

CRAIG PAEPRER  
Chairman

ANTHONY GIANNICO  
Vice Chairman

**BOARD MEMBERS**  
KIM KUGLER  
RAYMOND COTE  
ROBERT FRENKEL  
MARK PORCELLI  
VICTORIA CAUSA

**TOWN OF CARMEL  
PLANNING BOARD**



60 McAlpin Avenue  
Mahopac, New York 10541  
Tel. (845) 628-1500 – Ext.190  
[www.ci.carmel.ny.us](http://www.ci.carmel.ny.us)

MICHAEL CARNAZZA  
Director of Code  
Enforcement

RICHARD FRANZETTI, P.E.  
Town Engineer

PATRICK CLEARY,  
AICP, CEP, PP, LEED AP  
Town Planner

**PLANNING BOARD AGENDA**  
**JULY 15, 2020 – 7:00 P.M.**

**TAX MAP #    PUB. HEARING    MAP DATE    COMMENTS**

**RESOLUTION**

1. Barone, Mariano – 32 Overlook Drive	65.18-1-4		Regrading Application
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**SITE PLAN**

2. Melchner, Charles & Stephanie – 417 Seminary Hill Road, Carmel	66.-2-37	6/26/20	Special Site Plan (Barn)
3. 728 Route 6 LLC – 728 Route 6	76.22-1-54	6/28/20	Amended Site Plan
4. The Teal Door Counseling Center – 18 Miller Road	86.11-1-15	6/25/20	Site Plan (Addition)
5. Stillwater Business Park – 105 Stillwater Road	75.17-1-53 86.5-1-25 & 26	6/26/20	Site Plan

**SUBDIVISION**

6. Old Forge Estates – Baldwin Place Road	75.15-1-19	10/2/19	Cluster Subdivision
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**TOWN BOARD REFERRAL**

7. Centennial Golf Club of New York, LLC – Fair St	44.-2-2,3,4		Amendment to Zoning Ordinance (Discussion)
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June 25, 2020

Craig Paeprer Chairmen and Members of The Planning Board  
Town of Carmel  
60 McAlpin Ave  
Mahopac, NY 10541

RE: Paddocks and Barn for Charles and Stephanie Melchner  
417 Seminary Hill Road  
Carmel, NY 10512  
T.M. #: 66-1-37

Dear Chairmen Paeprer and Members of The Planning Board,

The Melchner's would like to house 2 horses on their property. Attached are our revised Site Plans showing the location of the paddocks and barn to house the 2 horses. The barn will be prefabricated and brought to the site. Except for the 450 S.F. barn there will be no regrading or any other disturbance of the site except the installation of the fence.

Please note the following with regard to Mike Carnazza's memo dated June 17, 2020.

1. We acknowledge the variances specified, which are noted on the Zoning Chart located on Drawing S-1.
2. There are no wetlands located within 100 feet of this property.

Please note the following with regard to Pat Cleary's memo dated June 17, 2020.

1. We acknowledge the variances specified, which are noted on the Zoning Chart located on Drawing S-1.
2. I checked with the owner and the ventilation is adequate for the 2 horses.
3. No trees will be removed from the site.
4. The tree line along the easterly property line will be maintained and any voids will be filled in with new trees.
5. The existing lawn in the area where the paddocks are proposed will be maintained.
6. No lighting is proposed for the paddocks.

Please note the following with regard to Richard Franzetti's memo dated June 9, 2020.

1. I have sent a copy of the site plan to the fire department.
2. The area of disturbance is 450 S.F. Therefore, NYSDEC – Coverage under General Permit GP-0-15-002 and NYSEC SPDES General Permit for Storm Water are not required.

Two Muscoot Road North  
Mahopac, New York 10541  
P: (845) 628-6613 F: (845) 628-2807  
Email: [joe.greenberg@arch-visions.com](mailto:joe.greenberg@arch-visions.com)  
[www.arch-visions.com](http://www.arch-visions.com)



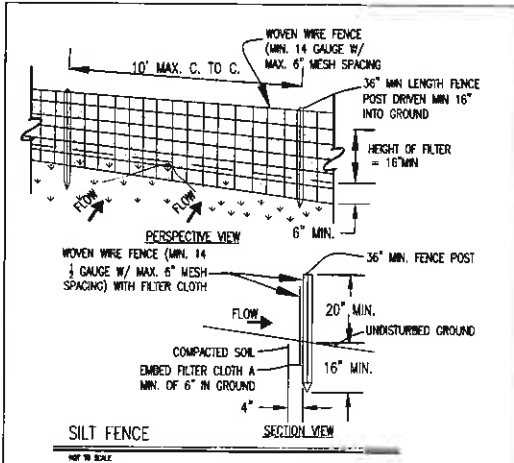
3. There are no public improvements, therefore no bond is required.
4. A Construction Sequence has been provided.
5. A survey has been provided.
6. A legend has been provided.
7. The required variances have been noted on the Zoning Chart on Drawing S-1.
8. Details on how the manure will be handled have been noted on the Site Plan.
9. The erosion and sediment control measures have been indicated on the Site Plan.

If you have any questions, please do not hesitate to contact me.  
Very truly yours,

A handwritten signature in cursive script that reads "Joel Greenberg". The signature is written in black ink and is positioned above a horizontal line.

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Joel Greenberg, AIA, NACRB

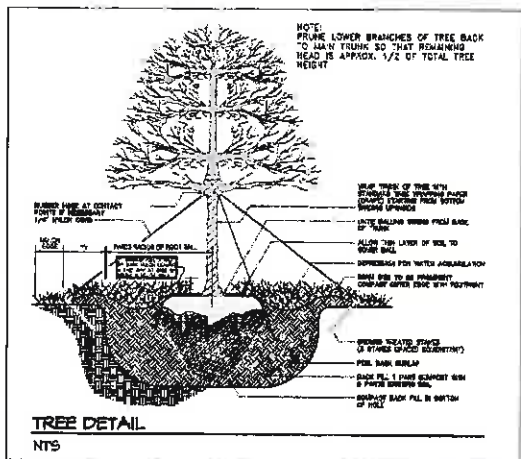


SILT FENCE

NY 18 042

**CONSTRUCTION SPECIFICATIONS:**

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVYOFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.



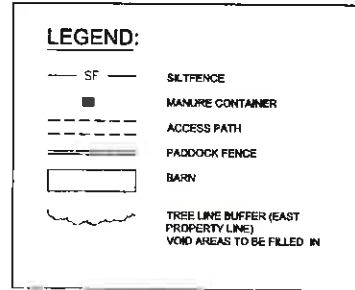
TREE DETAIL  
NTS

**Site Data Notes:**

Owner: Charles & Stephanie Melchner  
 Project: Paddocks & Barn for 2 Horses  
 Address: 417 Seminary Hill Road, Carmel, N.Y. 10512  
 T.M.#: 66-2-37 Zone: R-120 CODE REF.: 156.17 & 156.25

- Notes:
- Site to remain as is including lawn in paddocks & no trees removed.
  - Waterbodies on site - none
  - Existing tree buffer to remain.
  - Exterior lighting, utilities & buffer/screening - none proposed. \*See Note #4 below

Zoning Provision	Required	Existing/Prop.	Proposed/Variance
Lot Area	3.00 AC	2,578 AC EXIST.	2,578 AC - see below
Lot Coverage	15%	1.2% EXIST.	1.6% - no variance
Lot Width	200'	310' EXIST.	310' - no variance
Lot Depth	200'	427' EXIST.	427' - no variance
Front Yard - Prop. Barn	40'	N/A	273' & 112' - no variance
Side Yard - Prop. Barn	20'	N/A	80' & 102' - no variance
Fenced Area - 2 Horses	30,000 SF	N/A	30,850 SF - no variance
Manure Containers (CLOSED)	200' FROM ALL PROPERTY LINES	PROP. N. 65' S. 310' E. 215' W. 40'	N. 135' VAR. S. NONE E. NONE W. 160' VAR.
Lot Area - 2 Horses	4.5 AC	2,578 EXIST.	1,922 VARIANCE
Height - Prop. Barn	35'	N/A	15' - no variance
Off-Street Parking	4	4 - EXIST.	4 - NO VARIANCE
Barn to Prop. Lines	150' TO ALL PROPERTY LINES	PROPOSED: N. 273' S. 112' E. 102' W. 80'	VARIANCES: N. NONE S. 36' E. 48' W. 70'
Paddocks to Prop. Lines	150' TO ALL PROPERTY LINES	PROPOSED: N. 80' S. 63' E. 2' W. 120'	VARIANCES: N. 70' S. 87' E. 148' W. 30'



**Sequence of Construction:**

- Install erosion and sediment controls.
- No trees are to be removed. The shall be no disturbance of the site and all lawn areas shall be maintained. The only disturbance will be the 450 S.F. where the barn will be located.
- Tree buffer along the easterly property line shall be maintained.
- Fill in any voids in the tree buffer along the easterly property line.
- Install fencing in location as per the approved site plan.
- Prepare barn site for installation of barn.
- Install prefabricated barn.
- Schedule final inspection.
- Remove erosion and sediment control measures.

**General Notes:**

- Area of disturbance - 450 S.F. Therefore, coverage under General Permit GP-0-15-002 is not required.
- No public improvements are proposed.
- Erosion Control and Wetlands:
  - Erosion and sediment control measures will be installed prior to the preparation setting for the barn.
  - There are no wetlands within 100 feet of any of the improvements.
- Hay:
  - The owner will purchase hay for the horses.
  - The owner will bring the hay down to the barn.
- Manure:
  - The closed container required for 2 horses is 4 C.Y.
  - The container will be located adjacent to the garage.
  - The owner will collect the manure from the paddocks on a daily basis and deposit the manure into the container.
  - The container will be emptied once a month. The container will be emptied more frequently during the summer months.
- The fencing will be installed as per the approved site plan.

**ARCHITECTURAL VISIONS LLC**  
 2 MUSCOOT ROAD NORTH P: 845-628-0613  
 MAHOPAC NY, 10541 F: 845-628-2907  
 JOB: 09E28PFG@ARCHVISIONS.COM

**PROJECT: PADDOCKS & BARN CHARLES & STEPHANIE MELCHNER**  
 PROJECT ADDRESS: 417 SEMINARY HILL ROAD, CARMEL, NY 10512  
 MAILING ADDRESS: 417 SEMINARY HILL ROAD, CARMEL, NY 10512  
 TAX MAP NO. 66-2-37

**ZONING CHART AND NOTES**

ISSUANCE	DATE
REVISION	DATE
FOR REVIEW	6-26-2020

*Joel Greenberg*

SCALE: \_\_\_\_\_  
 DRAWN BY/CHKD BY: M.S./J.L.G.  
 PROJECT NO.: 01-20-198

**S-1**

THIS IS A PRELIMINARY PLAN AND SHOULD BE USED ONLY AS A GUIDE. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THIS PLAN. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THESE PLANS. THE ARCHITECT DOES NOT ASSUME RESPONSIBILITY FOR ANY OTHER WORK OR SERVICES NOT SPECIFICALLY IDENTIFIED ON THESE PLANS.

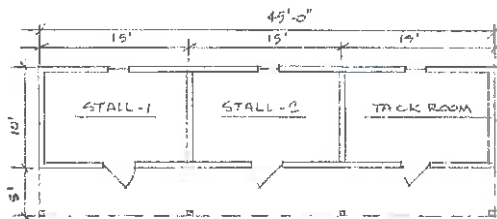




BARN - FRONT



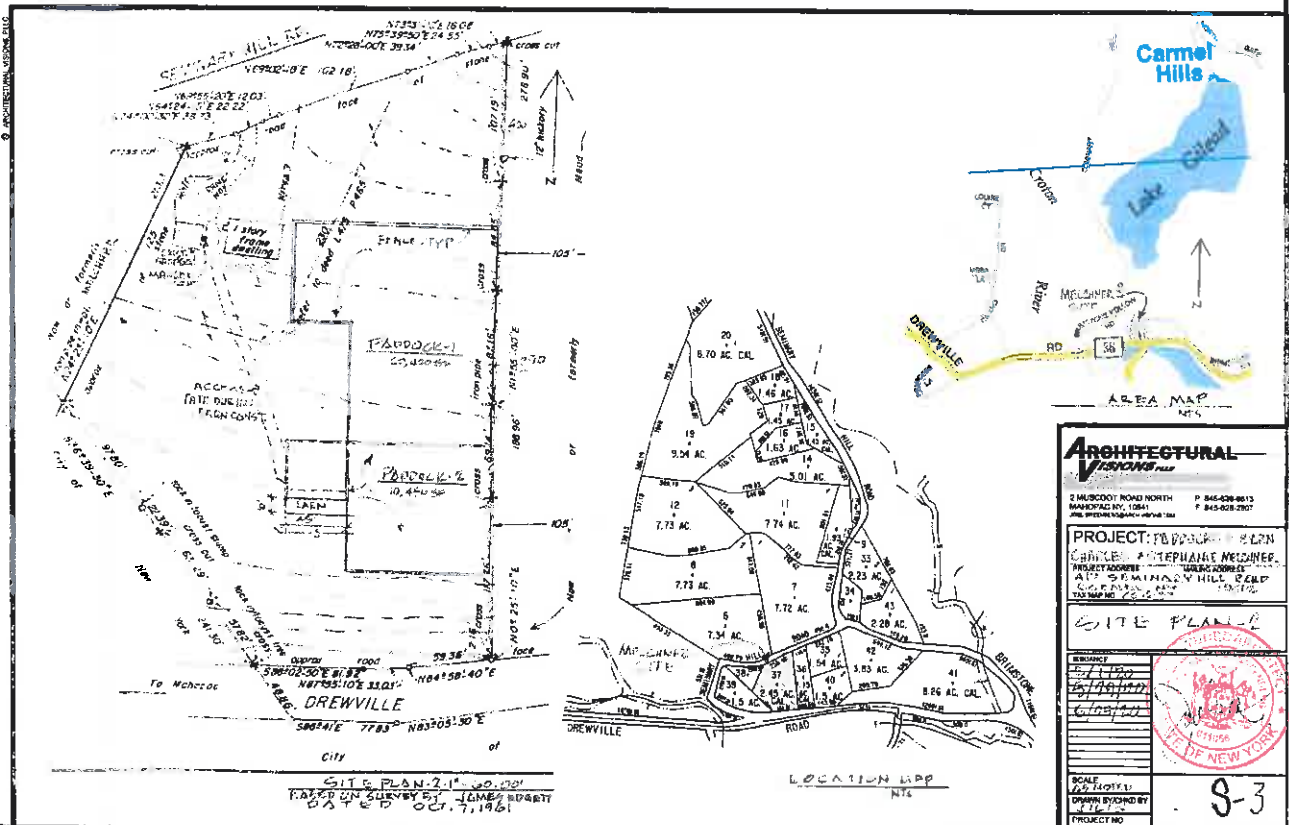
BARN - REAR



FLOOR PLAN BARN-PRE-FAB

1/8" = 1'-0"

NOTE:  
NO ELECTRIC, HEATING OR PLUMBING  
IN BARN.



**ARCHITECTURAL**  
*VISIONS*

2 MUSCOOT ROAD NORTH P 845-628-0613  
MANHATTAN NY, 10841 F 845-628-2707  
ONE PETER STREET SUITE 100

PROJECT: TO BACK - BARN  
OWNER: STEPHANIE MELINGER  
PROJECT ADDRESS: 1150 MELINGER'S CURVE  
CARMEL HILLS, NY 12016  
DATE: 10/7/19

SITE PLAN

SCALE: 1/8" = 1'-0"  
DRAWN BY: JTB  
PROJECT NO: 19-001

9-3

IT IS A VIOLATION OF STATE LAW FOR ANY PERSON UNLESS ACTING UNDER THE SUPERVISION OF A LICENSED ARCHITECT TO ALTER ANY ITEM ON THESE PLANS AND DOCUMENTS IN ANY WAY. PER STATE LAW IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO THE PLAN ITEM THE SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER QUALITY AND THE DATE OF SUCH ALTERATION, AND A SHORT DESCRIPTION OF THE ALTERATION. THIS ARCHITECT DOES NOT ACCEPT ANY LIABILITY FOR ALTERATIONS OF THESE PLANS AND DOCUMENTS BY OTHER ANY PERSON UNLESS HE OR SHE IS A PARTY TO SUCH ALTERATION.



**ROY A. FREDRIKSEN, PE**  
DESIGN PLANNING CONSTRUCTION

266 SHEAR HILL ROAD  
MAHOPAC, NEW YORK 10541  
845-621-4000  
[RAYEXDESIGN@GMAIL.COM](mailto:RAYEXDESIGN@GMAIL.COM)

July 1, 2020

Re: 718 Route Six application, NY. T.M. # 76.22-1-54

MR. Richard J. Franzatti, PE. Town Engineer, Carmel.

This is a respond to your comments for Site Plan application for an existing building at address above:

1. No fresh water exist on the site, we will look into filed maps and see if any. EAF shows it but site is completely developed and no change is proposed.
2. Existing property owners names and addresses are already on the site plan.
3. Lighting is existing on building, shown on site plan, will remain in use.
4. Sign space is on the building plans. No free standing sign is proposed as of yet.
5. There is no current accurate estimate of number of employees, we will provide after leases are negotiated.
6. There are no club house or recreational areas needed for this proposed use. Buffer from all adjoining properties exist and will not be disturbed.
7. Property is served by public sewer, flow rates are added to site plan. Private well exist and shown on site plan.

If I could be of any further assistance, please do not hesitate to contact me.

Roy A. Fredriksen, PE





# TOWN OF CARMEL SITE PLAN APPLICATION INSTRUCTIONS



The Town of Carmel Planning Board meetings are held twice a month, on the second and fourth Wednesday's, at 7:00 PM at Carmel Town Hall, 60 McAlpin Avenue, Carmel

The submission deadline is 10 days prior to the Planning Board meeting. New site plan applications that have been deemed complete will be placed on the agenda in the order they are received.

**No application will be placed on the agenda that is incomplete**

**Pre-Submission:**

Prior to the formal submission of the site plan, a pre-submission conference may be requested by the applicant to be conducted with representatives from the Town, which may include the Town Planner, Town Engineer, Director of Code Enforcement and/or the Planning Board Attorney. This conference will serve to educate the applicant on the process he/she must follow, clarify the information required to submit a complete site plan application, and to highlight any specific areas of concern. You may arrange a pre-submission conference through the Planning Board Secretary at (845) 628-1500 extension 190.

**Submission Requirements:**

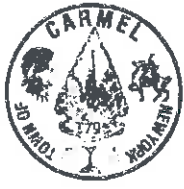
At least 10 days prior to the Planning Board meeting, the site plan application shall be submitted to the Planning Board Secretary as follows:

All site plans shall be signed, sealed and folded with the title box legible. The application package shall include:

- 11 copies of the Site Plan Application Form, signed and notarized.
- 11 copies of the SEQR Environmental Assessment Form (use of short form or long form shall be determined at pre-submission conference).
- 5 full size sets of the Site Plan (including floor plans and elevations)
- 1 CD (in pdf. format) containing an electronic version of the Site Plan
- 2 copies of the Disclosure Statement
- 11 copies of the Site Plan Completeness Certification Form
- All supplemental studies, reports, plans and renderings.
- 2 copies of the current deed.
- ~~2~~ 2 copies of all easements, covenants and restrictions.
- The appropriate fee, determined from the attached fee schedule. Make checks payable to the *Town of Carmel*.

Rose Yombetta 7/1/20  
Planning Board Secretary; Date

Richard J. [Signature] 8/1/2020  
Town Engineer; Date



# TOWN OF CARMEL SITE PLAN APPLICATION



Per Town of Carmel Code – Section 156 - Zoning

SITE IDENTIFICATION INFORMATION		
Application Name: <b>728 Route 6 LLC</b>	Application # <b>20-0005</b>	Date Submitted: <b>6-24-2020</b>
Site Address: No. <b>728</b> Street: <b>Route 6</b> Hamlet: <b>MAHOPAC</b>		
Property Location: (Identify landmarks, distance from intersections, etc.) <b>728 VS ROUTE 6 ACROSS FROM FIRE DEPT (MAHOPAC)</b>		
Town of Carmel Tax Map Designation: Section <b>76.22</b> Block <b>1</b> Lot(s) <b>54</b>	Zoning Designation of Site: <b>C</b>	
Property Deed Recorded in County Clerk's Office Date _____ Liber _____ Page _____	Liens, Mortgages or other Encumbrances Yes _____ <b>No</b> _____	
Existing Easements Relating to the Site <b>No</b> Yes Describe and attach copies:	Are Easements Proposed? <b>No</b> Yes Describe and attach copies:	
Have Property Owners within a 500' Radius of the Site Been Identified? <b>Yes</b> No Attached List to this Application Form		
APPLICANT/OWNER INFORMATION		
Property Owner: <b>728 ROUTE SIX, LLC</b>	Phone #: <b>914-523-9450</b> Fax#:	Email: <b>GUOIGB38@AOL</b>
Owners Address: No. <b>108</b> Street: <b>EAST LAKE BLVD</b> Town: <b>MAHOPAC</b> State: <b>NY</b> Zip: <b>10541</b>		
Applicant (if different than owner): <b>WILLIAM BESHARAT</b>	Phone #: <b>914 330 4999</b> Fax#: <b>845 628 7812</b>	Email: <b>RAYEXDESIGN@GMAIL</b>
Applicant Address (if different than owner): No. <b>266</b> Street: <b>SHEAR HILL RD</b> Town: <b>MAHOPAC</b> State: <b>NY</b> Zip: <b>10541</b>		
Individual/ Firm Responsible for Preparing Site Plan: <b>RAYEX DESIGN</b>	Phone #: <b>845-621-4000</b> Fax#: <b>845-628-7812</b>	Email: <b>RAYEXDESIGN@GMAIL.COM</b>
Address: No. <b>266</b> Street: <b>SHEAR HILL RD</b> Town: <b>MAHOPAC</b> State: <b>NY</b> Zip: <b>10541</b>		
Other Representatives: <b>MICHAEL CARUSO, P.C.</b>	Phone #: <b>845-207-5452</b> Fax#: <b>845-251-0062</b>	Email: <b>MYCARUSO@GMAIL</b>
Owners Address: No. _____ Street: _____ Town: _____ State: _____ Zip: _____		
PROJECT DESCRIPTION		
Describe the project, proposed use and operation thereof: <b>RENOVATION OF EXISTING BUILDING, CONVERT FROM RESTAURANT TO SMALL RETAIL STRIP, EXISTING PARKING, AND UTILITIES WILL REMAIN UNCHANGED</b>		

# TOWN OF CARMEL SITE PLAN APPLICATION

PROJECT INFORMATION			
Lot size: Acres: <u>5.4</u>		Square Footage of all existing structures (by floor): Square Feet: <u>23,262</u> <u>6180 S.F.</u>	
# of existing parking spaces: <u>30</u>		# of proposed parking spaces: <u>34</u>	
# of existing dwelling units: <u>0</u>		# of proposed dwelling units: <u>0</u>	
<p>Is the site served by the following public utility infrastructure:</p> <ul style="list-style-type: none"> <li>▪ Is project in sewer district or will private septic system(s) be installed? <u>N/A</u></li> <li>▪ If yes to Sanitary Sewer answer the following:                             <ul style="list-style-type: none"> <li>▶ Does approval exist to connect to sewer main? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/></li> <li>▶ Is this an in-district connection? <u>YES</u> Out-of district connection? _____</li> <li>▶ What is the total sewer capacity at time of application? <u>4600 GPD</u></li> <li>▶ What is your anticipated average and maximum daily flow <u>3070 GPD</u></li> </ul> </li> </ul>			
<p><i>For Town of Carmel Town Engineer</i></p> <ul style="list-style-type: none"> <li>▶ What is the sewer capacity _____</li> </ul>			
<ul style="list-style-type: none"> <li>• Water Supply <u>WELL</u>      Yes: <input type="checkbox"/> No: <input type="checkbox"/></li> </ul>			
<p>If Yes:</p> <ul style="list-style-type: none"> <li>▶ Does approval exist to connect to water main? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/></li> <li>▶ What is the total water capacity at time of application? _____</li> <li>▶ What is your anticipated average and maximum daily demand _____</li> </ul>			
<ul style="list-style-type: none"> <li>• Storm Sewer      Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/></li> <li>• Electric Service      Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/></li> <li>• Gas Service      Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/></li> <li>• Telephone/Cable Lines      Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/></li> </ul>			
<p><i>For Town of Carmel Town Engineer</i></p>			
<p>Water Flows <u>NA</u></p> <p>Sewer Flows <u>NA</u></p> <p style="font-size: 1.2em; margin-left: 50px;"><u>7/1/2020</u></p>			
<p>Town Engineer; Date</p>			
What is the predominant soil type(s) on the site? <u>N/A</u>		What is the approximate depth to water table? <u>N/A</u>	
<p>Site slope categories: <u>0%</u>    15-25% <u>0%</u>    25-35% <u>0%</u>    &gt;35% <u>0%</u></p>			
Estimated quantity of excavation: _____		Cut (C.Y.) _____	Fill (C.Y.) _____
<p>Is Blasting Proposed    Yes: <input type="checkbox"/>    No: <input checked="" type="checkbox"/>    Unknown: <input type="checkbox"/></p>			
Is the site located in a designated Critical Environmental Area?			Yes: <input type="checkbox"/> No: <input type="checkbox"/>
Does a curb cut exist on the site? Yes: <input type="checkbox"/> No: <input type="checkbox"/>		Are new curb cuts proposed? Yes: <input type="checkbox"/> No: <input type="checkbox"/>	What is the sight distance? Left _____ Right _____
<p>Is the site located within 500' of:</p> <ul style="list-style-type: none"> <li>• The boundary of an adjoining city, town or village      Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/></li> <li>• The boundary of a state or county park, recreation area or road right-of-way      Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/></li> <li>• A county drainage channel line.      Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/></li> <li>• The boundary of state or county owned land on which a building is located      Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/></li> </ul>			

# TOWN OF CARMEL SITE PLAN APPLICATION

Is the site listed on the State or Federal Register of Historic Place (or substantially contiguous)  
 Yes:  No:

Is the site located in a designated floodplain?  
 Yes:  No:

Will the project require coverage under the Current NYSDEC Stormwater Regulations  
 Yes:  No:

Will the project require coverage under the Current NYCDEP Stormwater Regulations  
 Yes:  No:

Does the site disturb more than 5,000 sq ft  
 Yes:  No:

Does the site disturb more than 1 acre  
 Yes:  No:

Does the site contain freshwater wetlands?  
 Yes:  No:

Jurisdiction:  
 NYSDEC:  Town of Carmel:

*if present, the wetlands must be delineated in the field by a Wetland Professional, and survey located on the Site Plan.*

Are encroachments in regulated wetlands or wetland buffers proposed? Yes:  No:

Does this application require a referral to the Environmental Conservation Board? Yes:  No:

Does the site contain waterbodies, streams or watercourses? Yes:  No:

Are any encroachments, crossings or alterations proposed? Yes:  No:

Is the site located adjacent to New York City watershed lands? Yes:  No:

Is the project funded, partially or in total, by grants or loans from a public source?  
 Yes:  No:

Will municipal or private solid waste disposal be utilized? **NO**  
 Public:  Private:

Has this application been referred to the Fire Department? Yes:  No:



What is the estimated time of construction for the project? **4 MONTHS**

SEAF says you have all wetlands

## ZONING COMPLIANCE INFORMATION

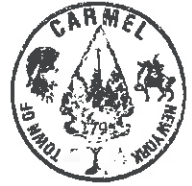
Zoning Provision	Required	Existing	Proposed
Lot Area	40,000	23,262	
Lot Coverage	30%	26.6%	
Lot Width	200	150	
Lot Depth	200	153	
Front Yard	40	15	
Side Yard	25	17.3	
Rear Yard	30	47.3	
Minimum Required Floor Area	5000	6180	
Floor Area Ratio			
Height	35	30	
Off-Street Parking	34	34	
Off-Street Loading	5	1	

# TOWN OF CARMEL SITE PLAN APPLICATION

Will variances be required? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	If yes, identify variances:
<b>PROPOSED BUILDING MATERIALS</b>	
Foundation	EXIST. CONG.
Structural System	EXIST WOOD
Roof	ASPHALT
Exterior Walls	HARDI-PLANK SIDING
<b>APPLICANTS ACKNOWLEDGEMENT</b>	
I hereby depose and certify that all the above statements and information, and all statements and information contained in the supporting documents and drawings attached hereto are true and correct.	
<u>William Besharat</u> Applicants Name	<u></u> Applicants Signature
Sworn before me this <u>24<sup>th</sup></u> day of <u>JUNE</u> 20 <u>20</u>	
<u></u> Notary Public	ALICE DALY Notary Public, State of New York No. 01DA6345218 Qualified in Putnam County Commission Expires July 25, 2020



# TOWN OF CARMEL SITE PLAN COMPLETENESS CERTIFICATION FORM



All Site Plans submitted to the Planning Board for review shall include the following information and details, as set forth in Section 156-61 B of the Town of Carmel Zoning Ordinance.

This form shall be included with the site plan submission

	Requirement Data	To Be Completed by the Applicant	Waived by the Town
1	Name and title of person preparing the site plan	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
2	Name of the applicant and owner (if different from applicant)	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
3	Original drawing date, revision dates, scale and north arrow	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
4	Tax map, block and lot number(s), zoning district	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
5	All existing property lines, name of owner of each property within a 500' radius of the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6	Contour lines at two-foot intervals, grades of all roads, driveways, sanitary and storm sewers	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
7	The location of all water bodies, streams, watercourses, wetland areas, wooded areas, rights-of-way, streets, roads, highways, railroads, buildings, structures	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
8	The location of all existing and proposed easements	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
9	The location of all existing and proposed structures, their use, setback dimensions, floor plans, front, side and rear elevations, buildable area.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10	On site circulation systems, access, egress ways and service roads, emergency service access and traffic mitigation measures	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
11	Sidewalks, paths and other means of pedestrian circulation	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
12	On-site parking and loading spaces and travel aisles with dimensions	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
13	The location, height and type of exterior lighting fixtures	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
14	Proposed signage	<input type="checkbox"/> N/A	<input type="checkbox"/>
15	For non-residential uses, an estimate of the number of employees who will be using the site, description of the operation, types of products sold, types of machinery and equipment used	<input checked="" type="checkbox"/> 30	<input type="checkbox"/>

NOT  
Needed

tree  
needed  
needed



# TOWN OF CARMEL SITE PLAN COMPLETENESS CERTIFICATION FORM



Requirement Data		To Be Completed by the Applicant	Waived by the Town
16	The location of clubhouses, swimming pools, open spaces, parks or other recreational areas, and identification of who is responsible for maintenance	<input checked="" type="checkbox"/> <i>n/a ✓</i>	<input type="checkbox"/>
17	The location and design of buffer areas, screening or other landscaping, including grading and water management. A comprehensive landscaping plan in accordance with the Tree Conservation Law	<input checked="" type="checkbox"/> <i>EXISTING ✓ no Disturbance</i>	<input type="checkbox"/>
18	The location of public and private utilities, maintenance responsibilities, trash and garbage areas	<input checked="" type="checkbox"/> <i>well ✓ plan</i>	<input type="checkbox"/>
19	A list, certified by the Town Assessor, of all property owners within 500 feet of the site boundary	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20	Any other information required by the Planning Board which is reasonably necessary to ascertain compliance with this chapter	<input checked="" type="checkbox"/>	<input type="checkbox"/>

?  
?  
well?  
?

**Applicants Certification (to be completed by the licensed professional preparing the site plan:**

I ROY A. FREDRIKSEN, PE hereby certify that the site plan to which I have attached my seal and signature, meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:

*Roy A. Fredriksen*  
Signature - Applicant

6/24/2020  
Date



Professionals Seal

x *[Signature]*  
Signature Owner

6/24/2020  
Date



TOWN OF CARMEL  
SITE PLAN COMPLETENESS  
CERTIFICATION FORM



Town Certification (to be completed by the Town)

I \_\_\_\_\_ hereby confirm that the site plan meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:

Rose Yonlietta  
Signature - Planning Board Secretary

7/1/20  
Date

[Signature]  
Signature / Town Engineer

7/1/2020  
Date



## Short Environmental Assessment Form

### Part 1 - Project Information

#### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>			
Name of Action or Project: 728 Route 6 LLC			
Project Location (describe, and attach a location map): 728 Route 6, Mahopac, NY 10541			
Brief Description of Proposed Action: Renovate existing building. No site work.			
Name of Applicant or Sponsor: 728 Route 6 LLC		Telephone: 914-523-9450	
		E-Mail: guo16838@aol.com	
Address: 168 East Lake Blvd			
City/PO: Mahopac		State: New York	Zip Code: 10541
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input checked="" type="checkbox"/>
			YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ 0.56 acres			
b. Total acreage to be physically disturbed? _____ 0 acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 0.56 acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>  <input type="checkbox"/>	<input checked="" type="checkbox"/>  <input checked="" type="checkbox"/>	<input type="checkbox"/>  <input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input type="checkbox"/>	NO YES <input checked="" type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	NO YES <input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	NO YES <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>	NO YES <input checked="" type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ Well _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	NO YES <input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ Septic _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	NO YES <input type="checkbox"/>
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>  <input type="checkbox"/>	<input type="checkbox"/>  <input checked="" type="checkbox"/>	NO YES <input type="checkbox"/> <input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	<input type="checkbox"/> <input checked="" type="checkbox"/>	<input checked="" type="checkbox"/> <input type="checkbox"/>	NO YES <input type="checkbox"/> <input type="checkbox"/>

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:

Shoreline    Forest    Agricultural/grasslands    Early mid-successional  
 Wetland    Urban    Suburban

15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?  
Northern Long-eared Bat

	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>

16. Is the project site located in the 100-year flood plan?

	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

17. Will the proposed action create storm water discharge, either from point or non-point sources?  
If Yes,

a. Will storm water discharges flow to adjacent properties?

	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?  
If Yes, briefly describe:

	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?  
If Yes, explain the purpose and size of the impoundment:

	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?  
If Yes, describe:

	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

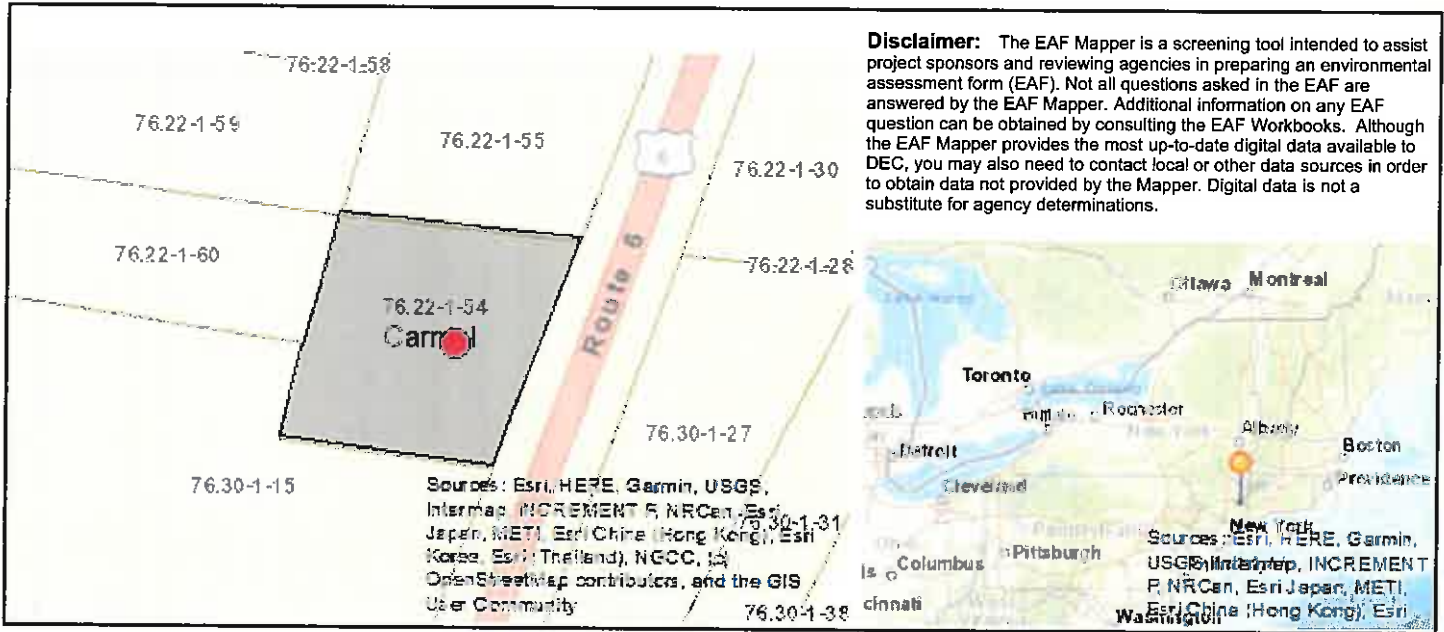
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?  
If Yes, describe:

	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

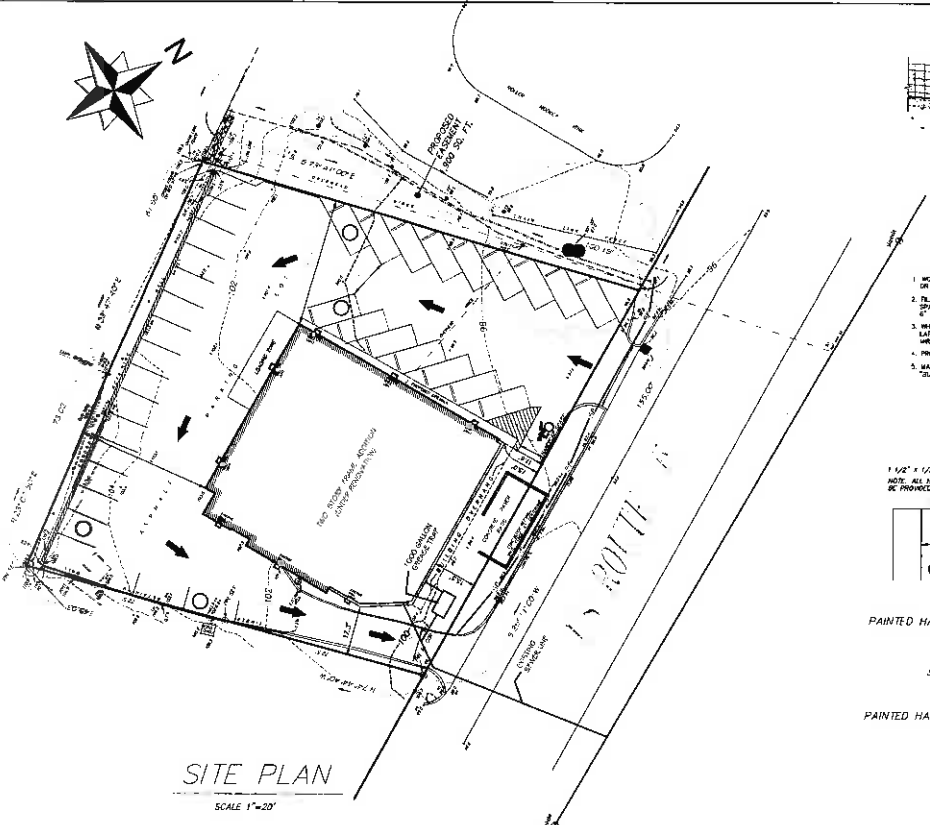
**I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE**

Applicant/sponsor/name: William Besharat Date: 6/24/2020  
Signature: William Besharat Title: AGENT

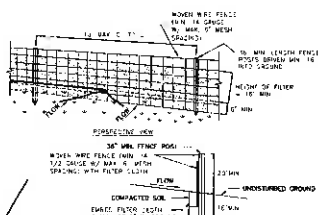
**PRINT FORM**



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Northern Long-eared Bat
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No



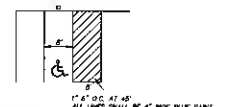
**SITE PLAN**  
SCALE 1"=20'



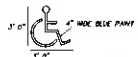
**CONSTRUCTION SPECIFICATIONS**

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO PUNCH POSTS WITH WIRE RINGS OR STAPLES. POSTS SHALL BE STEEL OTHER "1" OR "1 1/2" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH THE SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE 4" MANDRAK WITH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY ONE WOVEN WIRE FENCE. FILTER CLOTH SHALL BE OTHER FILTER R. WEAVE, 100%, STAINLESS TIAON, OR APPROVED EQUIVALENT.
4. PRE-FABRICATED UNITS SHALL BE GEORAP, EXPERIENCE, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "SILVEST" DEVELOP IN THE SALT FENCE.

1 1/2" x 1/2" SQUARE HOT-DIP GALVANIZED STEEL SKIN POST  
NOTE: ALL HANDRAILS TO BE GALVANIZED. ALL BOLTS SHALL BE PROVIDED WITH VANGAL. PROOF HANDRAILS.



**PAINTED HANDICAP PARKING DETAIL**

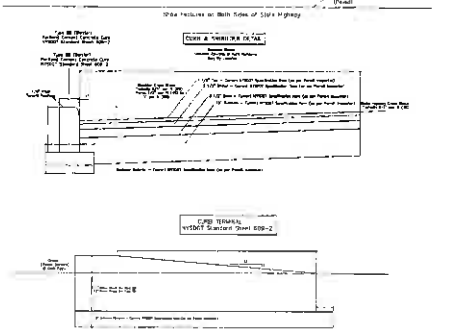
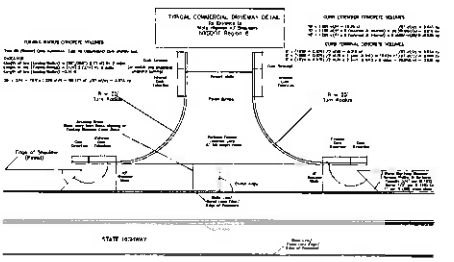


**PAINTED HANDICAP SYMBOL DETAIL**

- NOTES:**
1. THIS SITE PLAN IS FOR THE PURPOSE OF USE CHANGE AND RENOVATION OF EXISTING COMMERCIAL BUILDING. NO CHANGE IN SQUARE FOOTAGE.
  2. ORIGINAL USE OF THE BUILDING WAS RESTAURANT AND CATERING HALL WITH SEATING CAPACITY OF 240 SEATS. THE PROPOSED USE IS 5 INDIVIDUAL SPACES TO BE USED AS RETAIL AND SMALL RESTAURANT.
  3. ORIGINAL RESTAURANT/BANQUET BUSINESS HAS A SEATING CAPACITY OF 140 SEATS CATERING, 80 SEATS RESTAURANT AND 20 SEATS BAR.
  4. SEWAGE FLOW FOR ORIGINAL USE WAS 4,800 GALLON PER DAY AND THE PROPOSED USE WILL HAVE 3,070 GALLON PER DAY.
  5. THE SITE IS SERVED WITH EXISTING MUNICIPAL SEWER CONNECTION AND PRIVATE WELL.
  6. NO ADDITIONAL IMPERVIOUS AREA IS PROPOSED.
  7. PARKING REQUIREMENTS FOR ORIGINAL USE WAS 80 PARKING SPACES AND NEW USE WILL REQUIRE ONLY 34 PARKING SPACE OF WHICH 31 SPACES EXISTING. (FROM ORIGINAL USE)

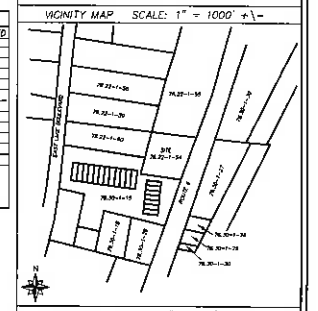
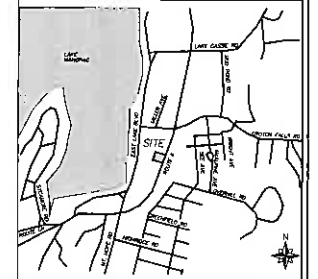
**ZONING TABLE**

COMMERCIAL	REQUIRED	PROPOSED	VARIANCE REQUIRED
MIN. LOT AREA	40,000 SQ. FT.	43,783 SQ. FT.	
MIN. YARDS			
FRONT	40 FT.	18 FT.	
SIDE	20 FT.	17.5 FT.	
REAR	50 FT.	47.5 FT.	
MIN. FRONTAGE	200 FT.	200 FT.	
MAX. BLDG. HEIGHT	34 FT.	30 FT.	
MIN. LOT WIDTH	200 FT.	190 FT.	
MIN. LOT DEPTH	200 FT.	163 FT.	
MIN. 1ST FLOOR AREA	4000 SQ. FT.	8,163 FT.	
MAX. BLDG. COVERAGE	50%	27.4%	
MIN. DRIVEWAY WIDTH	12 FT. (ONE WAY)	12 FT. (ONE WAY)	
PARKING REQ. FOR	34 PARKING SPACES	33 SPACES (8'x16') PLUS 1 H.C. SPACE	TOTAL 34 SPACES



TOPOGRAPHIC SURVEY PREPARED BY:

**Link**  
**Land Surveyors P.C.**  
21 Clark Place, Suite 101  
Manhasset NY 10941  
Phone 646-626-5877  
Fax 946-629-0073  
DATED NOVEMBER 19, 2020



**ADJOINING OWNERS**

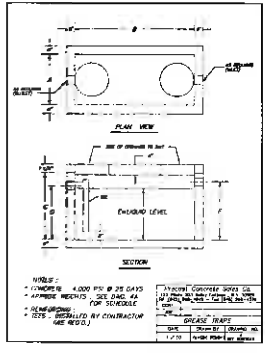
TAX LOT	ADDRESS
76.22-1-58	MANHACAP CENTRAL SCHOOL DISTRICT 178 EAST LAKE BLVD MANHACAP, NY 10941
76.22-1-27	MAN REALTY LLC 725 ROUTE 6 MANHACAP, NY 10941
76.30-1-19	THE LAKE MANHACAP CONDOMINIUMS 603 MANHACAP AVE MANHACAP, NY 10941
76.22-1-60	JOHN P. MOONEY INC. FND, INC 181 EAST LAKE BLVD MANHACAP, NY 10941
76.22-1-59	MARTIN'S SPALLINA 185 EAST LAKE BLVD MANHACAP, NY 10941



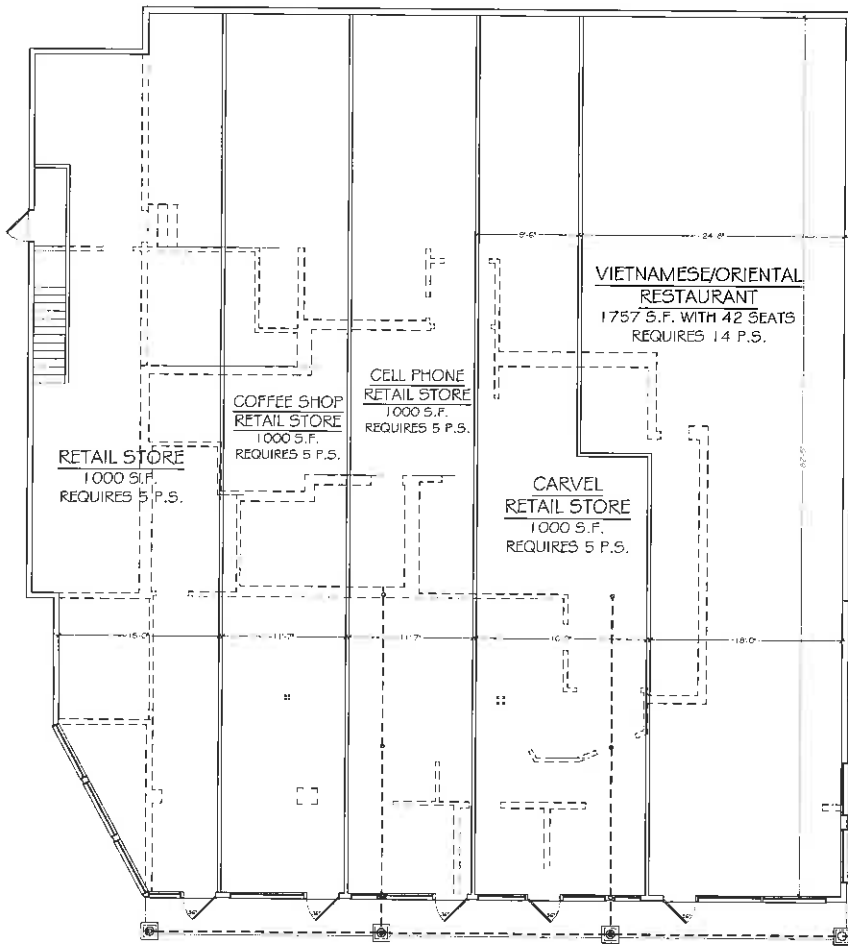
**ROY A. FREDRIKSEN, PE**  
DESIGN, PLANNING & CONSULTING ENGINEERING  
266 SHEAR HILL RD • MANHACAP, NY 10941 • 646-621-4000  
RAYEXDESIGN@GMAIL.COM

OWNER:	728 ROUTE SIX, LLC 180 EAST LAKE BLVD MANHACAP, NY 10941	JOB #:	
DESIGN BY:		CHECK BY:	
PROJECT:	REVISION TO SITE PLAN FOR EXISTING BUILDING UNDER RENOVATION LOCATED AT 728 RT 6 IN MANHACAP.	TAX MAP #:	
SHEET TITLE:	SITE PLAN, NOTES AND DETAILS		78.22-1-54

REVISIONS: **4/28/20**  
DATE: **May 27, 2020**

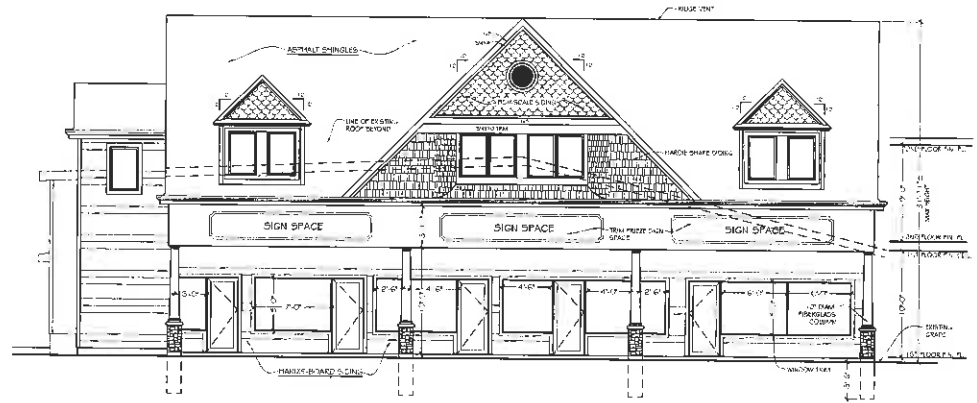


FINISH	THICKNESS	UNIT WEIGHT	WET UNIT WEIGHT	WET UNIT WEIGHT PER SQ. FT.	WET UNIT WEIGHT PER CU. YD.
4-1200	4.00	145	150	600	1350
4-1000	3.50	125	130	462	1020
4-800	2.75	95	100	353	770
4-600	2.00	70	75	264	570
4-400	1.25	45	50	165	360
4-200	0.50	18	20	66	140
4-100	0.25	9	10	33	70
4-50	0.125	4.5	5	16.5	35

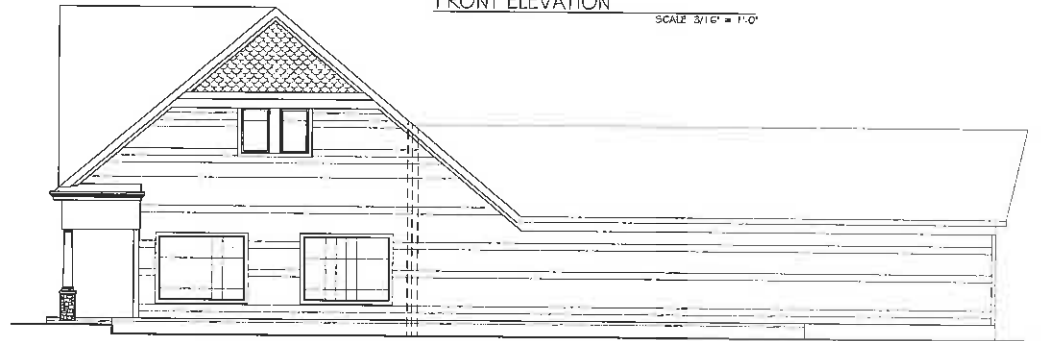


FIRST FLOOR PLAN

SCALE 3/16" = 1'-0"



SCALE 3/16" = 1'-0"



SCALE 3/16" = 1'-0"



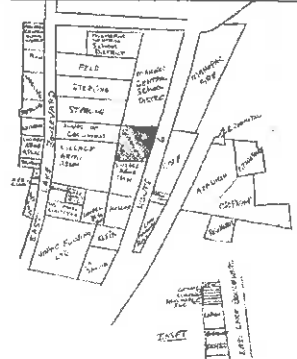
**ROY A. FREDRIKSEN, PE**  
DESIGN • PLANNING • CONSULTING ENGINEERING  
266 SHEAR HILL RD • MAHOPAC, NY 10541 • 845-621-4000  
RAYEXDESIGN@GMAIL.COM

OWNER 726 ROUTE SIX, LLC.	JOB #
PROJECT RENOVATION TO EXISTING BUILDING LOCATED AT 726 ROUTE 6 IN MAHOPAC, NY.	DRAWN BY
	CHECKED BY
	TAX MAP #
	76-22-1-54

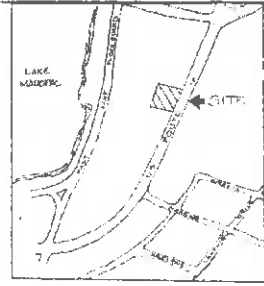
SHEET TITLE FLOOR PLAN AND ELEVATIONS  
1 OF 1

REVISIONS: DATE 9/20/2019





AREA IDENTIFICATION PLAN SHOWING OWNERS



AREA MAP  
SCALE: 1" = 200'



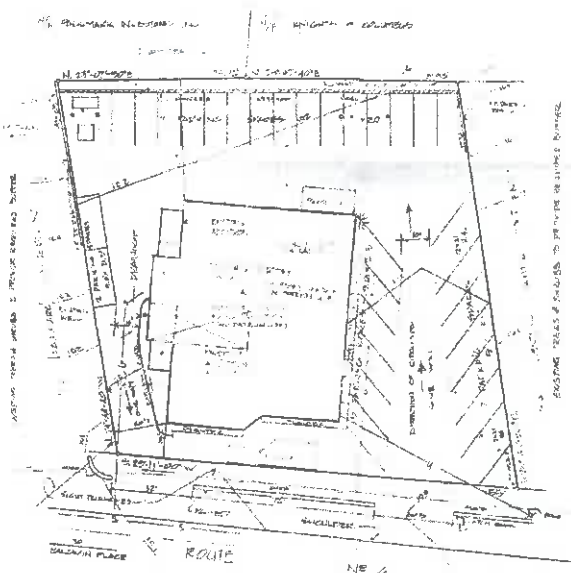
LOCATION MAP  
SCALE: 1" = 1000'

DEED DATA NOTES

OWNER: MUSCOOT NORTH  
 1. ZONING: L-2  
 2. TAX MAP DATA: 478-81-200  
 3. \* ZONING REGULATIONS \*

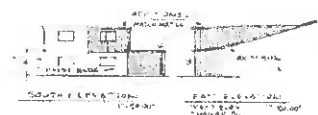
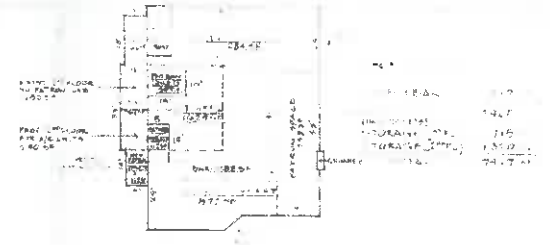
CONSERVED	RECREATION	PROTECTED	VARIED	VARIED	VARIED
AREA	22.1160	GRANITE	16.700	16.700	16.700
HEIGHT	25'	YES	25'	25'	25'
DEPTH	145'	YES	145'	145'	145'
FRONT YARD	40'	YES	40'	40'	40'
SIDE YARD	5'	YES	5'	5'	5'
REAR YARD	0'	NO	0'	0'	0'
MAXIMUM LOT COV.	10%	NO	10%	10%	10%
MUTUALITY	15'	NO	15'	15'	15'
RIGHT OF WAY	10'	NO	10'	10'	10'
PARKING SPACES	2	YES	2	2	2
* SINGLE FAMIL. RES. USE *	10'	YES	10'	10'	10'

NOTES:  
 1. ALL VARIANCES MUST BE OBTAINED FROM THE BOARD OF ZONING APPEALS.  
 2. ALL VARIANCES MUST BE OBTAINED FROM THE BOARD OF ZONING APPEALS.  
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 7. ALL VARIANCES MUST BE OBTAINED FROM THE BOARD OF ZONING APPEALS.  
 8. ALL VARIANCES MUST BE OBTAINED FROM THE BOARD OF ZONING APPEALS.  
 9. ALL VARIANCES MUST BE OBTAINED FROM THE BOARD OF ZONING APPEALS.  
 10. ALL VARIANCES MUST BE OBTAINED FROM THE BOARD OF ZONING APPEALS.



AMENDED SITE PLAN  
SCALE: 1" = 20'

- ⊕ LIGHT FIXTURE (WALL MOUNTED)
- FILING (WALL CONNECTION)
- DATE LINE
- SECTION



Approved hereby great seal of the City of New York  
 Mayor  
 Council  
 Board of Zoning Appeals  
 Board of Zoning Appeals  
 Board of Zoning Appeals  
 Board of Zoning Appeals

DATE: 1/15/87  
 DRAWING TITLE: SITE DETAILS NOTES  
 PROJECT: JOEL LAWRENCE GREENBERG ARCHITECT - TOWN PLANNER  
 MUSCOOT NORTH NEW YORK  
 MUSCOOT SOUTH NEW YORK  
 MUSCOOT WEST NEW YORK  
 MUSCOOT EAST NEW YORK  
 MUSCOOT CENTRAL NEW YORK  
 MUSCOOT NORTHWEST NEW YORK  
 MUSCOOT SOUTHWEST NEW YORK  
 MUSCOOT NORTHEAST NEW YORK  
 MUSCOOT SOUTHEAST NEW YORK  
 SHEET: S-1  
 OF: 01

# GMF Architecture & Design, PC

G. Michael Finelli, Reg. Architect  
97 Baldwin Lane  
Mahopac, NY 10541

(914) 438-5665 Home

www.gmfad.com

gmfinelli@gmfad.com

6/8/2020

Rose Trombetta,  
Secretary to the Planning Board  
Town of Carmel  
60 McAlpin Road  
Mahopac, NY 10541

Re: Proposed addition to an existing single story commercial building.

Parcel owner/ Applicant: Kristen Caroprese  
18 Miller Road  
Mahopac, NY 10541

Ms. Trombetta;

I am formally making submission on behalf of the owner/applicant, to the Town of Carmel Planning Board. It is our hope to be considered for review at the upcoming Planning Board meeting July, 2020.

The Teal Door Counseling Center opened their doors in February 2018. Six therapists take an unconventional approach to counseling than one might expect from a traditional clinical practice. They employ psychiatric medication, as well as mental health therapy to serve people of all ages, including families and couples. But what sets them apart is the personal touch that the therapists provide in a calm, soothing setting, where patients can feel comfortable, as if they're sitting in their own living room.

The staff at The Teal Door treats adults, children, couples, families, seniors, teens and veterans. They treat a broad spectrum of conditions, including anxiety and stress, divorce, family conflicts, gender identity/sexual issues, OCD, PTSD, school issues, teen violence, substance abuse, trauma and more.

The existing building has a total square footage of just 578 sf. Due to the proximity of the building to existing wetlands in the rear of the site, steep slopes on either side of the building, and almost no front yard setback to Miller Road, opportunities for expansion are very limited. Now more than ever, the Teal Door, provides services which are greatly needed, and with that need, comes the need for additional space.

The proposed addition of 297 sf comes in the form of a single story utilizing the existing deck at the rear of the existing building. The Deck will be re-purposed and the addition will take its place.



# GMF Architecture & Design, PC

G. Michael Finelli, Reg. Architect  
97 Baldwin Lane  
Mahopac, NY 10541

(914) 438-5665 *Phone*

[www.gmfad.com](http://www.gmfad.com)

[gfinelli@gmfad.com](mailto:gfinelli@gmfad.com)

With this design choice we will be limited to the size of the proposed addition, but we will not encroach any further into the wetlands than we do currently. Our impervious surface area does not increase either. This eliminates the need for any new excavations, drainage, or drywells. The addition is to the rear of the property, therefore the overall appearance of the building does not change from the front view (street). All Building and Code regulations are met, or exceeded. Overall, there is minimal impact to the existing site, since we are sitting on the exact same footprint.

We hope the Board can see to the need a company like ours at The Teal Door fills here in our community. We look forward to discussing this project and answering any and all questions on our way to a slightly bigger facility, and practice, so we can continue to grow in the community together.

I have attached 10 sets of completed packages per application requirements.

If there are any questions, please do not hesitate to call me to review.

Respectfully submitted,



G. Michael Finelli, RA  
GMF Architecture & Design, PC  
914-438-5665

# The Teal Door Counseling Center

TOWN OF CARMEL

## SITE PLAN APPLICATION INSTRUCTIONS



The Town of Carmel Planning Board meetings are held twice a month, on the second and fourth Wednesday's, at 7:00 PM at Carmel Town Hall, 60 McAlpin Avenue, Carmel

The submission deadline is 10 days prior to the Planning Board meeting. New site plan applications that have been deemed complete will be placed on the agenda in the order they are received.

**No application will be placed on the agenda that is incomplete**

### Pre-Submission:

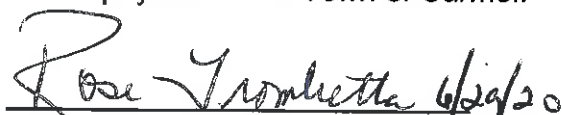
Prior to the formal submission of the site plan, a pre-submission conference may be requested by the applicant to be conducted with representatives from the Town, which may include the Town Planner, Town Engineer, Director of Code Enforcement and/or the Planning Board Attorney. This conference will serve to educate the applicant on the process he/she must follow, clarify the information required to submit a complete site plan application, and to highlight any specific areas of concern. You may arrange a pre-submission conference through the Planning Board Secretary at (845) 628-1500 extension 190.

### Submission Requirements:

At least 10 days prior to the Planning Board meeting, the site plan application shall be submitted to the Planning Board Secretary as follows:

All site plans shall be signed, sealed and folded with the title box legible. The application package shall include:

- 11 copies of the Site Plan Application Form, signed and notarized.
- 11 copies of the SEQR Environmental Assessment Form (use of short form or long form shall be determined at pre-submission conference).
- 5 full size sets of the Site Plan (including floor plans and elevations)
- 1 CD (in pdf. format) containing an electronic version of the Site Plan
- 2 copies of the Disclosure Statement
- 11 copies of the Site Plan Completeness Certification Form
- All supplemental studies, reports, plans and renderings.
- 2 copies of the current deed.
- ~~2~~ <sup>1</sup> copies of all easements, covenants and restrictions.
- The appropriate fee, determined from the attached fee schedule. Make checks payable to the *Town of Carmel*.

  
Planning Board Secretary; Date

  
Town Engineer; Date



# TOWN OF CARMEL SITE PLAN APPLICATION



Per Town of Carmel Code - Section 156 - Zoning

SITE IDENTIFICATION INFORMATION		
Application Name: <b>THE TEAL DOOR COUNSELING CENTER</b>	Application # <b>20-0005</b>	Date Submitted: <b>6/9/20</b>
Site Address: No. <b>18</b> Street: <b>MULLER RD</b> Hamlet: <b>MAHOPAC</b>		
Property Location: (Identify landmarks, distance from intersections, etc.) <b>EASTERLY SIDE OF MULLER 4-1300 FT SOUTH OF RT. 6</b>		
Town of Carmel Tax Map Designation: Section <b>86.11</b> Block <b>1</b> Lot(s) <b>15</b>	Zoning Designation of Site: <b>CBP</b>	
Property Deed Recorded in County Clerk's Office Date <b>2019</b> Liber <b>2060</b> Page <b>181</b>	Liens, Mortgages or other Encumbrances Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Existing Easements Relating to the Site <input checked="" type="checkbox"/> No Yes Describe and attach copies:	Are Easements Proposed? <input checked="" type="checkbox"/> No Yes Describe and attach copies:	
Have Property Owners within a 500' Radius of the Site Been Identified? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Attached List to this Application Form		
APPLICANT/OWNER INFORMATION		
Property Owner: <b>KRISTEN CAROPRESE</b>	Phone #: <b>914-437-4752</b>	Email: Fax#:
Owners Address: No. Street: Town: State: Zip:		
Applicant (if different than owner): No. Street: Town: State: Zip:		
Applicant Address (if different than owner): No. Street: Town: State: Zip:		
Individual/ Firm Responsible for Preparing Site Plan: <b>G. MICHAEL FINELLI, RA</b>	Phone #: <b>914-438-5665</b>	Email: <b>G.MFINELLI@JMAIL.COM</b>
Address: No. 97 Street: <b>BALDWIN LANE</b> Town: <b>MAHOPAC</b> State: <b>NJ</b> Zip: <b>10541</b>		
Other Representatives: No. Street: Town: State: Zip:		
Owners Address: No. Street: Town: State: Zip:		
PROJECT DESCRIPTION		
Describe the project, proposed use and operation thereof:  <b>UTILIZE AN EXISTING DECK TO CONSTRUCT AN ELEVATED 297 SF ADDITION TO AN EXIST. 578 SF COUNSELING CENTER, FOR A TOTAL SF OF 875 SF.</b>		

## TOWN OF CARMEL SITE PLAN APPLICATION

PROJECT INFORMATION			
Lot size:	Acres: <u>4.475</u>	Square Feet: <u>19,498</u>	Square footage of all existing structures (by floor): <u>578 EXISTING</u>
# of existing parking spaces:	<u>7</u>	# of proposed parking spaces:	<u>SAME</u>
# of existing dwelling units:	<u>0</u>	# of proposed dwelling units:	<u>0</u>
Is the site served by the following public utility infrastructure:			
<ul style="list-style-type: none"> <li>• Is project in sewer district or will private septic system(s) be installed? <u>NO</u></li> <li>• If yes to Sanitary Sewer answer the following:                             <ul style="list-style-type: none"> <li>▷ Does approval exist to connect to sewer main? Yes: <input type="checkbox"/> No: <input type="checkbox"/></li> <li>▷ Is this an in-district connection? _____ Out-of district connection? _____</li> <li>▷ What is the total sewer capacity at time of application? _____</li> <li>▷ What is your anticipated average and maximum daily flow <u>Not Applicable</u></li> </ul> </li> </ul>			
For Town of Carmel Town Engineer			
<ul style="list-style-type: none"> <li>• What is the sewer capacity _____</li> </ul>			
• Water Supply		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
If Yes: <ul style="list-style-type: none"> <li>▷ Does approval exist to connect to water main? Yes: <input type="checkbox"/> No: <input type="checkbox"/></li> <li>▷ What is the total water capacity at time of application? _____</li> <li>▷ What is your anticipated average and maximum daily demand <u>Not Applicable</u></li> </ul>			
• Storm Sewer		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
• Electric Service		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
• Gas Service		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
• Telephone/Cable Lines		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
For Town of Carmel Town Engineer			
Water Flows _____			
Sewer Flows <u>Not Applicable</u>			
Town Engineer; Date _____			
What is the predominant soil type(s) on the site?		What is the approximate depth to water table?	
<u>PUB</u>		_____	
Site slope categories:	15-25% %	25-35% %	>35% %
Estimated quantity of excavation:	Cut (C.Y.) <u>0</u>	Fill (C.Y.) <u>0</u>	
Is Blasting Proposed	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> Unknown: <input type="checkbox"/>		
Is the site located in a designated Critical Environmental Area?	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>		
Does a curb cut exist on the site? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	Are new curb cuts proposed? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	What is the sight distance? Left <u>500 FT</u> Right <u>1300 FT</u>	
Is the site located within 500' of:			
• The boundary of an adjoining city, town or village		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
• The boundary of a state or county park, recreation area or road right-of-way		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
• A county drainage channel line.		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
• The boundary of state or county owned land on which a building is located		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	

## TOWN OF CARMEL SITE PLAN APPLICATION

Is the site listed on the State or Federal Register of Historic Place (or substantially contiguous)?  
 Yes:  No:

Is the site located in a designated floodplain?  
 Yes:  No:

Will the project require coverage under the Current NYSDEC Stormwater Regulations  
 Yes:  No:

Will the project require coverage under the Current NYCDEP Stormwater Regulations  
 Yes:  No:

Does the site disturb more than 5,000 sq ft  
 Yes:  No:

Does the site disturb more than 1 acre  
 Yes:  No:

Does the site contain freshwater wetlands?  
 Yes:  No:  *PT 1/13/10*

Jurisdiction:  
 NYSDEC:  Town of Carmel:

*If present, the wetlands must be delineated in the field by a Wetland Professional, and survey located on the Site Plan.*

Are encroachments in regulated wetlands or wetland buffers proposed? Yes:  No:

Does this application require a referral to the Environmental Conservation Board? Yes:  No:

Does the site contain waterbodies, streams or watercourses? Yes:  No:

Are any encroachments, crossings or alterations proposed? Yes:  No:

Is the site located adjacent to New York City watershed lands? Yes:  No:

Is the project funded, partially or in total, by grants or loans from a public source?  
 Yes:  No:



Will municipal or private solid waste disposal be utilized?  
 Public:  Private:

Has this application been referred to the Fire Department? Yes:  No:

What is the estimated time of construction for the project?  
 3 MONTHS

ZONING COMPLIANCE INFORMATION			
Zoning Provision	Required	Existing	Proposed
Lot Area	3 AC / 130,620	0.4475 / 19,494	NO CHANGE
Lot Coverage	40%	5.1%	"
Lot Width	200 FT	115 FT	"
Lot Depth	200 FT	178.92 FT	"
Front Yard	50 FT	23.32 FT	"
Side Yard	40 FT EA.	26.5 / 51 FT	"
Rear Yard	40 FT	110 FT	"
Minimum Required Floor Area	5,000 sq	578 SF	875 SF
Floor Area Ratio			
Height	60 FT / 40 FT	25.5 FT	"
Off-Street Parking	1 / 200 SF	7 + 1 (HC)	"
Off-Street Loading	N/A		

## TOWN OF CARMEL SITE PLAN APPLICATION

Will variances be required? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	If yes, identify variances:
<b>PROPOSED BUILDING MATERIALS</b>	
<b>Foundation</b>	NONE (EXIST PT DECK + FTG)
<b>Structural System</b>	WOOD FRAME
<b>Roof</b>	ASPHALT SHINGLES
<b>Exterior Walls</b>	WOOD FRAME
<b>APPLICANT'S ACKNOWLEDGEMENT</b>	
I hereby depose and certify that all the above statements and information, and all statements and information contained in the supporting documents and drawings attached hereto are true and correct.	
<u>G. MICHAEL FINELLI, RA</u> Applicants Name	 Applicants Signature
Sworn before me this <u>9th</u> day of <u>June</u> 20 <u>20</u>	
 Notary Public	<div style="border: 2px solid black; padding: 5px; width: fit-content; margin: auto;">                     CARMEN RADLEIN                      Notary Public - State of New York                      NO. 017RA6405888                      Qualified in Putnam County                      My Commission Expires Mar 16, 2024                 </div>



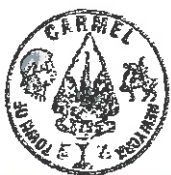
## TOWN OF CARMEL SITE PLAN COMPLETENESS CERTIFICATION FORM



All Site Plans submitted to the Planning Board for review shall include the following information and details, as set forth in Section 156-61 B of the Town of Carmel Zoning Ordinance.

This form shall be included with the site plan submission

	<i>Requirement Data</i>	<i>To Be Completed By the Applicant</i>	<i>Waived by the Town</i>
1	Name and title of person preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2	Name of the applicant and owner (if different from applicant)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3	Original drawing date, revision dates, scale and north arrow	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4	Tax map, block and lot number(s), zoning district	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5	All existing property lines, name of owner of each property within a 500' radius of the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6	Contour lines at two-foot intervals, grades of all roads, driveways, sanitary and storm sewers	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7	The location of all water bodies, streams, watercourses, wetland areas, wooded areas, rights-of-way, streets, roads, highways, railroads, buildings, structures	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8	The location of all existing and proposed easements	<input type="checkbox"/> N/A	<input type="checkbox"/>
9	The location of all existing and proposed structures, their use, setback dimensions, floor plans, front, side and rear elevations, buildable area.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10	On site circulation systems, access, egress ways and service roads, emergency service access and traffic mitigation measures	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11	Sidewalks, paths and other means of pedestrian circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12	On-site parking and loading spaces and travel aisles with dimensions	<input checked="" type="checkbox"/>	<input type="checkbox"/>
13	The location, height and type of exterior lighting fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>
14	Proposed signage	<input type="checkbox"/> N/A	<input type="checkbox"/>
15	For non-residential uses, an estimate of the number of employees who will be using the site, description of the operation, types of products sold, types of machinery and equipment used	<input checked="" type="checkbox"/>	<input type="checkbox"/>




# TOWN OF CARMEL SITE PLAN COMPLETENESS CERTIFICATION FORM



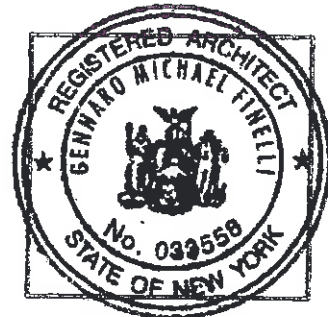
Requirement Data	To Be Completed By the Applicant	Waived by the Town
16 The location of clubhouses, swimming pools, open spaces, parks or other recreational areas, and identification of who is responsible for maintenance	<input type="checkbox"/> N/A	<input type="checkbox"/>
17 The location and design of buffer areas, screening or other landscaping, including grading and water management. A comprehensive landscaping plan in accordance with the Tree Conservation Law	<input type="checkbox"/> N/A	<input type="checkbox"/>
18 The location of public and private utilities, maintenance responsibilities, trash and garbage areas	<input type="checkbox"/> N/A	<input type="checkbox"/>
19 A list, certified by the Town Assessor, of all property owners within 500 feet of the site boundary	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20 Any other information required by the Planning Board which is reasonably necessary to ascertain compliance with this chapter	<input type="checkbox"/> N/A	<input type="checkbox"/>

**Applicants Certification (to be completed by the licensed professional preparing the site plan:**

I,  hereby certify that the site plan to which I have attached my seal and signature, meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:

  
Signature - Applicant

11/20/2019  
Date



Professionals Seal

  
Signature - Owner

6-1-2020  
Date





TOWN OF CARMEL  
SITE PLAN COMPLETENESS  
CERTIFICATION FORM



Town Certification (to be completed by the Town)

I \_\_\_\_\_ hereby confirm that the site plan meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:

Rose Tomblitta  
Signature - Planning Board Secretary

6/29/20  
Date

[Signature]  
Signature - Town Engineer

6/29/2020  
Date

## Short Environmental Assessment Form

### Part 1 - Project Information

#### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

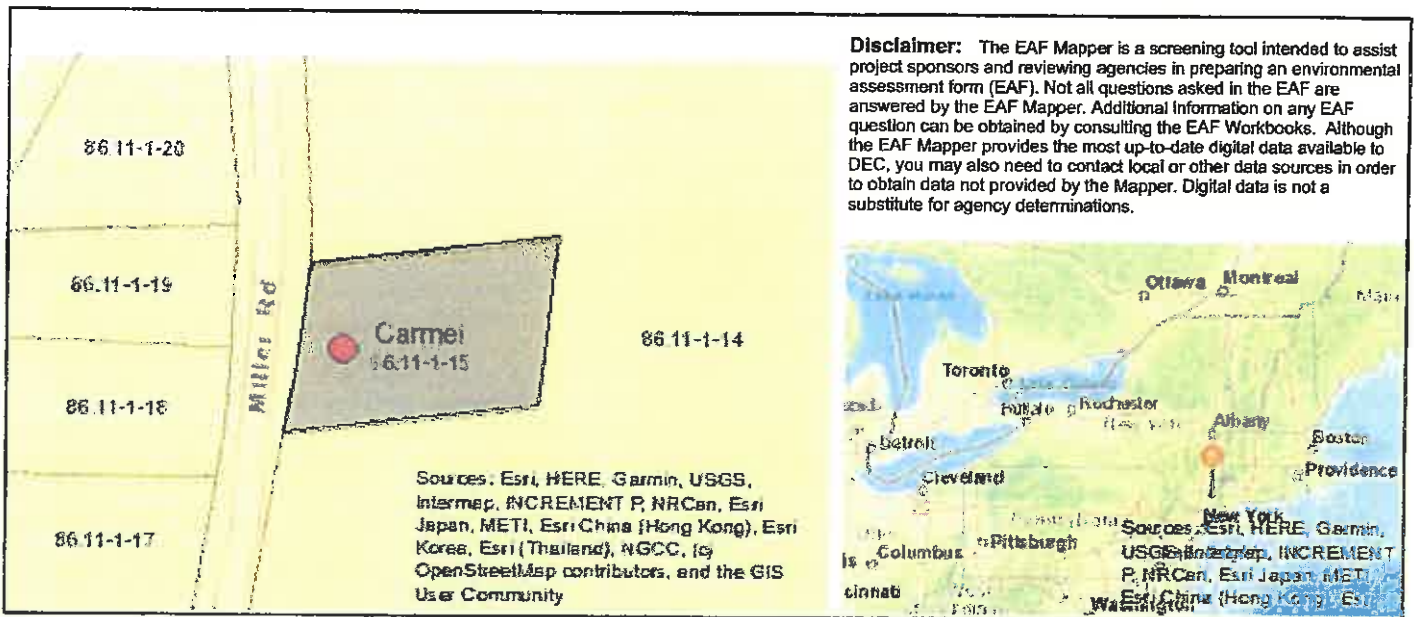
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Addition to an existing building			
Project Location (describe, and attach a location map): Easterly side of Miller Road (#18) 1,300 feet south of Route 6			
Brief Description of Proposed Action: Utilize an existing deck to construct an elevated 297 s.f. addition to an existing 578 s.f. counseling center for a total of 875 s.f.			
Name of Applicant or Sponsor: G. Michael Finelli, RA		Telephone: 914-438-5665	
Address: 97 Baldwin Lane		E-Mail: GMFinelli@gmail.com	
City/PO: Mahopac		State: New York	Zip Code: 10541
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? b. Total acreage to be physically disturbed? c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?			NO <input checked="" type="checkbox"/>
4. Check all land uses that occur on, are adjoining or near the proposed action: 5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? Name: Baldwin Place Area, Reason: Difficulties w/ portable water source, Agency: Somers, Town of, Date: 9-26-90 If Yes, identify: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	b. Are public transportation services available at or near the site of the proposed action?		
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?			
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?			
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?		
<input checked="" type="checkbox"/>	<input type="checkbox"/>		
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input checked="" type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe:		
The new gutters will be connected to the existing system and point of discharge.		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe:	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b> Applicant/sponsor/name: <u>G. MICHAEL FINELLI, RA</u> Date: <u>6-10-20</u> Signature: <u><i>G. Michael Finelli</i></u> , RA      Title: <u>ARCHITECT</u>		

**PRINT FORM**



- Part 1 / Question 7 [Critical Environmental Area] Yes
- Part 1 / Question 7 [Critical Environmental Area - Identify] Name:Baldwin Place Area, Reason:Difficulties w/ portable water source, Agency:Somers, Town of, Date:9-26-90
- Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites] No
- Part 1 / Question 12b [Archeological Sites] Yes
- Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies] Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
- Part 1 / Question 15 [Threatened or Endangered Animal] No
- Part 1 / Question 16 [100 Year Flood Plain] No
- Part 1 / Question 20 [Remediation Site] Yes



**G. MICHAEL FINELLI**  
 LIC. ARCHITECT  
 97 BALDWIN LANE  
 MAHOPAC, NY 10541  
 P: 914.438.5665  
 GMFINELLI@GMAIL.COM

CONSULTANTS

PROJECT:  
**PROPOSED SINGLE STORY ADDITION**

OWNER:  
**THE TEAL DOOR COUNSELING CENTER**

ADDRESS:  
**18 MILLER ROAD  
 MAHOPAC, NY  
 10541**

SUBAREA:  
**SECTION: 86.11  
 BLOCK: 1  
 LOT: 15**

ZONE: **CBP**

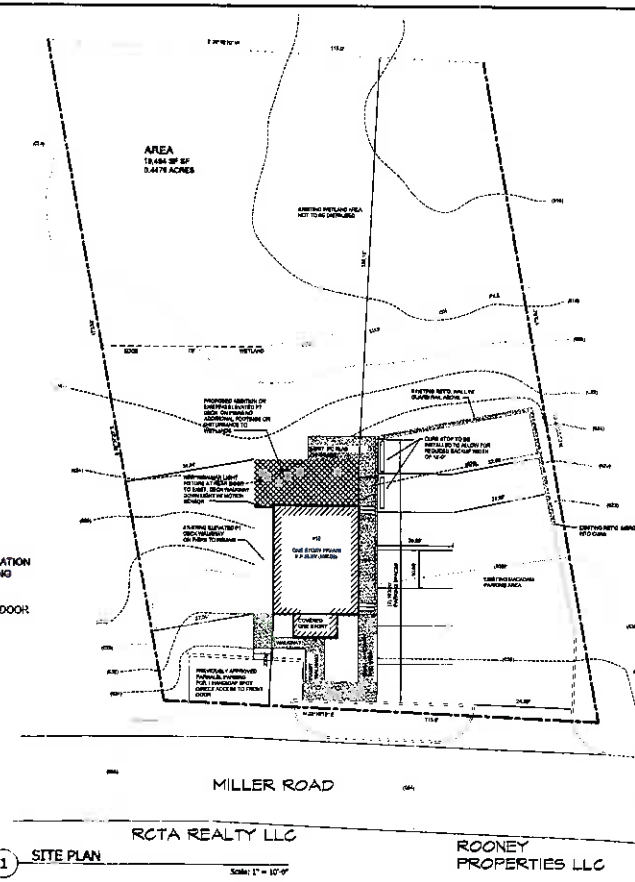
04-24-20 PLANNING BOARD SUBMISSION BY  
 SCALE: PLANNING BOARD SUBMISSION BY  
 ISSUE DATE: DESCRIPTION

PROJECT NO: 1901  
 CAD DWG FILE: 1901-1901.dwg  
 DRAWN BY: GAF  
 CHECKED BY: GAF  
 COPYRIGHT: 2009

SHEET TITLE:  
**SITE PLAN, ZONING, CODE  
 CALCUS, & SF DIAGRAMS**

A-101.1

OF 6



1 SITE PLAN  
 Scale: 1" = 10'-0"

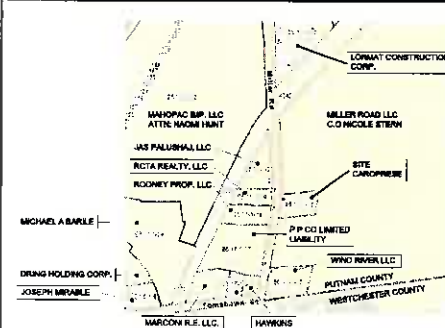
ZONING INFORMATION: 18 MILLER ROAD, MAHOPAC, NY 10541 ZONE - CBP

REQUIRED:	EXISTING:	PROPOSED: ADDITION 297 SF
<b>AREA:</b> 3,476 AC (19,484 SF)	<b>AREA:</b> 3,476 AC (19,484 SF)	<b>AREA:</b> 8,478 AC (18,684 SF) - NO CHANGE
<b>WIDTH:</b> 118.00 FT	<b>WIDTH:</b> 118.00 FT	<b>WIDTH:</b> 118.00 FT - NO CHANGE
<b>DEPTH:</b> 173.82 FT	<b>DEPTH:</b> 173.82 FT	<b>DEPTH:</b> 173.82 FT - NO CHANGE
<b>FRONT YARD:</b> 25.00 FT	<b>FRONT YARD:</b> 25.00 FT	<b>FRONT YARD:</b> 25.00 FT - NO CHANGE
<b>REAR YARD:</b> 25.00 FT (EACH)	<b>REAR YARD:</b> 25.00 FT (EACH)	<b>REAR YARD:</b> 25.00 FT (EACH) - NO CHANGE
<b>DECK YARD:</b> OVER 100 FT	<b>DECK YARD:</b> OVER 100 FT	<b>DECK YARD:</b> OVER 100 FT - NO CHANGE
<b>BLDG. SET:</b> 5.00 FT (EACH)	<b>BLDG. SET:</b> 5.00 FT (EACH)	<b>BLDG. SET:</b> 5.00 FT (EACH) - NO CHANGE
<b>LOT COVERAGE:</b> 100%	<b>LOT COVERAGE:</b> 100%	<b>LOT COVERAGE:</b> 100% - NO CHANGE
<b>FLOOR AREA:</b> 3,476 SF	<b>FLOOR AREA:</b> 3,476 SF	<b>FLOOR AREA:</b> 3,476 SF - NO CHANGE
<b>OFF-STREET PARKING:</b> THREE (3) SP	<b>OFF-STREET PARKING:</b> THREE (3) SP	<b>OFF-STREET PARKING:</b> (1) 10'x20' SPACES EAST (1) 10'x20' SPACES WEST (1) 10'x20' SPACES EAST

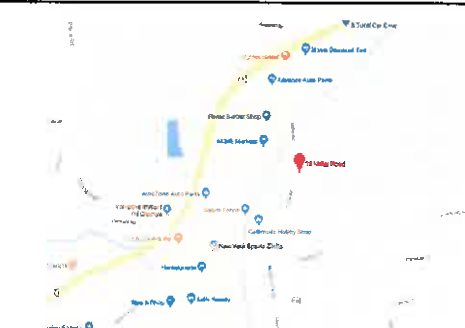
**SITE PLAN CERTIFICATION:**  
 THIS IS NOT A SURVEY. THIS DRAWING TO BE USED FOR ARCHITECTURAL AND ZONING REFERENCE ONLY. ALL EXISTING INFORMATION ON THIS SITE PLAN HAS BEEN OBTAINED FROM THE PLAN DATED 12/26/09 BY: VINCENT ETTRILL, CONSULTING ENGINEER 1046 BELLWAY RD SHIRAZ OAK, NY 10546

THE PROFESSIONAL SEALING THESE DRAWINGS WILL BE BY THE AUTHORITY OF THE DRAFTER HEREIN ONLY ABOVE AND EXCEPT NO RESPONSIBILITY FOR ACCURACY OF THE SAME.

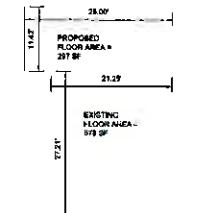
**DRAWING LIST:**  
 A101.1 - SITE PLAN, ZONING, CODE CALCUS, & SF DIAGRAMS  
 A102.1 - EXISTING CONDITION / DEMOLITION DRAWINGS  
 A103.1 - PLANS, NOTES & LEGENDS  
 A104.1 - STRUCTURAL PLANS & DETAILS  
 A105.1 - PROPOSED ELEVATIONS & SECTION  
 A106.1 - GENERAL NOTES



3 TAX MAP  
 Scale: N.T.S.



2 LOCATION MAP  
 Scale: N.T.S.



4 FLOOR PLAN SF DIAGRAMS  
 Scale: 1" = 10'-0"

**LEGEND:**

EXISTING IMPERVIOUS SURFACE	---
PROPOSED IMPERVIOUS SURFACE	----
EXISTING DRIVEWAY	---
PROPOSED DRIVEWAY	----
EXISTING SIDEWALK	---
PROPOSED SIDEWALK	----
EXISTING PAVEMENT	---
PROPOSED PAVEMENT	----
EXISTING GRASS	---
PROPOSED GRASS	----
EXISTING TREES	---
PROPOSED TREES	----
EXISTING SETBACKS	---
PROPOSED SETBACKS	----
EXISTING UTILITIES	---
PROPOSED UTILITIES	----
EXISTING FENCE	---
PROPOSED FENCE	----
EXISTING SIGNAGE	---
PROPOSED SIGNAGE	----

**OWNER:**  
 1801218 CAROPRESE

**PROPOSAL:**  
 -297 SF (1) STORY ADDITION TO BE BUILT ON EXIST. RAISED DECK AND FOOTING STRUCTURE.

**SITE PLAN NOTES:**  
 -NO INCREASE IN IMPERVIOUS SURFACE  
 -NO INCREASE IN SETBACKS TO PROPERTY LINES  
 -NO INCREASE IN SETBACK TO EXIST. WETLANDS BUFFER  
 -NO SITE WORK TO BE DONE  
 -NO HEAVY MACHINERY TO BE UTILIZED  
 -NO SITE DISTURBANCE TO BE PROPOSED  
 -NO LANDSCAPING OR PAVING TO BE PROPOSED THIS APPLICATION  
 -PRE-FABRICATED WHEEL STOPS TO BE INSTALLED AT PARKING AREA TO INCREASE PARKING CONFORMITY (2) SPOTS  
 -NO NEW SIGNAGE PROPOSED  
 -(1) EXTERIOR LIGHT FIXTURE TO BE INSTALLED AT NEW EXIT DOOR 100W MAX. FIXTURE DOWN LIGHT W/ MOTION SENSOR.

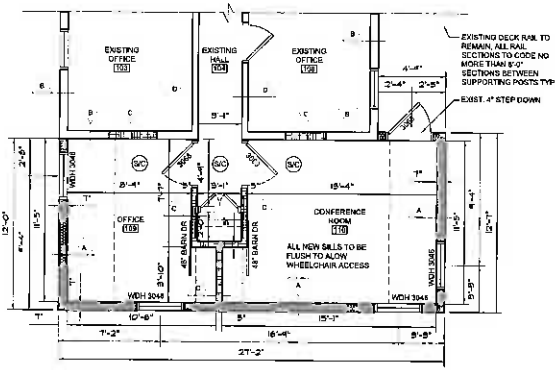
**ESTIMATED NUMBER OF EMPLOYEES:**  
 -8 EMPLOYEES

**EXIST / PROPOSED USE:**  
 OFFICE BUILDING (NO CHANGE)

**CODE ANALYSIS**

CODE REQUIREMENT	REQUIRED	NOTES
CLASSIFICATION (SECTION 202)	BUSINESS GROUP D	EXISTING NO CHANGE
REQUIRED SEPARATION OF OCCUPANCIES (TABLE 202.2)	3 HOURS	EXISTING NO CHANGE
CONSTRUCTION CLASSIFICATION (SECTION 202)	TYPE III A	EXISTING NO CHANGE
FIRE RESISTANCE RATING: REQUIREMENTS OF BUILDING ELEMENTS (TABLE 202)		
STRUCTURAL FRAME	1 HOUR	EXISTING NO CHANGE
BEARING WALLS	2 HOURS	
NON-LOAD BEARING WALLS	1 HOUR	
FLOOR CONSTRUCTION	1 HOUR	
ROOF CONSTRUCTION	1 HOUR	
OPENINGS IN FIRE PARTITIONS (SECTION 204)	2 HOUR RATING	EXISTING NO CHANGE
EXIT ENC.	1/2 HOUR	
INTERIOR FINISHES (TABLE 202.2) NON-FRAMEWORKED	CLASS 'A'	EXISTING NO CHANGE
VERTICAL EXITS AND EXIT PASSAGEWAYS	CLASS 'A'	
ROOM & ENCLOSED SPACES	CLASS 'C'	
DESIGN OCCUPANT LOAD (SECTION 1004.2) 575 SF PROPOSED / 100 SF PER AREA OCCUPANT	4.75 OR 1 PERSONS	TOTAL DESIGN OCCUPANTS = 4 PERSONS MAX
EMERGENCY DOOR SIZES (SECTION 1008)	8'2" WIDE MIN 80" HIGH MIN.	EMERGENCY DOORS MUST BE IN DIRECTION OF TRAVEL, ONLY IF OCCUPANCY IS 100 OR MORE OR HIGH RISK OCCUPANCY
NUMBER OF EXITS REQUIRED (SECTION 1006)	1 REQUIRED	OCCUPANCY IS LESS THAN 50, IF OCCUPANCY, 70% OR LESS TRAVEL DISTANCE THEREFROM 1 EXIT OK.
MAX TRAVEL DISTANCE (SECTION 1008.2.1) WITHOUT SPRINKLER SYSTEM	200 FEET	
MAX LENGTH OF COMMON EMERGENCY TRAVEL (SECTION 1008.2.2)	100 FEET	IF OCCUPANCY IS LESS THAN 50, NON-SPRINKLERED, IF OCCUPANCY,
1008 ASBLES PUBLIC AREAS	84" FIXTURES ONE SIDE 84" FIXTURES BOTH SIDES	
1009 ASBLES NON-PUBLIC AREAS	18"	
1002.2 CORRIDORS	84"	IF OCCUPANCY IS LESS THAN 50





2 PART FIRST FLOOR PLAN Scale: 1/4" = 1'-0"

INTERIOR FINISH NOTE:  
1. ALL WORK TO BE AT ALL INTERIOR STUD WALLS, FLUSH AND TRUE TYP.

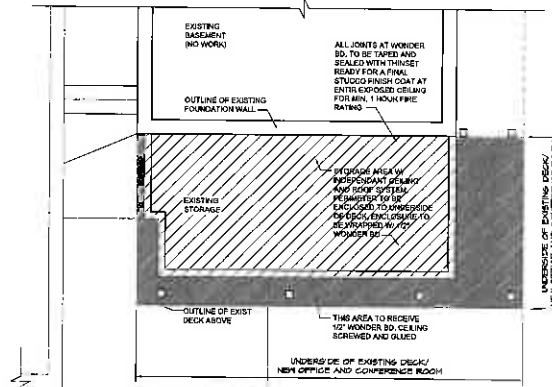
2. TAPE AND SPACKLE ALL JOINTS FLUSH AND TRUE MIN. 3 COATS, 2 COATS PRIMER, 1 COAT PAINT, PAINT + FINISH (SEE WALL PAPER PER OWNER).

3. ALL FLOORS TO RECEIVE TILE SHALL HAVE 1/2" OF WUNDERBOARD OR EQUAL UNDERLAYMENT & ANTI-FRACTURE MAT, W/.

WINDOW LEAF FACTOR:  
ALL WINDOWS TO BE ANDERSEN 400 SERIES (SEE WINDOW SCHEDULE) W/ WINDOW U-FACTOR OF .31

PROVIDE JOIST HANGERS TYP. @ ALL PERPENDICULAR CONNECTIONS TYP. NAIL AS PER MANUFACTURER'S RECOMMENDATIONS

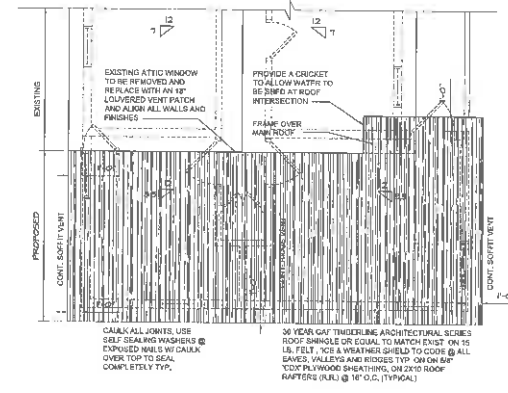
ADA COMPLIANT THRESHOLDS AND DOOR HANDLES TO BE INSTALLED AT ALL DOORS TYP.



1 PART BASEMENT PLAN Scale: 1/4" = 1'-0"

LEGEND:	
EXISTING 12" SUNKTYPE FRICTION FOOTING 2'-0" BELOW GRADE @ DECK TYP. W/ P. 1. 308 COLLUM:	
EXISTING FOUNDATION TO REMAIN	
2M @ 18" O.C. 1/2" SHEATHING TYVEK VAPOR BARRIER & 1/2" GYP. BOARD INTERIOR TAPED & SPACKLED FLUSH READY FOR PAINT PER OWNER	
EXIST. STUD WALLS TO REMAIN	
NEW 2M @ 18" O.C. 1/2" GYP. BOARD EACH SIDE	
STUD WALL TO BE DEMOLISHED AT THEIR ENTIRETY	
DRIVERS CORNING QUIET ZONE UNFACED R-11 TO BE USED AT ALL WALLS REQUIRING SOUND PROOFING W/	
CONSTRUCTION NOTES: ALL FOOTINGS TO BE MIN. 7'-0" BELOW GRADE ON UNDISTURBED SOIL TYP. BEST PRACTICE TO BE OBSERVED BY TOWN OFFICIALS. IF EXISTING FOOTINGS DO NOT MEET CODE 3'-0" BELOW GRADE NEW FOOTINGS TO BE INSTALLED TO CODE. SHIMMING OF FLOOR TO BE DONE AS REQUIRED TO BRING FLOORS FLUSH AND TRUE. FASTEN ALL MULTIPLY SAWN LUMBER BEAMS TOGETHER W/ TWO ROWS OF 16D NAILS 12" O.C. ONE ROW TOP AND ONE ROW BOTTOM. FASTEN ALL MULTIPLY LAMINATE VENEER LUMBER BEAMS W/ TWO ROWS OF 16D NAILS THROUGHOUTS 18" O.C. ONE ROW TOP AND ONE ROW FROM BOTTOM. CRISSESS ALL JOISTS TYP. CRISSESS BRIDGING OR SOLID BLOCKING IS TO BE PROVIDED BETWEEN ALL FLOOR AND CEILING JOISTS AT THE FOLLOWING FREQUENCY: 6'-0" NOT REQUIRED ONE ROW AT MIDSPAN 16"-24" ROWS AT 1/3 POINTS DOUBLE END FRAMING UNDER PARALLEL PARTITIONS TYP. W/ 3/8" T&G PLYWOOD SUBSTRATE, AT ALL FLOORS SCREWED AND GLUED TO JOISTS TYP.	
WINDOW DESIGNATION: ANDERSEN 400 SERIES DOUBLE HUNG UNITS	
FLOOR DESIGNATION: 308 + 2'-0" X 6'-6" ONLY NEW DOORS ARE LABELED	
SOLID POSTING AND ENGINEERED LAMBER TYP. TO SET ON EXIST. EXTERIOR WALL OR SOLID BEARING BELOW	
SMOKE/ CARBON MONOXIDE DETECTORS: PER 2015 IBC R314 & R315 COMPLIANT COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR (SEE GENERAL NOTES SHEET (THIS SET) FOR LOCATION AND NOTES PER REFERENCED CODE SECTION. SPRAY FOAM INSULATION NOTES: ALL SPRAY FOAM TO BE CLOSED CELL. R-VALUE IS R-4.5 PER INCH	
NEW EXTERIOR WALLS TO BE FRAMED W/ 2M STUDS 18" O.C. (R-21 BATT INSULATION, W/ 1/2" CDX PLYWOOD SHEATHING, MIN. 1/2" SPRING BETWEEN SHEETS, WRAPPED W/ TYVEK ORIGINAL VAPOR BARRIER, SIDING MATERIAL AND COLOR PER ELEVATIONS AND FINISH SCHEDULES IF APPLICABLE. HEADER SCHEDULES FOR OPENINGS AS FOLLOWS, ALL OTHERS PER PLAN. OPENING SIZE      HEADER EDGE 4'-0" TO 2'-0"      (3)2x10 3'-0" TO 4'-0"      (3)2x10 NEW INTERIOR WALL TO BE 2M STUDS @ 18" O.C. UNLESS NOTED OTHERWISE. ALL DOORS AND HARDWARE TO BE BY OWNER TO MEET ADA CODE ALL WINDOWS AND HARDWARE TO BE BY OWNER ALL SHEETROCK TO BE 1/2" TYP. TO RECEIVE TAPE AND THREE COATS OF BRACKER. SANDED FLUSH, READY TO ACCEPT PRIMER AND PAINTED FINISH PER OWNER. ALL WINDOWS TO BE TEMPERED AS PER NYSRAC TYP. AS NEEDED ALL RAILINGS TO NYSRAC TYP.	

- A. NEW 2M @ 18" O.C. 1/2" GYP. BOARD INTERIOR TAPED & SPACKLED FLUSH READY FOR PAINT PER OWNER.
- B. EXIST. 2M @ 18" O.C. 1/2" GYP. BOARD INTERIOR TAPED & SPACKLED FLUSH READY FOR PAINT PER OWNER.
- C. NEW 2M @ 18" O.C. 1/2" GYP. BOARD INTERIOR TAPED & SPACKLED FLUSH READY FOR PAINT PER OWNER.
- D. EXIST. 2M @ 18" O.C. 1/2" GYP. BOARD INTERIOR TAPED & SPACKLED FLUSH READY FOR PAINT PER OWNER.



3 PART ROOF PLAN Scale: 1/4" = 1'-0"

EXISTING ATTIC WINDOW TO BE REMOVED AND REPLACE WITH AN 18" COVERED VENT PATCH AND ALIGN ALL WALLS AND FINISHES.

PROVIDE A GUSSET TO ALLOW WATTE TO BE SHIP AT ROOF INTERSECTION.

FRAME OVER ANY ROOF INTERSECTIONS.

CAULK ALL JOISTS USE SELF SEALING WASHERS & EXPOSED NAILS W/ CAULK OVER TOP TO SEAL COMPLETELY TYP.

INSTALL CONTINUOUS SOFFIT VENTING TYP.

PROVIDE 3" ALUM. OUTLERS TO 1/2" DOWNSPUTS CONNECT TO EXISTING SYSTEM.

DUE TO SPECIAL WIND REGION ATTACH SHINGLES WITH SIX PASTERIES PER ROOF SHINGLE TYP.

PROVIDE ALUMINUM BUTTERS AND FLASHINGS AS REQUIRED.

FLASH AND COUNTER FLASH AS REQUIRED W/.

FLASH ALL ROOFWATER AND ALL WALL/ROOF INTERSECTIONS.

PROVIDE WEATHERSHIELD @ ROOF GABLES, RIDGE AND INTERSECTIONS TYP.

1" ICE AND WATER SHIELD TO EXTEND 18" PER CODE SEE DETAIL.

PROVIDE DOUBLE STARTER COURSE OF SHINGLE TYP.

30 YEAR GAP UNDERLAINING ARCHITECTURAL SERIES ROOF SHINGLE OR EQUAL TO MATCH EXIST. ON 15 LB. FELT, ICE & WEATHER SHIELD TO CODE @ ALL GABLES, VALLES AND RIDGES TYP. ON 1/2" 1/2" PLYWOOD SHEATHING, ON 2x10 ROOF MATTERS (R-12) @ 18" O.C. (TYPICAL)



**G. MICHAEL FINELLI**  
LIC. ARCHITECT  
97 BALDWIN LANE  
MAHOPAC, NY 10541  
P: 914.438.5665  
GMFINELLI@GMAIL.COM

CONSULTANTS

PROJECT:  
PROPOSED SINGLE STORY ADDITION

OWNER:  
THE TEAL DOOR COUNSELING CENTER

ADDRESS:  
18 MILLER ROAD  
MAHOPAC, NY  
10541

SUB/DWG:  
SECTION: 86.11  
BLOCK: 1  
LOT: 15  
ZONE: CBP

ISSUE DATE: 11-24-19 PLAN AND BD SUBMISSION #1

PROJECT NO: 1903  
CAD DWG FILE: 1903\_110314.dwg  
DRAWN BY: GMF  
CHECK BY: GMF  
COPYRIGHT: 2019

SHEET TITLE:  
PLANS, NOTES & LEGENDS

A - 103.1  
SHEET 3 OF 6





**G. MICHAEL FINELLI**  
 LIC. ARCHITECT  
 97 BALDWIN LANE  
 MAHOPAC, NY 10541  
 P: 914.438.5665  
 GMFINELLI@GMAIL.COM

CONSULTANTS

PROJECT  
**PROPOSED SINGLE STORY ADDITION**

OWNER  
**THE TEAL DOOR COUNSELING CENTER**

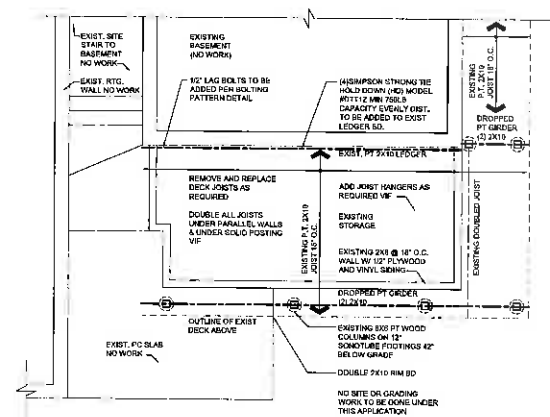
ADDRESS  
 18 MILLER ROAD  
 MAHOPAC, NY  
 10541

SUB AREA  
 SECTION: 85.11  
 BLOCK: 1  
 LOT: 15  
 ZONE: CBP

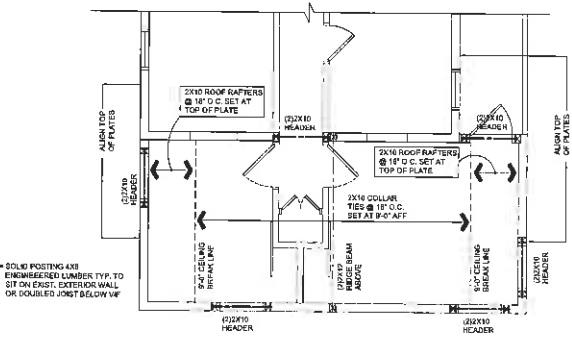
ISSUE	DATE	PLANNING BOARD SUBMISSION	DESCRIPTION
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CAD DWG FILE	03/04/11	11/02/11	006
DRAWN BY:	GME		
CHECKED BY:	GME		
COPYRIGHT:	2011		

SHEET TITLE  
**STRUCTURAL PLANS & DETAILS**

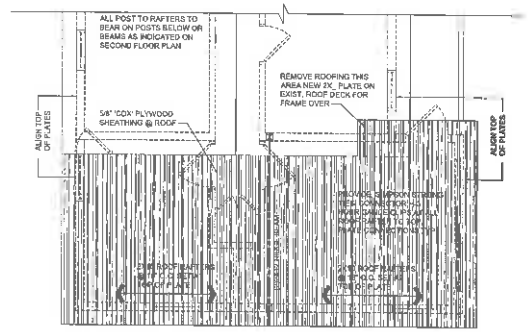
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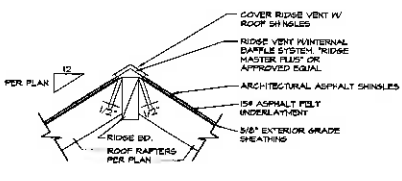
1 PART BASEMENT PLAN Scale: 1/4" = 1'-0"



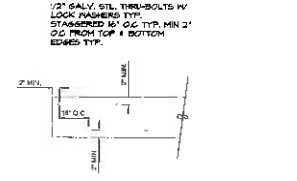
2 PART FIRST FLOOR PLAN Scale: 1/4" = 1'-0"



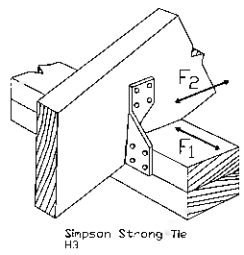
3 PART ROOF PLAN Scale: 1/4" = 1'-0"



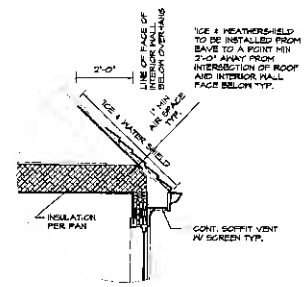
A RIDGE VENT DETAIL Scale: 1/4" = 1'-0"



C BOLTING DETAIL Scale: 1/4" = 1'-0"



B HURRICANE CLIP DETAIL Scale: 1/4" = 1'-0"



D ICE & WATERSHIELD DETAIL Scale: 1/4" = 1'-0"



**G. MICHAEL FINELLI**  
LIC. ARCHITECT

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MAHOPAC, NY 10541  
P: 914.438.5665  
GMFINELLI@GMAIL.COM

CONSULTANTS

PROJECT  
**PROPOSED SINGLE STORY ADDITION**

OWNER  
**THE TEAL DOOR COUNSELING CENTER**

ADDRESS  
**18 MILLER ROAD  
MAHOPAC, NY  
10541**

SECTION/ZONE  
SECTION: 86.11  
BLOCK: 1  
LOT: 15

ZONE: CBP

11-26-19 PLANNING BOARD SUBMISSION #1

DATE DESCRIPTION

PROJECT NO. 1919

CAD DWG FILE VERSION 1/2020/11.DWG

DRAWN BY: GMF

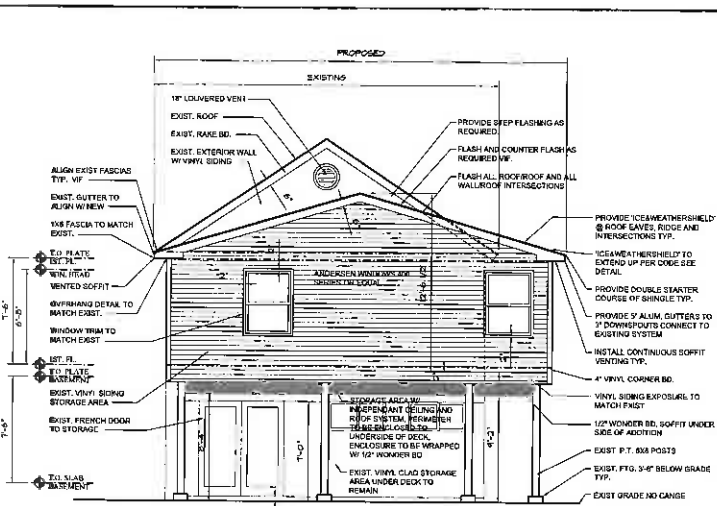
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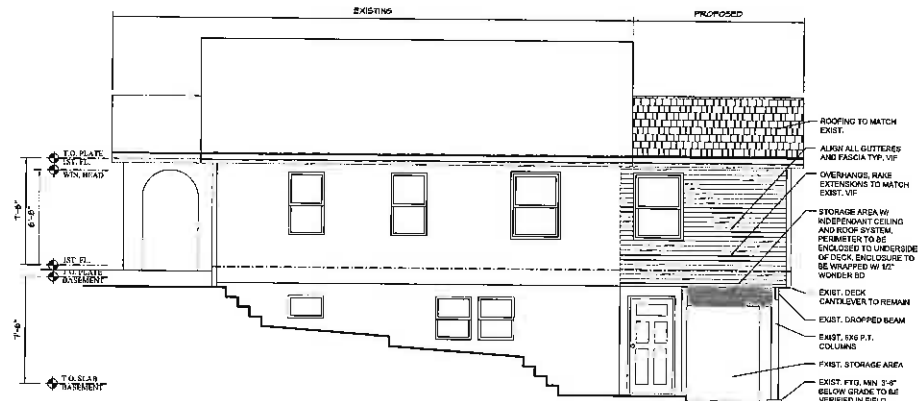
SHEET TITLE  
**PROPOSED ELEVATIONS & SECTION**

A - 105.1

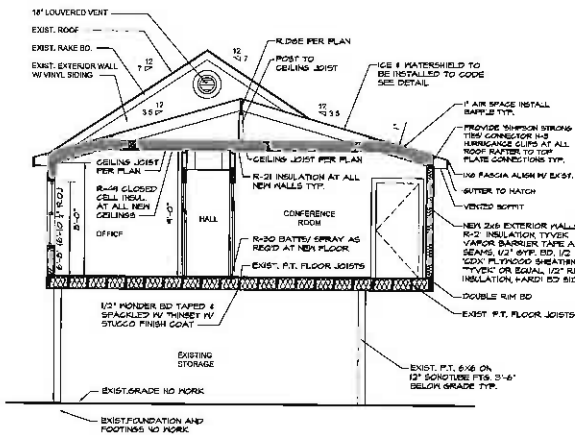
SHEET 5 OF 6



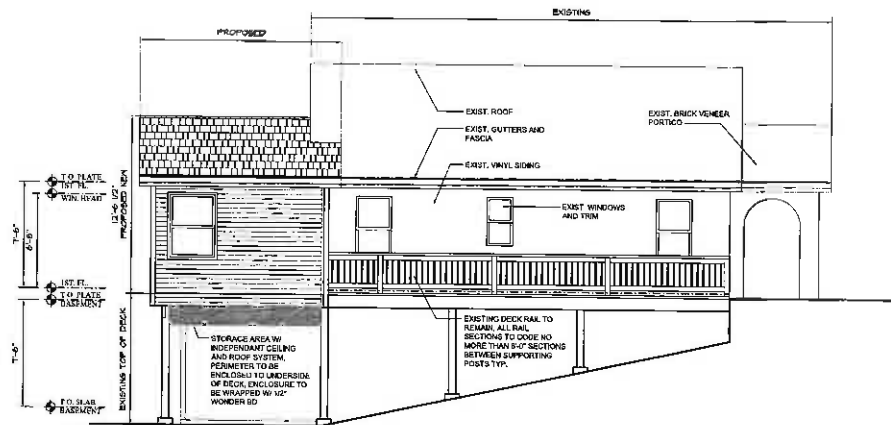
1 PROPOSED REAR ELEVATION  
Scale: 1/4" = 1'-0"



2 PROPOSED RIGHT SIDE ELEVATION  
Scale: 1/4" = 1'-0"



4 PROPOSED SECTION  
Scale: 1/4" = 1'-0"



3 PROPOSED LEFT SIDE ELEVATION  
Scale: 1/4" = 1'-0"











July 1, 2020

Town of Carmel Planning Board  
60 McAlpin Avenue  
Mahopac, New York 10541

RE: Stillwater Business Park  
105 Stillwater Road  
Town of Carmel  
TM#s 75.17-1-53, 86.5-1-25, & 86.5-1-26

Dear Chairman Paepre and Members of the Board:

Please find enclosed the following plans and documents in support of an application for site plan approval for the above referenced project:

- Six (6) sheet Site Plan Set, dated July 1, 2020. (5 copies)
- Five (5) sheet Architectural Plans for existing 12,012sf storage building. (5 copies)
- Five (5) sheet Architectural Plans for existing 5,040sf storage building. (5 copies)
- Architectural Plans for the proposed 60,000sf storage building to be provided under separate cover.
- Site Plan Application, July 1, 2020. (11 copies)
- Site Plan Completeness Certification Form, July 1, 2020. (11 copies).
- Disclosure Addendum Statement, July 1, 2020. (2 copies)
- SEQR Short EAF, dated July 1, 2020. (11 copies)
- Deeds (2 Copies)
- List of Property Owners within 500' of the Site Boundary (2 copies)
- CD containing pdfs of submitted plans and documents. (1 copy)
- A \$9,800.00 check for the Site Plan Application Fee (\$2,000.00 fee plus \$100.00/parking space for 78 required parking spaces)

The applicant proposes to extinguish the lot lines between the three subject lots, and seeks site plan approval to remove an existing dwelling, relocate an existing 5,040 sf storage building, and to construct a new 60,000sf storage building on the combined lot. To accommodate these changes to the site some new grading, paving, and stormwater management practices will be required. No new water or sewer connections will be required.

Please place the project on the agenda for the July 15, 2020 Planning Board meeting for a discussion with the Board

Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

---

3 Garrett Place, Carmel, New York 10512 (845) 225-9690 Fax (845) 225-9717  
[www.insite-eng.com](http://www.insite-eng.com)

Town of Carmel Planning Board  
RE: Stillwater Business Park  
Site Plan Application

Page 2 of 2

July 1, 2020

By:

  
Jeffrey J. Contelmo, PE  
Senior Principal Engineer

JJC/adt

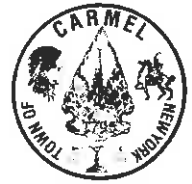
Enclosures

Cc: Dan Moloney / 1841 Park Ave Realty Corp  
Seamus Burke / Shamrock Building Systems





# TOWN OF CARMEL SITE PLAN APPLICATION INSTRUCTIONS



The Town of Carmel Planning Board meetings are held twice a month, on the second and fourth Wednesday's, at 7:00 PM at Carmel Town Hall, 60 McAlpin Avenue, Carmel

The submission deadline is 10 days prior to the Planning Board meeting. New site plan applications that have been deemed complete will be placed on the agenda in the order they are received.

**No application will be placed on the agenda that is incomplete**

**Pre-Submission:**

Prior to the formal submission of the site plan, a pre-submission conference may be requested by the applicant to be conducted with representatives from the Town, which may include the Town Planner, Town Engineer, Director of Code Enforcement and/or the Planning Board Attorney. This conference will serve to educate the applicant on the process he/she must follow, clarify the information required to submit a complete site plan application, and to highlight any specific areas of concern. You may arrange a pre-submission conference through the Planning Board Secretary at (845) 628-1500 extension 190.

**Submission Requirements:**

At least 10 days prior to the Planning Board meeting, the site plan application shall be submitted to the Planning Board Secretary as follows:

All site plans shall be signed, sealed and folded with the title box legible. The application package shall include:

- 11 copies of the Site Plan Application Form, signed and notarized.
- 11 copies of the SEQR Environmental Assessment Form (use of short form or long form shall be determined at pre-submission conference).
- 5 full size sets of the Site Plan (including floor plans and elevations)
- 1 CD (in pdf. format) containing an electronic version of the Site Plan
- 2 copies of the Disclosure Statement
- 11 copies of the Site Plan Completeness Certification Form
- All supplemental studies, reports, plans and renderings.
- 2 copies of the current deed.
- 2 copies of all easements, covenants and restrictions.
- The appropriate fee, determined from the attached fee schedule. Make checks payable to the *Town of Carmel*.

*Rose Gerolletta* 7/1/20  
Planning Board Secretary; Date

*Robert J. [Signature]* 7/1/2020  
Town Engineer; Date



# TOWN OF CARMEL SITE PLAN APPLICATION



Per Town of Carmel Code – Section 156 - Zoning

SITE IDENTIFICATION INFORMATION		
<b>Application Name:</b> Stillwater Business Park	<b>Application #</b> 20-0007	<b>Date Submitted:</b> 6/26/20
<b>Site Address:</b> No. 105      Street: Stillwater Road      Hamlet: Mahopac		
<b>Property Location:</b> <i>(Identify landmarks, distance from intersections, etc.)</i> 0.3 miles west of Baldwin Place Road intersection		
<b>Town of Carmel Tax Map Designation:</b> 75.17-1-53, 86.5-1-25, 86.5-1-26	<b>Zoning Designation of Site:</b> C-Commercial	
<b>Property Deed Recorded in County Clerk's Office</b> Date 2/22/01    Liber 1912    Page 91	<b>Liens, Mortgages or other Encumbrances</b> Yes <input checked="" type="radio"/> No	
<b>Existing Easements Relating to the Site</b> No <input checked="" type="radio"/> Yes      Describe and attach copies: 20' drainage easement per FM-1377	<b>Are Easements Proposed?</b> No <input checked="" type="radio"/> Yes      Describe and attach copies: Access easement	
<b>Have Property Owners within a 500' Radius of the Site Been Identified?</b> <input checked="" type="radio"/> Yes      No      Attached List to this Application Form		
APPLICANT/OWNER INFORMATION		
<b>Property Owner:</b> 1841 Park Ave Realty Corp	<b>Phone #:</b> 212-410-3500 <b>Fax#:</b> 212-410-5186	<b>Email:</b> sales@liffeyvan.com
<b>Owners Address:</b> No. 234    Street: East 121st Street      Town: New York      State: NY    Zip: 10035		
<b>Applicant (if different than owner):</b>	<b>Phone #:</b> <b>Fax#:</b>	<b>Email:</b>
<b>Applicant Address (if different than owner):</b> No.      Street:      Town:      State:      Zip:		
<b>Individual/ Firm Responsible for Preparing Site Plan:</b> Jeffrey J. Contelmo, P.E., Insite Engineering, Surveying & Landscape Architecture, P.C.	<b>Phone #:</b> 845-225-9690 <b>Fax#:</b> 845-225-9717	<b>Email:</b> jcontelmo@insite-eng.com
<b>Address:</b> No. 3    Street: Garrett Place      Town: Carmel      State: NY    Zip: 10512		
<b>Other Representatives:</b>	<b>Phone #:</b> <b>Fax#:</b>	<b>Email:</b>
<b>Owners Address:</b> No.      Street:      Town:      State:      Zip:		
PROJECT DESCRIPTION		
<b>Describe the project, proposed use and operation thereof:</b> The applicant seeks to extinguish the property lines between Tax Map nos. 75.17-1-53, 86.5-1-25, & 86.5-1-26. On the combined lot the applicant seeks to demolish the existing residence, relocate an existing 5,040 sf storage building and to construct a new 60,000 sf storage building. This will also require some site grading, retaining walls, and re-pavement of a portion of the lot.		

# TOWN OF CARMEL SITE PLAN APPLICATION

PROJECT INFORMATION	
<b>Lot size: Proposed combined lots</b> Acres: 5.82 ac      Square Feet: 253,461.1	<b>Square footage of all existing structures (by floor):</b> 17,052 to remain
<b># of existing parking spaces:</b> 36	<b># of proposed parking spaces:</b> 79
<b># of existing dwelling units:</b> N/A	<b># of proposed dwelling units:</b> N/A
<b>Is the site served by the following public utility infrastructure:</b> N/A <ul style="list-style-type: none"> <li>▪ Is project in sewer district or will private septic system(s) be installed? <u>N/A</u></li> <li>▪ If yes to Sanitary Sewer answer the following:                             <ul style="list-style-type: none"> <li>▶ Does approval exist to connect to sewer main? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/></li> <li>▶ Is this an in-district connection? _____ Out-of district connection? _____</li> <li>▶ What is the total sewer capacity at time of application? _____ <i>Not Applicable</i></li> <li>▶ What is your anticipated average and maximum daily flow _____ <u>0</u></li> </ul> </li> </ul>	
<i>For Town of Carmel Town Engineer</i> <ul style="list-style-type: none"> <li>▶ What is the sewer capacity _____</li> </ul>	
<ul style="list-style-type: none"> <li>▪ <b>Water Supply</b>      Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/></li> <li style="margin-left: 20px;">If Yes:                             <ul style="list-style-type: none"> <li>▶ Does approval exist to connect to water main? Yes: <input type="checkbox"/> No: <input type="checkbox"/></li> <li>▶ What is the total water capacity at time of application? _____</li> <li>▶ What is your anticipated average and maximum daily demand _____ <u>0</u></li> </ul> </li> <li>▪ <b>Storm Sewer</b>      Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/></li> <li>▪ <b>Electric Service</b>      Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/></li> <li>▪ <b>Gas Service</b>      Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/></li> <li>• <b>Telephone/Cable Lines</b>      Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/></li> </ul>	<div style="text-align: right; font-size: 1.2em; font-weight: bold;"> <i>Not Applicable</i>  <u>0</u>  <u>7/1/2020</u> </div>
<i>For Town of Carmel Town Engineer</i>	
Water Flows <u>NOT Applicable</u> Sewer Flows <u>NOT Applicable</u> <div style="text-align: center; font-size: 1.2em; font-weight: bold; margin-top: 10px;"> <i>Redfern 7-1-2020</i> </div>	
Town Engineer; Date _____	
What is the predominant soil type(s) on the site? Wood Bridge Loam 3-8%	What is the approximate depth to water table? 2' plus
<b>Site slope categories:</b> 15-25% <u>5</u> %      25-35% <u>5</u> %      >35% <u>5</u> %	
<b>Estimated quantity of excavation:</b> Cut (C.Y.) <u>2000</u> CY      Fill (C.Y.) <u>500</u> CY	
<b>Is Blasting Proposed</b> Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> Unknown: <input type="checkbox"/>	
<b>Is the site located in a designated Critical Environmental Area?</b> Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
<b>Does a curb cut exist on the site?</b> Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	<b>Are new curb cuts proposed?</b> Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>
<b>What is the sight distance?</b> Left <u>700'</u> +      Right <u>1000'</u> +	
<b>Is the site located within 500' of:</b> <ul style="list-style-type: none"> <li>• The boundary of an adjoining city, town or village      Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/></li> <li>• The boundary of a state or county park, recreation area or road right-of-way      Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/></li> <li>• A county drainage channel line.      Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/></li> <li>• The boundary of state or county owned land on which a building is located      Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/></li> </ul>	

## TOWN OF CARMEL SITE PLAN APPLICATION

Is the site listed on the State or Federal Register of Historic Place (or substantially contiguous) Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Is the site located in a designated floodplain? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Will the project require coverage under the Current NYSDEC Stormwater Regulations <span style="float: right;">Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/></span>	
Will the project require coverage under the Current NYCDEP Stormwater Regulations <span style="float: right;">Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/></span>	
Does the site disturb more than 5,000 sq ft	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>
Does the site disturb more than 1 acre	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>
Does the site contain freshwater wetlands? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> NYSDEC wetland on the adjacent lot to the west	
Jurisdiction: NYSDEC: <input checked="" type="checkbox"/> Town of Carmel: <input type="checkbox"/>	
<i>If present, the wetlands must be delineated in the field by a Wetland Professional, and survey located on the Site Plan.</i>	
Are encroachments in regulated wetlands or wetland buffers proposed?	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
Does this application require a referral to the Environmental Conservation Board?	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>
Does the site contain waterbodies, streams or watercourses?	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
Are any encroachments, crossings or alterations proposed?	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
Is the site located adjacent to New York City watershed lands?	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
Is the project funded, partially or in total, by grants or loans from a public source? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Will municipal or private solid waste disposal be utilized? Public: <input type="checkbox"/> Private: <input checked="" type="checkbox"/>	
Has this application been referred to the Fire Department?	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
What is the estimated time of construction for the project? <span style="float: right;">4 months</span>	

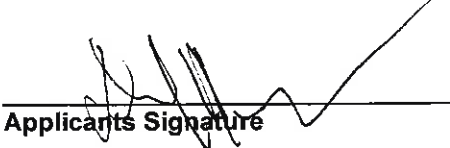
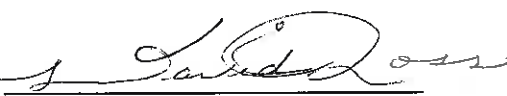
40  
100' Buffer

### ZONING COMPLIANCE INFORMATION

Zoning Provision	Required	Existing	Proposed
Lot Area	40,000 sf	(3) lots - see EX-1 for breakdown	253,461 sft
Lot Coverage	30.0 %		18.6%
Lot Width	200'		704'
Lot Depth	200'		330'
Front Yard	40'		60'
Side Yard	25'		36'
Rear Yard	30'		25'*
Minimum Required Floor Area	5,000 sf		47,052 sf
Floor Area Ratio	None	N/A	N/A
Height	35'		<35'
Off-Street Parking	78		79
Off-Street Loading	5		7

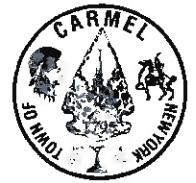
\* Variance Required for rear yard setback

## TOWN OF CARMEL SITE PLAN APPLICATION

Will variances be required? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	If yes, identify variances: Rear yard setback area variance
<b>PROPOSED BUILDING MATERIALS</b>	
Foundation	Concrete
Structural System	Steel
Roof	Metal
Exterior Walls	Metal
<b>APPLICANTS ACKNOWLEDGEMENT</b>	
I hereby depose and certify that all the above statements and information, and all statements and information contained in the supporting documents and drawings attached hereto are true and correct.	
<u>Daniel Moloney</u> Applicants Name	 Applicants Signature
Sworn before me this <u>30<sup>th</sup></u> day of <u>JUNE</u> 20 <u>20</u>	
 Notary Public	<div style="border: 1px solid black; padding: 5px;">                     DAVID P ROSS                      NOTARY PUBLIC, STATE OF NEW YORK                      Registration No. 01RO5018947                      Qualified in Queens County                      Commission Expires October 12, 2021                 </div>



# TOWN OF CARMEL SITE PLAN COMPLETENESS CERTIFICATION FORM



All Site Plans submitted to the Planning Board for review shall include the following information and details, as set forth in Section 156-61 B of the Town of Carmel Zoning Ordinance.

This form shall be included with the site plan submission

Requirement Data		To Be Completed by the Applicant	Waived by the Town
1	Name and title of person preparing the site plan	✓ <input checked="" type="checkbox"/>	<input type="checkbox"/>
2	Name of the applicant and owner (if different from applicant)	✓ <input checked="" type="checkbox"/>	<input type="checkbox"/>
3	Original drawing date, revision dates, scale and north arrow	✓ <input checked="" type="checkbox"/>	<input type="checkbox"/>
4	Tax map, block and lot number(s), zoning district	✓ <input checked="" type="checkbox"/>	<input type="checkbox"/>
5	All existing property lines, name of owner of each property within a 500' radius of the site	✓ <input checked="" type="checkbox"/>	<input type="checkbox"/>
6	Contour lines at two-foot intervals, grades of all roads, driveways, sanitary and storm sewers	✓ <input checked="" type="checkbox"/>	<input type="checkbox"/>
7	The location of all water bodies, streams, watercourses, wetland areas, wooded areas, rights-of-way, streets, roads, highways, railroads, buildings, structures	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
8	The location of all existing and proposed easements	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
9	The location of all existing and proposed structures, their use, setback dimensions, floor plans, front, side and rear elevations, buildable area.	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
10	On site circulation systems, access, egress ways and service roads, emergency service access and traffic mitigation measures	<input checked="" type="checkbox"/>	<input type="checkbox"/> ✓
11	Sidewalks, paths and other means of pedestrian circulation	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
12	On-site parking and loading spaces and travel aisles with dimensions	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
13	The location, height and type of exterior lighting fixtures	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/> ✓
14	Proposed signage	<input checked="" type="checkbox"/>	<input type="checkbox"/> ✓
15	For non-residential uses, an estimate of the number of employees who will be using the site, description of the operation, types of products sold, types of machinery and equipment used	<input checked="" type="checkbox"/>	<input type="checkbox"/> ✓



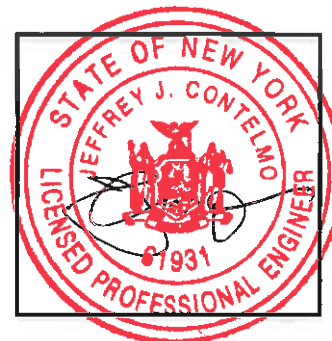
# TOWN OF CARMEL SITE PLAN COMPLETENESS CERTIFICATION FORM



	Requirement Data	To Be Completed by the Applicant	Waived by the Town
16	The location of clubhouses, swimming pools, open spaces, parks or other recreational areas, and identification of who is responsible for maintenance	<input checked="" type="checkbox"/> N/A ✓	<input type="checkbox"/>
17	The location and design of buffer areas, screening or other landscaping, including grading and water management. A comprehensive landscaping plan in accordance with the Tree Conservation Law	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
18	The location of public and private utilities, maintenance responsibilities, trash and garbage areas	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
19	A list, certified by the Town Assessor, of all property owners within 500 feet of the site boundary	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
20	Any other information required by the Planning Board which is reasonably necessary to ascertain compliance with this chapter	<input checked="" type="checkbox"/> TBD ✓	<input type="checkbox"/>

**Applicants Certification (to be completed by the licensed professional preparing the site plan:**

I Jeffrey J. Contelmo, P.E. hereby certify that the site plan to which I have attached my seal and signature, meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:



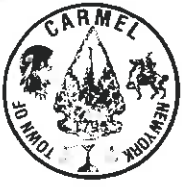
Signature - Applicant

6/30/20  
Date

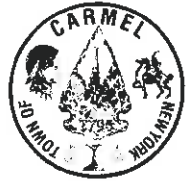
Professionals Seal

Signature - Owner

6/30/20  
Date



TOWN OF CARMEL  
**SITE PLAN COMPLETENESS  
CERTIFICATION FORM**



Town Certification (to be completed by the Town)

I \_\_\_\_\_ hereby confirm that the site plan meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:

Rose Yumletta

Signature - Planning Board Secretary

7/7/2020  
Date

Ricky PPH

Signature - Town Engineer

7/7/2020  
Date



# Short Environmental Assessment Form

## Part 1 - Project Information

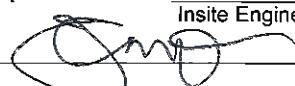
### Instructions for Completing

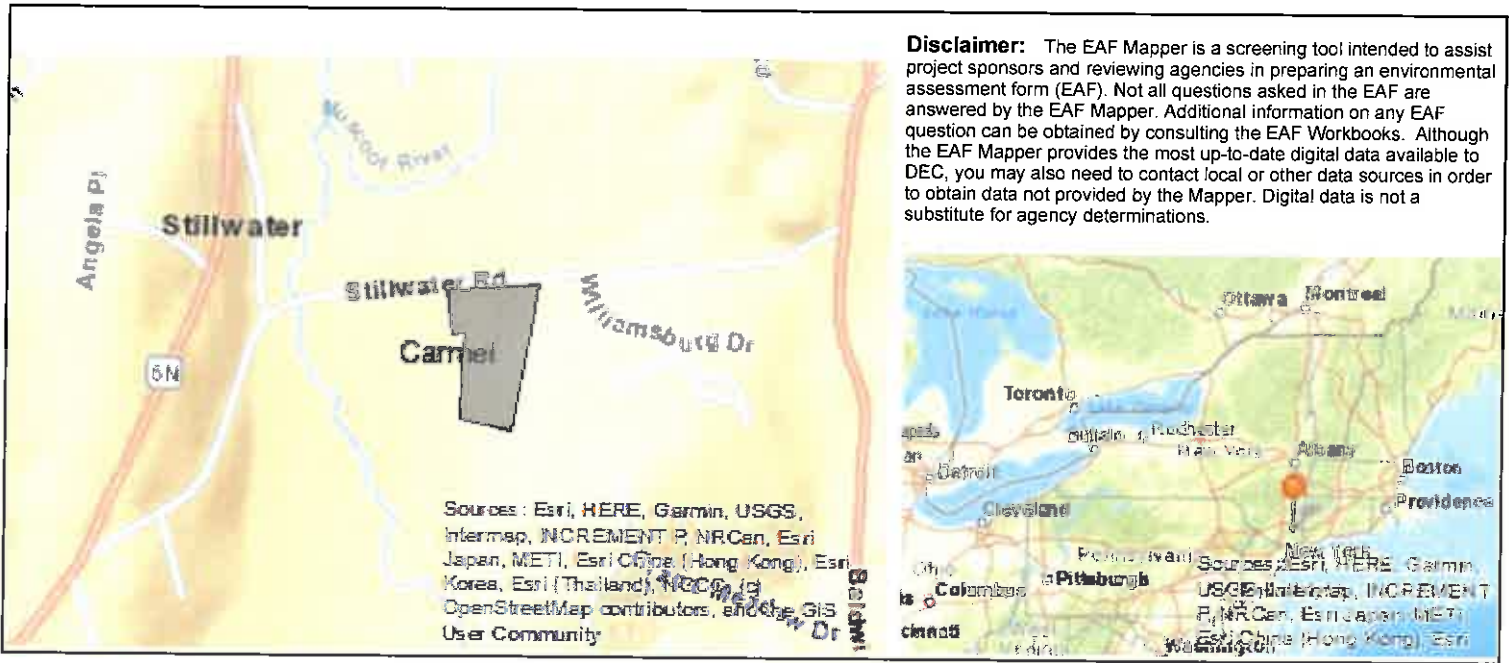
**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

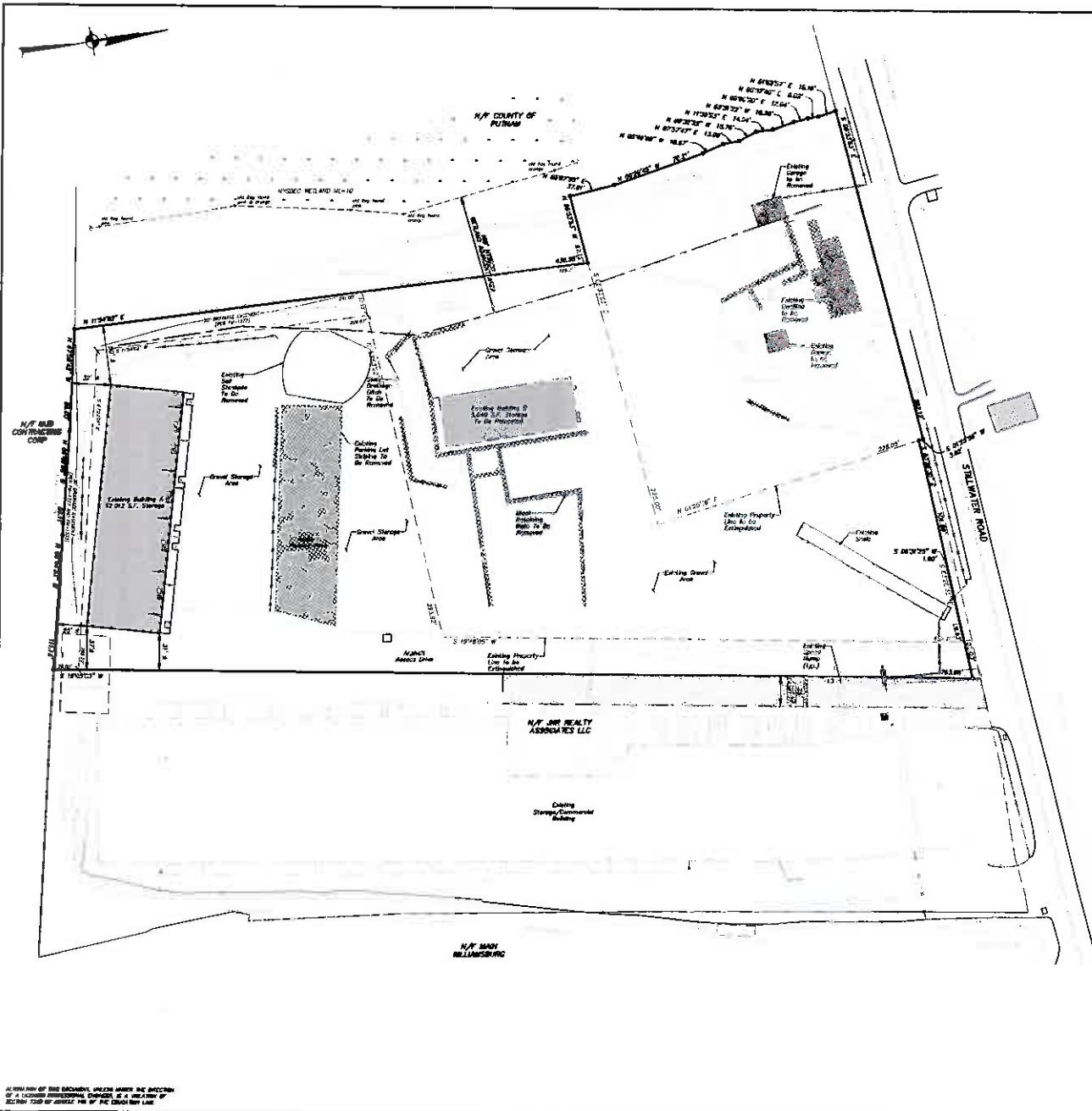
<b>Part 1 – Project and Sponsor Information</b>			
Name of Action or Project: Stillwater Business Park			
Project Location (describe, and attach a location map): 121 Stillwater Road, Mahopac NY			
Brief Description of Proposed Action: The applicant seeks to extinguish the property lines between Tax Map nos. 75.17-1-53, 86.5-1-25, & 86.5-1-26. On the combined lot the applicant seeks to demolish an existing residence, relocate an existing 5,040 sf storage building and to construct a new 60,000 sf storage building. This will also require some site grading, retaining walls, and re-pavement of a portion of the lot.			
Name of Applicant or Sponsor: 1841 Park Ave Realty Corp		Telephone: 212-410-3500 E-Mail: sales@liffeyvan.com	
Address: East 121st Street			
City/PO: New York		State: NY	Zip Code: 10035
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Town of Carmel Planning Board Site Plan Approval, Zoning Board of Appeals Area Variance, Building Permit			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		5.82 +/- acres	
b. Total acreage to be physically disturbed?		1.8 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		5.82 +/- acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input checked="" type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?  b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

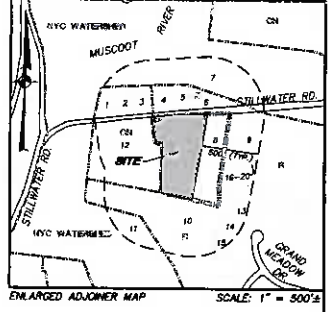
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	<input type="checkbox"/>	<input checked="" type="checkbox"/>
_____		
Catch basin and a rip rap swale will convey stormwater		
_____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: Subsurface stormwater management practice.	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p><b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b></p> <p>Applicant/sponsor/name: <u>Jeffrey J. Contelmo, P.E.</u> Date: <u>6/30/20</u>  <u>Insite Engineering, Surveying &amp; Landscape Architecture, P.C.</u></p> <p>Signature:  Title: <u>Senior Principal Engineer</u></p>		



- Part 1 / Question 7 [Critical Environmental Area] No
- Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites] No
- Part 1 / Question 12b [Archeological Sites] No
- Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies] Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
- Part 1 / Question 15 [Threatened or Endangered Animal] No
- Part 1 / Question 16 [100 Year Flood Plain] No
- Part 1 / Question 20 [Remediation Site] No



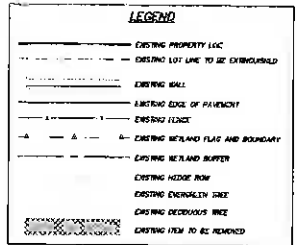
- 300' ADJOINERS**
- N.Y. PETER D. BASSI COAN
  - N.Y. MATTHEW R. WINKLER
  - N.Y. ROBERT C. JONASZAK  
ROSEMARY BODENHORN
  - N.Y. MAURIZIO FARELLI  
PAGE R. CHAMBER FARELLI
  - N.Y. DENNIS GAMBINO
  - N.Y. COUNTY OF PUTNAM
  - N.Y. CITY OF NEW YORK
  - N.Y. ALAN STRAUSSMAN AUTO BODY
  - N.Y. SHAR WELLSBURG
  - N.Y. HILF CONTRACTING CORP.
  - N.Y. CITY OF NEW YORK
  - N.Y. COUNTY OF PUTNAM
  - N.Y. THOMAS J. FORTONICO  
REBECCA A. FORTONICO
  - N.Y. MICHAEL FERREIRA  
ALEXIA FERREIRA
  - N.Y. JOSEPH LEONE  
ANTONETTE LEONE
  - N.Y. MATTHEW C. CASSELLI
  - N.Y. SALVATORE RUSSO
  - N.Y. ANDREA BERNARDI
  - N.Y. LAURA HELL
  - N.Y. JOHANNE HAUPOLD



**OWNER/APPLICANT:**  
 NY 7517-1-53 Tropic Realty Corp.  
 NY 80-51-23 1841 Park Ave. Realty Corp.  
 NY 08-3-1-20 1841 Park Ave. Realty Corp.

**SITE DATA:**  
 Zoning: C - COMMERCIAL  
 Total Acreage: 3.82 AC

- GENERAL NOTES:**
- Property lines and other features are based on survey conducted by InSite Engineering, Surveying & Landscape Architecture, P.C.
  - Topographic information and contours shown herein are based on aerial imagery of © Crown International, dated July 27, 2012.
  - Existing building conditions based on field notes performed by InSite Engineering, Surveying & Landscape Architecture, P.C.
  - No proposed number of employees, general operation and type of machinery are indicated on this plan to remain an existing.



**LIST OF DRAWINGS**

DRAWING NO.	DRAWING NAME	SHEET
SP-1	EXISTING CONDITIONS & REMOVALS PLAN	1
SP-2	LAYOUT & LANDSCAPE PLAN	2
SP-3	GRADING & UTILITIES PLAN	3
SP-3	EROSION & SEDIMENT CONTROL PLAN	4
D-1	DETAILS	5
D-2	DETAILS	6

NO.	DATE	REVISION	BY
<b>PROJECT:</b> STILLWATER BUSINESS PARK ESTABLISHED PARK, TOWN OF CHAMPLAIN, COUNTY OF PUTNAM, NEW YORK <b>DRAWING:</b> EXISTING CONDITIONS PLAN			
PROJECT NUMBER: 18128.100 DATE: 8-26-20 SCALE: 1" = 40'		PROJECT MANAGER: J.J.C. DRAWN BY: C.R.Z. CHECKED BY: A.D.T.	
DRAWING NO.: EX-1 SHEET: 1/5			



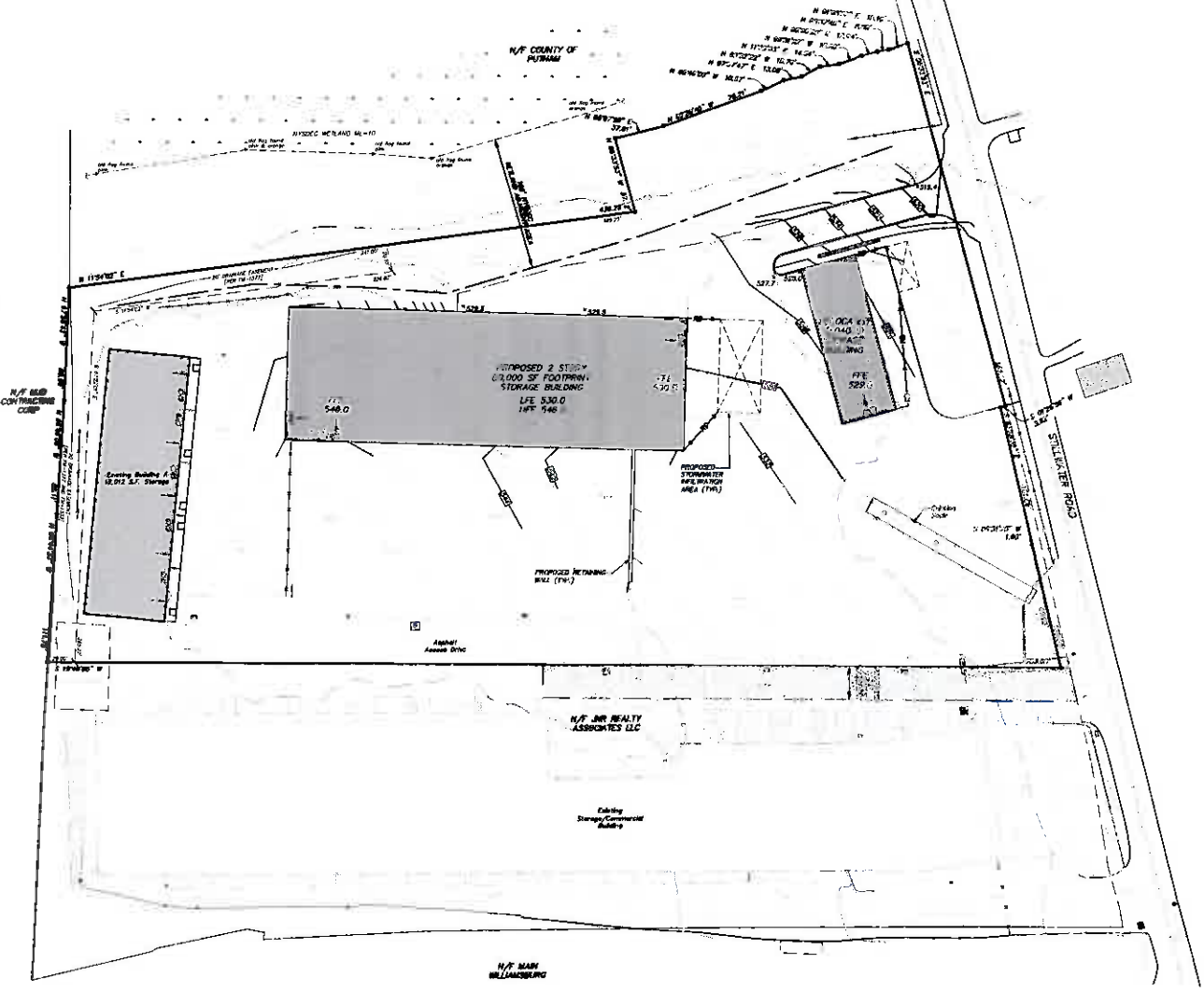
ALL INFORMATION ON THIS DOCUMENT, UNLESS WHERE THE OPPOSITE OF A LICENSED PROFESSIONAL ENGINEER, IS A MEASUREMENT OF ACCURACY TO BE ASSUMED TO BE OF THE DRAWING DATE.

18/08/2020 10:51 AM, P:\18128\18128.100\18128.100.dwg, 1:1

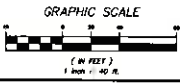




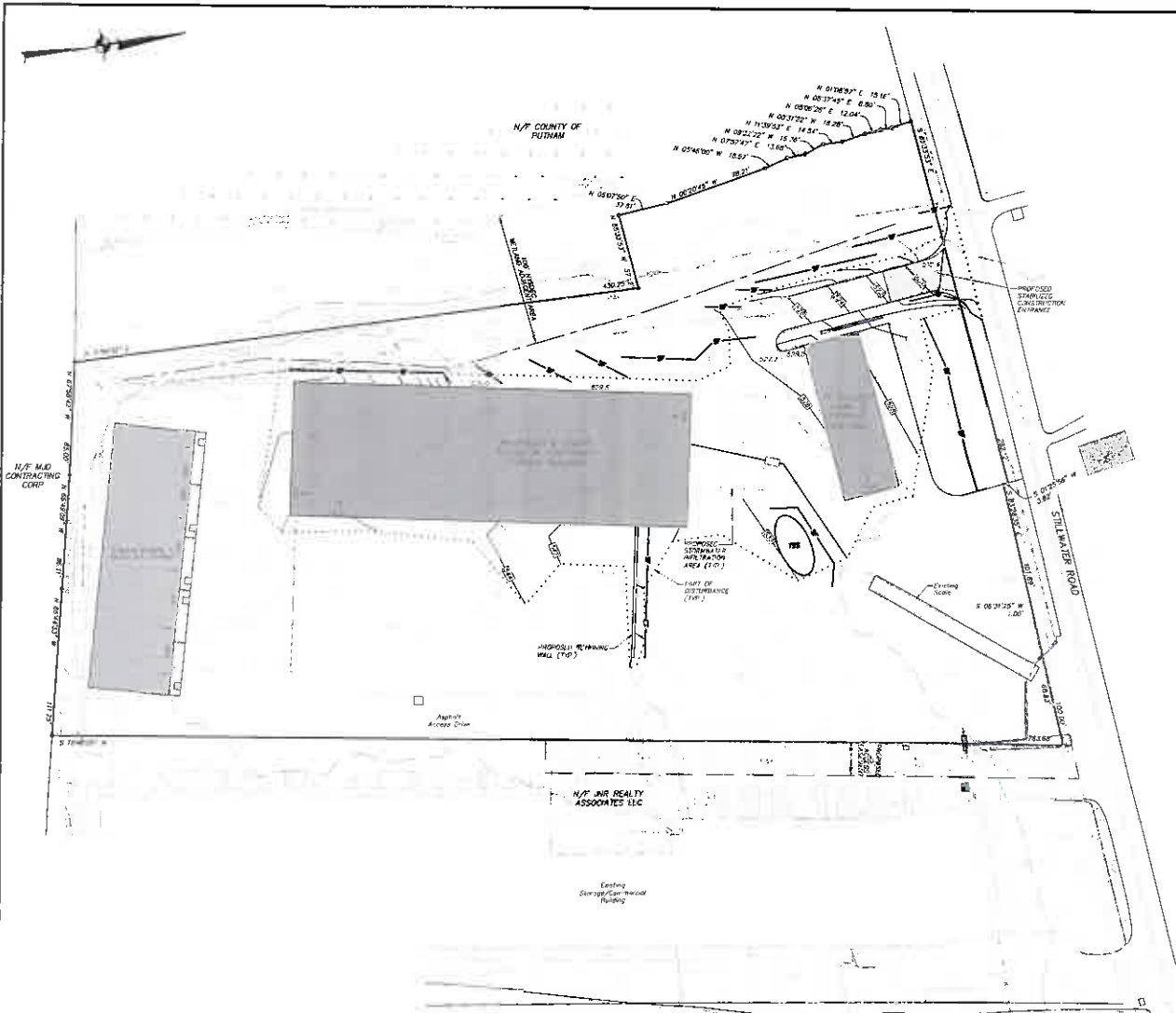
LEGEND	
	EXISTING PROPERTY LINE
	EXISTING LOT LINE TO BE EXTENDED
	EXISTING DRAIN
	EXISTING EDGE OF PAVEMENT
	EXISTING FENCE
	EXISTING RETIARD FLAG AND BOUNDARY
	EXISTING RETIARD BLUET
	PROPOSED CONCRETE CURB
	PROPOSED RETIARD WALL
	PROPOSED EDGE OF SIDEWALK
	PROPOSED ROOF DRAIN
	PROPOSED 1st CONTOUR
	PROPOSED 2nd CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED TOP OF CURB & BOTTOM OF CURB ELEVATIONS
	PROPOSED TOP OF WALL & BOTTOM OF WALL ELEVATIONS
	PROPOSED SEWER MANHOLE
	PROPOSED DRAINAGE MANHOLE
	PROPOSED CATCH BASIN



IN WITNESS WHEREOF, I, JAMES M. GIBSON, COUNTY CLERK OF PUTNAM COUNTY, MISSISSIPPI, HAVE CAUSED THE SEAL OF SAID COUNTY TO BE HEREBY AFFIXED TO THESE PLANS AND DRAWINGS.



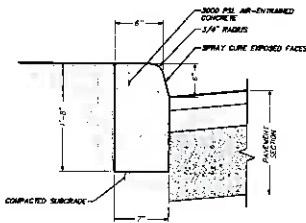
NO.	DATE	REVISION	BY
PROJECT:		STILLWATER BUSINESS PARK	
DRAWING:		GRADING AND DRAINAGE PLAN	
PROJECT MANAGER	18188.100	PROJECT MANAGER	J.J.C.
DATE	6-28-20	DRAWN BY	C.B.Z.
SCALE	1" = 40'	CHECKED BY	A.D.T.
DRAWING NO.			SP-2
SHEET			3
			6



**LEGEND**

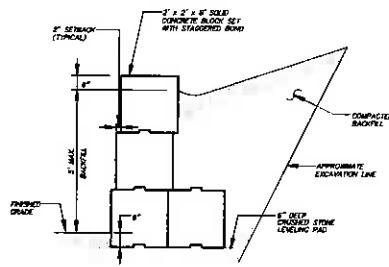
	EXISTING PROPERTY LINE
	EXISTING LOT LINE TO BE EXTENDED
	EXISTING WALL
	EXISTING EDGE OF PAVEMENT
	EXISTING FENCE
	EXISTING RETIRED FLAG AND BOUNDARY
	EXISTING RETIRED BUFFER
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	PROPOSED 5' CONTOUR
	PROPOSED SPOT ELEVATION
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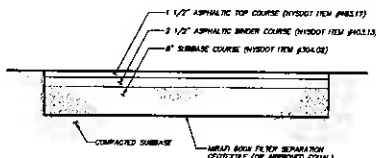


NOTE:  
REINFORCING JOISTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20" ON EITHER SIDE AND SHALL BE TIED WITH CELLULAR COMPRESSION AIR SPALLS RECESSED 1/4" IN FROM FRONT FACE AND END OF CURB.

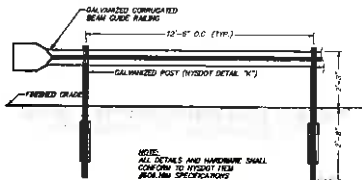
**CONCRETE CURB DETAIL**  
(N.T.S.)



**CONCRETE BLOCK WALL DETAIL**  
(N.T.S.)

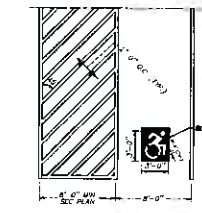


**ASPHALT PAVEMENT DETAIL**  
(N.T.S.)

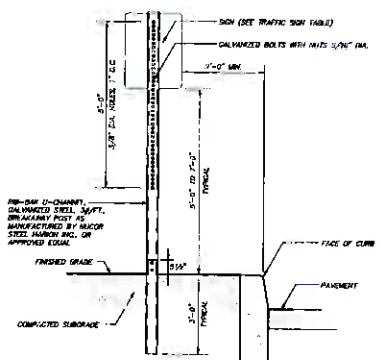


**GUTTER DETAIL**  
(N.T.S.)

ALTERNATE TO THIS DOCUMENT UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER AS A RESULT OF SECTION 7209 OF ARTICLE 141 OF THE DESIGN LAW.

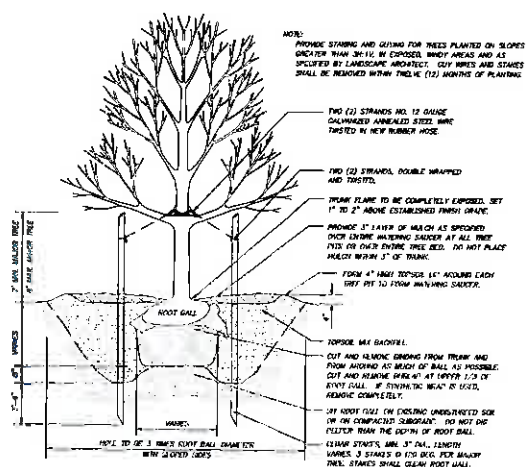
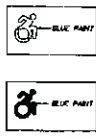


**PAINTED NYS ACCESSIBLE PARKING DETAIL**  
(N.T.S.)



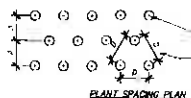
**TRAFFIC SIGN DETAIL**  
(N.T.S.)

NOTE: FOR HANDICAP PARKING SIGNAGE, SIGNS SHALL BE INSTALLED AT A CLEAR HEIGHT OF BETWEEN 5'-0\"/>

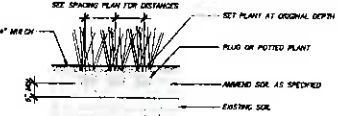


NOTE:  
PROVIDE STAKING AND SETTING FOR TREES PLANTED ON SLOPES GREATER THAN 5% IN EXPOSED WINDY AREAS AND AS SPECIFIED BY LANDSCAPE ARCHITECT. CUT WIRES AND STAKES SHALL BE REMOVED WITHIN TWELVE (12) MONTHS OF PLANTING.

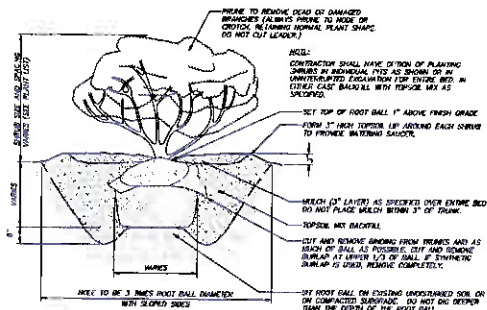
**TREE PLANTING DETAIL**  
(N.T.S.)



NOTE:  
PLANT DIAMETERS WERE DETERMINED BY MEASURING AREA (SQ. FT.) BY NUMBER OF STAKES PER SQ. FT. FOR REQUIRED SPACING.



**PERENNIAL / ORNAMENTAL GRASS PLANTING DETAIL**  
(N.T.S.)



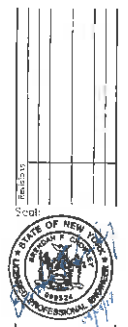
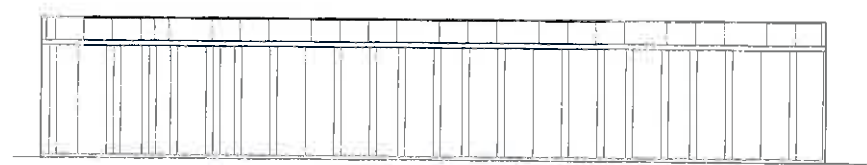
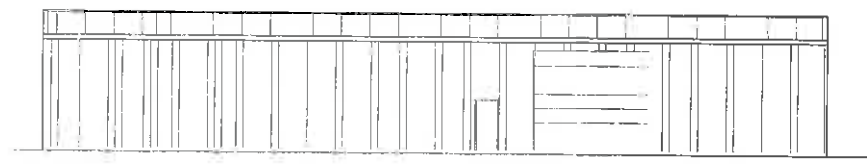
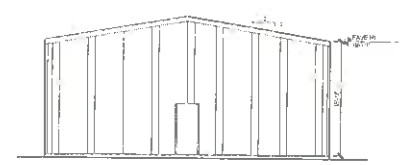
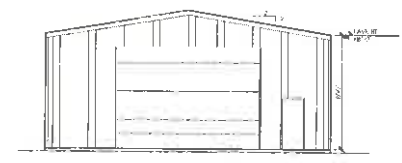
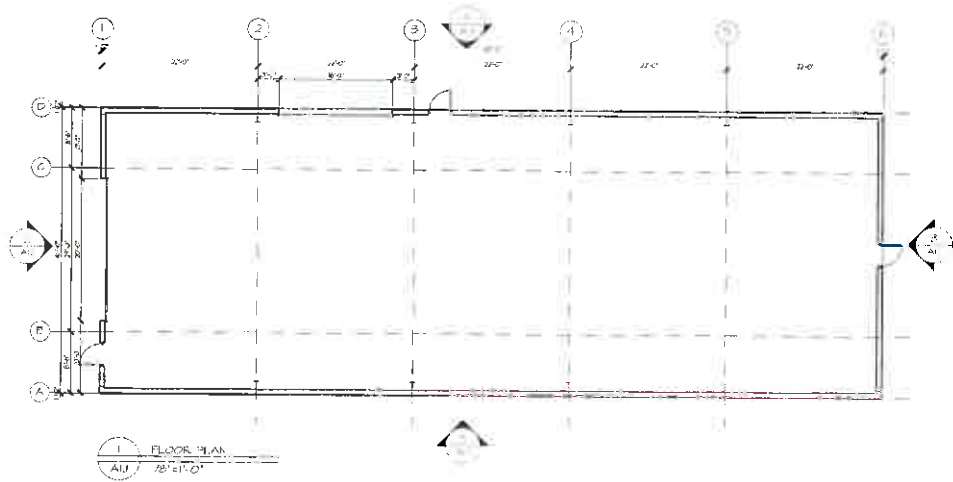
**SHRUB PLANTING DETAIL**  
(N.T.S.)

- GENERAL SITE SEEDING NOTES:**
- All proposed seeded areas for erosion 4" min. depth of topsoil. Soil amendments and fertilizer application rates shall be determined based on results testing of topsoil material.
  - Seeds for final grading and placement of topsoil and any required soil amendments shall be received and inspected prior to construction with suitable match to existing seed mixture per drawings and seeding notes.
    - Seeds shall be the manufacturer's recommended rate using 100% or 2 1/2 times (for phosphorus) fertilizer or equivalent.
    - Seeds shall be of small grain straw seeding at a rate of 80 lbs./1000 S.F. or 2 lbs./acre. It to be applied and mulched according to latest NY State Department of Environmental Conservation and Soil Conservation Service's Erosion Control Manual.
  - Seed mix to be placed between March 21 and May 20, or between August 15 and October 15 or as directed by project representative.
  - Maint. Seed mix or small grain straw seeding at a rate of 80 lbs./1000 S.F. or 2 lbs./acre. To be applied and mulched according to New York State Department of Environmental Conservation and Soil Conservation Service's Erosion Control Manual.
  - Grass seed mix may be applied by other mechanical or hydroseeding methods. Seeding shall be performed in accordance with the current version of the NY State Department of Environmental Conservation and Soil Conservation Service's Erosion Control Manual. Hydroseeding shall be performed using materials and methods as approved by the site engineer.

- GENERAL PLANTING NOTES:**
- Tree removal, protection and planting shall be in accordance with Chapter 142 of the Town Code.
  - All proposed planting areas to receive a 12" min. depth of topsoil. Soil amendments and fertilizer application rates shall be determined based on specific testing of topsoil material.
  - Any tree stumps shall not be removed or reduced by results of soil testing and placed unless a method that will not cause compaction.
  - No 8/24/09 shall be used in stemmatic back planting. Nutrient treatments to be used by prescription of acceptable organic matter.
  - All plants intended to be nursery stock.
  - Plants shall conform with ANSI Z602 American Standard for Nursery Stock in all applicable dimensions.
  - All plants shall be grown under optimal conditions similar to those in the vicinity of the project.
  - Plants may be planted in all locations depicted in the plan or as stated in the field by the Landscape Architect.
  - The location and layout of landscape plants shown on this site plan shall take precedence in any discrepancy between the quantities of plants shown on the plan and the quantity of plants in the Plant List.
  - Plants in 3" pots or smaller shall be backfilled (or as specified) with an appropriate growing medium or as specified in the Plant List. Do not plant plants more than 3" of tree or shrub trunk.
  - All landscape planting shall be maintained to a healthy condition at all times. Any stock or damaged plants shall immediately be replaced, to meet by the contractor (during warranty period) or project owner.

NO.	DATE	REVISION	BY
<b>INSITE</b> ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.			
PROJECT: <b>STILLWATER BUSINESS PARK</b>			
DRAWING: <b>DETAILS</b>			
PROJECT NUMBER	19129.100	PROJECT MANAGER	J.A.C.
DATE	6-26-20	DRAWN BY	C.B.Z.
SCALE	AS SHOWN	CHECKED BY	A.D.T.
DRAWING NO.			<b>D-1</b>
SHEET			<b>5</b>





Drawing Title: **FLOOR PLAN / ELEVATIONS**  
 Project Title: **WAREHOUSE BUILDING**  
**429 STILLWATER ROAD**  
**MAHOPAC, NY 10541**  
 NOT Released for Construction Date: 02/28/20

**GENERAL NOTES**

- (THESE SPECIFICATIONS ARE IN ADDITION TO AND DO NOT EXCLUDE ANY FOUND IN THE GENERAL SPECIFICATIONS FOR THE PROJECT)
- THE CONTRACT STRUCTURAL DOCUMENTS REPRESENT THE FINISHED STRUCTURE. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION. PROVIDE ALL MEASURES REQUIRED TO PROTECT THE STRUCTURE, WORKMAN AND OTHER PERSONS DURING CONSTRUCTION INCLUDING GRADING, SHORING FOR CONSTRUCTION EQUIPMENT, SHORING FOR THE EXCAVATION FORMS AND EXCAVATING WALLS AND OTHER TEMPORARY SUPPORTS. COMPLY WITH ALL APPLICABLE REQUIREMENTS OF OSHA AND OTHER GOVERNING BODIES HAVING JURISDICTION ON THE SITE.
  - SHOP DRAWINGS FOR STRUCTURAL STEEL, JOIST, DECKING, AND COLD FORMED METAL TRUSSES AND MEMBERS SHALL COMPLY WITH THE FOLLOWING:
    - CONTRACTOR SHALL FURNISH COMPLETE AND DETAILED SHOP DRAWINGS PREPARED UNDER SUPERVISION OF A REGISTERED STRUCTURAL ENGINEER. THESE DRAWINGS SHALL SHOW SIZES, LOCATIONS TYPE AND EXTENT OF ALL MEMBERS, BOLTS AND WELDS.
    - INDICATE THE DATE OF THE STRUCTURAL DRAWINGS USED FOR SHOP DRAWING PREPARATION.
    - INDICATE WELDS BY STANDARD AWS SYMBOLS AND SHOW SIZE LENGTH AND TYPE OF EACH WELD.
    - PROVIDE SETTING DRAWINGS, TEMPLATES AND DIRECTIONS FOR INSTALLATION OF ANCHOR BOLTS AND OTHER ANCHORAGES TO BE INSTALLED BY OTHERS.
    - CONTRACTOR SHALL REVIEW AND STAMP ALL SHOP DRAWINGS PRIOR TO SUBMITTAL FOR ENGINEERING REVIEW.
    - CONTRACTOR SHALL HAVE AN APPROVED SET OF STRUCTURAL STEEL SHOP DRAWINGS AND PROOF OF WELDER CERTIFICATION AT THE JOBSITE AT ALL TIMES.
    - COORDINATE ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS.
    - SEE ARCHITECTURAL AND CIVIL DRAWINGS FOR BUILDING LOCATION AND ORIENTATION. COORDINATE ALL DIMENSIONS WITH ARCH DRAWINGS. DO NOT SCALE DRAWING.
  - SECTIONS CUTS INDICATED ON THE DRAWINGS APPLY TO ALL LIKE AND SIMILAR CONDITIONS EVEN THOUGH NOT SPECIFICALLY MARKED ON THE PLANS. COORDINATE SIMILAR CONDITIONS WITH ARCHITECTURAL, MECHANICAL, AND CIVIL DRAWINGS.
  - DESIGN LOADS: THE BUILDING STRUCTURE DESCRIBED IN THESE PLANS SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE 2015 INTERNATIONAL BUILDING CODE OR ALL AMENDMENTS. SEE ALSO 210 CHAPTER 2 FOR ALL LOAD COMBINATIONS AND LOADS NOT INDICATED HEREIN.
    - GRAVITY LOADS
      - DEAD LOADS
      - ROOF: PER METAL BUILDING MANUFACTURER
      - LIVE LOADS:
        - ROOF: 20 PSF (REDUCED PER CODE)
        - FLOOR:
          - 120 PSF (EIGHT STORIES)
          - CATEGORY 1 FLOORPLATS (10 KIP AXLE LOAD FOR LIFT TRUCK WITH A DESIGN INDEX OF 4)
    - SNOW LOADS:
      - GROUND SNOW LOAD (PSI): 30 PSF
      - BALANCED ROOF SNOW LOAD (PSI): 24 PSF
      - SNOW EXPOSURE FACTOR (E): 1.0
      - SNOW IMPORTANCE FACTOR (I): 1.0
      - TERMINAL FACTOR (F): 1.0
      - TERMINAL FACTOR (F): 1.0
    - WIND LOADS:
      - BASIC WIND SPEED (SIC 6505) 120 MPH
      - WIND IMPORTANCE FACTOR (I): 1.0
      - RISK CATEGORY: II
      - EXPOSURE CATEGORY: B
      - INTERNAL PRESSURE (Cp): +0.18
  - REFER TO ASCE 7-10 FOR COMPONENT & CLADDING LOADS.
  - SEISMIC DESIGN CRITERIA:
    - SEISMIC IMPORTANCE FACTOR (I): 1.0
    - RISK CATEGORY: II
    - MAPPED SPECTRAL RESPONSE ACCELERATIONS:
      - Ss: 0.211
      - S1: 0.090
    - SITE CLASS: D
    - SDS1: 0.321g
    - SDS2: 0.191g
    - SITE COEFFICIENT:
      - Fs = 1.00
      - Fv = 1.40
    - SEISMIC DESIGN CATEGORY: B
    - BASIC SEISMIC FORCE RESISTING SYSTEM:
      - SEISMIC RESPONSE COEFFICIENT (Cp): PER REGISTERED METAL BUILDING MANUFACTURER
      - RESPONSE MODIFICATION FACTORS (R): BY PER REGISTERED METAL BUILDING MANUFACTURER
      - ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE PROCEDURE
  - WHERE A DETAIL IS SHOWN FOR ONE CONDITION, IT SHALL APPLY FOR ALL LIKE AND SIMILAR CONDITIONS EVEN THOUGH NOT SPECIFICALLY MARKED ON THE DRAWINGS.

- FOUNDATION NOTES**
- SEE REINFORCED CONCRETE NOTES FOR CONCRETE STRENGTH REQUIREMENTS. EXTERIOR CONCRETE SHALL BE AIR ENTRAINED TO 6% +/- 1.12%.
  - SEE ARCHITECTURAL DRAWINGS FOR SIDE WALK EXTENTS, PLANTING, AND PAVEMENT LOCATIONS. CONCRETE PADS STAIRS, SEE ARCH FOR DIMENSIONS AT INTERIOR MASONRY PARTITIONS, AND METALS.
  - COORDINATE FINISHED FLOOR ELEVATIONS (F.F.E.) WITH ARCH AND CIVIL DRAWINGS.
  - REFERENCES FEE = 0'
  - FOUNDATION DESIGN IS BASED UPON AN ASSUMED SOIL BEARING CAPACITY OF 3000 PSF.
  - ALL FOUNDATION EXCAVATIONS SHALL BE EVALUATED BY A NEW YORK REGISTERED GEOTECHNICAL ENGINEER OR TESTING AGENCY PRIOR TO PLACING ANY FOUNDATION CONCRETE. CONTACT STRUCTURAL ENGINEER IF THE ALLOWABLE SOIL BEARING CAPACITY IS LESS THAN 3000 PSF.
  - ALL EXTERIOR FOOTINGS SHALL BEAR A MINIMUM OF 3'-0" BELOW F.F.E. AND A MINIMUM OF 2'-0" BELOW ADJACENT EXTERIOR FINISH GRADE, UNLESS NOTED OTHERWISE.
  - PRIOR TO COMMENCING ANY FOUNDATION WORK, COORDINATE WORK WITH ANY EXISTING OR NEW UTILITIES. LOWER FOUNDATION AS REQUIRED TO AVOID INTERFERENCE WITH UTILITIES. EXCEPT WHERE ZERO (0) LINE FOOTINGS ARE LOCATED PARALLEL TO ADJACENT BUILDINGS, REFER TO THE FOUNDATION FOUNDATION PLAN FOR FOOTING STEPS AT ADJACENT BUILDINGS - CONTACT ARCHITECTURAL ENGINEER IF A CONFLICT OCCURS.
  - CONSULT WITH A NEW YORK REGISTERED GEOTECHNICAL ENGINEER FOR GENERAL REQUIREMENTS OF BACKFILL, OVEREXCAVATION, SURGRADE PREPARATION, FILL AND COMPACTION, WATERPROOFING AND OTHER PERTINENT REQUIREMENTS AND INFORMATION. IF THERE IS A CONFLICT BETWEEN GEOTECHNICAL ENGINEER AND STRUCTURAL PLANS THEN THE MORE STRINGENT CRITERIA SHALL APPLY UNLESS OTHERWISE DIRECTED BY ARCH.
  - PROTECT PIPES AND CONDUITS RUNNING THROUGH WALLS AND SLABS WITH 1/2" INCH EXPANSION MATERIAL. LOWER CONTINUOUS FOOTING AND GRADE BEAMS PROPORTIONATE TO PIPE RISE TO ALLOW PIPES TO PASS ABOVE THE FOOTINGS OR BELOW THE FOOTINGS AND GRADE BEAMS PARALLEL TO PIPE RUNS TO AVOID SURCHARGE ONTO ADJACENT TRENCH EXCAVATIONS.
  - ARRANGE FOR OWNER'S INDEPENDENT TESTING AGENCY TO MONITOR CUT AND FILL OPERATIONS AND PERFORM FIELD DENSITY AND MOISTURE CONTENT TESTS TO VERIFY COMPACTION AND APPROVE FOOTING SURGRADES PRIOR TO PLACING CONCRETE.

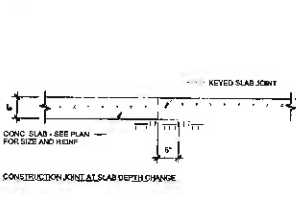
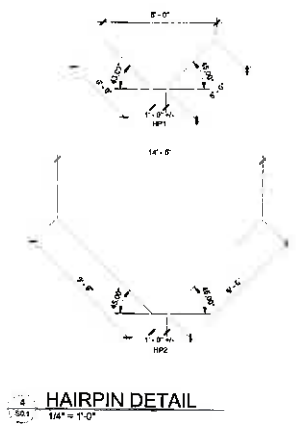
- CONCRETE PLAN NOTES**
- SEE REINFORCED CONCRETE NOTES FOR CONCRETE STRENGTH REQUIREMENTS. COORDINATE VAPOR BARRIER REQUIREMENTS OF ARCHITECTURAL AND GEOTECHNICAL ENGINEER REQUIREMENTS. PROVIDE (3 MIL THK) POLYETHYLENE VAPOR BARRIER WITH JOINTS LAPPED REQUIREMENTS (2" MINIMUM APPROVED GRADED AGGREGATE BASE).
  - WHERE SPECIFIC CONTROL JOINT LOCATIONS ARE NOT INDICATED, PROVIDE CONTROL JOINTS AT JOINTS SUCH THAT NO AREA ARCHITECTURAL CONCRETE PLACEMENT PLAN.
  - CONDUITS AND PIPES ENBEDDED IN SLABS SHALL NOT BE LARGER IN OUTSIDE DIMENSION THAN ONE (1) THIRDS OF THE OVERALL THICKNESS OF THE SLAB. SHALL NOT BE SPACED CLOSER THAN 3 DIAMETERS OR WIDTHS ON CENTER. A MINIMUM SLAB THICKNESS OF 5/16" MUST BE MAINTAINED OVER THE EMBEDDED CONCRETE OR PIPES.
  - COORDINATE THE EXACT LOCATION AND EXTENTS OF ALL FLOOR SLOPES, RECESSED AREAS AND DRAIN LOCATIONS WITH ARCHITECTURAL AND PLUMBING DRAWINGS.

**SPECIAL INSPECTION NOTES**

- SPECIAL INSPECTOR SHALL BE ENGAGED BY THE OWNER. SPECIAL INSPECTOR SHALL BE FULLY QUALIFIED, APPROVED BY THE BUILDING OFFICIAL, REGISTERED BY APPLICABLE REGISTRATION BOARD IF REQUIRED BY THE LOCAL BUILDING OFFICIAL, AND SHALL BE ACCEPTABLE TO THE ARCHITECT.
- THE SPECIAL INSPECTOR SHALL PROVIDE VERIFICATION OF CONSTRUCTION QUALITY CONTROL INSPECTIONS AND TESTING. THE SPECIAL INSPECTOR SHALL CERTIFY THAT ALL WORK REQUIRING INSPECTIONS IS PERFORMED IN COMPLIANCE WITH ALL REQUIREMENTS OF THE CONTRACT DOCUMENTS, BUILDING CODE REQUIREMENTS AND LOCAL BUILDING DEPARTMENT REQUIREMENTS.
- SPECIAL INSPECTIONS ARE REQUIRED FOR THE ITEMS NOTED IN THE STATEMENT OF SPECIAL INSPECTIONS AND THE 2015 IBC CHAPTER 17. THE CONTRACTOR SHALL OBTAIN A COPY OF THE STATEMENT OF SPECIAL INSPECTIONS AND NOTIFY THE SPECIAL INSPECTOR WHEN WORK IS READY TO BE INSPECTED.
- FAILURE TO NOTIFY THE SPECIAL INSPECTOR PRIOR TO DISBURSING AN ITEM REQUIRING INSPECTION MAY RESULT IN THE CONTRACTOR FURNISHING OTHER WORK TO ALLOW INSPECTION. THIS WORK WILL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE. FAILURE TO HAVE REQUIRED ITEMS INSPECTED IS REASON FOR REJECTION OF THE WORK.
- PREMATURE NOTIFICATION FOR INSPECTIONS WILL RESULT IN ADDITIONAL INSPECTION WITH ALL EXPENSES AND FEES PAID FOR BY THE CONTRACTOR.
- SEE SHEET S0.1 FOR SPECIAL INSPECTION CHECKLIST.

**REINFORCED CONCRETE NOTES**

- STRUCTURAL MEMBERS OF REINFORCED CONCRETE SHALL BE CONSTRUCTED IN ACCORDANCE WITH TABLE 2.
- ALL CONCRETE SHALL HAVE A SLUMP OF 3" TO 5" (+/-) AND A MINIMUM 28 DAY COMPRESSIVE STRENGTH:
  - FOOTINGS: 3000 PSI
  - WALLS: 3000 PSI
  - SLAB ON GRADE: 4000 PSI (50 LBS/CUBIC YARD MINIMUM CEMENTITIOUS MATERIAL)
- ALL STEEL REINFORCEMENT SHALL BE ASTM A615-GRADE 60. ALL WELDED STEEL REINFORCEMENT SHALL BE ASTM A706. WELDED WIRE REINFORCEMENT SHALL BE ASTM A186. ALL WELDED REINFORCEMENT SHALL BE IN ACCORDANCE WITH AISC D1.4.
- MINIMUM CONCRETE COVER FOR REINFORCING STEEL (MIN):
  - CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO WEATH: 3"
  - CONCRETE EXPOSED TO EARTH AND WEATHER:
    - REBAR AND SMALLER: 1 1/2"
    - BEAMS AND COLUMNS: 1 1/2"
  - CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH EARTH, SLABS, WALLS, AND JOISTS:
    - NO. 8 REBAR: 1 1/2"
    - NO. 11 REBAR AND SMALLER: 3/4"
    - BEAMS AND COLUMNS: 1 1/2"
- UNLESS NOTED OTHERWISE, CAST-IN PLACE CONCRETE SHALL HAVE THE FOLLOWING STEEL ADDED AROUND ALL OPENINGS:
  - 2-BARS EACH OF 4# OR 5# EACH SIDE OF OPENING AND TWO (2) #4# OR 5# DIAGONALLY AT EACH CORNER.
- ALL CONCRETE COMPRESSIVE STRENGTH TESTS SHALL BE AVAILABLE AT JOB SITE.
- ALL LAP SPICE LENGTHS SHALL BE AS SHOWN IN TABLE 2 THIS SHEET.



**REINFORCED CONCRETE TENSION LAP SPICE LENGTHS**  
TABLE 2  
(INCHES)

BAR SIZE	f <sub>c</sub> = 3000 PSI	f <sub>c</sub> = 4000 PSI
#1	25	21.3
#4	33	29
#5	41	36
#6	49	43
#7	72	62

**Structural Foundation Schedule**

Type Mark	Footing Dimensions	Reinforcing	Remarks
F-4	4'-0" x 4'-0" x 1'-0"	(3) - # 5 EACH WAY	TOP AND BOTTOM
F-5	5'-0" x 5'-0" x 1'-0"	(3) - # 5 EACH WAY	TOP AND BOTTOM

**LIST OF ABBREVIATIONS**

FOB: FACE OF BRICK	LD: LOW CONDITION
F0A: FACE OF ANGLE	H: HIGH CONDITION
F0S: FACE OF STUD	TOW: TOP OF WALL
T0B: TOP OF BEAM	S0S: SELF DRILLING SCREW
B0C: BOTTOM OF CHANNEL	F0C: FACE OF CHANNEL
T0S: TOP AND BOTTOM	T0F: TOP OF FOOTING
T0A: TOP OF ANGLE	S0M: SIMILAR CONDITION
B0A: BOTTOM OF ANGLE	W.P.: WORKING POINT
L0V: LONG LEG VERTICAL	UN0: UNLESS NOTED OTHERWISE
L0H: LONG LEG HORIZONTAL	B.P.: BASE PLATE
SW: MASONRY SHEAR WALL	P0P: POWER ACTUATED FASTENERS
T0C: TOP OF COLUMN	S.F.: SLEEP FOOTING
P.E.M.: PRE ENGINEERED METAL BUILDING	B0CL: BOTTOM OF COLUMN
	F0T: FACE OF TUBE

**CONSTRUCTION CONTROL JOINT DETAILS**



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(404) 483-0821



REVISED

PROJECT  
**MAHOPAC**

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428 Stillwater Road  
Mahopac, NY 10541

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**Mr. Danny Maloney**

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428 Stillwater Road  
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SHEET TITLE  
**STRUCTURAL GENERAL NOTES & SCHEDULES**

DATE  
08/08/2019

PROJECT NUMBER  
16-151

SHEET NUMBER  
**S0.1**



REVISIONS

PROJECT

**MAHOPAC**

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 428 S. Waver Road  
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**Mr. Danny**  
**Maloney**

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SHEET TITLE

**FOUNDATION**  
**PLAN &**  
**DETAILS**

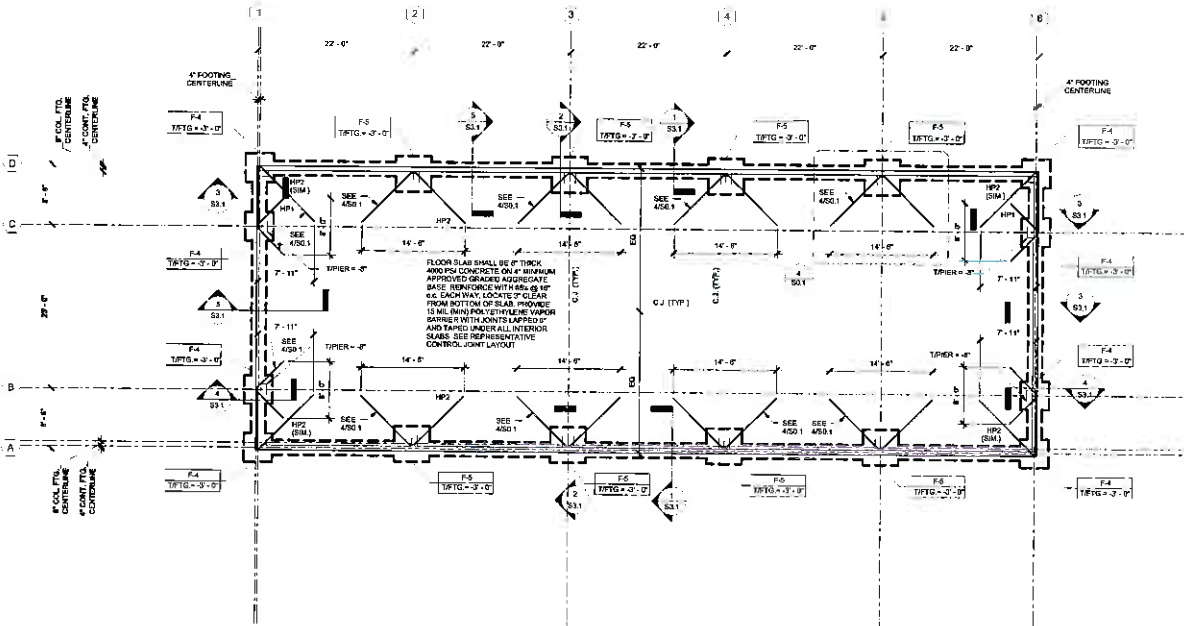
Date  
 08/06/2018

PROJECT NUMBER

16-151

SHEET NUMBER

**S1.1**



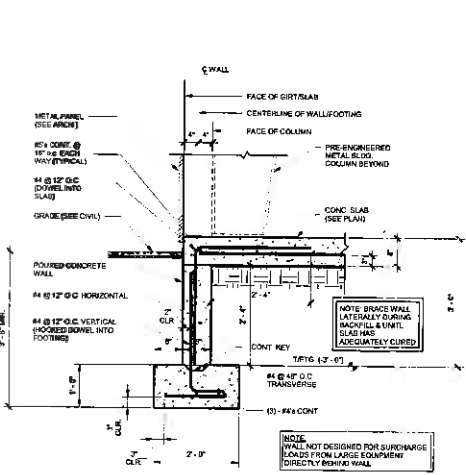
**Foundation Plan**  
 S1.1 1/8" = 1'-0"

**FOUNDATION NOTES:**

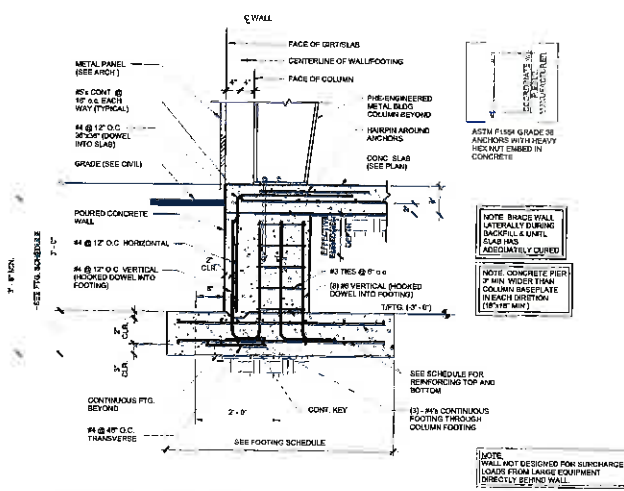
1. REFER TO ARCHITECTURAL DRAWINGS FOR INTERIOR WALL DIMENSIONS AND SLAB CONTROL JOINT LOCATIONS
2. FLOOR SLAB SHALL BE 4" THICK 4000 PSI CONCRETE ON 4" MINIMUM APPROVED GRADED AGGREGATE BASE. REINFORCE WITH #4 @ 18" O.C. EACH WAY. LOCATE 3" CLEAR FROM BOTTOM OF SLAB. PROVIDE 15 MIL MIN POLYETHYLENE VAPOR BARRIER WITH JOINTS LAPPED 6" AND TAPPED UNDER ALL INTERIOR SLABS. SEE REPRESENTATIVE CONTROL JOINT LAYOUT
3. ALL CONCRETE WORK SHALL CONFORM TO ACI 308 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"
4. FINISH FLOOR ELEVATION IS 0'-0"

**ENGINEERED METAL BUILDING NOTES:**

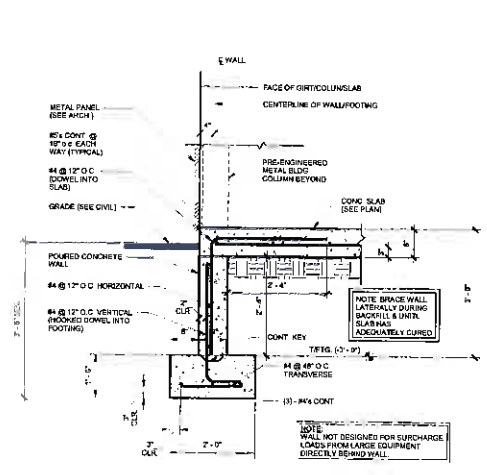
1. P.E.M.B. MANUFACTURER COORDINATE SUSPENDED MECHANICAL UNITS AND LOADS WITH MECHANICAL DRAWINGS
2. P.E.M.B. MANUFACTURER PROVIDE SKYLIGHT PANELS WHERE INDICATED ON ARCHITECTURAL
3. P.E.M.B. MANUFACTURER COORDINATE X BRACING AND/OR PORTAL FRAME COLUMN LOCATIONS WITH ARCHITECTURAL
4. FOUNDATION INDICATIONS ARE BASED ON PRELIMINARY LONGITUDINAL SECTION DRAWINGS. SYSTEMS SHOWN SUBJECT TO FINAL ENGINEERING REVIEW AND SHALL BE VERIFIED BY THE MANUFACTURER'S SPECIFICATIONS AND LOCAL CODES. SUBMITTER



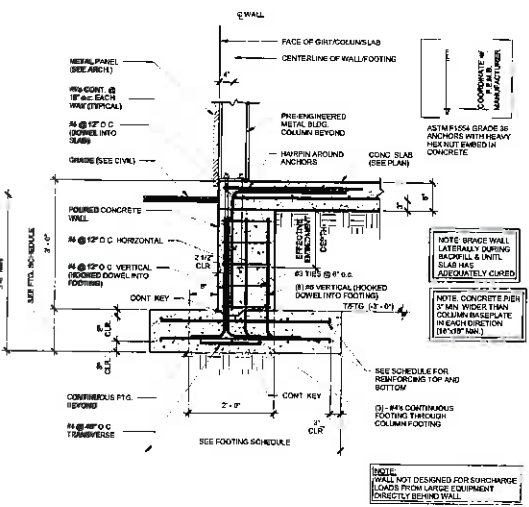
1 WALL SECTION 1  
S31 3/4" = 1'-0"



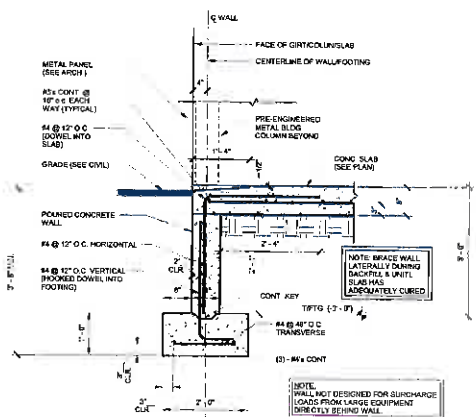
2 WALL SECTION 2  
S31 3/4" = 1'-0"



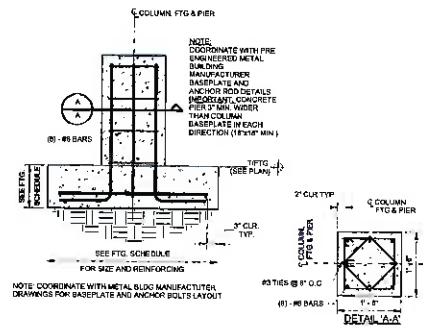
3 WALL SECTION 3  
S31 3/4" = 1'-0"



4 WALL SECTION 4  
S31 3/4" = 1'-0"



5 WALL SECTION 5  
S31 3/4" = 1'-0"



6 CONCRETE PIER  
S31 3/4" = 1'-0"



REVISIONS

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CLIENT  
**Mr. Danny  
Maloney**

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SHEET TITLE

**FOUNDATION  
DETAILS**

Date  
09/08/2018

PROJECT NUMBER  
18-151

SHEET NUMBER

**S3.1**

Table with columns: MATERIAL / ACTIVITY, SERVICE, Y/N, APPLICABLE TO THIS PROJECT (EXTENT, AGENT, DATE COMPLETED). Rows include items like 1753.3 Concrete Construction, 1753.4 Masonry Construction, 1753.5 Structural Steel Fabrication, etc.

Table with columns: MATERIAL / ACTIVITY, SERVICE, Y/N, APPLICABLE TO THIS PROJECT (EXTENT, AGENT, DATE COMPLETED). Rows include items like 1753.6 Wood Construction, 1753.7 Metal Decking, 1753.8 Cold-Formed Steel Light-Framed Construction, etc.

Table with columns: MATERIAL / ACTIVITY, SERVICE, Y/N, APPLICABLE TO THIS PROJECT (EXTENT, AGENT, DATE COMPLETED). Rows include items like 1753.9 Mechanical and Electrical Components, 1753.10 Mechanical and Electrical Components, 1753.11 Mechanical and Electrical Components, etc.

**Keystone Structural Engineering**  
Professional & Civilian  
Professional Credentials  
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REVISIONS

Table with columns: NO., DESCRIPTION, DATE

PROJECT  
**MAHOPAC**

ADDRESS  
420 Simeone Road  
Margate, NY 10541

CLIENT  
**Mr. Danny Maloney**

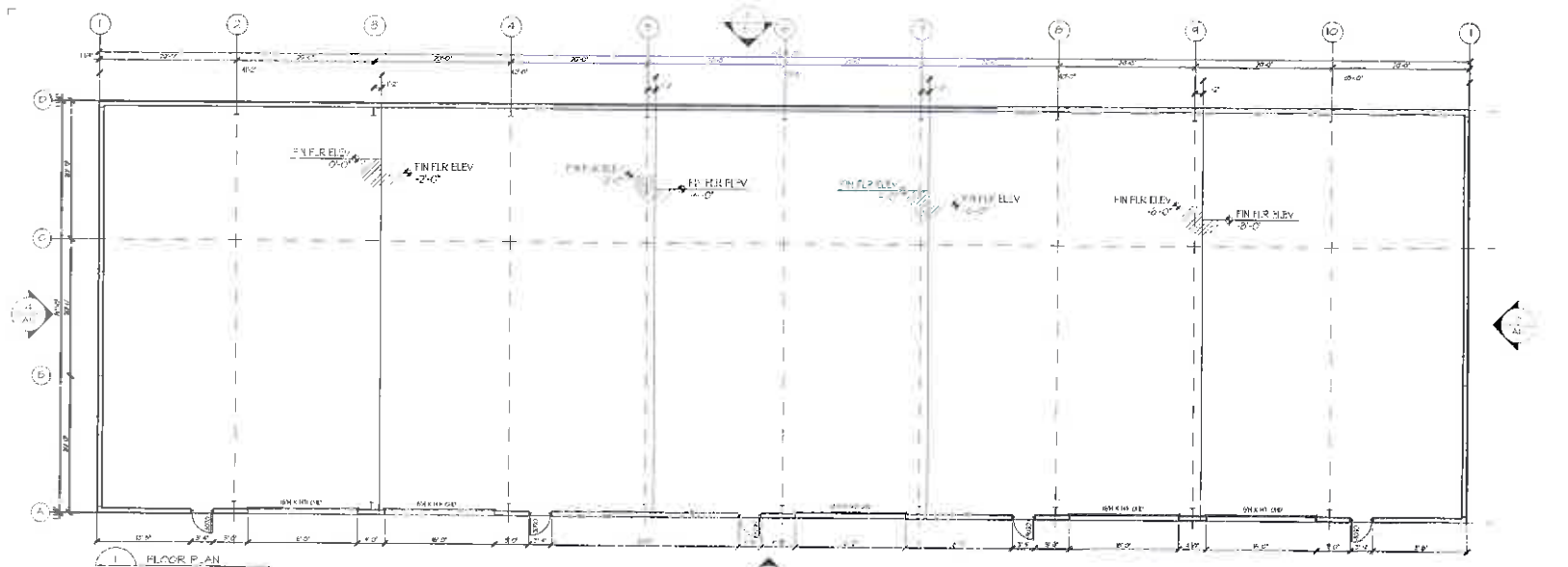
ADDRESS  
420 Simeone Road  
Margate, NY 10541

SHEET TITLE  
**SCHEDULE OF SPECIAL INSPECTIONS**

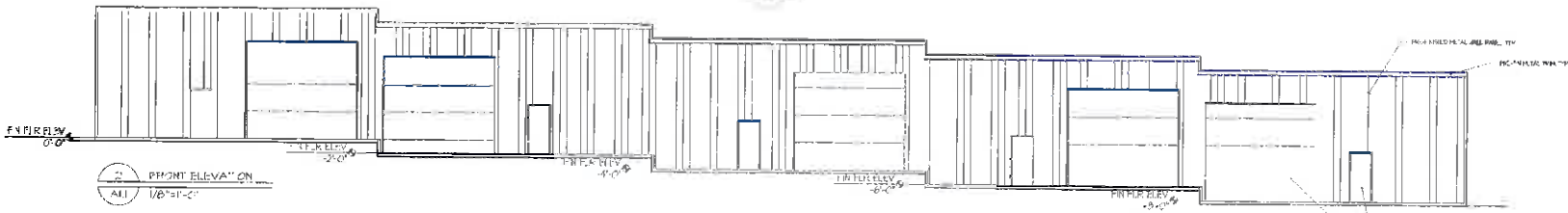
Date  
08/08/2018

PROJECT NUMBER  
16-151

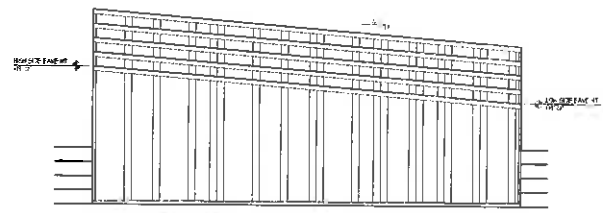
SHEET NUMBER  
**S5.1**



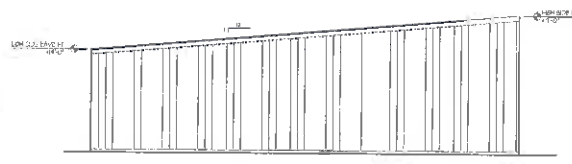
1 FLOOR PLAN  
 ALL 1/8"=1'-0"



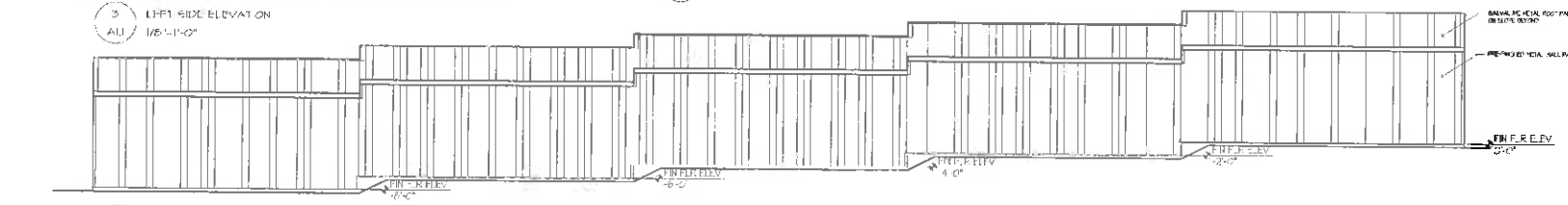
2 FRONT ELEVATION  
 ALL 1/8"=1'-0"



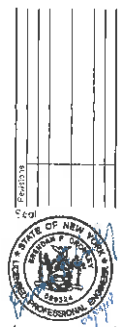
3 LEFT SIDE ELEVATION  
 ALL 1/8"=1'-0"



4 RIGHT SIDE ELEVATION  
 ALL 1/8"=1'-0"



5 REAR ELEVATION  
 ALL 1/8"=1'-0"



Drawing Title: FLOOR PLAN / ELEVATIONS  
 Prepared for Construction Date: 03.11.20

Project Title: WAREHOUSE BUILDING  
 429 STILLWATER ROAD  
 MAHOPAC, NY 10541

Project by: ALL  
 Sheet of



**GENERAL NOTES:**

1. THESE SPECIFICATIONS ARE IN ADDITION TO AND DO NOT EXCLUDE ANY FOUND IN THE GENERAL SPECIFICATIONS FOR THIS PROJECT.
2. THE CONTRACT STRUCTURAL DOCUMENTS REPRESENT THE FINISHED STRUCTURE. THE CONTRACTOR IS RESPONSIBLE FOR THE OTHER PERSONS DURING CONSTRUCTION. PROVIDE ALL MEASURES REQUIRED TO PROTECT THE STRUCTURE, WORKMEN AND MEANS AND METHODS OF CONSTRUCTION. PROVIDE ALL MEASURES REQUIRED TO PROTECT THE STRUCTURE, WORKMEN AND BUILDING, FORMS AND SCAFFOLDING, INCLUDING BRACING, SHORING FOR CONSTRUCTION EQUIPMENT, SHORING FOR THE BUILDING, FORMS AND SCAFFOLDING, SHORING OF RETAINING WALLS AND OTHER TEMPORARY SUPPORTS. COMPLY WITH APPLICABLE REQUIREMENTS OF OSHA AND OTHER GOVERNING AGENCIES HAVING JURISDICTION AT THE SITE.
3. SHOP DRAWINGS FOR STRUCTURAL STEEL, JOIST, DECKING, AND COLD FORMED METAL TRUSSES SUBMITTALS SHALL COMPLY WITH THE FOLLOWING:
- A. CONTRACTOR SHALL FURNISH COMPLETE AND DETAILED SHOP DRAWINGS PREPARED UNDER SUPERVISION OF A REGISTERED STRUCTURAL ENGINEER. THESE DRAWINGS SHALL SHOW SIZES, LOCATION, TYPE AND EXTENT OF ALL MEMBERS, BOLTS AND WELDS.
  - B. INDICATE THE DATE OF THE STRUCTURAL DRAWINGS USED FOR SHOP DRAWING PREPARATION.
  - C. INDICATE WELDS BY STANDARD AWS SYMBOLS AND SHOW SIZE LENGTH AND TYPE OF EACH WELD.
  - D. PROVIDE SETTING DRAWINGS, TEMPLATES AND DIRECTIONS FOR INSTALLATION OF ANCHOR BOLTS AND OTHER ANCHORAGES TO BE INSTALLED BY OTHERS.
  - E. CONTRACTOR SHALL REVIEW AND STAMP ALL SHOP DRAWINGS PRIOR TO SUBMITTAL FOR ENGINEERING REVIEW.
  - F. CONTRACTOR SHALL HAVE AN APPROVED SET OF STRUCTURAL STEEL SHOP DRAWINGS AND PROOF OF WELDER CERTIFICATION AT THE JOBSITE AT ALL TIMES.
  - G. COORDINATE ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS.
  - H. SEE ARCHITECTURAL AND CIVIL DRAWINGS FOR BUILDING LOCATION AND ORIENTATION. COORDINATE ALL DIMENSIONS WITH ARCH DRAWINGS. DO NOT SCALE DRAWING.
4. SECTIONS CUTS INDICATED ON THE DRAWINGS APPLY TO ALL LIKE AND SIMILAR CONDITIONS EVEN THOUGH NOT SPECIFICALLY MARKED ON THE PLANS. COORDINATE SIMILAR CONDITIONS WITH ARCHITECTURAL, MECHANICAL, AND CIVIL DRAWINGS.
5. DESIGN LOADS  
THE BUILDING STRUCTURE DESCRIBED IN THESE PLANS SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE 2015 INTERNATIONAL BUILDING CODE AND ALL AMENDMENTS. USE ASCE 7-10 CHAPTER 2 FOR ALL LOAD COMBINATIONS AND LOADS NOT INDICATED HEREIN.
- A. GRAVITY LOADS  
DEAD LOAD  
ROOF PER METAL BUILDING MANUFACTURER  
LIVE LOADS  
ROOF 20 PSF (REDUCED PER CODE)  
FLOOR 150 PSF (LIGHT STORAGE)  
CATEGORY 1 FORKTRIS (16 KIP AXLE LOAD FORKTRUCK WITH A DESIGN INDEX OF 1)
- B. SNOW LOADS  
DESIGN SNOW LOAD (Ps) 30 PSF  
BALANCED ROOF SNOW LOAD (Ps) 21 PSF  
SNOW EXPOSURE FACTOR (Ce) 1  
SNOW IMPORTANCE FACTOR (Is) 1.0  
THERMAL FACTOR (T) 1.0
- C. WIND LOADS  
BASIC WIND SPEED (REC. BUREAU) 120 MPH  
WIND IMPORTANCE FACTOR (Iw) 1.0  
RISK CATEGORY II  
EXPOSURE CATEGORY B  
INTERNAL PRESSURE (Cp) +0.10
- REFER TO ASCE 7-10 FOR COMPONENT & CLADDING LOADS.
- D. SEISMIC DESIGN CRITERIA  
SEISMIC IMPORTANCE FACTOR (Im) 1.0  
RISK CATEGORY II  
MAXIMUM SPECTRAL RESPONSE ACCELERATIONS  
Ss 0.311  
S1 0.09  
SITE CLASS D  
RISK DURING SHD 9.1106  
SITE COEFFICIENT  
F<sub>a</sub> = 1.0  
F<sub>v</sub> = 2.0
- SETTING DESIGN CATEGORY B  
BASIC SEISMIC FORCE RESISTING SYSTEM  
SEISMIC RESPONSE COEFFICIENT (Cs) BY PRE-ENGINEERED METAL BUILDING MANUFACTURER  
RESPONSE MODIFICATION FACTOR (R) BY PRE-ENGINEERED METAL BUILDING MANUFACTURER  
ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE PROCEDURE.
6. WHERE A DETAIL IS SHOWN FOR ONE CONDITION, IT SHALL APPLY FOR ALL LIKE AND SIMILAR CONDITIONS EVEN THOUGH NOT SPECIFICALLY MARKED ON THE DRAWINGS.

**FOUNDATION NOTES:**

1. SEE REINFORCED CONCRETE NOTES FOR CONCRETE STRENGTH REQUIREMENTS. EXTERIOR CONCRETE SHALL BE AIR ENTRAINED TO 1% (1-1) 100.
2. SEE ARCHITECTURAL DRAWINGS FOR SIDE WALK EXTENTS, PLANTER, AND PAVER LOCATIONS. CONCRETE PADS, STAIRS, SEE ARCH. FOR DIMENSIONS AT INTERIOR MASONRY PARTITIONS, AND DETAILS.
3. COORDINATE FINISHED FLOOR ELEVATIONS (F.F.E.) WITH ARCH. AND CIVIL DRAWINGS.
4. REFERENCE FFE = 0.0'
5. FOUNDATION DESIGN IS BASED UPON AN ASSUMED SOIL BEARING CAPACITY OF 2000 PSF.
6. ALL FOUNDATION EXCAVATIONS SHALL BE EVALUATED BY A NEW YORK REGISTERED GEOTECHNICAL ENGINEER OR TESTING AGENCY PRIOR TO PLACING ANY FOUNDATION CONCRETE. CONTACT STRUCTURAL ENGINEER IF THE ALLOWABLE SOIL BEARING PRESSURE IS LESS THAN 2000 PSF.
7. ALL EXTERIOR FOOTINGS SHALL BEAR A MINIMUM OF 3" BELOW F.F.E. AND A MINIMUM OF 0" BELOW ADJACENT EXTERIOR FINISH GRADE, UNLESS NOTED OTHERWISE.
8. PRIOR TO COMMENCING ANY FOUNDATION WORK, COORDINATE WORK WITH ANY EXISTING OR NEW UTILITIES. LOWER FOUNDATION AS REQUIRED TO AVOID INTERFERENCE WITH UTILITIES. EXCEPT WHERE ZERO LOT LINE FOOTINGS ARE LOCATED PARALLEL TO ADJACENT BUILDINGS, REFER TO THE FOUNDATION FOUNDATION PLAN FOR FOOTING SPACING AT ADJACENT BUILDINGS. CONTACT ARCHITECTURAL ENGINEER IF A CONFLICT OCCURS.
9. CONSULT WITH A NEW YORK REGISTERED GEOTECHNICAL ENGINEER FOR GENERAL REQUIREMENTS OF EARTHWORK, OVEREXCAVATION, SUBGRADE PREPARATION, FILL AND COMPACTION, WATERPROOFING AND OTHER PERTINENT REQUIREMENTS AND RECOMMENDATION. IF THERE IS NO CONTACT BETWEEN GEOTECHNICAL ENGINEER AND STRUCTURAL PLANS THEN THE MORE STRINGENT CRITERIA SHALL APPLY UNLESS OTHERWISE DIRECTED BY AN R.F.I.
10. PROTECT PIPES AND CONDUITS RUNNING THROUGH WALLS AND SLABS WITH 1/2" INCH EXPANSION MATERIAL. LOWER CONDUITS AND FOOTING AND GRADE BEAMS PERPENDICULAR TO PIPE RUNS TO ALLOW PIPES TO PASS ABOVE THE FOOTINGS OR THROUGH THE GRADE BEAMS. ALTERNATIVELY, PROVIDE A CONCRETE JACKET IF PIPES ARE LOW ENOUGH TO BE PLACED BELOW THE FOOTINGS AND GRADE BEAMS PARALLEL TO PIPE RUNS TO AVOID SURCHARGES ONTO ADJACENT TRENCH EXCAVATIONS.
11. ARRANGE FOR OWNERS INDEPENDENT TESTING AGENCY TO MONITOR CUT AND FILL OPERATIONS AND PERFORM FIELD DENSITY AND MOISTURE CONTENT TESTS TO VERIFY COMPACTION AND APPROVE FOOTING SUBGRADES PRIOR TO PLACING CONCRETE.

**CONCRETE SLAB NOTES:**

1. SEE REINFORCED CONCRETE NOTES FOR CONCRETE STRENGTH REQUIREMENTS. COORDINATE VAPOR BARRIER REQUIREMENTS WITH ARCHITECTURAL AND MECHANICAL ENGINEER REQUIREMENTS. PROVIDE 6 MIL (MIN.) POLYETHYLENE VAPOR BARRIER WITH JOINTS LAPPED BY AND TAPED UNDER ALL INTERIOR GLASS. REFER TO GEOTECHNICAL ENGINEER FOR BELOW SLAB ON GROUND, SUBGRADE PREPARATION REQUIREMENTS IF A MINIMUM APPROVED GRADED AGGREGATE BASE.
2. WHERE SPECIFIC COVER, JOINT LOCATIONS ARE NOT INDICATED, PROVIDE CONTROL/CONSTRUCTION JOINTS SUCH THAT NO AREA EXCEEDS 400 SQUARE FEET NOR SHALL THE LENGTH OF ANY PANEL EXCEED 1.5 TIMES THE WIDTH. (SEE DETAIL SCHEDULES) 18 29 3 AND ARCHITECTURAL CONCRETE PLACEMENT PLAN.
3. CONDUITS AND PIPES EMBEDDED IN SLABS SHALL NOT BE LARGER IN OUTSIDE DIAMETER THAN ONE-THIRD THE OVERALL THICKNESS OF THE SLAB. SHALL NOT BE SPACED CLOSER THAN 3 DIAMETERS OR WIDTHS ON CENTER. A MINIMUM SLAB THICKNESS OF 5 1/2" MUST BE MAINTAINED OVER THE EMBEDDED CONDUITS OR PIPES.
4. COORDINATE THE EXACT LOCATION AND EXTENTS OF ALL FLOOR SLOPES, RECESSED AREAS AND DRAIN LOCATIONS WITH ARCHITECTURAL AND FINISHING DRAWINGS.

**SPECIAL INSPECTION NOTES:**

- A. THE SPECIAL INSPECTOR SHALL BE ENGAGED BY THE OWNER. SPECIAL INSPECTOR SHALL BE FULLY QUALIFIED, APPROVED BY THE BUILDING OFFICIAL, REGISTERED BY APPLICABLE REGISTRATION BOARD IF REQUIRED BY THE LOCAL BUILDING OFFICIAL, AND SHALL BE ACCEPTABLE TO THE ARCHITECT.
- B. THE SPECIAL INSPECTOR SHALL PROVIDE VERIFICATION OF CONSTRUCTION QUALITY CONTROL INSPECTIONS AND TESTING. THE SPECIAL INSPECTOR SHALL CERTIFY THAT ALL WORK REQUIRING INSPECTION IS PERFORMED IN COMPLIANCE WITH ALL REQUIREMENTS OF THE CONTRACT DOCUMENTS, BUILDING CODE REQUIREMENTS AND LOCAL BUILDING DEPARTMENT.
- C. SPECIAL INSPECTIONS ARE REQUIRED FOR THE ITEMS NOTED IN THE STATEMENT OF SPECIAL INSPECTIONS AND THE 2015 IBC CHAPTER 17. THE CONTRACTOR SHALL OBTAIN A COPY OF THE STATEMENT OF SPECIAL INSPECTIONS AND NOTIFY THE SPECIAL INSPECTOR WHEN WORK IS READY TO BE INSPECTED.
- D. FAILURE TO NOTIFY THE SPECIAL INSPECTOR PRIOR TO OBTAINING AN ITEM REQUIRING INSPECTION MAY RESULT IN THE CONTRACTOR REMOVING OTHER WORK TO ALLOW INSPECTION. THIS WORK WILL BE REMOVED AND RE-DOED AT THE CONTRACTOR'S EXPENSE. FAILURE TO HAVE REQUIRED ITEMS INSPECTED IS REASON FOR REJECTION OF THE WORK.
- E. PREATURE NOTIFICATION FOR INSPECTIONS WILL RESULT IN ADDITIONAL INSPECTION WITH ALL EXPENSES AND FEES PAID FOR BY THE CONTRACTOR.
- F. SEE SHEET 506-1 FOR SPECIAL INSPECTION CHECKLIST.

**REINFORCED CONCRETE NOTES:**

1. STRUCTURAL MEMBERS OF REINFORCED CONCRETE SHALL BE CONSTRUCTED IN ACCORDANCE WITH AC308.
2. ALL CONCRETE SHALL HAVE A SLUMP OF 3" TO 5" (-1") AND A MINIMUM 28 DAY COMPRESSIVE STRENGTH:
- A. FOOTINGS: 3000 PSI
  - B. WALLS: 3000 PSI
  - C. SLAB ON GROUND: 4000 PSI (540 LBS/CUBIC YARD MINIMUM CEMENTITIOUS MATERIAL)
3. ALL STEEL REINFORCEMENT SHALL BE ASTM A615-GRADE 60. ALL WELDED STEEL REINFORCEMENT SHALL BE ASTM A106. ALL WELDED REINFORCEMENT SHALL BE IN ACCORDANCE WITH AWS D1.4.
4. MINIMUM CONCRETE COVER FOR REINFORCING STEEL (UNCI)
- A. CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH: 3"
  - B. CONCRETE EXPOSED TO EARTH AND WEATHER: REBAR AND SMALLER: 1 1/2"  
REBAR AND LARGER: 2"
  - C. CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH EARTH SLABS, WALLS AND JOISTS: #4 OR #5 REBAR: 1 1/2"  
#1 REBAR AND SMALLER: 3/4"  
REBAR AND COLLARS: 1 1/2"
5. UNLESS NOTED OTHERWISE, CAST-IN PLACE CONCRETE SHALL HAVE THE FOLLOWING STEEL ADDED AROUND ALL OPENINGS: 2#5 (LENGTH OF OPENING) #4 ALONG EACH SIDE OF OPENING AND TWO (2) #5#4#5 DIAGONAL #4 AT EACH CORNER.
6. ALL CONCRETE COMPRESSIVE STRENGTH TESTS SHALL BE AVAILABLE AT JOB SITE.
7. ALL LAP SPlice LENGTHS SHALL BE AS SHOWN IN TABLE 2 THIS SHEET.

**Structural Foundation Schedule**

Type Mark	Footings Dimensions	Reinforcing	Remarks
F-4	4'-0" x 4'-0" x 2'-0"	(3) - #5 EACH WAY	TOP AND BOTTOM
F-7	7'-0" x 7'-0" x 2'-0"	(1) - #5 EACH WAY	TOP AND BOTTOM

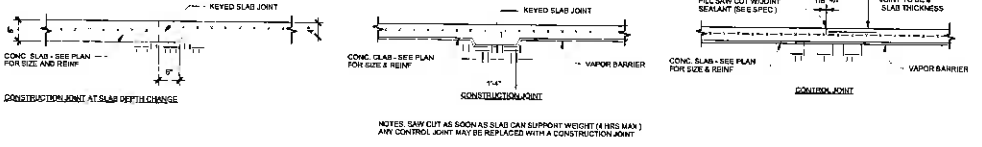
**REINFORCED CONCRETE TENSION LAP SPlice LENGTHS**

TABLE 2 (INCHES)

BAR SIZE f<sub>c</sub>=3000 Psl | f<sub>c</sub>=4000 PSl

BAR SIZE	f <sub>c</sub> =3000 Psl	f <sub>c</sub> =4000 PSl
#3	25	23
#4	33	29
#5	41	36
#6	49	43
#7	57	50

- LIST OF ABBREVIATIONS**
- FOB: FACE OF BRICK
  - FOA: FACE OF ANGLE
  - FOB: FACE OF BLOCK
  - TOB: TOP OF BEAM
  - BOB: BOTTOM OF CHANNEL
  - T&B: TOP AND BOTTOM
  - TOA: TOP OF ANGLE
  - BOA: BOTTOM OF ANGLE
  - L&V: LONG LEG VERTICAL
  - SW: MASONRY SHEAR WALL
  - TOP: TOP OF SLAB
  - TCOL: TOP OF COLUMN
  - P.E.M.: PRE-ENGINEERED METAL BUILDING
  - LO: LOW CONDITION
  - H: HIGH CONDITION
  - TOF: TOP OF WALL
  - S&S: SELF DRILLING SCREW
  - FOC: FACE OF CHANNEL
  - TOP: TOP OF FOOTING
  - SM: SIMILAR CONDITION
  - W.P.: WORKING POINT
  - UNCI: UNLESS NOTED OTHERWISE
  - B.7: BASE PLATE
  - P.F.P.: POWER ACTUATED FASTENERS
  - S.F.: STEEL FOOTING
  - BOCL: BOTTOM OF COLUMN
  - FOF: FACE OF TUBE



**CONSTRUCTION CONTROL JOINT DETAILS**

1/8" = 3/4" = 1'-0"

**K**  
**Keystone Structural Engineering**  
Professional Corporation  
P.O. Box 2654  
Smyrna, GA 30081  
(404) 483-6921



REVISIONS

NO.	DATE	DESCRIPTION

PROJECT  
**MAHOPAC**

ADDRESS  
428 Silchester Road  
Mahopac, NY 10541

CLIENT  
**Mr. Danny Maloney**

ADDRESS  
428 Silchester Road  
Mahopac, NY 10541

SHEET TITLE  
**STRUCTURAL GENERAL NOTES & SCHEDULES**

DATE  
08/08/2018

PROJECT NUMBER  
17-215

SHEET NUMBER  
**S0.1**



**Keystone Structural Engineering**  
 Residential & Commercial  
 Professional Consultants  
 P.O. Box 2854  
 Smyrna, GA 30081  
 (404) 483-8921



REVISIONS

NO.	DESCRIPTION

PROJECT

**MAHOPAC**

ADDRESS  
 429 S Wheeler Road  
 Mahopac, NY 10541

CLIENT

**Mr. Danny Maloney**

ADDRESS  
 429 S Wheeler Road  
 Mahopac, NY 10541

SHEET TITLE

**FOUNDATION PLAN & DETAILS**

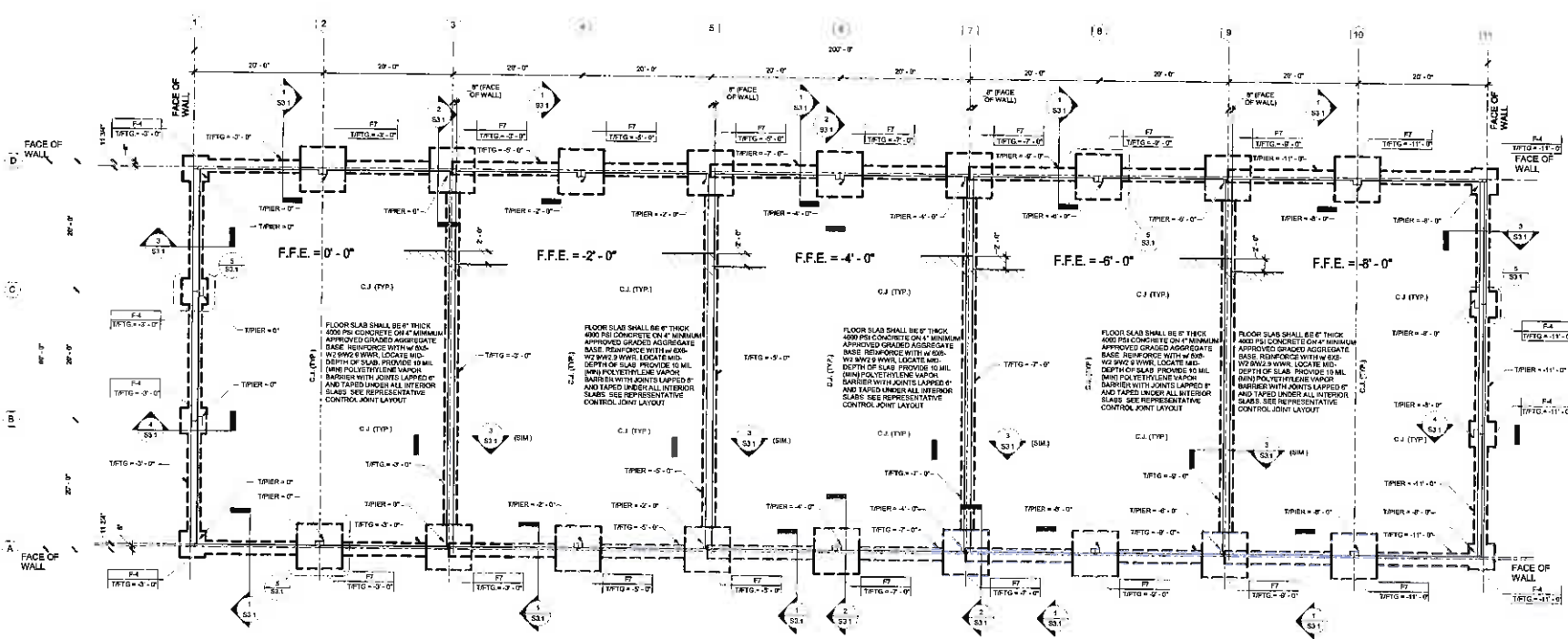
DATE  
 08/08/2018

PROJECT NUMBER

17-215

SHEET NUMBER

**S1.1**



**1 Foundation Plan**

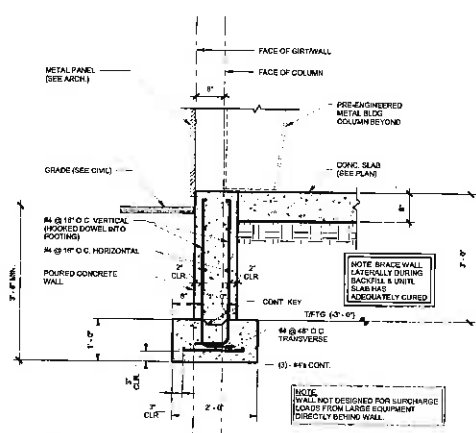
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**FOUNDATION NOTES:**

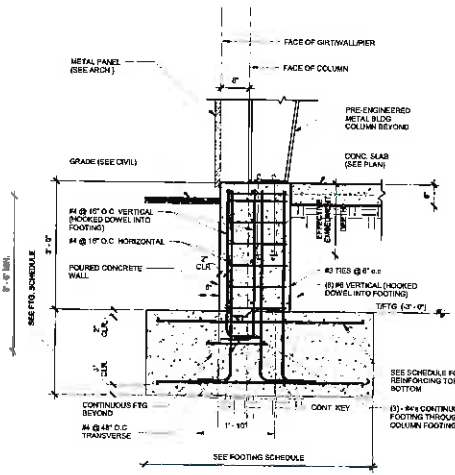
- REFER TO ARCHITECTURAL DRAWINGS FOR INTERIOR WALL DIMENSIONS AND SLAB CONTROL JOINT LOCATIONS.
- FLOOR SLAB SHALL BE 6" THICK 4000 PSI CONCRETE ON 4" MINIMUM APPROVED GRADED AGGREGATE. REINFORCE WITH #4 OR #5 W/ 12" O.C. @ TOP AND #4 W/ 18" O.C. @ BOTTOM. PROVIDE 10 MIL BOND POLYETHYLENE VAPOR BARRIER WITH JOINTS LAPPED 6" AND TAPED UNDER ALL INTERIOR SLABS. SEE REPRESENTATIVE CONTROL JOINT LAYOUT.
- ALL CONCRETE WORK SHALL CONFORM TO ACI 308 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS".
- FINISH FLOOR ELEVATION IS 0'-0".

**PRE-ENGINEERED METAL BUILDING NOTES:**

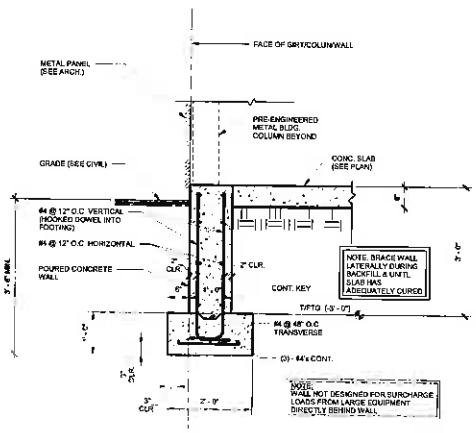
- P.E.M.B. MANUFACTURER COORDINATED SUSPENDED MECHANICAL UNITS AND LOADS WITH MECHANICAL DRAWINGS.
- P.E.M.B. MANUFACTURER PROVIDE SKYLIGHT PANELS WHERE INDICATED ON ARCHITECTURAL.
- P.E.M.B. MANUFACTURER COORDINATE EX BRACING AND/OR PORTAL FRAME COLUMN LOCATIONS WITH ARCHITECTURAL.
- FOUNDATIONS INDICATED ARE BASED ON PRELIMINARY LOADS. PROTECT BY SHIELDING BUILDING SYSTEMS. SUGGEST FINAL FOUNDATION DETAIL AND COORDINATION WITH ARCHITECTURAL. MANUFACTURER'S DETAIL AND FINAL LOADS ARE SUFFICIENT.



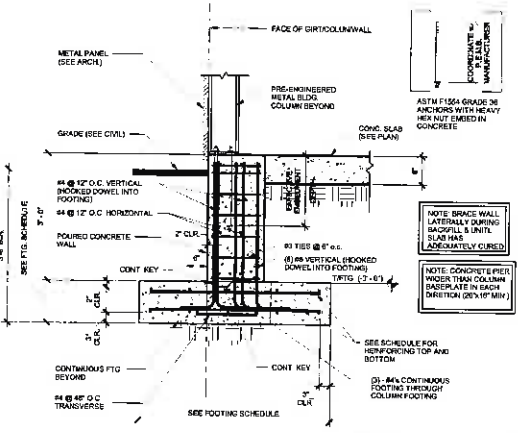
1 WALL SECTION 1  
S3.1 3/4" = 1'-0"



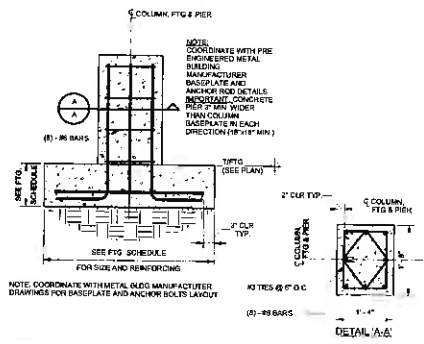
2 WALL SECTION 2  
S3.1 3/4" = 1'-0"



3 WALL SECTION 3  
S3.1 3/4" = 1'-0"



4 WALL SECTION 4  
S3.1 3/4" = 1'-0"



5 CONCRETE PIER  
S3.1 3/4" = 1'-0"

**K**  
Keystone  
Structural Engineering  
Professional & Commercial  
Professional Engineers  
P.O. Box 3664  
Smyrna, GA 30061  
(404) 483-6921



REVISIONS


PROJECT  
**MAHOPAC**

ADDRESS  
428 Silver Road  
Malabar, NY 10541

CLIENT  
**Mr. Danny Maloney**

ADDRESS  
428 Silver Road  
Malabar, NY 10541

SHEET TITLE  
**FOUNDATION DETAILS**

Date  
08/08/2018

PROJECT NUMBER  
17-215

SHEET NUMBER

**S3.1**

MATERIAL / ACTIVITY	SERVICE	APPLICABLE TO THIS PROJECT			
		Y/N	EXTENT	AGENT	DATE COMPLETED
1705.3 Concrete Construction					
1 Inspection of rebar layout and placement (see 1705.2.3 for details)	Shop (3) and field inspection	Y	Periodic	TA	
2 Inspection of precast concrete	Shop (3) and field inspection	N	Periodic	NA	
3 Inspection of slabs on cast in concrete where slabs have been placed per section 1030.5.1 or 1040 through design in field	Shop (3) and field inspection	N	Periodic	NA	
4 Inspection of anchors and reinforcing steel placement in basement concrete for research reports including verification of anchor type, anchor dimensions, hole locations, hole cleaning procedure, anchor spacing, hole diameter, concrete minimum thickness, anchor extension and lightning strike	Field inspection	Y	Periodic or as required by the research report	TA	
5 Verify use of approved design mix	Shop (3) and field inspection	Y	Periodic	TA	
6 Verify concrete curing, curing compound and air cover tests and determine frequency of concrete	Shop (3) and field inspection	Y	Continuous	TA	
7 Inspection of concrete and concrete placement for proper application techniques	Shop (3) and field inspection	Y	Continuous	TA	
8 Inspection for maintenance of specified curing temperatures and techniques	Shop (3) and field inspection	Y	Periodic	TA	
9 Inspection of precast concrete	Shop (3) and field inspection	N	Continuous	NA	
10 Application of prestressing tendons	N	Continuous	NA		
11 Quality of prestressing tendons in the same force-resisting system	N	Continuous	NA		
12 Direction of precast concrete members	N	Continuous	NA		
13 Inspection of concrete with admixture documents and mixing in accordance with Section 1705.2	Field inspection	N	In accordance with concrete documents	NA	
14 Verify use of approved design mix	Field inspection	N	In accordance with concrete documents	NA	
15 Verification of slab concrete depth prior to placing concrete in post-tensioned concrete prior to removal of forms and from beams and supports	Field inspection	N	Continuous	NA	
16 Inspection for preparation for shape, free float and dimensions	Field inspection	Y	Periodic	TA	
17 Concrete strength testing and location of concrete test comparison documents	Field testing and review of laboratory reports	Y	Periodic	TA	
1705.4 Masonry Construction					
(A) Levels A, B and C Quality Assurance:					
1 Verify compliance with approved materials	Field inspection	N	Periodic	NA	
(B) Level D Quality Assurance:					
1 Verification of mix strength method of prism test method	Testing by mix strength method or prism test method	N	Periodic	NA	
(C) Level E Quality Assurance:					
1 Verification of mix strength prior to construction and for every 5000 SF of masonry construction	Testing by mix strength method or prism test method	N	Periodic	NA	
2 Verification of proportions of materials in prepared or preblended mortar, prestressing grout, and grout other than self-consolidating grout, as defined in the project site	Field inspection	N	Periodic	NA	
3 Verify placement of masonry units	Field inspection	N	Periodic	NA	
(D) Levels F and G Quality Assurance:					
1 Verification of Slump, Flow and Moisture Content (FCI) of self-consolidating grout as defined in the project	Field testing	N	Continuous	NA	
2 Verify compliance with approved materials	Field inspection	N	Periodic	NA	
3 Verify proportions of elevated masonry, grout, and prestressing grout for concrete testing	Field inspection	N	Periodic	NA	
4 Verify grade, level and size of reinforcement and anchor bolts, and anchorage details and anchorage	Field inspection	N	Periodic	NA	
5 Verify construction of masonry joints	Field inspection	N	Periodic	NA	
6 Verify detail of reinforcement connections and prestressing tendons enclosures	Field inspection	N	Level B - Periodic	NA	
7 Verify grout space prior to grouting	Field inspection	N	Level C - Continuous	NA	
8 Verify placement of grout and prestressing tendons enclosures	Field inspection	N	NA	NA	
9 Verify area and location of structural elements	Field inspection	N	Periodic	NA	
10 Verify type, size, and location of anchors, including details of anchorage of masonry to structural members, frame, or other construction	Field inspection	N	Level B - Periodic	NA	
11 Verify testing of reinforcement (see 1705.2.2)	Field inspection	N	Continuous	NA	
12 Verify preparation, construction and protection of masonry during cold weather (temperatures below 40°F) or hot weather (temperatures above 90°F)	Field inspection	N	Periodic	NA	
13 Verify application and measurement of prestressing force	Field inspection	N	Continuous	NA	
14 Verify proportions of AAC masonry units and construction of masonry joint details (see 500.0 SF of AAC masonry)	Field inspection	N	Continuous	NA	
15 Verify placement of AAC masonry units and construction of masonry joint details (see 500.0 SF of AAC masonry)	Field inspection	N	Level B - Periodic	NA	
16 Verify proportions of AAC masonry units and construction of masonry joint details (see 500.0 SF of AAC masonry)	Field inspection	N	Level C - Continuous	NA	
17 Verify proportions of AAC masonry units and construction of masonry joint details (see 500.0 SF of AAC masonry)	Field inspection	N	Continuous	NA	
18 Verify proportions of AAC masonry units and construction of masonry joint details (see 500.0 SF of AAC masonry)	Field inspection	N	Level B - Periodic	NA	
19 Prepare grout and mortar	Field testing	N	Level C - Continuous	NA	
20 Observe preparation of precast	Field inspection	N	Level C - Continuous	NA	

MATERIAL / ACTIVITY	SERVICE	APPLICABLE TO THIS PROJECT			
		Y/N	EXTENT	AGENT	DATE COMPLETED
1705.5 Wood Construction					
1 Inspection of the fabrication process of wood structural elements and assemblies in accordance with Section 1705.4.5	In-plant review (2)	N	Periodic	NA	
2 For high-load applications, verify grain orientation of structural panel framing systems with approved testing data	Field inspection	N	Periodic	NA	
3 For high-load applications, verify vertical grain framing members of framing wall systems, end of edge framing members, and that framing members face with approved testing data	Field inspection	N	Periodic	NA	
4 Verify grain orientation of framing members, and that framing members face with approved testing data	Field inspection	N	Periodic	NA	
5 Verify grain orientation of framing members, and that framing members face with approved testing data	Field inspection	N	Periodic	NA	
6 Verify grain orientation of framing members, and that framing members face with approved testing data	Field inspection	N	Periodic	NA	
7 Verify grain orientation of framing members, and that framing members face with approved testing data	Field inspection	N	Periodic	NA	
8 Verify grain orientation of framing members, and that framing members face with approved testing data	Field inspection	N	Periodic	NA	
9 Verify grain orientation of framing members, and that framing members face with approved testing data	Field inspection	N	Periodic	NA	
10 Verify grain orientation of framing members, and that framing members face with approved testing data	Field inspection	N	Periodic	NA	
11 Verify grain orientation of framing members, and that framing members face with approved testing data	Field inspection	N	Periodic	NA	
12 Verify grain orientation of framing members, and that framing members face with approved testing data	Field inspection	N	Periodic	NA	
13 Verify grain orientation of framing members, and that framing members face with approved testing data	Field inspection	N	Periodic	NA	
14 Verify grain orientation of framing members, and that framing members face with approved testing data	Field inspection	N	Periodic	NA	
15 Verify grain orientation of framing members, and that framing members face with approved testing data	Field inspection	N	Periodic	NA	
16 Verify grain orientation of framing members, and that framing members face with approved testing data	Field inspection	N	Periodic	NA	
17 Verify grain orientation of framing members, and that framing members face with approved testing data	Field inspection	N	Periodic	NA	
18 Verify grain orientation of framing members, and that framing members face with approved testing data	Field inspection	N	Periodic	NA	
19 Verify grain orientation of framing members, and that framing members face with approved testing data	Field inspection	N	Periodic	NA	
20 Verify grain orientation of framing members, and that framing members face with approved testing data	Field inspection	N	Periodic	NA	

MATERIAL / ACTIVITY	SERVICE	APPLICABLE TO THIS PROJECT			
		Y/N	EXTENT	AGENT	DATE COMPLETED
1705.6 Steel Construction					
1 Verify mill certificates, verify traceability of steel materials, and that materials are in accordance with the approved structural package	Field inspection	Y	Periodic	TA	
2 Verify mill certificates, verify traceability of steel materials, and that materials are in accordance with the approved structural package	Field inspection	Y	Periodic	TA	
3 Verify mill certificates, verify traceability of steel materials, and that materials are in accordance with the approved structural package	Field inspection	Y	Periodic	TA	
4 Verify mill certificates, verify traceability of steel materials, and that materials are in accordance with the approved structural package	Field inspection	Y	Periodic	TA	
5 Verify mill certificates, verify traceability of steel materials, and that materials are in accordance with the approved structural package	Field inspection	Y	Periodic	TA	
6 Verify mill certificates, verify traceability of steel materials, and that materials are in accordance with the approved structural package	Field inspection	Y	Periodic	TA	
7 Verify mill certificates, verify traceability of steel materials, and that materials are in accordance with the approved structural package	Field inspection	Y	Periodic	TA	
8 Verify mill certificates, verify traceability of steel materials, and that materials are in accordance with the approved structural package	Field inspection	Y	Periodic	TA	
9 Verify mill certificates, verify traceability of steel materials, and that materials are in accordance with the approved structural package	Field inspection	Y	Periodic	TA	
10 Verify mill certificates, verify traceability of steel materials, and that materials are in accordance with the approved structural package	Field inspection	Y	Periodic	TA	
11 Verify mill certificates, verify traceability of steel materials, and that materials are in accordance with the approved structural package	Field inspection	Y	Periodic	TA	
12 Verify mill certificates, verify traceability of steel materials, and that materials are in accordance with the approved structural package	Field inspection	Y	Periodic	TA	
13 Verify mill certificates, verify traceability of steel materials, and that materials are in accordance with the approved structural package	Field inspection	Y	Periodic	TA	
14 Verify mill certificates, verify traceability of steel materials, and that materials are in accordance with the approved structural package	Field inspection	Y	Periodic	TA	
15 Verify mill certificates, verify traceability of steel materials, and that materials are in accordance with the approved structural package	Field inspection	Y	Periodic	TA	
16 Verify mill certificates, verify traceability of steel materials, and that materials are in accordance with the approved structural package	Field inspection	Y	Periodic	TA	
17 Verify mill certificates, verify traceability of steel materials, and that materials are in accordance with the approved structural package	Field inspection	Y	Periodic	TA	
18 Verify mill certificates, verify traceability of steel materials, and that materials are in accordance with the approved structural package	Field inspection	Y	Periodic	TA	
19 Verify mill certificates, verify traceability of steel materials, and that materials are in accordance with the approved structural package	Field inspection	Y	Periodic	TA	
20 Verify mill certificates, verify traceability of steel materials, and that materials are in accordance with the approved structural package	Field inspection	Y	Periodic	TA	

MATERIAL / ACTIVITY	SERVICE	APPLICABLE TO THIS PROJECT			
		Y/N	EXTENT	AGENT	DATE COMPLETED
1705.6.1 Structural Systems					
1 Inspect and verify that the proposed steel erection and connection details are in accordance with the approved structural package	Field inspection	N	Periodic	NA	
2 Inspect during the erection and bolting of exterior girder and floor and column webs	Field inspection	N	Periodic	NA	
3 Inspect during the erection and bolting of interior girder and column webs	Field inspection	N	Periodic	NA	
4 Inspect during the erection and bolting of exterior girder and floor and column webs	Field inspection	N	Periodic	NA	
5 Inspect during the erection and bolting of exterior girder and floor and column webs	Field inspection	N	Periodic	NA	
6 Inspect during the erection and bolting of exterior girder and floor and column webs	Field inspection	N	Periodic	NA	
7 Inspect during the erection and bolting of exterior girder and floor and column webs	Field inspection	N	Periodic	NA	
8 Inspect during the erection and bolting of exterior girder and floor and column webs	Field inspection	N	Periodic	NA	
9 Inspect during the erection and bolting of exterior girder and floor and column webs	Field inspection	N	Periodic	NA	
10 Inspect during the erection and bolting of exterior girder and floor and column webs	Field inspection	N	Periodic	NA	
11 Inspect during the erection and bolting of exterior girder and floor and column webs	Field inspection	N	Periodic	NA	
12 Inspect during the erection and bolting of exterior girder and floor and column webs	Field inspection	N	Periodic	NA	
13 Inspect during the erection and bolting of exterior girder and floor and column webs	Field inspection	N	Periodic	NA	
14 Inspect during the erection and bolting of exterior girder and floor and column webs	Field inspection	N	Periodic	NA	
15 Inspect during the erection and bolting of exterior girder and floor and column webs	Field inspection	N	Periodic	NA	
16 Inspect during the erection and bolting of exterior girder and floor and column webs	Field inspection	N	Periodic	NA	
17 Inspect during the erection and bolting of exterior girder and floor and column webs	Field inspection	N	Periodic	NA	
18 Inspect during the erection and bolting of exterior girder and floor and column webs	Field inspection	N	Periodic	NA	
19 Inspect during the erection and bolting of exterior girder and floor and column webs	Field inspection	N	Periodic	NA	
20 Inspect during the erection and bolting of exterior girder and floor and column webs	Field inspection	N	Periodic	NA	

Keystone Structural Engineering  
Professional A.C. Commercial  
Professional Corporation  
P.O. Box 2604  
Smyrna, GA 30081  
(404) 483-6921



REVISIONS

PROJECT  
MAHOPAC

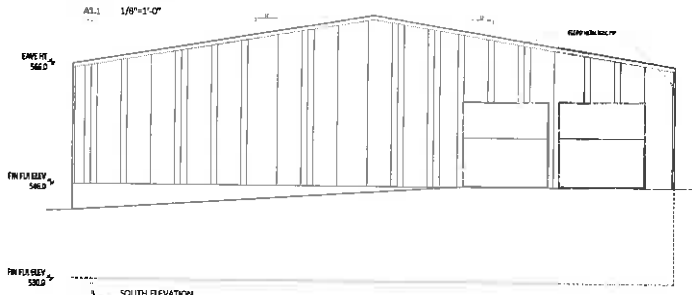
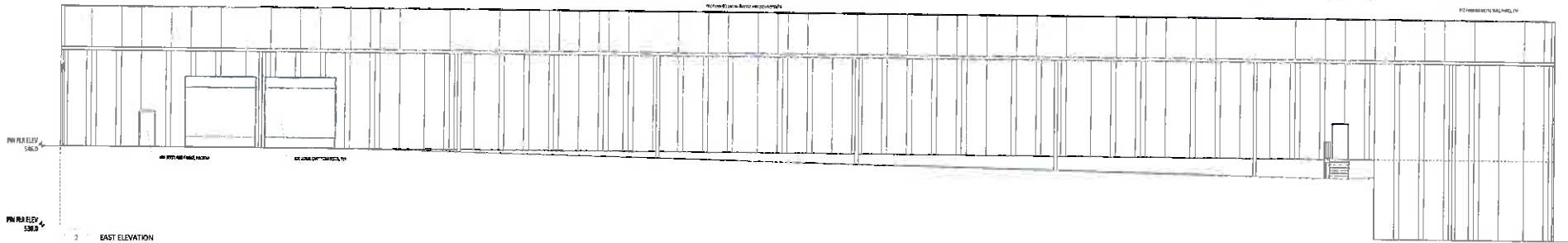
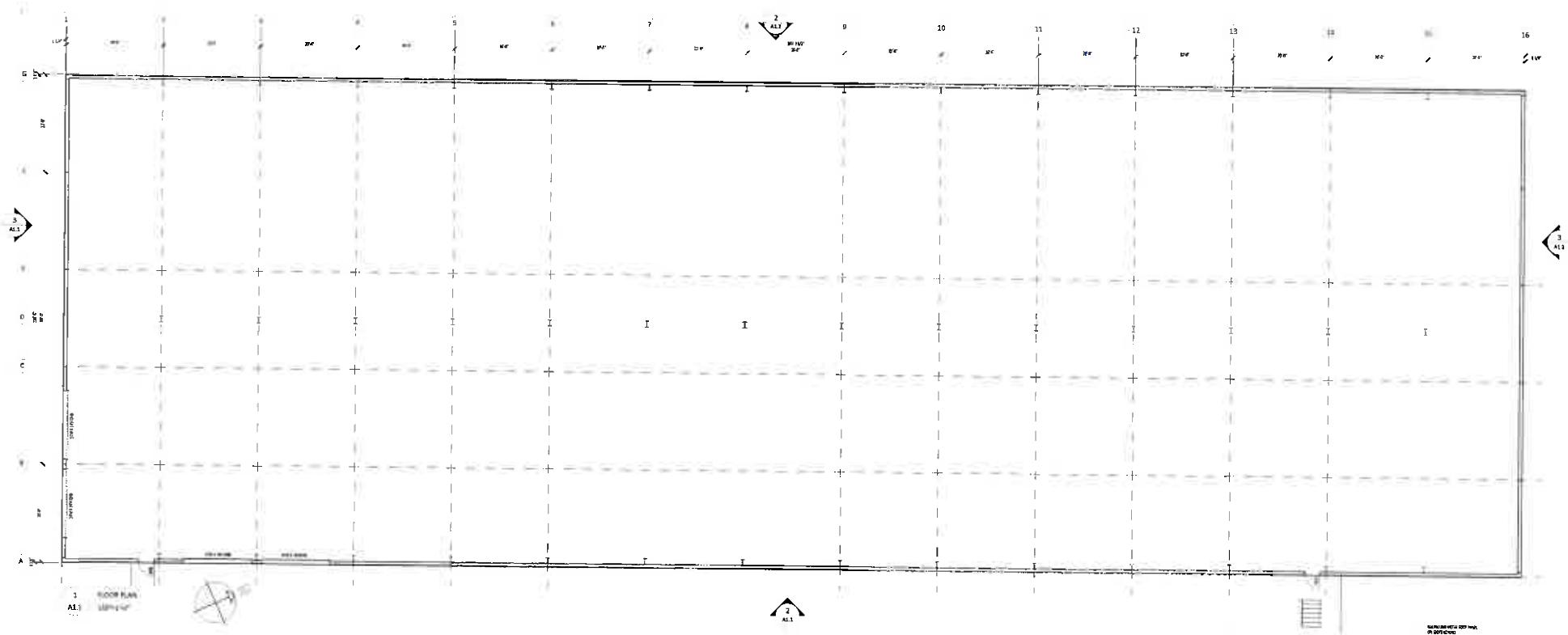
ADDRESS  
409 Silverside Road  
Mahopac, NY 10541

CLIENT  
Mr. Danny Maloney

ADDRESS  
409 Silverside Road  
Mahopac, NY 10541

# SCHEDULE OF SPECIAL INSPECTIONS

Date: 08/08/2018  
PROJECT NUMBER: 17-215  
SHEET NUMBER: S5.1



3 SOUTH ELEVATION  
A1.1 1/8"=1'-0"

**Shamrock Building Systems, Inc**  
 5825 Gore Place  
 Austell, Georgia 30106  
 (770) 745-4822 FAX - (770) 745-4821

Project Title:  
**WAREHOUSE BUILDING**  
 105 STILLWATER ROAD  
 MAHOPAC, NY 10541

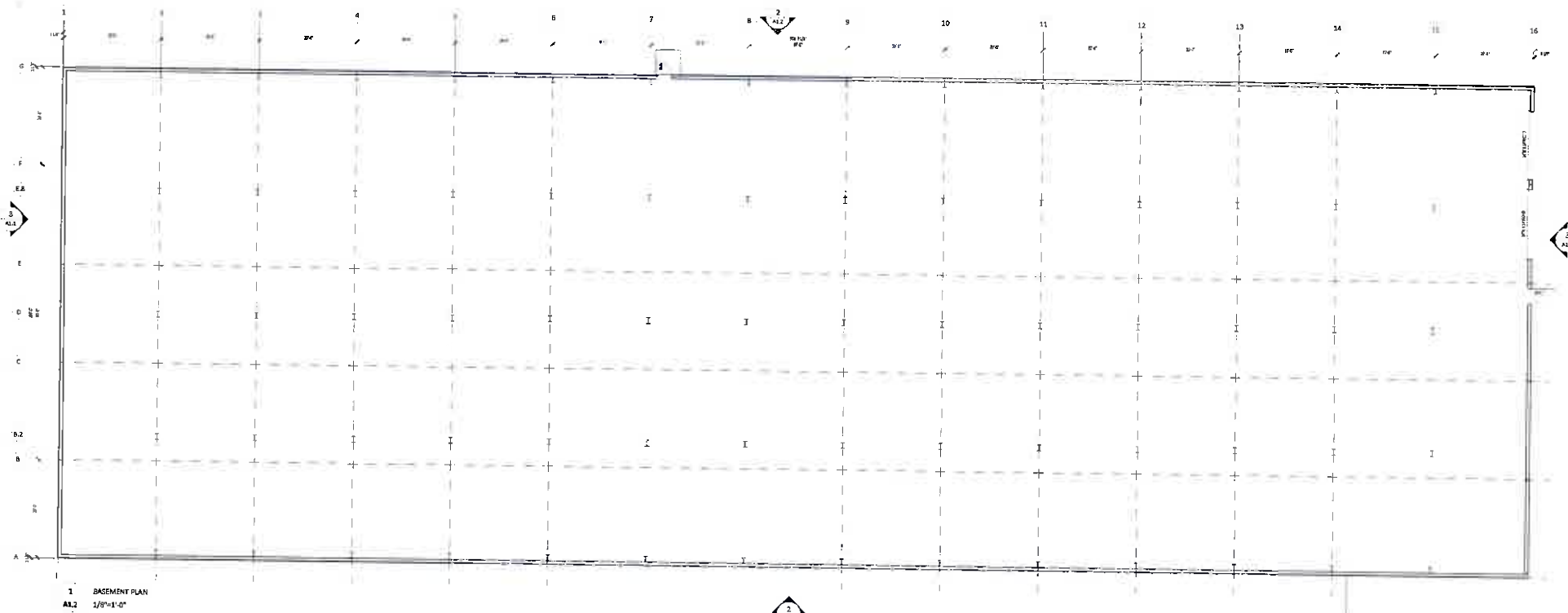
Drawing Title:  
**FIRST FLOOR PLAN / ELEVATIONS**

Released for Construction Date: 8/18/09

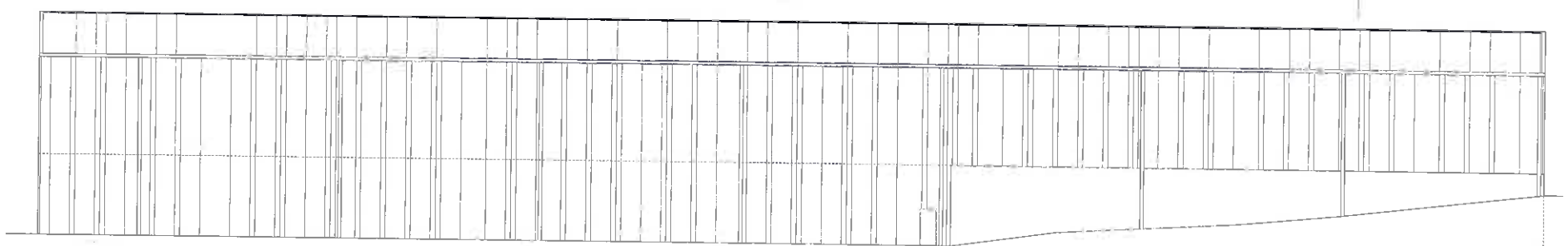


Rev.	Date	Description

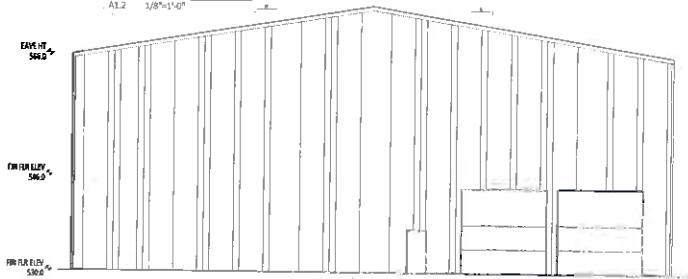
Sheet No. **A1.1** of




1 BASEMENT PLAN  
A1.2 1/8"=1'-0"



2 WEST ELEVATION  
A1.2 1/8"=1'-0"



3 NORTH ELEVATION  
A1.2 1/8"=1'-0"


**Shanroek Building Systems, Inc**  
 5825 Gore Place  
 Austell, Georgia 30106  
 OFFICE - (770) 765-8822 FAX - (770) 765-4120

Project Title:  
**WAREHOUSE BUILDING**  
 105 STILLWATER ROAD  
 MANHAC, NY 10541

Drawing Title:  
**BASEMENT PLAN / ELEVATIONS**

Released for Construction Date: 06/01/20



Author	Checked	Drawn	Scale
Project No.			<b>A1.2</b>
Sheet of			



February 24, 2020

Mr. Craig Paepfer, Chairman  
Town of Carmel Planning Board  
Carmel Town Hall  
60 McAlpin Avenue  
Mahopac, NY 10541

Re: Old Forge Estates  
Baldwin Place Road  
Mahopac, NY  
TM: 75.15-1-19

Dear Chairman Paepfer and Members of the Board:

In response to comments received at the January 7, 2019 Planning Board Meeting, we have prepared the following responses:

Town Engineer:

I. General Comments:

1. Putnam Engineering PLLC (P/E) met with the Mahopac Falls Volunteer Fire Department.
  - a. The M.F.V.F.D had questions regarding the ability of the existing water main to be used for fire fighting purposes. I told them that this is a matter that they need to bring up with the Town as I am of the belief that the current system is incapable of providing fire flow quantities.
  - b. They asked that P/E extend the flushing hydrant further down the subdivision road and closer to Baldwin Place Road.
2. Permits
  - a. Town of Carmel Highway:

At this point, no permits are necessary from Town of Carmel Highway.
  - b. Town of Carmel E.C.B.:

Our application is ready for submission, we are waiting for a referral from the P.B.
  - c. Putnam County Highway Department:

Access permit from P.C.H.D. is required. A copy of their previous approval has been attached.
  - d. N.Y.S.D.E.C.
    - i. A SPDES permit is required for the common Subsurface Sanitary Treatment System.

- ii. A revised SWPPP will be submitted to N.Y.S.D.E.C. for amended coverage under GP-0-20-001.

The existing coverage under Permit NYR 10L634 was issued under GP-0-08-001 guidelines. The procedure moving forward is that D.E.C. will amend the existing permit.

- e. N.Y.C.D.E.P.
  - i. The D.E.P. will review and approve the SSTS.
  - ii. The D.E.P. will issue an amended SWPPP approval for the project under the guidelines set forth in GP-0-20-001.
- f. Putnam County Department of Health
  - i. Will issue an approval of plans for wastewater treatment.
  - ii. Will issue an approval of plans for an extension of Carmel Water District #13.

3. SWPPP

Noted.

4. Noted

5. Noted

6. Noted

2. Preliminary Detailed Comments

1. A submittal has been made to the Town of Carmel Wetland Inspector to verify the proposed planting.
2. Graphic representation of vehicle movement has been submitted to the Town Engineer. The vehicle shown on the subdivision road is for a single body truck, such as a bus, garbage truck, etc.  
A graphic representation for the maintenance drive to the SSTS fields has also been prepared. The vehicles accessing the fields will be a small utility truck (pick-up or dump) and a backhoe. Centerline radii have been added to the drawing.
3. Site distance calculations have been included with this submission.
4. A water system work plan has been added to the drawings as Sheet C-420 (34 of 34). A sequence of construction has been prepared and is included on the plans.
5. We have been informed that the existing pumps may be undersized. We wish to remind the Board and Town Engineer that the Mastrantonis installed over 1,000 feet of watermain which connected CWD # 13 to District # 8. The original



contractor hired by the Town to install the watermain to serve CWD # 13 had this section of work removed (change order) from the contract. The Mastrantonis installed this section at no cost to the Town. Therefore, we believed that they have contributed enough in this matter.

6. The Town Planning Board has, in the past, approved this project with a 12 percent grade that was longer in length. We have included the plan and profile from that previous approval for your review.
7. Every driveway with the exception of Lot 1 has a slope less than 5 percent (meeting code) for the entire driveway. Lot 1 has the first 20 feet at 3 percent (meeting code) and the last 30 feet at 3 percent also meeting code. Driveway profiles are all shown on Sheet 33 of 34.
8. Spot elevations have been labelled Top of Wall (TW) and Bottom of Wall (BW.)
9. The SSTS access maintenance trail is for the most part going to traverse the existing logging trails on the northern side of the site. A cross section has been added to sheet C-317 (32 of 34). There will be two (2) strips of tensar giogrid that will be installed along the wheel path to prevent erosion and rutting. The maintenance trail will be used twice (2x) a year, to mow in the fall and to inspect in the spring.  
The N.Y.C.D.E.P. is not requiring us to capture and treat runoff and is satisfied with allowing the surrounding woods to function as filter strips.
10. Drawing C-020 note 10 has been corrected.
11. Drawing C-120:
  - a. Additional catch basins have been added at station 11+77.5 and one additional basin at the cul- de- sac. (station 12+37 R)
  - b. Headwall #1 has been labelled.
  - c. The Flow Splitter (FS) has been removed as it is no longer required.
12. Drawing C-122 -footing draining for lots 2,9,10 and 11 have been clarified. They connect to the stormwater collection system.  
Footing drain for lot #2 will daylight at grade.
13. Drawing C-150 - The area of disturbance has been corrected and is less than 5 acres.
14. The area of disturbance has been calculated and added to the drawing.

15. Drawing C-160 - Has been revised to reflect the 14 proposed rain gardens and the generic planting with quantities given.

Sincerely yours,

PUTNAM ENGINEERING

A handwritten signature in black ink, appearing to read 'P. Lynch', is written over a horizontal line. The signature is somewhat stylized and overlaps the line.

Paul M. Lynch, P.E.

PML/trm

Enclosure

## Sight Distance Notes:

1. Minimum sight distance at intersection requirement of 200 feet as noted in Town of Carmel Zoning Code, Chapter 128, Attachment 1, Table 1, Street design standards.
2. Design Speed = 30 mph.
3. Per AASHTO 'Geometric design of highways and streets' 2001, Chapter 4, local rural roads, exhibit 5-2 design controls for stopping sight distance, the required stopping sight distance for 30 mph is 200 feet.

## Minimum Line of Sight Computations:

Calculation based on 1990 and 1994 AASHTO "Greenbooks"

$$SSD = 1.47 vt + v^2 / 30 (a/32.2 \pm g)$$

$$\text{Design Speed } v = 30 \text{ mph}$$

$$\text{Eastbound Slope } g = 0.5 \text{ down } (g = 0)$$

$$\text{Westbound slope } g = 0.5 \text{ up } (g = 0)$$

$$\text{Perception /Reaction Time } t = 2.5 \text{ sec}$$

$$\text{Deceleration Rate } a = 11.2 \text{ ft/sec}^2$$

$$\text{S.L.S.D. (Right-Southbound)} = (1.47)(30)(2.5) + 30^2 / 30 (11.2/32.2) = 196.5$$

$$\text{S.L.S.D. (Left-Northbound)} = (1.47)(30)(2.5) + 30^2 / 30 (11.2/32.2) = 196.5$$

\* - 200 feet minimum per town code

## Actual Sight Distances:

$$\text{Westbound} = 500 \text{ feet} +$$

$$\text{Eastbound} = 500 \text{ feet} +$$

NORTH  
(CALLY OPEN )

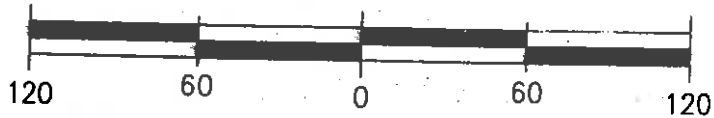
PUTNAM COUNTY DEPARTMENT OF  
HIGHWAYS & FACILITIES APPROVAL

Approved by the Putnam County Department of Highways & Facilities on the date shown below; any changes made to this plat after said date voids this approval. No construction shall begin without first obtaining a Putnam County "Road Work Permit".

Signed this 16 day of NOVEMBER, 2010

By: Mark B. Rosa  
~~Commissioner of Highways & Facilities~~  
SUPERVISOR, PLANNING & DESIGN

SHEET 1 OF 2  
FINAL PLAT  
SHOWING  
SUBDIVISION OF PROPERTY  
~ KNOWN AS ~  
**OLD FORGE ESTATES**  
PROPERTY SITUATE IN  
TOWN OF CARMEL  
COUNTY OF PUTNAM  
STATE OF NEW YORK



SCALE: 1" = 60'

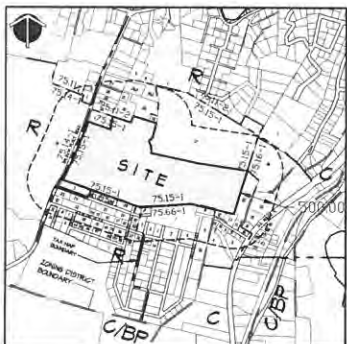
DATE OF FIELD SURVEY: SEPTEMBER 27, 2008  
THIS PLAT PREPARED: MARCH 22, 2010  
REVISED: JUNE 21, 2010

# OLD FORGE ESTATES

## BALDWIN PLACE ROAD

### TOWN of CARMEL

## PUTNAM COUNTY, NEW YORK



AREA MAP  
SCALE: 1"=400'

PROJECT LOCATION



LOCATION MAP



#### DRAWING SCHEDULE

DRAWING No.	SHEET No.	DRAWING TITLE
C-010	1	COVER SHEET
C-010	2	EXISTING CONDITIONS PLAN
C-010	3	SUBDIVISION PLAN
C-010	4	ENLARGED SUBDIVISION PLAN
C-010	5	ENLARGED SITE LAYOUT PLAN
C-010	6	BRASING AND DRAINAGE PLAN
C-010	7	ENLARGED BRASING AND DRAINAGE PLAN
C-010	8	ENLARGED BRASING AND DRAINAGE PLAN
C-010	9	UTILITIES PLAN
C-010	10	SITE LAYOUT PLAN 1
C-010	11	ENLARGED SITE PLAN
C-010	12	TEST LOCATION FOR STORMWATER PRACTICES
C-010	13	EROSION AND SEDIMENT CONTROL PLAN - PHASE 1A
C-010	14	EROSION AND SEDIMENT CONTROL PLAN - PHASE 1B
C-010	15	EROSION AND SEDIMENT CONTROL PLAN - PHASES 2
C-010	16	EROSION AND SEDIMENT CONTROL PLAN - PHASES 3
C-010	17	EROSION AND SEDIMENT CONTROL PLAN - PHASES 4
C-010	18	EROSION AND SEDIMENT CONTROL PLAN - PHASES 5A AND 5B
C-010	19	EROSION AND SEDIMENT CONTROL PLAN - PHASE 6
C-010	20	LANDSCAPE PLAN
C-010	21	ROAD PROFILES
C-010	22	DRAINAGE PROFILES
C-010	23	SLOPE PROFILES
C-010	24	PATTERN PLAN PROFILES
C-010	25	DETAILS
C-010	26	DETAILS
C-010	27	DETAILS
C-010	28	DETAILS
C-010	29	DETAILS
C-010	30	DETAILS
C-010	31	DETAILS
C-010	32	DRIVEWAY PROFILES
C-010	33	PATTERN RELIECTION PLAN

#### ADJOINERS:

10-11	Chapman Street 1 Street Block	10-11	East of 10th St	10-11	East of 10th St
10-12	Chapman Street 2 Street Block	10-12	East of 10th St	10-12	East of 10th St
10-13	Chapman Street 3 Street Block	10-13	East of 10th St	10-13	East of 10th St
10-14	Chapman Street 4 Street Block	10-14	East of 10th St	10-14	East of 10th St
10-15	Chapman Street 5 Street Block	10-15	East of 10th St	10-15	East of 10th St
10-16	Chapman Street 6 Street Block	10-16	East of 10th St	10-16	East of 10th St
10-17	Chapman Street 7 Street Block	10-17	East of 10th St	10-17	East of 10th St
10-18	Chapman Street 8 Street Block	10-18	East of 10th St	10-18	East of 10th St
10-19	Chapman Street 9 Street Block	10-19	East of 10th St	10-19	East of 10th St
10-20	Chapman Street 10 Street Block	10-20	East of 10th St	10-20	East of 10th St
10-21	Chapman Street 11 Street Block	10-21	East of 10th St	10-21	East of 10th St
10-22	Chapman Street 12 Street Block	10-22	East of 10th St	10-22	East of 10th St
10-23	Chapman Street 13 Street Block	10-23	East of 10th St	10-23	East of 10th St
10-24	Chapman Street 14 Street Block	10-24	East of 10th St	10-24	East of 10th St
10-25	Chapman Street 15 Street Block	10-25	East of 10th St	10-25	East of 10th St
10-26	Chapman Street 16 Street Block	10-26	East of 10th St	10-26	East of 10th St
10-27	Chapman Street 17 Street Block	10-27	East of 10th St	10-27	East of 10th St
10-28	Chapman Street 18 Street Block	10-28	East of 10th St	10-28	East of 10th St
10-29	Chapman Street 19 Street Block	10-29	East of 10th St	10-29	East of 10th St
10-30	Chapman Street 20 Street Block	10-30	East of 10th St	10-30	East of 10th St
10-31	Chapman Street 21 Street Block	10-31	East of 10th St	10-31	East of 10th St
10-32	Chapman Street 22 Street Block	10-32	East of 10th St	10-32	East of 10th St
10-33	Chapman Street 23 Street Block	10-33	East of 10th St	10-33	East of 10th St
10-34	Chapman Street 24 Street Block	10-34	East of 10th St	10-34	East of 10th St
10-35	Chapman Street 25 Street Block	10-35	East of 10th St	10-35	East of 10th St
10-36	Chapman Street 26 Street Block	10-36	East of 10th St	10-36	East of 10th St
10-37	Chapman Street 27 Street Block	10-37	East of 10th St	10-37	East of 10th St
10-38	Chapman Street 28 Street Block	10-38	East of 10th St	10-38	East of 10th St
10-39	Chapman Street 29 Street Block	10-39	East of 10th St	10-39	East of 10th St
10-40	Chapman Street 30 Street Block	10-40	East of 10th St	10-40	East of 10th St
10-41	Chapman Street 31 Street Block	10-41	East of 10th St	10-41	East of 10th St
10-42	Chapman Street 32 Street Block	10-42	East of 10th St	10-42	East of 10th St
10-43	Chapman Street 33 Street Block	10-43	East of 10th St	10-43	East of 10th St
10-44	Chapman Street 34 Street Block	10-44	East of 10th St	10-44	East of 10th St
10-45	Chapman Street 35 Street Block	10-45	East of 10th St	10-45	East of 10th St
10-46	Chapman Street 36 Street Block	10-46	East of 10th St	10-46	East of 10th St
10-47	Chapman Street 37 Street Block	10-47	East of 10th St	10-47	East of 10th St
10-48	Chapman Street 38 Street Block	10-48	East of 10th St	10-48	East of 10th St
10-49	Chapman Street 39 Street Block	10-49	East of 10th St	10-49	East of 10th St
10-50	Chapman Street 40 Street Block	10-50	East of 10th St	10-50	East of 10th St

#### OWNER / APPLICANT

ANGIE MASTRANTO  
25 FRANCES DR.  
KATONAH, NY 10526

#### CARMEL PLANNING BOARD APPROVAL

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF CARMEL, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, DRAINAGE MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BY \_\_\_\_\_

CHAIRMAN



4 OLD ROUTE 6, BREWSTER, NEW YORK 10504  
(845) 274-6704 FAX (845) 274-6704  
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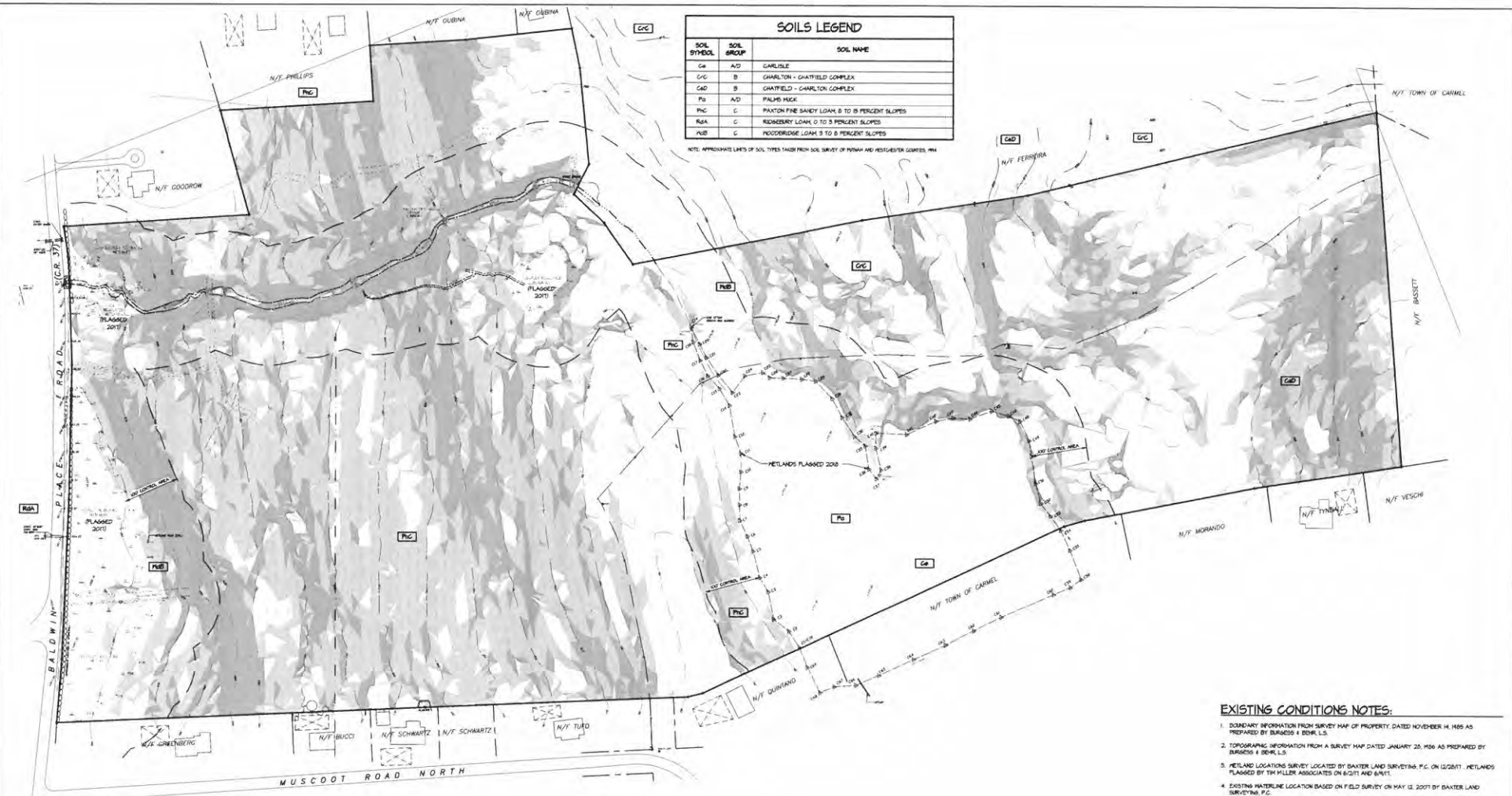
PURSUANT TO NEW YORK STATE EDUCATION LAW, ARTICLE 142, SECTION 73(3)(b) SUBSECTION 2, IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE OR SHE IS REGISTERED AS A LICENSED PROFESSIONAL ENGINEER, TO ALTER AN ITEM IN ANY SET OF ANY ITEM BEARING THE SEAL OF AN ENGINEER IF IT IS USED. THE ALLEGED ENGINEER SHALL AFTER THE DATE OF SUCH VIOLATION, THIS VIOLATION "ALLEGED" BE FOLLOWED BY HIS OR HER NAME AND THE DATE OF SUCH VIOLATION, AND A SPECIFIC DESCRIPTION OF THE ALLEGATION.

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	10/10/16	REV FOR 10/10/16			
2	10/10/16	REV FOR 10/10/16			
3	10/10/16	REV FOR 10/10/16			

PROPOSED SUBDIVISION PLAN PREPARED FOR:

OLD FORGE ESTATES  
BALDWIN PLACE ROAD  
TOWN OF CARMEL  
PUTNAM COUNTY, NEW YORK  
TAX MAP 79-5-14

DATE	DRAWING	PROJECT NUMBER
12 APR 16		9226
PROJECT MANAGER		DRAWING NUMBER
PLM		C-010
DRAWN BY		
CHKD BY		
CHECKED BY		
PLM		
SHEET		
AS NOTED		SHEET 1 OF 34

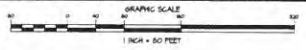


SOILS LEGEND		
SOIL SYMBOL	SOIL GROUP	SOIL NAME
Cc	A/D	CARLELE
CcB	B	CHARLTON - CHARFIELD COMPLEX
CcD	B	CHARFIELD - CHARLTON COMPLEX
Pn	A/D	FALMS HEDGE
PnC	C	PANTON FINE SANDY LOAM, 8 TO 10 PERCENT SLOPES
R5A	C	ROOSEVELT LOAM, 0 TO 3 PERCENT SLOPES
R5B	C	ROOSEVELT LOAM, 3 TO 8 PERCENT SLOPES

NOTE: APPROXIMATE LINES OF SOIL TYPES TAKEN FROM SOIL SURVEY OF PUTNAM AND WESTCHESTER COUNTIES, NY

EXISTING CONDITIONS LEGEND:	
	EXISTING CONTOURS
	EXISTING DRAINAGE LINE
	EXISTING WATER LINE
	EXISTING WELL
	EXISTING SETTS AREA
	EXISTING BUILDING
	TOWN WETLAND BOUNDARY & FLAG
	100 FT WETLAND BUFFER LINE
	SOIL BOUNDARY
	SOIL TYPE
	SLOPES 0% TO 10%
	SLOPES 10% TO 25%
	SLOPES GREATER THAN 25%

### EXISTING CONDITIONS PLAN



#### EXISTING CONDITIONS NOTES:

- BOUNDARY INFORMATION FROM SURVEY MAP OF PROPERTY DATED NOVEMBER 4, 1955 AS PREPARED BY BURGESS & BORN, L.S.
- TOPOGRAPHIC INFORMATION FROM A SURVEY MAP DATED JANUARY 25, 1956 AS PREPARED BY BURGESS & BORN, L.S.
- WETLAND LOCATIONS SURVEY LOCATED BY BAXTER LAND SURVEYING, P.C. ON 12/20/01. WETLANDS FLAGGED BY TIM MILLER ASSOCIATES ON 6/2/01 AND 6/4/01.
- EXISTING WATERLINE LOCATION BASED ON FIELD SURVEY ON MAY 12, 2007 BY BAXTER LAND SURVEYING, P.C.
- OWNER/APPLICANT: ANGELO MASTRANTONIO  
28 FRANKS DRIVE  
KATONAH NY 10520  
FAX: MASTRANTONIO  
P#41 795-0445
- PROPOSED USE: RESIDENTIAL CLUSTER DEVELOPMENT - 4 LOTS
- SITE DATA: TOTAL LOT AREA = 1.678471 S.F. (69,395 AC.)  
TAX MAP 7519, BLOCK 1, LOT #
- ZONING DISTRICT: R - RESIDENTIAL
- SCHOOL DISTRICT: HANCOCK CENTRAL SCHOOL DISTRICT
- FIRE DISTRICT: HANCOCK FALLS VOLUNTEER FIRE DISTRICT



4 OLD ROUTE 6, BREWSTER, NEW YORK 10504  
(845) 274-6194 FAX (845) 274-6194  
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PURSUANT TO NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 2206 SUBSECTION 2, IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER AN ITEM IN ANY MANNER, IF AN ITEM BEARING THE SEAL OF AN ENGINEER IS ALTERED. THE ALTERING ENGINEER SHALL ATTER TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

NO.	DATE	DESCRIPTION	BY	DATE	DESCRIPTION
1	08/14/08	REV. PER B.L. RE COMMENTS			
2	02/02/09	REV. PER RE COMMENTS			
3	11/01/09	REV. PER RE COMMENTS			

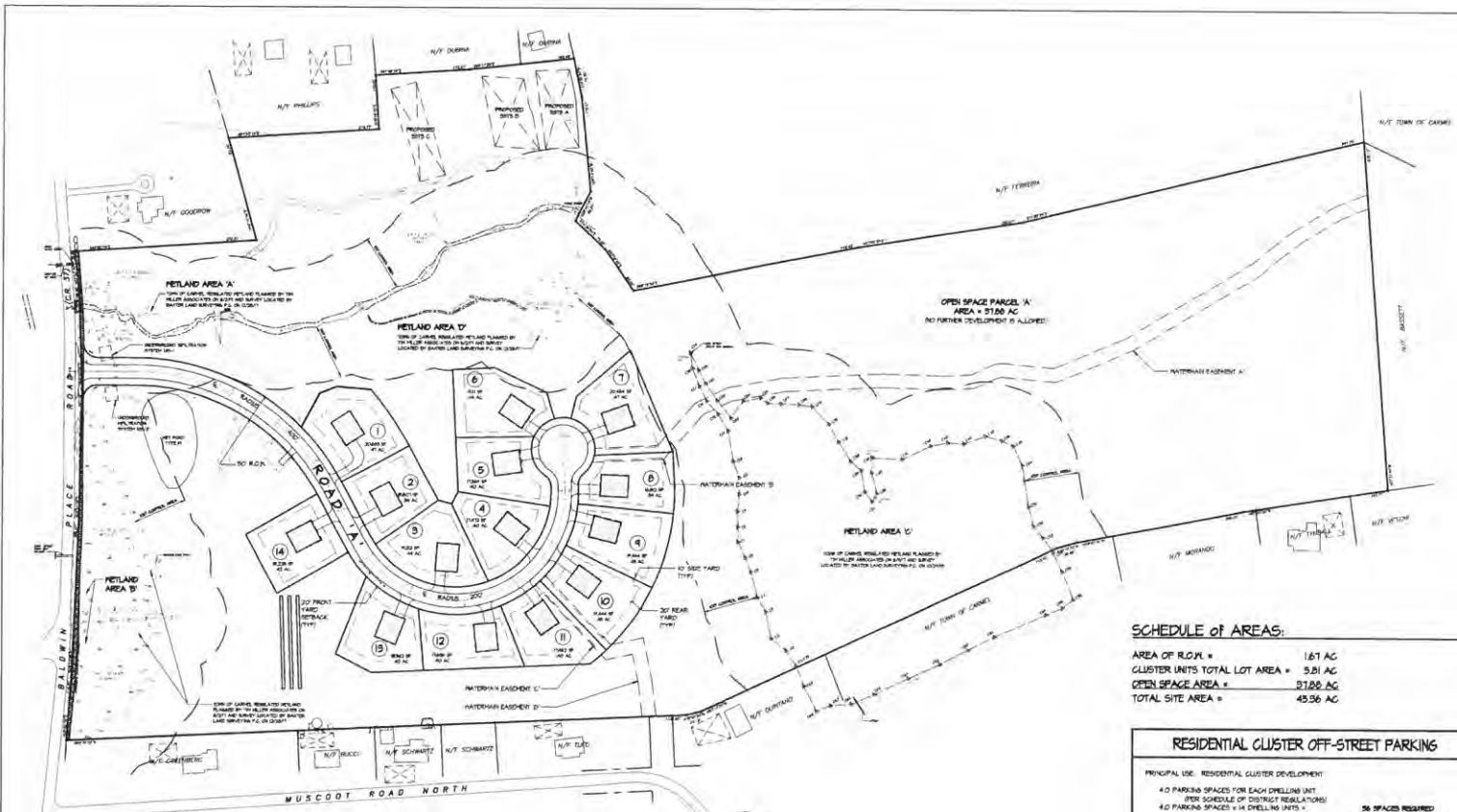
PROPOSED SUBDIVISION PLAN PREPARED FOR  
**OLD FORGE ESTATES**  
BALDWIN PLACE ROAD  
TOWN OF CARMEL  
PUTNAM COUNTY, NEW YORK  
TAX MAP 7519-14

*[Signature]*

DATE	12 APR 08
PROJECT MANAGER	PC
DRAWN BY	JK
CHECKED BY	PC
SCALE	AS NOTED

DRAWING:  
**EXISTING CONDITIONS PLAN**

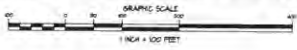
PROJECT NUMBER:  
0256  
DRAWING NUMBER:  
**C-020**  
SHEET 2 OF 24



**RESIDENTIAL CLUSTER DEVELOPMENT**

- CONDITIONS PER CHAPTER 26-45 RESIDENTIAL CLUSTER DEVELOPMENT:
- PERMITTED USE:
    - dwelling units in detached, semi-detached attached and/or groups of attached detached dwelling units are proposed;
    - recreational, social, recreational and cultural features, such as neighborhood or community centers, game rooms, swimming pools and tennis courts, no such uses are proposed;
  - AREA: A residential cluster development shall have a total site area of at least 20 acres in one aggregate or contiguous parcels, 45.55 acres is provided;
  - OVERALL RESIDENTIAL DENSITY: (PER CHAPTER 26-45 DEFINITIONS) A RESIDENTIAL CLUSTER DEVELOPMENT THAT OBTAINS A LOT COVER THROUGH CONVENTIONAL SUBDIVISION APPROVAL THEN DEVELOPS THE PARCELS AT THE SAME DENSITY THAT WOULD BE ALLOWED IN THE ZONING DISTRICT IN WHICH THE SITE IS LOCATED PROVIDED THAT THE REMAINING UNDEVELOPED LAND SHALL BE RESERVED AND IMPROVED FOR PERMANENT OPEN SPACE USE; PROPOSED CLUSTER DEVELOPMENT INCLUDES 14 DETACHED DWELLING UNITS;
  - OPEN SPACE: THERE SHALL BE PROVIDED AT LEAST 25 PERCENT OF THE GROSS AREA OF A RESIDENTIAL CLUSTER DEVELOPMENT FOR OPEN SPACE, EXCLUSIVE OF YARDS OR OTHER PAVED SURFACES. 17.26 ACRES OR 25.3 PERCENT OPEN SPACE IS PROVIDED;
  - RESULTS BULK COVERAGE, LOCATION AND LAND USES: IT IS REQUIRED THAT ALL PARCELS OF A RESIDENTIAL CLUSTER DEVELOPMENT BE DEVELOPED ACCORDING TO A COMPREHENSIVE FINAL PLAN FOR THE OVERALL DEVELOPMENT AS APPROVED BY THE PLANNING BOARD; FINAL PLAN SHALL CONFORM TO THE REQUIREMENTS OF THIS CHAPTER AND, IN ADDITION, SHALL BE COMPATIBLE WITH THE OTHER REQUIREMENTS OF THIS CHAPTER FOR RESIDENTIAL OR OTHER LAND USES COMPLETED OR BY COMMON GOOD PRACTICE. REFER TO BULK SCHEDULE FOR PROPOSED REQUIREMENTS;

**PRELIMINARY SUBDIVISION PLAN**



EASEMENT	TYPE	GRANTEE	LOTS ENGINEERED BY EASEMENT
A	WATER	TOWN OF CARMEL	OPEN SPACE PARCEL 'A'
B	WATER	TOWN OF CARMEL	LOTS 1 & 8
C	WATER	TOWN OF CARMEL	LOTS 10 & 11
D	WATER	TOWN OF CARMEL	OPEN SPACE PARCEL 'A'

**RESIDENTIAL CLUSTER DENSITY CALCULATION IN ACCORDANCE WITH 26-45E:**  
 THE ACREAGE OF THE PARCEL BEING DEVELOPED WILL BE REDUCED BY TEN (10) PERCENT TO ALLOW FOR ROADS AND UTILITIES; THE REMAINING ACREAGE SHALL THEN BE DIVIDED BY THE MINIMUM LOT AREA FOR THE ZONING DISTRICT IN WHICH THE PARCEL IS LOCATED; THEREFORE:  
 A. 45.555 ACRES LESS 10% (4.5555 ACRES) = 40.9995 ACRES  
 B. (40.9995 ACRES) X 43560 SF/ACRE = 1,787,000 SF + 14.80 LOTS  
 THE PROPOSAL IS FOR 14 LOTS WHICH IS EQUAL TO THE MAXIMUM OF 14 LOTS AS CALCULATED;

**SCHEDULE OF AREAS:**

AREA OF R.O.U.R. =	167 AC
CLUSTER UNITS TOTAL LOT AREA =	5.81 AC
OPEN SPACE AREA =	17.26 AC
TOTAL SITE AREA =	45.56 AC

**RESIDENTIAL CLUSTER OFF-STREET PARKING**

PRINCIPAL USE: RESIDENTIAL CLUSTER DEVELOPMENT  
 4.0 PARKING SPACES FOR EACH DWELLING UNIT (PER SCHEDULE OF DISTRICT REGULATIONS)  
 4.0 PARKING SPACES X 14 DWELLING UNITS = 56 SPACES REQUIRED

DETACHED SINGLE FAMILY RESIDENCES:  
 14 BARBAGES X 2 SPACES PER BARBAGE = 28 SPACES  
 14 DRIVEWAYS X 2 SPACES PER DRIVEWAY = 28 SPACES  
 56 SPACES PROVIDED

**RESIDENTIAL CLUSTER DEVELOPMENT BULK SCHEDULE**

RESIDENTIAL CLUSTER DEVELOPMENT	PROPOSED	PROVIDED (MIN.)
MIN LOT AREA (AC)	0.35	0.36
MIN LOT FRONTAGE (FT)	2,250	8,507
MIN LOT FRONTAGE (L/F)	30	57
MIN LOT WIDTH (FT)	40	100
MIN LOT DEPTH (FT)	40	100
MINIMUM YARD/SETBACKS (FRONT FT)	20	22.5
SIDE (FT)	10	12.5
REAR (FT)	20	25
MAX LOT COVERAGE (%)	35	30
POOL	NO	NO
SIDE YARD SETBACK (FT)	0	10
REAR YARD SETBACK (FT)	0	10
DECK	NO	NO
SIDE YARD SETBACK (FT)	0	10
REAR YARD SETBACK (FT)	0	10
DECK	NO	NO
SIDE YARD SETBACK (FT)	0	10
REAR YARD SETBACK (FT)	0	10
POOL AND SHEDS ARE NOT ALLOWED IN THE FRONT YARD		

- RESIDENTIAL CLUSTER SUBDIVISION NOTES:**
- PROJECT SITE TO BE DEVELOPED IN ACCORDANCE WITH CHAPTER 26-45 RESIDENTIAL CLUSTER DEVELOPMENT OF THE TOWN OF CARMEL ZONING CODE.
  - BOUNDARY INFORMATION FROM SURVEY MAP OF PROPERTY, DATED NOVEMBER 14, 1985 AS PREPARED BY BARROWS & BORN, L.L.C.
  - TOPOGRAPHIC INFORMATION FROM A SURVEY MAP DATED JANUARY 28, 1986 AS PREPARED BY BARROWS & BORN, L.L.C.
  - WETLAND LOCATIONS SURVEY LOCATED BY BAXTER LAND SURVEYING, P.C. ON 12/20/11; WETLANDS FLAGGED BY TRH MILLER ASSOCIATES ON 8/2/11 AND 8/8/11.
  - EXISTING WATERLINE LOCATION BASED ON FIELD SURVEY ON MAY 12, 2007 BY BAXTER LAND SURVEYING, P.C.
  - OTHER APPLICANT: ANGELO MASTRANTONIO, 25 FRANCES DRIVE, NATIONAL YF USON, PAUL MASTRANTONIO.  
 CONTACT: (914) 555-0445
  - SITE DATA: TOTAL LOT AREA = 45,560 SF (45.56 AC); TAX MAP 70.53 BLOCK 1 LOT 14
  - ZONING DISTRICT: R-1 RESIDENTIAL
  - PROPOSED USE: RESIDENTIAL CLUSTER DEVELOPMENT - 14 LOTS
  - ALL UTILITIES SHALL BE UNPAVED UNDERGROUND AND IN CONFORMANCE WITH LOCAL CODES AND UTILITY COMPANY REQUIREMENTS.
  - SEWER SERVICE SHALL BE PROVIDED BY COMMUNITY SUBSURFACE SEWAGE TREATMENT SYSTEM LOCATED ON-SITE AND MAINTAINED AND OPERATED BY HOMEOWNERS ASSOCIATION; WATER SERVICE SHALL BE PROVIDED BY CONNECTION TO CARMEL WATER DISTRICT RES.
  - ALL ON-SITE TRAFFIC CALCULATION IS TWO-WAY UNLESS NOTED OTHERWISE.
  - ALL DRIVEWAYS SHALL CONFORM TO THE REQUIREMENTS OF CHAPTER 45-5 OF THE ZONING CODE OF THE TOWN OF CARMEL.
  - ALL EXTERIOR LIGHTING TO BE INSTALLED SHALL BE DOWNWARD DIRECTED AND SHALL NOT RESULT IN LIGHT SPILLING OFF THE SITE.
  - THERE ARE NO AREAS PROPOSED TO BE USED FOR OUTDOOR SELLING, DISPLAY OR STORAGE.
  - ALL ON-SITE DRIVEWAYS AND BARBAGES SHALL BE REMOVED FROM THE SITE AND GRASSSED OFF.
  - THE USE OF TOWN WATER FOR IRRIGATION PURPOSES IS PROHIBITED.
  - PARCEL 'A' IS OPEN SPACE AND NO FURTHER DEVELOPMENT IS ALLOWED.



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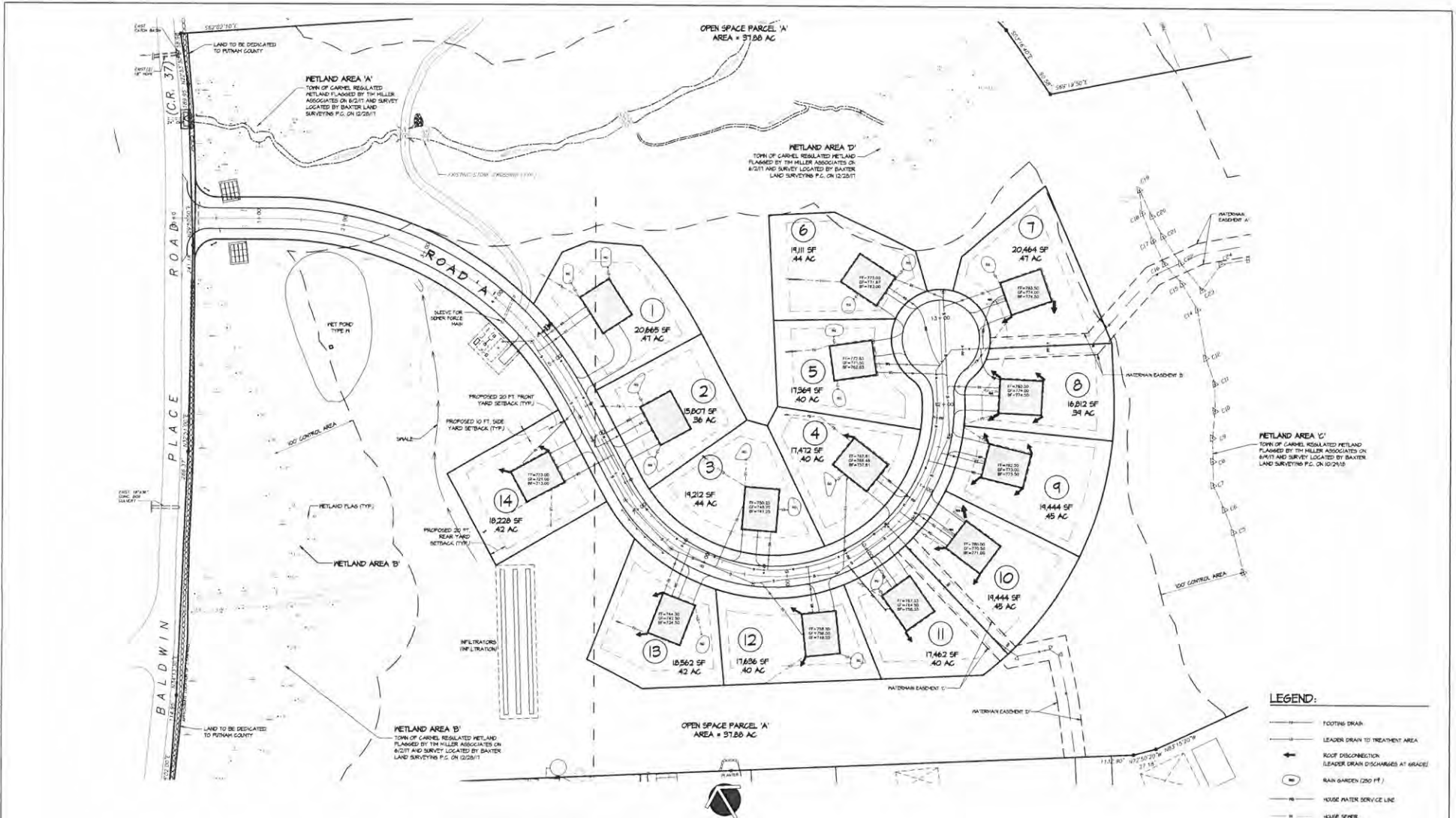
NO.	DATE	DESCRIPTION	NO. DATE	DESCRIPTION
1	02/01/13	REV. PER 15% TR COMMENTS		
2	02/01/13	REV. PER 15% COMMENTS		
3	12/04/13	REV. PER 15% COMMENTS		

PROPOSED SUBDIVISION PLAN PREPARED FOR:  
**OLD FORGE ESTATES**  
 BALDWIN PLACE ROAD  
 TOWN OF CARMEL  
 PUTNAM COUNTY, NEW YORK  
 TAX MAP 70.53-4

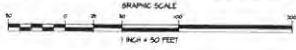
DATE: 23 APR 13  
 PROJECT MANAGER: PH  
 DRAWN BY: PH  
 CHECKED BY: PH  
 SCALE: AS NOTED

**SUBDIVISION PLAN**

PROJECT NUMBER: 0206  
 DRAWING NUMBER: C-100  
 SHEET 3 OF 34



**ENLARGED PRELIMINARY SUBDIVISION PLAN**



- LEGEND:**
- FOOTING DRAIN
  - LEADER DRAIN TO TREATMENT AREA
  - ROOF DISCONNECTION LEADER DRAIN DISCHARGES AT GRADE
  - RAIN GARDEN (200 SF)
  - HOUSE WATER SERVICE LINE
  - HOUSE SEWER
  - WATER MAIN
  - SEWER MAIN
  - BLOW OFF HYDRANT
  - RETAINING WALL

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REVISIONS	NO.	DATE	DESCRIPTION
1	02/07/14	REV. FOR B. TO TP COMMENTS	
2	02/07/14	REV. FOR T. COMMENTS	
3	03/03/14	REV. FOR T. COMMENTS	

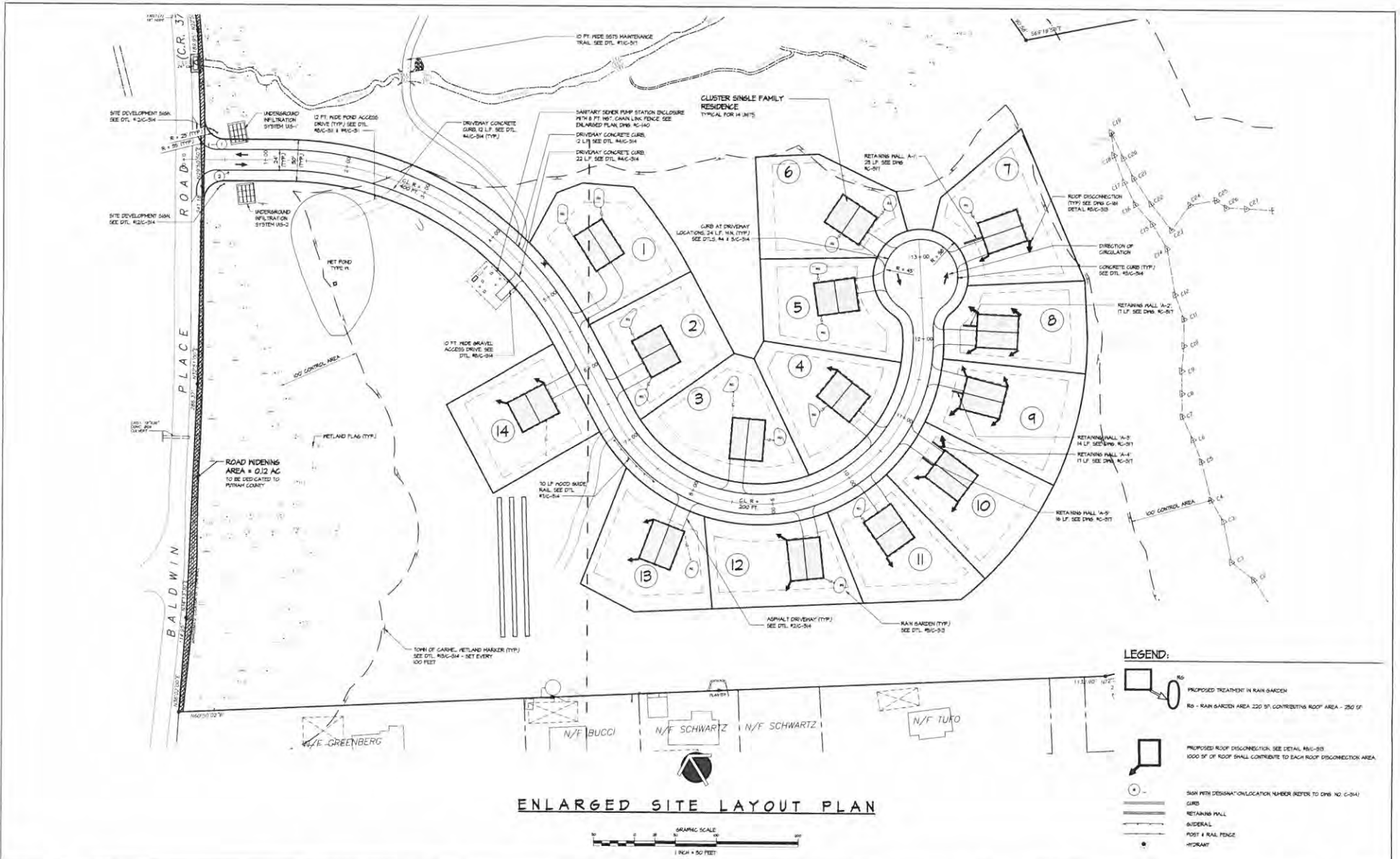
PROPOSED SUBDIVISION PLAN PREPARED FOR:  
**OLD FORGE ESTATES**  
 BALDWIN PLACE ROAD  
 TOWN OF CARMEL  
 PUTNAM COUNTY, NEW YORK  
 TAX MAP 105-14-4

DATE: 12 APR 14  
 PROJECT MANAGER: PNC  
 DRAWN BY: A.B.K.  
 CHECKED BY: PNC  
 SCALE: AS NOTED

DRAWING: **ENLARGED SUBDIVISION PLAN**

PROJECT NUMBER: 8264  
 DRAWING NUMBER: **C-101**  
 SHEET 4 OF 24





**ENLARGED SITE LAYOUT PLAN**



**LEGEND:**

- PROPOSED TREATMENT IN RAIN GARDEN  
Rg - RAIN GARDEN AREA 120 SF CONTRIBUTING ROOF AREA - 250 SF
- PROPOSED ROOF DISCONNECTION. SEE DETAIL #4C-33  
1000 SF OF ROOF SHALL CONTRIBUTE TO EACH ROOF DISCONNECTION AREA.
- SIGN WITH DESIGNATOR LOCATION NUMBER REFERS TO DWG NO. C-34)
- CURB
- RETAINING WALL
- ASEWER
- POST & RAIL FENCE
- HYDRANT

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PUTNAM ENGINEERING, LLC 208

PURSUANT TO NEW YORK STATE EDUCATION LAW ARTICLE 140, SECTION 2009 SUBSECTION 2, IT IS A CONDITION OF THIS PLAN FOR ANY PERSONS A LICENSED PROFESSIONAL ENGINEER, TO ALTER AN ITEM IN ANY MANNER FROM ITS BEARING THE SEAL OF AN ENGINEER IS ALIENED. THE ALIENED ENGINEER SHALL APPLY TO THE ITEM AND SEAL AND THE NOTATION "ALIBUS BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

NO.	DATE	DESCRIPTION
1	01/10/18	REV. PER B. 16 TO COMMENTS
2	02/07/18	REV. PER T2 COMMENTS
3	03/01/18	REV. PER T2 COMMENTS

PROJECT: PROPOSED SUE-VISION PLAN PREPARED FOR:  
**OLD FORGE ESTATES**  
BALDWIN PLACE ROAD  
TOWN OF CARMEL  
PUTNAM COUNTY, NEW YORK  
TAX MAP 30.0-1-1

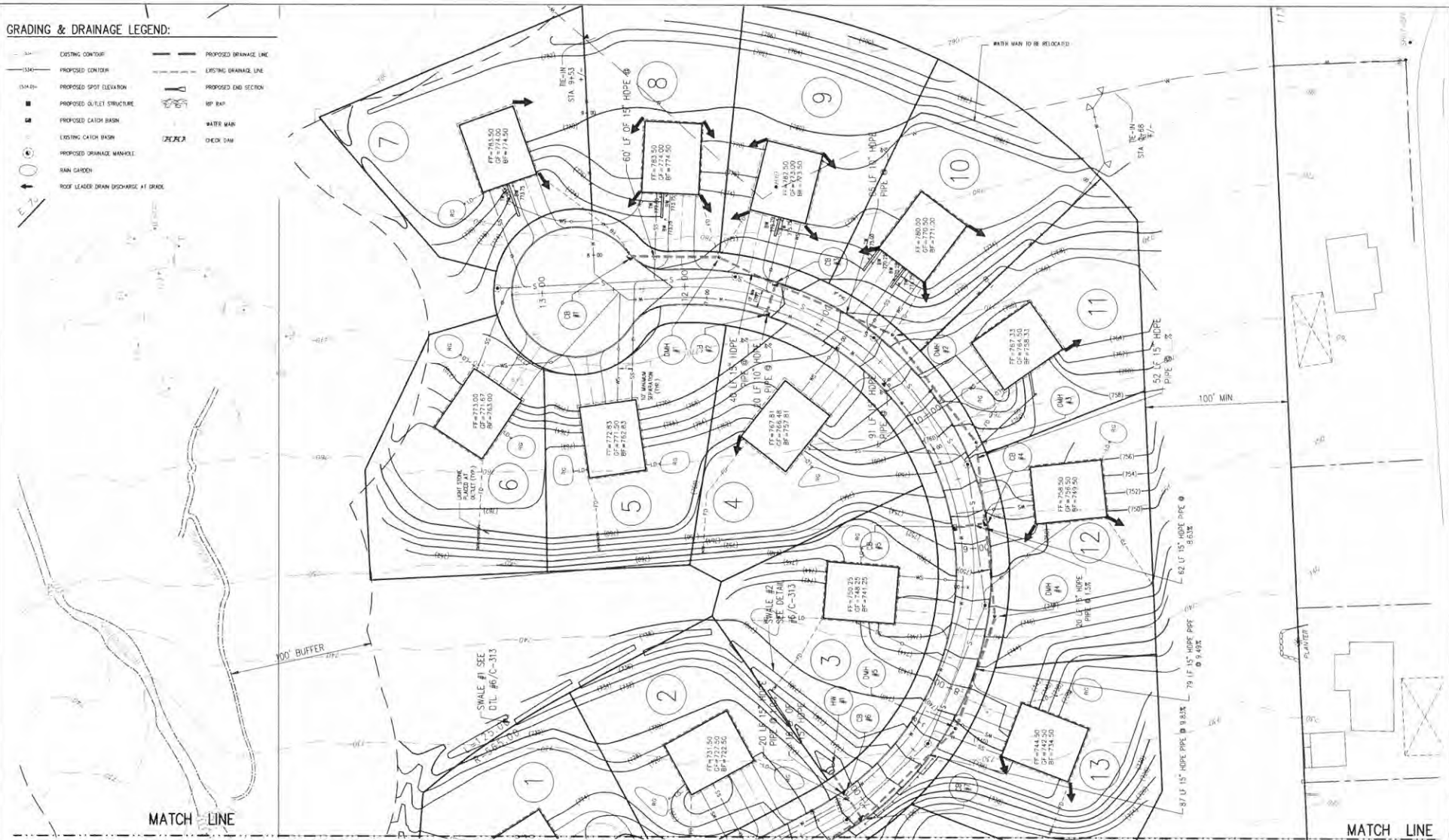
DATE: 12 APR 18  
PROJECT MANAGER: RML  
DRAWN BY: L-JLK  
CHECKED BY: RML  
SCALE: AS NOTED

DRAWING: ENLARGED SITE LAYOUT PLAN with GREEN INFRASTRUCTURE ALLOCATION PLAN  
PROJECT NUMBER: 8334  
DRAWING NUMBER: C-110  
SHEET 3 OF 34

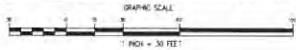


**GRADING & DRAINAGE LEGEND:**

- EXISTING CONTOUR
- PROPOSED CONTOUR
- (ELEV.) PROPOSED SPOT ELEVATION
- PROPOSED OULET STRUCTURE
- PROPOSED CATCH BASIN
- EXISTING CATCH BASIN
- PROPOSED ORNAMENT MANHOLE
- SWALE CATCH
- ↑ ROOF LEADER DRAIN DISCHARGE AT GRADE
- PROPOSED DRAINAGE LINE
- EXISTING DRAINAGE LINE
- PROPOSED DMS SECTION
- 18" RCP
- WATER MAIN
- CHECK DAM



**ENLARGED GRADING & DRAINAGE PLAN**



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PUTNAM ENGINEERING, PLLC 2024

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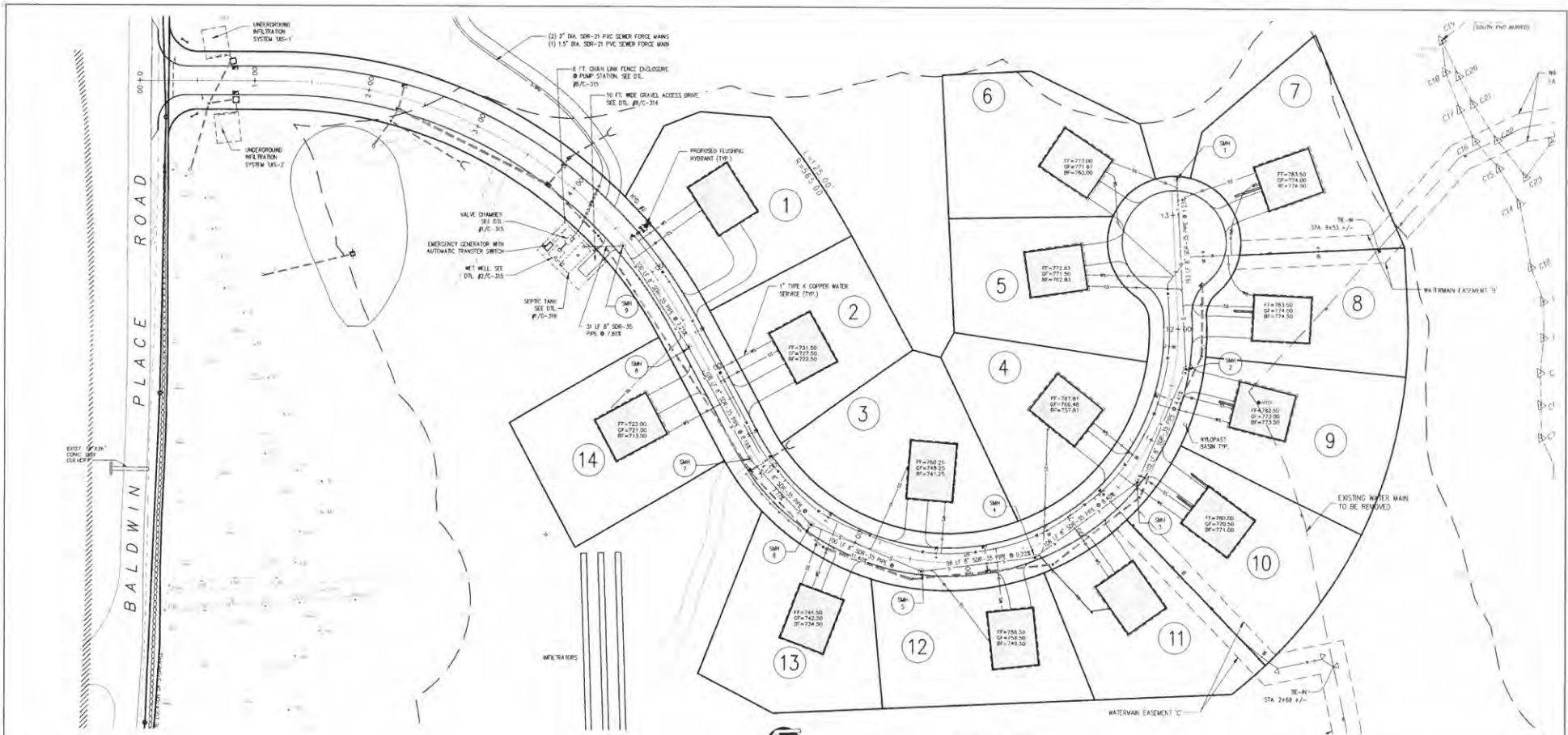
NO.	DATE	DESCRIPTION	BY	DATE	DESCRIPTION
1	11/14/18	ISSUE FOR PERMITS	PM		
2	11/14/18	REV. PER B. S. P. COMMENTS	PM		
3	11/14/18	REV. PER P. COMMENTS	PM		

PROPOSED SUBDIVISION PLAN PREPARED FOR:  
**OLD FORGE ESTATES**  
BALDWIN PLACE ROAD  
TOWN OF CARMEL  
PUTNAM COUNTY, NEW YORK  
TOWN MAP 75-11-118

DATE	11/14/18
PROJECT MANAGER	PM
DRAWN BY	BLK
CHECKED BY	PM
SCALE	AS NOTED

**ENLARGED GRADING and STORMWATER PLAN**

PROJECT NUMBER: C-122  
DRAWING NUMBER: 8 OF 34  
SHEET 8 OF 34



**UTILITIES LEGEND:**

- CATCH BASIN
- END SECTION
- DRAINAGE LINE
- EXISTING DRAINAGE LINE
- SEWER MANHOLE
- SEWER MAIN
- SANITARY SERVICE LINE WITH CLEANOUT
- WATER MAIN
- WATER SERVICE WITH VALVE
- EXISTING WATER MAIN
- EXISTING WATER MAIN TO BE REMOVED
- WATER VALVE
- T-HYDRANT WITH WATER VALVES
- HYDRANT
- TRUST BLOCK

SS# - SEWER STRUCTURE NUMBER  
SM# - SEWER MANHOLE

SEWER STRUCTURE SCHEDULE												
STRUCTURE NO.	SM# 1	SM# 2	SM# 3	SM# 4	SM# 5	SM# 6	SM# 7	SM# 8	SM# 9	SM# 10	SEPTIC TANK	MET WELL
TYPE	SM#	SM#	SM#	SM#	SM#	SM#	SM#	SM#	SM#	SM#	SEPTIC TANK	MET WELL
DOWNSTREAM SS#	SM# 2	SM# 3	SM# 4	SM# 5	SM# 6	SM# 7	SM# 8	SM# 9	SM# 10	SM# 11	SEPTIC TANK	MET WELL
DIAMETER	8"	8"	8"	8"	8"	8"	8"	8"	8"	8"	24"	36"
LENGTH (LF)	163	162	156	86	109	74	108	100	22	3		
RIM ELEV.	773.75	771.05	766.36	757.25	747.60	737.50	729.90	718.65	706.50			
INV. IN / FROM SS#		367.35/SM# 1	762.60/SM# 2	753.50/SM# 3	743.15/SM# 4	730.00/SM# 5	724.00/SM# 6	714.50/SM# 7	702.25/SM# 8	700.00/SM# 9	698.72/SEP. TANK	
INV. IN / FROM SS#												698.72/SEP. TANK
INV. OUT / TO SS#	784.35/SM# 2	767.10/SM# 3	762.40/SM# 4	750.00/SM# 5	741.40/SM# 6	729.75/SM# 7	723.75/SM# 8	710.00/SM# 9	702.50/SEP. TANK	698.43/MET WELL	698.72/CHANG.	



**UTILITIES NOTES:**

- PER NEW YORK STATE LAW, THE CONTRACTOR SHALL CALL THE UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION (SUFO) AT 1-800-962-7962, TWO (2) FULL DAYS PRIOR TO PERFORMING ANY EXCAVATION WORK.
- ALL UTILITIES SHALL BE INSTALLED UNDERGROUND AND IN CONFORMANCE WITH LOCAL CODES AND UTILITY COMPANY REQUIREMENTS.
- SEWER TO BE DEPOSITED OF IN COMMUNITY SITS AREAS LOCATED ON-SITE AND MAINTAINED AND SERVICED BY A HOMEOWNER'S ASSOCIATION. WATER SERVICE SHALL BE PROVIDED BY CONNECTION TO CARMEL WATER DISTRICT #13.
- JOINTS IN SANITARY, STORM AND WATER PIPES TO BE OFFSET AT ALL CROSSINGS.
- WATER MAIN IS TO BE 8 INCH DIA. DR-14 PVC PIPE.
- MANHOLE COVER OVER WATER MAIN SHALL BE 4'-0".
- UNLESS INDICATED ON PLAN OTHERWISE, ALL WATER SERVICE CONNECTIONS SHALL BE 1 INCH DIA. COPPER PIPE, TYPE K.
- A WATER METER SHALL BE INSTALLED FOR EACH BUILDING WITH REWRITE ON EXTERIOR OF THE BUILDING. METERS TO BE PURCHASED FROM THE TOWN OF CARMEL.
- ALL UNDERGROUNDS SHALL BE EQUIPPED WITH A PRESSURE REDUCING VALVE ON THE WATER SERVICE LINE AFTER IT ENTERS THE BUILDING TO LIMIT THE WORKING PRESSURE TO A MAXIMUM OF 70 PS.
- FRANCH WIRE (14 GA.) TO BE PLACED IN ALL WATER MAIN REMOVES AT A DEPTH OF 2'-0" BELOW FINISHED GRADE.
- GRAVITY SEWER MAIN IS TO BE 8 INCH DIA., SD-35 PVC PIPE. HOUSE SEWER SERVICE CONNECTION PIPES SHALL BE 4 INCH DIA., SD-35 PVC WITH 2% MINIMAL SLOPE.
- MANHOLE COVER OVER SEWER MAIN SHALL BE 3'-0". WHEN COVER OVER SEWER SERVICE CONNECTION TO THE BUILDING IS LESS THAN 3'-0", THE PIPES SHALL BE WRAPPED IN INSULATION TO PREVENT FREEZING.
- SEWER FORCE MAINS SHALL BE SD-21 PVC PIPE SIZE AS NOTED ON THE PLAN.
- MANHOLE COVER OVER SEWER FORCE MAIN SHALL BE 4'-0".
- EXISTING UTILITIES (VALVE HOUSES, MANHOLE FRAMES AND COVERS, CATCH-BASIN FRAMES AND GRATES, ETC.) SHALL BE ADAPTED AS REQUIRED TO MEET NEW FINISHED GRADES.
- GRAVITY SANITARY MAINS AND SANITARY FORCE MAINS SHALL BE Laid AT LEAST TO EXIST HORIZONTAL FROM ANY EXISTING OR PROPOSED WATER DISTRIBUTION MAIN.
- LOCATION OF EXISTING WATER MAIN TAKEN FROM SURVEY PREPARED BY BARTER SURVEYING IN 2003. EXACT LOCATIONS TO BE VERIFIED IN FIELD.
- REFER TO DRAWING NO. C-21 FOR ADDITIONAL 1"IN. HYDRANT AND WATER VALVE DETAILS.

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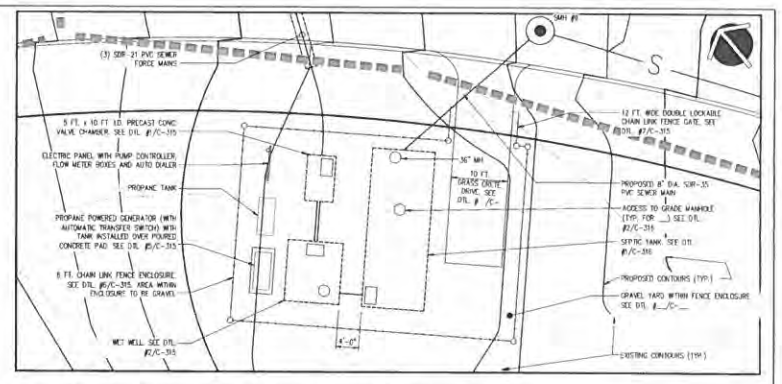
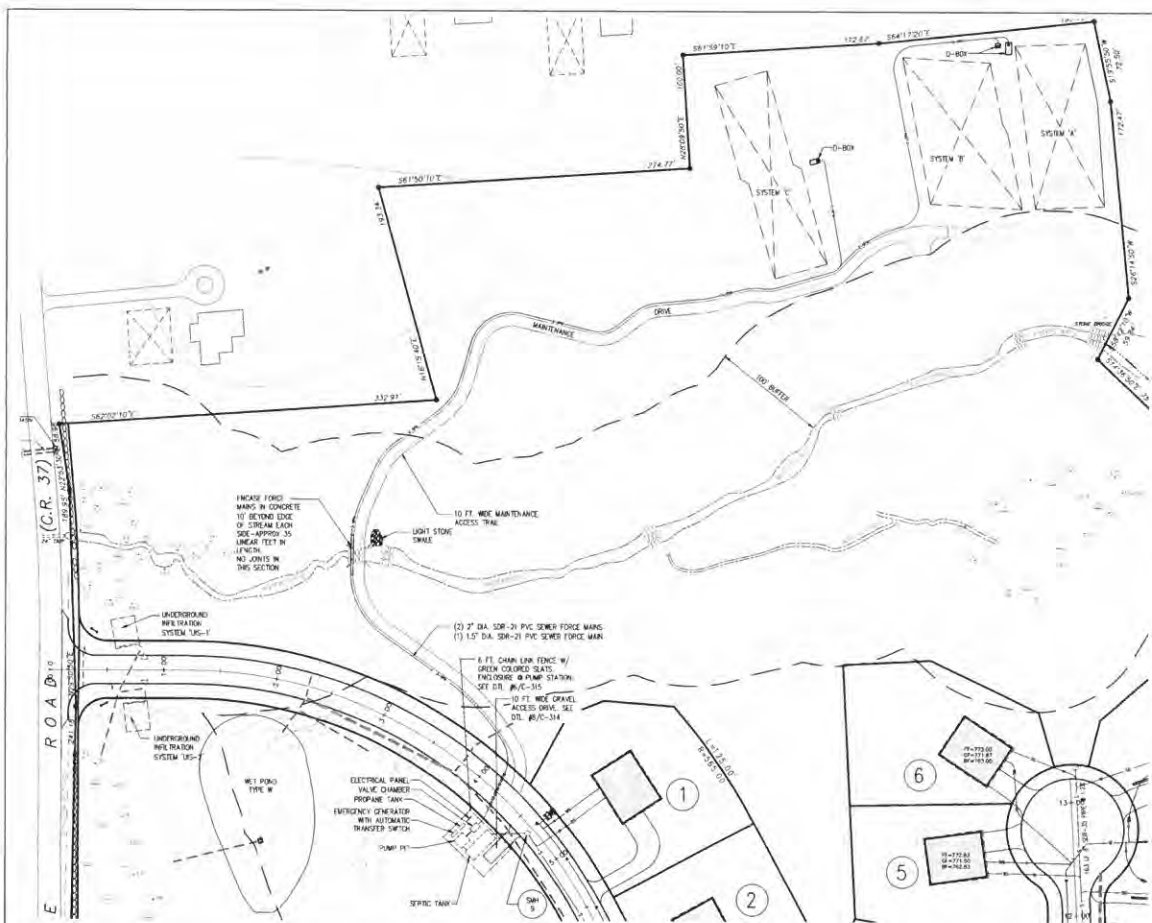
PURSUANT TO NEW YORK STATE COLLEGE LAW, ARTICLE 145, SECTION 2309 SUBSECTION 2, "IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER AN ITEM IN ANY WAY IF AN ITEM BEARING THE SEAL OF AN ENGINEER IS ALTERED. THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	08/19/18	REV. PER B.E. COMMENTS			
2	08/19/18	REV. PER B.E. COMMENTS			

PROPOSED SUBDIVISION PLAN PREPARED FOR:  
**OLD FORGE ESTATES**  
BALDWIN PLACE ROAD  
TOWN OF CARMEL  
PUTNAM COUNTY, NEW YORK  
TAX MAP 2515-1-19

DATE: 12 APR 18  
PROJECT MANAGER: PNE  
DRAWN BY: PNE  
CHECKED BY: PNE  
SCALE: AS NOTED

UTILITIES PLAN  
PROJECT NUMBER: 826  
DRAWING NUMBER: C-130  
SHEET 3 OF 3



**ENLARGED PLAN at SEWER PUMP STATION**  
 GRAPHIC SCALE: 1" = 10'

**SEWAGE ABSORPTION SYSTEM NOTES:**

1. TO ACCOMMODATE THE SEWAGE DISPOSAL REQUIREMENTS OF THIS PROJECT, THE COLLECTED SANITARY SEWAGE FROM THE PROPOSED DWELLING WILL RECEIVE PRIMARY TREATMENT IN THE SEPTIC TANK AND THE EFFLUENT THEN DISCHARGED TO A SUBSURFACE DISPOSAL AREA IN THE WESTLY PORTION OF THE PROPERTY.
2. SUBSURFACE SECONDARY TREATMENT WILL BE PROVIDED BY A SERIES OF CONVENTIONAL 2 FOOT WIDE ABSORPTION TRENCH SYSTEMS. DETAILS OF THE SYSTEM GRADING AND TRENCH CONTROL PROVISIONS ARE SHOWN ON THE CONSTRUCTION PLAN SHEET C-141.
3. SPECIFIC PROVISIONS AND PROCEDURES FOR THE INSTALLATION OF THE ABSORPTION SYSTEM ARE AS FOLLOWS:
  - A. INSTALL 6" x 12" FENCE AT DOWN GRASS LIMITS AS SHOWN ON PLANS.
  - B. WITHIN AND COMPLETE CLEANING AND COUSING.
  - C. INSTALL FILL AS REQUIRED, PERSON ADDITIONAL PERC TESTS, NOTIFY HOOD TO INSPECT.
  - D. INSTALL ABSORPTION TRENCH SYSTEM AFTER CONSTRUCTION PERMIT ISSUED.
  - E. UPON INSPECTION BY APPROPRIATE AUTHORITIES, BACKFILL SYSTEM AND GRAZE TO FINAL CONTOURS.
  - F. IMMEDIATELY STABILIZE ALL SLOPES.
  - G. TOPSOIL AND VEGETATE ALL DISTURBED AREAS.
  - H. UPON SATISFACTORY RE-ESTABLISHMENT OF GROUND COVER, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.
4. CONSTRUCTION DETAILS AND SLOPING SPECIFICATIONS ARE SHOWN ON THE CONSTRUCTION PLANS. IT IS NOTED THAT EACH ABSORPTION AREA IS TO BE CONSTRUCTED AND COMPLETED INDIVIDUALLY. EACH AREA SHALL BE BACKFILLED, STABILIZED AND SEEDED BEFORE BEGINNING SUBSEQUENT ABSORPTION AREAS.
5. ALL EROSION CONTROL PROVISIONS ARE TO BE MAINTAINED AND/OR REPLACED DURING ENTIRE CONSTRUCTION PHASE TO INCLUDE RESTORATION AND REVEGETATION PERIOD.

**ALTERNATING SSTS FIELD PROCEDURE NOTE:**

THE PROPOSED PUMP PIT WILL CONTAIN TWO (2) ALTERNATING PUMPS, CONNECTED TO THREE (3) DISCHARGE TRENCHES IN A VALVE CHAMBER. EACH DISCHARGE TRENCH WILL CONTAIN A 6-INCH FLEXIBLE VALVE AND EACH TRENCH WILL BE DESIGNATED TO ONE OF THE ABSORPTION FIELDS (A, B, AND C). A FLEXIBLE VALVE WILL BE MANUALLY OPERATED TO BLOCK THE FLOW TO THE DESIGN SYSTEM. ONE SYSTEM WILL BE INSTALLED, BUT NOT BE USED FOR A PERIOD OF ONE YEAR. THIS CONFIGURATION WILL PROVIDE A RESTING OR RECOVERY PERIOD FOR EACH OF THE TWO (2) SYSTEMS BEING USED AT THAT TIME, OR APPROXIMATELY 4.25 HOURS.

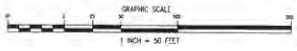
**STANDARD NOTES FOR A COMMERCIAL SSTS:**

1. SSTS AREA TO BE FIELD STAKED AND CONFORMED TO PREVENT THE OPERATION OF PROGRESS AND/OR MAINTENANCE OF STORAGE OF HEAVY EQUIPMENT, BUILDING EQUIPMENT, OR EXCAVATED EARTH IN THIS AREA.
2. SSTS SYSTEM TO BE INSPECTED BY THE DESIGN PROFESSIONAL AND THE PUTNAM COUNTY HEALTH DEPARTMENT AFTER INSTALLATION AND PRIOR TO BACKFILL.
3. PUTNAM COUNTY HEALTH DEPARTMENT APPROVAL IS BASED ON THE LOCATION OF THE SEWAGE SYSTEM, WELL YIELDING CAPACITIES, RIGHTS AND EASEMENTS AS WELL AS BUILDING SIZE AND USE AS SHOWN ON THE APPROVED DRAWINGS. ANY MODIFICATIONS OR CHANGES TO THE SSTS ARE TO BE MADE PRIOR TO PUTNAM COUNTY HEALTH DEPARTMENT APPROVAL.
4. UNAUTHORIZED MODIFICATIONS MADE TO THIS DRAWING AFTER THE DATE OF PUTNAM COUNTY HEALTH DEPARTMENT APPROVAL WILL VOID APPROVAL.
5. PUTNAM COUNTY HEALTH DEPARTMENT APPROVAL IS BASED ON A MAXIMUM FLOW OF 3000 GALLONS PER DAY AN INCREASE IN THE FLOW WILL REQUIRE PRIOR APPROVAL FROM THE DEPARTMENT.
6. THE SSTS IS TO RECEIVE SANITARY WASTES ONLY. THE DISPOSAL OF INDUSTRIAL WASTES, DOMESTIC COOKING WASTES, OR OTHER POTENTIALLY HARMFUL WASTES INTO OR OVER THE SURFACE OF THE GROUND IS PROHIBITED. THE PUTNAM COUNTY HEALTH DEPARTMENT RESERVES THE RIGHT OF INSPECTION OF THE PROPOSER TO INSURE COMPLIANCE WITH THESE REQUIREMENTS.
7. PUTNAM COUNTY HEALTH DEPARTMENT SHALL BE PROMPTLY NOTICED IN THE EVENT THAT ANY WASTES OTHER THAN STRICTLY DOMESTIC SANITARY WASTES ARE PRODUCED AT THIS FACILITY.
8. OCCUPANCY OF THE BUILDINGS WILL NOT BE PERMITTED UNTIL THE CONSTRUCTION COMPLIANCE APPLICATION HAS BEEN RECEIVED AND APPROVED BY THE PUTNAM COUNTY HEALTH DEPARTMENT AND FORWARDED TO THE BUILDING INSPECTOR OF THE RESPECTIVE JURISDICTION AS PART OF THE CERTIFICATE OF OCCUPANCY APPLICATION.
9. AFTER BACKFILLING THE SYSTEM, THE SSTS AREA SHALL BE COVERED WITH A MINIMUM OF 6 INCHES OF TOP SOIL, SEEDED AND MAINTAINED.
10. REMOVE ALL TREES WITHIN 10 FEET OF THE ABSORPTION SYSTEM.
11. ALL EXISTING AND/OR PROPOSED SURFACE SEWAGE TREATMENT SYSTEMS AND WELLS ON ADJACENT PROPERTIES WITHIN 200 FEET OF PROPOSED SSTS ARE SHOWN ON THIS PLAN.
12. APPROXIMATELY 150 C.Y. OF R.O.S. GRAVEL FILL IS REQUIRED OVER THE ABSORPTION FIELD AREAS FOR LEAKING PURPOSES ONLY.
13. DIRT OR FILL IS NOT PERMITTED IN THE SEWAGE TREATMENT AREA(S), EXCEPT AS SO SPECIFIED ON THIS PLAN.
14. ALL STONE WALLS IN AND WITHIN 10 FEET OF THE SSTS AREA SHALL BE REMOVED TO THEIR ENTIRE DEPTH AND RESULTING VOID REPLACED WITH SIMILAR ON-SITE SOIL.
15. IF ANY PRE-CAST CONCRETE TANK IS DELIVERED TO THE SITE IN SECTIONS, THEN IT SHALL BE SUBMITTED TO THE DEPARTMENT AND THE CERTIFIED DESIGN PROFESSIONAL THAT THE TANK IS STABLE, MAINTENANCE AND ACCEPTABLE FOR USE. THIS SHALL BE DONE AT A MINIMUM, THE FILLING OF THE TANK WITH WATER AND OBSERVING THE WATER LEVEL AT A 24-HOUR PERIOD TO DETERMINE IF IT IS IN FACT SEALED, MAINTENANCE AND ACCEPTABLE FOR USE.
16. ALL EROSION CONTROL MEASURES FOR SUBSIDIARIES AND SECTIONS ARE TO BE INSTALLED PRIOR TO ANY CONSTRUCTION.
17. THE CONFORMING NOTED ON THE PUTNAM COUNTY DEPARTMENT OF HEALTH LETTER OF APPROVAL AND AN ORIGINAL COPY OF THIS APPROVAL AND COMPLIANCE IS REQUIRED.
18. THIS PLAN IS APPROVED FOR SEWAGE TREATMENT AND/OR WATER SUPPLY ONLY. ALL OTHER PERMITS AND/OR APPROVALS ARE THE RESPONSIBILITY OF THE PERMITTEE.
19. THE PUTNAM COUNTY HEALTH DEPARTMENT APPROVAL EXPIRES TWO (2) YEARS FROM THE DATE ON THE APPROVAL STAMP AND IS REQUIRED TO BE REAPPROVED ON OR BEFORE THE EXPIRATION DATE. THE APPROVAL IS RE-EVALUABLE FOR CAUSE, OR MAY BE MODIFIED OR REVOKED WHEN CONSIDERED NECESSARY BY THE DEPARTMENT.
20. A COPY OF THE BUILDING PLANS FOR EACH DWELLING ARE TO BE FORWARDED TO THE PUTNAM COUNTY DEPARTMENT OF HEALTH FOR APPROVAL OF PUTNAM COUNTY EDITION OF A BUILDING PERMIT.

**UTILITIES LEGEND:**

- CATCH BASIN
- END SECTION
- DRAINAGE LINE
- EXISTING DRAINAGE LINE
- DRAINAGE MANHOLE
- SEWER MANHOLE
- SEWER MAIN
- SEWER SERVICE LINE WITH CLEANOUT
- WATER MAIN
- WATER SERVICE WITH VALVE
- EXISTING WATER MAIN
- EXISTING WATER MAIN TO BE REMOVED
- WATER VALVE
- T-INTERSECTION WITH WATER VALVES
- HYDRANT
- THURST BLOCK

**SSTS PLAN**



**POTNAM ENGINEERING, P.C.**  
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 POTNAM ENGINEERING, P.C. 029

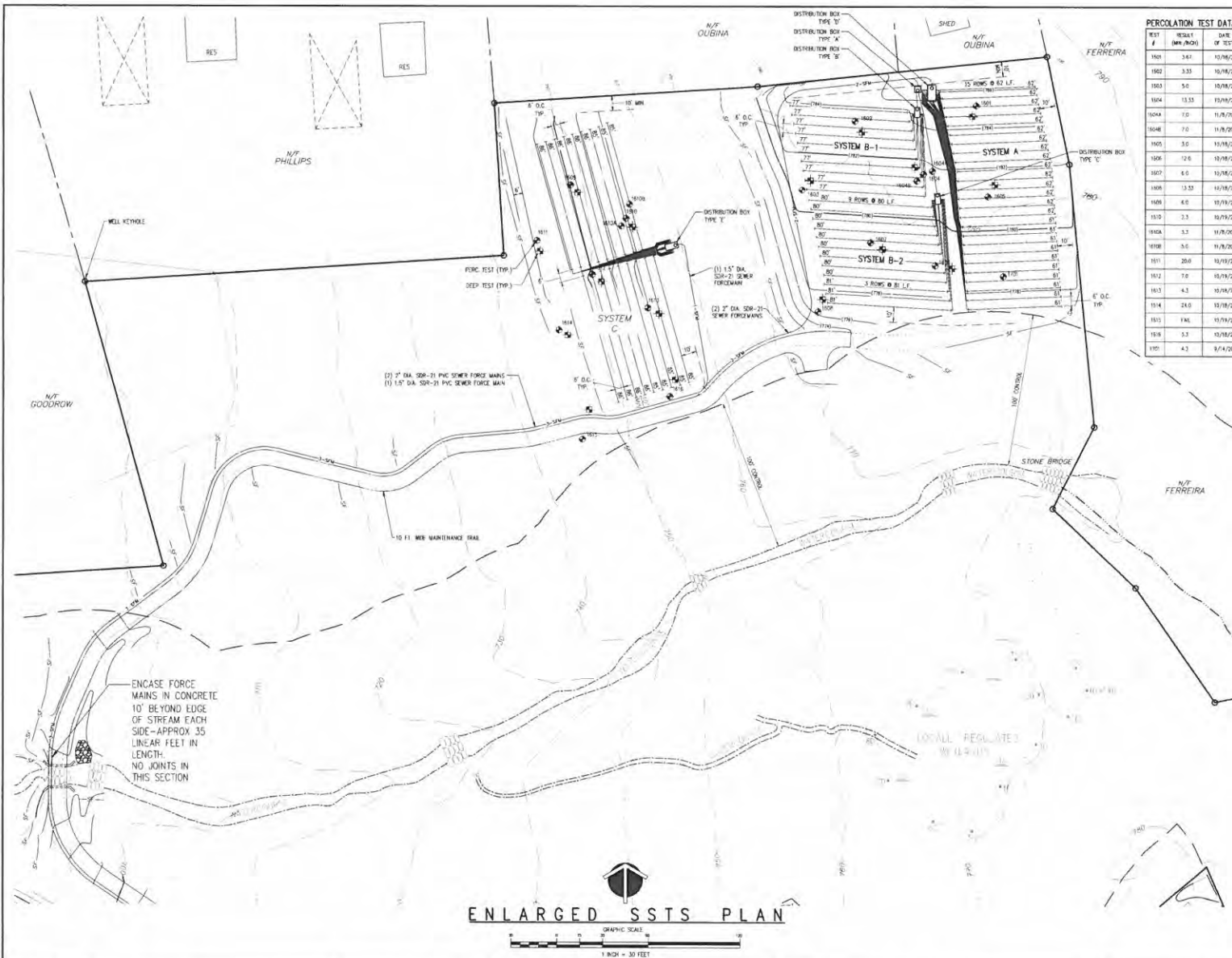
PURSUANT TO NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209 SUBSECTION 2, IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER AN ITEM IN ANY WAY IF AN ITEM BEARING THE SEAL OF AN ENGINEER IS ALTERED. THE ALTERING HEREON SHALL BE VOID TO THE TUN PER SEAL, AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE LEVEL OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

NO.	DATE	DESCRIPTION	BY	DATE	DESCRIPTION
1	08/11/18	REV. PER B.C. TO CORRECTS			
2	02/20/18	REV. PER B.C. COMMENTS			

PROPOSED SUBMERGION PLAN PREPARED FOR:  
**OLD FORGE ESTATES**  
 BALDWIN PLACE ROAD  
 TOWN OF CARMEL  
 PUTNAM COUNTY, NEW YORK  
 142 MAP 05.15-1-19

DATE: 12 APR 18  
 PROJECT MANAGER: PNL  
 DRAWN BY: JAW  
 CHECKED BY: PNL  
 SCALE: AS NOTED

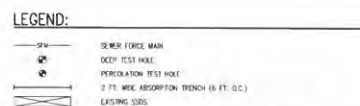
PROJECT NUMBER: 8786  
 DRAWING NUMBER: **C-140**  
 SHEET 10 OF 34



TEST #	RESULT (MIN/FINCH)	DATE OF TEST
1501	3.61	10/18/2016
1502	3.33	10/18/2016
1503	5.0	10/18/2016
1504	13.33	10/18/2016
1504A	7.0	11/18/2016
1504B	7.0	11/18/2016
1505	3.0	10/18/2016
1506	12.0	10/18/2016
1507	6.0	10/18/2016
1508	13.33	10/18/2016
1509	6.0	10/18/2016
1510	3.3	10/18/2016
1510A	3.3	11/18/2016
1510B	3.0	11/18/2016
1511	20.0	10/18/2016
1512	7.0	10/18/2016
1513	4.3	10/18/2016
1514	24.0	10/18/2016
1515	19.0	10/18/2016
1516	3.3	10/18/2016
1517	4.3	9/14/2017

TEST #	TOTAL DEPTH	ROCK DEPTH	WATER DEPTH	NOTING DEPTH	SOIL DESCRIPTION	DATE OF TEST
1501	90"	-	-	-	0'-12" TOPSOIL 12'-30" LIGHT BROWN SANDY LOAM 30'-30" FINE SAND W/SHALL ROCKS	9/14/2017
1502	90"	-	-	-	0'-12" TOPSOIL 12'-30" LIGHT BROWN SANDY LOAM 30'-30" FINE SAND W/SHALL ROCKS	9/14/2017
1503	102"	-	-	-	0'-12" TOPSOIL 12'-15" LIGHT BROWN SANDY LOAM 15'-10" FINE SAND W/SHALL ROCKS	9/14/2017
1504	102"	-	-	-	0'-12" TOPSOIL 12'-15" LIGHT BROWN SANDY LOAM 15'-10" FINE SAND W/SHALL ROCKS	9/14/2017
1504A	90"	-	-	-	0'-12" TOPSOIL 12'-42" LIGHT BROWN SANDY LOAM 42'-80" FINE SAND W/SHALL ROCKS	9/14/2017
1504B	90"	-	-	-	0'-12" TOPSOIL 12'-42" LIGHT BROWN SANDY LOAM 42'-80" FINE SAND W/SHALL ROCKS	9/14/2017
1505	102"	-	-	-	0'-12" TOPSOIL 12'-42" LIGHT BROWN SANDY LOAM 42'-80" FINE SAND W/SHALL ROCKS	9/14/2017
1506	102"	-	-	-	0'-12" TOPSOIL 12'-30" LIGHT BROWN SANDY LOAM 30'-100" FINE SAND W/SHALL ROCKS	9/14/2017
1507	102"	-	-	-	0'-12" TOPSOIL 12'-30" LIGHT BROWN SANDY LOAM 30'-100" FINE SAND W/SHALL ROCKS	9/14/2017
1508	102"	-	-	-	0'-12" TOPSOIL 12'-30" LIGHT BROWN SANDY LOAM 30'-100" FINE SAND W/SHALL ROCKS	9/14/2017
1509	90"	-	-	-	0'-12" TOPSOIL 12'-42" LIGHT BROWN SANDY LOAM 42'-80" FINE SAND W/SHALL ROCKS	9/14/2017
1510	90"	-	-	-	0'-12" TOPSOIL 12'-42" LIGHT BROWN SANDY LOAM 42'-80" FINE SAND W/SHALL ROCKS	9/14/2017
1510A	102"	-	-	-	0'-12" TOPSOIL 12'-42" LIGHT BROWN SANDY LOAM 42'-80" FINE SAND W/SHALL ROCKS	9/14/2017
1510B	102"	-	-	-	0'-12" TOPSOIL 12'-42" LIGHT BROWN SANDY LOAM 42'-80" FINE SAND W/SHALL ROCKS	9/14/2017
1511	102"	-	-	-	0'-12" TOPSOIL 12'-42" LIGHT BROWN SANDY LOAM 42'-80" W/SHALL ROCKS 80'-100" COMPACTED SANDY LOAM	9/14/2017
1512	102"	-	-	-	0'-12" TOPSOIL 12'-42" LIGHT BROWN SANDY LOAM 42'-80" W/SHALL ROCKS 80'-100" COMPACTED SANDY LOAM	9/14/2017
1513	90"	-	-	-	0'-12" TOPSOIL 12'-30" LIGHT BROWN SANDY LOAM 30'-100" SANDY LOAM W/TRACE S&S	9/14/2017
1514	90"	-	-	-	0'-12" TOPSOIL 12'-30" LIGHT BROWN SANDY LOAM 30'-100" W/SHALL ROCKS	9/14/2017
1515	102"	-	-	-	0'-12" TOPSOIL 12'-42" LIGHT BROWN SANDY LOAM 42'-80" W/SHALL ROCKS 80'-100" COMPACTED SANDY LOAM W/TRACE S&S	9/14/2017
1516	90"	-	-	-	0'-12" TOPSOIL 12'-42" LIGHT BROWN SANDY LOAM 42'-80" W/SHALL ROCKS 80'-100" COMPACTED SANDY LOAM	9/14/2017
1517	90"	-	-	-	0'-12" TOPSOIL 12'-42" LIGHT BROWN SANDY LOAM 42'-80" SANDY LOAM	9/14/2017

SYSTEM	SUBSYSTEM	# OF LINES/LENGTH	TOTAL LENGTH OF BENDS
A	A	15 @ 82 L.F.	830 L.F.
		10 @ 61 L.F.	610 L.F.
		SUB TOTAL	1,440 L.F.
B	B1	10 @ 77 L.F.	770 L.F.
		9 @ 80 L.F.	720 L.F.
		3 @ 81 L.F.	243 L.F.
		SUB TOTAL	1,733 L.F.
C	C	8 @ 85 L.F.	680 L.F.
		10 @ 86 L.F.	860 L.F.
		SUB TOTAL	1,540 L.F.
GRAND TOTAL			4,813 L.F.



**ENLARGED SSTS PLAN**

GRAPHIC SCALE  
1" = 30 FEET

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NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	08/01/18	REV PER RE: TO COMMENTS			
2	02/01/19	REV PER RE: TO COMMENTS			

PROPOSED SUBSTATION PLAN PREPARED FOR:  
**OLD FORGE ESTATES**  
BALDWIN PLACE ROAD  
TOWN OF CARMEL  
PUTNAM COUNTY, NEW YORK  
TAX MAP 70.15-11-15

DATE: 12 APR 18  
PROJECT MANAGER:  
DRAWN BY:  
CHECKED BY:  
SCALE:  
AS NOTED

DRAWING: **ENLARGED SSTS PLAN**  
PROJECT NUMBER: 0196  
DRAWING NUMBER: **C-141**  
SHEET 11 OF 34



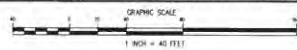
DEEP TEST RESULTS						
HOLE #	TOTAL DEPTH	ROCK DEPTH	WATER DEPTH	NOTING DEPTH	SOIL DESCRIPTION	DATE OF TEST
1617	84"	-	-	-	0-4" TOPSOIL 4"-8" SANDY LOAM 8"-16" CLAY 16"-24" LOAM	10/5/2016
1618	84"	-	-	-	0-4" TOPSOIL 4"-8" SANDY LOAM 8"-16" COMPACTED SANDY LOAM 16"-24" SAND W/ TRACE OF SILT	10/5/2016
1619	84"	-	81.5"	-	0-4" TOPSOIL 4"-8" SANDY LOAM 8"-16" MOIST COMPACT SANDY LOAM 16"-24" SAND W/ TRACE OF SILT	10/5/2016
1620	80"	-	-	-	0-4" TOPSOIL 4"-8" SANDY LOAM 8"-16" MOIST COMPACT SAND W/ SILT	10/5/2016
1621	90"	-	-	-	0-4" TOPSOIL 4"-8" SANDY LOAM 8"-16" SANDY LOAM 16"-24" SAND W/ TRACE OF SILT	10/5/2016
1622	96"	-	-	-	0-4" TOPSOIL 4"-8" LIGHT BROWN SANDY LOAM 8"-16" SANDY LOAM	10/5/2016
1623	88"	-	-	-	0-4" TOPSOIL 4"-8" LIGHT BROWN SANDY LOAM 8"-16" OLD ASPHALT BRICK LAYER 16"-24" COMPACT LOAM W/ CLAY	10/5/2016
1624	80"	-	-	-	0-4" TOPSOIL 4"-8" SANDY LOAM 8"-16" SANDY LOAM 16"-24" SANDY LOAM	10/5/2016
1625	90"	-	-	-	0-4" TOPSOIL 4"-8" LIGHT BROWN SANDY LOAM 8"-16" SANDY LOAM 16"-24" COMPACT SANDY LOAM 24"-36" LOAM W/ CLAY	10/5/2016
1626	93"	-	-	-	0-4" TOPSOIL 4"-8" LIGHT BROWN SANDY LOAM 8"-16" LOAM W/ CLAY	10/5/2016
1627	80"	-	-	-	0-4" TOPSOIL 4"-8" SANDY LOAM 8"-16" SANDY LOAM 16"-24" LOAM W/ CLAY	10/5/2016
1628	84"	-	-	-	0-4" TOPSOIL 4"-8" LIGHT BROWN SANDY LOAM 8"-16" LOAM W/ CLAY	10/5/2016
1629	84"	-	-	-	0-4" TOPSOIL 4"-8" LIGHT BROWN SANDY LOAM 8"-16" LOAM W/ CLAY	10/5/2016
1630	96"	-	-	-	0-4" TOPSOIL 4"-8" LIGHT BROWN SANDY LOAM 8"-16" SANDY LOAM 16"-24" COMPACT SANDY LOAM 24"-36" LOAM W/ CLAY	10/5/2016
1631	96"	-	-	-	0-4" TOPSOIL 4"-8" LIGHT BROWN SANDY LOAM 8"-16" SANDY LOAM 16"-24" COMPACT SANDY LOAM 24"-36" LOAM W/ CLAY	10/5/2016
1632	84"	-	-	-	0-4" TOPSOIL 4"-8" LOAM 8"-16" LOAM 16"-24" BRICKLE W/ SILT	10/5/2016
1633	90"	-	-	16"-42"	0-4" TOPSOIL 4"-8" MEDIUM BROWN SANDY LOAM 8"-16" SANDY LOAM 16"-24" SANDY LOAM 24"-36" SANDY LOAM 36"-42" SANDY LOAM 42"-54" SANDY LOAM 54"-60" SANDY LOAM 60"-72" SANDY LOAM 72"-84" SANDY LOAM 84"-90" SANDY LOAM 90"-96" SANDY LOAM	7/19/2016
1634	90"	-	-	-	0-4" TOPSOIL 4"-8" MEDIUM BROWN COMPACT SAND W/ SOME SILT	7/19/2016
1635	96"	-	-	-	0-4" TOPSOIL 4"-8" LIGHT BROWN SAND W/ SOME SILT 8"-16" MEDIUM BROWN SAND 16"-24" MEDIUM BROWN SAND 24"-36" MEDIUM BROWN SAND 36"-42" MEDIUM BROWN SAND 42"-54" MEDIUM BROWN SAND 54"-60" MEDIUM BROWN SAND 60"-72" MEDIUM BROWN SAND 72"-84" MEDIUM BROWN SAND 84"-90" MEDIUM BROWN SAND 90"-96" MEDIUM BROWN SAND	7/19/2016
1636	90"	-	-	-	0-4" TOPSOIL 4"-8" LIGHT BROWN SAND W/ LITTLE AMOUNT OF SILT 8"-16" MEDIUM BROWN SAND W/ SOME AND SOME SILT AT BOTTOM	7/19/2016
1637	90"	-	-	-	0-4" TOPSOIL 4"-8" LIGHT BROWN SAND W/ LITTLE AMOUNT OF SILT 8"-16" MEDIUM BROWN SAND W/ SILT AND SOME SILT AT BOTTOM	7/19/2016

INFILTRATION TEST DATA		
TEST #	RESULTS (INCH/HOUR)	DATE OF TEST
1617-1619	13.75	11/16/2016
1619-1620	12.25	11/16/2016
1620-1621	5.5	11/16/2016
1621	32.2	11/16/2016
1622	10.25	11/16/2016
1623	18.25	11/16/2016
1624	8.0	11/16/2016
1625	5.5	11/16/2016
1626	90.0	11/16/2016
1627	20.0	11/16/2016
1628	30.0	11/16/2016
1629	27.0	11/16/2016
1630	17.75	7/29/2016
1631	10.9	7/29/2016
1632	5.5	7/29/2016
1633	11.25	7/29/2016
1634	12.5	7/29/2016

LEGEND:  
 SEWER FORCE MAIN

LEGEND:  
 EXISTING CONTOUR  
 EXISTING DRAINAGE LINE  
 EXISTING CATCH BASIN  
 EXISTING WATER LINE  
 PROPOSED HOUSE  
 DEEP TEST HOLE  
 INFILTRATION TEST HOLE

TEST LOCATIONS FOR STORMWATER PRACTICES



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 POTNAM ENGINEERING, PLLC 2018

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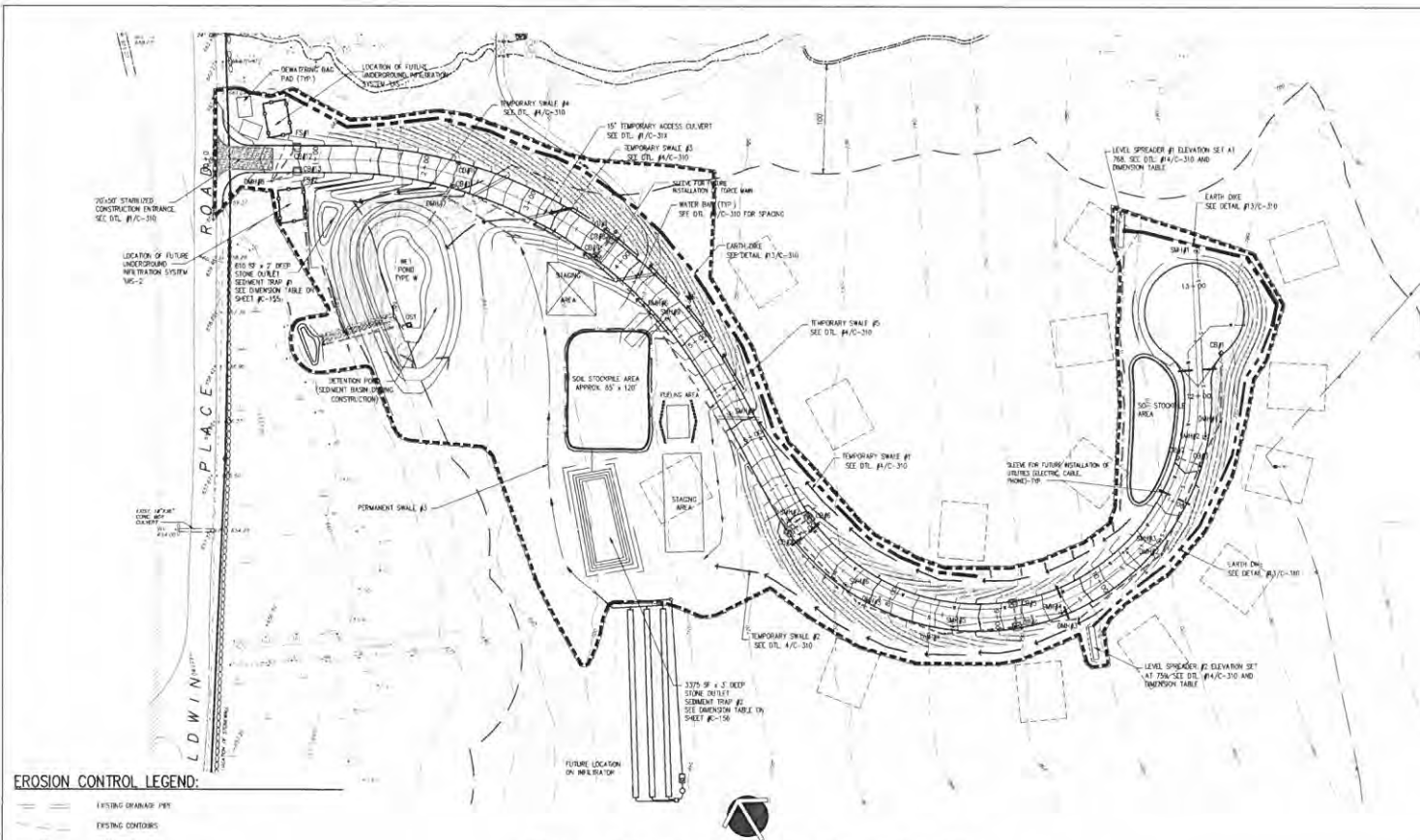
NO.	DATE	DESCRIPTION	REV. DATE	DESCRIPTION
1	10/10/16	REV PER B.R. 3 COMMENTS		
2	10/20/16	REV PER I.C. COMMENTS		

PROJECT:  
 PROPOSED SUBDIVISION PLAN PREPARED FOR:  
 OLD FORGE ESTATES  
 BALDWIN PLACE ROAD  
 TOWN OF CARMEL  
 PUTNAM COUNTY, NEW YORK  
 TAX MAP 75-12-1-19

DATE: 13 APR 18  
 PROJECT MANAGER:  
 DRAWN BY:  
 CHECKED BY:  
 SCALE:  
 AS NOTED

DRAWING:  
 TEST LOCATIONS FOR STORMWATER PRACTICES

PROJECT NUMBER:  
 DRAWING NUMBER:  
**C-142**



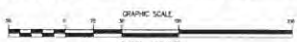
**SEQUENCE OF CONSTRUCTION:**

- PHASE 1A**
- ROAD CONSTRUCTION  
DISTURBANCE AREA = 4.98 AC.
1. SURVEY AND STAKE OUT THE ROAD WITH OFFSETS AND LOCATION OF THE PROPOSED DRAINAGE POND. ESTABLISH LIMITS OF DISTURBANCE AND MARK IN THE FIELD.
  2. INSTALL CONSTRUCTION FENCES ALONG LIMITS OF DISTURBANCE. VEHICLES TO BE INSPECTED AND CLEANED IF REQUIRED. PRIOR TO ENTERING BALDWIN PLACE ROAD.
  3. MARK IN STATION LOCATION OF FUTURE UNDERGROUND INFILTRATION SYSTEMS (U-1) AND U-2. INSTALL CHANGE SAFETY FENCE. MARKING PERMITS USE OF THE PRACTICES. NO EQUIPMENT CAN BE DRIVEN OVER THE FENCE.
  4. INSTALL STABILIZED CONSTRUCTION ENTRANCES AS SHOWN ON THE PLAN.
  5. INSTALL Silt FENCES IMMEDIATELY DOWNWIND OF AREAS OF PROPOSED DISTURBANCE AS SHOWN ON THE PLAN.
  6. INSTALL SAND BEDS FOR PLACEMENT OF SEWERING BAGS. SEE DETAIL #16/16-310. THE SEWERING BAGS SHOULD BE REPLENISHED IF THE CONTRACTOR HAS STANDING WATER IN THEIR BAYS.
  7. GRADE AREA OF PHASE 1 FROM STATION 0+00 TO STATION 15+00 AND BRIDG TO STA. 10+00. USE STUMPS FROM STA. 10+00 TO STA. 15+00 TO BRIDGE. STUMP SPACING FROM STA. 0+00 TO STA. 10+00 SHOULD BE 100 FEET.
  8. BRING IN ALL EQUIPMENT AND MATERIALS NECESSARY TO PERFORM PHASE 1 OF CONSTRUCTION. ESTABLISH STAGING AREA AS SHOWN ON THE PLAN.
  9. EXCAVATE DETENTION POND TO ACT AS TEMPORARY SEDIMENT BASIN PER DETAIL #13/16-310. CONSTRUCT SEDIMENT TRAP #1 LEADING INTO DETENTION POND.
  10. EXCAVATE ROAD BED FOR ADDITIONAL FILL NECESSARY TO CREATE POND EMBANKMENTS. FILL MATERIAL SHALL BE TESTED FROM BOSS. VIBRATION AND COMPACTED STOKES. FILL TO BE PLACED IN 17 INCH LIFTS AND COMPACTED TO 95 PERCENT DRY DENSITY BY MECHANICAL MEANS.
  11. INSTALL OUTLET STRUCTURE #100 ALONG WITH SEWERAGE PIPE. PLUS OUTLET PIPE FROM THE DETENTION BASIN TO DETENTION STRUCTURE.
  12. EXCAVATE STONE OUTLET SEDIMENT TRAPS #1 & #2 WHERE SHOWN ON THE PLAN. REFER TO DIMENSIONAL TABLE ON SHEET #13/16-310 AND DETAIL #13/16-310.
  13. THE SEDIMENT BASIN, SEDIMENT TRAPS AND ALL DISTURBED AREAS MUST BE STABILIZED WITH ONE (1) WEEK FOLLOWING THE EARTHWORK. NO FURTHER CONSTRUCTION IS ALLOWED BEFORE THESE AREAS ARE STABILIZED.
  14. CRUSH THE TEMPORARY SEDIMENT BASIN IS COMPLETE AND STABILIZED. PROCEED WITH WORK.
  15. INSTALL TEMPORARY OUTLET WITH BRUSH BACK TO GO TO REMOTE POND FROM THE OUTLET PIPE FROM THE OUTLET STRUCTURE (U-1).
  16. INSTALL EARTH LINE ALONG NORTHERN PERIMETER OF THE DISTURBANCE FOR THAT PORTION OF THE ROAD LOCATED BETWEEN STA. 0+00 AND STA. 10+00 TO PREVENT EARTH SLOPES FROM UNDESIRABLE SLOPE FORMATION.
  17. EXCAVATE TEMPORARY SWALES #1 AND #2 BETWEEN STA. 0+00 AND 10+00 AS SHOWN ON THE PLAN.
  18. SOULD GRADE THE ROAD BETWEEN STA. 0+00 AND 10+00. EXCAVATE TEMPORARY SWALES #1 AND #2 ALONG THE ROAD SHOULDERS AS ELEVATION PROCESSES AS SHOWN ON THE PLAN.
  19. INSTALL WATER BARS PER DETAIL #15/16-310.
  20. EXCAVATED SOIL TO BE DEPOSITED ON THAT PORTION OF THE ROAD WHERE FILL IS REQUIRED BETWEEN STA. 0+00 AND 10+00. IF THE ADDITIONAL EXCAVATED SOIL SHALL BE STORED AT STAGING AREA SHOWN ON THE PLAN THIS SOIL SHALL BE COVERED WITH PLASTIC FILM OR LOTS 1110R 14. 12/14/12. 3 OF CONSTRUCTION.
  21. STABILIZE ALL DISTURBED AREAS WITHIN ONE (1) WEEK FOLLOWING THE EARTHWORK. NO FURTHER CONSTRUCTION IS ALLOWED BEFORE THESE AREAS ARE STABILIZED. PLACE A HOUSE OF TOPSOIL ON EXPOSED SOIL AND INSTALL EROSION CONTROL BLANKET AS SHOWN IN DETAIL #15/16-310.
  22. EXCAVATE TRENCHES FOR INSTALLATION OF WATER, SEWERAGE AND OTHER PIPES ALONG THE ROAD TO STA. 10+00. INSTALL OTHER MANHOLE BARS & SANDS. INSTALL CATCH BASINS (U-1, U-2, U-3, U-4, U-5) AND OTHER STRUCTURES. INSTALL Silt FENCES IMMEDIATELY UPON COMPLETION OF INSTALLATION OF PIPES AND MANHOLES. EXPOSED SOIL TO BE STABILIZED IMMEDIATELY AFTER BACKFILL. INSTALLATION OF WATER, SEWER AND STUMP PILES SHALL BE PERFORMED CONCURRENTLY.
  23. INLET OF STRUCTURES INSTALLED IN PAVED AREAS SHALL BE SET AT FINISH COURSE ELEVATION PER DETAIL #15/16-310. PROTECT CATCH BASIN FOR CONSTRUCTION DETAIL. THE STRUCTURES ARE NOT TO RECEIVE ANY DOWNWIND FLOW UNTIL ASPHALT FINISH COURSE IS PLACED.
  24. INSTALL SLEW (UNDER THE ROAD NEAR STA. 14+20) FOR FUTURE INSTALLATION OF SEWER FORCE MAIN.
  25. AFTER THE BRUSH WORK IS COMPLETED, INSTALL CONCRETE CURB AND ITEM #4. THE PROPOSED ROAD SHALL BE PAVED WITH FINISH COURSE PER DETAIL #16/16-310 TO STA. 14+10.
  26. STABILIZE ALL DISTURBED AREAS WITHIN ONE (1) WEEK FOLLOWING THE EARTHWORK. NO FURTHER CONSTRUCTION IS ALLOWED BEFORE THESE AREAS ARE STABILIZED.
  27. PROCEED WITH GRADING/STAMPING THE ROAD FROM STA. 10+00 TO THE END (STA. 14+20).
  28. INSTALL ADDITIONAL Silt FENCES WHERE SHOWN ON THE PLAN.
  29. EXTEND TEMPORARY SWALES AS SHOWN ON THE PLAN.
  30. EXCAVATE LEVEL SPREADER #1 AND #2 WHERE SHOWN ON THE PLAN. INSTALL EARTH DIRT ALONG EXISTING PERIMETERS OF THE DISTURBANCE FOR THAT PORTION OF THE ROAD LOCATED BETWEEN STA. 0+00 AND 14+20 TO PREVENT EARTH SLOPES FROM UNDESIRABLE SLOPE FORMATION. FLOW FROM THE DMS SHALL TERMINATE AT THE PROVIDED LEVEL SPREADERS.
  31. CRUSH THE ROAD FROM STA. 14+20 TO STATION 15+00. FILL TO BE PLACED IN 17 INCH LIFTS AND COMPACTED TO 95 PERCENT DRY DENSITY BY MECHANICAL MEANS.
  32. SOULD GRADE ROAD AND C&G-S&C TO STA. 15+20. TRUCK OUT THE EXCAVATED SOIL OFF THE SITE.
  33. CONTINUE WATER BAR INSTALLATION AS ROAD GRADING PROGRESSES.
  34. STABILIZE ALL DISTURBED AREAS WITHIN ONE (1) WEEK FOLLOWING THE EARTHWORK. NO FURTHER CONSTRUCTION IS ALLOWED BEFORE THESE AREAS ARE STABILIZED. PLACE A HOUSE OF TOPSOIL ON EXPOSED SOIL AND INSTALL EROSION CONTROL BLANKET AS SHOWN IN DETAIL #15/16-310.
  35. EXCAVATE TRENCHES FOR INSTALLATION OF WATER, SEWERAGE AND OTHER PIPES ALONG THE ROAD FROM STA. 14+20 TO STA. 15+00. INSTALL OTHER MANHOLE BARS & SANDS. INSTALL CATCH BASINS (U-1, U-2, U-3, U-4, U-5) AND OTHER STRUCTURES. INSTALL Silt FENCES IMMEDIATELY UPON COMPLETION OF INSTALLATION OF PIPES AND MANHOLES. EXPOSED SOIL TO BE STABILIZED IMMEDIATELY AFTER BACKFILL. INSTALLATION OF WATER, SEWER AND STUMP PILES SHALL BE PERFORMED CONCURRENTLY.
  36. INLET OF STRUCTURES INSTALLED IN PAVED AREAS SHALL BE SET AT FINISH COURSE ELEVATION PER DETAIL #16/16-310. PROTECT CATCH BASIN FOR CONSTRUCTION DETAIL. THE STRUCTURES ARE NOT TO RECEIVE ANY DOWNWIND FLOW UNTIL ASPHALT FINISH COURSE IS PLACED.
  37. AFTER THE BRUSH WORK IS COMPLETED, INSTALL CONCRETE CURB AND ITEM #4. THE PROPOSED ROAD SHALL BE PAVED WITH FINISH COURSE PER DETAIL #16/16-310 TO STA. 15+20. 1533 S&M MARKS AND MANHOLES.
  38. NO FURTHER CONSTRUCTION IS ALLOWED BEFORE ALL DISTURBED AREAS AS DESCRIBED IN PHASE 1 OF CONSTRUCTION ARE STABILIZED.

**EROSION CONTROL LEGEND:**

- EXISTING DRAINAGE PIPE
- EXISTING CONTOURS
- PROPOSED CONTOURS
- STABILIZED CONSTRUCTION ENTRANCE
- TEMPORARY STAGING AREA
- LIMITS OF DISTURBANCE
- EARTH DIRT
- TEMPORARY SOIL STOCKPILE
- INLET PROTECTION
- SILT FENCE
- EROSION CONTROL BLANKET
- CONSTRUCTION FENCE
- ORANGE SAFETY FENCE
- CHECK DAM
- LEVEL SPREADER
- TEMPORARY SWALE

**EROSION & SEDIMENT CONTROL PLAN - PHASE 1A**



**TEMPORARY SEDIMENT TRAP & BASIN VOLUMES**

1. SEDIMENT BASIN  
CONTROLLING AREA AT PHASE 1 - 1.05 AC.  
REQUIRED VOLUME (ALL PHASES) = 30,500 OF VOLUME PROVIDED - 48,000 OF VOLUME REMOVAL ELEVATION - 475.29
2. SEDIMENT TRAP #1  
CONTROLLING AREA = 0.22 AC.  
REQUIRED VOLUME = 3000 OF PER ACRE = 672 ACRES = 792 OF VOLUME PROVIDED - 795 OF VOLUME REMOVAL ELEVATION - 493.20
3. SEDIMENT TRAP #2  
CONTROLLING AREA = 0.71 AC.  
REQUIRED VOLUME = 3000 OF PER ACRE = 0.71 ACRES = 2556 OF VOLUME PROVIDED - 795 OF VOLUME REMOVAL ELEVATION - 492.67

**TEMPORARY SWALE DIMENSIONAL CHART**  
REFER TO DETAIL #16/16-310

SWALE #	BOTTOM WIDTH (FT)	DEPTH (FT)	SIDE SLOPE (H/V)	LENGTH (FT)	DEPTH (IN)
1	1.0	0.75	2:1	730	19.0
2	1.0	0.75	2:1	880	19.0
3	1.0	1.0	2:1	500	11.7
4	1.0	0.75	2:1	360	2.3
5	1.0	1.20	2:1	170	2.1

**LEVEL SPREADER DIMENSIONS**  
REFER TO DETAIL #16/16-310

LEVEL SPREADER	DEPTH (IN)	WIDTH (FT)	LENGTH (FT)
1	0.37	6	10
2	2.18	6	20

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POTNAM ENGINEERING, P.C. 001

**REVISIONS**

NO.	DATE	DESCRIPTION	BY	DATE	DESCRIPTION
1	11/01/11	REV. PER B.E. TO COMPLY WITH NYS E.A.C. 2011	B.E.		
2	11/01/11	REV. PER B.E. COMMENTS	B.E.		

**PROJECT**

PROPOSED SUBDIVISION PLAN PREPARED FOR:	PROJECT NUMBER:
OLD FORGE ESTATES	6786
BALDWIN PLACE ROAD	DRAWING NUMBER:
TOWN OF CARMEL	C-150
PULNAM COUNTY, NEW YORK	
160 MAP 73-12-1-17	

**DRAWING**

DATE: 12 APR 10  
PROJECT MANAGER: [Signature]  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]  
SCALE: AS NOTED

**EROSION and SEDIMENT CONTROL PLAN PHASE 1A**

SHEET 13 OF 34



**SEQUENCE OF CONSTRUCTION:**

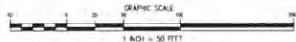
- PHASE 1 B  
DISTURBANCE AREA - 1.99 AC.
1. INSTALL CONSTRUCTION FENCING AND SILT FENCING IN THE LOCATIONS SHOWN ON THIS PLAN.
  2. SUPERVISOR TO FIELD STAKE PORTIONS OF MAINTENANCE DRIVE THAT NEEDS TO BE CONSTRUCTED.
  3. CONTRACTOR TO CUT IN MAINTENANCE ACCESS DRIVE OFF SORRENSON ROAD AT STATION 44+25. INSTALL CONSTRUCTION ENTRANCE. EXTEND STONE DRIVING COURSE TO TOP OF EMBANKMENT PAST N.W. 2.
  4. CONTRACTOR TO EXCAVATE FOR AND INSTALL ABUTMENTS FOR STREAM CROSSING AND INSTALL STEVELTS UNDER STREAMS FOR FORCE MAINS TO BE FILLED THROUGH. IF THE STREAM AND STEELWATS IS DRY, THE CONTRACTOR CAN EXCAVATE AND INSTALL SLEEVES FOR FORCE MAIN. IF THERE IS WATER RUNNING THE CONTRACTOR WILL HAVE TO EXCAVATE 2 FEET ON BOTH SIDES OF STREAM TO THE-RAIN SLEEVES FROM ONE SIDE TO THE OTHER.
  5. INSTALL PRE-CAST CONCRETE SLAB OVER ABUTMENTS.
  6. CONTRACTOR TO CLEAR (CUT TREES, BRUSH) WHERE THE MAINTENANCE DRIVE WILL DEVIATE FROM THE EXISTING TRAIL WAY.
  7. CONTRACTOR TO CUT AND CLEAR FOR SEPTIC AREAS A, B AND C.
  8. CONTRACTOR TO GRUB (STUMP) SYSTEM A AND B AND HAUL STUMPS OFF SITE. STORE TOPSOIL WHERE SHOWN.
  9. CONTRACTOR TO HAUL 450 YDS OF R.O.B. TO SYSTEM A AND B AND INSTALL FOR LEVELING PURPOSES.
  10. CONTRACTOR TO INSTALL SYSTEM 'A' FIELDS FOLLOWED BY SYSTEM 'B' FIELDS, DISTRIBUTION BOXES AND FORCE MAINS.
  11. HAVE SURVEYOR FIELD SURVEY FIELD INSTALLATIONS, DISTRIBUTION BOXES AND FORCE MAIN. PROVIDE PERMANENT TIES (MONUMENTS) FOR AS-BUILT.
  12. HAVE P.C.H.D. INSPECT FIELD INSTALLATIONS. ONCE APPROVED, BACKFILL, TOPSOIL, SEED AND MULCH.
  13. MOVE TO SYSTEM 'C' AND REPEAT STEPS 8-12.
  14. CONTRACTOR TO INSTALL THE 3 FORCEMAINS AND PRESSURE GROUT SLEEVE IN WHICH FORCEMAIN INSTALLED UNDER STREAM. 30 LIT. MIN. WITH 10' BEYOND STREAM BANK MIN. IF FORCEMAIN WAS TRENCHED (CAN ENCASE IN CONCRETE, SAME LENGTH, THERE ARE TO BE NO JOINTS 20 FEET FROM STREAM CENTER LINE IN BOTH DIRECTIONS.
  15. CONTRACTOR TO EXCAVATE AND INSTALL GEOPRISM PAVEMENT SYSTEM (LARGE CELL) AS MANUFACTURED BY PRESTO GEOSYSTEMS OR APPROVED EQUAL.
  16. SEED AND MULCH ALL DISTURBED AREAS.

**EROSION CONTROL LEGEND:**

- EXISTING DRAINAGE PIPE
- EXISTING CONTOURS
- PROPOSED CONTOURS
- STABILIZED CONSTRUCTION ENTRANCE
- TEMPORARY STAGING AREA
- LIMITS OF DISTURBANCE
- EARTH BANK
- TEMPORARY SOIL STOCKPILE
- SILT FENCE
- EROSION CONTROL BLANKET
- CONSTRUCTION FENCE
- ORANGE SAFETY FENCE
- CATCH DAM
- LEVEL SPREADER
- TEMPORARY TRAIL



**EROSION & SEDIMENT CONTROL PLAN - PHASE 1B**



**POTNAM ENGINEERING, P.C.**  
ENGINEERS - ARCHITECTS  
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POTNAM ENGINEERING, P.C. 2018

PURSUANT TO NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7-209 SUBSECTION 2, "I" IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. TO ALTER AN ITEM IN ANY WAY, IF AN ITEM BEARING THE SEAL OF AN ENGINEER IS ALTERED, THE ALTERATION ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL, AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

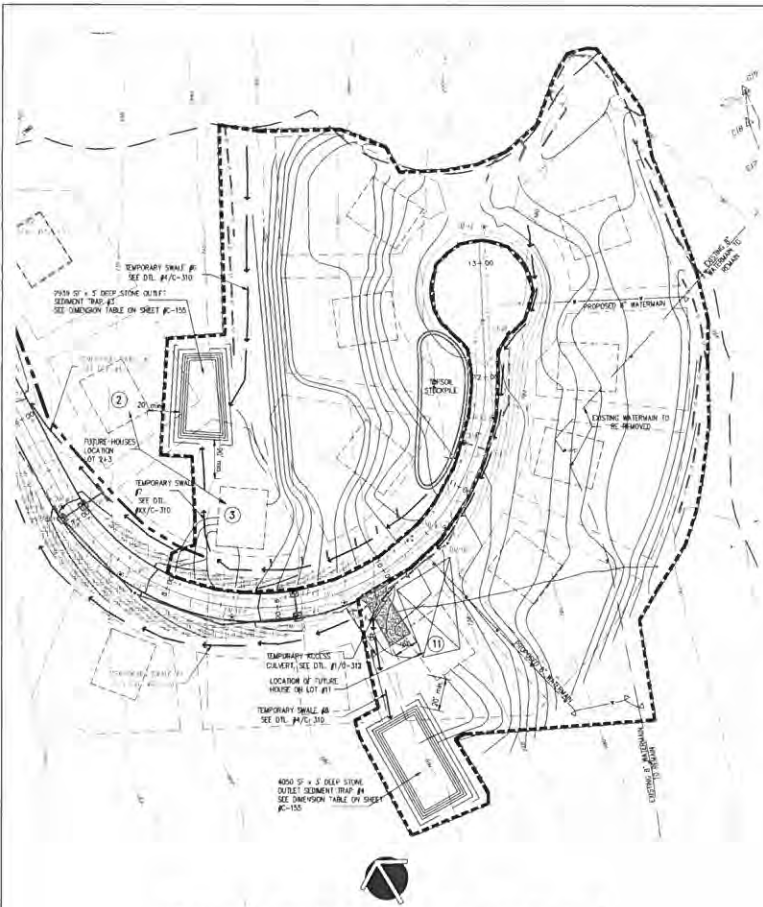
REV. NO.	DATE	DESCRIPTION	BY	DATE	DESCRIPTION
1	08/01/18	REV PER B.C. 27 COMMENTS			
2	08/01/18	REV PER I.C. COMMENTS			

PROJECT: PROPOSED SUBDIVISION PLAN PREPARED FOR  
**OLD FORGE ESTATES**  
BALDWIN PLACE ROAD  
TOWN OF CARMEL  
PUTNAM COUNTY, NEW YORK  
184 MAP 75.13-1-13

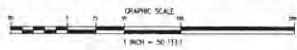
DATE: 12 APR 18  
PROJECT MANAGER: PNE  
DRAWN BY: JAK  
CHECKED BY: PNE  
SCALE: AS NOTED

EROSION and SEDIMENT CONTROL PLAN PHASE 1B

PROJECT NUMBER: PONE  
DRAWING NUMBER: C-151  
SHEET 14 OF 34



EROSION & SEDIMENT CONTROL PLAN - PHASE 2



TEMPORARY SEDIMENT TRAP VOLUMES

1. SEDIMENT TRAP #1  
CONTRIBUTING AREA - 1.0 AC  
REQUIRED VOLUME - 3600 OF PER ACRE 3.15 ACRES = 8640 CF  
PROVIDED - 5000 CF  
SEDIMENT REMOVAL EFFICIENCY - 736.66
2. SEDIMENT TRAP #2  
CONTRIBUTING AREA - 2.5 AC  
REQUIRED VOLUME - 8625 OF PER ACRE 4.25 ACRES = 9000 CF  
PROVIDED - 8800 CF  
SEDIMENT REMOVAL EFFICIENCY - 754.65

SEQUENCE OF CONSTRUCTION:

PHASE 2

1. ESTABLISH LIMITS OF DISTURBANCE AND MARK IN THE FIELD. INSTALL CONSTRUCTION FENCE ALONG LIMITS OF DISTURBANCE.
2. INITIAL STABILIZED CONSTRUCTION ENTRANCE NEAR STA. 10+00 OF THE CONSTRUCTED ROAD. INSTALL TEMPORARY ACCESS GLEYS FOR FUTURE TEMPORARY DRIVE OR OVERLOOKS THE STABILIZED CONSTRUCTION ENTRANCE. REFER TO DETAIL #1/C-212.
3. INSTALL ADDITIONAL SILT FENCE IMMEDIATELY DOWNWIND OF AREAS OF PROPOSED DISTURBANCE AS SHOWN ON THE PLAN.
4. CLEAR AND GRUB AREAS OF PHASE 2 TO THE LIMITS OF DISTURBANCE SHOWN ON THE PLAN.
5. BRING IN ALL EQUIPMENT AND MATERIALS NECESSARY TO PERFORM PHASE 2 OF CONSTRUCTION. ESTABLISH STAGING AREA AS SHOWN ON THE PLAN. CONTRACTOR WILL CONTINUE TO USE YARD AREA AND FIELDING AREA ESTABLISHED IN PHASE 1.
6. CLEAR AND PREPARE AREA FOR THE PROPOSED CONSTRUCTION. STRIP TOPSOIL AND STORE USABLE ORGANIC MATERIAL AT SITESIDE. PROMOTE SLOPED PROTECTION PER DETAIL #1/C-310.
7. STAKE OUT CORNERS OF THE FUTURE HOUSES ON LOTS #1, 2 & 4 AS SHOWN ON THE PLAN. EXCAVATE SEDIMENT TRAPS #1 & 2. THE TRAPS SHALL NOT BE LOCATED CLOSER THAN 30 FEET FROM THE STAKE OUT BUILDING CORNER.
8. EXCAVATE TEMPORARY SWALES #1, 7 & 8.
9. STAKE OUT ALL DISTURBED AREAS AS INDICATED IN "STABILIZATION NOTES" WITHIN ONE (1) WEEK FOLLOWING THE FURNISHING. NO FURTHER CONSTRUCTION IS ALLOWED BEFORE THESE AREAS ARE STABILIZED.
10. CONTRACTOR TO START OFF-SITE OPERATIONS.
11. EXCAVATE THE 30' EAST OF THE CONSTRUCTED ROAD. REPORT EXCAVATED SOIL WEST OF THE PROPOSED ROAD. TRUCKS SHALL NOT CROSS THE ROAD. THE SOIL TRANSPORTATION SHALL BE COME OVER LAND NORTH OF THE COL-SE-LAC.
12. INSTALL WATERMAN SEDIMENTS FROM AREAS TO THE EXISTING WATERMAN AS OBTAINED IN WATERMAN INSTALLATION SEQUENCE OF CONSTRUCTION. PERFORM TESTING AND THEN RE-IN AS EXCAVATION PROGRESSIVE REMOVE ADJACENT SECTION OF WATERMAN.
13. CREATE YARDS AND BRACING PANS FOR THE FUTURE HOME CONSTRUCTION. WHERE FILL IS NEEDED TO CREATE PANS IT SHOULD BE FREE FROM ROCKS, WIRE FENCE AND OVERSIZED STONES. FILL TO BE PLACED IN 12" MAX LIFTS. AND COMPACTED TO 95 PERCENT AIR DENSITY BY MECHANICAL MEANS.
14. STABILIZE ALL AREAS DESIGNATED IN PHASE 2 OF CONSTRUCTION AS DESCRIBED IN "STABILIZATION NOTES" WITHIN ONE (1) WEEK FOLLOWING THE FURNISHING. NO FURTHER CONSTRUCTION IS ALLOWED BEFORE THESE AREAS ARE STABILIZED.

ON-SITE POLLUTION CONTROL MEASURES:

1. THERE SHALL BE A RECEIPTABLE PLACED ON THE SITE TO TEMPORARILY STORE GARBAGE, DEBRIS OR CONSTRUCTION WASTE MATERIAL. NO GARBAGE SHALL NOT BE USED TO STRENGTHEN AND CHANGING FROM ANY OTHER OFF-SITE ACTIVITY.
2. THE RECORD OWNER SHALL BE RESPONSIBLE FOR KEEPING THE SITE FREE OF LITTER AT ALL TIMES DURING CONSTRUCTION ACTIVITIES. THE OWNER MAY designate a CONTRACTOR IN CHARGE AS A RESPONSIBLE PARTY.
3. THE SITE SHALL BE INSPECTED AT THE END OF EACH WORKDAY AND TRASH, DEBRIS AND GARBAGE SHALL BE PROUDLY AND PLACED IN ON-SITE DUMPSTERS OR OTHERWISE REMOVED FROM THE SITE.
4. A PORTABLE TOILET FACILITY SHALL BE PROVIDED FOR CONSTRUCTION WORKERS AND AN ADDITIONAL FACILITY FOR FIRST TO USE WORKERS.
5. CONSTRUCTION VEHICLES SHALL BE SERVICED OFF-SITE AT A PROPER FACILITY. LEAKING OR ALL REPAIRED VEHICLES SHALL NOT BE LOCATED ON THE SITE. NO OIL CHANGES ARE PERMITTED ON THE FIELDING OR VEHICLES ON SITE. SHALL BE CAREFULLY PERFORMED WITH AN APPROVED CATCHER NOZZLE HOSE AND FLAMMABLE SPILLS SHALL PROMPTLY BE REPORTED TO THE AGENCY AND TOWN. OIL ABSORBENT PADS AND ROLLS SHALL BE USED TO TEMPORARILY CONTAIN ANY SPILLS.
6. CHEMICAL SOLID ADDITIVES OR HERBICIDES SHALL NOT BE USED ON SITE DURING CONSTRUCTION.
7. THE CONTAINERS SHALL BE OF SUFFICIENT SIZE FOR THE CONSTRUCTION ACTIVITY. CONTAINERS SHALL BE CAPPED BY AN APPROVED CARTER TO A PROPER FACILITY WHEN FULL. CONTAINERS SHALL BE COVERED TO PREVENT RE-EMISSION OF FUMES AND TO PREVENT WIND BLOWING DEBRIS AWAY.
8. PAINTS, CHEMICALS OR OTHER TOXIC SUBSTANCES SHALL NOT BE PLACED IN TRASH CONTAINERS. PAINTS, CHEMICALS OR TOXIC SUBSTANCES SHALL BE REMOVED FROM SITE BY AN APPROVED LICENSED CARTER.
9. THERE SHALL BE NO OPEN FIRES OR BARRIERS FIRE PERMITTED.
10. COPIES OF MSDS FILES ARE AND REMOVED. MSDS SHALL BE PLACED IN CONTAINERS. TEMPORARY FILES OF OILS OR FLAMMABLES SHALL BE PROTECTED BY SILT FENCE DURING TO TOPSOIL STORAGE.

VEHICLE & EQUIPMENT FUELING and WET NOZZLE REPORT:

- DESCRIPTION AND PURPOSE:**  
VEHICLE AND EQUIPMENT FUELING PROCEDURES AND PRACTICES ARE DESIGNED TO PREVENT FUEL SPILLS AND LEAKS, AND MINIMIZE AIR POLLUTANT CONTAMINATION OF ENVIRONMENT. THIS CAN BE ACCOMPLISHED BY FUELING IN DESIGNATED AREAS ONLY. IMPLEMENTING SPILL CONTROL AND TRAINING PROCEDURES, AND SUBCONTRACTORS IN FUELING PROCEDURES.
- SUITABLE PROCEDURES:**  
THESE PROCEDURES ARE SUITABLE ON ALL CONSTRUCTION SITES WHERE VEHICLE AND EQUIPMENT FUELING TAKE PLACE.
- LIMITATIONS:**  
SHORT VEHICLE AND EQUIPMENT FUELING SHOULD ONLY BE USED WHEN IT IS NECESSARY TO FUEL VEHICLES AND EQUIPMENT OFF-SITE FOR FUELING.
- IMPLEMENTATION:**
- 1. DISCOURAGE "TOPPING-OFF" OF FUEL TANKS.
  - 2. ABSORBENT SPILL CLEANUP MATERIALS AND SPILL KITS SHALL BE AVAILABLE IN FUELING AREAS AND ON FUELING TRUCKS, AND SHOULD BE ACCESSIBLE TO PROPER WATER USE.
  - 3. WIP PANS OR ABSORBENT PADS SHOULD BE USED DURING VEHICLE AND EQUIPMENT FUELING, UNLESS THE FUELING IS PERFORMED OVER AN IMPROVED SURFACE IN A DEDICATED FUELING AREA.
  - 4. USE ABSORBENT MATERIALS ON SMALL SPILLS. DO NOT WASH DOWN OR BURY THE SPILL. REMOVE THE ABSORBENT MATERIALS PROMPTLY AND STORE OF PROPERLY.
  - 5. AVOID SPILLAGE OF FUEL OR OIL. CLEAN UP EQUIPMENT EQUIPMENT AROUND THE SITE. REMOVE THE EQUIPMENT TO DESIGNATED FUELING AREAS. WITH THE EXCEPTION OF TRACKED EQUIPMENT SUCH AS BACKHOES AND CASE LOADERS, MOST VEHICLES SHOULD BE ABLE TO TRAVEL TO A DESIGNATED AREA WITH LITTLE TO NO TIE.
  - 6. EMPLOYEES AND SUBCONTRACTORS SHALL BE TRAINED IN PROPER FUELING AND CLEANUP PROCEDURES.
  - 7. WHEN FUELING MUST TAKE PLACE OUTSIDE, DESIGNATE AN AREA AWAY FROM DRAINAGE COURSES TO BE USED.
  - 8. DEDICATED FUELING AREAS SHOULD BE PROTECTED FROM STORMWATER RUNOFF AND RUNOFF, AND SHOULD BE LOCATED AT LEAST 50 FEET AWAY FROM DOWNSTREAM DRAINAGE FACILITIES AND WATERCOURSES. FUELING MUST BE PERFORMED ON LEVEL-GRADE AREAS.
  - 9. PROTECT FUELING AREAS WITH BARRIERS AND DUES TO PREVENT RUNOFF, RAINFALL, AND TO CONTAIN SPILLS.
  - 10. NOZZLE GUARDS ON VEHICLE AND EQUIPMENT SHOULD BE EQUIPPED WITH AN AUTOMATIC SHUT-OFF TO CONTROL SPILLS. FUELING OPERATIONS SHOULD NOT BE LEFT UNATTENDED.
  - 11. FEDERAL, STATE AND LOCAL REGULATIONS SHOULD BE OBSERVED FOR ANY STATIONARY ABOVE GROUND STORAGE TANKS.

- INSPECTION AND MAINTENANCE:**
- 1. VEHICLES AND EQUIPMENT SHOULD BE INSPECTED EACH DAY FOR LEAKS. LEAKS SHOULD BE REPAIRED IMMEDIATELY OR IN PREVIEW VEHICLES OR EQUIPMENT SHOULD BE REMOVED FROM THE PROJECT SITE.
  - 2. KEEP AREAS SURFACE OF SPILL CLEANUP MATERIALS ON-SITE.
  - 3. IMMEDIATELY CLEAN UP SPILLS AND PROMPTLY DEPOSE OF CONTAMINATED SOIL AND CLEANUP MATERIALS.

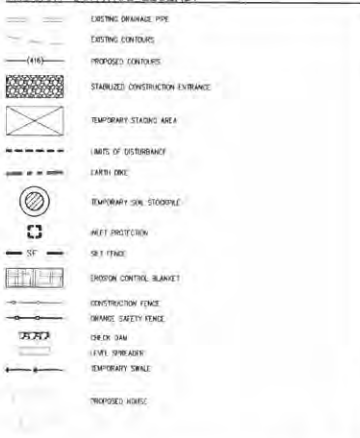
STABILIZATION NOTES:

1. TEMPORARY VEGETATIVE COVER:
- A. SCARP CONTACTED SOIL AREAS.
  - B. LIME AS REFERRED TO IN #3.
  - C. FERTILIZER WITH 10-10-10 AT RATE 200 LBS/AC.
  - D. INCORPORATE AMENDMENTS INTO SOIL WITH 6" DEEP HARROW.
  - E. SEED AS FOLLOWS:
- |                                 |           |
|---------------------------------|-----------|
| SPRINGS/SHRUBBERY FULL PLANTING | 10 LBS/AC |
| WOODLAND                        | 10 LBS/AC |
| GRASS                           | 20 LBS/AC |
| HERNANDIA BLUE GRASS            | 20 LBS/AC |
| CRESTED RED TIPSICLE            | 20 LBS/AC |
| RED TOP OR FINE GRASS           | 20 LBS/AC |
2. PERMANENT VEGETATIVE COVER:
- A. GRASS TO FINISHED SLOPES.
  - B. SCARP CONTACTED SOIL AREAS.
  - C. TOPSOIL WITH NOT LESS THAN FOUR (4) INCHES OF SUITABLE TOPSOIL MATERIAL.
  - D. LIME AS REFERRED TO IN #3.
  - E. FERTILIZER WITH 10-10-10 AT RATE 200 LBS/AC.
  - F. SEED AS FOLLOWS:
- |   |      |                 |        |
|---|------|-----------------|--------|
| TYPE 1 (FOR USE ON WORKED AREAS (INCLUDING SWALES)) | SIZE | SEED            | LBS/AC |
|   | 1/2" | 100% BLUE GRASS | 20     |
|   | 3/4" | 50% BLUE GRASS  | 20     |
|   | 1"   | 50% BLUE GRASS  | 20     |
- TYPE 2 (FOR USE ON BROWN SOIL SLOPES AND ON NON-WORKED AREAS. USE "TERRAZO" SEED MIX (LATEST CONSTRUCTION SEEDS LIST) OR EQUIVALENT SEEDS PROVIDED BY THE NY STATE AGRICULTURE AND MARKET BUREAU (SEE LISTING BELOW). APPLICATION RATE IS LBS/ACR.)
- |                                |           |                   |
|--------------------------------|-----------|-------------------|
| SPRING/SHRUBBERY FULL PLANTING | 10 LBS/AC | OF USE SHAWNOCK   |
| WOODLAND                       | 10 LBS/AC | BLACK EYED PEANUT |
| GRASS                          | 20 LBS/AC | PERMANENT PEA     |
| HERNANDIA BLUE GRASS           | 20 LBS/AC | PERMANENT PEA     |
| CRESTED RED TIPSICLE           | 20 LBS/AC | PERMANENT PEA     |
3. MULTIFUNCTION AREAS TO BE WORKED UNDER PER YEAR IN LATE FALL.
4. MAINTAIN SEED WITH 2 TONS OF STRAW PER ACRE. ANCHOR AS NEEDED.
5. FOR DISTURBED AREAS WITH SLOPE GREATER THAN 1% OR ON BROWN SOILS ARE EQUAL TO 1% OR MORE AND THE HEIGHT OF THE SLOPE EXCEEDS 5', INSTALL A MAINTAIN EROSION CONTROL BLANKET SHALL BE USED.
6. FOR GRASSING AND PLANTING WITHIN THE MICROPORE, EXPANDED TENDON FIBER. REFER TO DRAWING 610-100000 (EROSION CONTROL BLANKET LAMINATION PLAN).
7. AFTER ESTABLISHMENT OF SOILS, ANNUOUS AERATION/PHOSPHORUS BARRIERS FERTILIZERS SHALL NOT BE USED. ONLY NON-PHOSPHORUS BARRIERS FERTILIZERS MAY BE APPLIED TO THE LANDS AND GRASSES AREAS.

GENERAL NOTES:

1. THE SITE SHALL BE INSPECTED ONLY WHEN NECESSARY. ONLY THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED ON MORE THAN 5 ACRES AT ANY ONE TIME DURING DEVELOPMENT. WHEN LAND IS EXPOSED, THE EXPOSURE SHALL BE KEPT TO THE SMALLEST PRACTICAL PERIOD OF TIME BY IMMEDIATE STABILIZATION PER THE STABILIZATION NOTES. UNLESS SPECIFIED OTHERWISE. ALL DISTURBED AREAS ARE CONSIDERED "STABILIZED" WHEN THE SIZE OF EXPOSED AREA MEETS THE COVER & COVERED OR EQUIPMENT STABILIZATION MEASURES (SOILS, LIME, AMENDMENTS, FERTILIZER, SEEDS, ETC.) HAVE BEEN PROPERLY APPLIED. NO WORK SHALL CONTINUE BEFORE THESE MEASURES IS ESTABLISHED.
2. MINORER FLOODABLE, NATURAL OBSTACLES SHALL BE REMOVED OR PROTECTED.
3. AREA LANDING/WORKING (WHERE SOIL IS TO BE LEFT EXPOSED FOR MORE THAN THIRTY DAYS) SHALL BE STABILIZED WITH OTHER TEMPORARY OR PERMANENT VEGETATIVE COVER. TEMPORARY COVER SHALL BE USED WHEN THE PROJECT SCHEDULE DOES NOT CONFORM WITH THE OPTIMAL PLANTING SEASON. IN GENERAL, OPTIMAL PLANTING TIMES FOR GRASSES ARE MARCH 15 TO MAY 31ST AND SEPTEMBER 1ST TO NOVEMBER 15TH. DURING OPTIMAL PLANTING TIMES PERMANENT VEGETATIVE COVER WILL BE INSTALLED. SEE SPECIFICATIONS FOR FURTHER DETAILS.
4. THE PROJECT OWNER / DEVELOPER OR DESIGNATED REPRESENTATIVE SHALL ARRANGE A PRE-CONSTRUCTION MEETING WITH ALL INVOLVED REVIEW AGENCIES AND ENGINEERS OF RECORD PRIOR TO START OF CONSTRUCTION ACTIVITIES.
5. TEMPORARY MEASURES SHALL BE MAINTAINED BY PROJECT OWNER / DEVELOPER OR A DESIGNATED REPRESENTATIVE (AS PER THE SPECIAL CONTRACT) DURING THE ENTIRE CONSTRUCTION PERIOD AND AFTER. RESPONSIBILITIES ARE TRANSFERRED TO THE HOMEOWNER ASSOCIATION (HWA) WHEN THE FINAL CHARGE OF ALL MAINTENANCE ACTIVITIES OF THE HOMEOWNER ASSOCIATION (MANAGEMENT) REPRESENTATIVES AND CONTRACTORS.
6. THE PROJECT OWNER / DEVELOPER OR DESIGNATED REPRESENTATIVE SHALL RETAIN THE SERVICE OF QUALIFIED PROFESSIONAL ENGINEER, LICENSED PROFESSIONAL GEOMORPHOLOGICAL ENGINEER, A GEOTECHNICAL ENGINEER OR SOIL SCIENTIST TO PERFORM SOIL INSPECTIONS DURING THE CONSTRUCTION PERIOD AND FINAL SOIL INSPECTIONS AT PROJECT COMPLETION.
7. THE CONTRACTOR SHALL MAKE AVAILABLE ON-SITE ALL EQUIPMENT, MATERIALS AND LABOR NECESSARY TO EFFECT EXISTING REPAIR AND REPLACEMENT OF THE EROSION CONTROL MEASURES.
8. SOIL INSPECTIONS DURING CONSTRUCTION PERIOD SHALL BE PERFORMED AT LEAST EVERY 7 CALENDAR DAYS AND MORE BY MEANS OF THE LAND OR A STATION ENGINEER OR SOIL SCIENTIST DURING WHICH, IF THE INSPECTION IS COMPLETELY SUFFICIENT AND THE SITE IS PROPERLY STABILIZED, INSPECTION REPORTS MAY BE PROVIDED. BUT SHALL MAINTAIN A MINIMUM OF MONTHLY INSPECTIONS IN ALL SITUATIONS (FROM WHEN IS TOTAL WINTER SHUT-DOWN) DURING PERIODS OF HEAVY ACCELERATION FREQUENTLY INSPECTIONS WILL BE DONE AFTER EVERY CORNER (FOR USE PURPOSES OF GREATER) IS NOT ALLOWED TO REMAIN UNINSPECTED. FURTHERMORE, THE OPERATOR MUST COMPLETE STABILIZATION ACTIVITIES (PREPARE CONTRACTS, PLANT, HARROW, ETC.) BEFORE PROPER INSTALLATION IS COMPLETED. IN SOME CASES, PROTECTIVE EROSION CONTROL MEASURES (GRADES, PLANTING, AND/OR SOILING) MUST BE SCHEDULED TO AVOID SHUT-OFF FROM FALL PROBLEMS AND ALLOW FOR PROPER REPAIR/RE-ESTABLISHMENT.
9. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING SLOTT BY SPRINKLING EXPOSED AREAS PERIODICALLY WITH WATER.
10. THE PROJECT OWNER / DEVELOPER OR DESIGNATED REPRESENTATIVE SHALL KEEP INSPECTION RECORDS AND LOGS FOR THE SITE. A QUALIFIED INSPECTION ACTIVITY SHALL BE PROVIDED AT A PUBLICLY ACCESSIBLE AREA OF THE SITE ON A MONTHLY BASIS.
11. PRIOR TO START OF CONSTRUCTION ACTIVITIES, THE PROJECT OWNER / DEVELOPER OR DESIGNATED REPRESENTATIVE SHALL NOTIFY THE INSPECTION LOG THAT A CATCHER HAS BEEN INSTALLED FOR THE PROJECT AND CONFORM TO ALL FEDERAL, STATE AND LOCAL PROGRAM & GENERAL CONTROL REQUIREMENTS.
12. THE PROJECT OWNER / DEVELOPER OR DESIGNATED REPRESENTATIVE SHALL PROVIDE A PHONE NUMBER TO THE TOWN OF CARMEI FOR USE IN EMERGENCY SITUATIONS.
13. THE OWNER DEVELOPER SHALL MAINTAIN THE CONSTRUCTION SITE FREE OF DEBRIS, LITTER AND CONSTRUCTION CHANGES. A DUMPSTER SHALL BE LOCATED ON THE SITE AND PICK-UP ARRANGED WITH THE TOWN.

EROSION CONTROL LEGEND:



TEMPORARY SWALE DIMENSIONAL CHART

REFER TO DETAIL #1/C-310

SWALE #	BOTTOM WIDTH (FT)	DEPTH (FT)	SOIL SLOPE (VERT: HORIZ)	LENGTH (FT)	SLOPE (%)
1	1.0	0.75	2:1	750	11.8
2	1.0	0.75	2:1	810	11.8
3	1.0	1.0	2:1	580	14.1
4	1.0	0.75	2:1	180	2.3
5	1.0	1.25	2:1	120	2.1
6	2.0	1.25	2:1	230	4.3
7	1.0	1.25	2:1	320	6.0
8	2.0	1.25	2:1	480	3.8

**PUTNAM ENGINEERING, P.L.L.C.**  
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(845) 279-6789 FAX (845) 279-6769  
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PURSUANT TO NEW YORK STATE EDUCATION LAW, ARTICLE 142B, SECTION 7303 SUBSECTION 2, IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLICENSED IN THIS STATE TO REPRESENT THEMSELVES AS BEING LICENSED PROFESSIONAL ENGINEER OR ARCHITECT IN ANY MANNER OR TO SIGN OR SEAL ANY DOCUMENT OR DRAWING OR TO SIGN ANY DOCUMENT OR DRAWING AS AN ENGINEER OR ARCHITECT. THE ALTERNATE ENGINEER SHALL AFFIX TO THE DRAWING HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE STATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

REVISIONS

REV. DATE	DESCRIPTION	HOLD DATE	DESCRIPTION
1	DATE IN REV. PER. BY. E. BY. COMMENTS		
2	DATE IN REV. PER. BY. COMMENTS		

PROPOSED SUBDIVISION PLAN PREPARED FOR  
**OLD FORGE ESTATES**  
BALDWIN PLACE ROAD  
TOWN OF CARMEI  
PUTNAM COUNTY, NEW YORK  
142 MAP 70-13-1-17

DATE: 12 APR 88  
PROJECT MANAGER: [Signature]  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]  
SCALE: AS NOTED

PROJECT NUMBER:  
**EROSION and SEDIMENT CONTROL PLAN PHASE 2**  
DRAWING NUMBER:  
**C-152**  
SHEET 15 OF 34

**TEMPORARY SEDIMENT TRAP VOLUMES**

1. SEDIMENT TRAP #2  
CONTRIBUTING AREA- 2.1 AC  
REQUIRED VOLUME - 3000 OF PER ACRE X 2.1 ACRES = 7500 CF  
PROVIDED - 7970 CF  
SEDIMENT REMOVAL ELEVATION- 632.67

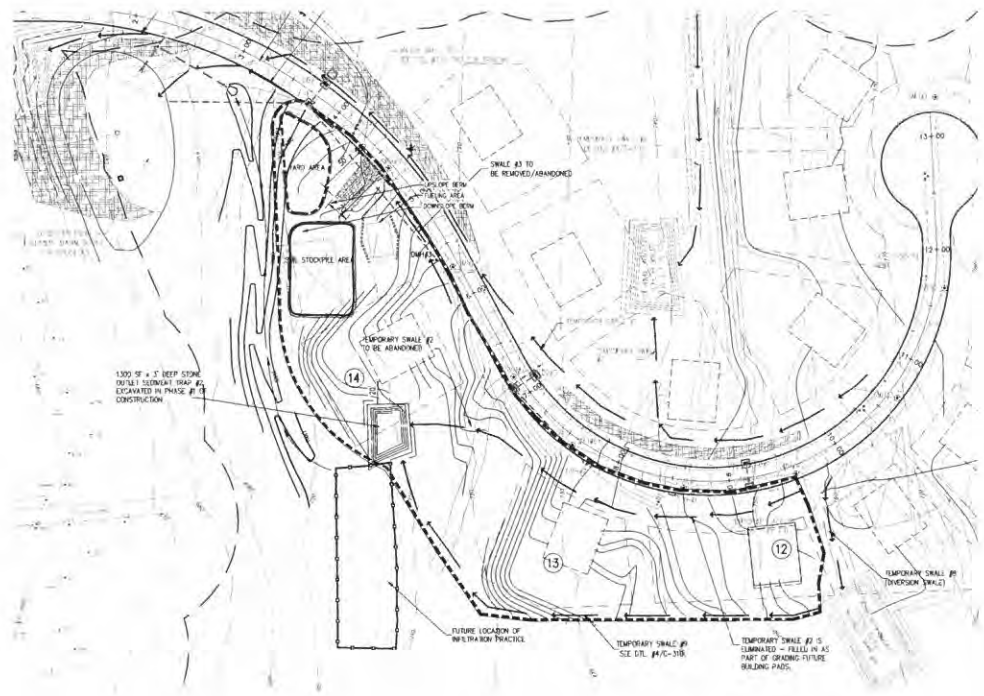
TEMPORARY SWALE DIMENSIONAL CHART					
REFER TO DETAIL #10-C-316					
SWALE #	BOTTOM WIDTH (FT)	DEPTH (FT)	SIDE SLOPE (H/V)	LENGTH (FT)	SLOPE (%)
1	1.0	0.75	2:1	730	11.0
2	1.0	0.75	2:1	610	11.0
3	1.0	1.0	2:1	360	11.1
4	1.0	0.75	2:1	60	2.5
5	1.0	1.25	2:1	120	2.1
6	2.0	1.25	2:1	230	4.3
7	1.0	1.25	2:1	320	6.8
8	2.0	1.25	2:1	480	3.5
9	1.0	1.0	2:1	520	11.0

**SEQUENCE OF CONSTRUCTION:**

- PHASE 3**  
DISTURBANCE AREA = 2.01 AC
1. CONTRACTOR TO MAINTAIN PREVIOUSLY ESTABLISHED EROSION CONTROL MEASURES ALONG WITH ALL SILT FENCES INSTALLED. REMOVE IF NECESSARY.
  2. LEVEL OF SEDIMENT IN SEDIMENT BASIN AND SEDIMENT TRAPS SHALL BE OBSERVED AND SEDIMENT REMOVED WHEN IT REACHES INDICATED LEVEL. ON SEDIMENT REMOVAL MARKER.
  3. INSTALL STABILIZED CONSTRUCTION ENTRANCE AT FUTURE ACCESS DRIVE FOR SEPTIC PUMP STATION NEAR HOME STA. MARK AS SHOWN ON THE PLAN. VEHICLES SHALL BE PROTECTED AND CLEANED, IF REQUIRED, PRIOR TO ENTERING PAVED ROAD.
  4. MARK IN GROUND LOCATION OF FUTURE INFILTRATION PRACTICE. INSTALL ORANGE SAFETY FENCE AROUND PERIMETER OF THIS PRACTICE AND EQUIPMENT CAN BE ON OR OVER HOLES.
  5. ESTABLISH LIMITS OF DISTURBANCE AND MARK IN THE FIELD. INSTALL CONSTRUCTION FENCE ALONG LIMITS OF DISTURBANCE.
  6. RELOCATE STAGING AREA ESTABLISHED AT PHASE 1 OF CONSTRUCTION. BRING IN ALL EQUIPMENT AND MATERIALS NECESSARY TO PERFORM PHASE 3 OF CONSTRUCTION.
  7. CLEAR AND GRUB AREA OF PHASE 3 TO THE LIMITS OF DISTURBANCE SHOWN ON THE PLAN.
  8. EXCAVATE TEMPORARY SWALE #2. THE SWALE SHALL TERMINATE IN SEDIMENT TRAP #2 CREATED DURING PHASE 1 OF CONSTRUCTION.
  9. SOILS FILL EXCAVATED AT PHASE 3 OF CONSTRUCTION AND STORED AT SOIL STOCKPILE AREA SHOWN ON THE PLAN. CREATE FILL PAD FOR THE FUTURE HOUSES AND TANKS ON LOT# 12, 13 & 14.
  10. FILL MATERIAL SHALL BE FREE FROM ROOTS, VEGETATION AND OVERGROWN TREES. FILL SHALL BE FREE FROM ROOTS, VEGETATION AND OVERGROWN TREES. FILL TO BE PLACED IN 12 INCH LIFTS AND COMPACTED TO 95 PERCENT DRY DENSITY BY MECHANICAL MEANS.
  11. TEMPORARY SWALES #1 & 3 CREATED IN PHASE 1 ARE TO BE ABANDONED/FILLED IN AS GRADING PROGRESSES.
  12. ROUGH GRADE ACCESS DRIVE TO INFILTRATION PRACTICE.
  13. AFTER MOST OF THE SOIL FROM STOCKPILE IS SPENT AND REQUIRED BRIDGING PADS HAVE STABILIZED, GRADE FILL PAD FOR SEPTIC TANK AND PUMP INSTALLATION.
  14. INSTALL SEPTIC TANK AND PUMP STATION.
  15. STABILIZE ALL AREAS DISTURBED IN PHASE 3 OF CONSTRUCTION AS DESCRIBED IN "STABILIZATION NOTES" WITHIN ONE (1) WEEK FOLLOWING THE EARTRUCK. NO FURTHER CONSTRUCTION IS ALLOWED BEFORE THESE AREAS ARE STABILIZED.

**EROSION CONTROL LEGEND:**

- EXISTING DRAINAGE PIPE
- EXISTING CONTOURS
- PROPOSED CONTOURS
- STABILIZED CONSTRUCTION ENTRANCE
- TEMPORARY STAGING AREA
- LIMITS OF DISTURBANCE
- EARTH BANK
- TEMPORARY SOIL STOCKPILE
- SHEET PILING
- SILT FENCE
- EROSION CONTROL BLANKET
- CONSTRUCTION FENCE
- ORANGE SAFETY FENCE
- CHECK DAM
- 12 INCH STRIP AREA
- TEMPORARY SWALE
- PROPOSED HOUSE



**EROSION & SEDIMENT CONTROL PLAN - PHASE 3**



4 OLD ROUTE 6, BREWSTER, NEW YORK 10509  
(845) 279-6769 FAX (845) 279-6769  
● PUTNAM NUMBER: 412-397

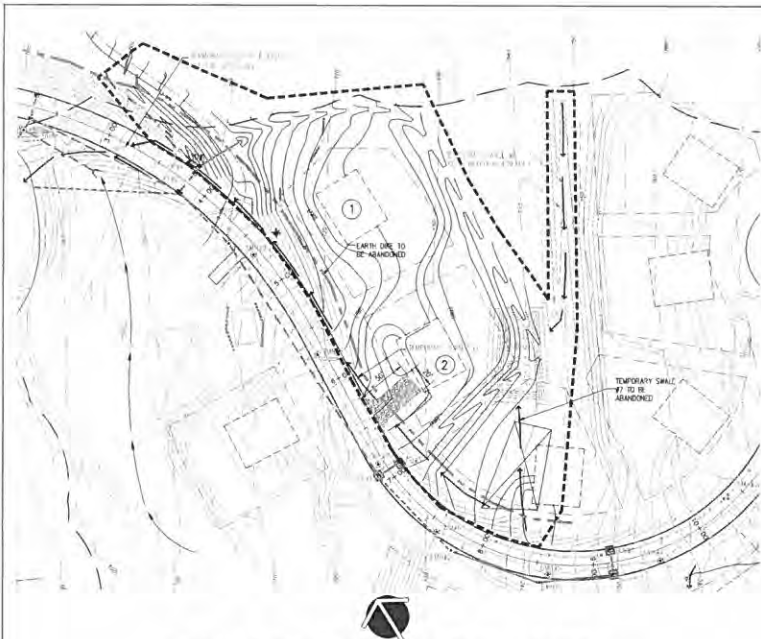
PURSUANT TO NEW YORK STATE EDUCATION LAW ARTICLE 145, SECTION 2009 SUBSECTION 2, IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER AN ITEM IN ANY WAY IF AN ITEM BEARING THE SEAL OF AN ENGINEER IS ALTERED. THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	BY: [Signature]	REV. PER B. E. TO CORRECT			
2	BY: [Signature]	REV. PER E. COMMENTS			

PROPOSED SUBDIVISION PLAN PREPARED FOR:  
**OLD FORGE ESTATES**  
BALDWIN PLACE ROAD  
TOWN OF CARMEL  
PUTNAM COUNTY, NEW YORK  
16X MAP: 75-15-1-10

DATE: 12 APR 10  
PROJECT MANAGER: [Signature]  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]  
SCALE: AS NOTED

PROJECT NUMBER: 2009  
**EROSION and SEDIMENT CONTROL PLAN PHASE 3**  
DRAWING NUMBER: **C-153**  
SHEET: 16 OF 34



**EROSION & SEDIMENT CONTROL PLAN - PHASE 4**

**EROSION CONTROL LEGEND:**

- EXISTING DRAINAGE PIPE
- EXISTING CONTOURS
- PROPOSED CONTOURS
- STABILIZED CONSTRUCTION ENTRANCE
- TEMPORARY STAGING AREA
- LIMITS OF DISTURBANCE
- EARTH DIKE
- TEMPORARY SOIL STOCKPILE
- SILT FENCE
- EROSION CONTROL BLANKET
- CONSTRUCTION FENCE
- ORANGE SAFETY FENCE
- CHECK DAM
- LEVEL SPREADER
- TEMPORARY SWALE
- PROPOSED HOUSE

**TEMPORARY SWALE DIMENSIONAL CHART**  
REFER TO DETAIL #E/S-310

SWALE #	BOTTOM WIDTH (FT)	DEPTH (FT)	SIDE SLOPE (FT/FT)	LENGTH (FT)	SLOPE (%)
1	1.0	0.75	2:1	730	11.8
2	1.0	0.75	2:1	810	11.8
3	1.0	1.0	2:1	360	15.1
4	1.0	0.75	2:1	280	23.7
5	1.0	1.25	2:1	120	24.3
6	2.0	1.25	2:1	230	4.3
7	1.0	1.25	2:1	320	8.8
8	2.0	1.25	2:1	480	3.5
9	1.0	1.0	2:1	520	11.8

**LEVEL SPREADER DIMENSIONS**  
REFER TO DETAIL #E/S-310

LEVEL SPREADER #	DEPTH (FT)	WIDTH (FT)	LENGTH (FT)
1	0.21	6	3
2	0.18	6	3
3	0.81	6	3

**SEQUENCE OF CONSTRUCTION:**

- PHASE 4**  
DISBURSEMENT AREA - 1.80 AC.
- ACTIVITIES DESCRIBED BELOW MAY BE PERFORMED CONCURRENTLY WITH PHASE 3 OF CONSTRUCTION.
- CONTRACTOR TO MAINTAIN PREVIOUSLY ESTABLISHED EROSION CONTROL MEASURES ALONG WITH ALL SILT FENCES INSTALLED. REPAIR IF NECESSARY.
  - RELocate STABILIZED CONSTRUCTION ENTRANCE TO LOCATION NEAR ROAD STA. BASE AS SHOWN ON THE PLAN. CHECKED SHALL BE INSPECTED PROPER TO EXISTING ROAD.
  - ESTABLISH LIMITS OF DISTURBANCE AND MARK IN THE FIELD. INITIAL CONSTRUCTION FENCES ALONG LIMITS OF DISTURBANCE.
  - INSTALL ADDITIONAL SILT FENCES IMMEDIATELY DOWNSTREAM OF AREA OF PROPOSED DISTURBANCE AS SHOWN ON THE PLAN. SILT FENCES TO BE INSTALLED PARALLEL TO CONTOURS.
  - ABANDON EXISTING INSTALLED DRAINAGE PHASE #2 IN CONSTRUCTION. RESTORE GRADING.
  - ABANDON TEMPORARY SWALE #7 RESTORE GRADING AND RELocate STAGING AREA TO THIS LOCATION BEING IN ALL EQUIPMENT AND MATERIALS NECESSARY TO PERFORM PHASE 4 OF CONSTRUCTION.
  - CLEAR AND GRAB AREA OF PHASE 4 TO THE LIMITS OF DISTURBANCE SHOWN ON THE PLAN.
  - ERECTIVE PERMANENT SWALE #8 TO BE INSTALLED AND STABILIZED ONCE COMPLETE. FULLY TEMPORARY SWALE #6 AND #7 TO BE REMOVED.
  - CONTRACTOR TO START OFF-ROAD OPERATIONS.
  - CREATE FENCES AND BOUNDING PAGES FOR THE FUTURE HOUSE CONSTRUCTION. WHERE FILL IS NEEDED TO CREATE THE PAGES IT SHOULD BE FREE FROM ROOTS, WEEDS AND UNWANTED STONES. FILL TO BE PLACED IN 12 INCH LIFTS AND COMPACTED TO 95 PERCENT PER SPEC BY MECHANICAL MEANS.
  - STABILIZE ALL AREAS DESCRIBED IN PHASE 4 OF CONSTRUCTION AS DESCRIBED IN "STABILIZATION METHOD" WITHIN ONE (1) WEEK FOLLOWING THE EARTHWORK. NO FURTHER CONSTRUCTION IS ALLOWED BEFORE THESE AREAS ARE STABILIZED.

**MAINTENANCE PROGRAM:**

- TEMPORARY MEASURES:**
- SILT FENCES:** SEDIMENT SHALL BE REMOVED FROM BEHIND THE FENCE WHEN IT BECOMES 0.5 FEET DEEP AT THE CONTROLLING AREA. CLEANUP SHALL BE PERFORMED AS NEEDED.
  - STORM EVENTS:** REPAIR SHALL BE PERFORMED AS NEEDED.
  - SWALES:** INSPECT SWALES FOR BLOCKAGE AND WEAR AS BECOMING SWALES DURING THE CONSTRUCTION PHASE. SWALES SHALL BE INSPECTED WEEKLY AND PRIOR TO AND WITHIN 24 HOURS AFTER ALL FORECASTED STORM EVENTS FOR SWALE DESTRUCTION. REMOVE DEPOSITS OF SEDIMENT OR OTHER OBSTRUCTIONS.
  - CONSTRUCTION ENTRANCE:** CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF FURROWS OF SEDIMENT INTO PUBLIC RIGHTS-OF-WAY. VISUAL INSPECTION SHALL BE PERFORMED DAILY THROUGHOUT THE CONSTRUCTION PERIOD. ADDITIONAL STORM OR ADDITIONAL LOGS AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT SHALL BE PERFORMED IMMEDIATELY UPON OBSERVATION OF TRACKED INTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
  - SEDIMENT BASIN:** VISUAL INSPECTION OF THE BASIN FURNISHMENT AND DRAINING SYSTEMS SHALL BE CONDUCTED WEEKLY PRIOR TO AND WITHIN 24 HOURS AFTER ALL FORECASTED STORM EVENTS. REPAIRS SHALL BE MADE AS NEEDED. SEDIMENT SHOULD BE REMOVED EVERY 30 (THIRTY) DAYS OR WHEN SEDIMENT ACCUMULATION REACHES THE DESIGN CLEARANCE LEVEL. IN ORDER TO PREVENT THE AVAILABLE SEDIMENT MANAGEMENT CAPACITY OF THE SEDIMENT BASIN, THE LEVEL OF SEDIMENT AT WHICH CLEANOUT IS REQUIRED SHALL BE MARKED ON A FIRST REFERENCE POINT (CONCRETE REFERENCE MARK OR MARK ON A STRUCTURE OBJECT).
  - EROSION PROTECTION:** SILT PROTECTION SHALL BE INSPECTED WEEKLY AND PRIOR TO AND WITHIN 24 HOURS AFTER ALL FORECASTED STORM EVENTS. SEDIMENT AND DEBRIS SHALL BE REMOVED FROM BEHIND THE FENCE IF PRESENT. REPAIR SHALL BE PERFORMED AS NEEDED.
  - LEVEL SPREADER:** LEVEL SPREADER SHALL BE INSPECTED WEEKLY AND AFTER STORM EVENTS FOR CLOGGING.
  - SOIL PROTECTION:** SOIL PROTECTION SHALL BE INSPECTED WEEKLY AND AFTER STORM EVENTS FOR CLOGGING. REPAIR SHALL BE PERFORMED AS NEEDED WHEN NECESSARY.

**PERMANENT MEASURES:**

CONSTRUCTION/MAINTENANCE ITEM	INTERACTION / REQUIREMENT	COMMENT
<b>A. DRAINAGE AND EROSION CONTROL (ANNUAL, PRIOR TO AND WITHIN 24 HOURS AFTER ALL FORECASTED STORM EVENTS)</b> 1. DETENTION AND DRAINAGE CONTROL 2. UNDESIRABLE VEGETATION 3. ANNUAL DRAINAGE 4. UNDESIRABLE PLANTING 5. UNDESIRABLE PLANTING OF SEEDS OF LAW 6. UNDESIRABLE PLANTING 7. UNDESIRABLE PLANTING 8. UNDESIRABLE PLANTING 9. UNDESIRABLE PLANTING 10. UNDESIRABLE PLANTING		
<b>B. SEDIMENT AND EROSION CONTROL (ANNUAL, PRIOR TO AND WITHIN 24 HOURS AFTER ALL FORECASTED STORM EVENTS)</b> 1. SEDIMENT ACCUMULATION AT: a. SWALE b. SWALE c. SWALE 2. SEDIMENT ACCUMULATION AT: a. SWALE b. SWALE c. SWALE 3. SEDIMENT ACCUMULATION AT: a. SWALE b. SWALE c. SWALE 4. SEDIMENT ACCUMULATION AT: a. SWALE b. SWALE c. SWALE 5. SEDIMENT ACCUMULATION AT: a. SWALE b. SWALE c. SWALE 6. SEDIMENT ACCUMULATION AT: a. SWALE b. SWALE c. SWALE 7. SEDIMENT ACCUMULATION AT: a. SWALE b. SWALE c. SWALE 8. SEDIMENT ACCUMULATION AT: a. SWALE b. SWALE c. SWALE 9. SEDIMENT ACCUMULATION AT: a. SWALE b. SWALE c. SWALE 10. SEDIMENT ACCUMULATION AT: a. SWALE b. SWALE c. SWALE		
<b>C. PERMANENT FENCE (NET FENCE) (ANNUAL)</b> 1. UNDESIRABLE VEGETATION 2. UNDESIRABLE VEGETATION 3. UNDESIRABLE VEGETATION 4. UNDESIRABLE VEGETATION 5. UNDESIRABLE VEGETATION 6. UNDESIRABLE VEGETATION 7. UNDESIRABLE VEGETATION 8. UNDESIRABLE VEGETATION 9. UNDESIRABLE VEGETATION 10. UNDESIRABLE VEGETATION		
<b>D. PERMANENT FENCE (NET FENCE) (ANNUAL)</b> 1. UNDESIRABLE VEGETATION 2. UNDESIRABLE VEGETATION 3. UNDESIRABLE VEGETATION 4. UNDESIRABLE VEGETATION 5. UNDESIRABLE VEGETATION 6. UNDESIRABLE VEGETATION 7. UNDESIRABLE VEGETATION 8. UNDESIRABLE VEGETATION 9. UNDESIRABLE VEGETATION 10. UNDESIRABLE VEGETATION		
<b>E. PERMANENT FENCE (NET FENCE) (ANNUAL)</b> 1. UNDESIRABLE VEGETATION 2. UNDESIRABLE VEGETATION 3. UNDESIRABLE VEGETATION 4. UNDESIRABLE VEGETATION 5. UNDESIRABLE VEGETATION 6. UNDESIRABLE VEGETATION 7. UNDESIRABLE VEGETATION 8. UNDESIRABLE VEGETATION 9. UNDESIRABLE VEGETATION 10. UNDESIRABLE VEGETATION		
<b>F. PERMANENT FENCE (NET FENCE) (ANNUAL)</b> 1. UNDESIRABLE VEGETATION 2. UNDESIRABLE VEGETATION 3. UNDESIRABLE VEGETATION 4. UNDESIRABLE VEGETATION 5. UNDESIRABLE VEGETATION 6. UNDESIRABLE VEGETATION 7. UNDESIRABLE VEGETATION 8. UNDESIRABLE VEGETATION 9. UNDESIRABLE VEGETATION 10. UNDESIRABLE VEGETATION		
<b>G. PERMANENT FENCE (NET FENCE) (ANNUAL)</b> 1. UNDESIRABLE VEGETATION 2. UNDESIRABLE VEGETATION 3. UNDESIRABLE VEGETATION 4. UNDESIRABLE VEGETATION 5. UNDESIRABLE VEGETATION 6. UNDESIRABLE VEGETATION 7. UNDESIRABLE VEGETATION 8. UNDESIRABLE VEGETATION 9. UNDESIRABLE VEGETATION 10. UNDESIRABLE VEGETATION		
<b>H. PERMANENT FENCE (NET FENCE) (ANNUAL)</b> 1. UNDESIRABLE VEGETATION 2. UNDESIRABLE VEGETATION 3. UNDESIRABLE VEGETATION 4. UNDESIRABLE VEGETATION 5. UNDESIRABLE VEGETATION 6. UNDESIRABLE VEGETATION 7. UNDESIRABLE VEGETATION 8. UNDESIRABLE VEGETATION 9. UNDESIRABLE VEGETATION 10. UNDESIRABLE VEGETATION		
<b>I. PERMANENT FENCE (NET FENCE) (ANNUAL)</b> 1. UNDESIRABLE VEGETATION 2. UNDESIRABLE VEGETATION 3. UNDESIRABLE VEGETATION 4. UNDESIRABLE VEGETATION 5. UNDESIRABLE VEGETATION 6. UNDESIRABLE VEGETATION 7. UNDESIRABLE VEGETATION 8. UNDESIRABLE VEGETATION 9. UNDESIRABLE VEGETATION 10. UNDESIRABLE VEGETATION		
<b>J. PERMANENT FENCE (NET FENCE) (ANNUAL)</b> 1. UNDESIRABLE VEGETATION 2. UNDESIRABLE VEGETATION 3. UNDESIRABLE VEGETATION 4. UNDESIRABLE VEGETATION 5. UNDESIRABLE VEGETATION 6. UNDESIRABLE VEGETATION 7. UNDESIRABLE VEGETATION 8. UNDESIRABLE VEGETATION 9. UNDESIRABLE VEGETATION 10. UNDESIRABLE VEGETATION		
<b>K. PERMANENT FENCE (NET FENCE) (ANNUAL)</b> 1. UNDESIRABLE VEGETATION 2. UNDESIRABLE VEGETATION 3. UNDESIRABLE VEGETATION 4. UNDESIRABLE VEGETATION 5. UNDESIRABLE VEGETATION 6. UNDESIRABLE VEGETATION 7. UNDESIRABLE VEGETATION 8. UNDESIRABLE VEGETATION 9. UNDESIRABLE VEGETATION 10. UNDESIRABLE VEGETATION		
<b>L. PERMANENT FENCE (NET FENCE) (ANNUAL)</b> 1. UNDESIRABLE VEGETATION 2. UNDESIRABLE VEGETATION 3. UNDESIRABLE VEGETATION 4. UNDESIRABLE VEGETATION 5. UNDESIRABLE VEGETATION 6. UNDESIRABLE VEGETATION 7. UNDESIRABLE VEGETATION 8. UNDESIRABLE VEGETATION 9. UNDESIRABLE VEGETATION 10. UNDESIRABLE VEGETATION		
<b>M. PERMANENT FENCE (NET FENCE) (ANNUAL)</b> 1. UNDESIRABLE VEGETATION 2. UNDESIRABLE VEGETATION 3. UNDESIRABLE VEGETATION 4. UNDESIRABLE VEGETATION 5. UNDESIRABLE VEGETATION 6. UNDESIRABLE VEGETATION 7. UNDESIRABLE VEGETATION 8. UNDESIRABLE VEGETATION 9. UNDESIRABLE VEGETATION 10. UNDESIRABLE VEGETATION		
<b>N. PERMANENT FENCE (NET FENCE) (ANNUAL)</b> 1. UNDESIRABLE VEGETATION 2. UNDESIRABLE VEGETATION 3. UNDESIRABLE VEGETATION 4. UNDESIRABLE VEGETATION 5. UNDESIRABLE VEGETATION 6. UNDESIRABLE VEGETATION 7. UNDESIRABLE VEGETATION 8. UNDESIRABLE VEGETATION 9. UNDESIRABLE VEGETATION 10. UNDESIRABLE VEGETATION		
<b>O. PERMANENT FENCE (NET FENCE) (ANNUAL)</b> 1. UNDESIRABLE VEGETATION 2. UNDESIRABLE VEGETATION 3. UNDESIRABLE VEGETATION 4. UNDESIRABLE VEGETATION 5. UNDESIRABLE VEGETATION 6. UNDESIRABLE VEGETATION 7. UNDESIRABLE VEGETATION 8. UNDESIRABLE VEGETATION 9. UNDESIRABLE VEGETATION 10. UNDESIRABLE VEGETATION		
<b>P. PERMANENT FENCE (NET FENCE) (ANNUAL)</b> 1. UNDESIRABLE VEGETATION 2. UNDESIRABLE VEGETATION 3. UNDESIRABLE VEGETATION 4. UNDESIRABLE VEGETATION 5. UNDESIRABLE VEGETATION 6. UNDESIRABLE VEGETATION 7. UNDESIRABLE VEGETATION 8. UNDESIRABLE VEGETATION 9. UNDESIRABLE VEGETATION 10. UNDESIRABLE VEGETATION		
<b>Q. PERMANENT FENCE (NET FENCE) (ANNUAL)</b> 1. UNDESIRABLE VEGETATION 2. UNDESIRABLE VEGETATION 3. UNDESIRABLE VEGETATION 4. UNDESIRABLE VEGETATION 5. UNDESIRABLE VEGETATION 6. UNDESIRABLE VEGETATION 7. UNDESIRABLE VEGETATION 8. UNDESIRABLE VEGETATION 9. UNDESIRABLE VEGETATION 10. UNDESIRABLE VEGETATION		
<b>R. PERMANENT FENCE (NET FENCE) (ANNUAL)</b> 1. UNDESIRABLE VEGETATION 2. UNDESIRABLE VEGETATION 3. UNDESIRABLE VEGETATION 4. UNDESIRABLE VEGETATION 5. UNDESIRABLE VEGETATION 6. UNDESIRABLE VEGETATION 7. UNDESIRABLE VEGETATION 8. UNDESIRABLE VEGETATION 9. UNDESIRABLE VEGETATION 10. UNDESIRABLE VEGETATION		
<b>S. PERMANENT FENCE (NET FENCE) (ANNUAL)</b> 1. UNDESIRABLE VEGETATION 2. UNDESIRABLE VEGETATION 3. UNDESIRABLE VEGETATION 4. UNDESIRABLE VEGETATION 5. UNDESIRABLE VEGETATION 6. UNDESIRABLE VEGETATION 7. UNDESIRABLE VEGETATION 8. UNDESIRABLE VEGETATION 9. UNDESIRABLE VEGETATION 10. UNDESIRABLE VEGETATION		
<b>T. PERMANENT FENCE (NET FENCE) (ANNUAL)</b> 1. UNDESIRABLE VEGETATION 2. UNDESIRABLE VEGETATION 3. UNDESIRABLE VEGETATION 4. UNDESIRABLE VEGETATION 5. UNDESIRABLE VEGETATION 6. UNDESIRABLE VEGETATION 7. UNDESIRABLE VEGETATION 8. UNDESIRABLE VEGETATION 9. UNDESIRABLE VEGETATION 10. UNDESIRABLE VEGETATION		
<b>U. PERMANENT FENCE (NET FENCE) (ANNUAL)</b> 1. UNDESIRABLE VEGETATION 2. UNDESIRABLE VEGETATION 3. UNDESIRABLE VEGETATION 4. UNDESIRABLE VEGETATION 5. UNDESIRABLE VEGETATION 6. UNDESIRABLE VEGETATION 7. UNDESIRABLE VEGETATION 8. UNDESIRABLE VEGETATION 9. UNDESIRABLE VEGETATION 10. UNDESIRABLE VEGETATION		
<b>V. PERMANENT FENCE (NET FENCE) (ANNUAL)</b> 1. UNDESIRABLE VEGETATION 2. UNDESIRABLE VEGETATION 3. UNDESIRABLE VEGETATION 4. UNDESIRABLE VEGETATION 5. UNDESIRABLE VEGETATION 6. UNDESIRABLE VEGETATION 7. UNDESIRABLE VEGETATION 8. UNDESIRABLE VEGETATION 9. UNDESIRABLE VEGETATION 10. UNDESIRABLE VEGETATION		
<b>W. PERMANENT FENCE (NET FENCE) (ANNUAL)</b> 1. UNDESIRABLE VEGETATION 2. UNDESIRABLE VEGETATION 3. UNDESIRABLE VEGETATION 4. UNDESIRABLE VEGETATION 5. UNDESIRABLE VEGETATION 6. UNDESIRABLE VEGETATION 7. UNDESIRABLE VEGETATION 8. UNDESIRABLE VEGETATION 9. UNDESIRABLE VEGETATION 10. UNDESIRABLE VEGETATION		
<b>X. PERMANENT FENCE (NET FENCE) (ANNUAL)</b> 1. UNDESIRABLE VEGETATION 2. UNDESIRABLE VEGETATION 3. UNDESIRABLE VEGETATION 4. UNDESIRABLE VEGETATION 5. UNDESIRABLE VEGETATION 6. UNDESIRABLE VEGETATION 7. UNDESIRABLE VEGETATION 8. UNDESIRABLE VEGETATION 9. UNDESIRABLE VEGETATION 10. UNDESIRABLE VEGETATION		
<b>Y. PERMANENT FENCE (NET FENCE) (ANNUAL)</b> 1. UNDESIRABLE VEGETATION 2. UNDESIRABLE VEGETATION 3. UNDESIRABLE VEGETATION 4. UNDESIRABLE VEGETATION 5. UNDESIRABLE VEGETATION 6. UNDESIRABLE VEGETATION 7. UNDESIRABLE VEGETATION 8. UNDESIRABLE VEGETATION 9. UNDESIRABLE VEGETATION 10. UNDESIRABLE VEGETATION		
<b>Z. PERMANENT FENCE (NET FENCE) (ANNUAL)</b> 1. UNDESIRABLE VEGETATION 2. UNDESIRABLE VEGETATION 3. UNDESIRABLE VEGETATION 4. UNDESIRABLE VEGETATION 5. UNDESIRABLE VEGETATION 6. UNDESIRABLE VEGETATION 7. UNDESIRABLE VEGETATION 8. UNDESIRABLE VEGETATION 9. UNDESIRABLE VEGETATION 10. UNDESIRABLE VEGETATION		

MAINTENANCE ITEM	INTERACTION / REQUIREMENT	COMMENT
<b>A. SWALE CLEANOUT (ANNUAL, AFTER MAJOR STORMS)</b> CONTROLLING AREA: CLEANUP OF SWALE WATER AND DEBRIS CLEARANCE		
<b>B. SWALE CLEANOUT (ANNUAL, AFTER MAJOR STORMS)</b> CONTROLLING AREA: CLEANUP OF SWALE WATER AND DEBRIS CLEARANCE		
<b>C. SWALE CLEANOUT (ANNUAL, AFTER MAJOR STORMS)</b> CONTROLLING AREA: CLEANUP OF SWALE WATER AND DEBRIS CLEARANCE		

MAINTENANCE ITEM	INTERACTION / REQUIREMENT	COMMENT
<b>A. SWALE CLEANOUT (ANNUAL, AFTER MAJOR STORMS)</b> CONTROLLING AREA: CLEANUP OF SWALE WATER AND DEBRIS CLEARANCE		
<b>B. SWALE CLEANOUT (ANNUAL, AFTER MAJOR STORMS)</b> CONTROLLING AREA: CLEANUP OF SWALE WATER AND DEBRIS CLEARANCE		
<b>C. SWALE CLEANOUT (ANNUAL, AFTER MAJOR STORMS)</b> CONTROLLING AREA: CLEANUP OF SWALE WATER AND DEBRIS CLEARANCE		

MAINTENANCE ITEM	INTERACTION / REQUIREMENT	COMMENT
<b>A. SWALE CLEANOUT (ANNUAL, AFTER MAJOR STORMS)</b> CONTROLLING AREA: CLEANUP OF SWALE WATER AND DEBRIS CLEARANCE		
<b>B. SWALE CLEANOUT (ANNUAL, AFTER MAJOR STORMS)</b> CONTROLLING AREA: CLEANUP OF SWALE WATER AND DEBRIS CLEARANCE		
<b>C. SWALE CLEANOUT (ANNUAL, AFTER MAJOR STORMS)</b> CONTROLLING AREA: CLEANUP OF SWALE WATER AND DEBRIS CLEARANCE		

MAINTENANCE ITEM	INTERACTION / REQUIREMENT	COMMENT
<b>A. SWALE CLEANOUT (ANNUAL, AFTER MAJOR STORMS)</b> CONTROLLING AREA: CLEANUP OF SWALE WATER AND DEBRIS CLEARANCE		
<b>B. SWALE CLEANOUT (ANNUAL, AFTER MAJOR STORMS)</b> CONTROLLING AREA: CLEANUP OF SWALE WATER AND DEBRIS CLEARANCE		
<b>C. SWALE CLEANOUT (ANNUAL, AFTER MAJOR STORMS)</b> CONTROLLING AREA: CLEANUP OF SWALE WATER AND DEBRIS CLEARANCE		

MAINTENANCE ITEM	INTERACTION / REQUIREMENT	COMMENT
<b>A. SWALE CLEANOUT (ANNUAL, AFTER MAJOR STORMS)</b> CONTROLLING AREA: CLEANUP OF SWALE WATER AND DEBRIS CLEARANCE		
<b>B. SWALE CLEANOUT (ANNUAL, AFTER MAJOR STORMS)</b> CONTROLLING AREA: CLEANUP OF SWALE WATER AND DEBRIS CLEARANCE		
<b>C. SWALE CLEANOUT (ANNUAL, AFTER MAJOR STORMS)</b> CONTROLLING AREA: CLEANUP OF SWALE WATER AND DEBRIS CLEARANCE		

MAINTENANCE ITEM	INTERACTION / REQUIREMENT	COMMENT
<b>A. SWALE CLEANOUT (ANNUAL, AFTER MAJOR STORMS)</b> CONTROLLING AREA: CLEANUP OF SWALE WATER AND DEBRIS CLEARANCE		
<b>B. SWALE CLEANOUT (ANNUAL, AFTER MAJOR STORMS)</b> CONTROLLING AREA: CLEANUP OF SWALE WATER AND DEBRIS CLEARANCE		
<b>C. SWALE CLEANOUT (ANNUAL, AFTER MAJOR STORMS)</b> CONTROLLING AREA: CLEANUP OF SWALE WATER AND DEBRIS CLEARANCE		

MAINTENANCE ITEM	INTERACTION / REQUIREMENT	COMMENT
<b>A. SWALE CLEANOUT (ANNUAL, AFTER MAJOR STORMS)</b> CONTROLLING AREA: CLEANUP OF SWALE WATER AND DEBRIS CLEARANCE		
<b>B. SWALE CLEANOUT (ANNUAL, AFTER MAJOR STORMS)</b> CONTROLLING AREA: CLEANUP OF SWALE WATER AND DEBRIS CLEARANCE		
<b>C. SWALE CLEANOUT (ANNUAL, AFTER MAJOR STORMS)</b> CONTROLLING AREA: CLEANUP OF SWALE WATER AND DEBRIS CLEARANCE		

MAINTENANCE ITEM	INTERACTION / REQUIREMENT	COMMENT
<b>A. SWALE CLEANOUT (ANNUAL, AFTER MAJOR STORMS)</b> CONTROLLING AREA: CLEANUP OF SWALE WATER AND DEBRIS CLEARANCE		
<b>B. SWALE CLEANOUT (ANNUAL, AFTER MAJOR STORMS)</b> CONTROLLING AREA: CLEANUP OF SWALE WATER AND DEBRIS CLEARANCE		
<b>C. SWALE CLEANOUT (ANNUAL, AFTER MAJOR STORMS)</b> CONTROLLING AREA: CLEANUP OF SWALE WATER AND DEBRIS CLEARANCE		

MAINTENANCE ITEM	INTERACTION / REQUIREMENT	COMMENT
<b>A. SWALE CLEANOUT (ANNUAL, AFTER MAJOR STORMS)</b> CONTROLLING AREA: CLEANUP OF SWALE WATER AND DEBRIS CLEARANCE		
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MAINTENANCE ITEM	INTERACTION / REQUIREMENT	COMMENT
<b>A. SWALE CLEANOUT (ANNUAL, AFTER MAJOR STORMS)</b> CONTROLLING AREA: CLEANUP OF SWALE WATER AND DEBRIS CLEARANCE		
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**REVISIONS**

NO.	DATE	DESCRIPTION	BY	DATE	DESCRIPTION
1	10/21/10	REV. PER B. E. P. COMMENTS			
2	02/07/11	REV. PER B. E. P. COMMENTS			

PROJECT:

PROPOSED SUBDIVISION PLAN PREPARED FOR:  
**OLD FORGE ESTATES**  
BALDWIN PLACE ROAD  
TOWN OF CARMEL  
PUTNAM COUNTY, NEW YORK  
162 MAP 10-15-10-10

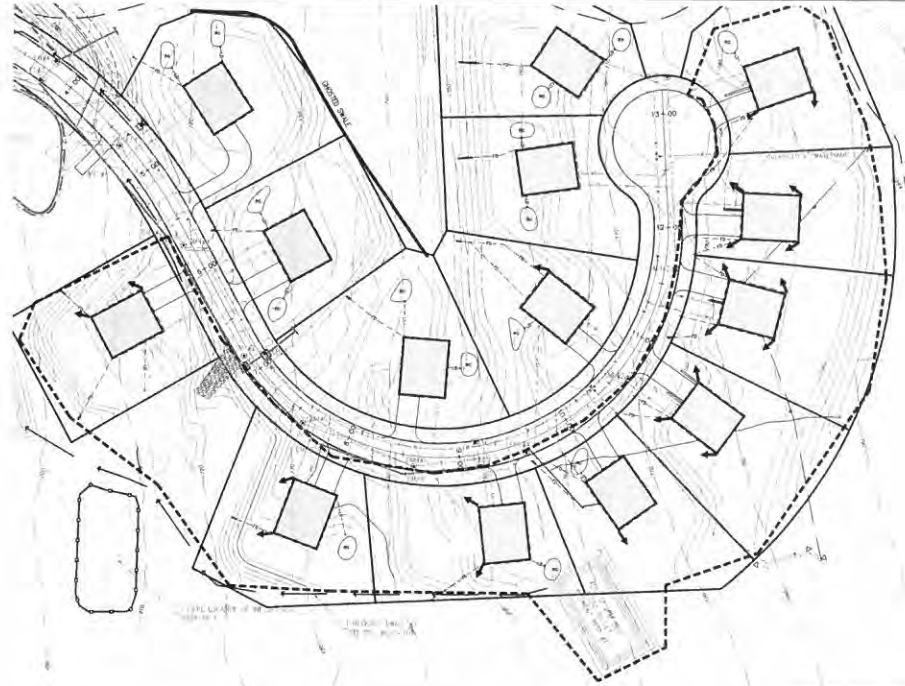
DATE: 12 APR 10  
PROJECT MANAGER: [Signature]  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]  
SCALE: AS SHOWN

EROSION and SEDIMENT CONTROL PLAN PHASE 4 & MAINTENANCE PROGRAM

PROJECT NUMBER: 6788  
DRAWING NUMBER: C-154



PHASE 5A



PHASE 5B

**SEQUENCE OF CONSTRUCTION:**

**PHASES 5A and 5B**

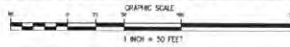
DISTURBANCE AREA: PHASE 5A = 2.90 AC.  
PHASE 5B = 2.68 AC.

CONSTRUCTION AS DESCRIBED BELOW MAY START AFTER SEPTIC FIELDS, SEWER PIPES AND SEWER PUMPING SYSTEM IS IN GROUND, TESTED AND IN WORKING CONDITION. REFER TO UTILITY PLAN AND SSTS PLANS FOR SPECIFICATION.

CONTRACTOR MAY START CONSTRUCTION OF BOTH PHASES SIMULTANEOUSLY ASSUMING THAT THE TOTAL DISTURBANCE AREA WILL NOT EXCEED 5 ACRES. CONSTRUCTION SHALL FOLLOW CRPS LISTED BELOW.

1. CONTRACTOR TO MAINTAIN ALL SILT AND SAFETY FENCES PROMPTLY INSTALLED.
2. SURVEY AND STAKE OUT PROPOSED HOUSES, DRIVEWAYS AND RAIN GARDENS LOCATIONS. ESTABLISH LIMITS OF DISTURBANCE AND MARK IN THE FIELD. INSTALL CONSTRUCTION FENCE ALONG PERIMETERS OF THE PROPOSED DISTURBANCE.
3. INSTALL STABILIZED CONSTRUCTION ENTRANCE FOR LIGHT DUTY ROADS AS SHOWN. VEHICLES SHALL BE INSPECTED AND CLEANED, IF REQUIRED, PRIOR TO ENTERING PAVED ROAD.
4. INSPECT SAFETY FENCES INSTALLED AROUND INFILTRATION PRACTICES. REPAIR IF NECESSARY.
5. DEWATERING BAGS SHALL BE AVAILABLE ON THE SITE IN CASE DEWATERING AFTER RAIN EVENT IS NECESSARY.
6. BUILD HOUSES. INSTALL ROOF DRAINS. CONNECT HOUSES TO ALL UTILITY LINES. TRENCHES TO BE BACKFILLED IMMEDIATELY UPON COMPLETION OF INSTALLATION OF PIPES AND CABLES. EXPOSED SOIL TO BE STABILIZED AFTER BACKFILL.
7. COMPLETE GRADING. RESTORE SOIL AROUND THE HOUSES PER "SOIL RESTORATION NOTES" (SEE) AND STABILIZE DISTURBED AREAS WITHIN ONE (1) WEEK FOLLOWING CONSTRUCTION.
8. INSTALL TOP COURSE PAVEMENT ON INDIVIDUAL DRIVEWAYS. CLEAN ALL DRAINAGE STRUCTURES.
9. CLEAN ACCUMULATED SEDIMENT IN THE SWALES. UPGRADE TEMPORARY SWALE #1 TO PERMANENT SWALE #1 (PHASE 5A). RESTORE GRADING AT TEMPORARY SWALES #1 (PHASE 5A) AND #2 (PHASE 5B) LOCATIONS.
10. RESTORE GRADING AT SEWAGE TRAP #1.
11. COMPLETE PLANTING AND STABILIZE PERMANENTLY ALL DISTURBED AREAS.
12. EXCAVATE FOR AND INSTALL RAIN GARDENS AS SHOWN ON PLAN AND DETAILS. CONSTRUCTION OF THESE FACILITIES IS NOT ALLOWED UNTIL ALL CONTRIBUTING DRAINAGE AREAS HAVE BEEN STABILIZED.

**EROSION & SEDIMENT CONTROL PLAN - PHASES 5A and 5B**



**EROSION CONTROL LEGEND:**

- EXISTING DRAINAGE PIPE
- EXISTING CONTOURS
- PROPOSED CONTOURS
- STABILIZED CONSTRUCTION ENTRANCE
- TEMPORARY STAGING AREA
- LIMITS OF DISTURBANCE
- FARM DRIVE
- TEMPORARY SOIL STOCKPILE
- INLET PROTECTION
- SILT FENCE
- EROSION CONTROL BLANKET
- CONSTRUCTION FENCE
- DRAINAGE SAFETY FENCE
- CHAIN LINK FENCE
- LIFT SPREADER
- TEMPORARY SWALE
- PROPOSED HOUSE

**SOIL RESTORATION NOTES:**

PRIOR TO SOIL RESTORATION, ALL CONSTRUCTION ACTIVITIES INCLUDING CONSTRUCTION EQUIPMENT AND MATERIAL STORAGE, SITE CLEANUP AND TRACTORING SHOULD BE FINISHED AND THE SITE CLOSED OFF TO FUTURE DISTURBANCE.

1. AREAS WHERE TOPSOIL IS STRIPPED ONLY, NO CHANGE IN GRADE. LAY AND APPLY 6 INCHES OF TOPSOIL.
2. AREAS OF CUT AND FILL. LAY AND APPLY 6 INCHES OF TOPSOIL.
3. HEAVY TRAFFIC AREA (ESPECIALLY ZONE INSTANT 5 FEET TO 25 FEET FROM FOUNDATION). THE PROCEDURE CAN BE PERFORMED DURING LOW TO MODERATE SOIL MOISTURE CONDITION.
  - A) USING AGRICULTURAL GRADE DEEP WHEELS, DEEP UP THE AFFECTED THICKNESS OF EXPOSED SUBSOIL MATERIAL, AGGRESSIVELY FRACRACKING IT BEFORE THE PROPOSED TOPSOIL IS REAPPLIED ON THE SITE.
  - B) SPREAD TOPSOIL IN FINABLE STATE.
  - C) USING MIXED SUE-SOLELY OR AN EXCAVATOR EQUIPPED WITH A SUBSOILING DRAPPEL RAKE, DECOMPACT UPPER PART OF THE AFFECTED SOIL, RECOMPACTED DURING THE PREVIOUS PHASES, AND COMPOST ENHANCEMENT.



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NO.	DATE	DESCRIPTION	BY	DATE	DESCRIPTION
1	11/04/16	REV. PER B. E. DE COMPTON			
2	12/07/16	REV. PER E. COMMENTS			

PROJECT

PROPOSED SUBDIVISION PLAN PREPARED FOR:  
**OLD FORGE ESTATES**  
BALDWIN PLACE ROAD  
TOWN OF CARMEL  
PUTNAM COUNTY, NEW YORK  
TAX MAP 75-10-1-19

DATE: 12 APR 18  
PROJECT MANAGER: PML  
DRAWN BY: JMK  
CHECKED BY: PML  
SCALE: AS NOTED

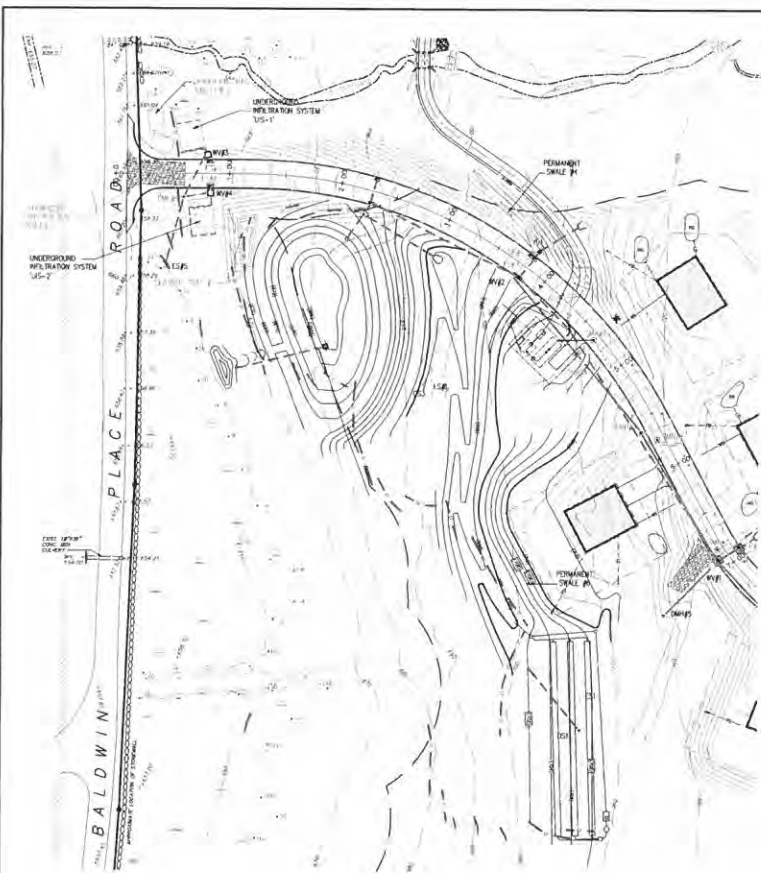
EROSION and SEDIMENT CONTROL PLAN  
PHASES 5A and 5B

PROJECT NUMBER: 8266

DRAWING NUMBER:

**C-155**

SHEET 18 OF 34



**EROSION & SEDIMENT CONTROL PLAN - PHASE 6**

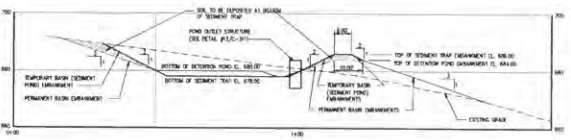


**SEQUENCE OF CONSTRUCTION:**

- PHASE 6**
1. CONTRACTOR TO MAINTAIN PREVIOUSLY ESTABLISHED EROSION CONTROL MEASURES ALONG WITH ALL SILT FENCE INSTALLED.
  2. SURVEY AND STAKE OUT STORMWATER FACILITIES, ESTABLISH LIMITS OF DISTURBANCE AND MARK IN THE FIELD.
  3. INTEGRITY OF PREVIOUSLY INSTALLED DRAINAGE SAFETY FENCES AND SEDIMENT & EROSION CONTROL FACILITIES SHALL BE INSPECTED AND REPAIRED IF NECESSARY.
  4. INSTALL ADDITIONAL SILT FENCES IMMEDIATELY DOWNSTREAM OF AREAS OF PROPOSED DISTURBANCE. ALL SILT FENCE TO BE INSTALLED PARALLEL TO CONTOURS.
  5. USING ACCESS DRIVE TO BASIN #1-1 GRADED AT PHASE 3 OF CONSTRUCTION, BRING IN ALL EQUIPMENT AND MATERIALS NECESSARY TO PERFORM PHASE 6 OF CONSTRUCTION.
  6. INSPECT AREAS SURROUNDING BASIN #1-1 AREAS DRAINING TOWARD THIS POND SHALL BE FULLY STABILIZED (PERMANENT VEGETATIVE COVER WITH A MINIMUM DENSITY OF 80 PERCENT).
  7. EXCAVATE AND DETRASH BASIN #1-1 AND PERMANENT SWALE #1. HEAVY EQUIPMENT IS NOT ALLOWED TO OPERATE WITHIN THE BASIN. SED. HYDROSEED IMMEDIATELY AFTER EXCAVATION.
  8. EXCAVATE TRENCHES FOR INSTALLATION OF STORMWATER PIPES. INSTALL OULLET STRUCTURE, 20" DIA. CRISTAL CLEAR V-TRAP AND CONNECTING PIPES. STRUCTURES TO BE INSTALLED STARTING FROM DOWNHILL STRUCTURE TO UPHILL STRUCTURE. TRENCHES TO BE BACKFILLED IMMEDIATELY UPON COMPLETION OF INSTALLATION OF PIPES AND MANHOLES. EXPOSED SOIL TO BE STABILIZED IMMEDIATELY AFTER BACKFILL.
  9. INSTALL RFI-RAP OUTLET PROTECTIONS AT ESI, ESO AND ESE.
  10. USE ACCESS DRIVE TO BASIN #1-2, GRADED AT PHASE 3 OF CONSTRUCTION, FOR ACCESS.
  11. INSPECT AREAS SURROUNDING BASIN #1-2 AREAS DRAINING TOWARD THIS POND SHALL BE FULLY STABILIZED (PERMANENT VEGETATIVE COVER WITH A MINIMUM DENSITY OF 80 PERCENT).
  12. EXCAVATE INFILTRATION BASIN #1-2 AND PERMANENT SWALE #2. HEAVY EQUIPMENT IS NOT ALLOWED TO OPERATE WITHIN THE BASIN. SED. HYDROSEED IMMEDIATELY AFTER EXCAVATION.
  13. EXCAVATE TRENCHES FOR INSTALLATION OF STORMWATER PIPES. INSTALL OULLET STRUCTURE, 20" DIA. CRISTAL CLEAR V-TRAP AND CONNECTING PIPES. STRUCTURES TO BE INSTALLED STARTING FROM DOWNHILL STRUCTURE TO UPHILL STRUCTURE. TRENCHES TO BE BACKFILLED IMMEDIATELY UPON COMPLETION OF INSTALLATION OF PIPES AND MANHOLES. EXPOSED SOIL TO BE STABILIZED IMMEDIATELY AFTER BACKFILL.
  14. REMOVE SEDIMENT ACCUMULATED IN SEDIMENT BASIN. REPAIR OF THE BASIN'S EMBANKMENTS PER DETAIL #1/C-105. CONVERT SEDIMENT BASIN TO DETENTION POND PER BASIN CONVERSION NOTES AND DETAILS ON DRAWING #C-105.
  15. EXCAVATE FOR AND INSTALL CRISTAL CLEAR V-TRAP AND OULLET. CONNECT THEM TO FLOW SPLITTERS #13 AND #14 INSTALLED DURING PHASE 1 OF CONSTRUCTION.
  16. EXCAVATE FOR AND INSTALL UNDERGROUND INFILTRATION SYSTEMS U/S1 AND U/S2. EXCAVATING BASIN SHALL BE AVAILABLE ON THE SITE IN CASE DETRASHING AFTER RAIN EVENT IS NECESSARY.
  17. CONNECT U/S #1 AND U/S #2 TO RESPECTIVE CRISTAL CLEAR V-TRAP AND MANHOLE #10.
  18. CONSTRUCTION OF FACILITIES LISTED IN ITEMS 7, 10 AND 16 ABOVE IS NOT ALLOWED UNTIL ALL CONTRIBUTING DRAINAGE AREAS HAVE BEEN STABILIZED.
  19. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES TO INCLUDE SILT FENCE.
  20. UPON COMPLETION OF ALL ABOVE ACTIVITIES AND SATISFACTORY ESTABLISHMENT OF VEGETATION ON ALL DISTURBED AREAS, CONTRACTOR TO PERFORM FINAL CLEANING OF THE PROJECT SITE.

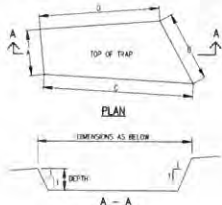
**BASIN CONVERSION NOTES:**

- CONVERSION CAN ONLY TAKE PLACE AFTER ALL ACTIVITIES LISTED IN SEQUENCE OF CONSTRUCTION PHASES #1 TO #19 HAVE BEEN COMPLETED. DISTURBED AREAS STABILIZED TO THE SATISFACTION OF THE INSPECTOR. AUTHORITY AND STORM DRAINAGE HAVE BEEN INSURED.
1. CONSULT WITH THE EROSION AND SEDIMENT CONTROL INSPECTOR PRIOR TO BEGINNING THE CONVERSION TO ENSURE THAT THE TIMING IS APPROPRIATE FOR THE CONVERSION TO TAKE PLACE.
  2. BE CERTAIN THAT THE POND IS COMPLETELY DRAINERED.
  3. EXCAVATE STORED SEDIMENT TO THE BOTTOM.
  4. GRADE EMBANKMENTS PER PROFILE SHOWN ABOVE. SOIL EXCAVATED FROM THE EMBANKMENTS SHALL BE DEPOSITED AT THE BASIN BOTTOM.



**CONVERTING SEDIMENT TRAP TO DETENTION POND PROFILE**

SCALE: HORIZONTAL - 1" = 20 FEET  
VERTICAL - 1" = 20 FEET



**SEDIMENT TRAP DIMENSIONAL CHART**

REFER TO DETAIL #1/C-110

SEDIMENT TRAP #	TOP OF TRAP DIMENSION (FT.)				AREA (SQ. FT.)	DEPTH (FT.)	SIDE SLOPE (H/V)	STORAGE VOLUME (CU FT.)
	A	B	C	D				
1	18	10	45.5	44	410	2.0	1:1	790
2	20	42	160	163.14	3275	3.0	1:1	7970
3	24	44	74	77.25	2930	3.0	1:1	6897
4	45	45	90	90	4050	3.0	1:1	9643

**EROSION CONTROL LEGEND:**

- EXISTING DRAINAGE PIPE
- EXISTING CONTOURS
- PROPOSED CONTOURS
- STABILIZED CONSTRUCTION ENTRANCE
- TEMPORARY STAGING AREA
- LIMITS OF DISTURBANCE
- EARTH BANK
- TEMPORARY SOIL STOCKPILE
- INLET PROTECTION
- SILT FENCE
- EROSION CONTROL BLANKET
- CONSTRUCTION FENCE
- DRAINAGE SAFETY FENCE
- CHECK DAM
- LEVEL SPEAKER
- TEMPORARY SWALE
- PROPOSED HOUSE

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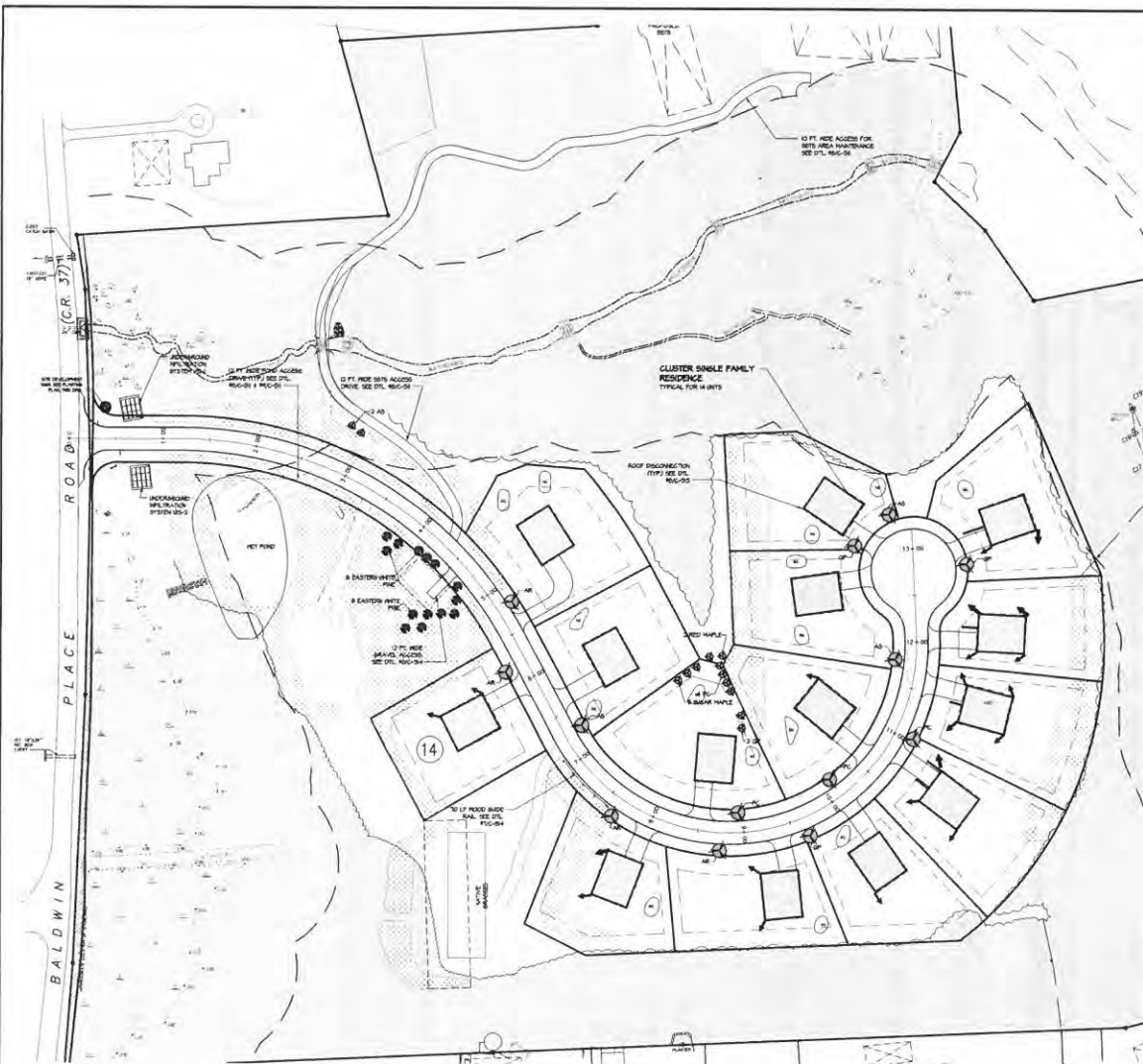
NO.	DATE	DESCRIPTION	BY	DATE	DESCRIPTION
1	12 APR 18	REV. PER R. 16, 18 COMMENTS			
2	12 APR 18	REV. PER R. 16, 18 COMMENTS			

PROJECT: PROPOSED SUBURBAN PLAN PREPARED FOR:  
**OLD FORD ESTATES**  
BALDWIN PLACE ROAD  
TOWN OF CARMEL  
PUTNAM COUNTY, NEW YORK  
TAX MAP 75-15-1-19

DATE: 12 APR 18  
PROJECT MANAGER: J.M.  
DRAWN BY: J.M.  
CHECKED BY: J.M.  
SCALE: AS NOTED

DRAWING: **EROSION and SEDIMENT CONTROL PLAN PHASE 6**

PROJECT NUMBER: A206  
DRAWING NUMBER: **C-156**  
SHEET: 18 OF 24



**SLOPE STABILIZATION NOTES:**

**TEMPORARY STABILIZATION:**  
 AREAS WHERE TEMPORARY STABILIZATION IS NEEDED, SUCH AS GRADED AREAS TO BE STABILIZED UNTIL START OF NEXT CONSTRUCTION PHASE OR SEASON, ARE TO BE IMMEDIATELY STABILIZED AS FOLLOWS UNLESS OTHERWISE SPECIFIED:  
 SPRINGS/INTERSECTING FALL PLANTING:  
 ANNUAL RYEGRASS / GENERAL OATS (5.0 LB/M<sup>2</sup> MULTIFLOAM) 50 LBS/AC  
 LATE FALL/EARLY WINTER:  
 BROODSTOCK WINTER RYE (5.0 LB/M<sup>2</sup> PENNINE VAK ARISTARKE) 100 LBS/AC

**PERMANENT STABILIZATION:**  
 ALL DISTURBED AREAS, CUT SLOPES AND ENHANCEMENT P.L.L. AREAS ARE TO BE IMMEDIATELY STABILIZED AS FOLLOWS, UNLESS OTHERWISE SPECIFIED:  
 MAINTAINED TURF GRASS: SEED: KENTUCKY BLUE GRASS 30 LBS/AC  
 GREENING RED FESCUE 20  
 RED TOP OR RYE GRASS 5

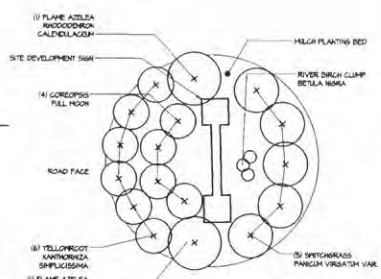
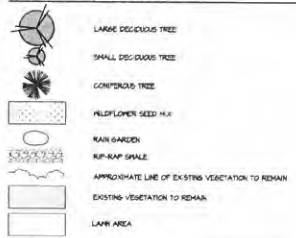
**PILEDRIVER AREAS:** NATIVE STEEP SLOPE HAS WITH ANNUAL RYEGRASS SEED MIX BROADCAST IN AS MPY BY ERIST CONSERVATION SEEDS, WITH AN APPLICATION RATE OF 60 LBS/ACRE.

PLANT LIST			
SYM	NAME	SIZE (IN)	QTY.
	EVERGREEN TREES		
PS	PINK STROBE / EASTON WHITE PINE	25' CAL.	14
	DECIDUOUS STREET TREES		
AR	ACER RUBRUM / RED MAPLE	25' CAL.	8
AS	ACER SACCHARINUM / SUGAR MAPLE	25' CAL.	8
PC	PIRUS CALLERYANA / CLEVELAND PEAR	25' CAL.	1
OF	QUERCUS PALMISTOS / PIN OAK	25' CAL.	5

**PLANTING NOTES:**

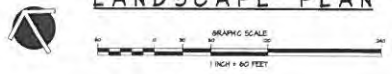
- ALL PLANTINGS SHALL BE VERIFIED BY THE TOWN OF CARMEL WETLANDS INSPECTOR.
- ALL PLANTINGS SHALL BE INSTALLED PER CHAPTER 142 OF THE TOWN OF CARMEL CODE.
- NO PARKING OR STORAGE OF MATERIALS WILL BE PERMITTED UNDER DRIP LINE OF EXISTING TREES AND SHRUBS TO REMAIN.
- ALL PLANT MATERIALS SHALL BE NURSERY GROWN, FULLY FORMED AND IN A HEALTHY CONDITION, FREE OF INSECTS, PESTS, DISEASE OR DAMAGE AT THE TIME OF INSTALLATION.
- ALL PLANTS SHALL BE BALLED AND UNWRAPPED OR CONTAINER GROWN.
- ALL LANDSCAPING SHOULD BE MAINTAINED IN A HEALTHY GROWING CONDITION THROUGHOUT THE DURATION OF THE USE BEING SERVED. PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH HEALTHY REDY PLANTS OF COMPARABLE SIZE, TYPE AND QUANTITY AT THE BEGINNING OF THE IMMEDIATELY FOLLOWING GROWING SEASON.
- TOPSOIL ALL DISTURBED AREAS WITH NOT LESS THAN FOUR (4) INCHES OF SUITABLE TOPSOIL MATERIAL.
- SEED ALL OTHER DISTURBED AREAS IN ACCORDANCE WITH THE 'SLOPE STABILIZATION NOTES'.
- MULCH ALL AREAS WITH STRAW AT THE RATE OF TWO TONS PER ACRE.
- ALL UTILITIES MAY NOT BE SHOWN. CONTRACTOR SHALL VERIFY LOCATIONS OF UTILITIES BEFORE PROCEEDING WITH WORK.
- SEE EROSION AND SEDIMENT CONTROL PLAN, DRAWING C-105 FOR MAINTENANCE AND ESTABLISHMENT OF GROWTH.
- AFTER ESTABLISHMENT OF DENSE, VIGOROUS VEGETATION PHOSPHORUS BASED FERTILIZERS SHALL NOT BE USED, ONLY NON-PHOSPHORUS BASED FERTILIZERS MAY BE APPLIED TO THE LANDS AND GRADED AREAS.
- THE FORTIFIED RAIN BARRENDS WILL BE PLANTED AS SHOWN ON THE AEROBIC DETAIL FOUND ON THIS SHEET WITH THE QUANTITIES AS STATED.

**LANDSCAPING LEGEND:**



**DEVELOPMENT SIGN PLANTING PLAN**  
 1/2" = 1'-0" N.T.S.

**LANDSCAPE PLAN**



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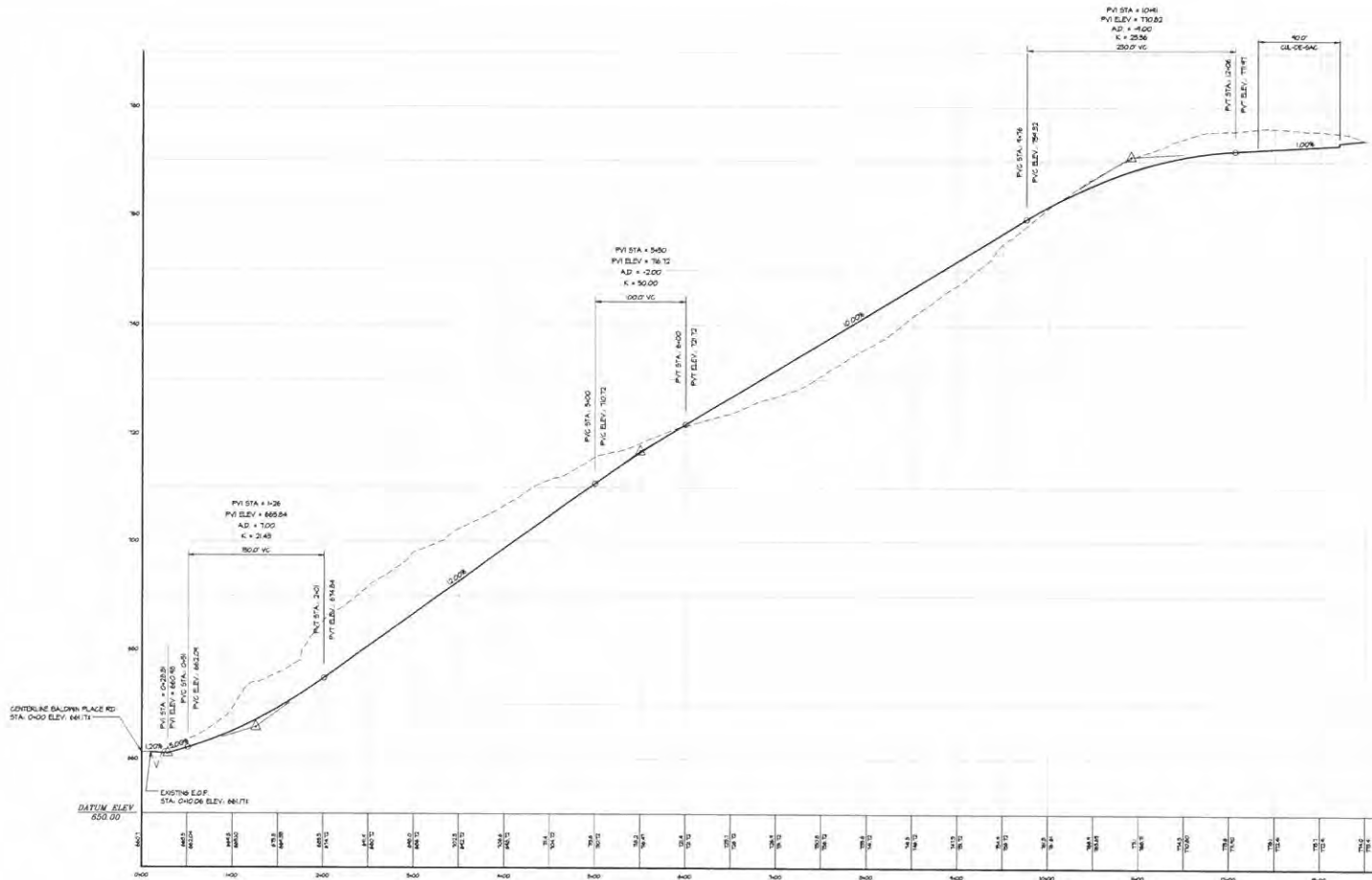
NO.	DATE	DESCRIPTION	BY
1	10/18/18	REV PER B.L. COMMENTS	
2	02/02/19	REV PER TC COMMENTS	
3	8/07/20	REV PER TC COMMENTS	

PROPOSED SUBDIVISION PLAN PREPARED FOR:  
**OLD FORGE ESTATES**  
 BALDWIN PLACE ROAD  
 TOWN OF CARMEL  
 PUTNAM COUNTY, NEW YORK  
 TAX MAP 19-01-01

DATE: 12 APR 18  
 PROJECT MANAGER: PNL  
 DRAWN BY: J.S.R.  
 CHECKED BY: PNL  
 SCALE: AS NOTED

LANDSCAPE PLAN

PROJECT NUMBER: 8326  
 DRAWING NUMBER: C-160  
 SHEET 32 OF 34



**A ROAD PROFILE**  
 C-210 SCALE: HORIZ. 1" = 60', VERT. 1" = 10'



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NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	01/10/18	REV. PER B.T.P. COMMENTS			
2	02/07/18	REV. PER T.E. COMMENTS			
3	03/01/18	REV. PER T.E. COMMENTS			

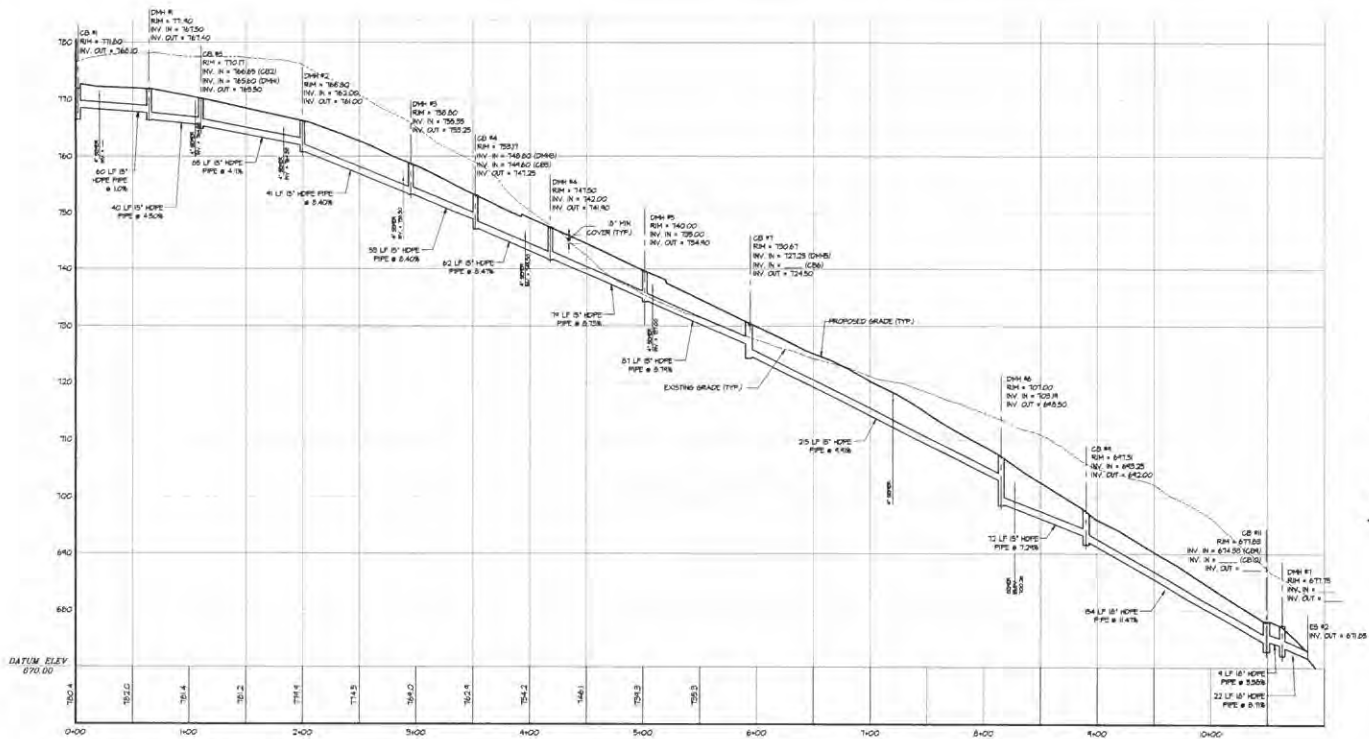
PROJECT: PROPOSED SUBDIVISION PLAN PREPARED FOR:  
**OLD FORGE ESTATES**  
 BALDWIN PLACE ROAD  
 TOWN OF CARMEL  
 PUTNAM COUNTY, NEW YORK  
 TAX MAP 78-1-1-4

DATE: 12 APR 18  
 PROJECT MANAGER: PML  
 DRAWN BY: PML  
 CHECKED BY: PML  
 SCALE: AS NOTED

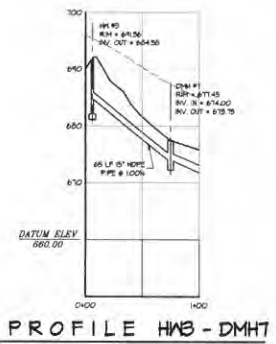
DRAWING: ROAD PROFILE

PROJECT NUMBER: 5266  
 DRAWING NUMBER: C-210  
 SHEET 2 OF 24

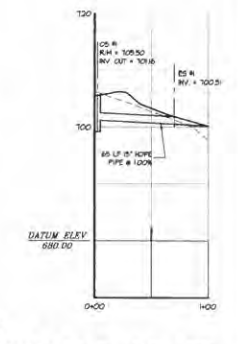




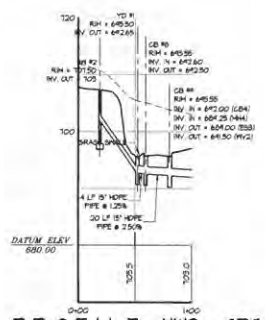
PROFILE CBI - ESS



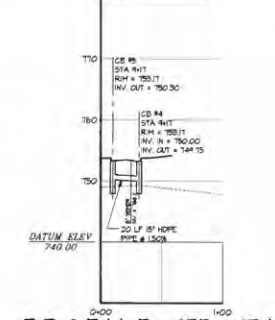
PROFILE HW3 - DMHT



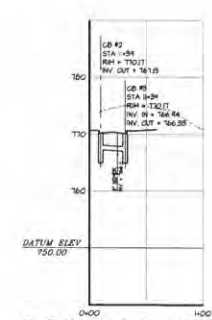
PROFILE OSI - ES1



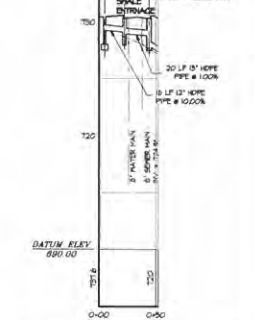
PROFILE HW2 - CB9



PROFILE CB5 - CB4



PROFILE CB2 - CB3



PROFILE HW1 - CB7

STORM DRAIN PROFILES

SCALE: HORIZ 1" = 50', VERT 1" = 10'



4 OLD ROUTE 6, BREWSTER, NEW YORK 10509  
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PURSUANT TO NEW YORK STATE EDUCATION LAW ARTICLE 145, SECTION 7208 SUBSECTION 2, IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER TO ACT AS AN ENGINEER OR ARCHITECT. THE SEAL AND SIGNATURE OF AN ENGINEER IS A FIDUCIARY SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE IS GOOD ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

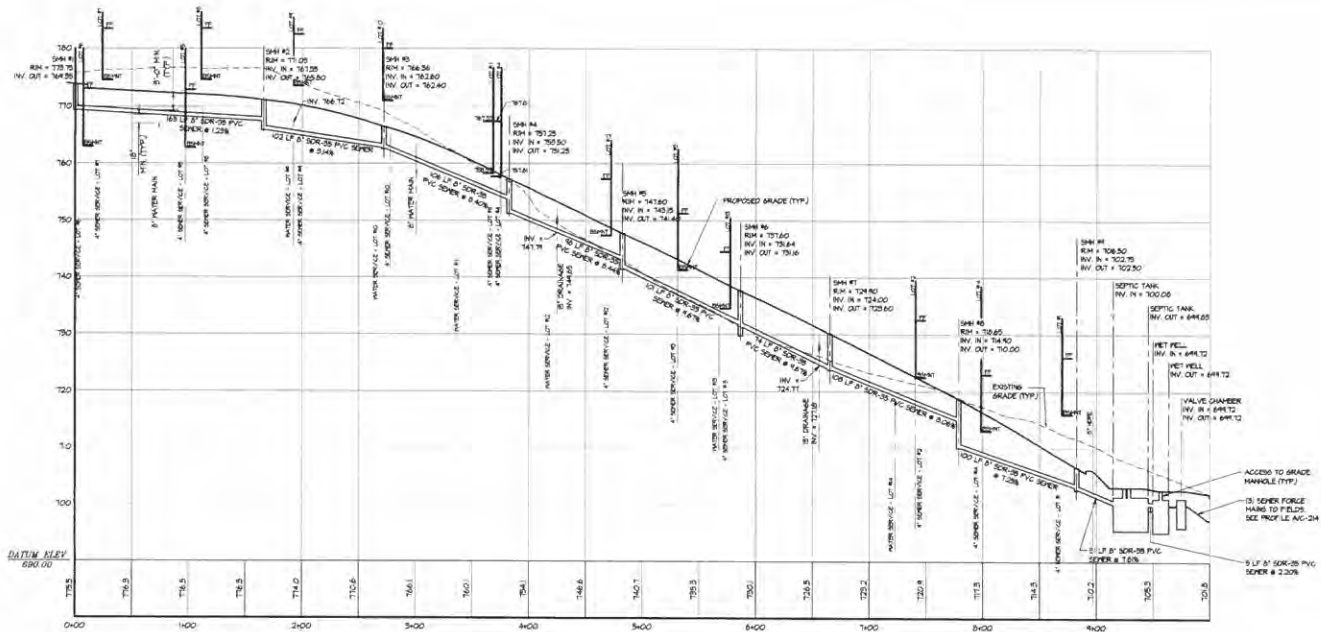
NO.	DATE	DESCRIPTION
1	02/15/11	REV. PER B.T. TO COMMENTS
2	03/01/11	REV. PER T.C. COMMENTS
3	03/14/11	REV. PER T.C. COMMENTS

PROJECT: PROPOSED SUBDIVISION PLAN PREPARED FOR: OLD FORGE ESTATES, BALDWIN PLACE ROAD, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK, T&E MAP 10509-11

DATE: 12 APR 11  
 PROJECT MANAGER: P.C.  
 DRAWN BY: A.B.K.  
 CHECKED BY: P.C.  
 SCALE: AS NOTED

DRAWING: STORM DRAIN PROFILES

PROJECT NUMBER: 10509  
 DRAWING NUMBER: C-211  
 SHEET 22 OF 34



**A** SANITARY SEWER PROFILE  
 C-212 SCALE: HORIZ. 1" = 50'; VERT. 1" = 10'



4 OLD ROUTE & BREWSTER, NEW YORK 10504  
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PURSUANT TO NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7208 SUBSECTION 2, IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER AN ITEM IN ANY MANNER IF AN ITEM BEARING THE SEAL OF AN ENGINEER IS ALTERED. NO ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL, AND THE HOLDING IS FURTHER BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

NO.	DATE	DESCRIPTION	BY	DATE	DESCRIPTION
1	02/02/08	REV. PER B.C. COMMENTS			
2	02/02/08	REV. PER B.C. COMMENTS			
3	02/02/08	REV. PER B.C. COMMENTS			

PROJECT: PROPOSED SUBDIVISION PLAN PREPARED FOR  
**OLD FORGE ESTATES**  
 BALDWIN PLACE ROAD  
 TOWN OF CARMEL  
 PUTNAM COUNTY, NEW YORK  
 TAX MAP 13.0-A

DATE: 02 APR 08  
 PROJECT MANAGER: RMC  
 DRAWN BY: JKA  
 CHECKED BY: RMC  
 SCALE: AS NOTED

DRAWING: SANITARY SEWER PROFILE

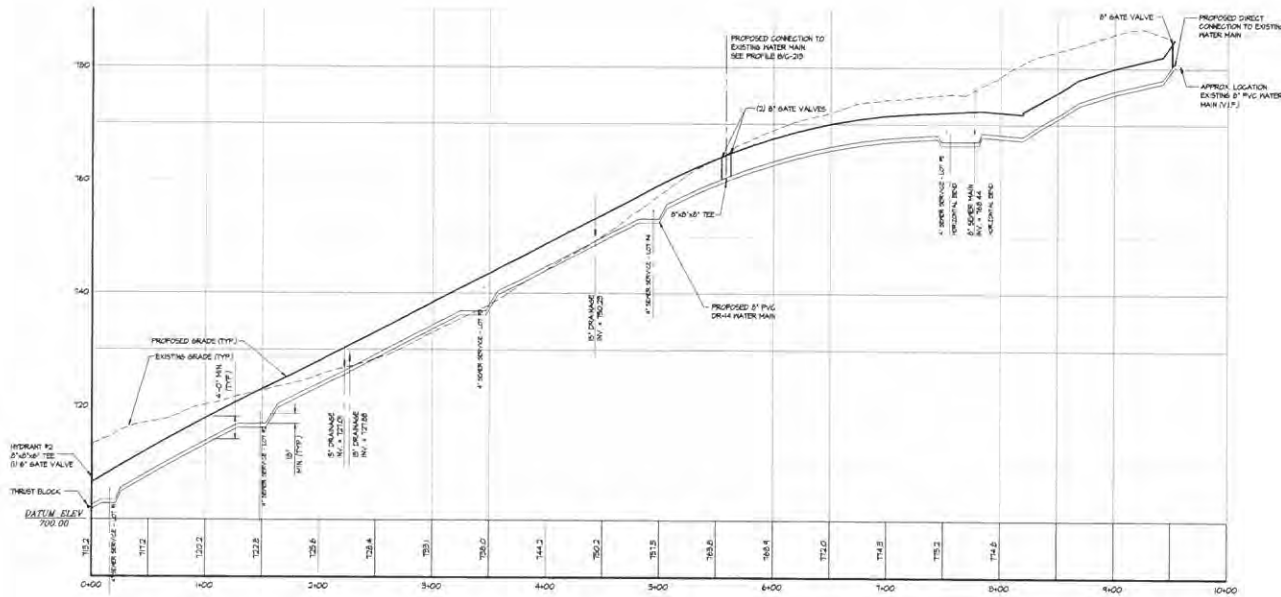
PROJECT NUMBER: 0206  
 DRAWING NUMBER: **C-212**  
 SHEET 25 OF 34

**FIRE HYDRANT NOTES:**

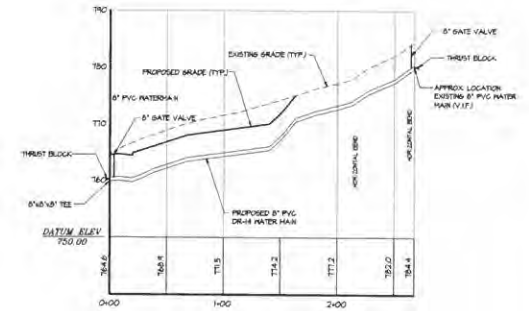
1. ALL FIRE HYDRANTS SHALL BE THE APPROVED ANPA TYPE FIRE HYDRANTS IN CONFORMANCE WITH THE AMERICAN WATER WORKS ASSOCIATION STANDARDS FOR FIRE HYDRANTS FOR ORDINARY WATER WORKS SERVICE. ANPA DESIGNATION C602, AND SHALL HAVE A 5/4" INCH VALVE OPENING, A 6" INCH MECHANICAL JOINT, COMPLETE WITH AN AUXILIARY BATE VALVE (CLOSE COUPLED), A 6" INCH MECHANICAL SHOE, AND ALL APPURTENANCES.
2. FIRE HYDRANTS SHALL BE RATED FOR A WORKING PRESSURE OF 250 PS. FIRE HYDRANTS SHALL BE SIZED FOR A 4'-8" BURY.

**VALVE NOTES:**

1. BATE VALVES SHALL BE ANPA NON-RISING STEM TYPE, AS MANUFACTURED BY "MELLER CO." MODEL A-2500-25, OR APPROVED EQUAL, CONFORMING TO THE LATEST ANPA STANDARD FOR BATE VALVES - 5" THROUGH 48" - FOR WATER AND OTHER LIQUIDS. ANPA DESIGNATION C608.
2. SIZES UP TO AND INCLUDING 12 INCHES SHALL BE 250 PS WORKING PRESSURE. THE VALVE BODY AND BONNET SHALL BE DUCTILE IRON. ALL INTERIOR AND EXTERIOR METAL SURFACES SHALL BE COATED WITH A TWO-PART EPOXY RESIN/EPICURE EPOXY COMPLYING WITH ANPA C650.
3. VALVES SHALL HAVE DIA. 12" RING SEALS, HEHE SCREEN RESILIENT PISTON SEATS IN ACCORDANCE WITH ANPA DESIGNATION C608 AND SHALL BE CONSTRUCTED SO AS TO PROVIDE UNOBSTRUCTED FULL PORT CLEARANCE WHEN FULLY OPEN AND IMMEDIATE COMPLETE CLOSURE WHEN CLOSED. THE ENDS OF THE VALVES SHALL BE MECHANICAL JOINT.
4. ALL VALVES SHALL BE ARRANGED TO OPEN IN COUNTER CLOCKWISE DIRECTION UNLESS OTHERWISE SPECIFICALLY INDICATED AND OPERATING NUTS SHALL BE 2 INCH SQUARE.
5. VALVES SHALL BE TESTED TO A PRESSURE OF NOT LESS THAN TWO TIMES THE WORKING PRESSURE.



**A WATERMAIN PROFILE: WATERMAIN ALONG ROAD**  
SCALE: HORIZ. 1" = 50', VERT. 1" = 10'



**B WATERMAIN PROFILE: CONNECTION TO EXISTING WATERMAIN - EASTERN TIE-IN**  
SCALE: HORIZ. 1" = 50', VERT. 1" = 10'



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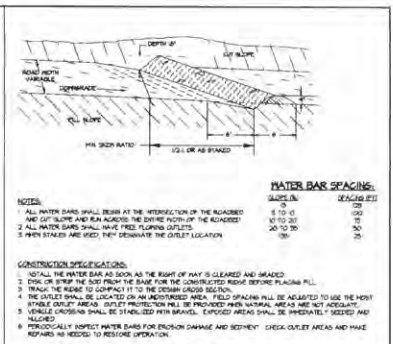
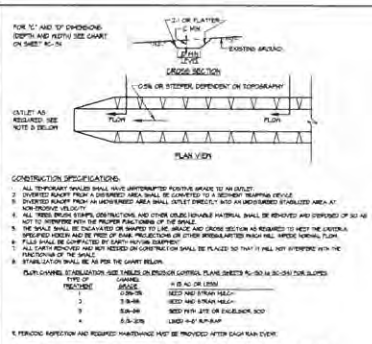
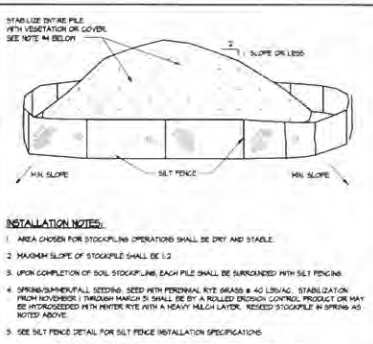
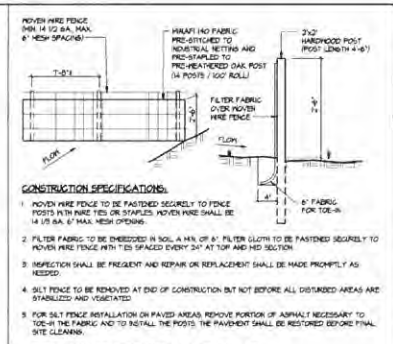
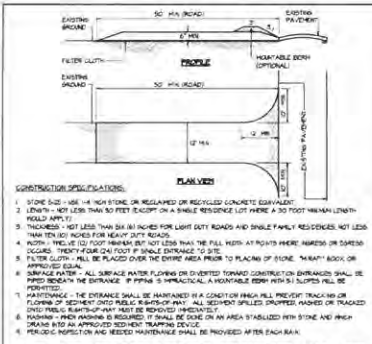
NO.	DATE	BY	DESCRIPTION
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2	08/20/08	ML	REV FOR COMMENTS
3	08/20/08	ML	REV FOR COMMENTS

PROJECT: PROPOSED SUBDIVISION PLAN PREPARED FOR  
**OLD FORGE ESTATES**  
BALDWIN PLACE ROAD  
TOWN OF GERMEL  
PUTNAM COUNTY, NEW YORK  
TAX MAP 7015-14

DATE: 12 APR 08  
PROJECT MANAGER: PML  
DRAWN BY: JBC  
CHECKED BY: PML  
SCALE: AS NOTED

DRAWING: **WATERMAIN PROFILES**

PROJECT NUMBER: 0256  
DRAWING NUMBER: **C-213**  
SHEET: 24 OF 24



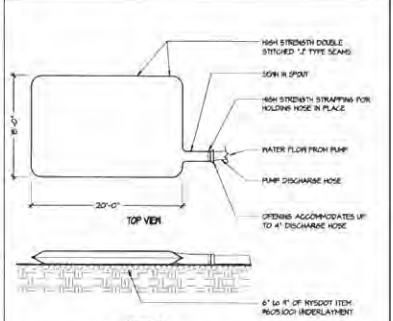
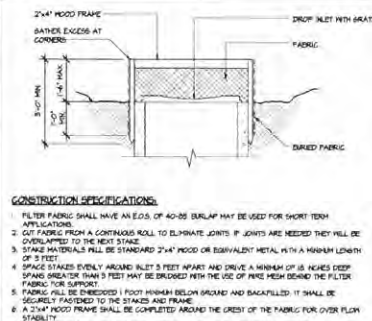
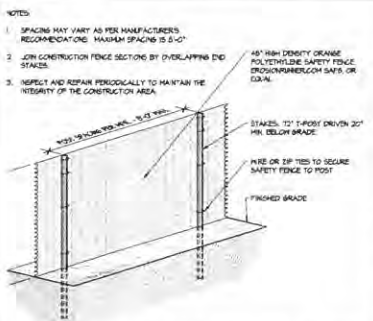
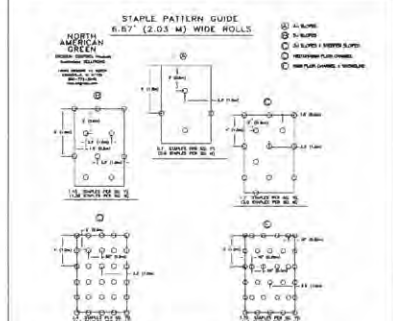
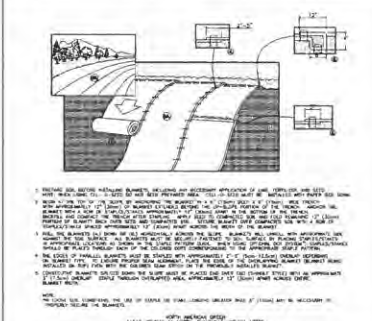
1 STABILIZED CONSTRUCTION ENTRANCE DTL.  
C-30 N.T.S.

2 SILT FENCE DETAILS  
C-30 N.T.S.

3 TOPSOIL STOCKPILE DETAIL  
C-30 N.T.S.

4 TEMPORARY SWALE DETAILS  
C-30 N.T.S.

5 WATER BAR DETAIL  
C-30 N.T.S.



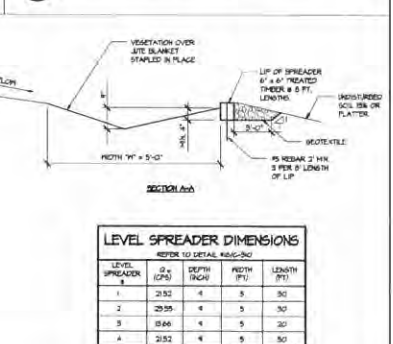
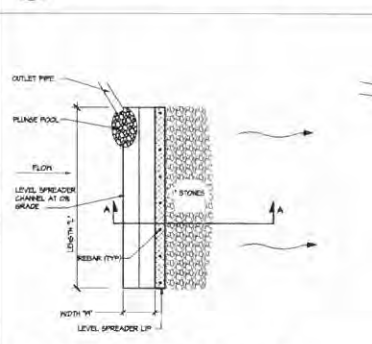
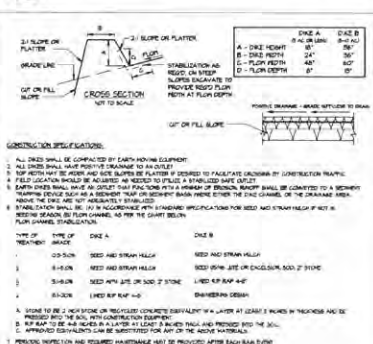
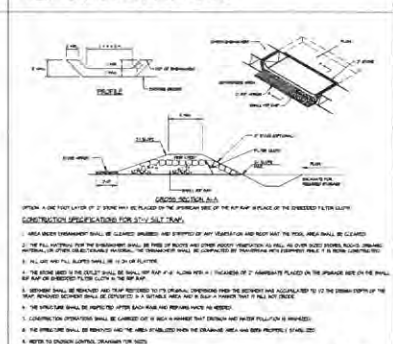
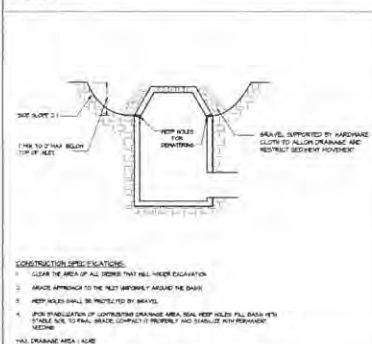
6 EROSION CONTROL BLANKET INSTAL. DTL.  
C-30 N.T.S.

7 EROSION CONTROL BLANKET STAPLE PATTERNS  
C-30 N.T.S.

8 CONSTRUCTION SAFETY FENCE DTL.  
C-30 N.T.S.

9 CURB INLET PROTECTION  
C-30 N.T.S.

10 DEWATERING BAG DETAIL  
C-30 N.T.S.



11 INLET PROTECTION DETAIL  
C-30 N.T.S.

12 STONE OUTLET SEDIMENT TRAP DTL.  
C-30 N.T.S.

13 EARTH DIKE DETAILS  
C-30 N.T.S.

14 LEVEL SPREADER DETAILS  
C-30 N.T.S.

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4 OLD ROUTE 6, BRENTEN, NEW YORK 10604  
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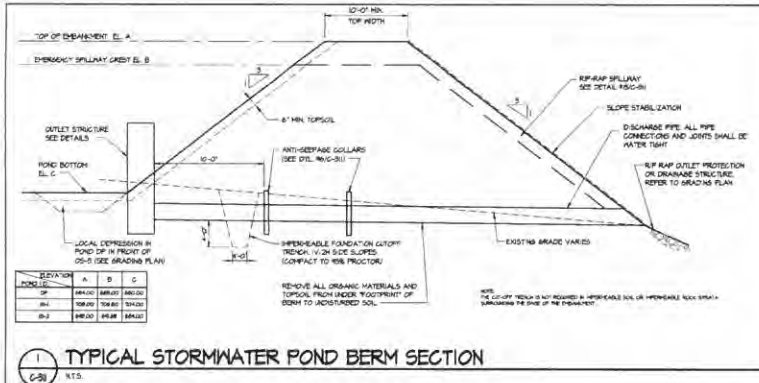
NO.	DATE	DESCRIPTION
1	12/15/14	REV. PER B. E. P. COMMENTS
2	02/03/15	REV. PER T. COMMENTS
3	1/24/15	REV. PER T. COMMENTS

NO.	DATE	DESCRIPTION
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2	02/03/15	REV. PER T. COMMENTS
3	1/24/15	REV. PER T. COMMENTS

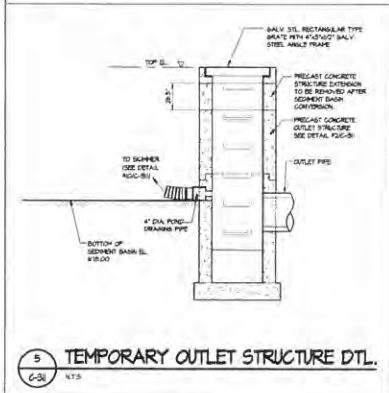
PROPOSED SUSPENSION PLAN PREPARED FOR:  
**OLD FORGE ESTATES**  
BALDWIN PLACE ROAD  
TOWN OF CARMEL  
PUTNAM COUNTY, NEW YORK  
TAX MAP T23-14

DATE: 12 APR 15  
PROJECT MANAGER: P.M.  
DRAWN BY: P.M.  
CHECKED BY: P.M.  
SCALE:  
AS NOTED

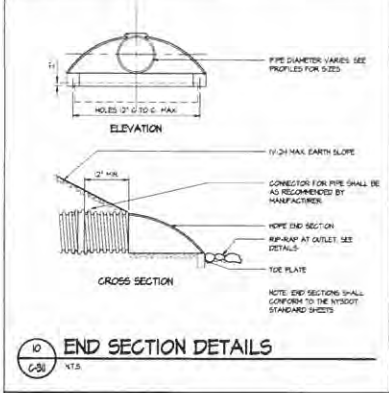
PROJECT NUMBER: R236  
DRAWING NUMBER:  
**C-310**  
SHEET 28 OF 34



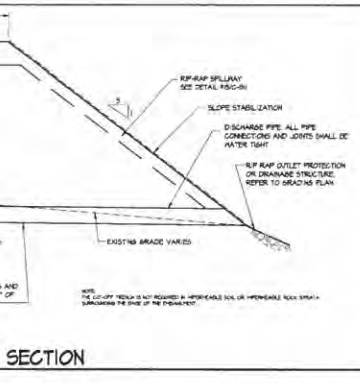
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C-31 N.T.S.



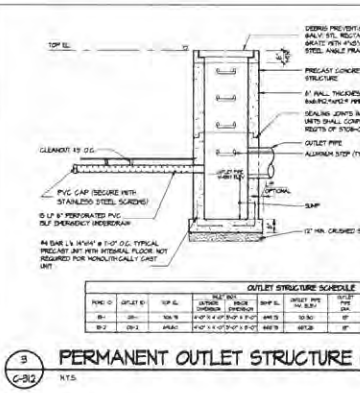
5 TEMPORARY OUTLET STRUCTURE DTL.  
C-31 N.T.S.



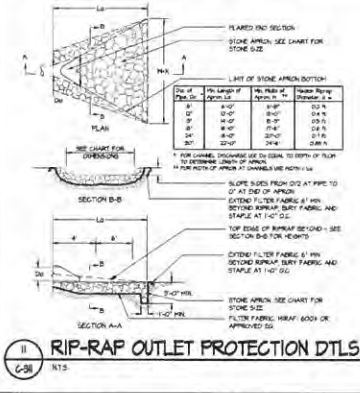
10 END SECTION DETAILS  
C-31 N.T.S.



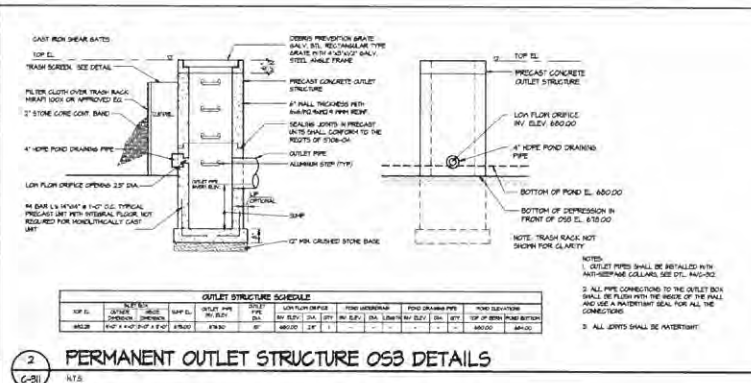
2 PERMANENT OUTLET STRUCTURE OS3 DETAILS  
C-31 N.T.S.



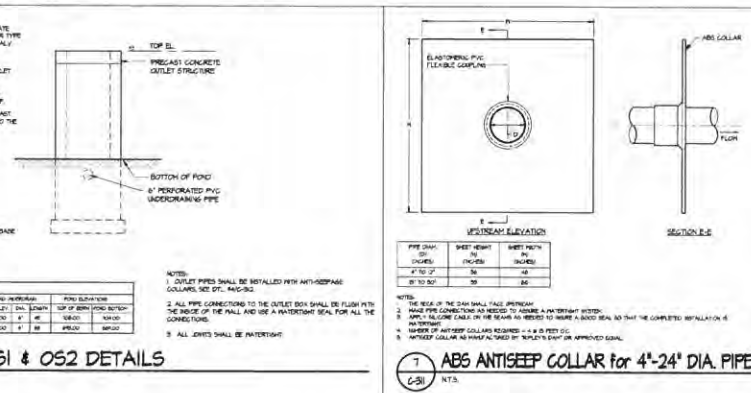
3 PERMANENT OUTLET STRUCTURE OS1 & OS2 DETAILS  
C-31 N.T.S.



11 RIP-RAP OUTLET PROTECTION DTLs.  
C-31 N.T.S.



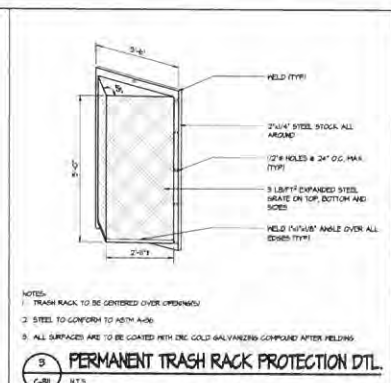
4 ABS ANTISEEP COLLAR for 4\"/>



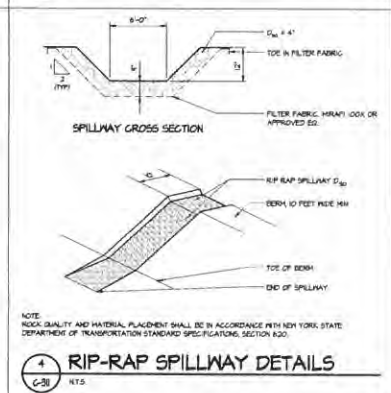
7 SPILLWAY CROSS SECTION  
C-31 N.T.S.



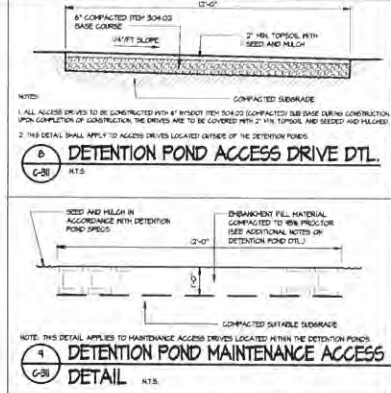
9 DETENTION POND MAINTENANCE ACCESS DETAIL  
C-31 N.T.S.



8 PERMANENT TRASH RACK PROTECTION DTL.  
C-31 N.T.S.



6 DETENTION POND ACCESS DRIVE DTL.  
C-31 N.T.S.



9 DETENTION POND MAINTENANCE ACCESS DETAIL  
C-31 N.T.S.

**POTNAM ENGINEERING, LLC**  
ENGINEERS - ARCHITECTS  
4 OLD ROUTE 6, BREWSTER, NEW YORK 10804  
(845) 274-6194 FAX (845) 274-6194  
87004-0000

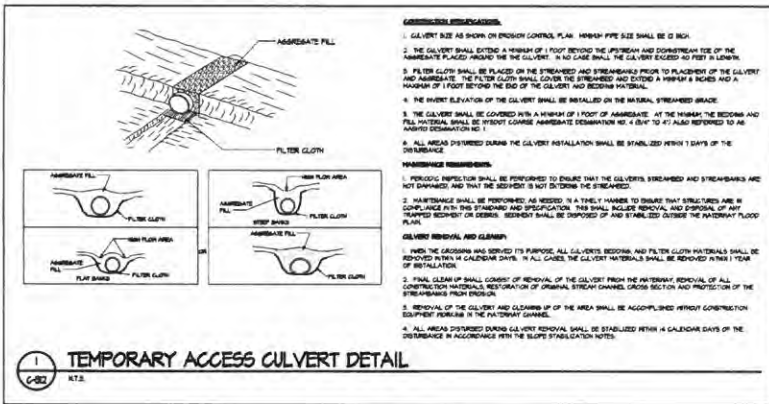
REVISIONS

NO.	DATE	DESCRIPTION
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2	02/01/11	REV. FOR COMMENTS
3	02/15/11	REV. FOR COMMENTS

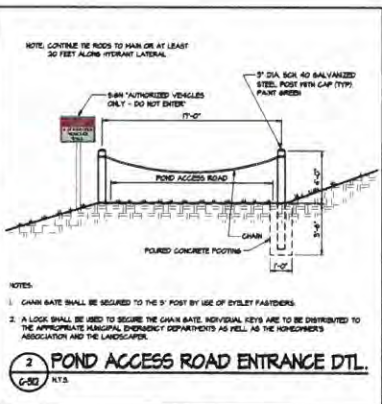
PROPOSED SUBDIVISION PLAN PREPARED FOR:  
**OLD FORGE ESTATES**  
BALDWIN PLACE ROAD  
TOWN OF CARMEL  
FUTNAM COUNTY, NEW YORK  
TAX MAP 155-1-11

DATE: 12 APR 11  
PROJECT MANAGER: PML  
DRAWN BY: J.R.K.  
CHECKED BY: PML  
SCALE: AS NOTED

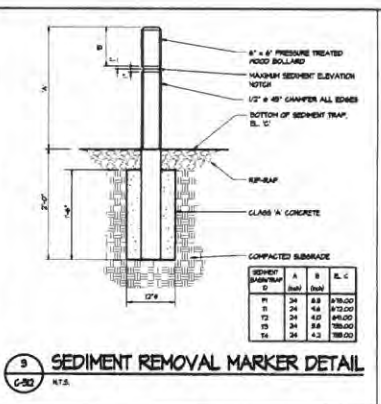
PROJECT NUMBER: 0200  
DRAWING NUMBER: C-311  
SHEET 28 OF 34



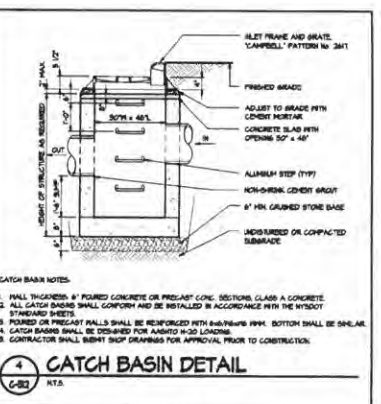
1 TEMPORARY ACCESS CULVERT DETAIL  
C-302 N.T.S.



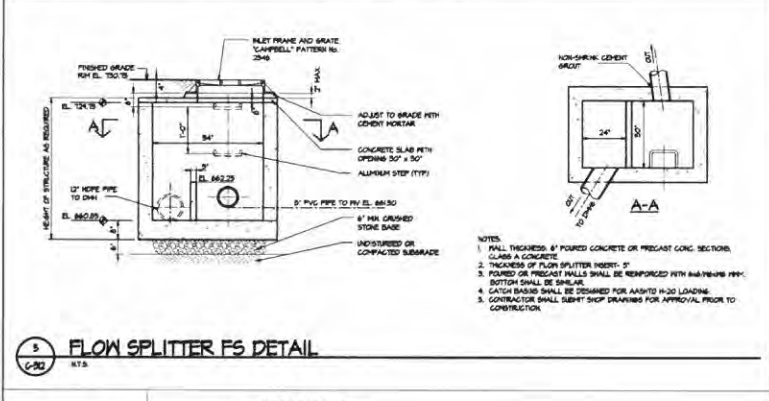
2 POND ACCESS ROAD ENTRANCE DTL.  
C-302 N.T.S.



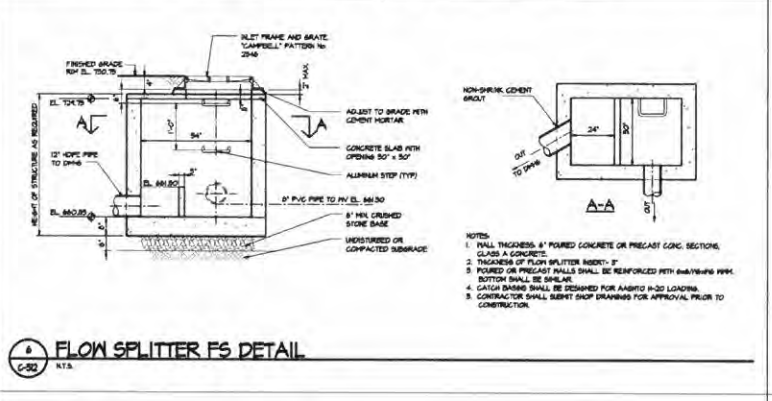
3 SEDIMENT REMOVAL MARKER DETAIL  
C-302 N.T.S.



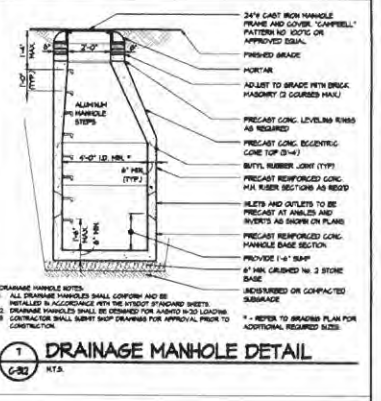
4 CATCH BASIN DETAIL  
C-302 N.T.S.



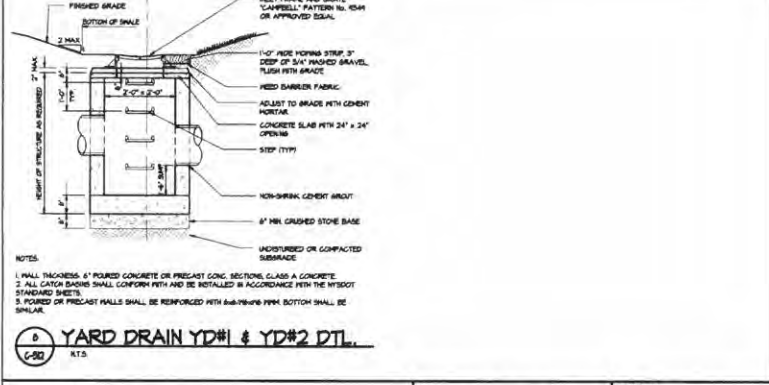
5 FLOW SPLITTER FS DETAIL  
C-302 N.T.S.



6 FLOW SPLITTER FS DETAIL  
C-302 N.T.S.



7 DRAINAGE MANHOLE DETAIL  
C-302 N.T.S.



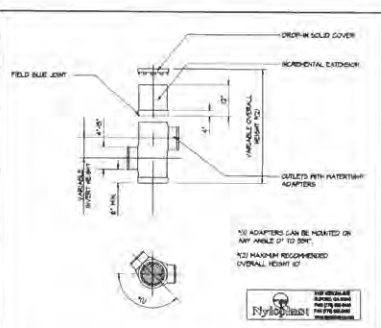
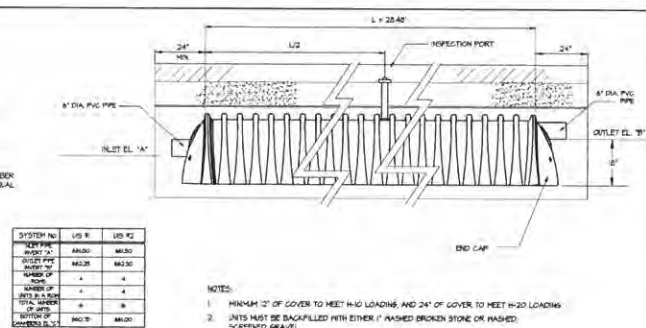
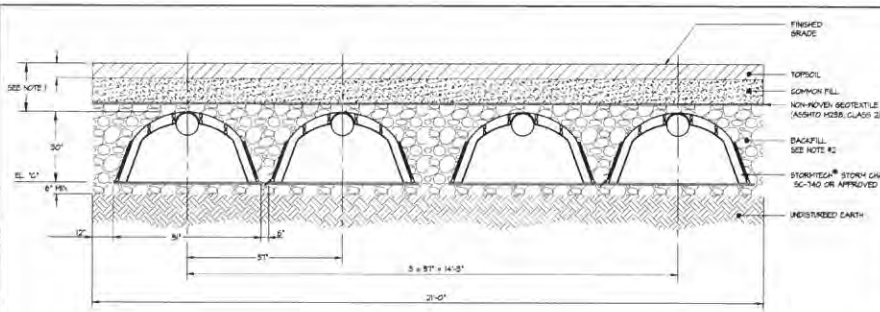
8 YARD DRAIN YD#1 & YD#2 DTL.  
C-302 N.T.S.

**POTNAM ENGINEERING, LLC**  
ENGINEERS - ARCHITECTS  
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REVISIONS	NO.	DATE	DESCRIPTION	PROJECT
1	10/18/18	REV. PER B.T.S. BY COMMENTS		
2	12/02/18	REV. PER T.E. COMMENTS		
3	1/29/20	REV. PER T.E. COMMENTS		

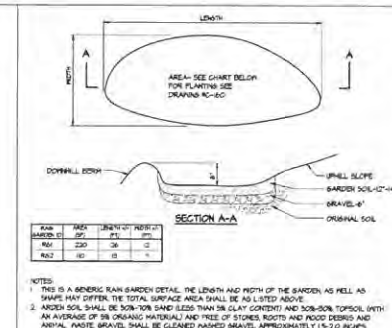
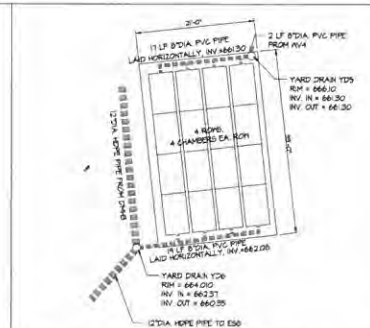
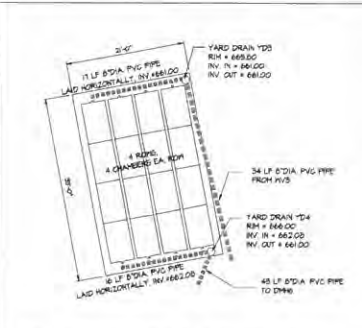
PROPOSED SUBDIVISION PLAN PREPARED FOR  
**OLD FORGE ESTATES**  
BALDWIN PLACE ROAD  
TOWN OF CARMEL  
PUTNAM COUNTY, NEW YORK  
TAX MAP 1518-11

DATE	BY	PROJECT NUMBER	DRAWING NUMBER	PROJECT NUMBER
12 APR 18	P.M.			C-312
	P.M.			
	P.M.			
	AS NOTED			



1 INFILTRATION SYSTEM DETAILS  
C-30 N.T.S.

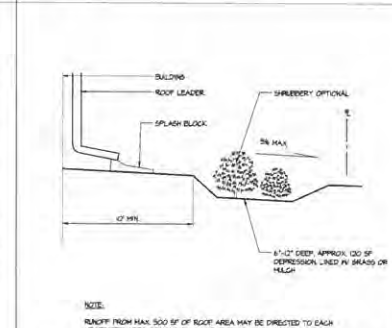
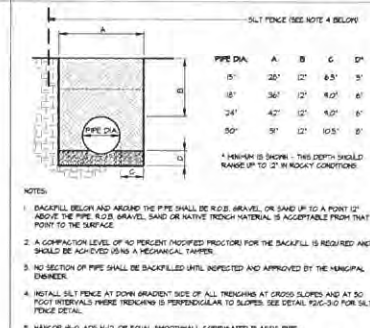
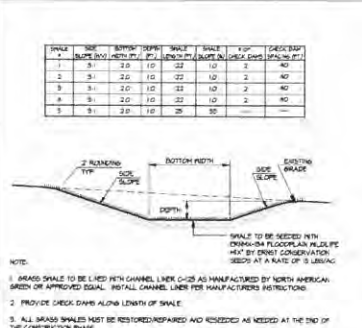
2 YARD DRAIN YD#3, YD#4, YD#5 & YD#6 DTL.  
C-30 N.T.S.



3 UNDERGROUND INFILTRATION SYSTEM UIS#1 LAYOUT  
C-30 N.T.S.

4 UNDERGROUND INFILTRATION SYSTEM UIS#2 LAYOUT  
C-30 N.T.S.

5 RAIN GARDEN DETAILS  
C-30 N.T.S.



6 GRASS SWALE DETAIL  
C-30 N.T.S.

7 STORM DRAIN TRENCH DETAIL  
C-30 N.T.S.

8 ROOF LEADER DISCONNECTION DTL.  
C-30 N.T.S.

**POTNAM ENGINEERING, LLC**  
ENGINEERS - ARCHITECTS  
4 OLD ROUTE 46, BRIDGEVIEW, NEW YORK 10504  
(845) 274-8704 FAX (845) 274-8769  
WWW.POTNAMENGINEERING.COM

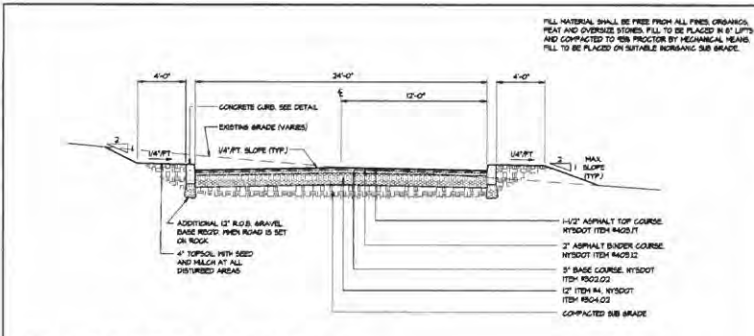
PURSUANT TO NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7006, SUBSECTION 2, IT IS A VIOLATION OF THIS LAW FOR ANY REGISTERED ARCHITECT OR REGISTERED PROFESSIONAL ENGINEER TO ALTER ANY DRAWING OR SPECIFICATION BEARING THE SEAL OF AN ENGINEER OR ARCHITECT, UNLESS THE REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT HAS FIRST OBTAINED THE WRITTEN CONSENT OF THE REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT WHOSE SEAL AND SIGNATURE ARE ON THE DRAWING OR SPECIFICATION.

NO.	DATE	DESCRIPTION
1	02/01/19	REV FOR B.I.E. COMMENTS
2	02/01/19	REV FOR COMMENTS
3	02/01/19	REV FOR COMMENTS

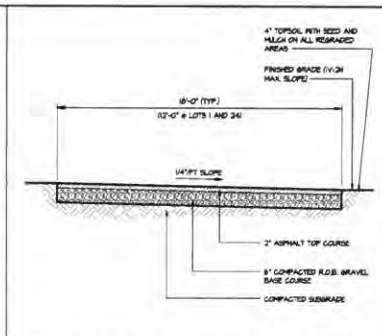
PROPOSED SUB-VISION PLAN PREPARED FOR:  
**OLD FORGE ESTATES**  
BALDWIN PLACE ROAD  
TOWN OF CARMEL  
PUTNAM COUNTY, NEW YORK  
TAX MAP 15-15-1-A

DATE: 12 APR 19  
PROJECT MANAGER: PNC  
DRAWN BY: JMK  
CHECKED BY: PNC  
SCALE: AS NOTED

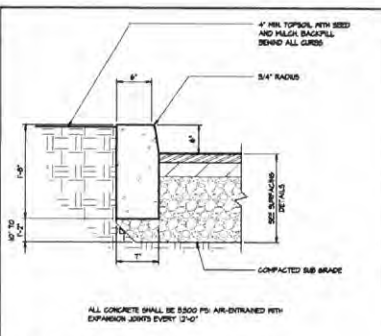
DRAWING NUMBER: DETAILS  
PROJECT NUMBER: 0356  
DRAWING NUMBER: C-313  
SHEET 30 OF 34



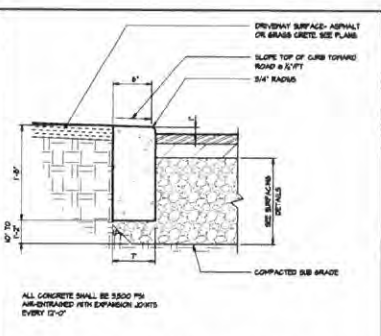
1 TYPICAL ROAD CROSS SECTION  
C-304 N.T.S.



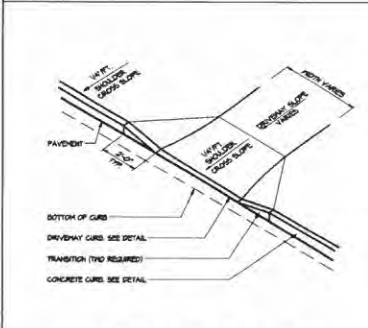
2 SINGLE FAMILY ASPHALT DRIVEWAY DTL  
C-304 N.T.S.



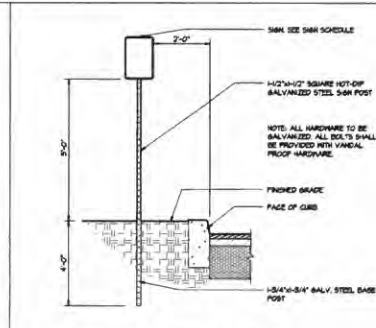
3 CONCRETE CURB DETAIL  
C-304 SCALE: 3/4"=1'-0"



4 DRIVEWAY CONCRETE CURB DETAIL  
C-304 N.T.S.

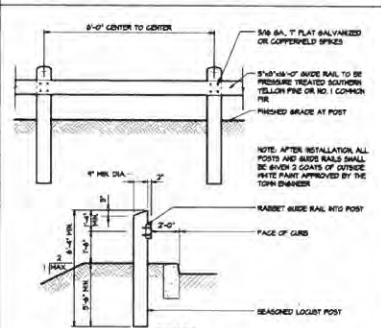


5 DRIVEWAY CURB CUT DETAIL  
C-304 N.T.S.

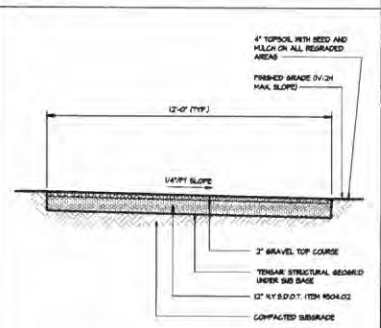


6 TRAFFIC SIGN DETAILS  
C-304 N.T.S.

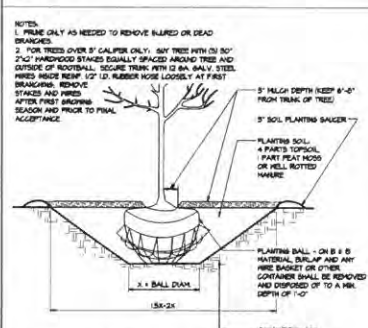
LOC. NO.	TEXT NO.	SMR	NYSDOT MUT.C.D. NUMBER	SIZE	DESCRIPTION
-	1	STOP	8H	24"x24"	WHITE LETTERS, RED BACKGROUND
-	2	SPEED LIMIT 25		18"x24"	BLACK LETTERS, WHITE BACKGROUND
-	3	RIGHT TURN	PA-7C	12"x18"	BLACK SYMBOL, WHITE BACKGROUND



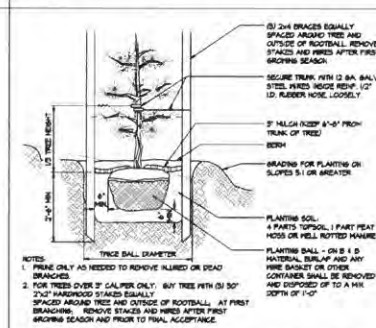
7 WOOD GUIDE RAIL DETAILS  
C-304 SCALE: 1/2"=1'-0"



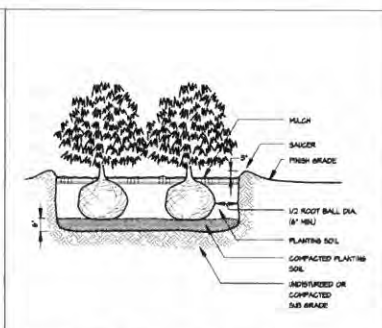
8 GRAVEL ACCESS ROAD SECTION  
C-304 N.T.S.



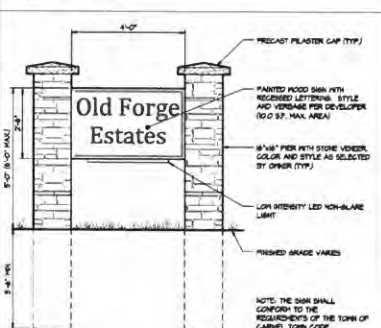
9 TREE PLANTING DETAIL  
C-304 N.T.S.



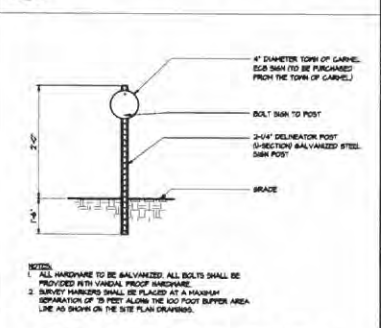
10 EVERGREEN PLANTING DETAIL  
C-304 N.T.S.



11 SHRUB PLANTING DETAIL  
C-304 N.T.S.



12 SITE DEVELOPMENT SIGN DETAIL  
C-304 N.T.S.



13 SURVEY MARKER FOR THE TOWN OF CARMEL FRESHWATER WETLAND BUFFER  
C-304 N.T.S.

**PVTAN ENGINEERING, PLLC**  
ENGINEERS - ARCHITECTS

4 OLD ROUTE 4, BREWSTER, NEW YORK 10509  
(845) 274-6794 FAX (845) 274-6794  
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PURSUANT TO NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7300 SUBSECTION 2, IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER AN ITEM IN ANY WAY, IF AN ITEM BEARING THE SEAL OF AN ENGINEER IS AT ISSUE, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL, AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

REVISIONS	BY	DATE	DESCRIPTION
1	ISSUED FOR PERMIT		
2	REV. PER THE COMMENTS		
3	REV. PER THE COMMENTS		

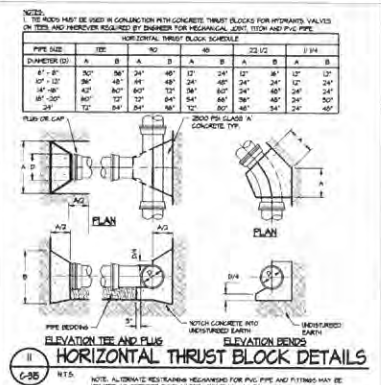
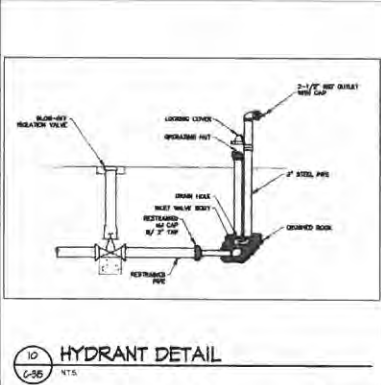
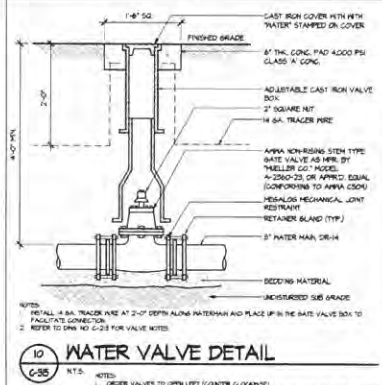
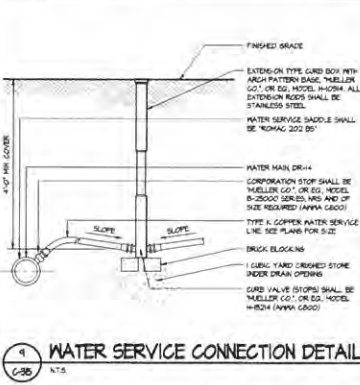
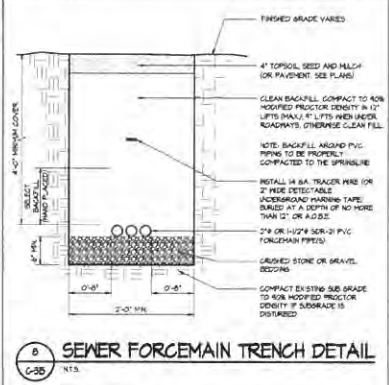
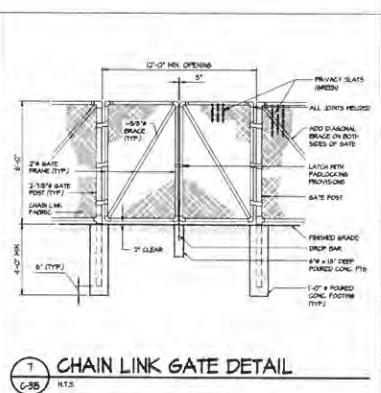
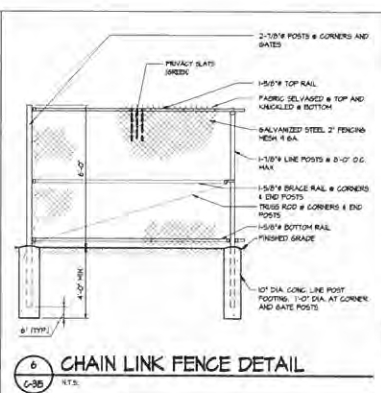
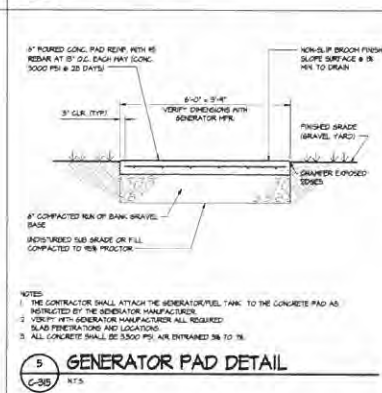
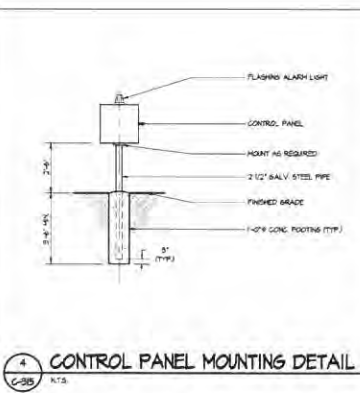
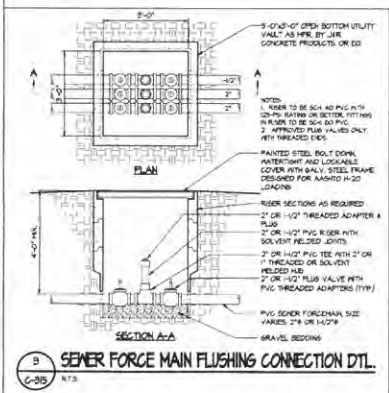
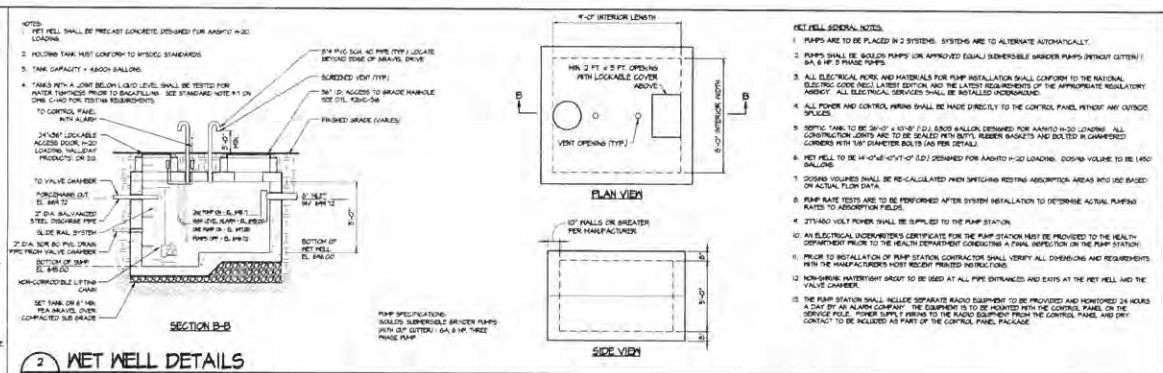
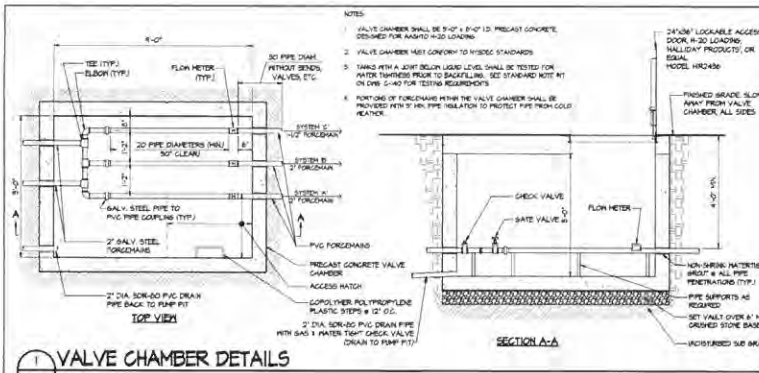
PROPOSED SUBDIVISION PLAN PREPARED FOR  
**OLD FORGE ESTATES**  
BALDWIN PLACE ROAD  
TOWN OF CARMEL  
PUTNAM COUNTY, NEW YORK  
TAX MAP 32.0-1-11

DATE: 02 APR 13  
PROJECT NUMBER: PML  
DRAWN BY: JMK  
CHECKED BY: PML  
SCALE: AS NOTED

DRAWING: DETAILS

PROJECT NUMBER: 0306  
DRAWING NUMBER: C-314  
SHEET 28 OF 34





**POTNAM ENGINEERING, LLC**  
ENGINEERS - ARCHITECTS  
4 OLD ROUTE 6, BREWSTER, NEW YORK 10894  
(845) 274-6194 FAX (845) 274-6194  
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REVISIONS	NO.	DATE	DESCRIPTION
1	01/20/08	REV. PER B.E. 19 COMMENTS	
2	02/20/08	REV. PER T.E. COMMENTS	
3	03/20/08	REV. PER T.E. COMMENTS	

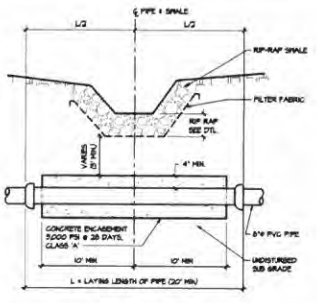
PROPOSED SUBDIVISION PLAN PREPARED FOR:  
**OLD FORGE ESTATES**  
BALDWIN PLACE ROAD  
TOWN OF CARMEL  
PUTNAM COUNTY, NEW YORK  
TAX MAP 303-14-4

DATE: 12 APR 08  
PROJECT MANAGER: P.M.  
DRAWN BY: A.B.K.  
CHECKED BY: P.M.  
SCALE: AS NOTED

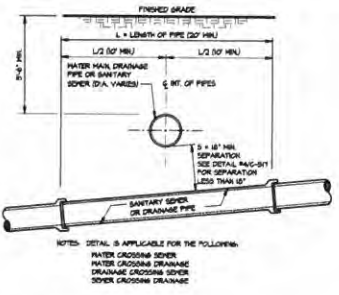
PROJECT NUMBER: 0256  
DRAWING NUMBER: **C-315**  
SHEET 32 OF 34



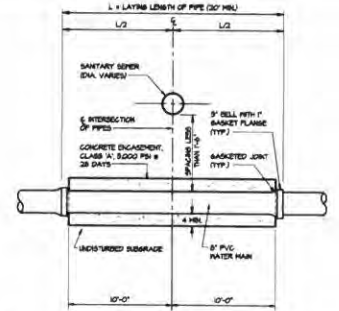
- NOTES:
- FOR NEW YORK STATE LAW, THE CONTRACTOR SHALL CALL THE UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION (UFO) AT 800-855-7829. THE UFO SHALL VERIFY THE LOCATION OF ALL UTILITIES BEFORE ANY EXCAVATION BEGINS.
  - PROVIDE P.V.C. CONDUIT WITH W/10% HULL LOSS AS REQUIRED FOR EACH INDIVIDUAL UTILITY LINE. CONTRACTOR TO COORDINATE WITH RESPECTIVE UTILITY COMPANIES THE DEPTHS OF CONDUIT INSTALLATION.
  - CONTRACTOR TO COORDINATE WITH EACH INDIVIDUAL UTILITY COMPANY AND THE DESIGN ENGINEER ALL REQUIRED NOTICES.
  - WATER CROSSING SHALL STOP NOT LESS THAN 8 INCHES FROM WALLS, FOUNDATIONS, EQUIPMENT CABLES AND HOLES. TRENCHING SHALL BE COMPLETED BY HAND NEARBY.
  - ALL ELECTRICAL BURRED CONDUITS SHALL BE COVERED BY A RED PLASTIC FLEX HANDBUR TAPE AS SPECIFIED BY THE UTILITY COMPANY. THE HANDBUR TAPE SHALL BE 1/2" ABOVE THE BUREL LENGTH OF EACH CONDUIT SECTION AND SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 12 INCHES.
  - A MINIMUM SEPARATION OF 30 INCHES SHALL BE MAINTAINED BETWEEN ELECTRICAL CONDUIT AND WATER SERVICE LINES. SEPARATION BETWEEN ELECTRICAL CONDUIT AND WATER MAIN SHALL BE 36 INCHES.
  - A MINIMUM SEPARATION OF 30 INCHES SHALL BE MAINTAINED BETWEEN ELECTRICAL CONDUIT AND SANITARY LINES. JOINT TRENCHING IS NOT PERMITTED FOR MAIN AND LINES.



**1 ELECTRIC/CABLE/TELCO TRENCH DTL.**  
C-31 N.T.S.

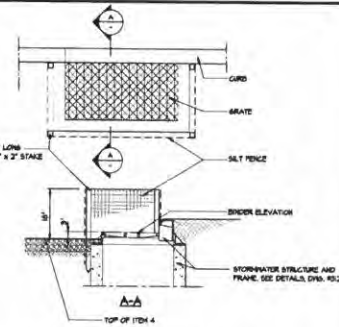


**2 SMALL CROSSING SEWER PIPE DETAIL**  
C-31 N.T.S.

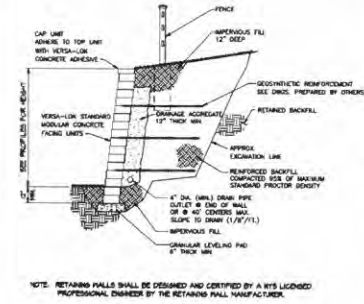


**3 UTILITY PIPE CROSSING DETAIL**  
C-31 N.T.S. SEPARATION GREATER THAN OR EQUAL TO 18"

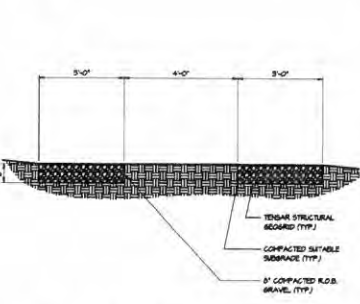
**4 UTILITY CROSSING DETAIL**  
C-31 N.T.S. SEPARATION LESS THAN 18"



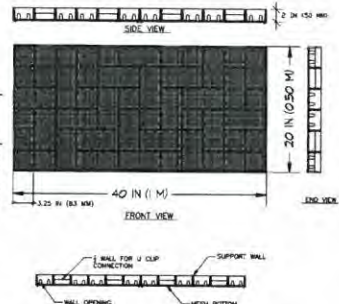
**5 INSTALLATION OF STORMWATER STRUCTURES IN PAVEMENT DETAIL.**  
C-31 N.T.S.



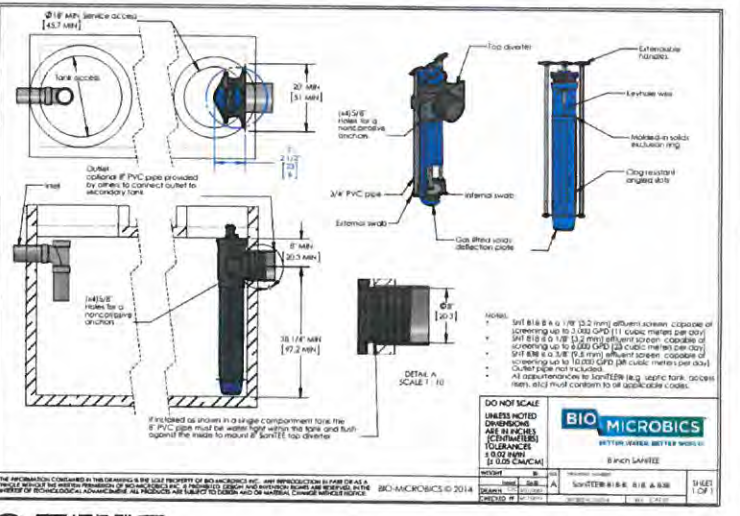
**6 TYP. REINF. RETAINING WALL SECTION**  
C-31 N.T.S.



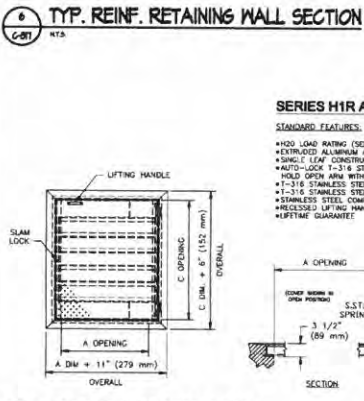
**7 10' WIDE SSDS MAINTENANCE TRAIL DTL.**  
C-31 N.T.S.



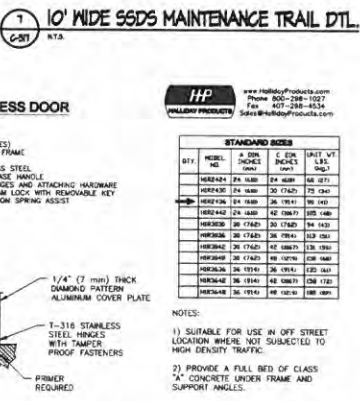
**8 GEOPAVE POROUS PAVEMENT SYSTEM**  
C-31 N.T.S.



**9 EFFLUENT FILTER**  
C-31 N.T.S.



**10 LOCKABLE ACCESS DOOR**  
C-31 N.T.S.



**11 10' WIDE SSDS MAINTENANCE TRAIL DTL.**  
C-31 N.T.S.

**PITMAN ENGINEERING LLC**  
ENGINEERS - ARCHITECTS  
4 OLD ROUTE 6, BREWSTER, NEW YORK 12004  
(848) 274-6704 FAX (848) 274-6704  
© Pitman Engineering LLC 2018

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NO.	DATE	DESCRIPTION
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2	02/07/19	REV. PER TO COMMENTS
3	11/07/19	REV. PER TO COMMENTS

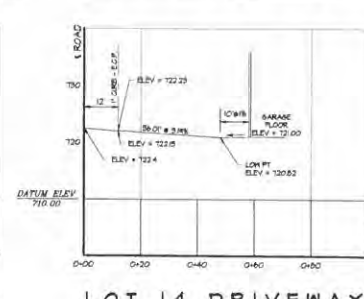
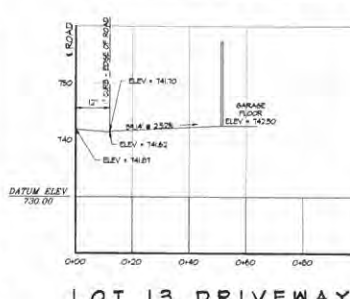
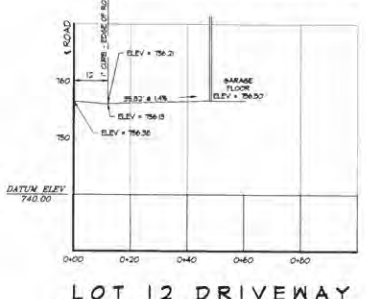
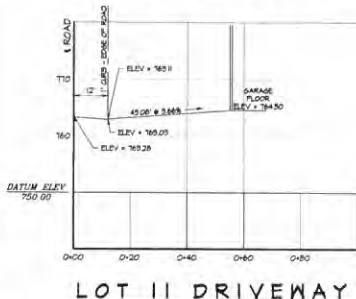
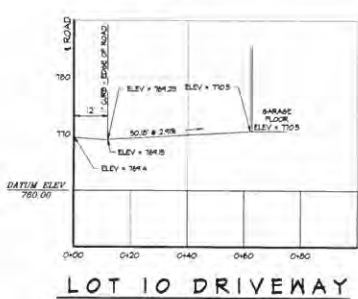
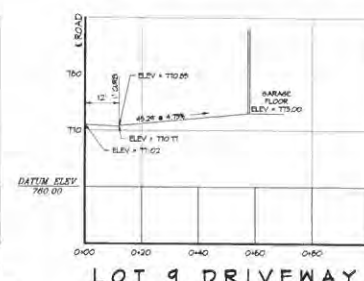
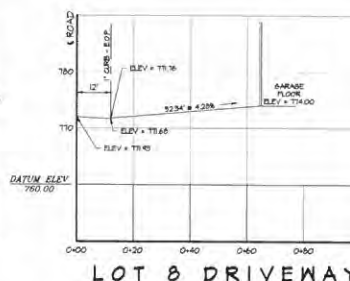
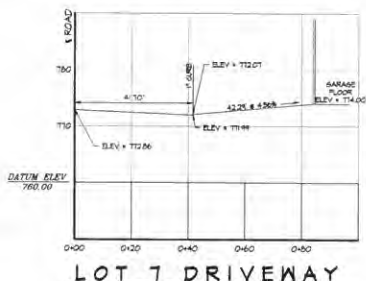
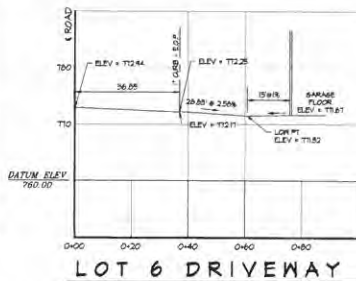
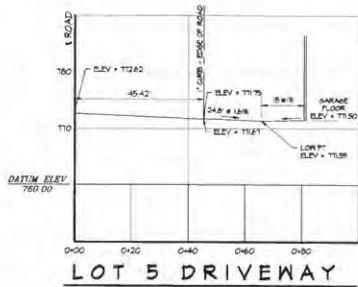
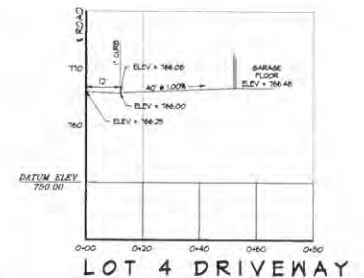
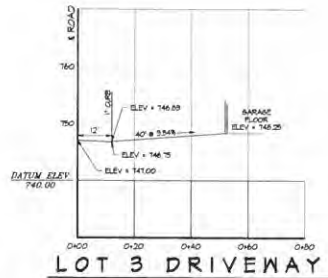
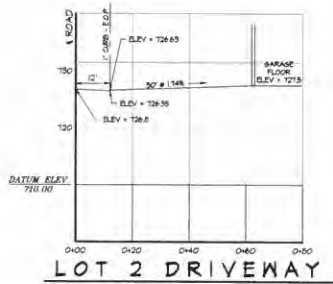
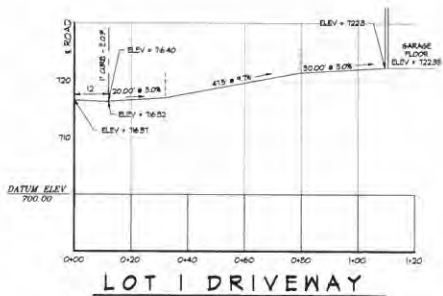
PROPOSED SUBDIVISION PLAN PREPARED FOR:  
**OLD FORGE ESTATES**  
BALDWIN PLACE ROAD  
TOWN OF CARBELL  
PUTNAM COUNTY, NEW YORK  
TAX MAP 193-01-11

DATE	BY	PROJECT NUMBER
12 APR 18	PROJECT MANAGER	8286
	DRAWN BY	
	CHECKED BY	
	SCALE	

**DETAILS**

**C-317**

SHEET 32 OF 34



**DRIVEWAY PROFILES**  
SCALE: HORIZ. 1" = 20', VERT. 1" = 10'

**POTNAM ENGINEERING, P.L.L.C.**  
ENGINEERS - ARCHITECTS

4 OLD ROUTE 6, BREWSTER, NEW YORK 10504  
(845) 274-6704 FAX (845) 274-6764  
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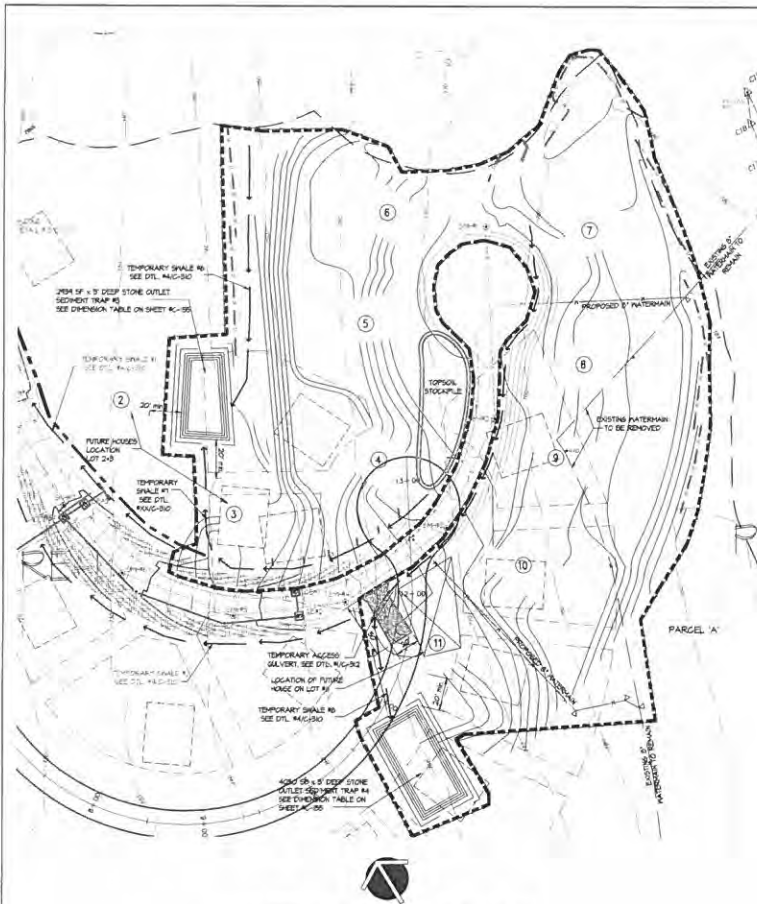
NO.	DATE	DESCRIPTION
1	04/08/18	REV. PER RE. COMMENTS
2	05/07/18	REV. PER RE. COMMENTS
3	05/09/18	REV. PER RE. COMMENTS

PROPOSED SUBDIVISION PLAN PREPARED FOR:  
**OLD FORGE ESTATES**  
BALDWIN PLACE ROAD  
TOWN OF CARMEL  
PUTNAM COUNTY, NEW YORK  
TAX MAP 7510-1-A

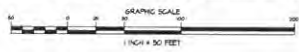
DATE: 12 APR 18  
PROJECT MANAGER: PML  
DRAWN BY: BJK  
CHECKED BY: PML  
SCALE: AS NOTED

DRAWING: **DRIVEWAY PROFILES**

PROJECT NUMBER: 0326  
DRAWING NUMBER: **C-410**  
SHEET 33 OF 34



**WATER MAIN RELOCATION PLAN**



**WATER MAIN RELOCATION SEQUENCE:**

1. THE WATER MAIN IN THE SUBDIVISION ROAD WILL HAVE BEEN INSTALLED AS PART OF THE ROAD CONSTRUCTION.
2. THE CONTRACTOR WILL FIELD VERIFY THE EXISTING LOCATION OF THE WATER MAIN THAT IS GENERALLY LOCATIONS LOTS 7, 8, 9 AND 10. TEST PITTS HAND DIGS WILL BE PERFORMED TO EXPOSE LOCATION OF THE TIE INS.
3. CONTRACTOR WILL EXCAVATE OUT 20' WIDE STRIP ON LAND SURROUNDING LOT 7 AND 8. THE CONTRACTOR WILL ALSO EXCAVATE A 20' WIDE STRIP ALONG LOTS 10 AND 11 AS WELL AS THAT PORTION THAT CROSSES PARCELS A.
4. CONTRACTOR WILL INSTALL THE BALANCE OF NEW WATER MAIN FROM THE SUBDIVISION ROAD TO THE TIE IN POINTS.
5. THE CONTRACTOR WILL PRESSURE TEST THE NEW WATER MAIN AND DISCONNECT THE LINE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE PUTNAM COUNTY HEALTH DEPARTMENT.
6. AFTER RECEIVING SATISFACTORY TEST RESULTS THE CONTRACTOR WILL NOTIFY THE WATER DISTRICT HOUSINGERS FIELD WILL BE AFFECTED BY THE SHUT DOWN OF THE WATER SYSTEM BY POSTING SIGNS THREE DAYS IN ADVANCE OF THE CHOSEN DATE.
7. THE WATER MAIN WILL BE TURNED OFF AT THE NEAREST VALVES ON BOTH SIDES OF THE PROPOSED WORK TO ISOLATE THE AREA.
8. CUT WATERMAIN AT TIE IN POINTS. CONNECT NEW TO OLD WITH 45° BEND AND ASSOCIATED FITTINGS AND THRUST BLOCKS.
9. OPEN VALVE ON THE FEED LINE AND OPEN FLUSHING HYDRANT IN SUBDIVISION ROAD.

**POTNAM ENGINEERING, PLLC**  
ENGINEERS - ARCHITECTS

4 OLD ROUTE 6, BREWSTER, NEW YORK 10504  
(845) 274-6161 FAX (845) 274-6161  
© POTNAM ENGINEERING, PLLC 2006

PURSUANT TO NEW YORK STATE EDUCATION LAW ARTICLE 148, SECTION 2009 SUBSECTION 2, IT IS A VIOLATION OF THIS LAW FOR ANY PERSON WHOSE NAME IS ATTACHED UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER ANY ITEM IN ANY WAY IF AN ITEM BEARING THE SEAL OF AN ENGINEER IS ALTERED. THE ALTERING ENGINEER SHALL OBTAIN THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

NO.	DATE	DESCRIPTION
1	08/01/06	PRELIMINARY
2	08/01/06	REV. FOR COMMENTS
3	08/01/06	REV. FOR COMMENTS

PROJECT:

PROPOSED SUBDIVISION PLAN PREPARED FOR:  
**OLD FORGE ESTATES**  
BALDWIN PLACE ROAD  
TOWN OF CARMEL  
PUTNAM COUNTY, NEW YORK  
TAX MAP 13-0-11

*[Handwritten Signature]*

DATE: 12 APR 06  
PROJECT MANAGER: PML  
DRAWN BY: PML  
CHECKED BY: PML  
SCALE: AS NOTED

DRAWING:  
**WATER MAIN RELOCATION PLAN**

PROJECT NUMBER: 0206  
DRAWING NUMBER: **C-420**  
SHEET 04 OF 04

*William A. Shilling, Jr., P.C.*

*Attorney at Law*

*122 Old Route 6*

*Carmel, New York 10512*

*E-Mail: waslaw@shillinglegal.com*

*Frank J. Smith III*

*\*Also Admitted in CT*

*Phone (845) 225-7500*

*Fax (845) 225-5692*

July 8, 2020

Town of Carmel Planning Board  
Attn: Rose Trombetta, Secretary  
60 McAlpin Avenue  
Mahopac, New York 10541

RE: Application of Centennial Golf Club of Carmel, LLC

Dear Ms. Trombetta,

Please find enclosed with this letter ten (10) copies of a PowerPoint presentation prepared by the Chazen Companies, who serve as project engineer. These PowerPoint presentations are to be distributed to members of the Board, as well as the Board's consultants.

I have also included ten (10) copies of the initial submission made to the Town of Carmel Town Board on January 10, 2020. Additionally, after hearing comments and suggestions from the Board's consultants, the proposed text amendment has been changed to reflect said comments. Enclosed are ten (10) copies of the most recently revised amendment to supplement the January 10<sup>th</sup> application.

Upon distributing these items to the Board and consultants, please let us know if there are any questions in advance of the scheduled July 15, 2020 meeting of the Planning Board.

Very truly yours,



Frank J. Smith III, Esq.

# Site Location



# Carmel – Site: 1 87.4 total acres, 3 Parcels





# ZONING TEXT AMENDMENT

## ▶ PURPOSE

- To allow residential redevelopment within existing golf courses
- Supporting of preserving the golf course use and related functions.

## ▶ APPLICABILITY

- Text amendment applies only to Golf Courses located within the Town of Carmel
- Not applicable to non-golf course properties.
- Minimum lot size: 20 acres

# ZONING TEXT AMENDMENT

## ▶ RESIDENTIAL

### ◦ Density

- Maximum 6 dwelling units per acre
- Calculated pursuant to Section 156-45(E), which reduces the maximum dwelling units permitted by constraining the total acreage according to environmental constraints, utilities, and roads.

### ◦ Residential Types

- Dwelling, Attached (e.g. Rowhouses): not to exceed four in a row – Requested New Zoning Definition applicable to residential development pursuant to proposed Section 156-64(B) only.
- Dwelling, Semi-detached (e.g. Townhomes)
- Dwelling, Single-family (e.g. Single-family homes)
- Dwelling, Two-family (e.g. Two-family homes)

# Density Calculations

<b>CGP Density Calculation</b>	
<b>ITEM</b>	<b>Proposed Project per Zoning Text Amendment</b>
PROJECT AREA	40 acres
ENVIRONMENTALLY CONSTRAINED AREA	12 acres
NET AREA	28 acres
AREA DEDUCTED FOR ROADS	2.8 acres
NET AREA FOR DENSITY CALCULATION	25.2 acres
DENSITY PER ACRE	6 dwelling units
DENSITY SUBTOTAL	151 dwelling units
MAXIMUM DENSITY ALLOWED - PER TEXT AMENDMENT	100 dwelling units
PROJECT TOTAL	96 dwelling units

# ZONING TEXT AMENDMENT

- ▶ BULK and DIMENSIONAL REQUIREMENTS
  - Maximum Building Height: 2.5 stories or 40'
  - Maximum Building Lot Coverage: 35%
  - Minimum Setback: 30 feet off public road
- ▶ RECREATION REQUIREMENT
  - Recreation area including swimming pools, playground and recreational equipment
  - Provided at the following ratio: a minimum of 50 square feet per dwelling unit.

# Zoning Bulk Regulations

CGP	ZONING BULK REQUIREMENTS	
ITEM	Existing R-1 - CLUSTER	Zoning Text Amendment
MINIMUM PROJECT AREA	20 acres	20 acres
LOT AREA IN SF	120,000 SF	NA
DENSITY PER ACRE	NA	6 Dwelling Units
WIDTH	200 FT	Site Plan
DEPTH	200 FT	Site Plan
FRONT	40 FT	30 FT
SIDE	25 FT	Site Plan
REAR	40 FT	Site Plan
PERMITTED HEIGHT	35 FT	40 FT
MAX COVERAGE BY BUILDINGS	15%	35%
PERMANENT OPEN SPACE	NA	1:1 RATIO*
* A ratio of 1:1 to that of the total area of the residential lot (e.g. 40 acres of total residential lot area will require 40 acres of permanent open space)		

# ZONING TEXT AMENDMENT

## ▶ PERMANENT OPEN SPACE

- As may be provided on the adjoining golf course at a ratio of 1:1 to that of the total area of the residential lot (e.g. 40 acres of total residential lot area will require 40 acres of permanent open space)

## ▶ ACCESS:

- Required to be off County Road in Town of Carmel, (note this is through an easement)

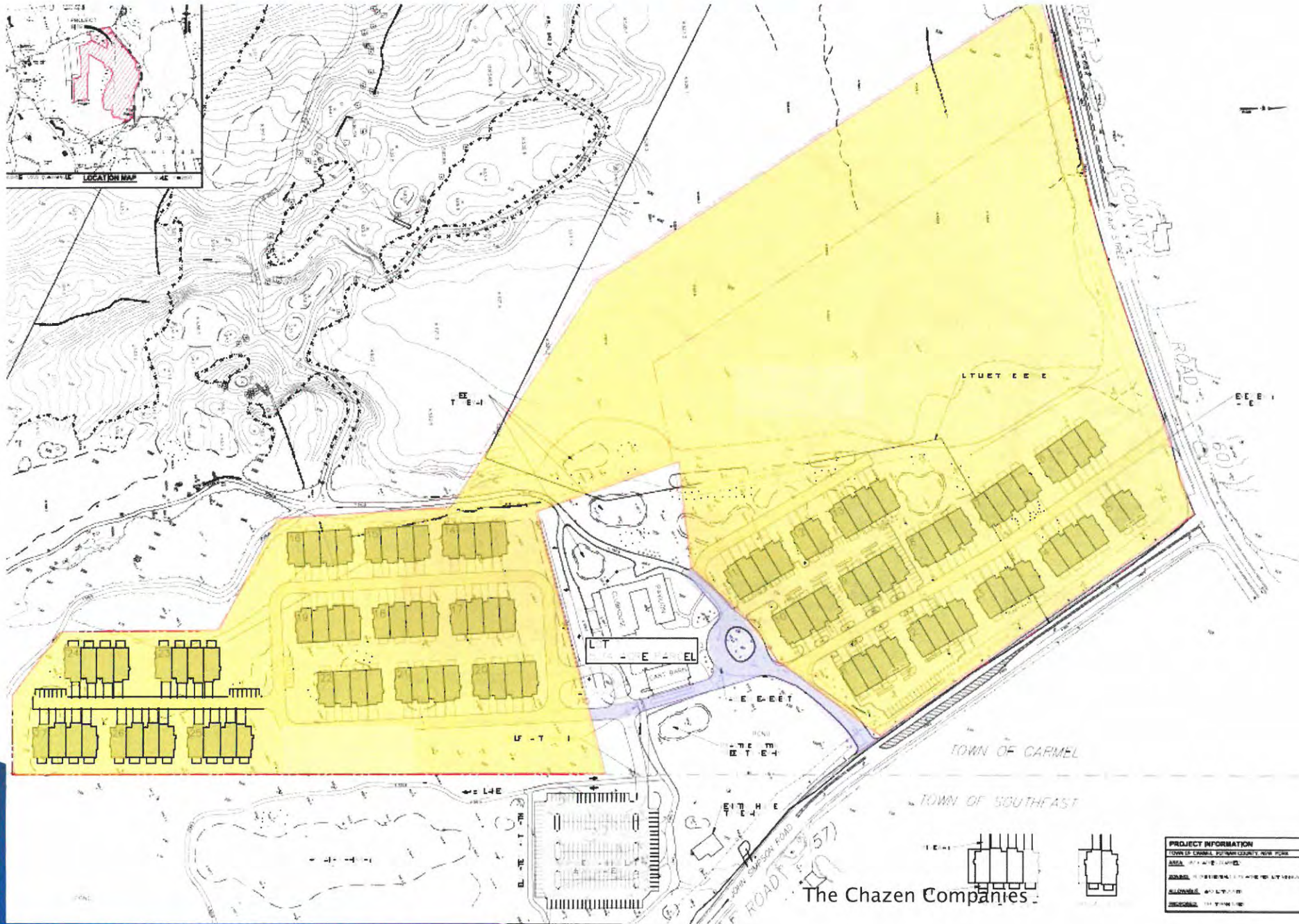
# Context Site Plan







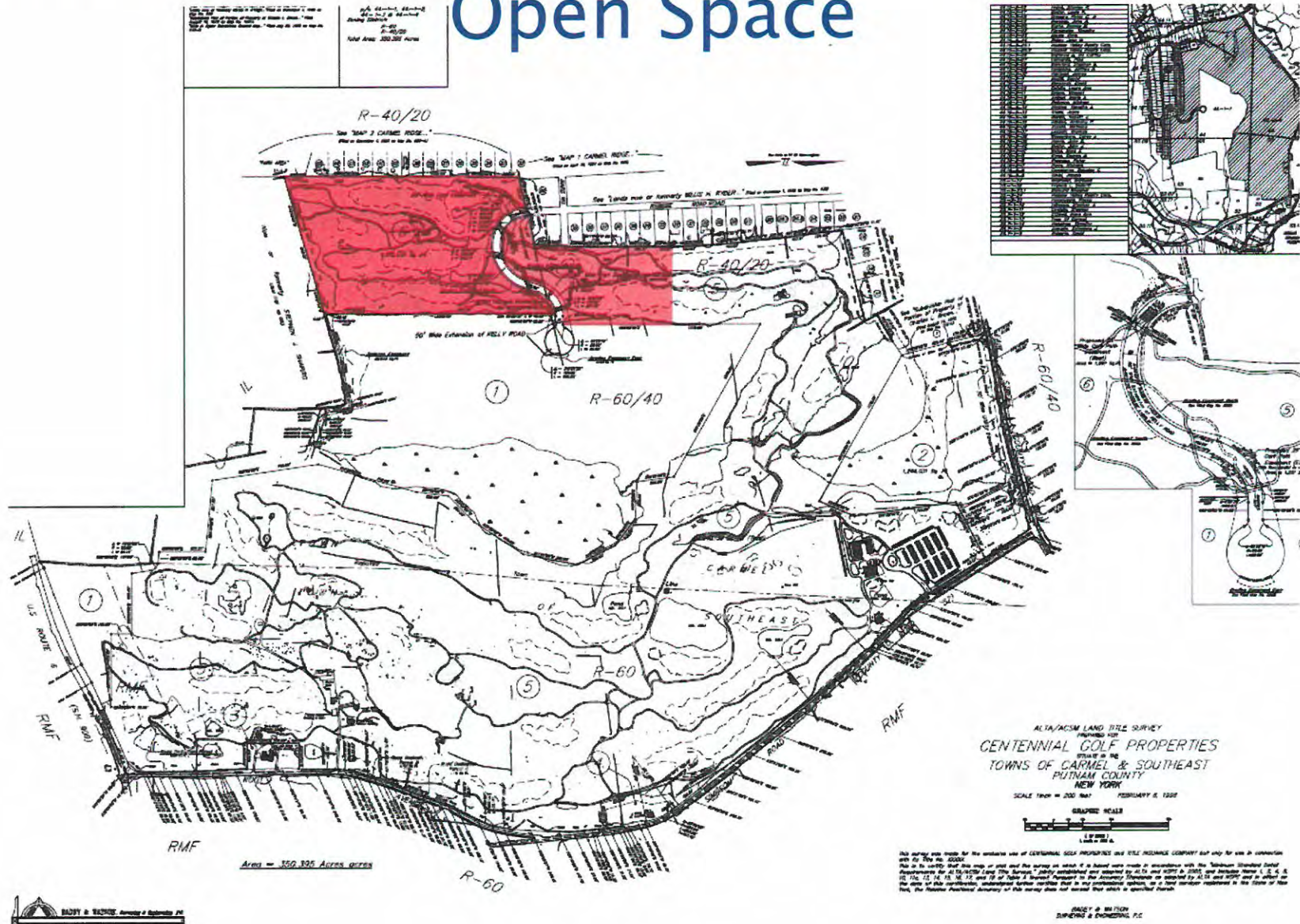
# Proposed 40 Acre Parcel



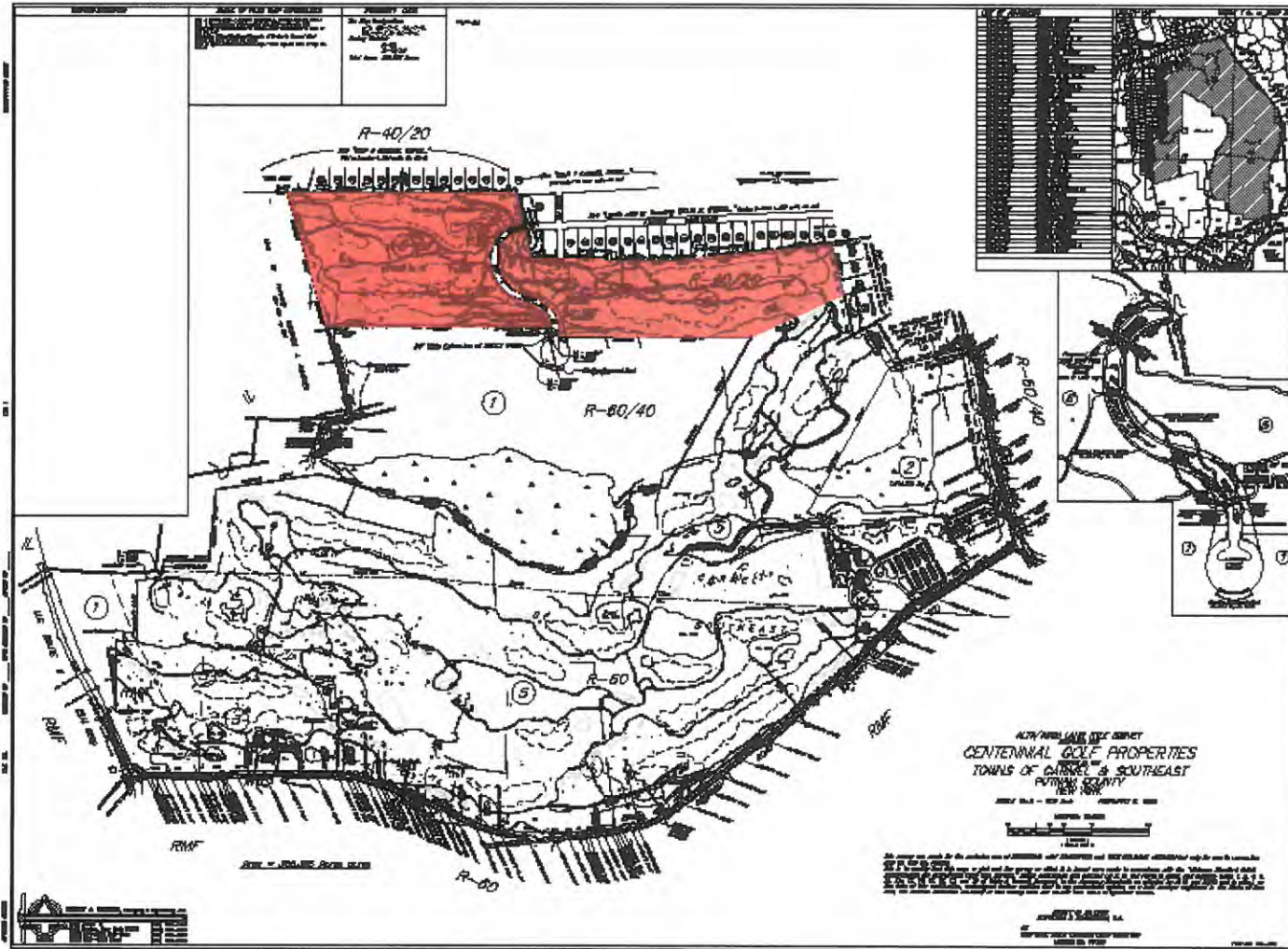
PROJECT INFORMATION	
TOWN OF CARMEL, SOUTHWEST COUNTY, MISSOURI	
AREA: 40+ ACRES	
ADJACENT TO: EXISTING DEVELOPMENT	
STATUS: PRELIMINARY	
DESIGNED BY: THE CHAZEN COMPANIES	

The Chazen Companies

# 1:1 Ratio, 40 acres of Deed Restricted Open Space



# Proposed 52.5 Acres of Deed Restricted Open Space



# Area of Uses

- ▶ Area of deed restricted open Space
  - Fairways 2–8
  - 52.5 acres
- ▶ Area of Golf Course and Green Space
  - Lakes 7,9, Fairways 1,9 & Clubhouse
  - Vegetative and wetlands areas
  - 94.9 acres
- ▶ Area of Residential
  - 40 acres
- ▶ Total = 187.4 acres

**KENNETH SCHMITT**  
Town Supervisor

**SUZANNE MC DONOUGH**  
Town Councilwoman  
Deputy Supervisor

**MICHAEL A. BARILE**  
Town Councilman  
**FRANK D. LOMBARDI**  
Town Councilman  
**ROBERT F. SCHANIL, JR.**  
Town Councilman

**TOWN OF CARMEL**  
TOWN HALL



60 McAlpin Avenue  
Mahopac, New York 10541  
Tel. (845) 628-1500 • Fax (845) 628-6836  
[www.carmelny.org](http://www.carmelny.org)

**ANN SPOFFORD**  
Town Clerk

**KATHLEEN KRAUS**  
Receiver of Taxes

**MICHAEL SIMONE**  
Superintendent of Highways  
Tel. (845) 628-7474

## MEMORANDUM

**To:** Craig Paepre, Chairman  
Town of Carmel Planning Board

**Date:** February 6, 2020

**From:** Deputy Supervisor Suzi McDonough

**RE:** Town Board Work Session February 5, 2020

The Town Board at their Voting Meeting held on Wednesday, February 5, 2020, made a motion to forward to the Planning Board the attached petition from William Shilling, Esq, attorney for the Centennial Golf Club of New York, LLC, requesting an amendment to the Zoning Ordinance with respect to the subject premises from a residential district (3 acres) to its former classification which was residential (1 acre).

Please have the Planning Board review the attached draft and provide any comments or recommendations to the Town Board within 45 days of receipt of this memo.

Thank you in advance for your cooperation.

**Cc:** Town Board  
Town Legal Counsel  
file

## Pasquerello, Anne

---

**From:** Pasquerello, Anne  
**Sent:** Thursday, February 6, 2020 11:17 AM  
**To:** Craig R Paepre; Trombetta, Rose  
**Cc:** Schmitt, Kenneth; McDonough, Suzanne; Lombardi, Frank; Barile, Michael; Schanil, Robert; Greg Folchetti; 'jcharbesq@aol.com'  
**Subject:** Centennial Golf Club of New York, LLC - Request to Amend the Zoning Ordinance  
**Attachments:** Centennial Golf Club Req Pursuant to Chapter 156-76 Memo.pdf

At the Town Board Voting Meeting held on February 5<sup>th</sup>, attached please find memo, certified resolution and petition for the above referenced

*Anne Pasquerello*

**Confidential Assistant to Town Supervisor**  
**Carmel Town Hall**  
**60 McAlpin Avenue**  
**Mahopac, NY 10541**  
**Office: 845-628-1500 ext. 137**  
**Fax: 845-628-6836**

*This communication may be confidential and is intended for the sole use of the addressee(s). No use or reproduction of the information provided is permitted without the written consent of the Town of Carmel. If you are not the intended recipient, you should not copy, disclose or take any action in reliance on this communication. If you have received this communication in error, please notify the sender by reply e-mail and delete the message and any attached documents.*

**RESOLUTION PURSUANT TO  
TOWN OF CARMEL TOWN CODE §156-76**

RESOLVED that the Town Board of the Town of Carmel, pursuant to Carmel Town Code §156-76, hereby refers the Petition for a text amendment to Chapter 156 of the Town Code of the Town of Carmel entitled "Zoning" filed by Centennial Golf Club of New York, LLC dated December 24, 2019, to the Town of Carmel Planning Board for its review, comment and/or recommendation.

Resolution

Offered by: Councilman Lombardi  
 Seconded by: Councilman Schanil

<u>Roll Call Vote</u>	<u>YES</u>	<u>NO</u>	
Robert Schanil	<u>X</u>	<u>      </u>	
Michael Barile	<u>      </u>	<u>      </u>	Absent
Frank Lombardi	<u>X</u>	<u>      </u>	
Suzanne McDonough	<u>X</u>	<u>      </u>	
Kenneth Schmitt	<u>      </u>	<u>      </u>	Absent

S  
E  
A  
L

I, Ann Spofford, Town Clerk of the Town of Carmel, Putnam County, New York, do hereby certify that the foregoing resolution is a true and exact copy of the original on file in my office which was adopted by the Town Board of said Town at a duly called and held meeting on the 5<sup>th</sup> day of February, 2020; and of the whole thereof.

February 6, 2020  
Dated

Ann Spofford  
Ann Spofford, Town Clerk

*Office of the Town Clerk*

*Carmel Town Hall  
60 McAlpin Avenue  
Mahopac, NY 10541*

*Ann Spofford, Town Clerk  
Alice Daly, Deputy Town Clerk*

*Telephone: 845-628-1500  
Fax: 845-628-7434*

**MEMORANDUM**

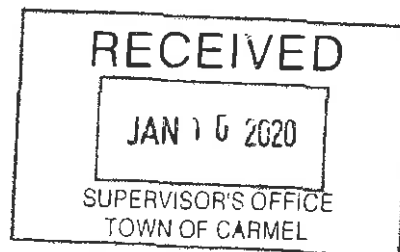
To: Town Board  
Fr: Ann Spofford, Town Clerk *AS/ad*  
Date: January 10, 2020  
Re: Verified Petition for Change of Zoning – Centennial Golf Club of New York, LLC

---

I am transmitting herewith, five (5) copies of the above referenced Verified Petition for Change of Zoning hand delivered to this office today.

Please be advised that pursuant to Section 156-76 of the Town Code of the Town of Carmel, the petition was accompanied by the requisite of \$5,000.00 filing fee.

cc: G. Folchetti  
J. Charbonneau  
R. Trombetta





*William A. Shilling, Jr., P.C.*  
*Attorney at Law*  
*122 Old Route 6*  
*Carmel, New York 10512*  
*E-Mail waslaw@shillinglegal.com*

*Frank J. Smith III*  
*\*Also Admitted in CT*

*Phone (845) 225-7500*

*Fax (845) 225-5692*

December 27, 2019

Carmel Town Board  
60 McAlpin Avenue  
Mahopac, New York 10541

Re: Centennial Golf Club of New York, LLC

Dear Town Board Members:

Pursuant to §156-90 of the Carmel Town Code and Town Law §273, enclosed please find my client's Petition for "Amendment of Zoning Code".

You will recall this matter was before your Board for a legally obligatory referral to the Planning Board. My client appeared before the Planning Board and based on comments of the consultants and the Planning Board, modified the Petition to be a text amendment to the Zoning Code, as opposed to a "change of zone of the subject premises from a residential district (3 acres) to its former classification which was residential (1 acre)". In either event §156-90 of the Carmel Town Code and §273 of the Town Law still apply. Accordingly, we request this matter be referred once again to the Planning Board.

Since this matter is in all respects consistent with the previous petition, a waiver of the petition fee is respectfully requested.

Very truly yours,

*William A. Shilling, Jr.*  
William A. Shilling, Jr.

WAS:mb  
Encl.

DEC 27 2019  
HAND DELIVERED

TOWN BOARD  
TOWN OF CARMEL: COUNTY OF PUTNAM

-----X  
In the Matter of the Petition of

CENTENNIAL GOLF CLUB  
OF NEW YORK, LLC

**VERIFIED PETITION FOR  
AMENDMENT OF ZONING  
CODE**

Petitioners,

For an Amendment of Zoning Code  
-----X

Petitioners, Centennial Golf Club of New York, LLC, by David Leibowits, member, (hereinafter "Petitioners") respectfully submit as follows:

1. Petitioners are the owner of certain property located at Town of Carmel, County of Putnam and State of New York.
2. The Tax Map numbers are 44.-2-4, 44.-2-2 and 44.-2-3.
3. The subject premises are located within both the Carmel Central School District and Brewster School District.
4. The Petitioners request that the Zoning Code of the Town of Carmel's text be amended to allow residential redevelopment of existing golf courses.
5. The Petitioners hereby declare, for the purpose of reliance thereon by the Town of Carmel, that the full particulars of the Petitioners' proposed use of the subject premises for the next five (5) years, if this amendment, are as follows:
  - a. Residential development containing 96 residential units (attached).
6. The concept plan is attached for reference as part of this application.
7. Economics of the declining golf course requires this action and is the only means to keep the remaining portion of the golf course (18 holes) open to the public at large, and forever green in the Town of Carmel.

8. The proposed text amendment (see attached) will be beneficial to the public of the Town of Carmel because it is seeking to develop the property in the spirit of the Greenway Connection as adopted by §156-90 of the Town of Carmel Code:

a. Petitioner is open to conditions offered by the Town to keep the remaining 18-hole golf course and to preserve the remainder of the undeveloped parcel, in keeping with the Town of Carmel's adopted Greenway Compact Program;

b. The proposed amendment change will further benefit the Town of Carmel to create needed residential development to a school district with a documented declining population.

9. The proposed amendment will not be detrimental to the other residential properties in the adjoining neighborhood because the development will result in the residential development being in the general proximity of Fair Street, leaving the area adjoining Kelly Ridge undisturbed.

10. The parcels were previously zoned 1 acre at the time of Petitioner's purchase, and furthermore, the property has been assessed from inception by paying charges to the Town of Carmel for the municipal sewer system on the basis of 162 units and over \$3 million in sewer capital charges alone.

11. Currently, only commercial golf course and related purposes use the Carmel parcel. There are no non-conforming uses or structures on the subject premises.

12. The subject premises are located within 500 feet of the town line of the Town of Carmel. Golf course use and related activities will continue to occur in the Town of Carmel within the southern portion of the property, and within the property located in the Town of Southeast.

13. The subject premises are not within 500 feet of any existing or proposed County or State Park or other recreation area except the existing golf course.

14. The subject premises are located within 500 feet of any right-of-way of any existing or proposed County or State parkway, thruway, expressway, road or highway.

15. Upon information and belief, the subject premises are located within 500 feet of any existing or proposed right-of-way of any stream or drainage channel owned by the County or for which the County has established channel rights.

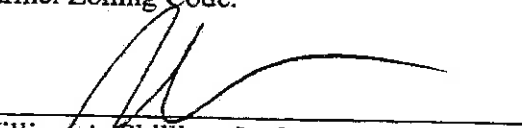
16. The subject premises are not located within 500 feet from the existing or proposed boundary of any County or State-owned land on which a public building or institution is situated.

17. The proposed zone change does not affect property within the protectively zoned area of a housing project authorized under the Public Housing Law.

18. The Petitioners hereby consent to Board action disallowing the proposed text amendment if the Town Board subsequently determines that any statement contained in this Petition or any statement made by the Petitioners at the public hearing is found to be materially false and was not made in good faith. The petitioner further consents to Board action disallowing the proposed text amendment in the event that the Petitioners fail to abide by any conditions or restrictions contained herein or imposed hereafter by the Town Board.

WHEREFORE, Petitioners Centennial Golf Club of New York, LLC, by David Leibowits, member respectfully request that the Town Board of the Town of Carmel consider, review, and effectuate the requested amendment to the Town of Carmel Zoning Code.

Dated: Carmel, New York  
December 24, 2019

  
\_\_\_\_\_  
William A. Shilling, Jr., Esq.  
William A. Shilling, Jr., P.C.  
Attorneys for Petitioners  
122 Old Route 6  
Carmel, New York 10512  
(845) 225-7500

VERIFICATION

~~STATE OF NEW YORK~~

~~COUNTY OF PUTNAM~~

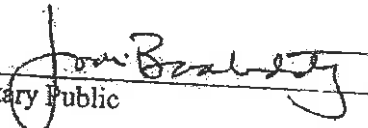
) CONNECTICUT  
) ss.:  
) FAIRFIELD

David Leibowits, being duly sworn, deposes and says:

I am one of the Petitioners herein. I have read the annexed Petition, know the contents thereof, and the same is true to my knowledge, except those matters that are stated to be alleged upon information and belief, and as to those matters, I believe them to be true upon my own investigation and knowledge.

  
\_\_\_\_\_  
David Leibowits

Sworn to before me this  
19 day of December, 2019.

  
\_\_\_\_\_  
Notary Public

JODI ROBIN BAABDATY  
NOTARY PUBLIC  
State of Connecticut  
My Commission Expires Nov. 30, 2023

TOWN BOARD  
TOWN OF CARMEL: COUNTY OF PUTNAM

-----X  
In the Matter of the Petition of

CENTENNIAL GOLF CLUB  
OF NEW YORK, LLC

Petitioners,

For an Amendment of Zoning Text.  
-----X

I

**STATEMENT OF FACTS**

The applicant purchased the subject property in 1996. Peter and David Leibowits created a 27-hole golf course in the Town of Carmel and the Town of Southeast in 1997-1998. It was created at a time when golf outings and banquets were in great demand. The twenty-seven holes made the acceptance of these functions possible while still keeping the golf course open to the general public.

The site has also become a venue for Town of Carmel groups for entertaining many social functions in the detached banquet room, often unrelated to golf.

At the time of the applicant's purchase, the zoning was R-1 which involved an entitlement to develop on one-acre parcels. The capital cost units were approved for 162 units which is an ongoing expense borne by applicant. Over the years, the applicant has paid over three million dollars in sewer capital charges alone.

The record is clear that the rate of golf course construction grew dramatically in the 1990's. However, the number of golfers slowly subsided and golf courses have increasingly been less profitable, leading to golf course owners under pressure to sell their land for more profitable uses.

affordable, watersheds are respected, historical assets are valued, natural resources and open space are protected, and recreational and cultural opportunities are diverse and numerous". This development falls squarely in line with these principles. This development would create a harmonious use of "built" and "non-built environments."

By implementing §156-90, the Town of Carmel has expressed a desire to implement more modern and flexible zoning and land use tools. This project seeks to utilize them. The requested relief would allow for attractive development while ensuring over 120 acres of space remains open and undevelopable.

### III

#### Legal Justification for the Use of Conditional Zoning

This amendment to the zoning code, pursuant to Town Law §273 and Carmel Town Code §156-76(A) is being sought by virtue of a text amendment to the zoning code sections.

Nevertheless, Petitioner is aware of and agreeable to certain conditions, such as voluntary deed restrictions, in order to effectuate the requested text amendment.

The concept of "conditional zoning," whereby open space and recreational venues are preserved in exchange for favorable conditions to applicant, is fundamental in New York Law.

The traditional idea of zoning is that provisions alone burden and limit land uses. In certain circumstances legislative and land use boards will approve projects but permit favorable conditions to an applicant where recreation or open space concerns can be protected and preserved.

The entitlement for conditional zoning is found in the landmark case of *Church v. Town of Islip*, 8 NY 2d 254, where the Court upheld rezoning of a property subject to conditions. In that case, conditions to restrict the maximum size of buildings and other restrictions were in response

to community needs. The Court stated the power to rezone includes the power to add new restrictions when particular circumstances require.

The Court stated "it is understandable that in the public interest and in the interest of protracted expediency the practice of granting zoning changes and conditioning their uses by means of privately imposed restrictive covenants has seemingly become widespread." Furthermore, the Court stated "We are not of the opinion that such practice is contrary to the spirit of zoning ordinance and is beyond the statutory power of local legislative bodies" (emphasis supplied).

In *Matter of Citizens v. Common Council of City of Albany*, 56 AD 3d 1060, the Court changed its zoning from a commercial office district to a highway commercial district. The Court ruled that the action did not constitute "spot zoning" because it was part of a thoroughly considered plan calculated to best serve the community and the approved use was not totally different than that of the surrounding area.

Significantly, it has been held that "Any such legislative action is entitled to the strongest presumption of validity and will stand if there is a factual basis" (*Shepherd v. Village of Skaneateles*, 30 NY 115; *Wiggins v. Town of Somers*, 4 NY 2d 215). Further, it is well established that Courts are reluctant to overturn zoning amendments when it is well designed and passed after careful consideration (*In the Matter of Save our Forests Action Coalition v. City of Kingston*).

Furthermore, New York State Comptroller Opinion No. 79-698 supports the validity of conditional zoning. This opinion confirms the notion that, "a town board may impose reasonable conditions for the protection of neighboring property owners."

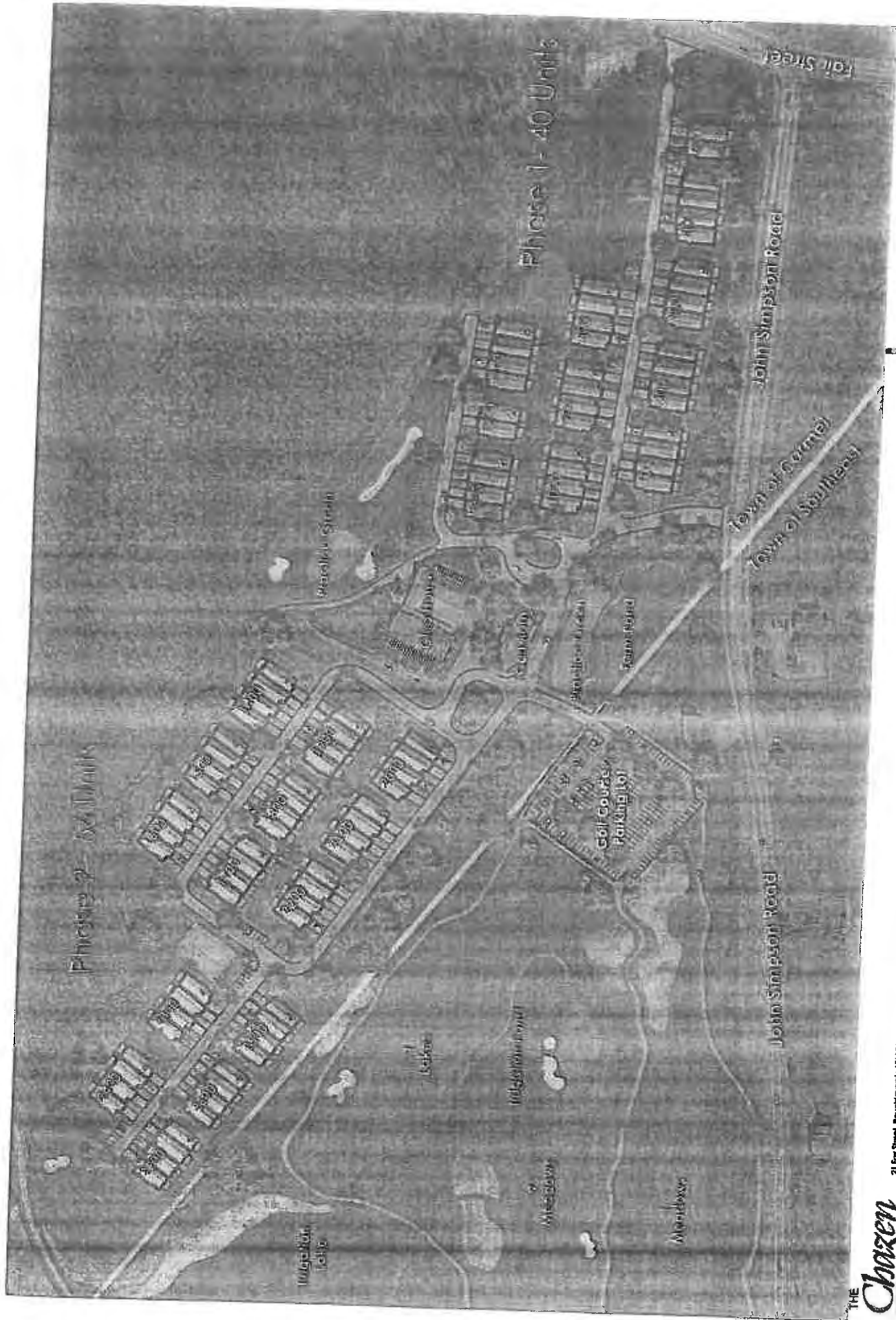
Conditional zoning, specifically related to golf courses, has been utilized across New York State. Locally, the Silo Ridge project in Amenia, New York utilized conditional zoning to allow



for development while preserving open space. Of the project's 670-acre footprint, 80 percent will be preserved as open space. Deed restrictions have been utilized in many instances to provide town boards with an assurance that the remaining undeveloped property would persist as open or recreational space. It is important to consider the developmental alternative to conditional zoning. Instead of preserving open space and recreation, sprawling fields and meadows would be developed into residential units that are permitted as of right. (*\$500 Million Silo Ridge Project Breaks Ground*, The Poughkeepsie Journal, March 9, 2016)

The concept of conditional zoning has been affirmed not only in *Church*, but also in *Allison C. Collard v. Incorporated Village of Flower Hill* (52 N.Y.2d 594). In contrast, the concept of contractual zoning has been denied in *Madeline Levine v. Town of Oyster Bay* (26 A.D.2d 583). In conclusion, the use of conditional zoning offers municipalities the best of both worlds: the ability to preserve open and recreational space while simultaneously developing intelligently, boosting tax revenue, and offering much needed real estate inventory to bolster school district rolls.

**EXHIBIT "1"**



**Proposed Townhouse Layout**  
 96 Total Units  
 Larry Boudreau, RLA

**Centennial Golf Club**  
 Chazen Project No: 81821.00

21 Fox Street, Poughkeepsie NY 12601  
 P: (845) 454-2988 www.chazen.companies.com

**THE Chazen COMPANIES**  
 Proud to be Employee Owned

**EXHIBIT "2"**

**PROPOSED TEXT AMENDMENT TO  
SECTION 156-24 "CLUBS"**

**SECTION 156-24. CLUBS**

A. Clubs, including country, golf, swim, tennis and other court games, shall be permitted, provided that:

(1) The minimum site size for a nine-hole golf course shall be 75 acres and for an eighteen hole golf course shall be 150 acres. The minimum site size for clubs other than golf clubs shall be five acres.

(2) Where a swimming pool is provided, such pool shall contain 1.7 square feet of water surface area for each member household expected to use such facilities. A twenty-five meter pool shall have a minimum width of 45 feet, and a fifty-meter pool shall have a minimum width of 60 feet. A paved sitting area contiguous to all sides of such pool and having an area two times the water surface of the pool shall be provided.

(3) Where any active sport area of said membership club site abuts a residential district, a landscaped buffer having a height of at least four feet and a depth of at least 10 feet shall be provided.

(4) On-site paved parking spaces shall be provided at a ratio of two for each member household, plus one space for each full-time employee.

(5) Where a restaurant and/or bar is provided for nonmember as well as member use, on-site paved parking shall be provided at a ratio of one space for each three seats, including barstools, or one space for each 40 square feet of floor area devoted to patron use where the capacity is not determined by the number of fixed seats provided.

**B. RESIDENTIAL REDEVELOPMENT OF EXISTING GOLF COURSES**

To preserve golf course and related facilities for the greater good of the Town, redevelopment of existing golf courses with residential development shall be permitted, provided that:

(1) The Applicant establishes a purpose and need for the redevelopment of land currently developed as a golf course with residential development to fulfill the objective of preserving some golf course and related facilities for the greater good of the Town; and

(2) The minimum lot size for residential development shall be at least twenty (20) acres developments; and

(3) The residential density shall not exceed six (6) dwelling units per acre. The residential density shall be calculated pursuant to Section 156-45(E)<sup>1</sup>. No residential redevelopment of an existing golf course shall exceed 100 dwelling units; and

(4) The residential development must have its primary access driveway directly off a County Road located in the Town of Carmel; and

(5) Residential development exceeding 40 or more units shall be served by municipal or community water and municipal or community sewer or septic; and

(6) Residential development may be comprised of Dwelling, Attached<sup>2</sup>; Dwelling, Semidetached<sup>3</sup>; Dwelling, Single-family and/or Dwelling, Two-Family units; and

(7) For Dwelling, Attached, Dwelling, Semidetached and Dwelling, Two-Family units, there shall be provided a minimum of two (2) on-site parking spaces per unit. For Dwelling, Single-family, there shall be provided one (1) on-site parking space per unit. An additional 15 percent of the total required parking shall be provided for visitor parking. Visitor parking shall include recreation parking; and

(8) The building height for dwelling units shall not exceed 40 feet or two and one-half stories above an enclosed or semi-enclosed garage area; and

(9) Building lot coverage<sup>4</sup> shall not exceed 35%; and

(10) In order to encourage and enable a residential development of desirable and imaginative design, and excluding the foregoing bulk and dimensional requirements, the specific controls contained in Chapter 156, Schedule of District Regulations, Attachment 1 are hereby replaced by a design approved by the Planning Board.

(11) A building setback of 30 feet off public roads shall be provided, which shall be furnished with landscaping, in part, per a landscaping plan to be determined by the Planning Board; and

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<sup>1</sup> Section 156-45(E) states, "Overall residential density. A residential cluster development shall not contain a total number of dwelling units which exceeds the number as determined in accordance with the following formula: The total acreage of the areas shown on the environmental constraints map shall be subtracted from the total acreage of the parcel being developed. The remaining acreage shall be further reduced by a number equal to 10% of the total acreage of the parcel being developed to allow for roads and utilities. The resulting acreage shall then be divided by the minimum lot area for the zoning district in which the parcel is located to arrive at the total number of dwelling units that will be deemed buildable."

<sup>2</sup> Suggested new definition: Dwelling, Attached: A row of abutting buildings with no more than four-family units in a row.

<sup>3</sup> Section 156-8 defines Dwelling, Semidetached as, "a building with one or two dwelling units beside the other, completely separated therefrom by a party or common wall with no openings therein"; Dwelling, Single-Family as, "a detached building designed for occupancy as one dwelling unit for one family"; and Dwelling, Two-Family as, "a detached building designed for occupancy as two dwelling units for two separate families."

<sup>4</sup> Section 156-8 defines Coverage as, "The percentage of the lot area covered by the combined area of all buildings or structures on the lot, including the area of any floor space projecting beyond the outer limits of the first floor of all buildings on the lot, and excluding paved areas and underground fuel, drainage and water and sewer systems."

(12) A total of not less than 50 square feet per dwelling unit shall be improved with recreational facilities, such as swimming pools, playground and other recreational equipment for use by site residents and their guests; and

(13) Permanent Open Space will be provided on the adjoining golf course. The open space area will not be less than a ratio of 1:1 to that of the total area of the residential lot (for example, 40 acres of total residential lot area will equal 40 acres of open space).