PER TOWN COMMENTS KJK
 1 2-19-24 REVISED PER TOWN COMMENTS KJK
 NO. DATE REVISION BY

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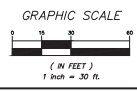
3 Corbett Place
 Carmel, NY 12012
 (845) 225-9690
 (845) 225-9717 fax
 www.insite-emp.com

PROJECT: **CRECCO DAG RT 6**

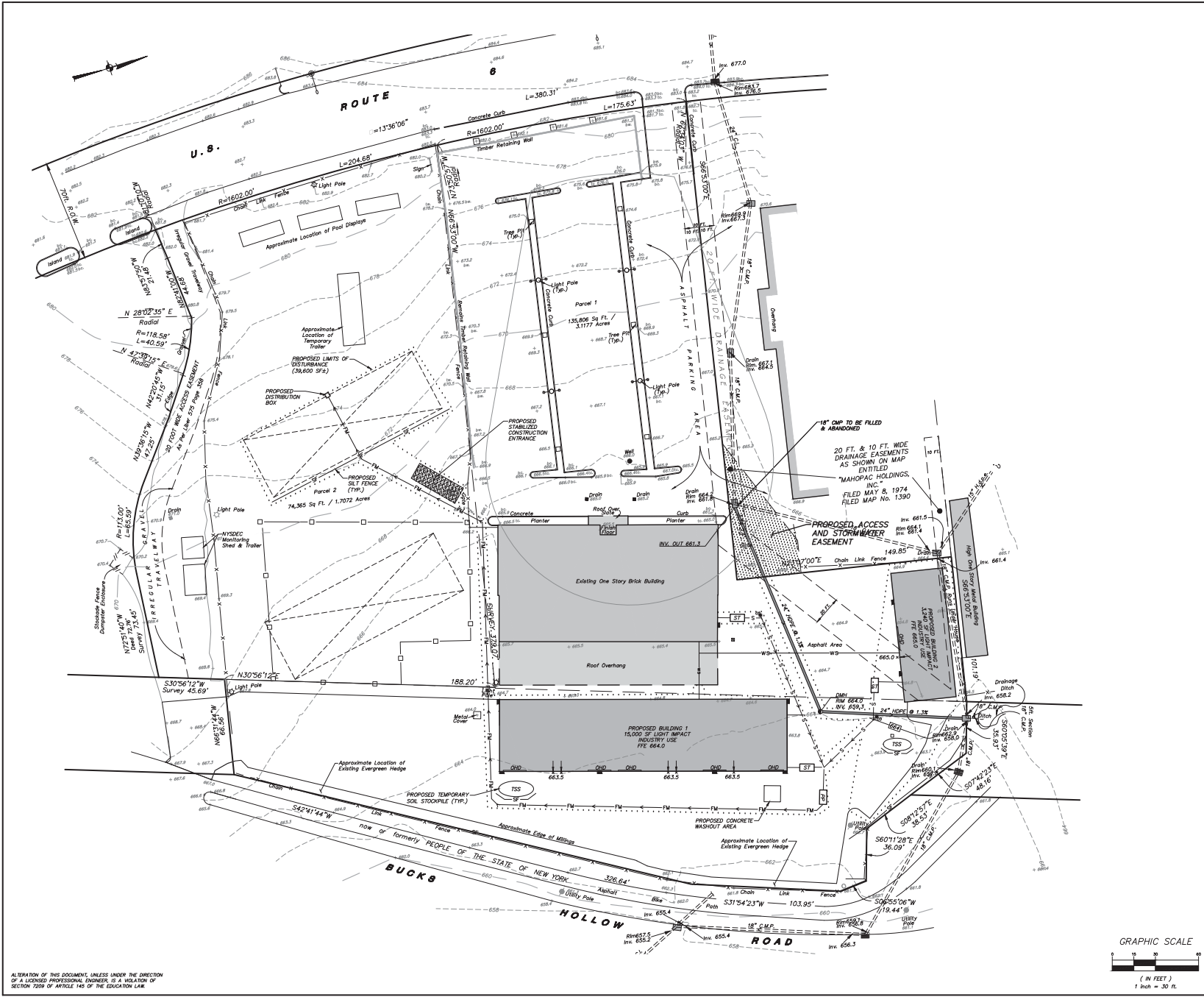
385 US ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NY

DRAWING: **LAYOUT & LANDSCAPE PLAN**

PROJECT NUMBER: 16230.100 PROJECT MANAGER: R.D.W. DRAWING NO.: SHEET
 DATE: 1-17-24 DRAWN BY: K.J.K. SP-1 2
 SCALE: 1" = 30' CHECKED BY: A.D.T. 6



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LEGEND

---	EXISTING PROPERTY LINE
- - - -	EXISTING EASEMENT
-x-x-	EXISTING CHAIN LINK FENCE
---	EXISTING CONCRETE CURB
---	EXISTING DROP IN CONCRETE CURB
---	EXISTING UNDERGROUND DRAINAGE PIPE
□	EXISTING CATCH BASIN
○	EXISTING POST MOUNTED LIGHT
○	EXISTING LIGHT POLE
●	EXISTING WELL
---	EXISTING 10' CONTOUR
---	EXISTING 2' CONTOUR
---	EXISTING SPOT GRADE
---	PROPOSED 10' CONTOUR
---	PROPOSED 2' CONTOUR
---	PROPOSED SPOT ELEVATION
●	PROPOSED SEWER MANHOLE
●	PROPOSED DRAINAGE MANHOLE
●	PROPOSED WATER SHUT OFF VALVE
●	PROPOSED WATER VALVE
---	PROPOSED DRAINAGE PIPE
---	PROPOSED SEWER FORCE MAIN
---	PROPOSED SEWER SERVICE LINE
---	PROPOSED DOMESTIC WATER SERVICE LINE
---	PROPOSED SILT FENCE
---	PROPOSED LIMITS OF DISTURBANCE
---	PROPOSED TEMPORARY SOIL STOCKPILE
---	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
---	PROPOSED STONE RIP-RAP

UTILITY NOTES:
 1. All proposed utilities are to be buried.

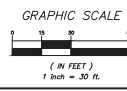
2	4-1-24	REVISED PER TOWN COMMENTS	KJK
1	2-19-24	REVISED PER TOWN COMMENTS	KJK
NO.	DATE	REVISION	BY

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 3 Corbett Place
 Corvett, NY 13052
 (845) 225-9690
 (845) 225-9717 fax
 www.insite-eng.com

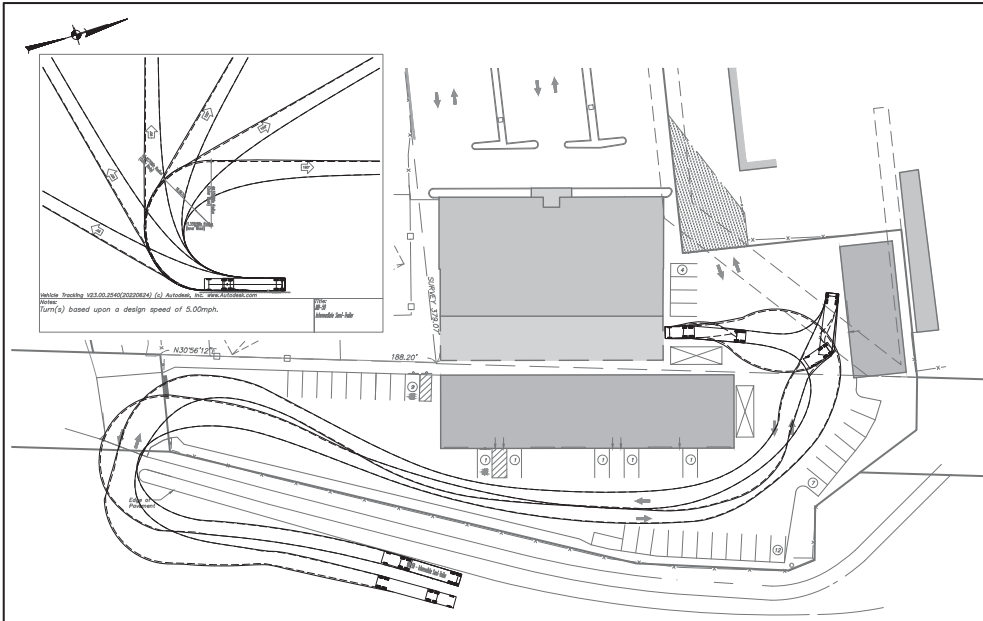
PROJECT:
CRECCO DAG RT 6
 385 US ROUTE 6, TOWN OF CAMEL, PUTNAM COUNTY, NY

DRAWING:
**GRADING, UTILITIES, &
 EROSION CONTROL PLAN**

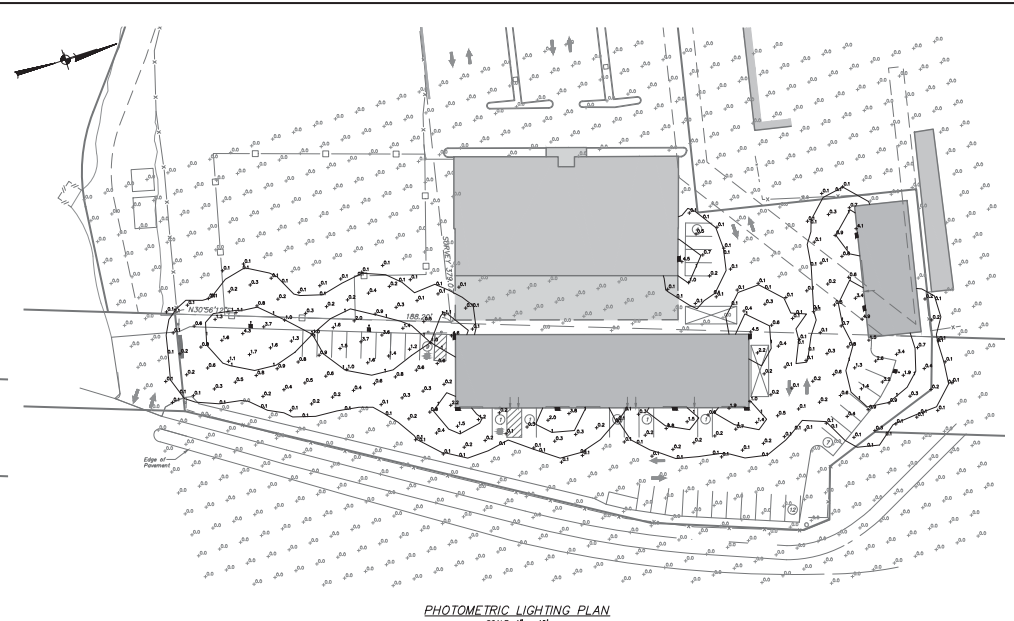
PROJECT NUMBER	16230.100	PROJECT MANAGER	R.D.W.	DRAWING NO.	SHEET
DATE	1-17-24	DRAWN BY	K.J.K.	BY	3
SCALE	1" = 30'	CHECKED BY	A.D.T.	DATE	6



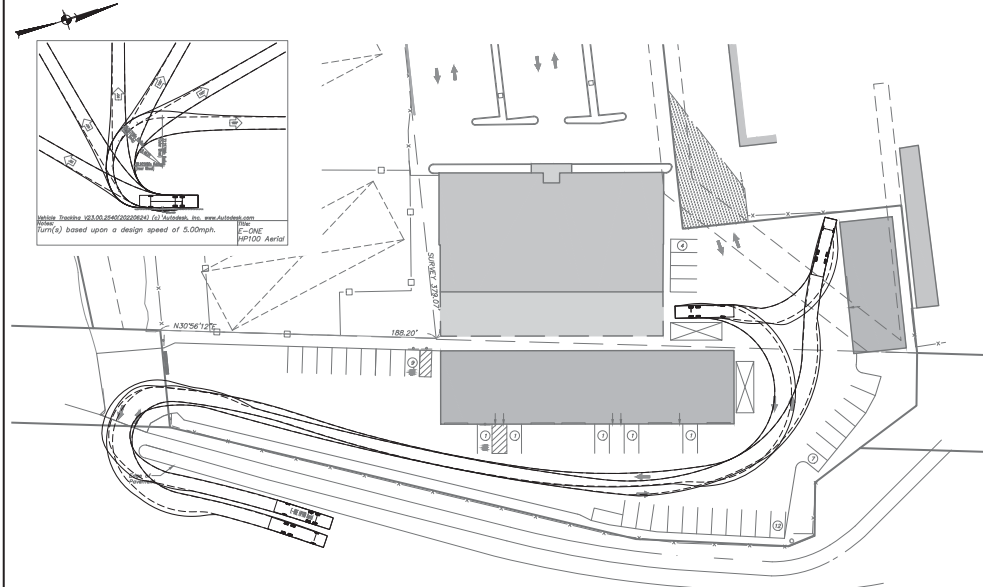
ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.



**WB-50 INTERMEDIATE SEMI-TRAILER -
VEHICLE MANEUVERING PLAN**
SCALE: 1" = 40'



PHOTOMETRIC LIGHTING PLAN
SCALE: 1" = 40'
Note: Existing lighting is not modeled.



**E-ONE HP100 AERIAL FIRE ENGINE -
VEHICLE MANEUVERING PLAN**
SCALE: 1" = 40'

LIGHTING NOTES:

1. All lighting shall be as noted on the plan or approved equal.
2. Style and finish of all luminaires to be selected by owner.
3. Proposed lights will run on photocells during regular business hours, and will run on motion sensors after hours.
4. Type, location, and shaping of all proposed lighting shall prevent the spillover of light onto adjacent properties.
5. All light fixtures to be full cutoff to comply with dark sky guidelines.

LIGHT CONTOUR LEGEND

0.1	0.10 Foot Candles
1	1.00 Foot Candles

* Photometric calculations shown on plan are in foot candles.

LUMINAIRE SCHEDULE

Qty	Qty	Catalog Number	Description	Lamp	Mounting Height	Watts
9	9	LDM-FC-30-ED-7040	LUMARK WALPAK CUTOFF 2LED 4000K	LED	12'-0"	27.2
3	3	RSX_LED_P1_30K_R4	RSX POLE MOUNTED AREA LUMINAIRE	LED	16'-0"	51.3

RSX2 LED Area Luminaire

Specifications

- EPA (R90°): 0.69 f' (0.66 m²)
- Length: 29.3" (74.4 cm) (SPA mount)
- Width: 13.4" (34.0 cm)
- Height: 3.0" (7.6 cm) Main Body / 1.2" (3.0 cm) Arm (SPA mount)
- Weight: 30.0 lbs (13.6 kg)

Electrical
LED fixtures and related electrical components are hard mounted to the die cast housing for correct beam aiming and operating efficiency. Wiring is embedded through a silicone gasket at the back of the housing. Three 1/2" threaded knockout wires provide allow for three branch wiring. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from LED source. Integrated LED electronics driver incorporates thermal relief designed to withstand a 9V surge and still in Class 2 rated for 100-277V with an operating temperature of 40° to 50°C. Wet.

Optical
Highly reflective anodized aluminum reflectors provide high efficiency illumination. Optical assemblies include impact resistant borosilicate protective glass, and full cutoff (SMA) compliant configurations. Painted, solid state LED luminaires are thermally optimized with three lens packages. HD models are offered in horizontal medium or mogul based solid state (MS) or high pressure sodium (HPS) lenses.

Door Assembly
Single point, captive stainless steel fasteners secure the removable fringed door allowing for ease of

House Shield

WP WAL-PAK

SPECIFICATION FEATURES

Housing
Rugged, impact resistant aluminum housing and integral, removable die cast aluminum door. One-piece silicone gasket seals the optical chamber. UL, ENEC wet location listed and IP68 ingress protection rated.

Electrical
LED fixtures and related electrical components are hard mounted to the die cast housing for correct beam aiming and operating efficiency. Wiring is embedded through a silicone gasket at the back of the housing. Three 1/2" threaded knockout wires provide allow for three branch wiring. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from LED source. Integrated LED electronics driver incorporates thermal relief designed to withstand a 9V surge and still in Class 2 rated for 100-277V with an operating temperature of 40° to 50°C. Wet.

Optical
Highly reflective anodized aluminum reflectors provide high efficiency illumination. Optical assemblies include impact resistant borosilicate protective glass, and full cutoff (SMA) compliant configurations. Painted, solid state LED luminaires are thermally optimized with three lens packages. HD models are offered in horizontal medium or mogul based solid state (MS) or high pressure sodium (HPS) lenses.

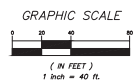
Door Assembly
Single point, captive stainless steel fasteners secure the removable fringed door allowing for ease of

Installation and maintenance
Door assembly is hinged at the bottom for easy removal, installation and re-lamping.

Finish
Finished in five stage super TFC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard color is bronze. Additional colors available in white, grey, bronze, black, dark platinum and graphite metallic. Consult your lighting representative at Cooper Lighting Solutions for a complete selection of standard colors. Options to meet the American and other domestic performance requirements.

Efficiency Standards Notice
Select luminaires are manufactured in USA and California efficiency regulations.

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2	4-1-24	REVISED PER TOWN COMMENTS	KJK
1	2-19-24	REVISED PER TOWN COMMENTS	KJK
NO.	DATE	REVISION	BY

INSITE
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3 Corbett Place
Corvett, NY 10512
(845) 225-9690
(845) 225-9717 fax
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PROJECT:
CRECCO DAG RT 6

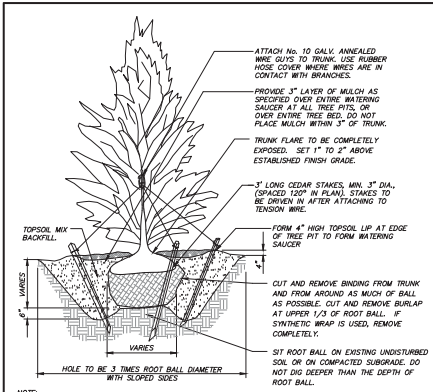
385 US ROUTE 6, TOWN OF CAMEL, PUTNAM COUNTY, NY

DRAWING:
VEHICLE MANEUVERING & LIGHTING PLAN

PROJECT NUMBER: 16230.100
DATE: 1-17-24
SCALE: 1" = 40'

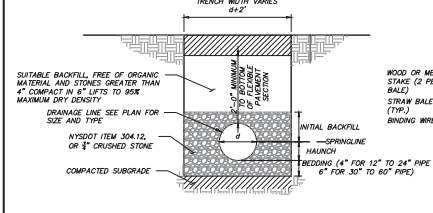
PROJECT MANAGER: R.D.W.
DRAWN BY: K.J.K.
CHECKED BY: A.D.T.

DRAWING NO.: SP-3
SHEET: 4 of 6

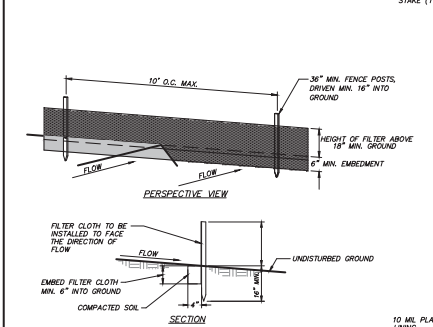


NOTE:
PROVIDE STAKING AND DIVING FOR TREES PLANTED ON SLOPES GREATER THAN 30:1 IN EXPOSED, WINDY AREAS AND AS SPECIFIED BY LANDSCAPE ARCHITECT. CUT WIRES AND STAKES SHALL BE REMOVED WITHIN THREE MONTHS OF PLANTING.

EVERGREEN TREE PLANTING DETAIL (N.T.S.)



DRAINAGE LINE TRENCH DETAIL (N.T.S.)



CONCRETE TRUCK WASHOUT DETAIL (N.T.S.)

CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER 1\"/>

STANDARD SILT FENCE DETAIL (N.T.S.)

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

GENERAL PLANTING NOTES:

1. All plantings shall be verified by the Town of Carmel Wetland Inspector.
2. All plantings shall be installed per §142 of the Town of Carmel code.
3. All proposed planting beds to receive a 12\"/>

CONSTRUCTION SEQUENCE:

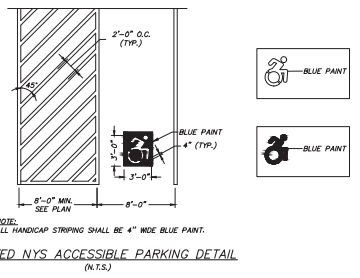
1. Install stabilized construction entrance/soil-trapping pad of driveway entrance.
2. Install silt fence in general locations indicated on the plan.
3. Begin clearing and grubbing operations, and remove existing drainage.
4. Strip and stockpile topsoil on site for later use in lawn and landscape areas.
5. Begin excavation for foundation and rough site grading.
6. Begin building construction and installation of SSES and water connections.
7. Install site drainage and connect Row Leader Drains.
8. Upon completion of grading operations, install finished driveway surfaces.
9. Install landscaping.
10. Topsoil, seed, and mulch all disturbed areas as soon as practical in accordance with the Erosion and Sediment Control Notes contained on this page.

EROSION & SEDIMENT CONTROL NOTES:

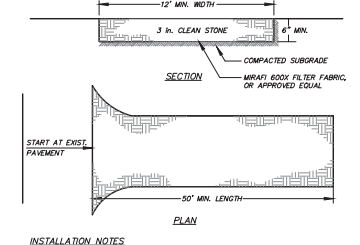
1. The owner's field representative (O.F.R.) shall be responsible for the implementation and maintenance of erosion and sediment control measures on this site prior to and during construction.
2. All construction activities involving the removal or disposition of soil are to be provided with appropriate protective measures to minimize erosion and contain sediment discharge within. Minimum soil erosion and sediment control measures shall be implemented as shown on the plans and shall be installed in accordance with "New York Standards and Specifications For Erosion and Sediment Control," latest edition.
3. Wherever feasible, natural vegetation shall be retained and protected. Disturbance shall be minimized in the areas required to perform construction. No more than 5 acres of unprotected soil shall be exposed at any one time.
4. When land is exposed during development, the exposure shall be kept to the shortest practical period of time. In the areas where soil disturbance activity has temporarily or permanently ceased, the application of soil stabilization measures must be initiated by the end of the next business day and completed within seven (7) days from the date the current soil disturbance activity ceased. Disturbance shall be minimized to the areas required to perform construction.
5. Silt fence shall be installed as shown on the plans prior to beginning any clearing, grubbing or earthwork.
6. All topsoil to be stripped from the area being developed shall be stockpiled and immediately seeded for temporary stabilization. Ryegrass (annual or perennial) at a rate of 30 lbs. per acre shall be used for temporary seeding in spring, summer or early fall. "Noxious" Water Pyle (Carex rye) shall be used for temporary seeding in late fall and winter.
7. Any disturbed areas not subject to further disturbance or construction traffic, permanent or temporary, shall have soil stabilization measures initiated for permanent vegetation cover in combination with a suitable mulch within 1 business day of final grading. All seeded areas to receive a minimum 4\"/>

REQUIRED SWPPP CONTENTS PER GP-0-20-001:

1. Forward to the NYSDC "Trained" General Permit for Stormwater Discharge from Construction Activity (GP-0-20-001), or Stormwater Pollution Prevention Plan's (SWPPP) shall include erosion and sediment control practices designed in conformance with the most current version of the technical standard, "New York Standards and Specifications for Erosion and Sediment Control." Where erosion and sediment control practices are not designed in conformance with the technical standard, the owner or contractor must not generate a discharge of stormwater. A listing of required SWPPP contents is provided in accordance with Part II.B.7.1 of the General Permit GP-0-20-001:
2. Background Information: The subject project consists of removal of an existing building and the construction of two new buildings (existing 11,140 SF), and the associated pavement, parking and utilities, including a new septic system.
3. Site map / construction drawings: These plans serve to satisfy this SWPPP requirement.
4. Description of the soils present at the site: Onsite soils located within the proposed limits of disturbance consist of Union Land (U) and Woodbridge Low (W), which is rated in the C/D hydrologic group.
5. Construction phasing plan / sequence of operations: The Construction Sequence and Phasing found on these plans provide the required phasing. A Construction Sequence and Erosion and Sediment Control Maintenance Schedule has been provided. The Sedimentation and Erosion Control Notes contained herein outline a general sequence of operations for the proposed project. In general all erosion and sediment control facilities shall be installed prior to commencement with land disturbing activities, and areas of disturbance shall be limited to the shortest period of time as practicable.
6. Description of erosion and sediment control practices: This plan, and details / notes shown herein serve to satisfy this SWPPP requirement.
7. Temporary and permanent soil stabilization plan: The Sedimentation and Erosion Control Notes and Details provided herein outline the erosion and permanent stabilization measures to be employed with respect to specific elements of the project, and at the various stages of development.
8. Site map / construction drawings: This plan serves to satisfy this SWPPP requirement.
9. The dimensions, material specifications, installation details, and operation and maintenance requirements for all erosion and sediment control practices: The details, Erosion and Sediment Control Notes, and Erosion and Sediment Control Maintenance Schedule serve to satisfy this SWPPP requirement.
10. An inspection schedule: Inspections are to be performed once weekly and by a qualified professional as required by the General Permit GP-0-20-001. In addition the NYSDC Trained Contractor shall perform additional inspections as cited in the Sedimentation and Erosion Control Notes.
11. A description of pollution prevention measures that will be used to control filter, construction chemicals and construction debris: In general, all construction filter / debris shall be collected and removed from the site. The general contractor shall supply either waste barrels or dumpsters for proper waste disposal. Any construction chemicals utilized during construction shall either be removed from site daily by the contractor or stored in a structurally sound and weatherproof building. No hazardous waste shall be disposed of onsite, and all ultimately be disposed of in accordance with all federal, state and local regulations. Material Safety Data Sheets (MSDS), material inventory, and emergency contact numbers shall be maintained by the general contractor for all construction chemicals utilized onsite. Finally, temporary sanitary facilities (portable toilets) shall be provided onsite during the entire length of construction, and inspected weekly for evidence of leaking holding tanks.
12. A description and location of any stormwater discharges associated with industrial activity other than construction at the site: There are no known industrial stormwater discharges present or proposed at the site.
13. Identification of any elements of the design that are not in conformance with the technical standard, "New York Standards and Specifications for Erosion and Sediment Control": All proposed elements of this SWPPP have been designed in accordance with the "New York Standards and Specifications for Erosion and Sediment Control."

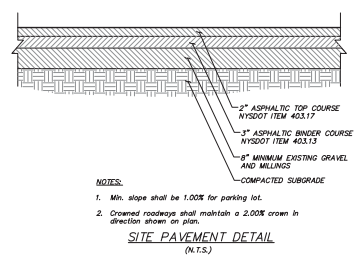


PAINTED NYSP ACCESSIBLE PARKING DETAIL (N.T.S.)

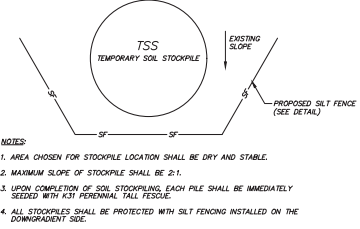


INSTALLATION NOTES

1. STONE SIZE - USE 3\"/>



SITE PAVEMENT DETAIL (N.T.S.)



TEMPORARY SOIL STOCKPILE DETAIL (N.T.S.)

STABILIZED CONSTRUCTION ACCESS DETAIL (N.T.S.)

NO.	DATE	REVISION	BY
2	4-1-24	REVISED PER TOWN COMMENTS	K.J.K.
1	2-19-24	REVISED PER TOWN COMMENTS	K.J.K.

INSITE
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

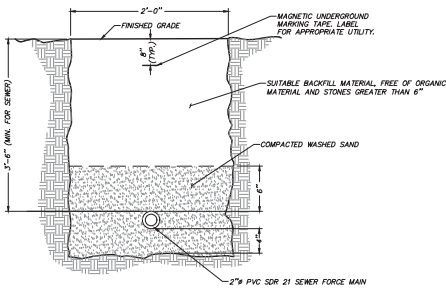
PROJECT: CRESCO DAG RT 6

385 US ROUTE 6, TOWN OF CAMEL, PUTNAM COUNTY, NY

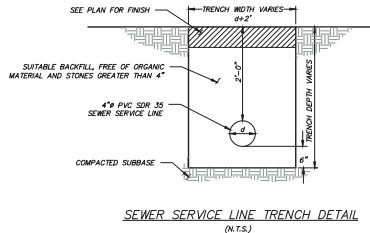
DRAWING: DETAILS

PROJECT NUMBER: 16230.100 PROJECT MANAGER: R.D.W.
DATE: 1-17-24 DRAWN BY: K.J.K.
SCALE: N.T.S. CHECKED BY: A.D.T.

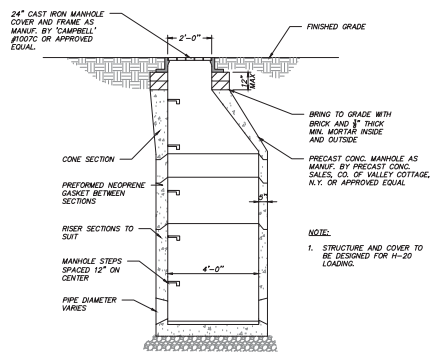
DRAWING NO. SHEET: D-1 5



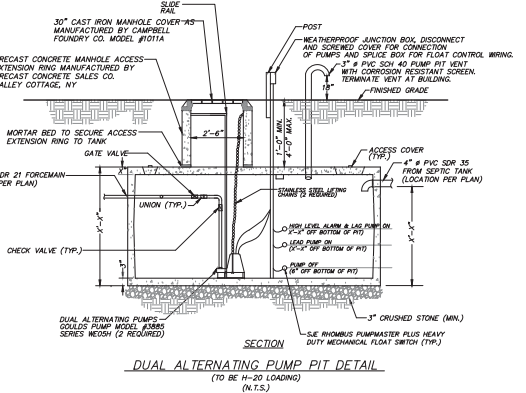
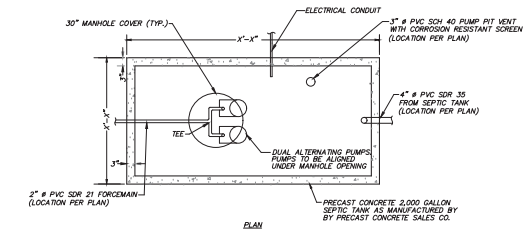
SEWER FORCE MAIN TRENCH DETAIL
(N.T.S.)



SEWER SERVICE LINE TRENCH DETAIL
(N.T.S.)



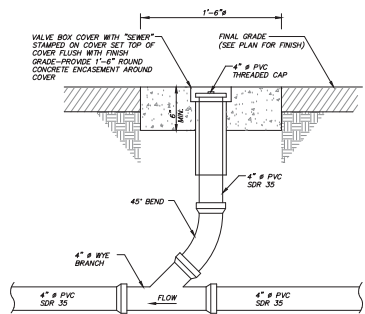
DRAINAGE MANHOLE DETAIL
(N.T.S.)



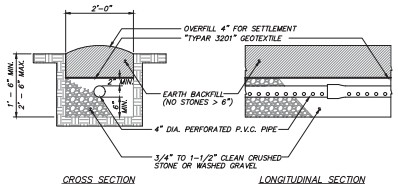
PUMP PIT NOTES:

1. PUMP CONTROL PANEL AND AUDIO/VISUAL ALARM SHALL BE LOCATED UNDER THE BUILDING.
2. ALL ELECTRICAL WORK AND MATERIAL TO COMPLY WITH THE NATIONAL ELECTRICAL CODE REQUIREMENTS FOR CLASS I GROUP 2, DIVISION 1 LOCATIONS.
3. ALL MODEL NUMBERS SPECIFIED ARE FROM GOLDAS PUMPS, INC., SENECA FALLS, NEW YORK. CAN ONLY BE SUBSTITUTED WITH APPROVAL FROM DESIGN ENGINEER.
4. AN ELECTRICAL UNDERWRITER'S CERTIFICATE FOR THE PUMP CHAMBER COMPONENTS MUST BE PROVIDED TO THE COUNTY DEPARTMENT OF HEALTH AS A PART OF THE CONSTRUCTION COMPLIANCE SUBMISSION PACKAGE.
5. EACH PUMP AND ALARM TO BE CONNECTED TO SEPARATE CIRCUITS.
6. PUMPS, GATE VALVES AND UNIONS MUST BE LOCATED UNDER MANHOLE OPENING AND BE ACCESSIBLE WITHOUT HAVING TO ENTER THE PUMP PIT.
7. REMOVE ALL BAFFLES FROM THE TANK.
8. THE FLOAT SETTINGS NOTED ARE FOR A PUMP PIT WITH THE SPECIFIC DIMENSIONS SHOWN HEREON. CONTACT THE DESIGN ENGINEER FOR THE PROPER FLOAT SETTINGS IF A PUMP PIT WITH DIFFERENT DIMENSIONS IS USED.

DUAL ALTERNATING PUMP PIT DETAIL
(TO BE H-20 LOADING)
(N.T.S.)

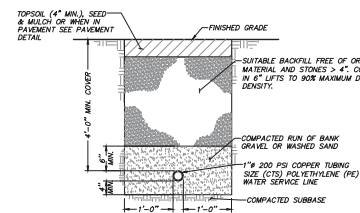


SEWER LINE CLEANOUT DETAIL
(N.T.S.)

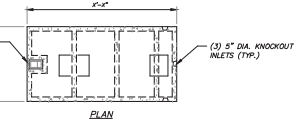


- NOTES:
1. PROVIDE 2' OF SOLID PIPE AT THE BEGINNING OF EVERY TRENCH.
 2. PROVIDE END CAPS AT THE END OF EACH ABSORPTION TRENCH.
 3. THE SLOPE OF THE PERFORATED PIPES SHALL BE BETWEEN A MINIMUM OF 1/32"/FT AND A MAXIMUM OF 1/16"/FT, UNLESS THE TRENCHES ARE DOSED BY PUMPING OR BY A DOSED TANK. SOLID TRENCHES SHALL BE LEVEL.
 4. A MINIMUM FOUR (4) FOOT SEPARATION DISTANCE MUST BE PROVIDED BETWEEN THE BOTTOM OF THE ABSORPTION TRENCH AND THE PRESENCE OF SEASONAL HIGH GROUND WATER AND FIVE (5) FOOT SEPARATION TO LEDGE ROCK.

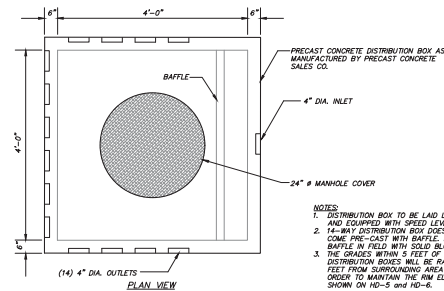
ABSORPTION TRENCH DETAIL
(N.T.S.)



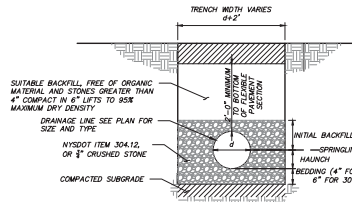
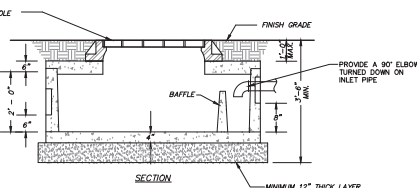
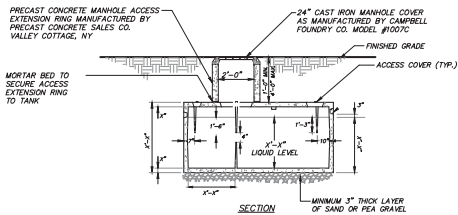
WATER SERVICE LINE TRENCH DETAIL
(N.T.S.)



SEPTIC TANK DETAIL
(TO BE DESIGNED FOR H-20 LOADING WHEN IN PAVEMENT)
(N.T.S.)



14 WAY DISTRIBUTION BOX DETAIL
(N.T.S.)



DRAINAGE LINE TRENCH DETAIL
(N.T.S.)

NO.	DATE	REVISION	BY
PROJECT: CRECCO DAG RT 6			
385 US ROUTE 6, TOWN OF CAMEL, PUTNAM COUNTY, NY			
DETAILS			
PROJECT NUMBER	16230.100	PROJECT MANAGER	R.D.W.
DATE	4-1-24	DRAWN BY	K.J.K.
SCALE	N.T.S.	CHECKED BY	A.D.T.
			DRAWING NO. D-2
			SHEET 6

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.



GENERAL NOTES:

1. The background image is taken from Google street view from Bucks Hollow Road.
2. The building architecture is taken from renderings provided by Rayex Design, Planning and Construction.
3. The rendering provided is not an exact scale 3d model of the proposed structure and surrounding environs. The rendering was generated by best fitting known dimensions of the architectural renderings to actual site dimensions and adjusting as appropriate to obtain the best fit.
4. Landscaping shown hereon represents the proposed plantings 2-4 years after installation.

Z:\16320100 Crecco Dag Route 6 R-1.dwg, 4/1/2024 8:46:30 AM, arhyang, 11

PROJECT: CRECCO DAG RT 6
 395 US ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NY

DRAWING: STREET VIEW
RENDERING

PREPARED BY:



INSITE
 ENGINEERING, SURVEYING &
 LANDSCAPE ARCHITECTURE, P.C.
 3 Garrett Place • Carmel, New York 10512
 Phone (845) 225-9690 • Fax (845) 225-9717
 www.insite-eng.com

DATE: 4-1-24

SCALE: NTS

PROJECT NO.: 16320.100

FIGURE: R-1







March 27, 2024

Town of Carmel Planning Board
60 McAlpin Avenue
Mahopac, NY 10541

RE: Knights of Columbus
10 Fair Street
Town of Carmel
TM# 44.18-1-20

Dear Chairman Paepre and Members of the Board:

Please find enclosed the following plans and documents in support of an application for site plan approval for the above referenced project:

- Site Plan, dated March 27, 2024. (5 copies)
- Site Plan Application. (5 copies)
- Disclosure Statement. (2 copies)
- Site Plan Completeness Certification Form. (5 copies)
- Drawing A-4, "Proposed Future Plan & Elevations", prepared by SG Architects, dated January 18, 2024. (5 copies)
- Short Environmental Assessment Form. (5 copies)
- Deed. (2 copies)
- List of 500' Adjoiners. (5 copies)
- Check in the amount of \$2,000 for Site Plan Application Fee.

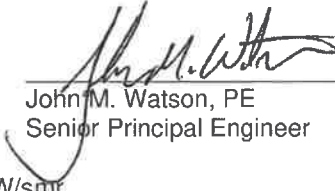
The applicant, 6318 Associates on behalf of Knights of Columbus, is proposing to construct an 800 s.f. building addition in the rear of their existing building on Fair Street in the Town of Carmel. A retaining wall will be removed and replaced to accommodate the building addition. The Knights of Columbus raises funds for numerous community organizations, and uses their property for gatherings and events. This building addition will allow them to accommodate a wider range of programs.

Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:


John M. Watson, PE
Senior Principal Engineer

JMW/smr

Enclosures

cc: Joseph Sinisi, via email
Anthony Falco, via email

3 Garrett Place, Carmel, New York 10512 (845) 225-9690 Fax (845) 225-9717
www.insite-eng.com

Z:\E\24130100 Knights of Columbus, Fair St., Carmel\Correspondence\2024\032724cpb.doc



TOWN OF CARMEL SITE PLAN APPLICATION INSTRUCTIONS



The Town of Carmel Planning Board meetings are held twice a month, on the second **Thursday** and fourth **Wednesday**, at 7:00 PM at Carmel Town Hall, 60 McAlpin Avenue, Carmel

The submission deadline is 10 days prior to the Planning Board meeting. New site plan applications that have been deemed complete will be placed on the agenda in the order they are received.

No application will be placed on the agenda that is incomplete

Pre-Submission:

Prior to the formal submission of the site plan, a pre-submission conference may be requested by the applicant to be conducted with representatives from the Town, which may include the Town Planner, Town Engineer, Director of Code Enforcement and/or the Planning Board Attorney. This conference will serve to educate the applicant on the process he/she must follow, clarify the information required to submit a complete site plan application, and to highlight any specific areas of concern. You may arrange a pre-submission conference through the Planning Board Secretary at (845) 628-1500 extension 190.

Submission Requirements:

At least 10 days prior to the Planning Board meeting, the site plan application shall be submitted to the Planning Board Secretary as follows:

All site plans shall be signed, sealed and folded with the title box legible. The application package shall include:

- 5 copies of the Site Plan Application Form, signed and notarized.
- 5 copies of the SEQR Environmental Assessment Form (use of short form or long form shall be determined at pre-submission conference).
- 5 full size sets of the Site Plan (including floor plans and elevations)
- 1 CD (in pdf. format) containing an electronic version of the Site Plan
- 2 copies of the Disclosure Statement
- 5 copies of the Site Plan Completeness Certification Form
- All supplemental studies, reports, plans and renderings.
- 2 copies of the current deed.
- 2 copies of all easements, covenants and restrictions.
- The appropriate fee, determined from the attached fee schedule. Make checks payable to the *Town of Carmel*.


 Planning Board Secretary; Date


 Town Engineer; Date



TOWN OF CARMEL SITE PLAN APPLICATION



Per Town of Carmel Code – Section 156 - Zoning

SITE IDENTIFICATION INFORMATION		
Application Name: 6318 Associates - Knights of Columbus	Application # 24-0009	Date Submitted: 3-27-24
Site Address: No. 10 Street: Fair Street Hamlet: Carmel		
Property Location: (Identify landmarks, distance from intersections, etc.) 200'± East of the intersection of Gleneida Ave and Fair Street		
Town of Carmel Tax Map Designation: Section 44.18 Block 1 Lot(s) 20	Zoning Designation of Site: C-Commercial	
Property Deed Recorded in County Clerk's Office Date 5/14/2019 Liber 2118 Page 284	Liens, Mortgages or other Encumbrances Yes <input checked="" type="radio"/> No	
Existing Easements Relating to the Site No <input checked="" type="radio"/> Yes Describe and attach copies: See attached drive and parking easement with Putnam County	Are Easements Proposed? <input checked="" type="radio"/> No Yes Describe and attach copies:	
Have Property Owners within a 500' Radius of the Site Been Identified? <input checked="" type="radio"/> Yes No Attached List to this Application Form		
APPLICANT/OWNER INFORMATION		
Property Owner: 6318 Associates, Inc	Phone #: 914-907-4802	Email: anthonyfalco17@gmail.com
Owners Address: No. 10 Street: Fair Street Town: Carmel State: NY Zip: 10512		
Applicant (If different than owner): Same	Phone #: 	Email:
Applicant Address (If different than owner): No. Street: Town: State: Zip:		
Individual/ Firm Responsible for Preparing Site Plan: John M. Watson, P.E. Insite Engineering, Surveying & Landscape Architecture, PC	Phone #: 845-225-9690 Fax#: 845-225-9717	Email: jwatson@insite-eng.com
Address: No. 3 Street: Garrett Place Town: Carmel State: NY Zip: 10512		
Other Representatives:	Phone #: 	Email:
Owners Address: No. Street: Town: State: Zip:		
PROJECT DESCRIPTION		
Describe the project, proposed use and operation thereof: The applicant proposes to construct an 800 s.f. building addition and retaining wall in the rear of the existing building. An existing asphalt patio, fence and retaining wall will be removed. The building addition will support the events and operation of the Knights of Columbus.		

TOWN OF CARMEL SITE PLAN APPLICATION

PROJECT INFORMATION			
Lot size: Acres: 0.386	Square Feet: 16,833 sf	Square footage of all existing structures (by floor): 3,500 +/- first floor, 3,500 +/- second floor	
# of existing parking spaces: 90	# of proposed parking spaces: 90		
# of existing dwelling units: None	# of proposed dwelling units: None		
Is the site served by the following public utility infrastructure:			
<ul style="list-style-type: none"> ▪ Is project in sewer district or will private septic system(s) be installed? <u>yes- sewer district</u> ▪ If yes to Sanitary Sewer answer the following: <ul style="list-style-type: none"> ▶ Does approval exist to connect to sewer main? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> ▶ Is this an in-district connection? <u>x</u> Out-of district connection? _____ ▶ What is the total sewer capacity at time of application? <u>TBD</u> ▶ What is your anticipated average and maximum daily flow? <u>50 gal/day</u> 			
<i>For Town of Carmel Town Engineer</i>			
▶ What is the sewer capacity _____			
<ul style="list-style-type: none"> ▪ Water Supply Yes: <input type="checkbox"/> No: <input type="checkbox"/> If Yes: <ul style="list-style-type: none"> ▶ Does approval exist to connect to water main? Yes: <input type="checkbox"/> No: <input type="checkbox"/> ▶ What is the total water capacity at time of application? _____ ▶ What is your anticipated average and maximum daily demand _____ ▪ Storm Sewer Yes: <input type="checkbox"/> No: <input type="checkbox"/> ▪ Electric Service Yes: <input type="checkbox"/> No: <input type="checkbox"/> ▪ Gas Service Yes: <input type="checkbox"/> No: <input type="checkbox"/> • Telephone/Cable Lines Yes: <input type="checkbox"/> No: <input type="checkbox"/> 			
<i>For Town of Carmel Town Engineer</i>			
Water Flows <u>4/1/24</u>			
Sewer Flows _____			
Town Engineer; Date _____			
What is the predominant soil type(s) on the site? Uf urban land		What is the approximate depth to water table? greater than 6.5 feet	
Site slope categories: 15-25% <u>8.2</u> % 25-35% <u>4.2</u> % >35% <u>1.0</u> %			
Estimated quantity of excavation:		Estimated quantity of excavation:	
Cut (C.Y.) <u>n/a</u>		Fill (C.Y.) <u>n/a</u>	
Is Blasting Proposed Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> Unknown: <input type="checkbox"/>			
Is the site located in a designated Critical Environmental Area? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Does a curb cut exist on the site? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	Are new curb cuts proposed? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	What is the sight distance? Left <u>200'</u> ± Right <u>600'</u> ±	
Is the site located within 500' of:			
• The boundary of an adjoining city, town or village			Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
• The boundary of a state or county park, recreation area or road right-of-way			Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>
• A county drainage channel line.			Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
• The boundary of state or county owned land on which a building is located			Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>

what is use now
 How many peop
 ?

TOWN OF CARMEL SITE PLAN APPLICATION



Is the site listed on the State or Federal Register of Historic Place (or substantially contiguous) Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Is the site located in a designated floodplain? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Will the project require coverage under the Current NYSDEC Stormwater Regulations Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Will the project require coverage under the Current NYCDEP Stormwater Regulations Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Does the site disturb more than 5,000 sq ft	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
Does the site disturb more than 1 acre	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
Does the site contain freshwater wetlands? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Jurisdiction: NYSDEC: <input type="checkbox"/> Town of Carmel: <input checked="" type="checkbox"/>	
<i>If present, the wetlands must be delineated in the field by a Wetland Professional, and survey located on the Site Plan.</i>	
Are encroachments in regulated wetlands or wetland buffers proposed? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Does this application require a referral to the Environmental Conservation Board?	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
Does the site contain waterbodies, streams or watercourses? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Are any encroachments, crossings or alterations proposed? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Is the site located adjacent to New York City watershed lands? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Is the project funded, partially or in total, by grants or loans from a public source? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Will municipal or private solid waste disposal be utilized? County of Putnam Public: <input checked="" type="checkbox"/> Private: <input type="checkbox"/>	
Has this application been referred to the Fire Department? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
What is the estimated time of construction for the project? July 2024	

ZONING COMPLIANCE INFORMATION

Zoning Provision	Required	Existing	Proposed
Lot Area	0.92 AC	0.386 AC*	
Lot Coverage	30%	21%	26%
Lot Width	200'	85' ±*	No Change
Lot Depth	200'	90' ±*	No Change
Front Yard	40'	21.5' ±*	No Change
Side Yard	25'	8.7' ±*	No Change
Rear Yard	30'	25.4' ±*	1.4' **
Minimum Required Floor Area	5,000 sf	7,000 sf ±	7,800 sf ±
Floor Area Ratio	N/A	N/A	N/A
Height	35'	<35'	<35'
Off-Street Parking	52	90	90
Off-Street Loading	0	0	0

* Existing non-conforming condition.
** Variance requested.

TOWN OF CARMEL SITE PLAN APPLICATION

Will variances be required? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	If yes, identify variances: A rear yard setback will be requested. See attached site plan for further information.
PROPOSED BUILDING MATERIALS	
Foundation	Poured concrete
Structural System	Wood frame construction
Roof	Truss / Wood frame construction (TBD)
Exterior Walls	Wood frame construction
APPLICANTS ACKNOWLEDGEMENT	
I hereby depose and certify that all the above statements and information, and all statements and information contained in the supporting documents and drawings attached hereto are true and correct.	
<u>ANTHONY FALCO - DIRECTOR</u> Applicants Name	 Applicants Signature
Sworn before me this <u>27th</u> day of <u>March</u> 20 <u>24</u>	
 Notary Public	

Alicia Hansen
 Notary Public, State of New York
 Reg. # 01HA6086470
 Qualified in Dutchess County
 Commission Expires January 21, 2027



TOWN OF CARMEL SITE PLAN COMPLETENESS CERTIFICATION FORM



All Site Plans submitted to the Planning Board for review shall include the following information and details, as set forth in Section 156-61 B of the Town of Carmel Zoning Ordinance.

This form shall be included with the site plan submission

	Requirement Data	To Be Completed by the Applicant	Waived by the Town
1	Name and title of person preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2	Name of the applicant and owner (if different from applicant)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3	Original drawing date, revision dates, scale and north arrow	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4	Tax map, block and lot number(s), zoning district	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5	All existing property lines, name of owner of each property within a 500' radius of the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6	Contour lines at two-foot intervals, grades of all roads, driveways, sanitary and storm sewers	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7	The location of all water bodies, streams, watercourses, wetland areas, wooded areas, rights-of-way, streets, roads, highways, railroads, buildings, structures	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8	The location of all existing and proposed easements	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9	The location of all existing and proposed structures, their use, setback dimensions, floor plans, front, side and rear elevations, buildable area.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10	On site circulation systems, access, egress ways and service roads, emergency service access and traffic mitigation measures	N/A <input type="checkbox"/>	<input type="checkbox"/>
11	Sidewalks, paths and other means of pedestrian circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12	On-site parking and loading spaces and travel aisles with dimensions	<input checked="" type="checkbox"/>	<input type="checkbox"/>
13	The location, height and type of exterior lighting fixtures	N/A <input type="checkbox"/>	<input type="checkbox"/>
14	Proposed signage	N/A <input type="checkbox"/>	<input type="checkbox"/>
15	For non-residential uses, an estimate of the number of employees who will be using the site, description of the operation, types of products sold, types of machinery and equipment used	N/A <input type="checkbox"/>	<input type="checkbox"/>

Show on drawing

?
?
?




TOWN OF CARMEL SITE PLAN COMPLETENESS CERTIFICATION FORM



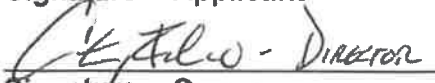
Requirement Data	To Be Completed by the Applicant	Waived by the Town
16 The location of clubhouses, swimming pools, open spaces, parks or other recreational areas, and identification of who is responsible for maintenance	<input type="checkbox"/> N/A	<input type="checkbox"/>
17 The location and design of buffer areas, screening or other landscaping, including grading and water management. A comprehensive landscaping plan in accordance with the Tree Conservation Law	<input type="checkbox"/> N/A	<input type="checkbox"/>
18 The location of public and private utilities, maintenance responsibilities, trash and garbage areas	<input type="checkbox"/> N/A	<input type="checkbox"/>
19 A list, certified by the Town Assessor, of all property owners within 500 feet of the site boundary	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20 Any other information required by the Planning Board which is reasonably necessary to ascertain compliance with this chapter	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Applicants Certification (to be completed by the licensed professional preparing the site plan:

I  hereby certify that the site plan to which I have attached my seal and signature, meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:

 - DIRECTOR
Signature - Applicant

3/27/24
Date

 - DIRECTOR
Signature - Owner

3/27/24
Date



Professionals Seal



TOWN OF CARMEL
**SITE PLAN COMPLETENESS
CERTIFICATION FORM**



Town Certification (to be completed by the Town)

I _____ hereby confirm that the site plan meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:

Rose Tronchetti

Signature - Planning Board Secretary

4/1/24

Date

Richard [Signature]

Signature - Town Engineer

4/1/24

Date

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: 6318 Associates - Knights of Columbus			
Project Location (describe, and attach a location map): 10 Fair Street, Carmel, NY See attached Site Plan			
Brief Description of Proposed Action: The applicant proposes to construct an 800 s.f. building addition and retaining wall in the rear of the existing building. An existing asphalt patio, fence and retaining wall will be removed. The building addition will support the events and operation of the Knights of Columbus.			
Name of Applicant or Sponsor: 6318 Associates, Inc		Telephone: (914) 907-4802	
Address: 10 Fair Street		E-Mail: jsinisi@wphospital.org	
City/PO: Carmel		State: NY	Zip Code: 10512
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Town of Carmel, Building, Permit Planning Board, Site Plan Approval			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ 0.39± acres b. Total acreage to be physically disturbed? _____ 0.02± acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 0.39± acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			


5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: <u>Meets the state code requirements</u>	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	

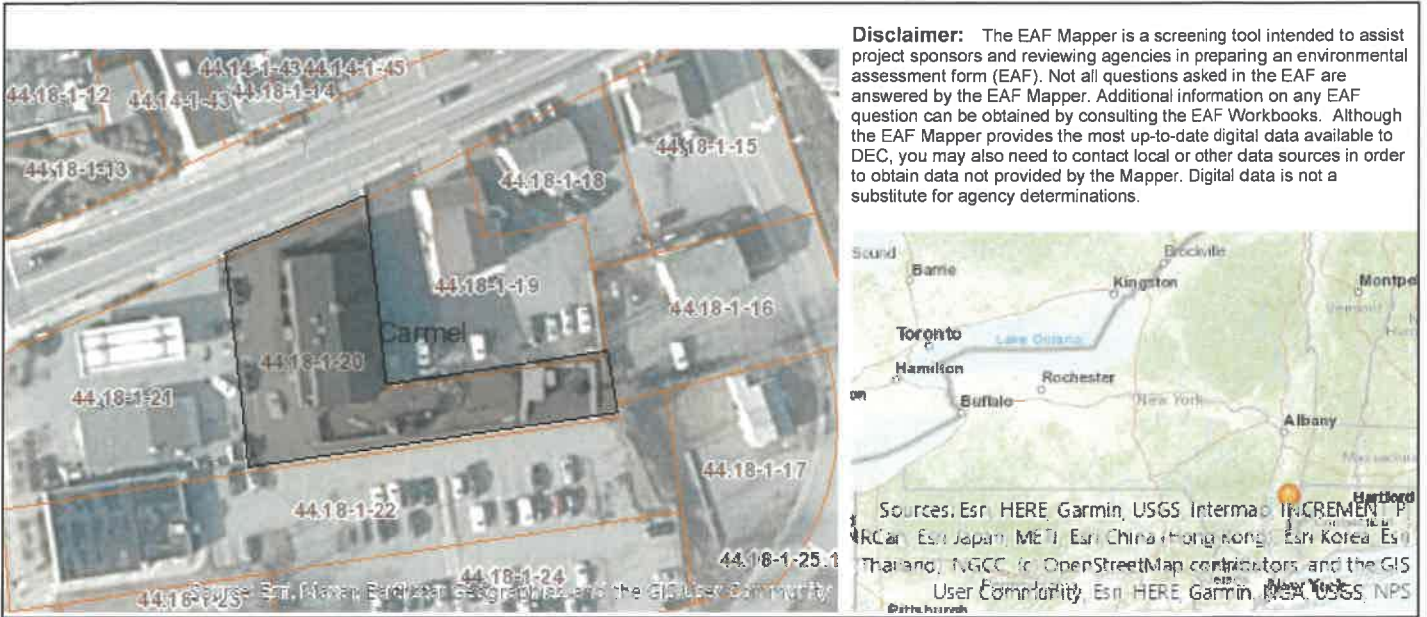
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? Northern Long-eared Bat	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	<input type="checkbox"/>	<input checked="" type="checkbox"/>

18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: John M. Watson, P.E. Date: 3/27/24 Insite Engineering, Surveying & Landscape Architecture, P.C.		
Signature:  Title: Senior Principal Engineer		

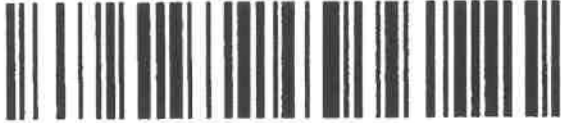


Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	Yes
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Northern Long-eared Bat
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No



PUTNAM COUNTY - STATE OF NEW YORK
 MICHAEL C. BARTOLOTTI, COUNTY CLERK
 40 GLENEIDA AVENUE, ROOM 100
 CARMEL, NEW YORK 10512

COUNTY CLERK'S RECORDING PAGE
 THIS PAGE IS PART OF THE DOCUMENT - DO NOT DETACH



BOOK/PAGE: 2118 / 284
 INSTRUMENT #: 11391-2019
 Receipt#: 2019012597
 Clerk: JL
 Rec Date: 07/11/2019 03:26:09 PM
 Doc Grp: D
 Descrip: EASEMENT
 Num Pgs: 20
 Rec'd Frm: PUTNAM COUNTY LAW DEPT

Party1: 6318 ASSOCIATES INC
 Party2: COUNTY OF PUTNAM
 Town: CARMEL

Recording:

Cover Page	0.00
Recording Fee	0.00
Cultural Ed	0.00
Records Management - Coun	0.00
Records Management - Stat	0.00
TP584	0.00

Sub Total: 0.00

Transfer Tax	
Transfer Tax - State	0.00

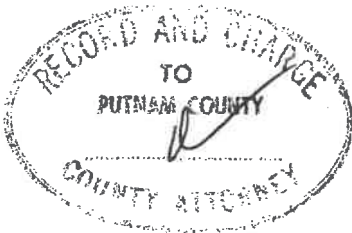
Sub Total: 0.00

Total: 0.00

**** NOTICE: THIS IS NOT A BILL ****

***** Transfer Tax *****
 Transfer Tax #: 2458
 Transfer Tax
 Consideration: 0.00

Total: 0.00



WARNING***

*** Information may be amended during the verification process, and may not be reflected on this cover page.

THIS PAGE CONSTITUTES THE CLERK'S ENDORSEMENT,
 AS REQUIRED BY SECTIONS 315, 316-a(5) & 319 OF THE
 REAL PROPERTY LAW OF THE STATE OF NEW YORK

Michael C. Bartolotti
 Putnam County Clerk

Record and Return To:

PUTNAM COUNTY LAW DEPT
 48 GLENEIDA AVENUE
 CARMEL NY 10512

EASEMENT AGREEMENT

THIS INDENTURE, made this 14th day of May, 2019, between 6318 ASSOCIATES, INC., a New York State domestic not-for-profit corporation having offices at 10 Fair Street, Carmel, New York 10512 (hereinafter referred to "6318 ASSOCIATES"), which holds legal title to real property for the benefit of Our Lady of the Lakes Council No. 6318, a fraternal benefit society holding a charter from the Knights of Columbus (hereinafter referred to as the "K OF C"), and the COUNTY OF PUTNAM, a New York State municipal corporation having offices at 40 Gleneida Avenue, Carmel, New York 10512 (hereinafter referred to as the "COUNTY").

WITNESSETH:

WHEREAS, 6318 ASSOCIATES is the fee owner of a certain parcel of real property in the Town of Carmel, County of Putnam, and State of New York, which is known as 10 Fair Street, Carmel, New York, and is further designated as Town of Carmel Tax Map Number 44.18-1-20; and

WHEREAS, the COUNTY is the fee owner of adjoining parcels of real property which are part of and known as the County Office Building Complex, and are further designated as Town of Carmel Tax Map Numbers 44.18-1-22, 24, and 25.1; and

WHEREAS, the COUNTY has requested a permanent easement upon, over, under, and across a certain portion of 6318 ASSOCIATES' parcel for the benefit of the County, as further described hereinafter; and

WHEREAS, 6318 ASSOCIATES has requested a permanent easement upon, over, under, and across a certain portion of the COUNTY'S parcels for the benefit of 6318 ASSOCIATES and the K OF C, as further described hereinafter; and

WHEREAS, the parties are desirous of granting to one another such permanent easements upon, over, under, and across their respective parcels, as further described hereinafter;

NOW THEREFORE, in consideration of the terms and conditions contained herein, and other good and valuable consideration, the parties for themselves, and their heirs, successors, legal representatives and assigns declare and impose the following easements as follows:

Permanent Easement Benefiting the County

1. 6318 ASSOCIATES hereby gives, grants, conveys and confirms onto the COUNTY and its successors and assigns, a perpetual easement and right-of-way, upon, over, under, and across the certain portion of 6318 ASSOCIATES' parcel of property described in Schedule "A" attached hereto (hereinafter sometimes referred to as "Easement Area"), for the purpose of using, operating, maintaining, building, constructing, and repairing a driveway from Fair Street to the County Office Building Complex and/or other adjoining COUNTY owned parcels, together with the right of the COUNTY, its officers, agents, employees, servants, contractors, and the general public, of ingress and egress for the full and complete use, occupation and enjoyment of the easement granted, and all rights and privileges incident thereto.

2. The COUNTY agrees to make all reasonable efforts to insure that access to 6318 ASSOCIATES' building located at 10 Fair Street, Carmel, New York, and 6318

ASSOCIATES' adjacent real property, shall not be unduly obstructed at any time during the COUNTY'S daily operations at the County Office Building Complex.

3. The parties covenant and agree that all vehicular traffic in the Easement Area will be one-way during regular business hours of the COUNTY, entering from Fair Street onto 6318 ASSOCIATES' driveway, and exiting from the County Office Building Complex onto Fair Street by way of the County Center driveway adjacent to Carmel High School.

4. The COUNTY covenants and agrees, at its sole expense, to install and maintain signage and painted parking space striping in the Easement Area, in accordance with and as depicted in Schedule "B" attached hereto, upon the execution of this instrument.

5. The COUNTY agrees to assume the sole responsibility and expense for providing snow and ice removal in the Easement Area, in order that it is reasonably safe for users thereof. Such work shall be performed in a workman like manner and during such time(s) that the COUNTY performs snow and ice removal services at the County Office Building Complex.

6. The COUNTY agrees that nothing in this instrument shall be construed to limit or prevent the right or ability of 6318 ASSOCIATES or the K OF C, including their members, agents, utility service providers, and contractors, from performing any work upon, over, across, above, or beneath the Easement Area to inspect, repair, replace, improve, install, or otherwise access any gas, electric, water, sewer, telephone, cable television, internet, or other utility line or equipment. 6318 ASSOCIATES agrees to provide notice to the COUNTY, to the extent practicable, before beginning any work in

the Easement Area that may interfere with normal vehicular traffic flow during COUNTY business hours.

7. 6318 ASSOCIATES hereby gives, grants, conveys and confirms onto the COUNTY, and its successors and assigns, a perpetual easement, upon, over, under and across a certain portion of the 6318 ASSOCIATES' parcel of property described in Schedule "C" attached hereto (hereinafter sometimes referred to as "Secondary Easement Area"), for the purpose of locating, maintaining, storing, housing, using, and operating, refuse dumpsters thereon. Such easement shall be contingent upon the making and maintaining of improvements to 6318 ASSOCIATES' property necessary for the proper installation and operation of said refuse dumpsters, which improvements are substantially reflected in Schedule "D" attached hereto.

8. The COUNTY agrees to assume the sole responsibility and expense for maintaining, operating, and emptying the aforesaid refuse dumpsters, which shall be of sufficient capacity to meet the combined needs of the COUNTY, 6318 ASSOCIATES and the K OF C. The COUNTY further agrees to ensure that the areas around the dumpsters are kept unobstructed, clean, orderly, and free from vermin. 6318 ASSOCIATES may, at its sole discretion, install and maintain plantings, decorative fencing, or other structures or decorative items in the dumpster area for aesthetic purposes, so long as such plantings and/or other installations do not interfere with the use, operation, maintenance, and/or emptying of the aforesaid dumpsters.

9. The COUNTY agrees to indemnify and hold 6318 ASSOCIATES and the K OF C harmless from and against any third-party action, suit or proceeding arising out of the negligent, reckless, or intentional acts and/or omissions of the COUNTY, its

employees, agents, and/or contractors during the exercise of the rights contained in this instrument. 6318 ASSOCIATES and the K OF C agree to not interfere physically, directly or indirectly, with the COUNTY, its employees, and contractors, or others acting on behalf of the COUNTY, during the exercise of the rights contained in this instrument.

10. 6318 ASSOCIATES covenants with the COUNTY that it is lawfully seized and possessed of the real property described above, that it has good and lawful right to convey it, and any part thereof, including the rights conveyed by this instrument, and that it will forever warrant and defend the title thereto against the claims of any persons.

11. 6318 ASSOCIATES agrees that invalidations of any of the provisions of this instrument by judgment or court order shall in no way affect any of the remaining provisions hereof, and the same shall continue in full force and effect. Any and all provisions in this instrument shall be construed and governed in accordance with the laws of the State of New York.

12. 6318 ASSOCIATES agrees that this instrument shall be recorded against the above-captioned property in the Office of the Putnam County Clerk, Division of Land Records. This instrument shall run with the land and be binding upon and inure to the benefit of the Parties hereto, their heirs, legal representatives, and assigns, and shall not be modified except by written agreement, in proper form for recording, executed by both parties.

Permanent Easement and License Benefiting 6318 ASSOCIATES and the K OF C

13. The COUNTY hereby gives, grants, conveys and confirms onto 6318 ASSOCIATES and the K OF C, and their successors and assigns, a non-exclusive right-

of-way, upon, over, under, and across the public vehicular access and parking areas of the County Office Building Complex for the purposes of accessing 6318 ASSOCIATES' building located at 10 Fair Street, Carmel, New York.

14. The COUNTY hereby gives, grants, conveys and confirms onto 6318 ASSOCIATES, and its successors and assigns, a perpetual easement, upon, over, under and across the certain portion of County Office Building Complex consisting of the main parking lot located between the County Office Building and 6318 ASSOCIATES' building (excluding the raised parking structure adjacent to the Sheriff's Department and Correctional Facility, as same presently exists), for the purpose of allowing members and guests of the K OF C, as well as members, tenants, agents, contractors, vendors, and invitees of 6318 ASSOCIATES, to park on a non-exclusive basis, while attending 6318 ASSOCIATES' property at 10 Fair Street, Carmel, New York, during non-business hours of the COUNTY; together with the right of 6318 ASSOCIATES and the K OF C, their officers, members, agents, employees, tenants, contractors, vendors, and guests, of ingress and egress for the full and complete use, occupation, and enjoyment of the easement hereby granted, and all rights and privileges incident thereto, provided that said use does not interfere with the ability of the COUNTY to utilize the parking lot for regularly scheduled meetings between the hours of 5:00 PM and 11:00 PM Monday through Thursday.

15. The COUNTY hereby grants a non-transferrable license to 6318 ASSOCIATES and the K OF C, commencing on the date of execution of this instrument, to utilize the COUNTY's refuse dumpster(s) located in the Secondary Easement Area for the sole purpose of discarding household-type refuse generated at the 6318

ASSOCIATES property at 10 Fair Street, Carmel, New York. 6318 ASSOCIATES and the K OF C shall comply with all applicable rules and regulations of any and all governmental entities of jurisdiction pertaining to recycling and refuse disposal. At no time shall 6318 ASSOCIATES or the K OF C discard any hazardous, noxious, toxic and/or dangerous substances into the COUNTY's refuse dumpster(s).

16. 6318 ASSOCIATES and the K OF C agree to indemnify and hold the COUNTY harmless from and against any third-party action, suit or proceeding arising out of the negligent acts and/or omissions of 6318 ASSOCIATES or the K OF C, their members, tenants, employees, agents, and/or contractors during the exercise of the rights contained in this instrument. The COUNTY agrees to not interfere physically, directly or indirectly, with 6318 ASSOCIATES or the K OF C, their officers, members, tenants, invitees, employees, vendors and contractors, or others acting on behalf of 6318 ASSOCIATES or the K OF C, during the exercise of the rights contained in this instrument.

17. The COUNTY covenants with 6318 ASSOCIATES and the K OF C it is lawfully seized and possessed of the real property described above, that it has good and lawful right to convey it, and any part thereof, including the rights conveyed by this instrument, and that it will forever warrant and defend the title thereto against the claims of any persons.

18. The COUNTY agrees that invalidations of any of the provisions of this instrument by judgment or court order shall in no way affect any of the remaining provisions hereof, and the same shall continue in full force and effect. Any and all

provisions in this instrument shall be construed and governed in accordance with the laws of the State of New York.

19. The COUNTY agrees that this instrument shall be recorded against the above-captioned property in the Office of the Putnam County Clerk, Division of Land Records. This instrument shall run with the land and be binding upon and inure to the benefit of the Parties hereto, their heirs, legal representatives, and assigns, and shall not be modified except by written agreement, in proper form for recording, executed by both parties.

IN WITNESS WHEREOF, the parties have executed this Agreement in Carmel,


New York, on the date hereinabove set forth.

READ & APPROVED:


THE COUNTY OF PUTNAM:


 Date 5.3.19
Jennifer S. Bumgarner
County Attorney


 Date 5.14.19
Mary Ellen Odell
County Executive

 Date 5/3/19
Anna M. Diaz
Senior Deputy County Attorney

6318 ASSOCIATES, INC.:

 Date 5/12/19
William J. Carlin, Jr.
Commissioner of Finance

 Date 5/2/19
Michael Tomassi
President

 Date 5/8/19
Fred Peña
Commissioner of Highways & Facilities

ACKNOWLEDGMENT OF PUTNAM COUNTY:

STATE OF NEW YORK)
) ss.:
COUNTY OF PUTNAM)

On the 14th day of May, 2019, before me the undersigned personally appeared MARYELLEN ODELL, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.


Notary Public

ANDREW W. NEGRO
Notary Public, State of New York
No. 02NE6070549
Qualified in Putnam County 22
Commission Expires March 4, 20

ACKNOWLEDGMENT OF 6318 ASSOCIATES, INC.:

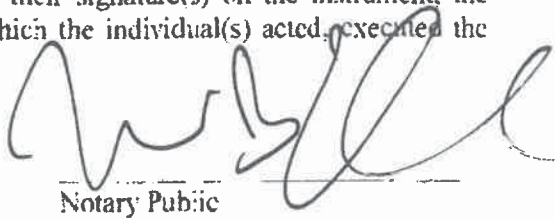
STATE OF NEW YORK)

) SS.:

COUNTY OF PUTNAM)

On the 2nd day of May, 2019, before me the undersigned personally appeared MICHAEL TOMASSI, personally known to me or proved to me on the basis of satisfactory evidence to the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

Michael B. Karlsson, II
Notary Public State of New York
No. 02KA6195319
Qualified in Putnam County
Commission Expires Oct 20, 2020



Notary Public

SCHEDULE "A"

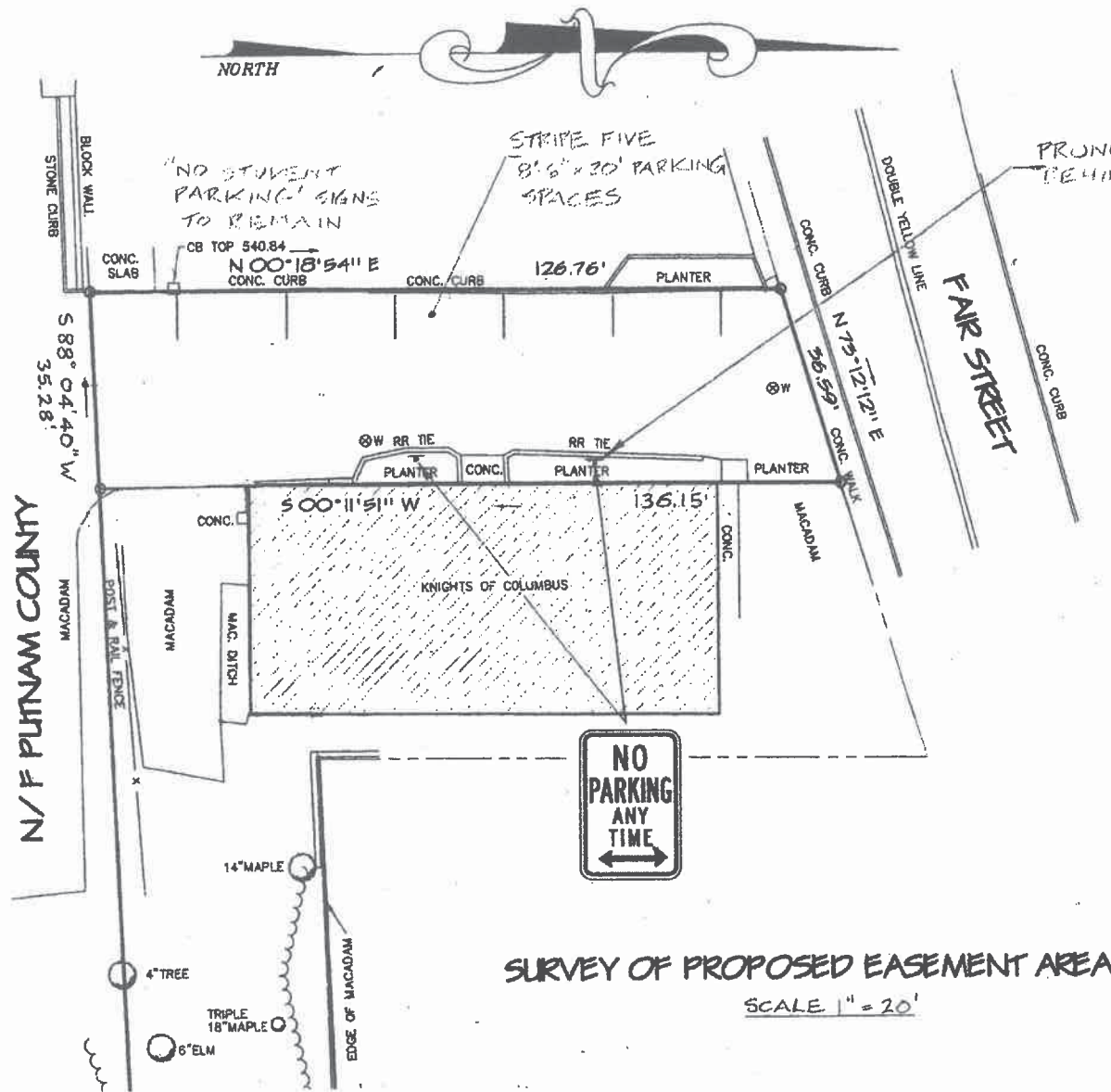
**TAX MAP NO. 44.18-1-20
10 Fair Street
Town of Carmel**

**METES AND BOUNDS DESCRIPTION
PERMANENT EASEMENT OVER LANDS OF 6318 ASSOCIATES, INC.**

Beginning at a point located on the southerly side of the existing County Road No. 60, Fair Street, said point also being the northwest corner of the property of 6318 Associates, Inc.; thence along the southerly line of Fair Street and the northerly line of lands of 6318 Associates, Inc. N 73°12'12"E 36.59 feet; thence through the lands of said 6318 Associates, Inc. S 00°11'51"W 136.15 feet; thence along the southerly line of lands of said 6318 Associates, Inc. S 88°04'40 W 35.28 feet; thence along the westerly line of said 6318 Associates, Inc. property N 00°18'54"E 126.76 feet to the point or place of beginning.

Said easement contains 4616 square feet or 0.106 acres of land.

SCHEDULE "B"



"NO STUVENT
PARKING" SIGNS
TO REMAIN

STRIFE FIVE
8'6" x 30' PARKING
SPACES

PRUNE SHRUBS TO
BEHIND R.R. TIE CURB

N / F PUTNAM COUNTY

FAIR STREET

NO
PARKING
ANY
TIME

SURVEY OF PROPOSED EASEMENT AREA

SCALE 1" = 20'

KNIGHTS OF COLUMBUS
DRIVEWAY IMPROVEMENTS
TWO-WAY TRAFFIC
WITH FIVE PARALLEL
PARKING SPACES

SCHEDULE "C"



18185100

September 21, 2018

EASEMENT

All that certain piece or parcel of land situate, lying, and being in the Town of Carmel, County of Putnam, State of New York, bounded and described as follows:

COMMENCING at the point formed by the intersection of the southeasterly line of Fair Street, also known as County Road 60, where the same is intersected by the division line between lands of the grantor herein on the East and lands now or formerly belonging to Putnam Property Group LLC on the West; thence along said division line, South 00°18'54" West 126.76 feet to a point on the northerly line of the lands now or formerly belonging to the County of Putnam; thence along said line, North 88°04'40" East 158.92 feet to the TRUE POINT OR PLACE OF BEGINNING of the herein described Easement;

thence from said point of beginning, turning and running through the lands of the grantor, North 01°14'58" West 37.59 feet to a point on the southerly line of the lands now or formerly belonging to 12 Fair St. Corp;

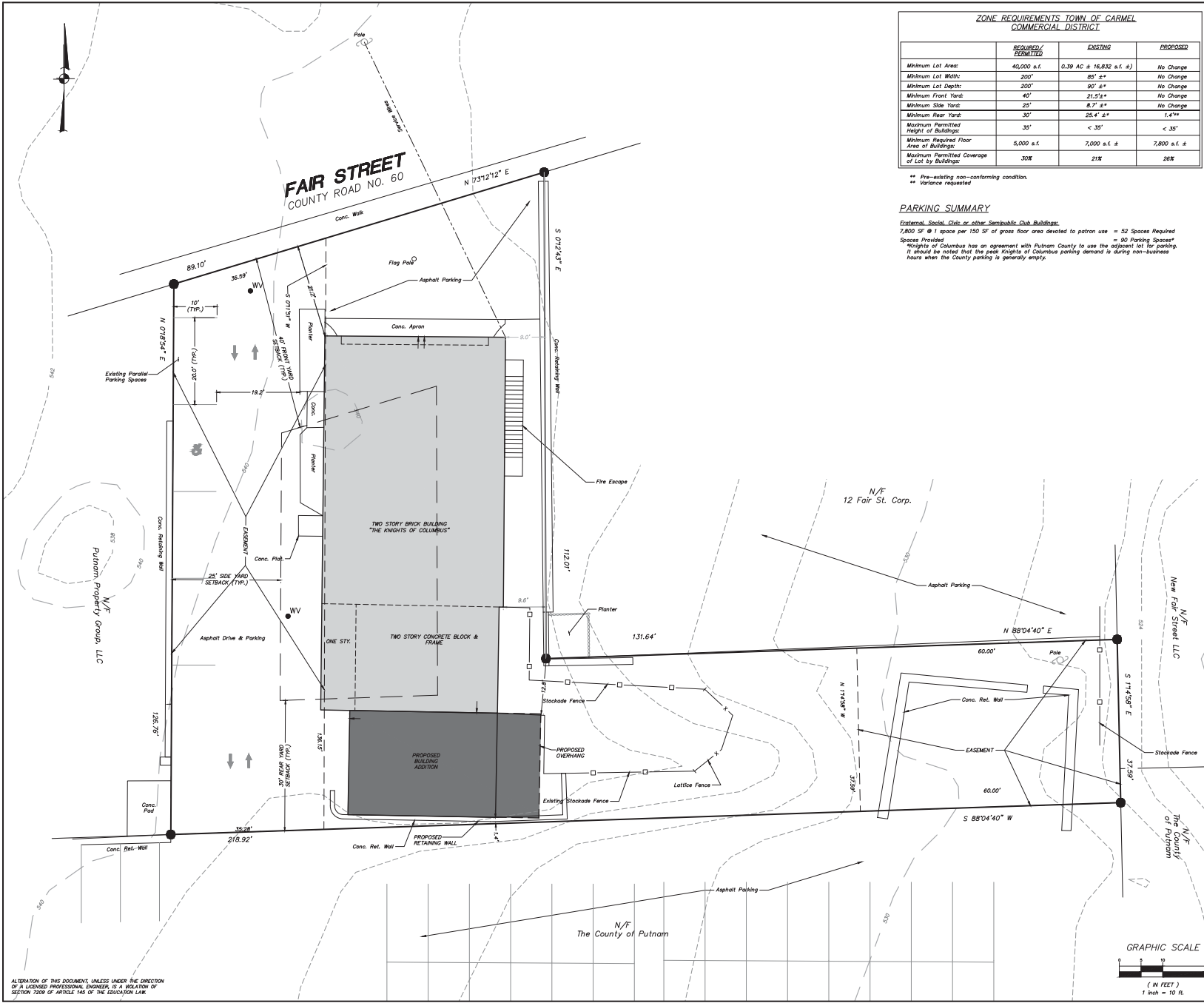
thence along said line, North 88°04'40" East 60.00 feet to a point on the westerly line of the lands now or formerly belonging to New Fair Street LLC;

thence along said line, and also along other lands now or formerly belonging to the County of Putnam, South 01°14'58" East 37.59 feet to a point on the northerly line of the lands of the County of Putnam;

thence along said northerly line, South 88°04'40" West 60.00 feet to the POINT OR PLACE OF BEGINNING.

Containing an area of 2,255 Square Feet.

SCHEDULE "D"



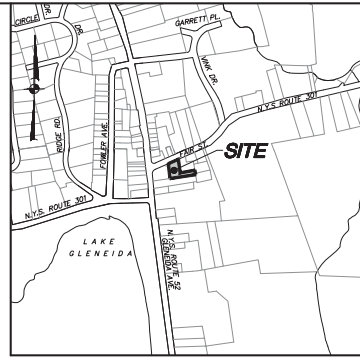
**ZONE REQUIREMENTS TOWN OF CARMEL
COMMERCIAL DISTRICT**

	REQUIRED/ PERMITTED	EXISTING	PROPOSED
Minimum Lot Area:	40,000 s.f.	0.39 AC ± 16,832 s.f. ±	No Change
Minimum Lot Width:	200'	85' ±*	No Change
Minimum Lot Depth:	200'	92' ±*	No Change
Minimum Front Yard:	40'	21.5' ±*	No Change
Minimum Side Yard:	25'	8.7' ±*	No Change
Minimum Rear Yard:	30'	25.4' ±*	1.4' **
Maximum Permitted Height of Buildings:	35'	< 35'	< 35'
Minimum Required Floor Area of Buildings:	5,000 s.f.	7,000 s.f. ±	7,800 s.f. ±
Maximum Permitted Coverage of Lot by Buildings:	30%	21%	26%

** Pre-existing non-conforming condition.
** Variance requested

PARKING SUMMARY

Restroom, Social, Club, or other Semipublic Club Buildings:
 7,800 SF @ 1 space per 150 SF of gross floor area devoted to patron use = 52 Spaces Required
 Spaces Provided = 60 parking spaces
 Knights of Columbus has an agreement with Putnam County to use the adjacent lot for parking. It should be noted that the peak Knights of Columbus parking demand is during non-business hours when the County parking is generally empty.

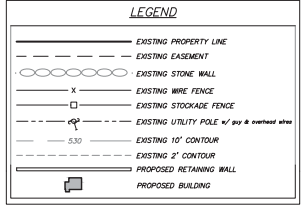


LOCATION MAP SCALE: 1" = 500' ±

OWNER: 6318 Associates - Knights of Columbus
 10 Fair Street
 Carmel, NY 10512

SITE DATA: Zone: C Commercial
 Total Acreage: 0.39 AC ±
 Tax Map No.: 44.18-1-20

- GENERAL NOTES:**
- Property lines and locations shown herein is taken from a survey entitled "Survey of Property Prepared for 6318 Associates, Inc." prepared by David L. Odel, PLS, dated December 9, 2022.
 - Topography shown herein is taken from the Westchester County 2' contour, 1" = 100' scale GCS dataset dated April 2004. Elevations reference the North American Vertical Datum of 1988 (NAVD 88).
 - This site plan is to be used only for site planning purposes related to the building addition.



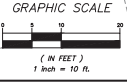
1	4-1-24	REVISED PER TOWN ENGINEER'S COMMENTS	SMR
NO.	DATE	REVISION	BY

INSITE
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

PROJECT: **KNIGHTS OF COLUMBUS BUILDING ADDITION**
 10 FAIR STREET, TOWN OF CARMEL, PUTNAM COUNTY NEW YORK

DRAWING: **SITE PLAN**

PROJECT NUMBER: 24130.100	PROJECT MANAGER: J.M.W.	DRAWING NO.:	SHEET
DATE: 3-27-24	DRAWN BY: N.F.B.	BY:	SP-1
SCALE: 1" = 10'	CHECKED BY: S.M.R.		1



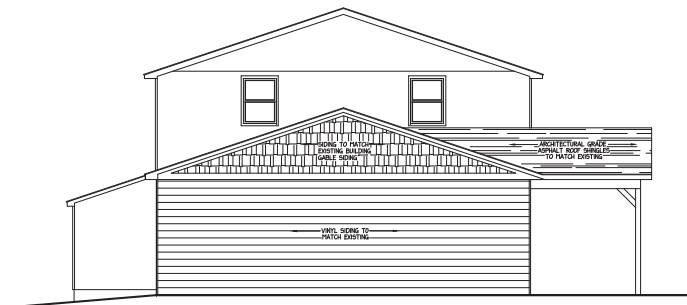
ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209 OF ARTICLE 17A OF THE EDUCATION LAW.



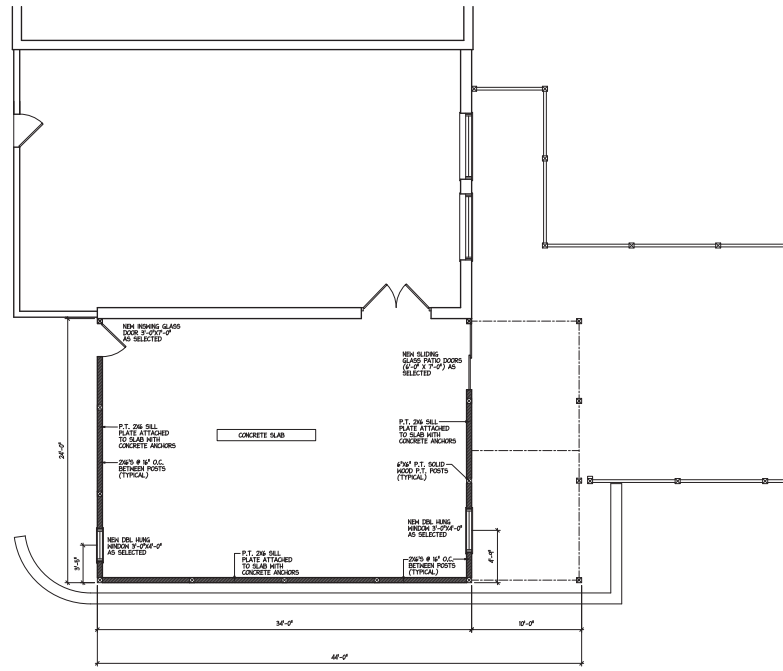
2 PROPOSED FUTURE WEST ELEVATION
3/16" = 1'-0"



3 PROPOSED FUTURE EAST ELEVATION
3/16" = 1'-0"



3 PROPOSED FUTURE SOUTH ELEVATION
3/16" = 1'-0"



1 PROPOSED FUTURE FLOOR PLAN
3/16" = 1'-0"

ARCHITECTS
STEVEN GRGEJIC ARCHITECTS PLLC
1900 ROUTE 301 CARMEL, N.Y. 10512
845-861-8808
EMAIL: SGARCHITECTS@GMAIL.COM

© COPYRIGHT 2023 This drawing is the property of Steven Grgejic Architect, PLLC. It is subject to copyright laws and shall not be used or copied without express written permission.
It is a violation of the New York State Education law for any person, unless acting under the direction of a licensed Architect, to alter an item on this drawing in any way. If any item is altered, the altering Architect shall affix to the item the word "alter" and the notation "altered by" followed by his or her signature and the date of such alteration, and a specific description of the alteration.

STEVEN A. GRGEJIC
NYS LIC. NO. 035297

NO.	DATE	REVISION

PROJECT NAME
KNIGHTS OF COLUMBUS HALL
NEW REAR GAZEBO
BUILDING ADDRESS
10 FAIR STREET
CARMEL, NY 10512
PROJECT NUMBER

DRAWING TITLE
PROPOSED FUTURE PLAN & ELEVATIONS

DRAWN BY SG	A-4
SCALE AS NOTED	
DATE 1/18/24	

JOHN KARELL, JR., P.E.
121 CUSHMAN ROAD
PATTERSON, NEW YORK, 12563
845-878-7894 FAX 845 878 4939
jack4911@yahoo.com

March 24, 2024

SCOTT FREY, SSEL CORP, 79 Secor Road, Carmel (T), TM # 74.12-1-33

Response to comments from Richard Franzetti, March 18,, 2024

Application Form

1. Water supply box checked no as the property is served by wells. Added sewer not applicable.
2. Wetlands, stream and watercourses, the no box is correct. There is a stream and wetland off the site as shown on the plans and the 100 foot wetland setback is not violated.
3. The line "Does the site contain water bodies, streams, wetland and watercourses " is correctly no. There are none of these on the site.

Completeness Form

1. Scale has been corrected to 1"=1000 ft
2. Existing Contours are provided on the plan and existing conditions plan
3. Arrows flow of drainage provided.
4. Item 7. Open spaces No open spaces are proposed.

SEAF

1. Item 9, Energy Code yes, is correct, The House construction will meet energy Code requirements as approved by the Building Department.
2. Item 13, items are answered correctly. The description area has been completed, "A stream exists off site, there are no wetlands or waterbodies on this property". See letter from Ted Kozlowski.
3. Item 17. All items are completed correctly. Driveway drainage will sheet flow onto adjacent lawn areas. Roof and footing drainage will be directed to a rip rap outlet with the discharge will be directed to the stream
4. Item 20, See attached from DEC. I believe the site that was remediated is the former dry cleaner on Secor Road, relatively far from this property.

The plan attached is a mistake and should be removed from the file.

SWPPP

1. 2.3 Groundwater data attached. This data was collected with the HD for the septic design.
2. 2.5 Historic, archeological. I have contacted CHRIS to get information in this regard. The CHRIS review is inprogress.
3. Stormwater off the roof is discharging to a rip rap outlet that will not affect the septic system and is outside the 100 foot wetland setback.





TOWN OF CARMEL SUBDIVISION APPLICATION INSTRUCTIONS



The Town of Carmel Planning Board meetings are held twice a month, on the second Thursday and fourth Wednesday, at 7:00 PM at Carmel Town Hall, 60 McAlpin Avenue, Carmel

The submission deadline is 10 days prior to the Planning Board meeting. New subdivision applications that have been deemed complete will be placed on the agenda in the order they are received.

Pre-Submission:

Prior to the formal submission of the subdivision, a pre-submission conference may be requested by the applicant to be conducted with representatives from the Town, which may include the Town Planner, Town Engineer, Director of Code Enforcement, Planning Board Attorney. This conference will serve to educate the applicant on the process he/she must follow, clarify the information required to submit a complete subdivision application, and to highlight any specific areas of concern. You may arrange a pre-submission conference through the Planning Board Secretary at (845) 628-1500.

Submission Requirements:

At least 10 days prior to the Planning Board meeting, the subdivision application shall be submitted to the Planning Board Secretary as follows:

All subdivisions shall be signed, sealed and folded with the title box legible. The application package shall include:

- 5 copies of the Subdivision Application Form signed and notarized.
- 5 copies of the SEQR Environmental Assessment Form (use of short form or long form shall be determined at pre-submission conference).
- 5 full size sets of the Subdivision Plan
- 1 CD (in pdf. format) containing an electronic version of the Subdivision Plan
- 2 copies of the Disclosure Statement
- 5 copies of the Subdivision Completeness Certification Form
- All supplemental studies, reports, plans and renderings.
- 2 copies of the current deed.
- 2 copies of all easements, covenants and restrictions.
- The appropriate fee, determined from the attached fee schedule. Make checks payable to the *Town of Carmel*.

Rose Yrombetta 3/28/24
 Planning Board Secretary; Date

Richard [Signature] 3/27/24
 Town Engineer; Date



TOWN OF CARMEL SUBDIVISION APPLICATION



Per Town of Carmel Code – Section 131 – Subdivision of Land

SITE IDENTIFICATION INFORMATION		
Application Name: Frey subdivision	Application # 24-0007	Date Submitted: rev. 3/7/24 3/23/24
Site Address: No. 79 Street: Secor Road Hamlet: Mahopac		
Property Location: (Identify landmarks, distance from intersections, etc.) Intersection of Secor Road and Walnut Drive		
Town of Carmel Tax Map Designation: Section 74.12 Block 1 Lot(s) 33	Zoning Designation of Site: COMMERCIAL	
Property Deed Recorded in County Clerk's Office Date 7/20/61 Liber 547 Page 386	Liens, Mortgages or other Encumbrances Yes No	
Existing Easements Relating to the Site No Yes Describe and attach copies: none	Are Easements Proposed? No Yes Describe and attach copies: no	
Have Property Owners within a 500' Radius of the Site Been Identified? Yes No Attached List to this Application Form YES, ON PLAN		
APPLICANT/OWNER INFORMATION		
Property Owner: SSEL Corp, Scott Frey	Phone #: 914804 9028 Fax#:	Email: SCOTTWFREY@YAHOO.COM
Owners Address: No. 48 Street: SALEM ROAD Town: POUNDRIAGE State: NY Zip: 16576		
Applicant (If different than owner): same as owner owner SAME	Phone #: 9148049028 Fax#:	Email: SCOTTWFREY@YAHOO.COM
Applicant Address (If different than owner): No. Street: Same Town: State: Zip:		
Individual/ Firm Responsible for Preparing Site Plan: John Karell, Jr. P.E.	Phone #: 845 721 0455 Fax#:	Email: jack4911@yahoo.com
Address: No. 121 Street: CUSHMAN ROAD Town: PATTERSON State: NY Zip: 12563		
Other Representatives: none	Phone #: Fax#:	Email:
Owners Address: No. Street: Town: State: Zip:		
PROJECT DESCRIPTION		
Describe the project, proposed use and operation thereof: Sudivision of a 2acre parcel of land with an existing house, septic and well into a second vacant lot upon which it is proposed to construct a single family house, garage, well, septic system and driveway.		

TOWN OF CARMEL SUBDIVISION APPLICATION

PROJECT INFORMATION			
Size of existing parcel to be subdivided:			
\approx Acres: <input type="checkbox"/>	Square Feet: 86,189		
Major Subdivision <input type="checkbox"/>	Minor Subdivision <input checked="" type="checkbox"/>		
Number of proposed lots: 2	Size of proposed lots: LOT # 1 41,615 FR; LOT # 2 44,574 SF		
Conventional Subdivision <input type="checkbox"/>		Cluster Subdivision <input type="checkbox"/>	
Will a 10% open space set aside be provided? Yes: <input type="checkbox"/> No: <input type="checkbox"/>		If no, will a payment in-lieu be provided? Yes: <input type="checkbox"/> No: <input type="checkbox"/>	
Will all new lots have frontage on a mapped street? Yes: <input type="checkbox"/> No: <input type="checkbox"/>		If not, how will this deficiency be addressed?	
Is the site served by the following public utility infrastructure:			
<ul style="list-style-type: none"> ▪ Sanitary Sewer Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> <li style="margin-left: 40px;">If Yes: <ul style="list-style-type: none"> ▶ Does approval exist to connect to sewer main? Yes: <input type="checkbox"/> No: <input type="checkbox"/> ▶ Is this an in-district connection? _____ Out-of district connection? _____ ▶ What is the total sewer capacity at time of application? _____ ▶ What is your anticipated average and maximum daily flow _____ 			
<i>For Town of Carmel Town Engineer</i> ▶ What is the sewer capacity NOT APPLICABLE <i>PS</i>			
<ul style="list-style-type: none"> ▪ Water Supply Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> <li style="margin-left: 40px;">If Yes: <ul style="list-style-type: none"> ▶ Does approval exist to connect to water main? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> ▶ What is the total water capacity at time of application? _____ ▶ What is your anticipated average and maximum daily demand _____ 			
<ul style="list-style-type: none"> ▪ Storm Sewer Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> ▪ Electric Service Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> ▪ Gas Service Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> ▪ Telephone/Cable Lines Yes: <input type="checkbox"/> No: <input type="checkbox"/> 			
Will any common areas be created outside of individual lots (road rights-of-way, recreation areas, stormwater management areas, etc.)? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Is a homeowners association proposed? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
What is the predominant soil type(s) on the site? URBAN LAND CHARLTON CHATFIELD COMPLEX		What is the approximate depth to water table? greater than 7 feet	
Site slope categories: 15-25% ⁰ % 25-35% ⁰ % >35% ⁰ %			
Estimated quantity of excavation: Cut (C.Y.) ⁷⁰⁰ Fill (C.Y.) ⁷⁰⁰			
Is Blasting Proposed Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> Unknown: <input type="checkbox"/>			
Is the site located ion a designated Critical Environmental Area? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Does a curb cut exist on the site? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>		Are new curb cuts proposed? Yes: <input type="checkbox"/> No: <input type="checkbox"/>	
What is the sight distance? Left > 200 ft Right > 200ft			
Is the site located within 500' of:			
<ul style="list-style-type: none"> ▪ The boundary of an adjoining city, town or village Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> ▪ The boundary of a state or county park, recreation area or road right-of-way Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> ▪ A county drainage channel line. Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> 			

TOWN OF CARMEL SUBDIVISION APPLICATION

▪ The boundary of state or county owned land on which a building is located Yes: No:

Is the site listed on the State or Federal Register of Historic Place (or substantially (contiguous)

Yes: No:

Is the site located in a designated floodplain?

Yes: No:

Does the site contain freshwater wetlands?

Yes: No:

Jurisdiction:

NYSDEC: Town of Carmel:

If present, the wetlands must be delineated in the field by a Wetland Professional, and survey located on the Site Plan.

Are encroachments in regulated wetlands or wetland buffers proposed? Yes: No:

Does this application require a referral to the Environmental Conservation Board? Yes: No: **no**

Does the site contain waterbodies, streams or watercourses? Yes: No: **NO ENCROACHMENTS**

Are any encroachments, crossings or alterations proposed? Yes: No: **INTO THE BUFFER**

Is the site located adjacent to New York City watershed lands? Yes: No: **ON THIS**

Will municipal or private solid waste disposal be utilized? **PROPERTY**

Public: Private:

Has this application been referred to the Fire Department? Yes: No:

What is the estimated time of construction for the project?

one year

ZONING COMPLIANCE INFORMATION

Zoning Provision	Required	Existing	Lot 1	GARAGE LOT #1	Lot 4	Lot 5
Lot Area	120,000	44,574	41,615			
Lot Coverage	15	16.6	16.7			
Lot Width	200	145	160			
Front Yard	40	159.6	172.8	168		
Side Yard (minimum of 1)	25	53.1	59.9	4		
Side Yard (total of both)						
Rear Yard	40	46.8	31.2	7		
Habitable Floor Area	5000					
Height	35	<35	<35			

(if more than 5 lots are proposed, include additional zoning compliance information on a separate sheet)

Will variances be required? If yes, identify variances required for each lot:

Yes: No: **LOT #1 WIDTH & REAR YARD
LOT #2 WIDTH & FRONTAGE**

APPLICANTS ACKNOWLEDGEMENT

I hereby depose and certify that all the above statements and information, and all statements and information contained in the supporting documents and drawings attached hereto are true and correct.

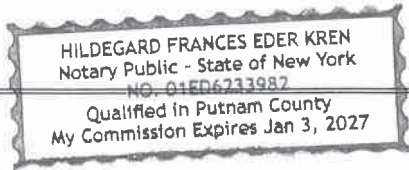
Scott Frey

Applicants Name

Scott Frey
Applicants Signature

Sworn before me this 29 day of FEBRUARY 2024

Hildegard Eder Kren
Notary Public





TOWN OF CARMEL SUBDIVISION COMPLETENESS CERTIFICATION FORM



All Subdivisions submitted to the Planning Board for review shall include the following information and details, as set forth in Section 131-11-14 of the Town of Carmel Subdivision Regulations.

This form shall be included with the subdivision submission

	<i>Requirement Data</i>	<i>To Be Completed by the Applicant</i>	<i>Waived by the Town</i>
General Requirements			
1	Key map at a scale of one inch equals 800 feet 1000	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2	Title block, including title of map; name of subdivision; name, address, seal and signature of professional engineer or land surveyor preparing the plat; written scale; date of original and all revisions.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3	A legend, including, names of all adjacent landowners and those within 500 feet of any property line; zoning district with the requirements of said zone; tax map, block and lot number; names and addresses of owner and subdivider; north point and graphic scale.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4	Location and identification of all zoning district boundaries.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5	Identification of all maps filed in the County Clerk's office affecting properties within 500 feet of the lot to be subdivided.	<input type="checkbox"/>	<input type="checkbox"/>
Sketch Plan Requirements			
1	All General Requirements	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2	Proposed subdivision layout at a scale of not less than one inch equals 100 feet.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3	All proposed lot lines, dimensions in feet and the areas of all lots in square feet and identifying numbers for each lot.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4	The location of existing and proposed setback lines, streets within 200 feet of the subdivision, buildings, watercourses, railroads and bridges, culverts, drainpipes and any natural features, such as wooded areas and rock formations.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5	Location and size of areas proposed to be reserved for recreation/open space.	N/A <input checked="" type="checkbox"/>	<input type="checkbox"/>



TOWN OF CARMEL SUBDIVISION COMPLETENESS CERTIFICATION FORM



Requirement Data		To Be Completed by the Applicant	Waived by the Town
Preliminary Plat Requirements			
1	All General and Sketch Plan Requirements	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2	The area included in the subdivision, by area of lots, roads, reservations if any, and total acreage.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3	The existing and proposed contours (at an interval of not more than two feet), suitably designated to differentiate, with proposed first-floor elevations of the buildings.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4	Names of existing streets and proposed names of new streets.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5	Preliminary profiles of all proposed roads.	<i>N</i> <input checked="" type="checkbox"/> <i>A</i>	<input type="checkbox"/>
6	Location, type and size of curbs, sidewalks and bikeways.	<i>N</i> <input checked="" type="checkbox"/> <i>A</i>	<input type="checkbox"/>
7	For subdivisions of five or more lots, front building elevation sketches and distribution of dissimilar building types on the site to avoid excessive similarity of exterior design.	<i>N</i> <input checked="" type="checkbox"/> <i>A</i>	<input type="checkbox"/>
8	Plans of proposed utility layouts and all facilities, unsized.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9	The natural flow of surface drainage (indicated with arrows and the final disposal of surface waters); location of existing and proposed watercourses, culverts, bridges, drainpipes, lakes and ponds, detention or retention ponds; tentative location of storm drain inlets with the drainage areas tributary to each outlined and the area shown.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10	Existing or proposed covenants or deed restrictions applying to the site and a preliminary draft of homeowners' association documents, if applicable.	<input checked="" type="checkbox"/> <i>NONE</i>	<input type="checkbox"/>
11	A stormwater pollution prevention plan (SWPPP) consistent with the requirements of Article X of Chapter 156 of the Code of the Town of Carmel.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Final Plat Requirements			
1	All General, Sketch and Preliminary Plat Requirements.	<input type="checkbox"/>	<input type="checkbox"/>



TOWN OF CARMEL SUBDIVISION COMPLETENESS CERTIFICATION FORM



	<i>Requirement Data</i>	<i>To Be Completed by the Applicant</i>	<i>Waived by the Town</i>
2	Dimensions exactly with reference to monuments, bearings, distances in feet, radii, points of curvature and tangency of property lines, lot widths and depths and square feet of each lot.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3	Location of all proposed setback lines on each lot, with corner and irregular-shaped lots identified as to front, side and rear yards.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4	Location of all existing and proposed monuments.	N <input checked="" type="checkbox"/> A	<input type="checkbox"/>
5	All existing streets and streams within the subdivision and within 200 feet of the boundaries thereof, the width of the right-of-way of each street and existing public easements and municipal boundaries within 200 feet of the subdivision.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6	All proposed public easements or rights-of-way and the purposes thereof and proposed streets, identifying right-of-way width and names.	N <input checked="" type="checkbox"/> A	<input type="checkbox"/>
7	All parcels proposed for open space/recreation use, with a statement of the purpose of each.	N <input checked="" type="checkbox"/> A	<input type="checkbox"/>
8	Construction plat, which shall include, in addition to the above: final first-floor elevations of dwellings and outside grades at their corner; proposed curb elevations at all lot corners; all existing structures, including a note indicating those to be removed and yard dimensions of those to remain; plans and profiles and proposed improvements and utility layouts; paving widths and locations, section and profiles; sidewalk widths and locations and sections; road alignment, complete with stations, center line curve data and existing and finished contours of the road and all regraded areas; details of manholes, catch basins, headwalls and any other required structure; locations of all street trees, lights and signs; maximum anticipated extent of the areas of cuts and fills where grade	<input checked="" type="checkbox"/>	<input type="checkbox"/>



TOWN OF CARMEL SUBDIVISION COMPLETENESS CERTIFICATION FORM



	Requirement Data	To Be Completed by the Applicant	Waived by the Town
	changes are proposed; the natural flow of surface drainage and the final disposal of surface waters; slopes of banks of all watercourses, if defined, and boundaries of floodplains; specifications, locations, profiles and detailed cross sections of the proposed storm drains, including all inlets and size of the drainage area of the streets, including grades and all other improvements.		
9	Final copy of the homeowners' association documents, if applicable.	N/A	<input type="checkbox"/>
10	Deeds for land to be dedicated for road widening, recreation or other purposes.	N/A	<input type="checkbox"/>
11	Erosion control standards.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12	A stormwater pollution prevention plan (SWPPP) consistent with the requirements of Article X of Chapter 156 of the Code of the Town of Carmel and with the terms of preliminary plan approval.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Applicants Certification (to be completed by the licensed professional preparing the subdivision plan:

I John Karell Jr. hereby certify that the site plan to which I have attached my seal and signature, meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:



John Karell Jr.
 Signature - Applicant

3/1/24
 Date

John Karell Jr.
 Signature - Owner

3/1/24
 Date



TOWN OF CARMEL
**SUBDIVISION COMPLETENESS
CERTIFICATION FORM**



Town Certification (to be completed by the Town)

I _____ hereby confirm that the site plan meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:

Rose Yrometta
Signature - Planning Board Secretary

3/28/24
Date

Ruben [Signature]
Signature - Town Engineer

3/27/24
Date

Short Environmental Assessment Form

Part 1 - Project Information


Instructions for Completing

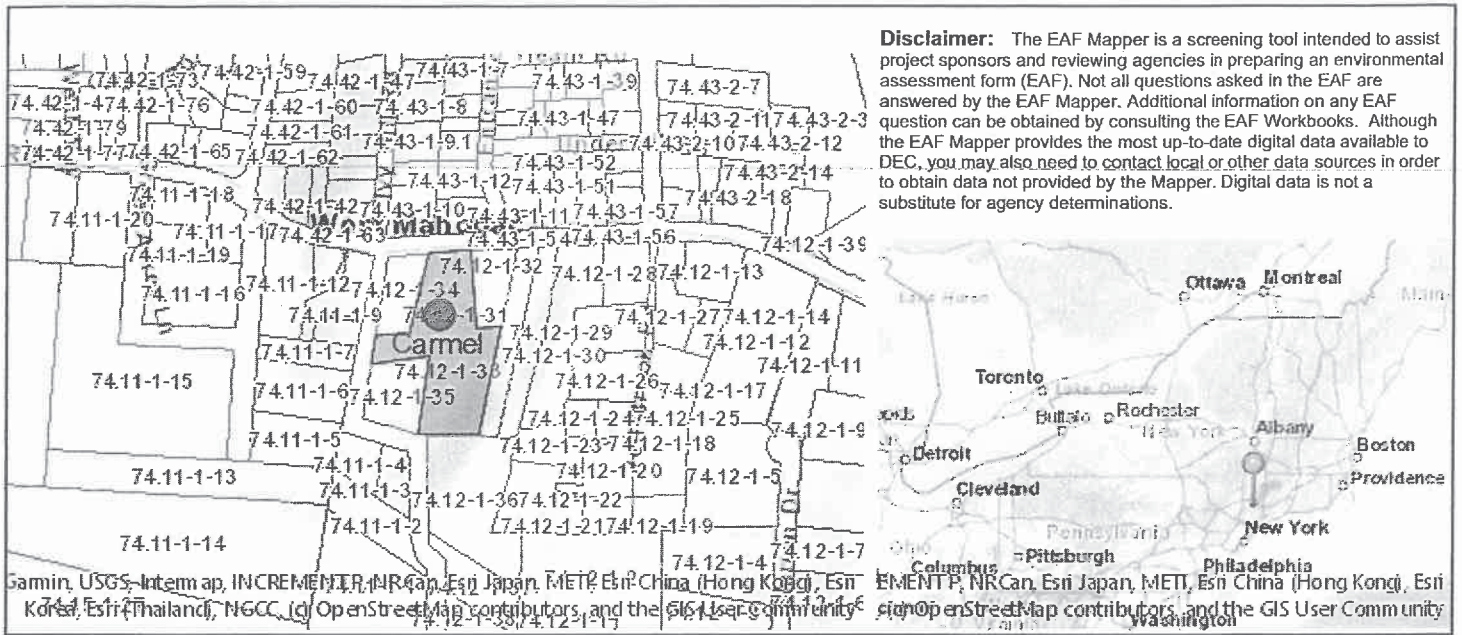
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: FREY 2 LOT REALTY SUBDIVISION			
Project Location (describe, and attach a location map): 79 SECOR ROAD, MAHOPAC, NY, CARMEL (T)			
Brief Description of Proposed Action: SUBDIVISION OF A 2 ACRE PARCEL OF LAND INTO TWO ONE ACRE LOTS. AN EXISTING HOUSE IS ON ONE LOT AND A PROPOSED HOUSE ON THE SECOND LOT SERVED BY A SEPTIC SYSTEM, WELL AND DRIVEWAY.			
Name of Applicant or Sponsor: SSEL CORPORATION, SCOTT FREY		Telephone: 914 804 9028 E-Mail: SCOTTWFREY@YAHOO.COM	
Address: PO BOX 644			
City/PO: CROSS RIVER		State: NY	Zip Code: 10518
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: PUTNAM COUNTY HEALTH DEPARTMENT SUBDIVISION APPROVAL		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		1.97 acres	
b. Total acreage to be physically disturbed?		0.58 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		1.97 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ DRILLED WELL _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ SEPTIC SYSTEM _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ WETLAND AND WATERCOURSE IS OFF THIS SITE	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe: <u>STORMWATER OFF DRIVEWAY WILL SHEET FLOW</u> <u>ONTO ADJACENT LAWN AREAS. ROOF AND FTG DRAINS</u> <u>TO A RIP RAP OUTLET THEN TO A STREAM</u>		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe: <u>SEE ATTACHED. THE SITE ON SECOR ROAD</u> <u>CONTAINED A DRY CLEANER</u>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: <u>SCOTT FREY</u> Date: <u>10/30/2023</u> Signature: <u></u> Title: <u>OWNER</u>		



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes

TED KOZLOWSKI
136 BIG ELM ROAD
BREWSTER, NY 10509

March 21, 2024

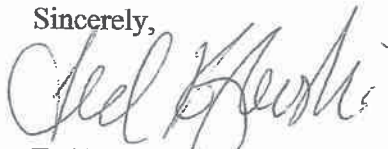
Mr. Jack Karell, Jr.
121 Cushman Road
Patterson, NY 12563

RE: Wetland Investigation
SSEL Corp.
79 Secor Road, Mahopac, NY

Dear Mr. Karell:

At your request and on this date, I inspected the above site and immediate surrounding parcels for any wetland and the approximation of Secor Brook to the proposed disturbance as proposed on your plans dated October 11, 2023. There are no wetland areas within 100 feet of the proposed disturbance and Secor Brook is southeast of the proposed disturbance and well beyond 100 feet in distance. In my opinion, I do not foresee any significant stream impacts of this proposed disturbance and do not believe that you will require a Town wetland permit for this project.

Sincerely,



Ted Kozlowski, Certified Wetland Delineator

JOHN KARELL, JR., P.E.
121 CUSHMAN ROAD
PATTERSON, NEW YORK, 12563
845-878-7894 FAX 845 878 4939
jack4911@yahoo.com

SWPPP

SCOTT FREY
SSEL CORP
79 Secor Road
Carmel (T)



March 4, 2024

**SCOTT FREY, SSEL CORP STORMWATER POLLUTION PREVENTION PLAN
SEQUENCE OF CONSTRUCTION
Scott Frey, 79 Secor Road, Carmel (T)**

The following are sequence and methods of construction for the construction of a single family house on property owned by Scott Frey, 79 Secor Road, Carmel (T), Putnam County, New York. Erosion and sediment control measures are incorporated into the construction program. Construction of this project will be in one phase.

Proposed erosion and sediment control methods are found on the Site Plan. The erosion controls are designed in accordance with the State of New York, "Guidelines for Urban Erosion and Sediment Control". The project is expected to start in the Summer of 2024 and continue over a one year period.

A. General Construction Notes

1. The site shall be disturbed only when and where necessary. Only the smallest practical area of land shall be exposed at any one time during development. When land is exposed, the exposure shall be kept to the shortest practical period of time by immediate stabilization per the stabilization notes, unless specified otherwise. All disturbed areas that are seeded with appropriate seed mixture and procedure are considered stabilized when 80% of the vegetation is achieved.
2. Where ever feasible, natural vegetation shall be retained and protected.
3. The contractor shall inspect all erosion and sediment control devices during all storm events, prior to weekends and prior to all forecasted storm events.
4. The Contractor shall grade and provide stabilization of newly graded and disturbed areas per item 8 of this sequence.

B. Construction Sequence

1. Install all erosion control measures.
2. Perform site grading for the house, utilities and driveway.
3. Begin house construction.
4. Install proposed utilities including, well, septic system, electric and other underground utilities.
5. Topsoil, seed and mulch all disturbed areas in accordance with the stabilization notes.
6. Remove all temporary erosion control measures. Restore/backfill to final grade and provide stabilization is necessary.
7. Contractor to perform final site clean up and dispose of all debris properly.

8. STABILIZATION NOTES

- A. Grade to finished slopes
- B. Soils shall be scarified.
- C. Topsoil with not less than four inches of suitable topsoil material
- D. Seed as follows:

Spring/Fall Planting: Tall fescue	100
Kobe Gespedza	10
Bahi Grass	25
Rye Grass	40

Temporary Summer Planting	
German Millet	40

All above units in lbs/sc

I. INTRODUCTION

1.1. Project background

The project site is located at 79 Secor Road in the Town of Carmel, NY, Putnam County, New York. The site presently contains a single family house, driveway, septic system and well. It is proposed to subdivide the property to create two lots and construct a single family house with asphalt driveway, septic system and well on the vacant second parcel. The property is identified as tax map #.74.12-1-33.

Site Description

The site is approximately 2 acres in size. The existing house parcel will contain 1.02x acres and the vacant lot 0.9559 acres. The proposed house construction will result in an increase in impervious area of 4780 square feet and 28,900 square feet, 0.65 acres of total disturbance.

1.2. SWPPP Overview

It is proposed to construct a single family house on the vacant parcel that will be 1600 square feet in size. A drilled well and septic system will provide water and sewer service to the proposed house. The purpose of this report is to address Storm Water Pollution Prevention and Management for the proposed improvements.

In accordance with the Code of the Town of Carmel and NYSDEC SPDES General Permit for Storm water Discharges from Construction Activities, General Permit GP-0-20-001, because the proposed disturbance for the project exceeds 5,000 square feet, coverage under the General Permit is required, a Notice of Intent (NOI) must be filed and a storm water pollution prevention plan is required for this project.

Construction will begin immediately after receiving approval from the Town of Carmel Building Department of a SWPPP in accordance with the provisions of the Town Code.

II. EXISTING SITE CONDITIONS

2.0 General

The existing property contains a single family house located on the southeast side of Secor Road in the Town of Carmel.

Generally the topography on the site flows from north to south.. The subject property is located in the NYC Watershed.

2.1 Surface Water

A brook is located on the property to the south. .

2.2 Soils

2.1.1. Hydrologic Soils/NRCS Web Soils Survey

Soils on the entire property are classified by the United States Department of Agriculture Soil Conservation Service as Urban Land Chatfield Charlton Complex (CsD) Hydrologic soil group B from the Web Soil Survey.

The pre developed site consists the existing house and associated improvements and woods in good condition.

2.1.2. Site Geotechnical Evaluation

Review of the soil characteristics based on deep test holes indicates a rock and groundwater depth of greater than 7 feet below grade.

2.3. Groundwater

Groundwater is greater than 7 feet below grade.

provide data

2.4. Natural Resources

Natural resources in the vicinity of the site is a brook on an adjacent property to the south and woodland area. A small portion of the woodland will be removed for the construction of the house, septic system and driveway.

2.5. New York State Register of Historic Places Assessment

There are no Historic places on this property.

NOT Per SEAF

2.6. Critical Habitat

There are no critical habitats on this property.

2.7. Offsite Drainage

No changes in drainage patterns are proposed.

2.8 Pre-construction Drainage Areas

No changes to pre construction runoff patterns will result from the construction of this project.

2.9 Potential sources of pollution

Potential sources of pollution which may be reasonably expected to affect the quality of stormwater discharges.

- Sediment – all disturbed areas will be stabilized

III. Stormwater Management, Treatment and Conveyance

A. Storm water treatment is not required. Management of stormwater from this property will be discharging roof and driveway drainage to adjacent lawn areas.

B. Stormwater conveyance for this project consists of sheet flow onto adjacent lawn areas.

IV. Stormwater Management

Treatment of stormwater is not required.

V. Erosion and Sediment Control

A. Temporary Erosion and Sediment Control Measures

1. Temporary erosion and sediment control measures in the design of this project are silt fence. The driveway will be provided with a stabilized construction entrance. The contractor will be responsible for daily sediment cleanup on the driveway, if any. Silt fence are proposed to be installed along the downslope of all areas of disturbance as shown on the site plan, or as determined to be necessary during construction.
2. Runoff will be controlled within the project area. Bare soil areas, disturbed areas, will be seeded and mulched to control possible erosion and slow the velocity of runoff. Such activities shall be initiated by the end of the next business day and completed within 7 days from the date the current soil disturbance activity ceased.
3. Initial grading shall take place to install the sediment control measures. Soil stockpiles shall be stabilized away from any drainage structures or natural drainage paths. Once final grading has been achieved in any area that area shall be seeded and mulched and not redisturbed again.
4. Soil stockpiles must be protected with seeding and/or mulching as soon as possible but no longer than 7 days after ceasing activity. (see item # 2 above)
5. Measures must be in place prior to disturbance of a particular area in order to prevent sediment from traveling off site. This is accomplished on this site by the proper installation of silt fence.

Septic Field
7

6. Dust shall be controlled to keep the amount of particles/sediment generation by construction activity to a minimum. This will be accomplished by seeding and mulching of disturbed areas and wetting areas prone to airborne dust.

7. All temporary and permanent sediment and erosion control measures must be checked on a weekly basis for functionality and stability. This includes the silt fencing and the stabilized construction entrance. Any bare spots in areas previously seeded will be reseeded and mulched as soon as necessary. In areas where soil erosion and sedimentation is found to be a problem and measures are not in place, appropriate measures must be installed as required by the supervising engineer.

8. Final grading shall match approximately the cut and fill lines as shown on the plans. This must be accomplished within 7 days of the end of the construction activity unless otherwise specified under the Town or DEC permits. (see item # 2 above)

9. Temporary measures shall not be removed until all disturbed areas protected by such measures are fully and properly stabilized.

10. Permanent non structural measures to remain in place are re-established areas of grass and landscaping within the non impervious areas.

11. Pollution prevention measures that will be utilized to prevent construction debris from becoming a pollutant source include:

...Litter control – refuse containers will be provided on the site for the deposition of any debris. The contractor shall police the site at the end of each day, collect litter and deposit litter in the refuse containers.

...Construction chemicals – all construction chemicals including but not limited to equipment fuels and oils and cleaning solvents shall be stored in appropriate containers and within a locked facility overnight.

Any spills of construction chemicals will be immediately cleaned up in accordance with appropriate procedures.

Any significant spill will be immediately reported to the NYSDEC pursuant to State Regulations, procedures and requirements.

...Construction debris will be collected and placed in roll off containers and disposed off site in at an appropriate disposal facility. (Part III.B.1.j)

B. Permanent Erosion Control Measures

1. Permanent erosion control measures employed in the design of the project include stabilization of all disturbed areas with grass.

VI. Inspection & Maintenance of Stormwater and Erosion Control Measures

A. Inspection and Reporting Requirements

All erosion control measures are to be inspected weekly. In the case of a rain event, measures must be checked immediately after. Inspections shall be made by a qualified professional and reports will be kept on site in a dedicated mailbox labeled, "Stormwater Documents".

B. Responsibilities

The project contractor and/or subcontractors shall be responsible to install, construct, repair, replace, inspect and maintain the temporary erosion and sediment control practices included in the SWPPP. The project contractor/subcontractor shall be responsible for constructing the post construction storm water management practices included in the SWPPP. Such measures will be maintained by the project contractor/subcontractor during the entire construction period.

Permanent measures will be maintained by the owner of the property.
(Part III.A.6) (Part IV)

Developer:

Scott Frey
PO Box 644
Cross River, NY, 10518

Owner/ Applicant
Same as developer

The *owner or operator* shall have each of the contractors and subcontractors identify at least one person from their company that will be responsible for implementation of the SWPPP. This person shall be known as the *trained contractor*. The *owner or operator* shall ensure that at least one *trained contractor* is on site on a daily basis when soil disturbance activities are being performed.

The *owner or operator* shall have each of the contractors and subcontractors identified above sign a copy of the following certification statement below before they commence any *construction activity*:

"I hereby certify that I understand and agree to comply with the terms and conditions of the SWPPP and agree to implement any corrective actions identified by the *qualified inspector* during a site inspection. I also

understand that the *owner or operator* must comply with the terms and conditions of the most current version of the New York State Pollutant Discharge Elimination System ("SPDES") general permit for storm water discharges from construction activities and that it is unlawful for any person to cause or contribute to a violation of water quality standards. Furthermore, I understand that certifying false, incorrect or inaccurate information is a violation of the referenced permit and the laws of the State of New York and could subject me to criminal, civil and/or administrative proceedings. "

In addition to providing the certification statement above, the certification page must also identify the specific elements of the SWPPP that each contractor and subcontractor will be responsible for and include the name and title of the person providing the signature; the name and title of the *trained contractor* responsible for SWPPP implementation; the name, address and telephone number of the contracting firm; the address (or other identifying description) of the site; and the date the certification statement is signed.

The *owner or operator* shall attach the certification statement(s) to the copy of the SWPPP that is maintained at the construction site. If new or additional contractors are hired to implement measures identified in the SWPPP after construction has commenced, they must also sign the certification statement and provide the information listed above.

C. Temporary Measures

1. Construction Entrance(s)

The construction entrances shall be maintained in a condition which will prevent tracking or flowing of sediment onto the public right of way. This will require, sweeping and washing the driveway surfaces, periodic top dressing with addition stone or additional length as conditions demand based on daily inspections and repair and/or clean out of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights of way must be immediately removed.

2. Silt Fence

Silt fence is proposed down gradient from all disturbed areas proposed on the site. Silt fence is used to collect the transported sediment load due to runoff and to slow said runoff, in an effort to prevent erosion. The silt fence is a temporary barrier of geotextile fabric supported by fence posts at a 10 foot maximum interval.

Sediments shall be removed from behind the fence when it becomes 0.5 feet deep at the fence. It should also be inspected regularly, at least once a week and repaired as needed to maintain a

barrier.

D. Permanent Measures

1. Permanent vegetation

All grassed areas shall be maintained to provide a vegetative cover to hold soils in place.

VII. General Requirements for Owners or Operators with Permit Coverage

A. The *owner or operator* shall maintain a copy of the General Permit (GP-0-20-002), NOI, *NOI Acknowledgment Letter*, SWPPP, MS4 SWPPP Acceptance form and inspection reports at the construction site until all disturbed areas have achieved *final stabilization* and the NOT has been submitted to the Department.

The documents must be maintained in a secure location, such as a job trailer, on-site construction office, or mailbox with lock. The secure location must be accessible during normal business hours to an individual performing a compliance inspection. (Part II.B.C.2)

B. For *construction activities* that are subject to the requirements of a *regulated, traditional land use control MS4*, the *owner or operator* shall notify the *MS4* in writing of any planned amendments or modifications to the post-construction stormwater management practice component of the SWPPP required by Part III.A. 4. and 5. of this permit. Unless otherwise notified by the *MS4*, the *owner or operator* shall have the SWPPP amendments or modifications reviewed and accepted by the *MS4* prior to commencing construction of the post-construction stormwater management practice. (Part II.C.5)

C. For *construction activities* that are subject to the requirements of a *regulated, traditional land use control MS4* and meet subdivision 2a. or 2b. of this Part, the *owner or operator* shall also have the *MS4* sign the “MS4 Acceptance” statement on the NOT. The *owner or operator* shall have the principal executive officer, ranking elected official, or duly authorized representative from the *regulated, traditional land use control MS4*, sign the “MS4 Acceptance” statement. The *MS4* official, by signing this statement, has determined that it is acceptable for the *owner or operator* to submit the NOT in accordance with the requirements of this Part. The *MS4* can make this determination by performing a final site inspection themselves or by accepting the *qualified inspector's* final site inspection certification(s) required in Part V.3. (Part V.A.4)

D. Within 10 days after the installation of all erosion control plan measures, the applicant shall submit to the Building Inspector a letter from the qualified professional who designed the plan for Frank Fante, stating that all erosion control measures have been constructed and installed in compliance with the approved plans.

E. Various certifications are required to be completed as follows:

1. SWPPP Modification Summary Sheet
2. SWPPP Preparer Certification
3. Contractor and Sub-contractor Certification

These documents are appended to this SWPPP.

VIII. Conclusions

In conclusion, the proposed project shall not result in any negative impact to existing hydrologic condition at the vicinity of the property and proposed storm water management practices conforms to NYSDEC Stormwater Management Design Manual and GP-0-20-001. In addition, the design of all storm water management practices meets the requirements of the Town of Carmel.



New York State Department of Environmental Conservation
Division of Water
625 Broadway, 4th Floor
Albany, New York 12233-3505

MS4 Stormwater Pollution Prevention Plan (SWPPP) Acceptance Form
for
Construction Activities Seeking Authorization Under SPDES General Permit
*(NOTE: Attach Completed Form to Notice Of Intent and Submit to Address Above)

I. Project Owner/Operator Information

1. Owner/Operator Name: SSEL CORP
2. Contact Person: SCOTT FREY
3. Street Address: 48 SALEM ROAD
4. City/State/Zip: POUNDRIDGE, NY, 10576

II. Project Site Information

5. Project/Site Name: FREY 2 LOT SUBDIVISION
6. Street Address: 79 SECOR ROAD
7. City/State/Zip: MAHOPAC, NY, 10541

III. Stormwater Pollution Prevention Plan (SWPPP) Review and Acceptance Information

8. SWPPP Reviewed by:
9. Title/Position:
10. Date Final SWPPP Reviewed and Accepted:

IV. Regulated MS4 Information

11. Name of MS4:
12. MS4 SPDES Permit Identification Number: NYR20A _____
13. Contact Person:
14. Street Address:
15. City/State/Zip:
16. Telephone Number:

MS4 SWPPP Acceptance Form - continued

V. Certification Statement - MS4 Official (principal executive officer or ranking elected official) or Duly Authorized Representative

I hereby certify that the final Stormwater Pollution Prevention Plan (SWPPP) for the construction project identified in question 5 has been reviewed and meets the substantive requirements in the SPDES General Permit For Stormwater Discharges from Municipal Separate Storm Sewer Systems (MS4s).

Note: The MS4, through the acceptance of the SWPPP, assumes no responsibility for the accuracy and adequacy of the design included in the SWPPP. In addition, review and acceptance of the SWPPP by the MS4 does not relieve the owner/operator or their SWPPP preparer of responsibility or liability for errors or omissions in the plan.

Printed Name:

Title/Position:

Signature:

Date:

VI. Additional Information



**PUTNAM COUNTY DEPARTMENT OF HEALTH
DIVISION OF ENVIRONMENTAL HEALTH SERVICES**

DESIGN DATA SHEET – SUBSURFACE SEWAGE TREATMENT SYSTEM

Owner: SSEL CORP. SCOTT FREY Address: 48 SALEM ROAD POUNDRIDGE, NY, 10576
 Located at (street): T9 SECOR RD TM# 74.12-1-33
 Municipality: CARMEL Watershed: AMAWALK RES

SOIL PERCOLATION TEST DATA

Date of Pre-soaking: 9/28/21 Witnessed by: ANTHONY FRICCHIONE
 Date of Percolation Test: 9/29/21

Hole No.	Hole depth (Inches)	Run No.	Time Start – Stop	Elapse Time (min.)	Depth to water from ground surface (inches) Start - Stop	Water level drop in inches	Percolation Rate min/inch
1	30"	1	1152 1222	30	24 25	1	30
		2	1226 1256	1	24.75	0.75	40
		3	1256 126	1	24.75	0.75	40
		4					
		5					
2	30"	1	1153 1214	21	24 27	3	7
		2	1216 1245	27	1 1	1	9
		3	1248 117	29			9.66
		4					
		5					
3	30"	1	1156 1203	7	24 27.5	3.5	2
		2	1204 1211	7	27	3	2.33
		3	1212 1221	9	28	4	2.25
		4	1224 1232	8	27.5	3.5	2.3
		5	1235 1247	12	28	4	3
4	30"	1	1159 1218	19	24 27	3	6.33
		2	1220 1250	30	1 1	1	10
		3	1253 123	30			10
		4					
		5					

Notes:

- Tests to be repeated at same depth until approximately equal percolation rates are obtained at each percolation test hole. (i.e., ≤ 1 min for 1-30 min/inch, ≤ 2 min for 31-60 min/inch). All data to be submitted for review.
- Depth measurements to be made from top of hole.



**PUTNAM COUNTY DEPARTMENT OF HEALTH
DIVISION OF ENVIRONMENTAL HEALTH SERVICES**

DESIGN DATA SHEET – SUBSURFACE SEWAGE TREATMENT SYSTEM

Owner: SEEL CORP - Scott Frey

Address: _____

Located at (street): 79 Secor Rd

TM# 74.12-1-33

Municipality: Carmel

Watershed: Amawalk Res

SOIL PERCOLATION TEST DATA

Date of Pre-soaking: 11/16/21

Witnessed by: Anthony Fruchione
Date of Percolation Test: 11/17/21

Hole No.	Hole depth (Inches)	Run No.	Time Start - Stop		Elapse Time (min.)	Depth to water from ground surface (inches)		Water level drop in inches	Percolation Rate min/inch	
						Start	Stop			
1A	30"	1	1146	1216	30	24	26	2	15	
		2	1217	1247	1	1	1	1	1	
		3	1249	119	1	1	1	1	1	
		4								
		5								
1B	30"	1	1142	1212	30	24	27	3	10	
		2	1213	1243	1	1	1	1	1	
		3	1246	116	1	1	1	1	1	
		4								
		5								
		1								
		2								
		3								
		4								
		5								

Notes:

- Tests to be repeated at same depth until approximately equal percolation rates are obtained at each percolation test hole. (i.e., ≤ 1 min for 1-30 min/inch, ≤ 2 min for 31-60 min/inch). All data to be submitted for review.
- Depth measurements to be made from top of hole.

TEST PIT DATA
DESCRIPTION OF SOILS ENCOUNTERED IN TEST HOLES

DEPTH	HOLE # <u>1</u>	HOLE # <u>2</u>	HOLE # <u>3</u>	HOLE # <u>4</u>	HOLE # _____
G.L.	<u>0-6"</u>	<u>0-6"</u>	<u>0-6"</u>	<u>0-6"</u>	
0.5'	<u>TOPSOIL</u>	<u>TOPSOIL</u>	<u>TOPSOIL</u>	<u>TOPSOIL</u>	
1.0'	<u>6"-7 FT</u>				
1.5'	<u>SANDY</u>	<u>same</u>	<u>same</u>	<u>same</u>	
2.0'	<u>SILT</u>	<u>as</u>	<u>as</u>	<u>as</u>	
2.5'	<u>LOAM</u>	<u>#1</u>	<u>#1</u>	<u>#1</u>	
3.0'					
3.5'					
4.0'					
4.5'					
5.0'					
5.5'					
6.0'					
6.5'					
7.0'	<u>/</u>	<u>/</u>	<u>/</u>	<u>/</u>	
7.5'					
8.0'					
8.5'					
9.0'					
9.5'					
10.0'					

Indicate level at which groundwater is encountered none

Indicate level at which mottling is observed none

Indicate level to which water level rises after being encountered N/A

Deep hole observations made by: Anthony Fruchione Date 9/10/21

Design Professional Name: John Karell, Jr., P.E.

Address: 121 Cushman Rd
Patterson, NY, 12563

Signature: [Handwritten Signature]



Design Professional's Seal



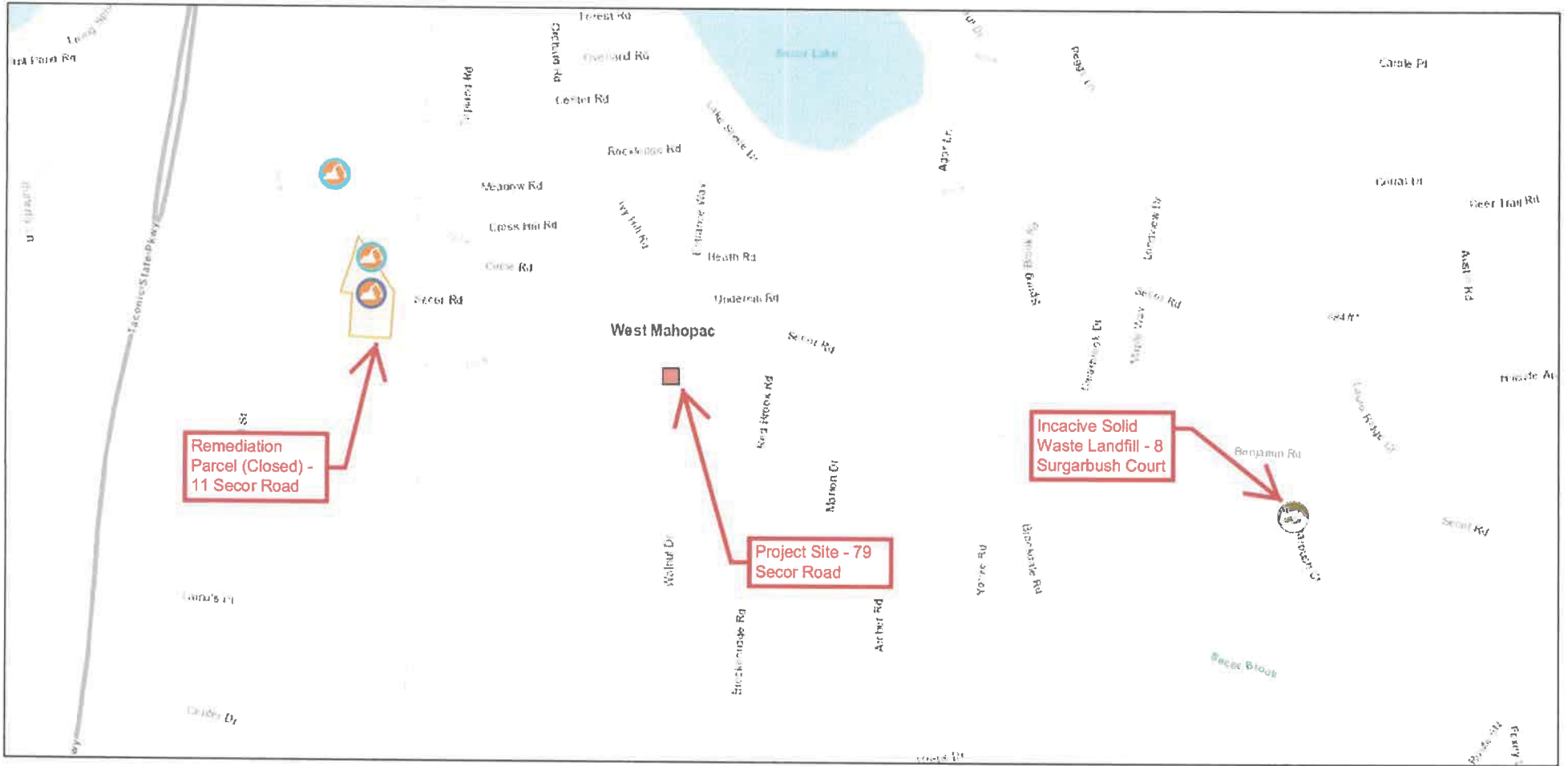
Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri Thailand, NGCC, IGN, OpenStreetMap contributors, and the GIS User Community; Esri, HERE, Garmin, USGS, NPS

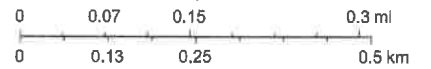
Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No

No Action & Closed Remediation Areas/Inactive Landfill



March 22, 2024

1:9,028



Esri, HERE, Garmin, INCREMENT P, Intermap, USGS, METV
NASA, EPA, USDA

Zoom

Find Address

search

draw the shape on the map

Circle Polygon

Graphic (Optional)

Create Buffer

Reset

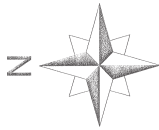
Map interface showing a search area in West Mahopac. A red dashed circle highlights the search area, and a red dot marks the search point. The map includes a legend, scale bar, and navigation controls.

Legend:

- Buildings
- LPC Landmarks
- Cemeteries
- DOT BIKs
- Building Footprints
- National Register Building Listings
- Building Districts
- Archaeology Surveys
- Building Surveys
- Consultation Projects
- LPC Historic Districts
- Archaeological Buffer Areas
- Certified Local Governments
- Qualifying Census Tracts
- State Park Land
- Adirondack Forest Preserve NHL Boundary
- Bedrock Geology
- 118th Congressional Districts
- Minor Civil Divisions

Scale: 0 150 300ft

Map Labels: Hill Rd, Ivy Hill Rd, Fairway Rd, Entrance Way, Fern Ln, Heath Rd, Underhill Rte, Secor Rd, West Mahopac, Red Brook Rd, Walnut Dr.



**PUTNAM COUNTY DEPARTMENT OF HEALTH
REALTY SUBDIVISION GENERAL NOTES**

- The Putnam County Department of Health requires a Construction Permit Application be submitted for approval for each individual subsurface sewage treatment system (SSTS) prior to the issuance of building permits by the local municipality.
- All individual water supplies shall be drilled wells.
- All drilled wells shall be constructed in accordance with the New York State Health Department 10NYCRR Appendix 5B, Standards for Water Wells.
- All wells shall be pump tested for a minimum of 6 hours and have a minimum safe yield of 5 gallons per minute.
- The Putnam County Department of Health approval is based on locations of SSTS, wells, and driveway locations being maintained as shown. All modifications to have prior Putnam County Department of Health approval.
- Unauthorized modifications made to this drawing after the date of Putnam County Health Department approval or any misinformation and/or erroneous data voids said approval.
- No cut or fill is permitted in the SSTS area, except if so specified on the approved plan.
- All stone walls in and within 10 feet of the SSTS area shall be removed to their entire depth and the resulting void replaced with similar on site soil.
- Purchasers of lots to be furnished with a true copy of this plan as approved by the Putnam County Department of Health together with a copy of the Certificate of Approval.
- The conditions noted on the Putnam County Department of Health Certificate of Approval are an integral part of this subdivision approval and compliance is required.
- The area delineated for primary and reserve SSTS areas are to be physically marked on the ground and no earth moving or construction equipment, building equipment or excavated earth is to be allowed in these areas except as required for construction of the system.
- It is the intention of this plan that wells to be a minimum of 100 feet from absorption trenches, except when a well is downhill and in direct line of drainage with the SSTS, then the minimum distance shall be 200 feet.
- Flow from all proposed dwellings to the SSTS areas to be by gravity except if so noted in the SSTS schedule.
- The SSTS designs do not provide for the installation of garbage grinders. Such installations require additional design and the approval of the Putnam County Health Department.
- Approval is herewith granted for a total of 2 lots only, namely: lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, and these lots only.

ZONING SCHEDULE

C - COMMERCIAL	REQUIRED		PROPOSED	
	LOT # 1	LOT # 2	EXISTING HOUSE	
MIN. LOT AREA (SQ)	40,000	41,615	44,574	
MIN. LOT WIDTH (FT)	200	159*	154*	
MIN. LOT DEPTH (FT)	200	269	281	
MIN. YARD DIMENSIONS				
FRONT	40	172.8	159.6	
SIDE	25	59.9	53.1	
REAR	30	31.2*	46.8	
MAX. BUILDING HEIGHT (FT)	35	<35	<35	
MIN. FRONTAGE (FT)	100	103.5	119.8*	
MAX. LOT COVERAGE (%)	30	16.7	16.6	

* VARIANCE REQUIRED

TO REAL PROPERTY TAX DEPARTMENT

PLEASE CERTIFY THAT THE FOLLOWING TAX MAP NUMBER MAP 13.12 BLOCK 1 LOT 30 IS IN THE TOWN OF CARMEL IS THE CORRECT TAX MAP NUMBER FOR THE ATTACHED SUBDIVISION MAP

**PUTNAM COUNTY CLERK'S OFFICE
CARMEL, NEW YORK**

MAP NO. _____
FILED _____
AFFIDANT FILED _____
AS PER LOCAL LAW NO. 3 OF 1987 _____ DATE _____

OWNER'S CONSENT

THE UNDERSIGNED OWNER OF THIS PROPERTY HEREBY STATES THAT HE IS FAMILIAR WITH THESE DRAWINGS, THEIR CONTENTS AND THEREAFTER AND HEREBY CONSENTS TO ALL THEIR SAID TERMS AND CONDITIONS AS STATED THEREON. FURTHER, THE OWNER CONSENTS TO THE FILING OF THIS MAP.

DATE _____

PUTNAM COUNTY DEPARTMENT OF HEALTH

DEPARTMENT OF ENVIRONMENTAL HEALTH SERVICES
NON-JURISDICTIONAL APPROVAL STATEMENT

THIS IS TO CERTIFY THAT THE DIVISION OF LAND AS REPRESENTED ON THIS MAP DOES NOT FALL WITHIN THE DEFINITION OF SUBDIVISION AS SPECIFIED IN SECTION 1110 OF THE PUBLIC HEALTH LAW, AND SECTION 1117 OF THE PUBLIC HEALTH LAW AND THEREFORE, IS NOT APPLICABLE. THIS MAP AND NO WAY EXPRESS OR IMPLIED, CONVEYS THE APPROVAL OF THE PUTNAM COUNTY DEPARTMENT OF HEALTH. APPROVAL OF THIS PLAN IS NOT REQUIRED, BUT ALL OTHER PROVISIONS OF THE PUTNAM COUNTY SANITARY CODE APPLY.

BY: _____
(CHAIRPERSON, PATTERSON PLANNING BOARD)

DATE: _____

DIRECTOR, ENVIRONMENTAL HEALTH SERVICES

TOWN OF CARMEL PLANNING BOARD

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF PATTERSON, PUTNAM COUNTY, NEW YORK, ON THE _____ DAY OF _____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION, ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL, SIGNED THIS _____ DAY OF _____.

BY: _____
(VICE-CHAIRPERSON, PATTERSON PLANNING BOARD)

DATE: _____

THIS PLAN VALID FOR FILING UNTIL _____ (DATE). THIS MAP MUST BE FILED IN THE PUTNAM COUNTY CLERK'S OFFICE WITHIN 30 DAYS OF THIS APPROVAL.

**PUTNAM COUNTY COMMISSIONER OF FINANCE'S OFFICE
CARMEL, NEW YORK**

THE COMMISSIONER OF FINANCE HEREBY CERTIFIES THAT ALL TOWN, COUNTY AND VILLAGE REAL PROPERTY TAXES PROVIDED TO HIS OFFICE FOR COLLECTION AS TO PARCELS DESCRIBED ARE: _____

SIGNED: _____
COMMISSIONER OF FINANCE

PROFESSIONAL ENGINEER

JOHN KARELL, JR., P.E.
121 CUSHMAN ROAD
PATTERSON, N.Y. 12563

PROFESSIONAL LAND SURVEYOR

DAVID L. ODELL, PLS
123 CUSHMAN ROAD
PATTERSON, N.Y. 12563

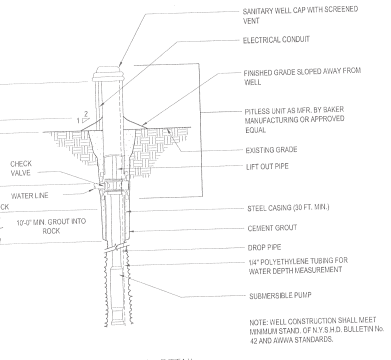
LAND SURVEYOR'S CERTIFICATION

I, DAVID L. ODELL HEREBY CERTIFY THAT THE SURVEY UPON WHICH THIS MAP IS BASED WAS COMPLETED APRIL 10, 2023 AND MAP PREPARED FEBRUARY 24, 2024

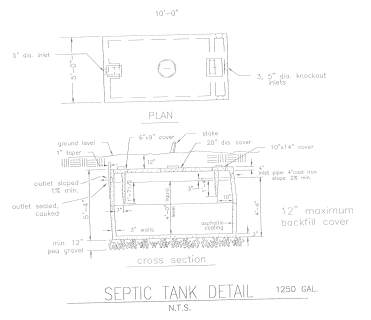
NEW YORK STATE LICENSED LAND SURVEYOR NO. 050074

NO.	DATE	TOWN COMMENTS
1	MARCH 25, 2024	TOWN COMMENTS

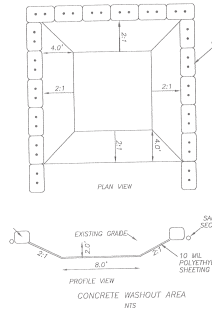
**SKETCH
SUBDIVISION PLAN
PREPARED FOR
SSEL CORP.
SITUATE IN THE
TOWN OF CARMEL
PUTNAM COUNTY, NEW YORK
SCALE: 1" = 30'**



TYPICAL WELL DETAIL
N.T.S.

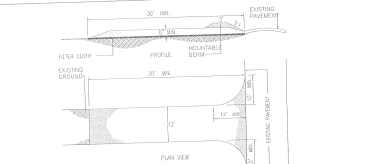


SEPTIC TANK DETAIL 1250 GAL.
N.T.S.



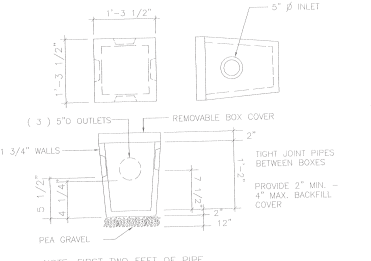
CONCRETE WASHOUT AREA HIT

1. CONCRETE WASHOUT AREA TO BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE. CONCRETE WASHOUT AREA TO BE ENTIRELY SELF-CONTAINED.
2. HAY BALES SHALL BE PROVIDED AROUND THE PERIMETER OF CONCRETE WASHOUT AREA FOR CONTAINMENT.
3. WASHOUT AREA SHALL BE LINED WITH PLASTIC SHEETING NO THINNER THAN 1 MILS. SHEETING SHALL HAVE NO HOLES OR TARS AND SHALL BE ANCHORED BY SAND BAGS ON ALL SIDES EXCEPT ACCESS SIDE. PLASTIC Lining TO BE REPAIRED WITH EACH CLEANING.
4. SIGNS SHALL BE PROVIDED AT THE CONSTRUCTION ENTRANCE AND CONCRETE AREAS INDICATING LOCATION OF WASHOUT AREA.
5. WASHOUT AREA TO BE ENCLOSED IN CONSTRUCTION FENCE.
6. WASHOUT AREAS TO BE INSPECTED DAILY TO ENSURE LINER IS INTACT AND ADEQUATE CAPACITY IS AVAILABLE AT ALL TIMES. WASHOUT AREAS SHALL BE INSPECTED IMMEDIATELY AFTER HEAVY RAINS. DAMAGE OR LEAKING WASHOUT AREAS TO BE DEACTIVATED AND REPAIRED IMMEDIATELY.
7. CONCRETE WASTE SHALL BE REMOVED AND DISPOSED OF ONCE IT REACHES THREE-QUARTERS OF THE WASHOUT AREA'S HEIGHT. ALL WASTE SHALL BE DISPOSED OF IN A MANNER CONSISTENT WITH APPLICABLE LAWS, REGULATIONS AND GUIDELINES OF MUNICIPALITY.



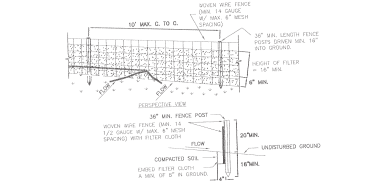
STABILIZED CONSTRUCTION ENTRANCE
N.T.S.

- CONSTRUCTION SPECIFICATIONS:
1. STONE SOIL - USE 2\"/>
 - 2. LENGTH - NOT LESS THAN 30 FEET.
 - 3. THICKNESS - NOT LESS THAN 18\"/>
 - 4. WIDTH - MINIMUM 4\"/>
 - 5. FILTER CLOTH - 1/2\"/>
 - 6. FILTER CLOTH - WILL BE PLACED OVER THE EXISTING AREA PRIOR TO PLACING OF STONE SOIL.
 - 7. TRENCH OR APPROVED EQUIV.
 - 8. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCE SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A WATERABLE BERM WITH 2\"/>
 - 9. SLOPES WILL BE PERMITTED.
 - 10. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT BACKFLOW OF FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SHALL BE PROPERLY REMOVED OR TRAPPED INTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SHALL BE PROPERLY REMOVED OR TRAPPED INTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SHALL BE PROPERLY REMOVED OR TRAPPED INTO PUBLIC RIGHTS-OF-WAY.
 - 11. INSPECTION AND REPAIRS - INSPECTION AND REPAIRS SHALL BE PROVIDED AFTER EACH RAIN.
 - 12. REPAIRS - INSPECTION AND REPAIRS SHALL BE PROVIDED AFTER EACH RAIN.



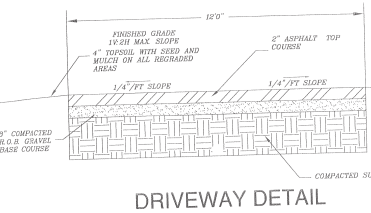
JUNCTION BOX DETAIL
N.T.S.

- NOTE: FIRST TWO FEET OF PIPE FROM J.B. SHALL BE SOLID PIPE TO THE PERFORATED PIPE IN THE TRENCH.

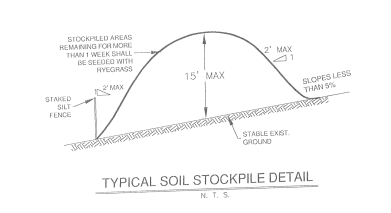


TYPICAL ABSORPTION TRENCH DETAIL
N.T.S.

- CONSTRUCTION SPECIFICATIONS:
1. WOOD WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES ON SPACES. POSTS SHALL BE STEEL EITHER 2\"/>
 - 2. FILTER CLOTH TO BE SET IN FACINGS. REQUIRE 18\"/>
 - 3. WHEN TWO SECTIONS OF FILTER CLOTH ARE USED, THEY SHALL BE OVERLAPPED BY 24\"/>
 - 4. REINFORCED SAND SHALL BE DESIRED, EMERGENCY, OR APPROVED EQUIV.
 - 5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND WATER REMOVED WHEN "SHOCKED" DURING THE SET FENCE.



DRIVEWAY DETAIL



TYPICAL SOIL STOCKPILE DETAIL
N.T.S.

- NOTES--
1. OWNER: SSEL Corp, Scott Free
 2. SITE ADDRESS: 77 Secor Road, Carmel (T)
 3. WATERSHED: New York City, Croton Reservoir
 4. All pipes connecting to all tankage and boxes shall be cut flush with the inside wall of the tank or box.
 5. Prior to any excavation all underground utilities must be located. Call 1-800-962-7962.
 6. Slope primary and expansion area: 2.5%.
 7. Construction Start Date: July 1, 2024
Finish Date: June 1, 2025
 8. Soil characteristics: see below
 9. Soil percolation rate: 15 minutes per inch
 10. Design based upon 4 bedrooms, 600 gpd
 11. Proposed Septic Tank Size: 1250 gallons.
 12. Proposed absorption trench: 350 linear feet primary, 390 expansion
 13. Fill - none
Curtain Drain - none
 14. Soils - Charlton - Chalfield complex @ 15%, rocks, Hydrologic Soil Group B
 15. Area of disturbance - 25,000 square feet, 0.55 acres
 16. Map datum - NAVD83 (North American Vertical Datum 1988)
 17. Property 2 acres
 18. Topographic survey by David Odell July 6, 2021
 19. No existing or proposed wells within 100 feet of the proposed SSTS area, 200 feet if in Direct line of drainage.

SOIL TESTING

DEEP HOLES

D1	6\"/>
D2	same as D1
D3	same as D1
D4	same as D1

DEEPS INSPECTED September 10, 2021

HOLES

P1	40 minutes per inch	PIA	15	P1B	10	PRESOAK	11/621	PERC	11/1721
P2	9.66	P3	3	P4	10	PRESOAK	9/28/2021	PERC	9/29/2021

SEPTIC SYSTEM DESIGN

4 bedrooms, 150 GPD/BEDROOM, DAILY FLOW 600 GALLONS

Per Rate 11-15 minutes per inch, Application Rate 0.8 GPD/SP

REQUIRED AREA: 600 DIVIDED BY 0.8 = 750 SQUARE FEET

REQUIRED TRENCH LENGTH: REQUIRED AREA (750) DIVIDED BY TRENCH WIDTH (2 FT) = 375 LINEAL FEET



PROPERTY OWNER WITHIN 500 FEET OF THIS PROPERTY

55-6-145 William Schaufeld 10 Church St Carmel, NY 10512	55-6-132 Gleason Heating & Vent 7 Seminary Hill Rd Carmel, NY 10512	55-6-144 Masonic Churches of Carmel 13 Church St Carmel, NY 10512	55-6-146 Church Street Associates LLC 190 Executive Blvd Ste 201 Ossining, NY 10562	55-6-123 15 Church St LLC 15 Church St Carmel, NY 10512	55-6-149 Lisa Ostratous 90 Seminary Hill Rd Carmel, NY 10512	55-6-141 Herman Lin 2108 Van Overland Cir Yorktown Heights, NY 10598	55-6-135 Blair Ta Lin 2108 Van Overland Cir Yorktown Heights, NY 10598	55-6-111 Wayne Ryder PO BOX 10 Carmel, NY 10512	55-6-124 John Regan PO BOX 67 20 Church St Carmel, NY 10512	55-6-141 26 Brewster Ave Corp 20 Church St 20 Church St Carmel, NY 10512	55-6-143 18 Church Street Corp 10 Hookneck Ln Stations, NY 10541	55-6-133 11 Hookneck Holdings, Inc. 332 Clockwork Commons Brewster, NY 10509	55-6-147 Romanita Savello 5 Farm Ln Carmel, NY 10512	55-6-143 CEO Realty Group LLC 344 Main St Apt 408 Beacon, NY 10512	55-6-133 Gleason Senior Appt LP 5 Seminary Hill Rd Carmel, NY 10512	55-6-148 Faucus Gardens, Trustee 3811 Perry St Jefferson Valley, NY 10535	55-6-149 Lamed Enterprises, LLC 308 Mill Plain Rd Danbury, CT 06811	55-6-133 Lamed Enterprises, LLC 308 Mill Plain Rd Danbury, CT 06811	55-6-146 Eric Roganoff 28 Seminary Hill Rd Carmel, NY 10512	55-6-146 6 Church Street Apartments LL 480 East 37th St Apt 15C New York, NY 10027	55-6-146 6 Church Street Apartments LLC 480 East 37th St Apt 15C New York, NY 10027	55-6-146 City of New York 71 South Ave Kingston, NY 12401	55-6-132 Gleason Distillery NY Inc 382 Central Park West Apt 2V New York, NY 10025	55-6-133 11 Seminary Hill Rd Carmel, NY 10512	55-6-133 11 Seminary Hill Rd Carmel, NY 10512	55-6-133 11 Seminary Hill Rd Carmel, NY 10512
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SURVEY INFORMATION FROM DAVID ODELL L.S. DATED JULY 6, 2021, DATUM NAVD 1988

ALTERATION OF THIS DRAWING CANNOT BE A LICENSEE'S P.E. OR ARCHITECT OR LICENSED LAND SURVEYOR IS ILLEGAL. ANY ALTERATION BY A P.E. OR ARCHITECT OR SURVEYOR MUST BE INDICATED AND BEAR HIS SEAL, SIGNATURE AND DATE OF ALTERATION.

1	MARCH 25, 2024	TOWN COMMENTS	
2	DATE		
JOHN KARELL, JR. P.E.			
121 CUSHMAN ROAD PATTERSON, NEW YORK 12563			
OWNER:	SSEL CORP. 79 SECOR ROAD CARMEL (T)	SCALE:	LATEST REVISION:
DATE:	October 11, 2023	SHEET NO.:	
TAX MAP:	74-12-1-33	D-1	



SOIL LEGEND
 UIC Urban land-Chariton-Chatfield complex, rolling, very rocky (entire property)

Slopes Table			
Minimum Slope	Maximum Slope	Square Feet	Color
0.00%	15.00%	28,500 sq. ft.	
15.00%	25.00%	3,237 sq. ft.	
25.00%	35.00%	1,145 sq. ft.	
35.00%	53.43%	379 sq. ft.	



LEGEND: COMMERCIAL RESIDENTIAL
 ZONING MAP SCALE: 1" = 200' +/-

FILED MAPS WITHIN 500 FEET OF "SITE":
 MAP OF LAKE SECOR PREPARED FEBRUARY 27, 1932, FILED MAP NO. 157
 MAP OF LAKES OF SECTION OF COOK BIRCH AND MAIN GREEN AND PROPERTY OF OTHERS PREPARED OCTOBER 10, 1955 FILED MAP NO. 687-D
 SUBDIVISION MAP OF BRECKENRIDGE MANOR PREPARED JULY 19, 1952 FILED MAP NO. 687-C

SURVEY INFORMATION FROM DAVID ODELL L.S. DATED JULY 6, 2021, DATUM NAVD 1986
 THIS ENGINEER HAS VERIFIED THAT NO WELLS EXIST WITHIN 200 FEET OF THE PROPOSED SEPTIC SYSTEM AND NO SEPTIC SYSTEMS EXIST WITHIN 200 FEET OF THE PROPOSED WELL, EXCEPT AS SHOWN ON THESE PLANS.
 ALTERATION OF THIS DRAWING EXCEPT BY A LICENSED P.E. OR ARCHITECT OR LICENSED LAND SURVEYOR IS ILLEGAL. ANY ALTERATION BY A P.E. OR ARCHITECT OR SURVEYOR MUST BE INDICATED AND BEAR HIS SEAL, SIGNATURE AND DATE OF ALTERATION.

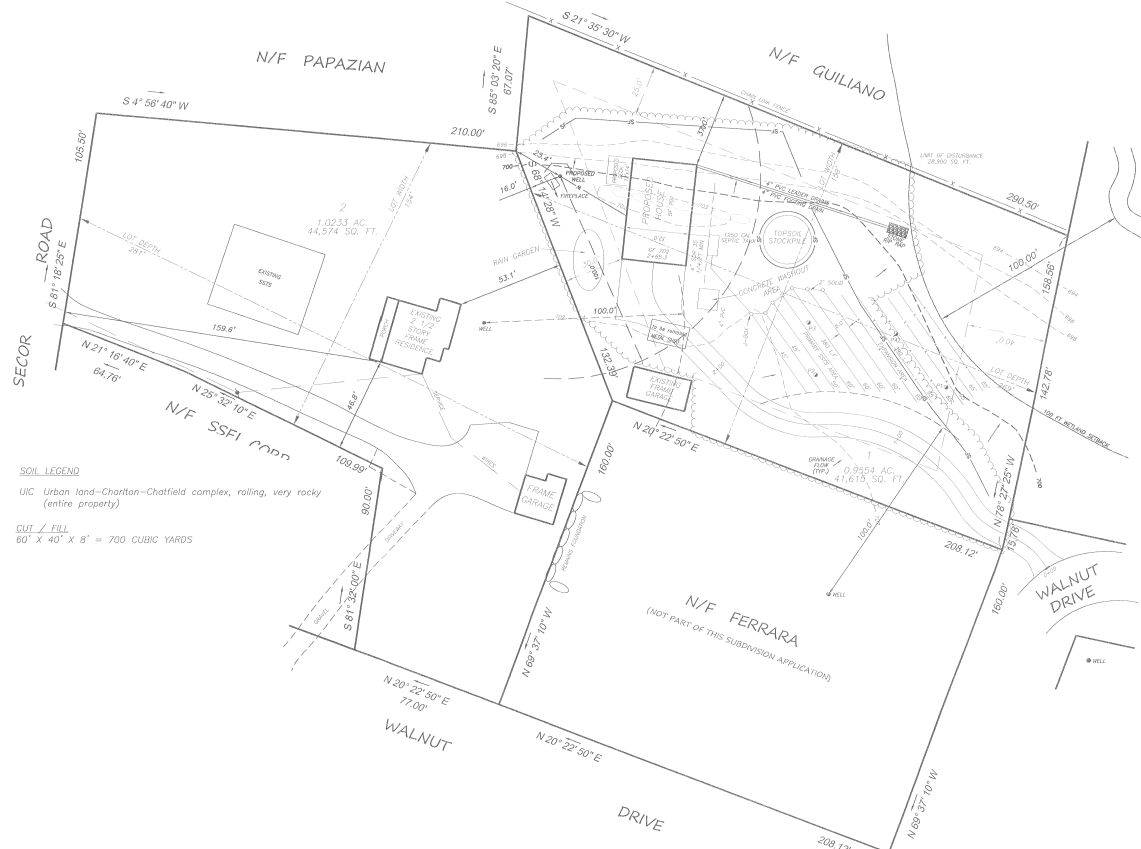
No.	DATE	TOWN COMMENTS
1	MARCH 25, 2024	

JOHN KARELL, JR. P.E.
 121 CUSHMAN ROAD
 PATTERSON, NEW YORK 12563



OWNER: SSEL CORP. 79 SECOR ROAD CARMEL, (T)	SCALE: 1" = 30'	LATEST REVISION:
EXISTING CONDITIONS PLAN	DATED: October 11, 2023	SHEET No. EC-1
	TAX MAP: T4.12-1-33	

845-876-7034 phone
 jkarell@johnkarell.com
 jkarell11@johnkarell.com



SOIL LEGEND
 UIC Urban land-Charlton-Chatfield complex, rolling, very rocky (entire property)
 CUT / FILL
 60' x 40' x 8' = 700 CUBIC YARDS

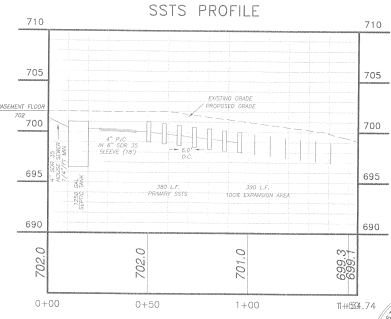
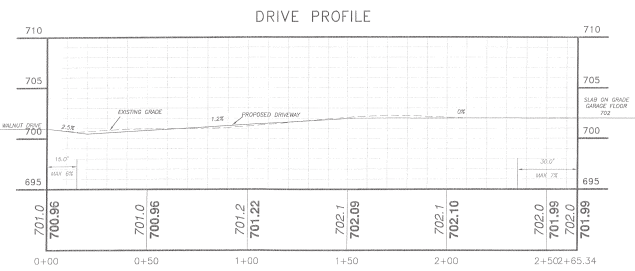
- SOIL EROSION AND SEDIMENT CONTROL NOTES**
- ALL SOIL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE STALLED IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, 2018, AS REVISED.
 - ANY DISTURBED AREA THAT WILL BE LEFT UNDISTURBED AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL BE SEED AND MULCHED WITHIN 7 DAYS OF THE LAST DISTURBANCE WITH TEMPORARY SEEDING.
 - IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS SHALL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL. THE SEEDING SHALL BE DONE IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, 2018 AS FOLLOWS:

Species (Lb. by 1000 sq ft)	60-100% (Lb. by 1000 sq ft)	100% (Lb. by 1000 sq ft)
65% Kentucky bluegrass blend	23.24	85.14
25% perennial ryegrass	6.6-8.8	28-35
14% fescue	6.4-6.8	15-20
Total	3.0-4.0	128-175
OR 100% tall fescue, turf type fine leaf	3.4-4.6	150-200
 - MULCH OLD HAY OR SMALL GRASS STRAW APPLIED AT A RATE OF NINETY (90) POUNDS PER ONE THOUSAND SQUARE FEET OR TWO TONS PER ACRE. TO BE APPLIED AND ANCHORED ACCORDING TO THE NEW YORK GUIDELINES. WOOD FIBER HYDROKLEEN OR OTHER SPRAYABLE PRODUCTS IS APPROVED FOR EROSION CONTROL (IN VOLCANIC OR MESH) MAY BE USED IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, 2018 AS FOLLOWS:
 - IN AREAS OF SLOPES STEEPER THAN ONE ON TWO, JUTE MATTING SHALL BE USED TO STABILIZE SEEDS AND/OR PLANTED AREAS. JUTE MATTING SHALL BE INSTALLED AND ANCHORED IN ACCORDANCE WITH THE NEW YORK GUIDELINES.
 - ANY GRADED AREAS NOT SUBJECT TO FURTHER DISTURBANCE OR CONSTRUCTION TRAFFIC SHALL, WITHIN SEVEN (7) DAYS AFTER FINAL GRADING, RECEIVE PERMANENT VEGETATIVE COVER IN COMBINATION WITH A SUITABLE MULCH AS FOLLOWS:
 - STEEP SLOPES OR EROSION SLOPES GREATER THAN 2:1 (H/V) SHALL BE PROVIDED WITH EROSION CONTROL MATTING AS SHOWN IN THE DETAIL SHEET.
 - SLOPES STEEPER THAN ONE ON THREE SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
 - PAVED ROADWAYS SHALL BE KEPT CLEAR AT ALL TIMES.
 - THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS OVERFLOWED TO SOIL EROSION AND SEDIMENT CONTROL PRACTICES. EXCEPT FOR MINOR PERIMETER DRAINAGE AREAS, ALL GRADED AREAS SHALL BE DIRECTED THROUGH ONE OF THE SEDIMENT BARRIERS. DIVERSION SWALES MAY BE USED TO DIRECT DRAINAGE RUNOFF INTO THE DETENTION BASIN.
 - DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS.
 - STOCKPILES SHALL NOT BE LOCATED WITHIN FIFTY FEET (50') OF ROADWAYS OR DRAINAGE FACILITIES. THE BASE OF ALL STOCKPILES SHALL BE PROTECTED BY A SILT FENCE, HAY BALE BARRIERS OR A COMBINATION OF BOTH.
 - SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED BY THE CONTRACTOR ON A DAILY BASIS TO ENSURE THAT TEMPORARY AND PERMANENT DITCHES, PIPES AND STRUCTURES ARE CLEAR OF DEBRIS, THAT EMBANKMENTS AND BERMS ARE NOT BREACHED, AND THAT ALL BARRIERS ARE INTACT.
 - MANDATORY STORMWATER INSPECTIONS SHALL BE PERFORMED WEEKLY AND WITHIN 24 HOURS OF ANY PRECIPITATION EVENT PRODUCING MORE THAN 1/2" OF PRECIPITATION OVER AND 24 HOUR PERIOD. INSPECTIONS ARE PERFORMED BY A LICENSED CERTIFIED PROFESSIONAL.
 - ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED ON THE SITE UNTIL FINAL STABILIZATION OF THE SITE IS ACHIEVED. FINAL STABILIZATION IS DEFINED AS 80% DENSITY OF VEGETATION. UPON CERTIFICATION OF FINAL ACCEPTANCE, THE OWNER WILL ASSUME RESPONSIBILITY FOR THE CONTINUED MAINTENANCE OR PERMANENT SOIL EROSION AND SEDIMENTATION CONTROL MEASURES.
 - ALL DRAINAGE DITCHES AND INLETS SHALL BE LINED WITH HDPE-RAP AS SPECIFIED ON THE PLANS AND/OR PER ENGINEER.
 - THE PROPERTY OWNER IS ULTIMATELY RESPONSIBLE FOR THE MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES. HOWEVER ON A DAY TO DAY BASIS THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE EROSION AND SEDIMENT CONTROL MEASURES.



Construction Notes for Subsurface Sewage Treatment Systems & Well Water Supply Serving Single-Family Residences

- The following notes shall be provided on all plans for individual SSTS and well water supply.
- Basic Required Notes**
- All areas within 10 feet of the proposed subsurface sewage treatment system (SSTS) shall be removed.
 - SSTS to be installed by the Licensed Design Professional and the Putnam County Health Department after construction and prior to backfill.
 - The SSTS area shall be staked and reported off to the no tracks, machinery, building materials, nor excavated earth shall be allowed in the SSTS area.
 - All erosion control measures shall be installed prior to the start of any construction and must be maintained until construction is complete and stabilization has occurred.
 - Construction of SSTS to be in accordance with these plans, any revision thereto, and the rules and regulations of the public issuing governmental agency.
 - The well is to be a drilled well, constructed in accordance with New York State Health Department 10 NYCRR appendix 5B, standards for water wells, pump tested for a minimum of 6 hours and have a minimum yield of 5 gpm. Yields less than 5 gpm will be immediately reported to the Putnam County Health Department for approval.
 - The SSTS design shown herein does not provide for installation of a garbage bin. Such installation requires additional design and the approval of the Putnam County Department of Health.
 - Putnam County Health Department approval is based on the location of the SSTS, well, building, setbacks, and installation as shown on the approved drawing. Modifications are to have prior Putnam County Health Department approval. Unapproved modifications made to the drawing after the date of Putnam County Health Department approval voids said approval.
 - All stormwater in and within 10 feet of the SSTS area shall be removed to their arid depth and the resulting void replaced with similar or better soil.
 - Cut or fill is not permitted in the SSTS area, except as specified on this plan.
 - After backfilling the system, the SSTS area shall be covered with a minimum of 6 inches of top soil, seeded and mulched.
 - Occupancy of this structure will not be permitted until the Construction Compliance Application has been received and approved by the Putnam County Health Department and forwarded to the Building Inspector of the respective municipality as part of the Certificate of Occupancy application.
 - This plan is approved for sewage treatment and water supply only, and all other required permits and/or approvals are the responsibility of the permittee.
 - The Putnam County Health Department approval expires two (2) years from the date on the approval stamp and is required to be renewed on or before the expiration date. The approval is renewable for cause or may be amended or modified when considered necessary by the Department.
 - A copy of the house plans submitted to the building inspector of the local municipality, when filing for a building permit, must be submitted to the Putnam County Health Department for their record.
 - The house, well and SSTS shall be surveyed located and staked by a NYS Licensed Land Surveyor prior to construction.
 - For all SSTS which are subject to Joint Review and approval with NYSDep the Design Professional is to notify PCHD and NYSDep at least 24 hours prior to the commencement of the SSTS construction.
 - Datum based on NAVD 83.
 - Property outside FEMA 100 year wetland.



PROFILE SCALE:
 HORIZ: 1" = 30'
 VERT: 1" = 6'



TOWN OF CARMEL SWPPP NOTES

- Area of disturbance: 25,300 square feet
- Construction fencing shall be provided to limit the area of disturbance.
- The WQSCP must be installed prior to any work being performed on this property.
- No Proposed Fill: All fill brought to the site must be certified per NYSDep regulations and manifests/certification of the fill material being delivered must be provided.

SURVEY INFORMATION FROM DAVID ODELL, L.S. DATED JULY 6, 2021. DATUM NAVD 1983
 THIS ENGINEER HAS VERIFIED THAT NO WELLS EXIST WITHIN 200 FEET OF THE PROPOSED SEPTIC SYSTEM AND NO SEPTIC SYSTEMS EXIST WITHIN 200 FEET OF THE PROPOSED WELL, EXCEPT AS SHOWN ON THESE PLANS.
 ALTERATION OF THIS DRAWING EXCEPT BY A LICENSED P.E. OR ARCHITECT OR LICENSED LAND SURVEYOR IS ILLEGAL. ANY ALTERATION BY A P.E. OR ARCHITECT OR SURVEYOR MUST BE INDICATED AND BEAR HIS SEAL, SIGNATURE AND DATE OF ALTERATION.

1 MARCH 25, 2024 TOWN COMMENTS
 No. DATE

JOHN KARELL, JR. P.E.
 121 CUSHMAN ROAD
 PATTERSON, NEW YORK 12563

OWNER: SSEL CORP. 79 SECOR ROAD CARMEL, (T)	SCALE: 1" = 30'	LATEST REVISION: October 11, 2023
SKETCH INTEGRATED PLOT PLAN		SHEET No. S-1

TAX MAP: 74.12-1-33



April 1, 2024

Town of Carmel Planning Board
60 McAlpin Avenue
Mahopac, New York 10541

RE: 1035 Rt 6 – Platinum Propane
Town of Carmel
TM# 65.10-2-11

Dear Chairman Paepre and Members of the Board:

The Board will recall the above referenced project, which was approved in May of 2023. The applicant has been working through permitting the proposed driveway with the NYSDOT. Based on an initial site visit and discussions with NYSDOT, the applicant was advised to site the driveway as shown on the approved site plan. As the Board is likely aware, after their formal review of the driveway design, they expressed concern about the sight distances. Since their initial review the applicant has coordinated with the NYSDOT to make minor revisions to the plan, to accommodate the required sight distances.

There are no anticipated changes to the location or geometry to the driveway, but the currently proposed updates include:

1. The driveway exit will be to the right only.
2. Some on-site grading and brush clearing along the frontage is proposed to provide additional sight distance to the southwest.

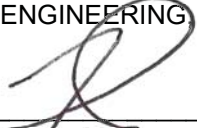
A revised site plan with the changes noted above has been provided to the NYSDOT and is under review. The applicant is also pursuing the required well permit and change of use for the existing septic with the Health Department. The applicant is hopeful to complete outside permitting in the summer of this year. Of course, we will provide updated plans with the above noted minor changes, once we are notified that NYSDOT is satisfied with the revisions.

Please place the project on the April 14, 2024 Planning Board agenda discussion of the extension with the Board. Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:



Zachary M. Pearson, PE
Principal Engineer

ZMP/adt

Enclosures

cc: (All via email only) Joseph Covais, Michael Velardo

3 Garrett Place, Carmel, New York 10512 (845) 225-9690 Fax (845) 225-9717
www.insite-eng.com

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April 1, 2024

Town of Carmel Planning Board
60 McAlpin Avenue
Mahopac, New York 10541

RE: Gateway Summit Multi-Family Lot 6
Gateway Drive
Tax Map No. 55.-2-24.6-1 & 55.-2-24.6-2

Dear Chairman Paepre and Members of the Board:

Amended Final Site Plan Approval for the subject project was granted on April 13, 2023, which will expire on April 12, 2024. As the Board is aware, site work has commenced for the project but a building permit has not yet been pulled for the project. The applicant requests a 1 year extension of the Site Plan approval. Please place this item on the Board's upcoming meeting agenda for consideration of an extension of approval.

A check is enclosed for the \$2,000.00 fee.

Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:


Zachary M. Pearson, PE
Principal Engineer

ZMP/dlm

cc: Paul Camarda, CRI

Insite File No. 04232.106



April 1, 2024

Town of Carmel Planning Board
60 McAlpin Avenue
Mahopac, New York 10541

RE: The Fairways Multi-Family Lot 7
Gateway Drive
Tax Map No. 55.-2-24.8-1 & 55.-2-24.8-2

Dear Chairman Paepre and Members of the Board:

As the Board is aware, Amended Final Site Plan Approval for the subject project was granted on April 13, 2023, which will expire on April 12, 2024. Aside from the work completed to date on the G&F subdivision road, there has been no substantial change in the condition of the Fairways Multi-Family Housing site and/or its environs. The applicant requests a 1 year extension of the Site Plan approval. Please place this item on the Board's upcoming meeting agenda for consideration of an extension of approval.


A check is enclosed for the \$2,000.00 fee.

Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:



Zachary M. Pearson, PE
Principal Engineer

ZMP/dlm

cc: Paul Camarda, CRI

Insite File No. 05140.100