

ROBERT LAGA
Chairman

NICHOLAS FANNIN
Vice Chairman

RICHARD FRANZETTI, P.E.
Wetland Inspector

ROSE TROMBETTA
Secretary

TOWN OF CARMEL
ENVIRONMENTAL CONSERVATION BOARD



60 McAlpin Avenue
Mahopac, New York 10541
Tel. (845) 628-1500 - Ext. 190
www.ci.carmel.ny.us

BOARD MEMBERS

Edward Barnett
Vincent Turano
Julie McKeon

ENVIRONMENTAL CONSERVATION BOARD AGENDA

JUNE 20, 2019 – 7:30 P.M.

ELIGIBLE FOR A PERMIT

<u>APPLICANT</u>	<u>ADDRESS</u>	<u>TAX MAP #</u>	<u>COMMENTS</u>
1. Taco Bell - (Former Friendly's Site)	1081 Stoneleigh Ave	55.11-1-3	Amended Site Plan

SUBMISSION OF AN APPLICATION OR LETTER OF PERMISSION

2. Almodovar & Dinallo	270 West Lake Blvd	64.16-1-28	Construct Pool, Spa, Patio & Retaining Walls
3. Freda, Jeffrey	420 North Lake Blvd	64.12-2-47	Construct Dock

PLANNING BOARD REFERRAL

4. Honovich, Daniel	18 Interlochen Road	55.19-1-15	Regrading Application
---------------------	---------------------	------------	-----------------------

MISCELLANEOUS

5. Minutes – 05/02/19 & 05/16/19



June 17, 2019

Mr. Robert Laga, Chairman
Town of Carmel Environmental Conservation Board
60 McAlpin Avenue
Mahopac, NY 10541

Re: Almodovar and Dinallo
270 West Lake Boulevard

Dear Chairman Laga and Members of the Board,

Attached are revised plans for the Almodovar and Dinallo project. Testing for the rain gardens was successful and will remain in the locations previously shown.

The reconstruction of the deck, revising stair location, adding pool and spa area has a net increase of 199.72 s.f. over the existing developed area within the buffer. The existing platform tennis area will be replaced by the pool and deck area which is why the increase in impervious surfaces is less than 200 square feet.

Sincerely,

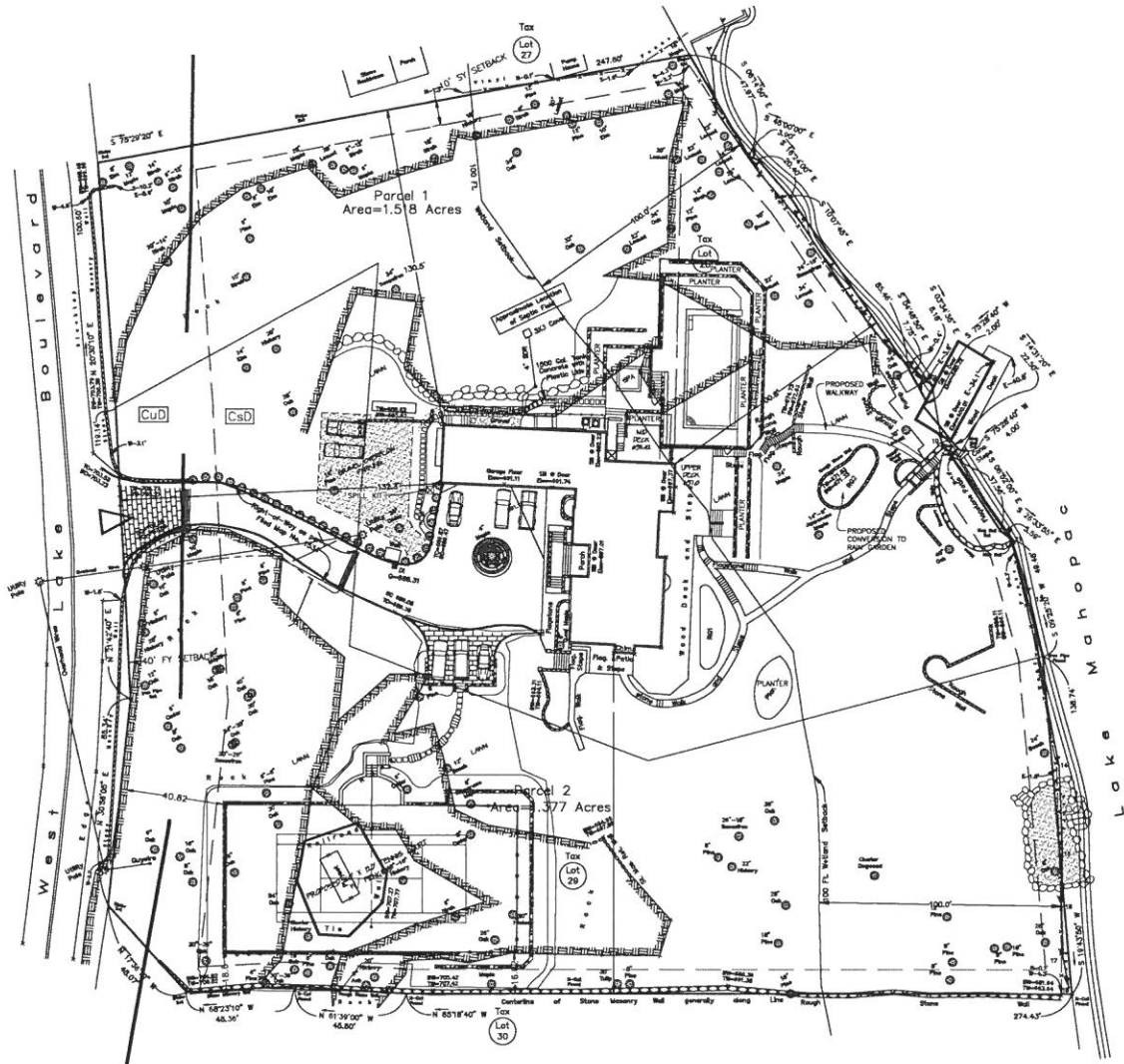
PUTNAM ENGINEERING, PLLC

A handwritten signature in black ink, appearing to read 'Paul M. Lynch', written over a horizontal line.

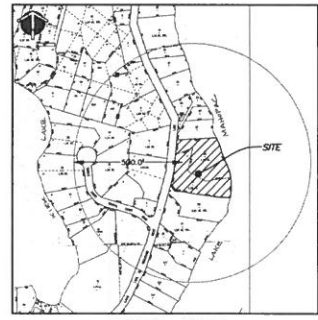
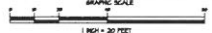
Paul M. Lynch, P.E.
PML/rrm

Attachment

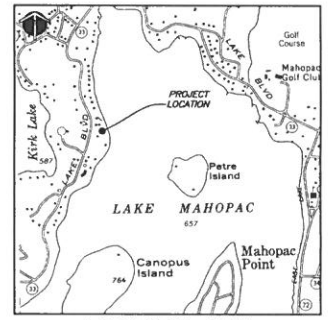
L1911



RESIDENTIAL SITE PLAN



AREA MAP
SCALE: 1"=500'



LOCATION MAP
SCALE: 1"=1000'

PLAN NOTES:

- OWNER/APPLICANT: Adamover & Chalko
40 West 25th St
New York, NY 10011
- PROJECT LOCATION: 270 West Lake Blvd
Town of Carmel
TAX MAP 6416-1-29
- BOUNDARY AND TOPOGRAPHIC INFORMATION FROM PLAN ENTITLED 'SURVEY OF PROPERTY SITUATE IN THE TOWN OF CARMEL, LAST REVISED FILE NO. 408 AS PREPARED BY LAW-LAND SURVEYS INC.
- LOT AREA = 30229 SQ. FT. (0.70 ACRES)
- VERTICAL DATUM: MEAN SEA LEVEL
- TREES ARE NOT PATTERNS, BENCHMARKS OR FLOODPLAINS WITHIN 300 FEET, EXCEPT AS NOTED.
- THE APPLICANT SHALL NOTIFY THE TOWN OF CARMEL ENGINEERING DEPARTMENT AT LEAST 5 DAYS PRIOR TO THE COMMENCEMENT OF ANY WORK ON THE SITE. CONTACT NUMBER IS 845-438-3000, EXTENSION 80.
- SPILL KIT TO BE KEPT AT ANYTIME

OWNERS WITHIN 500':

84-0-1-20	Robert B. Suggman & Sara Alford	38 East 87th Street Apt. 6C2 New York NY 10028
84-0-1-25	Harry Sailer & Leslie Sailer	10 Tarry Court Rd Mahopac NY 10541
84-0-1-26	Sara Alford & Jessica Fisher	58 Deer Park Crn Toronto, Ontario M7V2G8 Canada
84-0-1-21-2	Dino J. Ricard & Maria M. Ricard	100 NE 1st St Apt. 107 North Miami FL 33136
84-0-1-21-3	Dino J. Ricard & Maria M. Ricard	100 NE 1st St Apt. 107 North Miami FL 33136
84-0-1-21-4	Michael Ricard & Lynn Ricard	3 Tarry Court Rd Mahopac NY 10541
84-0-1-1	Paul Lake Blvd Holder Name	200 Paul Lake Blvd Mahopac NY 10541
84-0-1-2	Steven Sigman & Betty Sigman	4 Tarry Court Rd Mahopac NY 10541
84-0-1-3	Michael Drouotier & Margaret Hynes	384 Paul Lake Blvd Mahopac NY 10541
84-0-1-4	Phyllis Prynne & Barbara Cassano	384 Paul Lake Blvd Mahopac NY 10541
84-0-1-5	Barbara Prynne	384 Paul Lake Blvd Mahopac NY 10541
84-0-1-6	Paula Drouotier & Maria Drouotier	384 Paul Lake Blvd Mahopac NY 10541
84-0-1-7	Marisa A. Hoffman & Alan J. Hoffman	448 East 80 St New York NY 10022
84-0-1-8	Thomas Cavallone & Rose Cavallone	384 Paul Lake Blvd Mahopac NY 10541
84-0-1-9	R.L.C. Contracting Corp	26 Hill St Mahopac NY 10541
84-0-1-10	Mark R. Shrivane & Debra T. Shrivane	270 Paul Lake Blvd Mahopac NY 10541
84-0-1-11	R.L.C. Contracting Corp	26 Hill St Mahopac NY 10541
84-0-1-12	Mark R. Shrivane & Debra T. Shrivane	270 Paul Lake Blvd Mahopac NY 10541
84-0-1-13	Joel Rosen & Traci Housford Rosen	471 East 30th St Apt. 4A New York NY 10016
84-0-1-14	Allyn Lammert	50 E 86th St NYC New York NY 10028
84-0-1-15	Christina Linn	102 Hudson St Fl 2 New York NY 10013
84-0-1-16	Michael L. Hodoruk & Michael Hodoruk	16 Greenacre Rd Colonus NY 10523
84-0-1-17	Alan Boring	270 Paul Lake Blvd Mahopac NY 10541
84-0-1-18	Michael Hodoruk	16 Greenacre Rd Colonus NY 10523
84-0-1-19	Bary Margolis	10 Housack Pl Mahopac NY 10541

TOWN OF CARMEL GENERAL EROSION CONTROL NOTES:

- CONSTRUCTION EQUIPMENT SHALL NOT UNNECESSARILY CROSS LIVE STREAMS EXCEPT BY MEANS OF BRIDGES AND CULVERTS OR OTHER APPROVED METHODS.
- WHENEVER FEASIBLE NATURAL VEGETATION SHOULD BE RETAINED AND PROTECTED.
- ONLY THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT.
- WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE EXPOSURE SHALL BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME.
- THE PERMANENT FINAL VEGETATION AND STRUCTURES SHALL BE INSTALLED AS SOON AS PRACTICAL AND AS MAY BE DIRECTED BY THE ENGINEER.

PUTNAM ENGINEERING PLLC
ENGINEERS - ARCHITECTS

4 OLD ROUTE 4 BROADVIEW, NEW YORK 10004
(646) 274-6704 FAX (646) 274-6704
WWW.PUTNAMENGINEERING.COM

PURSUANT TO NEW YORK STATE EDUCATION LAW, ARTICLE 141, SECTION 210-B SUBSECTION 2, IT IS A VIOLATION OF THIS LAW FOR ANY PERSON TO ACT AS AN ENGINEER OR ARCHITECT WITHOUT BEING A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT IN ANY STATE. IF AN ARCHITECT OR ENGINEER SIGNATURE APPEARS ON THIS DRAWING, THE SIGNATURE SHALL BE FOLLOWED BY THE SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

Tracy Chalfoux LLC
Landscape Architects
1444 West 104th Street
New York, New York 10019
Phone: (212) 261-2200
Fax: (212) 261-2201
www.tracychalfoux.com

Project Title: **LANDSCAPE IMPROVEMENTS**

PREPARED FOR:
PRISCILLA ALMEDOVAR & ERIC DINALLD
PROJECT # 8350
TAX MAP # 6416-1-28 & 6416-1-29

Location: 270 WEST LAKE BOULEVARD
MAHOPAC, NEW YORK, TOWN OF CARMEL

Scale: 1"=20'-0"

Checked: T.L.C.
Drawn: T.L.C.

Graphic Scale and North Arrow

0 20' 40'

Date: March 20, 2019

Scale: 1"=20'-0"

Checked: T.L.C.
Drawn: T.L.C.

Drawing Title: **RESIDENTIAL SITE PLAN**

Drawing No.: **IPP-1**

SHEET 1 OF 6

AREA OF DISTURBANCE:

AREA OF DISTURBANCE = 8600 SQ. FT.
 TOTAL FILL TO SITE = 70 CU. YD.
 TOTAL CUT = 80 CU. YD.

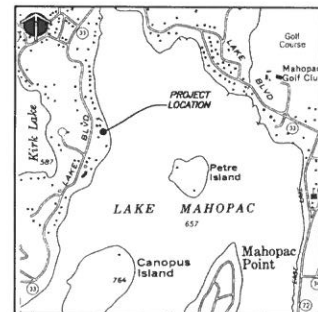
IMPERVIOUS SURFACES:

EXISTING IMPERVIOUS SURFACES = 2328.00 SQ. FT.
 PROPOSED IMPERVIOUS SURFACES = 298.00 SQ. FT.
 NET INCREASE IN IMPERVIOUS = 19.11 SQ. FT.

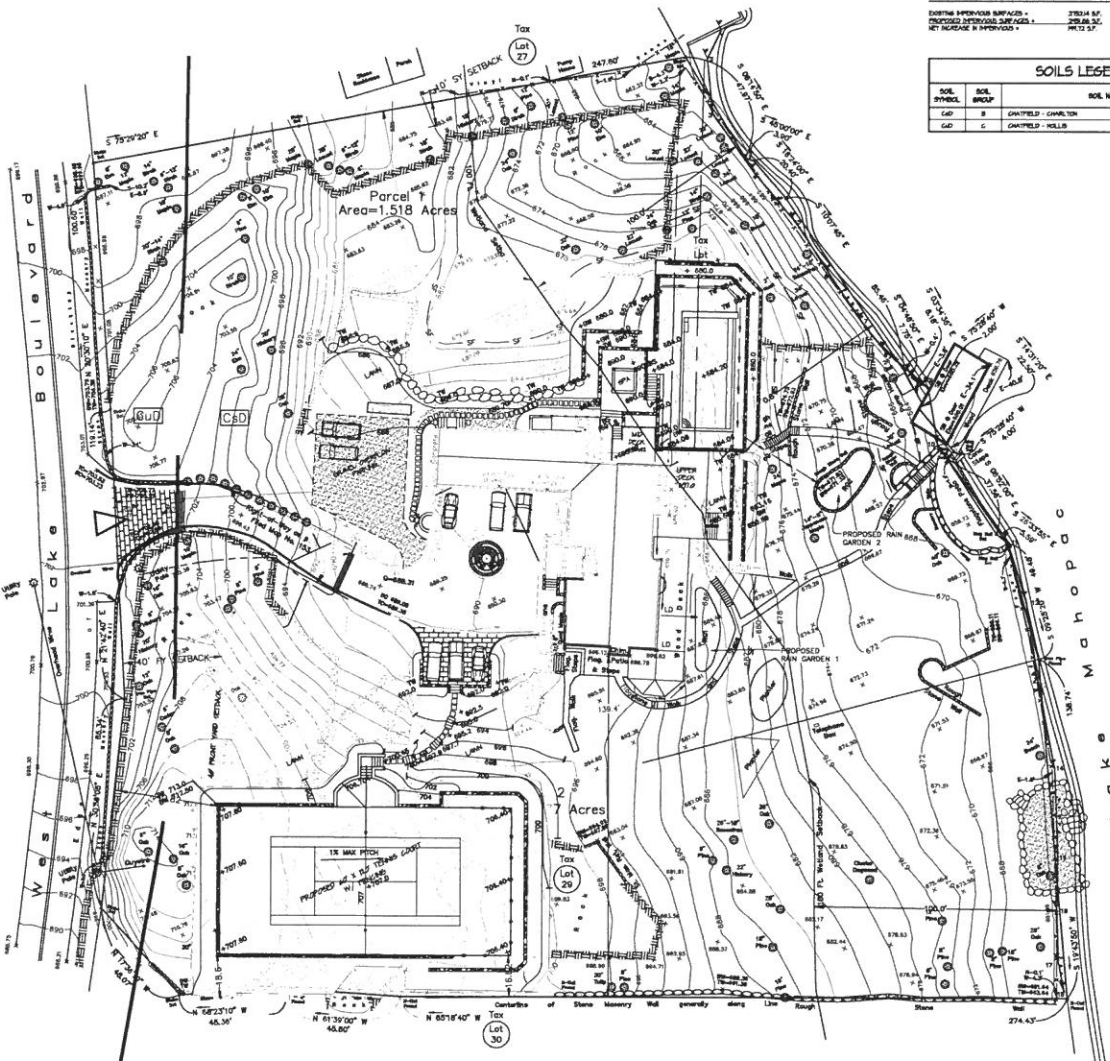
SOILS LEGEND		
SOIL SYMBOL	SOIL GROUP	SOIL NAME
C&D	B	CHAMPLAIN / CHAMPLAIN
C&D	C	CHAMPLAIN / HILLS



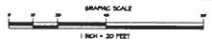
AREA MAP
SCALE: 1"=800'



LOCATION MAP
SCALE: 1"=1000'



GRADING PLAN



EROSION CONTROL LEGEND:

— 3" — 6" — 12" — 24" — 36" — 48" — 60" — 72" — 84" — 96" — 108" — 120" — 144" — 168" — 192" — 216" — 240" — 264" — 288" — 312" — 336" — 360" — 384" — 408" — 432" — 456" — 480" — 504" — 528" — 552" — 576" — 600" — 624" — 648" — 672" — 696" — 720" — 744" — 768" — 792" — 816" — 840" — 864" — 888" — 912" — 936" — 960" — 984" — 1008" — 1032" — 1056" — 1080" — 1104" — 1128" — 1152" — 1176" — 1200"

EROSION CONTROL GENERAL NOTES:

1. THE SITE SHALL BE DISTURBED ONLY AS INDICATED ON THESE PLANS.
2. THE CONTRACTOR SHALL HAVE AVAILABLE ON-SITE ALL EQUIPMENT, MATERIALS AND LABOR NECESSARY TO EFFECT TEMPORARY REPAIRS.
3. THE CONTRACTOR SHALL PROVIDE A TELEPHONE NUMBER TO THE DIRECTOR OF CODE ENFORCEMENT FOR USE IN EMERGENCY SITUATIONS, AS WELL AS THE TOWN ENGINEER.
4. FOR PROPOSED AND EXISTING CONSTRUCTION, DETAILS REFER TO DRAWINGS PERMITS.
5. CONTRACTOR SHALL PROTECT EXISTING SOIL ONLY IN DESIGNATED SLOPE PROTECTION AREAS. ALL OTHER MATERIALS SHALL BE ENCASED, COVERED, COMPACTED IN PLACE AND STABILIZED IN ACCORDANCE WITH SLOPE STABILIZATION NOTES AT THE PLACEMENT.
6. CONTRACTOR SHALL FOLLOW OSHA REQUIREMENTS FOR CONSTRUCTION ACTIVITIES INCLUDING ADEQUATE PROTECTIVE SYSTEMS FOR TRENCHES AND EXCAVATIONS.
7. EXHAUSTION FILL MATERIAL SHALL BE FREE FROM ALL ROOTS, VEGETATION AND CONTAMINATED STONES. FILL TO BE PLACED IN 3 INCH LIFTS AND COMPACTED TO 95 PERCENT PROCTOR BY MECHANICAL MEANS. FILL TO BE PLACED ON SUITABLE IMPERVIOUS SUB GRADE.
8. ALL DISTURBED AREAS ARE CONSIDERED STABILIZED AREAS UNLESS OTHERWISE SPECIFIED. PERMANENT VEGETATIVE COVER IS ACHIEVED OR EQUIVALENT STABILIZATION MEASURES SUCH AS MULCH, EROSION CONTROL, BLANKET, ETC. HAVE BEEN PROPERLY INSTALLED.
9. THERE SHALL BE NO DISCHARGE OF ANY MATERIALS OR LIQUIDS TO THE EXTERIOR OR EXISTING SURFACES. ALL LIQUIDS SHALL BE CONTAINED AND PROPERLY RECYCLED AT AN APPROVED FACILITY.

SEEDING NOTES:

- TEMPORARY STABILIZATION
 AREAS WHERE TEMPORARY STABILIZATION IS NEEDED SUCH AS GRADED AREAS TO BE STABILIZED UNTIL START OF NEXT CONSTRUCTION PHASE OR SEASON, ARE TO BE IMMEDIATELY STABILIZED AS FOLLOWS UNLESS OTHERWISE SPECIFIED:
- SPRING/Summer PLANTING:
 ANNUAL: INTERSEED SLEIGH HILLTOPPER 50 LB/AC
 ADDITIONAL: HYPERIC EYE SLEIGH PERMANENT VINE, ARISTIDA 50 LB/AC
 - LATE FALL/EARLY WINTER PLANTING:
 ADDITIONAL: HYPERIC EYE SLEIGH PERMANENT VINE, ARISTIDA 50 LB/AC
- PERMANENT STABILIZATION
 ALL DISTURBED AREAS, CUT SLOPES AND EXHAUSTION FILL AREAS ARE TO BE IMMEDIATELY STABILIZED AS FOLLOWS UNLESS OTHERWISE SPECIFIED:
- DETENTION POND: SEE TRENCH AND POND PLAN.
 - HAZARDOUS TYPING: LANDSCAPE PLANT PURPOSE SEED MIX BY NEW ENGLAND SEED CO. APPLY AT A RATE AS SPECIFIED BY MANUFACTURER.
 - FILL FLOUNDER AREAS: NATIVE STEP SLOPE MIX WITH ANNUAL, INTERSEED MIX AND 20% HYPERIC EYE SLEIGH PERMANENT VINE, ARISTIDA SEED MIX WITH AN APPLICATION RATE OF 80 LB/AC.

SEQUENCE OF DISTURBANCE:

- TOTAL AREA OF DISTURBANCE = 13.3 AC.
1. SURVEY AND STAKE OUT PROPOSED ROADS, DRIVEWAYS AND STORMWATER DRAIN LOCATIONS.
 2. INITIAL STABILIZED CONSTRUCTION DISTURBANCE.
 3. HAZARDOUS TYPING IMMEDIATELY DEMONSTRATE OF PROPOSED DISTURBANCE AND PREPARE INDICATED ON PLAN. ALL TYPING TO BE INSTALLED PARALLEL TO CONTOURS.

ON SITE POLLUTION CONTROL MEASURES:

1. THERE SHALL BE A RECEIPTABLE PLACED ON THE SITE TO TEMPORARILY STORE DEMBRAGE. STORES OF CONSTRUCTION WASTE MATERIAL, THE CONTRACTOR SHALL NOT BE USED TO TRANSFER ANY DEMBRAGE FROM ANY OTHER OFF-SITE ACTIVITY.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE SITE FREE OF LITTER AT ALL TIMES DURING CONSTRUCTION ACTIVITIES. THE OTHER PARTY RESPONSIBLE FOR CONSTRUCTION IS A SEPARATE PARTY.
3. THE SITE SHALL BE MAINTAINED AT THE END OF EACH WORKDAY AND TRAILER DEBRIS AND DEMBRAGE SHALL BE PLACED IN AND PLACED IN ON-SITE STORAGE AT CONTRACTOR'S OR OWNER'S RESPONSIBILITY.
4. A PORTABLE TOILET FACILITY SHALL BE PROVIDED FOR CONSTRUCTION WORKERS AND AN ADDITIONAL FACILITY FOR EVERY 10 ON-SITE PERSONS.
5. CONSTRUCTION WASTEWATER SHALL BE SERVICED OFF-SITE AT A PROPER FACILITY. LEAKS OR SPILLS OF OILS, FUELS, ANTIFREEZE OR OTHER LIQUIDS SHALL BE IMMEDIATELY REPORTED TO AN APPROVED RESPONSE SERVICE AND REPORT SHALL BE SUBMITTED TO THE TOWN ENGINEER AND TOWN. OIL ABSORBENT PADS AND ROLLS SHALL BE USED TO TEMPORARILY CONTAIN ANY SPILLS.
6. CHEMICAL, SOLIDS, ADDITIVES OR RESIDUES SHALL NOT BE USED ON SITE DURING CONSTRUCTION.
7. THE CONTRACTOR SHALL BE OF SUFFICIENT SIZE FOR THE CONSTRUCTION ACTIVITY. CONTRACTOR SHALL BE EMPLOYED BY AN APPROVED CONTRACTOR TO A PROPER FACILITY FROM FULL CONTAINERS SHALL BE COVERED TO PREVENT SPILLAGE OF ASH AND TO PREVENT ROAD BOUND DEMBRAGE REMOVAL.
8. PAINTS, CHEMICALS OR OTHER TOXIC SUBSTANCES SHALL NOT BE PLACED IN TRUCKS, CONTAINERS, PALLETS, CONTAINERS OR TONS. REMOVAL SHALL BE REMOVED FROM SITE BY AN APPROVED LICENSED CARTER.
9. THERE SHALL BE NO OPEN PITS OR BARRIS, PITS FENCED.
10. DEBRIS OR TRASH PILES ARE NOT PERMITTED. DEBRIS SHALL BE PLACED IN CONTAINERS. TEMPORARY PILES OF BRUSH OR STUMPS SHALL BE PROTECTED BY 6" MULCH SIMILAR TO TOPSOIL TROUSERS.

SLOPE STABILIZATION NOTES:

1. TEMPORARY STABILIZATION:
 A. SCARIFY COMPACTED SOIL AREAS.
 B. SEED AS FOLLOWS:
 SPRING/Summer FALL PLANTING: ANNUAL: INTERSEED SLEIGH HILLTOPPER AND GENERAL OATS AT 50 LB/AC.
 ADDITIONAL: HYPERIC EYE SLEIGH PERMANENT VINE, ARISTIDA 50 LB/AC.
 LATE FALL/EARLY WINTER PLANTING: ADDITIONAL: HYPERIC EYE SLEIGH PERMANENT VINE, ARISTIDA 50 LB/AC.
 C. MULCH WITH NOT LESS THAN ONE (1) INCH AND NOT MORE THAN THREE (3) INCHES OF STRAW WITH AN APPLICATION RATE OF 100 LBS PER ACRE. PROVIDE 90 PERCENT COVERAGE TO PROTECTED SURFACE UNLESS OTHERWISE SPECIFIED.
2. PERMANENT VEGETATIVE COVER:
 A. SCARIFY COMPACTED SOIL AREAS.
 B. SEED AS FOLLOWS:
 NATIVE STEP SLOPE MIX WITH ANNUAL, INTERSEED MIX AND 20% HYPERIC EYE SLEIGH PERMANENT VINE, ARISTIDA SEED MIX WITH AN APPLICATION RATE OF 80 LB/AC.
 C. MULCH WITH NOT LESS THAN ONE (1) INCH AND NOT MORE THAN THREE (3) INCHES OF STRAW WITH AN APPLICATION RATE OF 100 LBS PER ACRE. PROVIDE 90 PERCENT COVERAGE TO PROTECTED SURFACE UNLESS OTHERWISE SPECIFIED.
3. FILL FLOUNDER AREAS:
 A. SCARIFY COMPACTED SOIL AREAS.
 B. SEED AS FOLLOWS:
 NATIVE STEP SLOPE MIX WITH ANNUAL, INTERSEED MIX AND 20% HYPERIC EYE SLEIGH PERMANENT VINE, ARISTIDA SEED MIX WITH AN APPLICATION RATE OF 80 LB/AC.
 C. MULCH WITH NOT LESS THAN ONE (1) INCH AND NOT MORE THAN THREE (3) INCHES OF STRAW WITH AN APPLICATION RATE OF 100 LBS PER ACRE. PROVIDE 90 PERCENT COVERAGE TO PROTECTED SURFACE UNLESS OTHERWISE SPECIFIED.
4. HAZARDOUS TYPING:
 A. SCARIFY COMPACTED SOIL AREAS.
 B. SEED AS FOLLOWS:
 NATIVE STEP SLOPE MIX WITH ANNUAL, INTERSEED MIX AND 20% HYPERIC EYE SLEIGH PERMANENT VINE, ARISTIDA SEED MIX WITH AN APPLICATION RATE OF 80 LB/AC.
 C. MULCH WITH NOT LESS THAN ONE (1) INCH AND NOT MORE THAN THREE (3) INCHES OF STRAW WITH AN APPLICATION RATE OF 100 LBS PER ACRE. PROVIDE 90 PERCENT COVERAGE TO PROTECTED SURFACE UNLESS OTHERWISE SPECIFIED.

PRINAM ENGINEERING, LLC
 ENGINEERS - ARCHITECTS
 4 OLD ROUTE 4, BREWSTER, NEW YORK 10804
 (845) 274-6704 FAX (845) 274-6704
 WWW.PRINAMENGINEERING.COM

PROFESSIONAL SEAL AND SIGNATURE OF THE ENGINEER
 PURSUANT TO NEW YORK STATE EDUCATION LAW, ARTICLE 142, SECTION 17(2)(b) SUBSECTION 1, IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS AN ENGINEER OR ARCHITECT, TO SEAL OR SIGN ANY SET OF ARCHITECTURAL OR ENGINEERING DRAWINGS, SPECIFICATIONS, REPORTS, OR OTHER DOCUMENTS, UNLESS HE HAS FIRST REVIEWED THE SAME AND IS AWARE OF THE CONTENTS THEREOF AND THE DATE OF SUCH REVIEW, AND A SPECIFIC DESCRIPTION OF THE PROJECT.

Tracy Chalfoux LLC
 Landscape Architects
 1545 West Duane, CT 06811
 Phone: 860-261-1000
 Fax: 860-261-1001

Project Title: **LANDSCAPE IMPROVEMENTS**
 PREPARED FOR: PRISCILLA ALMOJIVAR & ERIC DINALLD
 PROJECT # 8350
 TAX MAP # 6416-1-28 & 6416-1-29
 Location: 270 WEST LAKE BOULEVARD, MAHOPAC, NEW YORK, TOWN OF CARMEL
 Graphical Scale and North Arrow
 Scale: 1"=20'-0"
 Date: March 28, 2019
 Checked: TLC
 Drawn: TLC

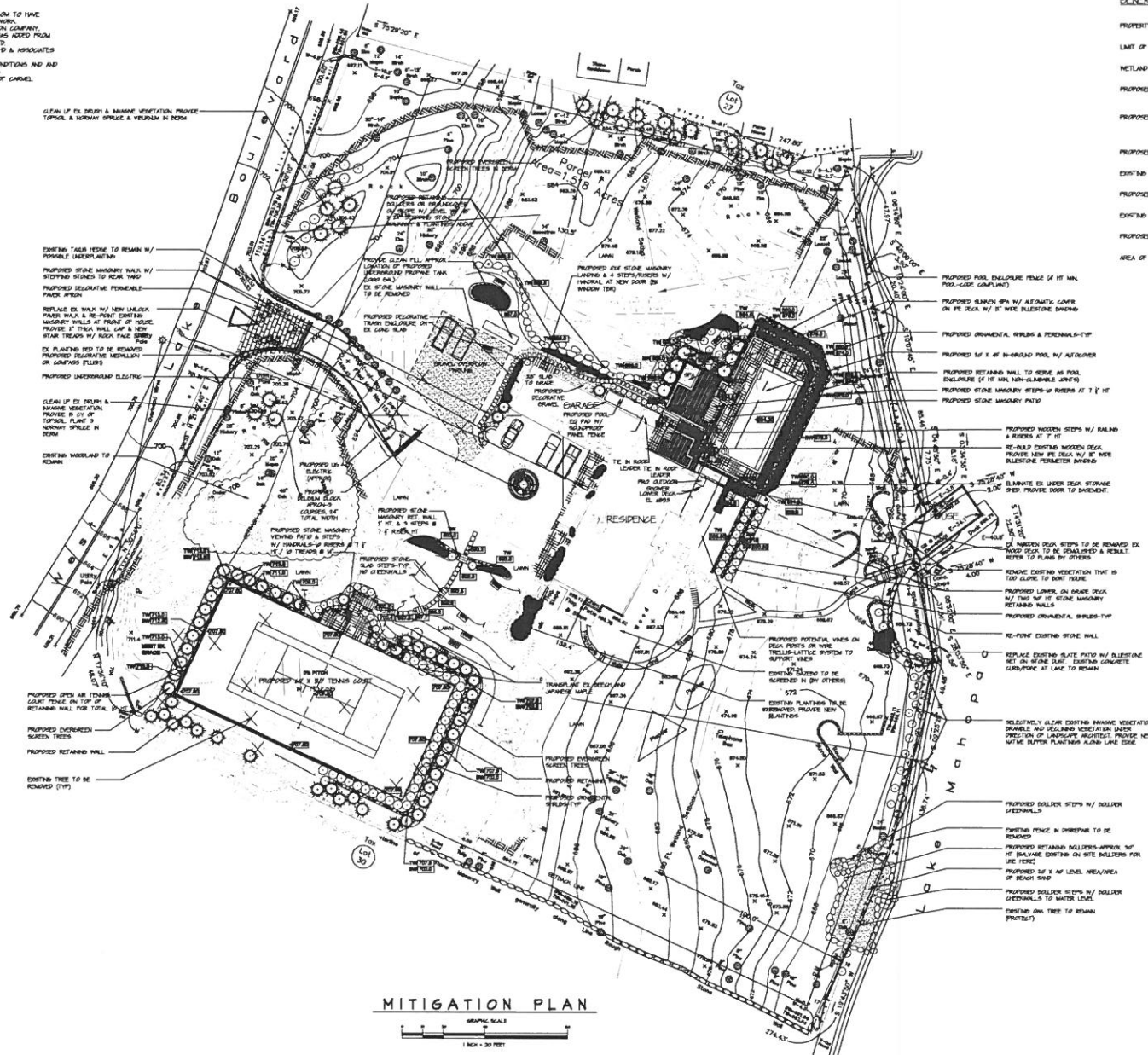
Drawing Title: **GRADING PLAN & EROSION CONTROL**
 Drawing No.: **IPP-2**
 SHEET 2 OF 4

NOTES

- CONTACT CALL DO STATELY NEW YORK AT 86 OR WWW.STATELYNEWYORK.COM TO HAVE UNDERGROUND UTILITY LINES MARKED PRIOR TO START OF ANY EXCAVATION WORK.
- DATE MAP INFORMATION WAS TAKEN FROM SURVEY PREPARED BY THE HANSON COMPANY, CLAMPORE, NEW YORK DATED FEBRUARY 16, 2019. ADDITIONAL INFORMATION WAS ADDED FROM FIELD MEASUREMENTS TAKEN BY TRACY CHAFFINER, LLC AND TPO DESIGNER LTD ON FEBRUARY 21, 2019.
- THE SHOWN METEOROLOGICAL DATA WERE MARKED BY STEVEN DANCER PLS & ASSOCIATES ON FEBRUARY 21, 2019.
- BEFORE THE START OF WORK, CONTRACTOR SHALL REVIEW ALL PERMIT CONDITIONS AND AND COMPLY WITH PERMIT CONDITIONS THROUGHOUT THE CONSTRUCTION PROCESS.
- ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH INTEREST AND TOWN OF CARMEL STANDARDS.

GENERAL LEGEND

- PROPERTY LINE:
- LIMIT OF DISTURBANCE:
- METALD LINE:
- PROPOSED SHIELD:
- PROPOSED DECIDUOUS TREE:
- PROPOSED EVERGREEN TREE:
- EXISTING SPOT ELEVATION:
- PROPOSED SPOT ELEVATION:
- EXISTING CONTOUR:
- PROPOSED CONTOUR:
- AREA OF LAWN RESTORATION:



MITIGATION PLAN



RAYAN ENGINEERING, PLLC
 ENGINEERS - ARCHITECTS
 4 OLD ROUTE 6, BREWSTER, NEW YORK 10801
 (845) 274-6784 FAX (845) 274-6784
 www.rayan-engineers.com

PURSUANT TO NEW YORK STATE EDUCATION LAW, ARTICLE 134, SECTION FOUR SUBSECTION 2, IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE OR SHE IS LICENSED UNDER THE PROVISIONS OF A LICENSED PROFESSIONAL ENGINEER TO SEAL AN INSTRUMENT OR DRAWING. THE SEAL OF AN ENGINEER IS VALID ONLY IF THE ENGINEER HAS REVIEWED THE INSTRUMENT AND HAS A SPECIFIC SIGNATURE OF THE ALTERNATE.

Tracy Chaffiner, LLC
 Landscape Architects
 Tracy Chaffiner, LLC
 1440 West County, CT 06033
 Tracy Chaffiner, LLC
 1440 West County, CT 06033

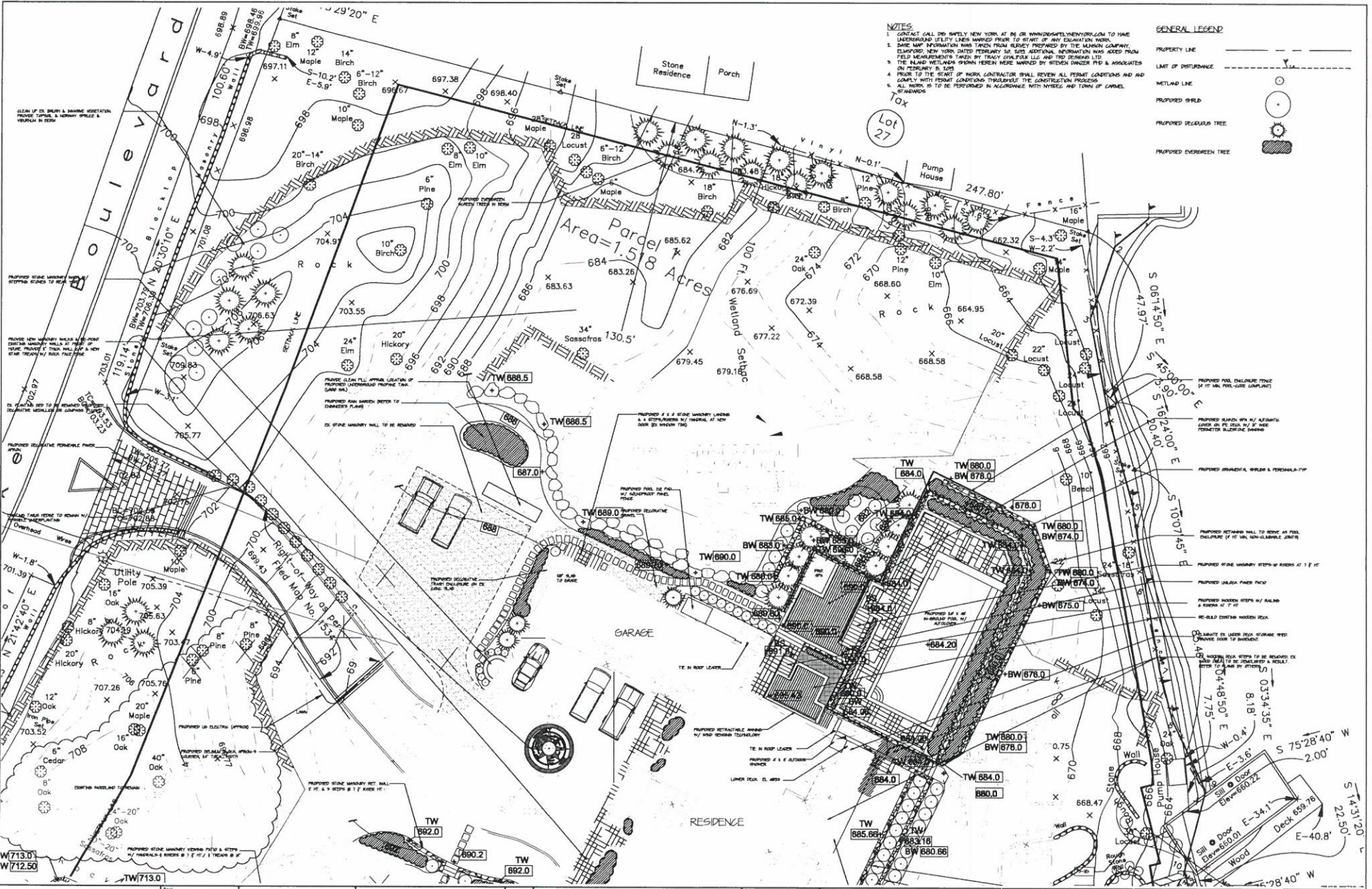
Project Title
LANDSCAPE IMPROVEMENTS
 PREPARED FOR
 PRISCILLA ALKOCIVAR & ERIC DINALDO
 PROJECT # 8350
 TAX MAP # 6416-1-28 & 6416-1-29
 Location
 270 WEST LAKE BOULEVARD
 MAHOOP, NEW YORK, TOWN OF CARMEL

Graphic Scale and North Arrow

 Date
 March 28, 2019
 Scale
 1"=20'-0"
 Checked
 T.L.C.
 Drawn
 T.L.C.

Drawing Title
ECB MITIGATION PLAN & OVERALL PLAN

Drawing No.
MP
 SHEET # OF 4



- NOTES:**
- CONTACT CALL DE RAVELY NEW YORK AT 86 OR WWW.DRNEWYORK.COM TO HAVE UNDERGROUND UTILITY LINES MARKED PRIOR TO START OF ANY CONSTRUCTION WORK.
 - BASE MAP INFORMATION WAS TAKEN FROM SURVEY PREPARED BY THE MURPHY COMPANY, ELMSFORD, NEW YORK DATED FEBRUARY 20, 2003. ADDITIONAL INFORMATION WAS GOTTEN FROM FIELD MEASUREMENTS TAKEN BY TRACY CHAIKIN LLC AND TRD DESIGN LLC.
 - THE SHADY VECTORS DRAWING HEREIN WERE MARKED BY STEVEN GRADNER PLS & ASSOCIATES ON FEBRUARY 8, 2017.
 - FROM THE START OF WORK CONTRACTOR SHALL REVIEW ALL PERMIT CONDITIONS AND COMPLY WITH PERMIT CONDITIONS THROUGHOUT THE CONSTRUCTION PROCESS.
 - ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH NYSDOT AND TOWN OF CARMEL STANDARDS.

- GENERAL LEGEND**
- PROPERTY LINE
 - LIMIT OF DISTURBANCE
 - WETLAND LINE
 - PROPOSED SWELL
 - PROPOSED DECIDUOUS TREE
 - PROPOSED EVERGREEN TREE

DRIVAN ENGINEERING, PLLC
 ENGINEERS - ARCHITECTS
 4 OLD ROUTE 4 & BREWSTER, NEW YORK 10504
 (516) 274-6100 FAX (516) 274-6104
 www.drivan.com

PURSUANT TO NEW YORK STATE EDUCATION LAW, ARTICLE 142, SECTION 2703 SUBSECTION 3, IT IS A VIOLATION OF THIS LAW FOR ANY PERSON TO UNDERTAKE OR ACT UNDER THE DIRECTION OF A PERSON WHO IS NOT A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT. THE SEAL AND SIGNATURE OF THE ENGINEER OR ARCHITECT SHALL BE AFFIXED TO THE DRAWING AND THE DESIGN SHALL BE FOLLOWED BY THE CONTRACTOR AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY AND A TRUE REPRESENTATION OF THE DESIGN.

Tracy Chalkin, LLC
 Landscape Architect
 Tracy Ann Chalkin, C.T.S.P.
 100 West Lake Boulevard
 Mahwah, New York 10950

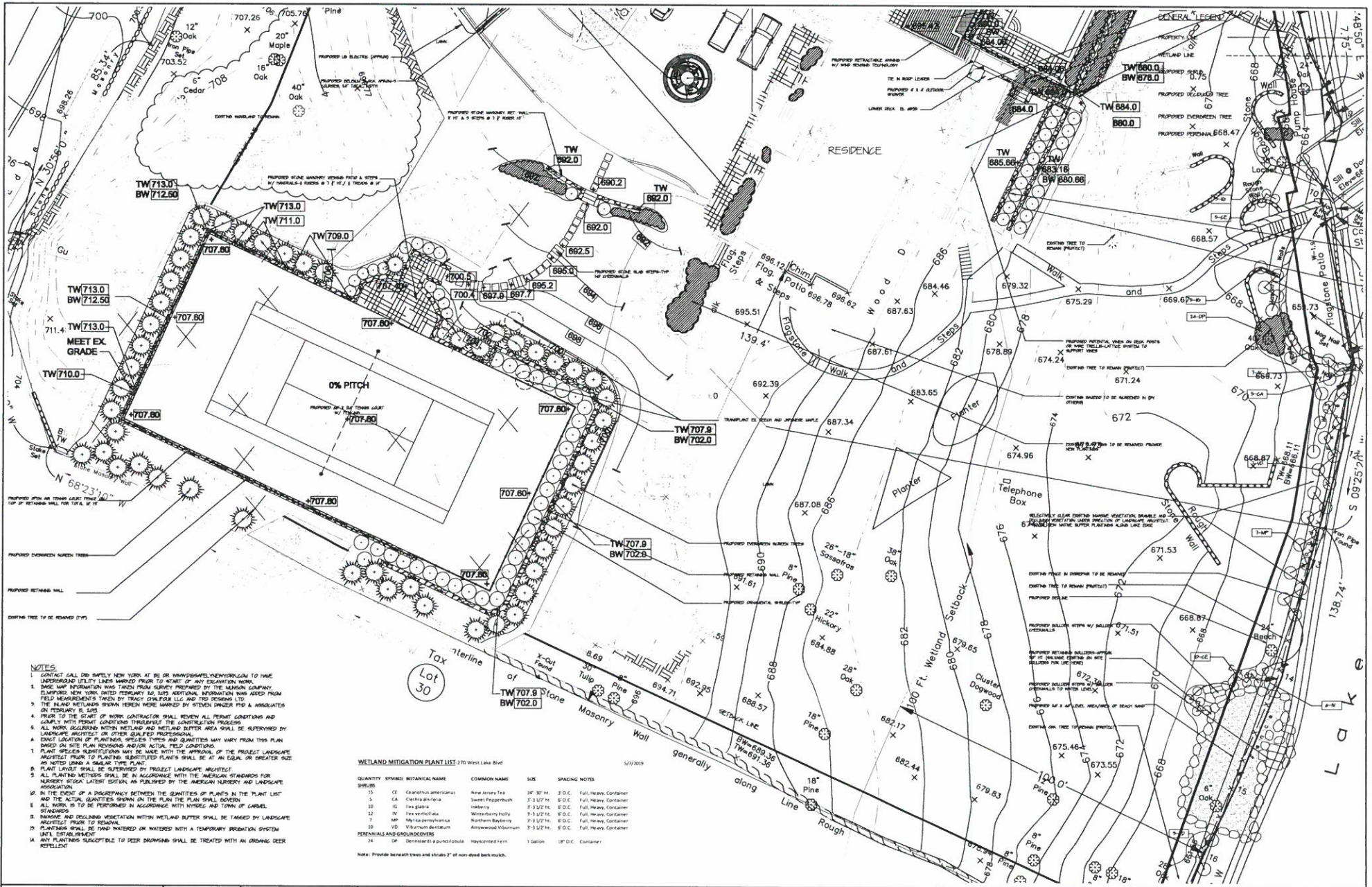
LANDSCAPE IMPROVEMENTS
 PREPARED FOR:
 PRISCILLA ALMOVAR & ERIC DINALDO
 PROJECT # B350
 TAX MAP # 6416-1-28 & 6416-1-29
 Location: 270 WEST LAKE BOULEVARD, MAHWAC, NEW YORK, TOWN OF CARMEL

Scale: 1"=20'-0"
 Date: March 28, 2019
 Checked: TLC
 Drawn: TLC

ECB MITIGATION PLAN & SWIMMING POOL ENLARGEMENT PLAN

L-1

SHEET 4 OF 4



- NOTES**
1. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS PRIOR TO THE START OF ANY CONSTRUCTION WORK.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE AMERICAN STANDARDS FOR CONSTRUCTION PRACTICES AND ALL APPLICABLE REGULATIONS.
 3. THE PLANTING MATERIALS SHALL BE PROVIDED BY THE CONTRACTOR AND SHALL BE OF THE QUALITY AND QUANTITY SPECIFIED IN THE PLAN.
 4. PRIOR TO THE START OF WORK, CONTRACTOR SHALL REVIEW ALL PERMIT CONDITIONS AND COMPLY WITH PERMIT CONDITIONS THROUGHOUT THE CONSTRUCTION PROCESS.
 5. ALL WORK OCCURRING WITHIN WETLAND AND WETLAND BUFFER AREA SHALL BE SUPERVISED BY A LICENSED PROFESSIONAL ENGINEER OR OTHER QUALIFIED PROFESSIONAL.
 6. EXACT LOCATION OF PLANTINGS, SPECIES TYPES AND QUANTITIES MAY VARY FROM THIS PLAN BASED ON SITE PLAN REVISIONS AND/OR ACTUAL FIELD CONDITIONS.
 7. PLANTING MATERIALS SHALL BE PROVIDED BY THE CONTRACTOR AND SHALL BE OF THE QUALITY AND QUANTITY SPECIFIED IN THE PLAN.
 8. PLANTING MATERIALS SHALL BE PROVIDED BY THE CONTRACTOR AND SHALL BE OF THE QUALITY AND QUANTITY SPECIFIED IN THE PLAN.
 9. ALL PLANTING MATERIALS SHALL BE IN ACCORDANCE WITH THE AMERICAN STANDARDS FOR CONSTRUCTION PRACTICES AND ALL APPLICABLE REGULATIONS.
 10. IN THE EVENT OF A DISCREPANCY BETWEEN THE QUANTITIES OF PLANTS IN THE PLANT LIST AND THE ACTUAL QUANTITIES SHOWN ON THE PLAN, THE PLAN SHALL GOVERN.
 11. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE AMERICAN STANDARDS FOR CONSTRUCTION PRACTICES AND ALL APPLICABLE REGULATIONS.
 12. REMOVAL AND REPLACEMENT OF EXISTING VEGETATION WITHIN WETLAND BUFFER SHALL BE TAGGED BY LANDSCAPE ARCHITECT PRIOR TO REMOVAL.
 13. PLANTINGS SHALL BE HAND WATERED OR WATERED WITH A TEMPORARY IRRIGATION SYSTEM UNTIL ESTABLISHMENT.
 14. ANY PLANTINGS SUSCEPTIBLE TO PEER INHIBITION SHALL BE TREATED WITH AN ORGANIC PEER REPELLENT.

WETLAND MITIGATION PLANT LIST 270 West Lake Blvd
5/17/2019

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING NOTES
15	CE	Ceanothus americanus	New Jersey Tea	24" 30" H.	5' O.C. Full, Heavy, Container
5	CA	Chenopodium album	Sweet Spurreck	3' 3" 12" H.	5' O.C. Full, Heavy, Container
10	CG	Coreopsis grandiflora	Tickseed	3' 3" 12" H.	5' O.C. Full, Heavy, Container
12	CV	Coreopsis verticillata	Witchery Holly	3' 3" 12" H.	5' O.C. Full, Heavy, Container
7	DM	Dracopis amurensis	Northern Bitters	3' 3" 12" H.	5' O.C. Full, Heavy, Container
10	VD	Viburnum dentatum	Arrowwood	3' 3" 12" H.	5' O.C. Full, Heavy, Container
24	DP	Dianthus barbatus	Hardy Geranium	18" D.C. Container	18" D.C. Container

Note: Provide beneath trees and shrubs 2" of non-tyed dark mulch.

PUTNAM ENGINEERING PLLC
ENGINEERS - ARCHITECTS

4 OLD ROUTE 4 BROADVIEW, NEW YORK 10804
(646) 274-6704 FAX (646) 274-6704
www.putnam-engineering.com

PURSUANT TO NEW YORK STATE EDUCATION LAW, ARTICLE 130, SECTION 219, SUBSECTION 2, IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE OR SHE IS A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT TO SEAL OR SIGN ANY DRAWING OR SPECIFICATION FOR THE DESIGN OR CONSTRUCTION OF ANY STRUCTURE OR THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

Tracy Chalfoux LLC
Landscape Architect
1400 West 10th Street
Carmel, NY 12024
Tel: (518) 338-1111
Fax: (518) 338-1112

LANDSCAPE IMPROVEMENTS

PREPARED FOR:
PRISCILLA ALMODVAR & ERIC DINALLD
PROJECT # 82050
TAX MAP # 6416-1-28 & 6416-1-29

DATE: March 28, 2019

SCALE: 1"=20'-0"

CHECKED: TLC
DRAWN: TLC

ECB MITIGATION PLAN & TENNIS COURT AREA ENLARGEMENT PLAN

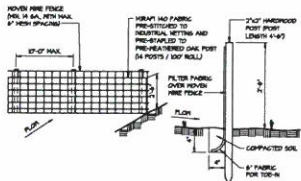
DATE: March 28, 2019

SCALE: 1"=20'-0"

CHECKED: TLC
DRAWN: TLC

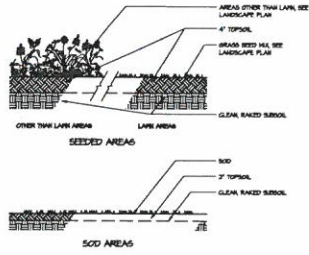
L-2

SHEET 8 OF 6

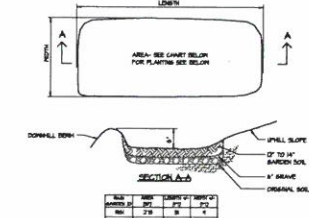


- CONSTRUCTION SPECIFICATIONS**
- MOVIE FIBRE FENCE TO BE FASTENED REGULARLY TO FENCE POSTS WITH NINE TIES OR STAPLES. POSTS SHALL BE 2" X 4" WOODPOSTS.
 - FILTER FABRIC TO BE IMBEDDED IN SOIL A MIN. OF 8" BELOW. FILTER FABRIC TO BE FASTENED REGULARLY TO MOVIE FIBRE FENCE WITH TIE STAPLES EVERY 24" AT TOP AND 48" BELOW.
 - INSPECTION SHALL BE PRESENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
 - SILT FENCE TO BE REMOVED AT END OF CONSTRUCTION BUT BEFORE ALL DISTURBED AREAS ARE STABILIZED AND VEGETATED.
 - FOR SILT FENCE INSTALLATION ON PAVED AREAS REMOVE PORTION OF ASPHALT NECESSARY TO TUCK IN THE FABRIC AND TO INSTALL THE POSTS. THE FIBREPOST SHALL BE REINFORCED BEHIND FINAL SITE GRADING.

1 SILT FENCE DETAILS
PP-1 N.T.S.

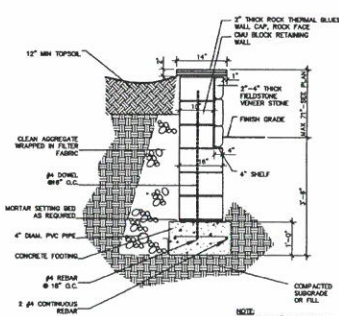


2 SEEDING DETAILS
PP-1 N.T.S.



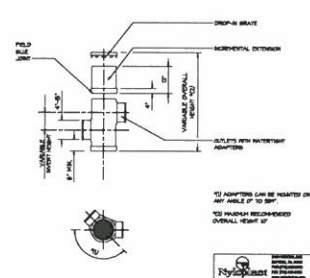
- NOTES**
- IF A 2" THICK RUBBER SANDWICH MAT IS USED, THE LENGTH AND WIDTH OF THE SANDWICH AS WELL AS SHAPE MAY DIFFER. THE TOTAL SURFACE AREA SHALL BE AS LISTED ABOVE.
 - GRAVEL SHALL BE CLEAN WASHED GRAVEL WITH A CLEAN CURVED AND SLOTTED TOP SURFACE. WITH AN AVERAGE OF 88% ORGANIC MATERIAL AND FREE OF STONES, ROOTS AND PEGGED STONES AND OTHER DEBRIS.
 - GRAVEL SHALL BE CLEAN WASHED GRAVEL, APPROXIMATELY 1/2-3/4" DIAMETER ROCK.

3 RAIN GARDEN DETAILS
PP-1 N.T.S.

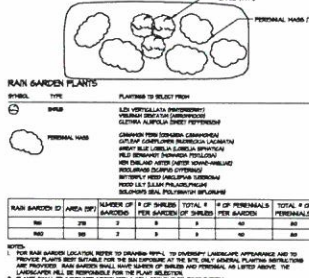


- NOTE:**
- PROVIDE 2" DEEP HOLES EVERY 4' O.C.
 - REFER TO PLANS FOR TH AND ELEVATIONS.

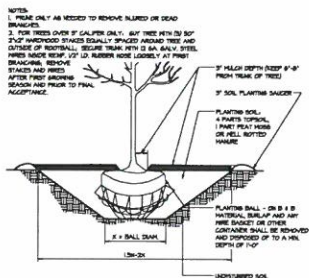
10 FIELDSTONE VENEER RETAINING WALL W/ CMU DETAIL
PP-1 N.T.S.



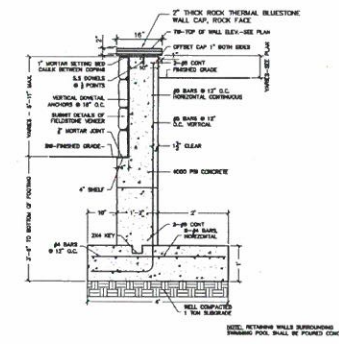
4 NYLOPLAST YARD DRAIN DETAIL
PP-1 N.T.S.



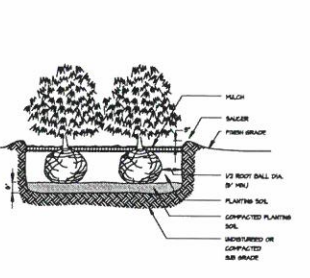
5 RAIN GARDEN PLANTINGS
PP-1 N.T.S.



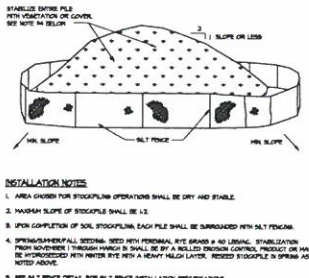
8 TREE PLANTING DETAIL
PP-1 N.T.S.



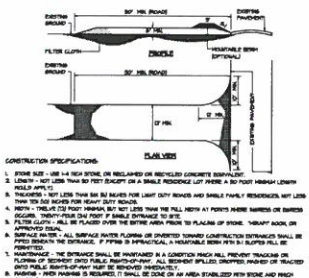
11 POURED CONCRETE FIELDSTONE VENEER RETAINING WALL DETAIL
PP-1 N.T.S.



7 SHRUB PLANTING DETAIL
PP-1 N.T.S.



9 TOPSOIL STOCKPILE DETAIL
PP-1 N.T.S.



6 STABILIZED CONSTRUCTION ENTRANCE DETAIL
PP-1 N.T.S.

- VEHICLE & EQUIPMENT FUELING AND NET NOZZLE REPORT:**
- DESCRIPTION AND PURPOSE:**
- VEHICLE EQUIPMENT FUELING PROCEDURES AND PRACTICES ARE PREPARED TO PREVENT FUEL SPILLS AND LEAKS AND REDUCE OR ELIMINATE CONTAMINATION OF ENVIRONMENT. THIS CAN BE ACCOMPLISHED BY FOLLOWING THE PROCEDURES AND PRACTICES LISTED BELOW.
- APPLICABLE REGULATIONS:**
- THESE PROCEDURES ARE BASED ON ALL CONTAMINATION SITES UNDER FEDERAL AND STATE REGULATIONS. THESE PROCEDURES ARE BASED ON THE FOLLOWING REGULATIONS:
- REGULATIONS "TURN-OFF" OF FUEL TANKS.
 - APPROPRIATE SPILL CLEANUP MATERIALS AND SUPPLIES SHALL BE AVAILABLE IN FUELING AREAS AND ON FUELING TRUCKS AND SHOULD BE INSPECTED PROMPTLY AFTER USE.
 - DEEP FUEL OR FUELING PANS SHOULD BE USED UNDER VEHICLES AND EQUIPMENT FUELING. THESE PANS SHOULD BE CLEANED OR REPLENISHED AS NECESSARY BEFORE A DISPERSED FUELING AREA.
 - USE APPROPRIATE MATERIALS ON SPILL. SPILLS, DO NOT WASH DOWN OR BURY THE SPILL. REMOVE THE NEAREST AVAILABLE MATERIALS PROMPTLY AND BEFORE SPILLING.
 - AVOID SPILLING FUEL ON VEHICLE CONSTRUCTION EQUIPMENT. BEFORE THE BATTERY, RECHARGE THE BATTERY AND REMOVE THE BATTERY FROM THE VEHICLE. THE BATTERY SHOULD BE REMOVED FROM THE VEHICLE AND STORED IN A DESIGNATED AREA.
 - EMPLOYEES AND SUBCONTRACTORS SHALL BE TRAINED IN PROPER FUELING AND CLEANUP PROCEDURES.
 - FUEL FUELING MUST TAKE PLACE OUTSIDE, DESIGNATE AN AREA AWAY FROM BUILDING CONSTRUCTION TO BE USED.
 - DESIGNATED FUELING AREAS SHOULD BE PROTECTED FROM CONSTRUCTION BURNS AND SHOULD BE LOCATED AT LEAST 50 FEET FROM FUEL CONSTRUCTION EQUIPMENT AND APPROPRIATE FUELING AREAS SHOULD BE PROTECTED FROM CONSTRUCTION BURNS.
 - PROTECT FUELING AREAS WITH BARRIERS AND CHAINS TO PREVENT BURNING, BATTERY, AND TO CONTROL SPILLS.
 - VEHICLES AND EQUIPMENT FUELING SHOULD BE EQUIPPED WITH AN AUTOMATIC SHUT-OFF TO CONTROL SPILLS. FUELING OPERATIONS SHOULD NOT BE LEFT UNATTENDED.
 - FEDERAL, STATE AND LOCAL REQUIREMENTS SHOULD BE OBSERVED FOR ANY DEVIATION ABOVE GENERAL FUELING PRACTICES.
- INSPECTION AND MAINTENANCE:**
- VEHICLES AND EQUIPMENT SHOULD BE INSPECTED EACH DAY OF USE FOR LEAKS. LEAKS SHOULD BE REPAIRED PROMPTLY OR PROBLEM VEHICLES OR EQUIPMENT SHOULD BE REMOVED FROM THE FUELING SITE.
 - KEEP AMPLIFIED SUPPLIES OF SPILL CLEANUP MATERIALS ON-SITE.
 - IMMEDIATELY CLEANUP SPILLS AND PROPERLY DISPOSE OF CONTAMINATED SOIL AND CLEANUP MATERIALS.

PRISM ENGINEERING, PLLC
ENGINEERS - ARCHITECTS
4 OLD ROUTE 6, BREWSTER, NEW YORK 10804
(516) 274-6704 FAX (516) 274-6764
© PRISM ENGINEERING, PLLC

Scale: [Diagram]

PURSUANT TO NEW YORK STATE EDUCATION LAW, ARTICLE 140, SECTION 17(2)(b), SUBSECTION 17(2)(b) OF A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO SIGN AND SEAL ANY DRAWING OR SPECIFICATION FOR THE DESIGN OR CONSTRUCTION OF ANY STRUCTURE OR WORK SHALL BE FOLLOWED BY THE SIGNATURE AND SEAL OF SUCH PERSON AND THE DATE OF SUCH SIGNATURE AND SEAL.

Scale: [Diagram]

TRACY CHAIKOSKY LLC
Landscape Architects
1745 West 100th Street, CT
New York, NY 10024
Tel: 212-261-1111

Project Title: **LANDSCAPE IMPROVEMENTS**
PREPARED FOR: PRISCILLA ALMODovar & ERIC DINALLO
PROJECT # 0250
TAX MAP # 6416-1-28 & 6416-1-29

Graphic Scale and North Arrow

NTS

Date: March 28, 2019

Scale: 1"=20'-0"

Checked: TLC
Drawn: TLC

Drawing Title: **DETAILS**

Drawing No: **IPP-6**

SHEET 8 OF 6

JOHN KARELL, JR., P.E.
121 CUSHMAN ROAD
PATTERSON, NEW YORK, 12563
845-878-7894 FAX 845 878 4939
jack4911@yahoo.com

June 4, 2019

Rose Trombetta.
Town of Carmel Planning Department
Town Hall
McAlpin Avenue
Mahopac, New York, 10541

Re: Freda Dock
420 North Lake Blvd
Carmel (T); TM # 64.12-2-47

Dear Rose::

Attached herewith please find plans and supporting documents revised in accordance the requirements of the NYSDEC as follows:

1. The NYSDEC Water Division indicated by email dated April 4, 2019 that they had no permitting requirements
2. The NYSOGS indicated by signature on their Joint Application that they had no permitting requirements. It is noted that they required that the construction be identified as a "dock" not deck and the dock by 8 feet wide and not as previously shown. The number of helical piles were reduced to 7 from 9.
3. The Army Corp or Engineers by letter dated May 30, 2019 that they had no permitting requirements.

It is requested that you make a complete application determination an send this out for public comment, unless of course you can waive the public comment due to the minor nature of the dock.

Very truly yours,

John Karell, Jr., P.E.

ROBERT LAGA
Chairman

Nicholas FANNIN
Vice Chair

ROSE TROMBETTA
Secretary

TOWN OF CARMEL
ENVIRONMENTAL CONSERVATION BOARD



60 McAlpin Avenue
Mahopac, New York 10541
Tel. (845) 628-1500 - Ext. 190
www.ci.carmel.ny.us

BOARD MEMBERS

Edward Barnett

Vincent Turano

Julie Meko

APPLICATION FOR WETLAND PERMIT OR LETTER OF PERMISSION

Name of Applicant: JEFFREY FRED A

Address of Applicant: 420 NORTH LAKE BLVD Email: _____

Telephone# _____ Name and Address of Owner if different from Applicant: _____

Property Address: 420 NORTH LAKE BLVD Tax Map # 64.12-2-47

Agency Submitting Application if Applicable: N/A

Location of Wetland: LAKE MAHOPAC

Size of Work Section & Specific Location: ADJACENT TO BOAT HOUSE AND

Will Project Utilize State Owned Lands? If Yes, Specify: NO SEA WALL

Type and extent of work (feet of new channel, yards of material to be removed, draining, dredging, filling, etc). A brief description of the regulated activity (attach supporting details).

7 HELICAL PILES TO BE INSTALLED IN LAKE
TO SUPPORT A COMPOSITE DOCK 192 SF

Proposed Start Date: JULY 1, 2019 Anticipated Completion Date: 8/1/19 Fee Paid \$ 225.00

CERTIFICATION

I hereby affirm under penalty of perjury that information provided on this form is true to the best of my knowledge and belief, false statements made herein are punishable as a Class A misdemeanor pursuant to Section 210.45 of the Penal Law. As a condition to the issuance of a permit, the applicant accepts full legal responsibility for all damage, direct or indirect, or whatever nature, and by whomever suffered, arising out of the project described here-in and agrees to indemnify and save harmless the Town of Carmel from suits, actions, damages and costs of every name and description resulting from the said project.

Jeffrey Freda
SIGNATURE

12/15/18 rev. 6/3/19
DATE

Short Environmental Assessment Form

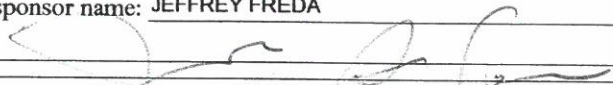
Part 1 - Project Information

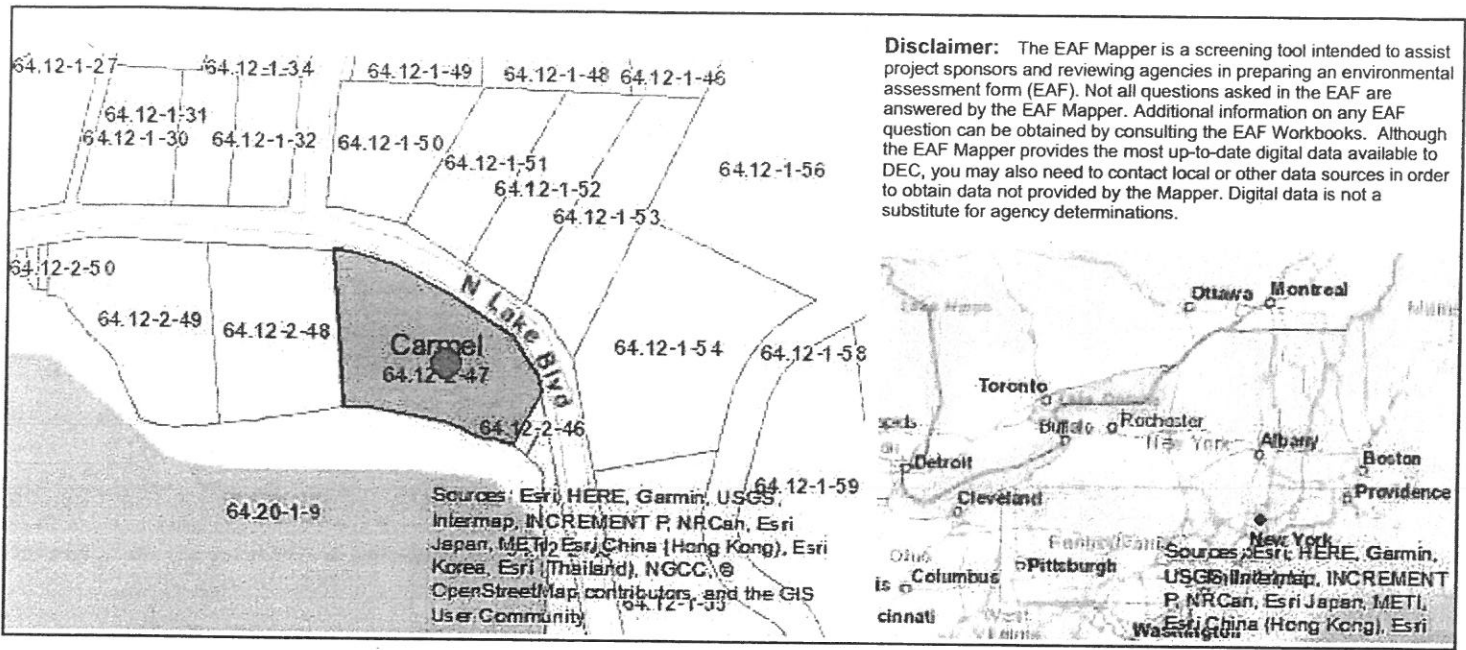
Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information							
Name of Action or Project: FREDA LAKESIDE DOCK							
Project Location (describe, and attach a location map): 420 NORTH LAKE BOULEVARD, MAHOPAC, NY, 10541							
Brief Description of Proposed Action: CONSTRUCTION OF A 192 SQUARE FOOT COMPOSITE DOCK WITH SEVEN(7) HELICAL PILES IN THE LAKE TO SUPPORT THE DOCK.							
Name of Applicant or Sponsor: JEFFERY FREDA		Telephone: _____ E-Mail: _____					
Address: 420 NORTH LAKE BOULEVARD							
City/PO: MAHOPAC		State: NY	Zip Code: 10541				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; text-align: center;">NO</td> <td style="width: 50%; text-align: center;">YES</td> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; text-align: center;">NO</td> <td style="width: 50%; text-align: center;">YES</td> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
3.a. Total acreage of the site of the proposed action?		_____ 1.06 acres					
b. Total acreage to be physically disturbed?		_____ <1 acres					
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ 1.06 acres					
4. Check all land uses that occur on, adjoining and near the proposed action.							
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland							

<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?</p> <p>If Yes, explain purpose and size: _____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?</p> <p>If Yes, describe: _____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?</p> <p>If Yes, describe: _____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p>		
<p>Applicant/sponsor name: <u>JEFFREY FREDA</u></p>		<p>Date: <u>DECEMBER 12, 2018</u></p>
<p>Signature: </p>		



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National Register of Historic Places]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Northern Long-eared Bat
Part 1 / Question 16 [100 Year Flood Plain]	Yes
Part 1 / Question 20 [Remediation Site]	No



DEPARTMENT OF THE ARMY
U.S. ARMY CORPS OF ENGINEERS, NEW YORK DISTRICT
JACOB K. JAVITS FEDERAL BUILDING
26 FEDERAL PLAZA
NEW YORK, NEW YORK 10278-0090

MAY 30 2019

Regulatory Branch

SUBJECT: Permit Application Number NAN-2019-00594-WNE
by Freda, Jeffrey

Jeffrey Freda
420 North Lake Blvd.
Mahopac, NY 10541

Dear Mr. Freda:

On May 23, 2019, the New York District, U.S. Army Corps of Engineers (Corps), received a request for Department of the Army authorization for the construction a pile-mounted pier on Lake Mahopac. The project site is in the Croton River watershed, located at 420 North Lake Blvd. in the Hamlet of Mahopac, Town of Carmel, Dutchess County, New York.

The proposed work is shown on the drawing entitled "Deck Construction", prepared by John Karell, Jr. P.E., dated December 12, 2018. This plan, and your submitted application materials, indicate that the only proposed work in waters of the United States is the hand installation of screwed-in helical piles to support a pier structure.

Our review indicates that since the proposed work does not appear to include dredging or construction activities in or over any navigable waters of the United States, the placement of any dredged or fill material in any waters of the United States (including coastal or inland wetlands) or the accomplishment of any work affecting the course, location, condition or capacity of such areas, a Department of the Army permit, in accordance with 33 CFR 320-330, will not be required provided the proposed work is executed in accordance with the referenced material.

Care should be taken so that any fill or construction materials, including debris, do not enter the waterway to become a drift or pollution hazard. A No Permit Required (NPR) determination by the Corps:

- Does not obviate the requirement to obtain any other Federal, State, or local permits which may be necessary for your project;
- Does not constitute a federal evaluation of possible impacts to species protected under the Endangered Species Act. Projects that have the potential to impact federally listed species should contact the U.S. Fish and Wildlife Service; and,

SUBJECT: Permit Application Number NAN-2019-00594-WNE
by Freda, Jeffrey

- Does not constitute a federal evaluation of possible impacts to historic resources protected under Section 106 of the Natural Historic Preservation Act. Projects that have the potential to impact historic sites should contact the State Historic Preservation Officer in New York.

This NPR determination neither addresses nor includes any consideration for geographic jurisdiction on aquatic resources and shall not be interpreted as such.

In order for us to better serve you, please complete our Customer Service Survey located at <http://www.nan.usace.army.mil/Missions/Regulatory/CustomerSurvey.aspx>.

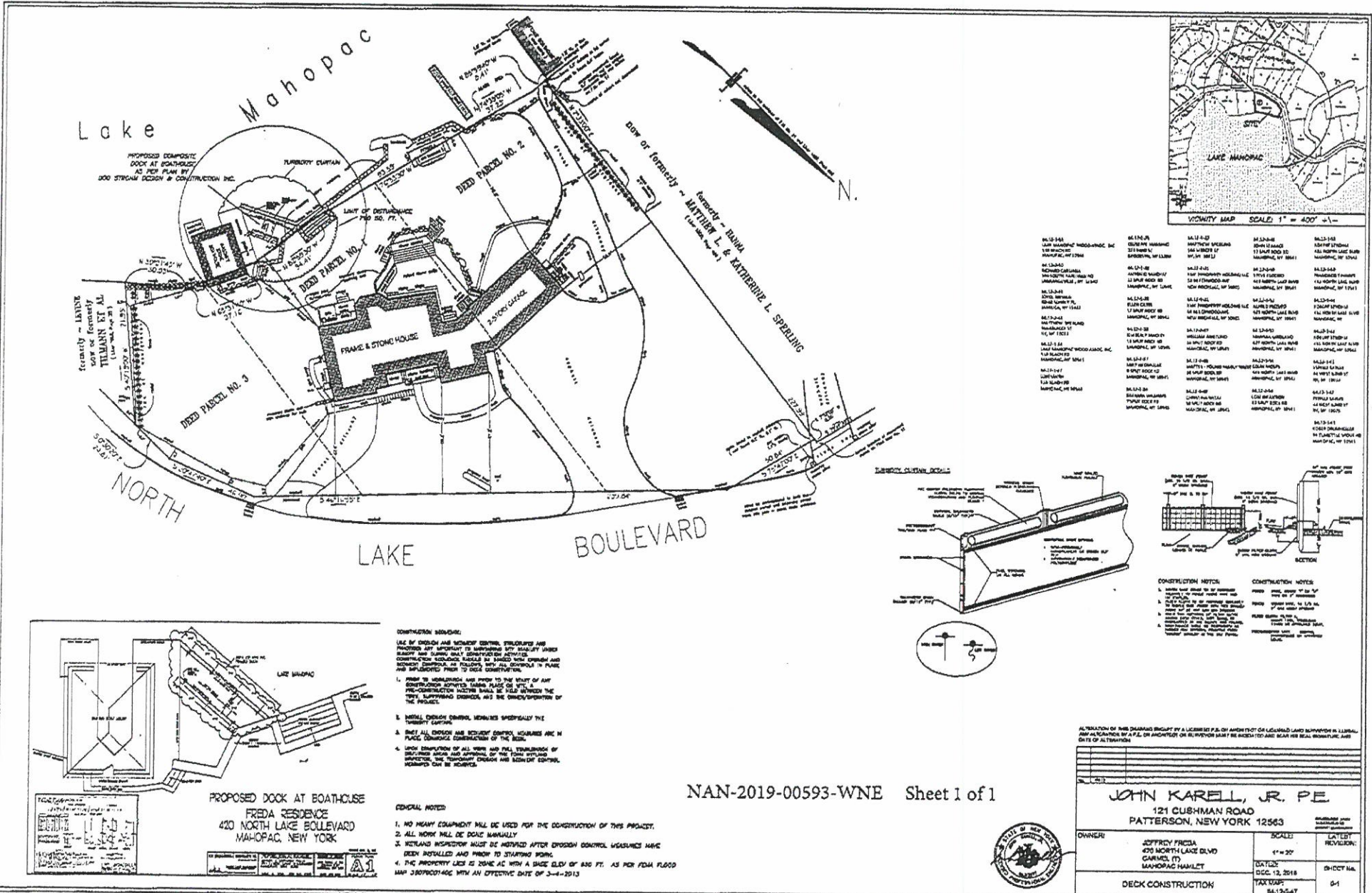
If any questions should arise concerning this matter, please contact Brendan Newell, of my staff, at (917) 790-8417.

Sincerely,

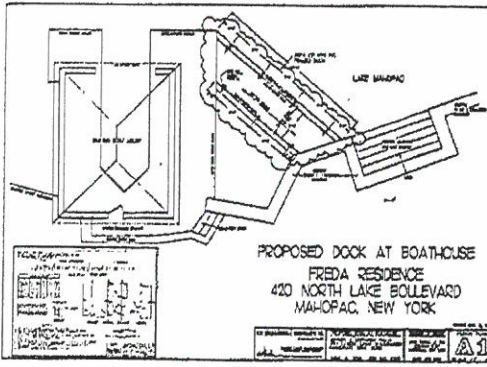


Rosita Miranda
Chief, Western Section

Ecc: NYSDEC - Region 3
NYSOGS
John Karell, Jr. P.E.
Town of Carmel
Hamlet of Mahopac



M.L. 1-1-1 JOHN MAHOPAC MAHOPAC, NY 12546	M.L. 1-1-2 JOHN MAHOPAC MAHOPAC, NY 12546	M.L. 1-1-3 JOHN MAHOPAC MAHOPAC, NY 12546	M.L. 1-1-4 JOHN MAHOPAC MAHOPAC, NY 12546	M.L. 1-1-5 JOHN MAHOPAC MAHOPAC, NY 12546	M.L. 1-1-6 JOHN MAHOPAC MAHOPAC, NY 12546	M.L. 1-1-7 JOHN MAHOPAC MAHOPAC, NY 12546	M.L. 1-1-8 JOHN MAHOPAC MAHOPAC, NY 12546	M.L. 1-1-9 JOHN MAHOPAC MAHOPAC, NY 12546	M.L. 1-1-10 JOHN MAHOPAC MAHOPAC, NY 12546	M.L. 1-1-11 JOHN MAHOPAC MAHOPAC, NY 12546	M.L. 1-1-12 JOHN MAHOPAC MAHOPAC, NY 12546	M.L. 1-1-13 JOHN MAHOPAC MAHOPAC, NY 12546	M.L. 1-1-14 JOHN MAHOPAC MAHOPAC, NY 12546	M.L. 1-1-15 JOHN MAHOPAC MAHOPAC, NY 12546	M.L. 1-1-16 JOHN MAHOPAC MAHOPAC, NY 12546	M.L. 1-1-17 JOHN MAHOPAC MAHOPAC, NY 12546	M.L. 1-1-18 JOHN MAHOPAC MAHOPAC, NY 12546	M.L. 1-1-19 JOHN MAHOPAC MAHOPAC, NY 12546	M.L. 1-1-20 JOHN MAHOPAC MAHOPAC, NY 12546
---	---	---	---	---	---	---	---	---	--	--	--	--	--	--	--	--	--	--	--



- CONSTRUCTION SCHEDULE:**
- USE OF EXISTING AND NEWLY SET CONTROL, STAKEOUTS AND PROTECTORS ARE NECESSARY TO MAINTAIN SITE QUALITY DURING DECK CONSTRUCTION. CONSTRUCTION SCHEDULE SHALL BE FILED WITH THE PROJECT ENGINEER, AND BE OBSERVED THROUGHOUT THE PROJECT.
1. PRIOR TO INSTALLATION AND PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES, STAKEOUTS SHALL BE FILED WITH THE PROJECT ENGINEER, AND BE OBSERVED THROUGHOUT THE PROJECT.
 2. INSTALL EXISTING CONTROL MEASURES IMMEDIATELY UPON THE START OF CONSTRUCTION.
 3. SET ALL EXISTING AND NEWLY SET CONTROL MEASURES AND IN PLACE THROUGHOUT CONSTRUCTION OF THE DECK.
 4. UPON COMPLETION OF ALL WORK AND FULL ESTABLISHMENT OF ALL EXISTING AND NEWLY SET CONTROL MEASURES, THE PROJECT ENGINEER, AND THE PROPERTY OWNER, SHALL BE NOTIFIED BY THE PROJECT ENGINEER, AND THE PROPERTY OWNER, THAT THE DECK CONSTRUCTION IS COMPLETE.
- GENERAL NOTES:**
1. NO HEAVY EQUIPMENT SHALL BE USED FOR THE CONSTRUCTION OF THIS PROJECT.
 2. ALL WORK SHALL BE DONE MANUALLY.
 3. NECESSARY INSPECTIONS MUST BE REQUESTED AFTER EXISTING CONTROL MEASURES HAVE BEEN INSTALLED AND PRIOR TO STARTING WORK.
 4. THE PROPERTY LINE IS 25% AC WITH A GAGE ELEV. OF 836 FT. AS PER FEMA FLOOD MAP 320900104C WITH AN EFFECTIVE DATE OF 3-4-2013.

NAN-2019-00593-WNE Sheet 1 of 1



ALTERNATION OF THIS DRAWING BRING BY A LICENSED PROFESSIONAL LAND SURVEYOR OR LICENSED ARCHITECT OR A PROFESSIONAL ENGINEER SHALL BE NECESSARY TO BE SEEN BY THE LOCAL BUILDING DEPARTMENT.

JOHN KARELL, JR., P.E. 121 CUSHMAN ROAD PATTERSON, NEW YORK 12563		SCALE: 1" = 20'	DATE: DEC. 12, 2018
OWNER: JOFFREY FREDA 420 NORTH LAKE BLVD CARMELS, NY MAHOPAC HAMLET	DECK CONSTRUCTION	TAX MAP: 84,19-0-47	SHEET NO.: 0-1

J-3568-A



Department of Environmental Conservation

Office of General Services

Department of State



US Army Corps of Engineers

JOINT APPLICATION FORM

For Permits for activities affecting streams, waterways, waterbodies, wetlands, coastal areas, sources of water, and endangered and threatened species.

You must separately apply for and obtain Permits from each involved agency before starting work. Please read all instructions.

1. Applications To:

>NYS Department of Environmental Conservation Check here to confirm you sent this form to NYSDEC.

Check all permits that apply: Stream Disturbance Dams and Impoundment Structures Tidal Wetlands Water Withdrawal
 Excavation and Fill in Navigable Waters 401 Water Quality Certification Wild, Scenic and Recreational Rivers Long Island Well
 Docks, Moorings or Platforms Freshwater Wetlands Coastal Erosion Management Incidental Take of Endangered / Threatened Species

>US Army Corps of Engineers Check here to confirm you sent this form to USACE.

Check all permits that apply: Section 404 Clean Water Act Section 10 Rivers and Harbors Act
 Is the project Federally funded? Yes No
 If yes, name of Federal Agency: _____
 General Permit Type(s), if known: _____
 Preconstruction Notification: Yes No

>NYS Office of General Services Check here to confirm you sent this form to NYSOGS.

Check all permits that apply:
 State Owned Lands Under Water Utility Easement (pipelines, conduits, cables, etc.) Docks, Moorings or Platforms

>NYS Department of State Check here to confirm you sent this form to NYSDOS.

Check if this applies: Coastal Consistency Concurrence

2. Name of Applicant _____ Taxpayer ID (if applicant is NOT an individual) _____

Jeffrey Freda _____

Mailing Address _____ Post Office / City _____ State _____ Zip _____

420 North Lake Blvd _____ Mahopac _____ NY _____ 10541

Telephone 973 508 6694 _____ Email jjeffreyfreda@gmail.com _____

Applicant Must be (check all that apply): Owner Operator Lessee

3. Name of Property Owner (if different than Applicant) _____

Mailing Address _____ Post Office / City _____ State _____ Zip _____

Telephone _____ Email _____

For Agency Use Only Agency Application Number: _____

4. Name of Contact / Agent
 John Karell, Jr., P.E.
 Mailing Address: 121 Cushman Road
 Post Office / City: Patterson State: NY Zip: 12563
 Telephone: 845 721 0455 Email: jack4911@yahoo.com

5. Project / Facility Name
 Freda Deck Property Tax Map Section / Block / Lot Number: 64.12-2-47
 Project Street Address, if applicable: 420 North Lake Blvd
 Post Office / City: Mahopac State: NY Zip: 10541
 Provide directions and distances to roads, intersections, bridges and bodies of water on the left side of North Lake Blvd immediately before Split Road Road
 Town Village City County: Putnam Stream/Waterbody Name: Lake Mahopac
 Project Location Coordinates: Enter Latitude and Longitude in degrees, minutes, seconds:
 Latitude: 41° 39' 24" Longitude: -73° 74' 09"

6. Project Description: Provide the following information about your project. Continue each response and provide any additional information on other pages. **Attach plans on separate pages.**

a. Purpose of the proposed project:
~~Construction of a composite deck, 387 square feet in size adjacent of an existing boathouse and stone wall, supported in Lake Mahopac by nine (9) helical piles, screwed 3 feet into the lake bed.~~

b. Description of current site conditions:
 Lakefront property, with stone boathouse and stone wall at the shoreline.

c. Proposed site changes:
~~Construction of a deck.~~

d. Type of structures and fill materials to be installed, and quantity of materials to be used (e.g., square feet of coverage, cubic yards of fill material, structures below ordinary/mean high water, etc.):
~~Deck will be a composite wood and fiberglass, 387 square feet, with helical piles into the lakebed. no excavation or fill is proposed. piles will be only structures below mean high water.~~

e. Area of excavation or dredging, volume of material to be removed, location of dredged material placement:
 None.

f. Is tree cutting or clearing proposed? Yes If Yes, explain below. No
 Timing of the proposed cutting or clearing (month/year):
 Number of trees to be cut: Acreage of trees to be cleared:

g. Work methods and type of equipment to be used:

by hand

h. Describe the planned sequence of activities:

install the helical piles, construct the deck on the piles.

i. Pollution control methods and other actions proposed to mitigate environmental impacts:

Turbidity curtain

j. Erosion and silt control methods that will be used to prevent water quality impacts:

turbidity curtain

k. Alternatives considered to avoid regulated areas. If no feasible alternatives exist, explain how the project will minimize impacts:

No feasible alternative.

l. Proposed use: Private Public Commercial

m. Proposed Start Date: Estimated Completion Date:

n. Has work begun on project? Yes If Yes, explain below. No

o. Will project occupy Federal, State, or Municipal Land? Yes If Yes, explain below. No

p. List any previous DEC, USACE, OGS or DOS Permit / Application numbers for activities at this location:

q. Will this project require additional Federal, State, or Local authorizations, including zoning changes?

Yes If Yes, list below. No

No zoning changes, possible approval by the State DEC, OGS and/or Office of State. Possible approval of Army Corp of Engineers

7. Signatures.

Applicant and Owner (If different) must sign the application.

Append additional pages of this Signature section if there are multiple Applicants, Owners or Contact/Agents.

I hereby affirm that information provided on this form and all attachments submitted herewith is true to the best of my knowledge and belief.

Permission to Inspect - I hereby consent to Agency inspection of the project site and adjacent property areas. Agency staff may enter the property without notice between 7:00 am and 7:00 pm, Monday - Friday. Inspection may occur without the owner, applicant or agent present. If the property is posted with "keep out" signs or fenced with an unlocked gate, Agency staff may still enter the property. Agency staff may take measurements, analyze site physical characteristics, take soil and vegetation samples, sketch and photograph the site. I understand that failure to give this consent may result in denial of the permit(s) sought by this application.

False statements made herein are punishable as a Class A misdemeanor pursuant to Section 210.45 of the NYS Penal Law. Further, the applicant accepts full responsibility for all damage, direct or indirect, of whatever nature, and by whomever suffered, arising out of the project described herein and agrees to indemnify and save harmless the State from suits, actions, damages and costs of every name and description resulting from said project. In addition, Federal Law, 18 U.S.C., Section 1001 provides for a fine of not more than \$10,000 or imprisonment for not more than 5 years, or both where an applicant knowingly and willingly falsifies, conceals, or covers up a material fact; or knowingly makes or uses a false, fictitious or fraudulent statement.

Signature of Applicant

Jeffrey Freda

Date

01/20/2019

Applicant Must be (check all that apply): Owner Operator Lessee

Printed Name

Jeffrey Freda

Title

Signature of Owner (if different than Applicant)

same

Date

Printed Name

Title

Signature of Contact / Agent

John K. Karell, Jr.

Date

01/20/2019

Printed Name

John Karell, Jr., P.E.

Title

Engineer

For Agency Use Only

DETERMINATION OF NO PERMIT REQUIRED

Agency Application Number

I-3568

NYS OFFICE OF GENERAL SERVICES

(Agency Name) has determined that No Permit is

required from this Agency for the project described in this application. *WITH ATTACHED CONDITIONS*

Agency Representative:

Printed Name

NANCY C. DWYER

Title

REAL ESTATE SPECIALIST

Signature

Nancy C. Dwyer

Date

MAY 21, 2019

NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Division of Environmental Permits, Region 3
21 South Putt Corners Road, New Paltz, NY 12561-1620
P: (845) 256-3054 | F: (845) 255-4659
www.dec.ny.gov



Department of
Environmental
Conservation

April 4, 2019

Jeffrey Freda
420 North Lake Boulevard
Mahopac, NY 10541

Re: Freda Property – 420 North Lake Blvd
Town of Carmel, Putnam County
DEC Application ID 3-3720-00451/00001
Determination of No Jurisdiction

Dear Mr. Freda,

The Department of Environmental Conservation received an application for a permit pursuant to Article 15, Title 5 (Docks, Platforms & Moorings) to build a 387 square-foot deck over Lake Mahopac at the above-referenced location on January 25, 2019. While no project plans were received, the submitted application form describes a proposed composite deck adjacent to an existing boathouse, which would be supported over the lake by nine helical piles, driven three feet into the lake bed.

The underwater lands of Lake Mahopac are owned by the State of New York, and under the jurisdiction of the Office of General Services (OGS). In accordance with 6 NYCRR Part 608.4 (a), a Protection of Waters (Docks, Moorings & Platforms) permit is not required from DEC when a lease, easement, permit, or other interest from OGS is required pursuant to the Public Lands Law and its regulations.

An Article 15 Protection of Waters (Docks, Moorings & Platforms) permit is not required for the proposed project.

This determination does not relieve you of any requirements under any other applicable laws which may exist. You are advised to contact all appropriate Federal, State, and/or local agencies for any approvals that may be required. It is the Department's understanding based on OGS's letter dated January 24, 2019, addressed to John Karell, Jr., P.E., that they have not approved the platform as proposed.

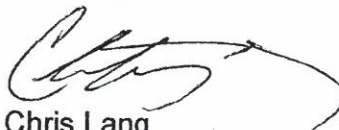
Other permits from this Department or other agencies may be required for projects conducted on this property now or in the future. Also, regulations applicable to the location subject to this determination occasionally are revised and you should, therefore, verify the need for permits if your project is delayed or postponed. This determination regarding the need for permits will remain effective for a maximum of one



year unless you are otherwise notified. More information about DEC permits may be found at our website, www.dec.ny.gov, under "Regulatory" then "Permits and Licenses."

Please contact me at christopher.lang@dec.ny.gov or (845) 256-3096 if you have any questions about the above information.

Sincerely,



Chris Lang
Environmental Analyst

ecc: Nancy Dwyer, NYS OGS
Rosita Miranda, Army Corps of Engineers
Joseph Damrath, NYC DEP
Town of Carmel
John Karell, Jr., P.E.

BARGAIN AND SALE DEED WITH COVENANT AGAINST GRANTOR'S ACTS
CONSULT YOUR LAWYER BEFORE SIGNING THIS INSTRUMENT - THIS INSTRUMENT SHOULD BE USED BY LAWYERS ONLY

THIS INDENTURE, made the 13th day of September, two thousand and sixteen
BETWEEN

ROBERT L. LENA and CAROL LENA,
420 North Lake Blvd., Mahopac, New York 10541

party of the first part,
and

J. JEFFREY FRED A and STEPHANIE AKEL FRED A
husband and wife, both residing at
23 The Fairway, Montclair, New Jersey 07043

party of the second part,

WITNESSETH, that the party of the first part, in consideration of Ten Dollars and other valuable consideration paid by the party of the second part, does hereby grant, and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the Town of Carmel, County of Putnam and State of New York, being more fully described on Schedule A attached hereto and made a part hereof.

BEING THE SAME PREMISES conveyed to the party of the first part by Deed dated 8/22/2011 and recorded 12/07/2011 in Control No.

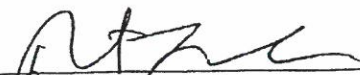
TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center lines thereof; TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises; TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid.

AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose. The word "party" shall be construed as if to read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above-written.

IN PRESENCE OF:



ROBERT L. LENA



CAROL LENA

EnTitle Insurance Company

Title Number: TBT-63474
Policy Number: LP53108

SCHEDULE A – LOAN POLICY

LEGAL DESCRIPTION

ALL that certain plot, piece or parcel of land, situate, lying and being in the County of Putnam and State of New York, described as follows:

BEGINNING at a point on the southerly side of North Lake Boulevard where the same is intersected by the boundary line between the premises herein described and the easterly line of lands now or formerly of Vidair;

RUNNING thence along the southerly side of North Lake Boulevard, the following four (4) courses and distances:

1. South 75 degrees 47 minutes 00 seconds east, 50.84 feet;
2. South 46 degrees 16 minutes 55 seconds east, 239.84 feet;
3. South 20 degrees 47 minutes 40 seconds east, 46.90 feet;
4. South 00 degrees 30 minutes 20 seconds east, 24.81 feet to the westerly side of lands now or formerly of Levine;

RUNNING thence along the last mentioned lands, South 40 degrees 19 minutes 00 seconds west 71.95 feet to the shore of Lake Mahopac;

RUNNING thence along the shore of Lake Mahopac the following six (6) courses and distances:

1. North 39 degrees 21 minutes 45 seconds west 30.93 feet,
2. North 65 degrees 31 minutes 40 seconds west 37.16 feet,
3. North 82 degrees 59 minutes 30 seconds west 34.41 feet,
4. North 76 degrees 33 minutes 30 seconds west 93.59 feet,
5. North 74 degrees 35 minutes 05 seconds west 37.23 feet,
6. North 85 degrees 59 minutes 40 seconds west 8.41 feet to the easterly line of lands now or formerly of Vidair aforementioned;

RUNNING thence along the lands of said Vidair, North 07 degrees 33 minutes 00 seconds east 227.99 feet to the point or place of BEGINNING.

FOR
CONVEYANCING
ONLY

The policy to be issued under this report will insure the title to such buildings and improvements erected on the premises which by law constitute real property

TOGETHER with all the right, title and interest of the party of the first part, of, in and to the land lying in the street in front of and adjoining said premises.

ACKNOWLEDGMENT IN NEW YORK STATE (RPL 309-a)

State of New York Putnam County of Westchester ss.:

On the 13 day of September, in the year 2016, before me, the undersigned, a notary public in and for said state, personally appeared

Robert L. Lena
Carol Lena

personally known to me or proved to me on the basis of satisfactory evidence to be the individual who name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual or the person upon behalf of which the individual acted, executed the instrument.

Michele Kimberly
Notary Public

Michele Kimberly
Notary Public, State of New York
No. 01SH4894404
Qualified in Putnam County
Term Expires May 26, 2019

Bargain & Sale Deed
With Covenant Against Grantor's Acts
Title No. TPT 63474

ACKNOWLEDGMENT TAKEN OUTSIDE NEW YORK STATE (RPL 309-b)

STATE OF _____ ss.:
COUNTY OF _____

On _____, 20____, before me, the undersigned personally appeared

personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) are subscribed to the within instrument and acknowledged that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument, and that such individual made such appearance before the undersigned in:

(insert city of political subdivision and state or county or other place acknowledgment taken)

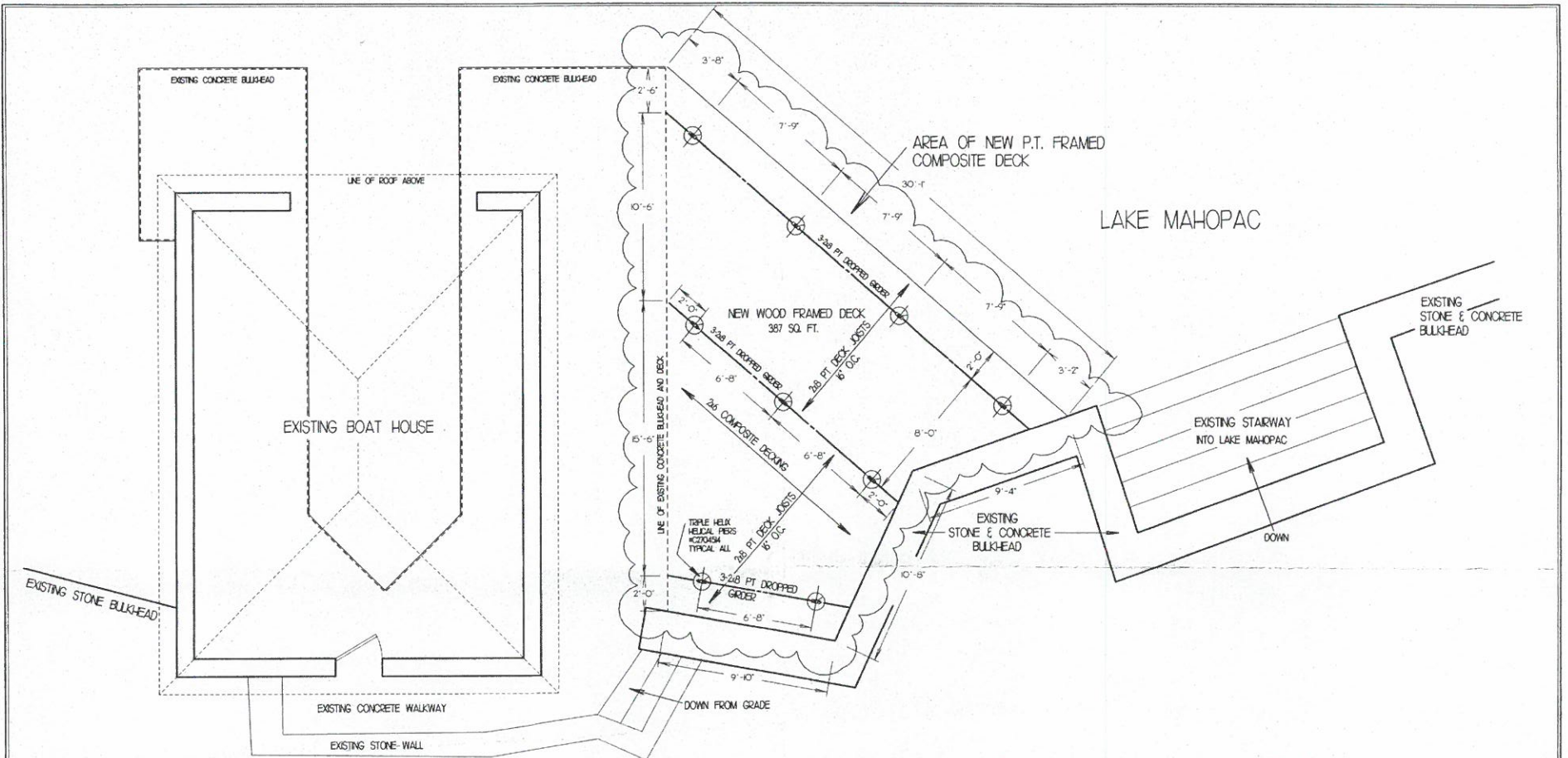
(signature and office of individual taking acknowledgment)

SECTION: 64.12
BLOCK: 2
LOT 47
COUNTY, TOWN OR CITY: Carmel

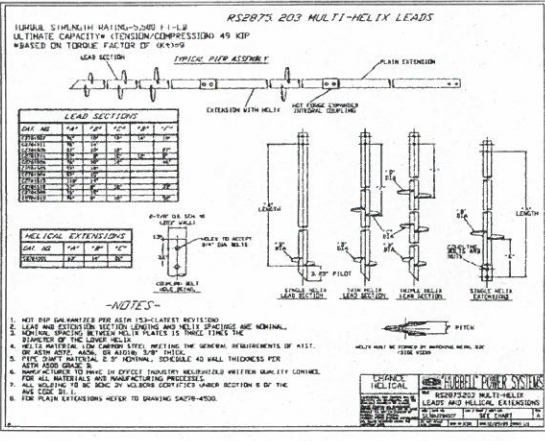
Address: 420 North Lake Blvd., Mahopac, NY 10541

RETURN BY MAIL TO:

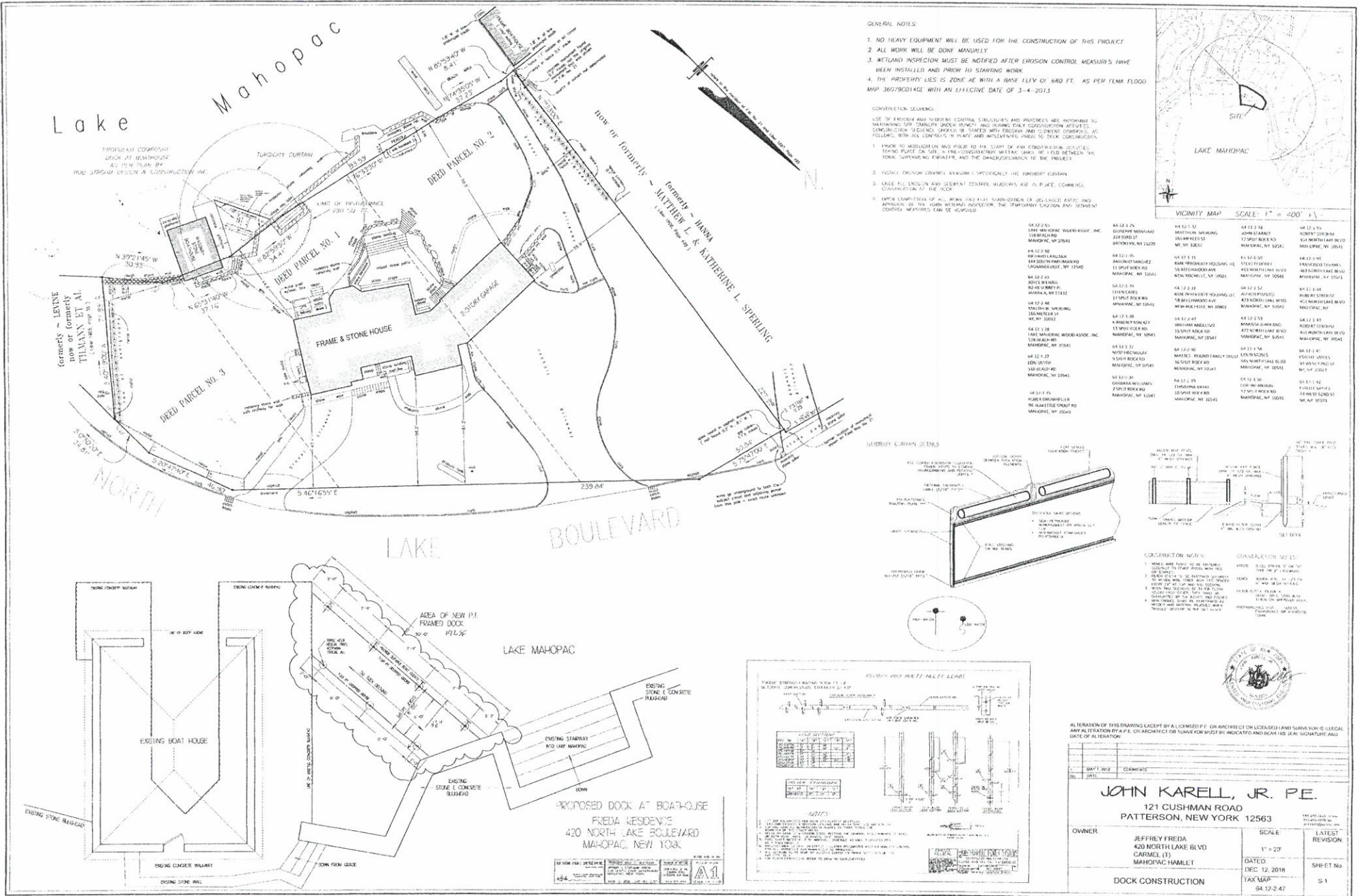
WILLIAM A. SHILLING, ESQ. Jeffrey Freda
122 Old Route 6 Stephanie Freda
Carmel, NY 10512 420 North Lake Blvd.
Mahopac, NY
10541



COMPOSITE DECK AT BOATHOUSE
 FREDA RESIDENCE
 420 NORTH LAKE BOULEVARD
 MAHOPAC, NEW YORK



BOB STROHM DESIGN & CONSTRUCTION, INC. 845-628-1425 NORTH LAKE BOULEVARD MAHOPAC, NEW YORK	COMPOSITE DECK AT BOATHOUSE JEFFERY & STEPHANIE FREDA 420 NORTH LAKE BOULEVARD MAHOPAC, NEW YORK MAR. 12, 2018 JOB NO. 2357	ENGINEER OF RECORD JOHN KAREL JR. P.E. CUSHMAN ROAD PATTERSON, NEW YORK (845) 878-7894	FLOOR PLAN A1 SCALE 1/4" = 1'-0"
--	---	--	---



GENERAL NOTES:

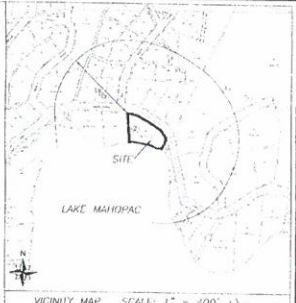
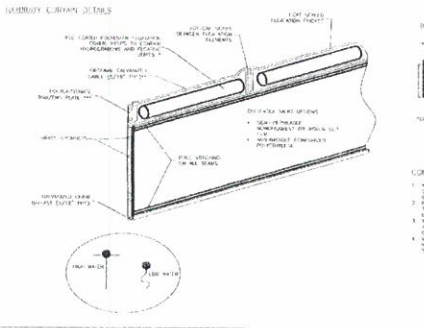
1. NO HEAVY EQUIPMENT WILL BE USED FOR THE CONSTRUCTION OF THIS PROJECT
2. ALL WORK WILL BE DONE MANUALLY
3. RETLAND INSPECTION MUST BE NOTIFIED AFTER EROSION CONTROL MEASURES HAVE BEEN INSTALLED AND PRIOR TO STARTING WORK
4. THE PROPERTY LIES IN ZONE AE WITH A BASE FLOOD OF 6RD FT. AS PER FEMA FLOOD MAP 360780042E WITH AN EFFECTIVE DATE OF 3-4-2013

CONSTRUCTION SEQUENCE:

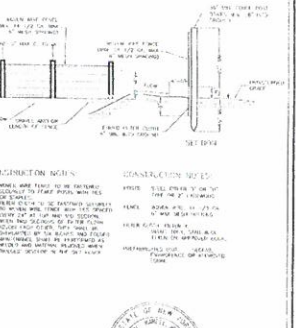
USE OF EROSION AND SEDIMENT CONTROL STRUCTURES AND PRACTICES ARE NECESSARY TO MAINTAINING SOIL QUALITY, CHECK EROSION, AND DURING EARLY CONSTRUCTION ACTIVITIES. CONSTRUCTION SEQUENCE SHOULD BE STARTED WITH EROSION AND SEDIMENT CONTROL S. AS FOLLOWS, WITH ALL CONSTRUCTION TO BE COMPLETED PRIOR TO THEIR CONSTRUCTION.

1. PRIOR TO INSTALLATION AND PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES, STAKE PLACEMENT FOR THE CONSTRUCTION MEASUREMENTS WILL BE FIELD BETWEEN THE EXISTING SURROUNDING EROSION AND THE CONSTRUCTION OF THE PROJECT.
2. INSTANT EROSION CONTROL MEASURES SPECIFICALLY THE EROSION CURTAIN.
3. LAKE PILE ENDING AND CURRENT EROSION MEASUREMENTS ARE IN PLACE. COMMENCE CONSTRUCTION OF THE DOCK.
4. UPON COMPLETION OF ALL WORK AND FINAL VERIFICATION OF COMPLETED PILE AND APPROVAL BY THE LOCAL RETLAND INSPECTOR, THE NECESSARY EROSION AND SEDIMENT CONTROL MEASURES CAN BE REMOVED.

64-12-10 1241 MAHOPAC WOODSIDE, INC 1241 MAHOPAC WOODSIDE, INC MAHOPAC, NY 12541	64-12-10 1241 MAHOPAC WOODSIDE, INC 1241 MAHOPAC WOODSIDE, INC MAHOPAC, NY 12541	64-12-10 1241 MAHOPAC WOODSIDE, INC 1241 MAHOPAC WOODSIDE, INC MAHOPAC, NY 12541	64-12-10 1241 MAHOPAC WOODSIDE, INC 1241 MAHOPAC WOODSIDE, INC MAHOPAC, NY 12541	64-12-10 1241 MAHOPAC WOODSIDE, INC 1241 MAHOPAC WOODSIDE, INC MAHOPAC, NY 12541	64-12-10 1241 MAHOPAC WOODSIDE, INC 1241 MAHOPAC WOODSIDE, INC MAHOPAC, NY 12541
---	---	---	---	---	---



64-12-10 1241 MAHOPAC WOODSIDE, INC 1241 MAHOPAC WOODSIDE, INC MAHOPAC, NY 12541	64-12-10 1241 MAHOPAC WOODSIDE, INC 1241 MAHOPAC WOODSIDE, INC MAHOPAC, NY 12541	64-12-10 1241 MAHOPAC WOODSIDE, INC 1241 MAHOPAC WOODSIDE, INC MAHOPAC, NY 12541	64-12-10 1241 MAHOPAC WOODSIDE, INC 1241 MAHOPAC WOODSIDE, INC MAHOPAC, NY 12541	64-12-10 1241 MAHOPAC WOODSIDE, INC 1241 MAHOPAC WOODSIDE, INC MAHOPAC, NY 12541	64-12-10 1241 MAHOPAC WOODSIDE, INC 1241 MAHOPAC WOODSIDE, INC MAHOPAC, NY 12541
---	---	---	---	---	---



ALTERNATION OF THIS DRAWING EXCEPT BY A LICENSED P.E. OR ARCHITECT OR LICENSED LAND SURVEYOR IS ILLEGAL. ANY ALTERATION BY A P.E. OR ARCHITECT OR SURVEYOR MUST BE INDICATED AND BEAR HIS SEAL, SIGNATURE AND DATE OF ALTERATION.

DATE: 12/12/2013

SCALE: 1" = 20'

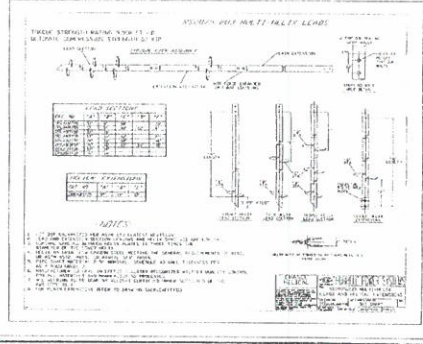
LATEST REVISION: S-1

OWNER: JEFFREY FREDIA, 420 NORTH LAKE BLVD, CARMEL (NY), MAHOPAC HAMLET

DATE: DEC 12, 2013

TAX MAP: DOCK CONSTRUCTION

YAX MAP: 64.12-2-47



PROPOSED DOCK AT BOAT-HOUSE
FREDA RESIDENCE
420 NORTH LAKE BOULEVARD
MAHOPAC, NEW YORK

NOTES:

1. THE DOCK SHALL BE CONSTRUCTED ON PILES...
2. THE DOCK SHALL BE CONSTRUCTED ON PILES...
3. THE DOCK SHALL BE CONSTRUCTED ON PILES...
4. THE DOCK SHALL BE CONSTRUCTED ON PILES...
5. THE DOCK SHALL BE CONSTRUCTED ON PILES...
6. THE DOCK SHALL BE CONSTRUCTED ON PILES...
7. THE DOCK SHALL BE CONSTRUCTED ON PILES...
8. THE DOCK SHALL BE CONSTRUCTED ON PILES...
9. THE DOCK SHALL BE CONSTRUCTED ON PILES...
10. THE DOCK SHALL BE CONSTRUCTED ON PILES...

ROBERT LAGA
Chairman

Nicholas FANNIN
Vice Chair

ROSE TROMBETTA
Secretary

TOWN OF CARMEL
ENVIRONMENTAL CONSERVATION BOARD



60 McAlpin Avenue
Mahopac, New York 10541
Tel. (845) 628-1500 - Ext. 190
www.ci.carmel.ny.us

BOARD MEMBERS

Edward Barnett

Vincent Turano

Julie McKeon

APPLICATION FOR WETLAND PERMIT OR LETTER OF PERMISSION

Name of Applicant: DANIEL W. HONOVICH

Address of Applicant: 18 Interlochen Rd Email: Sales@danhonovich.com

Telephone# 914447 2600/0 Name and Address of Owner if different from Applicant:
N/A

Property Address: 18 Interlochen Rd Tax Map # 55.19-1-15

Agency Submitting Application if Applicable: N/A

Location of Wetland: EAST SIDE OF PROPERTY

Size of Work Section & Specific Location: 16,000 SQUARE FEET

Will Project Utilize State Owned Lands? If Yes, Specify: NO

Type and extent of work (feet of new channel, yards of material to be removed, draining, dredging, filling, etc). A brief description of the regulated activity (attach supporting details).

Rear and side yard filled with approx 500cys
PLACED WITH WOOD CHIPS ON TOP FOR STABILIZATION

Proposed Start Date: 6/1/19 Anticipated Completion Date: 6/30/19 Fee Paid \$ 1,000.00

CERTIFICATION

I hereby affirm under penalty of perjury that information provided on this form is true to the best of my knowledge and belief, false statements made herein are punishable as a Class A misdemeanor pursuant to Section 210.45 of the Penal Law. As a condition to the issuance of a permit, the applicant accepts full legal responsibility for all damage, direct or indirect, or whatever nature, and by whomever suffered, arising out of the project described here-in and agrees to indemnify and save harmless the Town of Carmel from suits, actions, damages and costs of every name and description resulting from the said project.

[Signature]
SIGNATURE

02/28/19
DATE

Short Environmental Assessment Form

Part 1 - Project Information

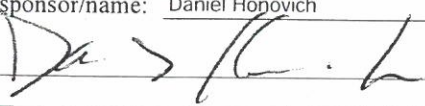
Instructions for Completing

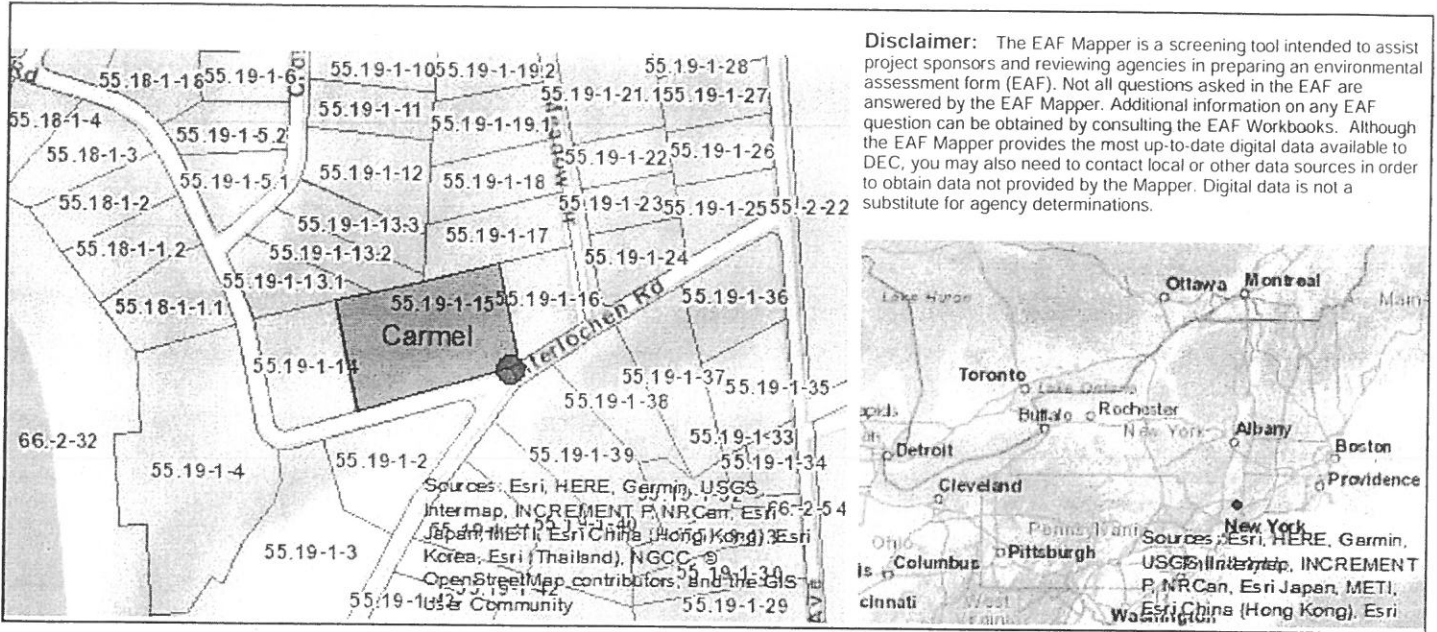
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Honovich Regrading Plan			
Project Location (describe, and attach a location map): 18 Interlochen Road, Carmel NY			
Brief Description of Proposed Action: Filling a low and sloped area to the east of the existing house in the 100 foot setback from a stream.			
Name of Applicant or Sponsor: Daniel Honovich		Telephone: 914 447 2600	
		E-Mail: sales@danhonovich.com	
Address: 18 Interlochen Road			
City/PO: Carmel		State: NY	Zip Code: 10512
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ 3.2 acres			
b. Total acreage to be physically disturbed? _____ 0.37 acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 3.2 acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

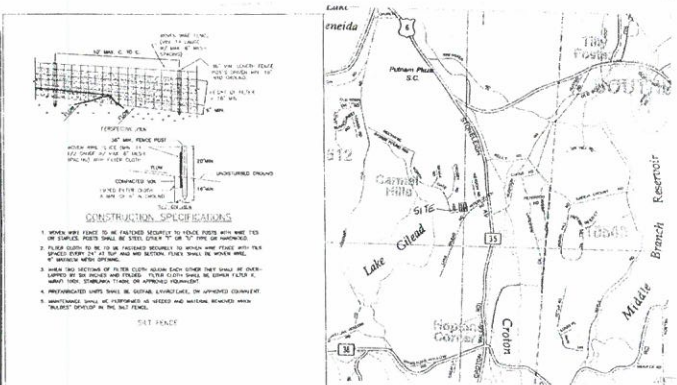
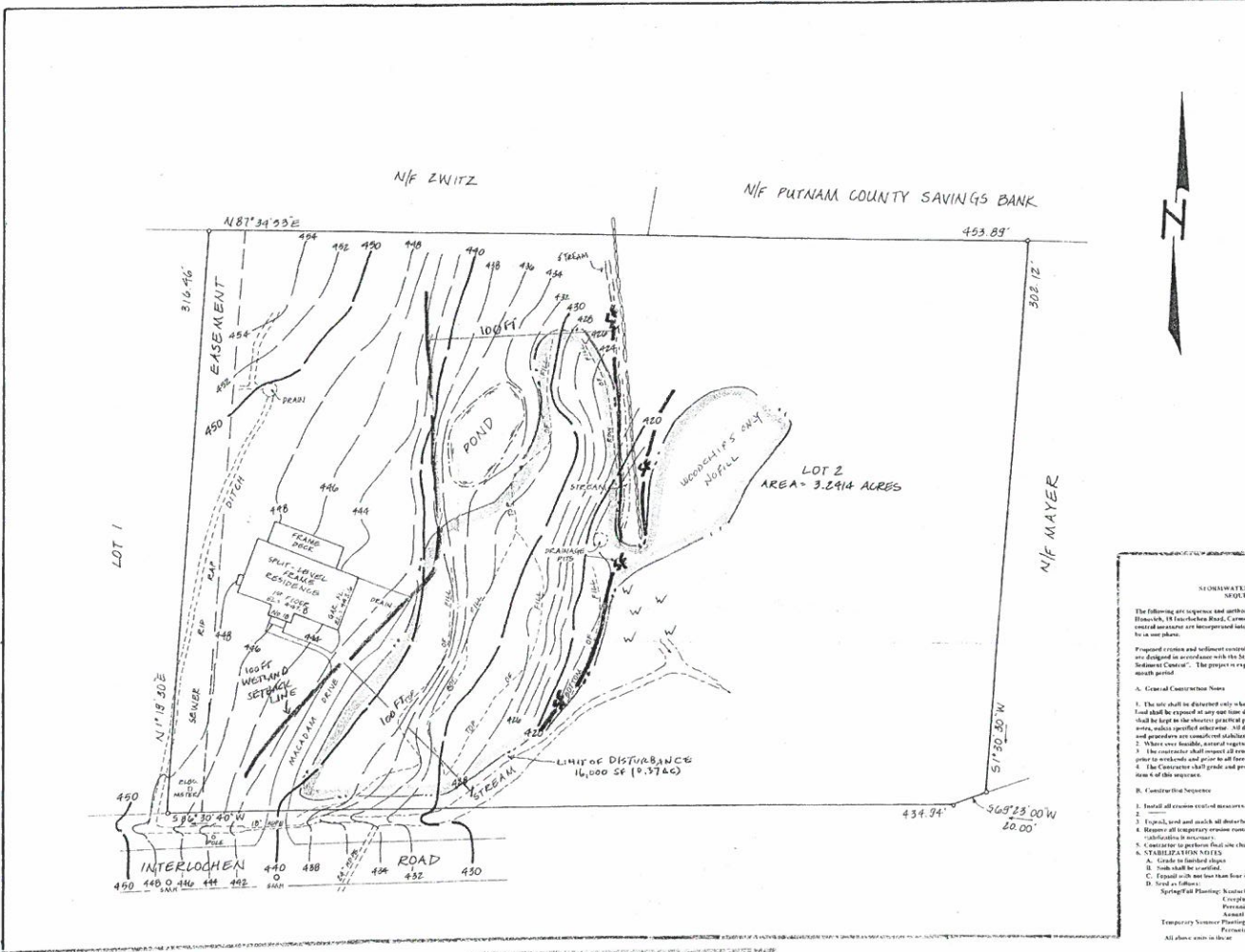
5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Consistent with the adopted comprehensive plan?	NO	YES	N/A	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES		
	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES		
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES		
	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
	b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES		
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
10. Will the proposed action connect to an existing public/private water supply?	NO	YES		
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
11. Will the proposed action connect to existing wastewater utilities?	NO	YES		
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES		
	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES		
	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____				

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
Northern Long-eared Bat	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe: _____ _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment: _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe: _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe: _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>Daniel Honovich</u> Date: <u>January 10, 2019</u>		
Signature:  Title: _____		



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National Register of Historic Places]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Northern Long-eared Bat
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No



David Honovich
 18 Interlochen Road
 Carmel, Putnam County, New York

**SEWERAGE POLLUTION PREVENTION PLAN
 SOURCE OF CONSTRUCTION**

The following are sequence and methods of grading and filling on property owned by David Honovich, 18 Interlochen Road, Carmel, Putnam County, New York. Erosion and sediment control measures are incorporated into the construction program. Construction of this project will be as follows:

Proposed erosion and sediment control methods are based on the Site Plan. The erosion control measures are designed in accordance with the State of New York, "Guidelines for Erosion Control and Sediment Control". The project is expected to be completed in the Spring of 2018 and continue over a 1 month period.

A. General Construction Notes

- The site shall be disturbed only when and where necessary. Only the smallest practical area of land shall be exposed at any one time during development. Where land is exposed, the contractor shall be kept to the shortest practical period of time by immediate stabilization per the stabilization notes, unless specified otherwise. All disturbed areas that are erodible shall be vegetated and measures are completed stabilized when 90% of the vegetation is achieved.
- When ever feasible, areas of vegetation shall be retained and protected.
- The contractor shall inspect all erosion and sediment control devices during all access events, prior to installation and prior to all forecasted rain events.
- The Contractor shall grade and provide stabilization of any graded and disturbed areas per each of the sections.

B. Constructing Erosion

- Install all erosion control measures.
- Erosion control and catch all disturbed areas in accordance with the stabilization notes.
- Remove all temporary erosion control measures. Reconstruct to final grade and provide stabilization as required.
- Contractor to perform final site clean up and dispose of all debris properly.

C. STABILIZATION METHODS

- Loose to finished shape
- Loose to be finished
- Final soil surface must bear surface of suitable topsoil material
- Final to be finished

**D. Final Planting: Nurseries by Margonia 5
 Crystal Hill Nursery 14
 Putnam Nursery 5
 Annual Nurseries 5
 Temporary Summer Planting
 Permanent Nurseries 30**

All Above units in the final plan

SOIL EROSION AND SEDIMENT CONTROL NOTES

1. ALL SOIL EXPOSURE AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE NEW YORK REGULATIONS FOR EROSION AND SEDIMENT CONTROL OF PROJECTS OF THE NEW YORK STATE AND INDUSTRY CONTROLS ACT AND ACCORDANCE WITH THE U.S. DEPARTMENT OF AGRICULTURE - SOIL CONSERVATION SERVICE, REFERENCED TO IN PARAGRAPH 1.11 OF THE NEW YORK REGULATIONS.

2. ANY DISTURBED AREA THAT WILL BE LEFT UNDISTURBED FOR MORE THAN 21 DAYS AND NOT SUBJECT TO CONSTRUCTION PROTECTIVE MEASURES SHALL BE USED FOR MAINTENANCE AND REPAIRS OF EXISTING UTILITIES. IF THE SEASON PREVENTS THE ESTABLISHMENT OF STABILIZATION COVER, THE DISTURBED AREA SHALL BE COVERED WITH EROSION AND SEDIMENT CONTROL MATS. THE MATS SHALL BE INSTALLED IN ACCORDANCE WITH THE NEW YORK REGULATIONS.

3. A) SEED: SEEDS, SEE GRASS SEEDS AT A RATE OF 30 POUNDS PER ACRE. OTHER SEEDS AS DESCRIBED IN THE NEW YORK REGULATIONS.
 B) SOIL FILL OR EARLY MATING SEED WITH CERTIFIED "MIDWEST" MONITOR RATE, AT 100 LBS (GENERAL) PER ACRE.
 C) SOIL FILL OR EARLY MATING SEED WITH CERTIFIED "MIDWEST" MONITOR RATE, AT 100 LBS (GENERAL) PER ACRE.
 D) SOIL FILL OR EARLY MATING SEED WITH CERTIFIED "MIDWEST" MONITOR RATE, AT 100 LBS (GENERAL) PER ACRE.
 E) SOIL FILL OR EARLY MATING SEED WITH CERTIFIED "MIDWEST" MONITOR RATE, AT 100 LBS (GENERAL) PER ACRE.
 F) SOIL FILL OR EARLY MATING SEED WITH CERTIFIED "MIDWEST" MONITOR RATE, AT 100 LBS (GENERAL) PER ACRE.
 G) SOIL FILL OR EARLY MATING SEED WITH CERTIFIED "MIDWEST" MONITOR RATE, AT 100 LBS (GENERAL) PER ACRE.
 H) SOIL FILL OR EARLY MATING SEED WITH CERTIFIED "MIDWEST" MONITOR RATE, AT 100 LBS (GENERAL) PER ACRE.
 I) SOIL FILL OR EARLY MATING SEED WITH CERTIFIED "MIDWEST" MONITOR RATE, AT 100 LBS (GENERAL) PER ACRE.
 J) SOIL FILL OR EARLY MATING SEED WITH CERTIFIED "MIDWEST" MONITOR RATE, AT 100 LBS (GENERAL) PER ACRE.
 K) SOIL FILL OR EARLY MATING SEED WITH CERTIFIED "MIDWEST" MONITOR RATE, AT 100 LBS (GENERAL) PER ACRE.
 L) SOIL FILL OR EARLY MATING SEED WITH CERTIFIED "MIDWEST" MONITOR RATE, AT 100 LBS (GENERAL) PER ACRE.
 M) SOIL FILL OR EARLY MATING SEED WITH CERTIFIED "MIDWEST" MONITOR RATE, AT 100 LBS (GENERAL) PER ACRE.
 N) SOIL FILL OR EARLY MATING SEED WITH CERTIFIED "MIDWEST" MONITOR RATE, AT 100 LBS (GENERAL) PER ACRE.
 O) SOIL FILL OR EARLY MATING SEED WITH CERTIFIED "MIDWEST" MONITOR RATE, AT 100 LBS (GENERAL) PER ACRE.
 P) SOIL FILL OR EARLY MATING SEED WITH CERTIFIED "MIDWEST" MONITOR RATE, AT 100 LBS (GENERAL) PER ACRE.
 Q) SOIL FILL OR EARLY MATING SEED WITH CERTIFIED "MIDWEST" MONITOR RATE, AT 100 LBS (GENERAL) PER ACRE.
 R) SOIL FILL OR EARLY MATING SEED WITH CERTIFIED "MIDWEST" MONITOR RATE, AT 100 LBS (GENERAL) PER ACRE.
 S) SOIL FILL OR EARLY MATING SEED WITH CERTIFIED "MIDWEST" MONITOR RATE, AT 100 LBS (GENERAL) PER ACRE.
 T) SOIL FILL OR EARLY MATING SEED WITH CERTIFIED "MIDWEST" MONITOR RATE, AT 100 LBS (GENERAL) PER ACRE.
 U) SOIL FILL OR EARLY MATING SEED WITH CERTIFIED "MIDWEST" MONITOR RATE, AT 100 LBS (GENERAL) PER ACRE.
 V) SOIL FILL OR EARLY MATING SEED WITH CERTIFIED "MIDWEST" MONITOR RATE, AT 100 LBS (GENERAL) PER ACRE.
 W) SOIL FILL OR EARLY MATING SEED WITH CERTIFIED "MIDWEST" MONITOR RATE, AT 100 LBS (GENERAL) PER ACRE.
 X) SOIL FILL OR EARLY MATING SEED WITH CERTIFIED "MIDWEST" MONITOR RATE, AT 100 LBS (GENERAL) PER ACRE.
 Y) SOIL FILL OR EARLY MATING SEED WITH CERTIFIED "MIDWEST" MONITOR RATE, AT 100 LBS (GENERAL) PER ACRE.
 Z) SOIL FILL OR EARLY MATING SEED WITH CERTIFIED "MIDWEST" MONITOR RATE, AT 100 LBS (GENERAL) PER ACRE.

**PLAN
 SCALE
 1" = 30 FT**



**ADJACENT PROPERTIES WITHIN 300 FEET
 OF DISTURBED AREA
 SCALE
 1" = 200 FEET**

NOTES:

- Reference is made to the erosion control notes on this page.
- All disturbed areas outside of the wood chip mulch paths on the site shall be seeded and mulched in accordance with the erosion control notes. The wood chip paths shall be treated with a minimum of 4 inches of mulch compacted to maintain the paths in place and not be subject to erosion and transport of sediment.
- Soils on the site consist of Ridgebury Complex (R8) and Woodbridge Loam (W8) both Hydric Soil Group C.

SURVEY BY DAVID IDELL, L.S., 12/27/18, MAP PREPARED 02/07/2019

**BEING LOT 2 AS SHOWN ON A CERTAIN MAP ENTITLED FINAL SUBDIVISION
 PLAN PREPARED FOR DAVID F. IDELL, L.S., SAID MAP FILED IN THE PUTNAM
 COUNTY CLERK'S OFFICE SEPTEMBER 21, 1935 AS MAP NUMBER 2193.**

**AUTORIZATION OF THIS DRAWING EXCEPT BY A LICENSED P.E. OR ARCHITECT OR LICENSED LAND SURVEYOR IS ILLEGAL.
 ANY ALTERATION BY A P.E. OR ARCHITECT OR SURVEYOR MUST BE INDICATED AND BEAR HIS SEAL SIGNATURE AND
 DATE OF ALTERATION.**

DATE	NO.	BY
02/07/2019	1	JOHN

JOHN KARELL, JR. P.E.
 121 CUSHMAN ROAD
 PATTERSON, NEW YORK 12563

OWNER:	SCALE:	LATEST REVISION:
DANIEL HONOVICH, OWNER	1"=30 FT	
CARMELO (T)		
REGRADING PLAN		

DATE: 02/10/2019 SHEET No: S-1
 TAX MAP: 55.19-1-15



JOHN KARELL, JR., P.E.
121 CUSHMAN ROAD
PATTERSON, NEW YORK, 12563
845-878-7894 FAX 845 878 4939
jack4911@yahoo.com

STORMWATER POLLUTION PREVENTION PLAN
EROSION AND SEDIMENT CONTROL

DANIEL HONOVICH
18 INTERLOCHEN ROAD
CARMEL (T)



January 16, 2018

I. INTRODUCTION

1.1 Project background

The project site is property located at 18 Interlochen Road in the Town of Carmel, Putnam County, New York. The property is identified as tax map # 55.19-1-15. The property presently contains a single family house with a backyard that has been filled and regraded, served by a connection to the public water and public sewer infrastructure of the Town of Carmel..

Site Description

The site is 1.42 acres in size. This will result in 0.37 acres of total disturbance and no new impervious surfaces.

1.2 SWPPP Overview

The purpose of this report is to address Storm Water Pollution Prevention and Management for the proposed grading and topsoiling.

In accordance with Chapter 103 of the Code of the Town of Carmel entitled Stormwater Management and NYSDEC SPDES General Permit for Storm water Discharges from Construction Activities, General Permit GP-0-1 5-002 ,because the proposed disturbance for the project exceeds 5,000 square feet, coverage under the General Permit is required, a Notice of Intent (NOI) must be filed and a stormwater pollution prevention plan is required for this project. No SWPPP approval is required by the NYCDEP as the proposed project does not exceed the thresholds for requiring preparation of a SWPPP, nor proposes a regulated impervious surface within the limiting distance of a NYCDEP regulated watercourse or wetland.

Construction will begin immediately after receiving approval from the Town of Carmel Building Department of a SWPPP in accordance with the provisions of the Town Code.

II. EXISTING SITE CONDITIONS

2.0 General

The existing property contains an existing single family house and driveway with a rear and side yard that has been filled and regraded. The property is located on the east side of north side of Interlochen Road in the vicinity of the intersection with Lake Gilead Road.

The topography on the site drains from west to east to a stream feeding Croton Falls Reservoir in the New York City Watershed.

2.1 Surface Water

A stream, pond and small wetland exists on this property.

2.2 Soils

2.1.1 Hydrologic Soils/NRCS Web Soils Survey

Soils in the area of disturbance on the property are classified by the United States Department of Agriculture Soil Conservation Service as Woodbridge Loam (WdB) and Ridgebury Complex (RgB), both hydrologic soil group C from the Web Soil Survey.

The pre developed site consists of a single family house and driveway with lawn a brushland to the rear and side in the area of the fill.

2.1.2 Site Geotechnical Evaluation

The web soil survey indicates a rock and groundwater at depths greater than 8 feet.

2.3 Groundwater

Groundwater is expected to be encountered below a depth of 8 feet.

2.4 Natural Resources

No natural resources are contained on the site.

2.5 New York State Register of Historic Places Assessment

There are no Historic places on this property.

2.6 Critical Habitat

There are no critical habitats on this property.

2.7 Offsite Drainage

No changes in drainage patterns are proposed.

2.8 Pre-construction Drainage Areas

No changes to pre construction runoff patterns will result from the construction of this project.

2.9 Potential sources of pollution

Potential sources of pollution which may be reasonably expected to affect the quality of stormwater discharges.

- Sediment – all disturbed areas will be stabilized by seeding and mulching of all disturbed areas.

III. Stormwater Management, Treatment and Conveyance

- A. Storm water treatment is not required.
- B. Stormwater conveyance for this project consists of sheet flow onto adjacent lawn areas.

IV. Stormwater Management

Treatment of stormwater is not required however to control and minimize runoff onto adjacent properties to the east infiltration practices will be installed to reduce runoff to the extent possible and below existing runoff conditions.

V. Erosion and Sediment Control

A. Temporary Erosion and Sediment Control Measures

1. Temporary erosion and sediment control measures in the design of this project are silt fence. The driveway will be provided with a stabilized construction entrance. The contractor will be responsible for daily sediment cleanup on the driveway, if any. Silt fence are proposed to be installed along the downslope of all areas of disturbance as shown on the site plan, or as determined to be necessary during construction.
2. Runoff will be controlled within the project area. Bare soil areas, disturbed areas, will be seeded and mulched to control possible erosion and slow the velocity of runoff. Such activities shall be initiated by the end of the next business day and completed within 7 days from the date the current soil disturbance activity ceased.
3. Initial grading shall take place to install the sediment control measures. Soil stockpiles shall be stabilized away from any drainage structures or natural drainage paths. Once final grading has been achieved in any area that area shall be seeded and mulched and not redisturbed again.
4. Soil stockpiles must be protected with seeding and/or mulching as soon as possible but no longer than 7 days after ceasing activity. (see item # 2 above)
5. Measures must be in place prior to disturbance of a particular area in order to prevent sediment from traveling off site. This is accomplished on this site by the proper installation of silt fence.
6. Dust shall be controlled to keep the amount of particles/sediment generation by construction activity to a minimum. This will be accomplished by seeding and mulching of disturbed areas and wetting areas prone to airborne dust.
7. All temporary and permanent sediment and erosion control measures must be checked on a weekly basis for functionality and stability. This includes the silt fencing and the stabilized construction entrance. Any bare spots in areas previously seeded will be reseeded and remulched as soon as necessary. In areas where soil erosion and sedimentation is found to be a

problem and measures are not in place, appropriate measures must be installed as required by the supervising engineer.

8. Final grading shall match approximately the cut and fill lines as shown on the plans. This must be accomplished within 7 days of the end of the construction activity unless otherwise specified under the Town or DEC permits. (see item # 2 above)

9. Temporary measures shall not be removed until all disturbed areas protected by such measures are fully and properly stabilized.

10. Permanent non structural measures to remain in place are re-established areas of grass and landscaping within the non impervious areas.

11. Pollution prevention measures that will be utilized to prevent construction debris from becoming a pollutant source include:

...Litter control – refuse containers will be provided on the site for the deposition of any debris. The contractor shall police the site at the end of each day, collect litter and deposit litter in the refuse containers.

...Construction chemicals – all construction chemicals including but not limited to equipment fuels and oils and cleaning solvents shall be stored in appropriate containers and within a locked facility overnight.

Any spills of construction chemicals will be immediately cleaned up in accordance with appropriate procedures.

Any significant spill will be immediately reported to the NYSDEC pursuant to State Regulations, procedures and requirements.

...Construction debris will be collected and placed in roll off containers and disposed off site in at an appropriate disposal facility. (Part III.B.1.j)

B. Permanent Erosion Control Measures

1. Permanent erosion control measures employed in the design of the project include stabilization of all disturbed areas with grass.

VI. Inspection & Maintenance of Stormwater and Erosion Control Measures

A. Inspection and Reporting Requirements

All erosion control measures are to be inspected weekly. In the case of a rain event, measures must be checked immediately after. Inspections shall be made by a qualified professional and reports will be kept on site in a dedicated mailbox labeled, “Stormwater Documents”.

B. Responsibilities

The project contractor and/or subcontractors shall be responsible to install, construct, repair, replace, inspect and maintain the temporary erosion and sediment control practices included in the SWPPP. The project contractor/subcontractor shall be responsible for constructing the post construction storm water management practices included in the SWPPP. Such measures will be maintained by the project contractor/subcontractor during the entire construction period.

Permanent measures will be maintained by the owner of the property.
(Part III.A.6) (Part IV)

Developer:

Daniel Honovich
18 Interlochen Road
Carmel, NY, 10512

Owner/ Applicant
Same as developer

The *owner or operator* shall have each of the contractors and subcontractors identify at least one person from their company that will be responsible for implementation of the SWPPP. This person shall be known as the *trained contractor*. The *owner or operator* shall ensure that at least one *trained contractor* is on site on a daily basis when soil disturbance activities are being performed.

The *owner or operator* shall have each of the contractors and subcontractors identified above sign a copy of the following certification statement below before they commence any *construction activity*:

"I hereby certify that I understand and agree to comply with the terms and conditions of the SWPPP and agree to implement any corrective actions identified by the *qualified inspector* during a site inspection. I also understand that the *owner or operator* must comply with the terms and conditions of the most current version of the New York State Pollutant Discharge Elimination System ("SPDES") general permit for storm water discharges from construction activities and that it is unlawful for any person to cause or contribute to a violation of water quality standards. Furthermore, I understand that certifying false, incorrect or inaccurate information is a

violation of the referenced permit and the laws of the State of New York and could subject me to criminal, civil and/or administrative proceedings. "

In addition to providing the certification statement above, the certification page must also identify the specific elements of the SWPPP that each contractor and subcontractor will be responsible for and include the name and title of the person providing the signature; the name and title of the *trained contractor* responsible for SWPPP implementation; the name, address and telephone number of the contracting firm; the address (or other identifying description) of the site; and the date the certification statement is signed.

The *owner or operator* shall attach the certification statement(s) to the copy of the SWPPP that is maintained at the construction site. If new or additional contractors are hired to implement measures identified in the SWPPP after construction has commenced, they must also sign the certification statement and provide the information listed above.

C. Temporary Measures

1. Silt Fence

Silt fence is proposed down gradient from all disturbed areas proposed on the site. Silt fence is used to collect the transported sediment load due to runoff and to slow said runoff, in an effort to prevent erosion. The silt fence is a temporary barrier of geotextile fabric supported by fence posts at a 10 foot maximum interval.

Sediments shall be removed from behind the fence when it becomes 0.5 feet deep at the fence. It should also be inspected regularly, at least once a week and repaired as needed to maintain a barrier.

D. Permanent Measures

1. Permanent vegetation

All grassed areas shall be maintained to provide a vegetative cover to hold soils in place.

VII. General Requirements for Owners or Operators with Permit Coverage

A. The *owner or operator* shall maintain a copy of the General Permit (GP-0-15-002), NOI, *NOI Acknowledgment Letter*, SWPPP, MS4 SWPPP Acceptance form and inspection reports at the construction site until all disturbed areas have achieved *final stabilization* and the NOT has been submitted to the Department.

The documents must be maintained in a secure location, such as a job trailer, on-site construction office, or mailbox with lock. The secure location must be accessible during normal business hours to an individual performing a compliance inspection. (Part II.B.C.2)

B. For *construction activities* that are subject to the requirements of a *regulated, traditional land use control MS4*, the *owner or operator* shall notify the *MS4* in writing of any planned amendments or modifications to the post-construction stormwater management practice component of the SWPPP required by Part III.A. 4. and 5. of this permit. Unless otherwise notified by the *MS4*, the *owner or operator* shall have the SWPPP amendments or modifications reviewed and accepted by the *MS4* prior to commencing construction of the post-construction stormwater management practice. (Part II.C.5)

C. For *construction activities* that are subject to the requirements of a *regulated, traditional land use control MS4* and meet subdivision 2a. or 2b. of this Part, the *owner or operator* shall also have the *MS4* sign the "MS4 Acceptance" statement on the NOT. The *owner or operator* shall have the principal executive officer, ranking elected official, or duly authorized representative from the *regulated, traditional land use control MS4*, sign the "MS4 Acceptance" statement. The *MS4* official, by signing this statement, has determined that it is acceptable for the *owner or operator* to submit the NOT in accordance with the requirements of this Part. The *MS4* can make this determination by performing a final site inspection themselves or by accepting the *qualified inspector's* final site inspection certification(s) required in Part V.3. (Part V.A.4)

D. In accordance with the requirements of the Town of Carmel Town Code, within 10 days after the installation of all erosion control plan measures, the applicant shall submit to the Building Inspector a letter from the qualified professional who designed the plan stating that all erosion control measures have been constructed and installed in compliance with the approved plans.

E. Various certifications are required to be completed as follows:

1. SWPPP Modification Summary Sheet
2. SWPPP Preparer Certification
3. Contractor and Sub-contractor Certification

These documents are appended to this SWPPP.

VIII. Conclusions

In conclusion, the proposed project shall not result in any negative impact to existing hydrologic condition at the vicinity of the property and proposed storm water management practices conforms to NYSDEC Storm water Management Design Manual and GP-0-15-002. In addition, the design of all storm water management practices meets the requirements of the Town of Carmel.

Daniel Honovich
18 Interlochen Road
STORMWATER POLLUTION PREVENTION PLAN
SEQUENCE OF CONSTRUCTION

The following are sequence and methods of grading and filling on property owned by Daniel Honovich, 18 Interlochen Road, Carmel (T), Putnam County, New York. Erosion and sediment control measures are incorporated into the construction program. Construction of this project will be in one phase.

Proposed erosion and sediment control methods are found on the Site Plan. The erosion controls are designed in accordance with the State of New York, "Guidelines for Urban Erosion and Sediment Control". The project is expected to start in the Spring of 2019 and continue over a 1 month period.

A. General Construction Notes

1. The site shall be disturbed only when and where necessary. Only the smallest practical area of land shall be exposed at any one time during development. When land is exposed, the exposure shall be kept to the shortest practical period of time by immediate stabilization per the stabilization notes, unless specified otherwise. All disturbed areas that are seeded with appropriate seed mixture and procedure are considered stabilized when 80% of the vegetation is achieved.
2. Where ever feasible, natural vegetation shall be retained and protected.
3. The contractor shall inspect all erosion and sediment control devices during all storm events, prior to weekends and prior to all forecasted storm events.
4. The Contractor shall grade and provide stabilization of newly graded and disturbed areas per item 6 of this sequence.

B. Construction Sequence

1. Install all erosion control measures.
2. _____
3. Topsoil, seed and mulch all disturbed areas in accordance with the stabilization notes.
4. Remove all temporary erosion control measures. Restore/backfill to final grade and provide stabilization is necessary.
5. Contractor to perform final site clean up and dispose of all debris properly.

6. STABILIZATION NOTES

- A. Grade to finished slopes
- B. Soils shall be scarified.
- C. Topsoil with not less than four inches of suitable topsoil material
- D. Seed as follows:

Spring/Fall Planting: Kentucky bluegrass	5
Creeping Red Fescue	15
Perennial Ryegrass	5
Annual Ryegrass	5

Temporary Summer Planting
Perennial Rye 30

All above units in lbs/ac