

CRAIG PAEPRER  
*Chairman*

ANTHONY GIANNICO  
*Vice Chairman*

**BOARD MEMBERS**  
DAVE FURFARO  
CARL STONE  
KIM KUGLER  
RAYMOND COTE  
ROBERT FRENKEL

**TOWN OF CARMEL  
PLANNING BOARD**



60 McAlpin Avenue  
Mahopac, New York 10541  
Tel. (845) 628-1500 – Ext.190  
[www.ci.carmel.ny.us](http://www.ci.carmel.ny.us)

MICHAEL CARNAZZA  
*Director of Code  
Enforcement*

RICHARD FRANZETTI, P.E.  
*Town Engineer*

PATRICK CLEARY,  
AICP, CEP, PP, LEED AP  
*Town Planner*

**PLANNING BOARD AGENDA**  
**JULY 17, 2019 – 7:00 P.M.**

**MEETING ROOM #2**

**TAX MAP #   PUB. HEARING   MAP DATE   COMMENTS**

**PUBLIC HEARING**

1. Lake Plaza Shopping Center, LLC – 983-1005 Route 6	65.10-1-45&46	7/17/19	Bond Reduction
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**SITE PLAN**

2. Downtown Mahopac Properties – 559 Route 6	75.12-2-26	6/17/19	Amended Site Plan
3. Joe Zakon d/b/a 14 Nicole Way LLC – 14 Nicole Way	65.6-1-22	6/13/19	Site Plan
4. Longview School – 110 – Scout Hill Road	52.-1-12	6/24/19	Site Plan
5. Braemar at Carmel – 49 Seminary Hill Road, Carmel	55.10-1-3	6/28/19	Site Plan

**MISCELLANEOUS**

6. Hudson Valley Federal Credit Union – 150 Route 6	86.11-1-1		Bond Return
7. 70 Old Route 6, LLC – 70 Old Route 6, Carmel (formerly Tompkins Recycling Facility)	55.11-1-15	12/08/16	Re-Approval of Final Site Plan Approval
8. Minutes – 06/12/19			



July 8, 2019

Craig Paeprer, Chairman and Members of the Carmel Planning Board  
Town Hall  
60 McAlpin Ave  
Mahopac, NY 10541

RE: Amended Site Plan for Downtown Mahopac Properties, Inc.  
559 Route 6  
Mahopac, NY 10541  
TM # 75.12-2-26

Dear Mr. Paeprer and Members of the Board,

The following is my response to the memo from Mike Carnazza, Building Inspector dated June 25<sup>th</sup>, 2019:

1. The lot depth line is now shown at the mid-point.
2. Set back envelope is indicated.
3. The frame shed it noted to be removed.

The following is my response to the memo from Pat Cleary, Town Planner dated June 26<sup>th</sup>, 2019:

1. The use of the warehouse has been clarified. Its' use is not related to the other businesses on the site.
2. The parking table identifies the parking requirements for the 2 existing buildings.
3. The parking spaces are shown at 10 ft wide.
4. The Putnam Trailway is not an abutting property.
5. We will contact NYSDOT regarding the planting of grass along Rt 6.
6. Illumination levels are identified;
7. Renderings of the proposed building with materials and colors identified.
8. The existing asphalt parking area will be resurfaced.
9. A stormwater management report is attached.

The following is my response to the memo from Rich Franzetti, PE, Town Engineer dated June 19<sup>th</sup>, 2019:

1. The amended Site Plan has been referred to the Mahopac Fire Department.
2. General Permit GP-0-15-002 is attached to the Storm Water Prevention Control Plan.
3. A Performance Bond estimate will be submitted.
4. Storm Water maintenance agreement will be provided.
5. While the Site may be in Carmel Water District #1, the Site is serviced by an existing well which will also service the one bathroom in the new building. It should be noted that there will be no employees for this building and the one bathroom is for the convenience of the property owner who will be storing his antique cars in the building.
6. The property is in Carmel Sewer District #1 and the 2 existing buildings are connected. It is proposed that the bathroom will be connected to the existing sewer line on the property. It is

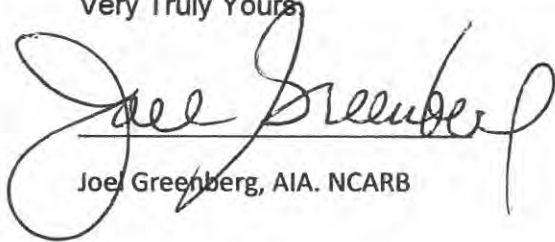
Two Muscoot Road North  
Mahopac, New York 10541  
P: (845) 628-6613 F: (845) 628-2807  
Email: [joel.greenberg@arch-visions.com](mailto:joel.greenberg@arch-visions.com)  
[www.arch-visions.com](http://www.arch-visions.com)



estimated that the additional bathroom, for use by the owner only, since there are no employees, will generate less than 30 gallons per day.

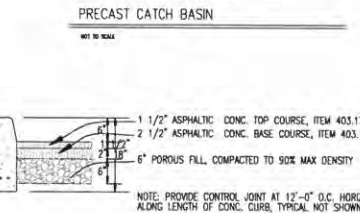
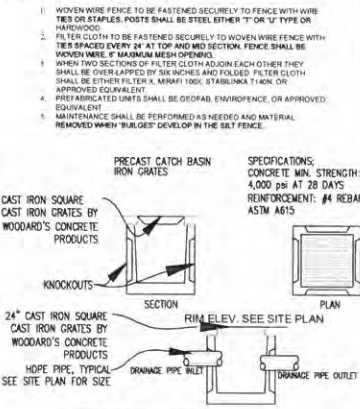
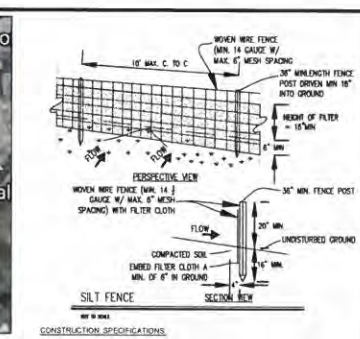
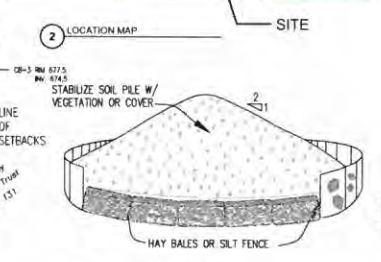
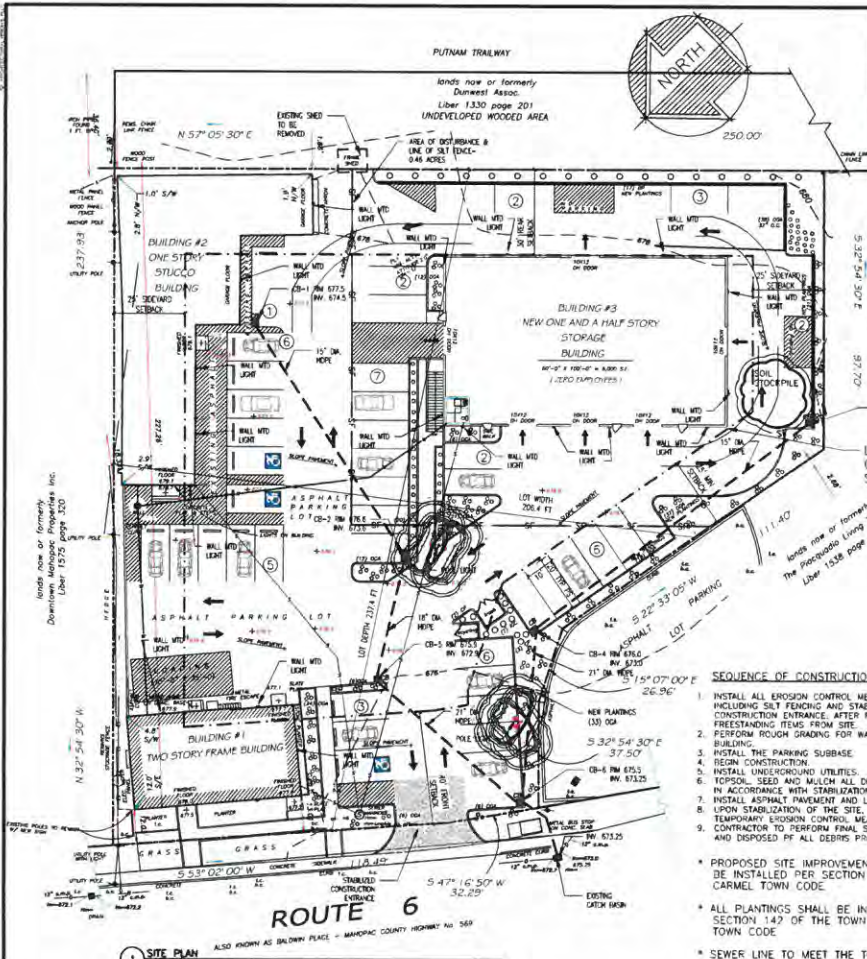
7. Contours at 2 ft intervals were already indicated on the amended Site Plan.
8. Graphic representation of vehicle movements are shown and turning radii are shown. The curb cut already exists and no clearing is required for Site Distance.
9. All Site improvement will be installed as per Section 128 of the Carmel Town Code, which has been noted.
10. A landscape plan has been provided and all plantings will be installed as per Section 142 of the Carmel Town Code.
11. Erosion and sediment controls have been shown on the Site Plan.
12. The construction sequence has been provided.
13. Electric will be provided for the new building and the two lamp posts.
14. The sewer line will comply with Section 120-29 of the Carmel Town Code.
15. Items 14-26 appear to refer to the site being supplied by Town water. However as stated above the site is supplied by an existing well.

Very Truly Yours

A handwritten signature in cursive script that reads "Joe Greenberg". The signature is written in black ink and is positioned above a horizontal line.

Joe Greenberg, AIA. NCARB





**SITE DATA NOTES**

PROPERTY OWNER: DOWNTOWN MAHOPAC PROPERTIES INC.  
 PROPERTY LOCATION: 559 ROUTE 6 MAHOPAC, NY 10641 C

ZONE: C  
 PROPOSED USE: (2) EXISTING RETAIL BUILDINGS NEW STORAGE BUILDING - FOR OWNERS CLASSIC CAR COLLECTION.

TAX MAP NO. 75-12-36  
 WATERSEWER DISTRICTS: TOWN SEWER & PRIVATE WELL MAHOPAC SCHOOL DISTRICT

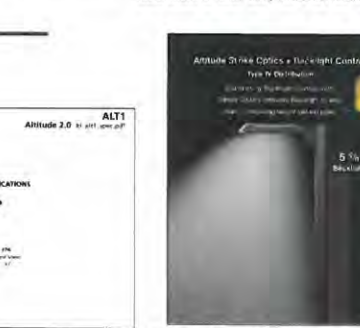
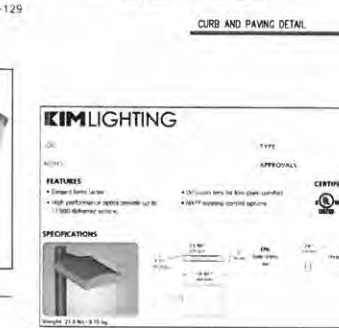
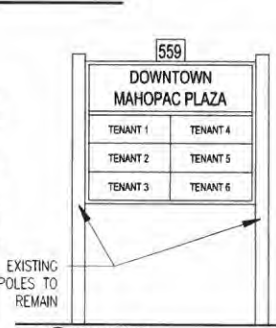
ZONING PROVISION	REQUIRED	PROVIDED	VARIANCE
LOT AREA	43,800	48,135 SF (EXIST)	NONE
LOT WIDTH	200 FT	206.4 FT (EXIST)	NONE
LOT DEPTH	200 FT	237.4 FT (EXIST)	NONE
FRONT YARD	40 FT	9 FT PROPOSED	NONE
SIDE YARD	25 FT	35 FT PROPOSED	NONE
REAR YARD	30 FT	30 FT PROPOSED	NONE
HEIGHT	35 FT	35 FT PROPOSED	NONE
LOT COVERAGE	30%	25% (1944 / 48135)	NONE
OFF STREET PARKING	45	39 EXISTING	NONE
(A) REGULAR P.S. 10'X20'	6	6 PROPOSED	NONE
(B) REGULAR P.S. 10'X20'	1	1 PROPOSED	NONE
AREA OF DISTURBANCE	203,413 SF OR 4.6 ACRES (REMAINDER OF SITE WILL NOT BE DISTURB)	203,413 SF OR 4.6 ACRES	NONE

**PARKING CALCULATIONS:**

BUILDING #1 2 STORY COMMERCIAL / OFFICE: 448 / 200 = 21 PS (8 EMPLOYEES)  
 BUILDING #2 1 STORY COMMERCIAL / OFFICE: 358 / 200 = 18 PS (8 EMPLOYEES)  
 BUILDING #3 1-1/2 STORY STORAGE: 6000 / 1000 = 6 PS (8 EMPLOYEES)  
 TOTAL = 45 PS REQUIRED

**PLANTING SCHEDULE**

SYMBOL	TOWNSON NAME	SIZE	ROOT	SPACING
100	LEL GABRA V. SHARROCK SHARROCK BARBERSY	24" - 30" TALL	CONT.	30' - 36'
101	BLUE POINT JUNCIFER JUNIPERUS CHINENSIS BLUE POINT	4" - 5" TALL	B&B	10'
200	BLUE CHIP DWARF JUNCIFER JUNIPERUS HORIZONTALIS V. BLUE CHIP	24" - 30" SPREAD	CONT.	30' - 36'
201	THE BLUE LITLY BLUE STEW SCHIZACRUM SCOPARIUM V. THE BLUES	24" - 30" SPREAD	CONT.	30' - 36'
202	ORANGE POINT BARBERSY HENRIENS V. ORANGE POINT	15" - 18" TALL	CONT.	30' - 36'



**ARCHITECTURAL VISIONS**

2 MILSCOOT ROAD NORTH MAHOPAC NY 10641  
 P: 845-828-8813  
 F: 845-228-2807

**PROJECT:**  
 NEW STORAGE BUILDING FOR DOWNTOWN MAHOPAC PROPERTIES, INC.  
 PROJECT ADDRESS: 559 ROUTE 6 MAHOPAC, NY 10641  
 TAX MAP NO. 75-12-36

**SITE PLAN**

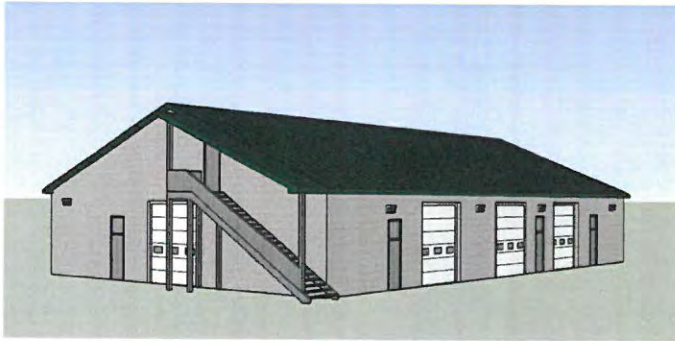
SCALE: AS NOTED  
 PROJECT NO. 2019-001  
 DATE: 08/20/2019

**AS-100**





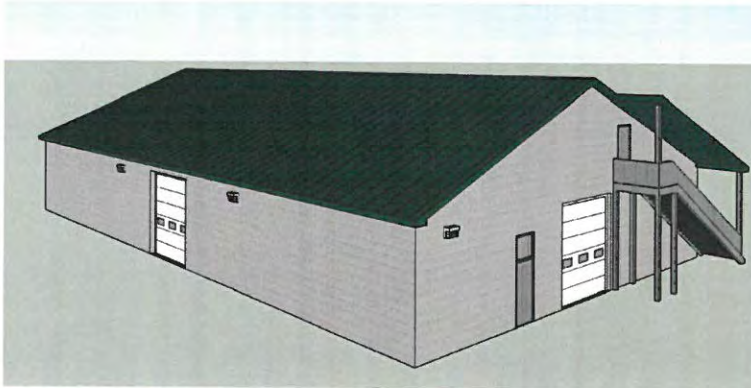




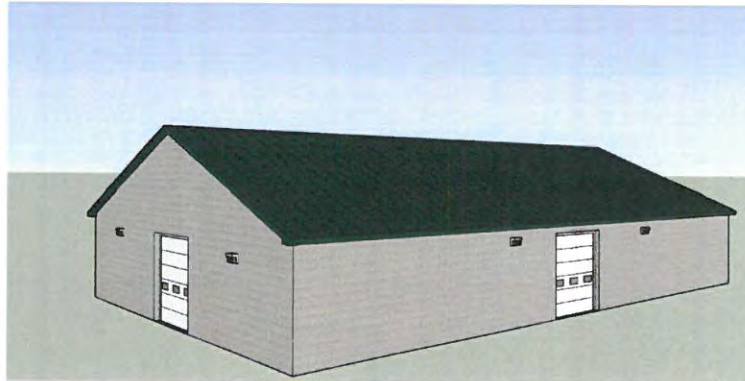
1 North View From Route 6



2 South View



3 East View



4 West View

**ARCHITECTURAL VISIONS**  
INCORPORATED

2 MUSCOOT ROAD NORTH  
 MAHOAPAC, NY 12841  
 TEL: 518-838-6813 FAX: 518-838-2807  
 WWW.AVARCHITECTURAL.COM

PROJECT:  
 NEW STORAGE BUILDING FOR  
 DOWNTOWN MAHOAPAC PROPERTIES, INC.  
 PROJECT ADDRESS: 300 MAHOAPAC RD  
 MAHOAPAC, NY 12841  
 TAX MAP NO. 28.12.2.2B

RENDERING

NO.	DATE	DESCRIPTION

SCALE:  
 AS NOTED

DRAWN BY: JCC  
 PROJECT NO.: **3D-101**

THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PRELIMINARY DESIGN AND FOR THE COMPLETION OF ALL REQUIRED PERMITS AND REGULATORY AGENCIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE COMPLETION OF ALL REQUIRED PERMITS AND REGULATORY AGENCIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE COMPLETION OF ALL REQUIRED PERMITS AND REGULATORY AGENCIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE COMPLETION OF ALL REQUIRED PERMITS AND REGULATORY AGENCIES.



**ALFRED A. CAPPELLI, JR.  
ARCHITECT  
1136 ROUTE 9  
WAPPINGERS FALLS, NY 12590**

**Telephone: 845-632-6500  
Fax: 845-632-6499  
Email: [acappe2102@aol.com](mailto:acappe2102@aol.com)**

June 21, 2019

Town of Carmel Planning Board  
60 McAlpin Ave.  
Mahopac, NY 10541

Re: Zakon Property  
NYS Route 6 & Nicole Way  
Revised Site Plan

Gentlemen,

Attached please find two alternate conceptual site plans for the above referenced property with an alternate driveway location to the site off NYS Route 6 as opposed to Nicole Way.

This is in response to & as a follow-up to a meeting we had at the site with Mr. Greg Bentley from NYSDOT, the Planning Board Chairman, the Town Engineer & Town Highway Super.

A narrative is also attached to further explain these concepts.

We would like to be scheduled on the next available Planning Board agenda to discuss these concepts with you.

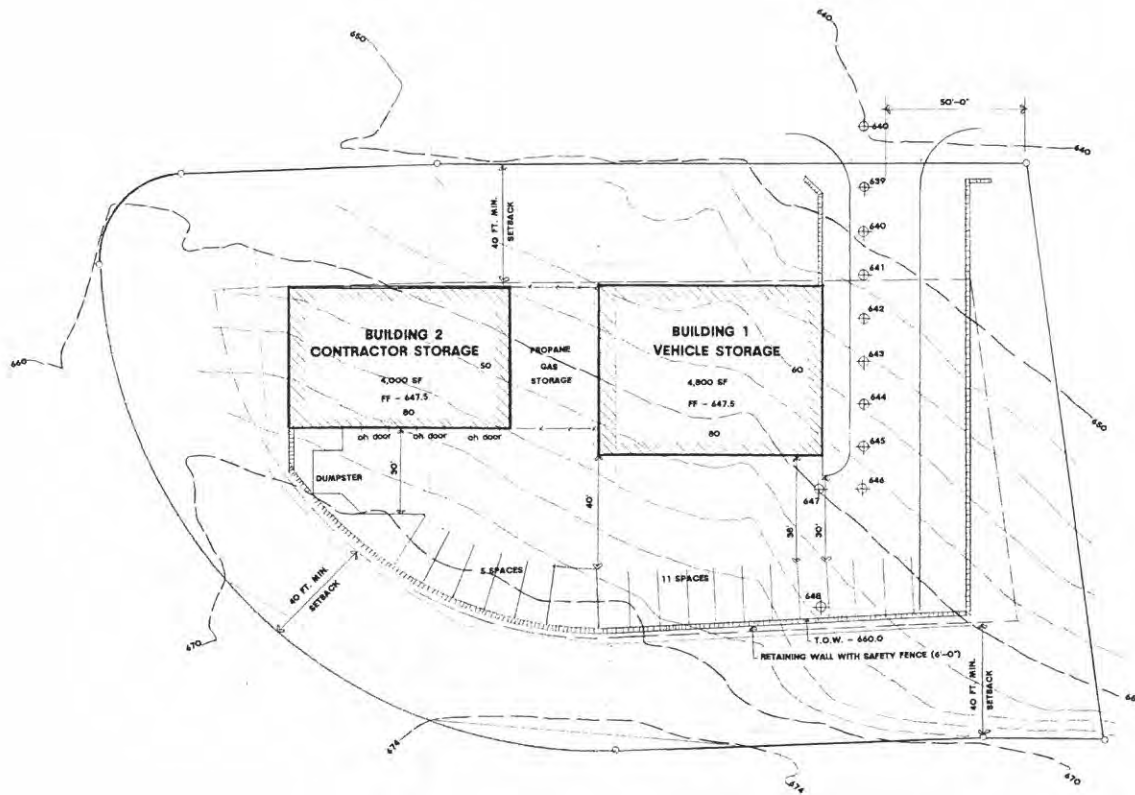
Thank you for your time & cooperation.

Very truly yours,



Alfred A. Cappelli, Jr.  
Architect

AAC/dc  
Enc.



CONCEPTUAL SITE PLAN

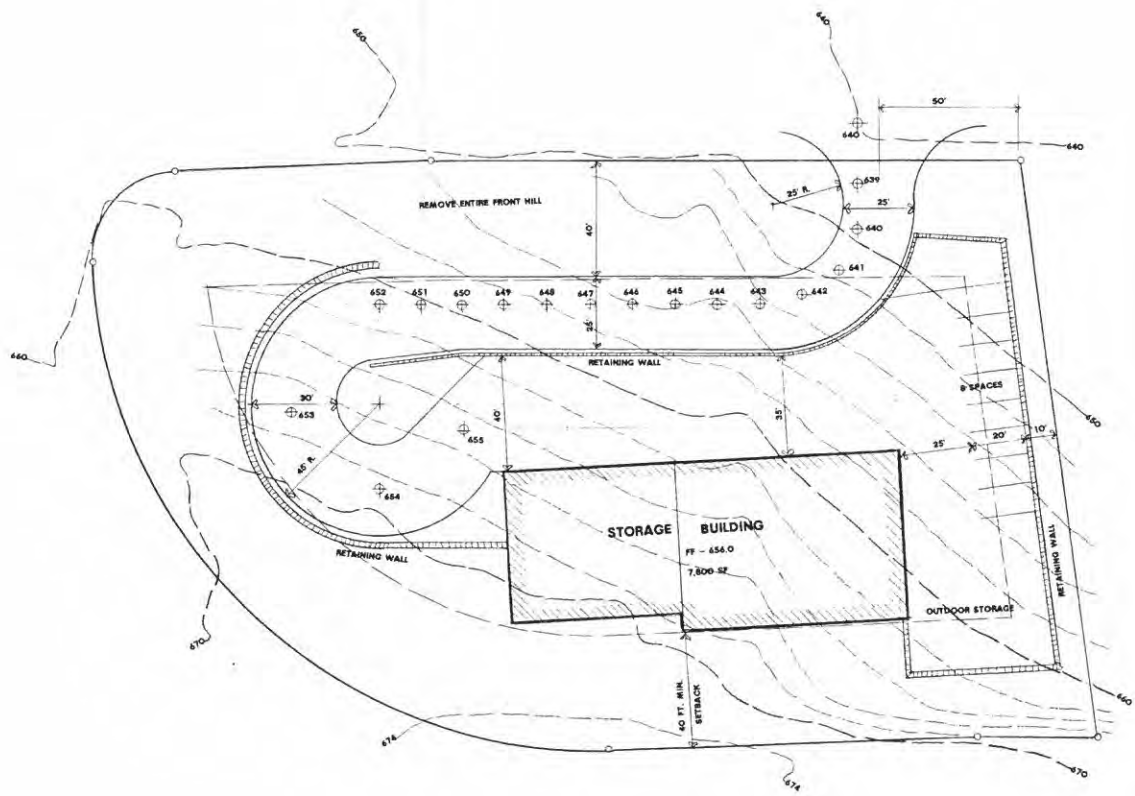
REVISIONS	BY

**ALFRED A. CAPPELLI Jr., AIA**  
 ARCHITECT  
 1136 ROUTE 8 WAPPINGERS FALLS, N.Y. 12580  
 PHONE: (518) 532-8500  
 FAX: (518) 532-8500

PROPOSED NEW STORAGE BUILDINGS FOR  
**JOE ZAKON dba TA NICOLE WAY LLC**  
 CORNER OF ROUTE 8 & NICOLE WAY, TOWN OF LAMLET, NY

**CONCEPTUAL SITE PLAN**

DATE	JUNE 13, 2019
SCALE	1" = 30'
DRAWN	AC
JOB	18-010
SHEET	CP-1
OF SHEETS	



CONCEPTUAL SITE PLAN #2

REVISIONS	BY

**ALFRED A. CAPPELLI Jr., AIA**  
 ARCHITECT  
 1136 ROUTE 9 WAPPINGERS FALLS, N.Y. 12590  
 PHONE (518) 531-6300  
 aacappell@aia.com

PROPOSED NEW STORAGE BUILDINGS FOR  
**JOE ZAKON dba 14 NICOLE WAY LLC**  
 CORNER OF ROUTE 8 & NICOLE WAY TOWN OF GAMMEL, NY

**CONCEPTUAL SITE PLAN #2**

DATE	JUNE 13, 2019
SCALE	1" = 30'
DRAWN	AC
JOB	18-010
SHEET	<b>CP-2</b>
OF	SHEETS

18-010-01



	P.W. Scott	pwscott@pwscott.com
	Engineering & Architecture, P.C.	www.pwscott.com
	3871 Route 6	(845) 278-2110
	Brewster, NY 10509	

June 17, 2019

Town of Carmel  
Planning Board  
60 McAlpin Avenue  
Mahopac, NY 10541  
[rtrombetta@ci.carmel.ny.us](mailto:rtrombetta@ci.carmel.ny.us)

Re: Longview School  
110 Scout Hill Rd, Mahopac  
TM#: 52.-1-12

Dear Chairman and Board Members,

The following is a response to the review letter of June 10, 2019 as prepared by Michael G. Carnazza, Town of Carmel Director of Code Enforcement. Responses are to comments according to the review letter.

Comment acknowledged. This project is a private school application.

The client has attached the school non-profit documentation.

The school does provide schooling for some high school students. With 3 classrooms allocated to those students, the parking count has been amended per the Planner's Memo.

Phases I & II are presented to account for the financial limitations of the non-profit school. The intent in Phase I is to install the footings and slab for the building and once funds become available to construct the school building which is a pre-manufactured structure fabricated by a steel building company.

This completes our response. Please call with any questions.

With regards,

*Peder Scott*

Peder Scott, P.E., R.A.  
President

Attach

	P.W. Scott	pwscott@pwscott.com
	Engineering & Architecture, P.C.	www.pwscott.com
	3871 Route 6	(845) 278-2110
	Brewster, NY 10509	

June 17, 2019

Town of Carmel  
Planning Board  
60 McAlpin Avenue  
Mahopac, NY 10541  
[rtrombetta@ci.carmel.ny.us](mailto:rtrombetta@ci.carmel.ny.us)

Re: Longview School  
110 Scout Hill Rd, Mahopac  
TM#: 52.-1-12

Dear Chairman and Board Members,

The following is a response to the review letter of June 10, 2019 as prepared by Richard J. Franzetti, P.E. Town Engineer. Responses are to comments and numbered according to the review letter.

I. General Comments

1. a. The plan has been submitted to the Mahopac Falls Fire Department. A response is pending. The site plan is in conformance with the NY State Fire Code for the hammerhead turn around.
2. a. Permits – Acknowledge NYSDEC GP-0-15-002 construction activity.
3. The SWPPP has been provided for review.
4. The Performance Bond shall be estimated once SEQRA Review is complete for the project.

II. Detailed Comments

1. The surveyor has provided 2' contours in the area of the proposed development.
2. The fire truck maneuver template has been added to the plan.
3. The turning radii of the access roadway are on the plan. Reference with R#.
4. The sight distance at the driveway entrance is added to the plan. Since the property contains the road, the sight distance is from the center of the road, down Scout Hill Rd.
5. Sidewalks are noted on the site plan at the drop off area. At the front of the site parking is provided as turf grass for overflow with the parking spaces extended up the existing hillside. The intent is to have a walking surface on the 24' wide driveway. Parking to the west is proposed to cross the traveled way to the drop off area. Along the rear of the site, pedestrian traffic is anticipated to connect to the drop off area, thus no sidewalks are proposed at the rear of the site. This concept will require some review.
6. The landscape plan is provided depicting existing vegetation.
7. Plantings have been added to conform to Section 142 of the Town Code.
8. The construction sequence in the SWPPP has been added to Sheet # SY3A.
9. The privacy wall is actually a fence obscuring the parking on the west side from the front entrance of the site.
10. No additional electrical utilities are required; the house has 200 amp service.
11. The pool is being removed so the rear of the house is open to the fire truck access. The drop off curb can be a squash curb to allow fire trucks access to the rear yard.

This completes our response. Please call with any questions.

With regards,

*Peder Scott*

Peder Scott, P.E., R.A.  
President

	P.W. Scott	pwscott@pwscott.com
	Engineering & Architecture, P.C.	www.pwscott.com
	3871 Route 6	(845) 278-2110
	Brewster, NY 10509	

June 17, 2019

Town of Carmel  
Planning Board  
60 McAlpin Avenue  
Mahopac, NY 10541  
[rtrombetta@ci.carmel.ny.us](mailto:rtrombetta@ci.carmel.ny.us)

Re: Longview School  
110 Scout Hill Rd, Mahopac  
TM#: 52.-1-12

Dear Chairman and Board Members,

The following is a response to the review memo of June 12, 2019 as prepared by Patrick Cleary, AICP, CEP, PP, LEED AP. Responses are to comments and are numbered according to the review letter.

PROPOSED PROJECT:

Correctly presented.

SITE PLAN REVIEW COMMENTS:

1. The application is in conformance to Town Code Chapter 156-23.
2. The requirements of Chapter 156-23 have been met. Attachments to include:
  - Non-profit certificate
  - License NY State Education Department
  - School is not a Trade School
  - With a site area of 15.9 acres maximum occupancy is not exceeded,.
  - Required Parking:

Parking requirements are based upon classrooms. The project includes 7 classrooms. 4 serving elementary and 3 serving high school students:

Required parking would then be:

Minimum: 10 spaces + 4 elementary classrooms (3 spaces) + 3 high school classrooms (5 spaces) = 37 spaces

Provided on the site plan is: 27 Original Site Plan Submission

11 Added to the west of the driveway (1 extra to compensate for H/C space)

The parking would be proposed as either turf reinforced spaces or "pavement millings" which, per the NYCDEP, are considered pervious.

Note: The Applicant proposes turf reinforced parking spaces which could be paved if the need arises in the future. The intent is to minimize pavement in front of the school.



3. The letter from Carmel Central School District has confirmed bus service.
4. The driveway grade is 15% to 11%. Refer to site profile on the drawings.
5. The topographic survey is provided for areas which are to be disturbed.
6. A tree & landscape plan is provided with existing and proposed plantings depicted. Many of the existing plantings are relocated due to site improvements.
7. There are no plans for athletic fields. Activities take place in the gym building.
8. No staff will reside in the school. Refer to the letter from Mark Jacobs, the Director of the Longview School.
9. The level of service for such a low traffic use will maintain adequate capacity for the Scout Hill Rd. school and neighboring residences.
10. The monument sign is depicted on Sheet #7/SY6.
11. The kitchen shall be used solely for cooking classes with no food service of any kind. Refer to the letter from Mark Jacobs, Director Longview School.
12. Security lighting is proposed as shown on the Lighting Plan. This is controlled by motion sensors to reduce exterior lighting.

This completes our response. Please call with any questions.

With regards,

*Peder Scott*

Peder Scott, P.E., R.A.  
President

Attach



# Longview School

83 Main Street

Brewster, NY 10509

845.259.8259 Ph. 845.350.4076 Fax

[www.longviewschool.org](http://www.longviewschool.org)

June 23, 2019

Dear Chairman and Board Members:

The following is a response to the review memo of June 12, 2019, as prepared by Patrick Cleary, AICP, CEP, PP, LEED AP. Responses are to comments and are numbered according to the review letter.

8. No staff will reside at the school. The school is a day school and as such, will house neither staff nor students at the school.

11. The kitchen at the school will be used solely for cooking classes which typically take place 1-2 times per week for about 45 minutes for each class. There will be no food service of any kind at the school.

Please call with any questions.

Sincerely,

A handwritten signature in black ink, appearing to read 'Mark Jacobs', written over a light blue horizontal line.

Mark Jacobs

Director



New York State Department of  
**Taxation and Finance**

Taxpayer Services and Revenue Division  
W A Harriman Campus  
Albany NY 12227

April 3, 2009

**LONGVIEW SCHOOL  
296 LOCUST AVE  
CORTLANDT MANOR, NY 10567**

**RE: LONGVIEW SCHOOL  
ID# 26-2648371**

Dear Applicant:

We have reviewed your application, Form CT-247, for exempt status with New York State.  
Your exemption is effective 12/14/2007

You are required to notify this Bureau of any changes in your federal tax status.

Retain a copy of this letter in your permanent records to assist in resolving any questions  
regarding your exempt status.

Business Contact Center  
Phone: 1-800-972-1233

The University of the State of New York  
Education Department



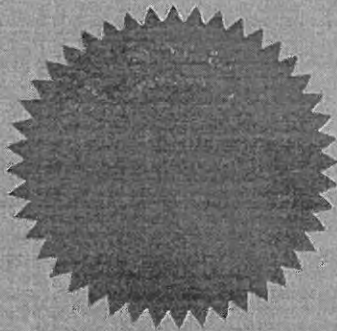
LONGVIEW SCHOOL

EXTENSION OF PROVISIONAL CHARTER

This Instrument Witnesseth That the Board of Regents for and on behalf of the Education Department of the State of New York at their meeting of December 13, 2016.

An application having been made by and on behalf of the trustees of Longview School, for its provisional charter to be extended, it was

Voted, that the provisional charter of Longview School, located in Brewster, county of Putnam, and state of New York, which was granted by action of the Board of Regents on December 14, 2007; which provisional charter was amended and extended by Regents action on October 18, 2011 be, and the same hereby is, extended until December 13, 2019; and prior to that date, an application for the further extension of such provisional charter or for an absolute charter will be entertained by the Regents, but, in the event that such application is not made, then after December 13, 2019 and upon notice by the Regents, such provisional charter shall terminate and become void and shall be surrendered to the Regents.



Granted, December 13, 2016 by the Board of Regents of The University of the State of New York, for and on behalf of the State Education Department, and executed under the seal of said University and recorded as Number 26,584.

A handwritten signature in cursive script, appearing to read "Bryant W. ...".

Chancellor

A handwritten signature in cursive script, appearing to read "Margaret E. ...".

President of the University and  
Commissioner of Education



*The University of the State of New York*  
Education  Department

LONGVIEW SCHOOL  
PROVISIONAL CHARTER

This Instrument Witnesseth That the Board of Regents for and on behalf of the Education Department of the State of New York at their meeting of December 14, 2007,

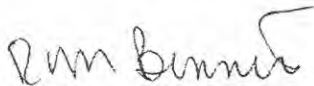
Voted, that


1. A provisional charter valid for a term of three years is granted incorporating Mark Jacobs, Elena Pousada, Barbara Jacobs, Stanley Jacobs, Eric Rubinstein and their associates and successors as an education corporation under the corporate name of Longview School located in the city of Cortland Manor, county of Westchester, and state of New York.
2. The purposes for which such corporation is formed are:  
  
To operate a kindergarten through grade twelve independent school.
3. The persons named as incorporators shall constitute the first board of trustees. The board shall have power to adopt bylaws, including therein provisions fixing the method of election and the term of office of trustees, and shall have power by vote of two-thirds of all the members of the board of trustees to change the number of trustees to be not more than twenty-five nor less than five.
4. The names and post office addresses of the first trustees are as follows:  
  
Mark Jacobs  
46 Highland Drive  
Garrison, New York 10524  
  
Elena Pousada  
46 Highland Drive  
Garrison, New York 10524  
  
Barbara Jacobs  
76 Dimond Avenue  
Cortlandt Manor, New York 10567  
  
Stanley Jacobs  
76 Dimond Avenue  
Cortlandt Manor, New York 10567  
  
Eric Rubinstein  
26 Dartmouth Street #1  
Boston, Massachusetts 02116
5. The corporation hereby created shall be a nonstock corporation with members, organized and operated exclusively for educational purposes, as defined in section 501(c)(3) of the Internal Revenue Code of 1986 (or the corresponding provision of any future Federal tax code), and no part of the net earnings or net income shall inure to the benefit of any member, trustee, director or officer of the corporation, or any private individual (except that reasonable compensation may be paid for services rendered to or for the corporation), and no member, trustee, director or officer of the corporation, or any private individual, shall be entitled to share in the distribution of any of the corporate assets upon dissolution of the corporation. The members of the corporation will consist of students enrolled in the school. The enrollment list will be maintained by the co-directors of the school. The members will elect trustees and vote on matters of importance presented to them by the board of trustees.

6. Notwithstanding any other provision of these articles the corporation shall not carry on any other activities not permitted to be carried on (a) by a corporation exempt from Federal income tax under section 501(c)(3) of the Internal Revenue Code of 1986 (or the corresponding provision of any future Federal tax code) or (b) by a corporation, contributions to which are deductible under section 170(c)(2) of the Internal Revenue Code of 1986 (or the corresponding provision of any future Federal tax code).
7. No substantial part of the activities of the corporation shall be devoted to carrying on propaganda, or otherwise attempting to influence legislation, (except to the extent authorized by Internal Revenue Code section 501(h) as amended, or the corresponding provision of any future Federal tax code, during any fiscal year or years in which the corporation has chosen to utilize the benefits authorized by the statutory provision) and the corporation shall not participate in or intervene (including the publishing or distribution of statements) in any political campaign on behalf of or in opposition to any candidate for public office.
8. Upon dissolution of the corporation, the board of trustees shall, after paying or making provision for the payment of all the liabilities of the corporation, dispose of the remaining assets of the corporation exclusively for one or more exempt purposes, within the meaning of section 501(c)(3) of the Internal Revenue Code of 1986 (or the corresponding provision of any future Federal tax code), or shall distribute the same to the Federal government, or to a state or local government, for a public purpose. Any such assets not so disposed of shall be disposed of by order of the Supreme Court of the State of New York in the judicial district where the principal office of the corporation is then located, exclusively for such purposes or to such organization or organizations, organized and operated exclusively for such purposes, as said Court shall determine.
9. The principal office of the corporation shall be located at 296 Locust Avenue, Cortland Manor, New York 10567.
10. The Commissioner of Education is designated as the representative of the corporation upon whom process in any action or proceeding against it may be served.
11. Such provisional charter will be made absolute if, within three years after the date when this charter is granted, the corporation shall acquire resources and equipment which are available for its use and support and which are sufficient and suitable for its chartered purposes in the judgment of the Regents of the University, and shall be maintaining an institution of educational usefulness and character satisfactory to the Regents. Prior to the expiration of said three-year period, an application for the extension of such provisional charter or for an absolute charter will be entertained by the Regents, but in the event that such application is not made, then at the expiration of said term of three years, and upon notice by the Regents, such provisional charter shall terminate and become void and shall be surrendered to the Regents.



Granted, December 14, 2007, by the Board of Regents of The University of the State of New York, for and on behalf of the State Education Department, and executed under the seal of said University and recorded as Number 24,476.

  
Chancellor

  
President of the University and  
Commissioner of Education

	P.W. Scott	pwscott@pwscott.com
	Engineering & Architecture, P.C.	www.pwscott.com
	3871 Route 6	(845) 278-2110
	Brewster, NY 10509	

July 2, 2109

Town of Carmel Planning Board  
Town Hall  
60 McAlpin Avenue  
Mahopac, NY 10541  
[rtrombetta@ci.carmel.ny.us](mailto:rtrombetta@ci.carmel.ny.us)

Re: Longview School  
110 Scout Hill Rd, Carmel  
Landscape Plan

Dear Chairman of the Planning Board and Board Members,

The attached site plan incorporates existing landscaping and relocation of mature plantings across the front of the residence and around a pool which shall be removed. Refer to the attached photograph of the current residence plantings. As a school with a play area in the rear of the building, plantings are limited to tall shade trees with limited understory. The site remains contained within an existing forest which will remain virtually intact except for the grading and construction of the bio-retention basin.

Additional improvements for the site shall include clearing of extensive brush within Scout Hill Rd on the north side prior to the 110 entrance. An existing stone wall and gate at the entrance shall be evaluated by the Fire Chief for acceptability to the proposed use.

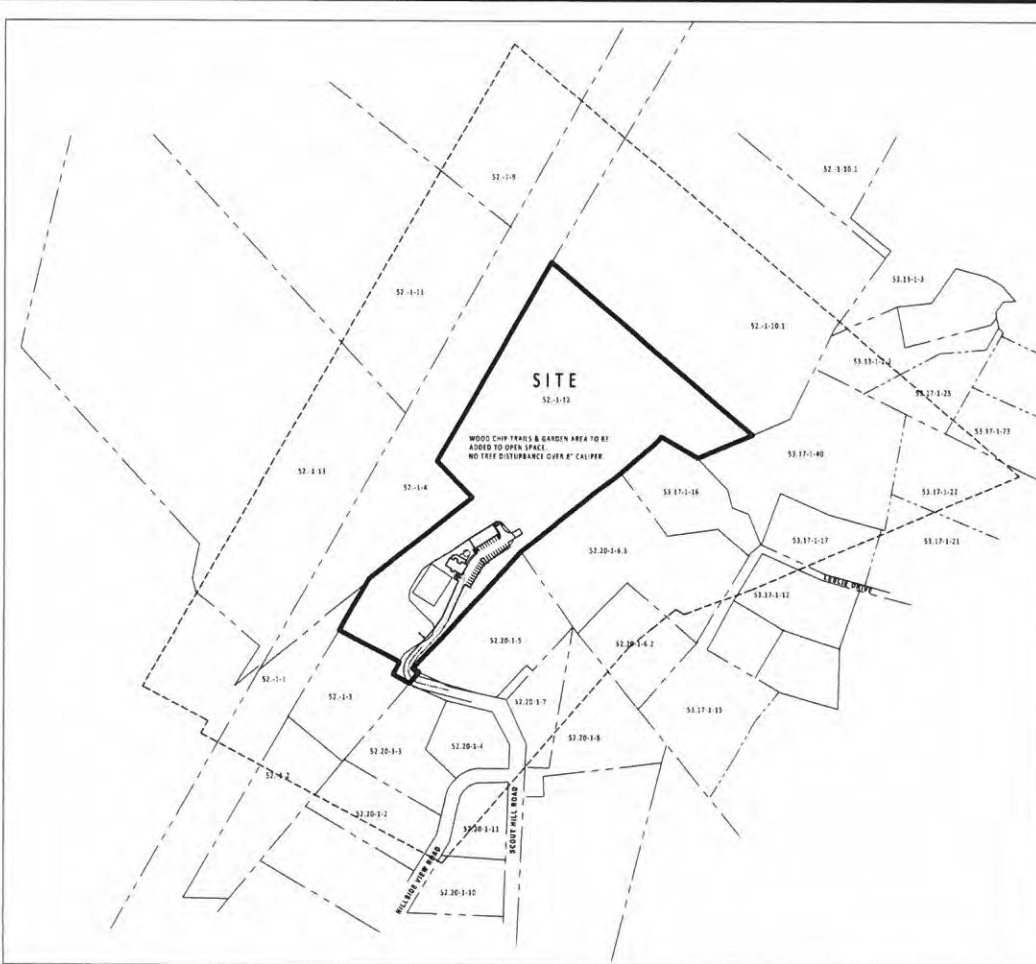
The above items shall be discussed at the next Planning Board meeting.

Respectfully submitted,

*Peder Scott*

Peder Scott, P.E., R.A.  
President

Attach



VICINITY MAP  
SCALE: 1" = 500'



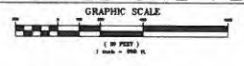
AERIAL MAP  
SCALE: 1" = 500'

NEIGHBORS WITHIN 500'

52-1-1 Joseph Morley 885 South Hill Rd Malabar, NY 10541	52-1-11 Sharon Jones-Jackson 110 South Hill Rd Malabar, NY 10541	52-20-1-2 Elena Valdes 171 Peachtree St. Unit 201 Malabar, NY 10541
52-1-1-1 JENNIFER HIGDON 12 Cedar Cr. Malabar, NY 10541	52-20-1-1 FELICE A. CALABRO 183 South View Rd. Malabar, NY 10541	52-1-1-23 TOMMY APPEL 18 Cedar Cr. Malabar, NY 10541
52-1-1-21 Charles Lewis 28 Cedar Cr. Malabar, NY 10541	52-1-1-12 Amy Elze 21 Laska Cr. Malabar, NY 10541	52-1-1-22 Candice Polansky 14 Spring Malabar, NY 10541
52-1-1-17 Lynne Ann 21 Laska Cr. Malabar, NY 10541	52-1-1-13 Teresa J. Hill 14221 Oakton Park Rd. Dallas, TX 75244	52-1-1-24 MARGARET 21 Laska Cr. Malabar, NY 10541
52-1-1-16 Thomas P. Korman 24 Laska Cr. Malabar, NY 10541	52-1-1-14 Paula Richard 41 Laska Cr. Malabar, NY 10541	52-20-1-1 DORIS C. CULLINAN 33 Laska Cr. Malabar, NY 10541
52-20-1-1 Michael Caccamo 41 Laska Cr. Malabar, NY 10541	52-20-1-11 Edward Parz 71 South Hill Rd. Malabar, NY 10541	52-1-1-2 Kara Finkert 143 South View Rd. Malabar, NY 10541
52-1-1 Cynthia L. Cook 110 York, NY 10541	52-20-1-18 Cristina M. Lupo 78 South Hill Rd. Malabar, NY 10541	52-20-1-4 Kathy P. Papp 81 South Hill Rd. Malabar, NY 10541
52-20-1-8 Christine Lewis 78 South Hill Rd. Malabar, NY 10541	52-1-1-18 Lorraine LaSalle 81 South Hill Rd. Malabar, NY 10541	52-1-1-1 Wanda Chan 422 Peach Hill Rd. Malabar, NY 10541
52-1-1-9 Robert Mader 452 Parkside Rd. Parsippany, NJ 07054	52-20-1-2 Lorraine LaSalle 89 South Hill Rd. Malabar, NY 10541	52-1-1-22 Kara Finkert 143 South View Rd. Malabar, NY 10541
52-1-1-4 Cynthia L. Cook 110 York, NY 10541	52-1-1-22 Kara Finkert 143 South View Rd. Malabar, NY 10541	



OVERALL SITE PLAN



PROJECT INFORMATION

Project Location:	110 South Hill Rd Malabar, NY 10541 Town of Carmel Putnam County State of NY
Zoning District:	R- Residential
Use Code:	Private School - Section 158-23
Owners and Property:	Shirley & Lorenzo Jardine 110 South Hill Rd. Malabar, NY 10541
Identification:	Map 52, Block 1, Lot 12
Applicant:	Longview School, Contract Vendor Mark Jacobs, Director 83 Main Street Brewster, NY 10509
Engineer:	Peter W. Scott P.E. PW Scott Engineering & Architecture, PC 3871 Century Road Brewster, NY 10509 845-278-2110 <a href="mailto:pws@pwscott.com">pws@pwscott.com</a>
Attorney:	William Skilling, P.C. 122 Old Route 6 Carmel, New York 10512 8451 225-7500 <a href="mailto:ws@skillinglegal.com">ws@skillinglegal.com</a>
Surveyor:	Terry Bergendorf Collins Land Surveyor 52 Stem Ridge Road Brewster, NY 10509 8451 278-4261 <a href="mailto:kuan@terrybergendorfcollins.com">kuan@terrybergendorfcollins.com</a>
Original Boundary Survey:	Robert Bergendorf

DRAWING LIST / DATE & ISSUE DATE		DRAWING DATES	
DRAWING NO.	SHEET TITLE	ISSUED	REVISED
CS	Cover Sheet and Overall Site Plan	✓	✓
S.Y.1	Parking Site Plan	✓	✓
S.Y.2	Stormwater Management Site Plan	✓	✓
S.Y.3	Erosion Control Plan	✓	✓
S.Y.4	Erosion Control Notes - pending	✓	✓
S.Y.5	Details - Erosion Control	✓	✓
S.Y.6	Details - Site	✓	✓
S.Y.6A	Details - Detention Bas in - pending		

P.W. SCOTT ENGINEERING & ARCHITECTURE, P.C. 3871 ROUTE 6 BREWSTER, NY 10509 845-278-2110	REVISION	DATE	NATURE OF REVISION	Dep. Title	COVER SHEET/OVERALL SITE PLAN
	A	8/24/19	ADDED DETENTION/T1 PARKING SPACES	Project Title	LONGVIEW SCHOOL
				Proj. No.	110 SCOUT HILL ROAD, CARMEL, NY
				Date	05/20/19
			Scale	1" = 200'	CS



**ZONING TABULATION CHART**  
TOWN OF CARMEL - R-RESIDENTIAL ZONE  
(REFER TO PRIVATE SCHOOL - 156-23)

ITEM	REQUIRED/PERMITTED	EXISTING/PROPOSED	EXTENT OF VARIANCE
LOT AREA (ACRES)	5.0	15.966	
LOT WIDTH (FEET)	200	470	
LOT FRONTAGE (56-10) (FEET)	100	52.7	47.3%
LOT DEPTH (FEET)	200	1,426	
<b>PRINCIPAL BUILDING</b>			
FRONT (FEET)	40	320	
SIDE (FEET)	25	98.45	±
REAR (FEET)	40	1,000	±
<b>ACCESSORY BUILDING</b>			
FRONT (FEET)	40	380	
SIDE (FEET)	20	65	
REAR (FEET)	20	900	±
MAXIMUM BUILDING HEIGHT (FEET)	35	34	
BUILDING COVERAGE (%) (2,595 KPS = 4,000 GYM)	15%	0.94%	

**PARKING REQUIREMENTS**

Regulation: Driveway - 24' wide (2-way traffic)  
Space Size: 10 x 20 or 10 x 18 w/overhang  
Loading: 1 per building  
Note: Screening required.

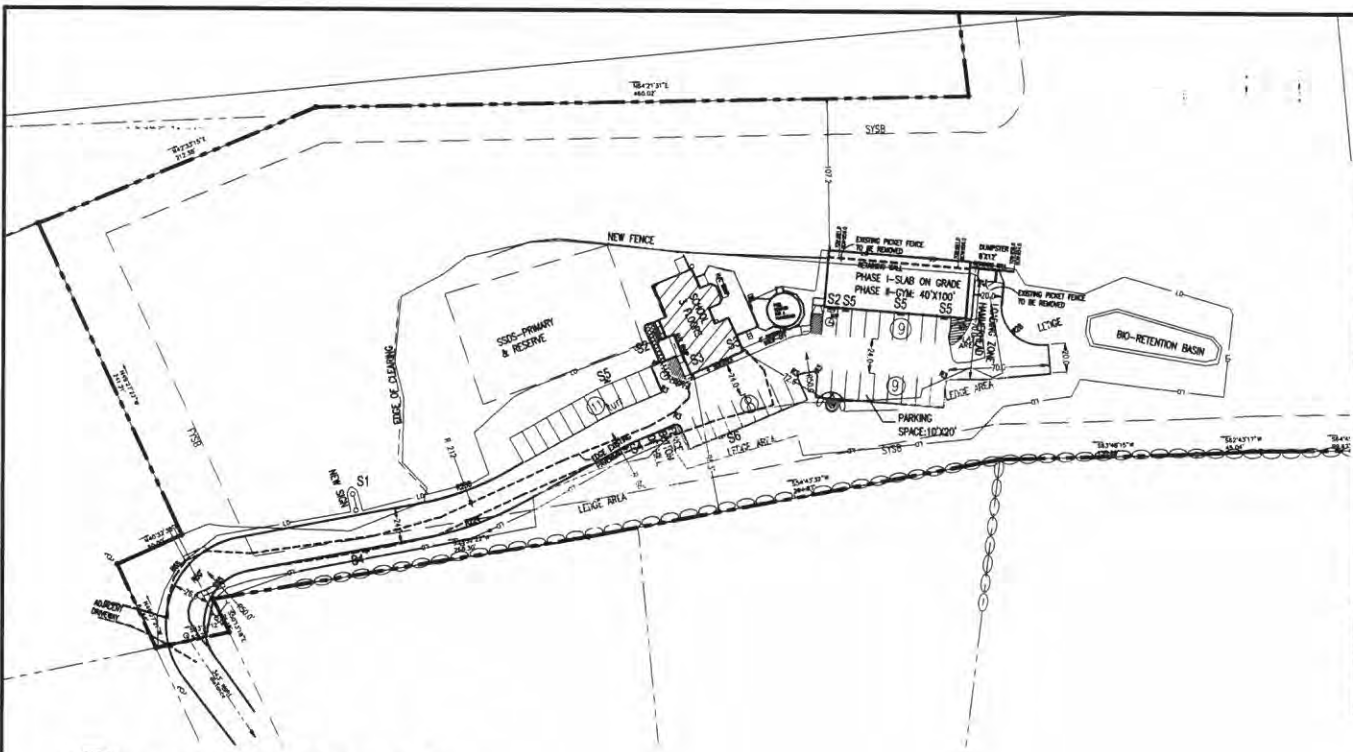
Parking based upon elementary parking requirements due to limited high school students.  
Classroom Count: 7 with 4 Serving Elementary & 3 Serving High School Classrooms.  
Required Parking: 10 Spaces - 4 Elementary (3 spaces) - 7 High School (5 spaces) = 37 space.  
Provided Parking: 27 Spaces including 2 Handicapped Spaces - 11 Turf Spaces.  
Parking Use: Pupils arrive at the school using bus transportation (small single axle buses) or by parent drop off. Teachers & Administrators park at the site. High School Students may park on the site.

**PROPOSED SIGNAGE**

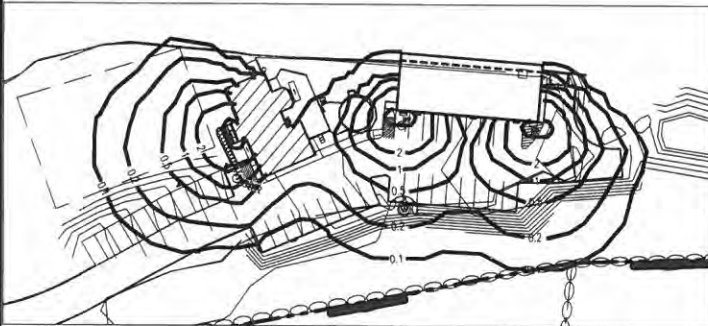
- S1 MONUMENT SIGN LONGVIEW SCHOOL
- S2 HANDICAPPED SIGN
- S3 BUILDING ID OFFICE ENTRY WALL SIGN
- S4 NO PARKING
- S5 RESERVED
- S6 EMPLOYEE

**Site Plan General Notes**

- No Wetlands/Watercourses within 200 feet of property. Refer to NYSDEC Mapper.
- Property Soils - CSD Chatfield/Charlton defined by NRCS Soil Mapping. (See attached)
- No Flood Plains on the property.
- Occupancy Proposed - Private School  
Maximum Occupancy: 8 Teachers, 6 Volunteers & 50 Children  
Hours of Operation: Weekdays: 8:15 am - 8:00 am (School arrival) to 4:30 pm  
Weekends: Extremely limited activities  
Holidays: Closed all holidays defined by Carmel School District.
- Ancillary Activities:  
removal:  
Future Garden area proposed.  
Bio-Retention Area to include plantings by children.  
All areas to be maintained by Longview School Personnel.  
Signage will be submitted for individual permit by a sign company retained by the Owner.
- School buses will be coordinated by Longview School.
- No Off-Site Road Improvements are proposed for the project.



**PARKING SITE PLAN**  
GRAPHIC SCALE  
1" = 40'



**LIGHTING PLAN**  
SCALE 1" = 40'

**WALL PACK SPACES**

- 15' x 15' (150 sq ft)
- 10' x 10' (100 sq ft)
- 8' x 8' (64 sq ft)
- 6' x 6' (36 sq ft)

**WALL PACK SPACES**

**Notes:**

- 1. All lighting fixtures shall be approved by the manufacturer.
- 2. All lighting fixtures shall be approved by the manufacturer.
- 3. All lighting fixtures shall be approved by the manufacturer.
- 4. All lighting fixtures shall be approved by the manufacturer.
- 5. All lighting fixtures shall be approved by the manufacturer.
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- 9. All lighting fixtures shall be approved by the manufacturer.
- 10. All lighting fixtures shall be approved by the manufacturer.

**Construction:**

- 1. All lighting fixtures shall be approved by the manufacturer.
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- 8. All lighting fixtures shall be approved by the manufacturer.
- 9. All lighting fixtures shall be approved by the manufacturer.
- 10. All lighting fixtures shall be approved by the manufacturer.

**Miscellaneous:**

- 1. All lighting fixtures shall be approved by the manufacturer.
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**LEGEND**  
NOT TO SCALE

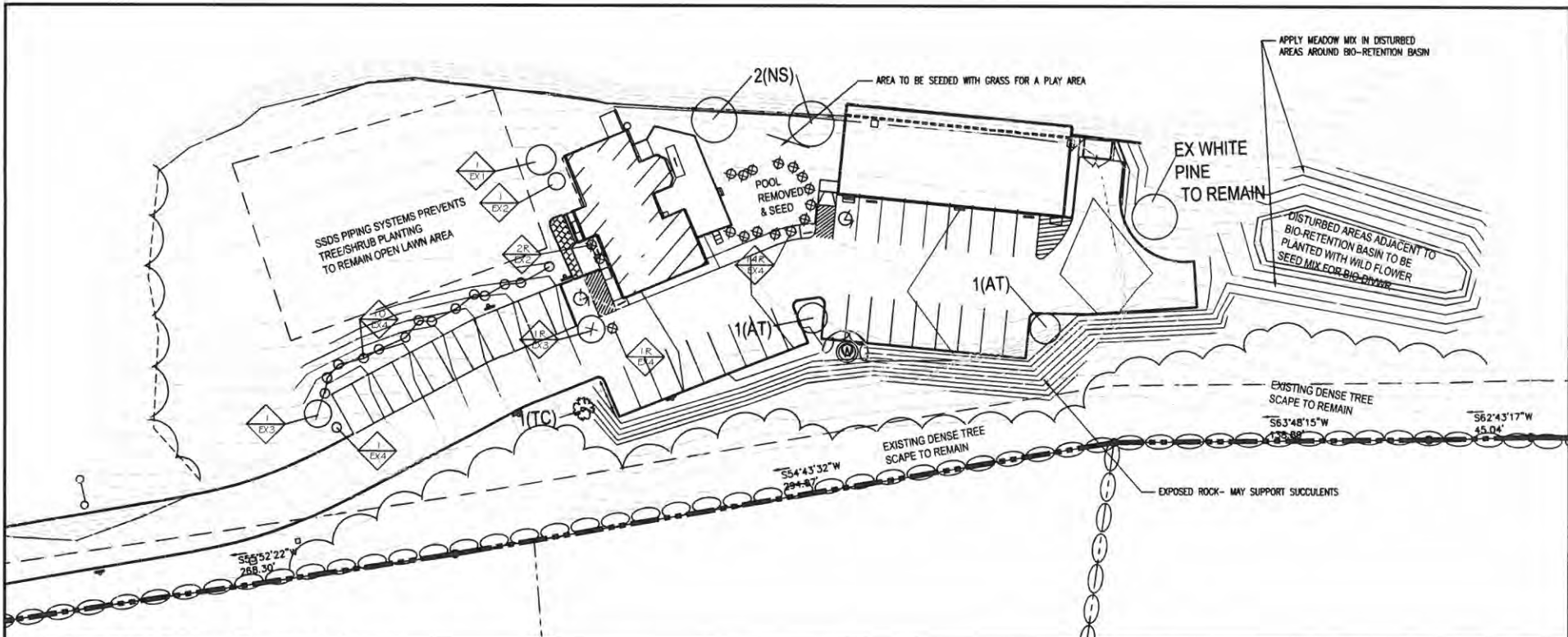
- PROPERTY LINE
- SETBACK LINE
- DTY PARKING SPACES (8.0'x20')
- PROPOSED PAVEMENT STRIPING
- PAINTED HANDICAPPED SYMBOL
- PROPOSED WALL PACK LIGHT
- CATCH BASIN
- CURB RADIUS
- LIGHT-WALL PACK
- PROPOSED 6" HIGH CONCRETE CURB
- PROPOSED SIDEWALK
- PROPOSED DUMPSTER W/ENCLOSURE
- PROPOSED HANDICAPPED RAMP
- PROPOSED BOLLARD
- PROPOSED CONCRETE PAD
- EXISTING BUILDING / STRUCTURES
- PROPOSED BUILDING / STRUCTURES

REVISION	DATE	NATURE OF REVISION
A	6/24/19	ADDED 11 PARKING SPACES

P.W. SCOTT  
ENGINEERING & ARCHITECTURE, P.C.  
3871 ROUTE 6  
BREWSTER, NY 10509 845-278-2110

Proj. No. 18-103  
Date: 05/20/19  
Scale: 1"=40'

Proj. No. SY1



### LANDSCAPING SITE PLAN



- SYMBOL KEY**
- NUMBER OF EXISTING TREES/PLANTS TO BE RELOCATED
  - TYPE OF PLANT
  - EXISTING PLANTS TO BE RELOCATED
  - NUMBER OF TREES (TYPE OF TREE)

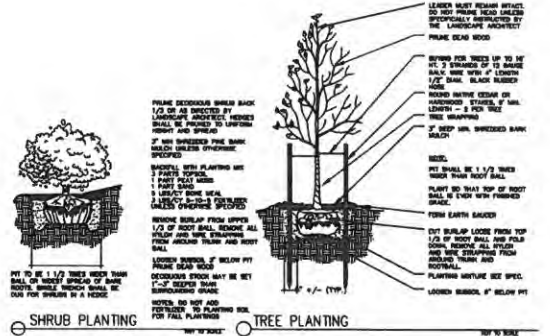
FOR BIO-RETENTION PLANTING-REFER TO DRAWING 024.

**PLANTING LIST**

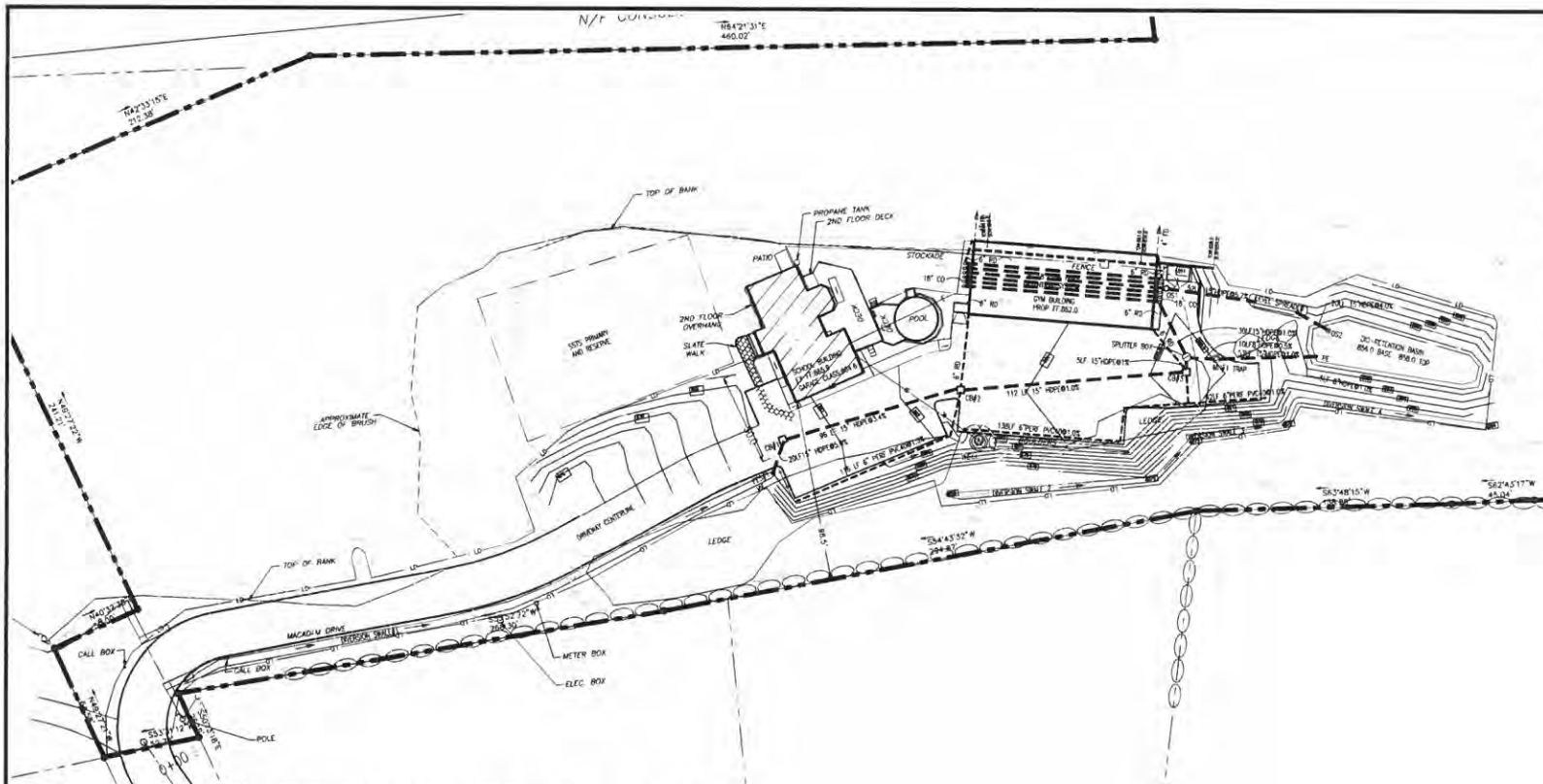
SYM	QUANT.	BOTANICAL NAME	COMMON NAME	HEIGHT	SIZE/CONT.	SPACING	COMMENT
AT	2	ACER TARTANICUM (HINNALAI)	AMUR MAPLE	15-20	8'-10"	NOTED	BBB FULL WELL ROUNDED
NS	2	NYSSA SYLVATICA	BLACK GLAZ	30-35	8'-10"	NOTED	BBB FULL WELL ROUNDED
TC	1	TILIA CORDATA NELLA/SUNAYER	LITTLE LEAF LINDEN	25-30	8'	NOTED	BBB FULL WELL ROUNDED

**MEADOW MIX**  
 25% BLYSSOIDES, 25% BLYSSOIDES, 25% BLYSSOIDES, 25% BLYSSOIDES  
 50% BLYSSOIDES, 50% BLYSSOIDES, 50% BLYSSOIDES, 50% BLYSSOIDES

EXISTING PLANTING CONSIST OF A VARIETY OF SMALL SHRUBS AND TREES PLANTED IN 1995. WITH THE EXISTING REMOVALS SHOWING PLANT, THESE EXISTING PLANTING WILL BE RELOCATED AS NOTED ON THE PLAN, EX3 & EX4.



<b>P.W. SCOTT</b> ENGINEERING & ARCHITECTURE, P.C. 3871 ROUTE 6 BREWSTER, NY 10509 845-278-2110	REVISION	DATE	NATURE OF REVISION	Proj. No.	LANDSCAPING SITE PLAN		Proj. No. LONGVIEW SCHOOL 119 SCOTT HILL ROAD, CARMEL, NY 18-103 Drawn by PWS Date 07/01/119 Scale 1"=40'



**GENERAL NOTES**

THROUGHOUT THE CONSTRUCTION PHASE OF THE PROJECT, CHANGES TO THE APPROVED SITE PLAN ARE PROHIBITED UNLESS A SITE PLAN REVISION APPROVAL IS OBTAINED FROM THE PLANNING BOARD.

ALL STORM SEWERS ARE TO BE HDPE PIPE UNLESS NOTED OTHERWISE.

ALL STORM AND SANITARY SEWER LINES ARE TO BE INSTALLED UNDER CONCRETE OR MANHOLE (W/OUT EXCEPTED). SEE SLOPES FOR REFERENCE USE ONLY.

ANY EXISTING STRUCTURES, DRIVEWAYS, CURBS OR OTHER AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO ORIGINAL CONDITION.

ALL UTILITY SERVICES TO BE INSTALLED UNDERGROUND.

ALL FOOTING AND ROOF DRAINS ARE TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM AS INDICATED ON SITE PLAN THROUGH THE USE OF 4" DIAMETER PVC PIPE AS NOTED ON THE PLANS.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT ALL PIPING IS PROPERLY SLOPED AND STABILIZED IN AREAS OF HIGH DRIVING WATER AND/OR UNDESIRABLE SOIL CONDITIONS.

ALL AREAS OF DISTURBED EARTH SHALL BE STABILIZED BY MULCHING OR OTHER MEANS. SEEDING OF DISTURBED AREAS SHALL BE INITIATED AS SOON AS PRACTICAL TO PREVENT EROSION ON SITE. REFER TO EROSION CONTROL TECHNIQUES ON EROSION CONTROL SITE PLAN.

IT IS THE DEVELOPER'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND/OR EASEMENTS FROM THE STATE AND LOCAL AUTHORITIES. PRIOR TO BEGINNING CONSTRUCTION WORK AND SLOPE REPAIRS AS MAY BE REQUIRED FROM ADJACENT PROPERTY OWNERS ARE THE RESPONSIBILITY OF THE PROPERTY OWNER.

LOCATIONS SHOWN ARE APPROXIMATE AND ARE SUBJECT TO FINAL SITE SURVEY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL ELEVATIONS, PROPERTY LINES, LOCATION OF UTILITIES AND SITE CONDITIONS IN THE FIELD. IF ANY DISCREPANCY OR ALTERATION IS REQUIRED FOR THE COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL CONTACT P.W. SCOTT ENGINEERING & ARCHITECTURE, P.C. TO THAT RESPONSE MAY BE COMPLETED.

ALL GRUBS WITHIN 10' OF THE TRAVEL PATH TO COMPLY WITH ADA DRIVEWAY REQUIREMENTS.

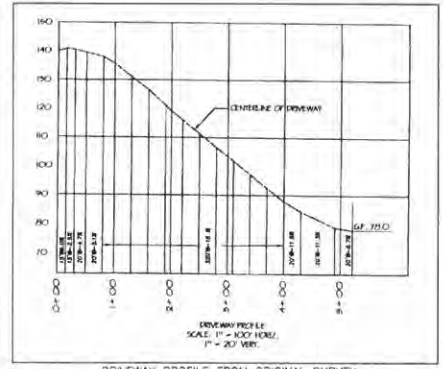
ALL EXISTING PAVING ON AND OFF-SITE AREAS MUST BE MAINTAINED WITH AN A-2 SURVEY PRIOR TO ANY SITE ACTIVITIES.

ALL PIPING SHALL BE INSTALLED TO CONFORM WITH HDS LAYOUTS.

**STORM WATER MANAGEMENT SITE PLAN**



USGS TOPOGRAPHY SHOWN - SEE WAIVER REQUEST



DRIVEWAY PROFILE FROM ORIGINAL SURVEY

**Drainage Chart**

Drains/ft	ft in	ft in	ft in	ft in	ft in
CB1	855.0	857.0	855.0	855.0	3.4% TO CB2
CB2	851.5	858.7	855.0	855.0	1.0% TO CB3
CB3	860.0	857.5	857.5	857.5	1.0% TO SPREADER
CB4	858.0	857.5	857.5	857.5	5.0% TO CB1
CB5	858.0	856.0	856.0	856.0	INTO #10 DETENTION
MH #1 TRAP	860.5	857.35	856.5	856.5	1.0% TO FES PE
MH #2		853.5	853.5	853.5	
SPREADER BOX 1	860.0	857.45	857.45	857.45	
15" PIPE OUT		857.3	857.3	857.3	1.0% TO DETENTION
8" PIPE OUT		857.4	857.4	857.4	0.5% TO MH#1
WEIR ELEVATION		858.8	858.8	858.8	
DETENTION PIPES		857.0	857.0	857.0	5.7% TO LEVEL SPREADER
DETENTION DS1	MH2	857.0	858.0	858.0	3" WEIR @ 858.5
					2" HOLE @ 857.0
DETENTION DS2		858.0	858.0	858.0	4.0% TO LEVEL SPREADER
LEVEL SPREADER	854.5	853.3	N/A	N/A	

**CALL BEFORE YOU DIG**  
CALL 1-800-922-4455

PRIOR TO ANY EXCAVATIONS THAT TAKE PLACE ON THE SITE, THE LOCATION OF ALL UTILITIES ON THE PROPERTY, SERVICE LINES AND PUBLIC UTILITIES ON THE STREET MUST BE DEFINED.

- LEGEND**
- PROPERTY LINE
  - SETBACK LINE
  - QTY PARKING SPACES (9'0"x20')
  - PROPOSED PAVEMENT STRIPING
  - PAINTED HANDCAPPED SYMBOL
  - PROPOSED WALL PACK LIGHT
  - CATCH BASIN
  - FLARED END SECTION
  - PROPOSED 6" HIGH CONCRETE CURB
  - PROPOSED SIDEWALK
  - PROPOSED DUMPSTER W/ENCLOSURE
  - PROPOSED HANDCAPPED RAMP
  - PROPOSED BOLLARD
  - PROPOSED CONCRETE PAD
  - EXISTING BUILDING / STRUCTURES
  - PROPOSED BUILDING / STRUCTURES

**SYMBOL DEFINITIONS**

- CB = CATCH BASIN
- YD = YARD DRAIN (ROOF DRAINAGE ONLY)
- MHE = EMERGENCY MANHOLE
- MH = DRAINAGE MANHOLE
- OS = OUTLET STRUCTURE
- FES = FLARED END SECTION

NOTE: ON THIS SCALE DRAWINGS DIMENSIONS SURVEY-SCALE

THESE DRAWINGS ARE THE SOLE PROPERTY OF P.W. SCOTT ENGINEERING AND ARCHITECTURE, P.C. AND WILL NOT BE REPRODUCED BY ANY MEANS AND BE GIVEN TO ANY OTHER PARTY/PERSONS WITHOUT THE EXPRESS WRITTEN PERMISSION OF P.W. SCOTT ENGINEERING AND ARCHITECTURE, P.C.

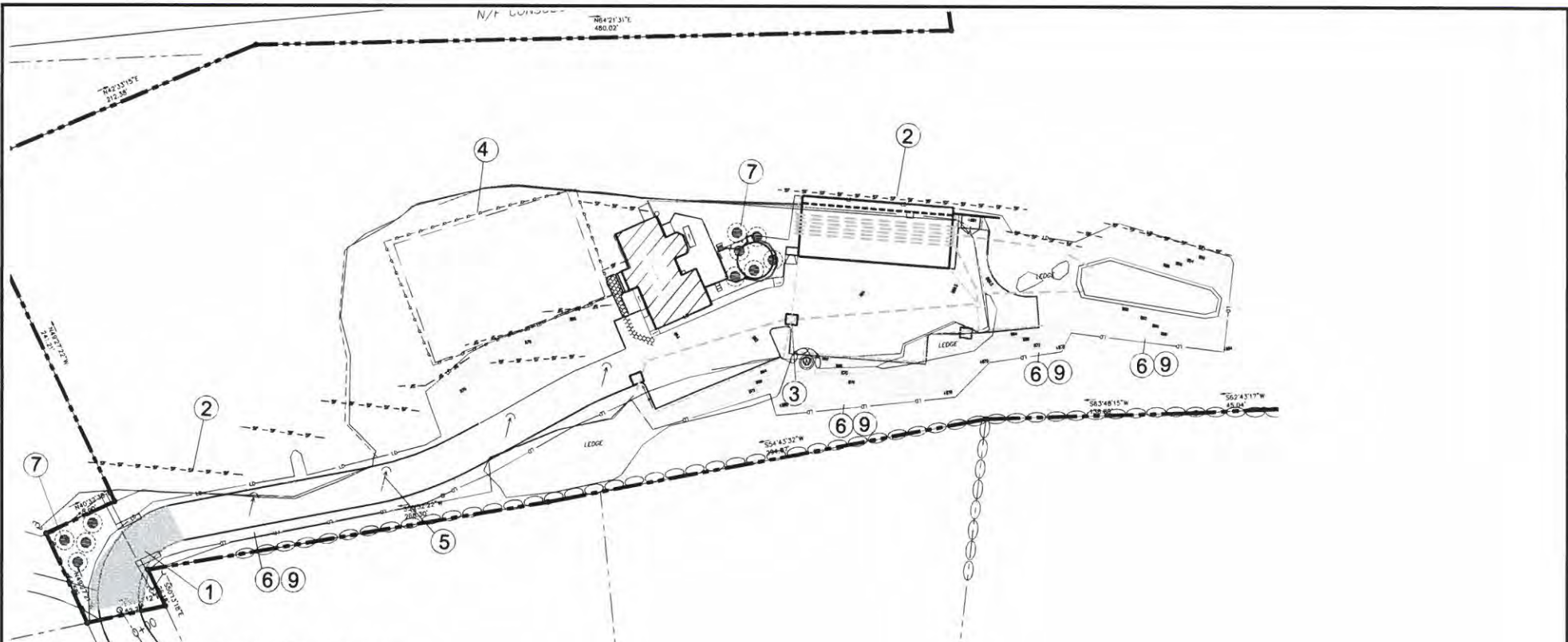
P.W. SCOTT  
ENGINEERING & ARCHITECTURE, P.C.  
3871 ROUTE 6  
BREWSTER, NY 10509 845-278-2110

REVISION	DATE	NATURE OF REVISION
A	8/24/19	ADDED UNDERGROUND DETENTION

Drawn By: **STORM WATER MANAGEMENT SITE PLAN**  
Project Title: **LONGVIEW SCHOOL**  
110 SCOUT HILL ROAD, CARMEL, NY  
Proj. No.: 18-103  
Drawn by: PWS  
Date: 05/20/19 Scale: 1"=30'

Dep. No.: **SY2**





**EROSION CONTROL PLAN**  
GRAPHIC SCALE  
1 inch = 30 ft

**Maintenance Schedule - During Construction - Temporary Structures**

NO.	Component	MINIMUM Frequency Required	As Per Erosion Control Plan	Inspection Method	Maintain Record	Special Inspection Item (Specify in Attachment)	Maintenance and Remedial Action
1	Construction Entrance	Weekly	X	Visual Inspection	None	Water Placement at exit device before entry	Remove Tires Cleanse with additional aggregate and correct water placement
2	Site Fence	Bi-Weekly	X	Work on Site Fence Alignment	Yes	Normal Work & Fence Stability	Reinspect structure when it "feels" develop a loose base or other soil and fence repair, repair, or replace
3	Check Mass Protection (Silt & Silt)	Weekly	X	Visual & Instrumentation	Yes	Check at 1/2 inch placement around perimeter of stock piles	On Bi-weekly basis, remove sediment and do back placement
4	Construction Fence	Bi-Weekly	X	Fence on site	None	Fence posts and gate	Fence repair and check in regular or extra capacity
5	Temporary Work Area	Bi-Weekly	X	Visual & Instrumentation	Yes	Local Erosion & Debris	On Bi-weekly basis, remove sediment
6	Drainage Hole	Weekly	X	Visual & Instrumentation	Yes	Site slopes & Bottoms to be above an erosion level	On Bi-weekly basis, check erosion of drains. As observed and site slopes above an erosion level
7	Topsoil Stockpile Area	Bi-Weekly	X	Visual & Instrumentation	None	Site slopes & Bottoms to be above an erosion level	On Bi-weekly basis, check erosion of drains. As observed and site slopes above an erosion level
8	Temporary Storage Area	Bi-Weekly	X	Visual & Instrumentation	None	Local Erosion & Debris	N/A

**Maintenance Schedule - Permanent Structure**

Component	Inspection Method		Inspection Frequency	Maintenance Schedule	Inspection Record	Action	Rating		Planning		Remarks	Tag
	Visual	Instrumentation					Structure	Volume	Appropriateness	Stability		
1	Temp. Protection	X	Weekly	End Displacement	Site Type: Class 1 (Site Plan)	1" @ 25' Int. Sp.	1 to 2 inch Displacement	As-built	N/A	N/A	For Close Watch	Submittal Report
2	Velocity	X	Weekly	End Displacement	N/A	N/A	N/A	N/A	N/A	N/A	5' from	For Close Watch
3	Field Data	X	Monthly	Visual & Other	N/A	Inspection & (N)	Annual	Close Watch	N/A	N/A	Monitor	Defective, 90% required
4	Drainage	X	Bi-weekly	Visual & Other	Site Type: Class 1 (Site Plan)	1" @ 25' Int. Sp.	1 to 2 inch Displacement	As-built	N/A	N/A	For Close Watch	Submittal Report

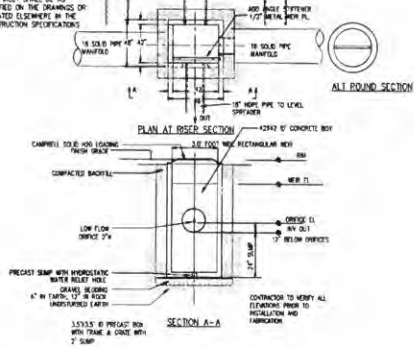
NO.	SYMBOL	DESCRIPTION	DETAIL LOCATION
1	[Symbol]	CONSTRUCTION ENTRANCE	TEMPORARY SEE DET. 1/SYS
2	[Symbol]	SILT FENCE	TEMPORARY SEE DET. 2/SYS PLACE PARALLEL TO GRADE
3	[Symbol]	BLOCK AND GRAVEL DROP SEDIMENT BARRIER	TEMPORARY SEE DET. 5/SYS
4	[Symbol]	CONSTRUCTION FENCE	TEMPORARY SEE DET. 6/SYS
5	[Symbol]	WATER BARS	TEMPORARY SEE DET. 6/SYS
6	[Symbol]	TEMP. DIVERSION SWALE	TEMPORARY SEE DET. 5/SYS
7	[Symbol]	TOPSOIL STOCKPILE AREA	TEMPORARY SEE DET. 4/SYS RING WITH SILT FENCE
8	[Symbol]	TEMPORARY STAGING AREA	TEMPORARY
9	[Symbol]	GRASS LINED SWALE SLOPE UNDER 6%	PERMANENT SEE DET. 7/SYS SLOPE OVER 6% SEE DET. 13/SYS

NOTE: DO NOT SCALE DIMENSIONS DIMENSIONS SURVEYOR SCALE THESE DRAWINGS ARE THE SOLE PROPERTY OF P.W. SCOTT ENGINEERING AND ARCHITECTS, P.C. AND WILL NOT BE REPRODUCED BY ANY MEANS AND BE GIVEN TO ANY OTHER TRADES/PERSONS WITHOUT THE EXPRESS PERMISSION OF P.W. SCOTT ENGINEERING AND ARCHITECTS, P.C.

<b>P.W. SCOTT</b> ENGINEERING & ARCHITECTURE, P.C. 3671 ROUTE 6 BREWSTER, NY 10509 845-278-2110	REVISION	DATE	NATURE OF REVISION	Prop. No. EROSION CONTROL PLAN Project Title: LONGVIEW SCHOOL 110 SCOUT HILL ROAD, CARMEL, NY Proj. No. 18-103 Date: 05/20/19 Scale: 1"=30'		Prop. No. SY3
	A	6/24/19	ADDED UNDERGROUND DETENTION			



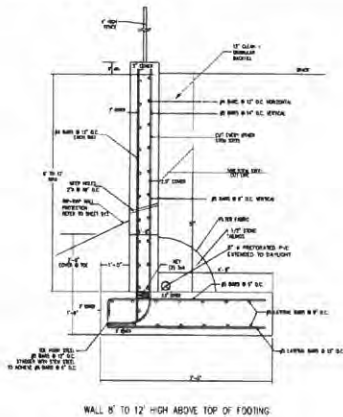
- NOTES
- 4000 PS CONCRETE SHALL BE USED FOR ALL PRECAST BASES, SLABS, TRANSFORMER AND CONCRETE SECTIONS. REINFORCING AND SPECIFICATIONS SHALL CONFORM TO AIA C-474, LATEST REVISED EDITION.
  - STEEL WELLS SHALL BE AS SHOWN ON THE DRAWINGS OR INDICATED ELEMENTS IN THE CONSTRUCTION SPECIFICATIONS.



OUTLET CONTROL STRUCTURE SCHEDULE

ID	DEPT	REV ON	REV DATE	REV BY	REV CL	DESCRIPTION	SLUMP	NOTES
03-1		062.0	057.0	036.0		036.0	037.0	035.0

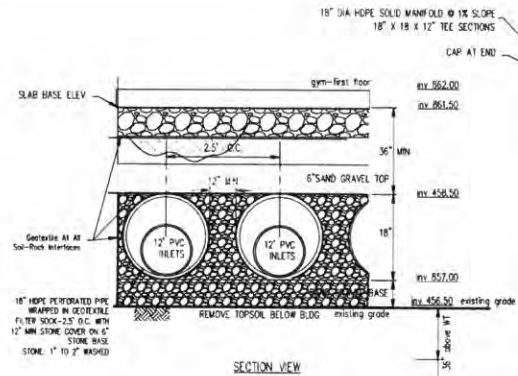
1 DETENTION OUTLET STRUCTURE  
N.T.S.



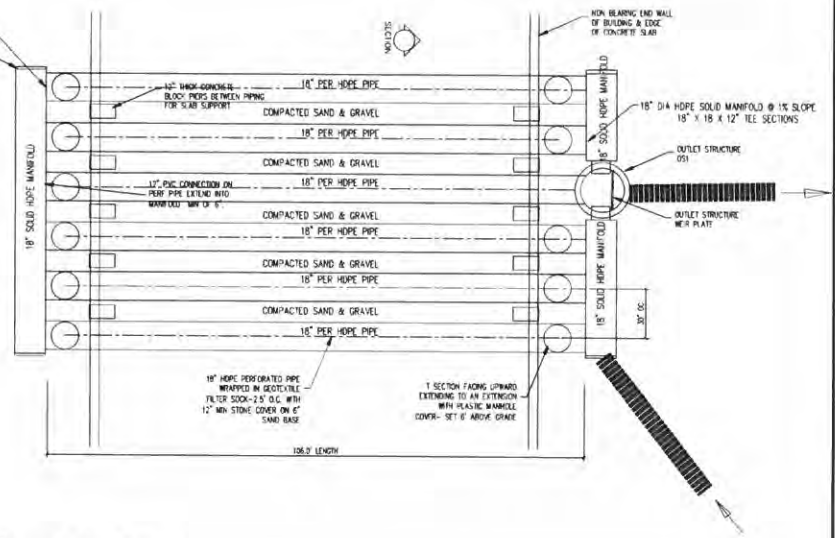
4 RETAINING WALL DETAIL - WEST SIDE OF GYM  
N.T.S.

FINAL DESIGN AND CONSTRUCTION DRAWINGS PROVIDED TO BUILDING DEPARTMENT FOR CONSTRUCTION

- BUILDING - WEST WALL REQUIRES WALL FROM: 854.0 TO 862.0  
WALL IS RESTRAINED BY THE BUILDING SLAB AND VARIES IN DESIGN FROM ABOVE
- DUMPSTER - WEST WALL REQUIRES WALL FROM: 854.0 TO 861.0  
WALL IS GRAVITY RETAINING WALL AS SHOWN ABOVE



2 TYPICAL PIPE BED DETAILS  
N.T.S.



3 DETENTION BED DETAIL  
N.T.S.

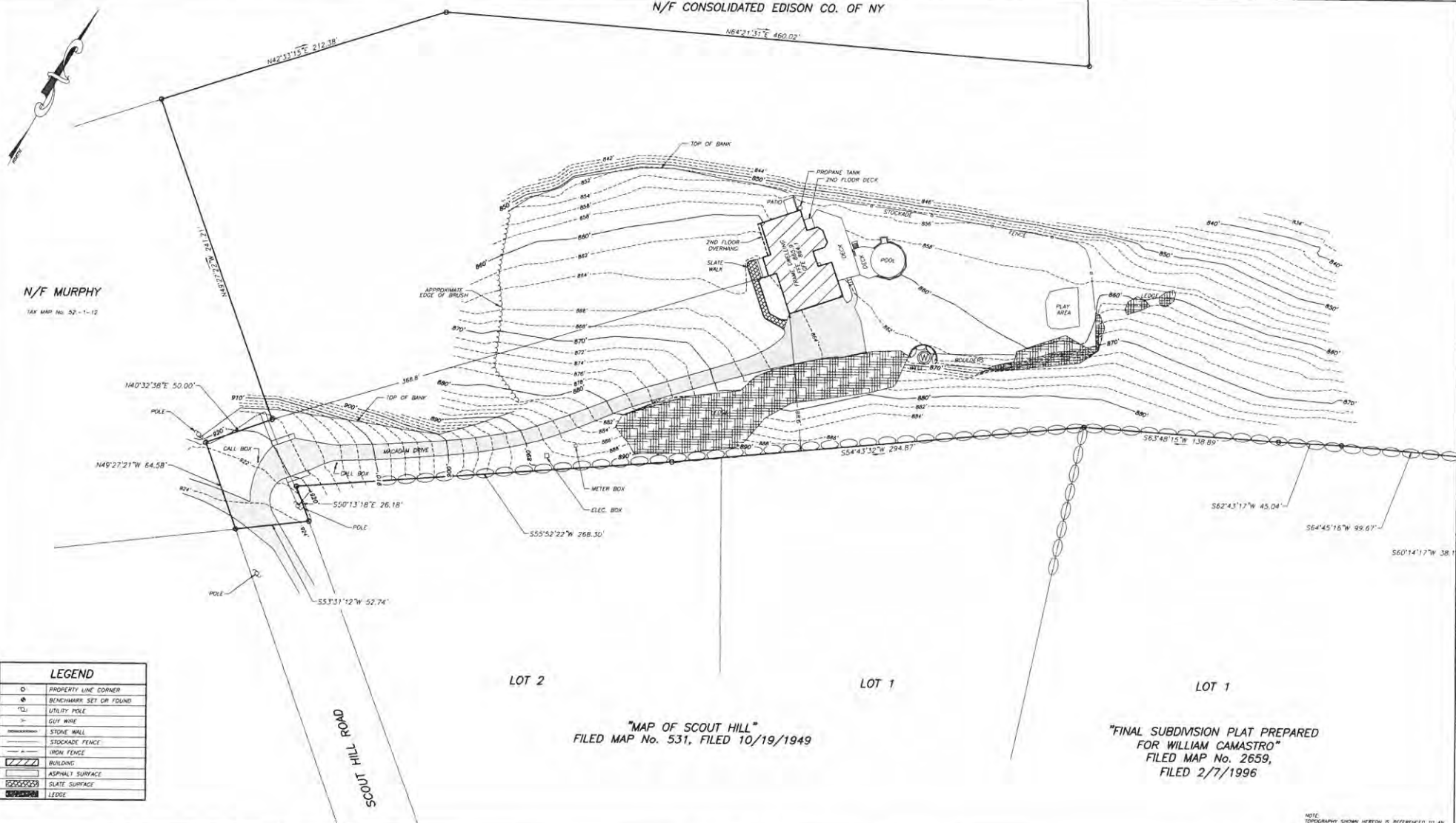
P. W. SCOTT	Revisions		Draw Title	Draw No.	Draw No.
	No.	Date			
ENGINEERING & ARCHITECTURE, P.C.			DRAINAGE & RETAINING WALL DETAILS		
3871 ROUTE 6			Project Title		
BREWSTER, NY 10600 845-278-2110			Drawn By: MA		
			Date: 08/24/19		
			Scale: AS NOTED		

SY6A

N/F CONSOLIDATED EDISON CO. OF NY

N/F MURPHY

TAX MAP No. 52-1-12



**LEGEND**

○	PROPERTY LINE CORNER
⊕	BENCHMARK SET OR FOUND
⊙	UTILITY POLE
—	GLYF WIRE
—	STONE WALL
—	STOCKADE FENCE
—	IRON FENCE
▨	BUILDING
▨	ASPHALT SURFACE
▨	SLATE SURFACE
▨	LEGGED

CERTIFICATIONS INDICATED HEREON SHOW THE SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. CERTIFICATIONS SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY WAS PREPARED AND ON HIS BEHALF TO THE TOWN, CO. AND LEVING DISTRICTS LISTED HEREON. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

**SURVEYOR'S SEAL**

**TERRY BERGENDORFF COLLINS**  
 52 SHARP RIDGE ROAD  
 BRONX, NEW YORK 10509  
 P 943.279.4261 F 943.279.6838  
 WWW.TERRYBERGENDORFFCOLLINS.COM

N.Y.S. LICENSE NO. 49881

**TOPOGRAPHIC SURVEY OF PROPERTY**  
 PREPARED FOR  
**LONGVIEW SCHOOL**

TOWN OF CARMEL  
 SCALE: 1" = 30'  
 PUTNAM CO., N.Y.  
 JUNE 12, 2019

STATE OF NY  
 COPYRIGHT © 2019 TERRY BERGENDORFF COLLINS. ALL RIGHTS RESERVED

"MAP OF SCOUT HILL"  
 FILED MAP No. 531, FILED 10/19/1949

"FINAL SUBDIVISION PLAT PREPARED FOR WILLIAM CAMASTRO"  
 FILED MAP No. 2659,  
 FILED 2/7/1996

**REVISIONS**

DATE	DESCRIPTION	BY
5/18/19	GENERAL REVISIONS	AL

NOTE: TOPOGRAPHY SHOWN HEREON IS REFERENCED TO AN ARBITRARY PROJECT DATUM APPROXIMATING NAVD 83 AT THE CONTOUR INTERVAL 10'-2".

THE ALTERATION OF SURVEY MAPS BY ANYONE OTHER THAN THE ORIGINAL PREPARER IS UNLAWFUL. CONFUSING AND NOT IN THE COMMON WEALTH AND BENEFIT OF THE PUBLIC. LICENSED LAND SURVEYORS SHALL NOT ALTER SURVEY MAPS. SURVEY PLANS OR SURVEY PLATS PREPARED BY OTHERS, UNAUTHORIZED IN WHOLE OR IN PART, OR IN CONNECTION WITH THIS SURVEY IS A VIOLATION OF SECTION 4709 OF THE NEW YORK STATE EDUCATION LAW. THE LOCATION OF PROFESSIONAL IMPROVEMENTS OR ENCROACHMENTS, IF ANY EXIST OR ARE SHOWN HEREON, ARE NOT CERTIFIED. ALL CERTIFICATIONS HEREON ARE VALID FOR THE MAP AND CONVEY THEREON ONLY IF SAID MAP OR COPIES BEAR THE APPROVED SEAL OF THE SURVEYOR WHOSE SIGNATURE APPEARS HEREON. THIS MAP MAY NOT BE USED IN CONNECTION WITH A "SURVEY AGREEMENT" OR SIMILAR DOCUMENT, STATEMENT OR INSTRUMENT TO OBTAIN TITLE INSURANCE FOR ANY SUBSEQUENT OR FUTURE GRANTEES.

TERRY BERGENDORFF COLLINS

TERRY BERGENDORFF COLLINS



June 26, 2019

Town of Carmel Planning Board  
60 McAlpin Avenue  
Mahopac, New York 10541

RE: Braemar at Carmel  
49 Seminary Hill Road  
Town of Carmel  
TM# 55.10-1-3

Dear Chairman Paepfer and Members of the Board:

Please find enclosed the following plans and documents in support of an application for site plan approval for the above referenced project:

- Eight (8) sheet Site Plan Set, dated June 26, 2019. (5 copies)
- Site Plan Application, June 26, 2019. (11 copies)
- Site Plan Completeness Certification Form, June 26, 2019. (11 copies).
- Disclosure Addendum Statement, June 26, 2019. (2 copies)
- SEQR Full EAF, dated June 26, 2019. (11 copies)
- Project Narrative (11 Copies)
- Six (6) sheet Architectural Drawing Set, prepared by H2M architects + engineers. (5 copies)
- Deed (2 Copies)
- Easements (2 Copies)
- List of Property Owners within 500' of the Site Boundary (2 copies)
- SWPPP Assessment (2 copies)
- Water and Wastewater Engineering Report (2 copies)
- CD containing pdfs of submitted plans and documents. (1 copy)
- A \$10,500.00 check for the Site Plan Application Fee (\$2,000.00 fee plus \$100.00/parking space for 85 required parking spaces)

The applicant seeks site plan approval for 152 bed (future 200 bed) assisted living facility, with 85 on site parking spaces, and related site improvements.

Please place the project on the agenda for the July 10, 2019 Planning Board meeting for a discussion of the project with the Board. As the Board may recall, the subject property obtained all required approvals for a 50,000 square foot office building. The current site plan utilizes the same driveway access, stormwater management scheme and utility connection as the previously approved project.

Should you have any questions or comments regarding this information, please feel free to contact our office.


June 26, 2019

---

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:

  
\_\_\_\_\_  
Jeffrey J. Contelmo, PE  
Senior Principal Engineer

JJC/kms

Enclosures

Cc: Richard Filaski / Filben Group

Mark McKee / H2M architects + engineers





Project Narrative  
Braemar Living at Carmel  
Lot 2, Hinckley Holdings Subdivision  
Town of Carmel, New York

Braemar Living at Carmel is a 152- bed Assisted Living community located in Putnam County, New York. The facility is intended to serve seniors in need of residential living who require assistance with personal care needs. The community will allow residents to age in place, by being licensed by the New York State Department of Health as an Assisted Living Residence, Special Needs Assisted Living Residence (SNALR) and Enhanced Assisted Living Residence (EALR). The 32- bed SNALR will serve residents with dementia in need of a secure environment.

Our staff of 80 FTE's incorporates Licensed Nurses, Certified Home Health Aides and Personal Care Aides, Food Service, Dietary, Laundry, Housekeeping, Recreation and Social Workers. Background checks are conducted on all staff providing direct care to our residents.

Our previous experience with senior living has demonstrated that bringing seniors together in one setting creates a tremendous source of energy for activities and ideas. The robust recreation program provides approximately 80 on-site and off-site activities per week. We intend to use this energy to increase resident participation in the daily activities of the facility and also to foster inter-generational activities with the youth of the Town and local civic groups.

# BRAEMAR AT Carmel

TOWN OF CARMEL

## SITE PLAN APPLICATION INSTRUCTIONS



The Town of Carmel Planning Board meetings are held twice a month, on the second and fourth Wednesday's, at 7:00 PM at Carmel Town Hall, 60 McAlpin Avenue, Carmel

The submission deadline is 10 days prior to the Planning Board meeting. New site plan applications that have been deemed complete will be placed on the agenda in the order they are received.

**No application will be placed on the agenda that is incomplete**

### Pre-Submission:

Prior to the formal submission of the site plan, a pre-submission conference may be requested by the applicant to be conducted with representatives from the Town, which may include the Town Planner, Town Engineer, Director of Code Enforcement and/or the Planning Board Attorney. This conference will serve to educate the applicant on the process he/she must follow, clarify the information required to submit a complete site plan application, and to highlight any specific areas of concern. You may arrange a pre-submission conference through the Planning Board Secretary at (845) 628-1500 extension 190.

### Submission Requirements:

At least 10 days prior to the Planning Board meeting, the site plan application shall be submitted to the Planning Board Secretary as follows:

All site plans shall be signed, sealed and folded with the title box legible. The application package shall include:

- 11 copies of the Site Plan Application Form, signed and notarized.
- 11 copies of the SEQR Environmental Assessment Form (use of short form or long form shall be determined at pre-submission conference).
- 5 full size sets of the Site Plan (including floor plans and elevations)
- 1 CD (in pdf. format) containing an electronic version of the Site Plan
- 2 copies of the Disclosure Statement
- 11 copies of the Site Plan Completeness Certification Form
- All supplemental studies, reports, plans and renderings.
- 2 copies of the current deed.
- 2 copies of all easements, covenants and restrictions.
- The appropriate fee, determined from the attached fee schedule. Make checks payable to the *Town of Carmel*.

Rose Tronchetti 7/1/19  
Planning Board Secretary; Date

ASD 7/1/19  
Town Engineer; Date



# TOWN OF CARMEL SITE PLAN APPLICATION



Per Town of Carmel Code – Section 156 - Zoning

### SITE IDENTIFICATION INFORMATION

<b>Application Name:</b> Braemar at Carmel		<b>Application #</b> 19-0010	<b>Date Submitted:</b> 6/26/19
<b>Site Address:</b> No. 49      Street: Seminary Hill Road      Hamlet:			
<b>Property Location:</b> (Identify landmarks, distance from intersections, etc.) Intesection of Seminary Hill Road and Willow Road			
<b>Town of Carmel Tax Map Designation:</b> Section 55.10    Block 1    Lot(s) 3		<b>Zoning Designation of Site:</b> Commerce/Business Park	
<b>Property Deed Recorded in County Clerk's Office</b> Date      Liber 1878      Page 476		<b>Liens, Mortgages or other Encumbrances</b> Yes      No      TBD	
<b>Existing Easements Relating to the Site</b> No <input checked="" type="radio"/> Yes    Describe and attach copies:		<b>Are Easements Proposed?</b> No <input checked="" type="radio"/> Yes    Describe and attach copies:	
<b>Have Property Owners within a 500' Radius of the Site Been Identified?</b> Yes <input checked="" type="radio"/> No      Attached List to this Application Form			

### APPLICANT/OWNER INFORMATION

<b>Property Owner:</b> Hinckley Holdings, Inc.		<b>Phone #:</b> (845) 279-9565	<b>Email:</b> Info@covington-development.com
<b>Owners Address:</b> No. 322    Street: Clocktown Commons    Town: Brewster    State: NY    Zip: 10509		<b>Fax#:</b>	
<b>Applicant (if different than owner):</b> Fishkill Realty GP LLC / Richard Filben		<b>Phone #:</b> 914 305 2230 x 1011	<b>Email:</b> rfilaski@filbengroup.com
<b>Applicant Address (if different than owner):</b> No. 800    Street: Westchester Ave Suite S-712    Town: Rye Brook    State: NY    Zip: 10573		<b>Fax#:</b>	
<b>Individual/ Firm Responsible for Preparing Site Plan:</b> Insite Engineering, Surveying & Landscape Architecture, P.C.		<b>Phone #:</b> 845 225 9690	<b>Email:</b> jcontelmo@insite-eng.com
<b>Address:</b> No. 3    Street: Garrett Place    Town: Carmel    State: NY    Zip: 10512		<b>Fax#:</b>	
<b>Other Representatives:</b>		<b>Phone #:</b>	<b>Email:</b>
<b>Owners Address:</b> No.    Street:    Town:    State:    Zip:		<b>Fax#:</b>	

### PROJECT DESCRIPTION

**Describe the project, proposed use and operation thereof:**

Development of 152 bed (future 200 bed) assisted living facility, with 85 on site parking spaces, and related site improvements. The facility is intended to serve seniors in need of residential living who require assistance with personal care needs. The Community will allow residents to age in place, by being licensed by the New York State Department of Health as an Assisted Living Residence, Special Needs Assisted Living Residence (SNALR) and Enhanced Assisted Living Residence (EALR). The 32- bed SNALR will serve residents with Dementia in need of a secure environment.



# TOWN OF CARMEL SITE PLAN APPLICATION

PROJECT INFORMATION			
Lot size: 19.9± Acres		Square Footage: 866,583sf	
		Square footage of all existing structures (by floor): 320 sf	
# of existing parking spaces: 0		# of proposed parking spaces: 85	
# of existing dwelling units: 0		# of proposed dwelling units: 200	
Is the site served by the following public utility infrastructure:			
<ul style="list-style-type: none"> <li>▪ Is project in sewer district or will private septic system(s) be installed? <u>District CSD #2</u></li> <li>▪ If yes to Sanitary Sewer answer the following:                             <ul style="list-style-type: none"> <li>▶ Does approval exist to connect to sewer main? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/></li> <li>▶ Is this an in-district connection? <u>Yes</u> Out-of district connection? _____</li> <li>▶ What is the total sewer capacity at time of application? <u>Unknown</u></li> <li>▶ What is your anticipated average and maximum daily flow <u>Avg 12,000 gal / Max 20,000 gal</u></li> </ul> </li> </ul>			
For Town of Carmel Town Engineer			
<ul style="list-style-type: none"> <li>▶ What is the sewer capacity <u>Will need to be assessed 7/1/19</u></li> </ul>			
▪ Water Supply		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
If Yes:			
<ul style="list-style-type: none"> <li>▶ Does approval exist to connect to water main? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/></li> <li>▶ What is the total water capacity at time of application? <u>Unknown</u></li> <li>▶ What is your anticipated average and maximum daily demand <u>Avg 12,000 gal / Max 20,000 gal</u></li> </ul>			
▪ Storm Sewer		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
▪ Electric Service		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
▪ Gas Service		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
▪ Telephone/Cable Lines		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
For Town of Carmel Town Engineer			
<ul style="list-style-type: none"> <li><u>Will need to be assessed</u></li> </ul>			
Water Flows <u>7/1/19</u>			
Sewer Flows <u>7/1/19</u>			
Town Engineer; Date _____			
What is the predominant soil type(s) on the site? <u>Paxton fine sandy loam</u>		What is the approximate depth to water table? <u>7'</u>	
Site slope categories:		15-25% <u>4</u> %      25-35% <u>0</u> %      >35% <u>0</u> %	
Estimated quantity of excavation:		Cut (C.Y.) <u>TBD</u> Fill (C.Y.) <u>TBD</u>	
Is Blasting Proposed		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> Unknown: <input type="checkbox"/>	
Is the site located in a designated Critical Environmental Area?		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Does a curb cut exist on the site? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>		Are new curb cuts proposed? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
		What is the sight distance? Left * _____ Right _____	
Is the site located within 500' of: <span style="float: right;">*TBD - Same as existing driveway</span>			
• The boundary of an adjoining city, town or village		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
• The boundary of a state or county park, recreation area or road right-of-way		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
• A county drainage channel line.		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
• The boundary of state or county owned land on which a building is located		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	



## TOWN OF CARMEL SITE PLAN APPLICATION

Is the site listed on the State or Federal Register of Historic Place (or substantially contiguous) Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Is the site located in a designated floodplain? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Will the project require coverage under the Current NYSDEC Stormwater Regulations <span style="float: right;">Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/></span>			
Will the project require coverage under the Current NYCDEP Stormwater Regulations <span style="float: right;">Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/></span>			
Does the site disturb more than 5,000 sq ft		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
Does the site disturb more than 1 acre		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
Does the site contain freshwater wetlands? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Jurisdiction: NYSDEC: <input type="checkbox"/> Town of Carmel: <input type="checkbox"/>			
<i>If present, the wetlands must be delineated in the field by a Wetland Professional, and survey located on the Site Plan.</i>			
Are encroachments in regulated wetlands or wetland buffers proposed?		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Does this application require a referral to the Environmental Conservation Board?		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Does the site contain waterbodies, streams or watercourses?		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Are any encroachments, crossings or alterations proposed?		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Is the site located adjacent to New York City watershed lands?		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
Is the project funded, partially or in total, by grants or loans from a public source? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Will municipal or private solid waste disposal be utilized? Public: <input checked="" type="checkbox"/> Private: <input type="checkbox"/>			
Has this application been referred to the Fire Department?		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
What is the estimated time of construction for the project? 18 months			
ZONING COMPLIANCE INFORMATION			
Zoning Provision	Required	Existing	Proposed
Lot Area	3 AC (Minimum)	19.9 AC	19.9 AC
Lot Coverage	-	-	-
Lot Width	200 ft	1,472 ft	1,472 ft
Lot Depth	200 ft	910 ft	910 ft
Front Yard	50 ft	-	240 ft
Side Yard	40 ft	-	153 ft
Rear Yard	40 ft	-	153 ft
Minimum Required Floor Area	5,000 sf	-	112,474 sf
Floor Area Ratio	-	-	-
Height	40 ft max	-	Less Than 40 ft
Off-Street Parking	51 Spaces	0	85 Spaces
Off-Street Loading	1 Space	0	1 Space

## TOWN OF CARMEL SITE PLAN APPLICATION

Will variances be required? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	If yes, identify variances:
------------------------------------------------------------------------------------------------------	-----------------------------

### PROPOSED BUILDING MATERIALS

<b>Foundation</b>	Reinforced Cast-In-Place Concrete
<b>Structural System</b>	Primarily Load Bearing, Pre Fab Metal Stud Wall Panels. Open Areas Utilizing Structure Steel Columns and Beams.
<b>Roof</b>	Precast Concrete Plank Covered w/ Rigid Insul. and Rubberized Roof Membrane. Some Areas Metal Roof Trusses & Fire Retardant Plywood Sheathing and Asphalt Shingles
<b>Exterior Walls</b>	Pre-Fabricated, Load Bearing, Metal Stud Wall Panels

### APPLICANTS ACKNOWLEDGEMENT

I hereby depose and certify that all the above statements and information, and all statements and information contained in the supporting documents and drawings attached hereto are true and correct.

DAVID FILASCI  
 Applicants Name

  
 Applicants Signature

Sworn before me this 26<sup>th</sup> day of June 2019

Mhabell J Medina  
 Notary Public

MHABELL J MEDINA  
 NOTARY PUBLIC-STATE OF NEW YORK  
 No. 01ME6330185  
 Qualified in Westchester County  
 My Commission Expires September 08, 2019



## TOWN OF CARMEL SITE PLAN COMPLETENESS CERTIFICATION FORM



All Site Plans submitted to the Planning Board for review shall include the following information and details, as set forth in Section 156-61 B of the Town of Carmel Zoning Ordinance.

**This form shall be included with the site plan submission**

	<i>Requirement Data</i>	<i>To Be Completed by the Applicant</i>	<i>Waived by the Town</i>
1	Name and title of person preparing the site plan	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
2	Name of the applicant and owner (if different from applicant)	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
3	Original drawing date, revision dates, scale and north arrow	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
4	Tax map, block and lot number(s), zoning district	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5	All existing property lines, name of owner of each property within a 500' radius of the site	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
6	Contour lines at two-foot intervals, grades of all roads, driveways, sanitary and storm sewers	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
7	The location of all water bodies, streams, watercourses, wetland areas, wooded areas, rights-of-way, streets, roads, highways, railroads, buildings, structures	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
8	The location of all existing and proposed easements	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
9	The location of all existing and proposed structures, their use, setback dimensions, floor plans, front, side and rear elevations, buildable area.	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
10	On site circulation systems, access, egress ways and service roads, emergency service access and traffic mitigation measures	<input checked="" type="checkbox"/> ?	<input type="checkbox"/>
11	Sidewalks, paths and other means of pedestrian circulation	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
12	On-site parking and loading spaces and travel aisles with dimensions	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
13	The location, height and type of exterior lighting fixtures	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
14	Proposed signage	<input checked="" type="checkbox"/> ?	<input type="checkbox"/>
15	For non-residential uses, an estimate of the number of employees who will be using the site, description of the operation, types of products sold, types of machinery and equipment used	<input checked="" type="checkbox"/> ?	<input type="checkbox"/>





# TOWN OF CARMEL SITE PLAN COMPLETENESS CERTIFICATION FORM



Requirement Data		To Be Completed by the Applicant	Waived by the Town
16	The location of clubhouses, swimming pools, open spaces, parks or other recreational areas, and identification of who is responsible for maintenance	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
17	The location and design of buffer areas, screening or other landscaping, including grading and water management. A comprehensive landscaping plan in accordance with the Tree Conservation Law	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
18	The location of public and private utilities, maintenance responsibilities, trash and garbage areas	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
19	A list, certified by the Town Assessor, of all property owners within 500 feet of the site boundary	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>
20	Any other information required by the Planning Board which is reasonably necessary to ascertain compliance with this chapter	<input checked="" type="checkbox"/> ✓	<input type="checkbox"/>

.....

Applicants Certification (to be completed by the licensed professional preparing the site plan:

I JEFFREY J. CONTELMO hereby certify that the site plan to which I have attached my seal and signature, meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:



[Signature]  
Signature - Applicant

June 26, 2019  
Date

Professionals Seal

(CONTRACT VENDEE)  
Signature - Owner

June 26, 2019  
Date





# TOWN OF CARMEL SITE PLAN COMPLETENESS CERTIFICATION FORM



Town Certification (to be completed by the Town)

I \_\_\_\_\_ hereby confirm that the site plan meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:

Rose Monbette  
Signature - Planning Board Secretary

7/1/19  
Date

B  
Signature - Town Engineer

7/1/19  
Date

**Full Environmental Assessment Form  
Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Applicant/Sponsor Information.**

Name of Action or Project: Braemar at Carmel		
Project Location (describe, and attach a general location map): 49 Seminary Hill, Town of Carmel, Putnam Country		
Brief Description of Proposed Action (include purpose or need): Development of a 152 bed (future 200 bed) assisted living facility, with 85 on site parking spaces, and related site improvements		
Name of Applicant/Sponsor: Fishkill Realty GP LLC / Richard Filaski		Telephone: 914 305 2230 x 1011 E-Mail: rfilaski@filbengroup.com
Address: 800 Westchester Ave, Suite S-712		
City/PO: Rye Brook	State: NY	Zip Code: 10573
Project Contact (if not same as sponsor; give name and title/role):		Telephone: E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor): Hinckley Holdings, Inc.		Telephone: (845) 279-9565 E-Mail: Info@covington-development.com
Address: 322 Clocktown Commons		
City/PO: Brewster	State: NY	Zip Code: 10509

**B. Government Approvals**

<b>B. Government Approvals, Funding, or Sponsorship.</b> (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)		
<b>Government Entity</b>	<b>If Yes: Identify Agency and Approval(s) Required</b>	<b>Application Date (Actual or projected)</b>
a. City Counsel, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Planning Board - Site Plan Approval	
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Putnam County Health Department	
f. Regional agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYCDEP - SWPPP Approval, Sewer Connection	
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYSDEC GP-0-15-002 Coverage	
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**C. Planning and Zoning**

<b>C.1. Planning and zoning actions.</b>	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<ul style="list-style-type: none"> <li>• <b>If Yes</b>, complete sections C, F and G.</li> <li>• <b>If No</b>, proceed to question C.2 and complete all remaining sections and questions in Part 1</li> </ul>	
<b>C.2. Adopted land use plans.</b>	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, identify the plan(s): NYC Watershed Boundary _____ _____ _____	
c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s): _____ _____ _____	

**C.3. Zoning**

- a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
If Yes, what is the zoning classification(s) including any applicable overlay district?  
Commerce / Business Park
- b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No
- c. Is a zoning change requested as part of the proposed action?  Yes  No  
If Yes,  
i. What is the proposed new zoning for the site? \_\_\_\_\_

**C.4. Existing community services.**

- a. In what school district is the project site located? Carmel Central School District
- b. What police or other public protection forces serve the project site?  
Carmel Fire District
- c. Which fire protection and emergency medical services serve the project site?  
Carmel Police and Volunteer Ambulance
- d. What parks serve the project site?  
Camarda Park (1 mile)

**D. Project Details**

**D.1. Proposed and Potential Development**

- a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Assisted Living
- b. a. Total acreage of the site of the proposed action? \_\_\_\_\_ 19.9 acres  
b. Total acreage to be physically disturbed? \_\_\_\_\_ 12 acres  
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? \_\_\_\_\_ 19.9 acres
- c. Is the proposed action an expansion of an existing project or use?  Yes  No  
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_
- d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
If Yes,  
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) \_\_\_\_\_  
ii. Is a cluster/conservation layout proposed?  Yes  No  
iii. Number of lots proposed? \_\_\_\_\_  
iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_
- e. Will the proposed action be constructed in multiple phases?  Yes  No  
i. If No, anticipated period of construction: \_\_\_\_\_ months  
ii. If Yes:  
• Total number of phases anticipated \_\_\_\_\_ 2  
• Anticipated commencement date of phase I (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year  
• Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year  
• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_  
Initial phase 152 bed assisted living facility. Future expansion of 48 additional bed possible, timing TBD.



f. Does the project include new residential uses?  Yes  No

If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	152 Beds
of all phases	_____	_____	_____	200 Beds

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No

If Yes,

- i. Total number of structures \_\_\_\_\_
- ii. Dimensions (in feet) of largest proposed structure: \_\_\_\_\_ height; \_\_\_\_\_ width; and \_\_\_\_\_ length
- iii. Approximate extent of building space to be heated or cooled: \_\_\_\_\_ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No

If Yes,

- i. Purpose of the impoundment: Stormwater runoff management
- ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: Stormwater runoff
- iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_
- iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres
- v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length
- vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): Compacted earth fill berm - this is for temporary duration, not a permanent pond.

## D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)  Yes  No

If Yes:

- i. What is the purpose of the excavation or dredging? \_\_\_\_\_
- ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?
  - Volume (specify tons or cubic yards): \_\_\_\_\_
  - Over what duration of time? \_\_\_\_\_
- iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. \_\_\_\_\_
- iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
If yes, describe. \_\_\_\_\_
- v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres
- vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres
- vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet
- viii. Will the excavation require blasting?  Yes  No
- ix. Summarize site reclamation goals and plan: \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No

If Yes:

- i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Will the proposed action cause or result in disturbance to bottom sediments?  Yes  No

If Yes, describe: \_\_\_\_\_

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No

If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No

If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ 20,000 initial, 26,000 future gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No

If Yes:

- Name of district or service area: Carmel Water District #2
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No

If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No

If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ 20,000 initially, 26,000 future gallons/day Max Day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_

Sanitary wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No

If Yes:

- Name of wastewater treatment plant to be used: Carmel Sewer District #2
- Name of district: Carmel Sewer District #2
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

- Do existing sewer lines serve the project site?  Yes  No
- Will a line extension within an existing district be necessary to serve the project?  Yes  No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_  
\_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No

If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):  
\_\_\_\_\_  
\_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No

If Yes:

i. How much impervious surface will the project create in relation to total size of project parcel?

\_\_\_\_\_ Square feet or \_\_\_\_\_ 2.5 acres (impervious surface)

\_\_\_\_\_ Square feet or \_\_\_\_\_ 19.9 acres (parcel size)

ii. Describe types of new point sources. Stormwater discharges  
\_\_\_\_\_

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
Stormwater runoff from impervious surfaces including driveways, walkways and roof runoff will be directed to stormwater management practices in accordance with the NYSDEC Stormwater Design Manual.

- If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_  
\_\_\_\_\_
- Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No

If Yes, identify:

i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)  
Delivery Vehicles

ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)  
Construction Equipment

iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)  
Building heating

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No

If Yes:

i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No

ii. In addition to emissions as calculated in the application, the project will generate:

- \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)
- \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)
- \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)
- \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)
- \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)
- \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No

If Yes:  
i. Estimate methane generation in tons/year (metric): \_\_\_\_\_  
ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No

If Yes:  
i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.  
ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): \_\_\_\_\_

iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_

iv. Does the proposed action include any shared use parking?  Yes  No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site?  Yes  No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No  
N/A

If Yes:  
i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): \_\_\_\_\_

iii. Will the proposed action require a new, or an upgrade, to an existing substation?  Yes  No

l. Hours of operation. Answer all items which apply.

i. During Construction:  
• Monday - Friday: \_\_\_\_\_ 7am to 8pm  
• Saturday: \_\_\_\_\_ 7am to 8pm  
• Sunday: \_\_\_\_\_ no  
• Holidays: \_\_\_\_\_ no

ii. During Operations: Assisted Living - 24/7  
• Monday - Friday: \_\_\_\_\_  
• Saturday: \_\_\_\_\_  
• Sunday: \_\_\_\_\_  
• Holidays: \_\_\_\_\_



m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No

If yes:

i. Provide details including sources, time of day and duration:

Construction noises are anticipated to exceed existing ambient noise levels. Hours of construction will be limited to Monday through Saturday 7am to 8pm for general construction activities.

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No

Describe: Vegetation will be removed internally on the site but perimeter vegetation will be preserved to the maximum extent practicable.

n. Will the proposed action have outdoor lighting?  Yes  No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:

General lighting will consist of building mounted lighting at the building. General lighting for safety will be provided at the parking lots, driveway and walkways.

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No

Describe: Existing vegetation will provide barriers/screening for lighting. Vegetation will be removed internally on the site but perimeter vegetation will be preserved to the maximum extent practicable.

o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No

If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures:

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No

If Yes:

i. Product(s) to be stored \_\_\_\_\_

ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)

iii. Generally, describe the proposed storage facilities: \_\_\_\_\_

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No

If Yes:

i. Describe proposed treatment(s): \_\_\_\_\_

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

• Construction: \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)

• Operation : \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

• Construction: \_\_\_\_\_

• Operation: \_\_\_\_\_

iii. Proposed disposal methods/facilities for solid waste generated on-site:

• Construction: \_\_\_\_\_

• Operation: \_\_\_\_\_

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No

If Yes:

- i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_
- ii. Anticipated rate of disposal/processing:
  - \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or
  - \_\_\_\_\_ Tons/hour, if combustion or thermal treatment
- iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No

If Yes:

- i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_  
Red Bag Waste
- ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_  
Red Bag waste is picked up by SteriCycle every 30 days. Red Bag waste is kept in a separate room, with biohazard signage.
- iii. Specify amount to be handled or generated Varies tons/month
- iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_  
N/A
- v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No

If Yes: provide name and location of facility: \_\_\_\_\_  
TBD

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

- a. Existing land uses.
  - i. Check all uses that occur on, adjoining and near the project site.
    - Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)
    - Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_
  - ii. If mix of uses, generally describe: \_\_\_\_\_  
Project site is currently forested surrounded by commercial, residential and commercial uses.

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0.3	2.9	+2.6
• Forested	18.5	12.8	-5.7
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other			
Describe: Lawn	1.1	2.8	+1.7
Basins		1.4	+1.4

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
 i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
 If Yes,  
 i. Identify Facilities:  
 Little Feet Childcare, Arms Acres  
 \_\_\_\_\_

e. Does the project site contain an existing dam?  Yes  No  
 If Yes:  
 i. Dimensions of the dam and impoundment:  
 • Dam height: \_\_\_\_\_ feet  
 • Dam length: \_\_\_\_\_ feet  
 • Surface area: \_\_\_\_\_ acres  
 • Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
 ii. Dam's existing hazard classification: \_\_\_\_\_  
 iii. Provide date and summarize results of last inspection: \_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
 If Yes:  
 i. Has the facility been formally closed?  Yes  No  
 • If yes, cite sources/documentation: \_\_\_\_\_  
 ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: \_\_\_\_\_  
 iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
 If Yes:  
 i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: \_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
 If Yes:  
 i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
 ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
 iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
 If yes, provide DEC ID number(s): \_\_\_\_\_  
 iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): \_\_\_\_\_

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ Varies feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ %

c. Predominant soil type(s) present on project site:

PnB / PnC- Paxton Fine Sandy Loam	_____	75 %
Wda/Wdb - Woodbridge Loam	_____	25 %
_____	_____	%

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ 7 feet

e. Drainage status of project site soils:

<input checked="" type="checkbox"/> Well Drained:	_____	72 % of site
<input checked="" type="checkbox"/> Moderately Well Drained:	_____	28 % of site
<input type="checkbox"/> Poorly Drained	_____	% of site

f. Approximate proportion of proposed action site with slopes:

<input checked="" type="checkbox"/> 0-10%:	_____	80 % of site
<input checked="" type="checkbox"/> 10-15%:	_____	16 % of site
<input checked="" type="checkbox"/> 15% or greater:	_____	4 % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_

**h. Surface water features.**

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name \_\_\_\_\_ Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No

If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100-year Floodplain?  Yes  No

k. Is the project site in the 500-year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No

If Yes:

i. Name of aquifer: \_\_\_\_\_



m. Identify the predominant wildlife species that occupy or use the project site: _____ Small mammals: squirrels / chipmunks      Birds _____ Deer _____      Species are common and abundant _____ Amphibians and Reptiles _____	
n. Does the project site contain a designated significant natural community? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes: i. Describe the habitat/community (composition, function, and basis for designation): _____ ii. Source(s) of description or evaluation: _____ iii. Extent of community/habitat: • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: i. Species and listing (endangered or threatened): _____ Northern Long-eared Bat _____ _____	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes: i. Species and listing: _____ _____	
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If yes, give a brief description of how the proposed action may affect that use: _____ _____	
<b>E.3. Designated Public Resources On or Near Project Site</b>	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes, provide county plus district name/number: _____	
b. Are agricultural lands consisting of highly productive soils present? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> i. If Yes: acreage(s) on project site? _____ ii. Source(s) of soil rating(s): _____	
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes: i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____ _____	
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes: i. CEA name: _____ ii. Basis for designation: _____ iii. Designating agency and date: _____	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  Yes  No

If Yes:

i. Nature of historic/archaeological resource:  Archaeological Site  Historic Building or District

ii. Name: \_\_\_\_\_

iii. Brief description of attributes on which listing is based: \_\_\_\_\_

---

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?  Yes  No

g. Have additional archaeological or historic site(s) or resources been identified on the project site?  Yes  No

If Yes:

i. Describe possible resource(s): \_\_\_\_\_

ii. Basis for identification: \_\_\_\_\_

---

h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?  Yes  No

If Yes:

i. Identify resource: Putnam Rail Trail

ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): Scenic Byway

iii. Distance between project and resource: \_\_\_\_\_ 0.3 miles.

---

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?  Yes  No

If Yes:

i. Identify the name of the river and its designation: \_\_\_\_\_

ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?  Yes  No

**F. Additional Information**

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Jeffrey J. Contelmo, PE Date 6/26/19

Signature  Title Senior Principal Engineer



Name]	
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No





**Braemar Living at Carmel**

**Assisted Living Facility**

**Stormwater Pollution Prevention Plan Assessment**

**June 26, 2019**

**1.0 INTRODUCTION**

Braemar Living at Carmel is a 152-bed Assisted Living community located in Putnam County, New York. The facility is intended to serve seniors in need of residential living who require assistance with personal care needs. The community will allow residents to age in place, by being licensed by the New York State Department of Health as an Assisted Living Residence, Special Needs Assisted Living Residence (SNALR) and Enhanced Assisted Living Residence (EALR).

The subject site is a 19.9-acre parcel, known as Lot 2 of the Hinckley Holdings Subdivision (Tax Map Number 55.10-1-3). The site was the subject of a previous office development which obtained approvals including water and sewer connections to mains located in Seminary Hill Road. The current project proposes similar development areas and infrastructure improvements as the previously approved office development.

A SWPPP approval for the Guideposts Corporate Office project, which is a similar project in size and scope on the same property was granted by the NYCDEP in August of 2009. The SWPPP was prepared by BVH Integrated Services, Inc and was dated August 7, 2009. This SWPPP Assessment specifically addresses the proposed site changes with the current development and an assessment of the stormwater management practiced within the framework of the previously approved SWPPP. The configuration of the proposed development is slightly different than the original design for which the approval was granted. In general, the stormwater management practices will remain the same and the proposed collection system has been designed to maintain the drainage boundaries established in the approved SWPPP. This assessment of the SWPPP was performed to confirm that the proposed modifications associated with the development of site will function with the previously approved stormwater management practices with some slight modifications.

The primary changes that would impact the stormwater infrastructure would be an increase in drainage area, or increase in impervious coverage within a drainage area. An assessment of both the overall drainage area and proposed impervious cover for the Amended Site Plan versus the approved SWPPP is summarized below.

**2.0 ASSESSMENT OF PREVIOUSLY APPROVED SWPPP AND AMENDED SITE PLAN**

**Subcatchments 1.1 & 1.2 – Southern Portion of the Development**

	<b>Drainage Area (Acres)</b>	<b>Impervious Area (Acres)</b>
Approved SWPPP	12.2	2.3
Amended Plan	11.3	2.2

The stormwater treatment train of a P-1 Micropool Extended Detention Pond to an Extended Detention Dry Pond requires no change.

**Subcatchment 3.1 & 3.2 – Northern Portion of the Development**

	<b>Drainage Area (Acres)</b>	<b>Impervious Area (Acres)</b>
Approved SWPPP	13.9	3.1
Amended Plan	14.6	3.4

The stormwater treatment train of a P-1 Micropool Extended Detention Pond to an Extended Detention Dry Pond requires only minimal changes to accommodate the slight increase in overall area and impervious cover.

**4.0 CONCLUSION**

The stormwater basin as previously approved and designed by others can generally support the new configuration of the subject development. As noted in the summary above the drainage and impervious areas to each stormwater treatment train are proposed to remain nearly the same. Minimal impacts to the stormwater basins as previously designed are anticipated.

An amended SWPPP will be prepared for the current project as amended site plans are advanced. The proposed stormwater basin sizing which will be based on the design criteria in place at the time of the previous approval will be checked and modified as necessary for the proposed development for compliance with the regulations. It is also important to note that, if necessary, there is the potential for modifications to the stormwater basins to increase their water quality treatment and peak flow attenuation capacities.



**WATER & WASTEWATER ENGINEERING REPORT**

**For**

**Braemar Living at Carmel  
Seminary Hill Road  
Carmel, New York**

**June 26, 2019**

Prepared By

Insite Engineering, Surveying & Landscape Architecture, P.C.  
3 Garrett Place  
Carmel, New York 10512





**1.0 INTRODUCTION**

Braemar Living at Carmel is a 152-bed Assisted Living community located in Putnam County, New York. The facility is intended to serve seniors in need of residential living who require assistance with personal care needs. The community will allow residents to age in place, by being licensed by the New York State Department of Health as an Assisted Living Residence, Special Needs Assisted Living Residence (SNALR) and Enhanced Assisted Living Residence (EALR).

The subject site is a 19.9-acre parcel, known as Lot 2 of the Hinckley Holdings Subdivision (Tax Map Number 55.10-1-3). The site was the subject of a previous office development proposal which obtained approvals including water and sewer connections to mains located in Seminary Hill Road. The current project proposes similar development areas and infrastructure improvements as the previously approved office development.

The development is in the Town of Carmel water and sewer districts. Water will be provided by a proposed 6” water service line connection to the Carmel Water District #2 watermain in Seminary Hill Road. Sewer will be provided by Carmel Sewer District #2, with 6” service connection to the existing sewer manhole in Seminary Hill Road.

**2.0 DEVELOPMENT DESIGN FLOWS AND ANTICIPATED FLOWS**

Design maximum daily wastewater flows for the proposed development are based on the hydraulic loading rates given in the New York State Department of Environmental Conservation (NYSDEC) publication *Design Standards for Intermediate Sized Wastewater Treatment Works – 2014* (DEC 14). The design maximum daily water use is a conservative design flow on which the water infrastructure will be designed. This value does not represent the average daily flow which is expected to be substantially less.

The following table calculates the hydraulic loading rates and the design flow rates (gallons per day or gpd) for the proposed development.

**Table 1: Development Design Maximum Daily Flow Rate**

<b>Proposed Use</b>	<b>Hydraulic Loading Rate</b>	<b>Design Maximum Daily Flow (gpd)</b>
Assisted Living – 152 Beds	110 gpd/bed	16,720
Employees - 80	15 gpd/employee	1,200
Food Service – 80 Seat Dining Area	35 gpd/seat	2,800
<b>Total</b>		<b>20,720</b>

The anticipated design average daily flows for the development are expected to be significantly less than the design maximum daily design flow. The design maximum daily flows represent conservative flows to ensure that the proposed sewer infrastructure is designed with an ample factor of safety.

The peak hourly flow is calculated using a peaking factor that is based on the population of the subject development. A peaking factor of four will be used for the development based on Figure 1 from Recommended Standards for Wastewater Facilities.

Peak Hourly Domestic Flow

$$20,720 \text{ gpd} \div (24 \text{ hr/day}) \div (60 \text{ min/hr}) = 14.4 \text{ gallons per minute (gpm)}$$

$$\text{Peak Hourly Flow} = 14.4 \text{ gpm} \times 4 = 57.6 \text{ gpm}$$



Although the anticipated flows (design average daily flow) for the development are lower than the design maximum daily flows, the design maximum daily flows are used for the design of the system. This provides an additional factor of safety in the proposed design.

The requirements for fire sprinkler systems were preliminarily established for the development. The proposed residential building is required to have fire sprinklers. The fire sprinkler designer has provided that the sprinkler demand for the building is 300 gpm at 50 psi was provided by the building design team for this report. This results in a peak fire sprinkler and domestic combined flow of;

Peak Fire Sprinkler and Domestic Combined Flow

$$57.6 \text{ gpm} + 300 \text{ gpm} = \mathbf{357.6 \text{ gpm}}$$

### **3.0 PROPOSED WATER CONNECTION TO CARMEL WATER DISTRICT #2**

#### **3.1 System Characteristics**

Based on review of existing water system there is an existing watermain in Seminary Hill Road, which is located within the Town of Carmel's Water District #2. The water service connection for the proposed project will be from the new 6" service line from the existing watermain in Seminary Hill Road. A flow test will be conducted to determine the water system's dynamic characteristics in the area of the proposed project.

#### **3.2 Proposed Water Service Connection**

The development proposes one 6" PVC DR 18 water service connection to the proposed building from the existing main in Seminary Hill Road. The service line will be combined fire and domestic services for the proposed building.

Restrained joint connections will be provided at all pipe bends. Upon completion of the water service installation pressure testing, disinfection, and flushing will be performed in accordance with AWWA standards.

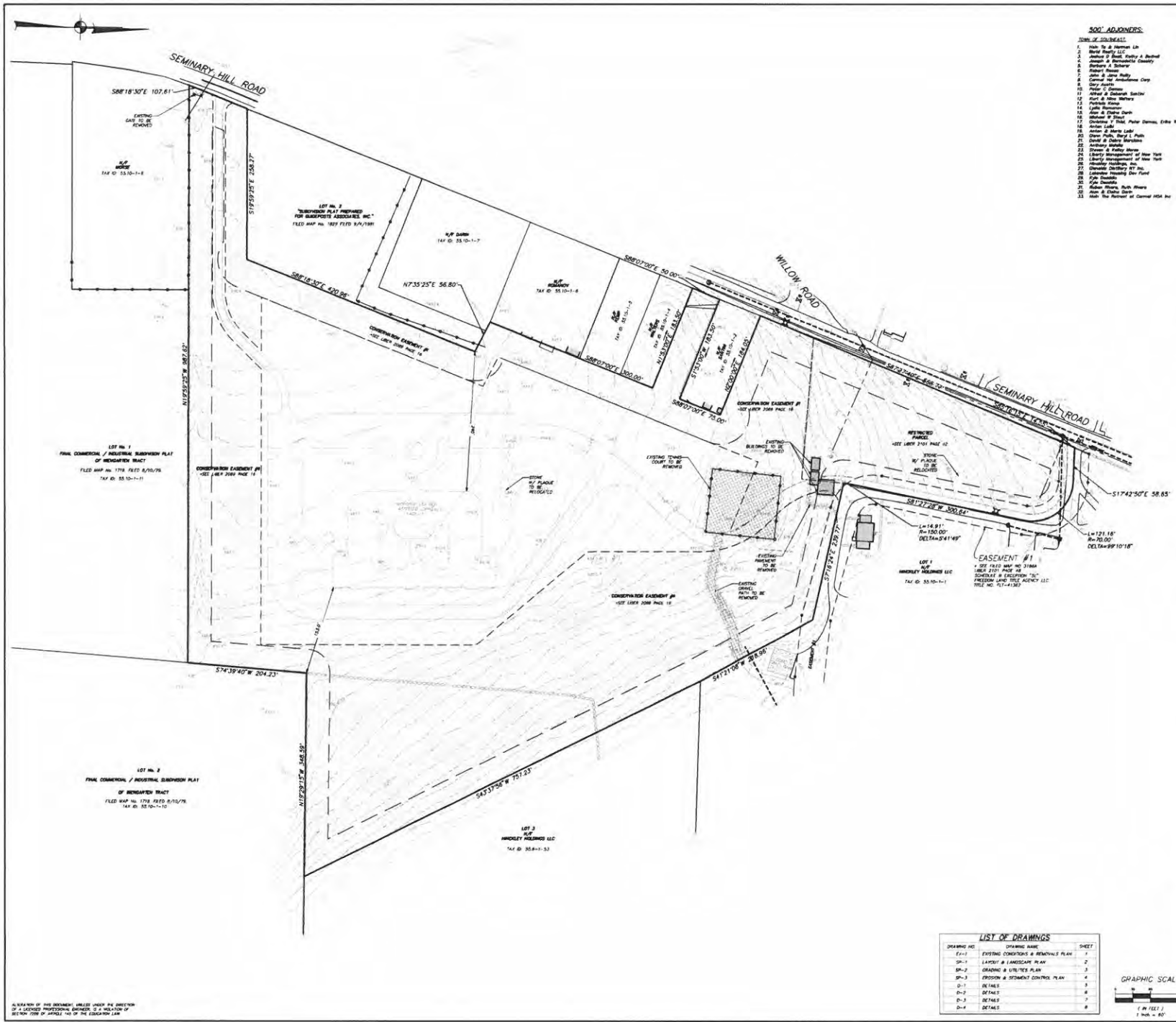
In accordance with the Putnam County Department of Health (PCDOH) Rules and Regulations, the Department must be provided a minimum of 48 hours advance notification of all pressure testing.

Recommended Standards for Water Works (RSWW) recommends that the normal working pressure not be below 35 psi, and both the RSWW and the American Water Works Association (AWWA) publication M 31 recommend that a minimum of 20 psi be maintained at all points in the water distribution system during fire flows. A flow test will be conducted with the Town of Carmel Water Department to finalize the water connection design for the subject project.

### **4.0 PROPOSED WASTEWATER CONNECTION TO CARMEL SEWER DISTRICT #2**

Wastewater flow from the building will be conveyed by 6" PVC SDR 35 sewer service line. The service connections will be installed with a minimum slope of 1/4" per foot slope meeting the requirements of DEC14. The sewer service line is proposed to connect to a new sewer manhole in Seminary Hill Road. All PVC pipe will contain rubber push-on gaskets at pipe connections. Manholes will be provided on the proposed sewer main at all changes in direction.

The site plan depicts the sanitary sewer system connections for the subject development including the locations of the existing sewer mains, manholes, and sewer mains. The elevations associated with the existing system will be verified prior to the final design of the connection to the existing sewer. The onsite sanitary sewer system will be designed in accordance with PCDOH requirements and is subject to their approval. The PCDOH requires a minimum of 48 hours advance notification of all sewer main pressure testing.



- 300' ADJACERS:**
1. John & Susan Loh
  2. Joseph & Susan Loh
  3. Joseph & Susan Loh
  4. Joseph & Susan Loh
  5. Joseph & Susan Loh
  6. Joseph & Susan Loh
  7. Joseph & Susan Loh
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  30. Joseph & Susan Loh



LOCATION MAP SCALE: 1" = 800'

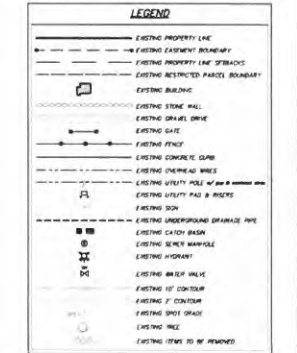
**APPLICANT:**  
 PROJECT: BRAEMAR AT CARMEL  
 800 WILLOW RD  
 CARMEL, CA 95008  
 TEL: 408.453.1234  
 FAX: 408.453.1235

**SITE DATA:**  
 Zone: C/BP COMMERCIAL/BUSINESS PARK  
 Tax Parcel: 18.45.1  
 Tax Map No.: 55.10-1-3

- GENERAL NOTES:**
1. Boundary and topographic information show herein taken from a survey entitled "Topographic Survey of Property Proposed for Development, 11/11/18" conducted by Terry Bergquist & Co. on March 27, 2018.
  2. Where and where convenient for this utility and connect to existing means that are shown on drawings of this project.
  3. The proposed building shall be protected by an automatic fire sprinkler system.
  4. This site is proposed to be serviced by a water connection to CMO #2 and sewer connection to CMO #2.
  5. The Facility shall be stamped by the State Fire Department or health as an essential facility and subject to all pertinent 300 regulations.

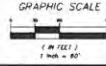
**C/BP ZONE REQUIREMENTS:**

Requirement	Minimum	Maximum
Minimum Lot Area	3 Acres (130,680 SF)	18.8 Acres (816,543 SF)
Minimum Lot Width	200'	1,432.5'
Minimum Lot Depth	200'	816.3'
Minimum Front Frontage	100'	767'
Minimum Yard Setback	50'	260'
Height	30'	150'
Use	30'	150'
Use	30'	150'
Minimum Building Height	5.000 SF	100,000 SF
Minimum Building Floor Area	5,000 SF	100,000 SF
Maximum Building Coverage	40%	48%



**LIST OF DRAWINGS**

DRAWING NO.	DRAWING NAME	SHEET
EX-1	EXISTING CONDITIONS & REMOVALS PLAN	1
SP-1	LANDSCAPE & LAYOUT PLAN	2
SP-2	EROSION & SEDIMENT CONTROL PLAN	3
SP-3	EROSION & SEDIMENT CONTROL PLAN	4
D-1	DETAILS	5
D-2	DETAILS	6
D-3	DETAILS	7
D-4	DETAILS	8



**INSITE**  
 ENGINEERING, SURVEYING &  
 LANDSCAPE ARCHITECTURE, P.C.

**PROJECT:** BRAEMAR AT CARMEL

**DRAWING:** EXISTING CONDITIONS & REMOVALS PLAN

**PROJECT NUMBER:** 182508.00

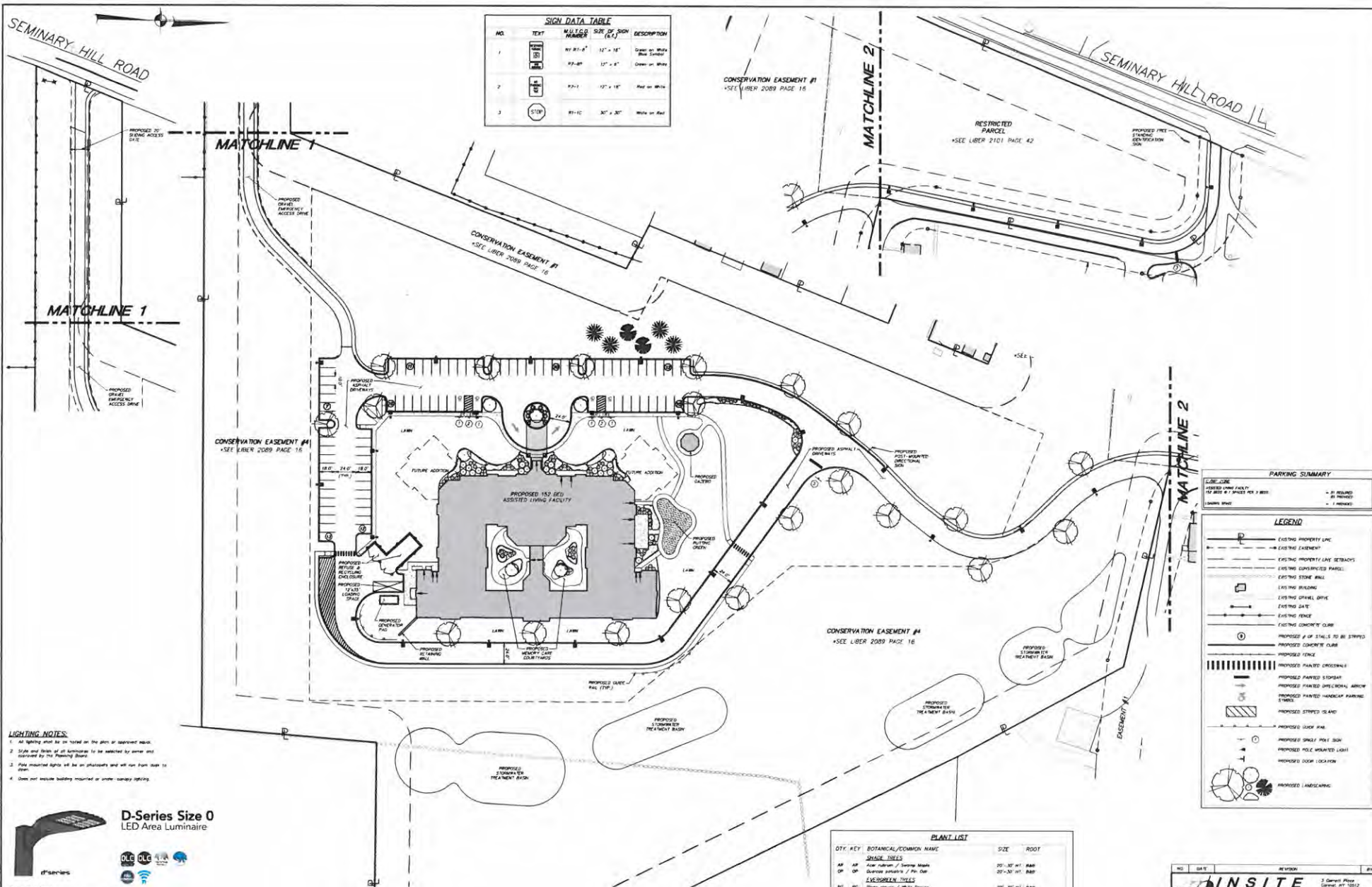
**DATE:** 8-26-19

**SCALE:** 1" = 80'

**DRAWING NO. SHEET:** EX-1

IN WITNESS WHEREOF, I have hereunto set my hand and the seal of my office on this 26th day of August, 2019.





SIGN DATA TABLE			
NO.	TEXT	MAX. LETTER HEIGHT (ft.)	DESCRIPTION
1	NY 81-8'	12" x 18"	Color on White Sign Board
2	P2-8"	12" x 6"	Color on White
3	STP	30" x 30"	White on Red

**PARKING SUMMARY**

LEGEND

- EXISTING PROPERTY LINE
- EXISTING EASEMENT
- EXISTING PROPERTY LINE SETBACKS
- EXISTING IMPAVED PARCELS
- EXISTING STONE WALL
- EXISTING BUILDING
- EXISTING DRIVE DRIVE
- EXISTING DRIVE
- EXISTING FENCE
- EXISTING CONCRETE CURB
- PROPOSED # OF STALLS TO BE STRIPPED
- PROPOSED CONCRETE CURB
- PROPOSED FENCE
- PROPOSED PAINTED CURBLINE
- PROPOSED PAINTED DISH/STAMP
- PROPOSED PAINTED HANDICAP PARKING STALLS
- PROPOSED STRIPPED ISLAND
- PROPOSED DRIVE PAV.
- PROPOSED SINGLE POST SIGN
- PROPOSED POLE MOUNTED LIGHT
- PROPOSED DOOR LOCKING
- PROPOSED LANDSCAPING

- LIGHTING NOTES:**
- All lighting shall be as listed on the plan or equivalent notes.
  - Style and finish of all luminaires to be selected by owner and indicated by the Planning Board.
  - Flare mounted lights will be an option and will come from down to down.
  - Does not include building incidental or under-structure lighting.

**D-Series Size 0 LED Area Luminaire**

Specifications

- EPK: 0.95 ft
- Length: 24"
- Width: 18"
- Height: 7"
- Weight: 7.5 lbs

ALTERNATE TO THIS DOCUMENT, UNLESS UNDER THE JURISDICTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2008 OF ARTICLE 106 OF THE EDUCATION LAW

**LUMINAIRE SCHEDULE**

Symbol	Qty	Control Number	Description	Lot/Type	Mounting Height	Notes
A	77	0991-L2D-200-630	LUMINAIRE (LIGHTING) - 200W LED WITH 20 LUMENS	LED	7'0"	24"
B	1	0991-L2D-200-630	LUMINAIRE (LIGHTING) - 200W LED WITH 20 LUMENS	LED	7'0"	24"

**PLANT LIST**

QTY	KEY	BOTANICAL/COMMON NAME	SIZE	ROOT
<b>SHRUBS/TREES</b>				
AP	AP	Asian Palm / Swamp Maple	20'-30" HT. B&B	
OP	OP	Osage Orange / Pin Oak	20'-30" HT. B&B	
<b>EXOTIC/TREES</b>				
PS	PS	Flame Tree / White Spruce	20'-30" HT. B&B	
PS	PS	Flame Tree / White Pine	20'-30" HT. B&B	
<b>FLOWERING TREES</b>				
BL	BL	Belted Olive / Red Birch	3'-4" HT. #1 CONT./24" O.C.	
CC	CC	Carthagen Olive / Eastern Redbud	3'-4" HT. #2 CONT./24" O.C.	
<b>SHRUBS</b>				
RC	RC	Round Top Dogwood / Green Stem Barberry	3'-4" HT. #1 CONT./24" O.C.	
BB	BB	Belted Olive / Pin Oak	3'-4" HT. #1 CONT./24" O.C.	
CS	CS	Carthagen Olive / Pin Oak	3'-4" HT. #1 CONT./24" O.C.	
IV	IV	Ironwood / Virginia Sycamore	3'-4" HT. #1 CONT./24" O.C.	
<b>PERENNIALS/GRASSING PLANTS</b>				
AC	AC	Asiatic Lilies / Columbine	3'-4" HT. #1 CONT./24" O.C.	
BA	BA	Belted Olive / Blue Fescue	3'-4" HT. #1 CONT./24" O.C.	
EP	EP	Eastern Redbud / Purple Coneflower	3'-4" HT. #1 CONT./24" O.C.	
AV	AV	Asiatic Lilies / Virginia Sycamore	3'-4" HT. #1 CONT./24" O.C.	
DE	DE	Delaware Dogwood / Pine Tree	3'-4" HT. #1 CONT./24" O.C.	

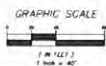
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**INSITE**  
LANDSCAPE ARCHITECTURE, P.C.

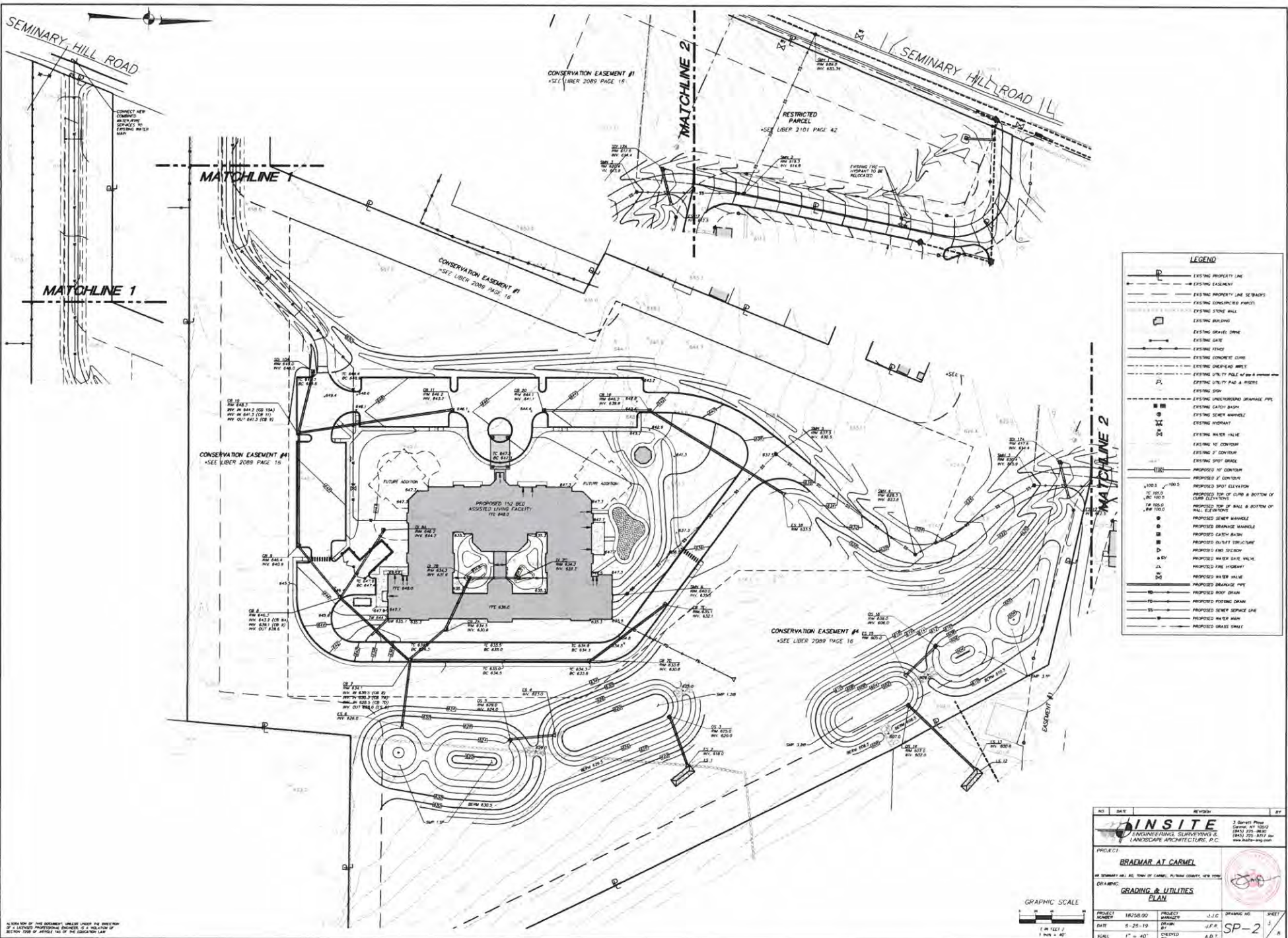
PROJECT: **BRAMMAR AT CARREL**

DATE: 6-26-19 DRAWN: A.D.T. SHEET: SP-1/8

SCALE: 1" = 40'







**LEGEND**

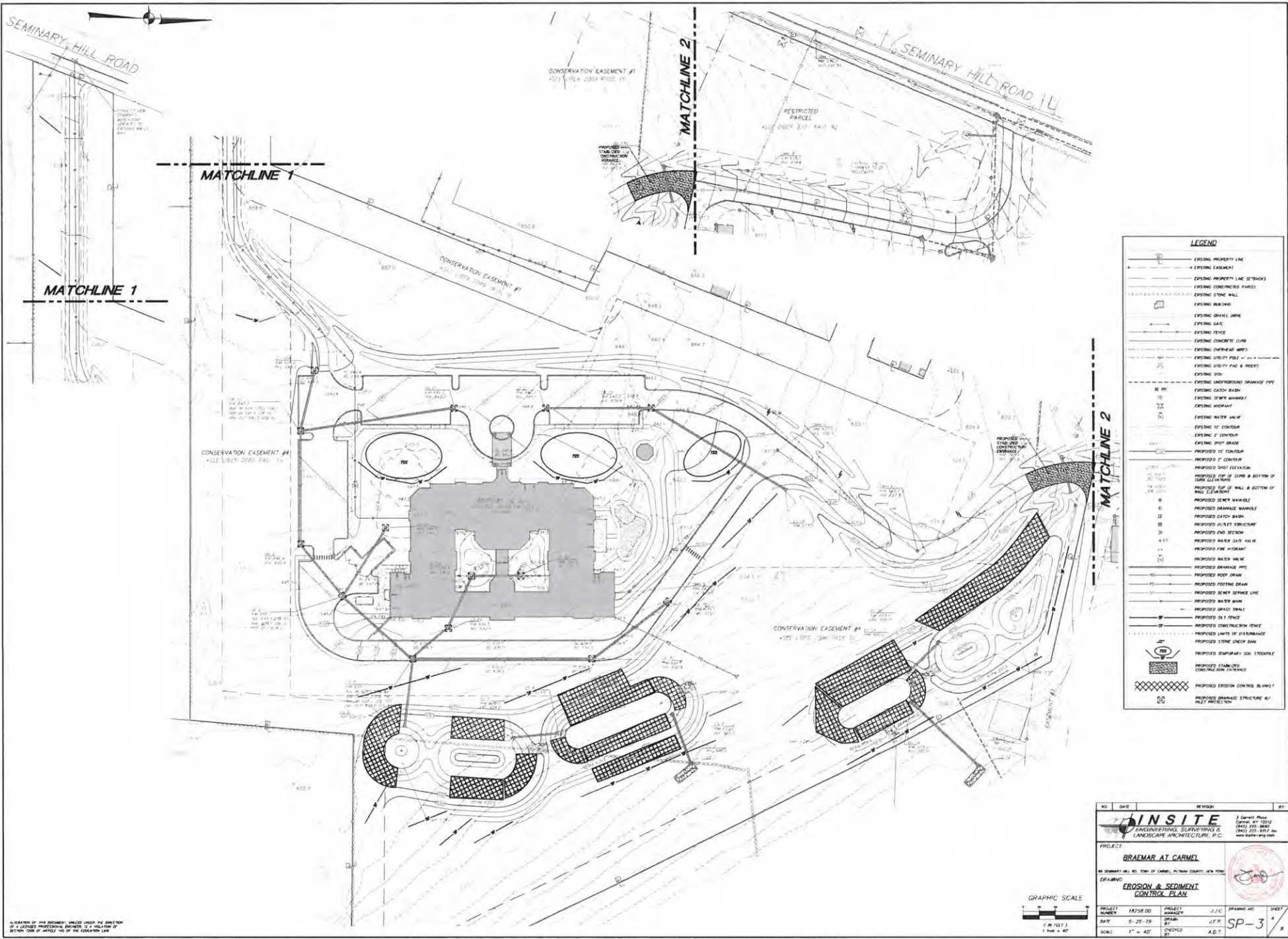
- EXISTING PROPERTY LINE
- EXISTING EASEMENT
- EXISTING PROPERTY LINE SETBACK
- EXISTING CONSTRUCTED PARCELS
- EXISTING STONE WALL
- EXISTING BUILDING
- EXISTING GRAVEL DRIVE
- EXISTING FENCE
- EXISTING CONCRETE CURB
- EXISTING OVERHEAD WIRES
- EXISTING UTILITY POLE AND WIRES
- EXISTING SPOT
- EXISTING UNDERGROUND DRAINAGE PIPE
- EXISTING CATCH BASIN
- EXISTING SEWER MANHOLE
- EXISTING HYDRANT
- EXISTING WATER VALVE
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- PROPOSED 10' CONTOUR
- PROPOSED 2' CONTOUR
- PROPOSED SPOT ELEVATION
- 10' FIELD OF CLEAR ELEVATIONS
- 2' FIELD OF CLEAR ELEVATIONS
- 10' FIELD OF WALL ELEVATIONS
- PROPOSED STREET MANHOLE
- PROPOSED DRAINAGE MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED OUTLET STRUCTURE
- PROPOSED FIRE STRUCTURE
- PROPOSED WATER FIRE VALVE
- PROPOSED FIRE HYDRANT
- PROPOSED WATER VALVE
- PROPOSED DRAINAGE PIPE
- PROPOSED ROOF DRAIN
- PROPOSED STORM DRAIN
- PROPOSED SEWER SERVICE LINE
- PROPOSED WATER MAIN
- PROPOSED GRASS STREET

NO.	DATE	REVISION	BY
<b>INSITE</b>			
3 Gateway Plaza Carmel, CA 95021 (831) 375-8800 (831) 375-8977 fax www.insite.org			
PROJECT: <b>BRAEMAR AT CARMEL</b>			
DRAWING: <b>GRADING &amp; UTILITIES PLAN</b>			
PROJECT NUMBER: 18758-00	PROJECT MANAGER: J.C.C.	DRAWING NO: SP-2	SHEET: 3
DATE: 6-26-19	DRAWN: J.P.R.	CHECKED: A.D.T.	BY: 3
SCALE: 1" = 40'			



ALLEGATION OF THIS DOCUMENT UNLESS UNDER THE PROVISIONS OF A LICENSED PROFESSIONAL ENGINEER OR A REGISTERED SURVEYOR UNDER THE PROVISIONS OF THE ENGINEERING LAW.





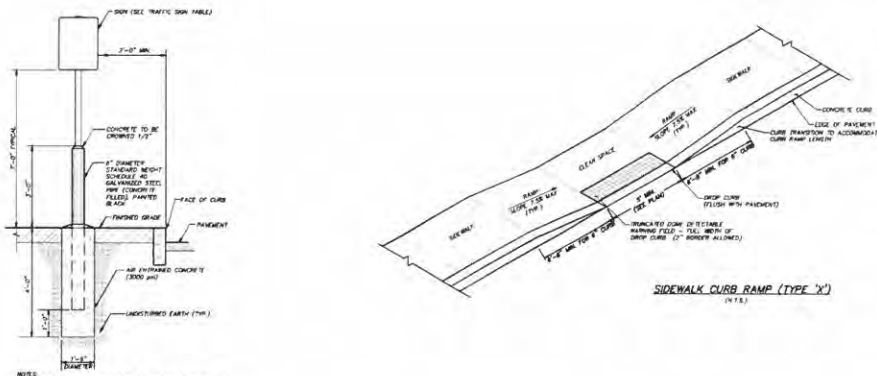
**LEGEND**

- EXISTING PROPERTY LINE
- EXISTING EASEMENT
- EXISTING PROPERTY LINE STRUCKS
- EXISTING CONCRETE FENCE
- EXISTING STONE WALL
- EXISTING BUILDING
- EXISTING GRAVEL DRIVE
- EXISTING GATE
- EXISTING CONCRETE CURB
- EXISTING OVERHEAD WIRE
- EXISTING UTILITY POLE AND WIRE
- EXISTING UTILITY PAD & RISER
- EXISTING SIGN
- EXISTING UNDERGROUND DRAINAGE PIPE
- EXISTING CATCH BASIN
- EXISTING SEWER MANHOLE
- EXISTING HIGHWAY
- EXISTING WATER VALVE
- EXISTING 1" CONTOUR
- EXISTING 2" CONTOUR
- EXISTING SPOT GRADE
- PROPOSED 1" CONTOUR
- PROPOSED 2" CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED TOP OF CURB & BOTTOM OF CURB GUTTER
- PROPOSED TOP OF WALL & BOTTOM OF WALL FOOTING
- PROPOSED SEWER MANHOLE
- PROPOSED DRAINAGE MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED INLET STRUCTURE
- PROPOSED HOOD STRUCKY
- PROPOSED WATER GATE VALVE
- PROPOSED FIRE HYDRANT
- PROPOSED WATER VALVE
- PROPOSED DRAINAGE PIPE
- PROPOSED ROOF DRAIN
- PROPOSED FOOTING DRAIN
- PROPOSED SEWER SERVICE LINE
- PROPOSED WATER MAIN
- PROPOSED GRASS STRIP
- PROPOSED SILT FENCE
- PROPOSED CONSTRUCTION FENCE
- PROPOSED LIMITS OF DISTURBANCE
- PROPOSED STONE CHECK DAM
- PROPOSED TEMPORARY SIDE STRUCTURE
- PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- PROPOSED EROSION CONTROL BLANKET
- PROPOSED DRAINAGE STRUCTURE #1
- PROPOSED DRAINAGE STRUCTURE #2
- PROPOSED DRAINAGE STRUCTURE #3

NO.	DATE	REVISION	BY
PROJECT: <b>BRAEMAR AT CARMEL</b> 48 SEMINARY HILL, ELI TOWN OF CARMEL, SAN JUAN COUNTY, NEW YORK DRAWING: <b>EROSION &amp; SEDIMENT CONTROL PLAN</b>			
PROJECT NUMBER: 182508.00	PROJECT MANAGER: J.C.C.	DRAWING NO.: SP-3	SHEET: 1/8
DATE: 6-26-19	DRAWN: J.F.R.	CHECKED: A.D.T.	
SCALE: 1" = 40' GRAPHIC SCALE: 1" = 40'			

IN REVISION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 1004 OF ARTICLE 101 OF THE CONSERVATION LAW.

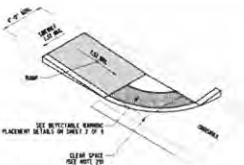




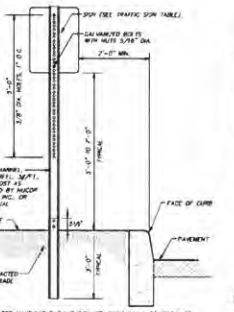
**SIDEWALK CURB RAMP (TYPE X)**  
(N.T.S.)

NOTES:  
1. WITH PROTECTION POSTS ARE TO BE USED FOR PROTECTION OF HANDICAP PARKING SPACES OR OTHER TRAFFIC SLOW DOWN PROTECTION POSTS SHALL BE CHECKED A MINIMUM OF THREE (3) FEET INTO THE CONCRETE.  
2. FOR HANDICAP PARKING SPACES, BARS SHALL BE INSTALLED AT A CLEAR HEIGHT OF BETWEEN 3'-0" AND 3'-6". HEIGHTS OF PARKING SPACES AND BARS SHALL BE VERIFIED BY A SINGLE PARKED IN THE SPACE.

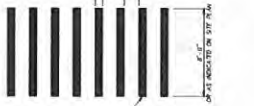
**TRAFFIC SIGN WITH STEEL BOLLARD BASE DETAIL**  
(N.T.S.)



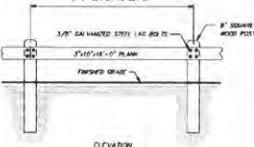
**CURB RAMP DETAIL (TYPE 2)**  
(N.T.S.)



**TRAFFIC SIGN DETAIL**  
(N.T.S.)



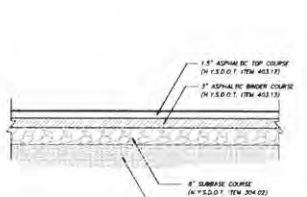
**CROSSWALK MARKING DETAIL (TYPE 2)**  
(N.T.S.)



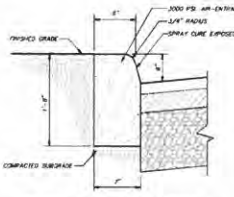
**PAINTED NYS ACCESSIBLE PARKING DETAIL**  
(N.T.S.)

NOTES:  
1. ALL WOOD TO BE SEASONED NOT EXCEEDS FOR SOUTHERN PINE OR OTHER APPROVED STRUCTURAL LUMBER.  
2. ALL WOOD TO BE TREATED WITH AN APPROVED WOOD PRESERVATIVE TREATMENT FOR INSTALLATION IN AND ADJACENT TO GRADE SURFACES.

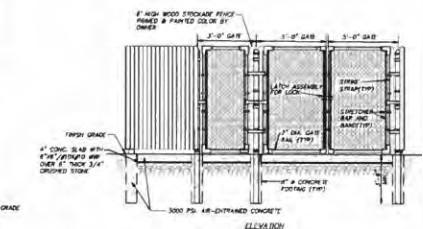
**WOOD GUIDE RAIL DETAIL**  
(N.T.S.)



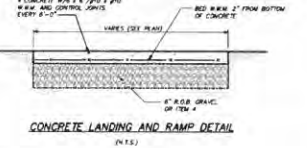
**SITE PAVEMENT SECTION DETAIL**  
(N.T.S.)



**CONCRETE CURB DETAIL**  
ON APPROVED CURB  
(N.T.S.)



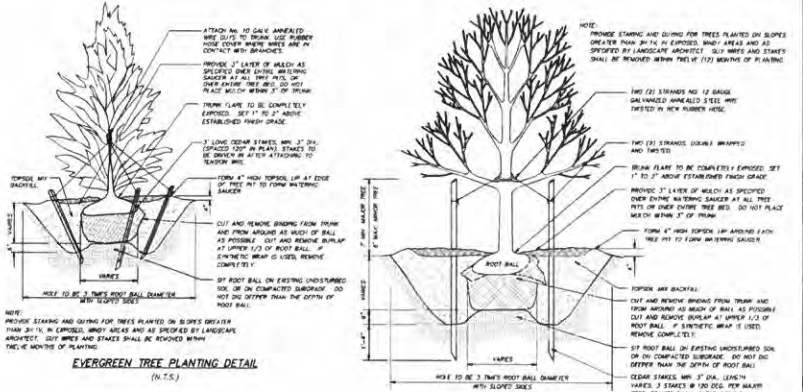
**DUMPSTER ENCLOSURE DETAIL**  
(N.T.S.)



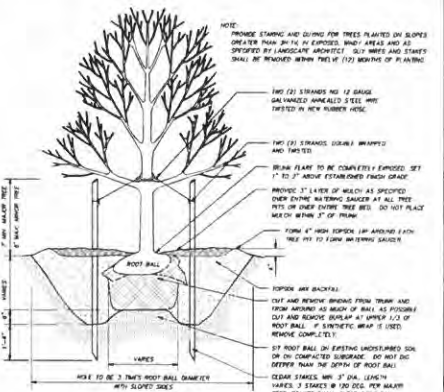
**CONCRETE LANDING AND RAMP DETAIL**  
(N.T.S.)



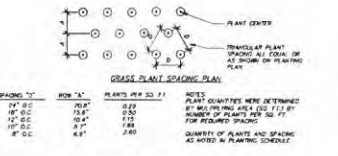
**GRAVEL EMERGENCY ACCESS DRIVEWAY DETAIL**  
(N.T.S.)



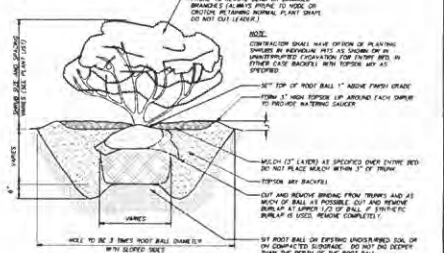
**EVERGREEN TREE PLANTING DETAIL**  
(N.T.S.)



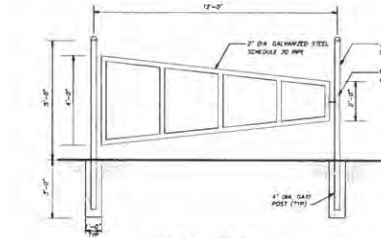
**TREE PLANTING DETAIL**  
(N.T.S.)



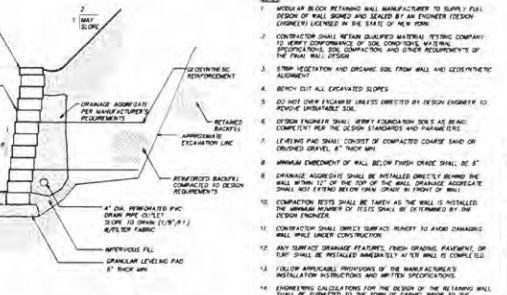
**PERENNIAL / ORNAMENTAL GRASS PLANTING DETAIL**  
(N.T.S.)



**SHRUB PLANTING DETAIL**  
(N.T.S.)



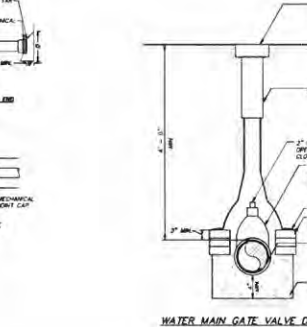
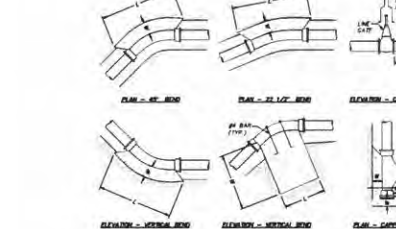
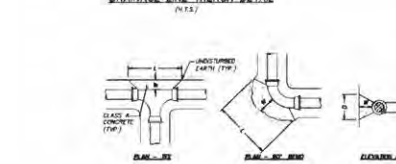
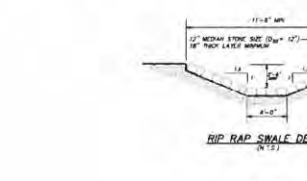
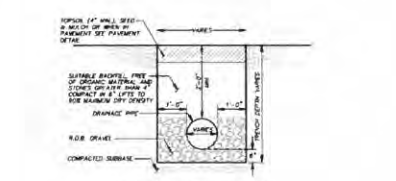
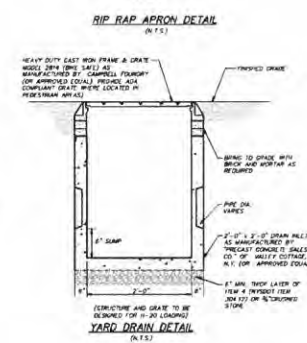
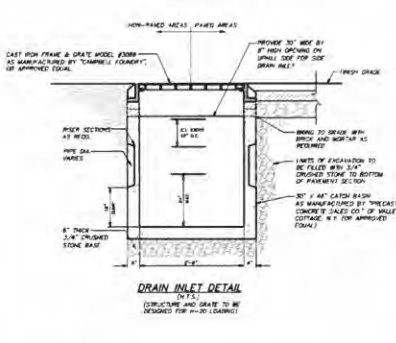
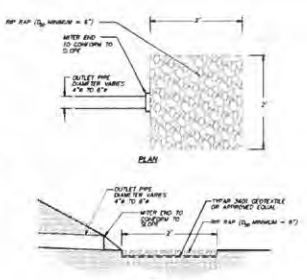
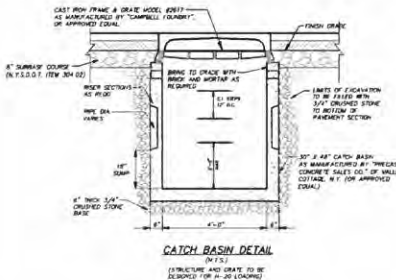
**SECURITY GATE DETAIL**  
ON APPROVED CURB  
(N.T.S.)



**MODULAR BLOCK HEADWALL DETAIL**  
(N.T.S.)

NO.	DATE	REVISION	BY
<b>INSITE</b>			
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.			
PROJECT: <b>BRAMMAR AT CARMEL</b>			
AS SHOWN WILL BE TYPICAL UNLESS OTHERWISE NOTED			
<b>DETAILS</b>			
PROJECT NUMBER	170508-00	PROJECT DATE	06/20/10
DATE	6-26-10	DRAWN BY	J.C.C.
SCALE	N.T.S.	CHECKED BY	J.C.C.
		DRAWING NO.	D-1
		SHEET	3

A PORTION OF THIS DOCUMENT IS FILED UNDER THE PROVISIONS OF ACCESS TO PUBLIC RECORDS AS A RESULT OF SECTION 2008 OF ARTICLE 16-B OF THE EDUCATION LAW.



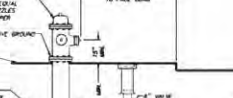
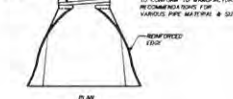
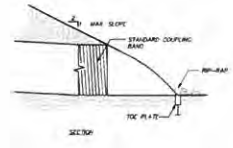
PIPE	LENGTH	THRUST	PIPE	LENGTH	THRUST
4"	2'	1.5'	2"	2'	1.5'
4"	2'	1.5'	2"	2'	1.5'
6"	2'	1.5'	2"	2'	1.5'
6"	2'	1.5'	2"	2'	1.5'

**PVC PIPE WATER TESTING PROCEDURES**  
**SECTION ON PROTECTIVE PIPING FOR TRANSPORT OF WATER**

1. The piping shall be installed in accordance with the approved design.
2. The piping shall be installed in accordance with the approved design.
3. The piping shall be installed in accordance with the approved design.
4. The piping shall be installed in accordance with the approved design.
5. The piping shall be installed in accordance with the approved design.
6. The piping shall be installed in accordance with the approved design.
7. The piping shall be installed in accordance with the approved design.
8. The piping shall be installed in accordance with the approved design.
9. The piping shall be installed in accordance with the approved design.
10. The piping shall be installed in accordance with the approved design.

**PVC PIPE WATER MAIN NOTES**

1. All pipe materials shall be installed in accordance with the approved design.
2. All pipe materials shall be installed in accordance with the approved design.
3. All pipe materials shall be installed in accordance with the approved design.
4. All pipe materials shall be installed in accordance with the approved design.
5. All pipe materials shall be installed in accordance with the approved design.
6. All pipe materials shall be installed in accordance with the approved design.
7. All pipe materials shall be installed in accordance with the approved design.
8. All pipe materials shall be installed in accordance with the approved design.
9. All pipe materials shall be installed in accordance with the approved design.
10. All pipe materials shall be installed in accordance with the approved design.



**INSITE**  
LANDSCAPE ARCHITECTURE, P.C.

**PROJECT:** BRAEMAR AT CARMEL

**DATE:** 8-28-19

**SCALE:** N.T.S.

**DRAWING NO. SHEET:** D-2

**PROJECT NUMBER:** 1825A-00

**PROJECT ARCHITECT:** J.L.C.

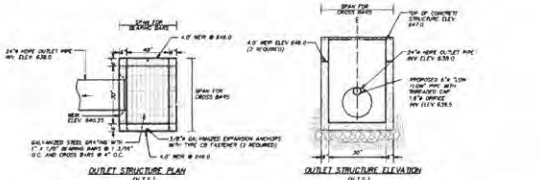
**DATE:** 8-28-19

**SCALE:** N.T.S.

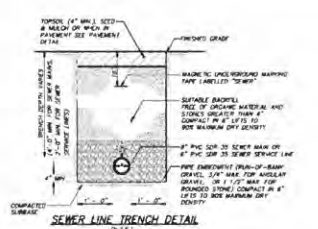
**DRAWING NO. SHEET:** D-2

**PROJECT ARCHITECT:** J.L.C.

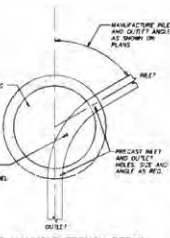




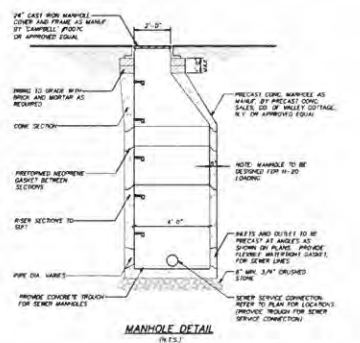
PERMANENT DRY STORMWATER BASIN 1.2P  
OUTLET STRUCTURE DETAIL  
(N.T.S.)



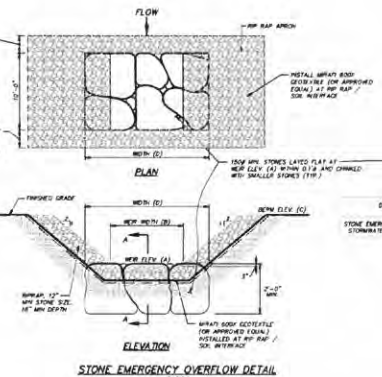
SEWER LINE TRENCH DETAIL  
(N.T.S.)



SEWER MANHOLE TROUGH DETAIL  
(N.T.S.)



MANHOLE DETAIL  
(N.T.S.)



STONE EMERGENCY OVERFLOW DETAIL  
(N.T.S.)

DESCRIPTION	NEW ELEV. (A)	NEW WIDTH (B)	NEW ELEV. (C)	WIDTH (D)
STONE EMERGENCY OVERFLOW FOR STORMWATER IN A NEW BASIN	847.0	10'-0"	848.0	12'

**BIRM CONSTRUCTION NOTES:**

- The contractor to remove the existing manhole at 847.0 (N.T.S.) and install a new manhole at 848.0 (N.T.S.) in accordance with the 10' diameter manhole. The 10' diameter manhole shall be constructed in accordance with the 10' diameter manhole. The manhole shall be constructed in accordance with the 10' diameter manhole. The manhole shall be constructed in accordance with the 10' diameter manhole.
- The existing manhole shall be removed and replaced with a new manhole. The manhole shall be constructed in accordance with the 10' diameter manhole. The manhole shall be constructed in accordance with the 10' diameter manhole. The manhole shall be constructed in accordance with the 10' diameter manhole.
- The manhole shall be constructed in accordance with the 10' diameter manhole. The manhole shall be constructed in accordance with the 10' diameter manhole. The manhole shall be constructed in accordance with the 10' diameter manhole. The manhole shall be constructed in accordance with the 10' diameter manhole.
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**SEWER MAIN NOTES:**

- All sewer lines shall be installed in accordance with the 10' diameter manhole. The manhole shall be constructed in accordance with the 10' diameter manhole. The manhole shall be constructed in accordance with the 10' diameter manhole. The manhole shall be constructed in accordance with the 10' diameter manhole.
- The sewer lines shall be installed in accordance with the 10' diameter manhole. The manhole shall be constructed in accordance with the 10' diameter manhole. The manhole shall be constructed in accordance with the 10' diameter manhole. The manhole shall be constructed in accordance with the 10' diameter manhole.
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**SEWER TESTING PROCEDURES:**

- The sewer lines shall be tested in accordance with the 10' diameter manhole. The manhole shall be constructed in accordance with the 10' diameter manhole. The manhole shall be constructed in accordance with the 10' diameter manhole. The manhole shall be constructed in accordance with the 10' diameter manhole.
- The sewer lines shall be tested in accordance with the 10' diameter manhole. The manhole shall be constructed in accordance with the 10' diameter manhole. The manhole shall be constructed in accordance with the 10' diameter manhole. The manhole shall be constructed in accordance with the 10' diameter manhole.
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DATE	REVISION	BY
08/15/18	1	JLC
08/15/18	2	JLC
08/15/18	3	JLC
08/15/18	4	JLC
08/15/18	5	JLC

INSITE  
ENGINEERING, SURVEYING &  
LANDSCAPE ARCHITECTURE, P.C.

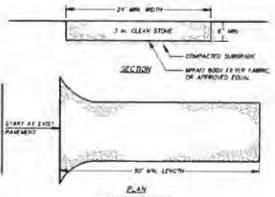
PROJECT:  
**BRAEMAR AT CARMEL**

DATE: 8-28-18  
SCALE: 1/4" = 1'-0"

DRAWING NO.:  
**D-3**

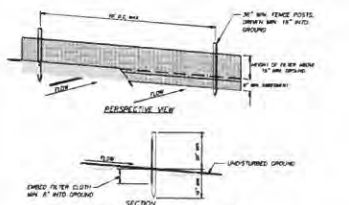
SHEET:  
**3**





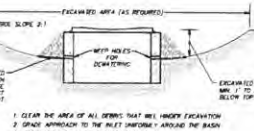
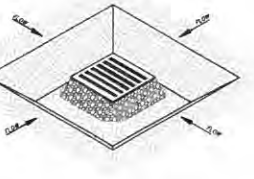
- STONE SIZE - USE #2 STONE
- LAYOUT - AS REQUIRED BUT NOT LESS THAN 30 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 20 FOOT MINIMUM LENGTH MOULD APPLIES)
- PROCESSES - NOT LESS THAN SIX (6) INCHES
- DEPTH - 12 FOOT MINIMUM BUT NOT LESS THAN THE FULL WIDTH OF FORTY INCHES MINIMUM OR FORTY INCHES
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING STONE. FILTER CLOTH SHALL NOT BE REUSED ON A SINGLE FENCE LINE
- CONSTRUCTION - SEE PARAGRAPH 5.2.1 FOR CONSTRUCTION OF STONE FILTER FENCE. A VIBRATORY ROLLER WITH 2 TONS WEIGHT IS REQUIRED.
- MAINTENANCE - THE FENCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PERMIT PASSAGE OF WATER BUT NOT ALLOW PASSAGE OF SOLIDS. THE FENCE SHALL BE REPAIRED IMMEDIATELY UPON ANY DAMAGE. THE FENCE SHALL BE REPAIRED IMMEDIATELY UPON ANY DAMAGE. THE FENCE SHALL BE REPAIRED IMMEDIATELY UPON ANY DAMAGE.
- INSTALLATION - THE FENCE SHALL BE INSTALLED TO REMOVE SEDIMENT FROM THE SOIL AND NOT TO BE USED AS A DRAINAGE SYSTEM.
- INSPECTION - THE FENCE SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAIN.

**STABILIZED CONSTRUCTION ENTRANCE DETAIL**  
(N.T.S.)



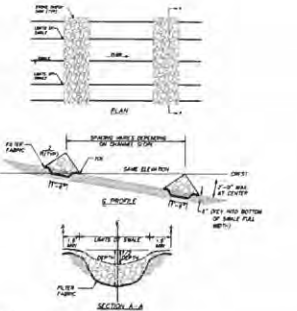
- FILTER CLOTH TO BE FASTENED TO CURB POSTS WITH 1/2 INCH DIA WIRE
- CONSTRUCTION SHALL BE PERFORMED AS SETBACK PREPARED BY APPROVED SOILS ENGINEER
- MAINTENANCE SHALL BE PERFORMED AS SETBACK PREPARED BY APPROVED SOILS ENGINEER

**SILT FENCE DETAIL**  
(N.T.S.)



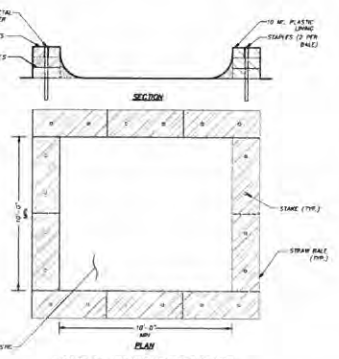
- CLEAR THE AREA OF ALL DEBRIS THAT WILL HINDER EXCAVATION
- GRADE ADJUSTMENT TO THE INLET TO BE MADE BY THE BAKER
- NEED HOLES SHALL BE PROTECTED BY GRADE
- LOOSE STABILIZATION OF CONTIGUOUS DRAINAGE AREA, SEE NEW HOLES TO BE EXCAVATED WITH STABLE SOIL TO FINAL GRADE, COMPACT TO FINISH, AND STABILIZE WITH PERMANENT STONE
- MAXIMUM DRAINAGE AREA = 1 ACRE

**EXCAVATED DROP INLET PROTECTION DETAIL**  
(N.T.S.)



- STONE SHALL BE PLACED ON A FILTER FABRIC FORMATION TO BE WELL ABOVE THE SUBSOIL
- SET BACK OF STONE DAM TO BE THE SAME AS THE SET BACK OF THE STORM DRAIN
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**STONE CHECK DAM DETAIL**  
(N.T.S.)



- TEMPORARY CONCRETE WASHOUT TYPE ABOVE GRADE WILL BE CONSTRUCTED AS SHOWN ABOVE WITH REINFORCING BARS (EVEN AND SPACING AS SHOWN)
- THE WASHOUT WILL BE MINIMUM OF SIX (6) FEET FROM STORM DRAIN INLET
- PLASTIC LINING WILL BE FREE OF HOLES, TEARS OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL

**CONCRETE WASHOUT AREA DETAIL**  
(N.T.S.)



- AREA CHOSEN FOR STOCKPILE LOCATION SHALL BE DRY AND STABLE
- MINIMUM SLOPE OF STOCKPILE SHALL BE 2:1
- DOWN CURRENT OF SOIL STOCKPILE, EACH PILE SHALL BE IMMEDIATELY COVERED WITH APPROVED SILT FENCE
- ALL STOCKPILES SHALL BE PROTECTED WITH SILT FENCING INSTALLED ON THE DOWNCURRENT SIDE

**TEMPORARY SOIL STOCKPILE DETAIL**  
(N.T.S.)

**EROSION AND SEDIMENT CONTROL MAINTENANCE SCHEDULE**

MONITORING REQUIREMENTS	MAINTENANCE REQUIREMENTS																																																																		
<table border="1"> <thead> <tr> <th>PRACTICE</th> <th>DATE</th> <th>MONTH</th> <th>AFTER RAINFALL</th> <th>DURING CONSTRUCTION</th> <th>AFTER CONSTRUCTION</th> </tr> </thead> <tbody> <tr> <td>SILT FENCE BARRIERS</td> <td>-</td> <td>MONTHLY</td> <td>MONTHLY</td> <td>AS REQUIRED</td> <td>AS REQUIRED</td> </tr> <tr> <td>STABILIZED CONSTRUCTION ENTRANCES</td> <td>MONTHLY</td> <td>MONTHLY</td> <td>MONTHLY</td> <td>AS REQUIRED</td> <td>AS REQUIRED</td> </tr> <tr> <td>SOIL CHECK DAMS</td> <td>MONTHLY</td> <td>MONTHLY</td> <td>MONTHLY</td> <td>AS REQUIRED</td> <td>AS REQUIRED</td> </tr> <tr> <td>VEGETATION STABILIZATION</td> <td>MONTHLY</td> <td>MONTHLY</td> <td>MONTHLY</td> <td>AS REQUIRED</td> <td>AS REQUIRED</td> </tr> <tr> <td>SOIL PROTECTION</td> <td>MONTHLY</td> <td>MONTHLY</td> <td>MONTHLY</td> <td>AS REQUIRED</td> <td>AS REQUIRED</td> </tr> <tr> <td>SOIL FERTILIZERS</td> <td>MONTHLY</td> <td>MONTHLY</td> <td>MONTHLY</td> <td>AS REQUIRED</td> <td>AS REQUIRED</td> </tr> <tr> <td>SMILES</td> <td>MONTHLY</td> <td>MONTHLY</td> <td>MONTHLY</td> <td>AS REQUIRED</td> <td>AS REQUIRED</td> </tr> <tr> <td>DRIVE DRAINAGE</td> <td>MONTHLY</td> <td>MONTHLY</td> <td>MONTHLY</td> <td>AS REQUIRED</td> <td>AS REQUIRED</td> </tr> <tr> <td>CONCRETE WASHOUT AREAS</td> <td>MONTHLY</td> <td>MONTHLY</td> <td>MONTHLY</td> <td>AS REQUIRED</td> <td>AS REQUIRED</td> </tr> <tr> <td>STORMWATER TREATMENT</td> <td>MONTHLY</td> <td>MONTHLY</td> <td>MONTHLY</td> <td>AS REQUIRED</td> <td>AS REQUIRED</td> </tr> </tbody> </table>	PRACTICE	DATE	MONTH	AFTER RAINFALL	DURING CONSTRUCTION	AFTER CONSTRUCTION	SILT FENCE BARRIERS	-	MONTHLY	MONTHLY	AS REQUIRED	AS REQUIRED	STABILIZED CONSTRUCTION ENTRANCES	MONTHLY	MONTHLY	MONTHLY	AS REQUIRED	AS REQUIRED	SOIL CHECK DAMS	MONTHLY	MONTHLY	MONTHLY	AS REQUIRED	AS REQUIRED	VEGETATION STABILIZATION	MONTHLY	MONTHLY	MONTHLY	AS REQUIRED	AS REQUIRED	SOIL PROTECTION	MONTHLY	MONTHLY	MONTHLY	AS REQUIRED	AS REQUIRED	SOIL FERTILIZERS	MONTHLY	MONTHLY	MONTHLY	AS REQUIRED	AS REQUIRED	SMILES	MONTHLY	MONTHLY	MONTHLY	AS REQUIRED	AS REQUIRED	DRIVE DRAINAGE	MONTHLY	MONTHLY	MONTHLY	AS REQUIRED	AS REQUIRED	CONCRETE WASHOUT AREAS	MONTHLY	MONTHLY	MONTHLY	AS REQUIRED	AS REQUIRED	STORMWATER TREATMENT	MONTHLY	MONTHLY	MONTHLY	AS REQUIRED	AS REQUIRED	<p>1. Permanent operations to consider included when ROW of the project is established.</p> <p>2. The contractor shall be responsible for the implementation of the maintenance schedule during the project.</p> <p>3. For more information, see the current version of the subject project.</p>
PRACTICE	DATE	MONTH	AFTER RAINFALL	DURING CONSTRUCTION	AFTER CONSTRUCTION																																																														
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**REQUIRED POST-CONSTRUCTION STORMWATER MANAGEMENT PRACTICE COMPONENTS:**

- Purpose of the SWPPP (SWPPP) shall be to manage stormwater discharge from the construction site in accordance with the National Stormwater Management Practices Manual (NSMPM) and the New York State Stormwater Management Design Manual (NSMDM).
- Identification of all post-construction stormwater management practices to be implemented as part of the project. The plan and specifications shall ensure compliance with the SWPPP requirements.
- A site map (construction drawing) showing the specific location and area of each stormwater management practice. The plan and specifications shall ensure compliance with the SWPPP requirements.
- A Stormwater Management and Assessment Report including pre-construction conditions, stormwater management practices, and the results of the stormwater management plan. The report shall include a summary table demonstrating that each practice has been designed in accordance with the NSMPM and NSMDM and shall be submitted to the relevant agencies for review and approval. The report shall be submitted to the relevant agencies for review and approval.
- For more information, see the current version of the subject project.

**REQUIRED EROSION CONTROL SWPPP CONTENTS:**

- Description of the project including a general overview of the project and a description of the site. The plan and specifications shall ensure compliance with the SWPPP requirements.
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**PERMANENT STORMWATER FACILITIES MAINTENANCE SCHEDULE**

PRACTICE/FACILITY	MONTHLY	BI-ANNUALLY	YEARLY	EVERY 2 TO 3 YEARS
SOIL FERTILIZERS	As needed	As needed	As needed	As needed
CATCH BASINS	As needed	As needed	As needed	As needed
GRAVE SITES	As needed	As needed	As needed	As needed
STORMWATER TREATMENT	As needed	As needed	As needed	As needed

NOTE: THE USER SHALL BE RESPONSIBLE FOR IMPLEMENTATION OF THE MAINTENANCE SCHEDULE DURING THE PROJECT.

**REQUIRED EROSION CONTROL SWPPP CONTENTS:**

- Description of the site including a general overview of the site and a description of the site. The plan and specifications shall ensure compliance with the SWPPP requirements.
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PROJECT: **INSITE**  
CONSTRUCTION OF A NEW INDUSTRIAL FACILITY AND LANDSCAPE ARCHITECTURE, P.C.

PROJECT: **BRAHMAN AT CARMEL**

PROJECT: 182506-00  
DATE: 6-26-19  
SCALE: N.T.S.

PROJECT: 182506-00  
DATE: 6-26-19  
SCALE: N.T.S.

PROJECT: 182506-00  
DATE: 6-26-19  
SCALE: N.T.S.

CONTRACT NO.

MARK	DATE	DESCRIPTION
	6-26-19	Planning Board Submission

DESIGNED BY	DRAWN BY	CHECKED BY	IN CHARGE BY
MASH			
FILED 1902	DATE	JUNE 2019	SCALE
			AS SHOWN

**FISHKILL REALTY GROUP LLC**

BRAEMAR LIVING AT CARMEL  
NEW ASSISTED LIVING RESIDENCE

LOT 2, MINOR SUBDIVISION FOR  
HINKLEY HOLDINGS, LLC  
SEMINARY HILL ROAD  
CARMEL, NEW YORK

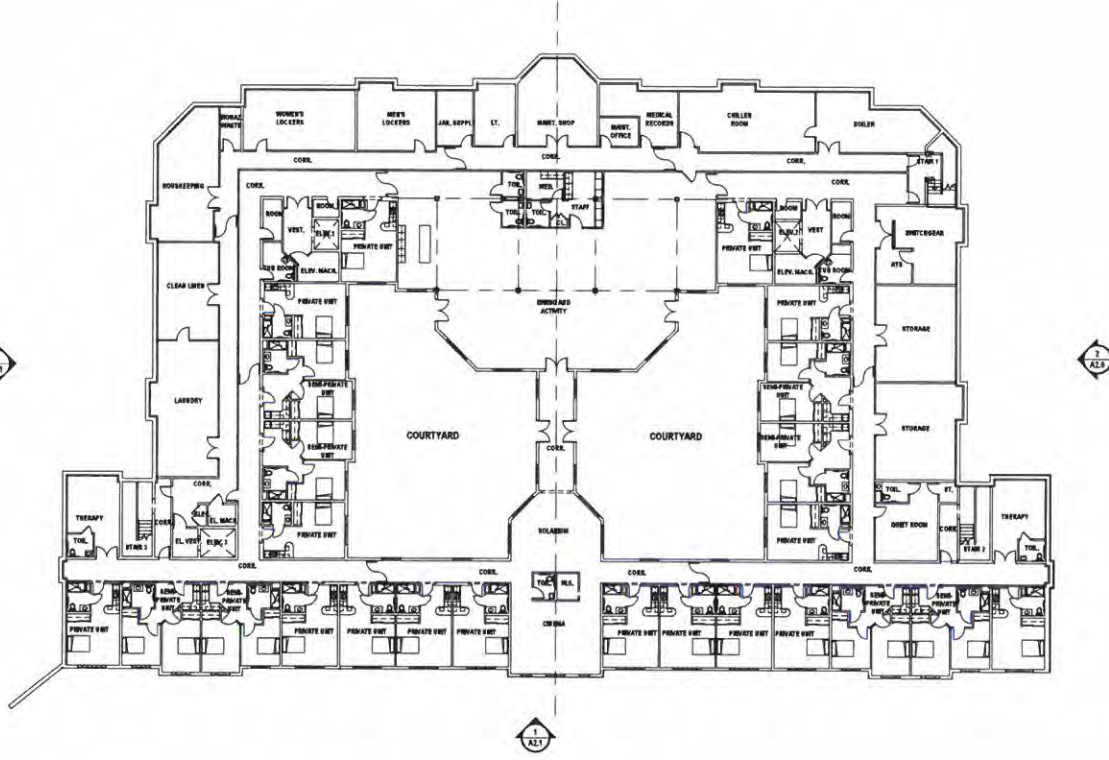
CONTRACT

STATUS **REGULATORY REVIEW**

SHEET TITLE **BASEMENT FLOOR PLAN**

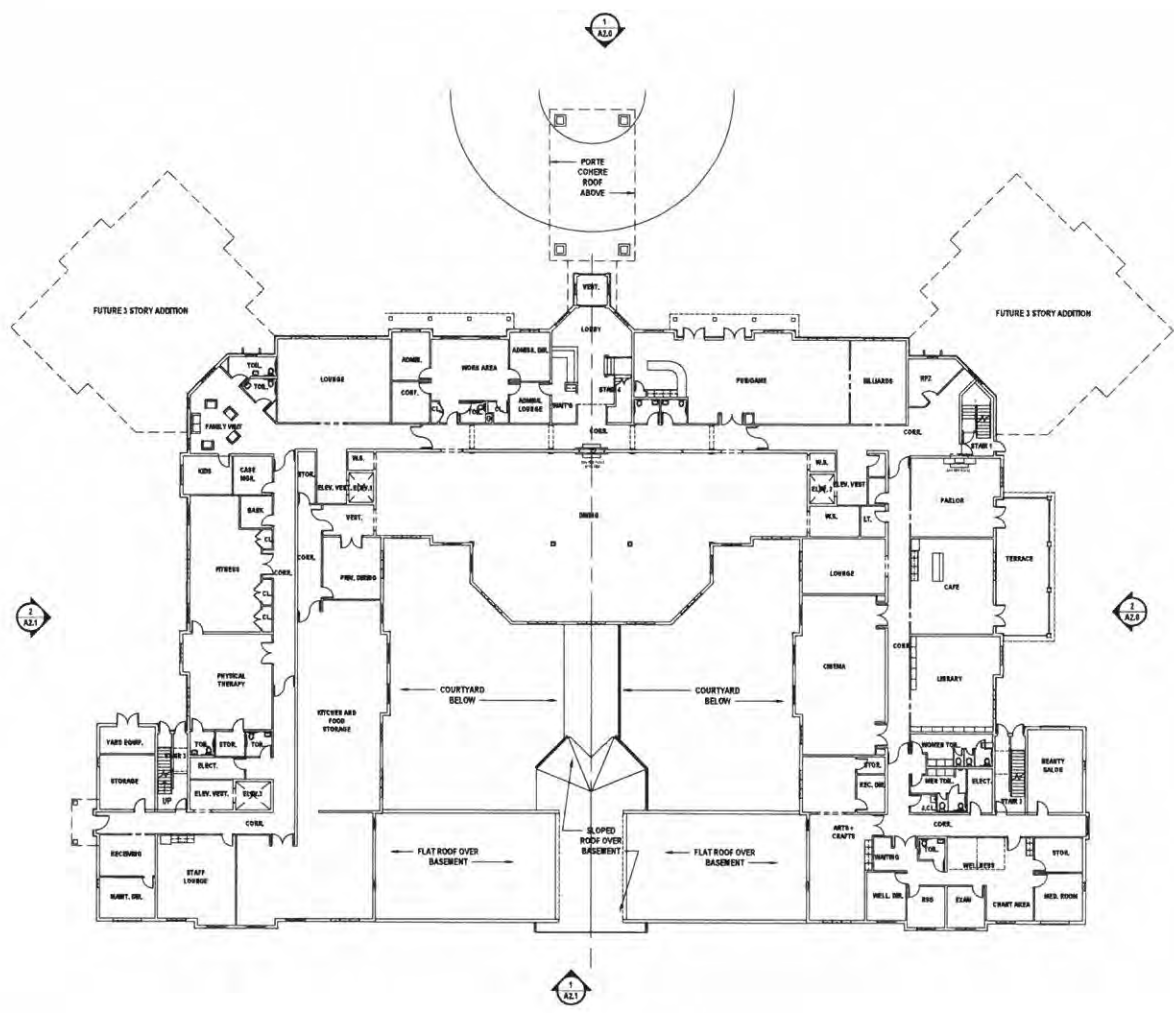
FIGURE NO. **A1.0**

SHEET NO. **100**

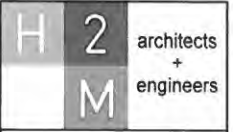


**1** Basement Floor Plan  
SCALE: 1/8" = 1'-0"

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1 First Floor Plan  
 SCALE 1/8" = 1'-0"  
 NORTH



538 Broad Hollow Road, 4th Floor East  
 Melville, NY 11767  
 631.764.8000 • www.h2m.com

MARK	DATE	DESCRIPTION
	6-20-19	Planning Board Submission

DESIGNED BY	DRAWN BY	AUTHOR	TRACER BY	INCHES BY
PHL1902		JUNE 2019		AS SHOWN

**FISHKILL REALTY GROUP LLC**

BRAEMAR LIVING AT CARMEL  
 NEW ASSISTED LIVING RESIDENCE

LOT 2, MINOR SUBDIVISION FOR  
 HINCKLEY HOLDINGS, LLC  
 SEMINARY HILL ROAD  
 CARMEL, NEW YORK

CONTRACT:

STATUS: REGULATORY REVIEW

SHEET TITLE: FIRST FLOOR

A1.1

1 OF 100

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REVISIONS:

MARK	DATE	DESCRIPTION

MARK	DATE	DESCRIPTION
	6-26-19	Planning Board Submission

DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
NAAM	Author		
FILED 1902	JUNE 2019		AS SHOWN

**FISHKILL REALTY GROUP LLC**

**BRAEMAR LIVING AT CARMEL  
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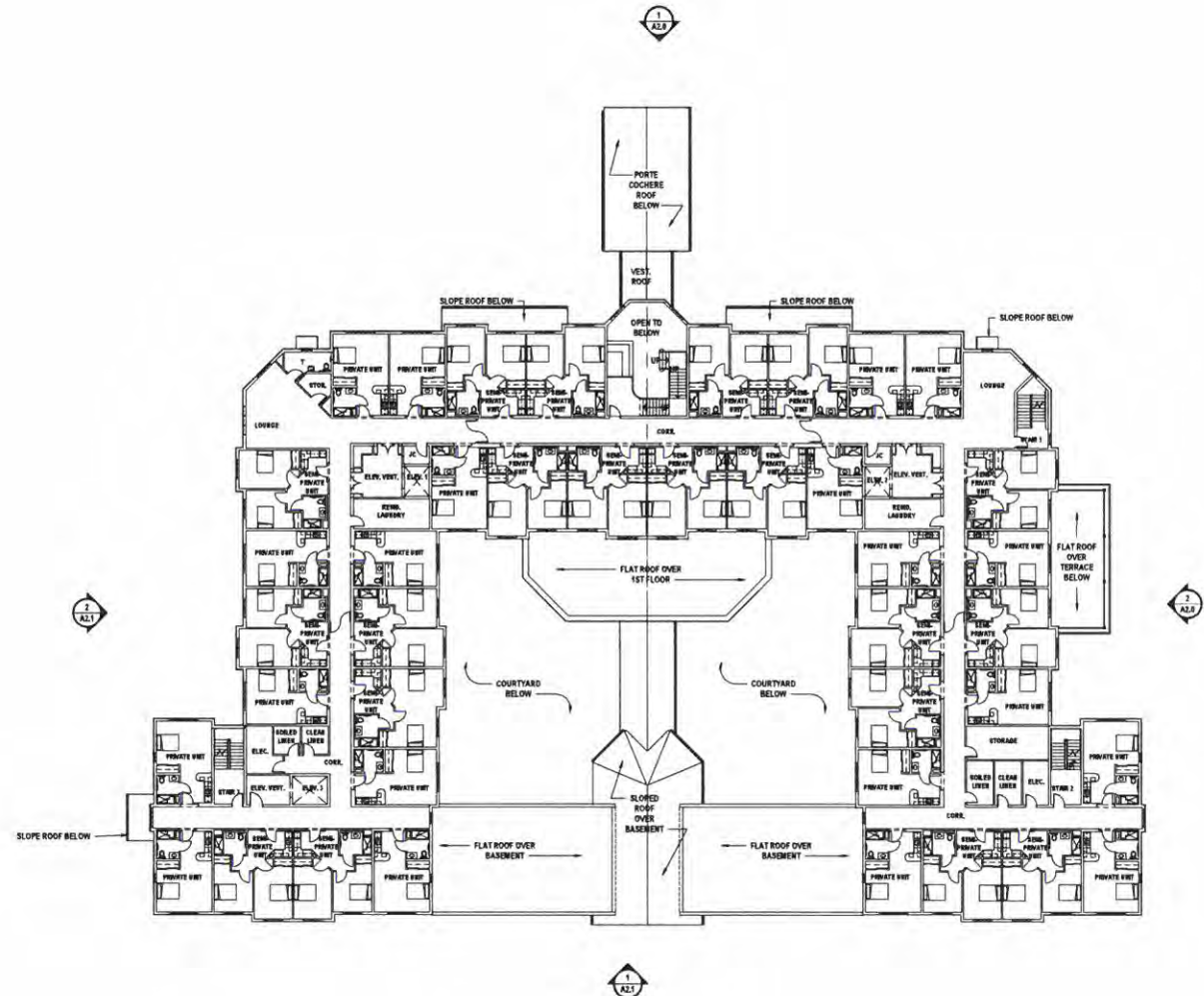
LOT 2, MINOR SUBDIVISION FOR  
HINKLEY HOLDINGS, LLC  
SEMINARY HILL ROAD  
CARMEL, NEW YORK

CONTRACT:

STATUS: **REGULATORY REVIEW**

SHEET TITLE: **SECOND FLOOR PLAN**

SCALE: **A1.2**



**1 Second Floor Plan**  
SCALE: 1/8" = 1'-0"



COMMENTS

MARK	DATE	DESCRIPTION
	5-26-19	Planning Board Submission

DESIGNED BY	DRAWN BY	AUTHOR	PROJECT NO.	SCALE	DATE	STATUS
BAAM					JUNE 2019	AS SHOWN
FILED TO	FILED BY	DATE	FILED AT	FILED BY		
PLB1902						

**FISHKILL REALTY GROUP LLC**

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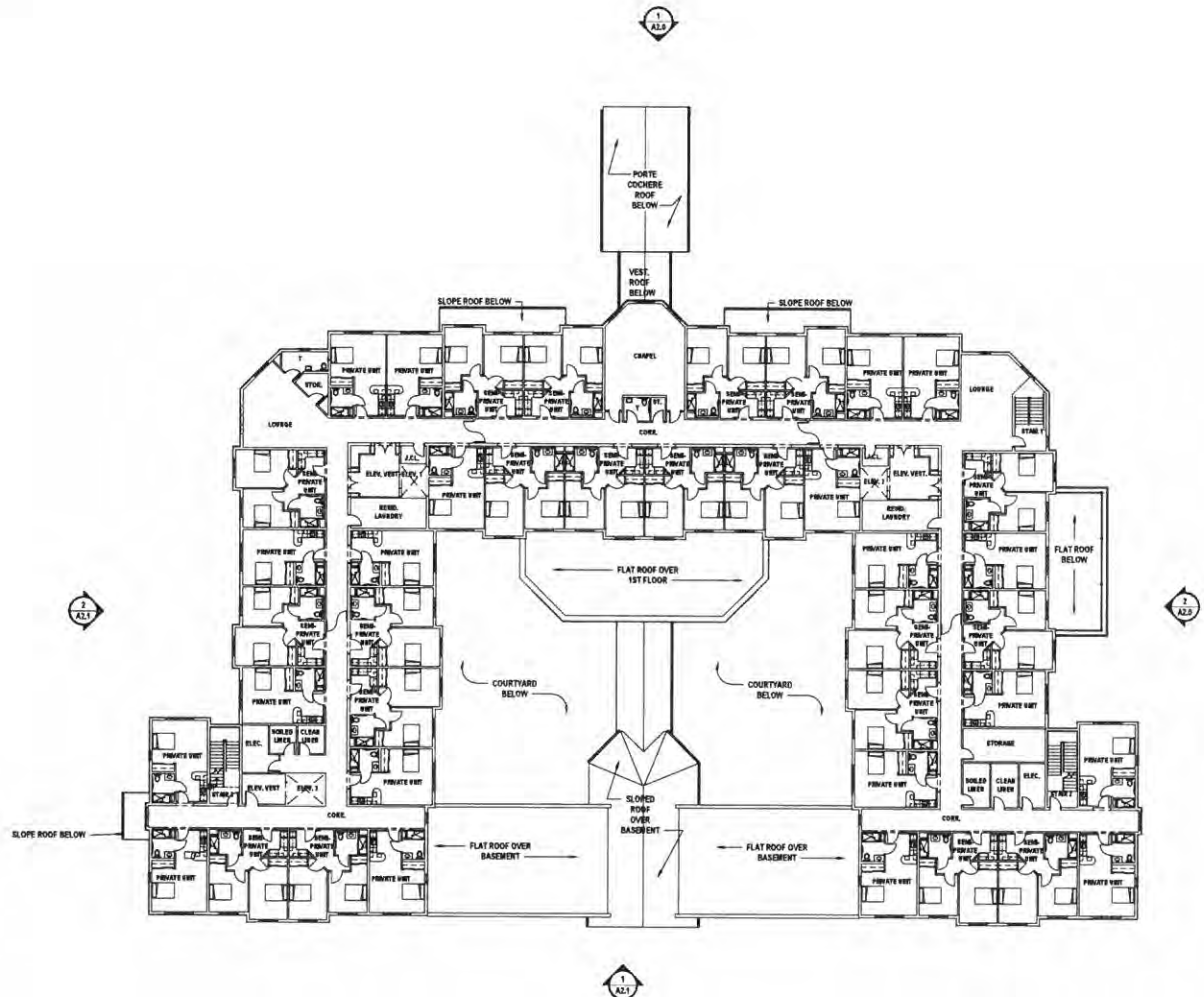
CONTRACT

STATUS: **REGULATORY REVIEW**

SHEET TITLE: **THIRD FLOOR PLAN**

PROJECT NO.: **A1.3**

SCALE: 1/8" = 1'-0"



**1 Third Floor Plan**  
SCALE: 1/8" = 1'-0"

CONTRACT NO.

MARK	DATE	DESCRIPTION
	6-26-19	Planning Board Submission

DESIGNED BY	DRAWN BY	CHECKED BY	DATE	SCALE
MAM	LWS, BKR		JUNE 2019	AS SHOWN

**FISHKILL REALTY GROUP LLC**

BRAEMAR LIVING AT CARMEL  
 NEW ASSISTED LIVING RESIDENCE

LOT 2, MINOR SUBDIVISION FOR  
 HINCKLEY HOLDINGS, LLC  
 SEMINARY HILL ROAD  
 CARMEL, NEW YORK

CONTRACT

STATUS: **REGULATORY REVIEW**

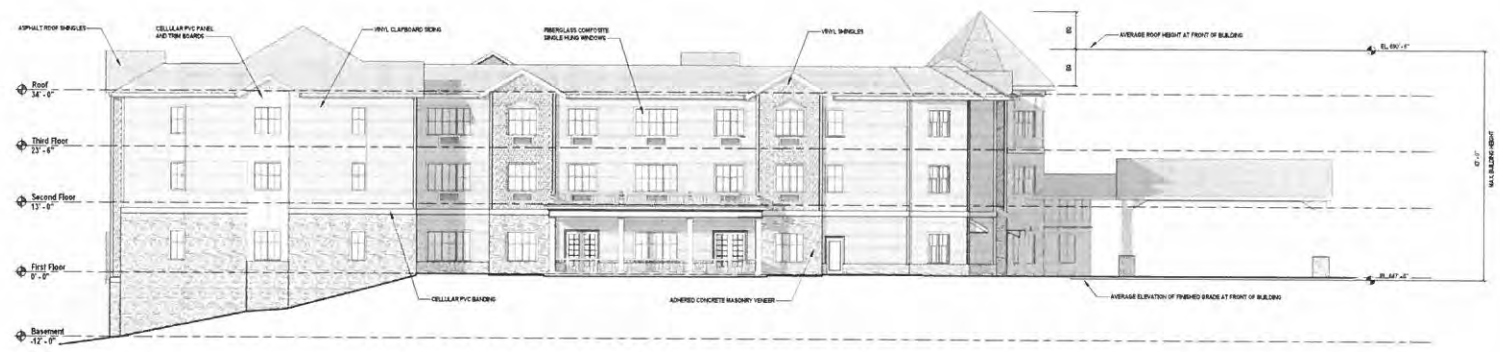
SHEET TITLE: **BUILDING ELEVATIONS**

DRAWING NO.: **A2.0**

SHEET NO.: **100**



**1 Building West Elevation**  
 SCALE: 3/32" = 1'-0"



**2 Building North Elevation**  
 SCALE: 3/32" = 1'-0"

REVISIONS

NO.	DATE	DESCRIPTION

MARK	DATE	DESCRIPTION
	6-26-19	Planning Board Submission

DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

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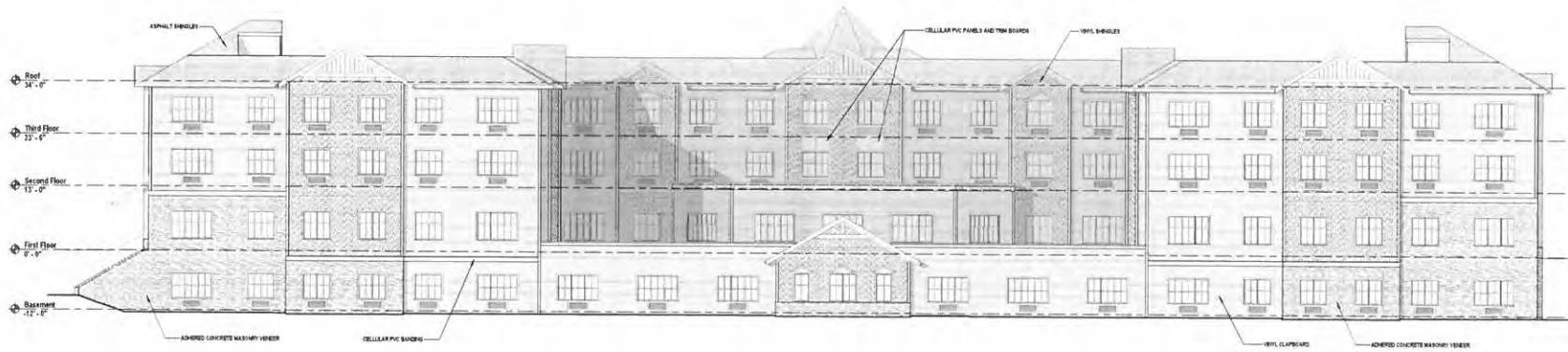
CONTRACT

STATUS: **REGULATORY REVIEW**

SHEET TITLE: **BUILDING ELEVATIONS**

PROJECT NO: **A2.1**

SHEET NO: **100**



① Building East Elevation  
SCALE: 3/32" = 1'-0"



② Building South Elevation  
SCALE: 3/32" = 1'-0"





P.O. Box 1071 | Poughkeepsie, NY | 12602-1071

hvfcu.org

July 2, 2019

Via US Mail

Mr. Craig Paeper, Chair  
Town of Carmel Planning Board  
60 McAlpin Avenue  
Mahopac, NY 10541

Re: Hudson Valley Federal Credit Union  
152 Route 6  
Bond Return Request

Dear Chairman Paeper,

As the improvements to the Hudson Valley Federal Credit Union branch located at 152 Route 6 are complete, request is respectfully made to return the underlying Site Improvement Bond to my attention at Hudson Valley Federal Credit Union.

Should you have any questions regarding this request, please contact the undersigned.

Best regards,

A handwritten signature in black ink, appearing to read "Scott VanZandt", is written over a circular stamp or seal.

Scott VanZandt  
CFO  
845.463.3011 ext. 3110  
[Vanzs@hvfcu.org](mailto:Vanzs@hvfcu.org)

Cc: Ms. Rose Trombetta, Secretary (via email only)  
Mr. Scott Bridie, Turner Construction (via email only)



June 28, 2019

Mr. Craig Paeprer, Chairman  
Town of Carmel Planning Board  
60 McAlpin Ave  
Mahopac, NY 10541

Re: Tompkins Recycling  
60 Old Route 6  
Carmel, NY  
T.M. 55.11-1-15

Dear Chairman Paeprer and Members of the Board:

Site Plan Extension was granted to 70 Old Route 6, LLC for the Tompkins Recycling Project on December 13, 2017 for a period of one year. That approval has lapsed and we request that the Board consider a reapproval of the project at this time.

The project has finally received the N.Y.S.D.E.C. Solid Waste Permit (February 8, 2019) and Wetland Permits (January 25, 2019). The Carmel ECB permit is effective until December 2019. The N.Y.C.D.E.P. SWPPP approval is valid until March 2022.

Sincerely,

PUTNAM ENGINEERING, PLLC

A handwritten signature in black ink, appearing to read 'Paul M. Lynch', written over a horizontal line.

Paul M. Lynch, P.E.

PML/rrm

LO1775