

CRAIG PAEPRER
Chairman

ANTHONY GIANNICO
Vice Chairman

BOARD MEMBERS
KIM KUGLER
RAYMOND COTE
ROBERT FRENKEL
VICTORIA CAUSA
JOHN NUCULOVIC

TOWN OF CARMEL
PLANNING BOARD



60 McAlpin Avenue
Mahopac, New York 10541
Tel. (845) 628-1500 – Ext.190
www.ci.carmel.ny.us

MICHAEL CARNAZZA
*Director of Code
Enforcement*

RICHARD FRANZETTI, P.E.
Town Engineer

PATRICK CLEARY,
AICP, CEP, PP, LEED AP
Town Planner

PLANNING BOARD AGENDA
JULY 14, 2022 – 7:00 P.M.

TAX MAP # PUB. HEARING MAP DATE COMMENTS

PUBLIC HEARING

- | | | | | |
|--|------------|---------|---------|-----------------------------|
| 1. Random Ridge Subdivision – Kennicut Hill Road | 76.10-1-23 | 7/14/22 | | Bond Reduction |
| 2. Regan, John – 1751 Route 6, Carmel | 55.6-1-24 | 7/14/22 | 5/27/22 | Public Hearing & Resolution |

SITE PLAN

- | | | | | |
|---|------------|--|---------|-----------------------|
| 3. PGI, LLC Endoscopy Center – 667 Stoneleigh Ave | 66.15-1-3 | | 6/15/22 | Amended Site Plan |
| 4. Dynamite Properties Corp – 70 Gleneida Ave | 44.14-1-39 | | 5/31/22 | Residential Site Plan |
| 5. Liberty New York Water – 23 MacArthur Drive | 54.20-1-42 | | 5/2022 | Site Plan |

SUBDIVISION

- | | | | | |
|---|------------|--|---------|-------------|
| 6. Yankee Land Development Subdivision –
Bayberry Hill Road & Owen Drive | 76.15-1-12 | | 5/11/22 | Sketch Plan |
|---|------------|--|---------|-------------|

MISCELLANEOUS

7. Minutes – 05/25/22, 06/09/22 & 06/22/22



June 28, 2022

Craig Paeprer, Chairman and Members of the Carmel Planning Board
60 McAlpin Ave
Mahopac, NY 10541

RE: Amended Site Plan
PGI, LLC Endoscopy Center
667 Stoneleigh Avenue
TM#: 66.15-1-3

Dear Mr. Paeprer and the Members of the Carmel Planning Board,

First I would like to clarify the purpose of this project. The medical association that controls this practice has informed my client that they now require a second means of egress from their offices. This proposed second means of egress is for emergency exiting only. There will be no entry access from this emergency exit.

The following is my response to Mike Carnazza's memo dated 6/21/2022:

1. The traffic pattern will remain the same as it is now.
2. There are no other suites that will require a second means of egress.
3. The oval shape has been placed on the drawings at a larger scale.
4. The path of egress has been added to the drawings.
5. The path to the building from the accessible parking spaces has not changed.
6. The detail of the stair and the landing have been added to the drawings.
7. The exterior elevations is on the drawings.
8. The pharmacy space has been vacant for several years. However, the parking calculations have been revised to reflect this space for future retail use.
9. The means of egress for the existing space has been added to the drawings.

The following is my response to Richard Franzetti's memo dated 6/17/2022:

1. The Site Plan has been sent to the Carmel Fire Department.
2. Additional details have been provided regarding the parking spaces in the vicinity of the new means of egress. (See attached Site Plan)
3. All plantings will be verified by the Wetlands Inspector and will be installed as per section 142 of the Carmel Code. Notes have been added to the drawings.



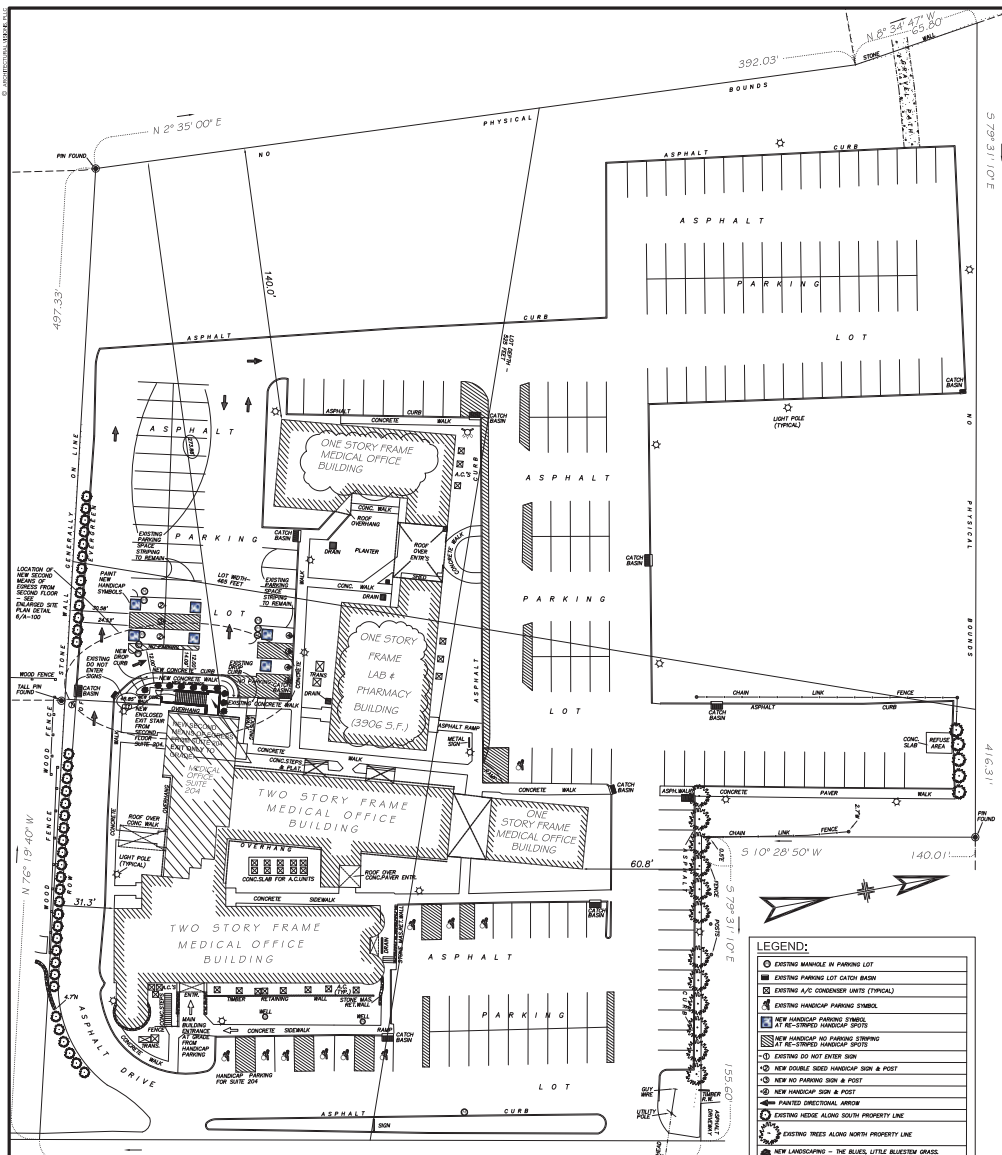
The following is my response to Pat Cleary's memo dated 6/27/2022:

1. The total number of parking spaces will remain at 194.
2. A planting schedule has been added to the Site Plan.
3. The existing exterior lighting will be relocated as shown on the Site Plan.

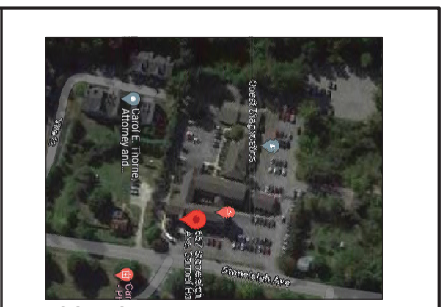
Very truly yours,

A handwritten signature in black ink that reads "Joel Greenberg". The signature is written in a cursive, flowing style with a large initial "J" and a long, sweeping underline.

Joel Greenberg, AIA, NACRB



66-15-1-100 John Doe 100 Main St Carmel, NY 10512	66-15-1-101 Jane Smith 200 Main St Carmel, NY 10512	66-15-1-102 Bob Brown 300 Main St Carmel, NY 10512	66-15-1-103 Alice Green 400 Main St Carmel, NY 10512	66-15-1-104 Charlie Black 500 Main St Carmel, NY 10512	66-15-1-105 Diana White 600 Main St Carmel, NY 10512	66-15-1-106 Frank Blue 700 Main St Carmel, NY 10512	66-15-1-107 Grace Red 800 Main St Carmel, NY 10512	66-15-1-108 Henry Yellow 900 Main St Carmel, NY 10512	66-15-1-109 Ivy Purple 1000 Main St Carmel, NY 10512	66-15-1-110 Jack Orange 1100 Main St Carmel, NY 10512	66-15-1-111 Karen Silver 1200 Main St Carmel, NY 10512	66-15-1-112 Leo Bronze 1300 Main St Carmel, NY 10512	66-15-1-113 Mia Gold 1400 Main St Carmel, NY 10512	66-15-1-114 Noah Copper 1500 Main St Carmel, NY 10512	66-15-1-115 Olivia Nickel 1600 Main St Carmel, NY 10512	66-15-1-116 Peter Zinc 1700 Main St Carmel, NY 10512	66-15-1-117 Quinn Lead 1800 Main St Carmel, NY 10512	66-15-1-118 Sam Tin 1900 Main St Carmel, NY 10512	66-15-1-119 Tina Platinum 2000 Main St Carmel, NY 10512	66-15-1-120 Uma Silver 2100 Main St Carmel, NY 10512	66-15-1-121 Victor Gold 2200 Main St Carmel, NY 10512	66-15-1-122 Wendy Copper 2300 Main St Carmel, NY 10512	66-15-1-123 Xavier Nickel 2400 Main St Carmel, NY 10512	66-15-1-124 Yara Zinc 2500 Main St Carmel, NY 10512	66-15-1-125 Zoe Lead 2600 Main St Carmel, NY 10512	66-15-1-126 Adam Tin 2700 Main St Carmel, NY 10512	66-15-1-127 Bella Platinum 2800 Main St Carmel, NY 10512	66-15-1-128 Caleb Silver 2900 Main St Carmel, NY 10512	66-15-1-129 Dora Gold 3000 Main St Carmel, NY 10512	66-15-1-130 Ethan Copper 3100 Main St Carmel, NY 10512	66-15-1-131 Fiona Nickel 3200 Main St Carmel, NY 10512	66-15-1-132 Gavin Zinc 3300 Main St Carmel, NY 10512	66-15-1-133 Hannah Lead 3400 Main St Carmel, NY 10512	66-15-1-134 Ian Tin 3500 Main St Carmel, NY 10512	66-15-1-135 Julia Platinum 3600 Main St Carmel, NY 10512	66-15-1-136 Karl Silver 3700 Main St Carmel, NY 10512	66-15-1-137 Lara Gold 3800 Main St Carmel, NY 10512	66-15-1-138 Mason Copper 3900 Main St Carmel, NY 10512	66-15-1-139 Nora Nickel 4000 Main St Carmel, NY 10512	66-15-1-140 Oscar Zinc 4100 Main St Carmel, NY 10512	66-15-1-141 Pamela Lead 4200 Main St Carmel, NY 10512	66-15-1-142 Quinn Tin 4300 Main St Carmel, NY 10512	66-15-1-143 Rory Platinum 4400 Main St Carmel, NY 10512	66-15-1-144 Sara Silver 4500 Main St Carmel, NY 10512	66-15-1-145 Toby Gold 4600 Main St Carmel, NY 10512	66-15-1-146 Uma Copper 4700 Main St Carmel, NY 10512	66-15-1-147 Victor Nickel 4800 Main St Carmel, NY 10512	66-15-1-148 Wendy Zinc 4900 Main St Carmel, NY 10512	66-15-1-149 Xavier Lead 5000 Main St Carmel, NY 10512	66-15-1-150 Yara Tin 5100 Main St Carmel, NY 10512	66-15-1-151 Zoe Platinum 5200 Main St Carmel, NY 10512	66-15-1-152 Adam Silver 5300 Main St Carmel, NY 10512	66-15-1-153 Bella Gold 5400 Main St Carmel, NY 10512	66-15-1-154 Caleb Copper 5500 Main St Carmel, NY 10512	66-15-1-155 Dora Nickel 5600 Main St Carmel, NY 10512	66-15-1-156 Ethan Zinc 5700 Main St Carmel, NY 10512	66-15-1-157 Fiona Lead 5800 Main St Carmel, NY 10512	66-15-1-158 Gavin Tin 5900 Main St Carmel, NY 10512	66-15-1-159 Hannah Platinum 6000 Main St Carmel, NY 10512	66-15-1-160 Ian Silver 6100 Main St Carmel, NY 10512	66-15-1-161 Julia Gold 6200 Main St Carmel, NY 10512	66-15-1-162 Karl Copper 6300 Main St Carmel, NY 10512	66-15-1-163 Lara Nickel 6400 Main St Carmel, NY 10512	66-15-1-164 Mason Zinc 6500 Main St Carmel, NY 10512	66-15-1-165 Nora Lead 6600 Main St Carmel, NY 10512	66-15-1-166 Oscar Tin 6700 Main St Carmel, NY 10512	66-15-1-167 Pamela Platinum 6800 Main St Carmel, NY 10512	66-15-1-168 Quinn Silver 6900 Main St Carmel, NY 10512	66-15-1-169 Rory Gold 7000 Main St Carmel, NY 10512	66-15-1-170 Sara Copper 7100 Main St Carmel, NY 10512	66-15-1-171 Toby Nickel 7200 Main St Carmel, NY 10512	66-15-1-172 Uma Zinc 7300 Main St Carmel, NY 10512	66-15-1-173 Victor Lead 7400 Main St Carmel, NY 10512	66-15-1-174 Wendy Tin 7500 Main St Carmel, NY 10512	66-15-1-175 Xavier Platinum 7600 Main St Carmel, NY 10512	66-15-1-176 Yara Silver 7700 Main St Carmel, NY 10512	66-15-1-177 Zoe Gold 7800 Main St Carmel, NY 10512	66-15-1-178 Adam Copper 7900 Main St Carmel, NY 10512	66-15-1-179 Bella Nickel 8000 Main St Carmel, NY 10512	66-15-1-180 Caleb Zinc 8100 Main St Carmel, NY 10512	66-15-1-181 Dora Lead 8200 Main St Carmel, NY 10512	66-15-1-182 Ethan Tin 8300 Main St Carmel, NY 10512	66-15-1-183 Fiona Platinum 8400 Main St Carmel, NY 10512	66-15-1-184 Gavin Silver 8500 Main St Carmel, NY 10512	66-15-1-185 Hannah Gold 8600 Main St Carmel, NY 10512	66-15-1-186 Ian Copper 8700 Main St Carmel, NY 10512	66-15-1-187 Julia Nickel 8800 Main St Carmel, NY 10512	66-15-1-188 Karl Zinc 8900 Main St Carmel, NY 10512	66-15-1-189 Lara Lead 9000 Main St Carmel, NY 10512	66-15-1-190 Mason Tin 9100 Main St Carmel, NY 10512	66-15-1-191 Nora Platinum 9200 Main St Carmel, NY 10512	66-15-1-192 Oscar Silver 9300 Main St Carmel, NY 10512	66-15-1-193 Pamela Gold 9400 Main St Carmel, NY 10512	66-15-1-194 Quinn Copper 9500 Main St Carmel, NY 10512	66-15-1-195 Rory Nickel 9600 Main St Carmel, NY 10512	66-15-1-196 Sara Zinc 9700 Main St Carmel, NY 10512	66-15-1-197 Toby Lead 9800 Main St Carmel, NY 10512	66-15-1-198 Uma Tin 9900 Main St Carmel, NY 10512	66-15-1-199 Victor Platinum 10000 Main St Carmel, NY 10512
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LOCATION PLAN
NO SCALE

DRAWING LIST:

AS-100	SITE PLAN - SECOND MEANS OF EGRESS - SUITE 204
EC-100	EXISTING FLOOR PLAN - SUITE 204
EC-100	EGRESS PLAN - SUITE 204
A-100	NEW SECOND MEANS OF EGRESS - SUITE 204 & ENLARGED SITE PLAN
A-200	EXTERIOR ELEVATIONS & SECTION

KEY PLAN

SITE DATA NOTES:

- OWNER: 627 STONELEIGH AVE, CARMEL, NY 10512
- PROPOSED PROJECT USE: NEW SECOND MEANS OF EGRESS FROM SECOND FLOOR MEDICAL OFFICE - SUITE 204
- TAX MAP NO. 66.15
- SECTION BLOCK 3
- WATER SEWER: PUBLIC WATER SEWER

STRUCTURAL DESIGN LOADS

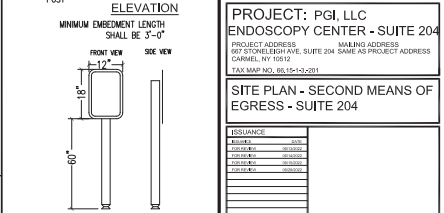
DESIGN FLOOR LOAD:	40 psf
SNOW LOADING:	50 psf
WIND LOADING:	110 mph
WIND EXPOSURE CATEGORY:	C

SEISMIC DESIGN

SEISMIC DESIGN CATEGORY:	D1
SITE CLASS:	D
SEISMIC USE GROUP:	I

ZONING CHART

ITEM	REQUIRED	EXISTING	VARIANCES REQUIRED
GROSS SITE AREA (MIN)	40,000 SQFT	223,265 SQFT	NONE
LOT DEPTH (MIN)	200 FT.	525 FT.	NONE
LOT WIDTH (MIN)	200 FT.	465 FT.	NONE
FRONT YARD (MIN)	40 FT.	55 FT.	NONE
SIDE YARD NORTH (MIN)	25 FT.	60.8 FT.	NONE
SIDE YARD SOUTH (MIN)	25 FT.	31.3 FT.	NONE
REAR YARD (MIN)	30 FT.	140 FT.	NONE
HEIGHT (MAX)	35 FT.	30 FT.	NONE
FLOOR AREA OF BLDG	10,000 SQ. FT.	27,700 SQ. FT.	NONE
CONCRETE	100%	100%	NONE
PARKING	MEDICAL* = 170 P.S. PHARMACY & LAB: (3.906) 200 S.F. = 20 P.S.	194 P.S.	NONE
TOTAL PARKING	= 190 P.S.	194 P.S.	NONE
MEDICAL - 34 DOCTORS @ 4 P.S. EACH = 136 P.S. 34 EMPLOYEES @ 1 P.S. EACH = 34 P.S.		TOTAL MEDICAL = 170 P.S.	



NOTE: THE TOP OF ANCHOR POST SHALL NOT EXTEND MORE THAN 4" MAX. ABOVE THE CHORDLINE WITHIN A 80" CHORD.

SCALE: AS NOTED

DRAWN BY/CHKD BY: [Signature]

PROJECT NO.: 01-22-001

STONELEIGH AVENUE
SITE PLAN
1" = 20'-0"

NOTE: 1. ALL NEW PLANTINGS SHOULD BE VERIFIED WITH THE TOWN OF CARMEL WETLANDS INSPECTOR.
2. ALL PLANTINGS SHALL BE INSTALLED PER SECTION 142 OF THE TOWN OF CARMEL TOWN CODE.

PARKING SPACES	TYPE
162	REGULAR
16	HANDICAP
194	TOTAL



ARCHITECTURAL VISIONS, PLLC
2 MUSCOOT ROAD NORTH
MAHOPAC, NY 10541
P: 845-428-4613
F: 845-428-2007
A: 845-428-2007

PROJECT: PGI, LLC
ENDOSCOPY CENTER - SUITE 204

PROJECT ADDRESS: 627 STONELEIGH AVE, SUITE 204, CARMEL, NY 10512
MAILING ADDRESS: 627 STONELEIGH AVE, SUITE 204, CARMEL, NY 10512
TAX MAP NO. 66.15-1-192

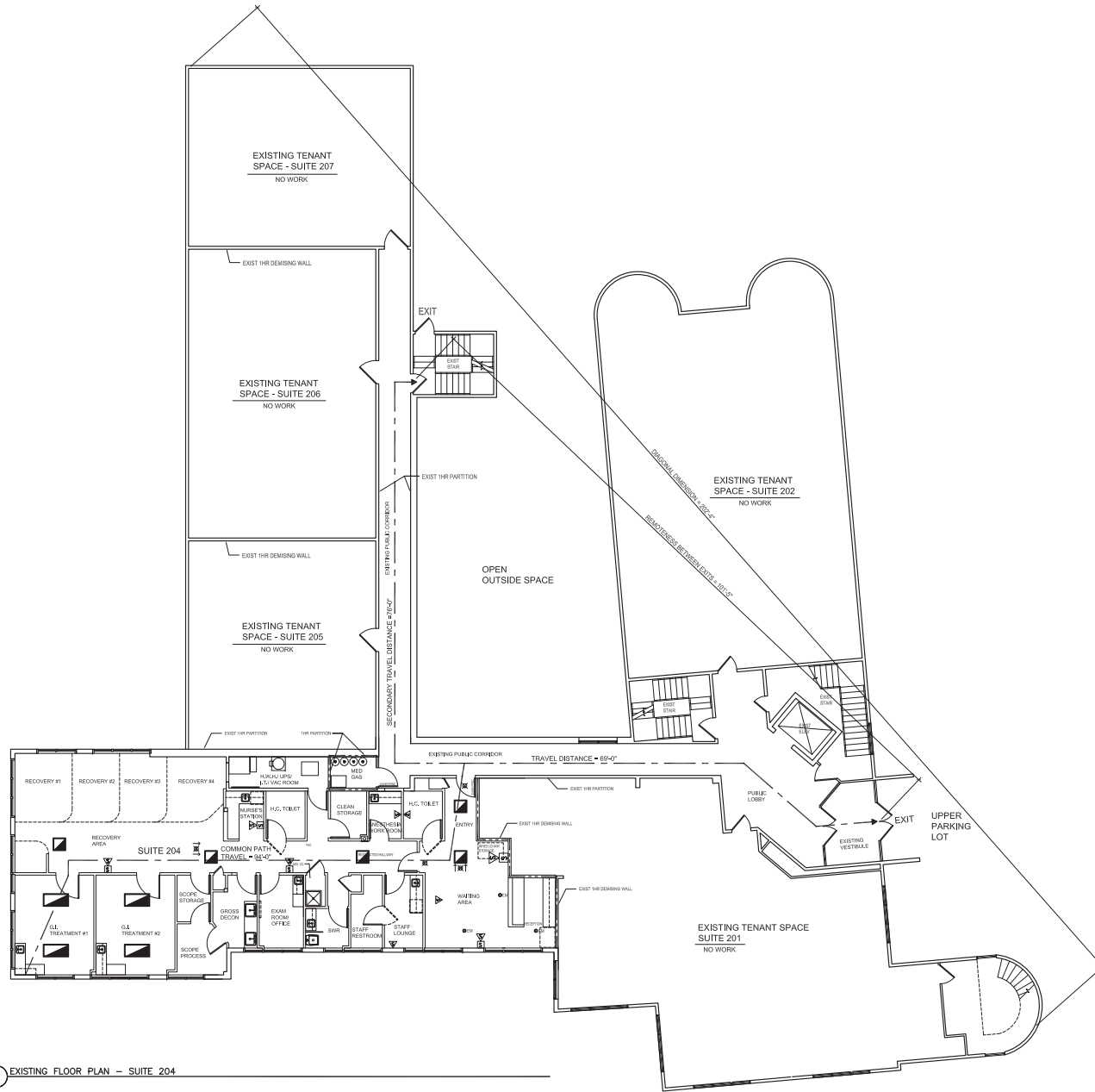
ESCALANCE	DATE	BY	CHKD
AS-100	10/20/2021	[Signature]	[Signature]
EC-100	10/20/2021	[Signature]	[Signature]
EC-100	10/20/2021	[Signature]	[Signature]
A-100	10/20/2021	[Signature]	[Signature]
A-200	10/20/2021	[Signature]	[Signature]

AS-100

LEGEND:

	1 HOUR (1hr) RATED SMOKE PARTITION
	1 HOUR (1hr) RATED CONSTRUCTION
	2 HOURS (2hr) RATED CONSTRUCTION
	TRAVEL DISTANCE / COMMON PATH OF TRAVEL
	FIRE SMOKE DAMPER
	EMERGENCY LIGHT FIXTURE (90min. BACKUP)
	EMERGENCY H-HAT LIGHT FIXTURE (90min. BACKUP)
	SPRINKLER HEAD
	SMOKE DUCT DETECTOR
	EXIT SIGN
	EXIT SIGN w/ DIRECTIONAL ARROW
	FIRE EXTINGUISHER IN CABINET
	HORN/STROBE
	STROBE
	FIRE ALARM PULL STATION
	SMOKE DETECTOR

1 EXISTING FLOOR PLAN - SUITE 204



ARCHITECTURAL VISIONS, LLC
 2 MUSCOOT ROAD NORTH MANHATTAN, NY 10861
 P: 945-428-4613 F: 945-428-2807

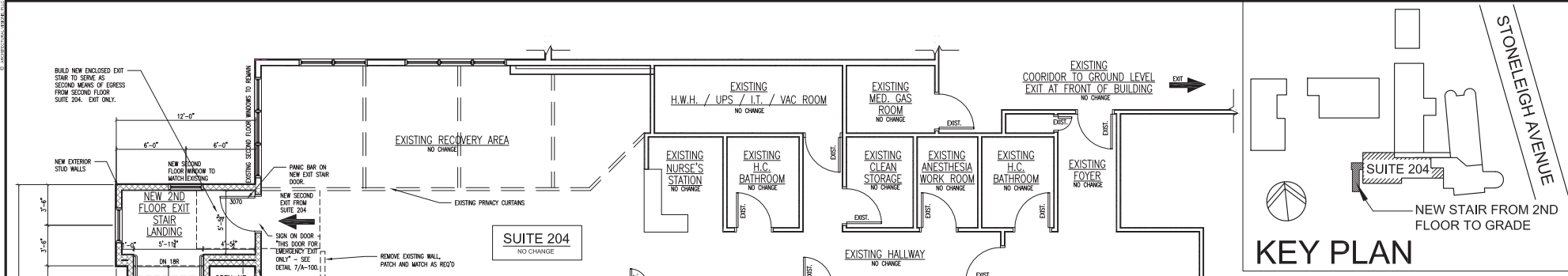
PROJECT: PGI, LLC ENDOSCOPY CENTER - SUITE 204
 PROJECT ADDRESS: 997 STONELION AVE., SUITE 204, SAME AS PROJECT ADDRESS, CARLE PLAZA, CARLE, NY 10512
 MAILING ADDRESS: CARLE PLAZA, CARLE, NY 10512
 TAX MAP NO. 65.15-13-201

EXISTING FLOOR PLAN - SUITE 204

DATE:	DATE:
SCALE:	SCALE:
DRAWN BY:	DRAWN BY:
CHECKED BY:	CHECKED BY:
PROJECT NO.:	PROJECT NO.:
DATE:	DATE:

EX-100

IF BY A REASONABLE STATE OF AFFAIRS, THE ARCHITECT HAS BEEN ADVISED BY THE CLIENT THAT THE PROJECT IS BEING ABANDONED, THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PROJECT AND THE CLIENT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PROJECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PROJECT AND THE CLIENT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PROJECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PROJECT AND THE CLIENT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PROJECT.

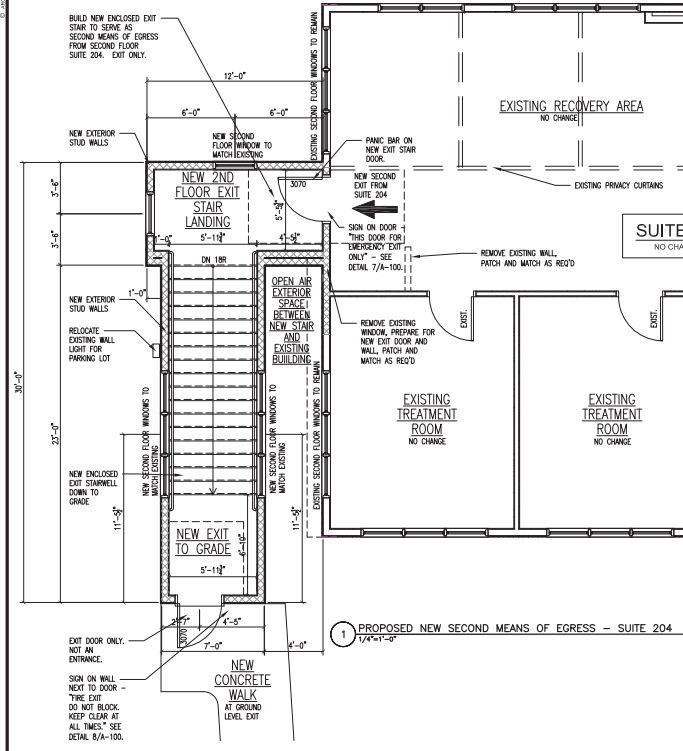


THIS DOOR FOR EMERGENCY EXIT ONLY

7 SIGN ON DOOR FROM SUITE 204 TO EXIT STAIR

FIRE EXIT DO NOT BLOCK KEEP CLEAR AT ALL TIMES

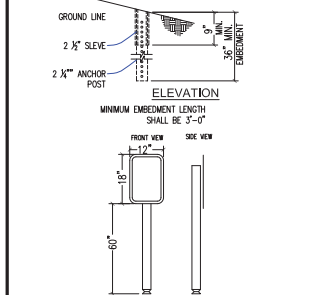
8 SIGN ON WALL NEXT TO STAIR EXIT DOOR FROM SUITE 204



1 PROPOSED NEW SECOND MEANS OF EGRESS - SUITE 204



2 HANDICAP PARKING SIGN # 2 AND 4
3 SIGN FOR HANDICAP PARKING AISLE



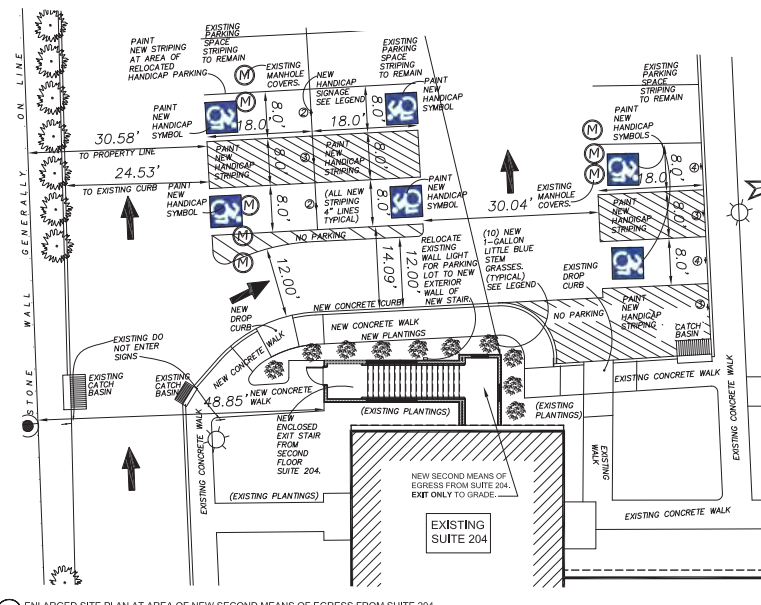
4 HANDICAP PARKING SIGN MOUNTING



5 NEW THE BLUES LITTLE BLUESTEM GRASS

	EXISTING MANHOLE IN PARKING LOT
	EXISTING PARKING LOT CATCH BASIN
	EXISTING A/C CONDENSER UNITS (TYPICAL)
	EXISTING HANDICAP PARKING SYMBOL
	NEW HANDICAP PARKING SYMBOL AT RE-STRIPED HANDICAP SPOTS
	NEW HANDICAP NO PARKING STRIPING AT RE-STRIPED HANDICAP SPOTS
	EXISTING DO NOT ENTER SIGN
	NEW DOUBLE SIDED HANDICAP SIGN & POST
	NEW NO PARKING SIGN & POST
	NEW HANDICAP SIGN & POST
	PAINTED DIRECTIONAL ARROW
	EXISTING HEDGE ALONG SOUTH PROPERTY LINE
	EXISTING TREES ALONG NORTH PROPERTY LINE
	NEW LANDSCAPING - THE BLUES, LITTLE BLUESTEM GRASS, SPOROPOGON SCOPARIUM - 1 GALLON SIZE PLANTING.

NOTE: 1. ALL NEW PLANTINGS SHOULD BE VERIFIED WITH THE TOWN OF CARMEL WILDLANDS INSPECTOR.
2. ALL PLANTINGS SHALL BE INSTALLED PER SECTION 142 OF THE TOWN OF CARMEL TOWN CODE.



6 ENLARGED SITE PLAN AT AREA OF NEW SECOND MEANS OF EGRESS FROM SUITE 204

NOTE: INSTALL (1) 1-GALLON SIZE LITTLE BLUESTEM GRASSES (SPOROPOGON SCOPARIUM). GRASSES WILL BE APPROXIMATELY 20" WIDE X 40" HIGH AT MATURITY.

ARCHITECTURAL VISIONS, LLC
 2 MUSCOOT ROAD NORTH
 MANASCAP, NY 10841
 P: 845-428-4613
 F: 845-428-2807
 JAL@ARCHITECTURALVISIONS.COM
 TAX MAP NO. 06.15-13-201

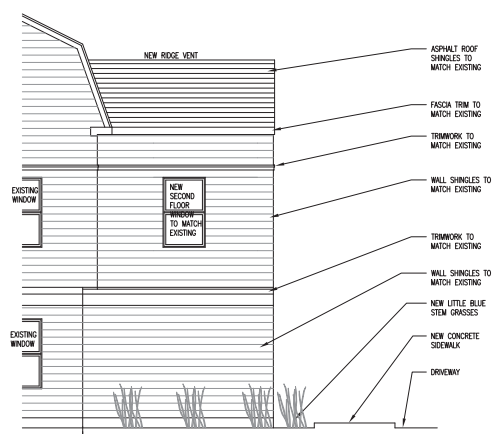
PROJECT: PGI, LLC ENDOSCOPY CENTER - SUITE 204
 PROJECT ADDRESS: 807 STONELEIGH AVE., SUITE 204, CARMEL, NY 10512
 MAILING ADDRESS: 807 STONELEIGH AVE., SUITE 204, CARMEL, NY 10512

NEW SECOND MEANS OF EGRESS - SUITE 204 & ENLARGED SITE PLAN

DATE:	SCALE:
PROJECT NO.:	DRAWN BY/CHKD BY:
DATE:	DATE:
DATE:	DATE:

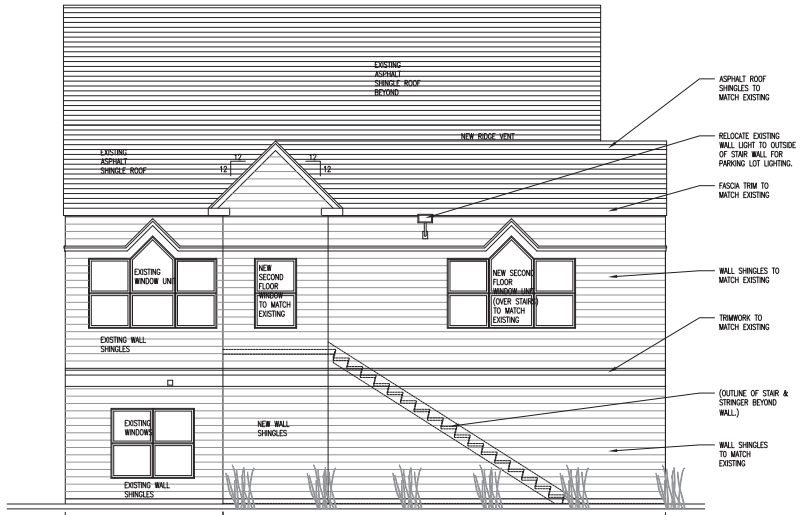
A-100

2024.05.13.10.11.12.13.14.15.16.17.18.19.20.21.22.23.24.25.26.27.28.29.30.31.32.33.34.35.36.37.38.39.40.41.42.43.44.45.46.47.48.49.50.51.52.53.54.55.56.57.58.59.60.61.62.63.64.65.66.67.68.69.70.71.72.73.74.75.76.77.78.79.80.81.82.83.84.85.86.87.88.89.90.91.92.93.94.95.96.97.98.99.100.101.102.103.104.105.106.107.108.109.110.111.112.113.114.115.116.117.118.119.120.121.122.123.124.125.126.127.128.129.130.131.132.133.134.135.136.137.138.139.140.141.142.143.144.145.146.147.148.149.150.151.152.153.154.155.156.157.158.159.160.161.162.163.164.165.166.167.168.169.170.171.172.173.174.175.176.177.178.179.180.181.182.183.184.185.186.187.188.189.190.191.192.193.194.195.196.197.198.199.200.201.202.203.204.205.206.207.208.209.210.211.212.213.214.215.216.217.218.219.220.221.222.223.224.225.226.227.228.229.230.231.232.233.234.235.236.237.238.239.240.241.242.243.244.245.246.247.248.249.250.251.252.253.254.255.256.257.258.259.260.261.262.263.264.265.266.267.268.269.270.271.272.273.274.275.276.277.278.279.280.281.282.283.284.285.286.287.288.289.290.291.292.293.294.295.296.297.298.299.300.301.302.303.304.305.306.307.308.309.310.311.312.313.314.315.316.317.318.319.320.321.322.323.324.325.326.327.328.329.330.331.332.333.334.335.336.337.338.339.340.341.342.343.344.345.346.347.348.349.350.351.352.353.354.355.356.357.358.359.360.361.362.363.364.365.366.367.368.369.370.371.372.373.374.375.376.377.378.379.380.381.382.383.384.385.386.387.388.389.390.391.392.393.394.395.396.397.398.399.400.401.402.403.404.405.406.407.408.409.410.411.412.413.414.415.416.417.418.419.420.421.422.423.424.425.426.427.428.429.430.431.432.433.434.435.436.437.438.439.440.441.442.443.444.445.446.447.448.449.450.451.452.453.454.455.456.457.458.459.460.461.462.463.464.465.466.467.468.469.470.471.472.473.474.475.476.477.478.479.480.481.482.483.484.485.486.487.488.489.490.491.492.493.494.495.496.497.498.499.500.501.502.503.504.505.506.507.508.509.510.511.512.513.514.515.516.517.518.519.520.521.522.523.524.525.526.527.528.529.530.531.532.533.534.535.536.537.538.539.540.541.542.543.544.545.546.547.548.549.550.551.552.553.554.555.556.557.558.559.560.561.562.563.564.565.566.567.568.569.570.571.572.573.574.575.576.577.578.579.580.581.582.583.584.585.586.587.588.589.590.591.592.593.594.595.596.597.598.599.600.601.602.603.604.605.606.607.608.609.610.611.612.613.614.615.616.617.618.619.620.621.622.623.624.625.626.627.628.629.630.631.632.633.634.635.636.637.638.639.640.641.642.643.644.645.646.647.648.649.650.651.652.653.654.655.656.657.658.659.660.661.662.663.664.665.666.667.668.669.670.671.672.673.674.675.676.677.678.679.680.681.682.683.684.685.686.687.688.689.690.691.692.693.694.695.696.697.698.699.700.701.702.703.704.705.706.707.708.709.710.711.712.713.714.715.716.717.718.719.720.721.722.723.724.725.726.727.728.729.730.731.732.733.734.735.736.737.738.739.740.741.742.743.744.745.746.747.748.749.750.751.752.753.754.755.756.757.758.759.760.761.762.763.764.765.766.767.768.769.770.771.772.773.774.775.776.777.778.779.780.781.782.783.784.785.786.787.788.789.790.791.792.793.794.795.796.797.798.799.800.801.802.803.804.805.806.807.808.809.810.811.812.813.814.815.816.817.818.819.820.821.822.823.824.825.826.827.828.829.830.831.832.833.834.835.836.837.838.839.840.841.842.843.844.845.846.847.848.849.850.851.852.853.854.855.856.857.858.859.860.861.862.863.864.865.866.867.868.869.870.871.872.873.874.875.876.877.878.879.880.881.882.883.884.885.886.887.888.889.890.891.892.893.894.895.896.897.898.899.900.901.902.903.904.905.906.907.908.909.910.911.912.913.914.915.916.917.918.919.920.921.922.923.924.925.926.927.928.929.930.931.932.933.934.935.936.937.938.939.940.941.942.943.944.945.946.947.948.949.950.951.952.953.954.955.956.957.958.959.960.961.962.963.964.965.966.967.968.969.970.971.972.973.974.975.976.977.978.979.980.981.982.983.984.985.986.987.988.989.990.991.992.993.994.995.996.997.998.999.1000



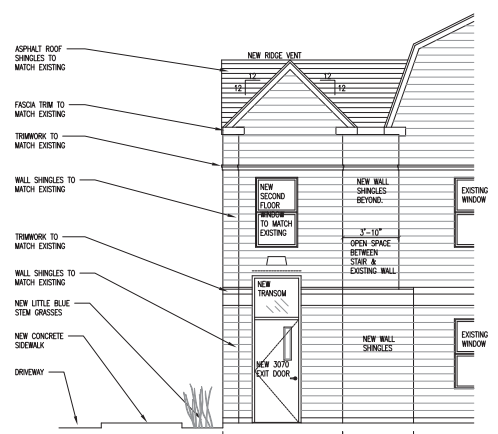
EXISTING BUILDING - NO CHANGE
 PROPOSED ENCLOSED EXIT STAIR TO GRADE (SECOND MEANS OF EGRESS FROM SUITE 204.)

1 LEFT SIDE STAIR ELEVATION
 1/2" = 1'-0"



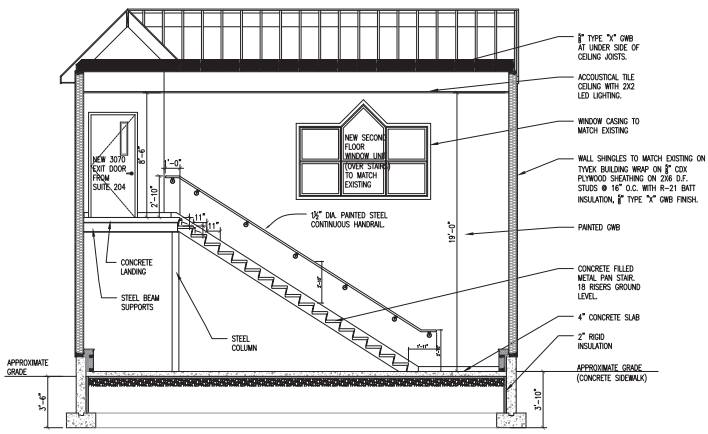
EXISTING BUILDING - NO CHANGE
 PROPOSED ENCLOSED EXIT STAIR TO GRADE (SECOND MEANS OF EGRESS FROM SUITE 204.)

2 REAR STAIR ELEVATION
 1/2" = 1'-0"



PROPOSED ENCLOSED EXIT STAIR TO GRADE (SECOND MEANS OF EGRESS FROM SUITE 204.)
 WALL BEYOND AT CONNECTOR (OPEN SPACE BETWEEN STAIR TOWER AND EXISTING BUILDING)
 EXISTING BUILDING - NO CHANGE

3 RIGHT SIDE STAIR ELEVATION
 1/2" = 1'-0"



4 STAIR SECTION
 1/2" = 1'-0"

ARCHITECTURAL VISIONS
 ARCHITECTURAL VISIONS, LLC
 2 MILSCOOT ROAD NORTH MAHOOPAC NY, 10541
 TEL: 845-629-2807 FAX: 845-629-2807

PROJECT: PGI, LLC
 ENDOSCOPY CENTER - SUITE 204
 PROJECT ADDRESS: 687 STONELEIGH AVE, SUITE 204 SAHAE AS PROJECT ADDRESS
 CARMEL, NY 10512
 TAX MAP NO. 66.15-3-201

DESIGNED BY: JAG
 DRAWN BY: JAG
 PROJECT NO. 0100001

IT IS A VIOLATION OF STATE LAW FOR ANY PERSON UNLESS AUTHORIZED UNDER THE DIRECTION OF A LICENSED ARCHITECT TO ALTER OR REPRODUCE THESE PLANS AND DOCUMENTS OR ANY PART THEREOF IN ANY MANNER THAT WOULD BE DEEMED TO BE AN ALTERATION OF THE ORIGINAL ARCHITECTURAL DRAWINGS OR ANY PART THEREOF. ANY SUCH ALTERATION SHALL BE CONSIDERED TO BE AN ALTERATION OF THE ORIGINAL ARCHITECTURAL DRAWINGS AND SHALL BE CONSIDERED TO BE AN ALTERATION OF THE ORIGINAL ARCHITECTURAL DRAWINGS AND SHALL BE CONSIDERED TO BE AN ALTERATION OF THE ORIGINAL ARCHITECTURAL DRAWINGS AND SHALL BE CONSIDERED TO BE AN ALTERATION OF THE ORIGINAL ARCHITECTURAL DRAWINGS.



June 14, 2022

Mr. Craig Paeprer, Chairman
Town of Carmel Planning Board
60 McAlpin Avenue
Mahopac, NY 10541

Re: Dynamite Properties
70 Gleneida Avenue
T.M. 44.14-1-39

Dear Chairman Paeprer and Members of the Board,

As a follow up to my May 10, 2022 letter to the Board, I have enclosed copies of an agreement made between Dynamite Properties and Wenco Properties Corp.

In addition I have included a copy of the invoice for parking spaces rented from Wenco by J. Ralph Stein & Co., Inc. the first floor tenant in the Dynamite Properties building.

Sincerely,

PUTNAM ENGINEERING, PLLC

A handwritten signature in black ink, appearing to read 'Paul M. Lynch', written over a horizontal line.

Paul M. Lynch P.E.
PML/rmm

Encl.

L2071

Wenco Properties Corp.
P.O. Box 540
Mahopac, NY 10541
Tel./Fax (845) 628-6614

6/17/22

William Shilling, Jr.
122 Old Route 6
Carmel, N.Y. 10512

Dear Bill,

In reference to the planning board concerns, Wenco has approximately 90 parking spaces. There are no assigned spaces. There is no overnight parking, except for the 2 spaces that Dynamite Properties is renting.

Very truly yours,

Wenco Properties Corp.

By: 

Wendi S. Bistany, President

Wenco Properties Corp.

P.O. Box 540
Mahopac, NY 10541
Tel./Fax (845) 628-6614

PARKING AGREEMENT BETWEEN WENCO PROPERTIES CORP. AND DYNAMITE PROPERTIES CORP.

Wenco Properties has agreed to allow 2 vehicles to park at Wenco Plaza, 24 hours a day providing the following rules are followed.

Cost will be \$250.00 per month, payable the 1st of each month. Prices may increase in the future dependent of maintenance cost and increase in taxes.

There are no assigned spaces.

License plate #'s must be provided for cars parked overnight with updates as required.


During winter months cars are required to park at the outer fringes of lot to allow for snow plowing.

Tenants must deal with the snow plow results. They may be plowed in but we will make every effort to avoid this.

Owner of the building at 70 Gleneida Ave. must provide insurance certificate holding Wenco harmless of all liabilities.

Tenants park at their own risk. Wenco will not be responsible for theft or personal injury.

Effective June 1st or upon first payment.



President, Wenco Properties Corp.

President, Dynamite Properties Corp.

Wenco Properties Corp.

P.O. Box 540
Mahopac, N.Y. 10541
845-628-6614(Tel/Fax)

6/1/22

J. Ralph Stein & Co., Inc.

70 Gleneida Ave.

Carmel, N.Y. 10512

Dear Charles,

Your parking fee for Wenco Plaza is due. Please remit a check at your earliest convenience.

Thank you in advance for your cooperation.

We are down to 3 employees @ 25/month = \$ 900 -

Very truly yours,

Wenco Properties Corp.

By:

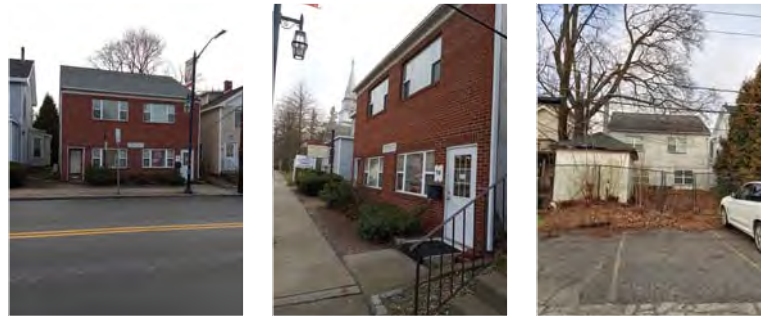
Wendi S. Bistany

Wendi S. Bistany

President

PROPERTIES WITHIN 500':

4413-2-1	ORSEY'S WIN. INC.	1280 PEEDSKILL HOLLOW RD	CARMEL, NY 10512
4413-2-2	19 FLOWER AVENUE, LLC	C/A BRAN SENNA, 28 WALNUT ST	CARMEL, NY 10564
4413-2-3	ME & BO PROPERTIES, LLC	C/O RICHARD T. CAPRA, 3007 FARMWALK RD	YORKTOWN HEIGHTS, NY 10598
4413-2-4	L. SHIKAT, ALIA MACKAY, LLOYD MACKAY, AND TAMAR MACKAY	808 WEST END AVE APT 1001	NEW YORK, NY 10025
4413-2-5	LIBA AND RODRIGO QUEDADA	25 FLOWER AVE	CARMEL, NY 10512
4413-2-6	AUGUSTINE AND CRESCENT SACHETTI	10 BELLA HOE RD	CARMEL, NY 10512
4413-2-7	MARLON RAMOSCAN	1870 HAWOOD ST APT 2R	ROSEWOOD, NY 11855
4413-2-8	RICHARD CARRASCO	10 RIDGE RD	CARMEL, NY 10512
4413-2-9	HERNANDEZ & FERNANDEZ	FAMILY TRUST, 6 RIDGE RD	CARMEL, NY 10512
4414-1-1	INSPIRING INC.	67 GLENEDA AVE	CARMEL, NY 10512
4414-1-2	89 GLENEDA AVENUE LLC	12 COLONIAL RIDGE CT	BREWSTER, NY 10509
4414-1-3	ESSEBILLE ENTERPRISES LLC	2403 S. CHRISTIAN HWY PMB 16	NASSI HEAD, NC 27959
4414-1-4	HANSEN OFFICE SOLUTIONS, INC.	393 NICHOLS RD	CARMEL, NY 10512
4414-1-5	WAYNE FROEDER	P.O. BOX 10	CARMEL, NY 10512
4414-1-6	CARMEL BOARD OF FIRE COMMISSION	P.O. BOX 1238	CARMEL, NY 10512
4414-1-7	MT. CARMEL BAPTIST CHURCH	P.O. BOX 536	CARMEL, NY 10512
4414-1-9	JAMES WISE	38 FLOWER AVE	CARMEL, NY 10512
4414-1-10	LOWMEYER REALTY CORP.	336 LOWMEYER TER	YONKER, NY 10710
4414-1-11	ROBERT HALL AND EDWARD BONDI	802 307	BEDFORD, NY 10506
4414-1-12	PETER AND MARY FELLBAUGH	99 CHERRY LN	STORWILLE, NY 12582
4414-1-13	ROBERT H. HALL AND EDWARD G. BONDI	P.O. BOX 307 HICKORY LA	BEDFORD, NY 10506
4414-1-14	SAY COUNSELOR INC.	56 GLENEDA AVE	CARMEL, NY 10512
4414-1-15	DAVID AND CYNTHIA RADOGOSZ	56 GLENEDA AVE	CARMEL, NY 10512
4414-1-16	SUE ANN AND BRIAN SIMPSON	2 SUNSET RDG	CARMEL, NY 10512
4414-1-17	89 GLENEDA AVENUE LLC	12 COLONIAL RIDGE CT	BREWSTER, NY 10509
4414-1-34	KILLEY CEMETERY INC.	RTE 52	CARMEL, NY 10512
4414-1-35	MT. CARMEL BAPTIST CHURCH	P.O. BOX 536	CARMEL, NY 10512
4414-1-36	MT. CARMEL BAPTIST CHURCH	70-1102 P.O. BOX 536	CARMEL, NY 10512
4414-1-37	MT. CARMEL BAPTIST SOCIETY	70-1102 P.O. BOX 536	CARMEL, NY 10512
4414-1-38	IVANE AND LAURA COHEN	72 GLENEDA AVE	CARMEL, NY 10512
4414-1-40	RFB CORP.	P.O. BOX 59	CARMEL, NY 10512
4414-1-41	GIUSEPPE IUVENO JR.	60 CLEARVIEW CR	HOPKELL CT, NY 12533
4414-1-42	LZU, LLC	14 GLENVA DR	CARMEL, NY 10512
4414-1-43	WENCO PROPERTIES CORP	P.O. BOX 540	MAHOAPAC, NY 10541
4414-1-44	MT. CARMEL BAPTIST CHURCH	P.O. BOX 536	CARMEL, NY 10512
4414-1-45	WENCO PROPERTIES CORP	P.O. BOX 540	MAHOAPAC, NY 10541
4414-1-46	17 FAR ST, LLC	17 FAR ST	CARMEL, NY 10512
4414-1-47	RANVIC ENTERPRISES CORP	19 FAR ST	CARMEL, NY 10512
4414-1-48	UNITED STATES POSTAL SERVICE	28 FAR ST	CARMEL, NY 10512
4417-1-43	FRANKLIN G. AND EDITH E. WILES	4 RIDGE RD	CARMEL, NY 10512
4417-1-46	PETER JR. AND JANET E. INTERER	5 FLOWER AVE	CARMEL, NY 10512
4417-1-47	SPENCER D. SCHATTMAN AND SARANTOULA PAPPAKAS	7 HILLVIEW CT	CORTLAND MANOR, NY 10567
4417-1-48	JAMES A. WISE	11 FLOWER AVE	CARMEL, NY 10512
4417-1-49	STEPHEN DELL	13 FLOWER AVE	CARMEL, NY 10512
4418-1-1	FISHER THOMAS INC	10 FLOWER AVE	CARMEL, NY 10512
4418-1-2	PUTNAM COUNTY NATIONAL BANK	43 GLENEDA AVE	CARMEL, NY 10512
4418-1-3	PUTNAM COUNTY NATIONAL BANK	43 GLENEDA AVE	CARMEL, NY 10512
4418-1-4	BANK OF CARMEL/PUTNAM CITY NATL	43 GLENEDA AVE	CARMEL, NY 10512
4418-1-5	PUTNAM COUNTY NATIONAL BANK	47 GLENEDA AVE	CARMEL, NY 10512
4418-1-6	GLENEDA 51, INC.	51 GLENEDA AVE	CARMEL, NY 10512
4418-1-7	HENRY P. JR. AND P.C. SIMPSON	2 SUNSET RDG	CARMEL, NY 10512
4418-1-8	57 MAIN STREET CORP	55 GLENEDA AVE	CARMEL, NY 10512
4418-1-9	57 MAIN STREET CORP	67 GLENEDA AVE	CARMEL, NY 10512
4418-1-11	83 GLENEDA, LLC	83 GLENEDA AVE	CARMEL, NY 10512
4418-1-14	NAC PROPERTIES, INC.	9 FAR ST	CARMEL, NY 10512
4418-1-15	FAR PROPERTY MGMT, LLC	16 FAR ST	CARMEL, NY 10512
4418-1-16	NEW FAR STREET LLC	16 CORNISH RD	CARMEL, NY 10512
4418-1-17	COUNTRY OF PUTNAM	40 GLENEDA AVE	CARMEL, NY 10512
4418-1-18	FAR STREET PROPERTIES	14 FAR ST	CARMEL, NY 10512
4418-1-19	12 FAR ST. CORP	827 FOR MEADOW RD	YORKTOWN HEIGHTS, NY 10598
4418-1-20	6318 ASSOCIATES INC.	10 FAR ST	CARMEL, NY 10512
4418-1-21	PUTNAM PROPERTY GROUP LLC	105 ROUTE 6	MAHOAPAC, NY 10541
4418-1-22	COUNTRY OF PUTNAM	40 GLENEDA AVE	CARMEL, NY 10512
4418-1-23	PUTNAM COUNTY NATIONAL BANK	43 GLENEDA AVE	CARMEL, NY 10512
4418-1-24	COUNTRY OF PUTNAM	40 GLENEDA AVE	CARMEL, NY 10512
4418-1-25	COUNTRY OF PUTNAM	40 GLENEDA AVE	CARMEL, NY 10512
4418-1-44	CARMEL CENTRAL SCHOOL DISTRICT	P.O. BOX 296	PATTERSON, NY 12663

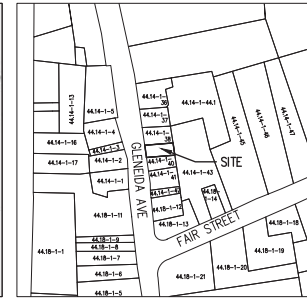


FRONT ELEVATION

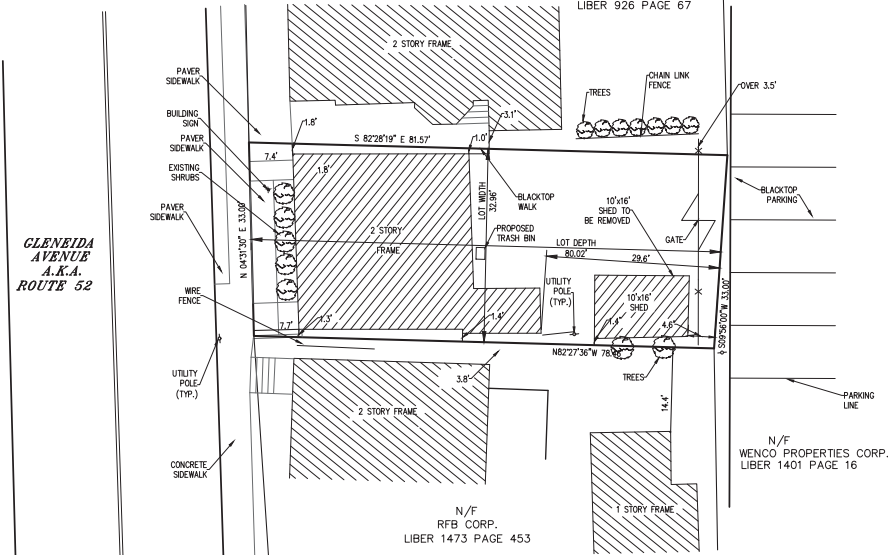
REAR ELEVATION



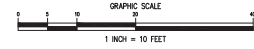
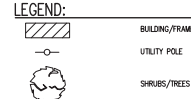
LOCATION MAP
SCALE: 1" = 100'



AREA MAP
SCALE: 1" = 30'



EXISTING CONDITIONS PLAN



SCHEDULE of DISTRICT REGULATIONS:

C-COMMERICAL	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA S.F.*	40,000 S.F.	2,640 S.F.	2,640 S.F.
MIN. LOT WIDTH FEET	200 FEET	32.86 FEET	32.96 FEET
MIN. LOT DEPTH FEET	200 FEET	80.02	80.02
MINIMUM YARDS-PRINCIPAL FRONT FEET	40'	7.4'	7.4'
SIDE FEET (NORTH)	25'	1.0'	1.0'
SIDE FEET (SOUTH)	25'	1.3'	1.3'
REAR FEET	30'	4.6'	29.6'
MINIMUM YARDS-ACCESSORY BLD'G FRONT FEET	-	-	-
SIDE FEET	-	-	-
REAR FEET	-	-	-
MAXIMUM PERMITTED HEIGHT FEET	35'	<35'	<35'
MINIMUM PERMITTED FLOOR AREA OF BUILDING S.F.*	5,000 S.F.	1,990 S.F.	1830 S.F.
MAXIMUM PERMITTED FLOORAGE OF LOT-PERCENT	30%	43.37%	37.68%

USE VARIANCE TO ALLOW FOR APARTMENT- MIXED USE STRUCTURE (VARIANCE REQUIRED)
 LOT COVERAGE AREA=1173.34 S.F. (W/ SHED)
 LOT COVERAGE AREA=957.34 S.F. (W/OUT SHED)

SEC 156-42

EXISTING CONDITIONS:	PROPOSED CONDITIONS:
1ST FLOOR OFFICE SPACE = 957.34'	1ST FLOOR OFFICE SPACE = 957.34'
2ND FLOOR OFFICE SPACE = 872.66'	2ND FLOOR- 2 APARTMENTS
AT-15 STORAGE = 432.00'	AT-15 STORAGE IS PART OF APARTMENT
ON-SITE STORAGE SHED = 160.00'	
CALCULATION:	
OFFICE	OFFICE
1830 S.F. = 9.15 SPACES	957.34 S.F. = 4.78 SPACES
200	200
STORAGE	
432 S.F. = 0.97 SPACES	2 APARTMENT = 4 SPACES
1,000	
TOTAL = 9.75 SPACES	TOTAL = 8.78 SPACES
10 SPACES REQUIRED	50
VARIANCE REQUIRED = 10 SPACES	9 SPACES REQUIRED
LOADING	
TOTAL LOADING SPACES REQUIRED = 1 SPACE	
TOTAL LOADING SPACES PROVIDED = 0 SPACE	
VARIANCE REQUIRED = 1 SPACE	

PLAN NOTES:

- OWNER/APPLICANT: DYNAMITE PROPERTIES CORP. 56 PAPANA DRIVE MAHOAPAC, NY 10541
- BOUNDARY AND SITE INFORMATION TAKEN FROM A SURVEY PREPARED BY ROBERT V. OSWALD P.L.L.C. LAND SURVEYING COMPANY DATED SEPTEMBER 30, 2018
- PROPERTY IS LOCATED IN THE WEST BRANCH RESERVOIR BASIN.
- THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A 100 YEAR FLOOD ZONE AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 36079C014E, DATED 3/4/2013.
- SITE DATA
 LOT AREA = 2640 S.F. (0.06 ac)
 TAX MAP 44.14-15-36
 C- COMMERCIAL ZONE
- ALL UTILITIES ARE ABOVE GRADE. TRASH WILL CONTINUE TO BE PICKED UP.
- SEWER SERVICE PROVIDED BY CARMEL SEWER DISTRICT #2
- WATER SERVICE PROVIDED BY CARMEL WATER DISTRICT #2
- DESCRIPTION OF USE:
 1ST FLOOR: OFFICE/RETAIL
 2ND FLOOR: 2 PROPOSED APARTMENTS - WHICH REQUIRES A VARIANCE
- THERE IS ONE SIGN IN FRONT OF THE BUILDING.

CARMEL PLANNING BOARD APPROVAL

APPROVAL HEREBY GRANTED THIS ____ DAY OF ____ 20____ IF BUILDING PERMIT IS NOT ISSUED WITHIN 12 MONTHS FROM THE ABOVE DATE, THIS APPROVAL BECOMES NULL AND VOID.

TOWN OF CARMEL PLANNING BOARD
 SIGNED THIS ____ DAY OF ____ 20____ BY
 CHAIRMAN _____

PURSUANT TO NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7200 SUBDIVISION 2, "IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER AN ITEM IN ANY WAY, IF AN ITEM BEARING THE SEAL OF AN ENGINEER IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL, AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

REVISIONS	NO.	DATE	DESCRIPTION
1	1	06 MAY 2022	PER TOWN COMMENTS
2	2	31 MAY 2022	PER ZONING ENFORCEMENT OFFICER

APPLICANT: DYNAMITE PROPERTIES CORP.
 PLAN PREPARED FOR: DYNAMITE PROPERTIES CORP.
 LOCATION: 70 GLENEDA AVE, CARMEL, N.Y. 10512
 TOWN OF CARMEL
 PUTNAM COUNTY, NEW YORK
 TAX MAP 44.14, BLOCK 1, LOT 39

DATE: 11 FEB 2022
 PROJECT MANAGER: PM
 DRAWN BY: ARG
 CHECKED BY: PM
 SCALE: AS NOTED

DRAWING: SITE PLAN EXISTING CONDITIONS
 PROJECT NUMBER: 8427
 DRAWING NUMBER: S-1
 SHEET 1 OF 1

PUTNAM ENGINEERING PLLC
 ENGINEERS - ARCHITECTS
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 (845) 279-6789 FAX (845) 279-6769
 CITY OF PUTNAM ENGINEERING PLLC 2022



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519-759-A GREGGIC
NYS LIC NO 03297

NO DATE REVISION
ISSUE/REVISION

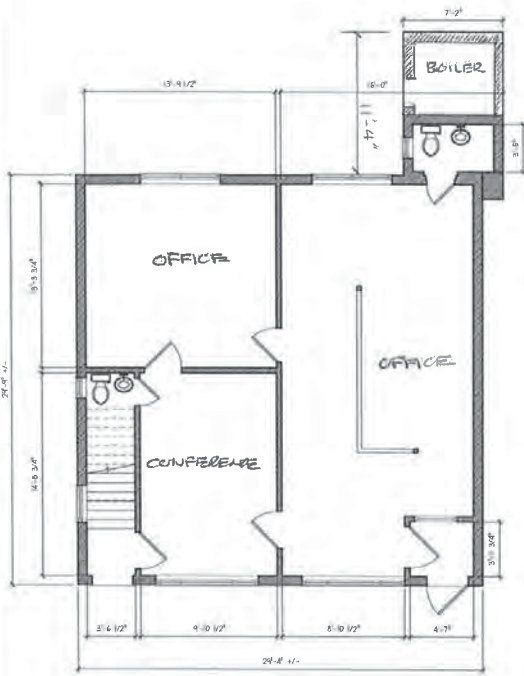
PROJECT NAME:
**RT. 52
FLOOR PLAN**

BUILDING ADDRESS:
RT. 52
CARMEL, NY 10512
PROJECT NUMBER

DRAWING TITLE:
**EXISTING
FLOOR PLAN S**

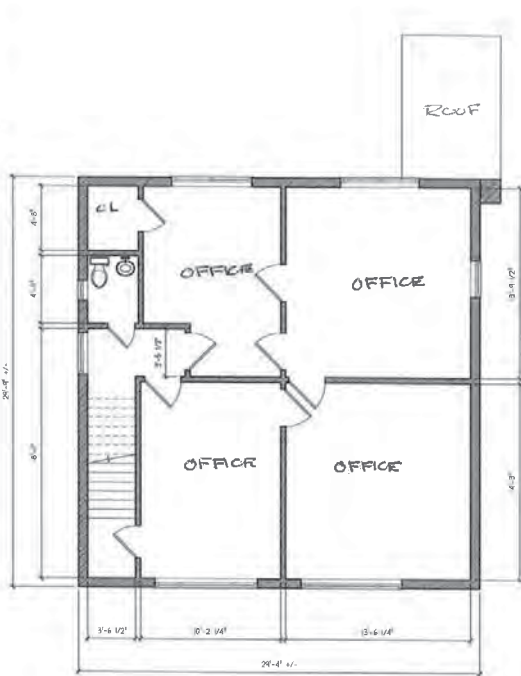
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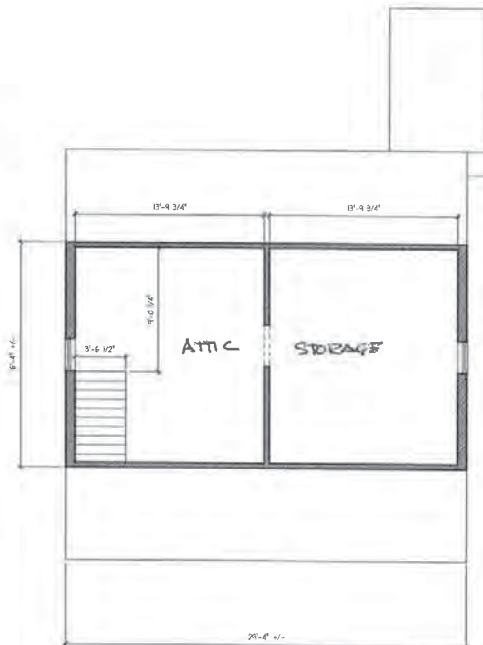
1 FIRST FLOOR PLAN
1/4" = 1'-0"

957.34 S.F.



2 SECOND FLOOR PLAN
1/4" = 1'-0"

872.66 S.F.



1 ATTIC FLOOR PLAN
1/4" = 1'-0"



architects + engineers

2700 Westchester Avenue, Ste 415
Purchase, NY 10577 | tel 914.358.5623

June 27, 2022

Town of Carmel Planning Board
60 McAlpin Avenue
Mahopac, NY 10541

**Re: Liberty Utilities
West Branch Acres Water System Improvements
H2M Project No. NYAW2105**

Dear Board Members:

On behalf of Liberty Utilities, formerly know as New York American Water, we are pleased to submit the following documents to support the application for the construction the of proposed water treatment building at the West Branch Acres site located on 23 General MacArthur Drive Carmel Hamlet, NY 10512.

The above project is located on an existing 2.11 acre water treatment and supply lot owned and operated by Liberty Utilities since acquired in 2017. This property currently contains a 10,000 gallon potable water storage tank, disinfection building, and three potable water wells. Recent water quality sampling noted instances of contaminants exceeding the New York State maximum containment levels (MCLs) for per- and polyfluoroalkyl substances (PFAS) in two of the potable water wells and steadily increasing levels in the third well. Liberty Utilities takes pride in providing it's customers safe potable drinking water and has strict policies toward receiving notice of violations for any of it's sites. As a result of the exceedance in the two wells, Liberty Utilities has removed these two wells from service and is blending the third well with a health department approved potable water truck. The proposed water treatment building will include three 5,000-pound granular activated carbon (GAC) vessels and mircon pre-filters for the removal of per- and polyfluoroalkyl substances (PFAS) from the onsite wells to non-detectable concentrations. This project will also include necessarily security and site improvements in order to connect the wells and disinfection building. Plans and specifications have been submitted to the Putnam County Department of Health (PCDOH) to provide required treatment.

Under current operation of this facility, one to two operators and their vehicles visit the site daily to perform routine sampling and check equipment. The installation of the GAC vessels will not greatly change the number of occupants or vehicles to the site. The media in the vessels will need to be replaced once roughly every 2 years. This will require a large truck to enter the site to drain the exhausted media and refill the vessels with new carbon.

Enclosed in this submission are the following:

- Town of Carmel Site Plan Application – 11 copies
- NYSDEC SEQR Short Environmental Assessment Form – 11 copies
- H2M Plans – 5 copies

<u>Dwg. No.</u>	<u>Title</u>
o G 000	Cover Sheet
o V 100	Existing Conditions
o C 100	Site Improvement Plan
o CL 100	Landscape Site Plan
o C 500	Site Details
o A1 130	GAC Building Roof Plan
o A1 200	GAC Building Elevations
o D 011	Process Diagram Legends

June 27, 2022
Page 2 of 2

- D 002 Process Diagram
- D1 110 GAC Building Piping Plan and Sections
- Compact Disc containing electronic versions of the plans – 1 copy
- Town of Carmel Disclosure Statement – 2 copies
- Town of Carmel Site Plan Completeness Certification Form – 11 copies
- Storm Water Pollution Prevention Plan Report – 1 copy
- Lighting Spill Plan – 1 copy
- Colored Building Elevations – 1 copy
- Deed – 2 copies
- Review fee

The project requires Planning Board Site Plan Approval to construct and operate a GAC treatment facility on the property. We trust that this information is sufficient for your review and look forward to our discussion at the Planning Board meeting on July 14th.

Should you wish to discuss this matter further please contact the undersigned at extension 1312.

Very truly yours,

H2M architects + engineers

A handwritten signature in blue ink, appearing to read 'M. Mohlin'.

Matthew R. Mohlin, P.E.
Vice President
Department Manager-Civil Engineering

cc:

Christopher Peter – Liberty Utilities
John Kilpatrick – Liberty Utilities

Liberty New York Water

TOWN OF CARMEL

SITE PLAN APPLICATION INSTRUCTIONS



The Town of Carmel Planning Board meetings are held twice a month, on the second Thursday and fourth Wednesday at 7:00 PM at Carmel Town Hall, 60 McAlpin Avenue, Carmel, NY 10541.

The submission deadline is 10 days prior to the Planning Board meeting. New site plan applications that have been deemed complete will be placed on the agenda in the order they are received.

No application will be placed on the agenda that is incomplete

Pre-Submission:

Prior to the formal submission of the site plan, a pre-submission conference may be requested by the applicant to be conducted with representatives from the Town, which may include the Town Planner, Town Engineer, Director of Code Enforcement and/or the Planning Board Attorney. This conference will serve to educate the applicant on the process he/she must follow, clarify the information required to submit a complete site plan application, and to highlight any specific areas of concern. You may arrange a pre-submission conference through the Planning Board Secretary at (845) 628-1500 extension 190.

Submission Requirements:

At least 10 days prior to the Planning Board meeting, the site plan application shall be submitted to the Planning Board Secretary as follows:

All site plans shall be signed, sealed and folded with the title box legible. The application package shall include:

- 11 copies of the Site Plan Application Form, signed and notarized.
- 11 copies of the SEQR Environmental Assessment Form (use of short form or long form shall be determined at pre-submission conference).
- 5 full size sets of the Site Plan (including floor plans and elevations)
- 1 CD (in pdf. format) containing an electronic version of the Site Plan
- 2 copies of the Disclosure Statement
- 11 copies of the Site Plan Completeness Certification Form
- All supplemental studies, reports, plans and renderings.
- 2 copies of the current deed.
- 2 copies of all easements, covenants and restrictions.
- The appropriate fee, determined from the attached fee schedule. Make checks payable to the *Town of Carmel*.

Rose Yrombetta 6/24/22
Planning Board Secretary; Date

Richard [Signature] 6/28/22
Town Engineer; Date



Per Town of Carmel Code – Section 156 - Zoning

SITE IDENTIFICATION INFORMATION		
Application Name: Liberty Utilities (New York Water) Corp.	Application # 122-0007	Date Submitted: 6/28/22
Site Address: No. 23 Street: General MacArthur Dr Hamlet: Carmel Hamlet		
Property Location: (Identify landmarks, distance from intersections, etc.) Located at the end of General MacArthur between 21 and 25		
Town of Carmel Tax Map Designation: Section 54.20 Block 1 Lot(s) 42	Zoning Designation of Site: Residential	
Property Deed Recorded in County Clerk's Office Date Liber See attached Page	Liens, Mortgages or other Encumbrances Yes No	
Existing Easements Relating to the Site No Yes Describe and attach copies:	Are Easements Proposed? No Yes Describe and attach copies:	
Have Property Owners within a 500' Radius of the Site Been Identified? Yes No Attached List to this Application Form		
APPLICANT/OWNER INFORMATION		
Property Owner: Liberty Utilities (New York Water) Corp.	Phone #: 516-632-2226	Email: christopher.peters@libertyutilities.com
Owners Address: No. 60 Street: Brooklyn Ave Town: Merrick State: NY Zip: 11566		
Applicant (if different than owner):	Phone #:	Email:
Applicant Address (if different than owner): No. Street: Town: State: Zip:	Fax#:	
Individual/ Firm Responsible for Preparing Site Plan: Matthew Mohlin, P.E./H2M architects + engineers	Phone #: 914-358-5623 x1312	Email: mmohlin@h2m.com
Address: No. 2700 Street: Westchester Ave, Suite 415 Town: Purchase State: NY Zip: 10577		
Other Representatives:	Phone #:	Email:
Owners Address: No. Street: Town: State: Zip:	Fax#:	
PROJECT DESCRIPTION		
<p>Describe the project, proposed use and operation thereof: This project includes the construction of a new roughly 300 square building to house a granular activated carbon treatment system for PFAS removal for the West Branch Acres Water System. This site is owned by Liberty Utilities and contains an existing ground storage tank and well/chemical treatment building. The proposed building will be located across the driveway from the existing well/chemical treatment building to limit the amount of disturbance when installing the underground raw water piping to this new proposed building.</p>		

PROJECT INFORMATION

Lot size: Acres: 2.11 Square Feet: 91,944.5 Square footage of all existing structures (by floor): Existing building = 120 SF, existing tank =

of existing parking spaces: 1 # of proposed parking spaces: None proposed

of existing dwelling units: NA # of proposed dwelling units: NA

Is the site served by the following public utility infrastructure:

- Is project in sewer district or will private septic system(s) be installed? NA
- If yes to Sanitary Sewer answer the following:

- ▶ Does approval exist to connect to sewer main? Yes: No:
- ▶ Is this an in-district connection? _____ Out-of district connection? _____
- ▶ What is the total sewer capacity at time of application? _____
- ▶ What is your anticipated average and maximum daily flow _____

For Town of Carmel Town Engineer

▶ What is the sewer capacity NOT APPLICABLE POF 6/28/22

- Water Supply Yes: No:

- If Yes:
- ▶ Does approval exist to connect to water main? Yes: No:
 - ▶ What is the total water capacity at time of application? NA
 - ▶ What is your anticipated average and maximum daily demand NA

NOT APPROVED POF 6/28/22

- Storm Sewer Yes: No:

- Electric Service Yes: No:

- Gas Service Yes: No:

- Telephone/Cable Lines Yes: No:

For Town of Carmel Town Engineer

Water Flows NA
Sewer Flows NA

Redacted POF 6/28/22

Town Engineer, Date

What is the predominant soil type(s) on the site? Groups B and D What is the approximate depth to water table? + - 13 ft

Site slope categories: 15-25% 100 % 25-35% % >35% %

Estimated quantity of excavation: Cut (C.Y.) +40 CY Fill (C.Y.) 0

Is Blasting Proposed Yes: No: Unknown:

Is the site located in a designated Critical Environmental Area? Yes: No:

Does a curb cut exist on the site? Yes: No: Are new curb cuts proposed? Yes: No: What is the sight distance? Left _____ Right _____

Is the site located within 500' of:

- The boundary of an adjoining city, town or village Yes: No:
- The boundary of a state or county park, recreation area or road right-of-way Yes: No:
- A county drainage channel line. Yes: No:
- The boundary of state or county owned land on which a building is located Yes: No:

Is the site listed on the State or Federal Register of Historic Place (or substantially contiguous)
 Yes: No:

Is the site located in a designated floodplain?
 Yes: No:

Will the project require coverage under the Current NYSDEC Stormwater Regulations
 Yes: No:

Will the project require coverage under the Current NYCDEP Stormwater Regulations
 Yes: No:

Does the site disturb more than 5,000 sq ft Yes: No:

Does the site disturb more than 1 acre Yes: No:

Does the site contain freshwater wetlands?
 Yes: No:

Jurisdiction:
 NYSDEC: Town of Carmel:

If present, the wetlands must be delineated in the field by a Wetland Professional, and survey located on the Site Plan.

Are encroachments in regulated wetlands or wetland buffers proposed? Yes: No:

Does this application require a referral to the Environmental Conservation Board? Yes: No:

Does the site contain waterbodies, streams or watercourses? Yes: No:

Are any encroachments, crossings or alterations proposed? Yes: No:

Is the site located adjacent to New York City watershed lands? Yes: No:

Is the project funded, partially or in total, by grants or loans from a public source?
 Yes: No:

Will municipal or private solid waste disposal be utilized?
 Public: Private:

Has this application been referred to the Fire Department? Yes: No:

NA

What is the estimated time of construction for the project?

ZONING COMPLIANCE INFORMATION

Zoning Provision	Required	Existing	Proposed
Lot Area	120,000 SF	91,944 SF	94,944 SF
Lot Coverage	15%	0.1%	0.4%
Lot Width	200' / 100' frontage	260' / 123' frontage	260' / 123' frontage
Lot Depth	200'	275'	275'
Front Yard	40'	84.5'	84.5' / 113.53'
Side Yard	25' / 25'	89.2' / 91.4'	136.26' / 55.97'
Rear Yard	40'	231.9'	166.75'
Minimum Required Floor Area	N/A	N/A	N/A
Floor Area Ratio	N/A	N/A	N/A
Height	35'	12'-8"	16'-6"
Off-Street Parking	4	0	0
Off-Street Loading	N/A	N/A	N/A

Will variances be required? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	If yes, identify variances:
--	-----------------------------

PROPOSED BUILDING MATERIALS

Foundation	Concrete
Structural System	Masonry
Roof	Wood Stick Frame
Exterior Walls	Split Face Block

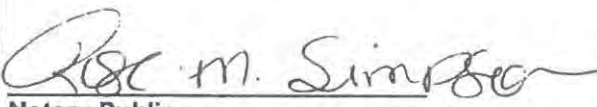
APPLICANTS ACKNOWLEDGEMENT

I hereby depose and certify that all the above statements and information, and all statements and information contained in the supporting documents and drawings attached hereto are true and correct.

CHRISTOPHER PETERS
Applicants Name


Applicants Signature

Sworn before me this 27th day of June 2022


Notary Public

ROSE M. SIMPSON
Notary Public, State of New York
No. 01SI5031048
Qualified in Nassau County
Commission Expires July 25, 2022



TOWN OF CARMEL SITE PLAN COMPLETENESS CERTIFICATION FORM



All Site Plans submitted to the Planning Board for review shall include the following information and details, as set forth in Section 156-61 B of the Town of Carmel Zoning Ordinance.

This form shall be included with the site plan submission

	<i>Requirement Data</i>	<i>To Be Completed by the Applicant</i>	<i>Waived by the Town</i>
1	Name and title of person preparing the site plan	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
2	Name of the applicant and owner (if different from applicant)	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
3	Original drawing date, revision dates, scale and north arrow	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
4	Tax map, block and lot number(s), zoning district	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
5	All existing property lines, name of owner of each property within a 500' radius of the site	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
6	Contour lines at two-foot intervals, grades of all roads, driveways, sanitary and storm sewers	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
7	The location of all water bodies, streams, watercourses, wetland areas, wooded areas, rights-of-way, streets, roads, highways, railroads, buildings, structures	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
8	The location of all existing and proposed easements	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
9	The location of all existing and proposed structures, their use, setback dimensions, floor plans, front, side and rear elevations, buildable area.	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
10	On site circulation systems, access, egress ways and service roads, emergency service access and traffic mitigation measures	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
11	Sidewalks, paths and other means of pedestrian circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12	On-site parking and loading spaces and travel aisles with dimensions	<input type="checkbox"/> NA	<input type="checkbox"/>
13	The location, height and type of exterior lighting fixtures	<input type="checkbox"/> NA	<input type="checkbox"/>
14	Proposed signage	<input type="checkbox"/> NA	<input type="checkbox"/>
15	For non-residential uses, an estimate of the number of employees who will be using the site, description of the operation, types of products sold, types of machinery and equipment used	<input checked="" type="checkbox"/>	<input type="checkbox"/>

[Signature]



TOWN OF CARMEL SITE PLAN COMPLETENESS CERTIFICATION FORM



Requirement Data		To Be Completed by the Applicant	Waived by the Town
16	The location of clubhouses, swimming pools, open spaces, parks or other recreational areas, and identification of who is responsible for maintenance	<input type="checkbox"/> NA	<input type="checkbox"/>
17	The location and design of buffer areas, screening or other landscaping, including grading and water management. A comprehensive landscaping plan in accordance with the Tree Conservation Law	<input checked="" type="checkbox"/>	<input type="checkbox"/>
18	The location of public and private utilities, maintenance responsibilities, trash and garbage areas	<input type="checkbox"/> NA	<input type="checkbox"/>
19	A list, certified by the Town Assessor, of all property owners within 500 feet of the site boundary	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20	Any other information required by the Planning Board which is reasonably necessary to ascertain compliance with this chapter	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Applicants Certification (to be completed by the licensed professional preparing the site plan:

I Matthew Michlin hereby certify that the site plan to which I have attached my seal and signature, meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:



Signature - Applicant

6-27-22
Date

Professionals Seal

Signature - Owner

6-27-22
Date



TOWN OF CARMEL
SITE PLAN COMPLETENESS
CERTIFICATION FORM



Town Certification (to be completed by the Town)

I _____ hereby confirm that the site plan meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:

Rose Trombetta
Signature - Planning Board Secretary

6/28/22
Date

Richard J. [Signature]
Signature - Town Engineer

6/28/22
Date

Short Environmental Assessment Form

Part 1 - Project Information

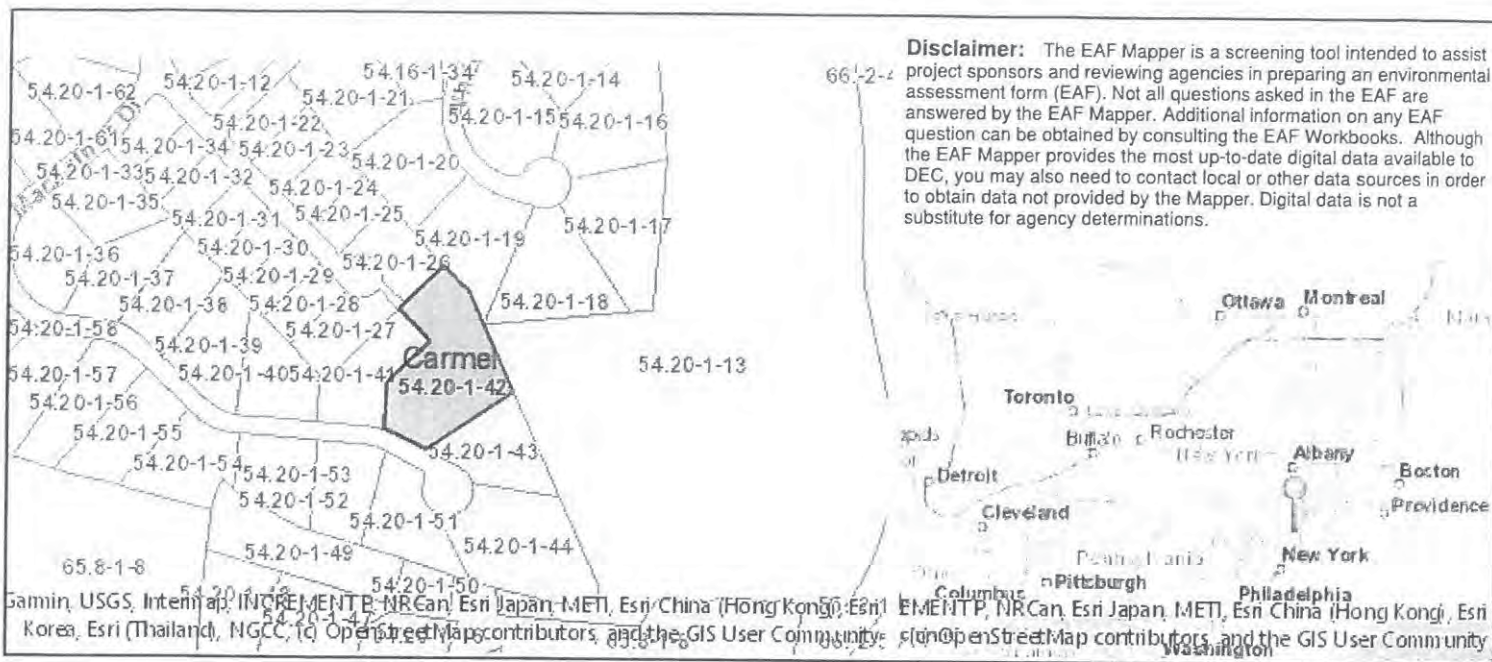
Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Wellhead Treatment at West Branch Acres			
Project Location (describe, and attach a location map): Carmel, NY			
Brief Description of Proposed Action: Installation of activated carbon filters and associated valving and piping for PFOA and PFOS removal.			
Name of Applicant or Sponsor: Christopher Peters		Telephone: 516-632-2226	
		E-Mail: christopher.peters@libertyutilities.com	
Address: 60 Brooklyn Ave			
City/PO: Merrick		State: NY	Zip Code: 11566
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Putnam County Health Department		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

		NO	YES	N/A
5. Is the proposed action,	a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		NO	YES	
		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?		NO	YES	
If Yes, identify: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		NO	YES	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?		NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?		NO	YES	
If No, describe method for providing potable water: _____ _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?		NO	YES	
If No, describe method for providing wastewater treatment: _____ No wastewater will be generated. An onsite drywell will be used to store excess blow off water.		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?		NO	YES	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		NO	YES	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?		<input type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____				



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Northern Long-eared Bat
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No



architects + engineers

STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR STORMWATER CONSTRUCTION PERMIT

WELLHEAD TREATMENT AT WEST BRANCH ACRES

Town of Carmel
Putnam County, New York

H2M Project No.
NYAW2105

APRIL 2022

Prepared for:

Liberty New York Water
60 Brooklyn Avenue
Merrick, New York 11566

Prepared by:

H2M architects + engineers
2700 Westchester Ave, Suite 415
Purchase, New York 10577

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APPENDICES

Appendix A	Location Map FEMA FIRMette NYS DEC Environmental Resources Map US Fish and Wildlife Service Wetlands Map
Appendix B	Soils Report
Appendix C	Example SWPPP Inspection Report
Appendix D	Notice of Intent (NOI)
Appendix E	Signatory Requirements
Appendix F	Contractor & Subcontractor Certification Statements
Appendix G	Engineering Plans

**STORMWATER POLLUTION PREVENTION PLAN (SWPPP)
FOR STORMWATER CONSTRUCTION PERMIT**

**Wellhead Treatment at West Branch Acres
Liberty Water New York
Putnam County, New York**

1. EROSION AND SEDIMENT CONTROL

This Stormwater Pollution Prevention Plan (SWPPP) has been prepared in accordance with the specifications put forth in the New York State Department of Environmental Conservation SPDES General Permit for Stormwater Discharges from Construction Activity (GP-0-15-002). Erosion and sediment control practices are designed in conformance with the New York State Standards and Specifications for Erosion and Sediment Control.

A. PROJECT DESCRIPTION AND SCOPE

The West Branch Acres Water System is a small well field located at the end of Colonel Glenn Drive, in the Town of Carmel, Putnam County, NY (see location map in Appendix A). The site currently consists of a single masonry building, three wells, and a potable water ground storage tank. The project site is approximately 2.09 acres in area. The proposed area of disturbance encompasses approximately 0.09 acres of the site.

The project scope includes the construction of new Granular Activated Carbon Treatment building and associated site piping and valving replacement as shown on the detailed construction drawings included as Appendix G.

The primary potential source of pollution from construction activity associated with this project is sediment resulting from soil disturbance and stormwater runoff. Fuel from equipment used during construction activities and/or stored on-site is another potential source of pollution from this project.

Endangered or Threatened Species: According to the NYSDEC Environmental Resource Mapper, the project site is listed as being in the vicinity of rare animals (see Appendix A for

map). However, construction activity and/or discharges from construction activity are not anticipated to adversely affect endangered or threatened species.

Wetlands and Surface Waters: According to the NYSDEC Environmental Resources mapper and the US Fish and Wildlife Service National Wetlands Inventory mapper, there are no wetlands or surface waters located on the project site (see Appendix A for map). However, wetlands or other waterbodies are located adjacent to the site and within 1,500 feet of the project site. An estuarine and freshwater forested/shrub wetland are located on the south east side of General MacArthur Drive. Both the estuarine and freshwater forested/shrub wetland are separated from the project by General MacArthur Drive. In no case will the project involve soil disturbance within 100 feet of a State regulated wetland.

Historic Places: According NYS Historic Preservation Office Cultural Resource Information System (CRIS), there are no historic sites located within 100 feet of the proposed construction site.

Floodplain/Floodway: According to FEMA FIRM Panel No. 36079C0140E, dated October 2020, the project site is not located within a mapped floodplain or floodway (see Appendix A for a FIRMette map).

B. SOILS

According to the Soil Survey of Putnam County, New York (USDA-NRCS, Web Soil Survey), the soils found at the project site are comprised of Cud (Chatfield-Hollis-Rock outcrop complex, 15 to 35 percent slopes, CsD (Chatfield-Charlton complex, 15 to 35 percent slopes, very rocky), and CrC (Charlton-Chatfield complex, 0 to 15 percent slopes, very rocky). The soils at this site belong to Hydrologic Soil Groups B and D. A soils report for this site is included in Appendix B of this report.

C. CONSTRUCTION SCHEDULE

The following general construction schedule provides the anticipated sequence of the proposed construction activities that may result in soil disturbance. Stabilization of disturbed areas shall be performed as the project progresses in order to minimize the potential for contamination of stormwater runoff.

Sequence of Construction

- 1) Installation of silt fencing, inlet protection, and stabilized construction entrance located as shown on the Site Plan.
- 2) Clearing and grubbing of the project site areas indicated for development and removal of existing site features as necessary for the installation of the proposed improvements.
- 3) Temporary shutdown of system for removals in the existing chemical building and installation of temporary piping to system. Once temporary piping has been installed system shall be operational using only Well No. 1.
- 4) Construction of new treatment building and all associated appurtenances.
- 5) Installation of new well level transmitters and associated wiring.
- 6) Installation of new piping in existing chemical building.
- 7) Installation of new site mains, fittings and valving and electrical conduits and stub up into building.
- 8) Installation of all new electrical equipment, treatment equipment and piping in newly constructed building.
- 9) Terminate new site and building equipment to existing panelboard and control panel as needed.
- 10) Connect either Well Nos. 2 or 3 to granular activated carbon equipment for startup, sampling, and testing. System running on Well No. 1.
- 11) Backfill, disinfect, sample, and pressure test new site main. Receive satisfactory bacteria and pressure results.
- 12) Disinfect and sample new interior equipment and piping. Water shall run to blow off. Receive Health Department approval of tank installation.
- 13) Temporary shut down for removal of temporary by-pass piping. Tie-in new piping to existing well discharge and system piping.
- 14) Seeding of disturbed areas and other final landscaping measures.
- 15) Following final stabilization of disturbed areas, removal of remaining temporary erosion and sediment controls.

D. TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL PRACTICES

Temporary and permanent erosion and sediment control measures shall be installed and maintained by the general contractor (or subcontractor) in accordance with the engineering plans and details, and the New York State Standards and Specifications for Erosion and Sediment Control (NYS Soil and Water Conservation Committee, 2016). Descriptions for these measure are identified in the engineering plans and details in Appendix G.

E. MAINTENANCE AND INSPECTION

Installation and maintenance of all temporary and permanent erosion and sediment control measures will be the responsibility of the general contractor. The general contractor shall ensure that a copy of the approved SWPPP is present on-site and that all sub-contractors are aware of the terms of the approved SWPPP and have signed the proper Certification Form.

The contractor shall have a trained contractor (as defined by GP-0-15-002) inspect the erosion and sediment control practices and pollution prevention measures within the active work area daily to ensure that they are being maintained in effective operating conditions at all times. If deficiencies are identified, the contractor shall begin implementing corrective actions within one business day and shall complete the corrective actions in a reasonable time frame. The trained contractor may stop conducting the maintenance inspections in accordance with the provisions of Part IV.B of GP-0-15-002.

A qualified inspector shall conduct regular site inspections of all erosion and sediment control practices and pollution prevention measures, areas of disturbance, and points of discharge from the construction site. Specifically, the qualified inspector shall inspect all sediment barriers, inlet protection, silt fencing and construction entrances; any un-stabilized, disturbed areas, mulch, and permanent vegetative controls; and staging areas and storage areas for construction materials, waste materials. The inspector shall notify the general contractor of any necessary repairs to damaged or ineffective measures, and any necessary corrective action, including, but not limited to the removal of sediment, stabilization of disturbed areas, or placement of additional measures to ensure proper functioning of the erosion and sediment control practices. The general contractor shall be responsible for immediate implementation of the corrective actions. The inspections shall be conducted at least once every seven days. For construction sites that disturb greater than five (5) acres of soil at any one time, the inspections shall be conducted at least twice every seven days with the two inspections separated by a minimum of two days. The qualified inspector may reduce the frequency of or stop conducting the inspections in accordance with the provisions of Part IV.C.3 of GP-0-15-002. The qualified inspector shall prepare an inspection report for each inspection. An example SWPPP inspection form is provided in Appendix C. All inspection reports shall be maintained on site with the SWPPP.

F. SOLID WASTE MANAGEMENT

There is minimal to no demolition as part of this project. However, any construction debris and waste expected to be generated during the project including asbestos cement piping, steel,

packing material, and domestic waste, (*i.e.* beverage containers, coffee cups, plastic bags and wrappers, etc.) will be properly removed from site. Temporary waste containers (*i.e.* roll-off containers) of sufficient size and number shall be placed within the equipment/material storage areas, to be determined by the general contractor, and accessible on the project site in order to facilitate disposal of construction debris. Waste containers shall have lids or shall be covered during periods of rain to prevent accumulation of water within the containers and to prevent loss of debris from wind. Waste containers shall have watertight bottoms. Waste containers shall not be cleaned or hosed out on the project site. Solid waste containers shall be removed bi-weekly or more frequently as needed. No on-site disposal of any construction materials shall be permitted.

Work areas shall be maintained in an orderly and clean manner to prevent windblown litter from exiting the site. Littering on the project site shall be prohibited. Trash receptacles shall be placed in locations where workers congregate for lunches and breaks. Litter shall be bagged before placement in large waste containers.

Potential toxic and hazardous materials, if any, shall not be disposed of in solid waste containers and shall be segregated in separate containers for transport to an approved off-site receiving area.

G. CHEMICAL STORAGE AND SPILL PREVENTION/RESPONSE

The general contractor is responsible for proper storage of potentially hazardous chemicals on-site and enforcement of proper spill prevention and control measures. Proper storage, clean-up, and spill reporting instructions will be present in the project trailer and will be posted in a conspicuous and accessible location.

Potentially hazardous chemicals and materials that may be used on site include solvents, adhesives, and lubricants. All chemicals shall be stored in their original containers, and according to manufacturer's specifications. Materials shall be stored in covered storage with an impervious lined bottom to prevent leaching of chemicals into the ground. The storage shall be secured to prevent unauthorized entry during non-working hours. An ample supply of appropriate absorbent spill clean-up material will be kept in or near the storage area. The storage area is to be kept clean and well-organized.

In the event of a chemical spill, the contractor should contain the spill in accordance with the manufacturer's recommended methods and must report the spill to the NYS Spill Hotline (1-800-457-7362) within 2 hours of discovery.

H. STORMWATER DISCHARGES FROM INDUSTRIAL ACTIVITY

There are no stormwater discharges associated with industrial activity at the construction site (i.e. asphalt plants and/or concrete plants) proposed as part of this project.

Appendix A

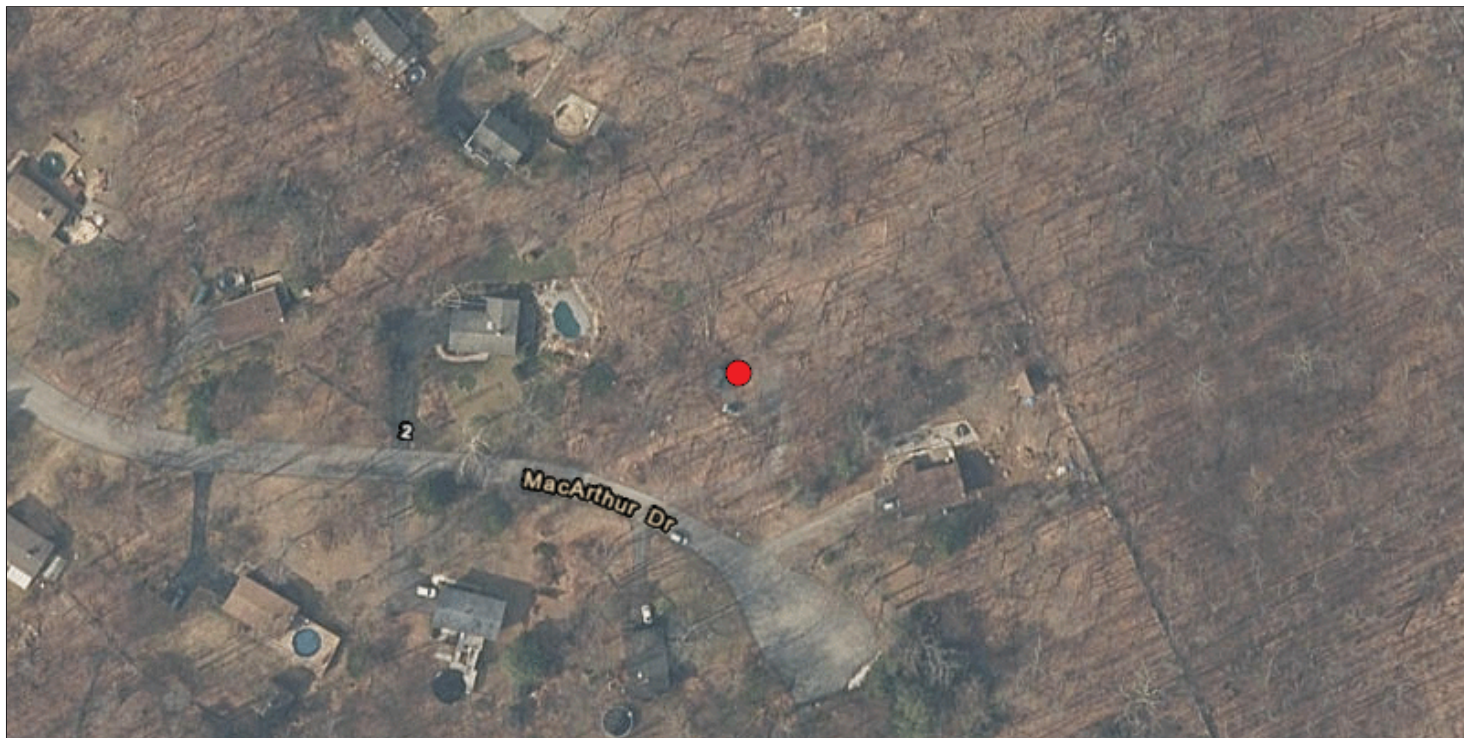
Location Map

FEMA FIRMette

NYS DEC Environmental Resource Map

US Fish and Wildlife Service Wetland Map

Environmental Resource Mapper



The coordinates of the point you clicked on are:

UTM 18	Easting: 609079.8092789891	Northing: 4584306.205902223
Longitude/Latitude	Longitude: -73.69503535026779	Latitude: 41.40291064480134

The approximate address of the point you clicked on is:

23 General MacArthur Dr, Carmel, New York, 10512

County: Putnam

Town: Carmel

USGS Quad: LAKE CARMEL

[Rare Plants and Rare Animals](#)

This location is in the vicinity of Bats Listed as Endangered or Threatened -- Contact NYSDEC Regional Office

If your project or action is within or near an area with a rare animal, a permit may be required if the species is listed as endangered or threatened and the department determines the action may be harmful to the species or its habitat.

If your project or action is within or near an area with rare plants and/or significant natural communities, the environmental impacts may need to be addressed.

The presence of a unique geological feature or landform near a project, unto itself, does not trigger a requirement for a NYS DEC permit. Readers are advised, however, that there is the chance that a unique feature may also show in another data layer (ie. a wetland) and thus be subject to permit jurisdiction.

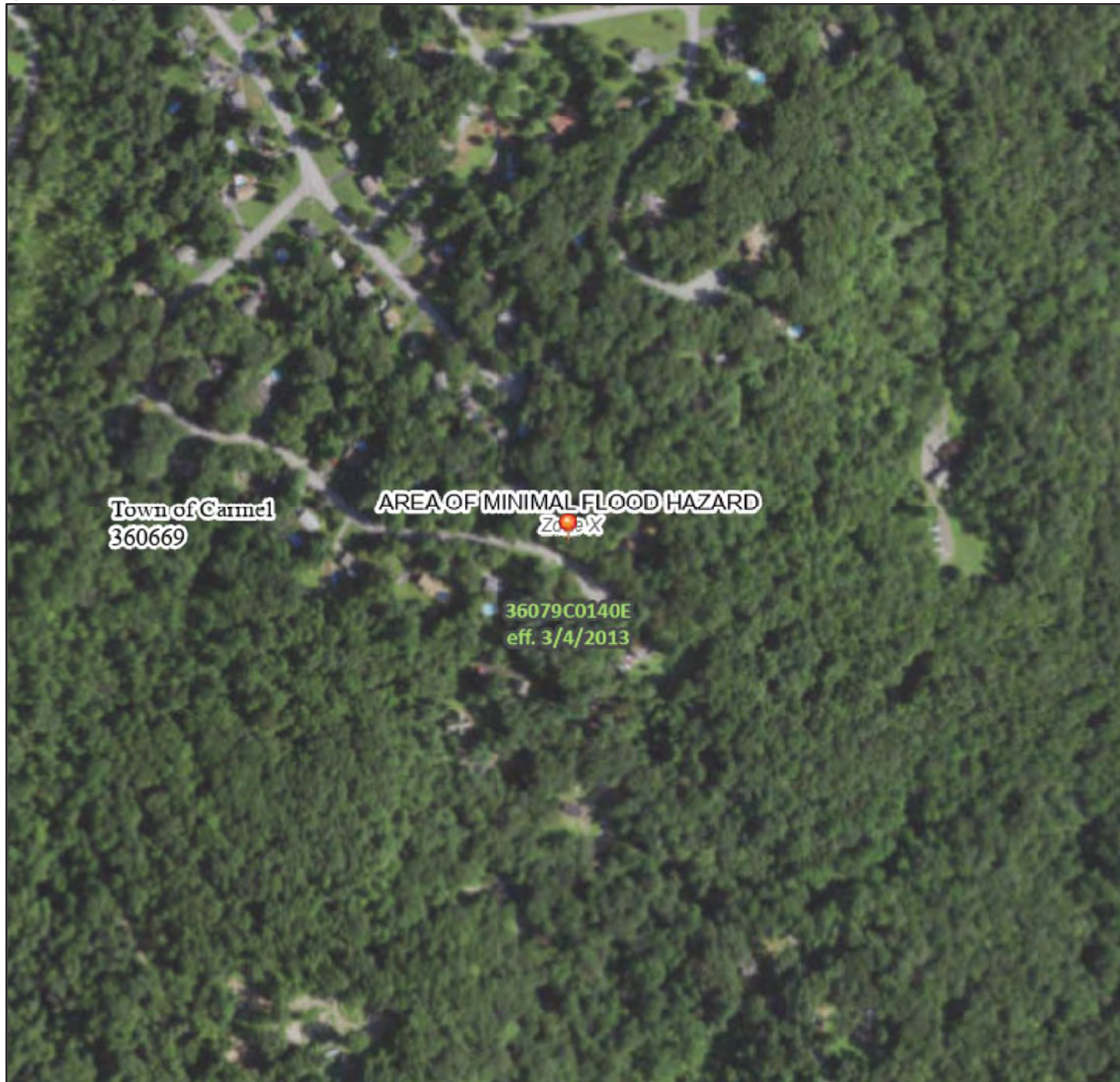
Please refer to the "Need a Permit?" tab for permit information or other authorizations regarding these natural resources.

Disclaimer: If you are considering a project or action in, or near, a wetland or a stream, a NYS DEC permit may be required. The Environmental Resources Mapper does not show all natural resources which are regulated by NYS DEC, and for which permits from NYS DEC are required. For example, Regulated Tidal Wetlands, and Wild, Scenic, and Recreational Rivers, are currently not included on the maps.

National Flood Hazard Layer FIRMMette



73°42'1"W 41°24'23"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) <i>Zone A, V, A99</i>
		With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i>
		Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i>
		Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i>
		Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i>
		Area with Flood Risk due to Levee <i>Zone D</i>
		NO SCREEN Area of Minimal Flood Hazard <i>Zone X</i>

OTHER AREAS		Effective LOMRs
		Area of Undetermined Flood Hazard <i>Zone D</i>

GENERAL STRUCTURES		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall

OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
		17.5 Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
OTHER FEATURES		Profile Baseline
		Hydrographic Feature

MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped

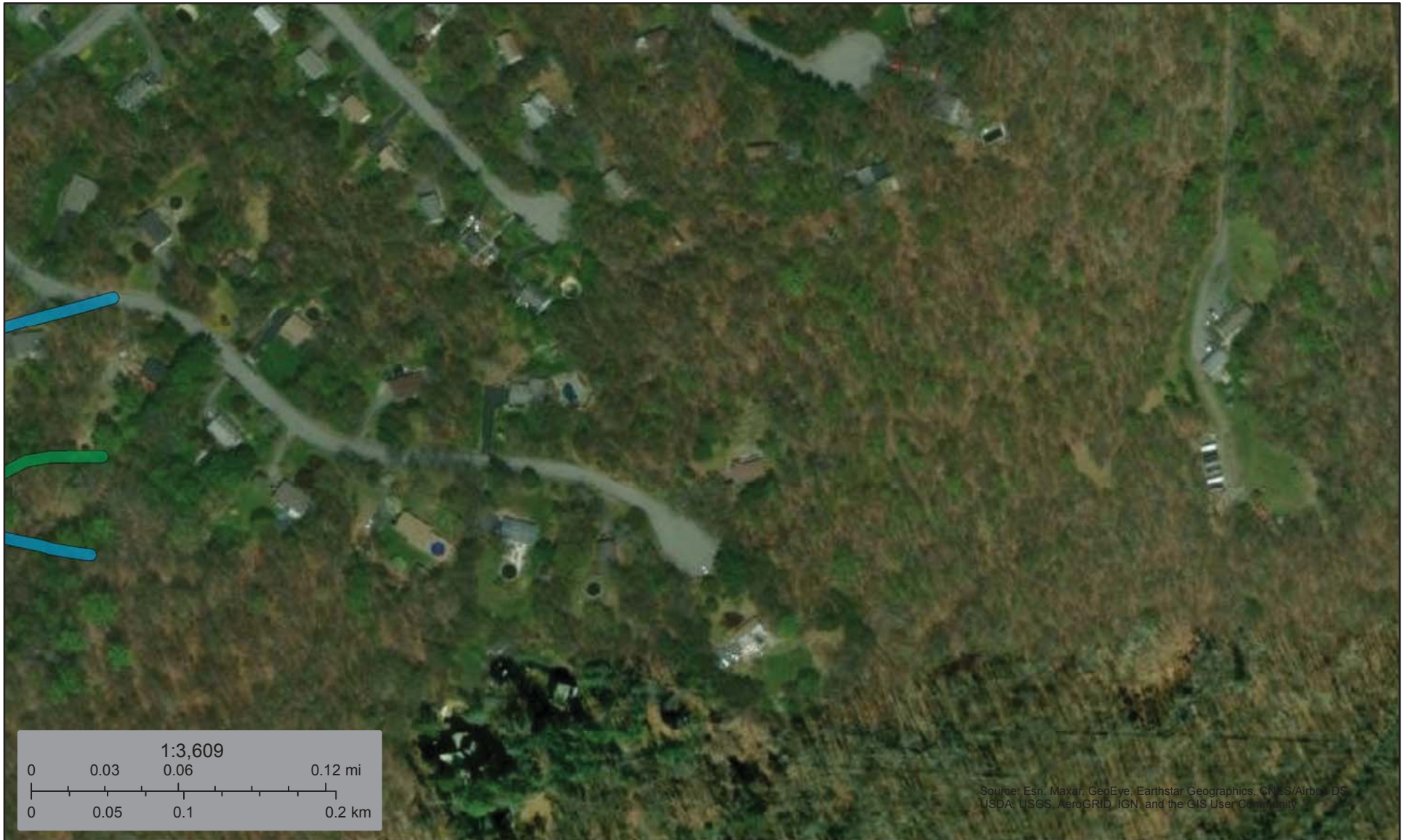


The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **2/10/2022 at 10:31 AM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



February 10, 2022

Wetlands

- | | | | | | |
|---|--------------------------------|---|-----------------------------------|---|----------|
|  | Estuarine and Marine Deepwater |  | Freshwater Emergent Wetland |  | Lake |
|  | Estuarine and Marine Wetland |  | Freshwater Forested/Shrub Wetland |  | Other |
| | |  | Freshwater Pond |  | Riverine |

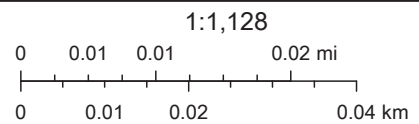
This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

Web AppBuilder for ArcGIS



2/10/2022, 11:11:23 AM

- Address_Points
- Putnam parcels
- Municipal Boundaries



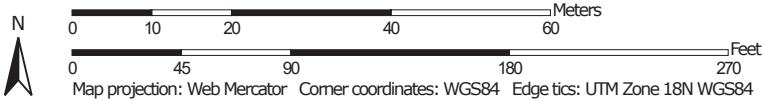
NYS ITS GIS Program Office

Appendix B
Soils Report

Soil Map—Putnam County, New York




Map Scale: 1:948 if printed on A portrait (8.5" x 11") sheet.



MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

Water Features



Streams and Canals

Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

Background



Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:12,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Putnam County, New York

Survey Area Data: Version 18, Sep 1, 2021

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Oct 8, 2020—Oct 14, 2020

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
CrC	Charlton-Chatfield complex, 0 to 15 percent slopes, very rocky	0.4	18.7%
CsD	Chatfield-Charlton complex, 15 to 35 percent slopes, very rocky	1.0	44.2%
CuD	Chatfield-Hollis-Rock outcrop complex, 15 to 35 percent slopes	0.8	37.1%
Totals for Area of Interest		2.3	100.0%

Appendix C

Example SWPPP Inspection Report

CONSTRUCTION STORMWATER INSPECTION REPORT

SECTION A: Site Information

Permit No.:	Date of Inspection:	Time of Inspection:	Date of Last Inspection:
Project Name:		Stage of Construction	Weather Conditions
Site Location:		Site Description:	
Contact at Site:		Title:	
Phone No.:		e-mail:	

SECTION B: Applicant's Information

Name:	e-mail:
Phone No.	Fax No.:
Address:	

SECTION C: General Contractor's Information

Name:	e-mail:
Phone No.	Fax No.:
Address:	

SECTION D: Engineer's Information

Name:	e-mail:
Phone No.	Fax No.:
Address:	

SECTION E: Document Verification

Criteria	NA	YES	NO	Comments
NOI posted at construction site				
SPDES General Permit retained at construction site				
SWPPP retained at construction site				
<ul style="list-style-type: none">Updated as site conditions change				
<ul style="list-style-type: none">Contains monthly/quarterly written summaries of compliance status				

SECTION F: Area of Disturbance

Criteria	NA	YES	NO	Comments
Less than 5 acres of disturbed soil				
• If no, was there prior written approval?				
Disturbance within limits of approved plans				

SECTION G: Water Quality

Polluted discharges	NA	No	Yes	Comments:
Discharges show visible signs of:	__ Sediment __ Floatables __ Oil/Grease __ Turbidity __ Other_____			
Receiving waters impacted:	__ Lake __ Bay __ Stream __ Wetland __ Other_____			

SECTION H: General Site Conditions

Criteria	Condition*				Comments
	NA	S	M	U	
Litter/debris management					
Sediment and erosion control facilities					
Impact on adjacent property					
Dust control					

* NA=Not Applicable; S=Satisfactory; M=Marginal; U=Unsatisfactory

SECTION I: Temporary Stream Crossings

Criteria	Condition*				Comments
	NA	S	M	U	
Pipe size spanning creeks					
Non-woven geotextile fabric installed beneath approaches					
Aggregate fill					
Rock on approaches removes sediment from vehicles and prevents Sediment from entering streams					

* NA=Not Applicable; S=Satisfactory; M=Marginal; U=Unsatisfactory

SECTION J: Runoff Control Practices

Criteria	Condition*				Comments
	NA	S	M	U	
Excavation dewatering					
<ul style="list-style-type: none"> Upstream berms (one-foot min. freeboard) 					
<ul style="list-style-type: none"> Downstream berms 					
<ul style="list-style-type: none"> Clean water from upstream pool pumped to downstream pool 					
<ul style="list-style-type: none"> Sediment-laden water discharged to silt trapping device 					
Level spreader installation (constructed on undisturbed soil)					
<ul style="list-style-type: none"> Flow sheets do not erode downstream edge 					
Interceptor dikes and swales installation					
<ul style="list-style-type: none"> Side slopes 2:1 or flatter 					
<ul style="list-style-type: none"> Stabilized by geotextile fabric, seed or mulch 					
<ul style="list-style-type: none"> Sediment-laden runoff is directed to sediment trapping device 					
Stone check dams installation					
<ul style="list-style-type: none"> Stable channel 					
<ul style="list-style-type: none"> Lack of a permanent pool behind dam 					
<ul style="list-style-type: none"> Regular removal of accumulated sediment 					
Rock outlet protection installation					
<ul style="list-style-type: none"> Installed concurrently with pipe installation 					

* NA=Not Applicable; S=Satisfactory; M=Marginal; U=Unsatisfactory

SECTION K: Soil Stabilization

Criteria	Condition*				Comments
	NA	S	M	U	
Topsoil and stockpiles					
<ul style="list-style-type: none"> With vegetation 					
<ul style="list-style-type: none"> With mulch 					
<ul style="list-style-type: none"> Sediment control installed at toe of slope 					
Revegetation					
<ul style="list-style-type: none"> Temporary seeding and mulch applied to idle areas 					
<ul style="list-style-type: none"> Minimum of 4 inches topsoil applied under permanent seedings 					

* NA=Not Applicable; S=Satisfactory; M=Marginal; U=Unsatisfactory

SECTION L: Sediment Control Practices

Criteria	Condition*				Comments
	NA	S	M	U	
Stabilized construction entrance installation					
<ul style="list-style-type: none"> • Drainage prevents ponding 					
<ul style="list-style-type: none"> • Stone removes mud from vehicles 					
<ul style="list-style-type: none"> • All traffic uses the entrance 					
Silt fence installation					
<ul style="list-style-type: none"> • On contour and 10' from toe of slope 					
<ul style="list-style-type: none"> • Not across conveyance channels 					
<ul style="list-style-type: none"> • End stakes wrapped together at joints 					
<ul style="list-style-type: none"> • Fabric is buried min 6" 					
<ul style="list-style-type: none"> • Posts are stable, fabric is tight and not damaged 					
<ul style="list-style-type: none"> • Sediment accumulation (note % of design capacity in comments) 					
Storm drain inlet protection					
<ul style="list-style-type: none"> • Drainage area is less than 1 acre 					
<ul style="list-style-type: none"> • Sediment accumulation (note % of design capacity in comments) 					
<ul style="list-style-type: none"> • Excavated drop inlet protection 					
<ul style="list-style-type: none"> - 900 cu. ft. per acre of disturbed land 					
<ul style="list-style-type: none"> - 2:1 side slopes 					
<ul style="list-style-type: none"> • Stone and block drop inlet protection 					
<ul style="list-style-type: none"> - Concrete blocks installed lengthwise 					
<ul style="list-style-type: none"> - Wire screen placed between #3 crushed stone & concrete blocks 					
<ul style="list-style-type: none"> • Filter fabric drop inlet protection 					
<ul style="list-style-type: none"> - 2"x4" frame 					
<ul style="list-style-type: none"> - Posts (stable; spaced max. 3' apart) 					
<ul style="list-style-type: none"> - Fabric *undamaged; embedded 1' to 1.5' below ground; stapled to frame/posts at max. spacing of 8" 					
<ul style="list-style-type: none"> • Curb drop inlet protection 					
<ul style="list-style-type: none"> - 2"x4" frame 					
<ul style="list-style-type: none"> - Continuous wire mesh across throat (30" min. width, 4' longer than throat) shaped and nailed to 2"x4" weir 					
<ul style="list-style-type: none"> - Weir nailed to 2"x4" spacers (9" long, 6' max. apart) 					
<ul style="list-style-type: none"> - Placed across inlet and secured by 2"x4" 					

* NA=Not Applicable; S=Satisfactory; M=Marginal; U=Unsatisfactory

SECTION L: Sediment Control Practices (Con't)

Criteria	Condition*				Comments
	NA	S	M	U	
Temporary sediment trap installation					
<ul style="list-style-type: none"> Geotextile fabric placed beneath rock fill 					
<ul style="list-style-type: none"> Sediment accumulation (note % of design capacity in comments) 					
Temporary sediment basin installation					
<ul style="list-style-type: none"> Side slopes stabilized with seed or mulch 					
<ul style="list-style-type: none"> Structure flushed and surface restored upon removal of facility 					
<ul style="list-style-type: none"> Sediment accumulation (note % of design capacity in comments) 					
Inspections occur at least every 7 calendar days					
Inspections occur at within 24 hours of any storm event of 0.5" or greater					
Effectiveness of erosion and sediment control practices is evaluated at time of inspection and documented					
Inspection reports maintained in log book at site and are available for review					
Sediment is removed from traps/ponds when design capacity is reduced by 50%					
Site inspections are being performed by a qualified inspector					
Reports are properly signed/certified					

* NA=Not Applicable; S=Satisfactory; M=Marginal; U=Unsatisfactory

SECTION N: Additional Comments/Notes

SECTION O: Overall Inspection Rating

<input type="checkbox"/> Satisfactory	<input type="checkbox"/> Marginal	<input type="checkbox"/> Unsatisfactory
--	--	--

Form Completed By:

Name (Print):	Signature:	Date:
---------------	------------	-------

Appendix D
Notice of Intent (NOI)

0644089821

NOTICE OF INTENT



**New York State Department of Environmental Conservation
Division of Water
625 Broadway, 4th Floor
Albany, New York 12233-3505**

NYR
(For DEC use only)

Stormwater Discharges Associated with Construction Activity Under State Pollutant Discharge Elimination System (SPDES) General Permit # GP-0-15-002
All sections must be completed unless otherwise noted. Failure to complete all items may result in this form being returned to you, thereby delaying your coverage under this General Permit. Applicants must read and understand the conditions of the permit and prepare a Stormwater Pollution Prevention Plan prior to submitting this NOI. Applicants are responsible for identifying and obtaining other DEC permits that may be required.

- IMPORTANT -
RETURN THIS FORM TO THE ADDRESS ABOVE
OWNER/OPERATOR MUST SIGN FORM

Owner/Operator Information

Owner/Operator (Company Name/Private Owner Name/Municipality Name)

L i b e r t y N e w Y o r k W a t e r

Owner/Operator Contact Person Last Name (NOT CONSULTANT)

A l a r i o

Owner/Operator Contact Person First Name

C h r i s

Owner/Operator Mailing Address

6 0 B r o o k l y n A v e

City

M e r r i c k

State

N Y

Zip

1 1 5 6 6 -

Phone (Owner/Operator)

5 6 2 - 8 0 5 - 2 0 9 8

Fax (Owner/Operator)

- -

Email (Owner/Operator)

C h r i s . A l a r i o @ l i b e r t y u t i l i t i e s . c o m

FED TAX ID

1 1 - 1 5 1 6 9 6 6 (not required for individuals)

6401089828

Project Site Information

Project/Site Name

W e l l h e a d T r e a t m e n t a t W e s t B r a n c h A c r e s

Street Address (NOT P.O. BOX)

3 9 C o l o n e l G l e n n D r i v e

Side of Street

North South East West

City/Town/Village (THAT ISSUES BUILDING PERMIT)

C a r m e l

State

N Y

Zip

1 0 5 1 2 -

County

P u t n a m

DEC Region

3

Name of Nearest Cross Street

G e n e r a l M c A r t h u r D r i v e

Distance to Nearest Cross Street (Feet)

8 0 0

Project In Relation to Cross Street

North South East West

Tax Map Numbers

Section-Block-Parcel
5 4 . 2 0 . 0 1 - 4

Tax Map Numbers

1. Provide the Geographic Coordinates for the project site in NYTM Units. To do this you **must** go to the NYSDEC Stormwater Interactive Map on the DEC website at:

www.dec.ny.gov/imsmaps/stormwater/viewer.htm

Zoom into your Project Location such that you can accurately click on the centroid of your site. Once you have located your project site, go to the tool boxes on the top and choose "i"(identify). Then click on the center of your site and a new window containing the X, Y coordinates in UTM will pop up. Transcribe these coordinates into the boxes below. For problems with the interactive map use the help function.

X Coordinates (Easting)

6 0 9 0 8 2

Y Coordinates (Northing)

4 5 8 4 3 1 6

2. What is the nature of this construction project?

- New Construction
- Redevelopment with increase in impervious area
- Redevelopment with no increase in impervious area

0182089828

Post-construction Stormwater Management Practice (SMP) Requirements

Important: Completion of Questions 27-39 is not required if response to Question 22 is No.

27. Identify all site planning practices that were used to prepare the final site plan/layout for the project.

- Preservation of Undisturbed Areas**
- Preservation of Buffers**
- Reduction of Clearing and Grading**
- Locating Development in Less Sensitive Areas**
- Roadway Reduction**
- Sidewalk Reduction**
- Driveway Reduction**
- Cul-de-sac Reduction**
- Building Footprint Reduction**
- Parking Reduction**

27a. Indicate which of the following soil restoration criteria was used to address the requirements in Section 5.1.6("Soil Restoration") of the Design Manual (2010 version).

- All disturbed areas will be restored in accordance with the Soil Restoration requirements in Table 5.3 of the Design Manual (see page 5-22).
- Compacted areas were considered as impervious cover when calculating the **WQv Required**, and the compacted areas were assigned a post-construction Hydrologic Soil Group (HSG) designation that is one level less permeable than existing conditions for the hydrology analysis.

28. Provide the total Water Quality Volume (WQv) required for this project (based on final site plan/layout).

Total WQv Required

. **acre-feet**

29. Identify the RR techniques (Area Reduction), RR techniques (Volume Reduction) and Standard SMPs with RRv Capacity in Table 1 (See Page 9) that were used to reduce the Total WQv Required(#28).

Also, provide in Table 1 the total impervious area that contributes runoff to each technique/practice selected. For the Area Reduction Techniques, provide the total contributing area (includes pervious area) and, if applicable, the total impervious area that contributes runoff to the technique/practice.

Note: Redevelopment projects shall use Tables 1 and 2 to identify the SMPs used to treat and/or reduce the WQv required. If runoff reduction techniques will not be used to reduce the required WQv, skip to question 33a after identifying the SMPs.

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Table 1 - Runoff Reduction (RR) Techniques and Standard Stormwater Management Practices (SMPs)

<u>RR Techniques (Area Reduction)</u>	<u>Total Contributing Area (acres)</u>		and/or	<u>Total Contributing Impervious Area (acres)</u>	
<input type="radio"/> Conservation of Natural Areas (RR-1) ...	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Sheetflow to Riparian Buffers/Filters Strips (RR-2)	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Tree Planting/Tree Pit (RR-3)	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Disconnection of Rooftop Runoff (RR-4) ..	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
 <u>RR Techniques (Volume Reduction)</u>					
<input type="radio"/> Vegetated Swale (RR-5)	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Rain Garden (RR-6)	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Stormwater Planter (RR-7)	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Rain Barrel/Cistern (RR-8)	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Porous Pavement (RR-9)	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Green Roof (RR-10)	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
 <u>Standard SMPs with RRv Capacity</u>					
<input type="radio"/> Infiltration Trench (I-1)	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Infiltration Basin (I-2)	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Dry Well (I-3)	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Underground Infiltration System (I-4)	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Bioretention (F-5)	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Dry Swale (O-1)	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
 <u>Standard SMPs</u>					
<input type="radio"/> Micropool Extended Detention (P-1)	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Wet Pond (P-2)	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Wet Extended Detention (P-3)	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Multiple Pond System (P-4)	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Pocket Pond (P-5)	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Surface Sand Filter (F-1)	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Underground Sand Filter (F-2)	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Perimeter Sand Filter (F-3)	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Organic Filter (F-4)	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Shallow Wetland (W-1)	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Extended Detention Wetland (W-2)	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Pond/Wetland System (W-3)	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Pocket Wetland (W-4)	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Wet Swale (O-2)	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>

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33. Identify the Standard SMPs in Table 1 and, if applicable, the Alternative SMPs in Table 2 that were used to treat the remaining total WQv(=Total WQv Required in 28 - Total RRv Provided in 30).

Also, provide in Table 1 and 2 the total impervious area that contributes runoff to each practice selected.

Note: Use Tables 1 and 2 to identify the SMPs used on Redevelopment projects.

33a. Indicate the Total WQv provided (i.e. WQv treated) by the SMPs identified in question #33 and Standard SMPs with RRv Capacity identified in question 29.

WQv Provided
 . **acre-feet**

Note: For the standard SMPs with RRv capacity, the WQv provided by each practice = the WQv calculated using the contributing drainage area to the practice - RRv provided by the practice. (See Table 3.5 in Design Manual)

34. Provide the sum of the Total RRv provided (#30) and the WQv provided (#33a). .

35. Is the sum of the RRv provided (#30) and the WQv provided (#33a) greater than or equal to the total WQv required (#28)? **Yes** **No**

If Yes, go to question 36.
If No, sizing criteria has not been met, so NOI can not be processed. SWPPP preparer must modify design to meet sizing criteria.

36. Provide the total Channel Protection Storage Volume (CPv) required and provided or select waiver (36a), if applicable.

CPv Required . **acre-feet** **CPv Provided** . **acre-feet**

36a. The need to provide channel protection has been waived because:

- Site discharges directly to tidal waters or a fifth order or larger stream.
- Reduction of the total CPv is achieved on site through runoff reduction techniques or infiltration systems.

37. Provide the Overbank Flood (Qp) and Extreme Flood (Qf) control criteria or select waiver (37a), if applicable.

Total Overbank Flood Control Criteria (Qp)

Pre-Development . **CFS** **Post-development** . **CFS**

Total Extreme Flood Control Criteria (Qf)

Pre-Development . **CFS** **Post-development** . **CFS**

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Owner/Operator Certification

I have read or been advised of the permit conditions and believe that I understand them. I also understand that, under the terms of the permit, there may be reporting requirements. I hereby certify that this document and the corresponding documents were prepared under my direction or supervision. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. I further understand that coverage under the general permit will be identified in the acknowledgment that I will receive as a result of submitting this NOI and can be as long as sixty (60) business days as provided for in the general permit. I also understand that, by submitting this NOI, I am acknowledging that the SWPPP has been developed and will be implemented as the first element of construction, and agreeing to comply with all the terms and conditions of the general permit for which this NOI is being submitted.

Print First Name

C h r i s

MI

Print Last Name

A l a r i o

Owner/Operator Signature

DocuSigned by:
Chris Alario
73E10864D093446...

Date

/ /

Appendix E
Signatory Requirements

Signatory Requirements:

Pursuant to NYSDEC SPDES General Permit for Stormwater Discharges from Construction Activity (GP-0-15-002), signatory requirements for all NOIs, NOTs, SWPPPs, MS4 SWPPP Acceptance forms, reports, certifications or information required by the aforementioned permit are as follows:

- 1) All NOIs and NOTs shall be signed as follows:
 - a) For a corporation these forms shall be signed by a responsible corporate officer. For the purpose of this section, a responsible corporate officer means:
 - i) a president, secretary, treasurer, or vice-president of the corporation in charge of a principal business function, or any other person who performs similar policy or decision-making functions for the corporation; or
 - ii) the manager of one or more manufacturing, production or operating facilities, provided the manager is authorized to make management decisions which govern the operation of the regulated facility including having the explicit or implicit duty of making major capital investment recommendations, and initiating and directing other comprehensive measures to assure long term environmental compliance with environmental laws and regulations; the manager can ensure that the necessary systems are established or actions taken to gather complete and accurate information for permit application requirements; and where authority to sign documents has been assigned or delegated to the manager in accordance with corporate procedures;
 - b) For a partnership or sole proprietorship these forms shall be signed by a general partner or the proprietor, respectively; or
 - c) For a municipality, State, Federal, or other public agency these forms shall be signed by either a principal executive officer or ranking elected official. For purposes of this section, a principal executive officer of a Federal agency includes:
 - i) the chief executive officer of the agency, or
 - ii) a senior executive officer having responsibility for the overall operations of a principal geographic unit of the agency (e.g. Regional Administrators of EPA).
- 2) The SWPPP and other information requested by the Department shall be signed by a person described above or by a duly authorized representative of that person. A person is a duly authorized representative only if:
 - a) The authorization is made in writing by a person described in 1) above;
 - b) The authorization specifies either an individual or a position having responsibility for the overall operation of the regulated facility or activity, such as the position of plant

manager, operator of a well or a well field, superintendent, position of equivalent responsibility, or an individual or position having overall responsibility for environmental matters for the company. (A duly authorized representative may thus be either a named individual or any individual occupying a named position) and,

- c) The written authorization shall include the name, title and signature of the authorized representative and be attached to the SWPPP.

- 3) All inspection reports shall be signed by the *qualified inspector* that performs the inspection.

- 4) The MS4 SWPPP Acceptance form shall be signed by the principal executive officer or ranking elected official from the *regulated, traditional land use control MS4*, or by a duly authorized representative of that person.

It shall constitute a permit violation if an incorrect and/or improper signatory authorizes any required forms, SWPPP and/or inspection reports.

Appendix F

Contractor & Subcontractor Certification
Statements

Contractor or Subcontractor Certification Statement

"I hereby certify under penalty of law that I understand and agree to comply with the terms and conditions of the SWPPP and agree to implement any corrective actions identified by the *qualified inspector* during a site inspection. I also understand that the *owner or operator* must comply with the terms and conditions of the most current version of the New York State Pollutant Discharge Elimination System ("SPDES") general permit for stormwater discharges from construction activities and that it is unlawful for any person to cause or contribute to a violation of water quality standards. Furthermore, I am aware that there are significant penalties for submitting false information, that I do not believe to be true, including the possibility of fine and imprisonment for knowing violations."

Contractor Name: _____

Address: _____

Telephone number: _____

Contractor Representative:

Name: _____ Title: _____

Signature: _____ Date: _____

Trained Contractor (if different from above):

Name: _____ Title: _____

Signature: _____ Date: _____

SWPPP Responsibilities

Elements of SWPPP above contractor is responsible for implementing:

Contractor or Subcontractor Certification Statement

"I hereby certify under penalty of law that I understand and agree to comply with the terms and conditions of the SWPPP and agree to implement any corrective actions identified by the *qualified inspector* during a site inspection. I also understand that the *owner or operator* must comply with the terms and conditions of the most current version of the New York State Pollutant Discharge Elimination System ("SPDES") general permit for stormwater discharges from construction activities and that it is unlawful for any person to cause or contribute to a violation of water quality standards. Furthermore, I am aware that there are significant penalties for submitting false information, that I do not believe to be true, including the possibility of fine and imprisonment for knowing violations."

Contractor Name: _____

Address: _____

Telephone number: _____

Contractor Representative:

Name: _____ Title: _____

Signature: _____ Date: _____

Trained Contractor (if different from above):

Name: _____ Title: _____

Signature: _____ Date: _____

SWPPP Responsibilities

Elements of SWPPP above contractor is responsible for implementing:

Contractor or Subcontractor Certification Statement

"I hereby certify under penalty of law that I understand and agree to comply with the terms and conditions of the SWPPP and agree to implement any corrective actions identified by the *qualified inspector* during a site inspection. I also understand that the *owner or operator* must comply with the terms and conditions of the most current version of the New York State Pollutant Discharge Elimination System ("SPDES") general permit for stormwater discharges from construction activities and that it is unlawful for any person to cause or contribute to a violation of water quality standards. Furthermore, I am aware that there are significant penalties for submitting false information, that I do not believe to be true, including the possibility of fine and imprisonment for knowing violations."

Contractor Name: _____

Address: _____

Telephone number: _____

Contractor Representative:

Name: _____ Title: _____

Signature: _____ Date: _____

Trained Contractor (if different from above):

Name: _____ Title: _____

Signature: _____ Date: _____

SWPPP Responsibilities

Elements of SWPPP above contractor is responsible for implementing:

Appendix G
Engineering Plans

Liberty New York Water

Wellhead Treatment at West Branch Acres

Carmel, NY

NYAW2105
MAY 2022



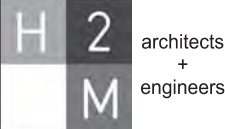
PROJECT LOCATION

SITE LOCATION MAP



MANAGER OF HUDSON VALLEY OPERATION
STEVE WONDRAK

MANAGER OF ENGINEERING
JOHN KILPATRICK



2700 Westchester Ave., Suite 415
Purchase, NY 10577
914.358.5623 • www.h2m.com



DESIGNED BY JMA	DRAWN BY JMA	CHECKED BY	REVIEWED BY
PROJECT No. NYAW2105	DATE MAY 2022	SCALE AS SHOWN	

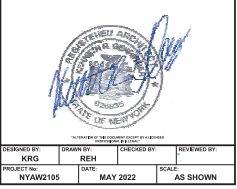
CLIENT
Liberty New York Water
Wellhead Treatment at West Branch Acres
Carmel, NY

STATUS
FINAL BID DOCUMENT

PROPOSED No.
G 000,00

MARK	DATE	DESCRIPTION

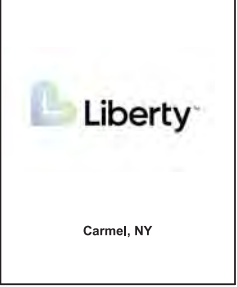
MARK	DATE	DESCRIPTION



DESIGNED BY: KRIG | DRAWN BY: REH | CHECKED BY: | REVIEWED BY: |
PROJECT No: NYAWZ105 | DATE: MAY 2022 | SCALE: AS SHOWN

CLIENT
Liberty New York Water

Wellhead Treatment at West Branch Acres



Carmel, NY

CONTRACT

STATUS
FINAL BID DOCUMENT

SHEET TITLE
GAC BUILDING ROOF PLAN

SHEET No.
A1 130.00



- IN ADDITION TO THE LOCATIONS ON THE PLAN, STORMGUARD LEAK BARRIER MUST BE INSTALLED AT LEAST 24"
- AT ALL RIDGES AND VALLEYS
 - AT ALL DORMERS, CHIMNEYS AND SIDEWALLS
 - AROUND ALL PENETRATIONS
 - AT ALL RAKES AND EAVES INSIDE THE WARM WALL IN ALL REGIONS AFFECTED BY ICE DAMS

2 Ice & Water Shield Locations

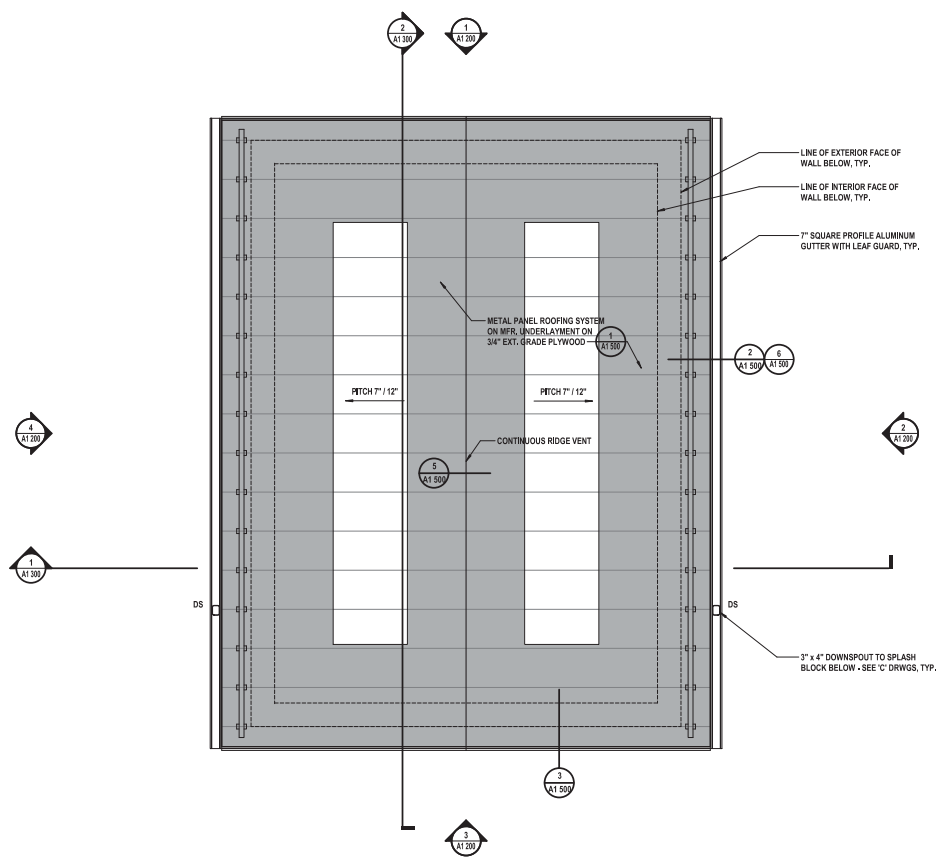
SCALES

ROOF LEGEND:

- ROOF SLOPE
- ICE AND WATER SHIELD (A1 130)
- SNOW GUARDS

GENERAL ROOFING NOTES - PITCHED ROOF (METAL)

- THESE DRAWINGS PROVIDE A GRAPHICAL REPRESENTATION OF PRINCIPAL ROOFING ITEMS IS NOT A COMPLETE LIST OF EVERY ROOFING ITEM & ACCESSORY. THE DRAWINGS MUST BE COORDINATED WITH ALL OTHER DWGS, THE SPECIFICATIONS, ROOF DETAILS & MANUFACTURER REQUIREMENTS.
- THE INTENDED SCOPE OF WORK INCLUDES THE COMPLETE INSTALLATION OF A NEW STANDING SEAM METAL PANEL ROOF SYSTEM. THE BIDDING CONTRACTOR MUST BE EXPERIENCED WITH ROOFING SYSTEMS, REQUIRED COMPONENTS AND THE INSTALLATION REQUIRED, INCLUDING ALL MANUFACTURERS REQUIREMENTS AND ROOFING BEST PRACTICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS, LABOR, ROOFING ITEMS AND ACCESSORIES REQUIRED FOR INSTALLATION & A WATER TIGHT WARRANTED ROOF SYSTEM INCLUDING ALL INCIDENTAL WORK AND DETAILS WHETHER INDICATED ON THE DRAWINGS OR NOT, THE ROOFING SYSTEM AND INSTALLATION MUST WITHSTAND THE WIND SPEEDS NOTED ON THE STRUCTURAL DRAWINGS.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS AND HEIGHTS OF ALL ROOF PENETRATIONS. THE CONTRACTOR SHALL PROTECT AT ALL TIMES THE BUILDING INTERIOR, EXTERIOR, & GROUNDS, ANY DAMAGED ITEMS THAT RESULTED FROM, AND DURING, ROOFING INSTALLATION SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER AND INCLUDES BUT IS NOT LIMITED TO DEBRIS, WATER LEAKS, ETC. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN A WEATHER TIGHT ROOF AT ALL TIMES.
- THE NEW ROOF FLASHING SHALL EXTEND A FULL 12" ALONG ALL ADJOINING VERTICAL SURFACES AS RECOMMENDED BY THE MANUFACTURER, THE CONTRACTOR SHALL VERIFY THE HEIGHTS OF COUNTER FLASHING PRIOR TO INSTALLATION, THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL LABOR AND MATERIALS AS REQUIRED TO MAKE ADJUSTMENTS & REMOVE AND REINSTALL SIDING MATERIALS AS REQUIRED.
- PROVIDE CRICKETS AT ROOF HATCH & OTHER REQUIRED ROOFING PENETRATIONS PER MANUFACTURER'S SPECIFICATIONS TO PROVIDE PITCH & PREVENT PONDING.
- CONTRACTOR SHALL FOLLOW MANUFACTURER, NCRA, AND OTHER PERTINENT ROOFING STANDARDS FOR THIS WORK. THE ALUMINUM DRIP EDGE SHALL BE OF UNIFORM LENGTH AND LEVEL AROUND THE ENTIRE PERIMETER.
- CONTRACTOR SHALL FIELD MEASURE AND VERIFY ALL ROOFING MATERIAL QUANTITIES PRIOR TO PURCHASING ROOFING MATERIAL.
- COORDINATE THE WORK REQUIRED ON THIS DRAWING WITH ALL STRUCTURAL, ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS, AND SPECIFICATIONS.
- CONTRACTOR SHALL REVIEW, COORDINATE, AND INSTALL SLEEVES AND LOCATE ALL MECHANICAL PENETRATIONS REQUIRED TO ACCOMMODATE ALL WORK DETAILED OR SPECIFIED.
- THE DETAILS ON THE FOLLOWING SHEETS ARE TYPICAL MANUFACTURER DETAILS, CONDITIONS WHICH MAY OR MAY NOT APPLY TO ALL BUILDINGS CONDITIONS, ADDITIONAL DETAILS MAY BE REQUIRED FROM THE MANUFACTURER FOR SPECIFIC FIELDS CONDITIONS.
- ROOF UNDERLAYMENT SHALL BE APPLIED WITH CORROSION - RESISTANT FASTENERS IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS, UNDERLAYMENT SHALL BE APPLIED IN ACCORDANCE WITH BCNYS SECTION 1507.4.5.
- PROVIDE ICE & WATER SHIELD UNDERNEATH METAL PANEL ROOF SYSTEM WHERE SHOWN AND AS REQ'D BY MFR.
- STANDING SEAM METAL ROOF SHALL BE INSTALLED IN ACCORDANCE WITH BCNYS SECTION 1507.4



1 GAC Building Roof Plan
SCALE: 1/2" = 1'-0"

CONTRACT NO.

MARK	DATE	DESCRIPTION



DESIGNED BY: KRIG	DRAWN BY: REH	CHECKED BY:	REVIEWED BY:
PROJECT NO.: NYAW2105	DATE: MAY 2022	SCALE: AS SHOWN	

CLIENT

Liberty New York Water

Wellhead Treatment at West Branch Acres



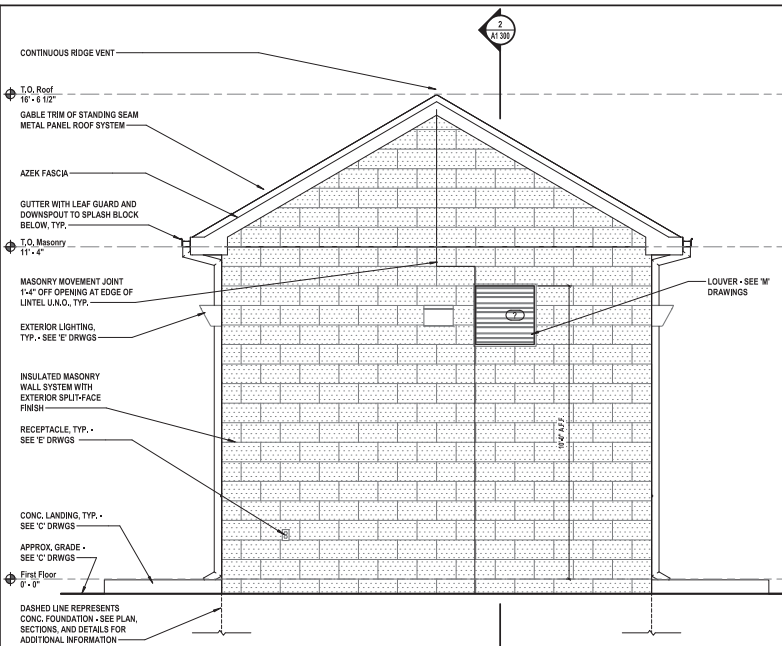
Carmel, NY

CONTRACT

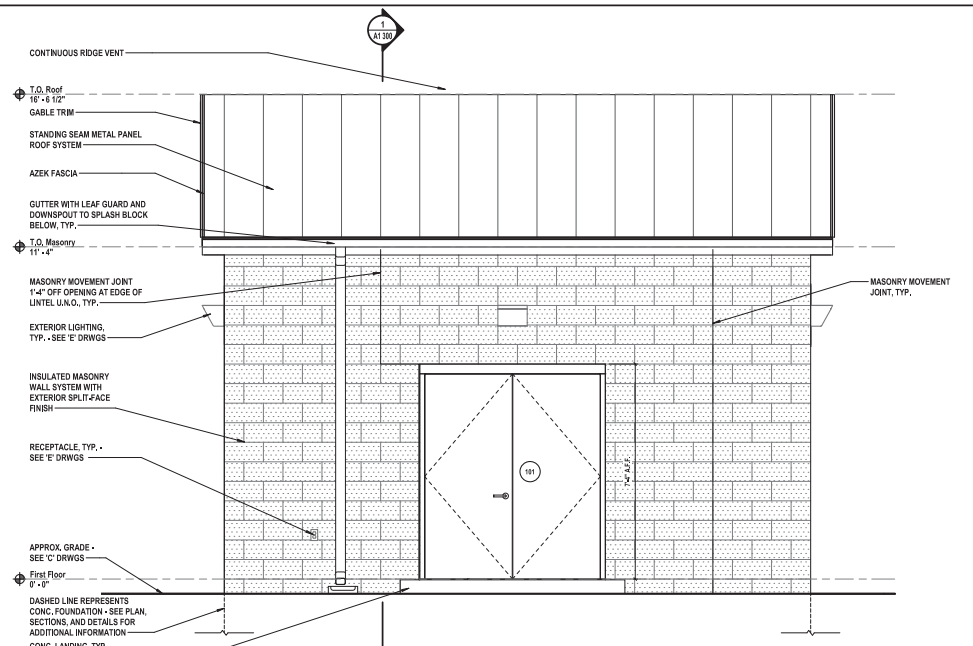
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SHEET TITLE: **GAC BUILDING ELEVATIONS**

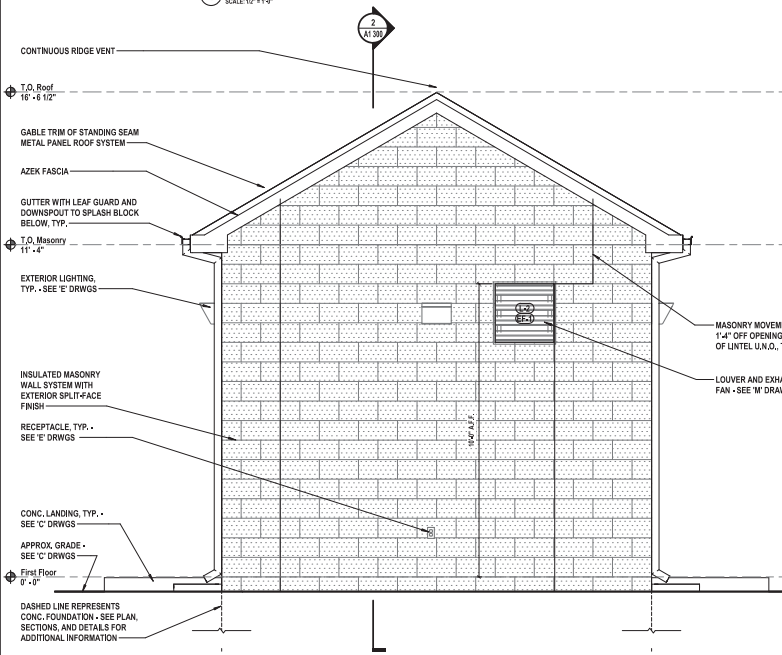
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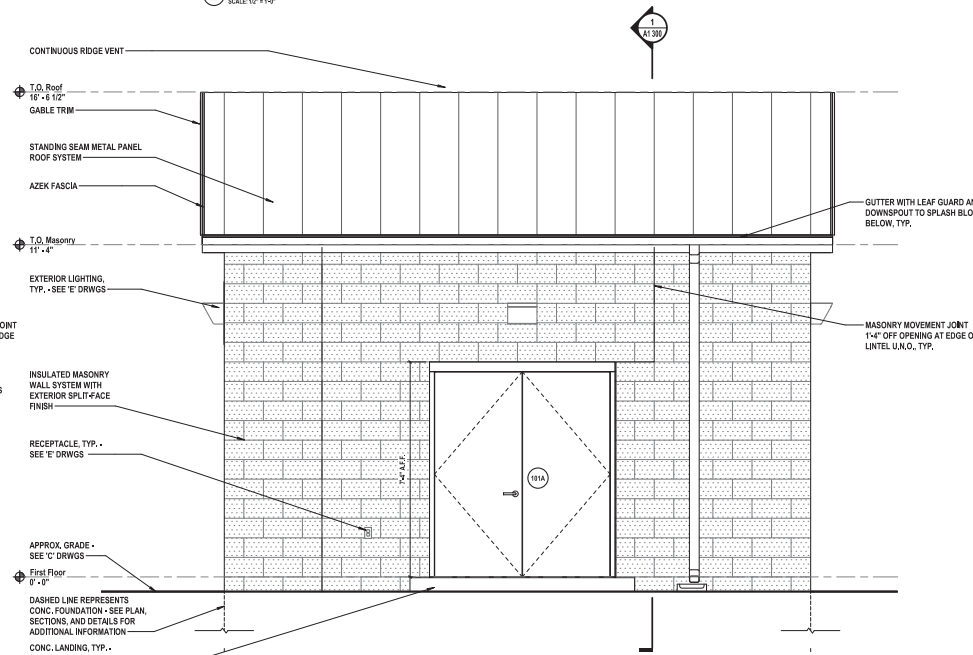
1 GAC Building North Elevation
 SCALE: 1/8" = 1'-0"



2 GAC Building East Elevation
 SCALE: 1/8" = 1'-0"



3 GAC Building South Elevation
 SCALE: 1/8" = 1'-0"



4 GAC Building West Elevation
 SCALE: 1/8" = 1'-0"

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CONSULTANTS

MARK	DATE	DESCRIPTION



DESIGNED BY: JMA DRAWN BY: JMA/CEM CHECKED BY: REVERED BY: JMA
PROJECT NO: NYAW2105 DATE: MAY 2022 SCALE: AS SHOWN

Liberty New York Water

Wellhead Treatment at West Branch Acres



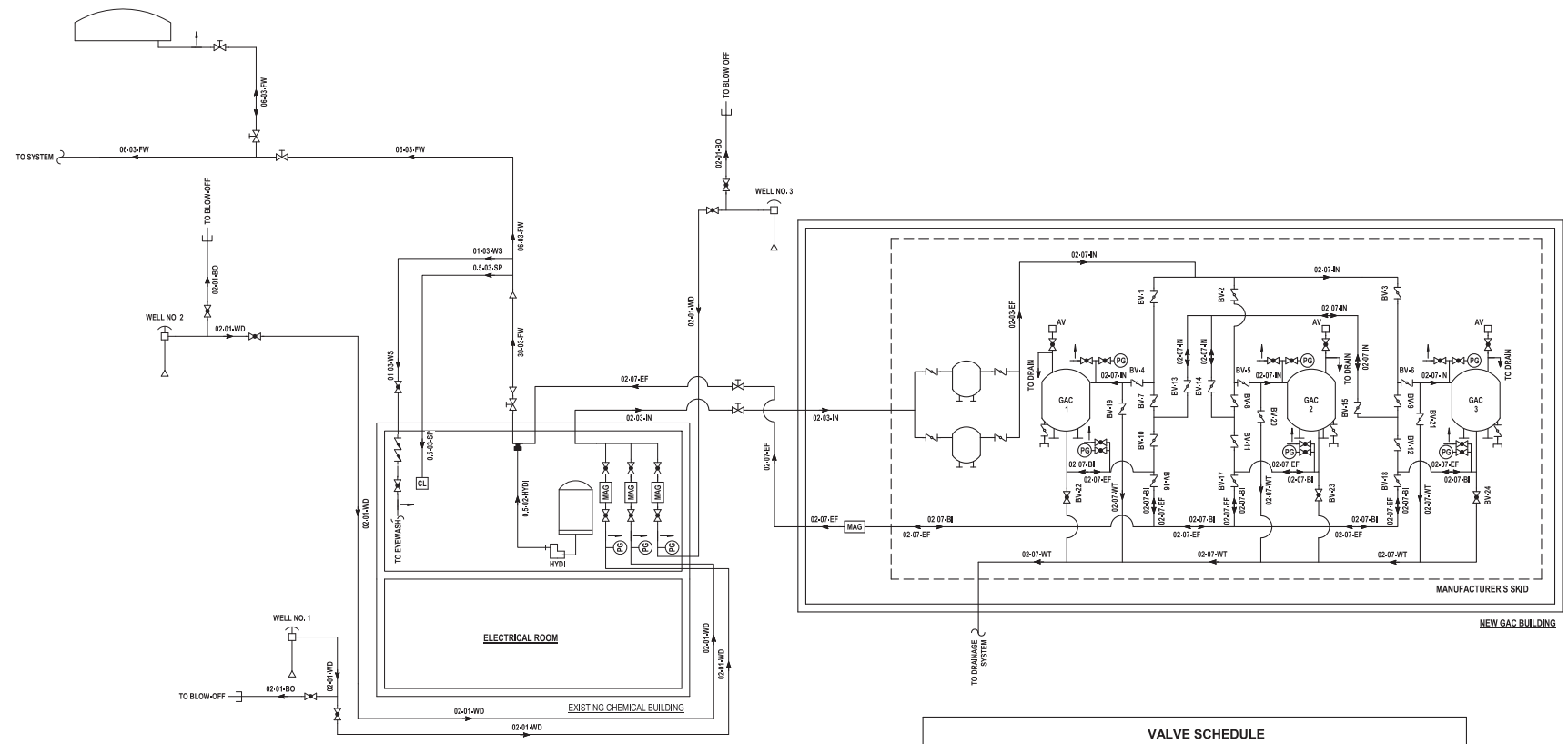
Carmel, NY

CONTRACT

STATUS: **FINAL BID DOCUMENT**

SHEET TITLE: **PROCESS DIAGRAM**

SHEET NO.: **D 002.00**



1 Process Diagram
SCALE: NTS

VALVE SCHEDULE

VALVE	SERIES OPERATION GAC-1 TO GAC-2	SERIES OPERATION GAC-2 TO GAC-3	SERIES OPERATION GAC-3 TO GAC-1	RINSE GAC-1	RINSE GAC-2	RINSE GAC-3	BACKWASH GAC-1	BACKWASH GAC-2	BACKWASH GAC-3
BV-1	O	X	X	O	X	X	X	X	X
BV-2	X	O	X	O	X	X	X	X	X
BV-3	X	X	O	X	X	X	X	X	X
BV-4	O	X	O	O	X	X	X	X	X
BV-5	O	O	X	X	O	X	X	X	X
BV-6	X	O	O	X	X	O	X	X	X
BV-7	X	X	O	X	X	X	X	X	X
BV-8	O	X	X	X	X	X	X	X	X
BV-9	X	O	X	X	X	X	X	X	X
BV-10	O	X	X	X	X	X	X	X	X
BV-11	X	O	X	X	X	X	X	X	X
BV-12	X	X	O	X	X	X	X	X	X
BV-13	O	X	O	X	X	X	X	X	X
BV-14	O	O	X	X	X	X	X	X	X
BV-15	X	O	O	X	X	X	X	X	X
BV-16	X	X	O	X	X	X	O	X	X
BV-17	O	X	X	X	X	X	X	O	X
BV-18	X	O	X	X	X	X	X	X	O
BV-19	X	X	X	X	X	X	O	X	X
BV-20	X	X	X	X	X	X	X	O	X
BV-21	X	X	X	X	X	X	X	X	O
BV-22	X	X	X	O	X	X	X	X	X
BV-23	X	X	X	X	O	X	X	X	X
BV-24	X	X	X	X	X	O	X	X	X

LEGEND: O = OPEN, X = CLOSED

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BIBBO ASSOCIATES, L.L.P.

Consulting Engineers

Timothy S. Allen, P.E.
Nicholas Gaboury, P.E.
Matthew J. Gironda, P.E.

June 20, 2022

Town of Carmel Planning Board
60 McAlpin Avenue
Mahopac, NY 10541-2340

Attn: Mr. Craig Paepre, Chairman

Re: Sketch Plan - Modification/Revision
Yankee Land Development Subdivision
Bayberry Hill Road & Owen Drive
TM # 76.15-1-12

Dear Chairman and Members of the Board:

In support of our request to modify the previous preliminary approval on February 15, 2012 of a 14-lot residential subdivision, Resolution #12-04, into a 2-lot subdivision, please find the following:

- 5 copies - 2-lot Subdivision Sketch Plan, dated 5/11/2022
- 11 copies - Subdivision Application (Application fee will be submitted under separate cover)
- 11 copies - Subdivision Completeness Certification Form
- 11 copies - Short Environmental Assessment Form (SEAF)
- 2 copies - Disclosure Statement

Please note that each lot contains a house, septic area and well location in the exact location of the previously approved 14-lot subdivision. This split will allow the owners a more flexible marketing position than the current 14-lot subdivision.

We respectfully request to be placed on your earliest available agenda for consideration.

Very truly yours,



Edward J. Delaney, Jr.
Project Manager

TSA/mme
Enclosures

cc: Mahopac Fire Dept. (w/encls.)
Angelo Luppino, Owner
Pat Cleary, Planner
Timothy S. Allen, P.E.

Site Design ♦ Environmental

Mill Pond Offices · 293 Route 100 · Suite 203 · Somers, New York 10589

Phone: 914.277.5805 · Fax: 914.277.8210

Website: www.bibboassociates.com · E-mail: bibbo@bibboassociates.com



TOWN OF CARMEL SUBDIVISION APPLICATION INSTRUCTIONS



The Town of Carmel Planning Board meetings are held twice a month, on the second and fourth Wednesday's, at 7:00 PM at Carmel Town Hall, 60 McAlpin Avenue, Carmel

The submission deadline is 10 days prior to the Planning Board meeting. New subdivision applications that have been deemed complete will be placed on the agenda in the order they are received.

Pre-Submission:

Prior to the formal submission of the subdivision, a pre-submission conference may be requested by the applicant to be conducted with representatives from the Town, which may include the Town Planner, Town Engineer, Director of Code Enforcement, Planning Board Attorney. This conference will serve to educate the applicant on the process he/she must follow, clarify the information required to submit a complete subdivision application, and to highlight any specific areas of concern. You may arrange a pre-submission conference through the Planning Board Secretary at (845) 628-1500.

Submission Requirements:

At least 10 days prior to the Planning Board meeting, the subdivision application shall be submitted to the Planning Board Secretary as follows:

All subdivisions shall be signed, sealed and folded with the title box legible. The application package shall include:

- 11 copies of the Subdivision Application Form signed and notarized.
- 11 copies of the SEQR Environmental Assessment Form (use of short form or long form shall be determined at pre-submission conference).
- 5 full size sets of the Subdivision Plan
- 1 CD (in pdf. format) containing an electronic version of the Subdivision Plan
- 2 copies of the Disclosure Statement
- 11 copies of the Subdivision Completeness Certification Form
- All supplemental studies, reports, plans and renderings.
- 2 copies of the current deed.
- 2 copies of all easements, covenants and restrictions.
- The appropriate fee, determined from the attached fee schedule. Make checks payable to the Town of Carmel.

Rose Granbetta 6/28/22
Planning Board Secretary; Date

[Signature] 6/22/22
Town Engineer; Date



TOWN OF CARMEL SUBDIVISION APPLICATION



Per Town of Carmel Code – Section 131 – Subdivision of Land

SITE IDENTIFICATION INFORMATION		
Application Name: YANKEE DEVELOPMENT	Application # 22-0006	Date Submitted: 6/21/22
Site Address: No. _____ Street: BAYBERRY HILL RD. Hamlet: CARMEL		
Property Location: (Identify landmarks, distance from intersections, etc.) BAYBERRY HILL ROAD, TOWN OF CARMEL, PUTNAM COUNTY, NY		
Town of Carmel Tax Map Designation: Section 76.15 Block 1 Lot(s) 12	Zoning Designation of Site: R - 120 RESIDENTIAL	
Property Deed Recorded in County Clerk's Office Date 6/24/69 Liber 677 Page 275-27	Liens, Mortgages or other Encumbrances Yes _____ No <input checked="" type="checkbox"/>	
Existing Easements Relating to the Site No <input checked="" type="checkbox"/> Yes _____ Describe and attach copies:	Are Easements Proposed? No _____ Yes <input checked="" type="checkbox"/> Describe and attach copies: ACCESS TO LAND LOCKED PARCEL	
Have Property Owners within a 500' Radius of the Site Been Identified? Yes <input checked="" type="checkbox"/> No _____ Attached List to this Application Form		
APPLICANT/OWNER INFORMATION		
Property Owner: YANKEE LAND DEVELOPMENT, LLC	Phone #: 914-760-6491 Fax#:	Email:
Owners Address: No. 127 Street: TRIPP STREET Town: MT. KISCO State: NY Zip: 10549		
Applicant (If different than owner):	Phone #: Fax#:	Email:
Applicant Address (If different than owner): No. _____ Street: _____ Town: _____ State: _____ Zip: _____		
Individual/ Firm Responsible for Preparing Site Plan: TIMOTHY S ALLEN P.E. BIBBO ASSOCIATES, LLP	Phone #: 914-277-5805 Fax#: 914-277-8210	Email: TALLEN@BIBBOASSOCIATES.COM
Address: No. 293 Street: ROUTE 100 SUITE 203 Town: SOMERS State: NY Zip: 10589		
Other Representatives:	Phone #: Fax#:	Email:
Owners Address: No. _____ Street: _____ Town: _____ State: _____ Zip: _____		
PROJECT DESCRIPTION		
Describe the project, proposed use and operation thereof: PROPOSED 2 LOT SUBDIVISION OF RESIDENTIAL LAND. THE 2 LOTS WILL PROVIDE INDIVIDUAL DRIVEWAYS, WELLS AND ON SITE SEPTIC SYSTEMS. FORMERLY PART OF A 14 LOT SUBDIVISION PRELIMINARY APPROVAL BY THE CARMEL PLANNING BOARD.		

TOWN OF CARMEL SUBDIVISION APPLICATION

PROJECT INFORMATION			
Size of existing parcel to be subdivided: <div style="display: flex; justify-content: space-between;"> Acres: 109.9 Square Feet: 4,787,244 SF+/- </div>			
Major Subdivision <input type="checkbox"/>		Minor Subdivision <input checked="" type="checkbox"/>	
Number of proposed lots: 2		Size of proposed lots: LOT 1 53.895 AC.+/- LOT 2 56.95 AC.+/-	
Conventional Subdivision <input type="checkbox"/>		Cluster Subdivision <input type="checkbox"/>	
Will a 10% open space set aside be provided? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>		If no, will a payment in-lieu be provided? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
Will all new lots have frontage on a mapped street? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>		If not, how will this deficiency be addressed?	
Is the site served by the following public utility infrastructure:			
<ul style="list-style-type: none"> ▪ Sanitary Sewer Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> not applicable 			
If Yes: <ul style="list-style-type: none"> ▶ Does approval exist to connect to sewer main? Yes: <input type="checkbox"/> No: <input type="checkbox"/> ▶ Is this an in-district connection? _____ Out-of district connection? _____ ▶ What is the total sewer capacity at time of application? _____ ▶ What is your anticipated average and maximum daily flow _____ 			
For Town of Carmel Town Engineer <ul style="list-style-type: none"> ▶ What is the sewer capacity Not applicable not in Xxxxx district 6/22/12 			
<ul style="list-style-type: none"> ▪ Water Supply Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> 			
If Yes: <ul style="list-style-type: none"> ▶ Does approval exist to connect to water main? Yes: <input type="checkbox"/> No: <input type="checkbox"/> ▶ What is the total water capacity at time of application? _____ ▶ What is your anticipated average and maximum daily demand _____ 			
<ul style="list-style-type: none"> ▪ Storm Sewer Yes: <input type="checkbox"/> No: <input type="checkbox"/> 			
<ul style="list-style-type: none"> ▪ Electric Service Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> 			
<ul style="list-style-type: none"> ▪ Gas Service Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> 			
<ul style="list-style-type: none"> ▪ Telephone/Cable Lines Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> 			
Will any common areas be created outside of individual lots (road rights-of-way, recreation areas, stormwater management areas, etc.)? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>			
Is a homeowners association proposed? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
What is the predominant soil type(s) on the site? CHARLTON/ PAXTON		What is the approximate depth to water table? >7'	
Site slope categories:			
15-25% ³⁵ % 25-35% ⁷ % >35% ¹¹ %			
Estimated quantity of excavation:			
Cut (C.Y.) _____ Fill (C.Y.) _____			
Is Blasting Proposed Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> Unknown: <input type="checkbox"/>			
Is the site located ion a designated Critical Environmental Area? Yes: <input type="checkbox"/> No: <input type="checkbox"/>			
Does a curb cut exist on the site?		Are new curb cuts proposed?	
Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
What is the sight distance?			
Left ⁴⁰⁰⁺ _____ Right ⁴⁷⁵⁺ _____			
Is the site located within 500' of:			
<ul style="list-style-type: none"> ▪ The boundary of an adjoining city, town or village Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> 			
<ul style="list-style-type: none"> ▪ The boundary of a state or county park, recreation area or road right-of-way Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> 			
<ul style="list-style-type: none"> ▪ A county drainage channel line. Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> 			



TOWN OF CARMEL SUBDIVISION COMPLETENESS CERTIFICATION FORM



All Subdivisions submitted to the Planning Board for review shall include the following information and details, as set forth in Section 131-11-14 of the Town of Carmel Subdivision Regulations.

This form shall be included with the subdivision submission

Requirement Data		To Be Completed by the Applicant	Waived by the Town
General Requirements			
1	Key map at a scale of one inch equals 800 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2	Title block, including title of map; name of subdivision; name, address, seal and signature of professional engineer or land surveyor preparing the plat; written scale; date of original and all revisions.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3	A legend, including, names of all adjacent landowners and those within 500 feet of any property line; zoning district with the requirements of said zone; tax map, block and lot number; names and addresses of owner and subdivider; north point and graphic scale.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4	Location and identification of all zoning district boundaries.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5	Identification of all maps filed in the County Clerk's office affecting properties within 500 feet of the lot to be subdivided.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Sketch Plan Requirements			
1	All General Requirements	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2	Proposed subdivision layout at a scale of not less than one inch equals 100 feet.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3	All proposed lot lines, dimensions in feet and the areas of all lots in square feet and identifying numbers for each lot.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4	The location of existing and proposed setback lines, streets within 200 feet of the subdivision, buildings, watercourses, railroads and bridges, culverts, drainpipes and any natural features, such as wooded areas and rock formations.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5	Location and size of areas proposed to be reserved for recreation/open space.	N/A <input type="checkbox"/>	<input type="checkbox"/>



TOWN OF CARMEL SUBDIVISION COMPLETENESS CERTIFICATION FORM



Requirement Data		To Be Completed by the Applicant	Waived by the Town
Preliminary Plat Requirements			
1	All General and Sketch Plan Requirements	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2	The area included in the subdivision, by area of lots, roads, reservations if any, and total acreage.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3	The existing and proposed contours (at an interval of not more than two feet), suitably designated to differentiate, with proposed first-floor elevations of the buildings.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4	Names of existing streets and proposed names of new streets.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5	Preliminary profiles of all proposed roads.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6	Location, type and size of curbs, sidewalks and bikeways.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7	For subdivisions of five or more lots, front building elevation sketches and distribution of dissimilar building types on the site to avoid excessive similarity of exterior design.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8	Plans of proposed utility layouts and all facilities, unsized.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9	The natural flow of surface drainage (indicated with arrows and the final disposal of surface waters); location of existing and proposed watercourses, culverts, bridges, drainpipes, lakes and ponds, detention or retention ponds; tentative location of storm drain inlets with the drainage areas tributary to each outlined and the area shown.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10	Existing or proposed covenants or deed restrictions applying to the site and a preliminary draft of homeowners' association documents, if applicable.	<input type="checkbox"/>	<input type="checkbox"/>
11	A stormwater pollution prevention plan (SWPPP) consistent with the requirements of Article X of Chapter 156 of the Code of the Town of Carmel.	<input type="checkbox"/>	<input type="checkbox"/>
Final Plat Requirements			
1	All General, Sketch and Preliminary Plat Requirements.	<input type="checkbox"/>	<input type="checkbox"/>



TOWN OF CARMEL SUBDIVISION COMPLETENESS CERTIFICATION FORM



	<i>Requirement Data</i>	<i>To Be Completed by the Applicant</i>	<i>Waived by the Town</i>
2	Dimensions exactly with reference to monuments, bearings, distances in feet, radii, points of curvature and tangency of property lines, lot widths and depths and square feet of each lot.	<input type="checkbox"/>	<input type="checkbox"/>
3	Location of all proposed setback lines on each lot, with corner and irregular-shaped lots identified as to front, side and rear yards.	<input type="checkbox"/>	<input type="checkbox"/>
4	Location of all existing and proposed monuments.	<input type="checkbox"/>	<input type="checkbox"/>
5	All existing streets and streams within the subdivision and within 200 feet of the boundaries thereof, the width of the right-of-way of each street and existing public easements and municipal boundaries within 200 feet of the subdivision.	<input type="checkbox"/>	<input type="checkbox"/>
6	All proposed public easements or rights-of-way and the purposes thereof and proposed streets, identifying right-of-way width and names.	<input type="checkbox"/>	<input type="checkbox"/>
7	All parcels proposed for open space/recreation use, with a statement of the purpose of each.	<input type="checkbox"/>	<input type="checkbox"/>
8	Construction plat, which shall include, in addition to the above: final first-floor elevations of dwellings and outside grades at their corner; proposed curb elevations at all lot corners; all existing structures, including a note indicating those to be removed and yard dimensions of those to remain; plans and profiles and proposed improvements and utility layouts; paving widths and locations, section and profiles; sidewalk widths and locations and sections; road alignment, complete with stations, center line curve data and existing and finished contours of the road and all regraded areas; details of manholes, catch basins, headwalls and any other required structure; locations of all street trees, lights and signs; maximum anticipated extent of the areas of cuts and fills where grade	<input type="checkbox"/>	<input type="checkbox"/>



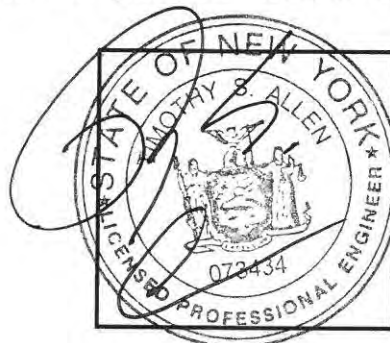
TOWN OF CARMEL SUBDIVISION COMPLETENESS CERTIFICATION FORM



Requirement Data		To Be Completed by the Applicant	Waived by the Town
	changes are proposed; the natural flow of surface drainage and the final disposal of surface waters; slopes of banks of all watercourses, if defined, and boundaries of floodplains; specifications, locations, profiles and detailed cross sections of the proposed storm drains, including all inlets and size of the drainage area of the streets, including grades and all other improvements.		
9	Final copy of the homeowners' association documents, if applicable.	<input type="checkbox"/>	<input type="checkbox"/>
10	Deeds for land to be dedicated for road widening, recreation or other purposes.	<input type="checkbox"/>	<input type="checkbox"/>
11	Erosion control standards.	<input type="checkbox"/>	<input type="checkbox"/>
12	A stormwater pollution prevention plan (SWPPP) consistent with the requirements of Article X of Chapter 156 of the Code of the Town of Carmel and with the terms of preliminary plan approval.	<input type="checkbox"/>	<input type="checkbox"/>

Applicants Certification (to be completed by the licensed professional preparing the subdivision plan:

I Timothy S. Allen, P.E. hereby certify that the site plan to which I have attached my seal and signature, meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:



Professionals Seal

Angelo Suppina Jr
 Signature - Applicant

6-2-22
 Date

Angelo Suppina Jr
 Signature - Owner

6-2-22
 Date



TOWN OF CARMEL
**SUBDIVISION COMPLETENESS
 CERTIFICATION FORM**



Town Certification (to be completed by the Town)

I _____ hereby confirm that the site plan meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:

Rose Trombetta
 Signature - Planning Board Secretary

6/28/22
 Date

[Signature]
 Signature - Town Engineer

6/28/22
 Date

Short Environmental Assessment Form

Part 1 - Project Information

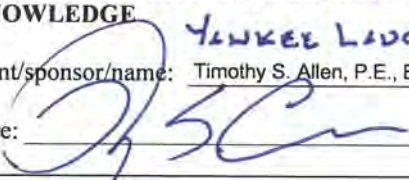
Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Yankee Land Development Proposed 2- Lot Residential Subdivision			
Project Location (describe, and attach a location map): Bayberry Hill Road & Owen Drive, Town of Carmel, Putnam County			
Brief Description of Proposed Action: Subdivision of 109.9 acre into 2 single family residential lots. Each lot shall be provided with an individual drilled well and a separate subsurface sewage treatment system.			
Name of Applicant or Sponsor: Yankee Land Development		Telephone: 914-760-6491	
		E-Mail: angelo@luppionlm.com	
Address: 127 TRIPP STREET			
City/PO: MT KISCO		State: NY	Zip Code: 10549
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: NYCDEP STREAM CROSSING		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		109.90 acres	
b. Total acreage to be physically disturbed?		2.1 +/- acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		109.90 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ Drilled wells on each lot _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ Private, individual sewage disposal systems _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ 0.25 acre - New culvert on Owen Drive _____ _____	NO <input type="checkbox"/> <input type="checkbox"/>	YES <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input checked="" type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? Northern Long-eared Bat	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<hr/> <hr/>		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<hr/> <hr/>		
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<hr/> <hr/>		
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<hr/> <hr/>		
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>YANKEE LAGO DEVELOPMENT</u> Date: <u>June 17, 2022</u> Signature: <u></u> Title: <u>Senior Partner</u>		

PROPERTY OWNERS WITHIN 500'

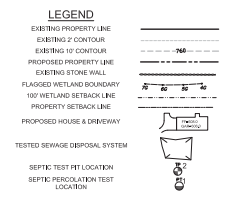
TAX MAP #	OWNER	ADDRESS
7611-041	LEONIE R. MALDONADO VITA	415 PIGOTT RD.
7611-042	NICHOLE L. VAN WAGENINGEN	1 BARBERY HILL RD.
7611-043	FRANCIS J. POLIZZI, JR. DANIEL	10 BARBERY HILL RD.
7611-044	LISA NATONELLI	13 BARBERY HILL RD.
7611-045	GIUSEPPE & MELI GAZDARI	17 BARBERY HILL RD.
7611-046	LIGUE & ALBA SAPIA	21 BARBERY HILL RD.
7611-047	EMERSON SAVANTO & SUE M. GRAMM	25 BARBERY HILL RD.
7611-048	FRANCO & ANNA HEZZETTA	29 BARBERY HILL RD.
7611-049	FRANK & DOMENECCHIA	33 BARBERY HILL RD.
7611-050	ELIZABETH A. & LUIS M. SILVA	37 BARBERY HILL RD.
7611-051	BRIAN & MELISSA LONG	41 BARBERY HILL RD.
7611-052	ROBERT & ROSEMARY BALLY	45 BARBERY HILL RD.
7611-053	LUIS & BRIGIDA PANCOSI	49 BARBERY HILL RD.
7611-054	KEVIN J. & DENISE M. KOONAN	53 BARBERY HILL RD.
7611-055	DAVID & BRIGIDA PANCOSI	57 BARBERY HILL RD.
7611-056	FRANK & CRISTINA WYSE	61 BARBERY HILL RD.
7611-057	REGINA REALTORO & MICHAEL BOTA	65 BARBERY HILL RD.
7611-058	SUZANNE LEECH SMITH	69 BARBERY HILL RD.
7611-059	GUSTAVO C. & DIANA J. OSTOS	73 BARBERY HILL RD.
7611-060	EMILIE L. CARL	77 BARBERY HILL RD.
7611-061	KURT HANCOCK	81 BARBERY HILL RD.
7611-062	NICHOLE WYSE	85 BARBERY HILL RD.
7611-063	STEVEN DYBLE	89 BARBERY HILL RD.
7611-064	WILLIAM J. JR. & LINDA BARNETT	93 BARBERY HILL RD.
7611-065	MARK E. & CORINNE C. BURKE	97 BARBERY HILL RD.
7611-066	ROSELL BENEVOLO	101 BARBERY HILL RD.
7611-067	FRANK LOZANNO, JR.	105 BARBERY HILL RD.
7611-068	JOHN PARENDOLO	109 BARBERY HILL RD.
7611-069	MICHAEL & MARYANN BOCARDI	113 BARBERY HILL RD.
7611-070	JOHN CALABRESE	117 BARBERY HILL RD.
7611-071	FRANK & LUCY PECORE	121 BARBERY HILL RD.
7611-072	GEORGE & FELICIA H. JOHNSON	125 BARBERY HILL RD.
7611-073	LEONARDO NICOLA CORDARO	129 BARBERY HILL RD.
7611-074	KEVIN C. BURKE	133 BARBERY HILL RD.
7611-075	DEBRA WINTONAL MONT AGOS	137 BARBERY HILL RD.
7611-076	HELENE J. JETTER & GLENDA BAGWELL	141 BARBERY HILL RD.
7611-077	THOMAS W. HENNINGER	145 BARBERY HILL RD.
7611-078	NORMAN M. & BARBARA F. MARINO	149 BARBERY HILL RD.
7611-079	ROBERT & MARGARET FOSCATI	153 BARBERY HILL RD.
7611-080	CAROL SERVINO, P.C.	P.O. BOX 400
7611-081	ROBERT & MARGARET FOSCATI	P.O. BOX 400
7611-082	DAVID G. MARINO	P.O. BOX 400
7611-083	ERIC COPPINGER	P.O. BOX 400
7611-084	LETTA T. DE VITO, S. PINE, S. PINE	157 BARBERY HILL RD.
7611-085	WILLIAM C. & DOMINIC SZALOWSKI	161 BARBERY HILL RD.
7611-086	WILLIAM C. & DOMINIC SZALOWSKI	165 BARBERY HILL RD.
7611-087	NICHOLAS TROPFON	169 BARBERY HILL RD.
7611-088	DOMENICO & BRIGIDA PANCOSI	173 BARBERY HILL RD.
7611-089	STEVEN K. DAVIDSON & CHRISTINA	177 BARBERY HILL RD.
7611-090	LARENCE SMITH	181 BARBERY HILL RD.
7611-091	BERNICE F. KAHN	185 BARBERY HILL RD.
7611-092	DAVID BROWN	189 BARBERY HILL RD.
7611-093	RUTLAND COUNTY LAND TRUST	193 BARBERY HILL RD.
7611-094	DAVID OWEN BRIDGES, JR.	197 BARBERY HILL RD.
7611-095	JAMES & SUSAN HOSCHKE	P.O. BOX 421
7611-096	ROBERT E. JAMES & RUTH WATERS	20 HAZEL HILL RD.
7611-097	AUSTIN BOOTH	65 HAZEL HILL RD.

TAX MAP #	OWNER	ADDRESS
7611-098	JOHN & MELINDA SCANLON	118 ELKHORN DR.
7611-099	HARRISON & BEVERLY BLOTT	120 ELKHORN DR.
7611-100	ANDREW & NINA GARDNER	122 ELKHORN DR.
7611-101	GERARD & DORIEEN PLUNKETT	124 ELKHORN DR.
7611-102	LUCAS GILBERT	126 ELKHORN DR.
7611-103	LAWRENCE LIGHT	128 ELKHORN DR.
7611-104	MARC GILBERT	130 ELKHORN DR.
7611-105	FRANCESCO SCHULIER & JANIE	132 ELKHORN DR.
7611-106	THOMAS WOLFE	134 ELKHORN DR.
7611-107	BRUNO WILLIAMS HILL	136 ELKHORN DR.
7611-108	SHERMAN JOSEPH T. & JULIA M.	138 ELKHORN DR.
7611-109	WALTERE CHIEF & LINA	140 ELKHORN DR.
7611-110	VINCENT PANKA, JR.	142 ELKHORN DR.
7611-111	JOSEPH & HELENE WELLS	144 ELKHORN DR.
7611-112	VINCENT CAPPELLI	146 ELKHORN DR.
7611-113	ED & ANA LEONARDI	148 ELKHORN DR.
7611-114	RICHARD BONES	429 PACIFIC STREET



ZONING SCHEDULE

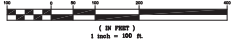
RESIDENTIAL	REQUIRED	LOT 1	LOT 2
MINIMUM LOT AREA (SQ FT)		120,000	2,347,676.46
MINIMUM LOT WIDTH (FT)		200	1,289
MINIMUM LOT DEPTH (FT)		200	2,008.4
MINIMUM YARDS		40	416.4
FRONT SETBACK (FT)		25	134.2
REAR SETBACK (FT)		40	1,514.4
MAXIMUM BUILDING HEIGHT (FT)		35	<35
MAXIMUM LOT COVERAGE (%)		15	<15



- SITE INFORMATION**
- TOTAL AREA OF PROJECT: 109.91 AC.
 - ZONING DISTRICT: R-100 RESIDENTIAL
 - TAX MAP: P. 76-10-1-1-12
 - OWNER/APPLICANT: VANKEE LAND DEVELOPMENT, LLC 127 TRIPP STREET MT. KISCO, NY 10949
 - TOPOGRAPHIC SURVEYOR: DONALD J. DONNELLY LAND SURVEYORS P.C. 1800 COMMERCE STREET YORKTOWN HEIGHTS, N.Y. 10598
 - DATE OF SURVEY: JUNE 15, 2001 REMEASURED MARCH 15, 2001
 - WETLANDS DELINEATED BY: EVANS ASSOCIATES, INC. FLAGGED ON APRIL 11, 2007 SURVEYED BY DONNELLY, J.A.

Area = 109.8910 Acres

PLAN
GRAPHIC SCALE



DATE:	DESCRIPTION:	BY:	DATE:	DESCRIPTION:	BY:

SKETCH PLAN
2 LOT SUBDIVISION
VANKEE LAND DEVELOPMENT
RAYBERRY HILL ROAD AND OVERLOOK DRIVE
TOWN OF CARMEL, PUTNAM COUNTY

BIRBO ASSOCIATES, LLP
254 ROUTE 100 SUITE 201
CARMEL, NY 10518
TEL: 914 277 2855

DATE: 9-11-2002
SCALE: 1" = 100'
FILED: []
COUNTY: []
TOWN: []
CITY: []
ZONING: []
SHEET NO. 1 OF 1
DWG. NO. []
SK