

ROBERT LAGA  
*Chairman*

NICHOLAS FANNIN  
*Vice Chairman*

RICHARD FRANZETTI, P.E.  
*Wetland Inspector*

ROSE TROMBETTA  
*Secretary*

**TOWN OF CARMEL**  
**ENVIRONMENTAL CONSERVATION BOARD**



60 McAlpin Avenue  
Mahopac, New York 10541  
Tel. (845) 628-1500 - Ext. 190  
[www.ci.carmel.ny.us](http://www.ci.carmel.ny.us)

**BOARD MEMBERS**

Edward Barnett  
Vincent Turano  
Julie McKeon

**ENVIRONMENTAL CONSERVATION BOARD AGENDA**

**JUNE 6, 2019 – 7:30 P.M.**

**ELIGIBLE FOR A PERMIT**

<b><u>APPLICANT</u></b>	<b><u>ADDRESS</u></b>	<b><u>TAX MAP #</u></b>	<b><u>COMMENTS</u></b>
1. Jamal, Mohamad	188 West Lake Blvd	64.19-1-80	Demolish Existing Dock & Construct Deck

**SUBMISSION OF AN APPLICATION OR LETTER OF PERMISSION**

2. Inzano, Anna	188 Bullet Hole Road	63.-1-16.2	Construct Driveway
3. Almodovar & Dinallo	270 West Lake Blvd	64.16-1-28	Construct Pool, Spa, Patio & Retaining Walls

**MISCELLANEOUS**

4. Minutes – 05/02/19



June 3, 2019

Mr. Robert Laga, Chairman  
Town of Carmel Environmental Conservation Board  
60 McAlpin Avenue  
Mahopac, NY 10541

Re: Mrs. Anna Inzano  
188 Bullet Hole Road  
TM 63.-1-16.2

Dear Chairman Laga and Members of the Board,

The N.Y.C.D.E.P. has approved the Stormwater Pollution Prevention Plan prepared by our office for Mrs. Inzano. At our last appearance before the Board, the decision was made to hold off on accepting the application for this project until such time that the D.E.P. approved the plan and rescinded the Notice of Violation that was issued. That condition has now been met and we ask that the Board consider accepting the application at this time and putting the project on the clock for permit issuance.

Sincerely,

PUTNAM ENGINEERING, PLLC

A handwritten signature in black ink, appearing to be 'P. Lynch', written over a horizontal line.

Paul M. Lynch, P.E.  
PML/rrm

L1906

ROBERT LAGA  
Chairman

NICHOLAS FANNIN  
Vice-Chairman

ROSE TROMBETTA  
Secretary

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BOARD MEMBERS

Edward Barnett  
Vincent Turano  
John Starace

**APPLICATION FOR WETLAND PERMIT OR LETTER OF PERMISSION**

Name of Applicant: Mario <sup>+ANNA</sup> Inzano

Address of Applicant: 15335 Shoshone Trl  
Brooksville FL 34404 Email: \_\_\_\_\_

Telephone# \_\_\_\_\_ Name and Address of Owner if different from Applicant: \_\_\_\_\_

Property Address: 188 Bullethead Rd Tax Map # 63-1-16-2

Agency Submitting Application if Applicable: \_\_\_\_\_

Location of Wetland: west side of property

Size of Work Section & Specific Location: see site plan

Will Project Utilize State Owned Lands? If Yes, Specify: NO

Type and extent of work (feet of new channel, yards of material to be removed, draining, dredging, filling, etc). A brief description of the regulated activity (attach supporting details).

250 ft driveway in buffer zone

Proposed Start Date: 11/1/17 Anticipated Completion Date: 8/1/18 Fee Paid \$ 225.00

**CERTIFICATION**

I hereby affirm under penalty of perjury that information provided on this form is true to the best of my knowledge and belief, false statements made herein are punishable as a Class A misdemeanor pursuant to Section 210.45 of the Penal Law. As a condition to the issuance of a permit, the applicant accepts full legal responsibility for all damage, direct or indirect, or whatever nature, and by whomever suffered, arising out of the project described here-in and agrees to indemnify and save harmless the Town of Carmel from suits, actions, damages and costs of every name and description resulting from the said project.

Mario Inzano  
SIGNATURE

10/6/17  
DATE

## *Short Environmental Assessment Form*

### *Part 1 - Project Information*

#### **Instructions for Completing**

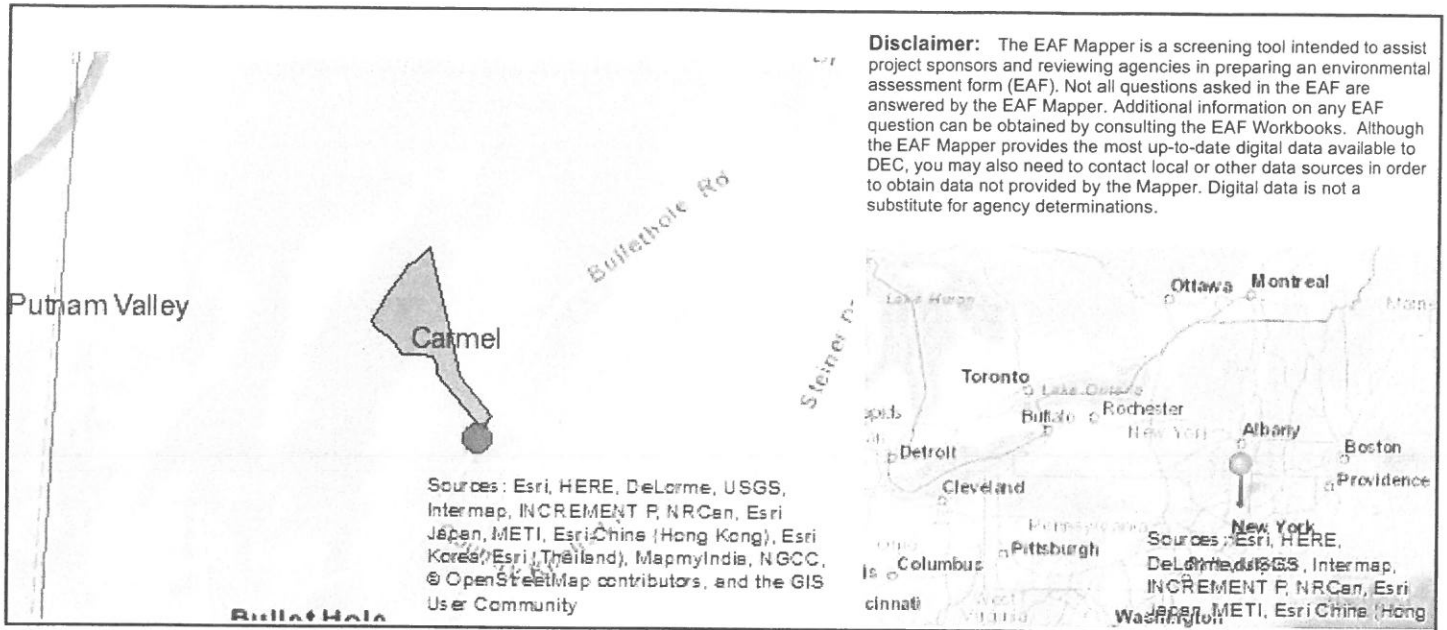
**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project:			
Project Location (describe, and attach a location map): 188 Bullet Hole Road, Mahopac, NY 10541			
Brief Description of Proposed Action: Construction of driveway.			
Name of Applicant or Sponsor: Mario Inzano		Telephone: _____ E-Mail: _____	
Address: 15335 Shoshone Trl			
City/PO: Brooksville		State: FL	Zip Code: 34604
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			YES <input type="checkbox"/>
3.a. Total acreage of the site of the proposed action? _____ 4.8 acres			
b. Total acreage to be physically disturbed? _____ 0.83 acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 4.8 acres			
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?  b. Consistent with the adopted comprehensive plan?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	N/A <input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____ _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?  b. Are public transportation service(s) available at or near the site of the proposed action?  c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?  If No, describe method for providing potable water: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?  If No, describe method for providing wastewater treatment: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?  b. Is the proposed action located in an archeological sensitive area?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?  b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input checked="" type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES  b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____ _____	NO   <input checked="" type="checkbox"/>	YES   <input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____ _____	NO   <input checked="" type="checkbox"/>	YES   <input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____ _____	NO   <input checked="" type="checkbox"/>	YES   <input type="checkbox"/>
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <u>MARIO MARTINO</u>		Date: <u>10/5/17</u>
Signature: <u>Mario Martino</u>		



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National Register of Historic Places]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No



May 29, 2019

Mr. Paul M. Lynch, P.E.  
Putnam Engineering, PLLC.  
4 Old Route 6  
Brewster, New York 10509

Via email: [plynch@putnamengineering.com](mailto:plynch@putnamengineering.com)

Re: Inzano Subdivision  
188 Bullet Hole Road, (T) Carmel  
Tax Map ID 63.-1-16.2  
Amawalk Reservoir Basin  
Log # 2017-AM-0583-SP.1

**Vincent Sapienza**  
Commissioner

**Paul V. Rush, P.E.**  
Deputy Commissioner  
Bureau of Water Supply  
prush@dep.nyc.gov

465 Columbus Avenue  
Valhalla, NY 10595  
T: (845) 340-7800  
F: (845) 334-7175

Dear Mr. Lynch:

This letter is to inform you that your application to engage in the above referenced regulated activity pursuant to the "Rules and Regulations for the Protection from Contamination, Degradation and Pollution of the New York City Water Supply and Its Sources" (Watershed Regulations) was approved on May 29, 2019.

The New York City Department of Environmental Protection (DEP) reserves the right to modify, suspend or revoke this approval based on the grounds set forth in Section 18-26 of the Watershed Regulations. The activity proposed in your application only applies to the terms of this approval and is subject to the Watershed Regulations cited above. Failure to comply with the conditions of the approval may be the cause for suspension of this approval and initiation of an enforcement action. Should modification, suspension or revocation of an approval be necessary, DEP will notify the regulated party, via certified mail or personal service prior to modifying, suspending or revoking the approval. The notice will state the alleged facts or conduct which appear to warrant the intended action and explain the procedures to be followed.

The Watershed Regulations provide that an applicant may appeal the imposition of a substantial condition in an approval by filing a petition, in writing, with DEP and with the New York City Office of Administrative Trials and Hearings (OATH) within thirty days of the date this determination was mailed.

DEP may inspect and monitor the erosion control practices at the project site during construction. Therefore, a pre-construction meeting must be held at least two days prior to the start of any work. The owner, design professional, contractor and DEP personnel must attend.



Please contact Jason Coppola at (914) 749-5360 to schedule this pre-construction meeting.

Sincerely,

A handwritten signature in black ink, appearing to read 'D. Shedlo', with a stylized flourish at the end.

Daniel Shedlo, P.E.  
Supervisor  
EOH Project Review Group  
Watershed Protection Programs

c: Anna and Shannon Inzano, owner – [abc81403@yahoo.com](mailto:abc81403@yahoo.com)  
(T) Carmel Engineering – R. Franzetti – [rjf@ci.carmel.ny.us](mailto:rjf@ci.carmel.ny.us)  
(T) Carmel Planning – Rose Trombetta – [rtrombetta@ci.carmel.ny.us](mailto:rtrombetta@ci.carmel.ny.us)  
Natalie Brown, NYSDEC Region 3 - [natalie.browne@dec.ny.gov](mailto:natalie.browne@dec.ny.gov)



New York City  
**Department of  
Environmental Protection**

## **STORMWATER POLLUTION PREVENTION PLAN DETERMINATION**

Pursuant to the authority granted under:

Article 11 of the New York State Public Health Law;  
Rules and Regulations For The Protection From Contamination, Degradation and  
Pollution Of The New York City Water Supply and Its Sources, 15 RCNY Chapter 18, 10  
NYCRR Part 128.

New York City Department of Environmental Protection (DEP) makes the following determination with respect to the stormwater pollution prevention plan (SWPPP) described below:

**Name of Project:** Inzano Subdivision

**Location:** 188 Bullet Hole Road  
(T) Carmel, Putnam County, New York  
Tax Map # 63.-1-16.2

**Owner:** Anna Inzano

**Address:** 188 Bullet Hole Road  
Carmel, NY 10512

**Drainage Basin:** Amawalk Reservoir

**General Description:** The proposed project includes the construction of a residence and driveway. DEP review and approval is required by Section 18-39(b)(3)(iv) of the “Rules and Regulations for the Protection from Contamination, Degradation and Pollution of the New York City Water Supply and Its Sources” (Watershed Regulations). Approximately 2.2 acres of disturbance and 0.05 acres of new impervious surfaces are proposed. Runoff reduction, stormwater management and treatment will be provided using a rain gardens and vegetated swales. The Stormwater Pollution Prevention Plan (SWPPP) shall be implemented in accordance with the report and plan titled “Stormwater Pollution Prevention Plan” prepared by Putnam Engineering PLLC. dated September 2018 and last revised March 2019 (see appendix A).

# STORMWATER POLLUTION PREVENTION PLAN DETERMINATION

Inzano Subdivision  
(T) Carmel, New York

May 29, 2019

Page 2 of 5

## Date(s) of site inspection:

November 2017, May 2018

Approved

Denied

## Conditions of Approval:

This approval is granted with the following conditions:

- The regulated activity must be conducted in compliance with the plans as approved, listed in Appendix A, all applicable accepted standards, and all applicable laws, rules and regulations.
- Any alteration or modification of the SWPPP must be approved by DEP prior to implementation; DEP may opt to issue an amended SWPPP Determination.
- The applicant must schedule a pre-construction conference prior to the start of construction. Present at the meeting should be the applicant, the design engineer, the general contractor, and DEP staff.
- The applicant must notify DEP at least forty-eight (48) hours prior to the commencement of construction activity so that compliance inspections may be scheduled by DEP.
- All erosion and sediment controls must be properly installed and maintained until the site has been stabilized and the risk of erosion eliminated. Final stabilization is defined in the General Permit as all soil disturbing activities at the site have been completed, and that a uniform perennial vegetative cover with a density of 80% cover for the area has been established or equivalent stabilization measures (such as the use of mulches or geotextiles) have been employed.
- At the completion of the project, a Certification of Construction Completion and "As-Built" plans shall be submitted by a Professional Engineer licensed in New York State to the Department within 30 days of the construction completion.
- The stormwater management and water quality facilities must be maintained in accordance with the maintenance schedule included in the SWPPP as approved by DEP.
- This approval shall expire and thereafter be null and void unless construction is completed within Five (5) years of the date of issuance or within any extended period of time approved by DEP upon good cause shown.
- In the event that the material submitted is inaccurate or misleading, this approval is not valid and construction of this project is in violation of DEP regulations.

# STORMWATER POLLUTION PREVENTION PLAN DETERMINATION

Inzano Subdivision  
(T) Carmel, New York

May 29, 2019  
Page 3 of 5

- Failure to comply with any of the conditions of this approval is a violation of this approval and the *Rules and Regulations For The Protection From Contamination, Degradation and Pollution Of The New York City Water Supply and Its Sources*.
- This approval and all conditions of the approval are binding on the owner of the property where the facility is to be located. Any references to the “applicant” in this approval or in any conditions of this approval shall be deemed to refer to the owner of such property.
- A copy of the approved plans and determination should be maintained for record, and a copy must be available for inspection at the construction site.
- DEP shall be provided access to the project site for monitoring and inspection purposes.
- If the applicant sells or otherwise transfers title of **Inzano Subdivision** before all construction planned for the property is completed and the site is stabilized, the applicant shall require the new owner (“Buyer”) to comply with the SWPPP approved by the New York City Department of Environmental Protection on May 29, 2019 including, but not limited to, conservation easements, negative covenants, all provisions relating to erosion and sediment control during construction and to all maintenance of the stormwater management facilities once construction is complete. In particular, the applicant shall provide the Buyer with a copy of the SWPPP and shall cause the following real covenants and restrictions to be recorded with the deed for **Inzano Subdivision** with the following provisions:
  - (1) Buyer hereby acknowledges, covenants, warrants, and represents that he/she shall install and maintain any and all erosion controls and stormwater management facilities on the premises in accordance with the SWPPP, such SWPPP being attached hereto as Exhibit \_\_.
  - (2) Buyer’s installation and maintenance of the erosion control and stormwater management facilities shall be for the benefit of the City of New York as well as for the owners of **Inzano Subdivision**.
  - (3) Buyer’s obligation to install and maintain any and all erosion controls and stormwater management facilities on the premises in accordance with the attached SWPPP shall be perpetual, shall run with the land, and shall be binding on Buyer’s heirs, successors, and assigns.

# STORMWATER POLLUTION PREVENTION PLAN DETERMINATION

Inzano Subdivision  
(T) Carmel, New York

May 29, 2019

Page 4 of 5

- (4) Buyer hereby covenants, warrants and represents that any lease, mortgage, subdivision, or other transfer of **Inzano Subdivision** SWPPP, or any interest therein, shall be subject to the restrictive covenants contained herein pertaining to the installation and maintenance of erosion control and stormwater management facilities, and any deed, mortgage, or other instrument of conveyance shall specifically refer to the attached SWPPP and shall specifically state that the interest thereby conveyed is subject to covenants and restrictions contained herein.
- Prior to conveying title to **Inzano Subdivision**, the applicant shall submit to the New York City Department of Environmental Protection a proposed deed containing the aforementioned real covenants and restrictions.

This approval and all conditions of the approval are binding on the owner of the property where the stormwater management facilities are to be located. This approval by DEP does not imply the approval of any other regulatory authority which may also have jurisdiction over this activity, including the local health department, the New York State Department of Environmental Conservation (DEC), or other regulatory agency. Approvals from these agencies must be secured, as required, prior to the commencement of construction. DEP reserves the right to modify, suspend or revoke this approval as set forth in Section 18-26 of the Watershed Regulations. Should modification, suspension or revocation of the approval be necessary, DEP will notify you, via certified mail or personal service, prior to modifying, suspending or revoking the approval. The notice will state the alleged facts or conduct which appear to warrant the intended action, and explain the procedures to be followed.

Date: May 29, 2019

Inzano Subdivision - SWPPP  
188 Bullet Hole Road, (T) Carmel  
Tax Map ID 63.-1-16.2  
Amawalk Reservoir Basin  
Log # 2017-AM-0583-SP.1

Determination made by:



Daniel Shedlo, P.E.  
Supervisor  
EOH Project Review Group  
Watershed Protection Programs

Recommended for approval by:



Jason Coppola, P.E.  
Civil Engineer II  
EOH Project Review Group  
Watershed Protection Programs

# **STORMWATER POLLUTION PREVENTION PLAN DETERMINATION**

Inzano Subdivision  
(T) Carmel, New York

May 29, 2019  
Page 5 of 5

## **APPENDIX A**

The following documents were prepared by Putnam Engineering PLLC. for **Inzano Subdivision**:

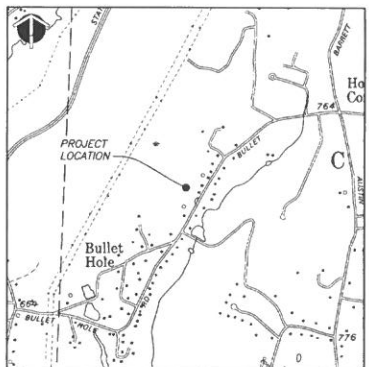
1. Stormwater Pollution Prevention Plan dated September 2018, last revised March 2019.
2. Sheet entitled "Existing Conditions Plan" dated July 16, 2018, last revised May 13, 2019.
3. Sheet entitled "Integrated Plot Plan" dated July 16, 2018, last revised May 13, 2019.
4. Sheet entitled "Erosion Control Plan" dated July 16, 2018, last revised May 13, 2019.
5. Sheet entitled "Integrated Plot Plan – Details & Notes" dated July 16, 2018, last revised May 13, 2019.
6. Sheet entitled "Pre-Development Drainage Basin Map" dated July 16, 2018, last revised May 13, 2019.
7. Sheet entitled "Post-Development Drainage Basin Map (Driveway to Design Point 2B)" dated July 16, 2018, last revised May 13, 2019.
8. Sheet entitled "Post-Development Drainage Basin Map (Design PT Swales)" dated July 16, 2018, last revised May 13, 2019.

SOILS LEGEND		
SOIL SYMBOL	SOIL GROUP	SOIL NAME
CHB	D	CHARLTON FINE SANDY LOAM, 3 TO 8 PERCENT SLOPES
C/C	B	CHARLTON-CHATTFIELD COMPLEX
CAD	B	CHATTFIELD-CHARLTON COMPLEX, 8 TO 35 PERCENT SLOPES, VERY ROCKY
LCB	C	LEICESTER LOAM, 5 TO 8 PERCENT SLOPES, STONY

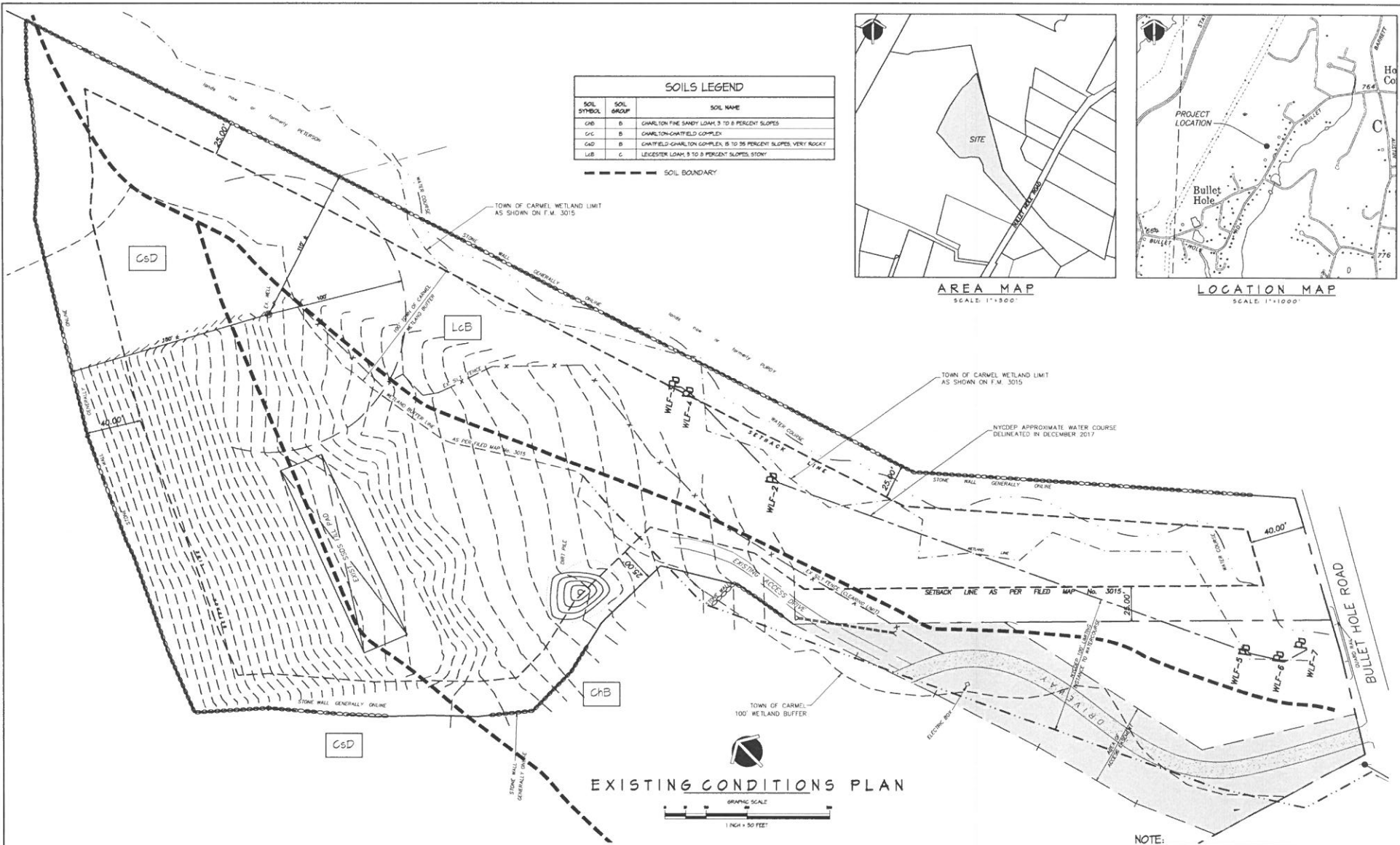
----- SOIL BOUNDARY



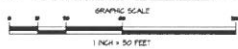
AREA MAP  
SCALE 1"=300'



LOCATION MAP  
SCALE 1"=1000'



EXISTING CONDITIONS PLAN



NOTE:  
THIS EXISTING CONDITION PLAN IS TAKEN FROM A SURVEY PREPARED BY LINE LAND SURVEYORS P.C., DATED FEBRUARY 1, 2016



4 OLD ROUTE 6, BREWSTER, NEW YORK 10504  
(845) 274-6704 FAX (845) 274-6764

PURSUANT TO NEW YORK STATE EDUCATION LAW, ARTICLE 143, SECTION 2209, SUBDIVISION 2, IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER AN ITEM IN ANY WALL, PLAN, VIEW, BEARING THE SEAL OF AN ENGINEER IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL, AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

REVISIONS		
NO.	DATE	DESCRIPTION
1	08/05/08	REVISE PER CARMEL EGB
2	08/06/08	ADDED TOPICAL SIGNATURE
3	10/01/08	MODIFIED AREA CALCULATIONS
4	02/12/2016	REVISE PER NYDEP COMMENTS
5	04/03/2016	REVISE PER NYDEP COMMENTS
6	05/03/2016	REVISED PER NYDEP COMMENT - PERMANENT STONE CREEK DAM

PROJECT  
PLAN PREPARED FOR:  
**MRS. ANNA INZANO**  
188 BULLET HOLE ROAD  
TOWN OF CARMEL  
PUTNAM COUNTY, NY  
TAX MAP 65, BLOCK 1, LOT 16.2

DATE: 06/11/16  
PROJECT MANAGER: PINE  
DRAWN BY: 95  
CHECKED BY: PINE  
SCALE: AS NOTED

DRAWING: EXISTING CONDITIONS PLAN

PROJECT NUMBER: 8321  
DRAWING NUMBER: E-1  
SHEET 1 OF 1

**TOWN of CARMEL GENERAL EROSION CONTROL NOTES:**

- A. CONSTRUCTION EQUIPMENT SHALL NOT UNNECESSARILY CROSS LIVE STREAMS EXCEPT BY MEANS OF BRIDGES AND GULVERTS OR OTHER APPROVED METHODS.
- B. WHENEVER FEASIBLE, NATURAL VEGETATION SHOULD BE RETAINED AND PROTECTED.
- C. ONLY THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT.
- D. WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE EXPOSURE SHALL BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME.
- E. THE PERMANENT FINAL VEGETATION AND STRUCTURES SHALL BE INSTALLED AS SOON AS PRACTICAL AND AS MAY BE DIRECTED BY THE ENGINEER.

**AREA of DISTURBANCE:**

AREA OF DISTURBANCE = 4634 SF (0.22 AC)  
 TOTAL FILL TO SITE = 700 C.Y.

**IMPERVIOUS SURFACES:**

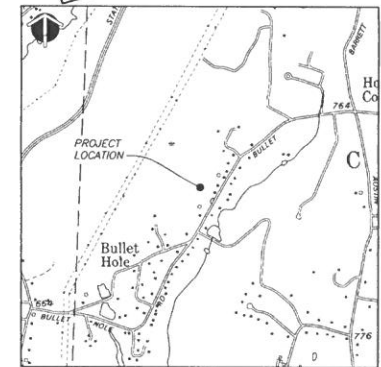
EXISTING IMPERVIOUS SURFACES = 0 SF  
 PROPOSED IMPERVIOUS SURFACES = 2118 SF  
 TOTAL IMPERVIOUS SURFACES = 2118 SF

**SOILS LEGEND**

SOIL SYMBOL	SOIL GROUP	SOIL NAME
CvB	B	CHARLTON FINE SANDY LOAM 3 TO 8 PERCENT SLOPES
CvC	B	CHARLTON-CHARFIELD COMPLEX
GvD	B	CHARFIELD-CHARLTON COMPLEX 5 TO 35 PERCENT SLOPES VERY ROCKY
LcB	G	LECHESTER LOAM 3 TO 8 PERCENT SLOPES, STONY



**AREA MAP**  
SCALE: 1"=300'



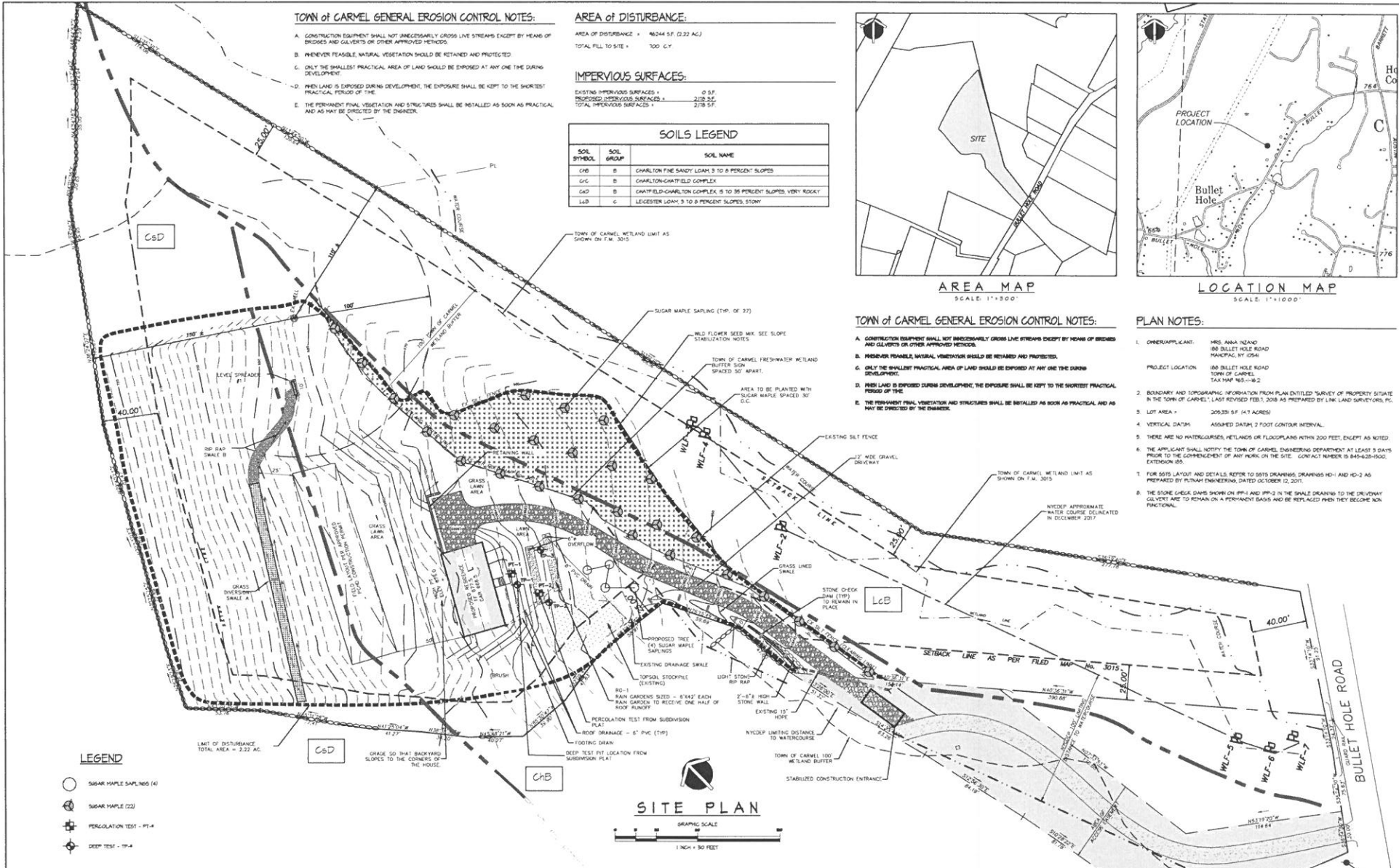
**LOCATION MAP**  
SCALE: 1"=1000'

**TOWN of CARMEL GENERAL EROSION CONTROL NOTES:**

- A. CONSTRUCTION EQUIPMENT SHALL NOT UNNECESSARILY CROSS LIVE STREAMS EXCEPT BY MEANS OF BRIDGES AND GULVERTS OR OTHER APPROVED METHODS.
- B. WHENEVER FEASIBLE, NATURAL VEGETATION SHOULD BE RETAINED AND PROTECTED.
- C. ONLY THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT.
- D. WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE EXPOSURE SHALL BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME.
- E. THE PERMANENT FINAL VEGETATION AND STRUCTURES SHALL BE INSTALLED AS SOON AS PRACTICAL AND AS MAY BE DIRECTED BY THE ENGINEER.

**PLAN NOTES:**

1. OWNER/APPLICANT: MRS ANNA INZANO  
180 BULLET HOLE ROAD  
HARTFORD, CT 06104
- PROJECT LOCATION: 180 BULLET HOLE ROAD  
TOWN OF CARMEL  
TAX MAP 63-106-1B-2
2. BOUNDARY AND TOPOGRAPHIC INFORMATION FROM PLAN ENTITLED "SURVEY OF PROPERTY SITUATE IN THE TOWN OF CARMEL," LAST REVISED FEBRUARY 2008 AS PREPARED BY LNK LAND SURVEYORS, P.C. EXTENSION 05.
3. LOT AREA = 30933 SF (0.71 ACRES)
4. VERTICAL DATUM: ASSUMED DATUM 2 FOOT CONTOUR INTERVAL
5. THERE ARE NO WATERCOURSES, WETLANDS OR FLOODPLAINS WITHIN 200 FEET, EXCEPT AS NOTED
6. THE APPLICANT SHALL NOTIFY THE TOWN OF CARMEL ENGINEERING DEPARTMENT AT LEAST 5 DAYS PRIOR TO THE COMMENCEMENT OF ANY WORK ON THE SITE. CONTACT NUMBER IS 845-628-1000, EXTENSION 05.
7. FOR 50% LAYOUT AND DETAILS REFER TO 50% DRAWINGS DRAWINGS HD-1 AND HD-2 AS PREPARED BY PUTNAM ENGINEERING, DATED OCTOBER 12, 2017.
8. THE STONE CHECK DAM SHOWN ON PPS-1 AND PPS-2 IN THE SMALL DRAWINGS TO THE DRIVEWAY GULVERT ARE TO REMAIN ON A PERMANENT BASIS AND BE REPLACED WHEN THEY BECOME NON-FUNCTIONAL.



**LEGEND**

- SUGAR MAPLE SAWNS (4)
- SUGAR MAPLE (22)
- ⊕ PERCOLATION TEST - PT-4
- ⊕ DEEP TEST - TR-4

**SITE PLAN**

GRAPHIC SCALE  
1 INCH = 30 FEET

**PUTNAM ENGINEERING, P.C.**  
 ENGINEERS - ARCHITECTS  
 4 OLD ROUTE 6, BRENGSTER, NEW YORK 10504  
 (845) 274-6104 FAX (845) 274-6164  
 © PUTNAM ENGINEERING, P.C. 2018

PURSUANT TO NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 2709, SUBSECTION 2, IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER AN ITEM IN ANY MAP, PLAN, SPECIFICATION, OR SCALE OF AN ENGINEER, TO ALTER THE ENGINEERING. THE NOTATION "ALtered BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

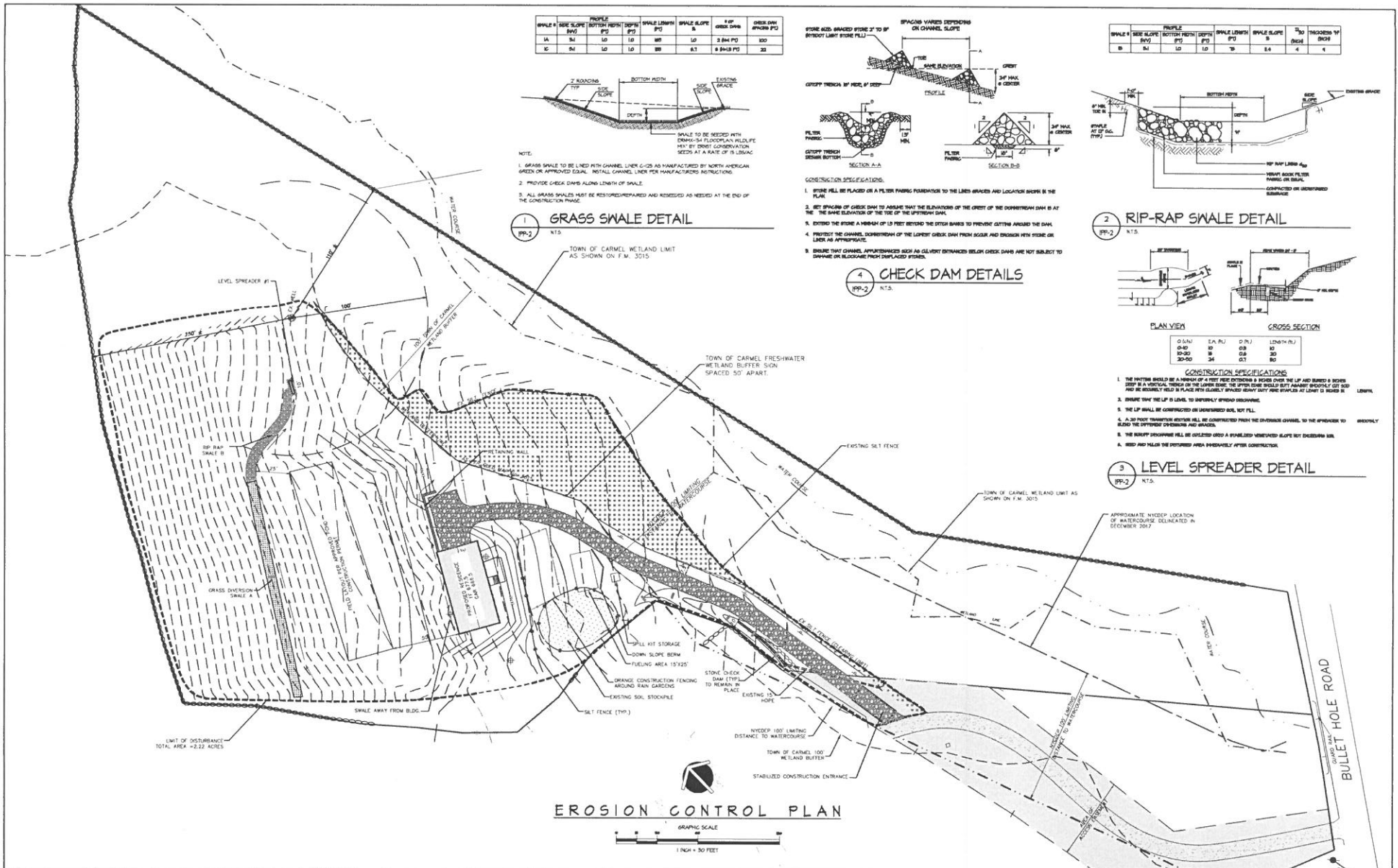
NO.	DATE	DESCRIPTION
1	08/05/18	REVISE PER CARMEL ECD
2	08/06/18	ADDED TOPSOIL STOCKPILE
3	08/06/18	REVISED AREA CALCULATIONS
4	02/12/2018	REVISE PER NYCDOP COMMENTS
5	08/02/2018	REVISE PER NYCDOP COMMENTS
6	08/02/2018	REVISE PER NYCDOP COMMENT - PERMANENT STONE CHECK DAM

PROJECT  
 PLAN PREPARED FOR:  
**MRS. ANNA INZANO**  
 180 BULLET HOLE ROAD  
 TOWN OF CARMEL  
 PUTNAM COUNTY, NY  
 TAX MAP 63, BLOCK 1, LOT 16-2

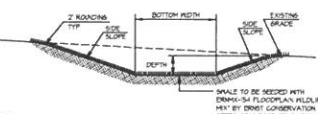
DATE: 08-05-18  
 PROJECT MANAGER: PHE  
 DRAWN BY: 95  
 CHECKED BY: PHE  
 SCALE: AS NOTED

DRAWING: **INTEGRATED PLOT PLAN**  
 PROJECT NUMBER: 8321  
 DRAWING NUMBER: **PP-1**  
 SHEET 2 OF 1



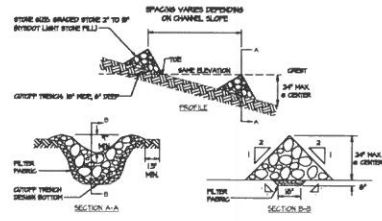


SWALE #	SIDE SLOPE (H:V)	DEPTH (FT)	SPACING (FT)	SWALE LENGTH (FT)	SWALE SLOPE (H:V)	# OF CHECK DAMS	CHECK DAM SPACING (FT)
1A	3:1	1.0	10	100	1:1	3	33.3
1B	3:1	1.0	10	100	1:1	3	33.3



- NOTE:
- GRASS SWALE TO BE LINED WITH CHANNEL LINER (C-10) AS MANUFACTURED BY NORTH AMERICAN GREENS OR APPROVED EQUAL. INSTALL CHANNEL LINER PER MANUFACTURER'S INSTRUCTIONS.
  - PROVIDE CHECK DAMS ALONG LENGTH OF SWALE.
  - ALL GRASS SWALES MUST BE RESTORED/PREPARED AND RESEED AS NEEDED AT THE END OF THE CONSTRUCTION PHASE.

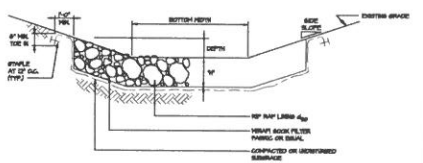
1 GRASS SWALE DETAIL  
N.T.S.



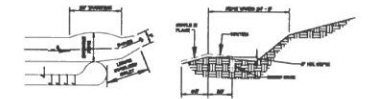
- CONSTRUCTION SPECIFICATIONS:
- STONE SHALL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES SWALES AND LOCATOR MARKS IN THE PLAN.
  - SET SPACING OF CHECK DAM TO ASSURE THAT THE ELEVATION OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
  - EXTEND THE STONE A MINIMUM OF 1.0 FEET BEYOND THE OUTER BANKS TO PREVENT CUTTING AROUND THE DAM.
  - PREVENT THE CHANNEL DOWNSTREAM OF THE LATEST CHECK DAM FROM SAGGING AND ENOUGH WITH STONE OR LOGS AS APPROPRIATE.
  - ENSURE THAT CHANNEL APERTURES SUCH AS GULLY OPENINGS BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONES.

4 CHECK DAM DETAILS  
N.T.S.

SWALE #	SIDE SLOPE (H:V)	DEPTH (FT)	SPACING (FT)	SWALE LENGTH (FT)	SWALE SLOPE (H:V)	# TOE ROCKS (FT)	# TOE THICKNESS (FT)
2	3:1	1.0	10	100	1:1	4	4



2 RIP-RAP SWALE DETAIL  
N.T.S.



3 LEVEL SPREADER DETAIL  
N.T.S.

- CONSTRUCTION SPECIFICATIONS:
- THE SPREADER SHALL BE A MINIMUM OF 4 FEET WIDE OPENINGS & FILL WITH THE LIP AND BE REED & COVERED IN A VERTICAL TRENCH ON THE LOWER SLOPE. THE UPPER EDGE SHOULD BE AT LEAST 18" ABOVE THE GROUND AND BE SECURELY HELD IN PLACE PER CLEARLY SPACED HEAVY DUTY PINE STUDS AT LEAST 10' SPACING.
  - ENSURE THAT THE LIP IS LEVEL TO UNIFORMLY SPREAD SEDIMENT.
  - THE LIP SHALL BE CONSTRUCTED ON UNCOMPRESSED SOIL, NOT FILL.
  - ALL JOINT TRANSVERSE SECTIONS SHALL BE CONSTRUCTED FROM THE DOWNSTREAM CHANNEL TO THE UPSTREAM TO LEAD TO THE DOWNSTREAM CHANNEL AND CHANNELS.
  - THE BATTERY UNDERWAY SHALL BE INSTALLED UNDER A SPREADER/UNDERWAY BUT NOT EXCEEDING 18".
  - SEED AND MAINTAIN THE DISTURBED AREA IMMEDIATELY AFTER CONSTRUCTION.

EROSION CONTROL PLAN



4 OLD ROUTE 6, BREWSTER, NEW YORK 10509  
(845) 274-6104 FAX (845) 274-6164

PURSUANT TO NEW YORK STATE EDUCATION LAW, ARTICLE 148, SECTION 1709 SUBSECTION 2, IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER AN ITEM IN ANY WAY, IF AN ITEM BEARING THE SEAL OF AN ENGINEER IS ALTERED. THE ALTERING ENGINEER SHALL AFFIX TO THIS ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

NO.	DATE	DESCRIPTION
1	08/05/18	REVISE PER CARMEL EGO
2	08/16/18	ADDED TOPSOIL STOCKPILE
3	10/10/18	MODIFIED AREA CALCULATIONS
4	01/12/2019	REVISE PER NYDEEP COMMENTS
5	04/02/2019	REVISE PER NYDEEP COMMENTS
6	02/03/2019	REVISED PER NYDEEP COMMENT - PERMANENT STONE CHECK DAM

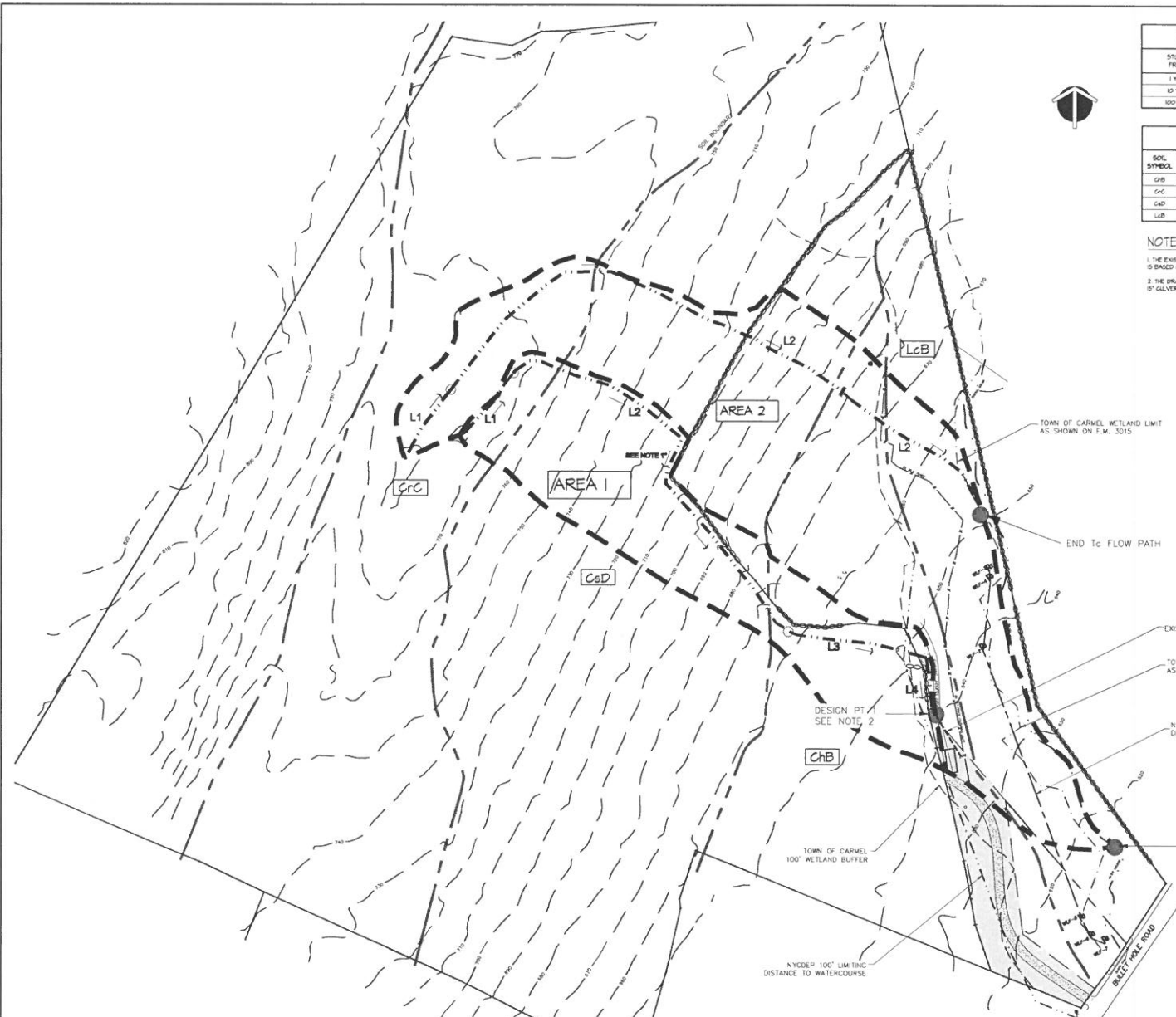
PROJECT: PLAN PREPARED FOR:  
MRS. ANNA INZANO  
186 BULLET HOLE ROAD  
TOWN OF CARMEL  
PUTNAM COUNTY, NY  
TAX MAP 63, BLOCK 1, LOT 6-2

DATE: 8-JUL-18  
PROJECT MANAGER: PML  
DRAWN BY: BS  
CHECKED BY: PML  
SCALE: AS NOTED

DRAWING: EROSION CONTROL PLAN

PROJECT NUMBER: 8521  
DRAWING NUMBER: IPP-2  
SHEET 3 OF 1





**RUNOFF SUMMARY TABLE-PRE DEVELOPMENT**

STORM FREQ.	DISCHARGE (cfs)		TOTAL
	DESIGN PT. 1	DESIGN PT. 2	
1 YEAR	0.01	0.40	0.41
10 YEAR	1.01	3.84	5.21
100 YEAR	5.73	13.41	4.23

**SOILS LEGEND**

SOIL SYMBOL	SOIL GROUP	SOIL NAME
CbB	B	CHAMLTON FINE SANDY LOAM, 3 TO 8 PERCENT SLOPES
CbC	B	CHAMLTON-CHATFIELD COMPLEX
CbD	B	CHATFIELD-CHAMLTON COMPLEX, 15 TO 35 PERCENT SLOPES, VERY ROCKY
LcB	C	LEGGESIER LOAM, 3 TO 8 PERCENT SLOPES, STONY

**NOTES:**  
 1. THE EXISTING DRAINAGE PATTERN SHOWN FOR TIME OF CONCENTRATION IS BASED ON DATA OBTAINED FROM A FIELD SURVEY.  
 2. THE DRAINAGE PATTERN AT THIS LOCATION SLOPES TOWARDS THE EXISTING 15" CULVERT.

**LEGEND**

FLOW DIRECTION →

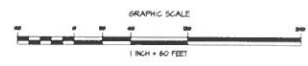
TIME OF CONCENTRATION - - - - -

SOIL BOUNDARY - - - - -

WATERSHED BOUNDARY - - - - -

SOIL TYPE LcB

**PRE-DEVELOPMENT DRAINAGE BASIN MAP**



**REVISIONS**

NO.	DATE	DESCRIPTION
1	05/27/19	REVISE PER LANDLORD
2	05/27/19	ADD STORMWATER TREATMENT
3	05/27/19	REVISE PER NYSDOT COMMENTS
4	05/27/19	REV. PER NYSDOT COMMENTS
5	05/27/19	REV. PER NYSDOT COMMENTS
6	05/27/19	REV. PER NYSDOT COMMENTS
7	05/27/19	REV. PER NYSDOT COMMENTS
8	05/27/19	REV. PER NYSDOT COMMENTS
9	05/27/19	REV. PER NYSDOT COMMENTS
10	05/27/19	REV. PER NYSDOT COMMENTS

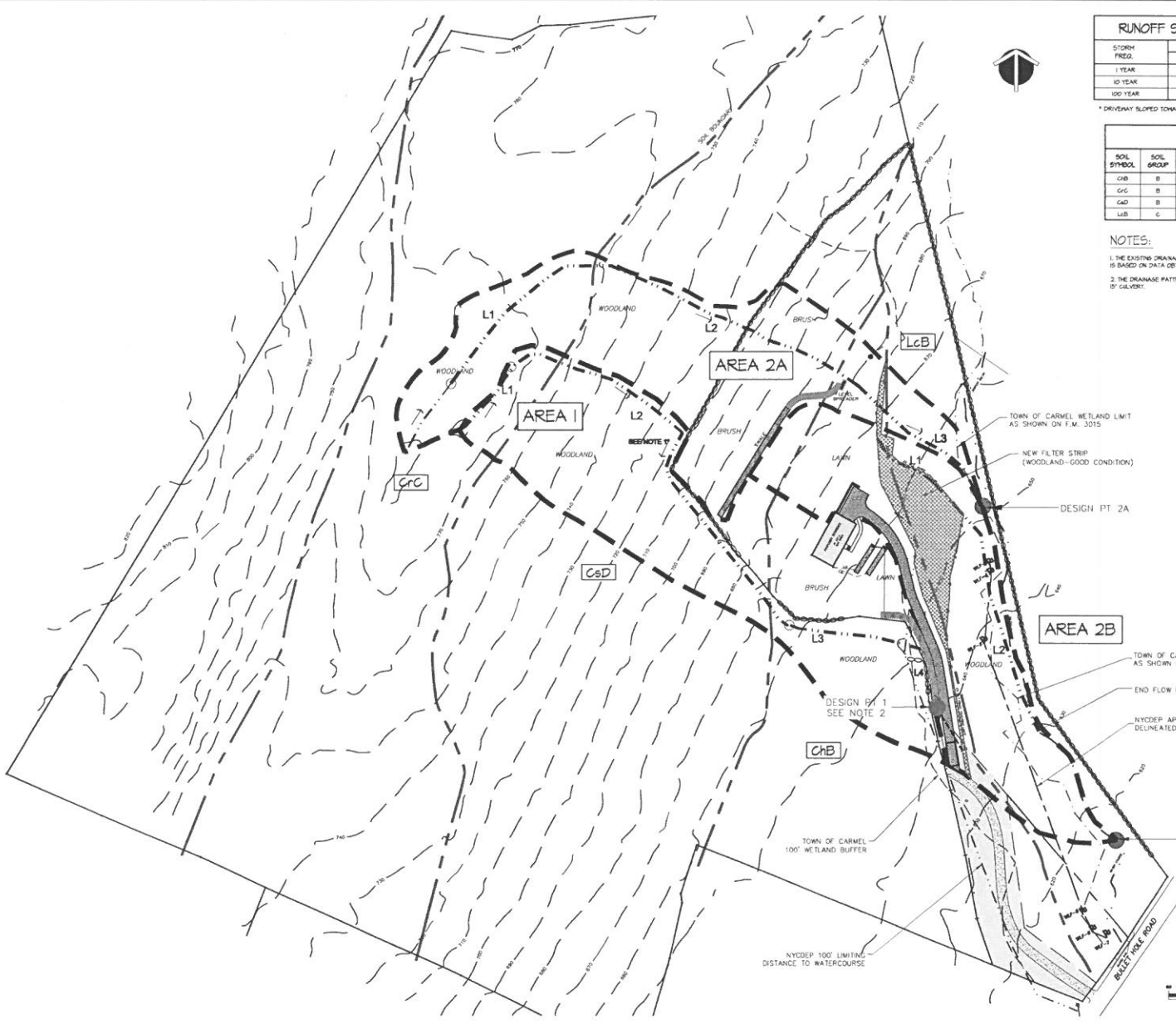
**PROJECT**  
 SUBDIVISION PLAN PREPARED FOR:  
**MRS. ANNA INZANO**  
 188 BILLET HOLE ROAD  
 BILLET HOLE  
 TOWN OF CARMEL  
 NY 12116  
 "AN" MAP 88, BLOCK, LOT 4, 2

**DESIGNED BY:** M. J. B. S.  
**DRAWN BY:** J. B. S.  
**CHECKED BY:** J. B. S.  
**SCALE:** AS NOTED

**PRE-DEVELOPMENT DRAINAGE BASIN MAP**

**PROJECT NUMBER:** 632  
**DRAWING NUMBER:** 0-1

**SHEET 5 OF 1**



POST-DEVELOPMENT DRAINAGE BASIN MAP

**RUNOFF SUMMARY TABLE-POST DEVELOPMENT**

STORM FREZ.	DISCHARGE (cfs)			
	DESIGN PT. 1	DESIGN PT. 2A	DESIGN PT. 2B	TOTAL
1 YEAR	0.08	0.03	0.31	0.39
10 YEAR	1.82	1.6	3.72	5.50
100 YEAR	1.22	5.34	1.96	14.24

\* DRIVEWAY SLOPED TOWARDS DESIGN PT. 2B

**SOILS LEGEND**

SOIL SYMBOL	SOIL GROUP	SOIL NAME
CcB	B	CHARLTON FINE SANDY LOAM S TO 8 PERCENT SLOPES
CcC	B	CHARLTON-CHATELAIN COMPLEX
CcD	B	CHATELAIN-CHARLTON COMPLEX S TO 35 PERCENT SLOPES, VERY ROCKY
LcB	C	LEICESTER LOAM S TO 6 PERCENT SLOPES, STONY

**NOTES:**

1. THE EXISTING DRAINAGE PATTERN SHOWN FOR TIME OF CONCENTRATION IS BASED ON DATA OBTAINED FROM A FIELD SURVEY.
2. THE DRAINAGE PATTERN AT THIS LOCATION SLOPES TOWARDS THE EXISTING 'GULCH'.

**LEGEND**

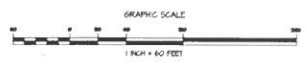
FLOW DIRECTION →

TIME OF CONCENTRATION ————

SOIL BOUNDARY ————

WATERSHED BOUNDARY ————

SOIL TYPE LcB



**REVISIONS**

NO.	DATE	DESCRIPTION
1	08/07/18	ISSUE FOR PERMITTING
2	08/07/18	ISSUE FOR PERMITTING
3	08/07/18	ISSUE FOR PERMITTING
4	08/07/18	ISSUE FOR PERMITTING
5	08/07/18	ISSUE FOR PERMITTING
6	08/07/18	ISSUE FOR PERMITTING
7	08/07/18	ISSUE FOR PERMITTING
8	08/07/18	ISSUE FOR PERMITTING
9	08/07/18	ISSUE FOR PERMITTING
10	08/07/18	ISSUE FOR PERMITTING
11	08/07/18	ISSUE FOR PERMITTING
12	08/07/18	ISSUE FOR PERMITTING
13	08/07/18	ISSUE FOR PERMITTING
14	08/07/18	ISSUE FOR PERMITTING
15	08/07/18	ISSUE FOR PERMITTING
16	08/07/18	ISSUE FOR PERMITTING
17	08/07/18	ISSUE FOR PERMITTING
18	08/07/18	ISSUE FOR PERMITTING
19	08/07/18	ISSUE FOR PERMITTING
20	08/07/18	ISSUE FOR PERMITTING

**PROJECT**

PREPARED BY: **DR. ANNA INZANO**  
 ARCHITECTS AND ENGINEERS  
 4 OLD ROUTE 6, BROOKTON, NEW YORK COUNTY, NY  
 (518) 274-5194 FAX (518) 274-5194  
 A PROFESSIONAL ENGINEERING FIRM

**PROJECT**

DESIGNED BY: **MRS. ANNA INZANO**  
 100 BILLET HOLE ROAD  
 TOWN OF CARMEL  
 PUTNAM COUNTY, NY  
 TAX MAP 85, BLOCK 1, LOT 6.2

**DATE**

DESIGNED BY: **PK**  
 DRAWN BY: **MS**  
 CHECKED BY: **PK**  
 SCALE: **AS NOTED**

**DRAWING**

POST-DEVELOPMENT  
 OVERALL DRAINAGE  
 BASIN MAP  
 (DRIVEWAY TO  
 DESIGN PT. 2B)

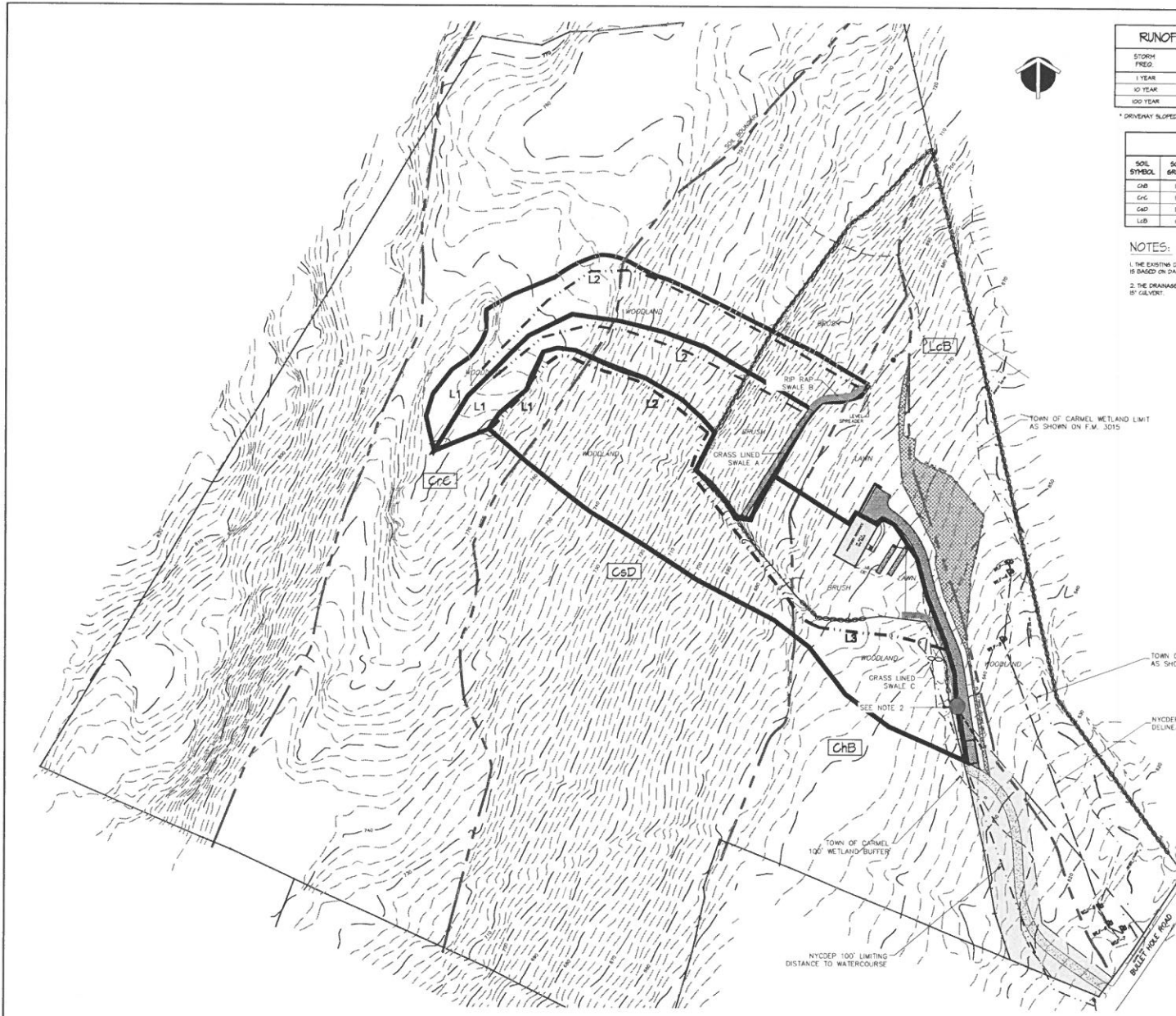
**PROJECT NUMBER**

8327

**DRAWING NUMBER**

P-2

**SHEET** 6 OF 7



POST-DEVELOPMENT DRAINAGE BASIN MAP-SWALES

STORM FREQ:	DISCHARGE (GAL)			TOTAL
	DESIGN PT. 1	DESIGN PT. 2A	DESIGN PT. 2B	
1 YEAR	0.05	0.05	0.91	0.96
10 YEAR	1.02	1.0	3.72	5.58
100 YEAR	7.22	9.34	1.56	14.04

\* DRIVEWAY SLOPED TOWARDS DESIGN PT. 2B

SOIL SYMBOL	SOIL GROUP	SOIL NAME
CcB	B	CHARLTON FINE SANDY LOAM, 5 TO 8 PERCENT SLOPES
CcC	B	CHARLTON-CHATHFIELD COMPLEX
CcD	B	CHATHFIELD-CHARLTON COMPLEX, 5 TO 35 PERCENT SLOPES, VERY ROCKY
LcB	G	LEICESTER LOAM, 5 TO 8 PERCENT SLOPES, STONY

- NOTES:
1. THE EXISTING DRAINAGE PATTERN SHOWN FOR TIME OF CONCENTRATION IS BASED ON DATA OBTAINED FROM A FIELD SURVEY.
  2. THE DRAINAGE PATTERN AT THIS LOCATION SLOPES TOWARDS THE EXISTING 6" GULCH.

**LEGEND**

FLOW DIRECTION →

TIME OF CONCENTRATION ————

SOIL BOUNDARY ————

SUBSHED BOUNDARY ————

SOIL TYPE LcB

REVISIONS

NO.	DATE	DESCRIPTION
1	02/27/18	ISSUE FOR PERMIT
2	03/27/18	REVISED SWALE CALCULATION
3	03/27/18	REVISED SWALE CALCULATION
4	03/27/18	REVISED SWALE CALCULATION
5	03/27/18	REVISED SWALE CALCULATION
6	03/27/18	REVISED SWALE CALCULATION

**REVISIONS**

PREPARED BY: ANNA INZANO  
 CHECKED BY: JAMES M. BLOOM  
 DATE: 02/27/18

4 OLD ROUTE 88, BLOOMINGTON, NY 12005  
 (518) 734-9391 FAX (518) 734-9394

PROJECT

DESIGNER: SUBDIVISION PLAN PREPARED FOR  
 MRS. ANNA INZANO  
 100 BULLET HOLE ROAD  
 TOWN OF CARMEL  
 PUTNAM COUNTY, NY

\* TAX MAP 68, BLOCK 1, LOT 6.2

DATE: 02/27/18

DESIGNED BY: ANNA INZANO

PLANNED BY: JAMES M. BLOOM

CHECKED BY: JAMES M. BLOOM

SCALE: AS SHOWN

POST-DEVELOPMENT DRAINAGE BASIN MAP DESIGN PT-SWALES

PROJECT NUMBER: 8337

DRAWING NUMBER: P-3



June 3, 2019

Mr. Robert Laga, Chairman  
Town of Carmel Environmental Conservation Board  
60 McAlpin Avenue  
Mahopac, NY 10541

Re: Almodovar and Dinallo  
270 West Lake Boulevard  
TM 64.16-1-28 & 29

Dear Chairman Laga and Members of the Board,

Ms. Priscilla Almodovar and Mr. Eric Dinallo have purchased the home located at 270 West Lake Boulevard. They have decided on renovating the home as well as making certain site improvements throughout the property. The property they own is right along Lake Mahopac and portions of the improvements that they would like to make would be located within the one hundred (100) foot wetland buffer.

They have developed a four step master plan which is to be carried out over several years. The plan is as follows:

1. Renovate house.
2. Reconstruct the rear deck with modifications, add a pool with spa area, landscaping around features and installing rain gardens to infiltrate stormwater runoff.
3. Remove invasive species (landscape) along the waters edge and reintroduce native planting along with creating a small sandy beach front area.
4. Construct a tennis court.

The house is currently being renovated and the applicants wish to move forward with item 2 of their master plan.

Portions of the existing rear deck are located within the existing on hundred (100) foot wetland buffer. The deck is currently in poor structural condition and will be partially taken down and rebuilt. From the deck elevation there will be a series of intermediate platforms that will include the spa area and pool as you make your way down to the rear yard. There will be a series of retaining walls constructed that will keep the disturbance to a minimum as well as to allow for landscaping to be introduced.

The total area of disturbance in the wetland buffer is 6,800 square feet which will allow for the construction of the pool area, spa area, reconstruction of the deck, creation of the lower patio area underneath the deck, landscaping and creation of the rain garden.

L1905

We look forward to meeting with the Board to present this project.

Sincerely,

PUTNAM ENGINEERING, PLLC

A handwritten signature in black ink, appearing to read 'P. Lynch', is written over a horizontal line.

Paul M. Lynch, P.E.

PML/rrm

## Almodovar and Dinallo

### Disturbance:

Area of Disturbance	=	6,800 s.f.
Excavation	=	60 c.y.
Fill	=	70 c.y.



ROBERT LAGA  
Chairman

NICHOLAS FANNIN  
Vice Chairman

ROSE TROMBETTA  
Secretary

**TOWN OF CARMEL**  
**ENVIRONMENTAL CONSERVATION BOARD**



60 McAlpin Avenue  
Mahopac, New York 10541  
Tel. (845) 628-1500 - Ext. 190  
www.ci.carmel.ny.us

BOARD MEMBERS

Edward Barnett  
Vincent Turano  
Julie McKeon

**APPLICATION FOR WETLAND PERMIT OR LETTER OF PERMISSION**

Name of Applicant: PRISCILLA ALMODOVAR & ERIC DINALLO  
45 WEST 10TH STREET  
Address of Applicant: APT 4D Email: \_\_\_\_\_  
NEW YORK, N.Y 10011  
Telephone# \_\_\_\_\_ / Name and Address of Owner if different from Applicant: \_\_\_\_\_

Property Address: 270 WEST LAKE BLVD Tax Map # 64.16-1-28 & 29  
Agency Submitting Application if Applicable: \_\_\_\_\_  
Location of Wetland: LAKE MAHOPAC  
Size of Work Section & Specific Location: APPROX. 7000 S.F. OF DISTURBANCE @ NE CORNER OF HOUSE  
Will Project Utilize State Owned Lands? If Yes, Specify: NO

Type and extent of work (feet of new channel, yards of material to be removed, draining, dredging, filling, etc). A brief description of the regulated activity (attach supporting details).

CONSTRUCTION OF A POOL, SPA, DECK, PATIO, LANDSCAPING AND RAIN GARDEN(S) ON THE NORTHEAST SIDE OF THE EXISTING HOUSE. THE SPA, POOL AND PATIO AREAS WILL BE TERRACED AND HAVE RETAINING WALLS. THE EXISTING DECK WILL BE REBUILT W/ MODIFICATIONS TO STAIRS AND WALKWAYS

Proposed Start Date: \_\_\_\_\_ Anticipated Completion Date: \_\_\_\_\_ Fee Paid \$ 1,000.00

**CERTIFICATION**

I hereby affirm under penalty of perjury that information provided on this form is true to the best of my knowledge and belief, false statements made herein are punishable as a Class A misdemeanor pursuant to Section 210.45 of the Penal Law. As a condition to the issuance of a permit, the applicant accepts full legal responsibility for all damage, direct or indirect, or whatever nature, and by whomever suffered, arising out of the project described here-in and agrees to indemnify and save harmless the Town of Carmel from suits, actions, damages and costs of every name and description resulting from the said project.

SIGNATURE

5/23/19  
DATE

# Short Environmental Assessment Form

## Part 1 - Project Information

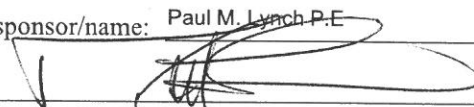
### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>			
Name of Action or Project: Almodovar and Dinallo Residence			
Project Location (describe, and attach a location map): 270 west Lake Boulevard Mahopac, New York			
Brief Description of Proposed Action: To construct a pool, spa, patio area, portion of a deck and rain garden(s) within the wetland buffer. There will be approximately 7100 square feet of disturbance in the wetland buffer.			
Name of Applicant or Sponsor: Priscilla Almodovar and Eric Dinallo		Telephone:  E-Mail: ,	
Address: 45 West 10th Street Apt 4D			
City/PO: New York		State: New York	Zip Code: 10011
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ 2.89 acres			
b. Total acreage to be physically disturbed? _____ 0.16 acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 2.89 acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input checked="" type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ Existing on site well _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ Existing on site ssts. _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input checked="" type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
Northern Long-eared Bat	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe: _____ _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment: Construct on site rain garden(s) to infiltrate stormwater runoff	<input type="checkbox"/>	<input checked="" type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe: _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe: _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor/name: Paul M. Lynch P.E.		Date: May 22, 2019
Signature: 		Title: Principle Engineer

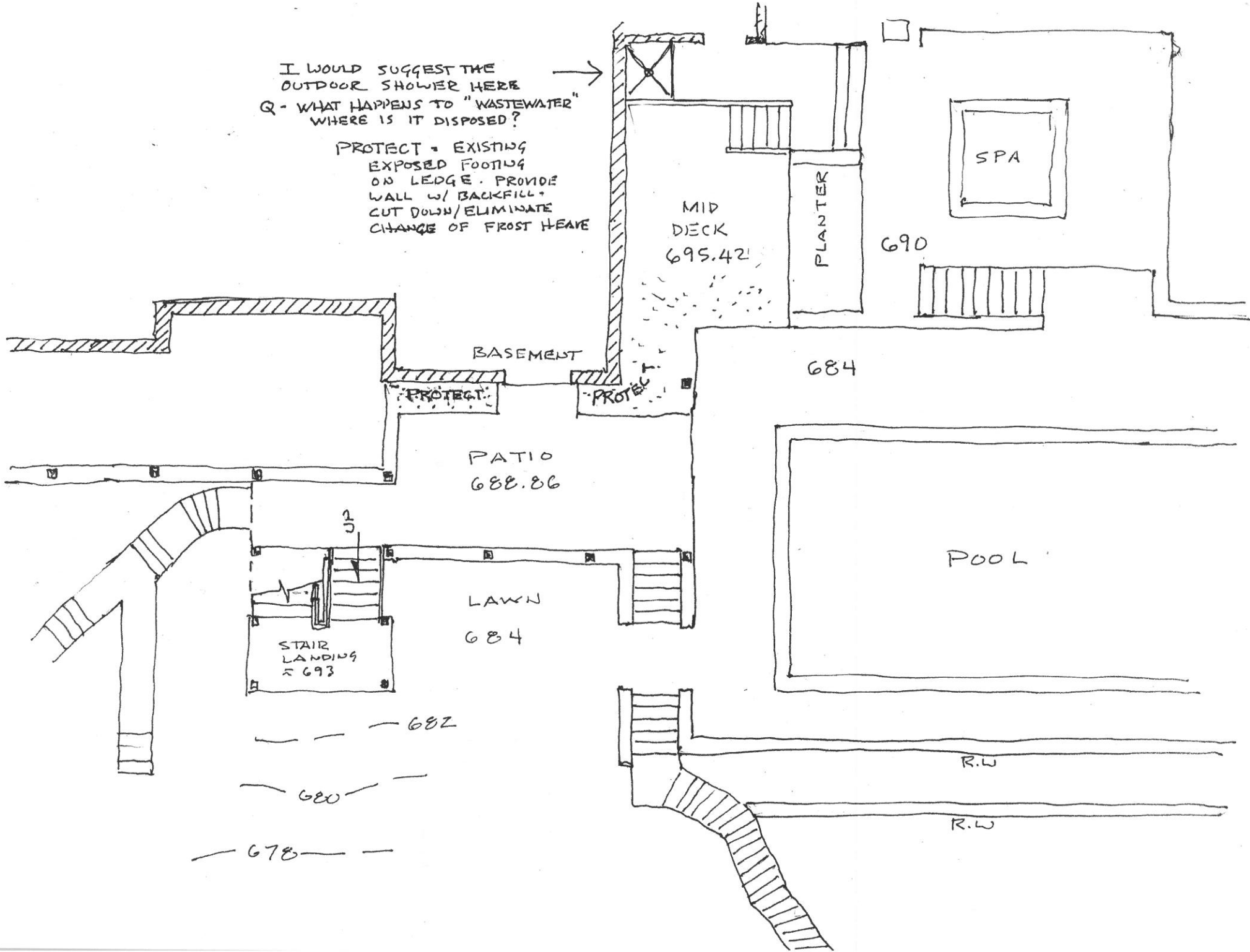
**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

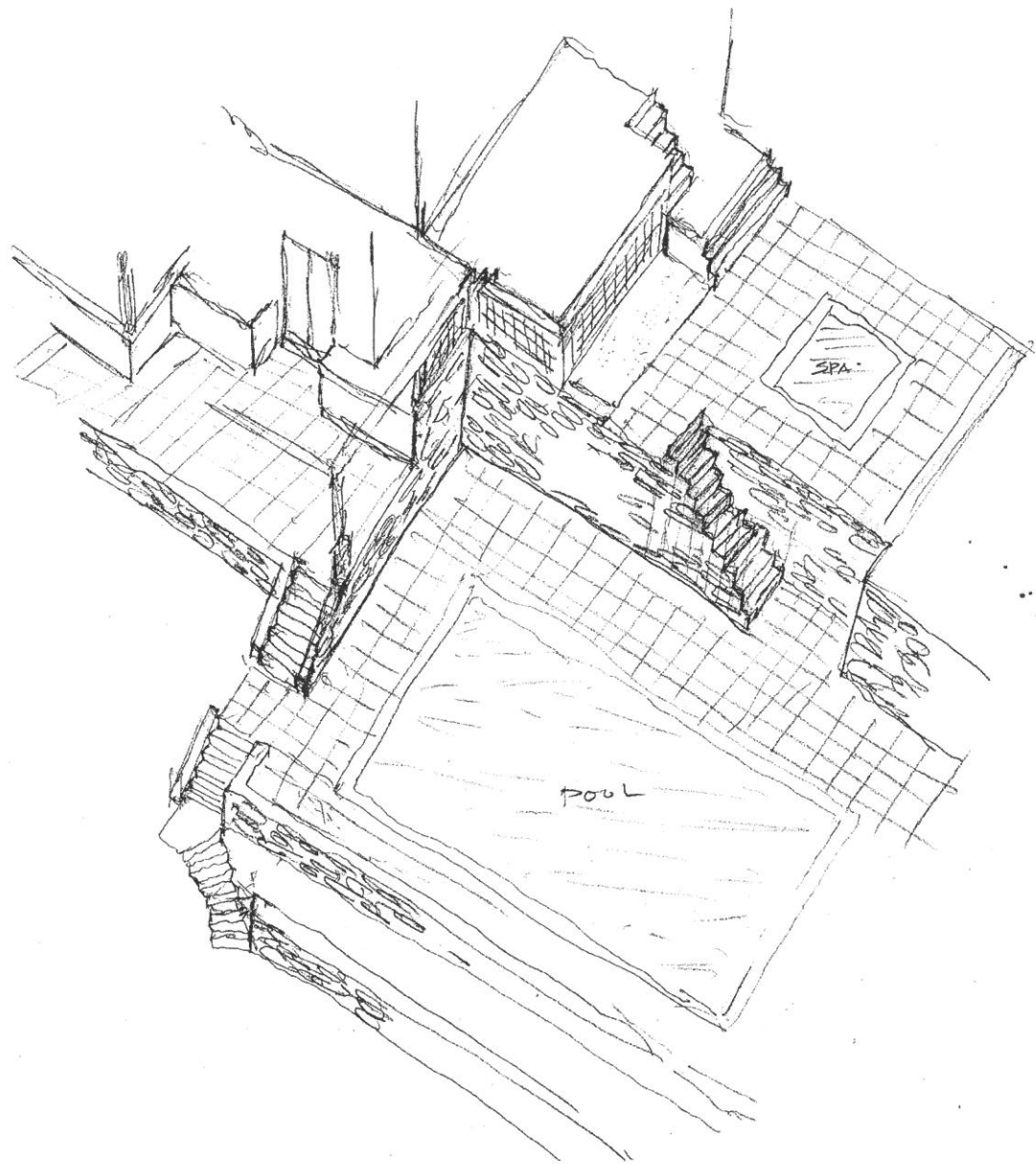
Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community

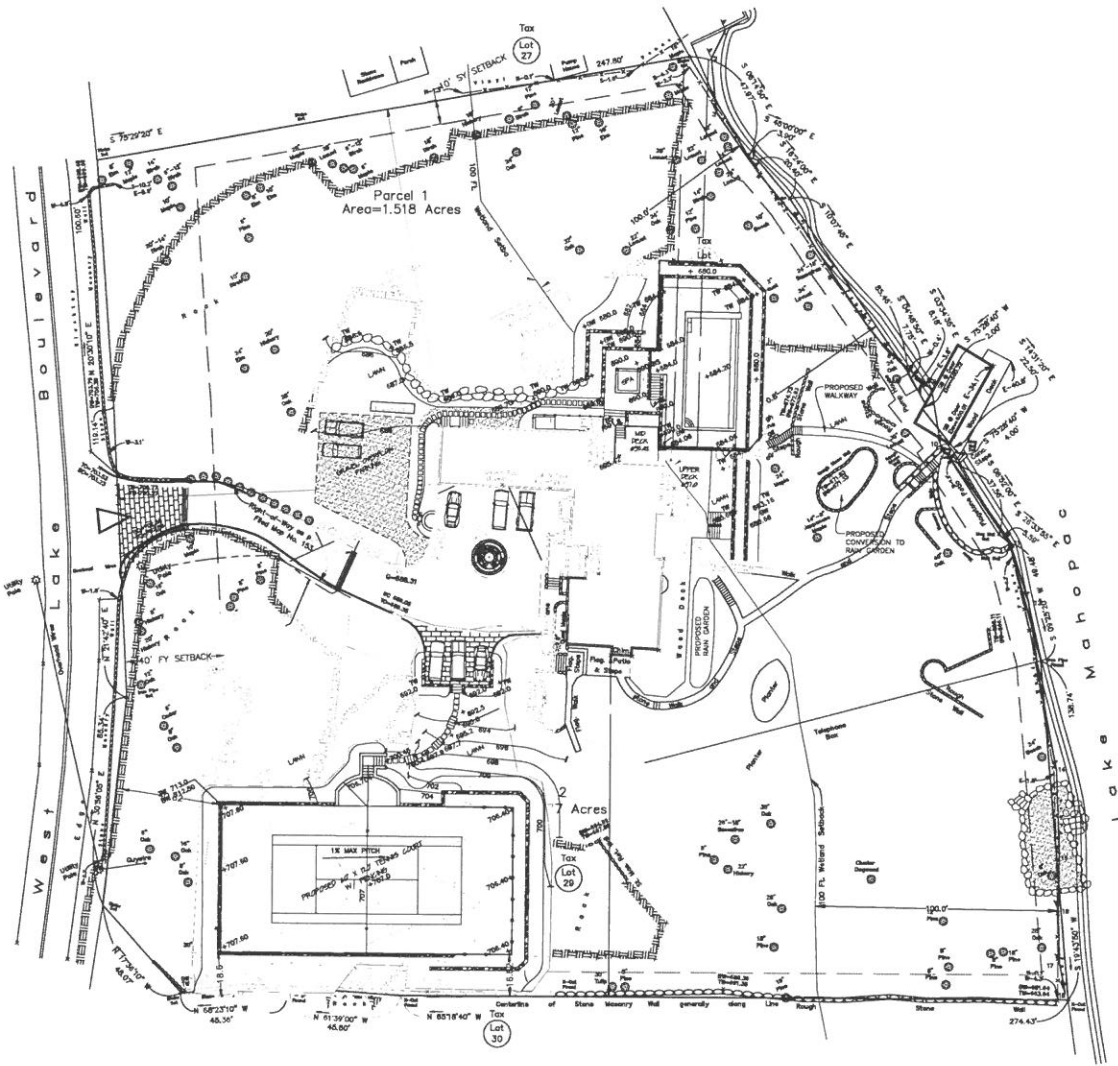
Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Northern Long-eared Bat
Part 1 / Question 16 [100 Year Flood Plain]	Yes
Part 1 / Question 20 [Remediation Site]	No

I WOULD SUGGEST THE  
OUTDOOR SHOWER HERE →  
Q - WHAT HAPPENS TO "WASTEWATER"  
WHERE IS IT DISPOSED?

PROTECT - EXISTING  
EXPOSED FOOTING  
ON LEDGE. PROVIDE  
WALL W/ BACKFILL -  
CUT DOWN/ELIMINATE  
CHANGE OF FROST HEAVE



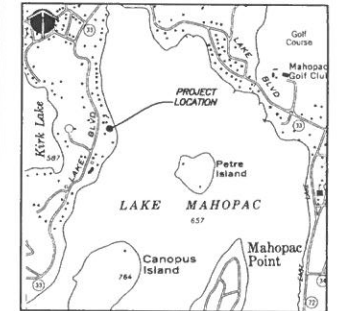




RESIDENTIAL SITE PLAN



AREA MAP  
SCALE: 1"=300'



LOCATION MAP  
SCALE: 1"=1000'

PLAN NOTES:

- OWNER/APPLICANT: Almondvar & Dinallo  
40 WEST 33RD ST  
NEW YORK, NY 10018
- PROJECT LOCATION: 270 WEST LAKE BOULEVARD  
TOWN OF CARMEL  
TAX MAP 6-11-1-29
- BOUNDARY AND TOPOGRAPHIC INFORMATION FROM PLAN ENTITLED 'SURVEY OF PROPERTY SITUATE IN THE TOWN OF CARMEL, LAST REVISED FEB. 2008 AS PREPARED BY LANE LAND SURVEYORS, P.C.
- LOT AREA = 20.00 AC (4.7 ACRES)
- VERTICAL DATUM: ASSUMED DATUM, 7 FOOT CONTOUR INTERVAL
- THE APPLICANT SHALL VERIFY THE TOWN OF CARMEL ENGINEERING DEPARTMENT AT LEAST 3 DAYS PRIOR TO THE COMMENCEMENT OF ANY WORK ON THE SITE. CONTACT NUMBER IS 845-239-1300, EXTENSION 200.
- FOR SITE LAYOUT AND DETAILS REFER TO SETS DRAWINGS, DRAWINGS 10-1 AND 10-2 AS PREPARED BY PUTNAM ENGINEERING, DATED OCTOBER 13, 2017.

OWNERS WITHIN 500':

84-15-1-01	Robert S. Suppiger & Julie Ruffert	33 East 87th Street Apt 102 New York NY 10028
84-15-1-23	Harry Soffer & Leslie Soffer	15 Varco Court Rd Mahopac NY 10541
84-15-1-25	Sara Rubenstein & James Bauer	35 Deer Park Drive Tawick, Ontario, M9P2C6 Canada
84-15-1-28.2	Dino J. Rucal & Susan J. Rucal	803 Mt. View St Apt 107 North Miami FL 33176
84-15-1-28.3	Dino J. Rucal & Susan J. Rucal	802 Mt. View St Apt 102 North Miami FL 33176
84-15-1-81	Michael Mitchell & Lynn Mitchell	3 Inverness Court Rd Mahopac NY 10541
84-15-1-1	Blair Lake Blvd Water Works	232 Blair Lake Blvd Mahopac NY 10541
84-15-1-2	Sharon Eganter & Barry Eganter	4 Inverness Court Rd Mahopac NY 10541
84-15-1-3	Michael Brewster & Margaret Hynes	288 Blair Lake Blvd Mahopac NY 10541
84-15-1-4	Priscilla Pringle & Barbara Kesterson	281 Blair Lake Blvd Mahopac NY 10541
84-15-1-5	Barbara Pringle	281 Blair Lake Blvd Mahopac NY 10541
84-15-1-6	Peter Shovel & Maria Shovel	286 Blair Lake Blvd Mahopac NY 10541
84-15-1-21	Ronald A. Hoffman & Alice J. Hoffman	443 East 80 St New York NY 10022
84-15-1-22	Thomas Costello & Jane Costello	285 Blair Lake Blvd Mahopac NY 10541
84-15-1-23	R.J.K. Contracting Corp.	25 108 St Mahopac NY 10541
84-15-1-24	Mark F. Chisarno & Denise T. Chisarno	278 Blair Lake Blvd Mahopac NY 10541
84-15-1-25	R.J.K. Contracting Corp.	25 108 St Mahopac NY 10541
84-15-1-26	Mark F. Chisarno & Denise T. Chisarno	278 Blair Lake Blvd Mahopac NY 10541
84-15-1-27	Earl Howe & Traci Westford Howe	107 East 205 St Apt 44 New York NY 10028
84-15-1-30	High Lumbering	30 E 40th St NYC New York NY 10018
84-15-1-31	Charles L. Lane	110 Hudson St Fl 2 New York NY 10013
84-15-1-32	Arthur L. Nelson & Michael Nelson	18 Cromwell Rd Easton NY 10028
84-15-1-72	Alan Rinsky	232 Blair Lake Blvd Mahopac NY 10541
84-20-1-1	Malcolm Nelson	10 Cromwell Rd Easton NY 10028
84-20-1-24	Gary Margolis	10 Cromwell Rd Mahopac NY 10541

TOWN OF CARMEL GENERAL EROSION CONTROL NOTES:

- CONSTRUCTION EQUIPMENT SHALL NOT UNNECESSARILY CROSS THE STREAMS EXCEPT BY MEANS OF BRIDGES AND GRADERS OR OTHER APPROVED METHODS.
- WHENEVER FEASIBLE, NATURAL VEGETATION SHOULD BE RETAINED AND PROTECTED.
- ONLY THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT.
- WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE EXPOSURE SHALL BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME.
- THE PERMANENT FINAL VEGETATION AND STRUCTURES SHALL BE INSTALLED AS SOON AS PRACTICAL AND AS MAY BE DIRECTED BY THE ENGINEER.

**PUTNAM ENGINEERING, P.C.**  
ENGINEERS - ARCHITECTS  
4 OLD ROUTE 6, BREWSTER, NEW YORK 10509  
(845) 279-5788 FAX (845) 279-5759  
© PUTNAM ENGINEERING, P.C. 2018

PURSUANT TO NEW YORK STATE EDUCATION LAW, ARTICLE 134, SECTION 3008 SUBSECTION 2, IT IS A VIOLATION OF THIS LAW FOR ANY PERSONS UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER TO ALTER AN INSTRUMENT OR ANY PART OF AN INSTRUMENT, OR TO SIGN AN INSTRUMENT, OR TO TAKE ANY ACTION, OR TO SIGNATURE SHALL AFFIX TO THE INSTRUMENT AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

Tracy Chalifoux LLC  
Landscape Architects  
175 West 42nd Street  
New York, NY 10018  
Office: (212) 693-1100  
Fax: (212) 693-1101

Project Title  
**LANDSCAPE IMPROVEMENTS**  
PREPARED FOR:  
PRISCILLA ALMONDOVAR & ERIC DINALLO  
PROJECT # 8350  
TAX MAP # 6-11-1-29 & 6-11-1-29  
Location  
270 WEST LAKE BOULEVARD  
MAHOPAC, NEW YORK, TOWN OF CARMEL

Graphic Scale and North Arrow  
0 20' 40'  
Date  
March 28, 2019  
Scale  
1"=20'-0"  
Checked  
TLC  
Drawn  
TLC

Drawing Title  
**RESIDENTIAL SITE PLAN**

Drawing No.  
**IPP-1**  
SHEET 1 OF 4



**AREA of DISTURBANCE:**

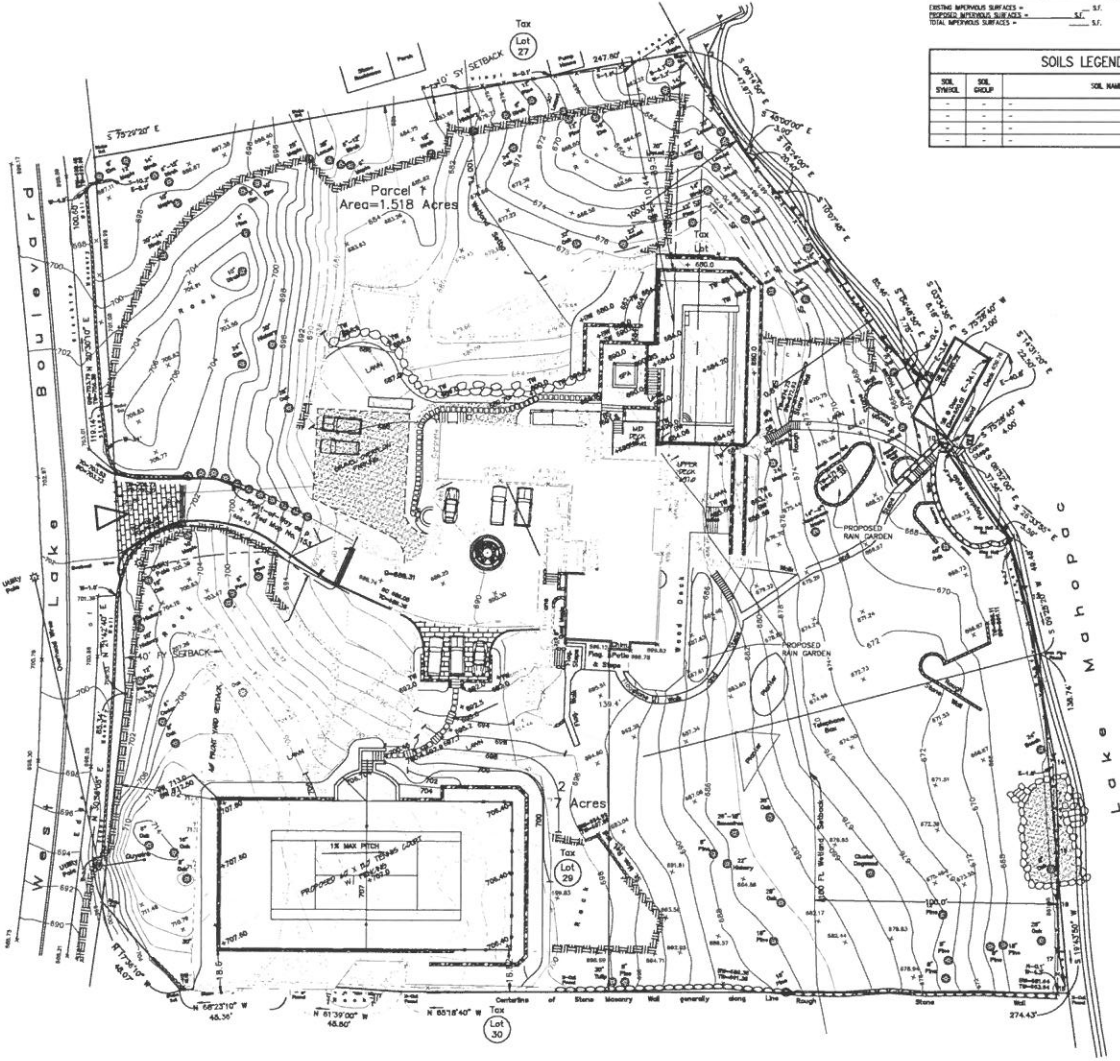
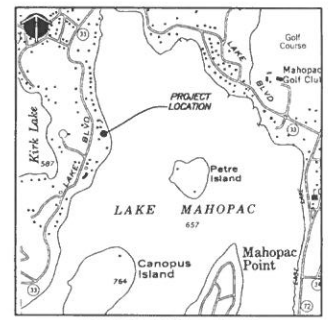
AREA OF DISTURBANCE = S.F. (SQUARE AC)  
TOTAL FILL TO SITE = C.Y.

**IMPERVIOUS SURFACES:**

FUTURE IMPERVIOUS SURFACES = S.F.  
EXISTING IMPERVIOUS SURFACES = S.F.  
TOTAL IMPERVIOUS SURFACES = S.F.

**SOILS LEGEND**

SOIL SYMBOL	SOIL GROUP	SOIL NAME
-	-	-
-	-	-
-	-	-
-	-	-



**GRADING PLAN**

**EROSION CONTROL LEGEND:**

— SF — Silt Fence

**EROSION CONTROL GENERAL NOTES:**

1. THE SITE SHALL BE DISTURBED ONLY AS INDICATED ON THESE PLANS.
2. THE CONTRACTOR SHALL MAKE AVAILABLE ON-SITE, ALL EQUIPMENT, MATERIALS AND LABOR NECESSARY TO EFFECT EROSION CONTROL.
3. THE CONTRACTOR SHALL PROVIDE A TELEPHONE NUMBER TO THE DIRECTOR OF CODE ENFORCEMENT FOR USE IN EMERGENCY SITUATIONS, AS WELL AS THE TOWN ENGINEER.
4. FOR DESIGN AND SEEDING CONTROL DETAILS, REFER TO DRAWING IPP-3.
5. CONTRACTOR SHALL STABILIZE SOILS ONLY IN DESIGNATED STODPABLE AREAS. ALL OTHER MATERIALS SHALL BE EXCAVATED, MOVED, COMPACTED IN PLACE AND STABILIZED IN ACCORDANCE WITH SLOPE STABILIZATION NOTES AT THE PLACE(S).
6. CONTRACTOR SHALL FOLLOW OSHA REQUIREMENTS FOR CONSTRUCTION ACTIVITIES, INCLUDING AN INSURE PROTECTIVE SYSTEM FOR TRENCHING AND EXCAVATIONS.
7. EROSION CONTROL MATERIAL SHALL BE PLACED IN ALL SLOPE, VEGETATION AND CHANNELS. STONES SHALL BE PLACED IN 18" HIGH LINES AND COMPACTED TO 90 PERCENT PROCTOR BY MECHANICAL MEANS. FILL TO BE PLACED ON SUITABLE INORGANIC SUB GRADE.
8. ALL DISTURBED AREAS ARE CONSIDERED "ERODIBLE" UNLESS OTHERWISE SPECIFIED.
9. CONTRACTOR SHALL STABILIZE ALL AREAS OF EROSION CONTROL MEASURES (SUCH AS SLOPES, EROSION CONTROL BLANKET, ETC.) WITH SEED PROPERLY EMPLOYED.
10. THERE SHALL BE NO CONTAMINATION OF AUTOMATIC PRODUCTS OR LUBRICANTS TO THE OUTSIDE OF EROSION CONTROL SURFACES. ALL LIQUIDS SHALL BE CONTAINED AND PROPERLY RECYCLED AT AN APPROVED FACILITY.

**SEEDING NOTES:**

- TEMPORARY STABILIZATION:**
- AREAS WHERE TEMPORARY STABILIZATION IS NEEDED, SUCH AS GRADED AREAS TO BE STABILIZED UNTIL START OF NEXT CONSTRUCTION PHASE OR SEASON, ARE TO BE IMMEDIATELY STABILIZED AS FOLLOWS UNLESS OTHERWISE SPECIFIED:
- SPRING/PLANNED PLANTING: ANNUAL PERENNIAL (SLOPE) 30 LB/AC  
ADDITION WINTER (SLOPE) PERENNIAL (WINTER) 100 LB/AC
  - LATE FALL/EARLY WINTER: ANNUAL PERENNIAL (SLOPE) 30 LB/AC  
ADDITION WINTER (SLOPE) PERENNIAL (WINTER) 100 LB/AC
- PERMANENT STABILIZATION:**
- ALL DISTURBED AREAS, OUT SLOPES AND EROSION CONTROL FILL AREAS ARE TO BE IMMEDIATELY STABILIZED AS FOLLOWS UNLESS OTHERWISE SPECIFIED:
  - DETENTION POND: SEE "DETENTION POND PLAN"
  - MAINTAINED TURF GRASS: "MAINTAINED TURF GRASS" SEED AS SET BY MANUFACTURER
  - WILDFLOWER AREAS: "WILDFLOWER AREAS" SEED AS SET BY MANUFACTURER
  - WILD FLOWER AREAS: "WILDFLOWER AREAS" SEED AS SET BY MANUFACTURER
  - WILD FLOWER AREAS: "WILDFLOWER AREAS" SEED AS SET BY MANUFACTURER

**SEQUENCE OF CONSTRUCTION:**

- TOTAL AREA OF DISTURBANCE = 2.2 AC.
1. SURVEY AND EXCAVE OUT PROPOSED HOUSE, DRIVEWAY AND STORMWATER BMP LOCATIONS.
  2. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
  3. MAINTAIN SILT FENCE IMMEDIATELY DOWNDRAGE OF PROPOSED DISTURBANCE AND WHERE INDICATED ON PLAN. ALL SILT FENCE TO BE INSTALLED PARALLEL TO CONTOURS.

**ON SITE POLLUTION CONTROL MEASURES:**

1. THERE SHALL BE A RECEIPTABLE PLACED ON THE SITE TO TEMPORARILY STORE GARBAGE, DEBRIS OR CONSTRUCTION MATERIALS. THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR REMOVAL OF ANY GARBAGE FROM ANY OTHER OFF-SITE ACTIVITY.
2. THE RECORD OWNER SHALL BE RESPONSIBLE FOR KEEPING THE SITE FREE OF LITTER AT ALL TIMES. DURING CONSTRUCTION ACTIVITIES THE OWNER MAY DESIGNATE A CONTRACTOR IN CHARGE AS A RESPONSIBLE PARTY.
3. THE SITE SHALL BE INSPECTED AT THE END OF EACH WORKDAY AND TRASH, DEBRIS AND GARBAGE SHALL BE PICKED UP AND PLACED IN ON-SITE BARRIERS OR CONTAINERS REMOVED FROM THE SITE.
4. A PORTABLE TOILET FACILITY SHALL BE PROVIDED FOR CONSTRUCTION WORKERS AND AN ADDITIONAL FACILITY FOR EVERY 10 ON-SITE WORKERS.
5. CONSTRUCTION VEHICLES SHALL BE SERVICED OFF-SITE AT A PROPER FACILITY. LEAKING OF OIL, GREASE, ANTIFREEZE SHALL NOT BE ALLOWED ON-SITE. NO OIL CHANGES ARE PERMITTED ON-SITE. FILLING OF VEHICLES ON-SITE SHALL BE CAREFULLY PERFORMED WITH AN APPROVED SPILLER. SPILLER, HOSE AND PUMP SHALL REMAIN IN SIGHT AND BE PROTECTED FROM DAMAGE. ALL SPILLER AND HOSE SHALL BE USED TO TEMPORARILY CONTAIN ANY SPILLS.
6. CHEMICALS, SOLID WASTES OR HAZARDOUS WASTE SHALL NOT BE USED ON-SITE DURING CONSTRUCTION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION ACTIVITY. CONTAINERS SHALL BE EMPLOYED BY AN APPROVED CARTER TO A PROPER FACILITY WHEN FULL. CONTAINERS SHALL BE COVERED TO PREVENT WIND-DRIVEN TRASH AND TO PREVENT WIND-BORNE DEBRIS REBOUND.
8. PAINTS, CHEMICALS OR OTHER TOXIC SUBSTANCES SHALL NOT BE PLACED IN TRUCK CONTAINERS. PAINTS, CHEMICALS OR TOXIC SUBSTANCES SHALL BE REMOVED FROM SITE BY AN APPROVED LOCKED CARTER.
9. THERE SHALL BE NO OPEN FIRES OR BARRICADES PERMITTED.
10. DEBRIS OF TRUCKS SHALL NOT BE PERMITTED. DEBRIS SHALL BE PLACED IN CONTAINERS. TEMPORARY FILLS OF BRUSH OR STUMP SHALL BE PROTECTED BY SILT FENCE, SIMILAR TO TOPSOIL STOCKPILES.

**SLOPE STABILIZATION NOTES:**

1. TEMPORARY VEGETATIVE COVER:
  - A. SCARPLY COMPACTED SOIL AREAS: SEED AS FOLLOWS: SPRING/PLANNED/EARLY FALL PLANTING: ANNUAL PERENNIAL AND GENERAL GRASS AT 100 LB/AC.
  - B. SEED AS FOLLOWS: SPRING/PLANNED/EARLY FALL PLANTING: ANNUAL PERENNIAL AND GENERAL GRASS AT 100 LB/AC.
2. PERMANENT VEGETATIVE COVER:
  - A. LATE FALL/EARLY WINTER PLANTING: ANNUAL PERENNIAL WINTER RYE AT 100 LB/AC.
  - B. SEED WITH NOT LESS THAN ONE (1) INCH AND NOT MORE THAN THREE (3) INCHES OF STRAW WITH APPLICATION RATE OF TWO TONS PER ACRE. PROVIDE 90 PERCENT COVER TO PROTECTED SURFACE, INCHES AS NEEDED.
  - C. DURING WINTER CONSTRUCTION OR PERIODS OF WET WEATHER, TEMPORARY SOIL STABILIZATION SHALL BE PROVIDED BY EITHER A ROLLED EROSION CONTROL PRODUCT OR A READY-MIXED (LAYER) SUSTAINMENT AND/OR. THE CONTRACTOR MUST RESEED THE AREA IN THE SPRING WITH THE APPROPRIATE SEEDING.
  - D. DURING WINTER CONSTRUCTION, ALL SEEDING AREAS ARE TO BE ADEQUATELY WATERED TO ENSURE WINTER COVER.
  - E. DURING WINTER CONSTRUCTION, ALL SEEDING AREAS ARE TO BE ADEQUATELY WATERED TO ENSURE WINTER COVER.
3. PERMANENT VEGETATIVE COVER:
  - A. GRADE TO FINISHED SLOPES.
  - B. SCARPLY COMPACTED SOIL AREAS.
  - C. TOPSOIL WITH NOT LESS THAN FOUR (4) INCHES OF SETTABLE TOPSOIL MATERIAL (8) INCHES AT SITE AREA.
  - D. SEED AS FOLLOWS: MAINTAINED TURF GRASS: SEED: MIXTURE BLUE GRASS 20, CRYSTINE BLUE FESCUE 20, RED TOP OR BLUE GRASS 20, NINE STAR BLUE GRASS WITH ANNUAL PERENNIAL SEED MIX (CONTRACTOR TO SET SEED MIX AS SET BY FIRST CONSTRUCTION SEED MIX WITH AN APPLICATION RATE OF 80 LB/AC).
  - E. GRASS WITH NOT LESS THAN ONE (1) INCH AND NOT MORE THAN THREE (3) INCHES OF STRAW WITH AN APPLICATION RATE OF TWO TONS PER ACRE. PROVIDE 90 PERCENT COVER TO PROTECTED SURFACE, INCHES AS NEEDED.
  - F. FOR DISTURBED AREAS WITH SLOPES GREATER THAN 1:3, INSTEAD OF MAINTAINED/TURF CONTROL BLANKET/MIXTURE SUCH AS NORTH AMERICAN GREEN STYLO (OR APPROVED EQUAL) SHALL BE USED. THE DISTURBED AREA SHALL BE PREPARED AS RECOMMENDED BY THE EROSION CONTROL BLANKET/MIXTURE MANUFACTURER. PRIOR TO INSTALLATION, DISTURBED AREAS SHALL BE SEED AS DESCRIBED ABOVE.

**QUINAM ENGINEERING PLLC**  
ENGINEERS - ARCHITECTS  
4 OLD ROUTE 6, BREWSTER, NEW YORK 10809  
(845) 279-6789 FAX (845) 279-6759  
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Tracy Chalivava LLC  
Tracy Chalivava, C.E.P.  
1000 South Broadway, CT 06105  
Tel: 860-442-3333  
Fax: 860-442-3333

Project Title: **LANDSCAPE IMPROVEMENTS**  
PREPARED FOR: PRISCILLA ALMODOVAR & ERIC DINALDO  
PROJECT # 62829  
TAX MAP # 6416-1-28 & 6416-1-29  
Location: 270 WEST LAKE BOULEVARD, MAHOPAC, NEW YORK, TOWN OF CARMEL

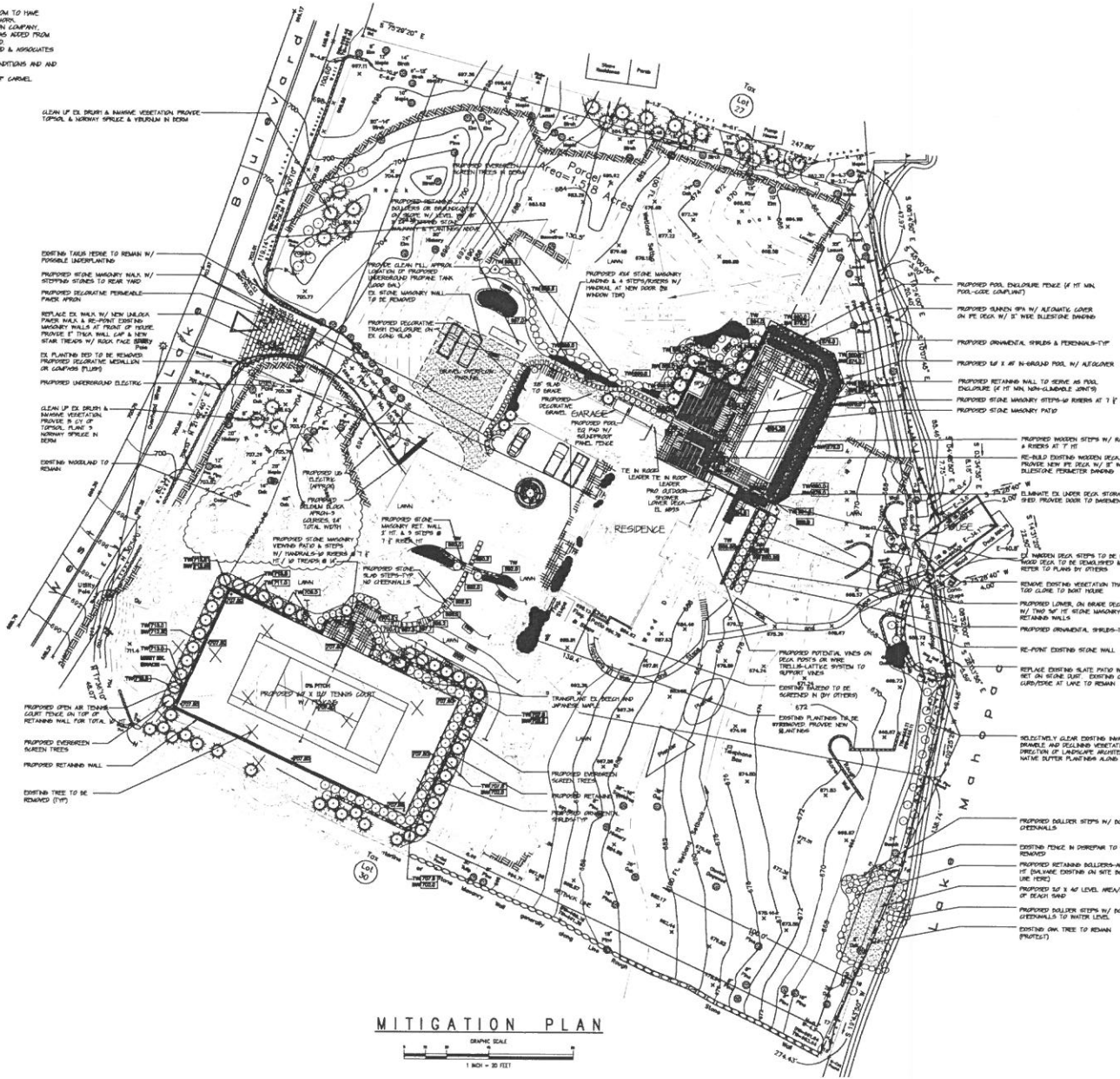
Graphic Scale and North Arrow  
Drawing Title: **GRADING PLAN**  
Drawing No.: **IPP-2**  
Date: March 28, 2019  
Scale: 1"=20'-0"  
Checked: TLC  
Drawn: TLC  
SHEET 2 OF 6

**NOTES**

1. CONTACT CALL DED SAFELY NEW YORK OR 86 OR WWW.DEDSAFELYNEWYORK.COM TO THE UNDERGROUND UTILITY LINES MARKED PRIOR TO START OF ANY EXCAVATION WORK.
2. SOME MAP INFORMATION WAS TAKEN FROM SURVEY PREPARED BY THE MARINI COMPANY, ELMSFORD, NEW YORK DATED FEBRUARY 20, 2020. ADDITIONAL INFORMATION WAS ACED FROM FIELD MEASUREMENTS TAKEN BY TRACY CHALFONS LLC AND THE DESIGN LTD ON FEBRUARY 9, 2020.
3. THE INLAND WETLANDS SHOWN HEREIN WERE MARKED BY STEVEN DINGER PhD & ASSOCIATES ON FEBRUARY 9, 2020.
4. PRIOR TO THE START OF WORK, CONTRACTOR SHALL REVIEW ALL PERMIT CONDITIONS AND COMPLY WITH PERMIT CONDITIONS THROUGHOUT THE CONSTRUCTION PROCESS.
5. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH NYSDOT AND TOWN OF CARMEL STANDARDS.

**GENERAL LEGEND**

- PROPERTY LINE
- LIMIT OF DISTURBANCE
- WETLAND LINE
- PROPOSED SHRD
- PROPOSED DECIDUOUS TREE
- PROPOSED EVERGREEN TREE
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- EXISTING CONTOUR
- PROPOSED CONTOUR
- AREA OF LAWN RESTORATION



**MITIGATION PLAN**  
GRAPHIC SCALE  
1 INCH = 30 FEET

**QUINAM ENGINEERING, PLLC**  
ENGINEERS - ARCHITECTS  
4 OLD ROUTE 6, BRONX, NEW YORK 10509  
(646) 279-8789 FAX (646) 279-8719  
9790663.DWG (DATE) 2/20/20

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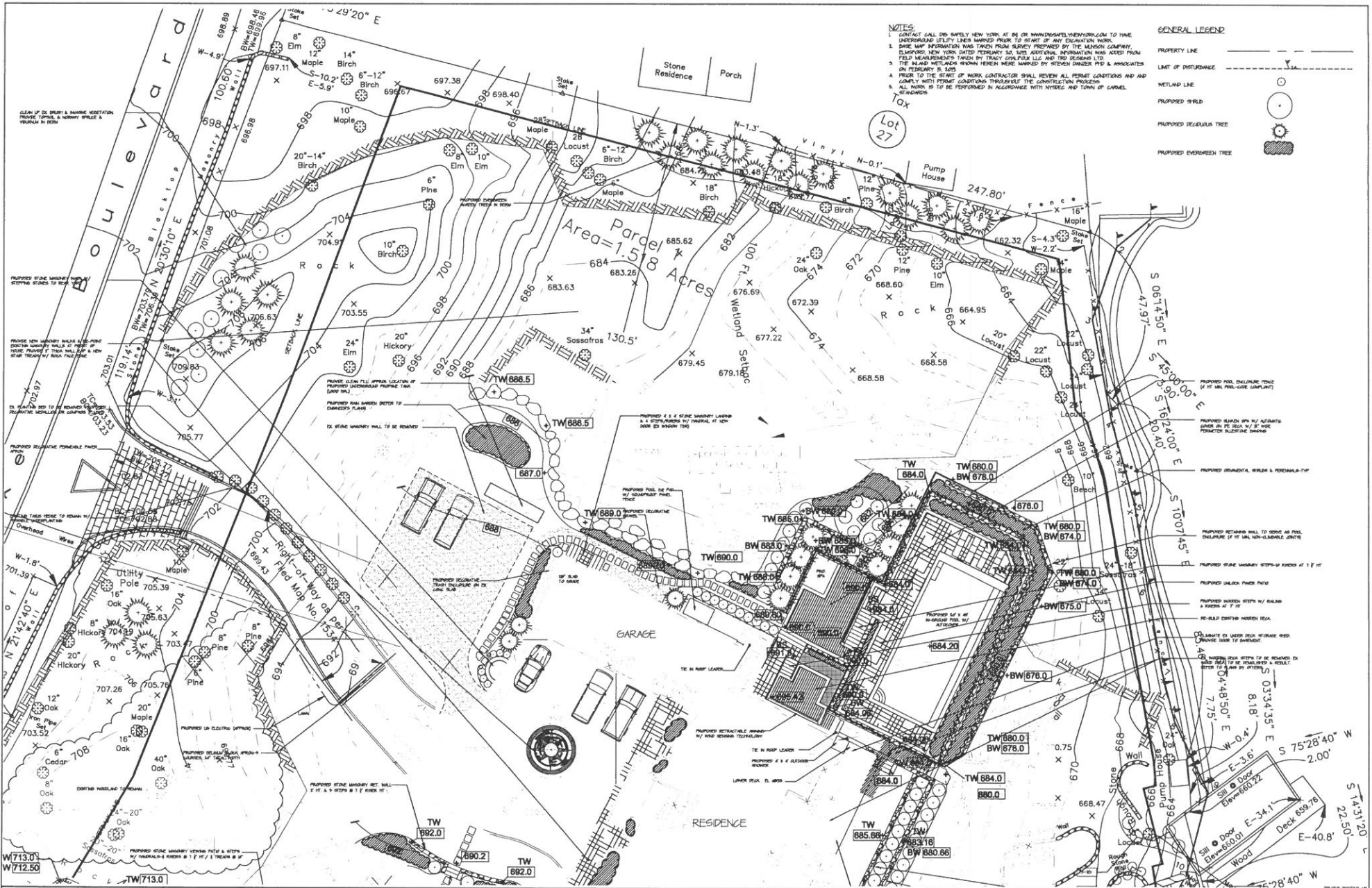
Tracy Chalfons LLC  
Landscape Architects  
170 West Lake Boulevard  
Mahopac, New York 10541  
Tel: 845.238.4444  
Fax: 845.238.4444  
www.tracychalfons.com

Project Title  
**LANDSCAPE IMPROVEMENTS**  
PREPARED FOR:  
PRISCILLA ALMODOVAR & ERIC DINALLO  
PROJECT # 0355  
TAX MAP # 6416-1-28 & 6416-1-29  
Location  
270 WEST LAKE BOULEVARD  
MAHOPAC, NEW YORK, TOWN OF CARMEL

Graphic Scale and North Arrow  
0 20 40  
Date  
March 28, 2019  
Scale  
1"=20'-0"  
Checked  
TLC  
Drawn  
TLC

Drawing Title  
**ECB MITIGATION PLAN & OVERALL PLAN**

Drawing No.  
**MP**  
SHEET 8 OF 8



**NOTES**

- CONTACT CALL DO NOTIFY NEW YORK AT OR WWW.DENAPENYORK.COM TO HAVE UNDERGROUND UTILITY LINES MARKED PRIOR TO START OF ANY EXCAVATION WORK.
- BASE MAP INFORMATION WAS TAKEN FROM SURVEY PREPARED BY THE HANSON COMPANY, ELBANDUS NEW YORK, DATED FEBRUARY 16, 2017. ADDITIONAL INFORMATION WAS OBTAINED FROM FIELD MEASUREMENTS TAKEN BY TRACY CHAILOFAUX LLC AND TRACY RESEARCH LTD.
- THE PLANNED WETLANDS SHOWN HEREIN WERE DETERMINED BY MICHAEL BRADNER & ASSOCIATES ON FEBRUARY 16, 2017.
- BEFORE THE START OF WORK CONTRACTOR SHALL REVIEW ALL PERMIT CONDITIONS AND COMPLIANCE WITH PERMIT CONDITIONS THROUGHOUT THE CONSTRUCTION PROCESS.
- ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH NYDEC AND TOWN OF CARMEL ORDINANCES.

**GENERAL LEGEND**

- PROPERTY LINE ———
- LIMIT OF DISTURBANCE - - - - -
- WETLAND LINE (Symbol)
- PROPOSED SPRUD (Symbol)
- PROPOSED DECIDUOUS TREE (Symbol)
- PROPOSED EVERGREEN TREE (Symbol)

**Tax**

Lot 27

**QUINAM ENGINEERING INC**  
ENGINEERS - ARCHITECTS  
4 OLD ROUTE 4, BREWSTER, NEW YORK 10808  
(845) 275-6788 FAX (845) 275-6759  
6 NY DEC 000000000000000000

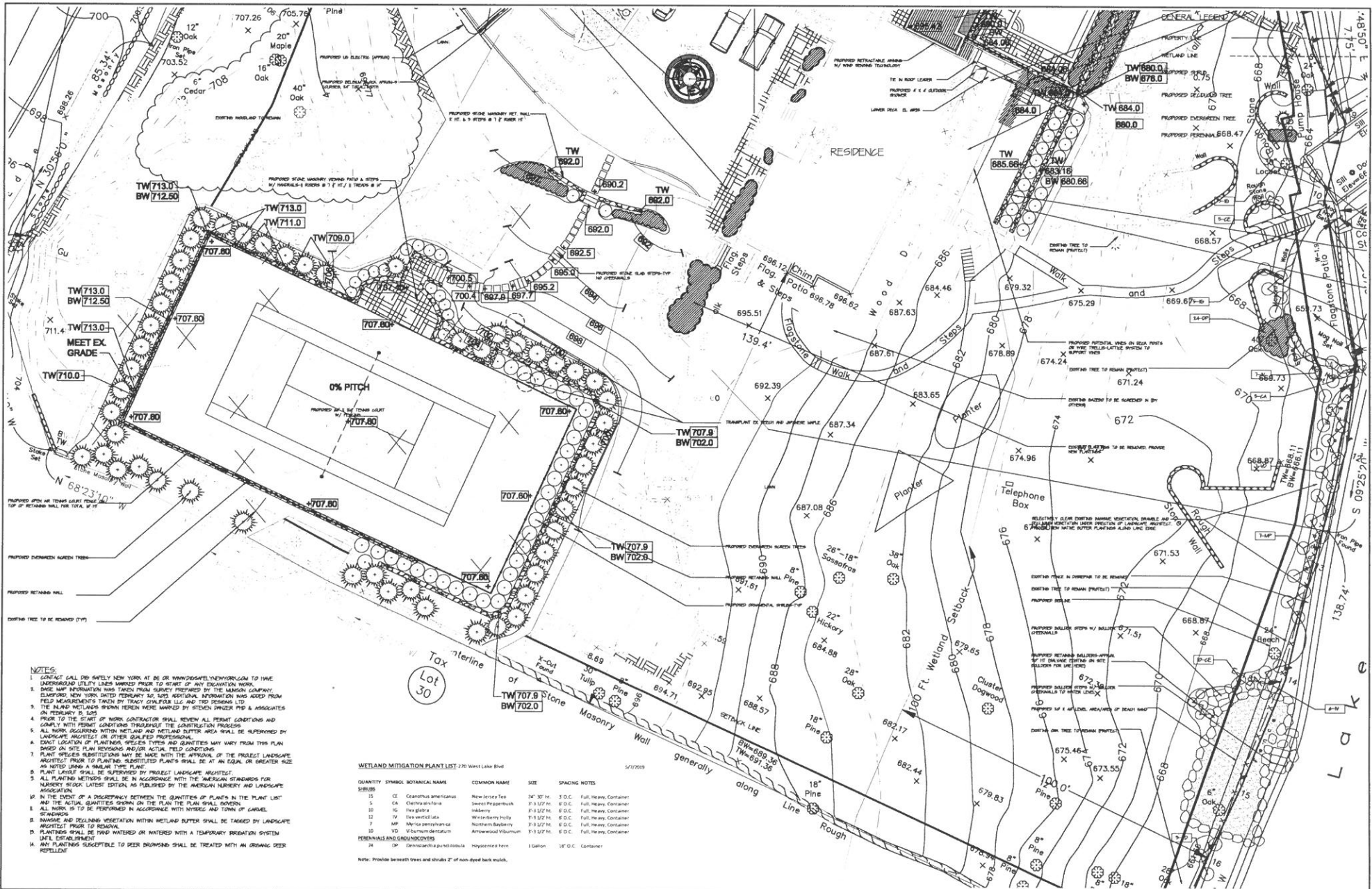
PURSUANT TO NEW YORK STATE EDUCATION LAW, ARTICLE 143, SECTION 6004 SUBSECTION 2, IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS LICENSED UNDER THE PROVISIONS OF A LICENSED PROFESSIONAL ENGINEER TO ALTER AN ITEM IN ANY WAY, OR IN ANY MANNER, OR TO SIGN AND SEAL ANY DRAWING OR DOCUMENT PREPARED BY AN ENGINEER OR ARCHITECT. ANY SUCH VIOLATION IS A VIOLATION OF THE STATE EDUCATION LAW AND THE STATE EDUCATION LAW ENFORCEMENT DIVISION SHALL TAKE ENFORCEMENT ACTION AND A SPECIFIC DESCRIPTION OF THE VIOLATION.

**Tracy Chaihofaux LLC**  
Landscape Architect  
100 West Lake Boulevard  
Mahopac, NY 10541  
Cell: 914-489-9999  
Fax: 914-489-9999

**LANDSCAPE IMPROVEMENTS**  
PREPARED FOR:  
PRISCILLA ALDOWDAR & ERIC DINALLO  
PROJECT # 6356  
TAX MAP # 6416-1-2B & 6416-1-29  
Location: 270 WEST LAKE BOULEVARD  
MAHOPOAC, NEW YORK, TOWN OF CARMEL

Graphic Scale and North Arrow  
0 10 20  
Date: March 28, 2019  
Scale: 1"=20'-0"  
Checked: TLC  
Drawn: TLC

Drawing Title: **ECB MITIGATION PLAN & SWIMMING POOL AREA ENLARGEMENT PLAN**  
Drawing No: **L-1**  
SHEET 4 OF 4



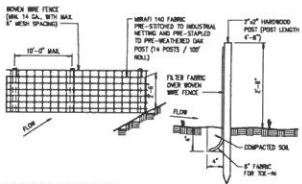
- NOTES:**
1. CONTRACTOR SHALL SAFELY REMOVE ALL EXISTING UTILITIES AND STRUCTURES TO BE REMOVED FROM THIS PROJECT.
  2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AMERICAN HANDBOOK OF LANDSCAPE ARCHITECTURE AND THE AMERICAN STANDARD FOR HANDBOOK OF LANDSCAPE ARCHITECTURE.
  3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AMERICAN HANDBOOK OF LANDSCAPE ARCHITECTURE AND THE AMERICAN STANDARD FOR HANDBOOK OF LANDSCAPE ARCHITECTURE.
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  19. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AMERICAN HANDBOOK OF LANDSCAPE ARCHITECTURE AND THE AMERICAN STANDARD FOR HANDBOOK OF LANDSCAPE ARCHITECTURE.
  20. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AMERICAN HANDBOOK OF LANDSCAPE ARCHITECTURE AND THE AMERICAN STANDARD FOR HANDBOOK OF LANDSCAPE ARCHITECTURE.

**WETLAND MITIGATION PLANT LIST-270 Water Lake Blvd**

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING NOTES
15	CE	Ceanothus americanus	New Jersey Tea	24" x 12" H.	S.O.C. Full, Heavy, Container
5	CA	Eleocharis acicularis	Sweet Pepperbush	2' x 3/2" H.	S.O.C. Full, Heavy, Container
10	FD	Fragaria virginiana	Wild Strawberry	2' x 3/2" H.	S.O.C. Full, Heavy, Container
12	FR	Fragaria virginiana	Wild Strawberry	2' x 3/2" H.	S.O.C. Full, Heavy, Container
7	MP	Morus nigra	Morus Nigra	2' x 3/2" H.	S.O.C. Full, Heavy, Container
10	VD	Viburnum dentatum	Blackhaw	2' x 3/2" H.	S.O.C. Full, Heavy, Container
<b>PERENNIALS AND GROUNDCOVERS</b>					
24	DM	Dennstaedtia punctilobula	Spore-bearing fern	1 gallon	18" O.C. Container

Note: Provide beneath trees and shrubs 2" of non-dyed bark mulch.

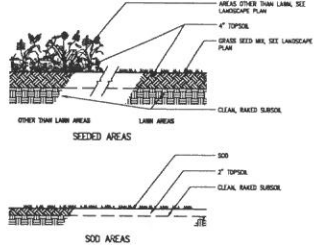
<p>4 OLD ROUTE 6, BREWSTER, NEW YORK 10809 (845) 273-6789 FAX (845) 279-6789</p>	<p>PLUMBLANT TO NEW YORK STATE EDUCATION LAW, ARTICLE 136, SECTION 2709 SUBSECTION 2, BY A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT, AS A CONDITION OF THIS PLAN FOR ANY PERMITTING AGENCIES. ANY CHANGES TO THIS PLAN SHALL BE MADE BY THE LICENSED PROFESSIONAL ENGINEER OR ARCHITECT. IF AN ENGINEER IS ALTERED, THE ALTERING ENGINEER SHALL STATE TO THE TITLE AND SIGN AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC EXPLANATION OF THE ALTERATION.</p>	<p>Tracy Chalfoux LLC Landscape Architecture 1100 West 10th Street Carmel, NY 12024 Tel: 518-339-1234</p>	<p>Project Title <b>LANDSCAPE IMPROVEMENTS</b> PREPARED FOR: PRISCILLA ALMOADOVAR &amp; ERIC DINALLD PROJECT # B350 TAX MAP # 6416-1-29 &amp; 6416-1-29</p>	<p>Graphic Scale and North Arrow</p> <p>Date: March 28, 2019</p>	<p>Drawing Title <b>ECB MITIGATION PLAN &amp; TENNIS COURT AREA ENLARGEMENT PLAN</b></p>	<p>Drawing No. <b>L-2</b></p>



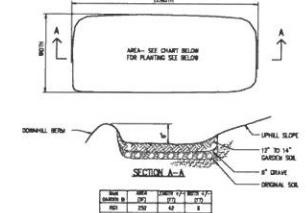
**CONSTRUCTION SPECIFICATIONS**

- WOODEN WIRE FENCE TO BE FASTENED REGULARLY TO FENCE POSTS WITH WIRE OR STAPLES. POSTS SHALL BE 2"X4" DIMENSIONS.
- FILTER FABRIC TO BE FASTENED IN STRIP A MIN. OF 6 INCHES. FILTER CLOTH TO BE FASTENED SECURELY TO WOODEN WIRE FENCE WITH TEES SPACED EVERY 4' AT TOP AND MID SECTION.
- INSPECTION SHALL BE PRESENT AND RECORD OF REPAIRS SHALL BE MADE PROMPTLY AS NOTED.
- NO FENCE TO BE REMOVED AT END OF CONSTRUCTION BUT BEFORE ALL DISTURBED AREAS ARE STABILIZED AND VEGETATED.
- FOR SILT FENCE INSTALLATION ON PAVED AREAS, REMOVE PORTION OF ASPHALT NECESSARY TO TIE-IN THE FABRIC AND TO INSTALL THE POSTS. THE PAVEMENT SHALL BE RESTORED BEFORE FINAL SITE CLEANING.

**1 SILT FENCE DETAILS**  
PP-7 N.T.S.



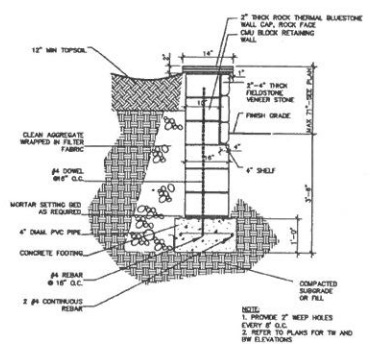
**2 SEEDING DETAILS**  
PP-7 N.T.S.



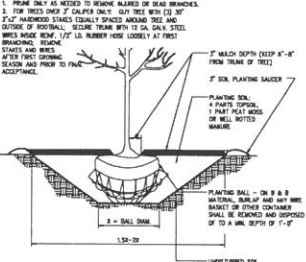
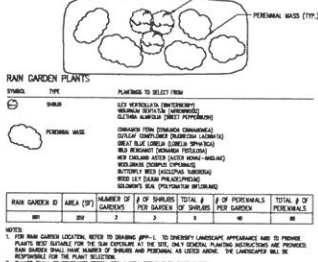
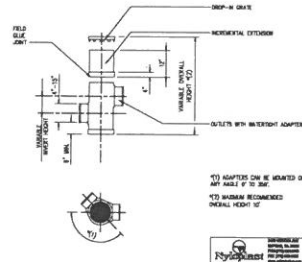
**NOTES:**

- THIS IS A GEOTEXTILE BARRIAGE DETAIL. THE LENGTH AND WIDTH OF THE GARDEN, AS WELL AS SHAPE, MAY VARY. THE TOTAL SURFACE AREA SHALL BE AS LISTED ABOVE.
- GARDEN SOIL SHALL BE 50% TOP SOIL (LESS THAN 5% CLAY CONTENT) AND 50% TOP SOIL (WITH AN EQUAL PART OF THE ORGANIC MATERIAL) AND FREE OF STONES, ROCKS AND ROOTS DEEPER THAN 18 INCHES.
- GRAVEL SHALL BE CLEANED WASHED GRAVEL, APPROXIMATELY 1.5-2.0 INCHES DIAMETER ROCK.

**3 RAIN GARDEN DETAILS**  
PP-1 N.T.S.



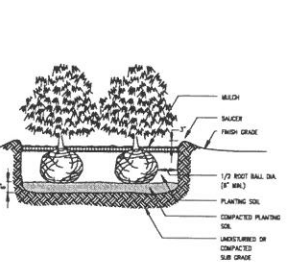
**10 FIELDSTONE VENEER RETAINING WALL W/ CMU DETAIL**  
PP-7 N.T.S.



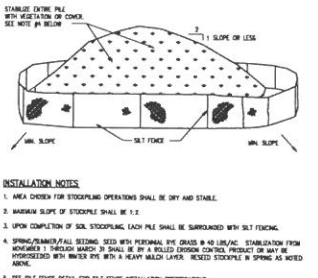
**8 TREE PLANTING DETAIL**  
PP-7 N.T.S.

**4 'NYLOPLAST' YARD DRAIN DETAIL**  
PP-7 N.T.S.

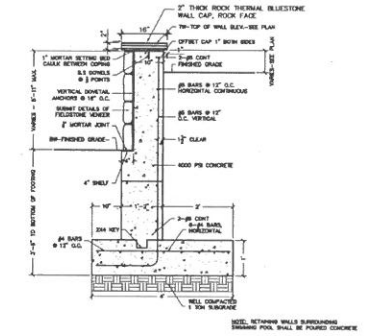
**5 RAIN GARDEN PLANTINGS**  
PP-7 N.T.S.



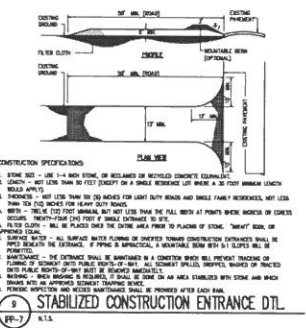
**7 SHRUB PLANTING DETAIL**  
PP-7 N.T.S.



**8 TOPSOIL STOCKPILE DETAIL**  
PP-7 N.T.S.



**11 POURED CONCRETE FIELDSTONE VENEER RETAINING WALL DETAIL**  
PP-7 N.T.S.



**9 STABILIZED CONSTRUCTION ENTRANCE DTL.**  
PP-7 N.T.S.

**VEHICLE & EQUIPMENT FUELING and WET NOZZLE REPORT:**

DESCRIPTION AND PURPOSE:

VEHICLE EQUIPMENT FUELING PROCEDURES AND PRACTICES ARE DESIGNED TO PREVENT FUEL SPILLS AND LEAKS AND REDUCE OR ELIMINATE CONTAMINATION OF ENVIRONMENT. THIS WORK IS ACCOMPLISHED BY FOLLOWING THE PROCEDURES BY WHICH ONLY IMPLEMENTING SPILL CONTROL AND TRAINING EMPLOYED AND SUBCONTRACTORS IN PROPER FUELING PROCEDURES.

VEHICLE AND EQUIPMENT FUELING PROCEDURES:

THESE PROCEDURES ARE APPLICABLE ON ALL CONSTRUCTION SITES WHERE VEHICLE AND EQUIPMENT FUELING TAKES PLACE.

LOCATION:

VEHICLE AND EQUIPMENT FUELING SHOULD ONLY BE USED WHERE IT IS IMPRACTICAL TO FUEL VEHICLES AND EQUIPMENT OFF-SITE FOR FUELING.

IMPLEMENTATION:

- DISBURSE "TIPPING-OFF" OF FUEL TANKS.
- ADDITIONAL SPILL CLEANUP SUPPLIES AND SPILL KITS BE AVAILABLE IN FUELING AREAS AND ON FUELING TRUCKS AND SHOULD BE EXPOSED TO PROTECT AT ALL TIMES.
- SOUP PANS OR ABSORBENT PADS SHOULD BE USED DURING VEHICLE AND EQUIPMENT FUELING UNLESS THE FUELING IS PERFORMED IN AN APPROVED DRAINAGE OR RECYCLED FUELING AREA.
- USE APPROPRIATE MATERIALS FOR SPILL CLEANUP. DO NOT USE SAND OR SOIL TO SPILL. REMOVE THE ABSORBENT MATERIALS PROMPTLY AND DISPOSE OF PROPERLY.
- AREA BEHIND FUELING OF WORK CONSTRUCTION EQUIPMENT BEHIND THE SITE. PLANTS, TRANSPORT THE EQUIPMENT TO CLEANER FUELING AREAS. WITH THE EQUIPMENT OF FUELING EQUIPMENT SUCH AS BATTERY CHARGERS, WET NOZZLES SHOULD BE MADE TO STAY IN A DESIGNATED AREA WITH LITTLE LEAK.
- DISPOSED AND SUBCONTRACTORS SHALL BE TRAINED IN PROPER FUELING AND CLEANUP PROCEDURES.
- OTHER VEHICLES MUST HAVE FUELING DONE IN AREA AWAY FROM DRAINAGE COURSES TO BE USED.
- RECYCLED FUELING AREAS SHOULD BE PROTECTED FROM STORMWATER RUNOFF AND SHOULD BE LOCATED AT LEAST 50 FEET AWAY FROM SUBSTANTIAL DOMESTIC FACILITIES AND WETLANDS. FUELING MUST BE PERFORMED ON LEVEL-GRADE AREAS.
- PROTECT FUELING AREAS WITH BARRIERS AND FLAGS TO PREVENT RUNOFF, RUNOFF, AND TO CONTROL SPILLS.
- VEHICLES USED IN VEHICLE AND EQUIPMENT FUELING SHOULD BE EQUIPPED WITH AN AUTOMATIC SHUTOFF TO CONTROL SPILLS. FUELING OPERATIONS SHOULD NOT BE LEFT UNATTENDED.
- REGIONAL, STATE AND LOCAL REQUIREMENTS SHOULD BE OBSERVED FOR ANY STATEWIDE AND/OR REGIONAL STANDARDS.

INSPECTION AND MAINTENANCE:

- VEHICLES AND EQUIPMENT SHOULD BE INSPECTED EACH DAY OF USE FOR LEAKS. LEAKS SHOULD BE REPAIRED IMMEDIATELY OR FUELING SHOULD BE STOPPED IMMEDIATELY IF LEAKS ARE REPAIRED FROM THE PROJECT SITE.
- KEEP AMPLE SUPPLIES OF SPILL CLEANUP MATERIALS ON-SITE.
- IMMEDIATELY CLEAN UP SPILLS AND PROPERLY DISPOSE OF CONTAMINATED SOIL AND CLEANUP MATERIALS.

**PRIVAN ENGINEERING, P.C.**  
ENGINEERS - ARCHITECTS  
4 OLD ROUTE 6, BREWSTER, NEW YORK 10808  
(845) 279-6789 FAX (845) 279-6789  
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Seal  
[Signature]

PLUANT TO NEW YORK STATE EDUCATION LAW, ARTICLE 141, SECTION 1703 (SUBSECTION 2) IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO SEAL OR SIGN ANY DRAWING OR PLAN BEARING THE SEAL AND SIGNATURE OF AN ENGINEER OR ARCHITECT. THE ENGINEER SHALL AFFIX TO THE DRAWING HIS SEAL AND SIGNATURE, AND THE SEAL OF SUCH ALTERNATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

Seal  
[Signature]

Trace Chalfonts LLC  
[Signature]

Project Title  
**LANDSCAPE IMPROVEMENTS**  
PREPARED FOR:  
PRISCILLA ALMOJODVAR & ERIC DINALLD  
PROJECT # 0055  
TAX MAP # 6416-1-28 B 6416-1-29

Graphic Scale and North Arrow  
NTS  
Date  
March 29, 2019

Drawing Title  
DETAILS

Drawing No.  
**IPP-6**

REVISIONS	Date

Location  
270 WEST LAKE BOULEVARD  
MAHOPAC, NEW YORK, TOWN OF CARMEL

Scale  
1"=20'-0"  
Checked  
TLC  
Drawn  
TLC

SHEET 8 OF 8