

ROBERT LAGA  
*Chairman*

NICHOLAS FANNIN  
*Vice Chairman*

RICHARD FRANZETTI, P.E.  
*Wetland Inspector*

ROSE TROMBETTA  
*Secretary*

**TOWN OF CARMEL**  
**ENVIRONMENTAL CONSERVATION BOARD**



60 McAlpin Avenue  
Mahopac, New York 10541  
Tel. (845) 628-1500 - Ext. 190  
[www.ci.carmel.ny.us](http://www.ci.carmel.ny.us)

**BOARD MEMBERS**

Edward Barnett  
Anthony Federice  
Nicole Sedran

**ENVIRONMENTAL CONSERVATION BOARD AGENDA**

**AUGUST 5, 2021 – 7:30 P.M.**

**EXTENSION OF WETLAND PERMIT**

<b><u>APPLICANT</u></b>	<b><u>ADDRESS</u></b>	<b><u>TAX MAP #</u></b>	<b><u>COMMENTS</u></b>
1. 70 Old Route 6 LLC (Formerly Tompkins Recycling)	70 Old Route 6	55.11-1-15	Re-development of Existing Property

**SUBMISSION OF APPLICATION OR LETTER OF PERMISSION**

2. Roa, Frank	96 West Lake Blvd	75.7-3-14	Install Inground Pool
3. G&F Subdivision, Gateway & The Fairways	2054 Route 6, Carmel	55.-2-24.5, 55.-2-24.6-1 55.-2-24.7-2 & 55.-2-24.8-2	Disturbance Associated With Grading and Stormwater Management & Assoc. Activities

**ESCROW RETURN**

4. Chang, George	21 Frederick St.	64.19-1-57	Replace Existing House & Driveway
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**MISCELLANEOUS**

5. Minutes – 07/01/21 & 07/15/21



July 12, 2021

Mr. Robert Laga, Chairman  
Town of Carmel ECB  
60 McAlpin Avenue  
Mahopac, NY 10541

Re: 70 Old Route 6 LLC  
Formerly Tompkins Recycling Center  
70 Old Route 6  
T.M. 55.-11-1-15 (?)

Dear Chairman Laga and Members of the Board:

Putnam Engineering, PLLC (P/E) has visited the site and can report that it has been cleaned up. Furthermore, the contaminated soil has been removed and disposed of. We have also put together copies of all permits, approvals and reports as requested at our last appearance before the Board.

Sincerely,

PUTNAM ENGINEERING, PLLC

A handwritten signature in black ink, appearing to read 'PML', written over a horizontal line.

Paul M. Lynch  
PML/rmm



**RESOLUTION OF THE  
PLANNING BOARD OF THE TOWN OF CARMEL**  
#13-10 May 8, 2013

Tax Map #55.11-1-15  
**TOMPKINS RECYCLING**  
**AMENDED FINAL SITE PLAN APPROVAL**

**WHEREAS**, an application for amended final site plan approval has been submitted by the Tompkins Recycling Facility, Inc., Carmel (hereinafter referred to as the “Applicant”); and

**WHEREAS**, the site is a 2.45 acre parcel of land located at 60 Old Route 6, Carmel, within C – Commercial Zoning District and is more specifically known and designated as Tax Map #55.11-1-15 (hereinafter referred to as the “Site”); and

**WHEREAS**, the proposal (hereinafter referred to as the “Project”) involves amendments to the final site plan approval granted on July 23, 2008, required to comply with the permit requirements of the NYSDEC and NYCDEP. The primary change involves the reduction in the square footage of the building from 25,000 square feet to 20,000 square feet, along with associated site improvements; and

**WHEREAS**, the Final Site Plan consists of the following drawings prepared by Putnam Engineering, Brewster, NY, dated October 12, 2006, last revised January 22, 2013:

G-100	Cover Sheet.
C-100	Restraint Map.
C-110	Existing Conditions Map.
C-120	Site Layout Plan.
C-130	Grading & Utilities Plan.
C-140	Excavation and Fill Plan for Wetland Buffer.
C-141	Erosion and Sediment Control Plan.
C-150	Landscaping and Sight Distance Plan.
C-160	Wetland Buffer Enhancement Plan and Soil Excavation and Fill Plan.
C-120	Profiles.
C-220	Profiles and Geometry Layout Plan.
C-310	Details.
C-320	Details.
C-330	Details.
C-340	Details.
A-110	Conceptual Building Plans.
A-120	Conceptual Building Elevations.

**WHEREAS**, on July 23, 2008, the Planning Board serving as Lead Agency, adopted a Negative Declaration, certifying that the proposed action would not result in any significant adverse environmental impacts.

**WHEREAS**, on June 28, 2007, the Zoning Board of Appeals granted the necessary variances to allow for the operation of this facility as proposed herein; and

**WHEREAS**, a public hearing was held pursuant to Section 276 of the Town Law on the proposed site plan at Town Hall, Mahopac. All persons wishing to speak on the application were provided an opportunity to be heard; and

**WHEREAS**, the Planning Board has considered the Amended Final Site Plan, and all other materials submitted by the Applicant in support of this proposal, the comments of Town staff and consultants made via memoranda to the Planning Board (which memoranda are incorporated herein by reference) the verbal commentary made during the entire course of the Planning Board's meetings pertaining to the review for Amended Final Site Plan approval and evaluation of the proposed action, and the comments of the public; and

**WHEREAS**, the requirements for final site plan approval contained in the Town of Carmel Zoning Ordinance have been met by said application for Amended Final Site Plan approval, with the exception of those items waived per §156-61 of the Town of Carmel Zoning Code; and

**NOW THEREFORE BE IT RESOLVED**, that the Planning Board finds that the Project has been reduced in scope and scale from the original 2008 site plan approval, and as such, the corresponding potential environmental impacts will be proportionally reduced. Therefore the findings of the SEQRA Negative Declaration adopted in 2008 remain applicable, and in effect.

**BE IT FURTHER RESOLVED** that the application of approval of the Amended Final Site Plan submitted by the Tompkins Recycling Facility, Inc., Carmel, as depicted on the plans identified above is hereby granted subject to the following conditions:

1. This Amended Final Site Plan approval authorizes the Applicant to undertake only the activities specifically set forth herein, in accordance with this resolution of approval and as delineated on the Amended Final Site Plan as endorsed by the Planning Board Chairman. *Any change in use, alteration or modification to the Amended Final Site Plan, or to the existing or approved facilities and site shall require the review and approval by the Planning Board of the Town of Carmel.*
2. The Applicant shall furnish the Planning Board with the required number of sets of the site plan as described above, for endorsement by the Planning Board Chairman, subject to the satisfaction of all approval conditions, which shall then be recorded as the approved Amended Final Site Plan:
3. No changes, additions, erasures, modifications or revisions shall be made to the Amended Final Site Plan following endorsement by the Planning Board Chairman. Any changes detected after endorsement of the Amended Final Site Plan as final, shall result in the

immediate termination and revocation of this resolution of approval, thereby making it null and void.

4. Authorized issuance of a Building Permit by the Building Inspector shall be fully based on, and in accordance with this resolution of approval and the signed and filed Amended Final Site Plan. The Building Inspector shall include reference to the Amended Final Site Plan and this resolution of approval on any Building Permit.
5. A performance bond, prepared in form to the satisfaction of the Planning Board Attorney, and in the amount of \$734,000.00 in accordance with the requirements set forth in §156-61 J of the Zoning Ordinance, shall be provided to assure the completion of all improvements.
6. An engineering inspection fee in the amount of \$36,700.00 in accordance with the requirements set forth in §156-61 J of the Zoning Ordinance shall be paid to the Town of Carmel.
7. The Applicant shall file an execute with the Putnam County Clerk a "*Stormwater Control Facility Maintenance Agreement*" as specified in §156-85 to assure the long term maintenance of the Site's stormwater treatment facilities.
8. No outdoor selling or displays shall be permitted.
9. All exterior lighting shall be downward directed and shall not result in light spilling off the site. Pole mounted lighting shall utilize cut-off, shielded luminaires.
10. All signage shall conform to the requirements of Section 156-41 of the Town of Carmel Zoning Ordinance.
11. All utilities shall be installed underground and in conformance with local codes and utility company requirements.
12. Signage shall be provided on Old Route 6 warning trucks of pedestrians walking dogs.
13. A 4' wide paved shoulder shall be provided along the Site frontage.
14. Privacy slats shall be added to the fence along Old Route 6.
15. An easement or some other form of permission found suitable by the Planning Board Attorney must be granted by the Town of Carmel to allow for disturbances on the adjacent land of Carmel Sewer District #2, to permit the construction of wetland mitigation areas.
16. A drainage easement for the pipe on the north side of the site shall be prepared in a form found suitable to the Planning Board Attorney, and recorded in the Office of the Putnam County Clerk.

17. This Project is conditioned upon compliance with, and is subject to the conditions of NYSDEC Freshwater Wetlands Permit #3-3720-00371/00002.
18. This Project is conditioned upon compliance with, and is subject to the conditions of NYSDEC Solid Waste Management Permit #3-3720-00371/00001, which includes the following conditions:
- The recycling facility shall accept only construction and demolition debris (C&D), and source separated recyclables, including uncontaminated cardboard and paper.
  - The facility may store up to 1,000 waste tires on the site in closed containers.
  - The amount C&D and recyclables shall not exceed 600 tons per day or 3,600 tons per week.
  - The facility may store up to 3,400 cubic yards or 850 tons or material inside the building at any one time.
  - The facility shall not accept hazardous wastes; liquid waste; sewage, sludge or septage; chemical or explosive wastes; industrial wastes; infectious or medical wastes; waste tires in bulk; yard waste or asbestos.
  - The facility may operate between 6:00 am – 7:00 pm Monday through Saturday.
  - The facility shall not operate on Sundays or on New York State designated holidays.
  - All processing shall occur within the building.
  - All waste passing through this facility shall be ultimately disposed of at a NYSDEC authorized facility.
  - All loaded incoming or outgoing vehicles shall be appropriately covered, enclosed or otherwise secured to prevent dust and blowing litter.

Additionally, the permit requires the applicant to undertake the following mitigation measures:

- The applicant shall regularly inspect the condition of off-site roads that are used for access, to determine if dirt, mud or litter from the facility has accumulated. If so, the applicant shall immediately clean up this condition.
- The facility must be operated to prevent dust, litter, vectors, noise and odors.



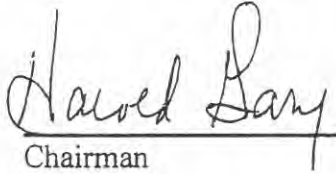
- The applicant shall annually submit a noise survey.
  - The applicant shall provide a weekly report on the leachate collection system.
  - The tipping floor shall be annually cleaned and inspected.
  - The applicant shall fund an on-site environmental monitor.
19. All building improvements shall be designed in accordance with all New York State Building Code requirements.
  20. The building design and architecture shall be reviewed and approved by the Architectural Review Board, prior to the issuance of a Building Permit.
  21. The hours of construction activity shall take place in conformance with the applicable Town Regulations.
  22. Prior to the initiation of any work at this Site, the Applicant or his representative shall meet with the design engineer, Town Engineer, Highway Superintendent, Building Inspector, Site Contractor and/or any additional outside agencies that may have jurisdiction over aspects of the Project for a preconstruction conference to review all facets of the proposed action and required inspections.
  23. A clean and legible copy of this Resolution (as signed by the Planning Board Chairman) and a copy of the signed Amended Final Site Plan shall be maintained at the subject property at all times.
  24. Prior to the issuance of a Certificate of Occupancy by the Building Inspector, an "As-Built" Plan showing the installed and completed improvements, certified by a New York State licensed Land Surveyor shall be prepared at the sole expense of the Applicant. Said As-Built Plan shall be provided to the Building Inspector, documenting satisfactory completion of all approved and authorized construction activities and zoning compliance.
  25. Failure to comply with any of the conditions set forth herein shall be deemed a violation of this approval, which may lead to the revocation of the Approval and/or Certificate of Occupancy, in accordance with the applicable provisions of the Town of Carmel.
  26. The applicant shall obtain all other applicable permits and approvals and shall pay all other fees as a part of the execution of the final site plan.

**BE IT FURTHER RESOLVED**, That this Amended Final Site Plan Approval shall remain valid for a period of one (1) year from the date of its approval. This Amended Final Site Plan

~~Approval shall become null and void on May 8, 2014, unless construction is commenced pursuant to an authorized Building Permit.~~

**BE IT FINALLY RESOLVED** that this Amended Final Site Plan approval resolution shall have an effective date of May 8, 2013.

**PLANNING BOARD  
TOWN OF CARMEL**

  
Chairman

5/8/13  
Dated:

*This Resolution Was Thereupon Duly Adopted*



**PERMIT**  
**Under the Environmental Conservation Law (ECL)**

**Permittee and Facility Information**

**Permit Issued To:**  
70 OLD ROUTE 6 LLC  
PO BOX 508  
BEDFORD, NY 10506-0508  
(914) 273-3377

**Facility:**  
TOMPKINS RECYCLING FACILITY  
60 OLD RTE 6  
CARMEL, NY

**Facility Location:** in CARMEL in PUTNAM COUNTY  
**Facility Principal Reference Point:** NYTM-E: 611.463 NYTM-N: 4585.667  
Latitude: 41°24'53.4" Longitude: 73°39'58.6"

**Project Location:** Freshwater Wetland LC-55 (Class II) - south side of Old Route 6

**Authorized Activity:**

Construct a construction and demolition (C & D) debris processing facility located partially within the 100 foot adjacent area of Freshwater Wetland LC-55 (Class II), including excavation, grading and filling to construct a 20,880 square foot processing building with paved access road and parking areas, truck scale house and scale, retaining wall and stormwater management facilities, in accordance with the plans referenced in Natural Resources Permit Condition No. 1 and as conditioned in this permit. The project includes enhancement of approximately 0.6 acre of wetland adjacent area with native wetland vegetation as mitigation.

Operation of the new C & D debris processing facility (Facility ID# 40-T-08) is authorized under Solid Waste Management Facility Permit No. 3-3720-00371/00001.

**Permit Authorizations**

**Freshwater Wetlands - Under Article 24**

Permit ID 3-3720-00371/00002

Renewal

Effective Date: 1/25/2019

Expiration Date: 12/4/2022



**NYSDEC Approval**

By acceptance of this permit, the permittee agrees that the permit is contingent upon strict compliance with the ECL, all applicable regulations, and all conditions included as part of this permit.

Permit Administrator: SCOTT BALLARD, Deputy Regional Permit Administrator  
Address: NYSDEC Region 3 Headquarters  
21 S Putt Corners Rd  
New Paltz, NY 12561

Authorized Signature:

Date 1/27/19

**Distribution List**

- P. Lynch, PE - Putnam Engineering, PLLC  
Town of Carmel Planning Board  
PCHD
- M. Usai/M. Galasso - NYCDEP (Valhalla)
- J. Annicelli - 70 Old Route 6, LLC
- B. Drumm, Habitat Protection Manager
- D. Pollock, DMM
- G. Tompkins - Tompkins Recycling Facility

**Permit Components**

NATURAL RESOURCE PERMIT CONDITIONS

GENERAL CONDITIONS, APPLY TO ALL AUTHORIZED PERMITS

NOTIFICATION OF OTHER PERMITTEE OBLIGATIONS

**Permit Attachments**

Permit Sign





**NATURAL RESOURCE PERMIT CONDITIONS - Apply to the Following  
Permits: FRESHWATER WETLANDS**

**1. Conformance With Plans** All activities authorized by this permit must be in strict conformance with the approved plans submitted by the applicant or applicant's agent as part of the permit application. Such approved plans were prepared by Putnam Engineering, PLLC, dated 10/14/08 with revisions through 4/10/12, including:

A. Drawing Nos. C-001 to C-011 (11 sheets).

B. Drawing Nos. G-100, C-100 to C-160, C-210, C-220, C-310 to C-340 (15 sheets).

**2. Sediment & Erosion Controls** Prior to the start of construction, all erosion and sediment controls shall be installed as shown on approved plan No. C-141. All erosion and sediment controls, as well as any accumulated silt or sediment, shall be entirely removed upon completion of work for disposal at an appropriate upland location.

**3. Written Authorization Required From Adjacent Property Owner** Written authorization from the Carmel Central Sewer District (or current property owner) for access to, and to perform permitted work on, the property located west of the subject parcel shall be provided to the Department prior to commencing any disturbance with the wetland or the 100' adjacent area.

**4. Remediation of Contaminated Soil** The following applies to remediation of site soils and debris removal operations:

A. All automotive parts and contaminated soil shall be removed from the "small peninsula area of historic debris in the northwest portion of the site" as discussed in *Wetland and Buffer Restoration Notes* on Drawing C-160 and in Stage 3 of the *Excavation and Fill Plan for Wetland Buffer* found on Drawing C-140.

B. The site shall be restored as shown on Drawing C-160.

C. Documentation shall be submitted to the Department within 60 days of completion of this portion of the authorized work, including a written description and photographs of the work as it is being performed, and also documentation of final site conditions after completion.

**5. Excavation, Remediation & Debris Removal** All excavation and remediation of contamination shall be completed as shown on Drawing Nos. C-140, C-141, C-150, and C-160, all of which were last revised April 10, 2012. Removal of debris and fallen trees shall be limited specifically to the hatched area shown on Drawing C-160.

**6. Disturbance to be Limited** All disturbance within the wetland and adjacent area must be limited to the areas shown on approved plans.

**7. DEC Notification Required** The permittee must provide notification to the Department at least 48 hours prior to the start of construction activities affecting Freshwater Wetland LC-55 or its 100 foot adjacent area. Such notification shall be provided via electronic mail to Brian Drumm, Habitat Protection Manager, at this web address: [brian.drumm@dec.ny.gov](mailto:brian.drumm@dec.ny.gov).

**8. Precautions Against Contamination of Waters** All necessary precautions shall be taken to preclude contamination of any wetland or waterway by suspended solids, sediments, fuels, solvents, lubricants, epoxy coatings, paints, concrete, leachate or any other environmentally deleterious materials associated with the project.



**9. Post Permit Sign** The permit sign enclosed with this permit shall be posted in a conspicuous location on the worksite and adequately protected from the weather.

**10. No Turbid Discharges** No turbid water resulting from dewatering operations shall be discharged directly to or allowed to enter Freshwater Wetland LC-55 or Michael Brook. Such turbid water shall be pumped to upland vegetated areas, settling basins, or other suitable device(s) for control of turbidity prior to discharge to surface waters or wetlands.

**11. Remove Excess Materials and Construction Debris** Any debris or excess materials from construction of this project shall be immediately and completely removed from the 100 foot adjacent area of Freshwater Wetland LC-55 to an appropriate off-site disposal location.

**12. Stabilize Disturbed Areas** All areas of soil disturbance resulting from this project shall be seeded with an appropriate perennial grass and mulched with hay or straw within one week of final grading. Mulch shall be maintained until a suitable vegetative cover is established.

**13. State Not Liable for Damage** The State of New York shall in no case be liable for any damage or injury to the structure or work herein authorized which may be caused by or result from future operations undertaken by the State for the conservation or improvement of navigation, or for other purposes, and no claim or right to compensation shall accrue from any such damage.

**14. State May Order Removal or Alteration of Work** If future operations by the State of New York require an alteration in the position of the structure or work herein authorized, or if, in the opinion of the Department of Environmental Conservation it shall cause unreasonable obstruction to the free navigation of said waters or flood flows or endanger the health, safety or welfare of the people of the State, or cause loss or destruction of the natural resources of the State, the owner may be ordered by the Department to remove or alter the structural work, obstructions, or hazards caused thereby without expense to the State, and if, upon the expiration or revocation of this permit, the structure, fill, excavation, or other modification of the watercourse hereby authorized shall not be completed, the owners, shall, without expense to the State, and to such extent and in such time and manner as the Department of Environmental Conservation may require, remove all or any portion of the uncompleted structure or fill and restore to its former condition the navigable and flood capacity of the watercourse. No claim shall be made against the State of New York on account of any such removal or alteration.

**15. State May Require Site Restoration** If upon the expiration or revocation of this permit, the project hereby authorized has not been completed, the applicant shall, without expense to the State, and to such extent and in such time and manner as the Department of Environmental Conservation may lawfully require, remove all or any portion of the uncompleted structure or fill and restore the site to its former condition. No claim shall be made against the State of New York on account of any such removal or alteration.



**GENERAL CONDITIONS - Apply to ALL Authorized Permits:**

**1. Facility Inspection by The Department** The permitted site or facility, including relevant records, is subject to inspection at reasonable hours and intervals by an authorized representative of the Department of Environmental Conservation (the Department) to determine whether the permittee is complying with this permit and the ECL. Such representative may order the work suspended pursuant to ECL 71- 0301 and SAPA 401(3).

The permittee shall provide a person to accompany the Department's representative during an inspection to the permit area when requested by the Department.

A copy of this permit, including all referenced maps, drawings and special conditions, must be available for inspection by the Department at all times at the project site or facility. Failure to produce a copy of the permit upon request by a Department representative is a violation of this permit.

**2. Relationship of this Permit to Other Department Orders and Determinations** Unless expressly provided for by the Department, issuance of this permit does not modify, supersede or rescind any order or determination previously issued by the Department or any of the terms, conditions or requirements contained in such order or determination.

**3. Applications For Permit Renewals, Modifications or Transfers** The permittee must submit a separate written application to the Department for permit renewal, modification or transfer of this permit. Such application must include any forms or supplemental information the Department requires. Any renewal, modification or transfer granted by the Department must be in writing. Submission of applications for permit renewal, modification or transfer are to be submitted to:

Regional Permit Administrator  
NYSDEC Region 3 Headquarters  
21 S Putt Corners Rd  
New Paltz, NY12561

**4. Submission of Renewal Application** The permittee must submit a renewal application at least 30 days before permit expiration for the following permit authorizations: Freshwater Wetlands.



**5. Permit Modifications, Suspensions and Revocations by the Department** The Department reserves the right to exercise all available authority to modify, suspend or revoke this permit. The grounds for modification, suspension or revocation include:

- a. materially false or inaccurate statements in the permit application or supporting papers;
- b. failure by the permittee to comply with any terms or conditions of the permit;
- c. exceeding the scope of the project as described in the permit application;
- d. newly discovered material information or a material change in environmental conditions, relevant technology or applicable law or regulations since the issuance of the existing permit;
- e. noncompliance with previously issued permit conditions, orders of the commissioner, any provisions of the Environmental Conservation Law or regulations of the Department related to the permitted activity.

**6. Permit Transfer** Permits are transferrable unless specifically prohibited by statute, regulation or another permit condition. Applications for permit transfer should be submitted prior to actual transfer of ownership.

## NOTIFICATION OF OTHER PERMITTEE OBLIGATIONS

### **Item A: Permittee Accepts Legal Responsibility and Agrees to Indemnification**

The permittee, excepting state or federal agencies, expressly agrees to indemnify and hold harmless the Department of Environmental Conservation of the State of New York, its representatives, employees, and agents ("DEC") for all claims, suits, actions, and damages, to the extent attributable to the permittee's acts or omissions in connection with the permittee's undertaking of activities in connection with, or operation and maintenance of, the facility or facilities authorized by the permit whether in compliance or not in compliance with the terms and conditions of the permit. This indemnification does not extend to any claims, suits, actions, or damages to the extent attributable to DEC's own negligent or intentional acts or omissions, or to any claims, suits, or actions naming the DEC and arising under Article 78 of the New York Civil Practice Laws and Rules or any citizen suit or civil rights provision under federal or state laws.

### **Item B: Permittee's Contractors to Comply with Permit**

The permittee is responsible for informing its independent contractors, employees, agents and assigns of their responsibility to comply with this permit, including all special conditions while acting as the permittee's agent with respect to the permitted activities, and such persons shall be subject to the same sanctions for violations of the Environmental Conservation Law as those prescribed for the permittee.



**Item C: Permittee Responsible for Obtaining Other Required Permits**

The permittee is responsible for obtaining any other permits, approvals, lands, easements and rights-of-way that may be required to carry out the activities that are authorized by this permit.

**Item D: No Right to Trespass or Interfere with Riparian Rights**

This permit does not convey to the permittee any right to trespass upon the lands or interfere with the riparian rights of others in order to perform the permitted work nor does it authorize the impairment of any rights, title, or interest in real or personal property held or vested in a person not a party to the permit.

**Item E: SEQR Type II Action, Renewal** Under the State Environmental Quality Review Act (SEQR), the Department of Environmental Conservation has determined that this permit is a renewal where there will be no material change in permit conditions or the scope of permitted activities and is therefore a Type II Action and not subject to further procedures under this law.



# NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Division of Environmental Permits, Region 3  
21 South Platt Corners Road, New Paltz, NY 12561-1620  
P: (845) 256-3054 | F: (845) 255-4659  
www.dec.ny.gov

## IMPORTANT NOTICE TO ALL PERMITTEES

The permit you requested is enclosed. Please read it carefully and note the conditions that are included in it. The permit is valid for only that activity expressly authorized therein; work beyond the scope of the permit may be considered a violation of law and be subject to appropriate enforcement action. Granting of this permit does not relieve the permittee of the responsibility of obtaining any other permission, consent or approval from any other federal, state, or local government which may be required.

Please note the expiration date of the permit. Applications for permit renewal should be made well in advance of the expiration date (minimum of 30 days) and submitted to the Regional Permit Administrator at the above address. For SPDES, Solid Waste and Hazardous Waste Permits, renewals must be made at least 180 days prior to the expiration date.

The DEC permit number & program ID number noted on page 1 under "Permit Authorization" of the permit are important and should be retained for your records. These numbers should be referenced on all correspondence related to the permit, and on any future applications for permits associated with this facility/project area.

If a permit notice sign is enclosed, you must post it at the work site with appropriate weather protection, as well as a copy of the permit per General Condition 1.

If the permit is associated with a project that will entail construction of new water pollution control facilities or modifications to existing facilities, plan approval for the system design will be required from the appropriate Department's regional Division of Water or delegated local Health Department, as specified in the State Pollutant Discharge Elimination System (SPDES) permit.

If you have any questions on the extent of work authorized or your obligations under the permit, please contact the staff person indicated below or the Division of Environmental Permits at the above address.

*SB*  
Scott Ballard  
Deputy Regional Permit Administrator  
Region 3  
Telephone (845) 256-2250

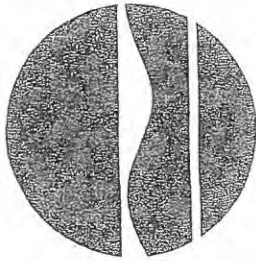
- Applicable only if checked. Please note all work authorized under this permit is prohibited during trout spawning season commencing October 1 and ending April 30.
- Applicable only if checked for STORMWATER SPDES INFORMATION: We have determined that your project requires coverage under the General Stormwater SPDES Permit. You must file a Notice of Intent to obtain coverage under the General Permit. This form can be downloaded at: <http://www.dec.ny.gov/chemical/43133.html>
- Applicable only if checked - MS4 Areas: This site is within an MS4 area (Municipal Separate Storm Sewer System), therefore the SWPPP must be reviewed and accepted by the municipality. The MS-4 Acceptance Form must be submitted in addition to the Notice of Intent.

Send the completed form(s) to: NYS DEC, Stormwater Permitting, Division of Water, 625 Broadway, Albany, New York 12233-3505; in addition, DEC requests that you provide one electronic copy of the approved SWPPP directly to NYS DEC, 100 Hillside Avenue - Suite 1W, White Plains, NY 10603-2860.

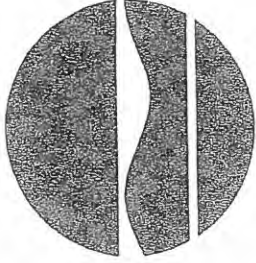


Department of  
Environmental  
Conservation

New York State  
Department of Environmental Conservation



# NOTICE



The Department of Environmental Conservation (DEC) has issued permit(s) pursuant to the Environmental Conservation Law for work being conducted at this site. For further information regarding the nature and extent of work approved and any Department conditions on it, contact the DEC at 845/256-3054. Please refer to the permit number shown when contacting the DEC.

Permittee: 70 Old Rt. 6, LLC Permit No. 3-3720-01371/2

Effective Date: 1/25/19 Expiration date: 12/4/2022

Applicable if checked. No instream work allowed between October 1 & April 30

NOTE: This notice is **NOT** a permit.



June 11, 2018

Mr. Paul M. Lynch, P.E.  
Putnam Engineering, PLLC  
4 Old Route 6  
Brewster, NY 10509

Via email: [plynch@putnameng.com](mailto:plynch@putnameng.com)

**Vincent Sapienza**  
Acting Commissioner

Re: Tompkins Recycling Facility:  
*Stormwater Pollution Prevention Plan*  
60 Old Route 6  
Town of Carmel  
Tax Map #55.11-1-15  
DEP Log # 2006-CF-1110.SP.1

**Paul V. Rush, P.E.**  
Deputy Commissioner  
Bureau of Water Supply  
[prush@dep.nyc.gov](mailto:prush@dep.nyc.gov)

Dear Mr. Lynch:

465 Columbus Avenue  
Valhalla, NY 10595  
T: (845) 340-7800  
F: (845) 334-7175

This letter is in reference to the March 29, 2012 Stormwater Pollution Prevention Plan (SWPPP) approval issued by the New York City Department of Environmental Protection (DEP) for the above-referenced regulated activity.

DEP received your January 9, 2018 letter requesting a renewal of the SWPPP approval and several subsequent submissions through May 10, 2018 detailing required the transfer of ownership of the property and the associated SWPPP. Upon review and in accordance with Section 18-23(a)(1) of the Watershed Regulations, DEP grants a ten (10) year renewal of the SWPPP approval subject to the conditions noted in the August 2007 Determination. This renewal is valid until March 29, 2022.

A copy of this letter and the SWPPP Determination must be available at the project site during construction.

If you have any questions, please do not hesitate to contact me at (914) 749 – 5265.

Sincerely,

Mary P. Galasso  
Supervisor  
Stormwater Programs EOH



c: George Vignogna, 70 Old Route 6 LLC, owner, [jannicelli@verizon.net](mailto:jannicelli@verizon.net)  
Rose Trombetta, (T) Carmel Planning, [rtrombetta@ci.carmel.ny.us](mailto:rtrombetta@ci.carmel.ny.us)  
Richard Franzetti, P.E., (T) Carmel Engineering, [rjf@ci.carmel.ny.us](mailto:rjf@ci.carmel.ny.us)  
Natalie Browne, NYSDEC, [natalie.browne@dec.ny.gov](mailto:natalie.browne@dec.ny.gov)

New York State Department of Environmental Conservation  
Division of Water  
625 Broadway, 4<sup>th</sup> Floor  
Albany, New York 12233-3505

**MS4 Stormwater Pollution Prevention Plan (SWPPP) Acceptance Form**  
For  
Construction Activities Seeking Authorization Under SPDES General Permit GP-0-08-001  
\*(NOTE: Attach Completed Form to Notice Of Intent and Submit to Address Above

<b>I. Project Owner/Operator Information</b>	
1. Owner/Operator Name:	<i>Tompkins Recycling Facility, Inc.</i>
2. Contact Person	<i>James Tompkins</i>
3. Street Address:	<i>60 Old Route 6</i>
4. City/State/Zip:	<i>Carmel, NY 10512</i>
<b>II. Project Site Information</b>	
5. Project Site Name:	<i>Tompkins Recycling Facility</i>
6. Street Address:	<i>60 Old Route 6</i>
7. City/State/Zip:	<i>Carmel, NY 10512</i>
<b>III. Stormwater Pollution Prevention Plan (SWPPP) Review and Acceptance Information</b>	
8. SWPPP Reviewed by:	<i>Ronald J. Gainer., P.E.</i>
9. Title/Position:	<i>Town of Carmel Engineer</i>
10. Date Final SWPPP Reviewed and Accepted:	<i>March 30, 2012</i>
<b>IV. Regulated MS4 Information</b>	
11. Name of MS4:	<i>Town of Carmel</i>
12. MS4 SPDES Permit Identification Number:	<i>NYR20A 294</i>
13. Contact Person:	<i>Ronald J. Gainer., P.E.</i>
14. Street Address:	<i>60 McAlpin Ave</i>
15. City/State/Zip:	<i>Mahopac, NY 10541</i>
16. Telephone Number:	<i>845-628-1500</i>

(NYSDEC – MS4 SWPP Acceptance Form – January 2010)

## MS4 SWPPP Acceptance Form - continued

### V. Certification Statement – MS4 Official (principal executive officer or ranking elected official) or Duly Authorized Representative

I hereby certify that the final Stormwater Pollution Prevention Plan (SWPPP) for the construction project identified in question 5 has been reviewed and meets the substantive requirements in the SPDES General Permit For Stormwater Discharges from Municipal Separate Storm Sewer Systems (MS4s).

Note: The MS4, through the acceptance of the SWPPP, assumes no responsibility for the accuracy and adequacy of the design included in the SWPPP. In addition, review and acceptance of the SWPPP by the MS4 does not relieve the owner/operator of their SWPPP preparer of responsibility or liability for errors or omissions in the plan.

Printed Name: *Ronald J. Gainer, P.E.*

Title/Position: *Town of Carmel Engineer*

Signature:

*Ronald J. Gainer, P.E.*

Date:

*March 30, 2012*

### VI. Additional Information



F  
8062

April 10, 2012

Ms. Toni Cioffi  
New York State Department of Environmental Conservation  
Division of Water  
Bureau of Water Permits, 4<sup>th</sup> Floor  
625 Broadway  
Albany, NY 12233-3505

Re: Tompkins Recycling Facility, Inc.  
60 Route 6  
Carmel, NY 10512  
NYR10Q049

Dear Ms. Cioffi:

The Tompkins Recycling Facility Inc. received coverage under General Permit GP-0-08-001.

I am sending you the MS4 SWPPP Acceptance Form for the subject project.

If any additional information is needed, please call me at this office.

Sincerely,

PUTNAM ENGINEERING, PLLC

A handwritten signature in black ink, appearing to read 'Bozena J. Kierych', is written over a horizontal line.

Bozena J. Kierych

BJK/tal  
Enc



# Federal Emergency Management Agency

Washington, D.C. 20472

orig: R. Fianzetti  
cc: FEMA/Anne ✓  
7/28RC

July 24, 2014

THE HONORABLE KENNETH SCHMITT  
SUPERVISOR, TOWN OF CARMEL  
60 MCALPIN AVENUE  
MAHOPAC, NY 10541

**CASE NO.:** 14-02-1753C  
**COMMUNITY:** TOWN OF CARMEL, PUTNAM  
COUNTY, NEW YORK  
**COMMUNITY NO.:** 360669

DEAR MR. SCHMITT:

This is in reference to a request that the Federal Emergency Management Agency (FEMA) determine if the property described in the enclosed document is located within an identified Special Flood Hazard Area, the area that would be inundated by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood), on the effective National Flood Insurance Program (NFIP) map. Using the information submitted and the effective NFIP map, our determination is shown on the attached Conditional Letter of Map Revision based on Fill (CLOMR-F) Comment Document. This comment document provides additional information regarding the effective NFIP map, the legal description of the property and our comments regarding this proposed project.

Additional documents are enclosed which provide information regarding the subject property and CLOMR-Fs. Please see the List of Enclosures below to determine which documents are enclosed. Other attachments specific to this request may be included as referenced in the Determination/Comment document. If you have any questions about this letter or any of the enclosures, please contact the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, LOMC Clearinghouse, 847 South Pickett Street, Alexandria, VA 22304-4605.

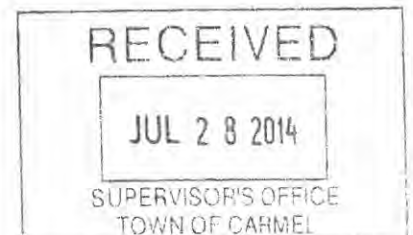
Sincerely,

Luis Rodriguez, P.E., Chief  
Engineering Management Branch  
Federal Insurance and Mitigation Administration

**LIST OF ENCLOSURES:**

CLOMR-F COMMENT DOCUMENT

cc: Mr. Bozena Kierych





# Federal Emergency Management Agency

Washington, D.C. 20472

## CONDITIONAL LETTER OF MAP REVISION BASED ON FILL COMMENT DOCUMENT

COMMUNITY AND MAP PANEL INFORMATION		LEGAL PROPERTY DESCRIPTION
COMMUNITY	TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK	A parcel of land, as described in the Deed, recorded in Liber 1613, Page 626, in the Office of the County Clerk, Putnam County, New York (TMI: 55.11-1-15).  The portion of the property is more particularly described by the following metes and bounds:
	COMMUNITY NO.: 360669	
AFFECTED MAP PANEL	NUMBER: 36079C0141E DATE: 3/4/2013	

FLOODING SOURCE: MICHAEL BROOK	APPROXIMATE LATITUDE & LONGITUDE OF PROPERTY: 41.415, -73.667 SOURCE OF LAT & LONG: GOOGLE EARTH PRO DATUM: NAD 83
--------------------------------	--------------------------------------------------------------------------------------------------------------------------

COMMENT TABLE REGARDING THE PROPOSED PROPERTY (PLEASE NOTE THAT THIS IS NOT A FINAL DETERMINATION. A FINAL DETERMINATION WILL BE MADE UPON RECEIPT OF AS-BUILT INFORMATION REGARDING THIS PROPERTY.)

LOT	BLOCK/SECTION	SUBDIVISION	STREET	OUTCOME WHAT WOULD BE REMOVED FROM THE SFHA	FLOOD ZONE	1% ANNUAL CHANCE FLOOD ELEVATION (NAVD 88)	LOWEST ADJACENT GRADE ELEVATION (NAVD 88)	LOWEST LOT ELEVATION (NAVD 88)
--	--	--	60 Old Route 6	Portion of Property	X (shaded)	360.4 feet	--	360.5 feet


**Special Flood Hazard Area (SFHA)** - The SFHA is an area that would be inundated by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood).

ADDITIONAL CONSIDERATIONS (Please refer to the appropriate section on Attachment 1 for the additional considerations listed below.)

LEGAL PROPERTY DESCRIPTION  
PORTIONS REMAIN IN THE FLOODWAY  
CONDITIONAL LOMR-F DETERMINATION

This document provides the Federal Emergency Management Agency's comment regarding a request for a Conditional Letter of Map Revision based on Fill for the property described above. Using the information submitted and the effective National Flood Insurance Program (NFIP) map, we have determined that the proposed described portion(s) of the property(ies) would not be located in the SFHA, an area inundated by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood) if built as proposed. Our final determination will be made upon receipt of a copy of this document, as-built elevations, and a completed Community Acknowledgement form. Proper completion of this form certifies the subject property is reasonably safe from flooding in accordance with Part 65.5(a)(4) of our regulations. Further guidance on determining if the subject property is reasonably safe from flooding may be found in FEMA Technical Bulletin 10-01. A copy of this bulletin can be obtained by calling the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or from our web site at <http://www.fema.gov/mit/tb1001.pdf>. This document is not a final determination; it only provides our comment on the proposed project in relation to the SFHA shown on the effective NFIP map.

This comment document is based on the flood data presently available. The enclosed documents provide additional information regarding this request. If you have any questions about this document, please contact the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, LOMC Clearinghouse, 847 South Pickett Street, Alexandria, VA 22304-4605.

  
 Luis Rodriguez, P.E., Chief  
 Engineering Management Branch  
 Federal Insurance and Mitigation Administration





# Federal Emergency Management Agency

Washington, D.C. 20472

## CONDITIONAL LETTER OF MAP REVISION BASED ON FILL COMMENT DOCUMENT

### ATTACHMENT 1 (ADDITIONAL CONSIDERATIONS)

#### LEGAL PROPERTY DESCRIPTION (CONTINUED)

BEGINNING at a point in the southerly side of the public highway known as Old Route 6, running from Carmel toward Brewster, which point is the southeastern corner of lands of now or formerly O'Connor, and running from said point along the southwesterly side line of said highway

S 24° 19' 00" E 91.09'

to the TRUE POINT OF BEGINNING

THENCE, southwesterly, through lands of Tompkins Recycling Facility, Inc. the following distances:

S 80° 47' 50" W 11.38 feet

S 31° 04' 25" W 9.84 feet

to the point on paved yard having elevation 359.50

THENCE, through the lands of Tompkins Recycling Facility, Inc. along USGS elevation 359.50

S 17° 28' 42" E 65.70 feet

THENCE, on a tangent curve to the right, having radius 12.00 feet, distance of 26.01 feet.

THENCE, through the same lands of Tompkins Recycling Facility, Inc. along USGS elevation 359.50 the following distances:

N 73° 16' 34" W 94.21 feet

S 29° 55' 50" W 25.70 feet

to the retaining wall located on the land of Tompkins Recycling Facility, Inc.;

THENCE, along center of the said retaining wall, the following distances:

S 29° 55' 50" W 33.69 feet

S 14° 00' 36" W 5.69 feet

S 24° 19' 00" E 111.61 feet

THENCE, on a tangent curve to the left, having radius 99.5 feet, distance 6.58 feet

THENCE, continuing along center of the said retaining wall, the following distances:

S 28° 06' 30" W 323.73 feet

N 61° 55' 36" E 108.93 feet

THENCE, along the driveway curb N 61° 55' 36" E 6.51 feet

THENCE, along said curb, on a tangent curve to the left, having radius 50.00 feet, distance of 19.00 feet

THENCE along the same curb N 40° 09' 16" E 8.00 feet

THENCE, on a tangent curve to the right, having radius 32.00 feet, distance of 29.12' to the point on southerly side of Old Route 6


THENCE, northwesterly, along said Old Route 6

N 28° 06' 30" W 317.27 feet

N 24° 19' 00" W 161.90 feet

to the point of TRUE BEGINNING

This attachment provides additional information regarding this request. If you have any questions about this attachment, please contact the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, LOMC Clearinghouse, 847 South Pickett Street, Alexandria, VA 22304-4605.

  
Luis Rodriguez, P.E., Chief  
Engineering Management Branch  
Federal Insurance and Mitigation Administration



# Federal Emergency Management Agency

Washington, D.C. 20472

## CONDITIONAL LETTER OF MAP REVISION BASED ON FILL COMMENT DOCUMENT

### ATTACHMENT 1 (ADDITIONAL CONSIDERATIONS)

#### **PORTIONS OF THE PROPERTY REMAIN IN THE FLOODWAY (This Additional Consideration applies to the preceding 1 Property.)**


A portion of this property is located within the Special Flood Hazard Area and the National Flood Insurance Program (NFIP) regulatory floodway for the flooding source indicated on the Determination/Comment Document while the subject of this determination is not. The NFIP regulatory floodway is the area that must remain unobstructed in order to prevent unacceptable increases in base flood elevations. Therefore, no construction may take place in an NFIP regulatory floodway that may cause an increase in the base flood elevation, and any future construction or substantial improvement on the property remains subject to Federal, State/Commonwealth, and local regulations for floodplain management. The NFIP regulatory floodway is provided to the community as a tool to regulate floodplain development. Modifications to the NFIP regulatory floodway must be accepted by both the Federal Emergency Management Agency (FEMA) and the community involved. Appropriate community actions are defined in Paragraph 60.3(d) of the NFIP regulations. Any proposed revision to the NFIP regulatory floodway must be submitted to FEMA by community officials. The community should contact either the Regional Director (for those communities in Regions I-IV, and VI-X), or the Regional Engineer (for those communities in Region V) for guidance on the data which must be submitted for a revision to the NFIP regulatory floodway. Contact information for each regional office can be obtained by calling the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or from our web site at <http://www.fema.gov/about/regoff.htm>.

#### **CONDITIONAL LOMR-F DETERMINATION (This Additional Consideration applies to the preceding 1 Property.)**

Comments regarding this conditional request are based on the flood data presently available. Our final determination will be made upon receipt of this Comment Document, certified as-built elevations and/or certified as-built survey. Since this request is for a Conditional Letter of Map Revision based on Fill, we will also require the applicable processing fee, and the "Community Acknowledgement" form. Please note that additional items may be required before a final as-built determination is issued.

This letter does not relieve Federal agencies of the need to comply with Executive Order 11988 on Floodplain Management in carrying out their responsibilities and providing Federally undertaken, financed, or assisted construction and improvements, or in their regulating or licensing activities.

This attachment provides additional information regarding this request. If you have any questions about this attachment, please contact the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, LOMC Clearinghouse, 847 South Pickett Street, Alexandria, VA 22304-4605.

  
Luis Rodriguez, P.E., Chief  
Engineering Management Branch  
Federal Insurance and Mitigation Administration





**PERMIT**  
**Under the Environmental Conservation Law (ECL)**

**Permittee and Facility Information**

**Permit Issued To:**  
70 OLD ROUTE 6 LLC  
PO BOX 508  
BEDFORD, NY 10506-0508  
(914) 273-3377

**Facility:**  
TOMPKINS RECYCLING FACILITY  
60 OLD RTE 6  
CARMEL, NY

**Facility Location:** in CARMEL in PUTNAM COUNTY

**Facility Principal Reference Point:** NYTM-E: 611.463      NYTM-N: 4585.667  
Latitude: 41°24'53.4"      Longitude: 73°39'58.6"

**Project Location:** 70 Old Route 6 - w/in 100' Adjacent Area of FWW LC-55 (Class I)

**Authorized Activity:** Construction and Operation of a transfer station to accept construction and demolition debris (C&D), and source separated recyclables, in accordance with the plans and reports contained in the Special Conditions of this permit and as conditioned herein. The facility is authorized to accept construction and demolition debris (C&D), and source separated recyclables at a maximum combined rate of 600 TONS per DAY and 3,600 TONS per WEEK. The facility may store a maximum of 3,400 cubic yards, or 850 tons, of material inside the building at any one time.

**Permit Authorizations**

**Solid Waste Management - Under Article 27, Title 7**

Permit ID 3-3720-00371/00001

Modification # 0


Effective Date: 2/8/2019

Expiration Date: 2/7/2024

**NYSDEC Approval**

**By acceptance of this permit, the permittee agrees that the permit is contingent upon strict compliance with the ECL, all applicable regulations, and all conditions included as part of this permit.**

Permit Administrator: SCOTT BALLARD, Deputy Regional Permit Administrator  
Address:                   NYSDEC Region 3 Headquarters  
                                  21 S Putt Corners Rd  
                                  New Paltz, NY 12561

Authorized Signature: 

Date 2/8/19



**Distribution List**

P. Lynch, PE - Putnam Engineering, PLLC  
G. Tompkins - Tompkins Recycling  
J. Annicelli, PE  
M. Usai/M. Galasso - NYCDEP (Valhalla)  
PCHD  
Town of Carmel Planning Board  
D. Pollock, DMM (ecc)  
Z. Cogon, DMM (ecc)  
R. Clarkson, DMM (ecc)  
B. Drumm, BEH (ecc)

**Permit Components**

SOLID WASTE MANAGEMENT PERMIT CONDITIONS

GENERAL CONDITIONS, APPLY TO ALL AUTHORIZED PERMITS

NOTIFICATION OF OTHER PERMITTEE OBLIGATIONS



## SOLID WASTE MANAGEMENT PERMIT CONDITIONS

1. **Conformance With Plans** All activities authorized by this permit must be in strict conformance with the permit application, plans and materials prepared by Putnam Engineering, PLLC on October 14, 2008 with revisions through April 10, 2012. Approved plans are specified below in Solid Waste Facility Permit Condition No. 2.
  2. **New Construction - APPROVED PLANS** For the new facility authorized by this permit, all construction shall be in strict conformance with the provisions of the special conditions of this permit; 6 NYCRR Part 360 regulations and any revisions hereafter promulgated; and, to the extent that they do not conflict with this permit and Part 360, the following plans and reports:
    - a) Engineering Report for a Construction and Demolition Debris Processing and Recyclables Handling and Recovery Facility, prepared for Tompkins Recycling Facility, Inc. by Putnam Engineering, dated December 10, 2008 (revised May 12, 2010, November 15, 2010, and April 10, 2012), signed and dated June 15, 2012 by Eshwar Kosuri, P.E.; and,
    - b) Engineering Plans, latest revision date of April 10, 2012, prepared by Putnam Engineering and stamped and signed by Paul Lynch, P.E., including:
      - Sheet C-001 Regional Map
      - Sheet C-002 Vicinity Map, Zoning
      - Sheet C-003 Site Layout Plan
      - Sheet C-004 Facility Plan
      - Sheet C-005 Design Vehicle Radius Plans
      - Sheet C-006 Process Flow Diagram
      - Sheet C-007 Test Boring and Groundwater Monitoring Plan
      - Sheet C-008 Grading and Utilities Plan
      - Sheet C-009 Evacuation Route Plan
      - Sheet C-010 Wetland Enhancement Buffer Plan, Soil Excavation and Fill Plan
      - Sheet C-011 Phase II Environmental Site Investigation Soil test Results;
- and,
- Sheet G-100 Cover Sheet
  - Sheet C-100 Restraint Map
  - Sheet C-110 Existing Conditions Plan
  - Sheet C-120 Site Layout Plan
  - Sheet C-130 Grading and Utilities Plan
  - Sheet C-140 Excavation and Fill Plan for Wetland Buffer
  - Sheet C-141 Erosion and Sediment Control Plan
  - Sheet C-150 Landscape and Sight Distance Plan
  - Sheet C-160 Wetland Enhancement Buffer Plan, Soil Excavation and Fill Plan
  - Sheet C-210 Profiles
  - Sheet C-220 Profiles and Geometry Layout Plan
  - Sheet C-310 Details



Sheet C-320 Details  
Sheet C-330 Details  
Sheet C-340 Details.

The above documents supersede all previously approved plans for the facility.

At least ninety (90) days prior to commencement of any new construction, including subsequent phases, the permittee shall submit to the Department for its review and approval, engineering plans prepared by an individual who is licensed to practice engineering in the State of New York. Except for emergency repairs, no construction shall commence until written approval is received from the Department. All construction activities at this site must be supervised by an individual licensed to practice engineering in the State of New York.

**3. Plans and Specifications** All construction shall be in strict conformance with engineering plans and specifications prepared by a professional engineer (PE) licensed to practice in New York State, and any revisions to those plans and reports which are approved in writing by the Department.

#### **APPROVED DOCUMENTS**

**4. Approved or Relevant Documents** The facility shall be operated in conformance with the following approved or relevant plans and documents, to the extent they do not conflict with 6 NYCRR Part 360 Solid Waste Management Facilities Regulations and this permit:

a) *Permit Application for Construction and Demolition Debris Processing and Recyclables Handling and Recovery Facility*, submitted under 6 NYCRR Part 360, prepared for Tompkins Recycling Facility, Inc. by Putnam Engineering, dated December 10, 2008 (revised May 12, 2010, November 15, 2010, and April 10, 2012), signed and dated June 15, 2012 by Eshwar Kosuri, P.E., including the following components:

- Permit Application
- Record of Compliance
- Engineering Report
- Operation and Maintenance Manual
- Contingency Plan
- Waste Control Plan
- Personnel Training Plan
- Closure Plan
- Engineering Plans.

The above documents supersede all previously approved reports for the facility.



## SUBMISSIONS, APPROVALS, and NOTIFICATIONS

**5. Part 360 Compliance** The facility must operate in conformance and compliance with 6 NYCRR Part 360 Solid Waste Management Facilities Regulations (Part 360) or any revisions hereafter promulgated and any State law, rule, code, or regulation; and, the special and general conditions of this permit.

Failure of the permittee to meet any of the terms and conditions of this permit is a violation of Part 360 and may subject the permittee to enforcement action.

**6. Facility Compliance** Initial issuance or renewal of this permit shall not be construed as a determination by the Department that the facility is in compliance with applicable regulations or with the permit conditions. That determination will be made by the Department by means of periodic facility inspections and compliance audits.

## AUTHORIZED WASTE and OPERATIONS

**7. Acceptable Wastes** The facility shall accept only construction and demolition debris (C&D), as defined by 6 NYCRR Part 360. The permittee may also accept and handle source separated recyclables including uncontaminated cardboard and paper, provided it is adequately controlled so as to prevent litter, odor and vector problems, and is stored inside or in covered containers to prevent exposure to the elements.

The facility is prohibited from accepting asbestos waste as defined in 360.2(b)(117). However, C&D debris which contains minor amounts of non-friable asbestos and which is not categorized as asbestos waste, may be accepted but may not be pulverized, shredded, ground, or handled in any manner that causes the material to become airborne or friable.

The facility is not authorized to accept tires in bulk, but may accept tires which are incidental to incoming loads of construction and demolition debris (C&D). The tires shall be separated from the MSW and stored separately in enclosed containers prior to shipment to a facility authorized to accept bulk tires. The permittee may store up to 1,000 waste tires on site in closed containers.

**8. Tonnage Limits** The Permittee is authorized to accept construction and demolition debris (C&D), and source separated recyclables at a maximum combined rate of 600 TONS per DAY and 3,600 TONS per WEEK. The facility may store a maximum of 3,400 cubic yards, or 850 tons, of material inside the building at any one time.

**9. Unacceptable Wastes** The permittee is prohibited from accepting hazardous waste; liquid waste; sewage sludge or septage; chemical or explosive wastes; or industrial wastes as defined in 6 NYCRR 360 and/or Part 371; infectious or medical wastes as defined in Public Health Law 1389-aa and Environmental Conservation Law Article 27 Section 1501; waste tires in bulk; yard wastes; or asbestos waste; unless authorized in writing by the RMME.







14. **Vehicles** All loaded incoming and outgoing vehicles must be appropriately covered, enclosed, or otherwise secured, so as to prevent dust and blowing litter. The permittee shall deny entry to any vehicle that does not comply with this condition.

Outbound loaded vehicles may be stored outside during and after operating hours provided leachate is collected from the vehicles and the vehicles remained covered. All loaded vehicles must be removed no later than the close of the next business day.

15. **C&D and Recyclables from C&D** All processed C&D and recyclables culled from C&D must be transported in accordance with 6 NYCRR Part 361-5. All C&D and recyclables culled from C&D must be tracked using the Department's Tracking Form or a form that has received written Department approval.

All C&D (processed and unprocessed) and recyclables culled from C&D must be managed and stored in accordance with 6 NYCRR Part 361-5. All unprocessed and processed C&D must be processed and stored in areas with appropriate leachate collection systems having monitorable secondary containment. Recyclables recovered from the C&D debris and source-separated recyclables cannot be stored onsite for more than sixty (60) days unless prior written approval has been granted by the Regional Materials Management Engineer (RMME). All recovered material(s) must be stored in a manner approved by the Department.

## MITIGATION of IMPACTS

16. **Tracking** The permittee shall regularly inspect the condition of off-site roads which provide immediate access to and from the facility, to determine if dirt, mud or litter from the facility or from vehicles using the facility is being deposited thereon. The permittee shall take such steps as may be necessary (including, but not limited to, paving of on-site access roads) to prevent such conditions or to correct them promptly if they develop. The actual site shall also be regularly inspected and cleaned of all debris and dirt.

17. **Nuisance Conditions** The operation of the facility must be conducted in such a manner that dust, litter, vectors, noise, and odors do not cause a nuisance condition or pose a threat to the health and safety. Any operational changes deemed necessary by the Department to correct nuisance conditions must be implemented, including immediate cessation of all or part of the facility's operation.

18. **Noise** At least once a year, the permittee shall conduct a noise survey to determine compliance with 6 NYCRR Part 360.19(j). The survey shall be carried out by an individual with expertise in noise analysis. The report must be submitted to the Department within thirty days of when the data has been obtained. In addition to what is required in Part 360 and the Department's noise guidance document, this report shall also contain the raw data, including any interference that may have been observed during the data collection process (for example, cars passing by) and the operational conditions of the facility(equipment, trucks, etc.).

If it is demonstrated that site conditions make noise impacts on the surrounding community unlikely, the permittee may petition the Department to waive annual monitoring. If a waiver is granted, the noise survey must be conducted upon renewal of the permit. The Department reserves the option to reinstitute the annual noise survey requirement if, at its sole discretion, the Department determines that conditions at the site have changed and the waiver is no longer justified.



## FACILITY MAINTENANCE

**19. Leachate Collection** All interstitial spaces, secondary containment systems, overflow protection systems, leachate collection/conveyance systems, and the overall condition of the above ground tank and sumps must be inspected and recorded on a weekly basis.

All leachate collection components must be kept unobstructed and free draining at all times. Leachate must be collected and properly disposed from all waste hauling trailers stored onsite. In the event of an overflow of the collection tanks, operations will cease until they are pumped out, washed down, cleared of debris, or otherwise repaired. Leachate must not be allowed to overflow the collection sump within the load-out trailer tunnel.

Reports of the weekly inspections and the quantities of leachate removed, as well as the final destination for leachate disposal, must be maintained at the facility for at least seven years and be available for Department review at the facility.

**20. Tipping Floor** Annually, the facility tipping floor shall be emptied of all material and cleaned to allow inspection by a Professional Engineer (PE) to determine its condition. This inspection shall be done on a schedule approved by the Department, and shall occur in the same month of each succeeding year. The facility may change the month of the floor inspection providing that the time elapsed between inspections does not exceed twelve (12) months. A report must be submitted to the Department, complete with photographs, within thirty (30) days of the floor inspection describing any results and any problems encountered. In the report, the permittee shall describe what action, if any, is proposed to address any concerns found. The permittee will take whatever measures are necessary to prevent the release of contaminants (including leachate) into the environment, including but not limited to cessation of waste handling in the affected areas. The Department reserves the right to have the facility clean the tipping floor at any time for inspection if it is suspected the integrity of the floor might be questionable.

**21. Walls** The receiving facility building walls shall be cleaned a minimum of once a year.

## CONSTRUCTION REQUIREMENTS

**22. Notifications** The permittee must notify the Department in writing and five (5) days prior to commencement of any construction, including subsequent phases of a construction project, to provide the Department with an opportunity to observe and inspect the construction.

**23. Certification** A Construction Certification Report signed, stamped and certified by a professional engineer (PE) licensed to practice in the State of New York, must be submitted to the Department within forty-five (45) days after completion of any construction. The construction certification report must certify that the construction was completed in accordance with the PE certified plans and/or reports and in compliance with all applicable 6 NYCRR Part 360 regulations. As-built drawings of the new construction and the entire facility, as well as photographs, shall be submitted to the Department as part of the Report. Operation of the facility cannot begin until the Department has reviewed an acceptable construction certification report as described above and has provided written approval to the permittee.





**24. Assignment** Pursuant to part 360.20, the permittee shall fund an on-site environmental monitor (OSEM). Department employees shall act as OSEMs at the facility. The OSEM shall be present during all aspects of facility operation and construction at times designated by the Department. It is not the intention of this condition to prevent the permittee from conducting such activities as are otherwise authorized by this permit if the OSEM is unable to be present at any particular time.

**25. Facilities** The permittee shall provide office space which shall at a minimum include a desk, chair, phone, internet connection, and any other appropriate office equipment required by the OSEM to undertake normal duties. This office space and equipment must be acceptable to the Department.

## **ENVIRONMENTAL MONITOR**

### **26. Environmental Monitor Conditions**

A. Upon written notification, the Permittee shall fund environmental monitoring services to be performed by or on behalf of the Department. These monitoring services will include, but not be limited to, the scope of work in an annual environmental monitoring work plan which is incorporated by reference and enforceable under this Permit.

B. The Permittee shall provide to the Department on an annual basis the funds necessary to support the activities set forth in the annual environmental monitoring work plan. The sum to be provided will be based on the annual budgeted amount and is subject to annual revision. Subsequent annual payments shall be made for the duration of this Permit or until the environmental monitoring services are no longer necessary, whichever comes first.

C. The Permittee shall be billed annually, prior to the start of each State Fiscal Year (SFY) (April 1). If this Permit is to first become effective subsequent to April 1, the initial bill will be for an amount sufficient to meet the anticipated cost of the environmental monitoring services through the end of the current SFY.

D. The Department may revise the required annual bill on an annual basis to include all of the Department's estimated costs associated with the environmental monitoring services. The annual revision may take into account such factors as inflation, salary increases, changes in the fringe benefits rate, changes in operating hours and procedures, changes in non-personal service costs (including travel, training, sampling and analytical, and equipment costs, etc.), an increase or decrease in the level of environmental monitoring services necessary, and an increase or decrease in the number of environmental monitors. Upon written request by the Permittee, the Department shall provide the Permittee with a written explanation of the basis for any revisions.

E. Prior to making its annual payment, the Permittee will receive, and have an opportunity to review, an annual environmental monitoring work plan that the Department will undertake during the year.

F. Payments are to be made in advance of the period in which they will be expended and shall be made in full within 30 days of receiving a bill from the Department. The bill from the Department to the Permittee will provide information regarding to whom payments should be made payable and the address to which payments should be sent.



G. Failure to make the required payments shall be a violation of this Permit. The Department reserves all rights to take appropriate action to enforce the above payment provisions.

H. The environmental monitor shall, when present at any of the Permittee facilities, abide by all of the Permittee health and safety and operational requirements and policies, if such requirements and policies exist and provided they are not inconsistent with Department policies and labor management contracts, and further provided, however, that this shall not be construed as limiting the environmental monitor's powers as otherwise provided for by law and shall not result in the environmental monitor being afforded less protection than otherwise provided to the environmental monitor by State and Federal health and safety requirements.

I. The environmental monitor shall receive from the Permittee all general and site-specific safety training which is normally given to new facility/site employees for all areas of the facility or site. This training will be a supplement to the health and safety training that the environmental monitor receives from the Department.

J. Upon selection of the environmental monitor, the Permittee shall immediately furnish to the environmental monitor any facility/site health and safety and operational requirements and policies. Within five (5) days of any revision to the facility/site health and safety and operational requirements and policies, the Permittee shall furnish to the environmental monitor the health and safety and operational requirements and policies.

K. The environmental monitor shall be permitted to use environmental monitoring and data collection devices (e.g., photo ionization detectors, cameras, video recording devices, computers, cell phones, etc.) deemed necessary by the Department to evaluate and document observed conditions. Copies of the data or images collected from areas where confidentiality is a concern shall be provided to the Permittee upon their request. The Permittee may request the data and images be considered confidential information if appropriate.

L. It will remain the responsibility of the Permittee to contact the Spill Hotline or any Division within the Department regarding any required notification of any spill, release, exceedances etc. Notification to the environmental monitor will not be considered sufficient to replace any required notifications.

**27. Submissions** Unless otherwise specified, all submissions required by this permit shall be made as follows:

One paper copy and one digital copy on CD to:

Regional Materials Management Engineer  
Division of Materials Management – Region 3  
New York State Department of Environmental Conservation  
21 South Putt Corners Road  
New Paltz, New York, 12561-1620



One paper copy and one digital copy on CD to:

Bureau of Permitting and Planning  
Division of Materials Management  
New York State Department of Environmental Conservation  
625 Broadway, 9th Floor  
Albany, New York 12233-7258

**28. Approvals** All approvals required by this permit shall be obtained in writing from either the Regional Materials Management Engineer (RMME) or the Regional Permit Administrator (RPA), or their designees.

The permittee shall obtain prior approval from the Department for any new construction or work which will result in a modification of the facility or any component of the facility.

Prior approval is not required for the repair or replacement of a facility component provided that such repair or replacement does not result in a modification of the facility or any component of the facility and provided that the Department is notified in writing five (5) days prior to commencement of the repair or replacement work to allow Department oversight of the work.

Emergency or other repairs to facility components which result in a modification, as defined above, are undertaken at the risk of the permittee, unless prior approval is granted by the Department. The permittee shall restore the facility to its previously approved configuration, if directed to do so by the Department.

**29. Notifications** The permittee shall notify the Regional On-site Environmental Monitors Supervisor by telephone (845) 256-3138 or e-mail ([david.pollock@dec.ny.gov](mailto:david.pollock@dec.ny.gov)) **immediately** of any emergency situations, including fires, receipt of unauthorized waste, spills, a cessation of operation at the facility, liquid detected in any secondary containment system, or if any structure or component becomes damaged or malfunctions in any way. The notification shall describe the nature of the emergency, emergency actions taken or proposed, and the schedule for implementation of the emergency actions. These emergency incidents must be further documented in the facility's annual report.

Prior to performing any non-routine construction, monitoring, or maintenance activity, (except for emergency repairs), the RMMS shall be notified in writing at least five (5) business days in advance of such activity.



## REPORTS and RECORDS

**30. Permit and Plans** A copy of this permit, along with all documents mentioned in the special conditions and documents required by 6 NYCRR Part 360, must be available for inspection by NYSDEC, or the PUTNAM County Health Department, during operational hours at the project site.

The permittee shall make all facility employees familiar with the approved Operations & Maintenance Manual and Contingency Plan and have them available for ready reference on the site. The permittee shall provide copies of the approved plans to the PUTNAM County Health Department.

The facility shall have an individual(s) on site that is(are) sufficiently trained in the implementation of the Contingency Plan and is/are sufficiently trained in incident response. The permittee shall be responsible for making these documents available for non-English speaking employees whose primary language is other than English. These documents must be available to employees no later than sixty (60) days after the effective date of this permit and/or the start of a new employee with special language requirements.

**31. Updates** All reports, plans and manuals, unless otherwise specified in the permit application or special conditions, must be updated no less frequently than renewal of the permit to operate. The permittee must submit revised plans and reports at any time that such revisions are necessary to comply with revised 6 NYCRR Part 360 regulations and/or whenever the permittee is notified by the Department that revisions are necessary to comply with applicable 6 NYCRR Part 360 regulations, regardless of whether or not such plans or reports have been previously approved. All updated plans, manuals, and reports must be prepared, stamped and signed by a Professional Engineer licensed to practice engineering in the State of New York.

**32. Annual Report** An annual report shall be submitted no later than March 1 of each calendar year while this permit is in effect. The annual report must be prepared in accordance with Part 360.19(k)(3). The annual report must include a revised closure/post-closure cost estimate in accordance with Part 360. If closure costs have changed, an updated financial assurance mechanism and an updated standby trust agreement (if applicable) must be provided to the Department.

**33. Logs and Inspections** A daily log for receipt and transport of C&D debris, and source-separated recyclables shall be maintained in accordance with 6 NYCRR Part 360.19(k)(2) and be available for Department review. The daily log must contain, at a minimum: the date; name and signature of the individual recording the information; the quantity, description, and origin of C&D debris and recyclables received at the facility; the quantity and destination of recyclables sent from the facility by major category; and, the quantity and destination of C&D debris sent from the facility for disposal.

Any complaint received by the permittee about the operation of this facility must be documented in a complaint log book, with a description of action taken to alleviate the concern and the results of the action. Documentation must be available for review at the Department's request. The log must contain the date and time of the complaint, nature of the complaint, name of person (whether Department staff, resident, employees, etc.) reporting the complaint, weather conditions at time of complaint, the action taken to alleviate the condition, and the effectiveness of the actions taken.





All incoming waste and recyclables received at the facility must be inspected prior to acceptance and inspected again after tipping for unacceptable and/or unauthorized wastes. Inspections of random and/or suspicious loads must be recorded on a daily basis and must contain the date of the inspection; the signature of the individual recording the information; a description of the wastes; the type of unauthorized waste found (if applicable); and the final disposition of the unauthorized waste. Such records must be maintained at the site and be available for Department review.

All inspection logs, records and monitoring records shall be maintained on-site by the permittee for a period of seven years from the date of recording.

### **CHANGES in OWNERSHIP or MANAGEMENT**

**34. Transfer Process** Pursuant to 6 NYCRR Part 621, prior to a change in the owner(s) or the operator(s) of the facility, the permittee is required to submit for approval, on Department-approved forms, information needed by the Department to determine the fitness of the individual or company who will assume operation or ownership of the facility. The following requirements apply:

- a. If the permittee intends to contract with an individual or company to become a new operator of the facility, the permittee must notify the Department (Regional Materials Management Engineer) in writing at least thirty (30) days prior to the proposed change in operator and the proposed operator must submit a completed Record of Compliance (ROC) form.
- b. For a corporate permittee, whose stock is privately held, if there is any change in officers, principals, directors or stockholders of the permitted company, the permittee must notify the Department (Regional Materials Management Engineer, or RMME) at least thirty (30) days prior to this change and submit a completed ROC form for each officer, principal, etc. that is proposed to change.
- c. If an individual or another company acquires any or all of the stock of the permitted company, the stock buyer must notify the Department at least thirty (30) days prior to the proposed change in stock ownership and submit a completed ROC form. If the stock buyer is a non-publicly traded company, then any officer, principal, director or stockholder of the company acquiring the stock, as well as the company itself, must submit a completed ROC form. If the new stockholder is a publicly traded company, any stockholder of it who owns (or increases their stock ownership to) at least 25% of the publicly traded stock must submit a "30-day prior notification" and a completed ROC form to the Department.





## FINANCIAL ASSURANCE

**35. Instrument** In accordance with 6 NYCRR Part 360.22 of this title, the permittee shall maintain with the Department a form of Financial Assurance acceptable to the Department, in the amount of **\$180,480** for closure and post-closure monitoring of this facility. Such financial document shall clearly state any expiration date assigned by the financial institution or permittee. Neither the provision of the Financial Assurance, nor any act of the Department in drawing upon the financial funding shall relieve the permittee of their obligation to comply with this permit and the requirements to close the facility properly. The surety shall be in a form acceptable to the Department, and submitted to:

Regional Materials Management Engineer  
Division of Materials Management – Region 3  
New York State Department of Environmental Conservation  
21 South Putt Corners Road  
New Paltz, New York 12561-1620

The financial assurance instrument must be in place and in effect prior to operation of the facility.

**36. Adjustment** The Department reserves the right to adjust the amount of the Financial Assurance to account for changing closure costs and for non-compliance with any conditions of this permit or any requirement of Part 360.

**37. Termination** In the event that the financial institution or permittee proposes to terminate the Financial Assurance at any time, the permittee shall, no less than thirty (30) days prior to the effective date of such termination, provide a substitute Financial Assurance in the same amount and form, or other form acceptable to DEC. If an acceptable substitute has not been provided by thirty (30) days prior to the termination date, DEC may draw upon the Financial Assurance for its amount and hold the amount drawn as a cash collateral guarantee until such time as an acceptable substitute is provided or if necessary during the time prior to the provision of a substitute Financial Assurance, may expend such sums as may be required in the event of the permittee's default of its obligations regarding compliance with this permit, the Permit to Operate this facility or its closure.

## CLOSURE REQUIREMENTS

**38. Closure** Unless this permit is renewed, the permittee shall close the site prior to the expiration date of this permit or prior to the expiration of any renewals of this permit in accordance with the closure requirements in 6 NYCRR Part 360.21, and any approved closure plan.

Within forty-five 45 days of the completion of the closure activities, the permittee shall submit to the RMME a certification, prepared and stamped by a Professional Engineer licensed to practice engineering in New York State, that the facility has been closed in accordance with 6 NYCRR Part 360; and certifying that the need for further maintenance or corrective actions is minimized and that adverse environmental or health impacts such as, but not limited to, contravention of surface water and groundwater quality standards, gas migration, odors and vectors are prevented or remedied.



## CESSATION of CONSTRUCTION or OPERATIONS

39. **Cessation** The facility must routinely and regularly receive authorized solid waste during the permit period. All equipment necessary for the safe and compliant operation of the facility, and required by the approved Engineering Report, O&M Manual, Contingency Plan, and the terms of this permit, must be in place and functional at all times. If construction or operation activities allowed under this permit cease for a period of twelve (12) consecutive months, the permit automatically expires on the last day of the 12th month following cessation of activities. There is no automatic expiration when the cessation of construction or operation is caused by factors beyond the reasonable control of the permittee, as determined by the Department, or when such cessation is in accordance with the provisions of the permit.

### GENERAL CONDITIONS - Apply to ALL Authorized Permits:

1. **Facility Inspection by The Department** The permitted site or facility, including relevant records, is subject to inspection at reasonable hours and intervals by an authorized representative of the Department of Environmental Conservation (the Department) to determine whether the permittee is complying with this permit and the ECL. Such representative may order the work suspended pursuant to ECL 71- 0301 and SAPA 401(3).

The permittee shall provide a person to accompany the Department's representative during an inspection to the permit area when requested by the Department.

A copy of this permit, including all referenced maps, drawings and special conditions, must be available for inspection by the Department at all times at the project site or facility. Failure to produce a copy of the permit upon request by a Department representative is a violation of this permit.

2. **Relationship of this Permit to Other Department Orders and Determinations** Unless expressly provided for by the Department, issuance of this permit does not modify, supersede or rescind any order or determination previously issued by the Department or any of the terms, conditions or requirements contained in such order or determination.

3. **Applications For Permit Renewals, Modifications or Transfers** The permittee must submit a separate written application to the Department for permit renewal, modification or transfer of this permit. Such application must include any forms or supplemental information the Department requires. Any renewal, modification or transfer granted by the Department must be in writing. Submission of applications for permit renewal, modification or transfer are to be submitted to:

Regional Permit Administrator  
NYSDEC Region 3 Headquarters  
21 S Putt Corners Rd  
New Paltz, NY12561

4. **Submission of Renewal Application** The permittee must submit a renewal application at least 180 days before permit expiration for the following permit authorizations: Solid Waste Management.



**5. Permit Modifications, Suspensions and Revocations by the Department** The Department reserves the right to exercise all available authority to modify, suspend or revoke this permit. The grounds for modification, suspension or revocation include:

- a. materially false or inaccurate statements in the permit application or supporting papers;
- b. failure by the permittee to comply with any terms or conditions of the permit;
- c. exceeding the scope of the project as described in the permit application;
- d. newly discovered material information or a material change in environmental conditions, relevant technology or applicable law or regulations since the issuance of the existing permit;
- e. noncompliance with previously issued permit conditions, orders of the commissioner, any provisions of the Environmental Conservation Law or regulations of the Department related to the permitted activity.

**6. Permit Transfer** Permits are transferrable unless specifically prohibited by statute, regulation or another permit condition. Applications for permit transfer should be submitted prior to actual transfer of ownership.

### NOTIFICATION OF OTHER PERMITTEE OBLIGATIONS

**Item A: Permittee Accepts Legal Responsibility and Agrees to Indemnification**

The permittee, excepting state or federal agencies, expressly agrees to indemnify and hold harmless the Department of Environmental Conservation of the State of New York, its representatives, employees, and agents ("DEC") for all claims, suits, actions, and damages, to the extent attributable to the permittee's acts or omissions in connection with the permittee's undertaking of activities in connection with, or operation and maintenance of, the facility or facilities authorized by the permit whether in compliance or not in compliance with the terms and conditions of the permit. This indemnification does not extend to any claims, suits, actions, or damages to the extent attributable to DEC's own negligent or intentional acts or omissions, or to any claims, suits, or actions naming the DEC and arising under Article 78 of the New York Civil Practice Laws and Rules or any citizen suit or civil rights provision under federal or state laws.

**Item B: Permittee's Contractors to Comply with Permit**

The permittee is responsible for informing its independent contractors, employees, agents and assigns of their responsibility to comply with this permit, including all special conditions while acting as the permittee's agent with respect to the permitted activities, and such persons shall be subject to the same sanctions for violations of the Environmental Conservation Law as those prescribed for the permittee.



**Item C: Permittee Responsible for Obtaining Other Required Permits**

The permittee is responsible for obtaining any other permits, approvals, lands, easements and rights-of-way that may be required to carry out the activities that are authorized by this permit.

**Item D: No Right to Trespass or Interfere with Riparian Rights**

This permit does not convey to the permittee any right to trespass upon the lands or interfere with the riparian rights of others in order to perform the permitted work nor does it authorize the impairment of any rights, title, or interest in real or personal property held or vested in a person not a party to the permit.

**Item E: SEQR Type II Action, Renewal** Under the State Environmental Quality Review Act (SEQR), the Department of Environmental Conservation has determined that this permit is a renewal where there will be no material change in permit conditions or the scope of permitted activities and is therefore a Type II Action and not subject to further procedures under this law.



# NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Division of Environmental Permits, Region 3  
21 South Putt Corners Road, New Paltz, NY 12561-1620  
P: (845) 256-3054 | F: (845) 255-4659  
www.dec.ny.gov

## IMPORTANT NOTICE TO ALL PERMITTEES

The permit you requested is enclosed. Please read it carefully and note the conditions that are included in it. The permit is valid for only that activity expressly authorized therein; work beyond the scope of the permit may be considered a violation of law and be subject to appropriate enforcement action. Granting of this permit does not relieve the permittee of the responsibility of obtaining any other permission, consent or approval from any other federal, state, or local government which may be required.

Please note the expiration date of the permit. Applications for permit renewal should be made well in advance of the expiration date (minimum of 30 days) and submitted to the Regional Permit Administrator at the above address. For SPDES, Solid Waste and Hazardous Waste Permits, renewals must be made at least 180 days prior to the expiration date.

The DEC permit number & program ID number noted on page 1 under "Permit Authorization" of the permit are important and should be retained for your records. These numbers should be referenced on all correspondence related to the permit, and on any future applications for permits associated with this facility/project area.

If a permit notice sign is enclosed, you must post it at the work site with appropriate weather protection, as well as a copy of the permit per General Condition 1.

If the permit is associated with a project that will entail construction of new water pollution control facilities or modifications to existing facilities, plan approval for the system design will be required from the appropriate Department's regional Division of Water or delegated local Health Department, as specified in the State Pollutant Discharge Elimination System (SPDES) permit.

If you have any questions on the extent of work authorized or your obligations under the permit, please contact the staff person indicated below or the Division of Environmental Permits at the above address.

Scott Ballard *SB*  
Deputy Regional Permit Administrator  
Region 3  
Telephone (845) 256-2250

- Applicable only if checked. Please note all work authorized under this permit is prohibited during trout spawning season commencing October 1 and ending April 30.
- Applicable only if checked for STORMWATER SPDES INFORMATION: We have determined that your project requires coverage under the General Stormwater SPDES Permit. You must file a Notice of Intent to obtain coverage under the General Permit. This form can be downloaded at: <http://www.dec.ny.gov/chemical/43133.html>
- Applicable only if checked - MS4 Areas: This site is within an MS4 area (Municipal Separate Storm Sewer System), therefore the SWPPP must be reviewed and accepted by the municipality. The MS-4 Acceptance Form must be submitted in addition to the Notice of Intent.

Send the completed form(s) to: NYS DEC, Stormwater Permitting, Division of Water, 625 Broadway, Albany, New York 12233-3505; in addition, DEC requests that you provide one electronic copy of the approved SWPPP directly to NYS DEC, 100 Hillside Avenue - Suite 1W, White Plains, NY 10603-2860.



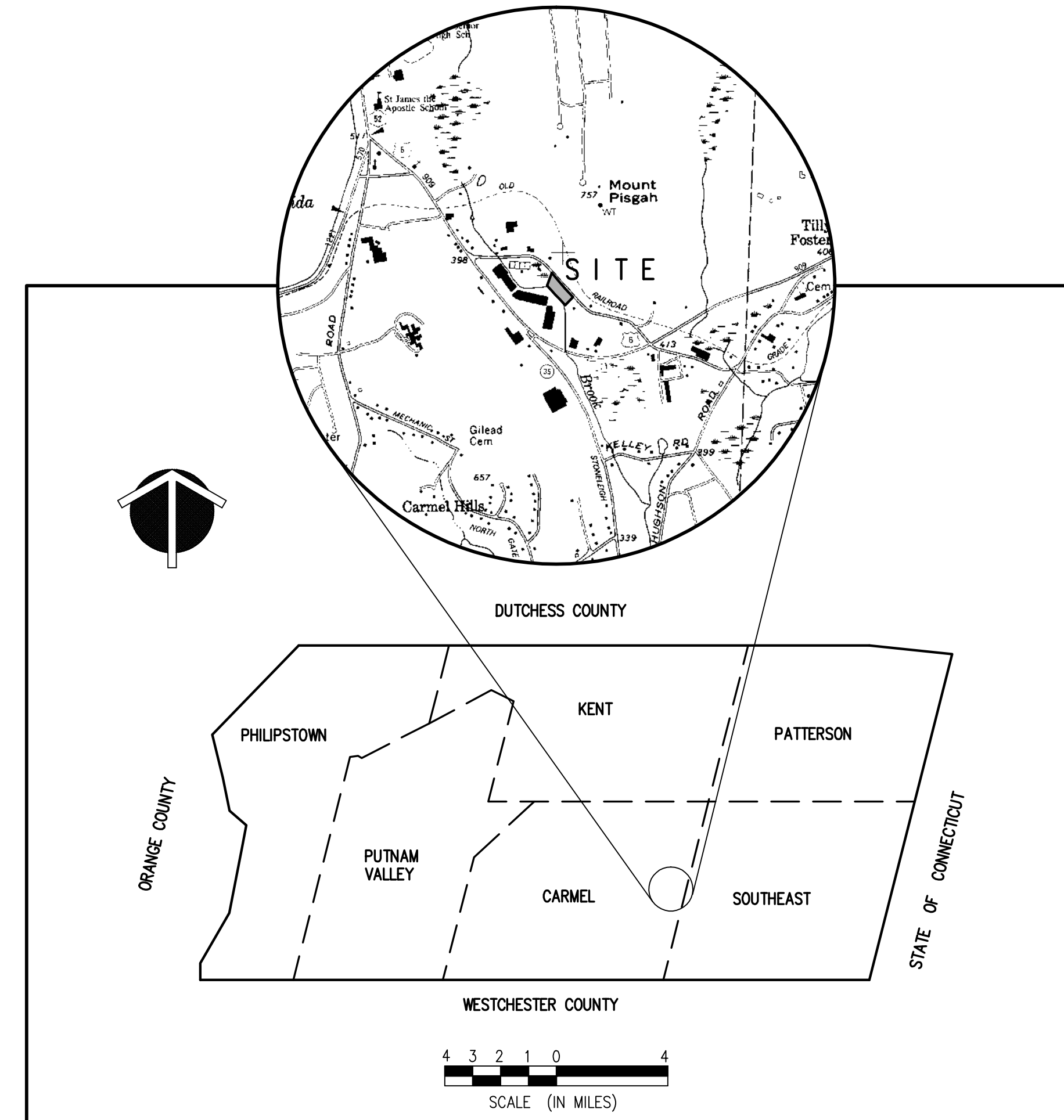
Department of  
Environmental  
Conservation



PROPOSED SITE PLAN PREPARED FOR:

# TOMPKINS RECYCLING FACILITY CONSTRUCTION AND DEBRIS PROCESSING CENTER & RECYCLING

60 OLD ROUTE 6  
TOWN of CARMEL  
PUTNAM COUNTY, NEW YORK



LOCATION MAP

### DRAWING SCHEDULE

DRAWING NO.	SHEET NO.	DRAWING TITLE
G-100	1	COVER SHEET
C-100	2	RESTRAINT MAP
C-110	3	EXISTING CONDITIONS PLAN
C-120	4	SITE LAYOUT PLAN
C-130	5	GRADING & DRAINAGE PLAN
C-140	6	EXCAVATION AND FILL PLAN FOR WETLAND BUFFER
C-141	7	EROSION AND SEDIMENT CONTROL PLAN
C-150	8	LANDSCAPE & SIGHT DISTANCE PLAN
C-160	9	WETLAND BUFFER ENHANCEMENT PLAN & SOIL EXCAVATION AND FILL PLAN
C-210	10	PROFILES
C-220	11	PROFILES & GEOMETRY LAYOUT PLAN
C-310	12	DETAILS
C-320	13	DETAILS
C-330	14	DETAILS
C-340	15	DETAILS

**PUTNAM ENGINEERS - ARCHITECTS**  
4 OLD ROUTE 6, BREWSTER, NEW YORK 10509  
(845) 279-6789 FAX (845) 279-6789  
• PUTNAM ENGINEERING FILE 2006

PERMIT TO NEW YORK STATE FOR 2004 SUBMISSION 2. IT IS A VIOLATION OF THE PROFESSIONAL ENGINEERING AND SURVEYING LAW TO REPRODUCE OR ALTER IN ANY MANNER THE CONTENTS OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF PUTNAM ENGINEERS - ARCHITECTS. ANY SUCH VIOLATION SHALL BE CONSIDERED A VIOLATION OF THE PROFESSIONAL ENGINEERING AND SURVEYING LAW AND THE STATE OF SUCH VIOLATION SHALL BE SUBJECT TO THE PENALTIES PROVIDED IN THE PROFESSIONAL ENGINEERING AND SURVEYING LAW.

NO.	DATE	DESCRIPTION
1	12/06/06	ISSUED FOR PERMIT
2	02/22/07	REVISION FOR PERMIT RENEWAL
3	11/17/07	ADDED DEB. APPROVAL
4	1/2/08	REVISED PER P.E. COMMENTS
5	6/28/08	REVISED PER P.E. COMMENTS
6	8/28/08	REVISED PER NYSDEC
7	11/20/08	REVISED PER NYSDEC
8	1/10/09	REVISED PER NYSDEC
9	1/10/09	REVISED PER NYSDEC
10	11/02/09	CHANGES PER NYSDEC
11	05/17/10	CHANGES PER NYSDEC
12	02/22/11	REVISION FOR PERMIT RENEWAL

**TOMPKINS RECYCLING FACILITY**  
CONSTRUCTION AND DEBRIS PROCESSING CENTER & RECYCLING  
60 OLD ROUTE 6  
TOWN of CARMEL  
PUTNAM COUNTY, NEW YORK  
TAX MAP No. 55.11, BLOCK 1, LOT 15  
OWNER: 70 OLD ROUTE 6, L.L.C. P.O. BOX 508 BEDFORD N.Y. 10506

DATE	PROJECT MANAGER	DRAWN BY	CHECKED BY	SCALE	AS NOTED
10/12/06	BK	BCK	PNL		AS NOTED

**COVER SHEET**

PROJECT NUMBER: 8288  
DRAWING NUMBER: G-100  
SHEET 1 OF 15



**LEGEND:**

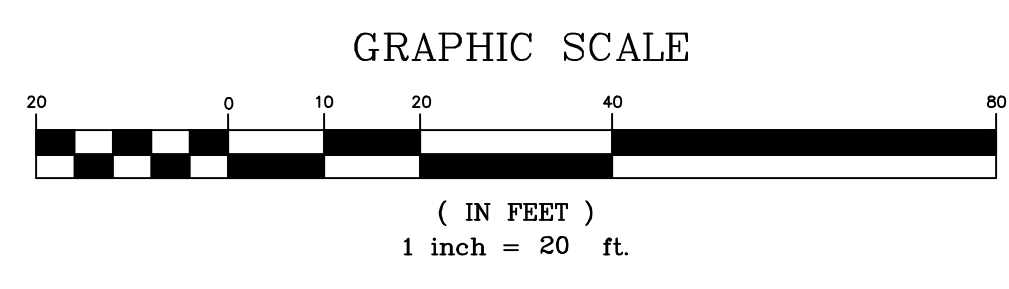
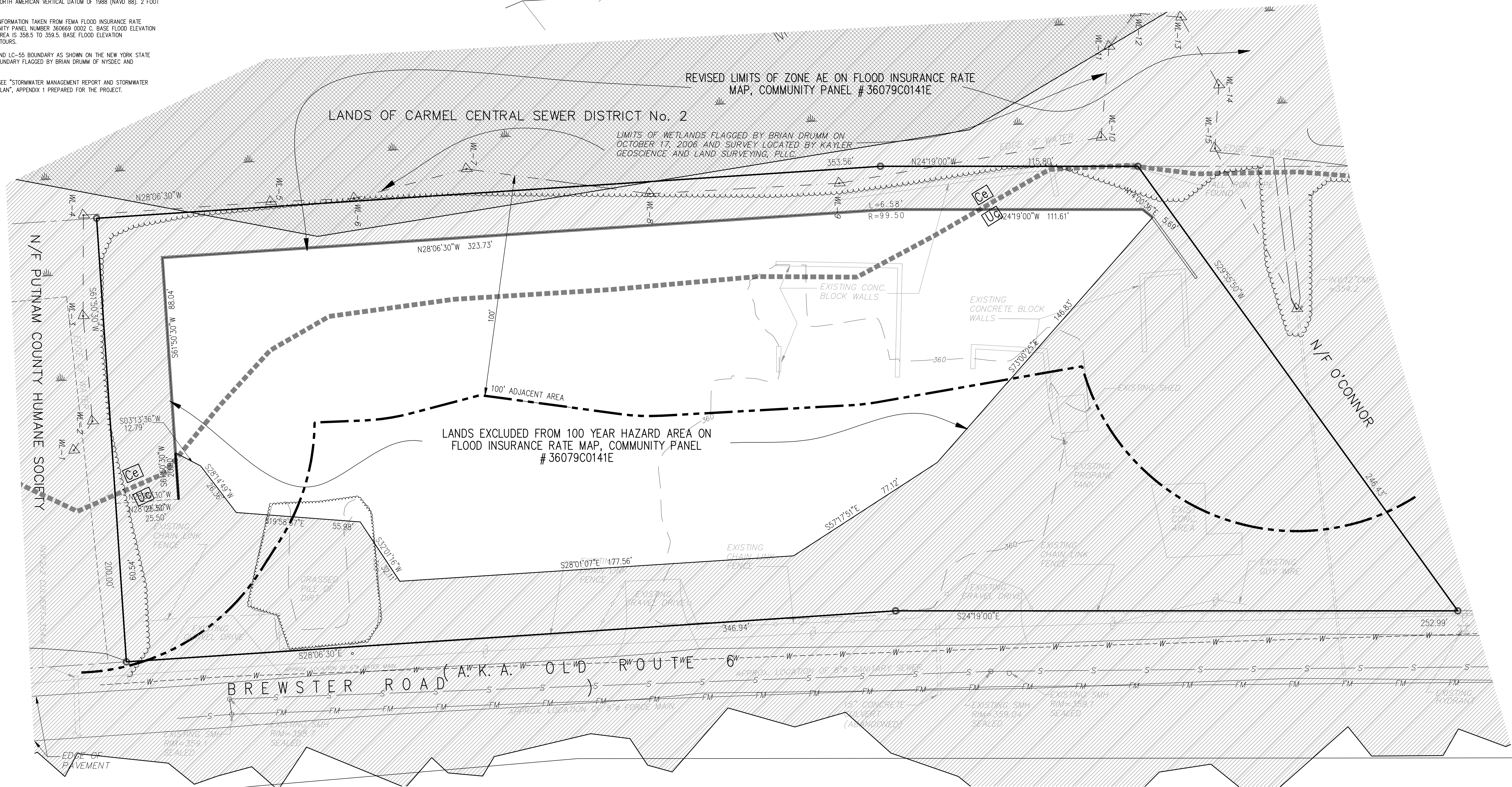
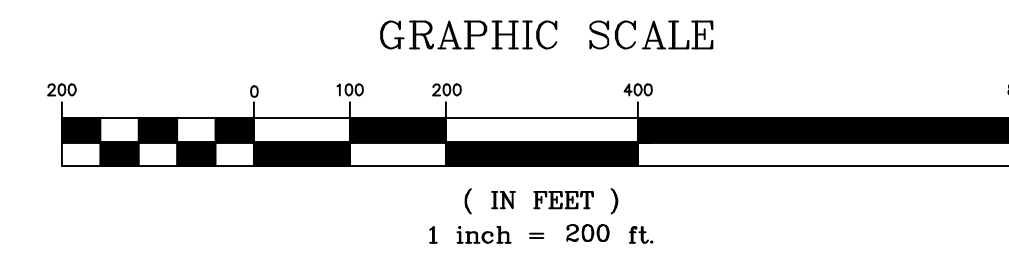
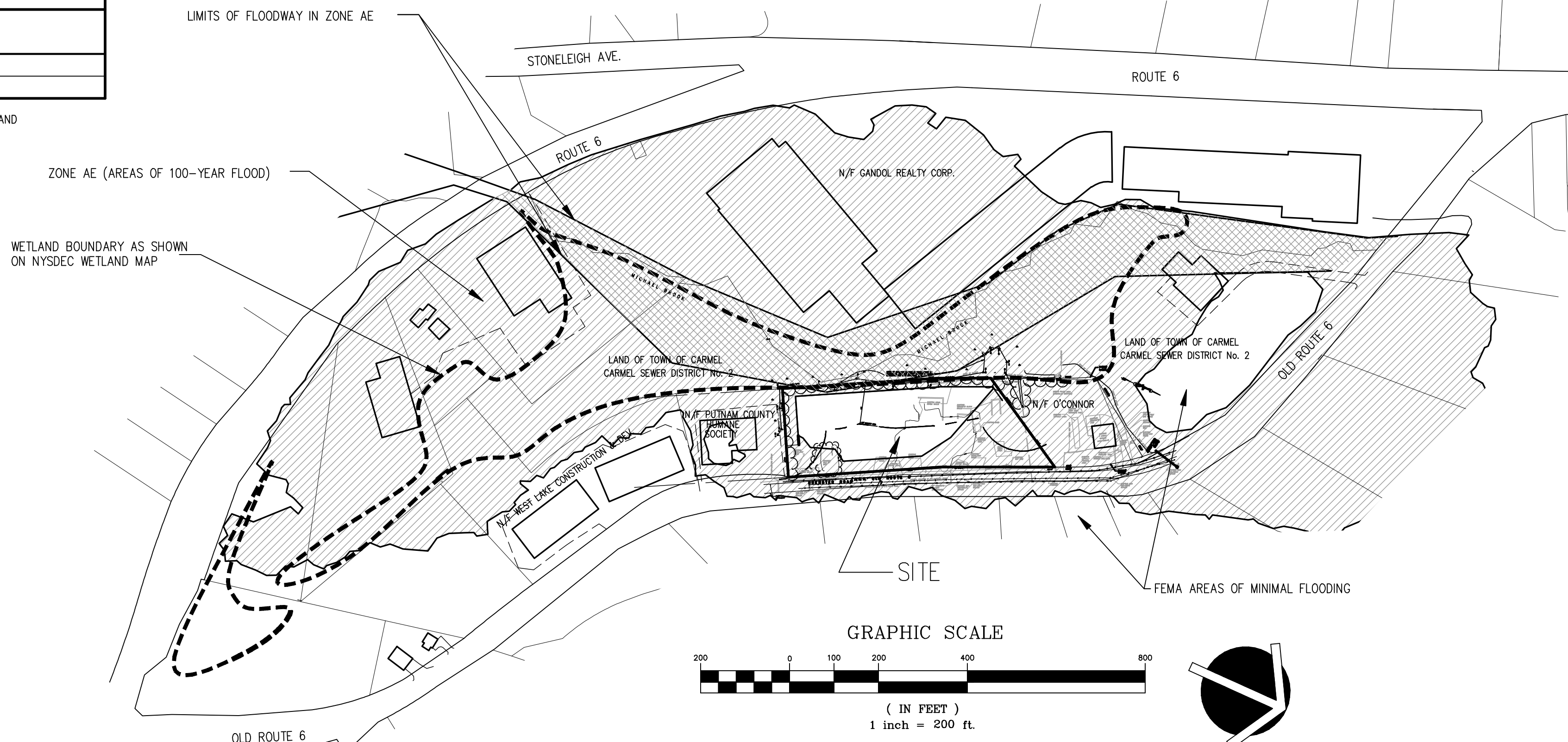
- EXISTING CONTOUR
- EXISTING BUILDING
- PROPERTY LINE
- WETLAND BOUNDARY AS SHOWN ON NYSDEC WETLAND MAP
- FLAGGED WETLAND BOUNDARY
- FEMA ZONE BOUNDARY
- FEMA LIMITS OF FLOODWAY IN ZONE AE
- FEMA ZONE AE (AREAS OF 100-YEAR FLOOD)
- FEMA OTHER AREAS (AREAS OF MINIMAL FLOODING)
- SOIL TYPE
- SOIL BOUNDARY

**NOTES:**

1. THE VERTICAL DATUM— NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), 2 FOOT CONTOUR INTERVAL.
1. FLOODPLAIN BOUNDARY INFORMATION TAKEN FROM FEMA FLOOD INSURANCE RATE MAPS KNOWN AS COMMUNITY PANEL NUMBER 360699 0002 C. BASE FLOOD ELEVATION RANGE GIVEN FOR SITE AREA IS 358.5 TO 359.5. BASE FLOOD ELEVATION INTERPOLATED FROM CONTOURS.
2. STATE REGULATED WETLAND LC-55 BOUNDARY AS SHOWN ON THE NEW YORK STATE FRESHWATER WETLAND MAP. BOUNDARY FLAGGED BY BRIAN DRUMM OF NYSDEC AND SURVEY LOCATED.
3. FOR REFERENCED MAPS SEE "STORMWATER MANAGEMENT REPORT AND STORMWATER POLLUTION PREVENTION PLAN", APPENDIX 1 PREPARED FOR THE PROJECT.

SOILS LEGEND		
SOIL SYMBOL	SOIL GROUP	SOIL NAME
Ce	A/D	CARLISLE MUCK
Uc		UDORTHERTS, WET SUBSTRATUM

NOTE: APPROXIMATE LIMITS OF SOIL TYPES TAKEN FROM SOIL SURVEY OF PUTNAM AND WESTCHESTER COUNTIES, 1994.



**PUTNAM ENGINEERING**  
 ENGINEERS - ARCHITECTS  
 4 OLD ROUTE 6, BREWSTER, NEW YORK 10509  
 (845) 279-6789 FAX (845) 279-6769

PERMIT TO NEW YORK STATE  
 ERM SUBMISSION 2. IT IS A VIOLATION  
 TO REPRODUCE OR TRANSMIT THIS DRAWING  
 OR ANY PART THEREOF WITHOUT THE WRITTEN  
 CONSENT OF PUTNAM ENGINEERING. ANY  
 ALTERATION OF THIS DRAWING WITHOUT THE  
 WRITTEN CONSENT OF PUTNAM ENGINEERING  
 SHALL BE AT THE USER'S RISK. THE USER  
 SHALL BE RESPONSIBLE FOR OBTAINING ALL  
 NECESSARY PERMITS AND FOR OBTAINING  
 HIS OWN SURVEY AND DATA. THE USER  
 SHALL BE RESPONSIBLE FOR THE ACCURACY  
 AND COMPLETENESS OF THE INFORMATION  
 PROVIDED TO PUTNAM ENGINEERING.

REVISIONS	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	11/07/07	ADDED PER APPROVAL	13	12/06/07	DEC. SUBMISSION
2	1/2/08	REVISED PER P.E. COMMENTS	14	1/07/08	PRELIM. SUBMISSION
3	6/28/08	REVISED PER NYSDEC COMMENTS	15	07/29/08	REVISED PER NYSDEC
4	7/29/08	REVISED PER NYSDEC COMMENTS	16	07/29/08	REVISED PER NYSDEC
5	11/20/08	REVISED PER NYSDEC COMMENTS	17	04/07/09	DEC. SUBMISSION
6	11/20/08	REVISED PER NYSDEC COMMENTS	18	03/05/09	REVISED PER NYSDEC
7	11/20/08	REVISED PER NYSDEC COMMENTS	19	03/05/09	REVISED PER NYSDEC
8	11/20/08	REVISED PER NYSDEC COMMENTS	20	05/19/14	REVISION PER FEMA MAP
9	11/20/08	REVISED PER NYSDEC COMMENTS	21	12/09/16	REVISION PER FEMA MAP
10	11/20/08	REVISED PER NYSDEC COMMENTS	22	12/22/17	REVISION PER FEMA MAP
11	05/17/10	REVISED PER NYSDEC COMMENTS			
12	08/28/10	REVISED PER NYSDEC COMMENTS			

**TOMPKINS RECYCLING FACILITY**  
 CONSTRUCTION AND DEBRIS PROCESSING CENTER & RECYCLING  
 60 OLD ROUTE 6  
 TOWN OF CARMEL  
 PUTNAM COUNTY, NEW YORK  
 TAX MAP No. 55.11, BLOCK 1, LOT 15  
 OWNER: 70 OLD ROUTE 6, L.L.C. P.O. BOX 508 BEDFORD N.Y. 10506

DATE: 10/12/08  
 PROJECT MANAGER: BK  
 DRAWN BY: BK  
 CHECKED BY: PNL  
 SCALE: AS NOTED

**RESTRAINT MAP**  
 PROJECT NUMBER: 8288  
 DRAWING NUMBER: C-100  
 SHEET 2 OF 15











**GRADING AND UTILITIES LEGEND**

- W — WATER MAIN
- S — SANITARY SEWER PIPE
- FM — FORCE MAIN PIPE
- FM — STORMWATER PIPE
- 490 — EXISTING CONTOURS
- (358) — PROPOSED CONTOURS
- O — EXISTING UTILITY POLE
- ● — CURB VALVE
- ○ — SANITARY SEWER CLEANOUT
- — — PROPOSED RETAINING WALL
- - - - PROPOSED STORMWATER PIPE
- E — UNDERGROUND ELECTRIC PIPE
- — — EXISTING VEGETATION

**GRADING & UTILITIES NOTES:**

1. PER NEW YORK STATE LAW, THE CONTRACTOR SHALL CALL THE UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION (UPO) AT 1-800-962-7962, TWO (2) FULL DAYS PRIOR TO PERFORMING ANY EXCAVATION WORK.
2. SITE INFORMATION TAKEN FROM A PLAN ENTITLED "EXISTING TOPOGRAPHY SECTION 181, BLOCK 1, LOT 3 & 4.1" AS PREPARED BY ZEN DESIGN CONSULTANTS, INC. DATED 11-14-2005.
3. ALL UTILITIES SHALL BE INSTALLED UNDERGROUND AND IN CONFORMANCE WITH LOCAL CODES AND UTILITY COMPANY REQUIREMENTS.
4. SEWER SERVICE SHALL BE PROVIDED BY CONNECTION TO CARMEL SEWER DISTRICT #2. WATER SERVICE SHALL BE PROVIDED BY CONNECTION TO CARMEL WATER DISTRICT #2.
5. ALL EXTERIOR LIGHTING TO BE INSTALLED SHALL BE DOWNWARD DIRECTED AND SHALL NOT RESULT IN LIGHT SPILLING OFF THE SITE. POLE MOUNTED LIGHTING SHALL BE INSTALLED WITH CUT-OFF LUMINAIRES.
6. THE VERTICAL DATUM— NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). 2 FOOT CONTOUR INTERVAL.
7. EXISTING UTILITIES (VALVE BOXES, MANHOLE FRAMES AND RIMS, CATCH BASIN FRAMES AND GRATES, ETC) SHALL BE ADJUSTED AS REQUIRED TO MEET NEW FINISHED GRADES.
8. JOINTS IN SANITARY, STORM AND WATER PIPES TO BE OFFSET AT ALL CROSSINGS.
9. MINIMUM COVER OVER WATER LINE SHALL BE 4'-0".
10. TRACER WIRE (14 GA.) TO BE PLACED IN ALL WATER MAIN TRENCHES AT A DEPTH OF 2'-0" BELOW FINISHED GRADE.
11. GRAVITY SEWER LATERAL IS TO BE 6"
12. MINIMUM COVER OVER SEWER LINE SHALL BE 3'-0".

**PUTNAM ENGINEERING & ARCHITECTS**  
 ENGINEERS - ARCHITECTS  
 4 OLD ROUTE 6, BREWSTER, NEW YORK 10509  
 (845) 279-6789 FAX (845) 279-6769  
 P. 01/04/06

PERMIT TO NEW YORK STATE  
 ERM SUBMISSION 2. IT IS A VIOLATION  
 TO REPRODUCE OR TRANSMIT THIS  
 DRAWING IN ANY MANNER WITHOUT  
 THE WRITTEN PERMISSION OF THE  
 ENGINEER OF RECORD. ANY SUCH  
 REPRODUCTION OR TRANSMISSION  
 WITHOUT THE WRITTEN PERMISSION  
 OF THE ENGINEER OF RECORD IS  
 PROHIBITED AND WILL BE  
 CONSIDERED A VIOLATION OF THE  
 PROFESSIONAL ETHICS OF THE  
 ENGINEER OF RECORD.

NO.	DATE	DESCRIPTION
1	11/17/06	ISSUED FOR PERMITS
2	12/06/06	REVISED PER P.E. COMMENTS
3	01/07/07	REVISED PER P.E. COMMENTS
4	02/28/07	REVISED PER P.E. COMMENTS
5	03/29/07	REVISED PER P.E. COMMENTS
6	04/10/07	REVISED PER P.E. COMMENTS
7	04/10/07	REVISED PER P.E. COMMENTS
8	04/10/07	REVISED PER P.E. COMMENTS
9	04/10/07	REVISED PER P.E. COMMENTS
10	04/10/07	REVISED PER P.E. COMMENTS
11	04/10/07	REVISED PER P.E. COMMENTS
12	04/10/07	REVISED PER P.E. COMMENTS

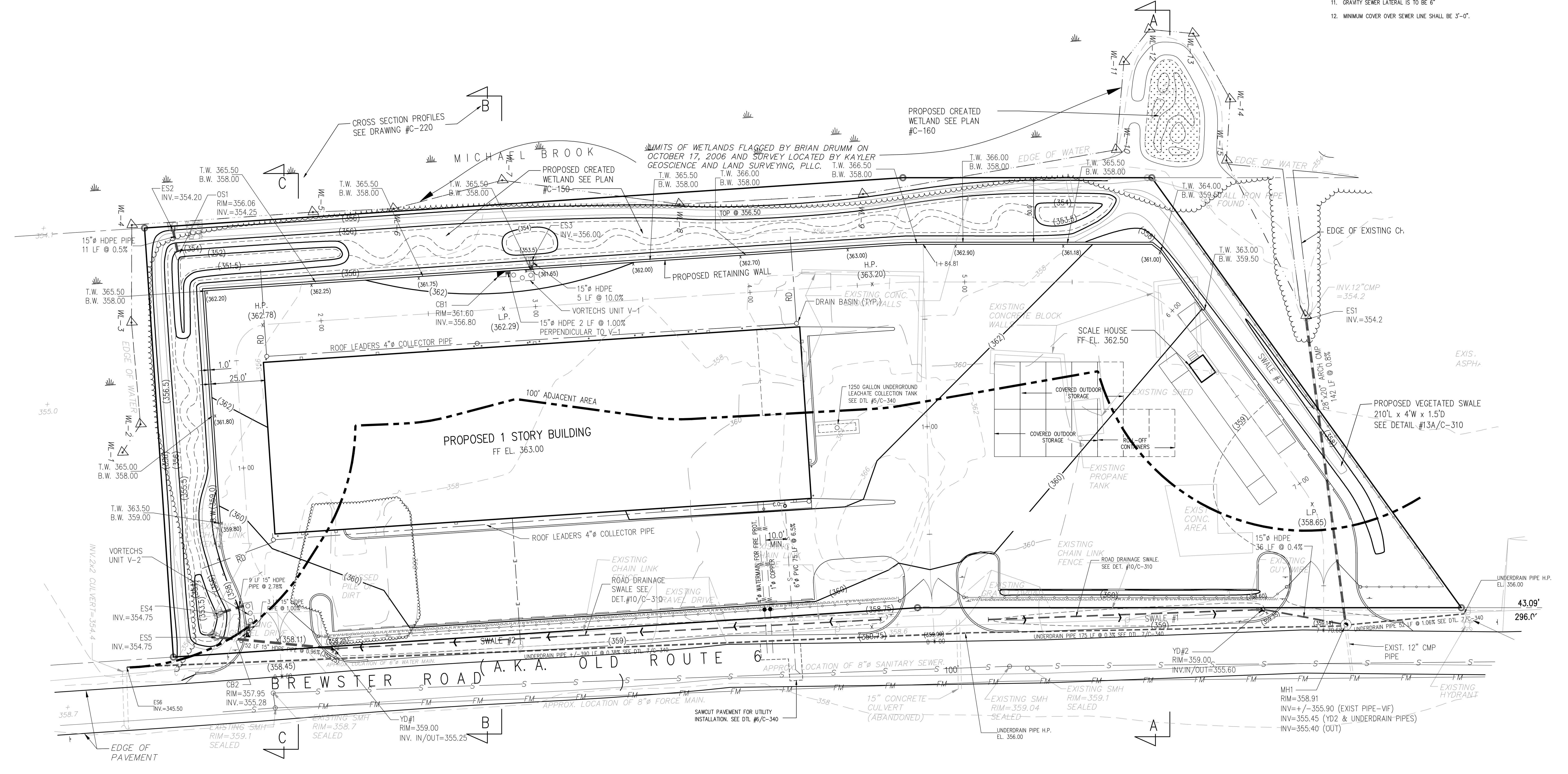
REVISIONS

**TOMPKINS RECYCLING FACILITY**  
 CONSTRUCTION AND DEBRIS PROCESSING CENTER & RECYCLING  
 60 OLD ROUTE 6  
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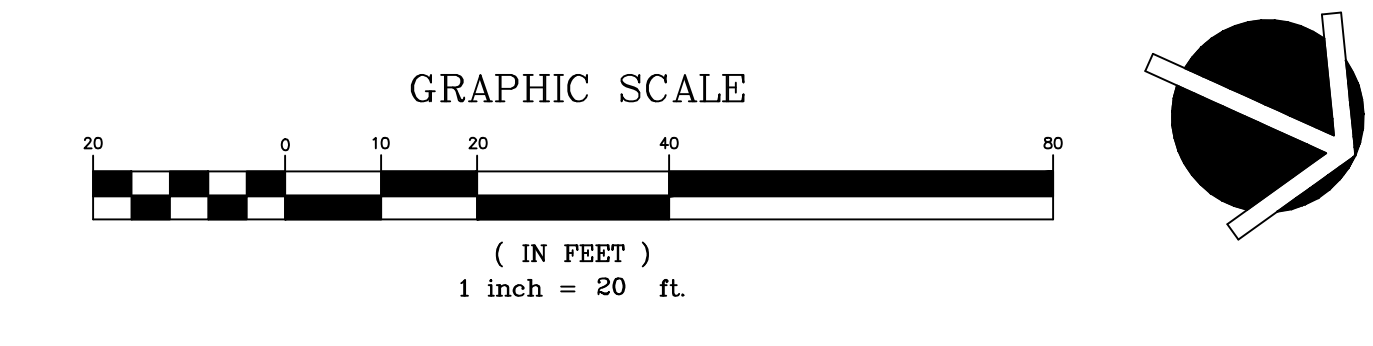
DATE: 10/12/06  
 PROJECT MANAGER: BK  
 DRAWN BY: BDK  
 CHECKED BY: PNL  
 SCALE: AS NOTED

**GRADING and UTILITIES PLAN**

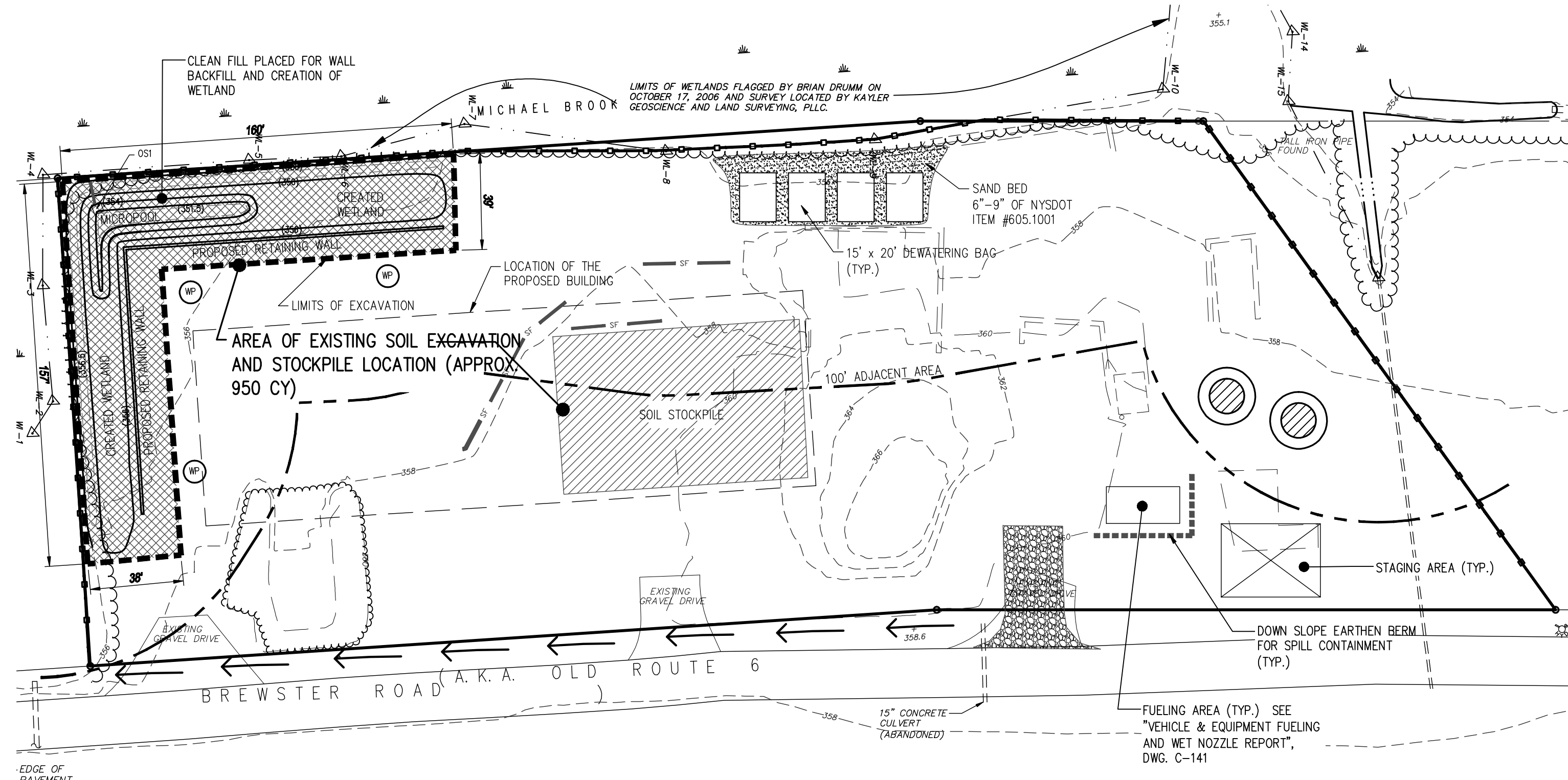
PROJECT NUMBER: 8288  
 DRAWING NUMBER: C-130  
 SHEET 5 OF 15



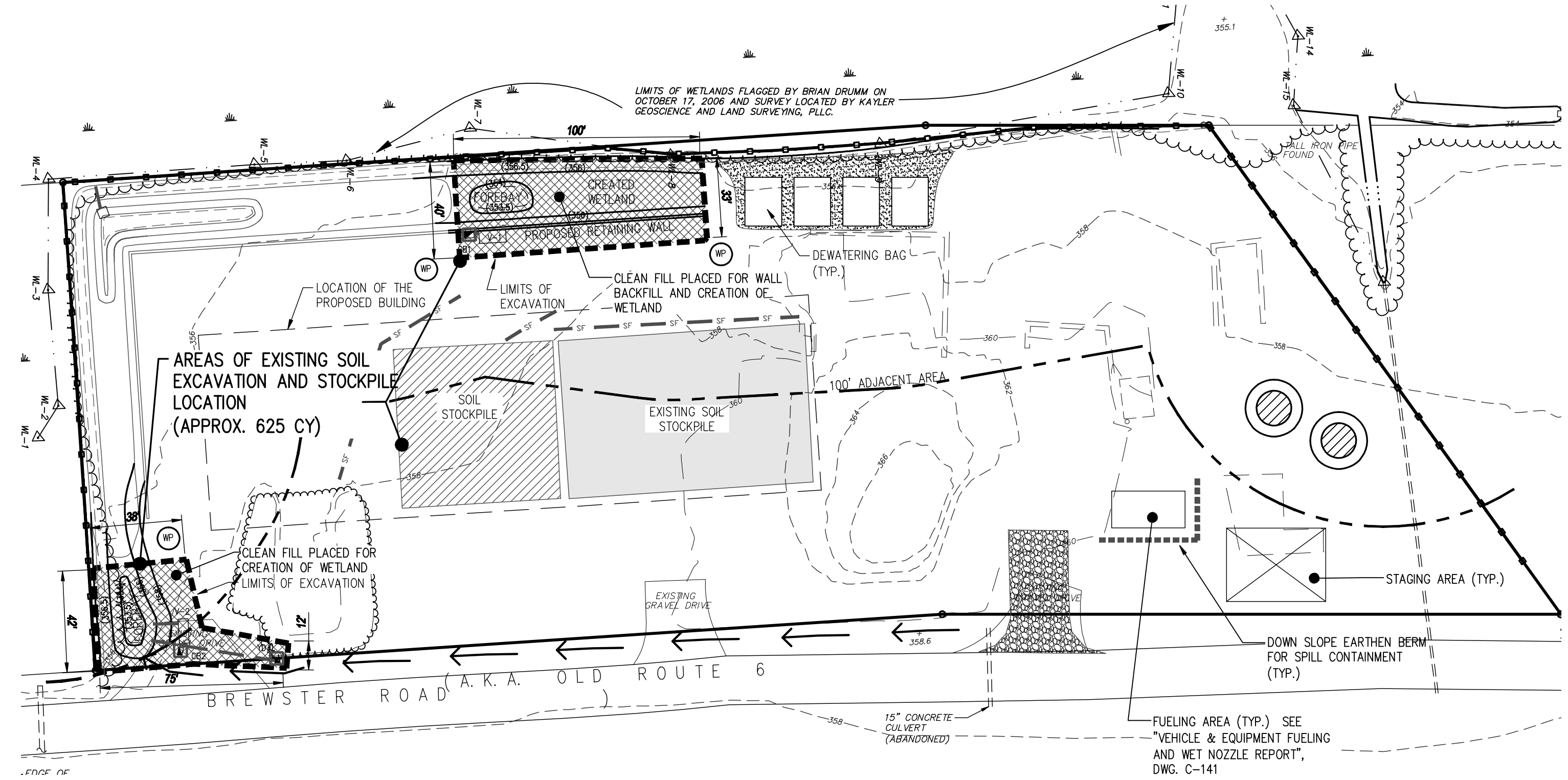
**GRADING and UTILITIES PLAN**



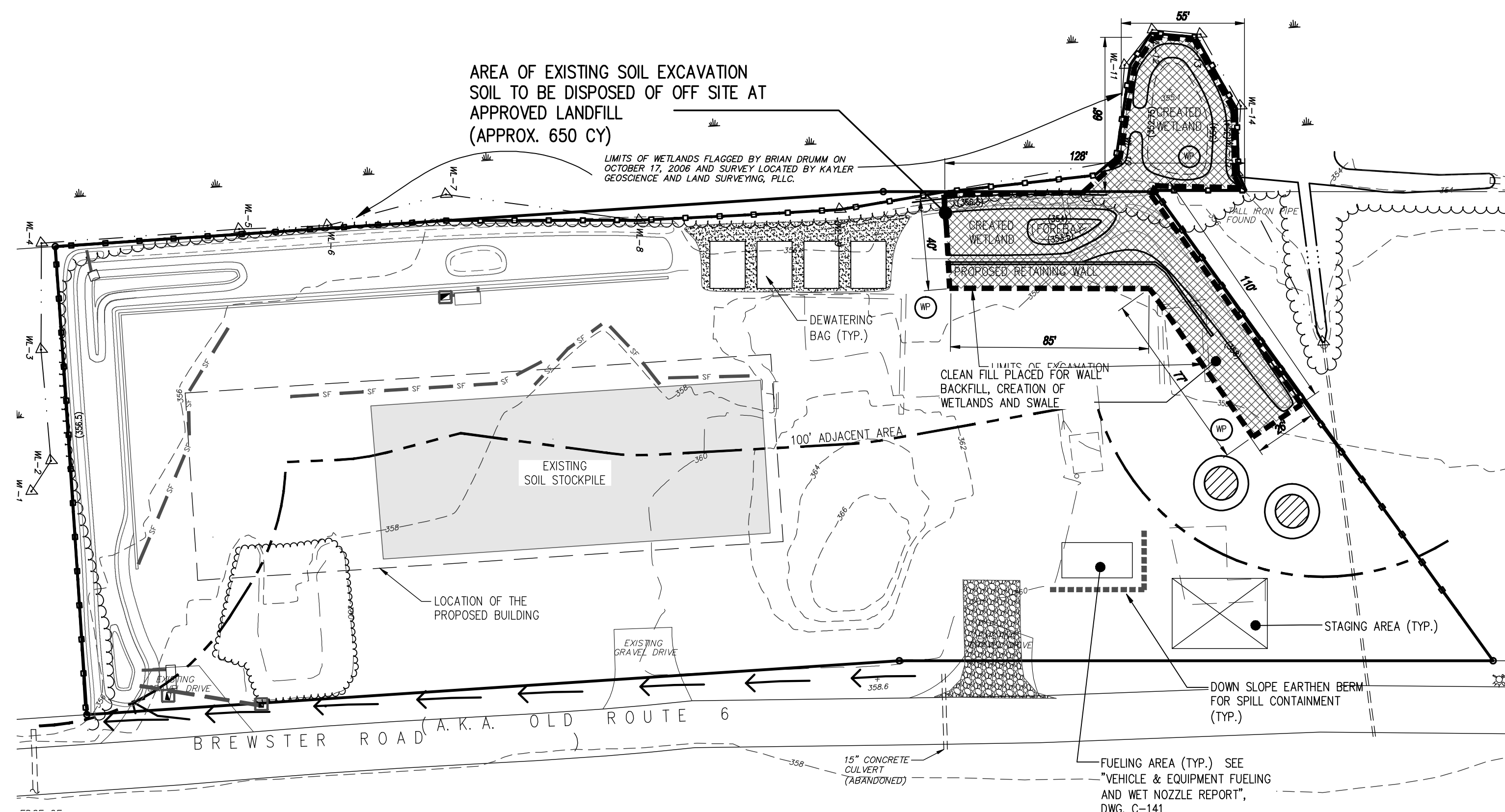




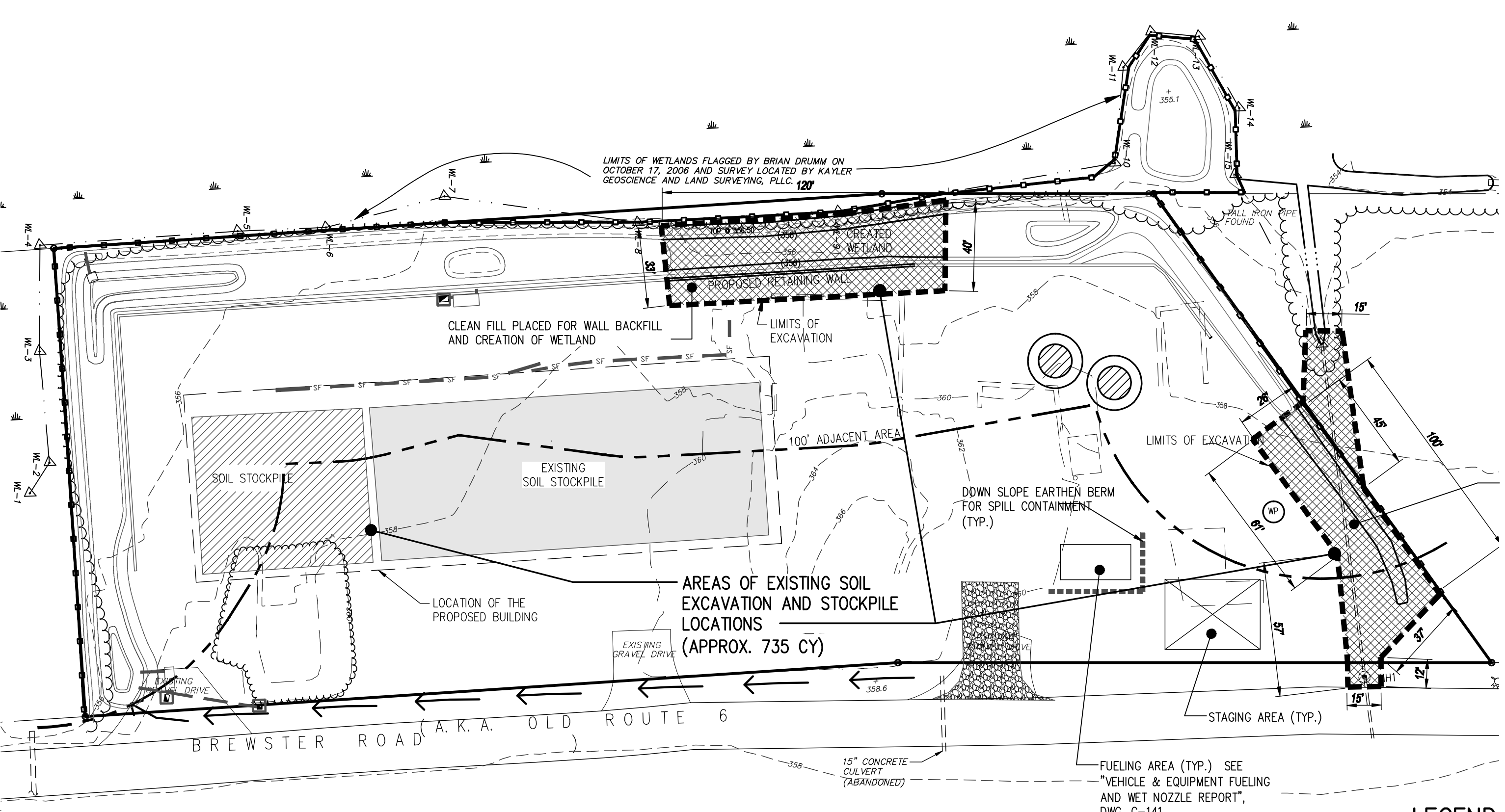
STAGE 1



STAGE 2



STAGE 3



STAGE 4

SEQUENCE OF CONSTRUCTION

- INSTALL STABILIZED CONSTRUCTION ENTRANCE AS SHOWN ON THE PLAN;
  - REMOVE DEBRIS AND UNWANTED VEGETATION FROM WETLAND AND STREAM AREAS AS SHOWN ON DRAWING #C-160;
  - INSTALL SAFETY ORANGE FENCE AND SILT FENCE ALONG PROPERTY LINES AND WETLAND PERIMETER;
  - INSTALL PERIMETER DIKE/SWALE AS SHOWN ON THE DRAWING ALONG OLD ROUTE 6.
- STAGE 1**
- CREATE FILTER SAND BED (NYSDOT ITEM 605.1001) FOR PLACEMENT UNDER DEWATERING BAGS; INSTALL DEWATERING BAGS;
  - MARK LIMITS OF EXCAVATION AS SHOWN ON STAGE 1 DRAWING;
  - INSTALL WELL POINTS AS SHOWN ON PLANS PREPARED BY OTHERS. SEE "WELL POINTING" NOTES DESCRIBED ON THIS DRAWING (C-140). THE WELL POINT (WP) LOCATIONS SHOWN ON THIS PLAN ARE DIAGRAMMATIC IN NATURE; IT MAY BE NECESSARY TO INSTALL MORE THAN WHAT IS SHOWN.
  - EXCAVATE THE AREA TO DEPTHS NECESSARY FOR PROPOSED CONSTRUCTION. REFER TO DRAWING #C-220 FOR TYPICAL DEPTHS;
  - PLACE THE EXCAVATED SOIL AS SHOWN ON THE DRAWING, WITHIN THE FUTURE BUILDING FOOTPRINT;
  - BRING IN CLEAN FILL FOR RETAINING WALL SUBBASE, WALL BACKFILL AND CREATED WETLAND ( ALL IMPORTED FILL FOR THE SITE SHALL INCLUDE A MANIFEST ATTESTING TO IT BEING CLEAN FILL. );
  - BUILD THE RETAINING WALL;
  - BACKFILL THE WALL WITH CLEAN FILL. GRADE THE PROPOSED WETLAND AREA AS SHOWN ON THE DRAWING;
  - INSTALL TEMPORARY OUTLET STRUCTURE OSI ALONG WITH OUTLET PIPE.
- STAGE 2**
- MARK LIMITS OF EXCAVATION AS SHOWN ON STAGE 2 DRAWING;
  - INSTALL WELL POINTS AS SHOWN ON PLANS PREPARED BY OTHERS. SEE "WELL POINTING" NOTES DESCRIBED ON THIS DRAWING (C-140). THE WELL POINT (WP) LOCATIONS SHOWN ON THIS PLAN ARE DIAGRAMMATIC IN NATURE; IT MAY BE NECESSARY TO INSTALL MORE THAN WHAT IS SHOWN.
  - EXCAVATE THE AREA TO DEPTHS NECESSARY FOR PROPOSED CONSTRUCTION. REFER TO DRAWING #C-220 FOR TYPICAL DEPTHS;
  - PLACE THE EXCAVATED SOIL AS SHOWN ON THE DRAWING, WITHIN THE FUTURE BUILDING FOOTPRINT;
  - BRING IN CLEAN FILL FOR RETAINING WALL SUBBASE, WALL BACKFILL AND CREATED WETLAND;
  - BUILD THE RETAINING WALL;
  - BACKFILL THE WALL WITH CLEAN FILL. GRADE THE PROPOSED WETLAND AREA AS SHOWN ON THE DRAWING;
  - INSTALL VORTECHS UNITS V-1 AND V-2, CATCH BASINS CB1 AND CB2 AND YARD DRAIN YD1 ALONG WITH THE CONNECTING AND OUTGOING PIPES. PROTECT INLETS PER DETAIL #3/C-310. THE STRUCTURES ARE NOT TO RECEIVE ANY STORMWATER FLOW UNTIL AT LEAST AN ASPHALT BINDER COURSE IS PLACED.

STAGE 3

- MARK LIMITS OF EXCAVATION AS SHOWN ON STAGE 3 DRAWING;
- INSTALL WELL POINTS AS SHOWN ON PLANS PREPARED BY OTHERS. SEE "WELL POINTING" NOTES DESCRIBED ON THIS DRAWING (C-140). THE WELL POINT (WP) LOCATIONS SHOWN ON THIS PLAN ARE DIAGRAMMATIC IN NATURE; IT MAY BE NECESSARY TO INSTALL MORE THAN WHAT IS SHOWN.
- CLEAN THE DEBRIS PILE NEAR THE NORTHEAST CORNER OF THE PROPERTY;
- EXCAVATE THE AREA TO DEPTHS NECESSARY FOR PROPOSED CONSTRUCTION. REFER TO DRAWING #C-220 FOR TYPICAL DEPTHS;
- PLACE THE EXCAVATED SOIL AS SHOWN ON THE DRAWING, WITHIN THE FUTURE BUILDING FOOTPRINT;
- BRING IN CLEAN FILL FOR RETAINING WALL SUBBASE, WALL BACKFILL AND CREATED WETLAND;
- BUILD THE RETAINING WALL;
- BACKFILL THE WALL WITH CLEAN FILL. GRADE THE PROPOSED WETLAND AREA AS SHOWN ON THE DRAWING;

STAGE 4

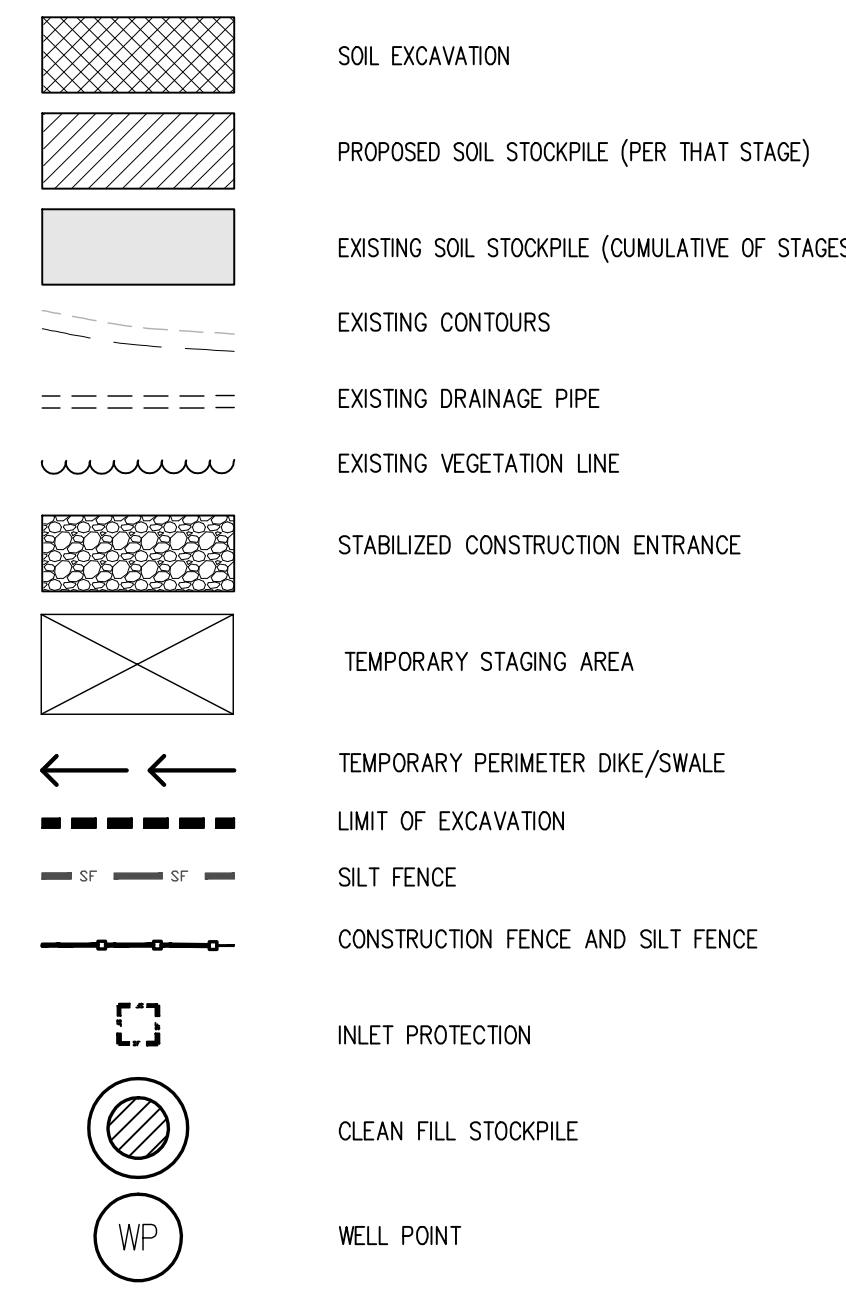
- MARK LIMITS OF EXCAVATION AS SHOWN ON STAGE 4 DRAWING;
- INSTALL WELL POINTS AS SHOWN ON PLANS PREPARED BY OTHERS. SEE "WELL POINTING" NOTES DESCRIBED ON THIS DRAWING (C-140). THE WELL POINT (WP) LOCATIONS SHOWN ON THIS PLAN ARE DIAGRAMMATIC IN NATURE; IT MAY BE NECESSARY TO INSTALL MORE THAN WHAT IS SHOWN.
- EXCAVATE THE AREA NEAR THE NORTHERN PROPERTY LINE TO DEPTHS NECESSARY FOR PROPOSED CONSTRUCTION. REFER TO DRAWING #C-220 FOR TYPICAL DEPTHS;
- INSTALL MHI AND THE ARCH PIPE;
- BRING IN THE CLEAN FILL. CREATE SWALE #3;
- DRAW THE DEWATERING BAGS ONTO THE FILL AREA WITHIN THE PROPOSED BUILDING FOOTPRINTS; REMOVE THE SAND BED;
- MARK LIMITS OF EXCAVATION NEAR THE WESTERN PROPERTY LINE;
- EXCAVATE THE AREA TO DEPTHS NECESSARY FOR PROPOSED CONSTRUCTION. REFER TO DRAWING #C-220 FOR TYPICAL DEPTHS;
- PUMP GROUNDWATER TO THE CREATED WETLAND MICROPOL IF NECESSARY;
- BRING IN CLEAN FILL FOR RETAINING WALL SUBBASE, WALL BACKFILL AND CREATED WETLAND;
- BUILD THE RETAINING WALL;
- BACKFILL THE WALL WITH CLEAN FILL. GRADE THE PROPOSED WETLAND AREA AS SHOWN ON THE DRAWING;

WELL POINTING

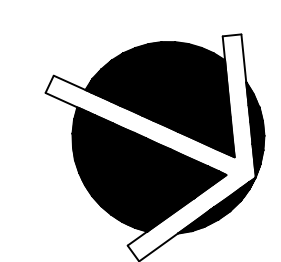
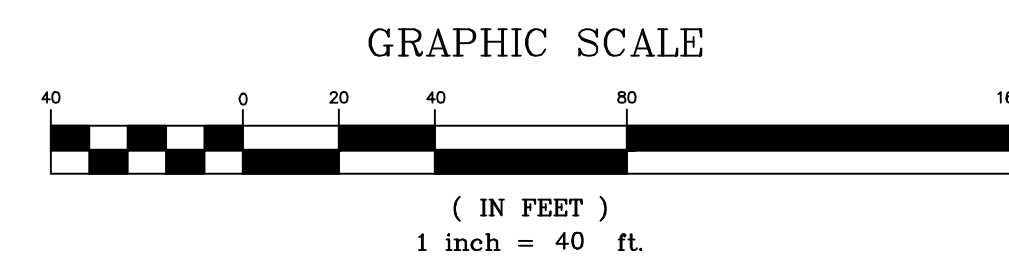
- DESCRIPTION. THIS ITEM SHALL GOVERN FOR THE TEMPORARY DEWATERING OF EXCAVATION. WORK, IN GENERAL SHALL INCLUDE:
  - DESIGNING, FURNISHING, INSTALLING, TESTING, OPERATING, MONITORING AND MAINTAINING A SYSTEM TO CONTROL GROUND WATER AND SURFACE WATER AS REQUIRED TO COMPLY WITH THE PERFORMANCE REQUIREMENTS SPECIFIED.
  - CONTROLLING AND REMOVING SEEPAGE AND SURFACE WATER FROM THE EXCAVATION, INCLUDING EXCAVATION SLOPE EROSION CONTROL.
  - PREVENTION OF SURFACE WATER FROM ENTERING THE TRENCH AND DIVERTING THE SURFACE WATER AWAY FROM THE SITE.
  - REMOVAL OF THE TEMPORARY DEWATERING SYSTEM AFTER COMPLETION OF THE SPECIFIED PORTION OF WORK.
  - REMOVAL OF GROUND WATER AND SURFACE WATER FROM ALL REMAINING EXCAVATION, AFTER REMOVAL OF THE TEMPORARY DEWATERING SYSTEM, UNTIL CONSTRUCTION HAS REACHED FINISHED GRADES.
- QUALITY ASSURANCE. THE DEWATERING SYSTEM SHALL BE PERFORMED BY A FIRM WHICH HAS AT LEAST FIVE (5) YEARS OF SUCCESSFUL EXPERIENCE IN THE FIELD OF DEWATERING. THE CONTRACTOR OR WELL POINTING FIRM SHALL ENGAGE A QUALIFIED SURVEYOR TO PERFORM ALL LAYOUTS AND MEASUREMENTS. THE SURVEYOR SHALL LAYOUT THE WORK TO THE LINES AND GRADES REQUIRED BEFORE INSTALLATION AND SHALL DETERMINE THE LOCATION OF EACH WELL POINT, PIEZOMETER AND OTHER DATA, AS REQUIRED. THE SURVEYOR SHALL RECORD AND MAINTAIN ALL INFORMATION PERTINENT TO EACH WELL POINT AND PIEZOMETER. THE TEMPORARY DEWATERING SYSTEM AS SPECIFIED IN THESE SPECIFICATIONS SHALL BE THE MINIMUM SYSTEM REQUIRED FOR CONTROLLING GROUNDWATER, REGARDLESS OF SOURCE. THE INSTALLED SYSTEM SHALL BE CAPABLE OF LOWERING AND MAINTAINING THE GROUNDWATER TO AT LEAST 3-Feet BELOW THE BOTTOM OF THE EXCAVATION AND UNTIL THE REQUIRED UTILITIES ARE INSTALLED. WITHIN THESE LIMITS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE ENTIRE TEMPORARY DEWATERING SYSTEM AND SHALL MAKE WHATEVER MODIFICATIONS AND ADDITIONS TO THE SYSTEM AS MAY BE REQUIRED FOR THE SYSTEM TO FULFILL ITS REQUIREMENTS.
- PERFORMANCE REQUIREMENTS. THE CONTRACTOR SHALL:
  - DESIGN, FURNISH, INSTALL, TEST, OPERATE, MONITOR AND MAINTAIN THE MINIMUM WELL POINT SYSTEM AS SPECIFIED HEREIN, INCLUDING ALL DISCHARGE PIPING AND CONNECTIONS AT POINT OF DISCHARGE, SUFFICIENT TO LOWER THE GROUND WATER LEVEL OR HYDROSTATIC HEAD BELOW THE BOTTOM OF THE EXCAVATION OR LOWER, SO AS TO PREVENT SEEPAGE OF WATER INTO THE EXCAVATION AND PERMIT INSTALLATION OF ALL UTILITIES "IN THE DRY".
  - DESIGN, FURNISH AND INSTALL, TEST, OPERATE, MONITOR AND MAINTAIN WHATEVER ADDITIONAL SYSTEM THAT MAY BE NECESSARY TO SUPPLEMENT THE MINIMUM WELL POINT SYSTEM AS SPECIFIED HEREIN, AND TO MAINTAIN THE EXCAVATION FREE OF GROUNDWATER SEEPAGE AND SURFACE WATER, REGARDLESS OF SOURCE.
  - THE PERIPHERY OF THE ENTIRE EXCAVATION SHALL BE SUITABLY DIKED AND THE DIKES MAINTAINED TO PREVENT SURFACE WATER FROM ENTERING THE EXCAVATION.
  - ALL WATER SEEPING, FALLING OR RUNNING INTO THE EXCAVATION AS IT IS DUG, AND UNTIL THE TEMPORARY DEWATERING SYSTEM IS REMOVED AS SPECIFIED, SHALL BE PROMPTLY PUMPED OUT.
  - DISPOSE OF ALL SEEPAGE AND SURFACE WATER REMOVED FROM THE PROJECT, REGARDLESS OF SOURCE, BY METHODS APPROVED BY THE ENGINEER.
  - TAKE APPROPRIATE AND APPROVED MEASURES TO PREVENT EROSION OF THE EXCAVATED SOILS AND RAMP SLOPES.
- MAINTENANCE. THE CONTRACTOR SHALL PROVIDE SYSTEM MAINTENANCE INCLUDING, BUT NOT LIMITED TO, AT LEAST DAILY SUPERVISION BY SOMEONE SKILLED IN THE OPERATION, MAINTENANCE, AND REPLACEMENT OF SYSTEM COMPONENTS AND SHALL PROVIDE ONE (1) SPARE (CONNECTED) DIESEL POWERED PUMP, AND ALL OTHER EQUIPMENT AND WORK REQUIRED BY THE ENGINEER TO MAINTAIN THE EXCAVATION IN A DEWATERED AND HYDROSTATICALLY RELIEVED CONDITION. DEWATERING AND PRESSURE RELIEF SHALL BE A CONTINUOUS OPERATION AND INTERRUPTIONS DUE TO POWER OUTAGES, OR ANY OTHER REASON, SHALL NOT BE PERMITTED. A RESPONSIBLE OPERATOR CAPABLE OF STARTING, FINISHING AND MAINTAINING SYSTEM AND STARTING STANDBY EQUIPMENT SHALL BE ON DUTY AT ALL TIMES. SOME RESPONSIBLE PERSON SHALL CONTINUOUSLY MONITOR THE DEWATERING AND SURFACE WATER CENTRAL SYSTEM UNTIL THE CONTRACTOR HAS RECEIVED APPROVAL FROM THE ENGINEER THAT HE MAY DISCONTINUE SURFACE AND/OR GROUNDWATER CONTROL.

- CORRECTION OF WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE FAILURE OF ALL COMPONENTS OF THE TEMPORARY DEWATERING WORK AND FOR ALL DAMAGES TO WORK IN THE EXCAVATION AREA CAUSED BY THE FAILURE TO PROVIDE, MAINTAIN, AND OPERATE THE TEMPORARY DEWATERING SYSTEM, AS SPECIFIED. CONTRACTOR SHALL RESTORE ALL DAMAGED WORK, INCLUDING FAILED COMPONENTS OF THE WORK IN THIS SPECIFICATION TO A CONDITION AS GOOD OR BETTER THAN EXISTED PRIOR TO FAILURE OF COMPONENTS.
- JOB CONDITIONS. THE CONTRACTOR SHALL PROVIDE PROTECTION OF PERSONS AND PROPERTY BY AT LEAST:
  - BARRICADING OPEN EXCAVATIONS OCCURRING AS PART OF THIS WORK AND POST WITH WARNING LIGHTS. OPERATE WARNING LIGHTS DURING THE HOURS FROM DUSK TO DAWN, EACH DAY. ALL BARRICADES, SIGNS AND OTHER TYPES OF DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE MUTCD.
  - PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT AND OTHER HAZARDS CREATED BY TEMPORARY DEWATERING SYSTEM INSTALLATION AND OPERATION.
 THE CONTRACTOR SHALL RESTORE ALL STREETS, DRIVEWAYS, CURBS, SIDEWALKS AND OTHER EXISTING ITEMS TO A CONDITION AS GOOD AS OR BETTER THAN EXISTED BEFORE WORK WAS COMMENCED, AT NO ADDITIONAL COST TO TOWN OF CARMEL.

LEGEND:



EXCAVATION AND FILL PLAN FOR WETLAND BUFFER



**PUTNAM ENGINEERING, LLC**  
 ENGINEERS - ARCHITECTS  
 4 OLD ROUTE 6, BREWSTER, NEW YORK 10509  
 (845) 279-6789 FAX (845) 279-6789

PERMIT TO NEW YORK STATE  
 ESDS SUBMISSION 2. IT IS A VIOLATION  
 OF THIS PERMIT TO ALTER OR MODIFY  
 THIS PERMIT IN ANY MANNER WITHOUT  
 THE WRITTEN APPROVAL OF THE  
 ENGINEER OF RECORD. ANY SUCH  
 ALTERATION SHALL BE AT THE USER'S  
 SOLE RISK AND WITHOUT LIABILITY TO  
 THE ENGINEER OF RECORD.

NO.	DATE	DESCRIPTION
1	11/07/06	ISSUED FOR PERMIT
2	12/06/06	REVISED PER P.E. COMMENTS
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9	04/10/07	REVISED PER P.E. COMMENTS
10	05/19/07	REVISED PER P.E. COMMENTS
11	05/19/07	REVISED PER P.E. COMMENTS
12	06/29/07	REVISED PER P.E. COMMENTS

**TOMPKINS RECYCLING FACILITY**  
 CONSTRUCTION AND DEBRIS PROCESSING CENTER & RECYCLING  
 60 OLD ROUTE 6  
 TOWN OF CARMEL  
 PUTNAM COUNTY, NEW YORK  
 TAX MAP No. 55.11, BLOCK 1, LOT 15  
 OWNER: 70 OLD ROUTE 6, L.L.C. P.O. BOX 508 BEDFORD N.Y. 10506

DATE: 10/12/06  
 PROJECT MANAGER: BK  
 DRAWN BY: BCK  
 CHECKED BY: PNL  
 SCALE: AS NOTED

**EXCAVATION AND FILL PLAN FOR WETLAND BUFFER**

PROJECT NUMBER: 8288  
 DRAWING NUMBER: C-140



**GENERAL NOTES**

- THE SITE SHALL BE DISTURBED ONLY WHERE NECESSARY. ONLY THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED (NO MORE THAN 5 ACRES) AT ANY ONE TIME DURING DEVELOPMENT. WHEN LAND IS EXPOSED, THE EXPOSURE SHALL BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME BY IMMEDIATE STABILIZATION PER THE STABILIZATION NOTES, UNLESS SPECIFIED OTHERWISE. ALL DISTURBED AREAS ARE CONSIDERED "STABILIZED" WHEN BOX OF UNIFORM, PERENNIAL VEGETATIVE COVER IS ACHIEVED OR EQUIVALENT STABILIZATION MEASURES (SUCH AS MULCHES, EROSION CONTROL BLANKET, ETC.) HAVE BEEN PROPERLY EMPLOYED. NO WORK SHALL CONTINUE BEFORE PRIOR DISTURBANCE IS STABILIZED.
- WHEREVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED.
- AREAS UNDERGOING EARTHWORK, WHERE SOIL IS TO BE LEFT EXPOSED FOR MORE THAN FIFTEEN DAYS, SHOULD BE STABILIZED WITH EITHER TEMPORARY OR PERMANENT VEGETATIVE COVER. TEMPORARY COVER SHOULD BE USED WHEN THE PROJECT SCHEDULE DOES NOT CONCLUDE WITH THE OPTIMUM PLANTING SEASON. IN GENERAL, OPTIMUM PLANTING TIMES FOR GRASSES ARE MARCH 15TH TO MAY 31ST AND SEPTEMBER 1ST TO NOVEMBER 15TH. DURING OPTIMUM PLANTING TIMES PERMANENT VEGETATIVE COVER WILL BE INSTALLED. SEE SPECIFICATIONS FOR FURTHER DETAILS.
- THE PROJECT OWNER / DEVELOPER OR DESIGNATED REPRESENTATIVE SHALL ARRANGE A PRE-CONSTRUCTION MEETING INVITING THE CONTRACTOR, REPRESENTATIVES OF TOWN OF CARMEL, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION AND NEW YORK CITY DEPARTMENT OF ENVIRONMENTAL PROTECTION, AND TOWN AND PROJECT ENGINEERS, PRIOR TO START OF CONSTRUCTION ACTIVITIES.
- TEMPORARY MEASURES SHALL BE MAINTAINED BY PROJECT OWNER / DEVELOPER OR A DESIGNATED REPRESENTATIVE (SUCH AS THE GENERAL CONTRACTOR) DURING THE ENTIRE CONSTRUCTION PERIOD. AFTER THE CONSTRUCTION IS COMPLETED A PERMANENT MEASURES SHALL BE MAINTAINED BY THE PROPERTY OWNER(S). LEGALLY BINDING DOCUMENTS SHALL BE INCLUDED WITH THE SALE OF THE PROPERTY (PROPERTIES) TO ENSURE FUTURE OWNERS MAINTAIN THE STORMWATER FACILITIES.

DEVELOPER/OWNER  
70 OLD ROUTE 6 LLC  
P.O. BOX 508  
BEDFORD, NY 10506

- THE PROJECT OWNER / DEVELOPER OR DESIGNATED REPRESENTATIVE SHALL RETAIN THE SERVICE OF QUALIFIED PERSONNEL (LICENSED PROFESSIONAL ENGINEER, CERTIFIED PROFESSIONAL IN EROSION & SEDIMENT CONTROL-OPESC OR SOIL SCIENTIST) TO PERFORM SITE INSPECTIONS DURING THE CONSTRUCTION PERIOD AND FINAL SITE INSPECTION AT PROJECT COMPLETION.
- THE CONTRACTOR SHALL MAKE AVAILABLE ON SITE, ALL EQUIPMENT, MATERIALS AND LABOR NECESSARY TO EFFECT EMERGENCY REPAIR AND REPLACEMENT OF THE EROSION CONTROL MEASURES.
- SITE INSPECTIONS DURING CONSTRUCTION PERIOD SHALL BE PERFORMED AT LEAST EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT OF 0.5 INCHES OR GREATER. DURING WINTER, IF THE SOIL DISTURBANCE IS COMPLETELY SUSPENDED AND THE SITE IS PROPERLY STABILIZED, INSPECTION FREQUENCY MAY REDUCE, BUT SHALL MAINTAIN A MINIMUM OF MONTHLY INSPECTIONS IN ALL SITUATIONS (EVEN WHEN THERE IS TOTAL WINTER SHUTDOWN). DURING PERIODS OF REDUCED INSPECTION FREQUENCY, INSPECTIONS MUST STILL BE DONE AFTER EVERY STORM EVENT OF 0.5 INCHES OR GREATER. TO BE ALLOWED TO REDUCE INSPECTION FREQUENCIES, THE OPERATOR MUST COMPLETE STABILIZATION ACTIVITIES (PERMETER CONTROLS, TRAPS, BARRIERS, ETC.) BEFORE PROPER INSTALLATION IS PRECLUDED BY SNOW COVER OR FROZEN GROUND. IF VEGETATION IS DESIRED, SEEDING, PLANTING, AND/OR SOODING MUST BE SCHEDULED TO AVOID ICE-OFF FROM FALL FROSTS AND ALLOW FOR PROPER GERMINATION/ESTABLISHMENT.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST BY SPRINKLING EXPOSED AREAS PERIODICALLY WITH WATER.
- THE PROJECT OWNER / DEVELOPER OR DESIGNATED REPRESENTATIVE SHALL KEEP INSPECTION REPORTS AND LOGS AT THE SITE. A SUMMARY OF INSPECTION ACTIVITIES SHALL BE POSTED AT A PUBLICLY ACCESSIBLE AREA OF THE SITE ON A MONTHLY BASIS.
- PRIOR TO START OF CONSTRUCTION ACTIVITIES, THE PROJECT OWNER / DEVELOPER OR DESIGNATED REPRESENTATIVE SHALL CERTIFY ON THE INSPECTION LOG THAT A SWPPP WAS PROPERLY PREPARED FOR THE PROJECT AND CONFORMS TO ALL FEDERAL, STATE AND LOCAL EROSION & SEDIMENT CONTROL REQUIREMENTS.
- THE PROJECT OWNER / DEVELOPER OR DESIGNATED REPRESENTATIVE SHALL PROVIDE A PHONE NUMBER TO THE DIRECTOR OF CODE ENFORCEMENT FOR USE IN EMERGENCY SITUATIONS.
- THE OWNER/DEVELOPER SHALL MAINTAIN THE CONSTRUCTION SITE FREE OF DEBRIS, LITTER AND CONSTRUCTION CHEMICALS. A DUMPSTER SHALL BE LOCATED ON THE SITE AND PICK UP ARRANGED WHEN IT IS FULL.

**ON SITE POLLUTION CONTROL MEASURES**

- POLLUTION PREVENTION MEASURES TO CONTROL LITTER, CONSTRUCTION CHEMICALS AND CONSTRUCTION DEBRIS:
  - THERE SHALL BE A RECEPTACLE PLACED ON THE SITE TO TEMPORARILY STORE GARBAGE, DEBRIS OR CONSTRUCTION WASTE MATERIALS. THE CONTAINER SHALL NOT BE USED TO TRANSFER ANY GARBAGE FROM ANY OTHER OFF-SITE ACTIVITY.
  - THE RECORD OWNER SHALL BE RESPONSIBLE FOR KEEPING THE SITE FREE OF LITTER AT ALL TIMES DURING CONSTRUCTION ACTIVITIES. THE OWNER MAY DESIGNATE A CONTRACTOR IN CHARGE AS A RESPONSIBLE PARTY.
  - THE SITE SHALL BE PICKED UP AT THE END OF EACH WORKDAY AND TRASH, DEBRIS AND GARBAGE SHALL BE INSPECTED UP AND PLACED IN ON-SITE DUMPSTERS OR OTHERWISE REMOVED FROM THE SITE.
  - A PORTABLE TOILET FACILITY SHALL BE PROVIDED FOR CONSTRUCTION WORKERS AND AN ADDITIONAL FACILITY FOR EVERY 10 ON-SITE WORKERS.
  - CONSTRUCTION VEHICLES SHALL BE SERVICED OFF-SITE AT A PROPER FACILITY. LEAKING OR ILL REPAIRED VEHICLES SHALL NOT BE LOCATED ON SITE. NO OIL CHANGES ARE PERMITTED ON SITE. FUELING OF VEHICLES ON SITE SHALL BE CAREFULLY PERFORMED WITH AN APPROVED DISPENSER NOZZLE. HOSE AND PUMP SPILLS SHALL PROMPTLY BE REPORTED TO THE NYSDCC AND TOWN. SORBENT PADS AND ROLLS SHALL BE USED TO TEMPORARILY CONTAIN ANY SPILLS.
  - CHEMICAL SOIL ADDITIVES OR HERBICIDES SHALL NOT BE USED ON SITE DURING CONSTRUCTION.
  - THE CONTAINERS SHALL BE OF SUFFICIENT SIZE FOR THE CONSTRUCTION ACTIVITY. CONTAINERS SHALL BE EMPLOYED BY AN APPROVED CARTER TO A PROPER FACILITY WHEN FULL. CONTAINERS SHALL BE COVERED TO PREVENT INFILTRATION OF RAIN AND WEATHER AND TO PREVENT WINDBORNE DEBRIS REMOVAL.
  - PAINTS, CHEMICALS OR OTHER TOXIC SUBSTANCES SHALL NOT BE PLACED IN TRASH CONTAINERS. PAINTS, CHEMICALS OR TOXIC SUBSTANCES SHALL BE REMOVED FROM SITE BY AN APPROVED LICENSED CARTER.
  - THERE SHALL BE NO OPEN FIRES OR BARREL FIRES PERMITTED.
  - DEBRIS OR TRASH PILES ARE NOT PERMITTED. DEBRIS SHALL BE PLACED IN CONTAINERS. TEMPORARY PILES OF BRUSH OR STUMPS SHALL BE PROTECTED BY SILT FENCE SIMILAR TO TOPSOIL STOCKPILES.
- ON SITE STORAGE OF CONSTRUCTION AND WASTE MATERIALS
  - CONSTRUCTION MATERIALS STORED ON SITE ARE ANTICIPATED TO BE:
    - SAND, STONE AND CRUSHED ROCK
    - BRUSH OR TREE STUMPS
    - SOIL STOCKPILES
    - BUILDING PRODUCTS (WOOD, STEEL FRAMING, INSULATOR BOARDS, PLYWOOD, PIPE, DRAINAGE STRUCTURES)
    - CONSTRUCTION EQUIPMENT AND MACHINERY
    - DUMPSTERS OR STORAGE CONTAINERS
  - POLLUTION CONTROLS SHALL CONSIST OF:
    - POLLUTION PREVENTION MEASURES DESCRIBED IN SECTION "A".
    - THE COVERING OF EXPOSED PRODUCTS WHEN NOT IN USE.

**SEQUENCE OF CONSTRUCTION**

- IN ORDER TO EFFECTIVELY CONTROL EROSION AND SEDIMENT, CONTRACTOR SHALL FOLLOW THE LOCATION, MATERIALS AND PROCEDURES SHOWN ON THE "EXCAVATION AND FILL PLAN", DRAWING C-140, "EROSION AND SEDIMENT CONTROL PLAN", DRAWING C-141, DETAILS SHOWN ON SHEETS C-310 AND THE FOLLOWING SEQUENCE OF CONSTRUCTION:
- CONTRACTOR TO RETAIN ALL EROSION CONTROL MEASURES AS SHOWN ON DRAWING C-140.
  - RELOCATE THE STABILIZED CONSTRUCTION ENTRANCE TO THE PROPOSED GATE #2 LOCATION AS SHOWN ON THE PLAN
  - EXCAVATE TRENCHES FOR DRY SWALES #1 & #2 AND FOR UNDERDRAIN PIPES. INSTALL YARD DRAIN #2 AND MANHOLE WHI ALONG WITH CONNECTING AND OUTSING PIPES. TRENCHES TO BE BACKFILLED IMMEDIATELY UPON COMPLETION OF INSTALLATION OF PIPES. EXPOSED SOIL TO BE STABILIZED IMMEDIATELY AFTER BACKFILL.
  - PROTECT INLET PER DETAIL #37C-310.
  - INSTALL TEMPORARY EARTH DIKE/SWALE #2.
  - ROUGH GRADE THE SITE. FILL MATERIAL SHALL BE FREE FROM ROOTS, VEGETATION AND OVERSIZED STONES. FILL TO BE PLACED IN 8 INCH LIFTS AND COMPACTED TO SOIL DRY DENSITY BY MECHANICAL MEANS. STABILIZE DISTURBED AREAS IMMEDIATELY AFTER GRADING PER "STABILIZATION NOTES". ALL FILL IMPORTED FOR THE SITE SHALL INCLUDE A MANIFEST ATTESTING TO IT BEING CLEAN FILL.

- CONSTRUCT BUILDING TO INCLUDE GREEN ROOF, AND WEIGHT STATION. INSTALL AROUND DRAINS. CONNECT THE BUILDING TO THE UTILITY LINES. COMPLETE GRADING AROUND THE BUILDING.
- INSTALL PROPOSED CURBING AND PAVEMENT. BRING PAVEMENT TO BINDER COURSE ELEVATION.
- COMPLETE REMAINING SITE WORK, FINAL GRADING AND BUILDING CONSTRUCTION.
- CLEAN ACCUMULATED SEDIMENT IN TEMPORARY SWALES. RESTORE AND UPGRADE TO PERMANENT SWALES. CLEAN ALL DRAINAGE STRUCTURES.
- REMOVE ANY ACCUMULATED SEDIMENT FROM THE CREATED WETLAND. REMOVE TEMPORARY RISER PIPE. INSTALL TRASH RACK ON OUTLET STRUCTURE. OSI. GRADE BOTTOM AS SHOWN ON THE PLAN. PLANT WETLAND VEGETATION AS SHOWN ON DRAWING C-150.
- RAISE CATCH BASINS AND MANHOLE RIMS TO TOP COURSE ELEVATION. REMOVE TEMPORARY CONSTRUCTION ENTRANCES; RESTORE PAVEMENT AT THIS LOCATION AND INSTALL TOP COURSE PAVEMENT FOR THE ENTIRE SITE.
- REMOVE ALL TEMPORARY EROSION CONTROL MEASURES TO INCLUDE SILT FENCE.
- UPON COMPLETION OF ALL ABOVE ACTIVITIES AND SATISFACTORY ESTABLISHMENT OF VEGETATION ON ALL DISTURBED AREAS, CONTRACTOR TO PERFORM FINAL CLEANING OF THE PROJECT SITE.

**STABILIZATION NOTES:**

- TEMPORARY VEGETATIVE COVER:
  - SCARIFY COMPACTED SOIL AREAS.
  - LIME AS REQUIRED TO PH 6.5.
  - FERTILIZE WITH 10-10-10 AT RATE 200 LBS/AC.
  - INCORPORATE AMENDMENTS INTO SOIL WITH DISC HARROW.
  - SEED AS FOLLOWS:
    - SPRING/SUMMER/EARLY FALL PLANTING: ANNUAL RYEGRASS AND CEREAL OATS AT 30 LBS/ACRE
    - LATE FALL/EARLY WINTER PLANTING: AROOSTOOK WINTER RYE AT 100 LBS/AC.
  - MULCH SEEDS WITH 2 TONS OF STRAW PER ACRE. ANCHOR AS NEEDED.

DURING WINTER CONSTRUCTION OR PERIODS OF WET WEATHER, TEMPORARY SLOPE STABILIZATION SHALL BE PROVIDED BY EITHER A ROLLED EROSION CONTROL PRODUCT OR A HEAVY MULCH LAYER SUITABLY ANCHORED. THE CONTRACTOR MUST RESEED THE AREA IN THE SPRING WITH THE APPROPRIATE SEEDING.

DURING DRY WEATHER CONSTRUCTION, ALL SEEDED AREAS ARE TO BE ADEQUATELY WATERED TO ENSURE VEGETATED COVER.

**PERMANENT VEGETATIVE COVER:**

- GRADE TO FINISHED SLOPES.
- SCARIFY COMPACTED SOIL AREAS.
- TOPSOIL WITH NOT LESS THAN FOUR (4) INCHES OF SUITABLE TOPSOIL MATERIAL.
- LIME AS REQUIRED TO PH 6.5.
- FERTILIZE WITH 10-6-4 AT RATE 200 LBS/AC.
- SEED AS FOLLOWS:
 

TYPE I	FOR USE ON MOVED AREAS (INCLUDING SWALES):	SEED	LB/AC
		KENTUCKY BLUE GRASS	20
		CREeping RED FESCUE	28
		RED TOP RYE GRASS	5

TYPE II	FOR USE ON BASIN SIDE SLOPES AND ON NON-MOWED AREAS: USE "ERMMX-178" SEED MIX (ERNST CONSERVATION SEEDS, LLP) OR EQUIVALENT. SEEDS INCLUDED IN THE MIX ARE LISTED BELOW. APPLICATION RATE 15 LBS/ACRE.	SEED	LB/AC	
		GOLDENROD	INDIAN GRASS	OX EYE SUNFLOWER
		BIRD BULBSTEM	VIRGINIA WILD RYE	BLACK EYED SUSAN
		LITTLE BLUESTEM	FOX SEED	SOFT RUSH
		FALSE INDIGO	PARTRIDGE PEA	COMMON MILKWEED
		SLICK SPOROBOL	BLUE HERON	WILD BERGAMOT

TYPE III	FOR USE ON GREEN ROOFS USE: "NON-NOW COVER MIX" SEED MIX (ERNST CONSERVATION SEEDS, LLP) OR EQUIVALENT. SEEDS INCLUDED IN THE MIX ARE LISTED BELOW. APPLICATION RATE 15 LBS/ACRE.	SEED	LB/AC
		PENNSYLVANIA CREeping RED FESCUE	"RESOLVE 911" HARD FESCUE
		"STONEHENGE" HARD FESCUE	ANNUAL RYEGRASS



LIMITS OF WETLANDS FLAGGED BY BRIAN DRUMM ON OCTOBER 17, 2006 AND SURVEY LOCATED BY KAYLER GEOSCIENCE AND LAND SURVEYING, PLLC.

100' ADJACENT AREA

FUELING AREA. SEE "VEHICLE & EQUIPMENT FUELING & WET NOZZLE REPORT" ABOVE

DOWN SLOPE EARTHEN BERM FOR SPILL CONTAINMENT

TEMPORARY EARTH DIKE/SWALE #1

TEMPORARY EARTH DIKE/SWALE #2

15" CONCRETE CULVERT (ABANDONED)

EXISTING HYDRANT

EDGE OF PAVEMENT

BREWSTER ROAD (A.K.A. OLD ROUTE 6)

INLET PROTECTION

CONSTRUCTION FENCE

SILT FENCE

LIMIT OF DISTURBANCE

TEMPORARY SWALE

STABILIZED CONSTRUCTION ENTRANCE

TEMPORARY STAGING AREA

EXISTING VEGETATION LINE

EXISTING DRAINAGE PIPE

EXISTING CONTOURS

CONSTRUCTION FENCE

SILT FENCE

LIMIT OF DISTURBANCE

TEMPORARY SWALE

STABILIZED CONSTRUCTION ENTRANCE

TEMPORARY STAGING AREA

EXISTING VEGETATION LINE

EXISTING DRAINAGE PIPE

EXISTING CONTOURS

CONSTRUCTION FENCE

SILT FENCE

LIMIT OF DISTURBANCE

TEMPORARY SWALE

STABILIZED CONSTRUCTION ENTRANCE

TEMPORARY STAGING AREA

EXISTING VEGETATION LINE

EXISTING DRAINAGE PIPE

EXISTING CONTOURS

CONSTRUCTION FENCE

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EXISTING VEGETATION LINE

EXISTING DRAINAGE PIPE

EXISTING CONTOURS

CONSTRUCTION FENCE

SILT FENCE

LIMIT OF DISTURBANCE

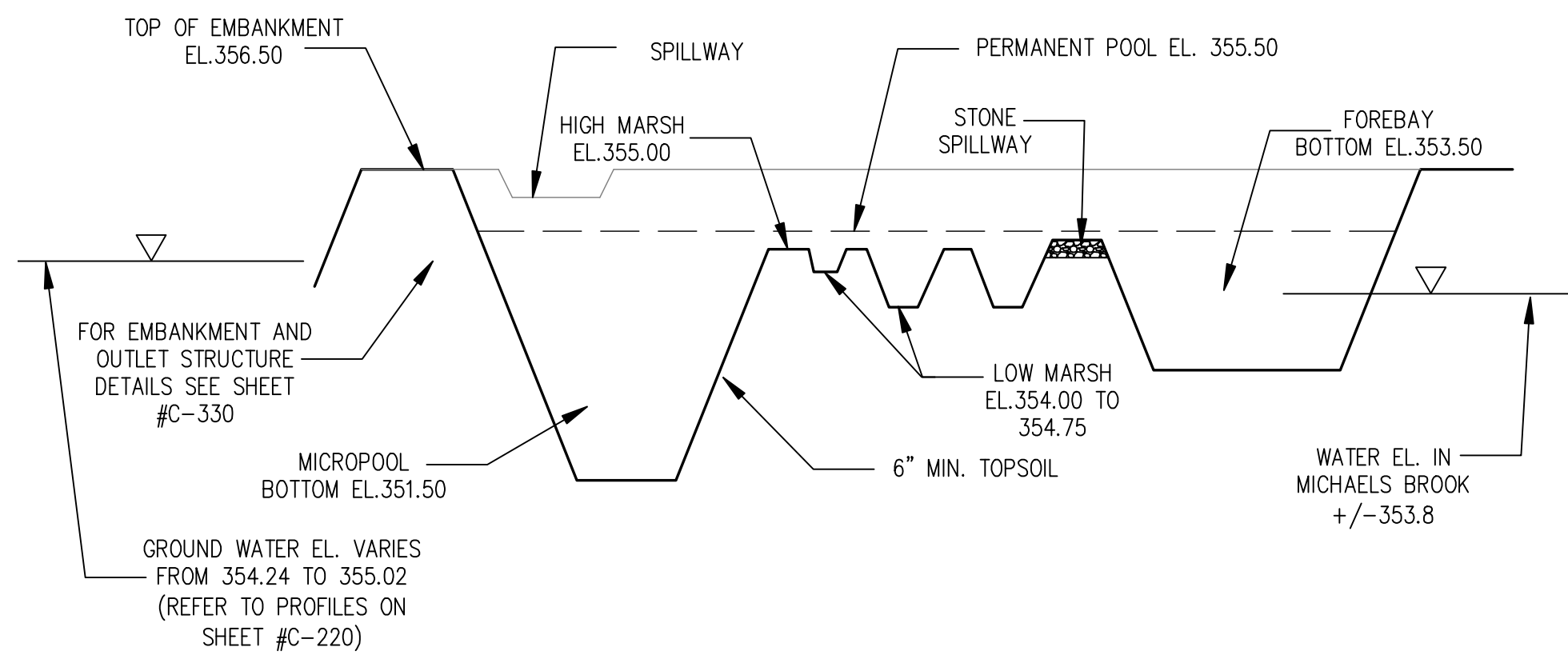
TEMPORARY SWALE

STABILIZED CONSTRUCTION ENTRANCE

TEMPORARY STAGING AREA

EXISTING VEGETATION LINE





SCHEMATIC WETLAND PROFILE  
N.T.S.

WETLAND PLANTING LEGEND:

WETLAND BUFFER SEED MIX: RIPARIAN BUFFER MIX (ERNMX 178 OR EQUIVALENT) SEEDED AT 15 POUNDS PER ACRE.  
SEEDING WILL BE SUPPLEMENTED WITH BARE ROOT PLANT MATERIAL AT SPACING OF 2 FEET ON CENTER AS SHOWN ON PLAN. THE FOLLOWING SPECIES ARE TO BE USED:

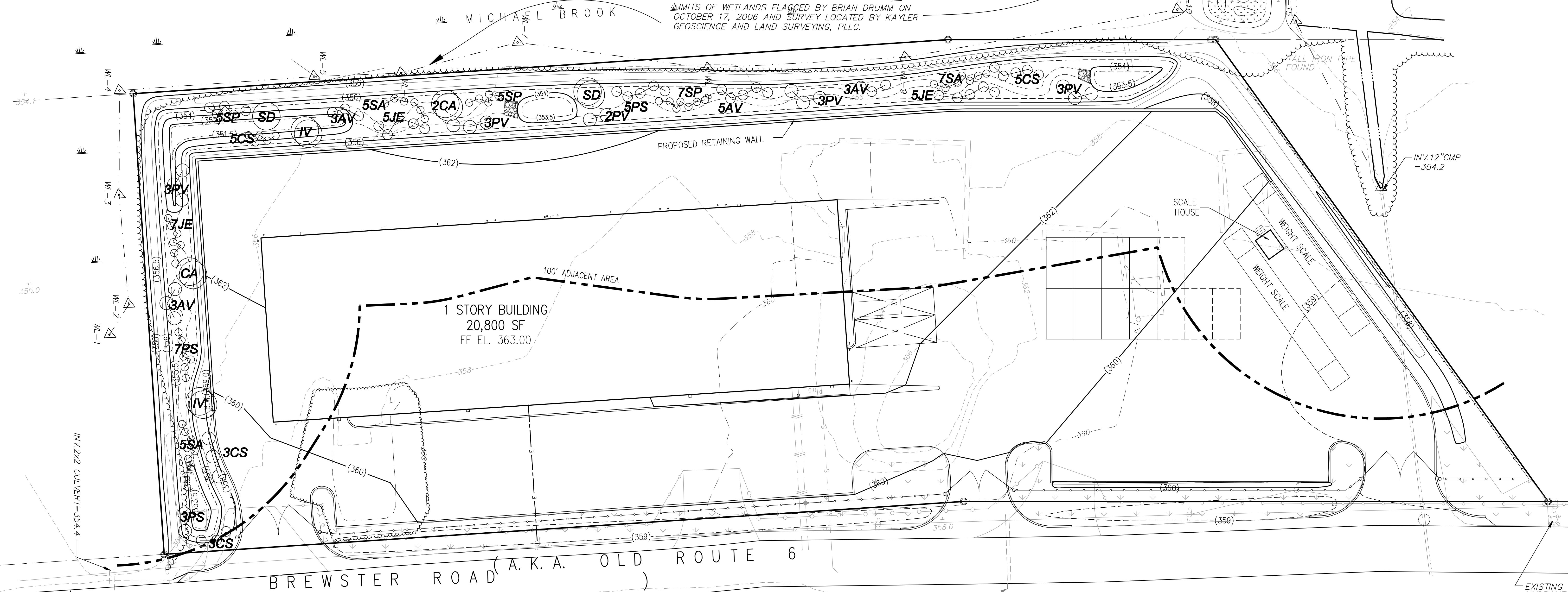
SYMBOL	PLANTING	# OF PLANTS	SIZE
CA	CLETHRA ALNIFOLIA (SWEET PEPPERBUSH)	3	2-3 GAL.
SP	SCIRPUS PUNGENS (COMMON THREE-SQUARE)	17	1-2 GAL.
AV	ANDROPOGON VIRGIDICUS (BROOM SEDGE)	14	1-2 GAL.
SA	SCIRPUS ACUTUS (HARDSTEM BULRUSH)	17	1-2 GAL.
IV	ILEX VERTICILLATA (WINTERBERRY HOLLY)	2	2-3 GAL.
PV	PANICUM VIRGATUM (SWITCHGRASS)	14	1-2 GAL.
JE	JUNCUS EFFUSES (SOFT RUSH)	17	1-2 GAL.
PS	POLYGONUM SPP. (SMARTWEED)	15	1-2 GAL.
SD	SALIX DISCOLOR (PUSSY WILLOW)	2	2-3 GAL.
CS	CAREX STRICTA (SEDE)	16	1-2 GAL.

LEGEND

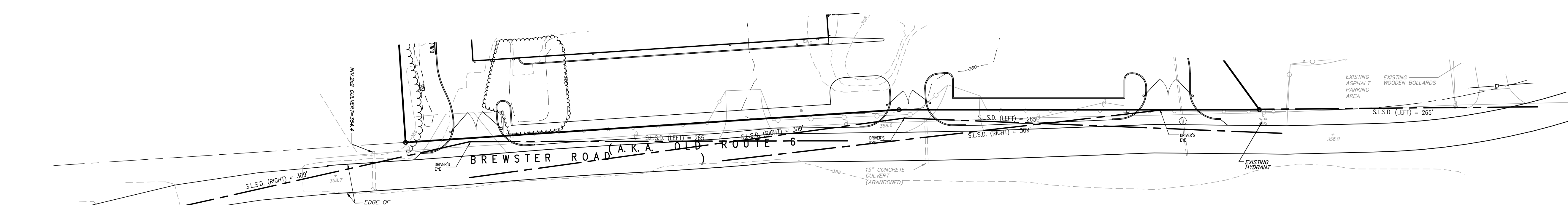
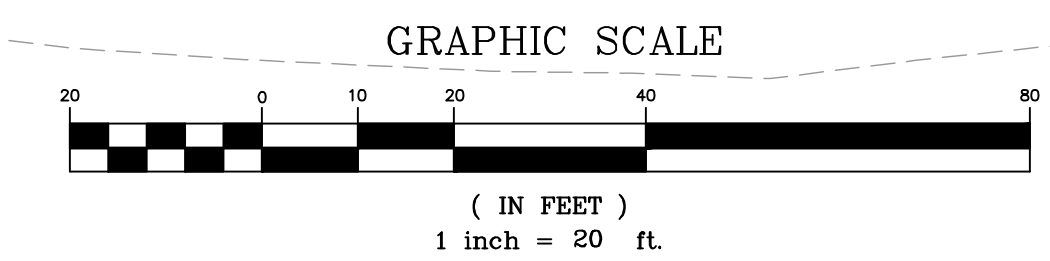
- 490 — EXISTING CONTOURS
- (358) — PROPOSED CONTOURS
- PROPOSED RETAINING WALL
- PROPOSED STORMWATER PIPE
- EXISTING VEGETATION
- GRASSED AREA (TO BE MOWED)

PLANTING NOTES:

- ALL PLANT MATERIALS SHALL BE NURSERY GROWN, FULLY FORMED AND IN A HEALTHY CONDITION FREE OF INSECTS, PESTS, DISEASE OR DAMAGE AT THE TIME OF INSTALLATION.
- ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN.
- ALL LANDSCAPING SHOWN SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION THROUGHOUT THE DURATION OF THE USE BEING SERVED. PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH HEALTHY NEW PLANTS OF COMPARABLE SIZE, TYPE AND QUANTITY AT THE BEGINNING OF THE NEXT IMMEDIATELY FOLLOWING GROWING SEASON.
- TOPSOIL ALL DISTURBED AREAS WITH NOT LESS THAN FOUR (4) INCHES OF SUITABLE TOPSOIL MATERIAL.
- SEED DISTURBED AREAS IN ACCORDANCE WITH THE SLOPE STABILIZATION NOTES ON DRAWING #C-140.



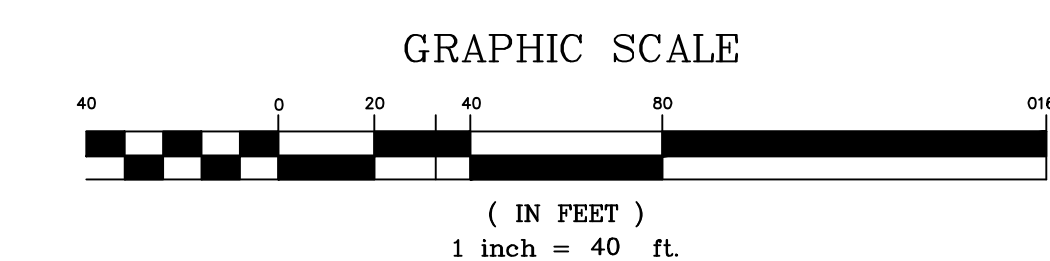
LANDSCAPING PLAN



SIGHT DISTANCE PLAN

**LINE OF SIGHT COMPUTATIONS**  
CALCULATION BASED ON "POLICY ON GEOMETRIC DESIGN OF HIGHWAYS & STREETS" AASHTO  
SSD = 1.47\*V\*(1+T<sub>a</sub>)  
DESIGN SPEED V = 30 MPH  
T<sub>a</sub> = 4(Left) T<sub>a</sub> = 5(Right) J = 2  
NORTHBOUND - LEVEL (LESS THAN 0.1% SLOPE)  
SOUTHBOUND - LEVEL (LESS THAN 0.1% SLOPE)  
S.L.S.D. (LEFT) = 1.47\*30\*(2+4) = 265'  
S.L.S.D. (RIGHT) = 1.47\*30\*(2+5) = 309'

LANDSCAPING AND SIGHT DISTANCE PLAN



**PUTNAM ENGINEERING**  
ENGINEERS - ARCHITECTS  
4 OLD ROUTE 6, BREWSTER, NEW YORK 10509  
(845) 279-6789 FAX (845) 279-6789  
P. FINAL DRAWING FILE 2006

PERMIT TO NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION 2006 SUBMISSION 2. IT IS A VIOLATION OF THE STATE EMBLEM ACT TO REPRODUCE OR ALTER IN ANY MANNER THE DESIGN OF A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT WITHOUT THE WRITTEN CONSENT OF PUTNAM ENGINEERING. THIS AGREEMENT SHALL APPLY TO THE ITEM BEING SEALED AND THE DATE OF SEALING. THE SIGNATURE AND THE DATE OF SEALING SHALL BE THE DATE OF SEALING AND THE DATE OF SEALING SHALL BE THE DATE OF SEALING.

REVISIONS	NO.	DATE	DESCRIPTION
1	12/06/06	12/06/06	PRELIMINARY SUBMISSION
2	12/06/06	12/06/06	PRELIMINARY SUBMISSION
3	12/06/06	12/06/06	PRELIMINARY SUBMISSION
4	12/06/06	12/06/06	PRELIMINARY SUBMISSION
5	12/06/06	12/06/06	PRELIMINARY SUBMISSION
6	12/06/06	12/06/06	PRELIMINARY SUBMISSION
7	12/06/06	12/06/06	PRELIMINARY SUBMISSION
8	12/06/06	12/06/06	PRELIMINARY SUBMISSION
9	12/06/06	12/06/06	PRELIMINARY SUBMISSION
10	12/06/06	12/06/06	PRELIMINARY SUBMISSION
11	12/06/06	12/06/06	PRELIMINARY SUBMISSION
12	12/06/06	12/06/06	PRELIMINARY SUBMISSION

**TOMPKINS RECYCLING FACILITY**  
CONSTRUCTION AND DEBRIS PROCESSING CENTER & RECYCLING  
60 OLD ROUTE 6  
TOWN OF CANAHE  
PUTNAM COUNTY, NEW YORK  
TAX MAP NO. 35.11, BLOCK 1, LOT 15  
OWNER: 70 OLD ROUTE 6, L.L.C. P.O. BOX 508 BEDFORD, N.Y. 10506

DATE: 10/12/06  
PROJECT MANAGER: [Blank]  
DRAWN BY: [Blank]  
CHECKED BY: [Blank]  
SCALE: [Blank]  
AS NOTED

**LANDSCAPE AND SIGHT DISTANCE PLAN**

PROJECT NUMBER: 8288  
DRAWING NUMBER: C-150  
SHEET 8 OF 15



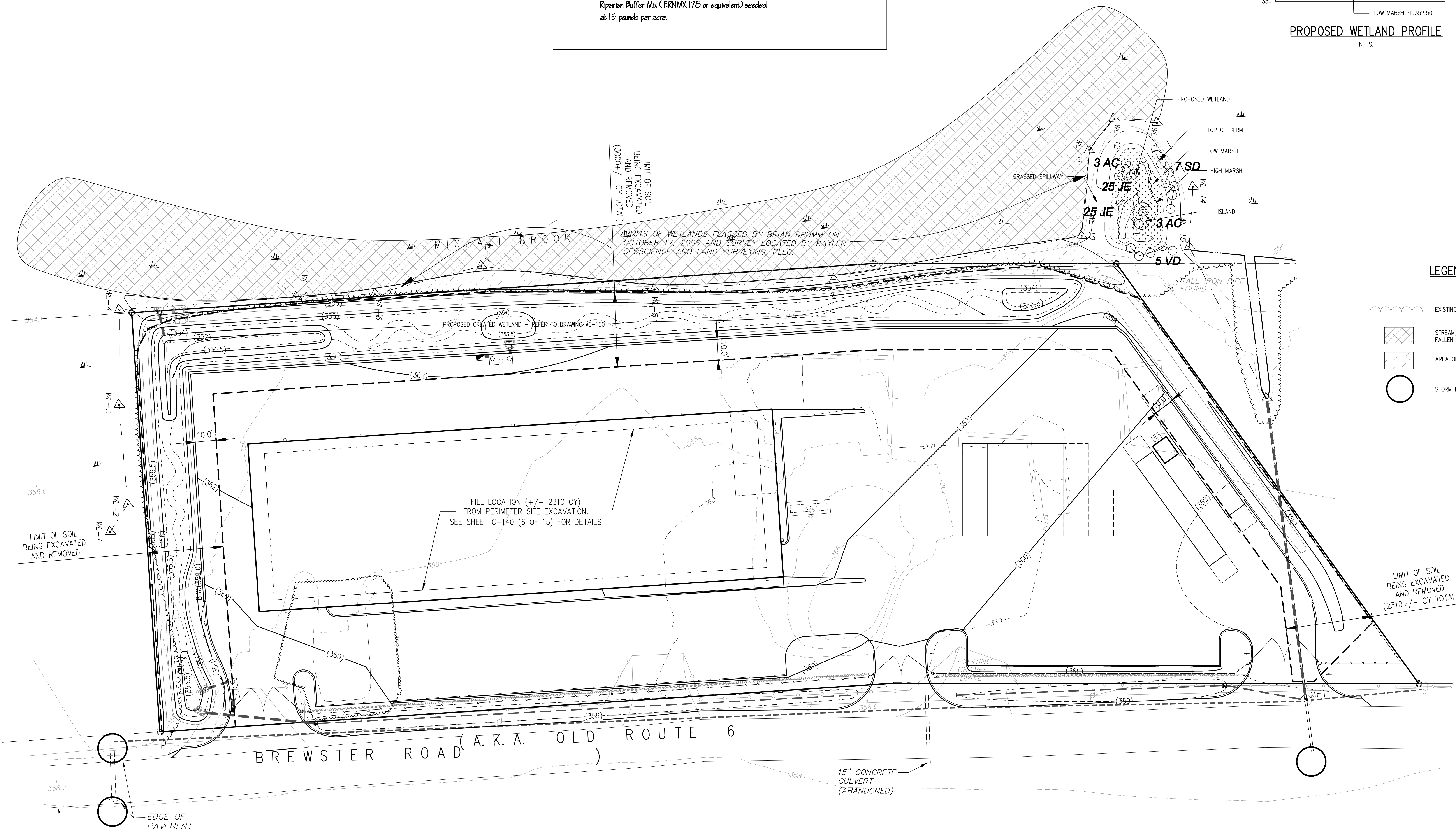
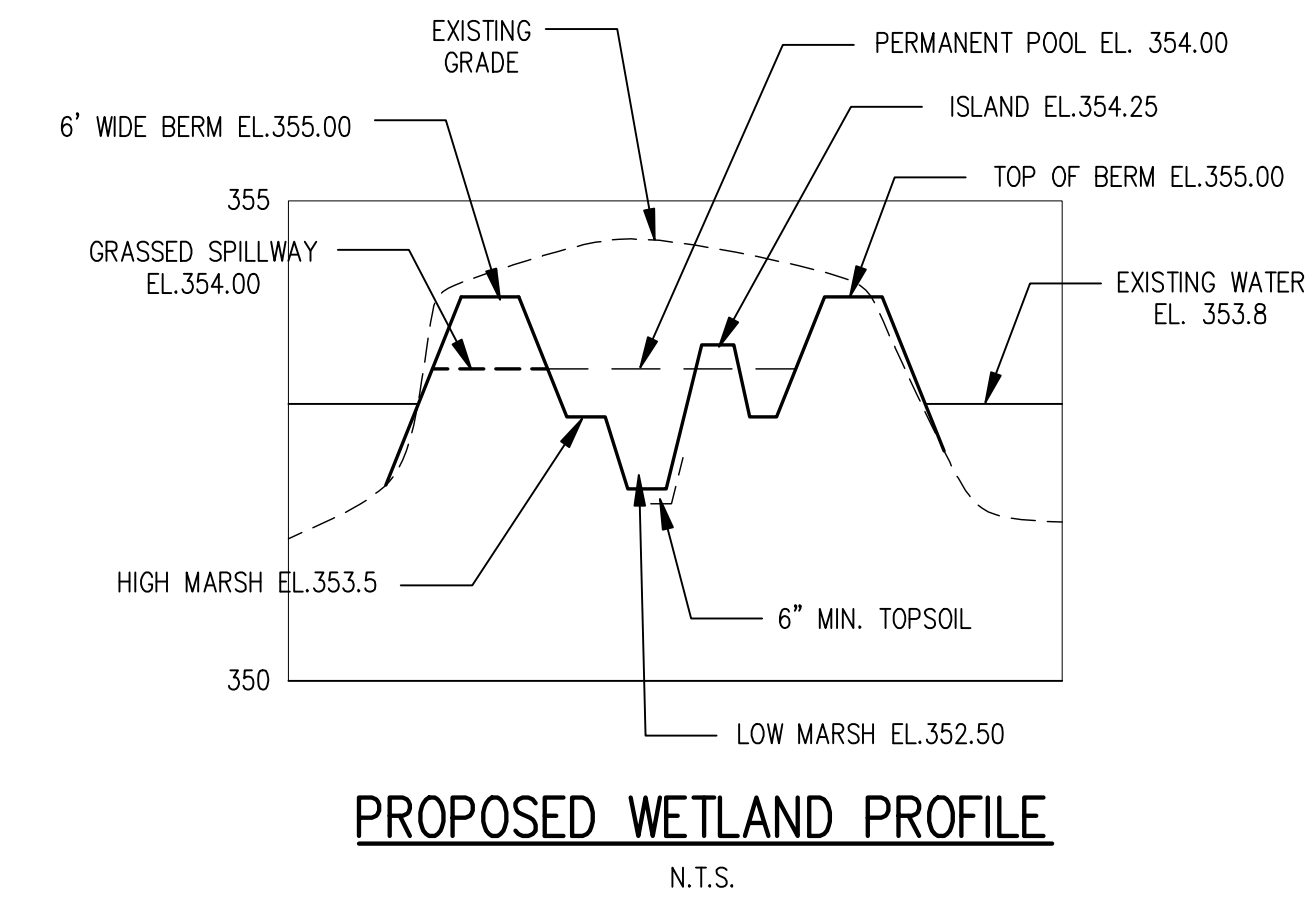
**Wetland and Buffer Restoration Notes:**

1. The wetland and stream corridor adjacent to Michael's Brook will be cleared of debris and fallen trees to restore flow.
2. The small peninsula area of historic debris in the northwest portion of the site will be cleared, cleaned out and re-graded as an extension of the wetland area, as shown on the plan. Shrubs and herbaceous material will be added as shown and the area over-seeded with ERNMX-157 Wetland Mix for Shaded OBL / FACW Areas or equivalent at 15 lbs/acre.
3. Any invasive plant species will be removed from wetland adjacent areas by hand without use of mechanical devices.
4. Existing culverts under Old Route 6 will be cleared and normal flow restored.

**Plant List for Wetland Buffer Enhancement Areas**

ID	Scientific Plant Name	Common Plant Name Qty	Root	Size
<b>Trees</b>				
AC	Amelanchier canadensis	Shadblow	6	caned 5-gal
<b>Shrubs</b>				
SD	Salix discolor	Pussy willow	7	caned 3-gal.
VD	Viburnum dentatum	Arrowwood	5	caned 3-gal.
<b>Herbaceous species</b>				
JE	Juncus effusus	Soft rush	50	2" plug

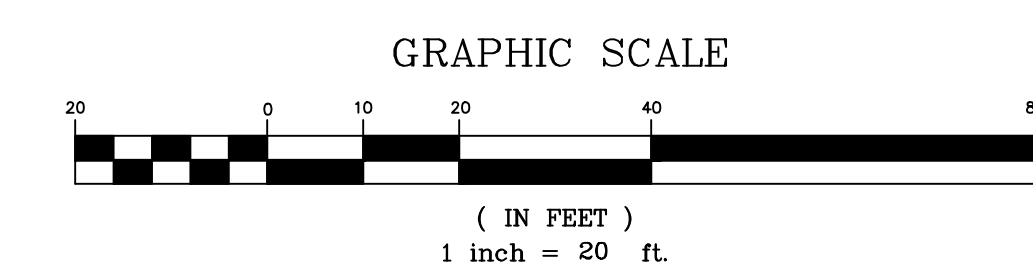
Wetland buffer seed mix  
 Riparian Buffer Mix (ERNMX 178 or equivalent) seeded at 15 pounds per acre.



**LEGEND**

- EXISTING VEGETATION
- STREAM/WETLAND AREA TO BE CLEARED OF FALLEN TREES AND POLES
- AREA OF SELECTIVE VEGETATION REMOVAL
- STORM PIPE INVERT TO BE CLEANED

**WETLAND BUFFER ENHANCEMENT PLAN & SOIL EXCAVATION AND FILL PLAN**



**PUTNAM ENGINEERING**  
 ENGINEERS - ARCHITECTS  
 4 OLD ROUTE 6, BREWSTER, NEW YORK 10509  
 (845) 279-6789 FAX (845) 279-6769  
 PUTNAM ENGINEERING, P.C.

PERMIT TO NEW YORK STATE EDDA SUBMISSION 2. IT IS A VIOLATION TO REPRODUCE OR TRANSMIT THIS DRAWING IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF PUTNAM ENGINEERING, P.C. ANY ALTERATION OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF PUTNAM ENGINEERING, P.C. SHALL BE AT THE USER'S SOLE RISK. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR ANY ALTERATION OF THIS DRAWING. PUTNAM ENGINEERING, P.C. SHALL NOT BE RESPONSIBLE FOR ANY SUCH ALTERATION.

NO.	DATE	DESCRIPTION
1	11/17/07	ADDED DBA APPROVAL
2	12/06/07	REVISED PER P.E. COMMENTS
3	12/06/07	REVISED PER P.E. COMMENTS
4	12/06/07	REVISED PER P.E. COMMENTS
5	12/06/07	REVISED PER P.E. COMMENTS
6	02/29/08	REVISED PER NYSDEC
7	04/07/08	REVISED PER NYSDEC
8	04/07/08	REVISED PER NYSDEC
9	04/07/08	REVISED PER NYSDEC
10	05/19/08	REVISED PER NYSDEC
11	05/19/08	REVISED PER NYSDEC
12	08/28/08	REVISED PER NYSDEC

**TOMPKINS RECYCLING FACILITY**  
 CONSTRUCTION AND DEBRIS PROCESSING CENTER & RECYCLING  
 60 OLD ROUTE 6  
 TOWN OF CARMEL  
 PUTNAM COUNTY, NEW YORK  
 TAX MAP No. 55.11, BLOCK 1, LOT 15  
 OWNER: 70 OLD ROUTE 6, L.L.C. P.O. BOX 508 BEDFORD N.Y. 10506

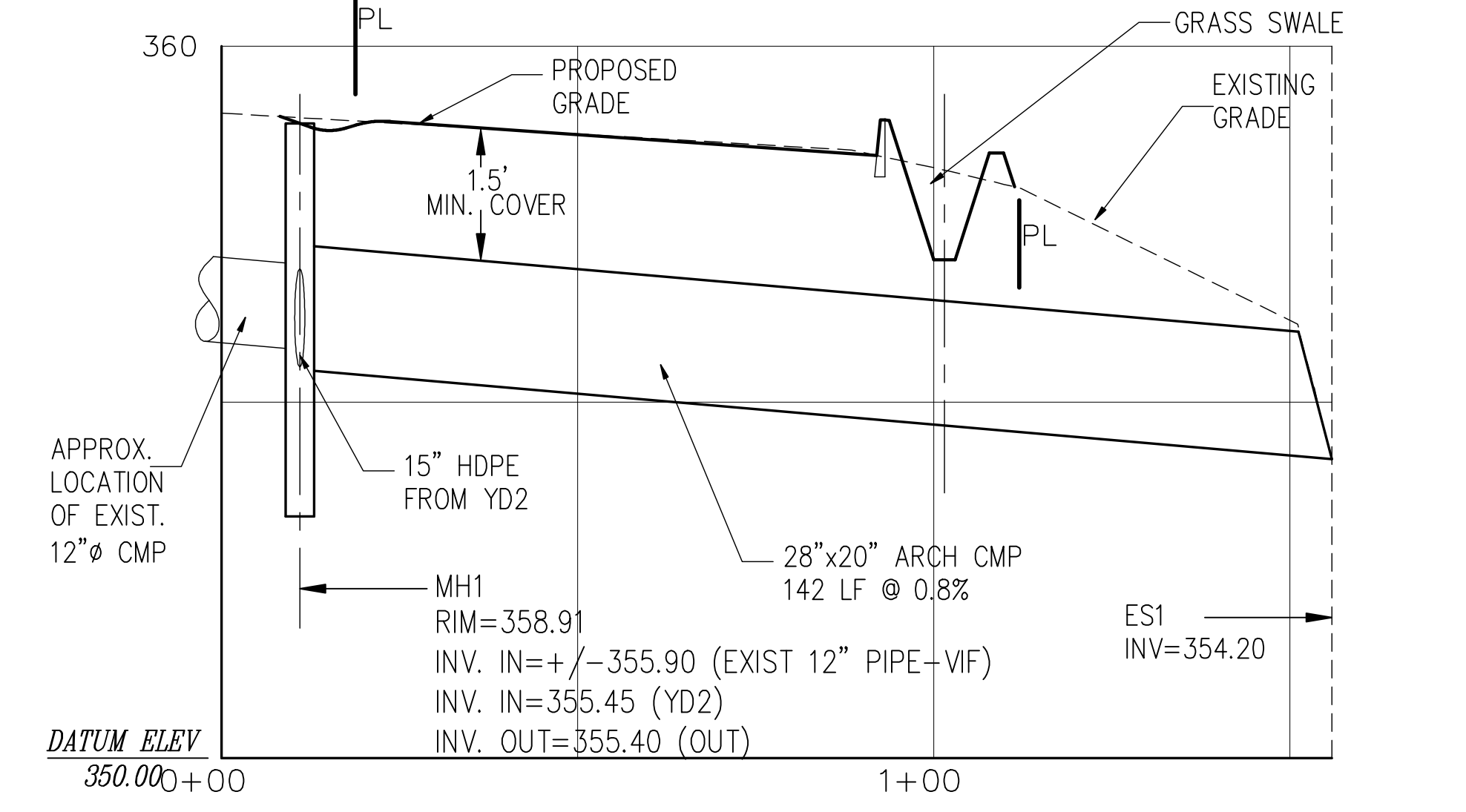
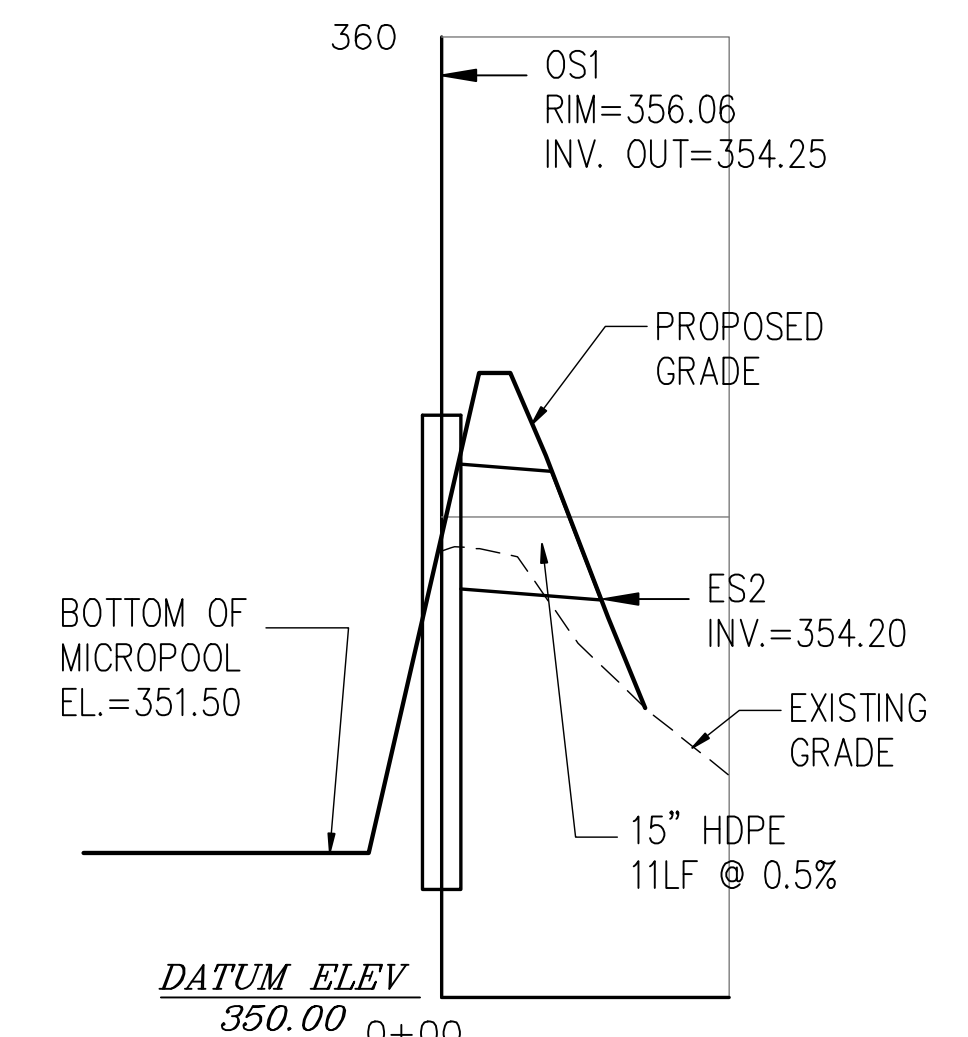
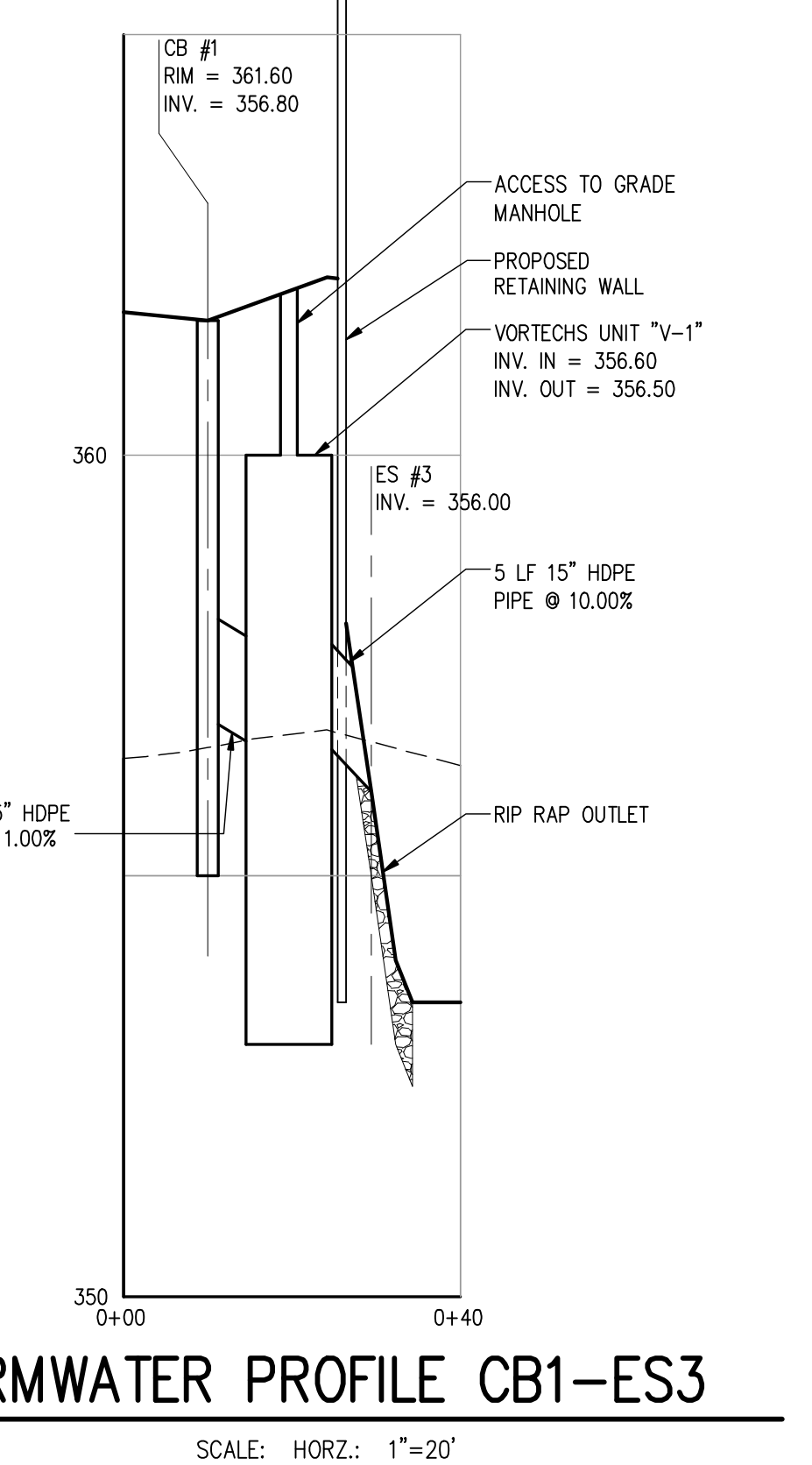
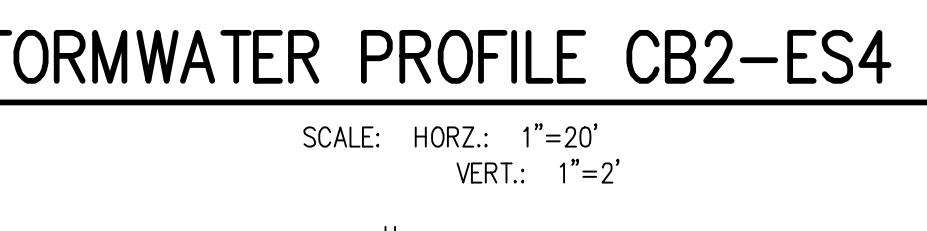
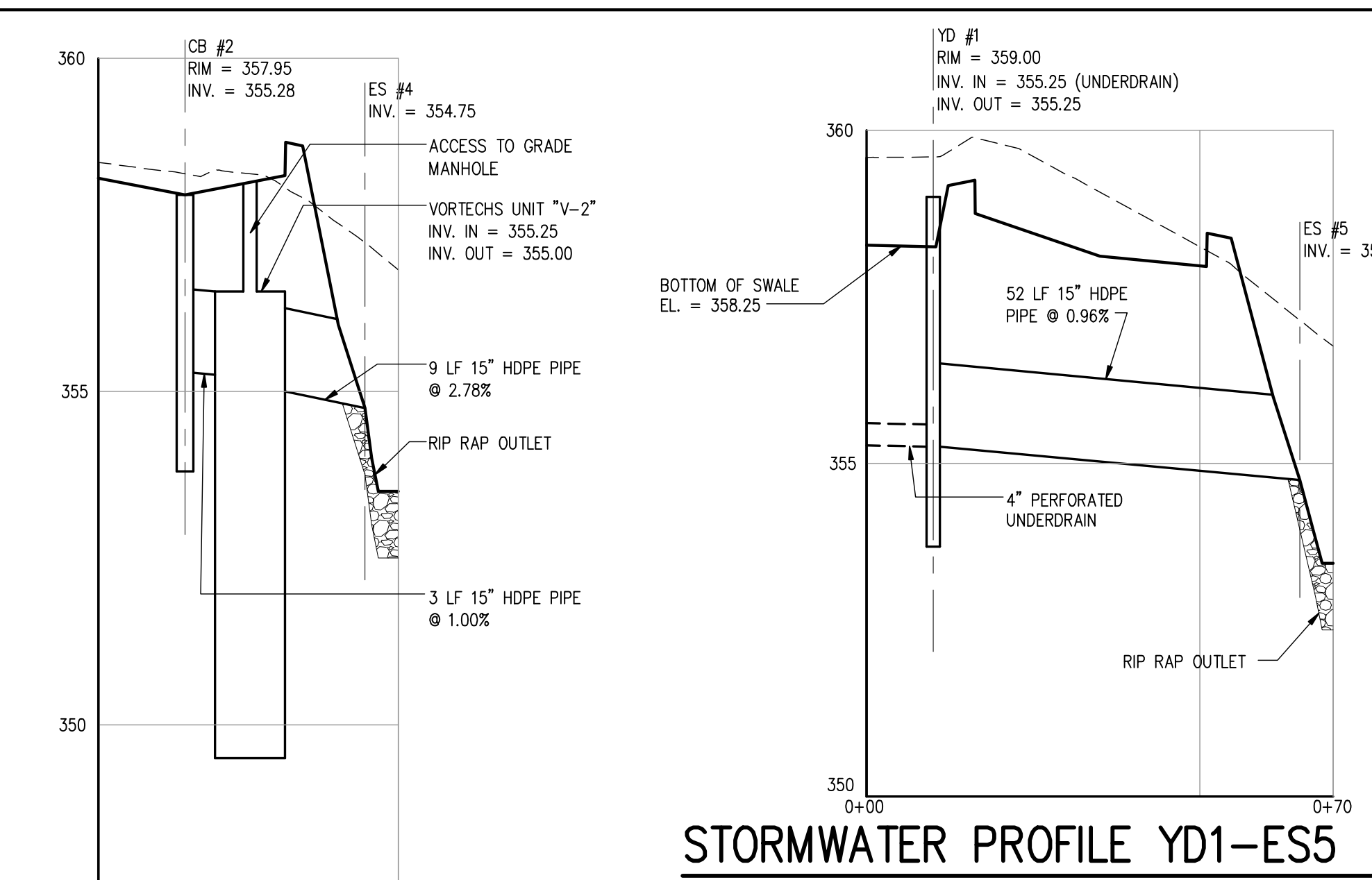
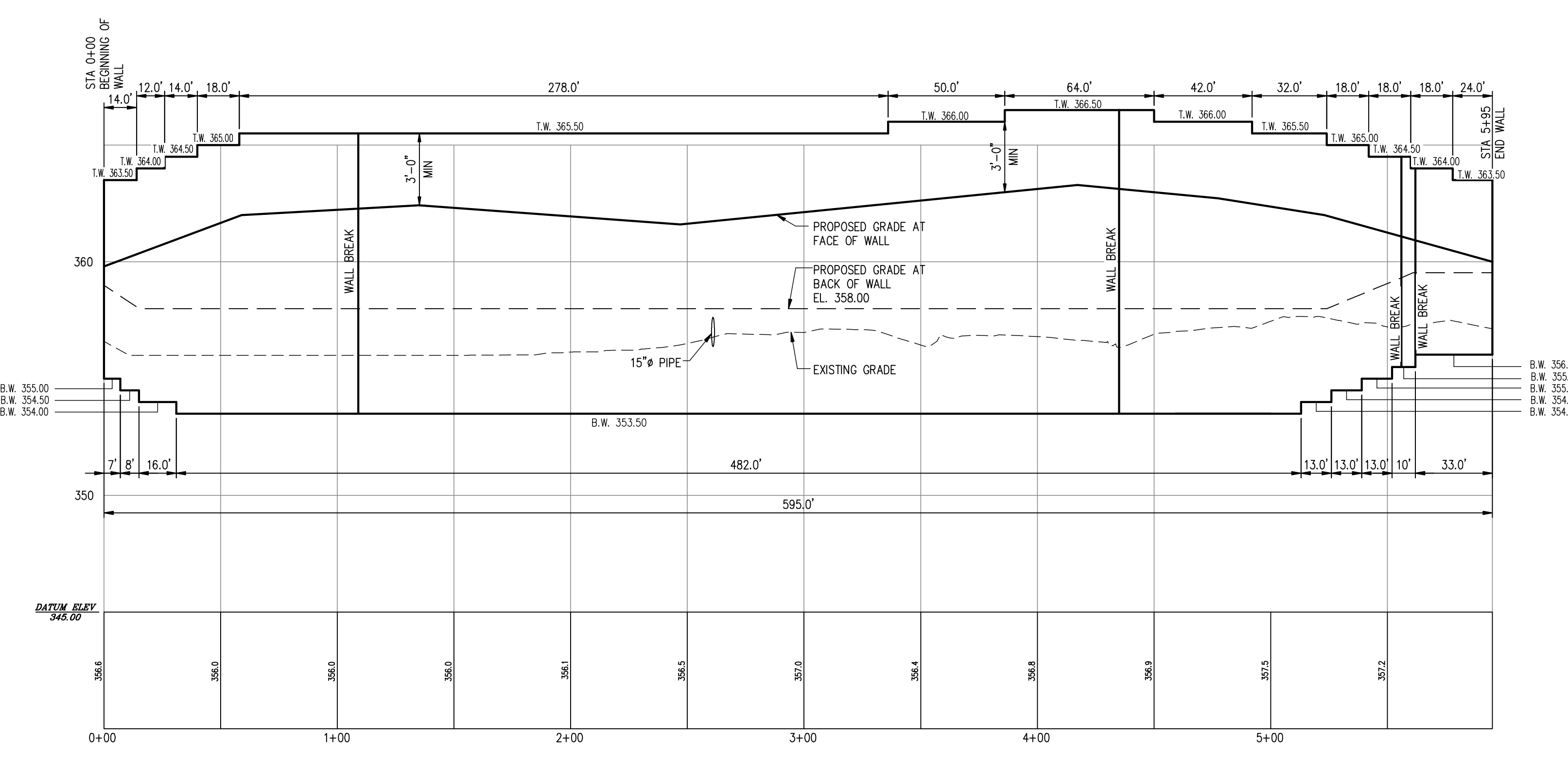
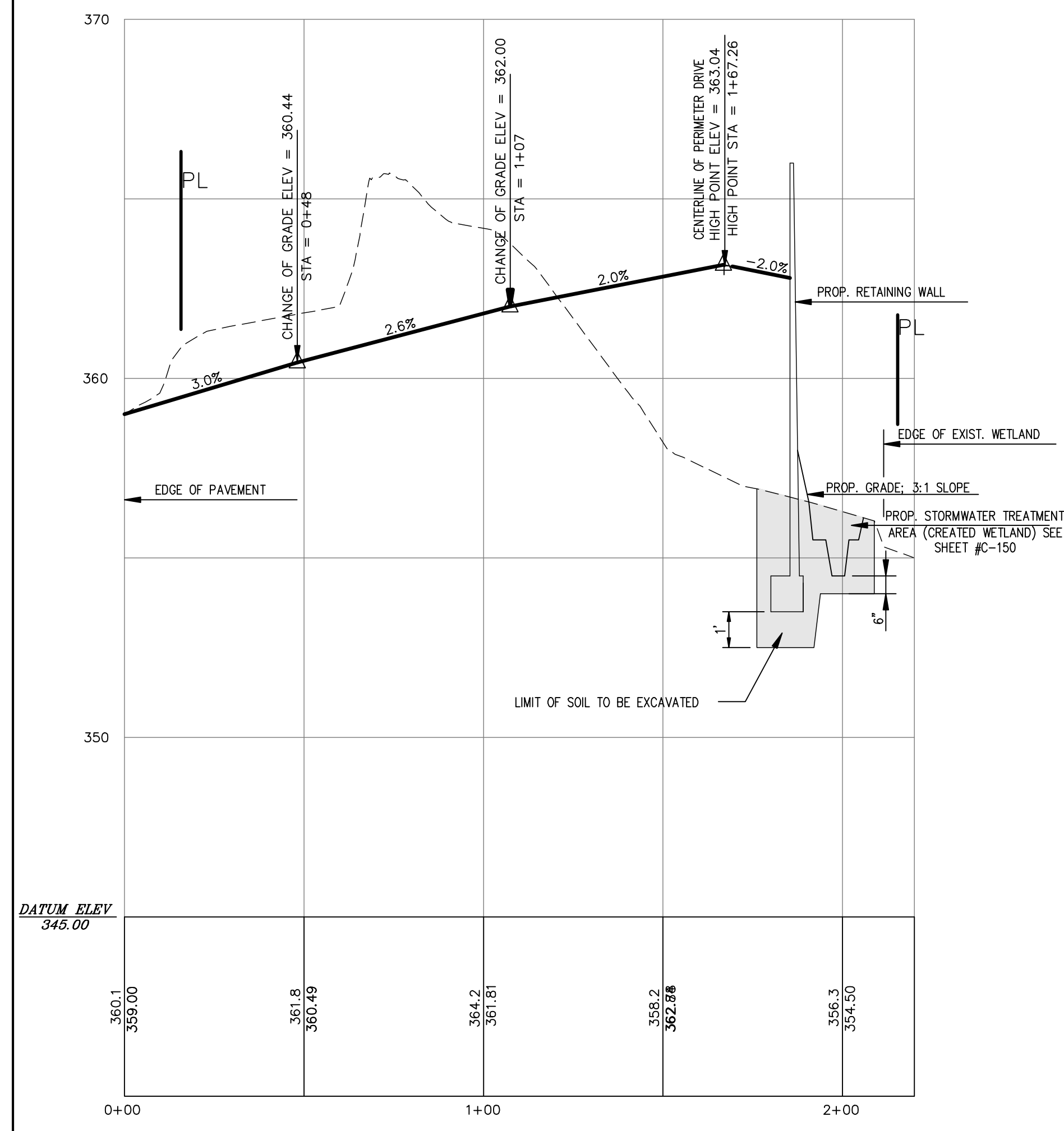
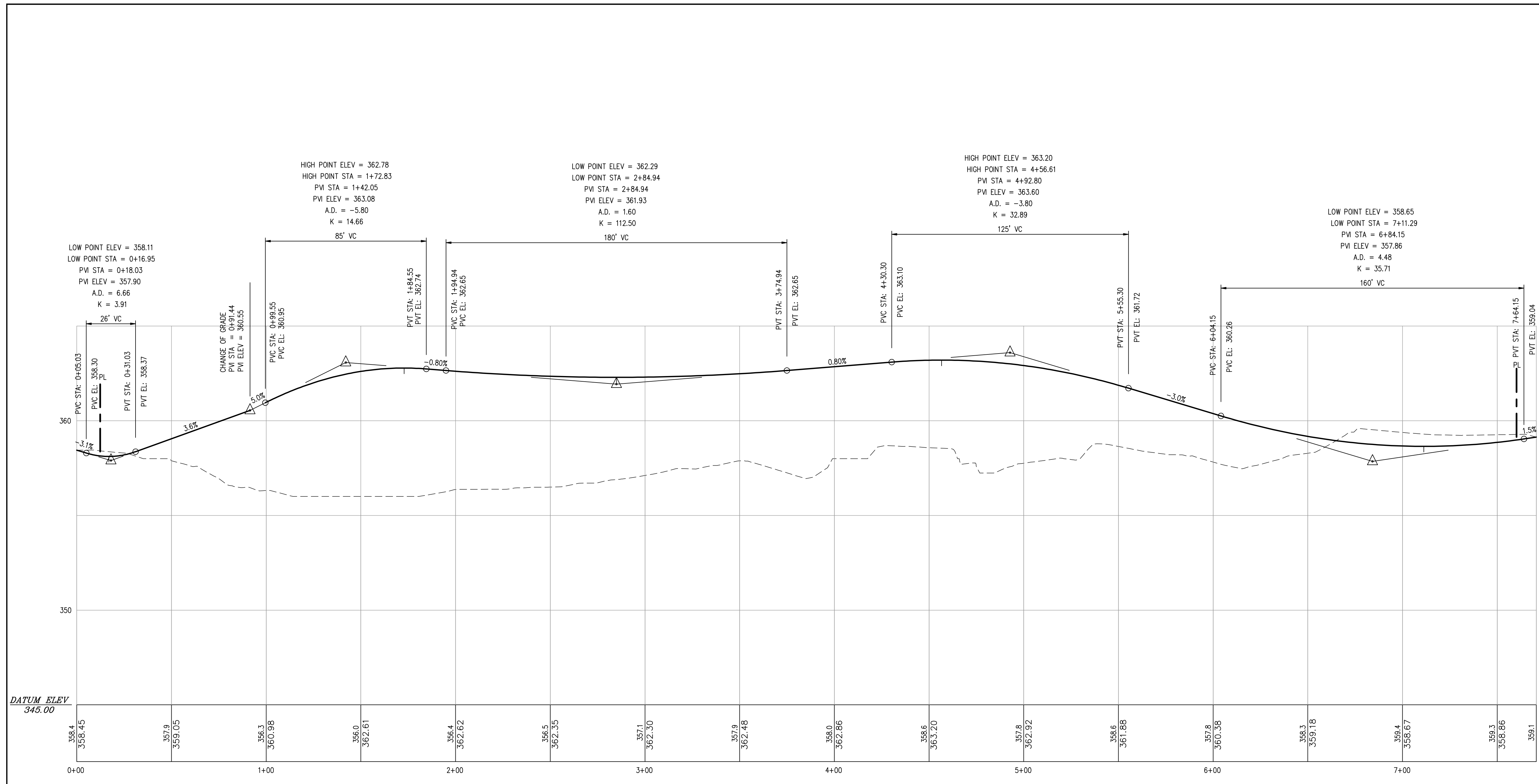
DATE: 10/12/08  
 PROJECT MANAGER: BK  
 DRAWN BY: BCK  
 CHECKED BY: PNL  
 SCALE: AS NOTED

**WETLAND BUFFER ENHANCEMENT PLAN & SOIL EXCAVATION AND FILL PLAN**

PROJECT NUMBER: 8288  
 DRAWING NUMBER:

**C-160**

SHEET 9 OF 15



**PUTNAM ENGINEERING, LLC**  
 ENGINEERS - ARCHITECTS  
 4 OLD ROUTE 6, BREWSTER, NEW YORK 10509  
 (845) 279-6789 FAX (845) 279-6789  
 P:\1000\10000\10000.DWG

NO.	DATE	DESCRIPTION
1	12/05/06	PRELIMINARY SUBMISSION
2	02/28/07	REVISED PER P.E. COMMENTS
3	03/17/07	REVISED PER P.E. COMMENTS
4	03/27/07	REVISED PER P.E. COMMENTS
5	04/02/07	REVISED PER P.E. COMMENTS
6	04/02/07	REVISED PER P.E. COMMENTS
7	04/02/07	REVISED PER P.E. COMMENTS
8	04/02/07	REVISED PER P.E. COMMENTS
9	04/02/07	REVISED PER P.E. COMMENTS
10	04/02/07	REVISED PER P.E. COMMENTS
11	04/02/07	REVISED PER P.E. COMMENTS
12	04/02/07	REVISED PER P.E. COMMENTS

**TOMPKINS RECYCLING FACILITY**  
 CONSTRUCTION AND DEBRIS PROCESSING CENTER & RECYCLING  
 60 OLD ROUTE 6  
 TOWN OF CARROLL  
 PUTNAM COUNTY, NEW YORK  
 TAX MAP No. 55.11, BLOCK 1, LOT 15  
 OWNER: 70 OLD ROUTE 6, L.L.C. P.O. BOX 508 BEDFORD N.Y. 10506

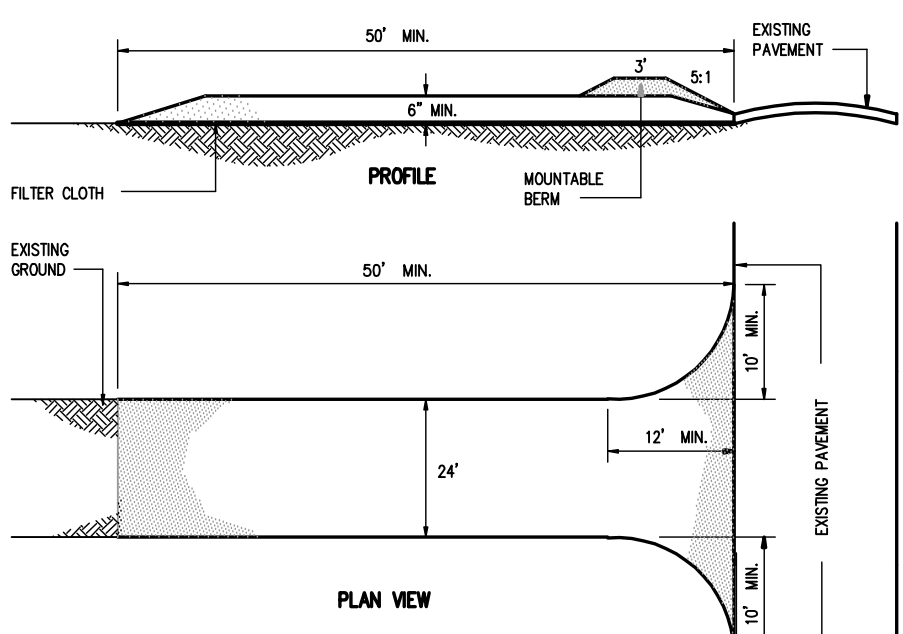
**PROFILES**

PROJECT NUMBER: 6286  
 DRAWING NUMBER: C-210



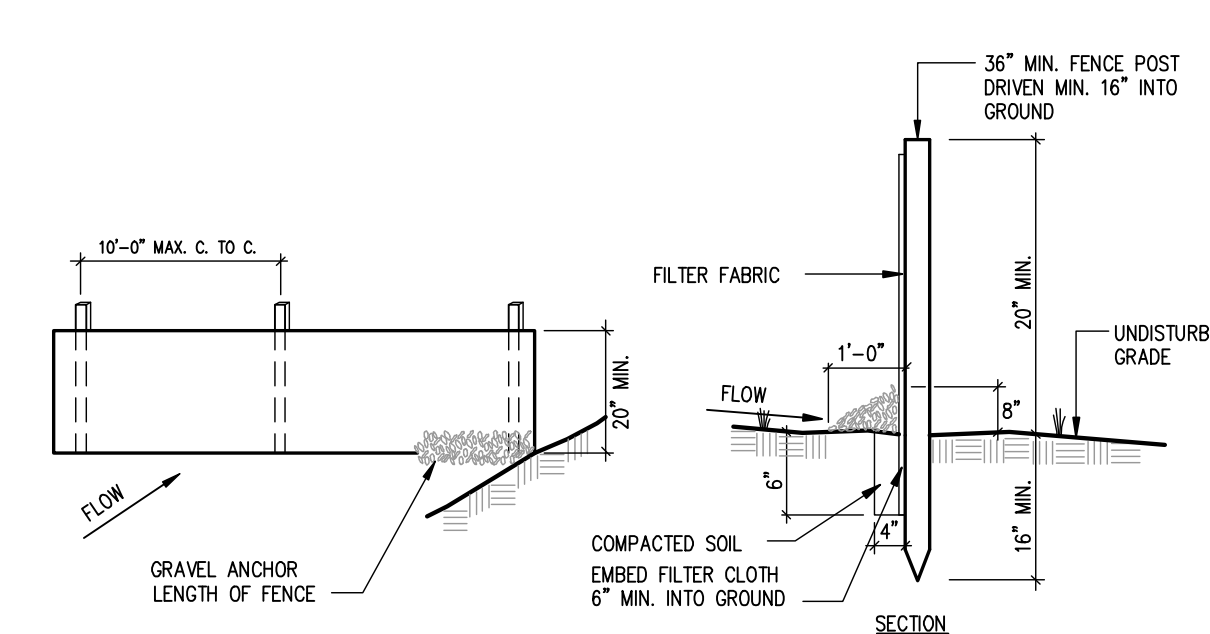






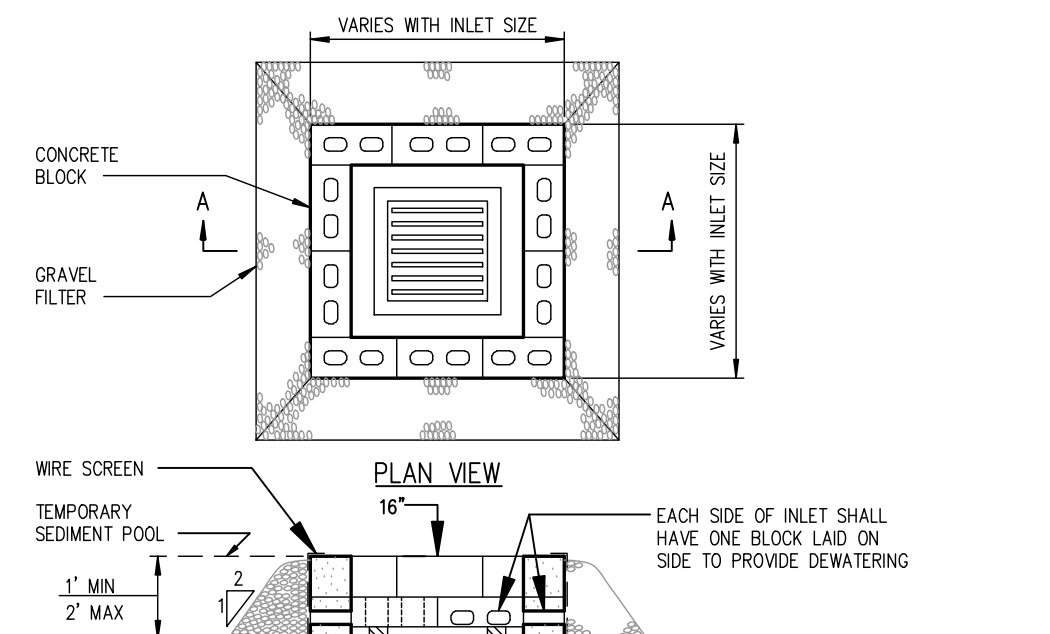
- CONSTRUCTION SPECIFICATIONS:**
- STONE SIZE - USE 2" STONE OR EQUIVALENT.
  - STONE - NOT LIES FLAT IN THIS ENTRY ON A SINGLE RESIDENTIAL LOT WHERE A 30" MINIMUM LENGTH WOULD APPLY.
  - THICKNESS - NOT LESS THAN 60 (6) INCHES.
  - WIDTH - NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INTERSECTIONS AND CORNERS OCCUR. THICKNESS SHALL BE 12" MINIMUM.
  - FILTER CLOTH - SHALL BE PLACED OVER THE ENTIRE AREA FROM TO PLACING OF STONE. MUST BE 100% COVERED.
  - STONE - MUST BE PLACED WITHIN 12" OF THE ENTRANCE TO THE DRAIN.
  - CONSTRUCTION ENTRANCES SHALL BE PERFORMED IN A MANNER THAT WILL PREVENT TRACKING OR SPREADING OF SEDIMENT TO ADJACENT AREAS.
  - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR SPREADING OF SEDIMENT TO ADJACENT AREAS.
  - ALL SEDIMENT SHALL BE REMOVED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY.
  - ANY MATERIAL WHICH IS NOT PERMITTED TO BE TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED OR TRACED ONTO AN APPROVED SEDIMENT TRAPPING DEVICE.
  - PERIODIC INSPECTION AND NECESSARY MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

**1 STABILIZED CONSTRUCTION ENTRANCE DETAIL**  
C-310 N.T.S.



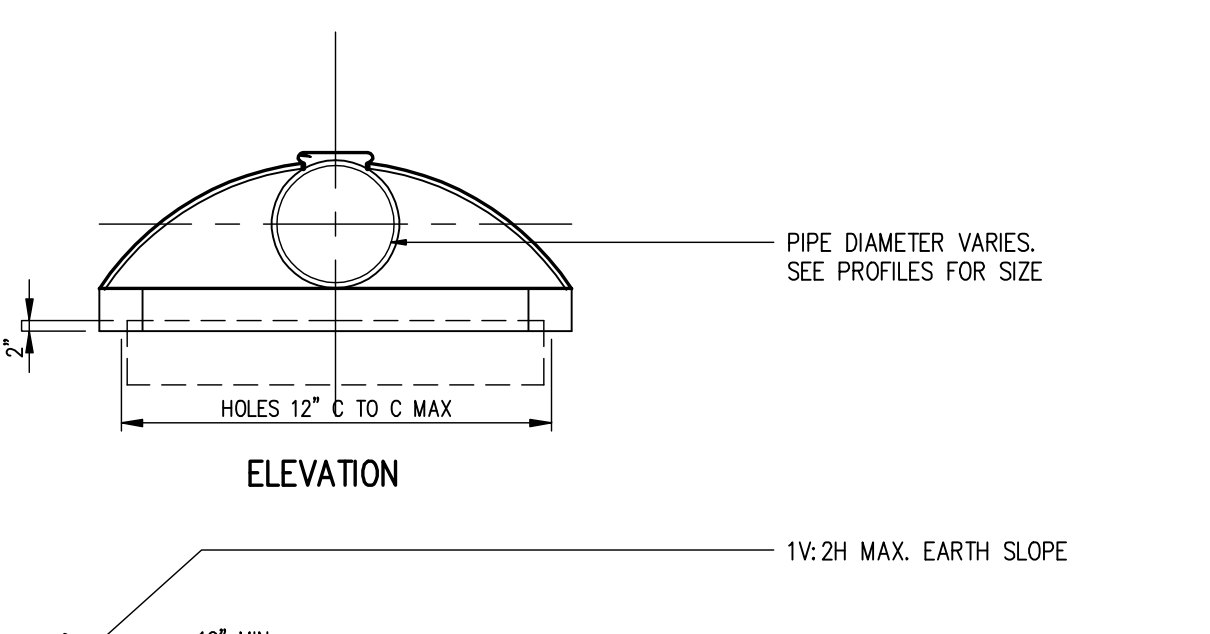
- CONSTRUCTION NOTES FOR SILT FENCE:**
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
  - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- POSTS: STEEL EITHER "1" OR "1/2" TYPE OR 2" HARDWOOD
- FILTER CLOTH: FILTER X, MIRAFL 100X, STABILINKA T100N OR APPROVED EQUAL
- PREFABRICATED UNIT: GEOTAF, ENVROFENCE OR APPROVED EQUAL

**2 SILT FENCE DETAIL**  
C-310 N.T.S.



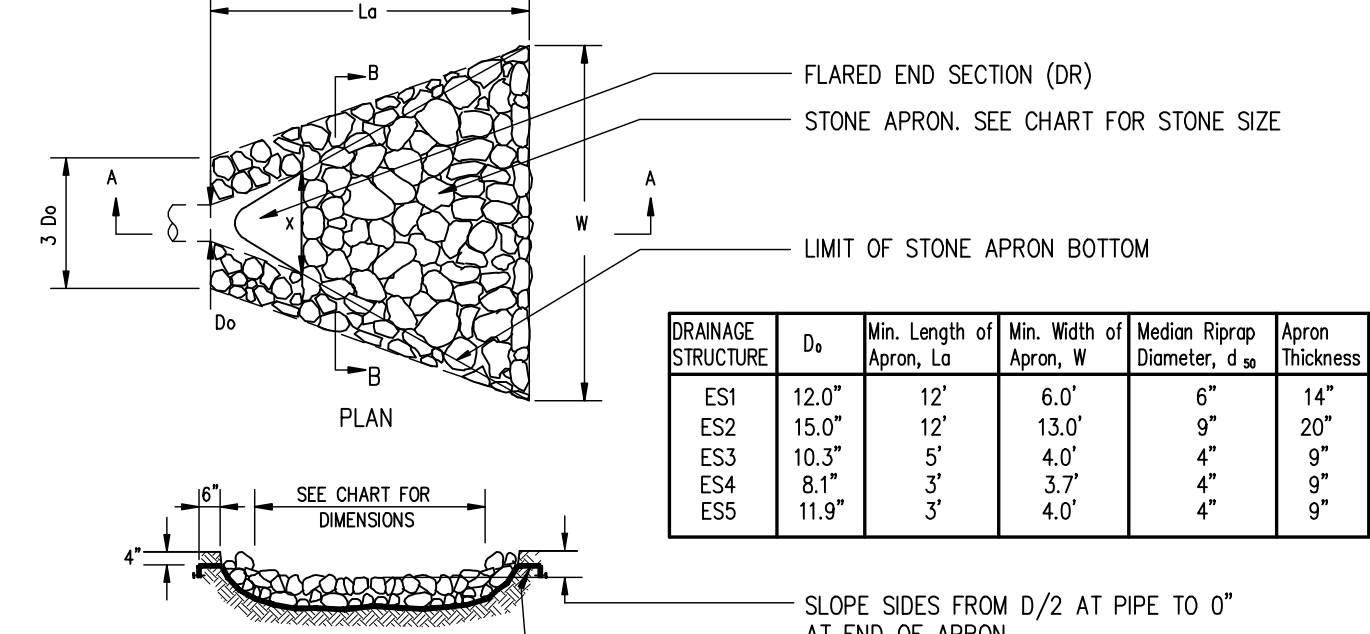
- CONSTRUCTION SPECIFICATIONS:**
- LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DOWELING. FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
  - HARDWARE CLOTH OR 1/2 INCH WIRE MESH SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONES.
  - USE CLEAN STONE OR GRAVEL 1/2-3/4 INCH IN DIAMETER PLACED 2 INCHES BELOW THE TOP OF THE BLOCK ON A 2:1 SLOPE OR FLAT.
  - SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE. THE SEDIMENT TRAP SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE CONSTRUCTED DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

**3 STONE & BLOCK DROP INLET PROTECTION DETAIL**  
C-310 N.T.S.



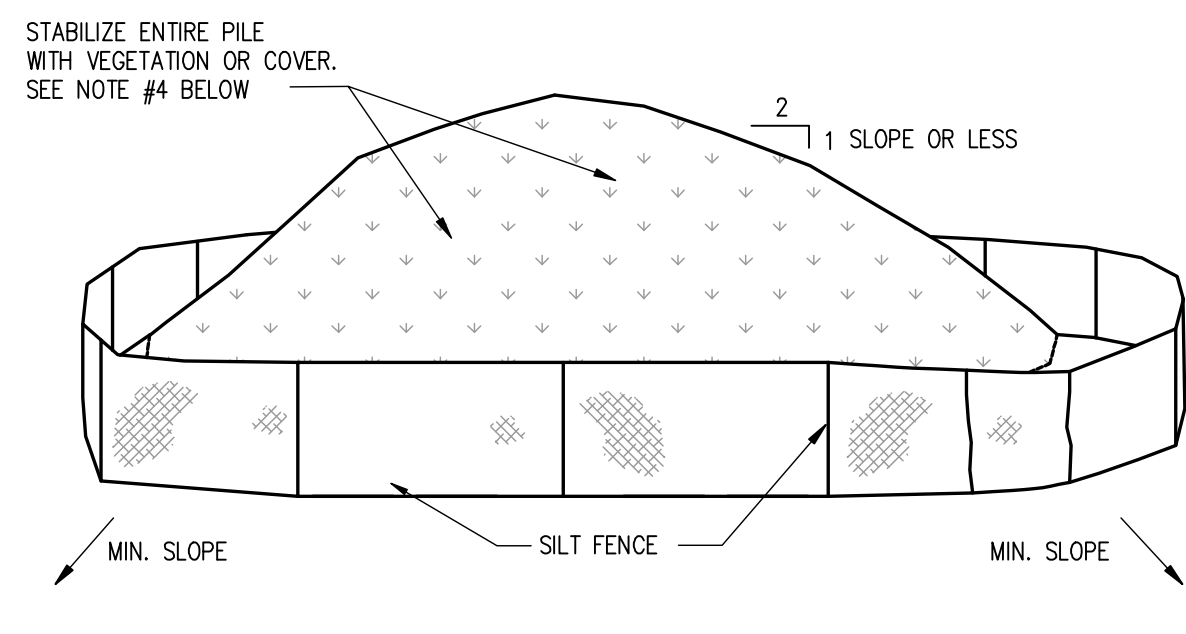
- CONSTRUCTION SPECIFICATIONS:**
- SPACING MAY VARY AS PER MANUFACTURER'S RECOMMENDATIONS. MAXIMUM SPACING IS 8'-0".
  - JOIN CONSTRUCTION FENCE SECTIONS BY OVERLAPPING END STAKES.
  - INSPECT AND REPAIR PERIODICALLY TO MAINTAIN THE INTEGRITY OF THE CONSTRUCTION AREA.

**4 END SECTION DETAIL**  
C-310 N.T.S.



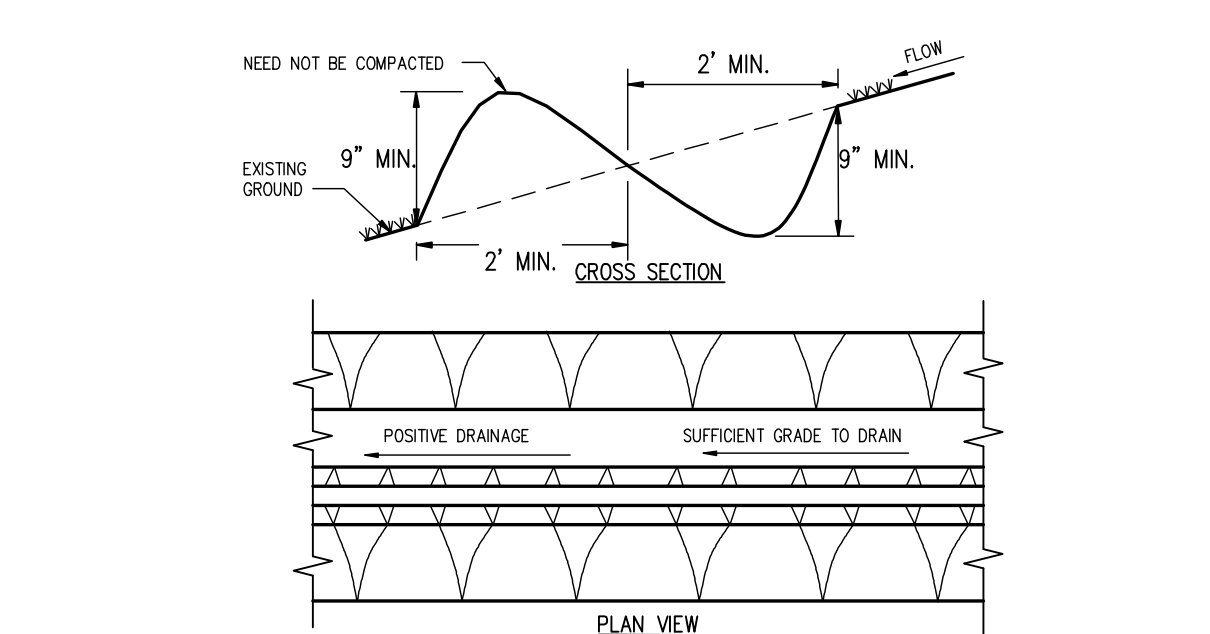
- CONSTRUCTION SPECIFICATIONS:**
- LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DOWELING. FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
  - HARDWARE CLOTH OR 1/2 INCH WIRE MESH SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONES.
  - USE CLEAN STONE OR GRAVEL 1/2-3/4 INCH IN DIAMETER PLACED 2 INCHES BELOW THE TOP OF THE BLOCK ON A 2:1 SLOPE OR FLAT.
  - SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE. THE SEDIMENT TRAP SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE CONSTRUCTED DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

**5 RIP-RAP OUTLET PROTECTION DTL.**  
C-310 N.T.S.



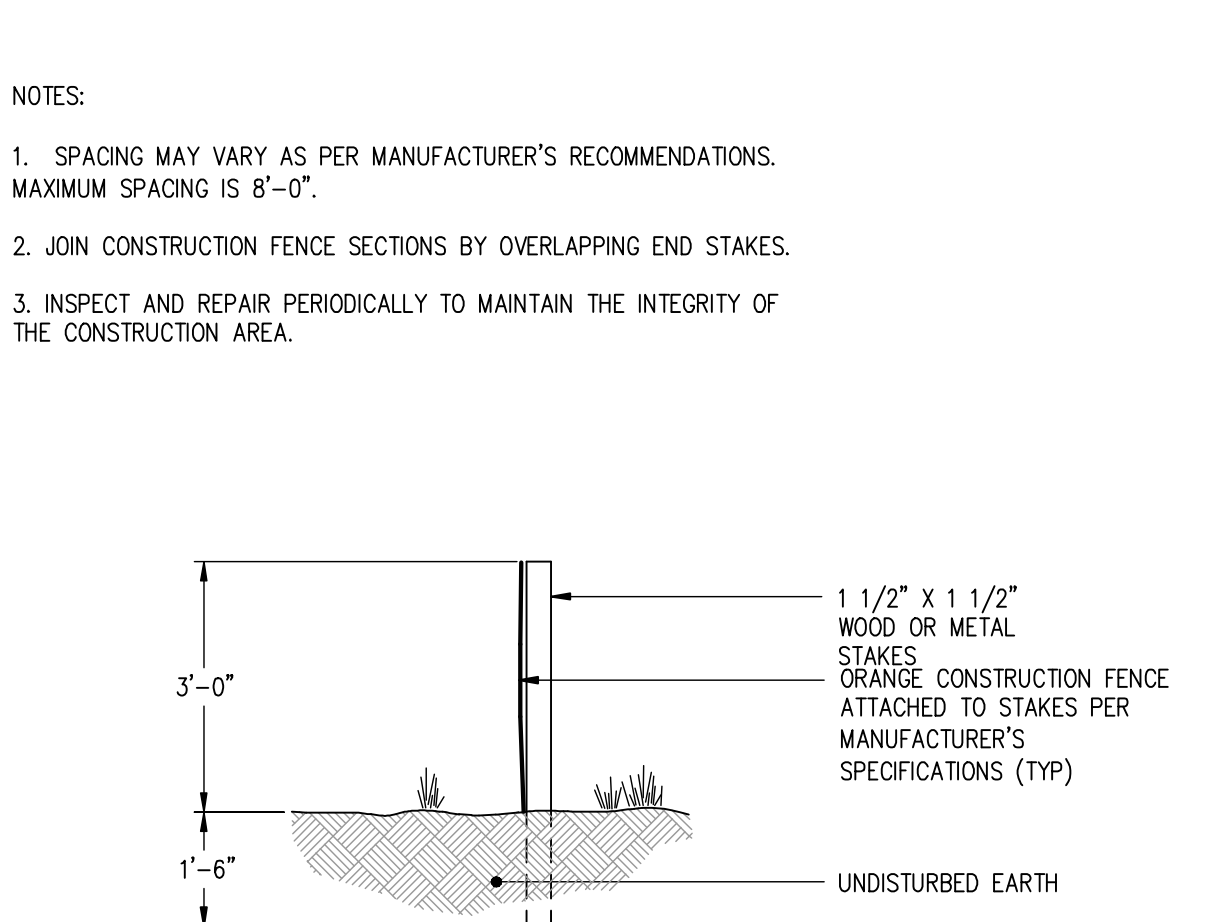
- INSTALLATION NOTES:**
- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
  - MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
  - UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH SILT FENCING.
  - SPRING/SUMMER/FALL SEEDING: SEED WITH PERENNIAL RYE GRASS @ 40 LBS/AC. STABILIZATION FROM NOVEMBER 1 THROUGH MARCH 31 SHALL BE BY A ROLLED EROSION CONTROL PRODUCT OR MAY BE HYDROSEEDING WITH WINTER RYE WITH A HEAVY MULCH LAYER. RESEED STOCKPILE IN SPRING AS NOTED ABOVE.
  - SEE SILT FENCE DETAIL FOR SILT FENCE INSTALLATION SPECIFICATIONS.

**6 TOPSOIL STOCKPILE DETAIL**  
C-310 N.T.S.



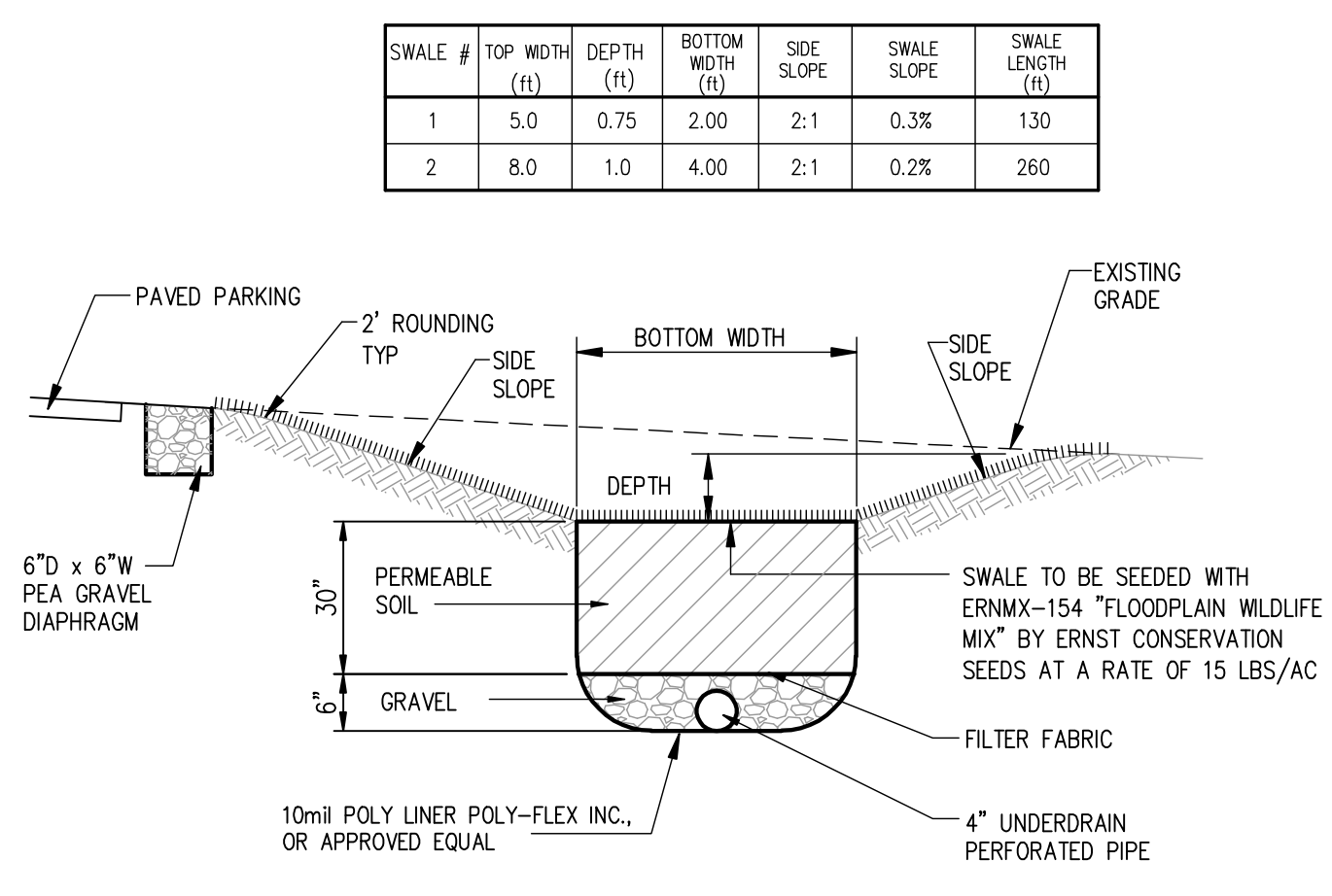
- CONSTRUCTION SPECIFICATIONS:**
- ALL PERIMETER DIKE/SWALE SHALL HAVE UNINTERRUPTED POSITIVE GRADE TO AN OUTLET.
  - DIVERTED RUNOFF FROM A DISTURBED AREA SHALL BE CONVEYED TO A SEDIMENT TRAPPING DEVICE.
  - DIVERTED RUNOFF FROM AN UNDISTURBED AREA SHALL OUTLET INTO AN UNDISTURBED STABILIZED AREA AT NON-EROSION VELOCITY.
  - THE SWALE SHALL BE EXCAVATED OR SHAPED TO LINE GRADE, AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED IN THE STANDARD.
  - STABILIZATION OF THE AREA DISTURBED BY THE DIKE AND SWALE SHALL BE DONE IN ACCORDANCE WITH THE STANDARD AND SPECIFICATIONS FOR TEMPORARY SEEDING AND MULCHING, AND SHALL BE DONE WITHIN 10 DAYS.
  - PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.
- MAX. DRAINAGE AREA LIMIT: 2 ACRES

**7 PERIMETER DIKE/SWALE DTL**  
C-310 N.T.S.



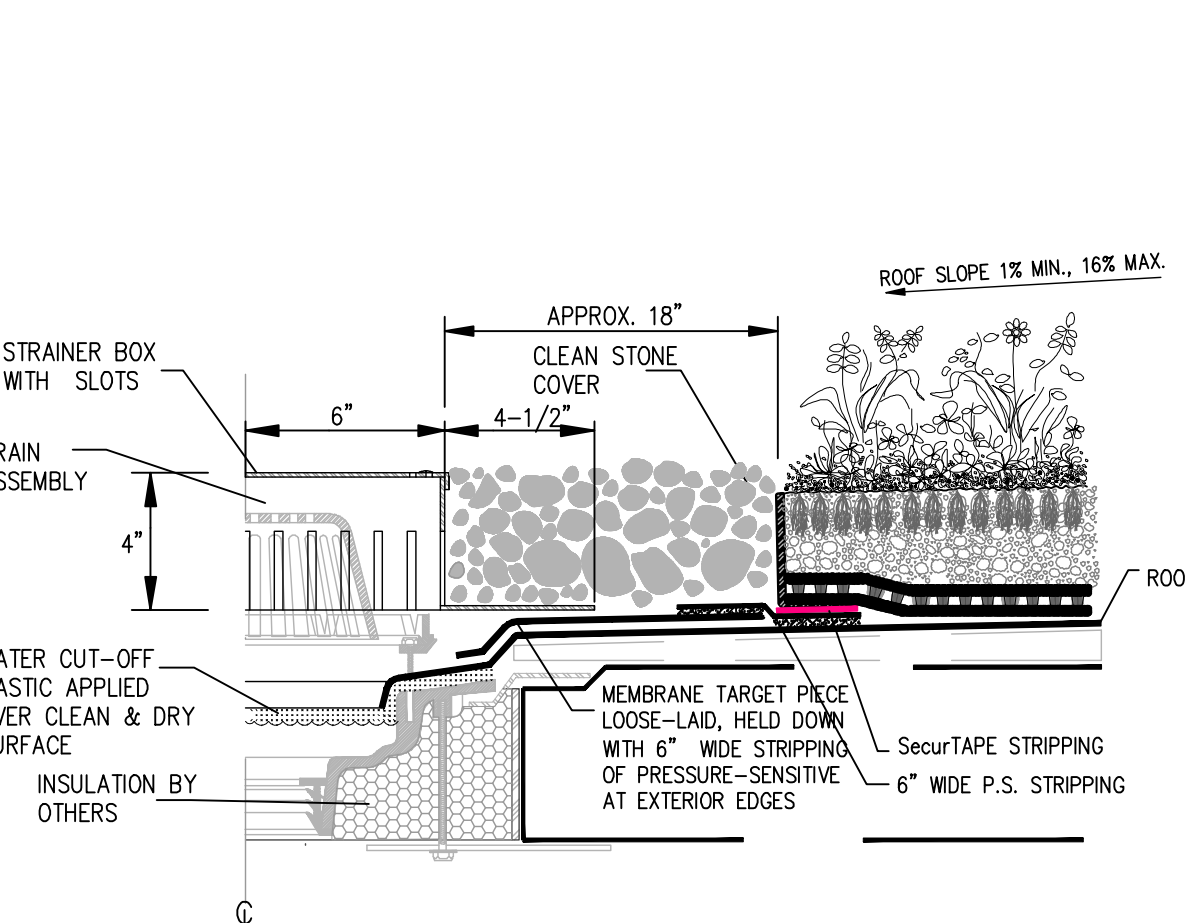
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  - PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.

**9 CONSTRUCTION FENCE DETAIL**  
C-310 N.T.S.



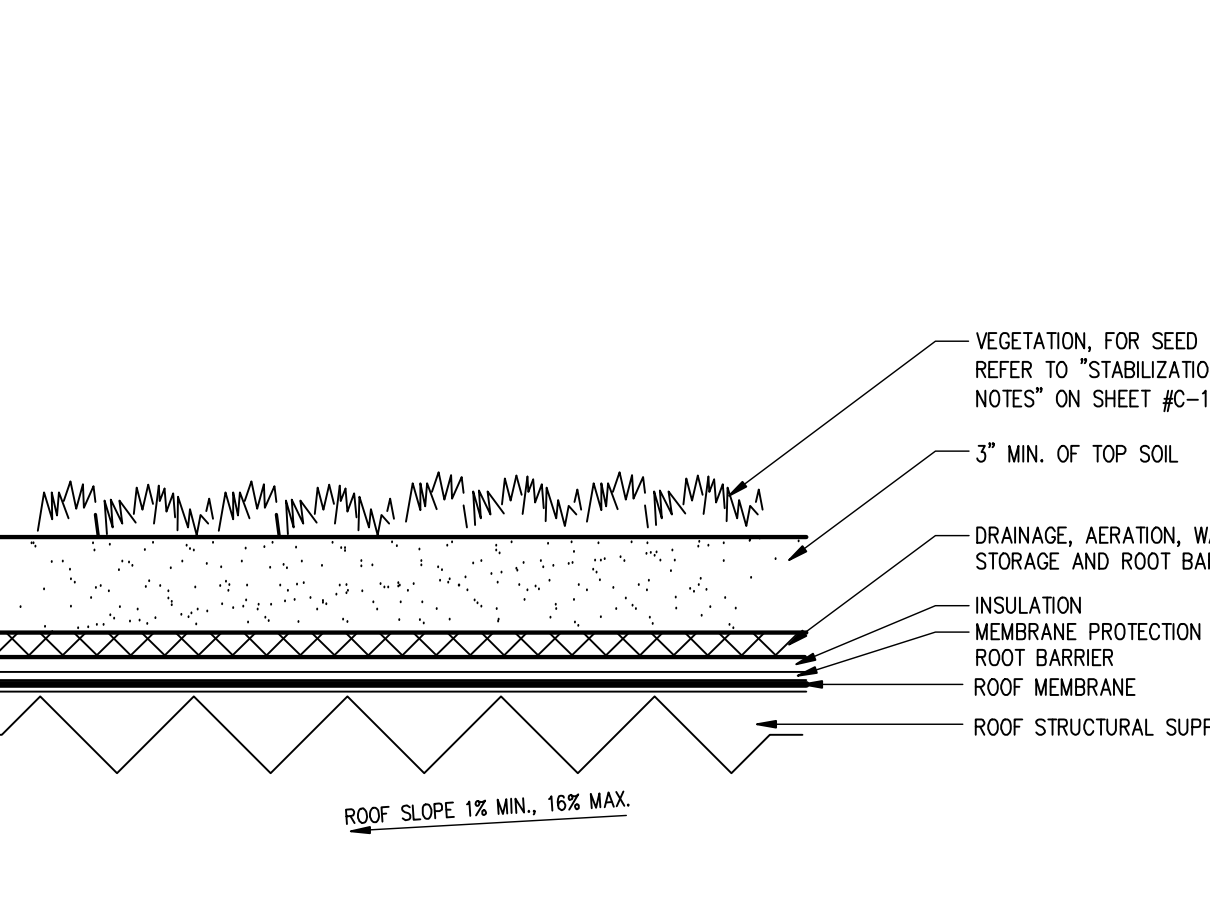
- CONSTRUCTION SPECIFICATIONS:**
- GRASS SWALE TO BE LINED WITH CHANNEL LINER C-125 AS MANUFACTURED BY NORTH AMERICAN GREEN OR APPROVED EQUAL. INSTALL CHANNEL LINER PER MANUFACTURER'S INSTRUCTIONS.
  - ALL GRASS SWALES MUST BE RESTORED/REPAIRED AND RESEED AS REQUIRED AT THE END OF THE CONSTRUCTION PHASE.

**10 PERMANENT DRY SWALE DTL**  
C-310 N.T.S.



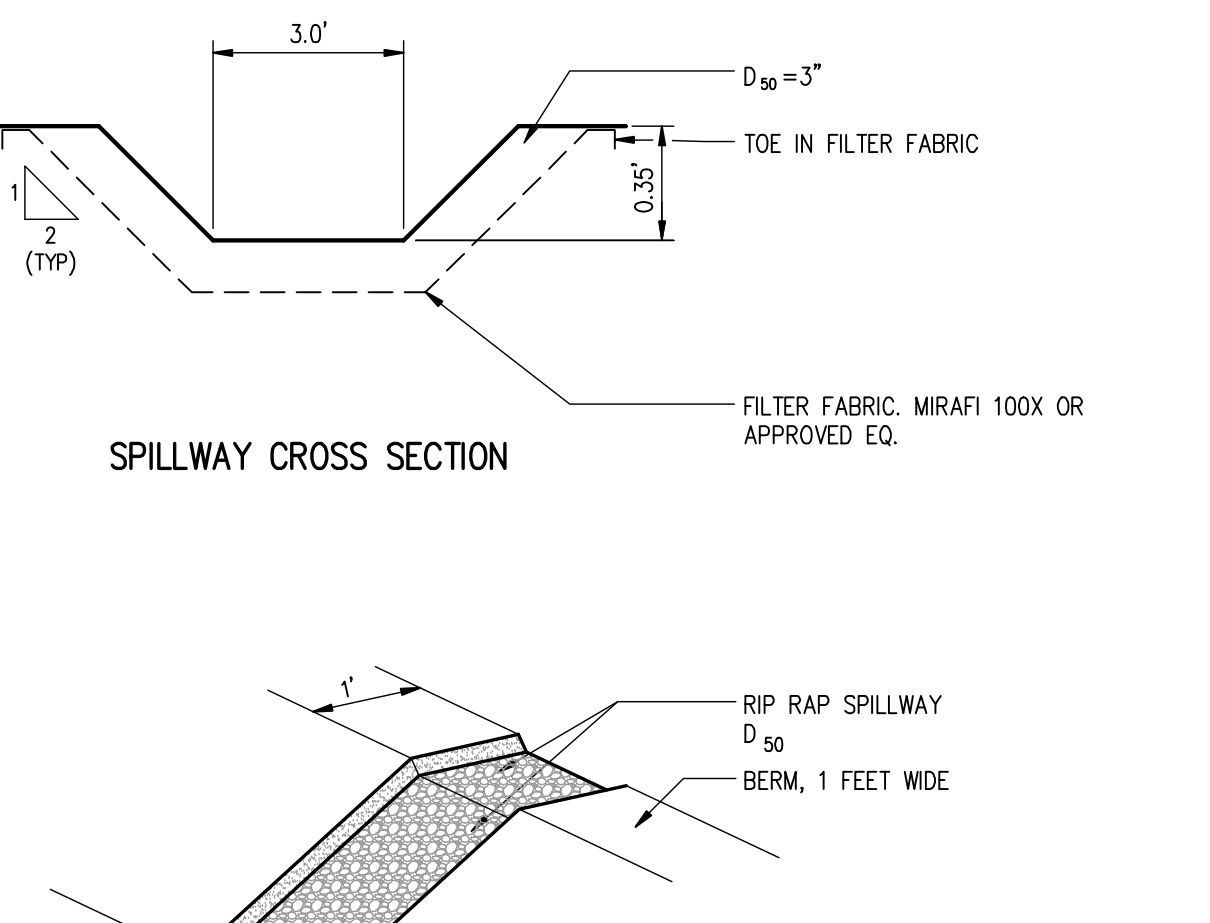
- CONSTRUCTION SPECIFICATIONS:**
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  - PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.

**11 ROOF DRAIN DETAIL**  
C-310 N.T.S.



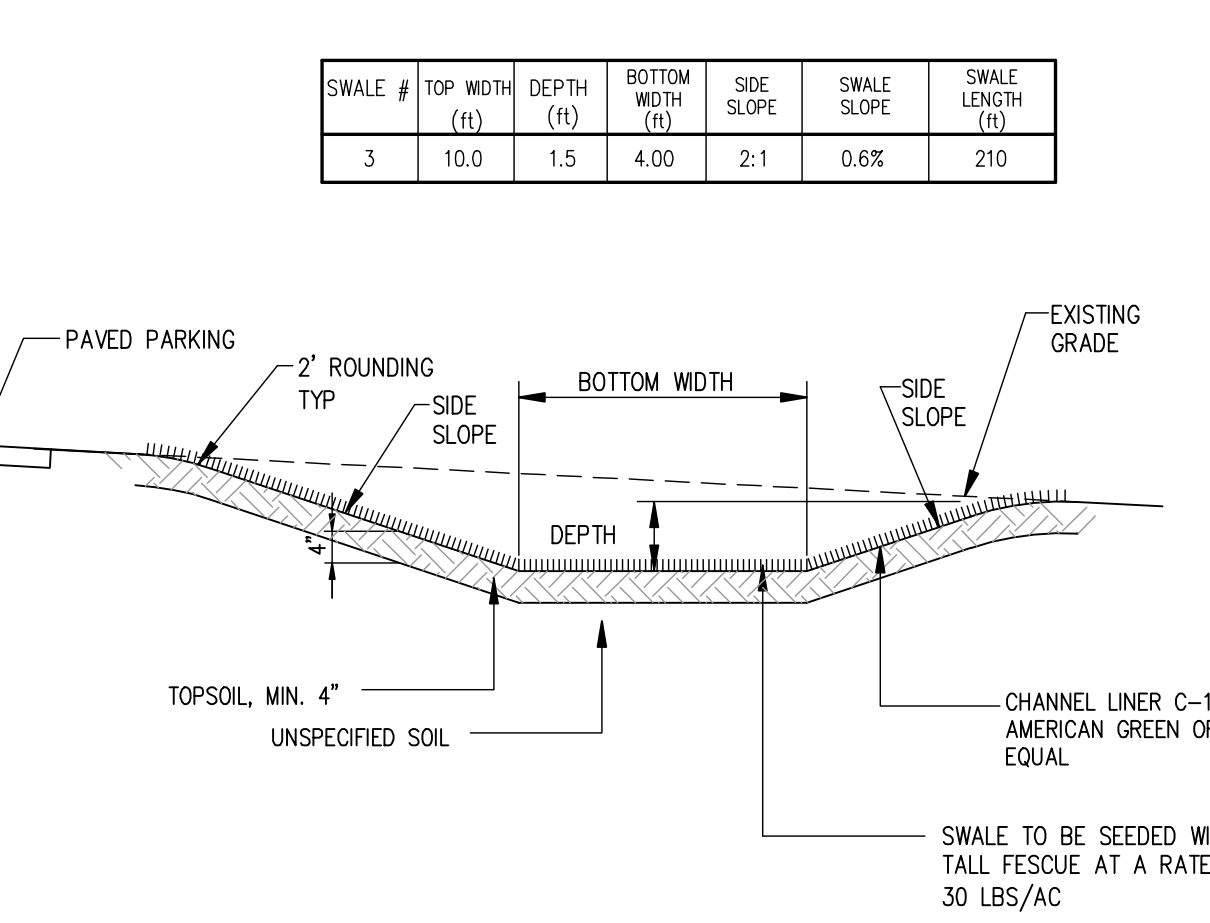
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  - PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.

**12 GREEN ROOF DETAIL**  
C-310 N.T.S.



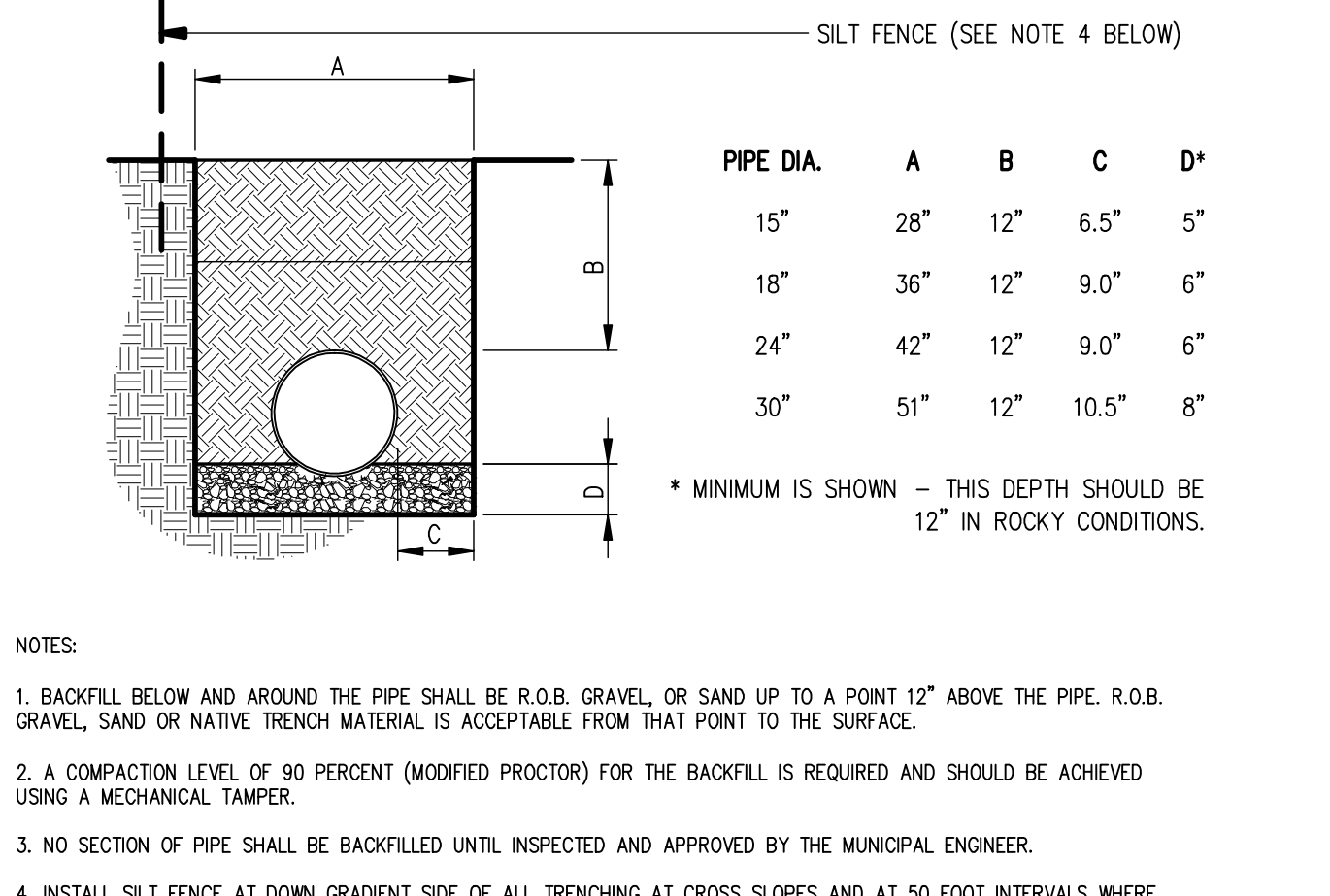
- CONSTRUCTION SPECIFICATIONS:**
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  - DIVERTED RUNOFF FROM A DISTURBED AREA SHALL BE CONVEYED TO A SEDIMENT TRAPPING DEVICE.
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  - PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.

**13 RIP RAP SPILLWAY DETAILS**  
C-310 N.T.S.



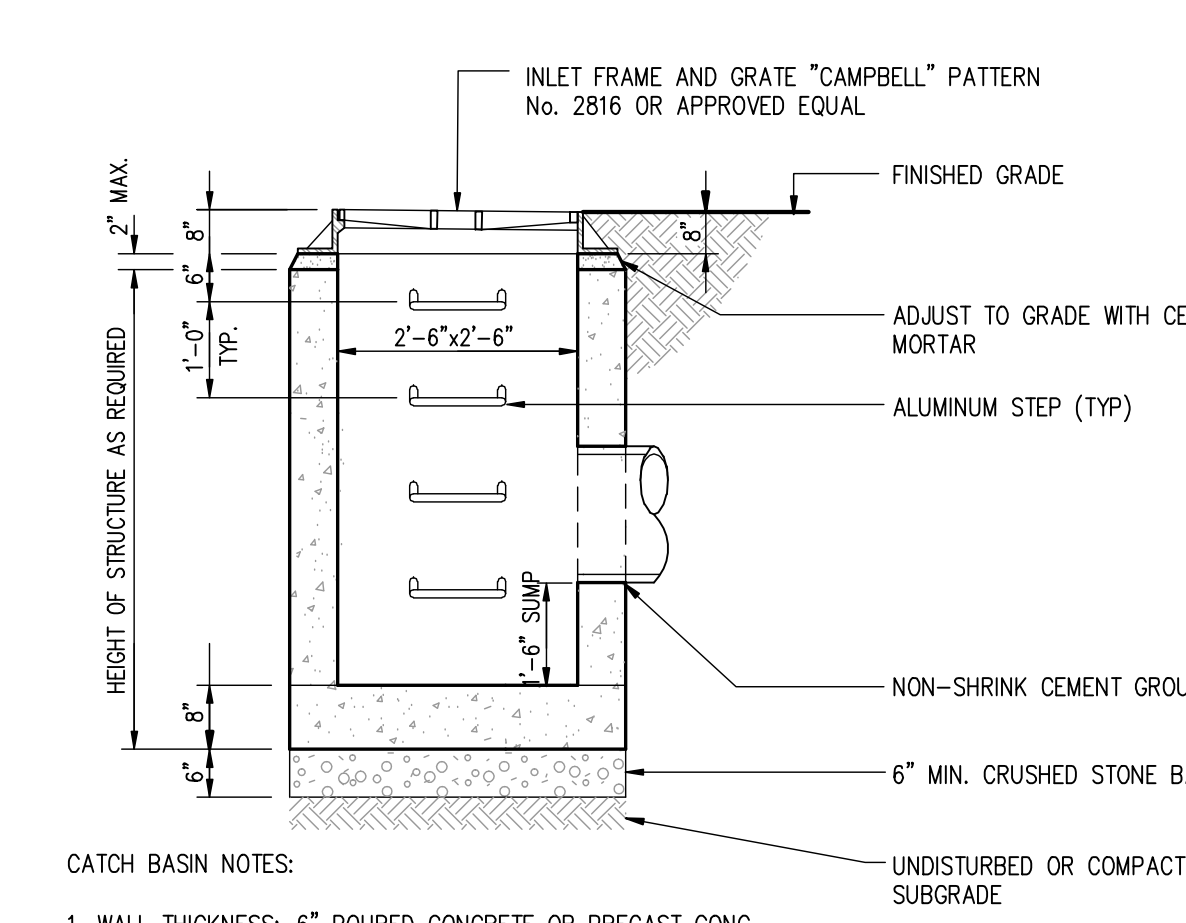
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  - PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.

**13A PERMANENT GRASS SWALE DTL**  
C-310 N.T.S.



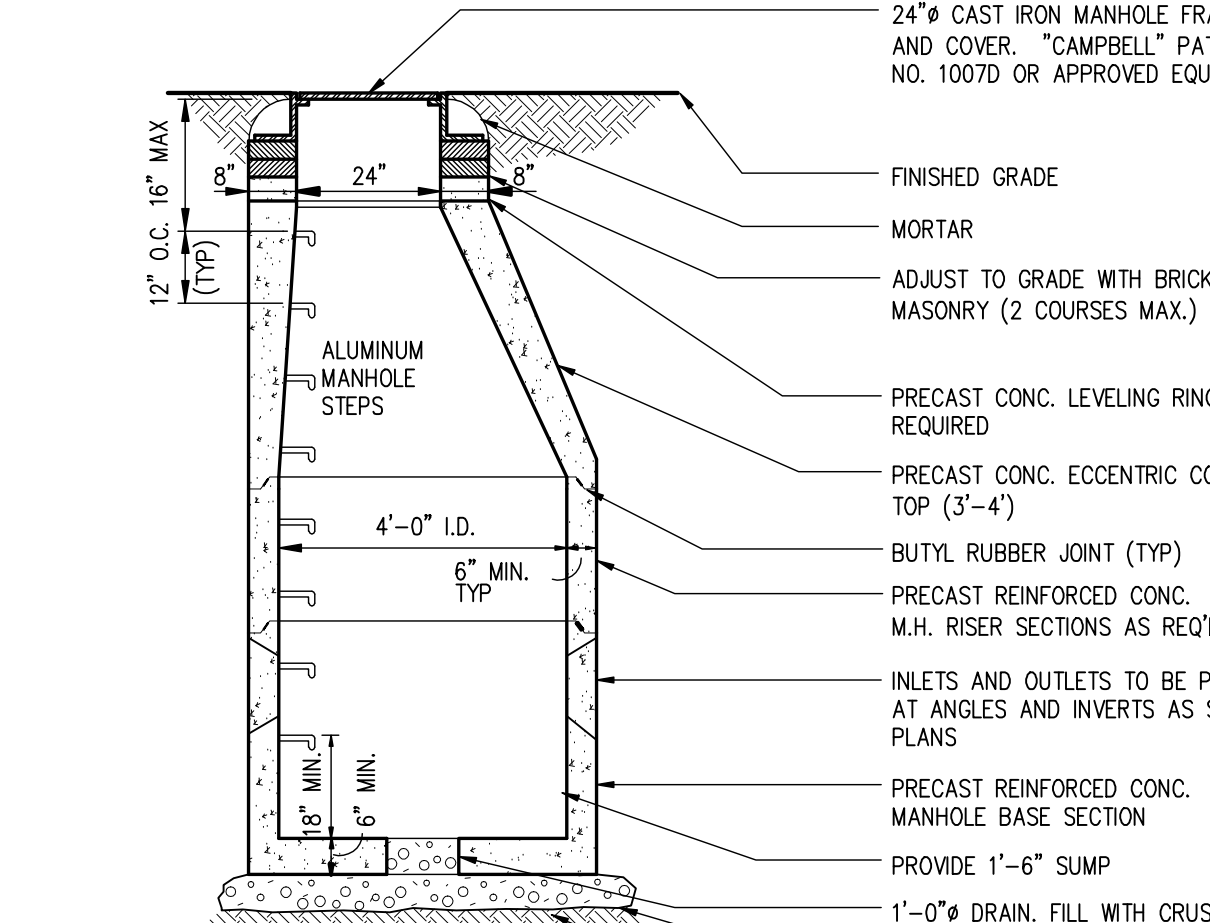
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  - PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.

**14 STORM DRAIN TRENCH DETAIL**  
C-310 N.T.S.



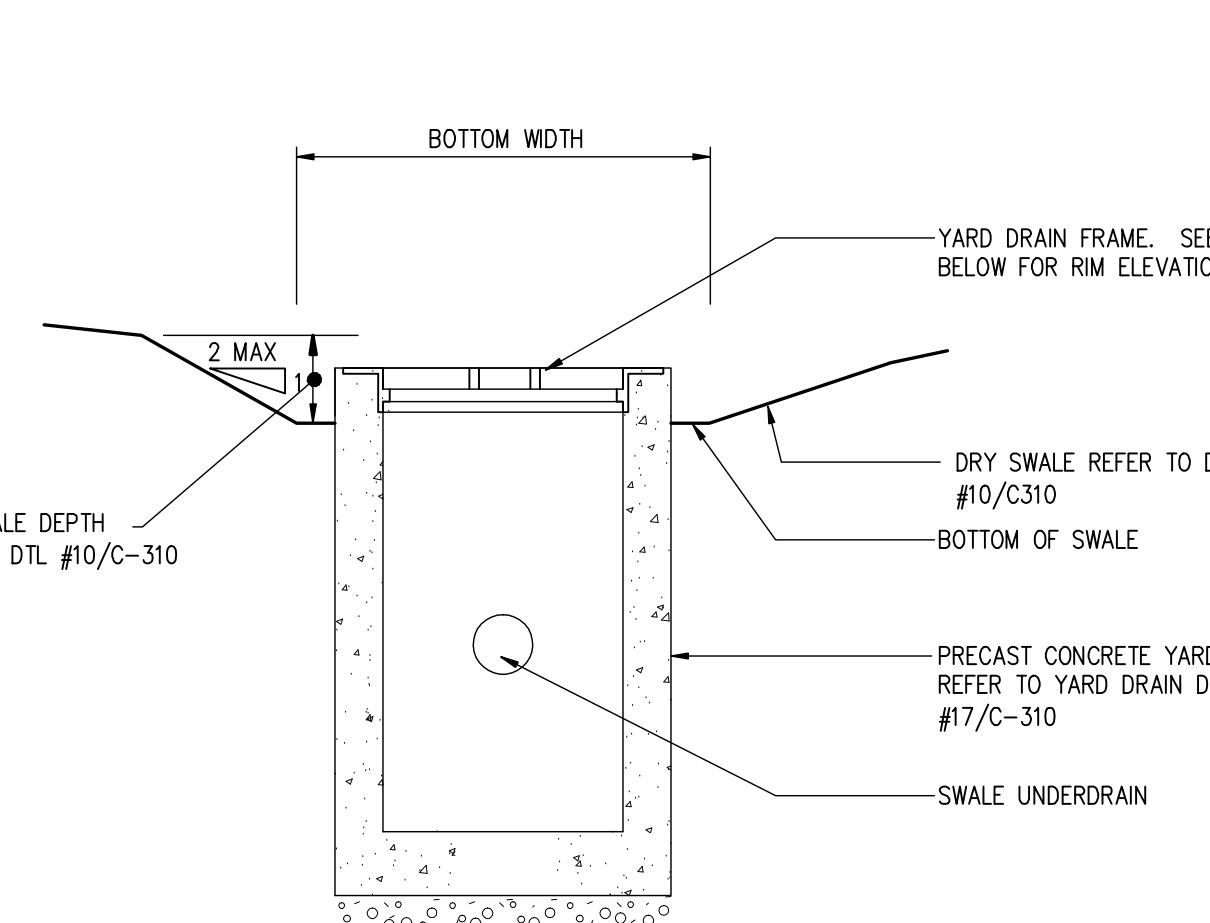
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  - PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.

**14A CATCH BASIN DETAIL**  
C-310 N.T.S.



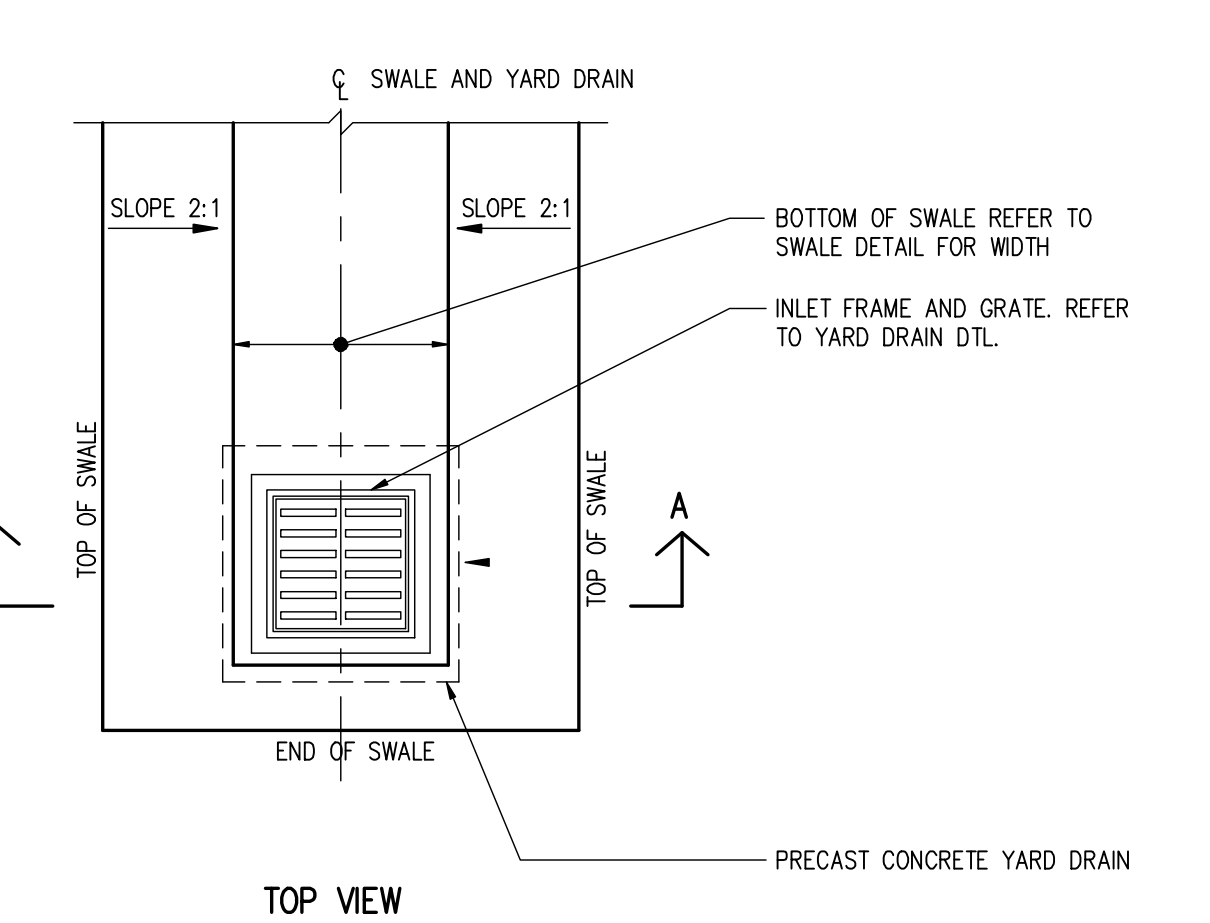
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  - PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.

**15 DRAINAGE MANHOLE DETAIL**  
C-310 N.T.S.



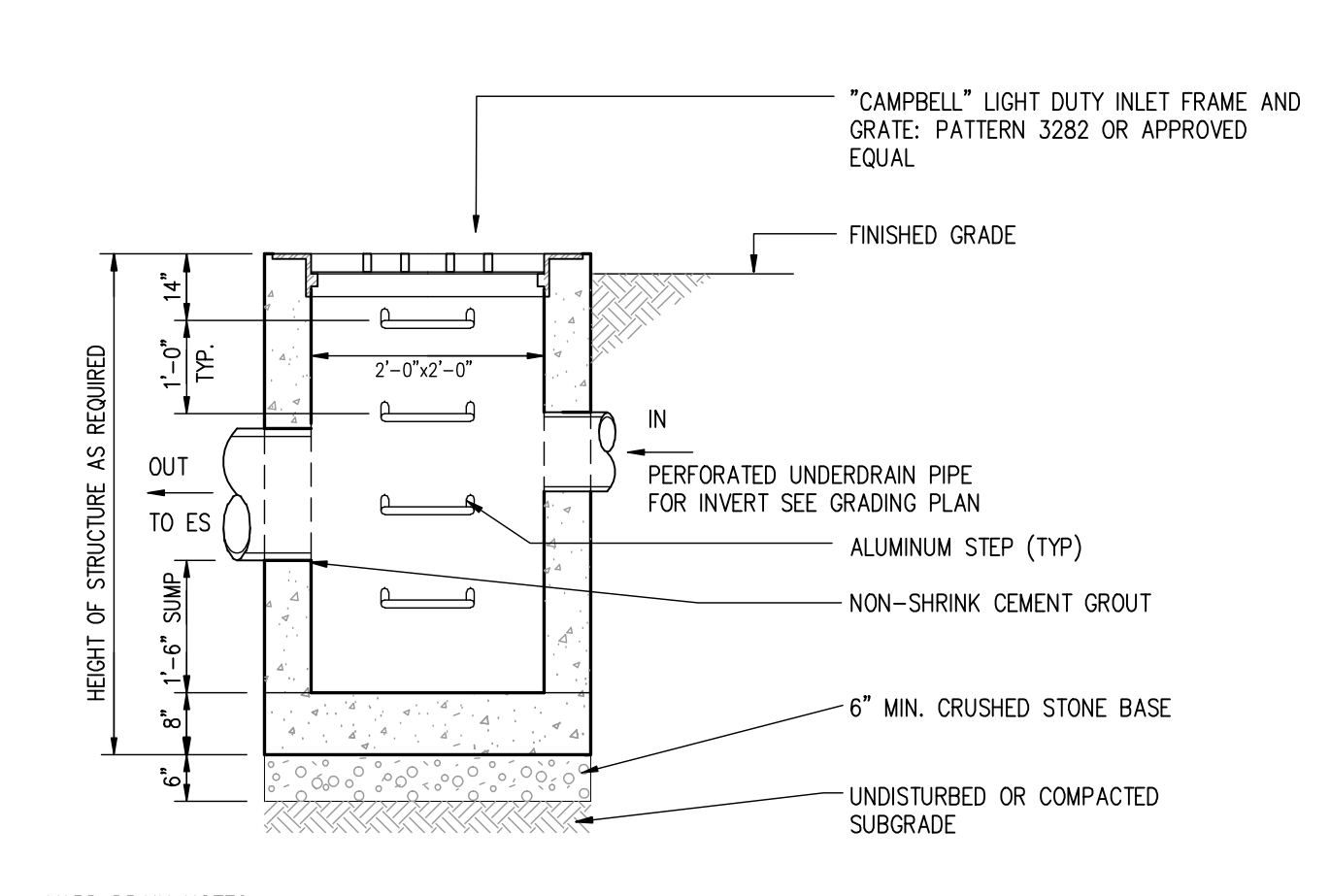
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**16 YARD DRAIN IN SWALE DETAIL**  
C-310 N.T.S.



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  - DIVERTED RUNOFF FROM AN UNDISTURBED AREA SHALL OUTLET INTO AN UNDISTURBED STABILIZED AREA AT NON-EROSION VELOCITY.
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  - PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.

**17 YARD DRAIN DETAIL**  
C-310 N.T.S.



- CONSTRUCTION SPECIFICATIONS:**
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**17 YARD DRAIN DETAIL**  
C-310 N.T.S.

**PUTNAM ENGINEERING, LLC**  
ENGINEERS - ARCHITECTS  
4 OLD ROUTE 6, BREWSTER, NEW YORK 10509  
(845) 279-6789 FAX (845) 279-6789  
P. 01/14/06

PERMIT TO NEW YORK STATE  
EPA SUBMISSION 2-11 AS A VARIATION  
FROM THE PERMIT TO CONSTRUCTION  
HE IS ASKING UNDER THE DIRECTION OF  
ALTER AN ITEM IN ANY WAY OF THE PERMIT  
ALTERED. THE ALTERING ENGINEER SHALL  
NOTIFY THE PERMITTING AGENCY OF SUCH  
ALTERATION. THE PERMIT SHALL BE  
REVOKED AND THE DATE OF SUCH  
REVISIONS SHALL BE THE DATE OF THE  
DESCRIPTION OF THE ALTERATION.

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	12/06/06	PRELIMINARY SUBMISSION	13	12/06/06	PRELIMINARY SUBMISSION
2	12/06/06	REVISED PER P.E. COMMENTS	14	12/06/06	REVISED PER P.E. COMMENTS
3	12/06/06	ADDED PER P.E. COMMENTS	15	02/29/07	REVISED PER NYSDEC
4	12/06/06	REVISED PER P.E. COMMENTS	16	02/29/07	REVISED PER NYSDEC
5	12/06/06	REVISED PER P.E. COMMENTS	17	04/07/07	DECL. SUBMISSION
6	12/06/06	REVISED PER P.E. COMMENTS	18	04/07/07	DECL. SUBMISSION
7	12/06/06	REVISED PER P.E. COMMENTS	19	05/19/07	DECL. SUBMISSION
8	12/06/06	REVISED PER P.E. COMMENTS	20	05/19/07	DECL. SUBMISSION PER NYSDEC
9	12/06/06	REVISED PER P.E. COMMENTS	21	12/09/07	DECL. SUBMISSION PER NYSDEC
10	12/06/06	REVISED PER P.E. COMMENTS	22	12/09/07	DECL. SUBMISSION PER NYSDEC
11	05/17/07	P.E. SUBMISSION			
12	02/29/07	DECL. SUBMISSION			

**TOMPKINS RECYCLING FACILITY**  
CONSTRUCTION AND DEBRIS PROCESSING CENTER & RECYCLING  
60 OLD ROUTE 6  
TOWN OF CARBELL  
PUTNAM COUNTY, NEW YORK  
TAX MAP No. 55.11, BLOCK 1, LOT 15  
OWNER: 70 OLD ROUTE 6, L.L.C. P.O. BOX 508 BEDFORD N.Y. 10506

**DETAILS**

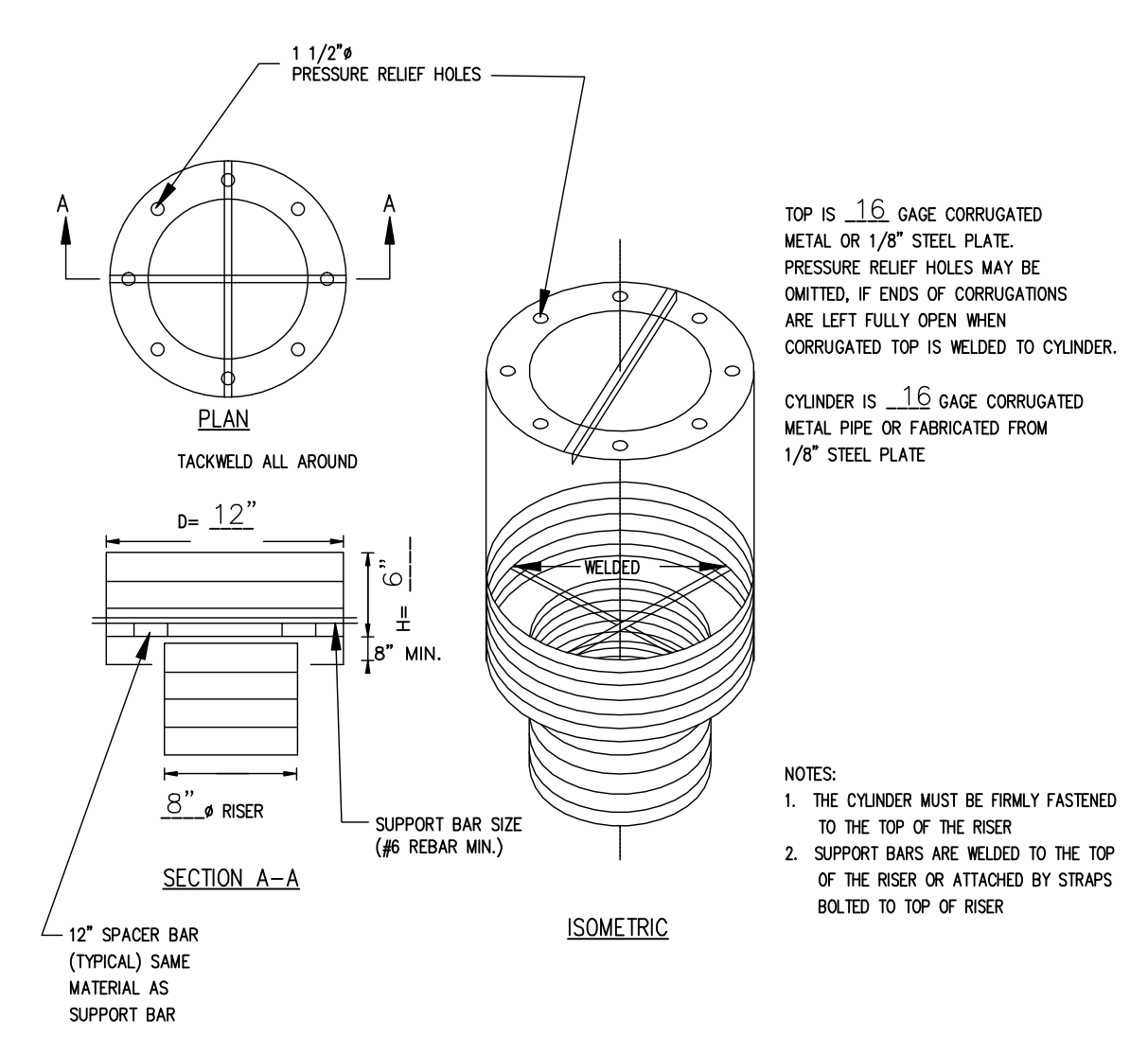
DATE: 10/12/06  
PROJECT MANAGER: BK  
DRAWN BY: BCK  
CHECKED BY: PNL  
SCALE: AS NOTED  
AS NOTED

PROJECT NUMBER: 8288  
DRAWING NUMBER: C-310  
SHEET 12 OF 15

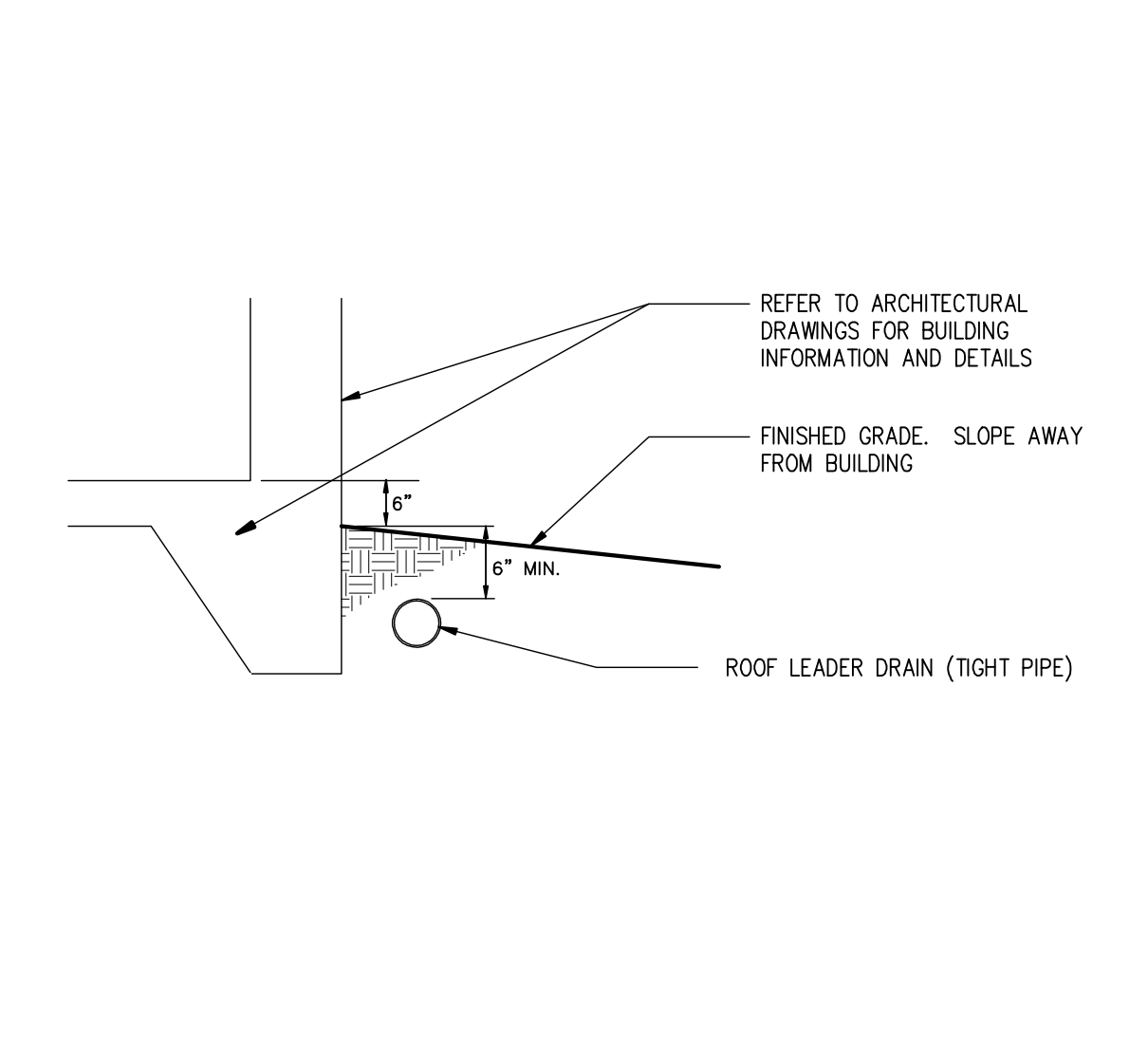




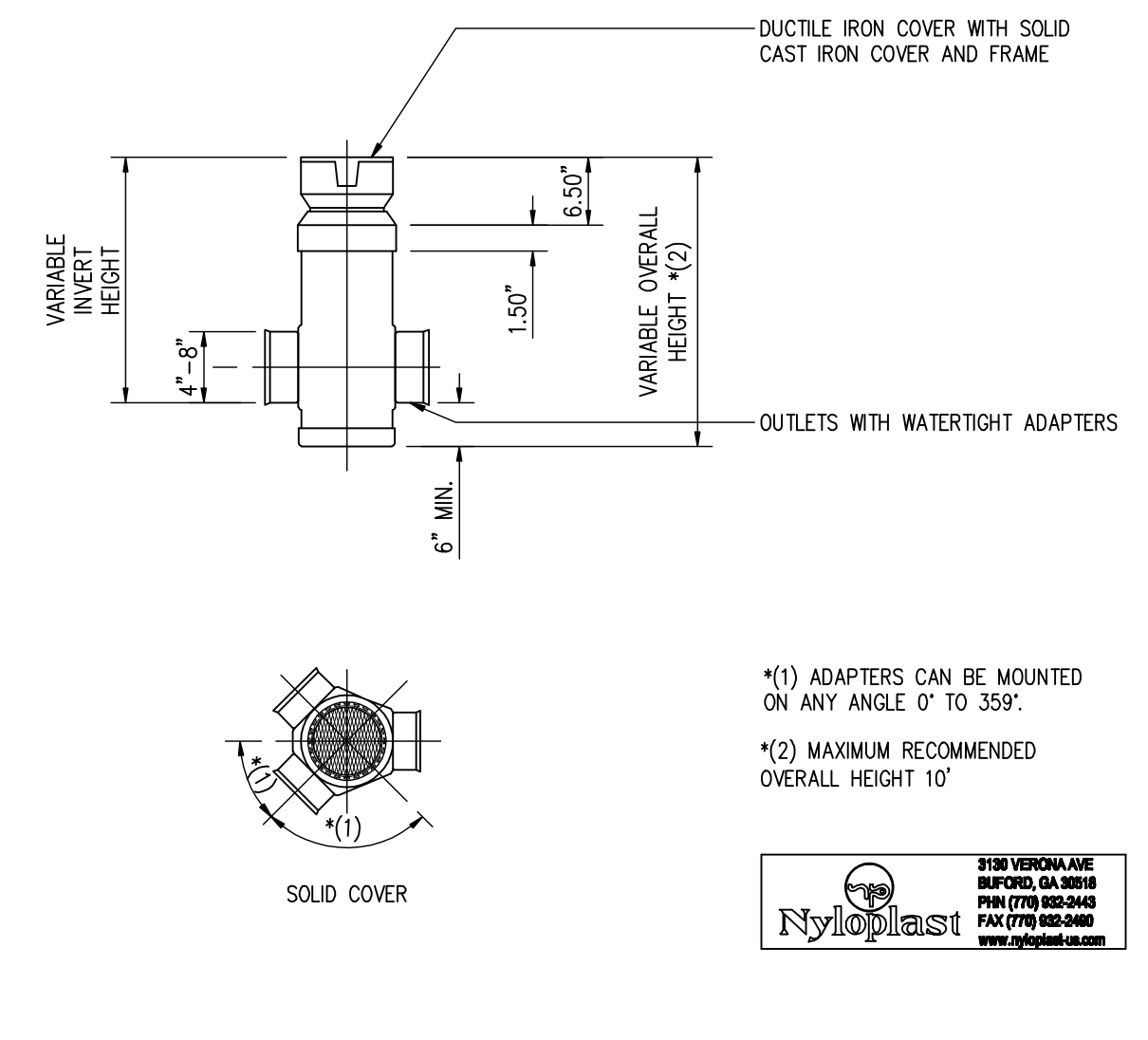




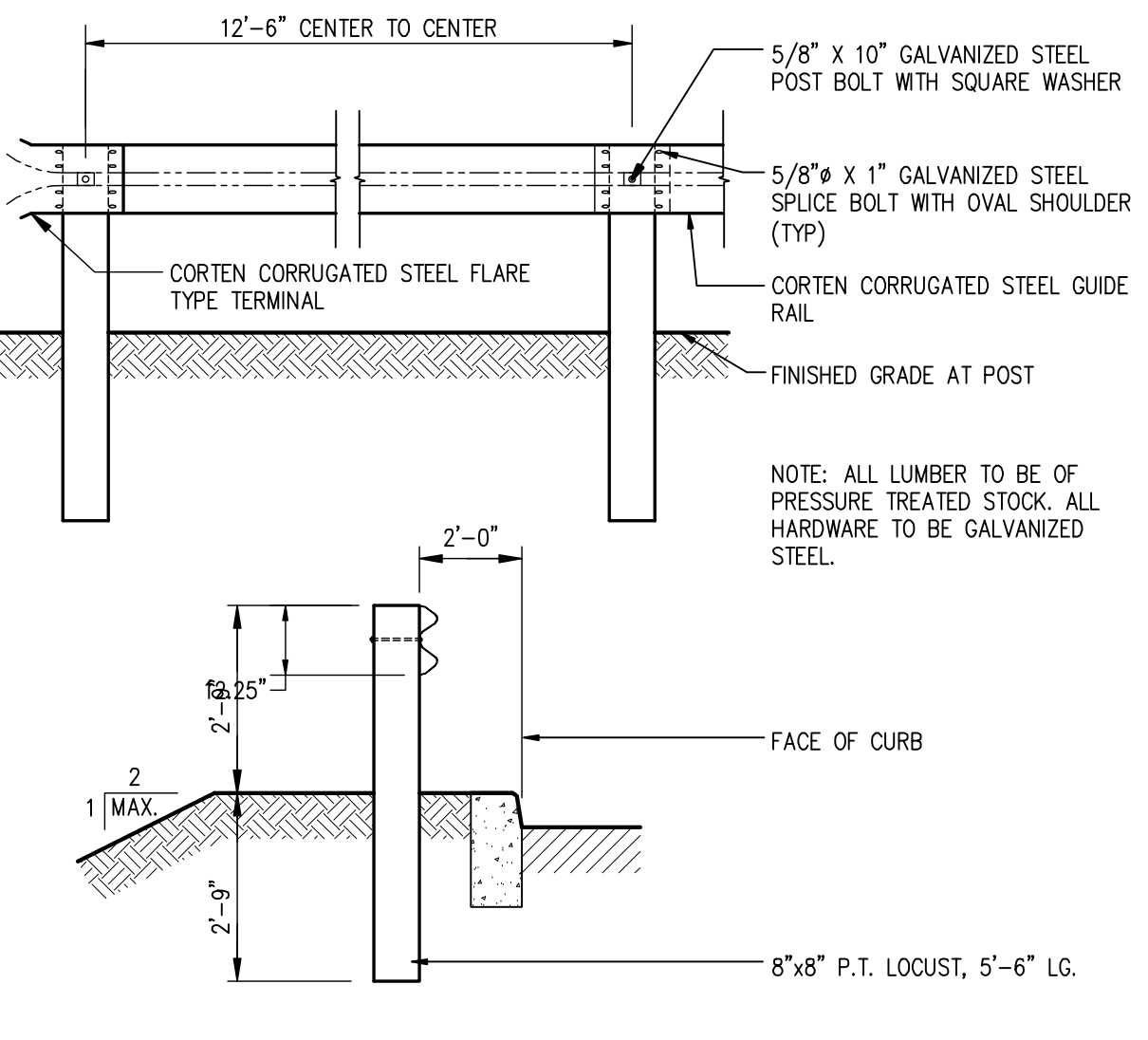
**1 TEMPORARY TRASH RACK DETAIL**  
C-330 N.T.S.



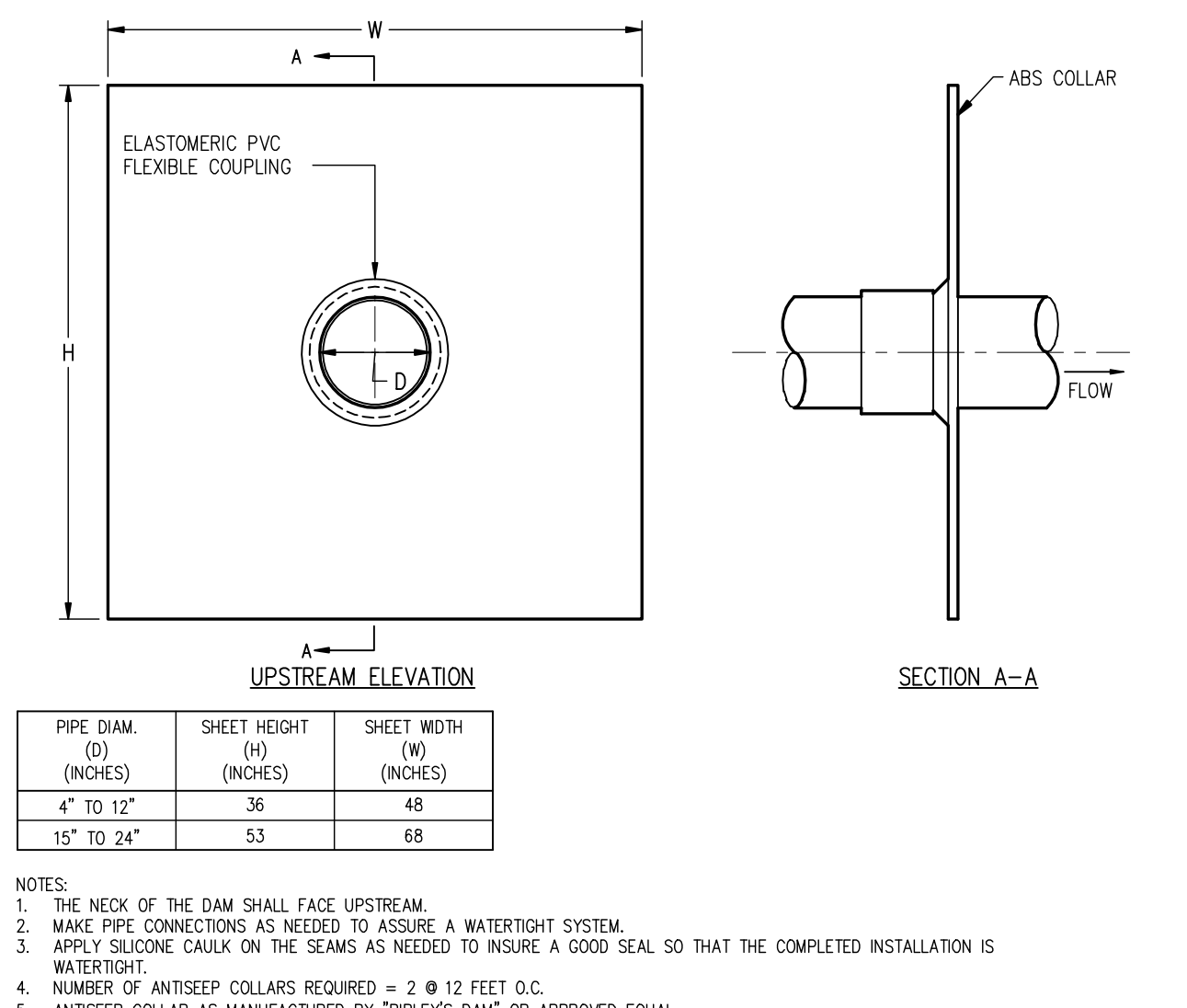
**2 TYPICAL DRAIN DETAIL**  
C-330 N.T.S.



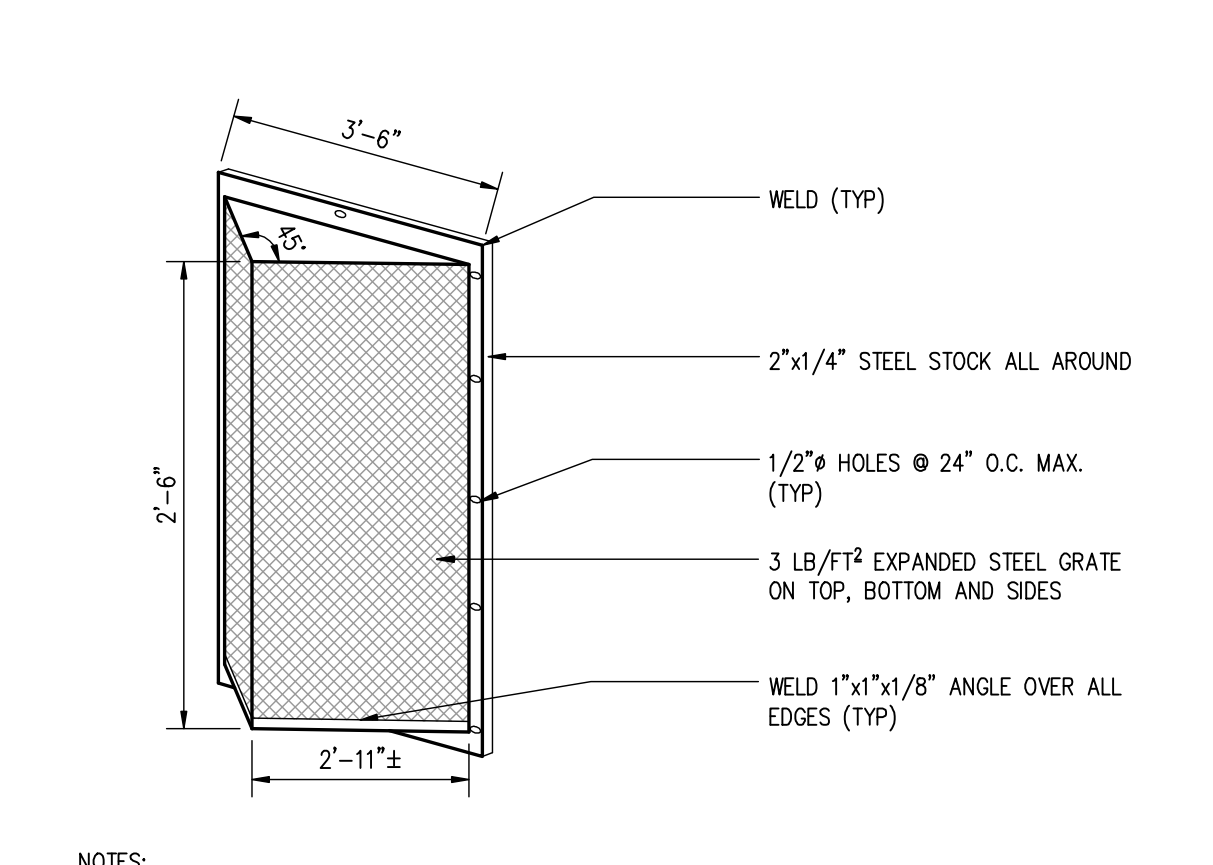
**3 DRAIN BASIN W/SOLID COVER DTL**  
C-330 N.T.S.



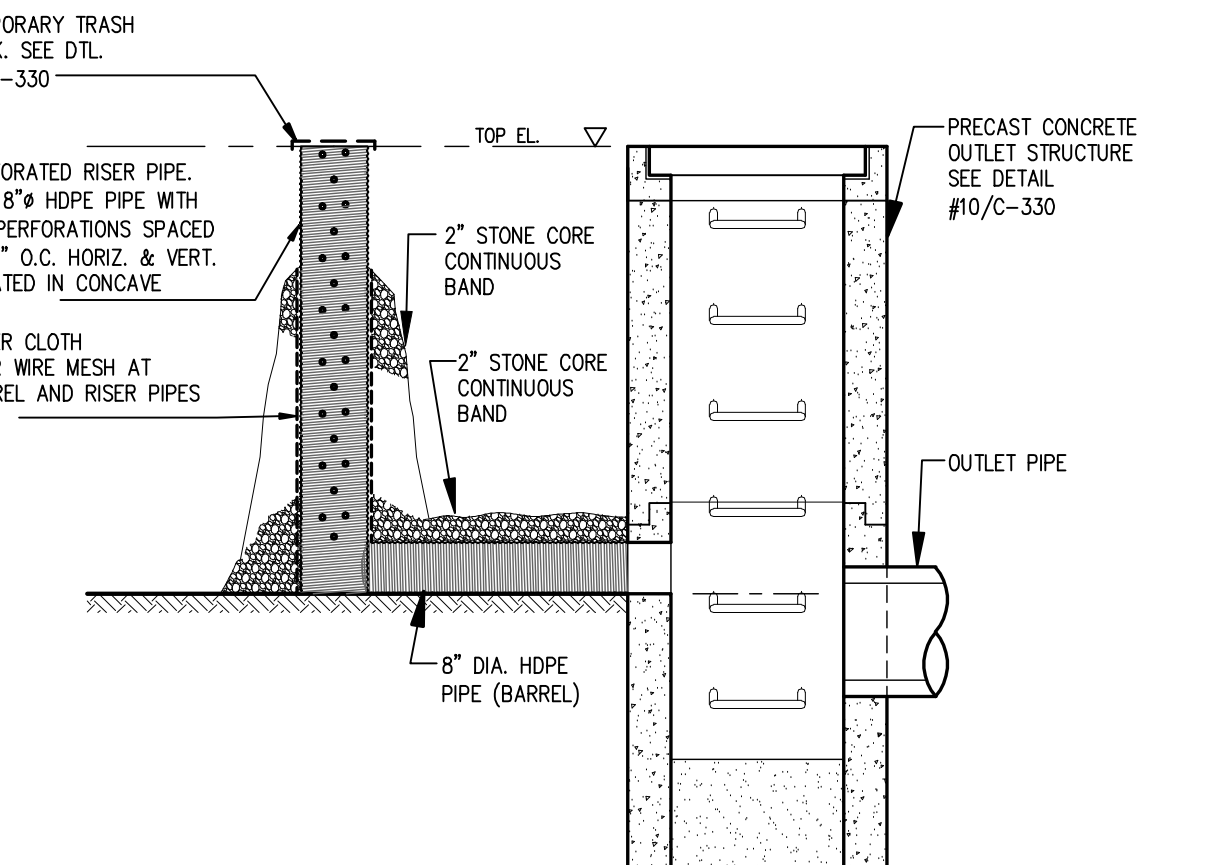
**4 BEAM TYPE GUIDE RAIL DETAIL**  
C-330 N.T.S.



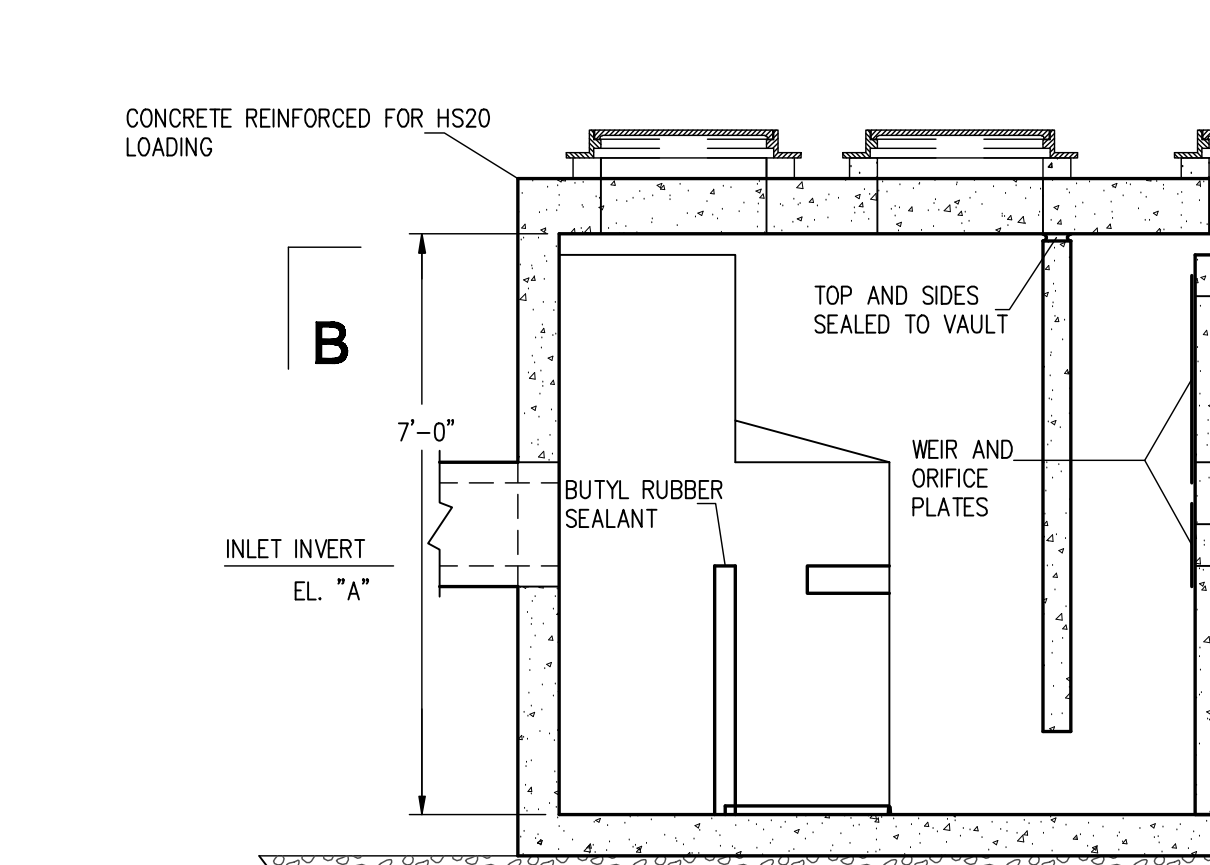
**5 ANTI-SEEPAGE COLLAR DETAIL**  
C-330 N.T.S.



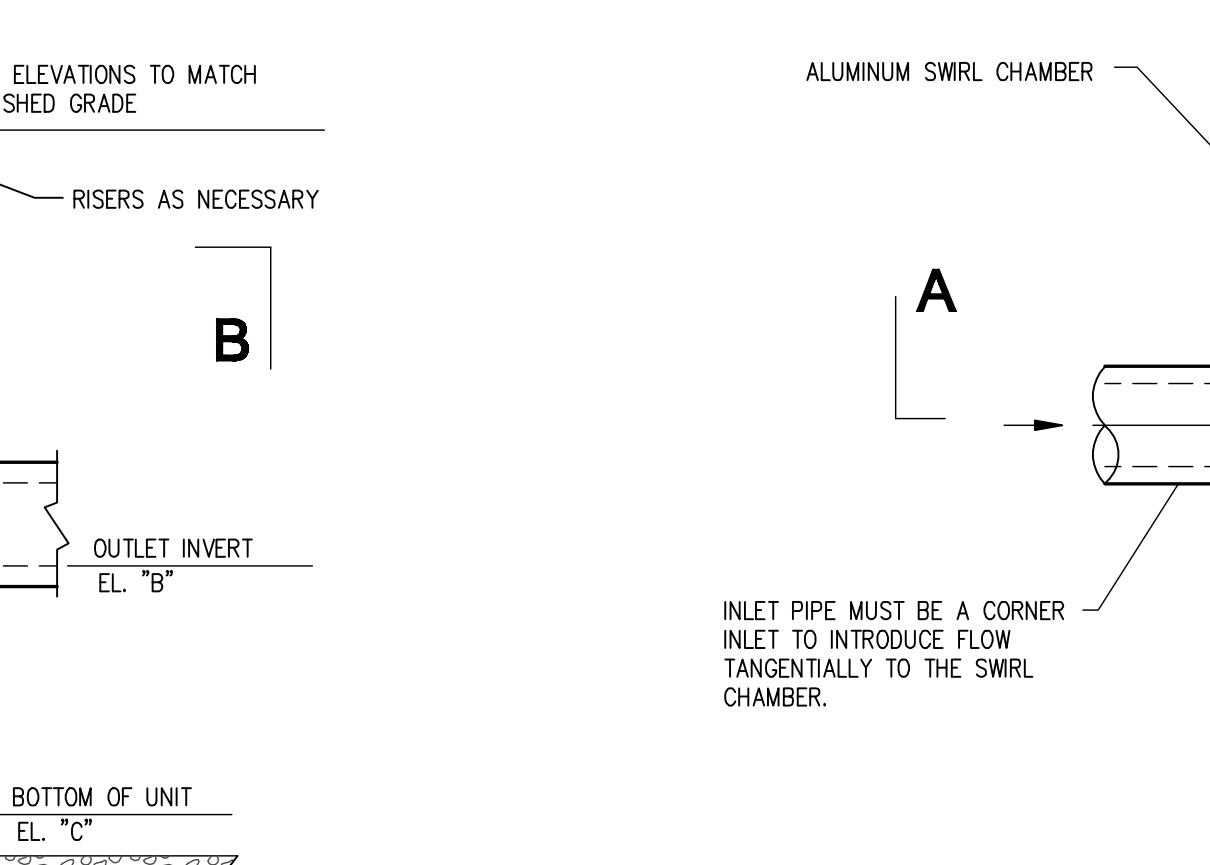
**6 TRASH RACK PROTECTION DETAIL**  
C-330 N.T.S.



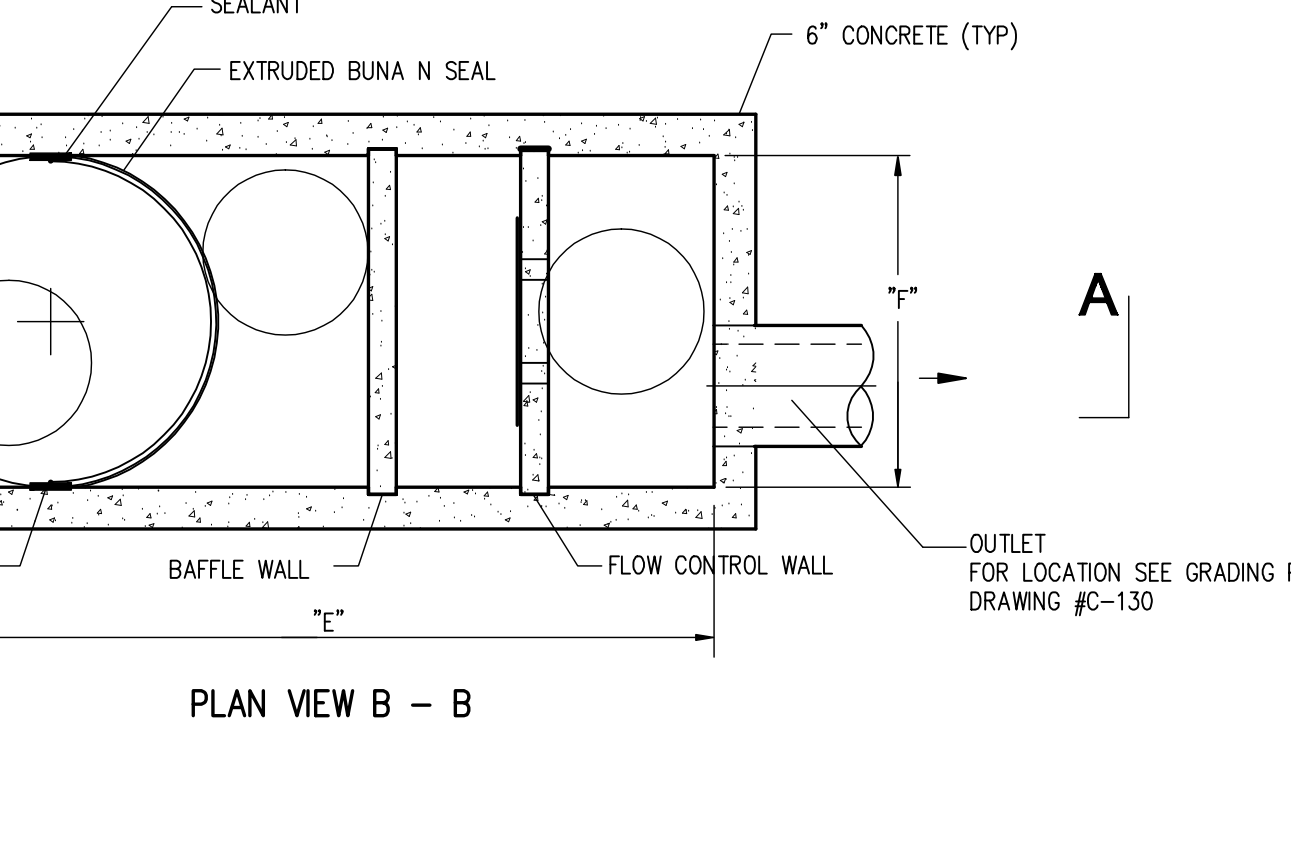
**7 TEMPORARY OUTLET STRUCTURE DETAIL**  
C-330 N.T.S.



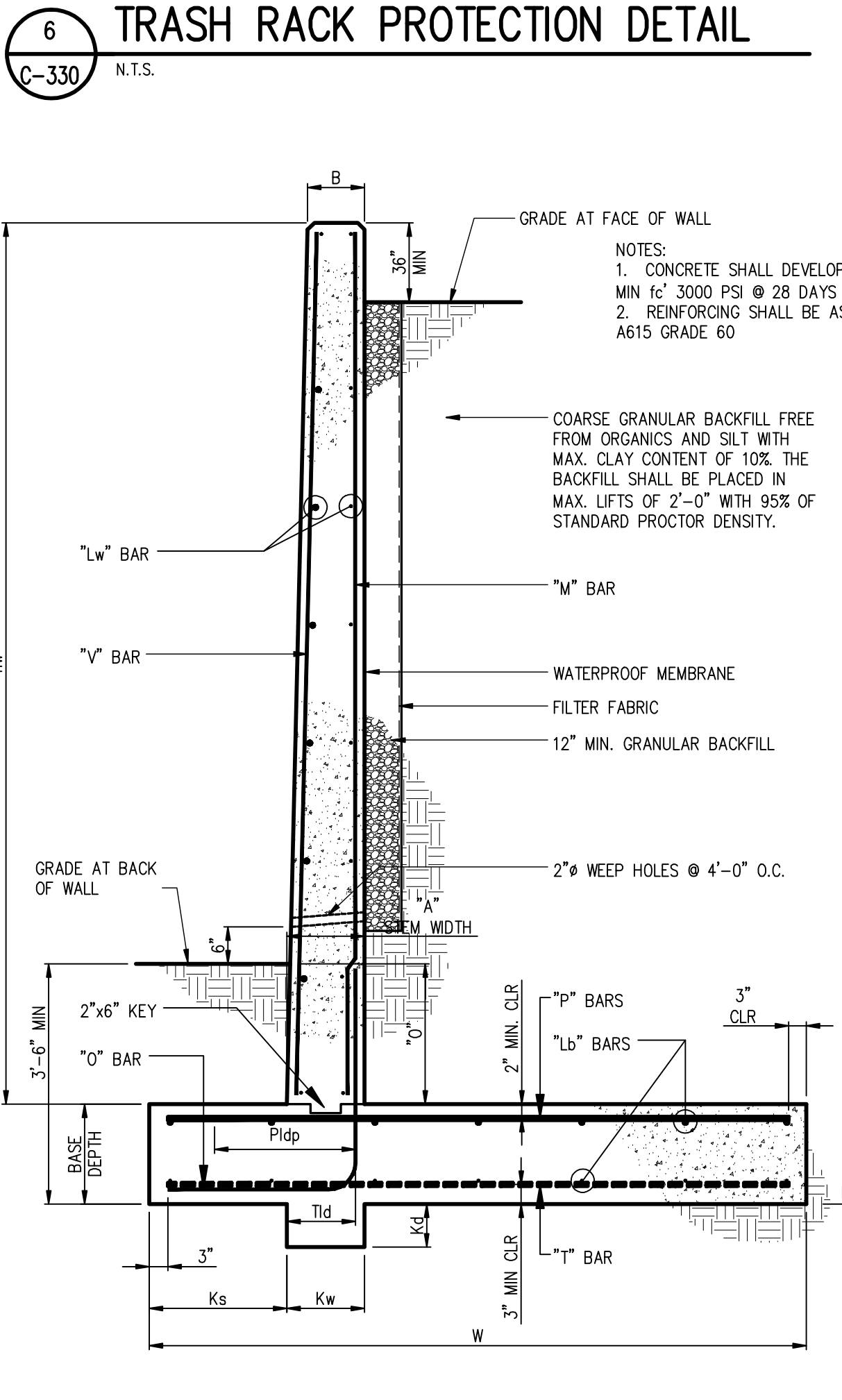
**8 VORTECHS UNIT DETAIL**  
C-330 N.T.S.



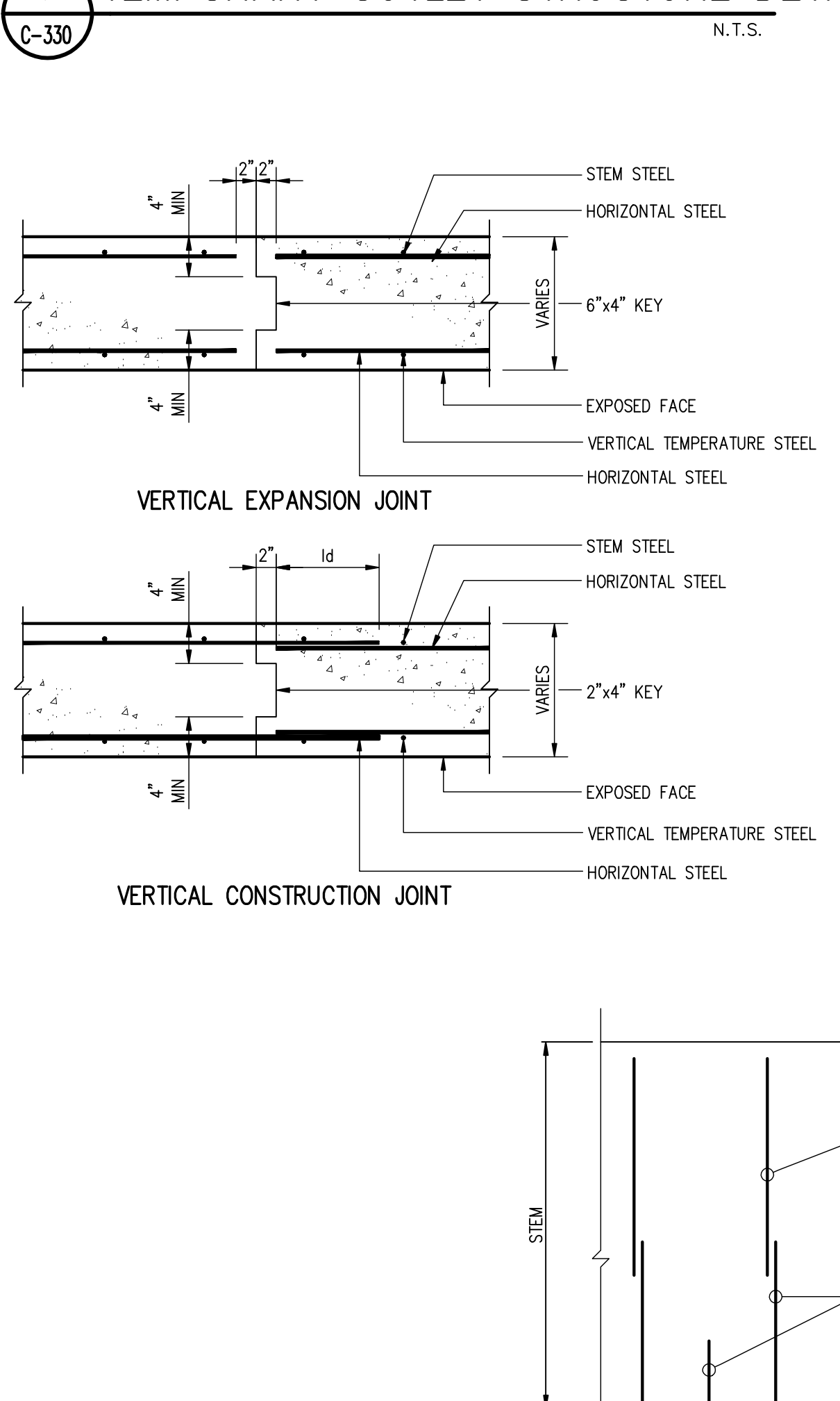
**9 TYPICAL DETENTION POND BERM SECTION**  
C-330 N.T.S.



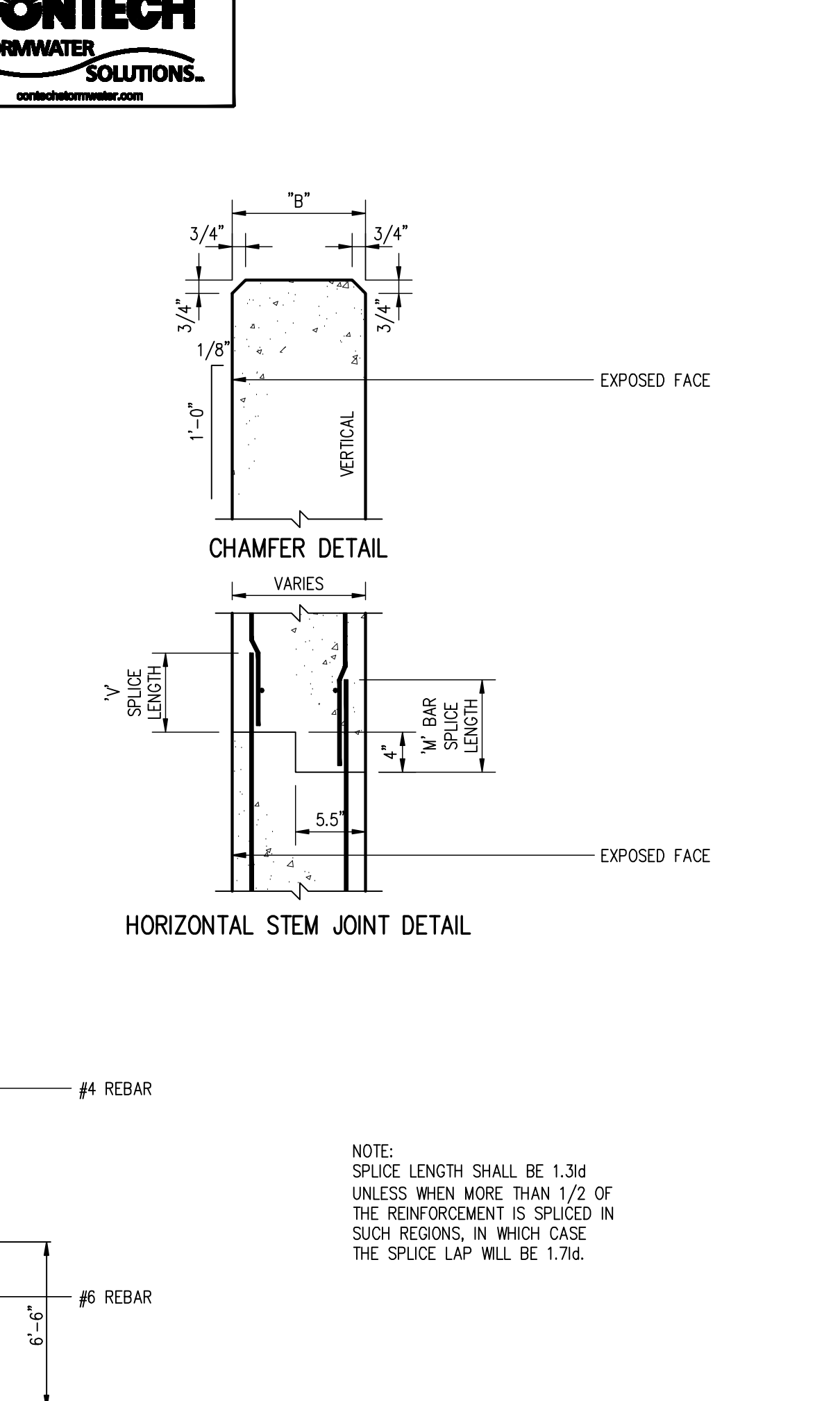
**10 PERMANENT OUTLET STRUCTURE DETAIL**  
C-330 N.T.S.



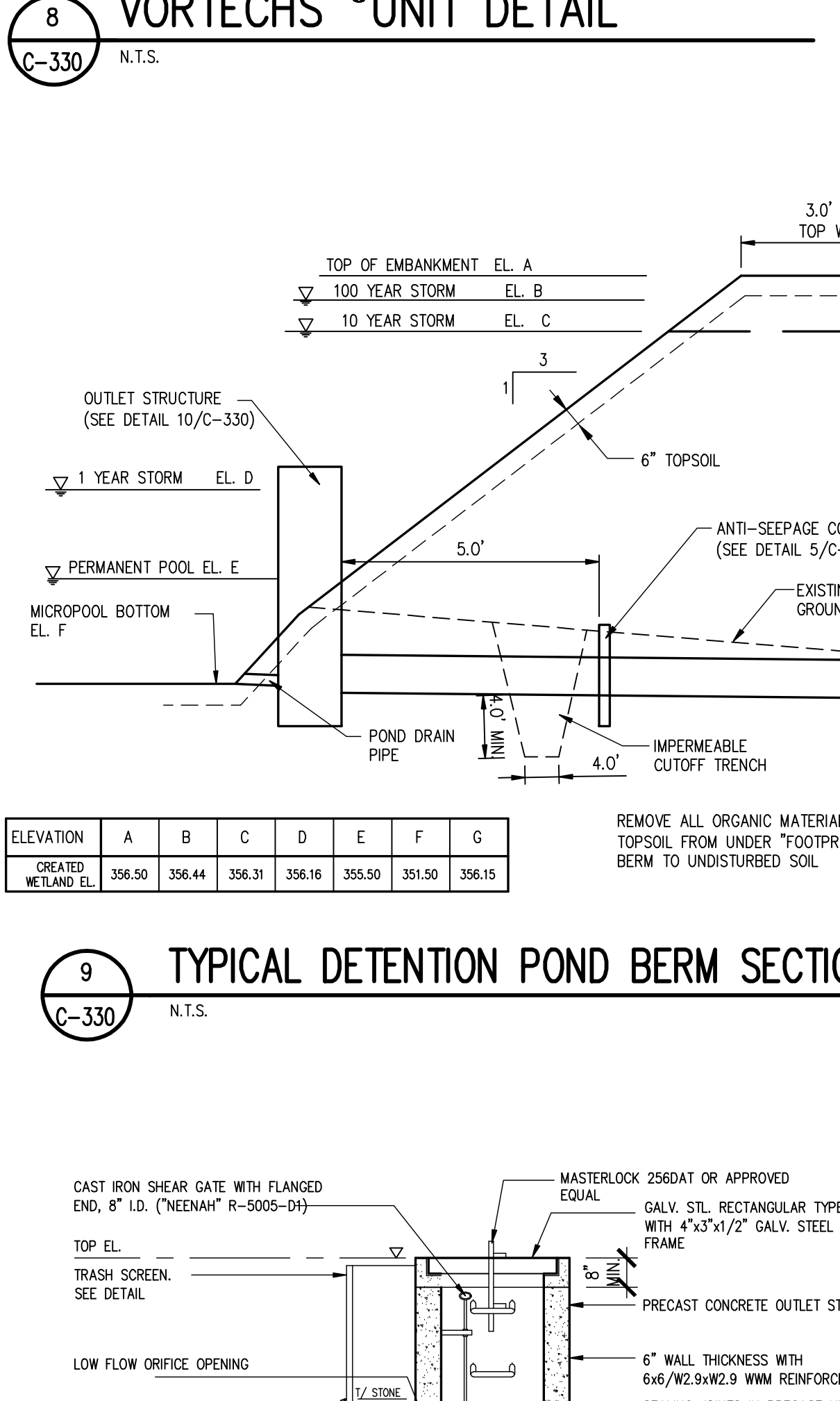
**11 TYPICAL RETAINING WALL DETAIL**  
C-330 N.T.S.



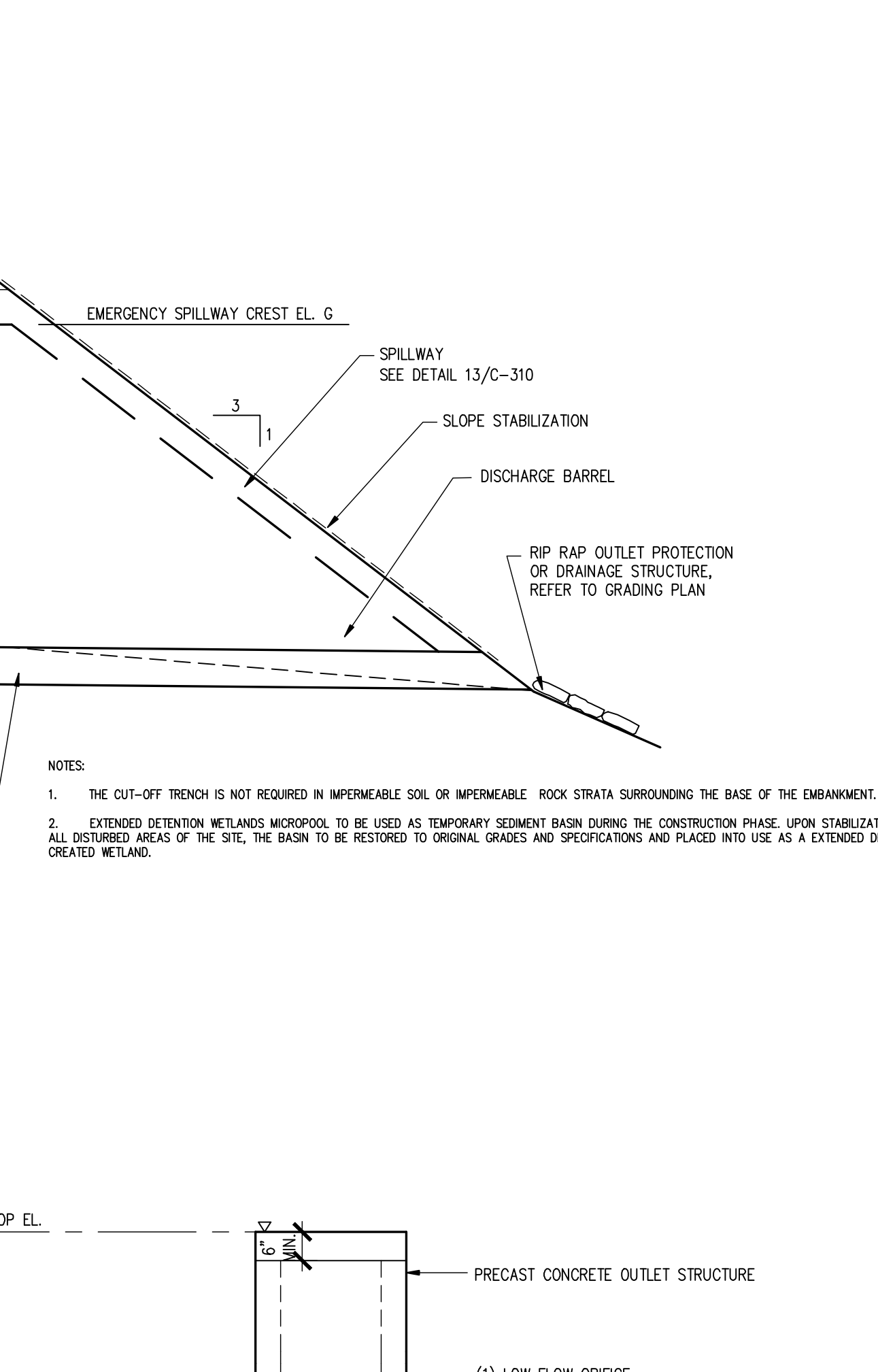
**12 TYPICAL RETAINING WALL DETAIL**  
C-330 N.T.S.



**13 TYPICAL RETAINING WALL DETAIL**  
C-330 N.T.S.



**14 TYPICAL RETAINING WALL DETAIL**  
C-330 N.T.S.



**15 TYPICAL RETAINING WALL DETAIL**  
C-330 N.T.S.

MAX. HEIGHT ABOVE BASE	WIDTH OF WALL	HEEL	BASE	TOE	BASE DEPTH	KEY	STEM REINFORCEMENT	BASE REINFORCEMENT	HORIZ. JOINT SPICE OF V. & M. BARS	VERT. JOINT SPICE
"w"	"a/b"	"h"	"w"	"t"	"d"					
6'-0"	9' / 9"	1'-7"	3'-6"	1'-2"	9"	1'-2"	9"	9"	1'-4"	1.3d
10'-0"	10' / 9"	2'-10"	5'-6"	1'-10"	10"	1'-10"	10"	12"	1'-4"	1.3d

OUTLET STRUCTURE	TOP EL.	OUTSIDE INVERT	INVERT	SUMP EL.	OUTLET PIPE DIA.	LOW FLOW ORIFICE	ADDITIONAL ORIFICES	TOP OF BASIN
05-2	356.06	4'-0" x 4'-0"	355.50	354.25	15"	0.3'	1	356.50

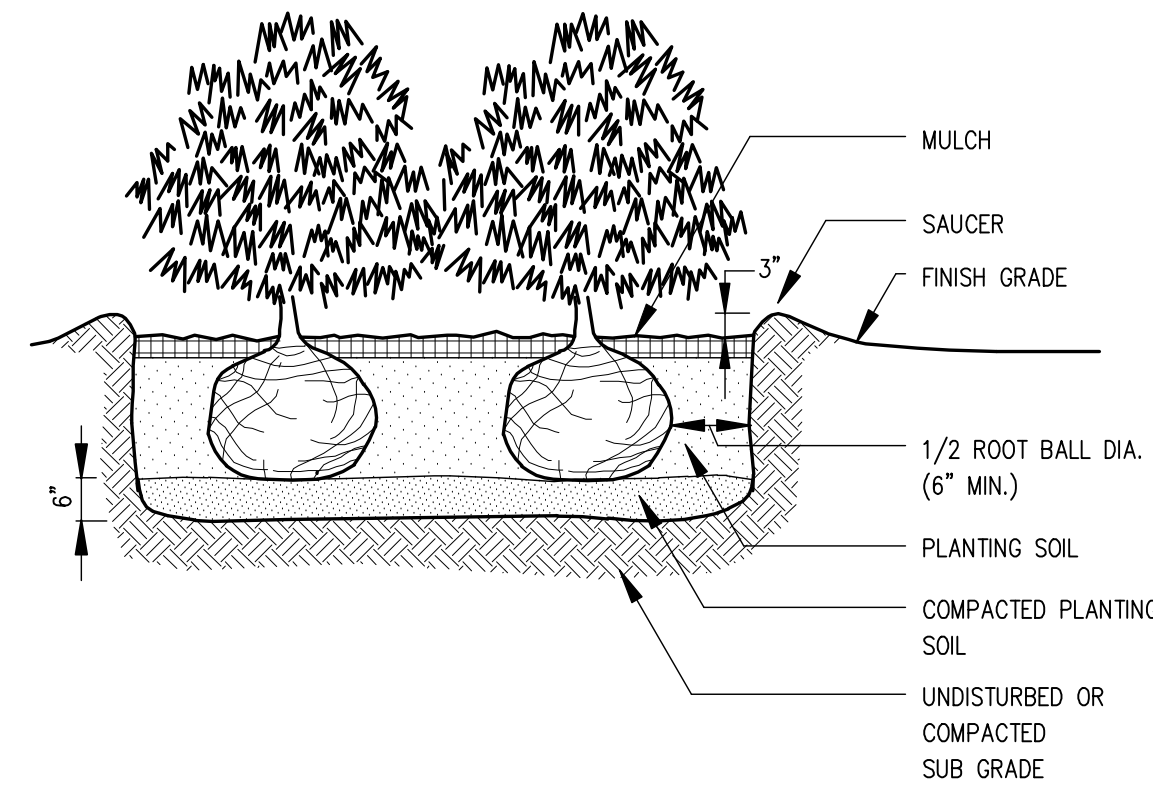
**PUTNAM ENGINEERING, INC.**  
ENGINEERS - ARCHITECTS  
4 OLD ROUTE 6, BREWSTER, NEW YORK 10509  
(845) 279-6789 FAX (845) 279-6789

**TOMPKINS RECYCLING FACILITY**  
CONSTRUCTION AND DEBRIS PROCESSING CENTER & RECYCLING  
60 OLD ROUTE 6  
TOWN OF CARBARI  
PUTNAM COUNTY, NEW YORK  
TAX MAP No. 55.11, BLOCK 1, LOT 15  
OWNER: .70 OLD ROUTE 6, L.L.C. P.O. BOX 508 BEDFORD N.Y. 10506

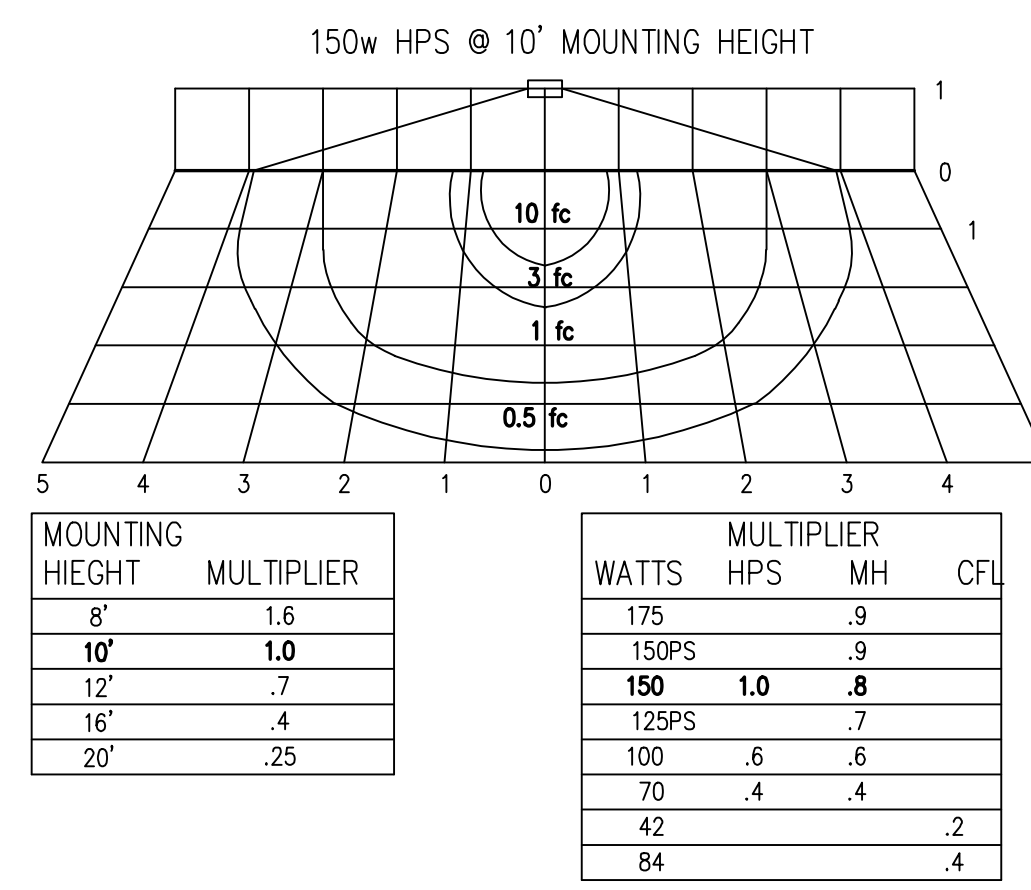
**DETAILS**

DATE: 10/12/06  
PROJECT: TOMPKINS RECYCLING FACILITY  
PROJECT MANAGER: BK  
DRAWN BY: BK  
CHECKED BY: BK  
SCALE: AS NOTED

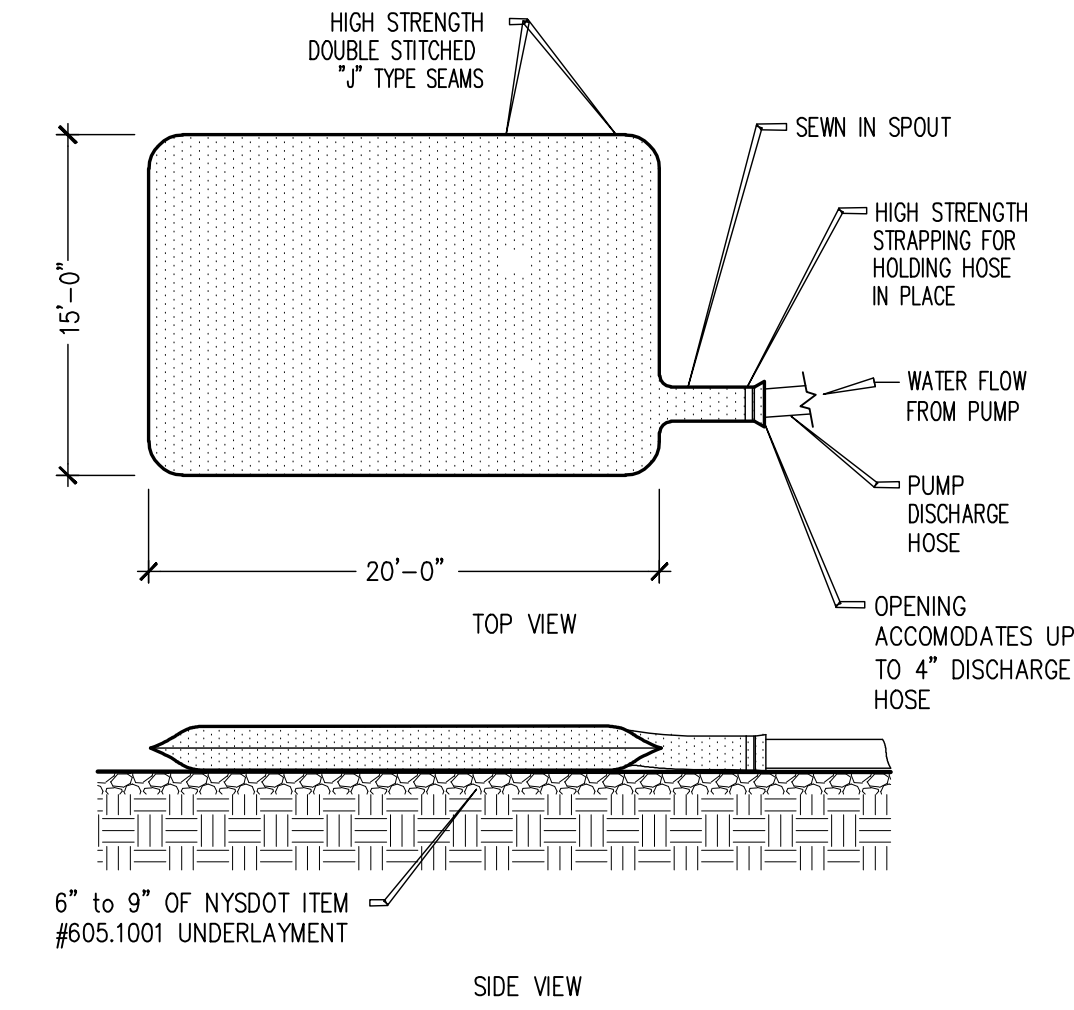
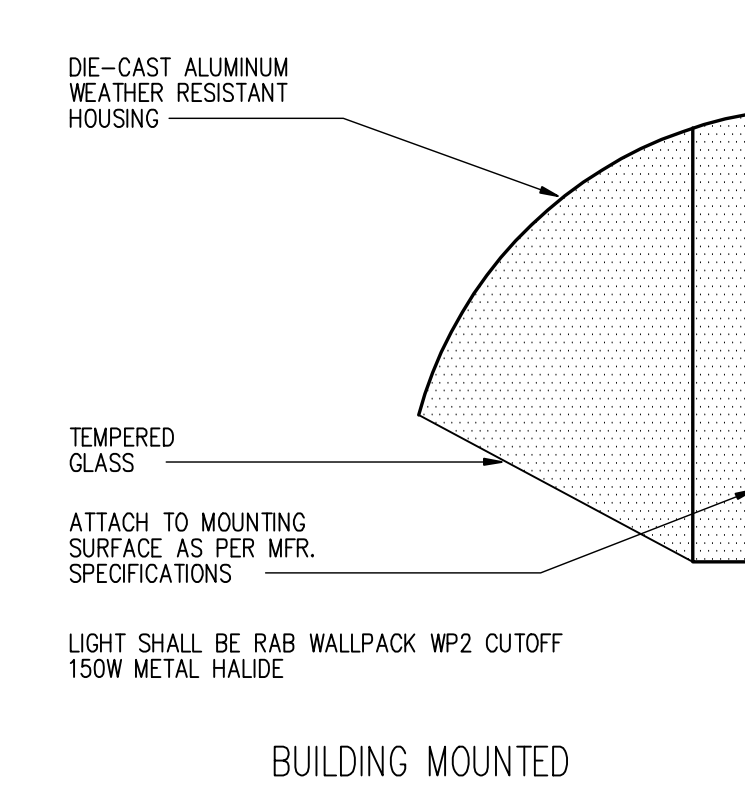
DRAWING: C-330  
PROJECT NUMBER: 8288  
DRAWING NUMBER: C-330  
SHEET 14 OF 15



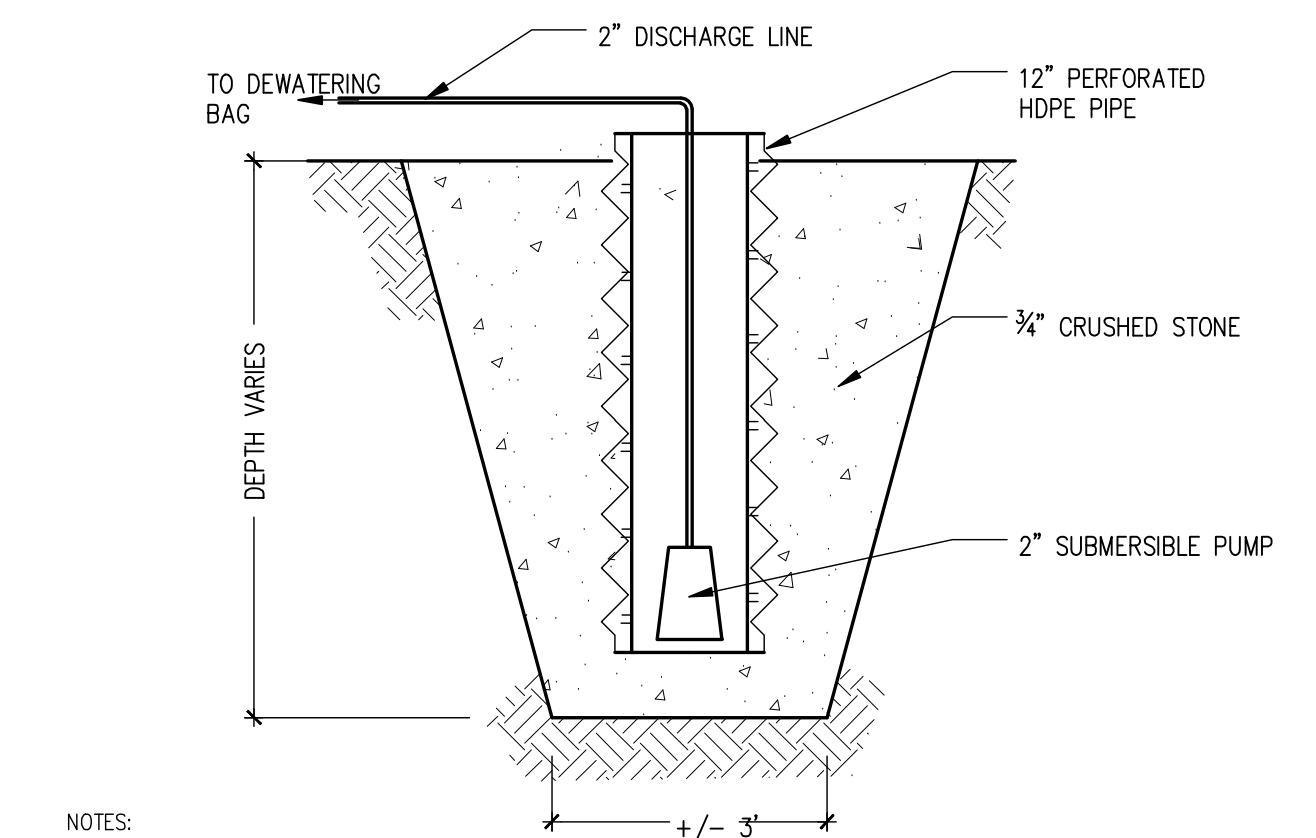
1 SHRUB PLANTING DETAIL  
C-340 N.T.S.



2 SITE LIGHTING DETAILS  
C-340 N.T.S.

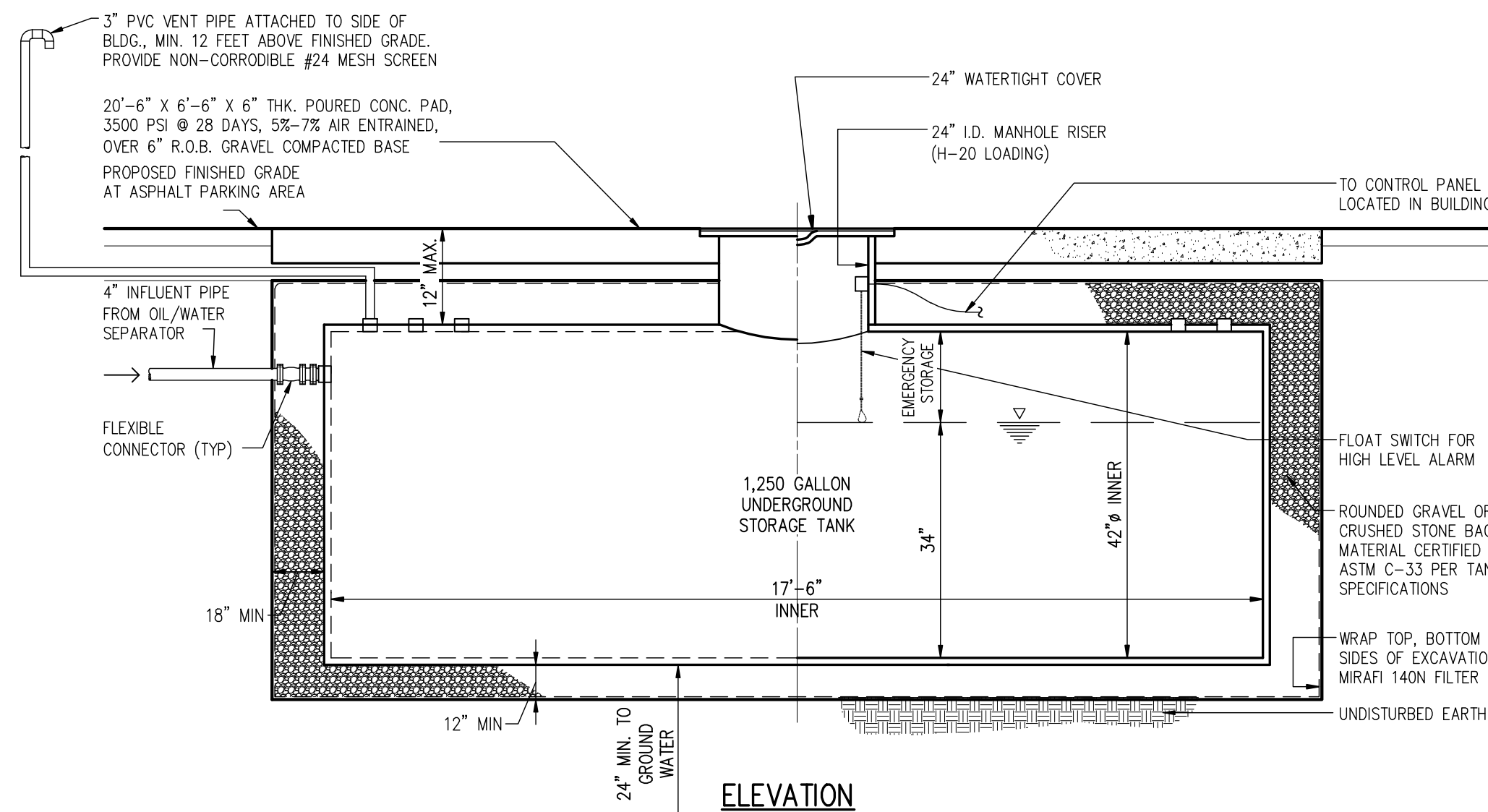


3 DEWATERING BAG DETAIL  
C-340 N.T.S.



- NOTES:
- CONTRACTOR SHALL INSTALL 2" SUBMERSIBLE ELECTRIC PUMPS IN EACH WELL POINT AND PROVIDE HOSE AS REQUIRED TO DISCHARGE ALL EXTRACTED GROUNDWATER INTO DEWATERING BAG SILT CONTROL SYSTEM.
  - THE CONTRACTOR SHALL PROVIDE A CONTINUOUS ELECTRIC SUPPLY TO MAINTAIN UNINTERRUPTED DEWATERING THROUGHOUT WALL AND WEILAND CONSTRUCTION.
  - CONTRACTOR SHALL REPLACE DEWATERING BAG AS REQUIRED TO MAINTAIN TURBID FREE DISCHARGE THROUGHOUT DEWATERING OPERATIONS. CONTRACTOR SHALL REMOVE FULL SILT BAGS AND DISPOSE THEM AT INDICATED LOCATION.
  - UPON COMPLETION OF WALL CONSTRUCTION AND BACKFILL, THE CONTRACTOR SHALL REMOVE THE SUBMERSIBLE PUMPS AND ABANDON WELL POINTS IN PLACE BY CUTTING OFF ALL PIPES A MIN. 2" BELOW FINISHED GRADE AND BACKFILLING.

4 WELL POINT DETAIL  
C-340 N.T.S.

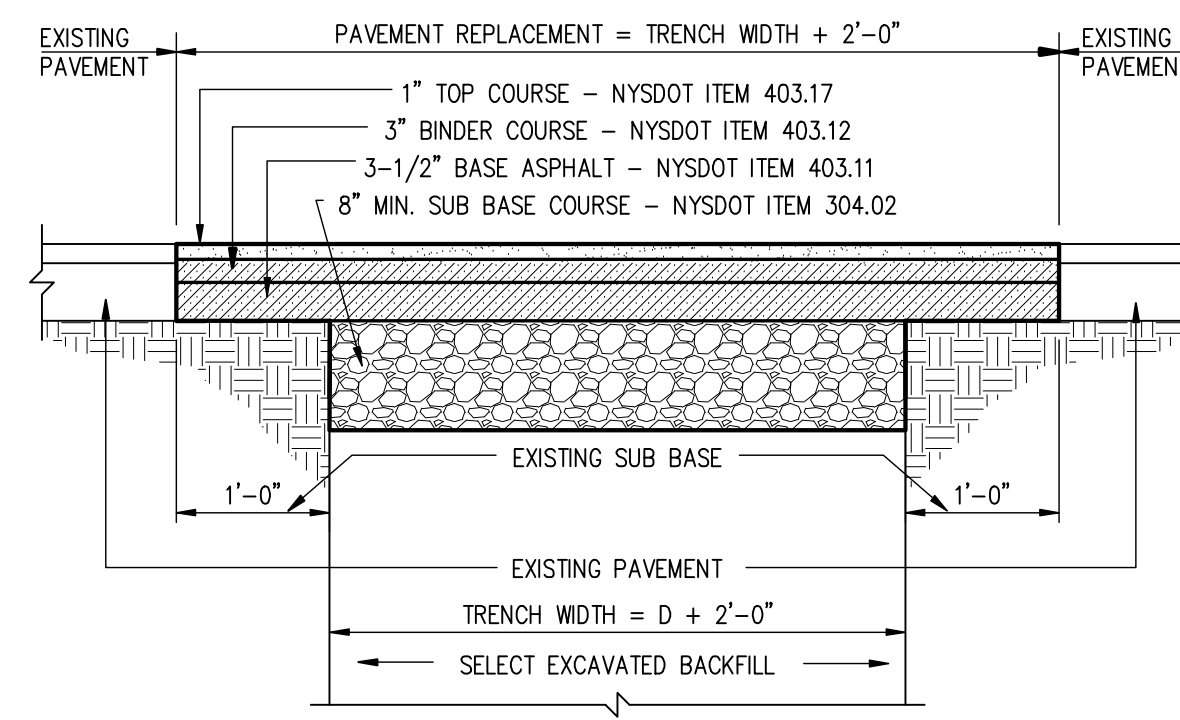


- NOTES:
- INSTALLATION TO CONFORM TO MANUFACTURER'S AND NYSDEC REQUIREMENTS.
  - 1,250 GALLON 42" DIA. DOUBLE WALL STEEL TANK #ACT-100-U AS MANUFACTURED BY FRED BURROK CO. INC. OR EQUAL. TANK TO BE DESIGNED FOR AASHTO H-20 LOADING.
  - HIGH WATER SWITCH MAY BE HIRED FROM A STAINLESS STEEL BRACKET ATTACHED TO THE RISER PIPE.
  - THE CONTROL WIRING SHALL BE MADE DIRECTLY TO THE CONTROL PANEL TO BE LOCATED INSIDE BUILDING WITH AUDIBLE ALARM AND FLASHING LIGHT.
  - SAFETY LADDERS TO BE WELDED TO TANK FOR CATHODIC PROTECTION OF PRIMARY TANK INTERIOR AND THE EXTERNAL SURFACE OF THE OUTER SHELL.
  - THE INTERSTITIAL SPACE SHALL BE ELECTRONICALLY MONITORED FOR TIGHTNESS. THE WIRING SHALL BE MADE DIRECTLY TO THE CONTROL PANEL WITH AUDIBLE ALARM AND FLASHING LIGHT.

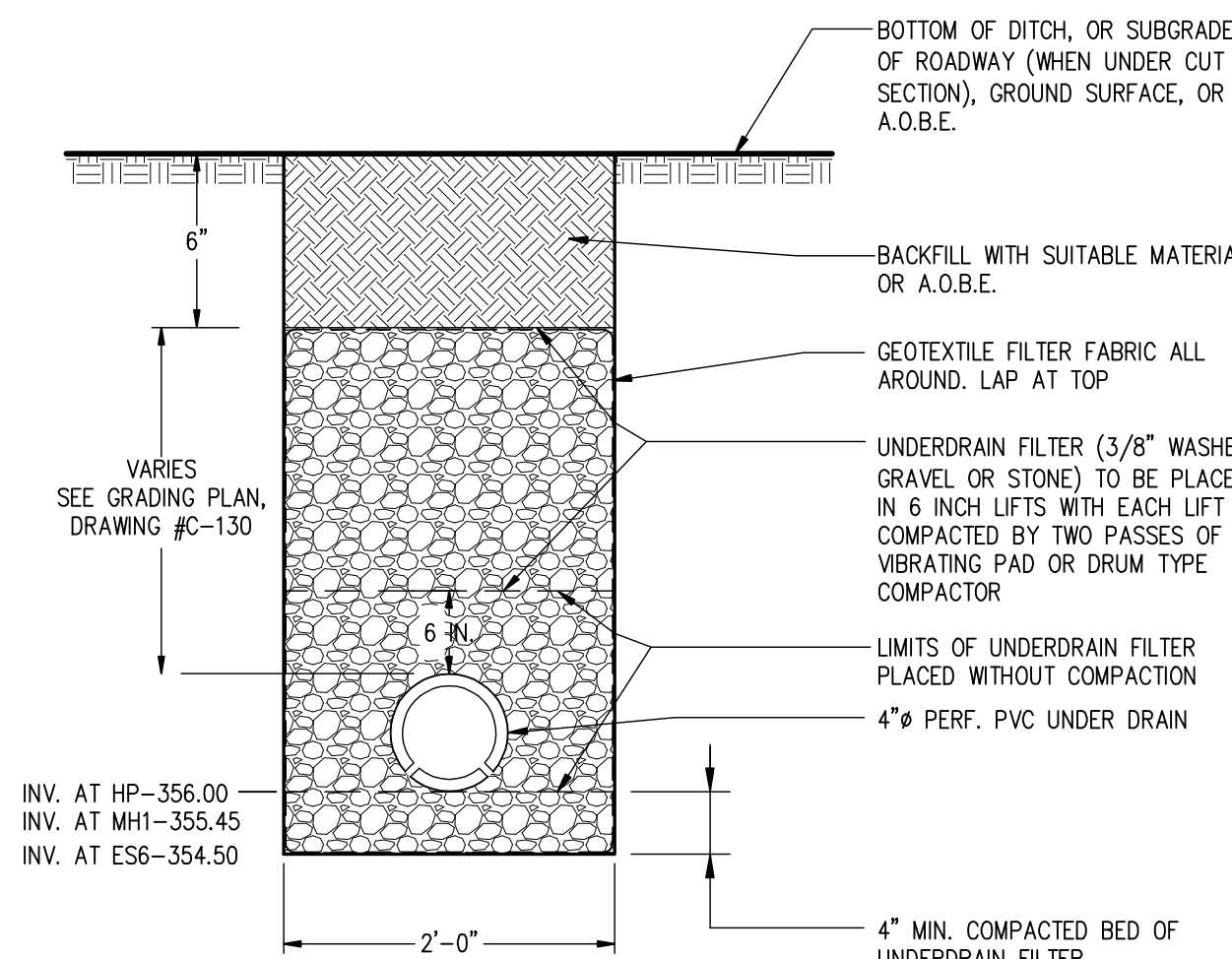
OPERATING ELEVATIONS

ELEVATION OF FLOAT BASED ON DEPTH OF WATER IN TANK	FINISHED GRADE @ RISER
TOP OF TANK	362.33
HIGH LEVEL ALARM	361.33
BOTTOM OF TANK	357.83
GROUNDWATER	355.00

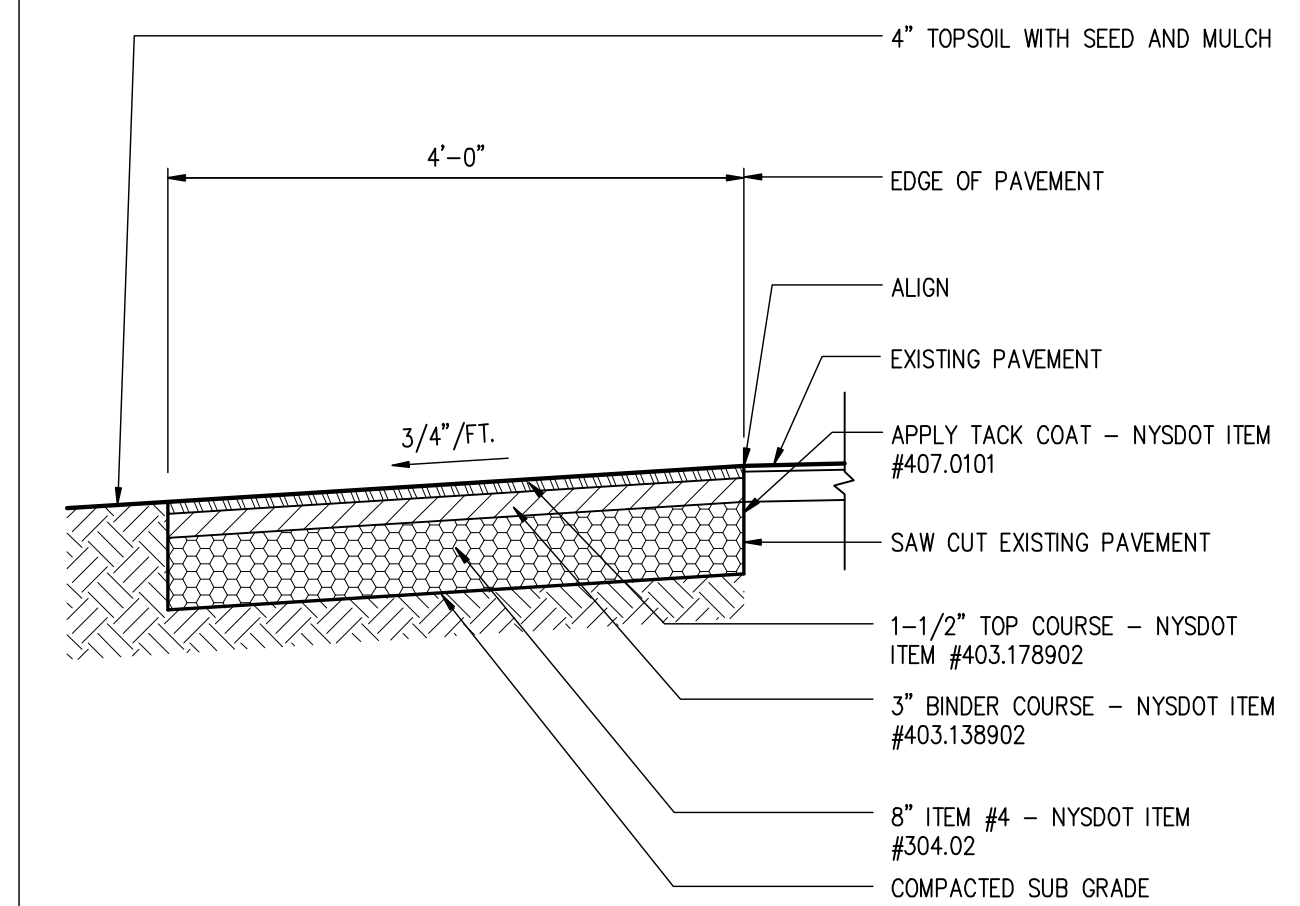
5 1,250 GALLON LEACHATE STORAGE TANK DETAIL  
C-340 N.T.S.



6 PAVEMENT RESTORATION DETAIL at OLD ROUTE 6  
C-340 N.T.S.



7 UNDERDRAIN DETAIL  
C-340 N.T.S.



8 SHOULDER WIDENING DETAIL  
C-340 N.T.S.

PUTNAM ENGINEERING, LLC  
ENGINEERS - ARCHITECTS  
4 OLD ROUTE 6, BREWSTER, NEW YORK 10509  
(845) 279-6789 FAX (845) 279-6789  
PUNAM ENGINEERING FILE 2006

PERMIT TO NEW YORK STATE  
EPA SUBMISSION 2. IT IS A VIOLATION  
IF THE CONTRACTOR ALTERS THE DIRECTION OF  
ALTER AN ITEM IN ANY WAY IF AN ITEM  
ALTERED, THE ALTERING ENGINEER SHALL  
NOTATION, ALTERED BY FOLLOWED BY  
HIS SIGNATURE AND DATE OF SUCH  
DESCRIPTION OF THE ALTERATION.

REVISIONS	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	11/07/07	ADDED DEWATERING BAG	13	12/06/06	DEP. DEC. SUBMISSION
2	11/07/07	REVISED PER P.E. COMMENTS	14	1/07/07	PREL. DEC. SUBMISSION
3	11/07/07	REVISED PER P.E. COMMENTS	15	02/27/07	REVISED PER NYSDEC
4	11/07/07	REVISED PER P.E. COMMENTS	16	02/27/07	REVISED PER NYSDEC
5	11/07/07	REVISED PER P.E. COMMENTS	17	04/10/07	DEC. SUBMISSION
6	11/07/07	REVISED PER P.E. COMMENTS	18	05/07/07	REVISED PER NYSDEC
7	11/07/07	REVISED PER P.E. COMMENTS	19	05/07/07	REVISED PER NYSDEC
8	11/07/07	REVISED PER P.E. COMMENTS	20	05/19/07	REVISED PER FEMA MAP
9	11/07/07	REVISED PER P.E. COMMENTS	21	12/09/06	REVISED PER FEMA REVISION
10	11/07/07	REVISED PER P.E. COMMENTS	22	12/22/07	REVISED PER FEMA REVISION

PROJECT  
TOMPKINS RECYCLING FACILITY  
CONSTRUCTION AND DEBRIS PROCESSING CENTER & RECYCLING  
60 OLD ROUTE 6  
TOWN of CARMEL  
PUTNAM COUNTY, NEW YORK  
TAX MAP No. 55.11, BLOCK 1, LOT 15  
OWNER: 70 OLD ROUTE 6, L.L.C. P.O. BOX 508 BEDFORD N.Y. 10506

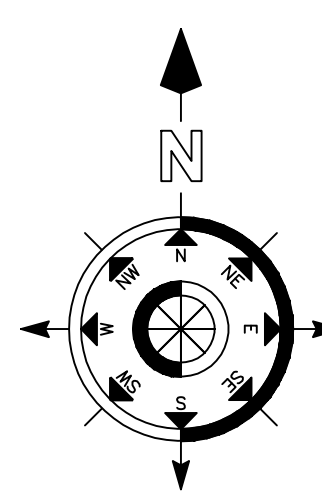
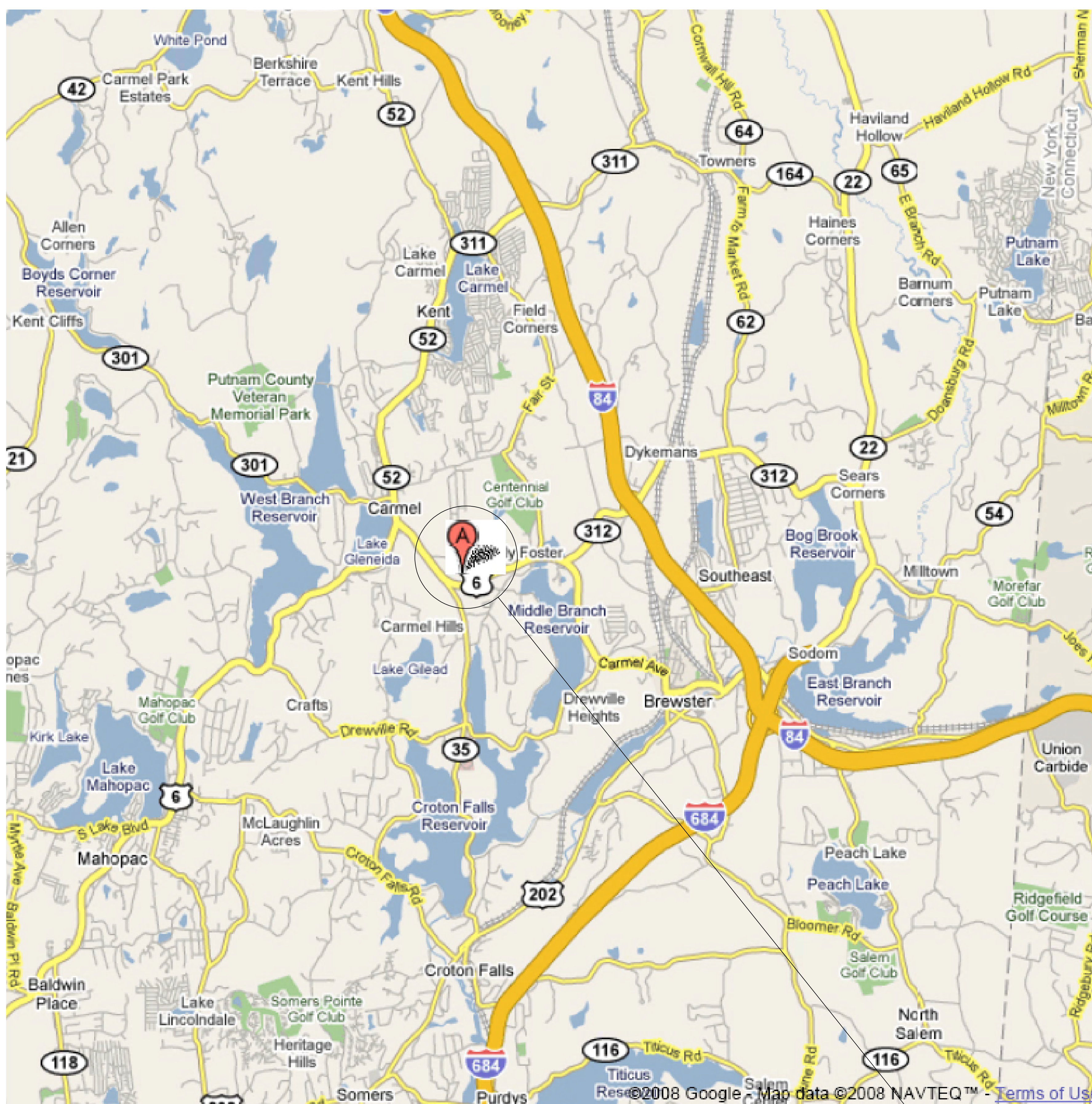
DATE 10/12/06  
PROJECT MANAGER BK  
DRAWN BY BCK  
CHECKED BY PNL  
SCALE AS NOTED

DRAWING  
PROJECT NUMBER 8288  
DRAWING NUMBER

C-340

SHEET 15 OF 15





**REGIONAL MAP**  
Scale: 1" = 1.5 Miles

PROJECT SITE

PERMIT TO NEW YORK STATE  
2008 SUBMISSION 2, IT IS A VIOLATION  
OF THE PROFESSIONAL ENGINEERING  
LAW IF ANY PERSON, FIRM OR ENTITY  
WHICH IS NOT A LICENSED PROFESSIONAL  
ENGINEER, ARCHITECT OR LANDSCAPE  
ARCHITECT, PREPARES, SEALS, SIGNED  
OR ALTERS ANY ENGINEERING, ARCHITECTURAL  
OR LANDSCAPE ARCHITECTURAL DRAWING,  
SPECIFICATION, CONTRACT OR OTHER  
DOCUMENT FOR THE PURPOSE OF OBTAINING  
OR ATTEMPTING TO OBTAIN A PERMIT  
DESCRIPTION OF THE VIOLATION:

REVISIONS	DATE	DESCRIPTION
0	08/25/08	DEC SUBMISSION
1	05/05/10	DEC SUBMISSION
2	12/06/10	DEC SUBMISSION
3	06/1/11	DEC SUBMISSION
4	02/15/12	DEC SUBMISSION
5	04/10/12	DEC SUBMISSION

**TOMPKINS RECYCLING FACILITY INC.**  
CONSTRUCTION AND DEBRIS PROCESSING CENTER & RECYCLING  
60 OLD ROUTE 6  
TOWN OF CARMEL  
PUTNAM COUNTY, NEW YORK  
TAX MAP NO. 653 - BLOCK 1 - LOT 15  
OWNER: 70 OLD ROUTE 6, L.L.C. P.O. BOX 508 BEDFORD, N.Y. 10506

DATE: 14 OCT 08  
PROJECT MANAGER: PML  
DRAWN BY: PKG  
CHECKED BY: PML  
SCALE: AS NOTED

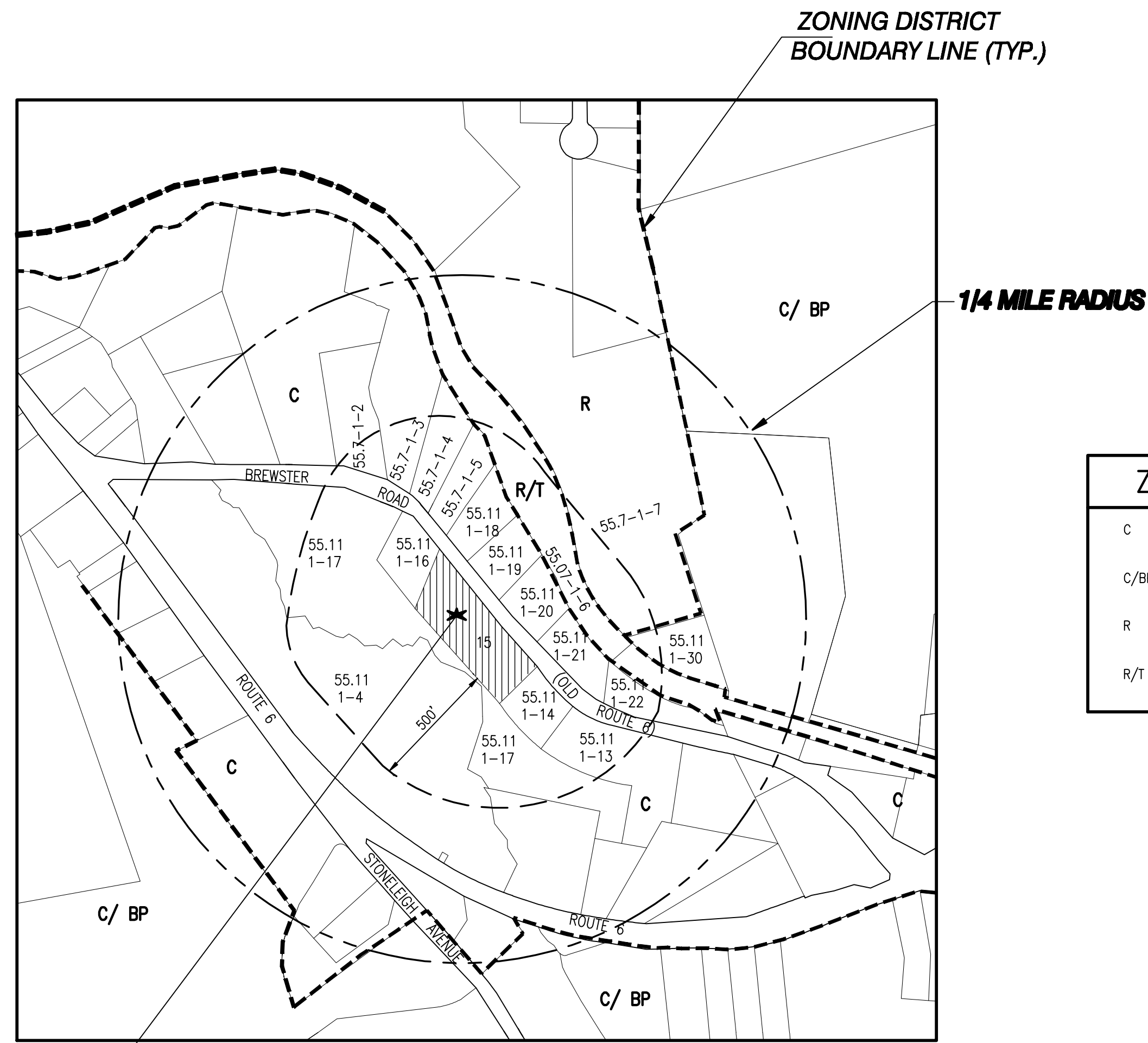
REGIONAL MAP

PROJECT NUMBER: 8289  
DRAWING NUMBER:

C-001

SHEET 1 OF 11

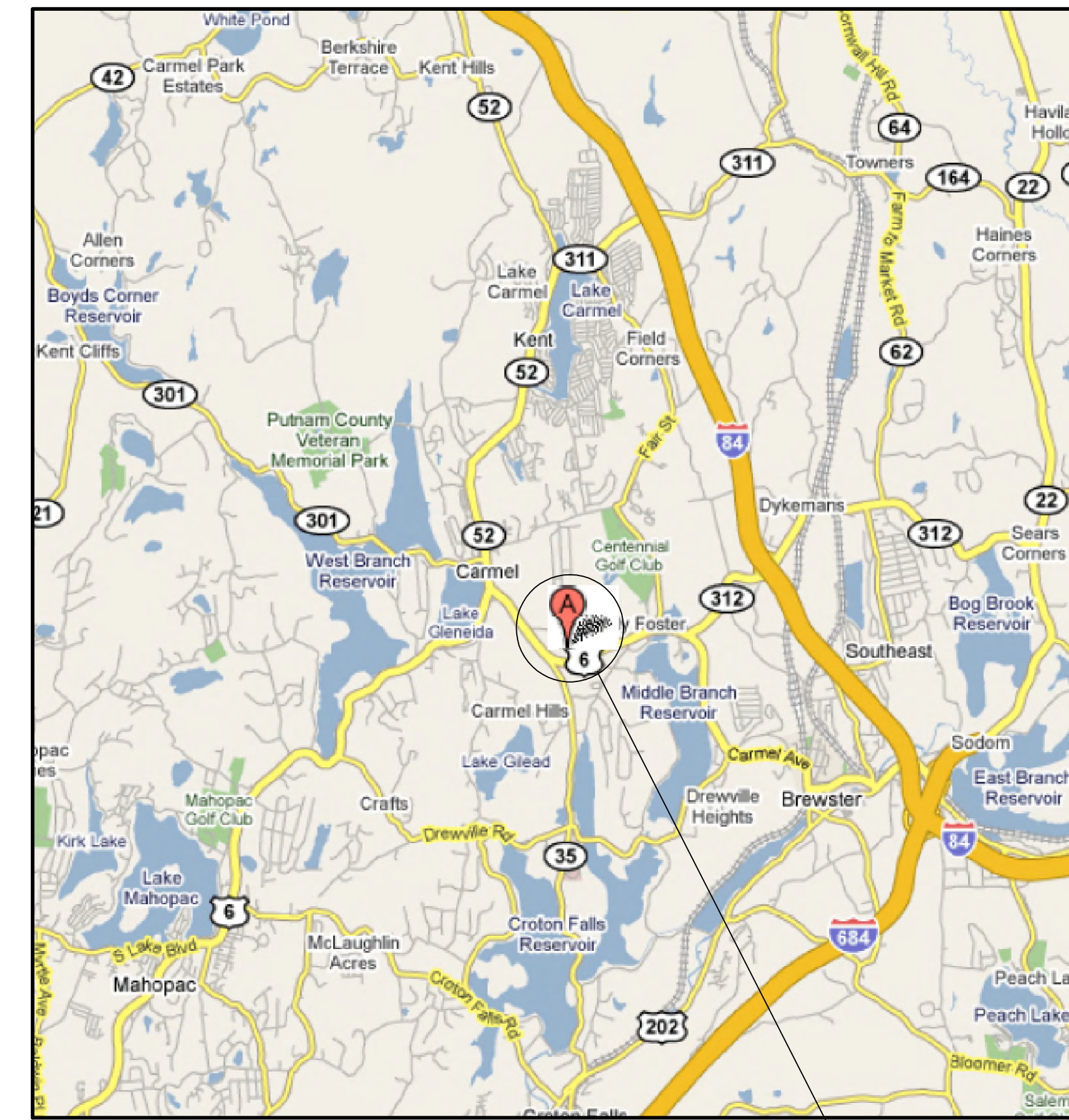




ZONING DISTRICT	
C	COMMERCIAL
C/BP	COMMERCIAL/BUSINESS PARK
R	RESIDENTIAL
R/T	RECREATION/TRAILWAY

PROJECT SITE  
**AREA MAP W/ZONING**  
 Scale: 1" = 400'

LIST OF ADJOINERS (500' RADIUS)		
55.7-1-1	CARMEL SPORTS CENTER	121 EASY HUDSON AVENUE ENGLEWOOD, NJ 07631
55.7-1-2	DYKEER ASSOCIATES INC.	8800 ADAMO DRIVE TAMPA, FL 33619
55.7-1-3	LIBERTY BELL TRUCKING	200 SOUTH WHITE ROCK ROAD HOLMES, NY 12531
55.7-1-4	LIBERTY BELL TRUCKING	200 SOUTH WHITE ROCK ROAD HOLMES, NY 12531
55.7-1-5	LIBERTY BELL TRUCKING	200 SOUTH WHITE ROCK ROAD HOLMES, NY 12531
55.7-1-6	SHLETZ LEE	200 SOUTH WHITE ROCK ROAD HOLMES, NY 12531
55.7-1-7	COUNTY OF PUTNAM	40 GLENEIDA AVE CARMEL, NY 10512
55.11-1-4	GANDOL REALTY CORP	P O BOX 1080 CARMEL, NY 10512
55.11-1-6	PARC	INTERNATIONAL BLVD BREWSTER, NY 10509
55.11-1-13	WEST LAKE CONSTRUCTION & DEV.	P O BOX 839 MAHOPAC, NY 10541
55.11-1-14	PUTNAM CO HUMANE SOC	BOX 2997 CARMEL, NY 10512
55.11-1-16	O'CONNOR ROBERT E	50 OLD RTE 6 CARMEL, NY 10512
55.11-1-17	TOWN OF CARMEL	60 MALPIN AVE. MAHOPAC, NY 10541
55.11-1-18	LIBERTY BELL TRUCKING	200 SOUTH WHITE ROCK ROAD HOLMES, NY 12531
55.11-1-19	LIBERTY BELL TRUCKING	200 SOUTH WHITE ROCK ROAD HOLMES, NY 12531
55.11-1-20	LIBERTY BELL TRUCKING	200 SOUTH WHITE ROCK ROAD HOLMES, NY 12531
55.11-1-21	LIBERTY BELL TRUCKING	200 SOUTH WHITE ROCK ROAD HOLMES, NY 12531
55.11-1-22	CARMEL AUTO BODY	77 OLD ROUTE 6 CARMEL, NY 10512
55.11-1-27	DURKIN RAYMOND & ANDREW	PO BOX 372 BREWSTER, NY 10509
55.11-1-30	COUNTY OF PUTNAM	40 GLENEIDA CARMEL, NY 10512



**VICINITY MAP**  
 Scale: 1" = 2000'

PURSUANT TO NEW YORK STATE ESDS SUBDIVISION 2, TITLE 20, SECTION 20-203, THE ARCHITECT HAS REVIEWED THIS PLAN AND FOUND IT TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LAW. THE ARCHITECT'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE PLAN AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS PLAN OR FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE USE OF THIS PLAN.

REVISIONS	DATE	DESCRIPTION
0	08/25/08	DEC SUBMISSION
1	05/05/10	DEC SUBMISSION
2	12/06/10	DEC SUBMISSION
3	06/1/11	DEC SUBMISSION
4	02/25/12	DEC SUBMISSION
5	04/10/12	DEC SUBMISSION

**TOMPKINS RECYCLING FACILITY INC.**  
 CONSTRUCTION AND DEBRIS PROCESSING CENTER & RECYCLING  
 60 OLD ROUTE 6  
 TOWN OF CARMEL  
 PUTNAM COUNTY, NEW YORK  
 TAX MAP NO. 55.1 BLOCK 1 LOT 15  
 OWNER: 70 OLD ROUTE 6, LLC, P.O. BOX 508 BEDFORD, N.Y. 10506

DATE	14 OCT 08
PROJECT MANAGER	PHL
DRAWN BY	PHL
CHECKED BY	PHL
SCALE	AS NOTED

VICINITY MAP, ZONING AND  
 1/4 MILE RADIUS MAP

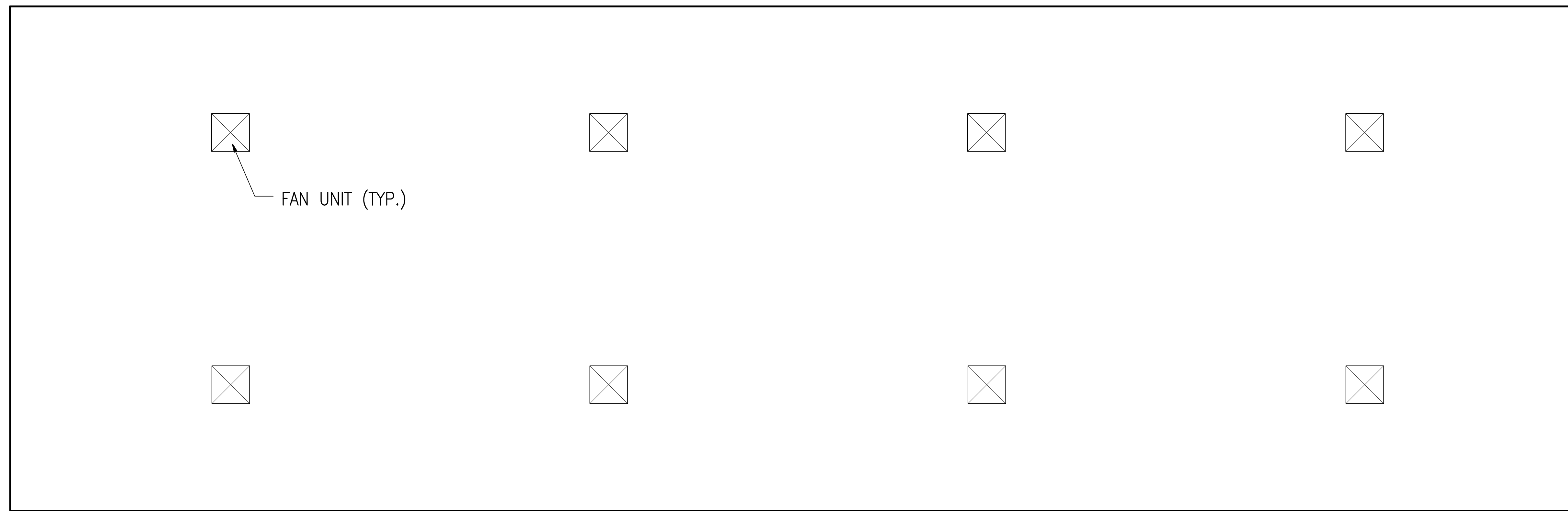
PROJECT NUMBER  
 8289  
 DRAWING NUMBER

C-002

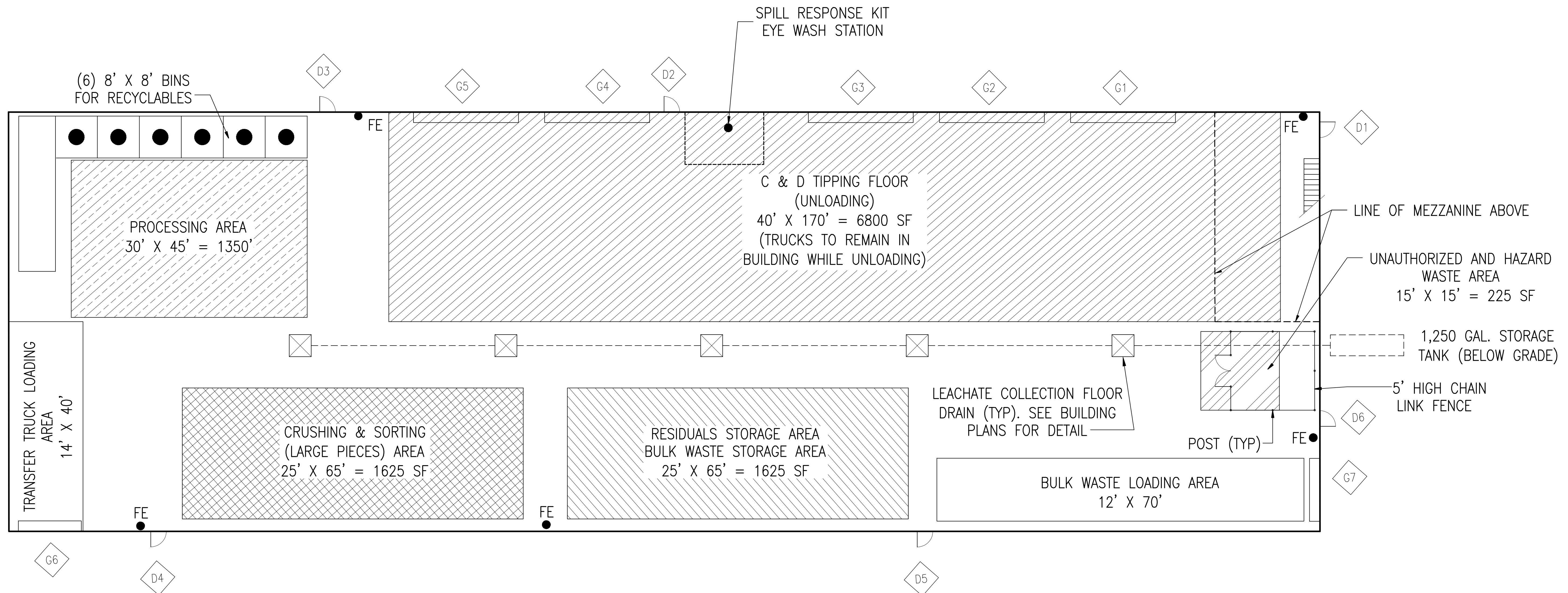




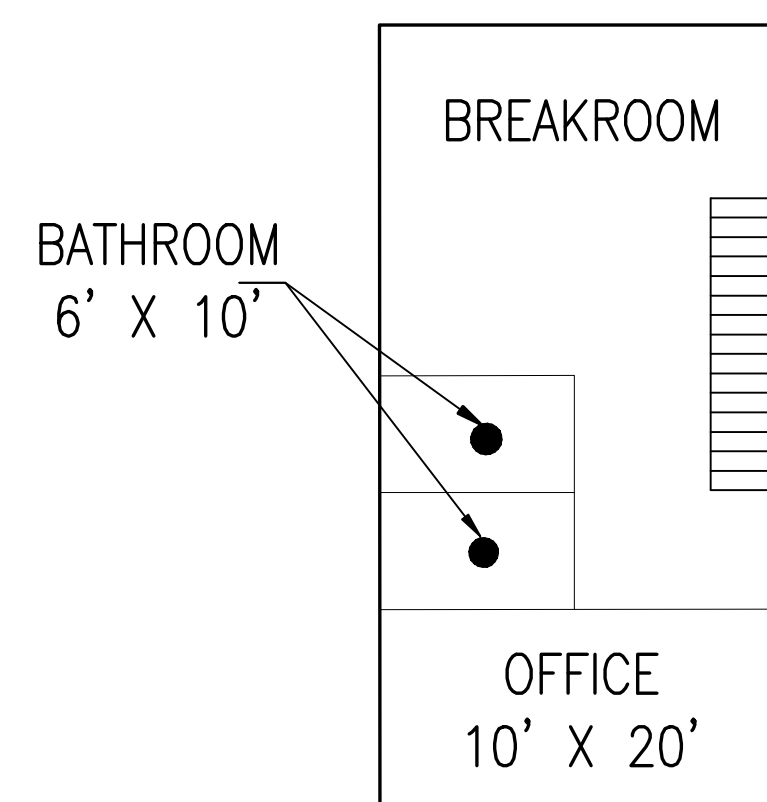
NOTE:  
THE BUILDING WILL HAVE A MIN. OF 6  
AIR EXCHANGES EACH HOUR



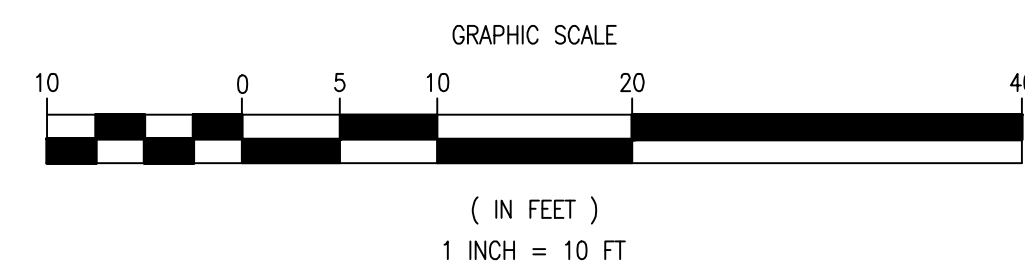
ROOF PLAN



FACILITY OPERATIONS PLAN



SECOND FLOOR PLAN  
20' X 40' = 800 SF



ITEM	DESCRIPTION	DIMENSION (FT)	AREA (SQ FT)
	UNLOADING AREA	40 X 170	6,800
	RESIDUALS STORAGE AREA	25 X 65	1,625
●	6 BINS TYP. FOR RECYCLABLES	8 X 48	384
	CRUSHING & SORTING AREA	25 X 65	1,625
	PROCESSING AREA	30 X 45	1,350
	HAZARDOUS WASTE AREA	15 X 15	225

OPERATIONAL AREA = 20,000 SQ FT  
NOTE: ALL DIMENSIONS ARE APPROXIMATE

RECYCLABLE AREA (COVERED) LOCATED OUTSIDE THE BUILDING:

- A = 22'-0" (L) X 12'-0" (D) X 16'-0" (H)
- B = 22'-0" (L) X 12'-0" (D) X 16'-0" (H)
- C = 22'-0" (L) X 12'-0" (D) X 16'-0" (H)
- D = 22'-0" (L) X 12'-0" (D) X 16'-0" (H)

PURSUANT TO NEW YORK STATE EDUCATION LAW, ARTICLE 14A, SECTION 3403, THIS DOCUMENT IS THE PROPERTY OF PUTNAM ENGINEERS - ARCHITECTS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF PUTNAM ENGINEERS - ARCHITECTS.

REVISIONS NO.	DATE	DESCRIPTION
0	02/07/08	DES. SUBMISSION
1	02/07/08	DES. SUBMISSION
2	12/06/10	DES. SUBMISSION
3	06/17/11	DES. SUBMISSION
4	02/15/12	DES. SUBMISSION
5	04/10/12	DES. SUBMISSION

TOMPKINS RECYCLING FACILITY INC.  
CONSTRUCTION AND DEBRIS PROCESSING CENTER & RECYCLING  
60 OLD ROUTE 6  
TOWN OF CARMEL  
PUTNAM COUNTY, NEW YORK  
TAX MAP No. 55.11, BLOCK 1, LOT 15  
OWNER: TO OLD ROUTE 6, LLC, P.O. BOX 508 BEDFORD NY, 10506

DATE: 14 OCT 08  
PROJECT MANAGER: [blank]  
DRAWN BY: PKG  
CHECKED BY: PML  
SCALE: AS NOTED

FACILITY PLAN  
PROJECT NUMBER: 8289  
DRAWING NUMBER: C-004  
SHEET 4 OF 11

PUTNAM ENGINEERS - ARCHITECTS  
4 OLD ROUTE 6, BEDFORD, NEW YORK, 10509  
(845) 279-6789 FAX (845) 279-6789

PURSUANT TO NEW YORK STATE  
 2009 SUBDIVISION MAP ACT, THIS ALTERNATION  
 OF THIS PLAN FOR ANY PERSON UNLESS  
 A LICENSED PROFESSIONAL ENGINEER TO  
 BEARING THE SEAL OF AN ENGINEER IS  
 APPLICABLE TO THE TOWN OF CARMEL AND THE  
 HIS SIGNATURE AND THE DATE OF SUCH  
 DESCRIPTION OF THE ALTERATION.

NO.	DATE	DESCRIPTION
1	02/02/09	DEC. SUBMISSION
2	02/02/10	DEC. SUBMISSION
3	06/17/11	DEC. SUBMISSION
4	02/15/12	DEC. SUBMISSION
5	04/10/12	DEC. SUBMISSION

REVISIONS

**TOMPKINS RECYCLING FACILITY INC.**  
 CONSTRUCTION AND DEBRIS PROCESSING CENTER & RECYCLING  
 60 OLD ROUTE 6  
 TOWN OF CARMEL  
 PUTNAM COUNTY, NEW YORK  
 TAX MAP No. 55.11-1-15 BLOCK 1, LOT 15  
 OWNER: 70 OLD ROUTE 6, LLC, P.O. BOX 508 BEDFORD, N.Y. 10506

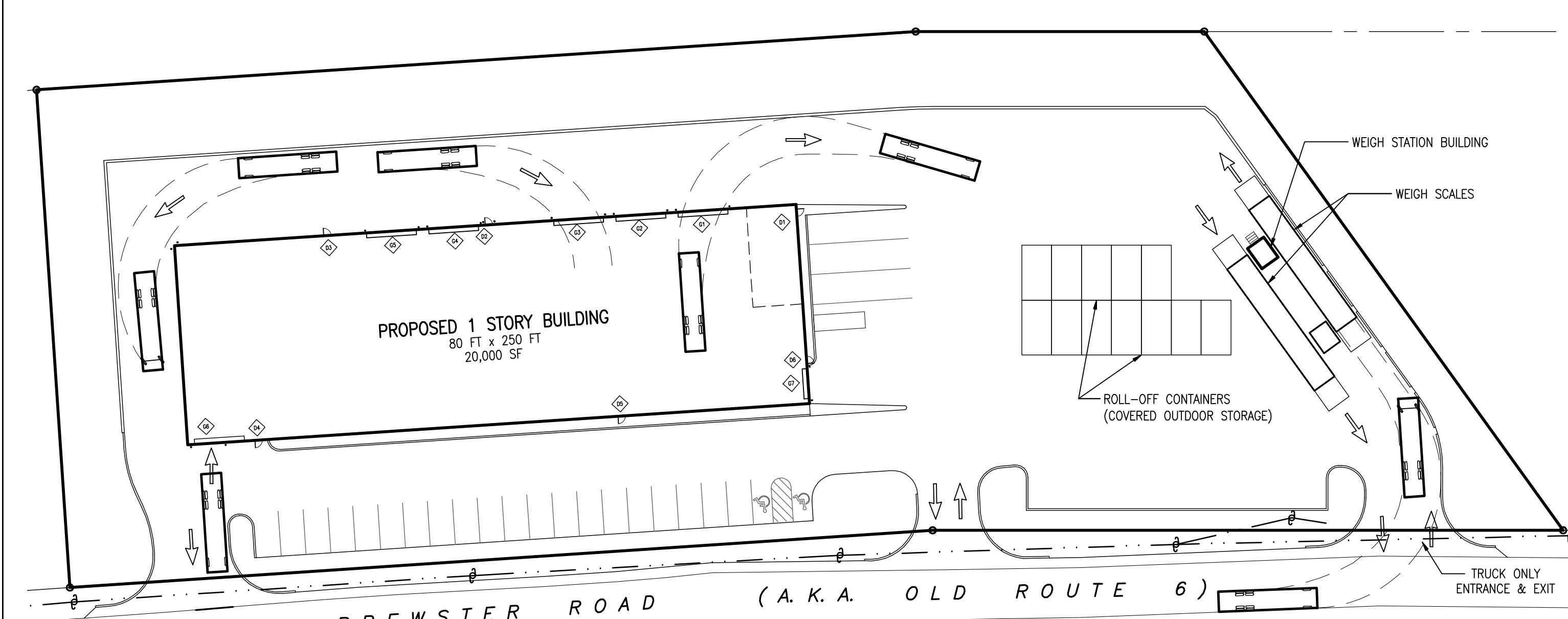
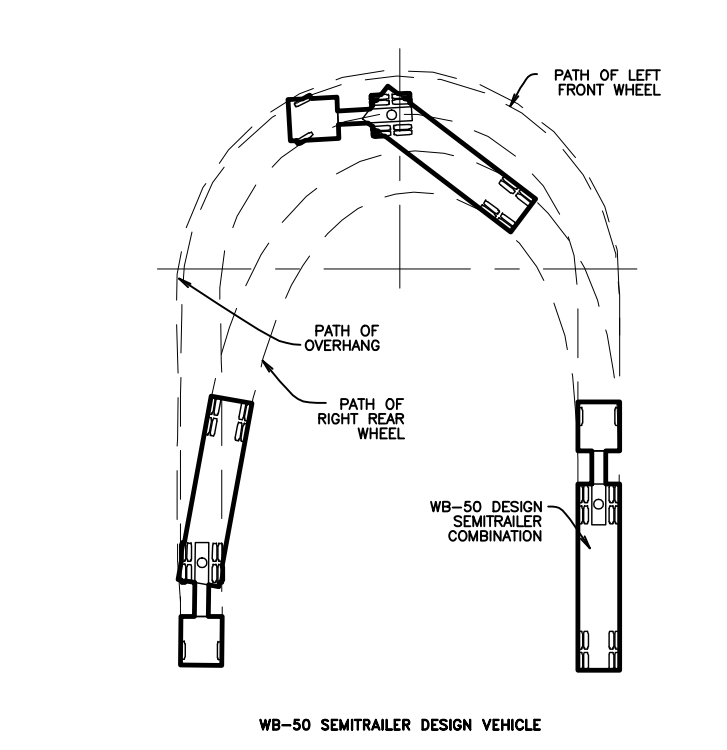
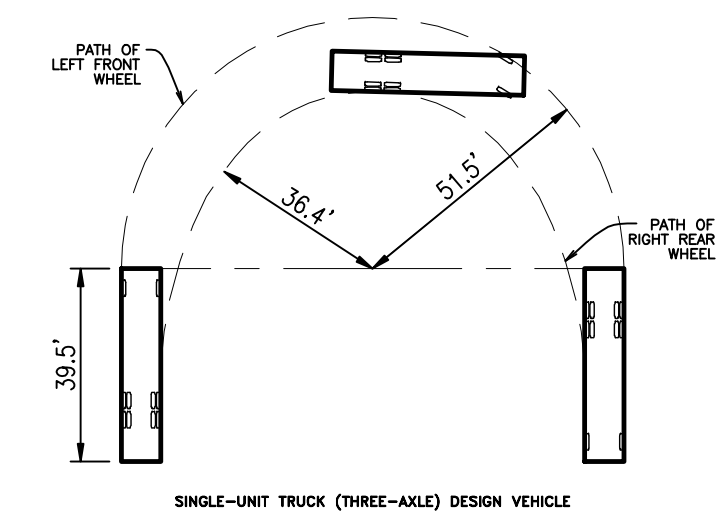
DATE	02/02/09
PROJECT MANAGER	PHL
DRAWN BY	PHG
CHECKED BY	PHL
SCALE	AS NOTED

**DESIGN VEHICLE RADIUS PLANS**

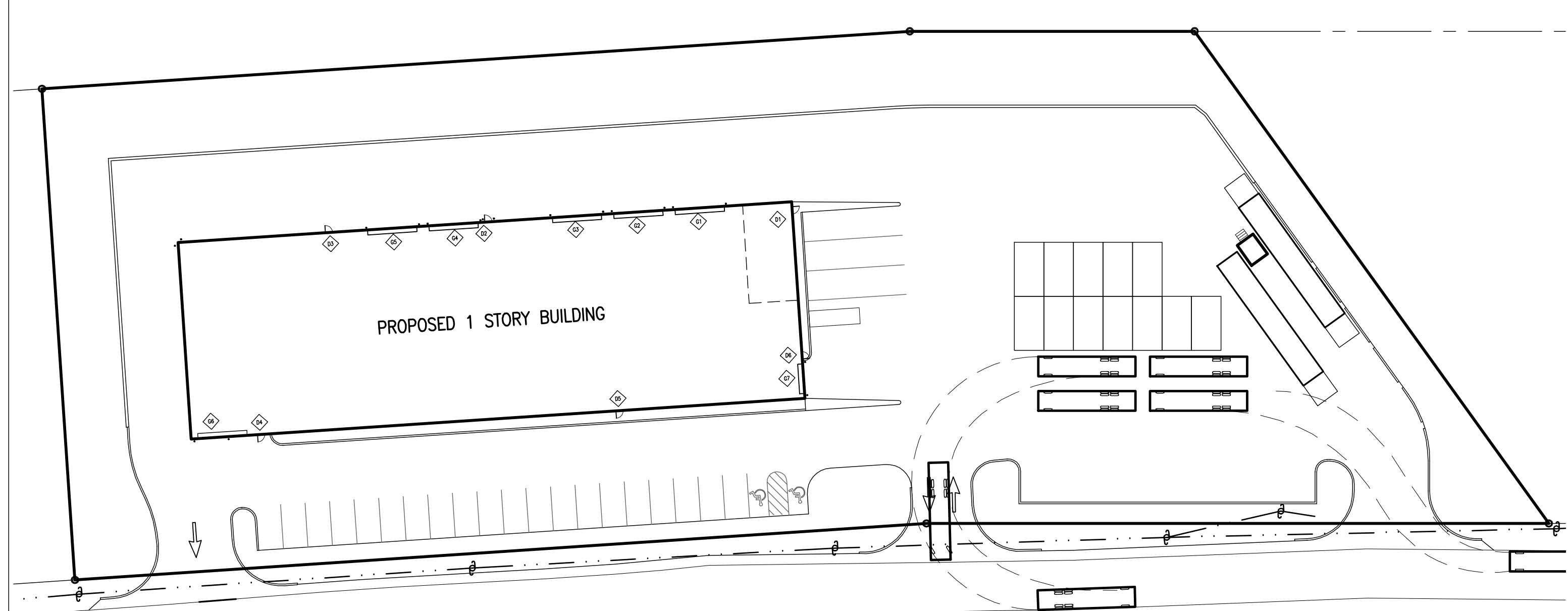
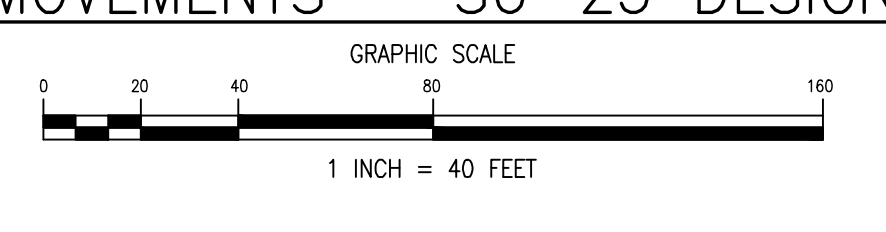
PROJECT NUMBER	8289
DRAWING NUMBER	C-005

**LEGEND:**

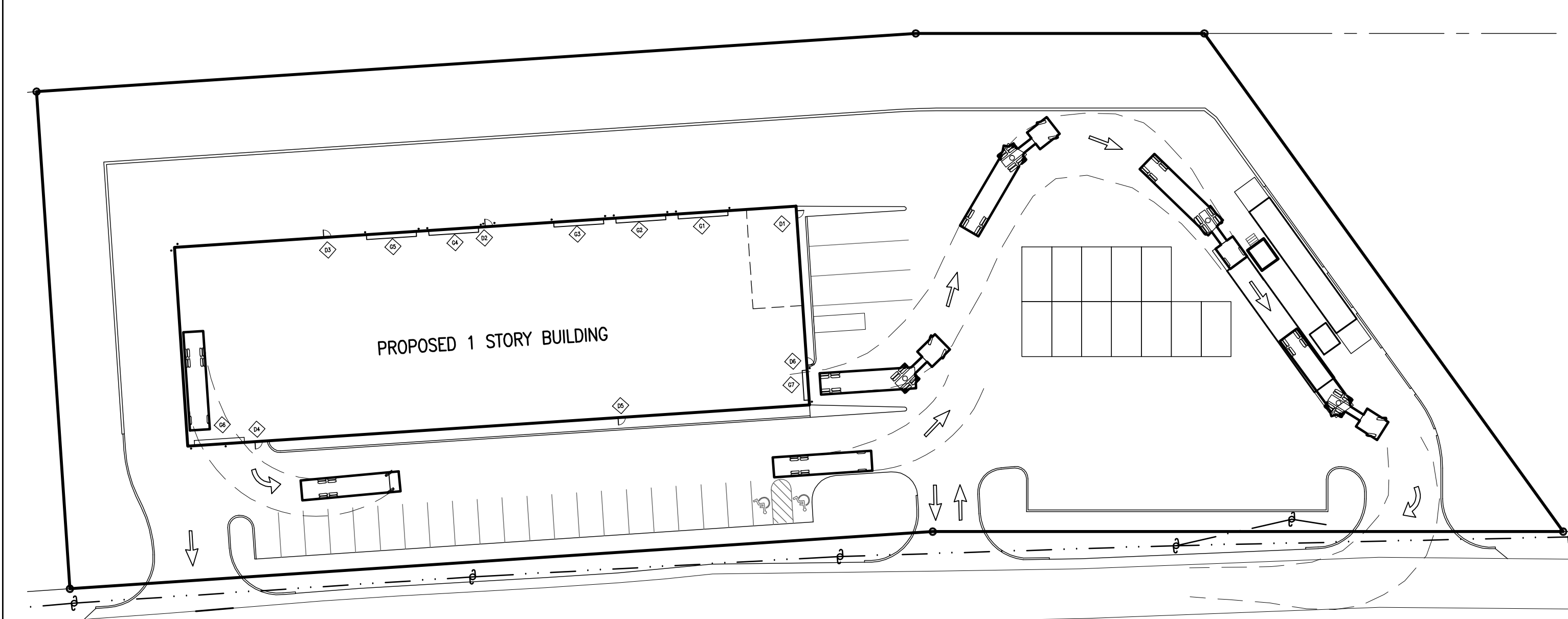
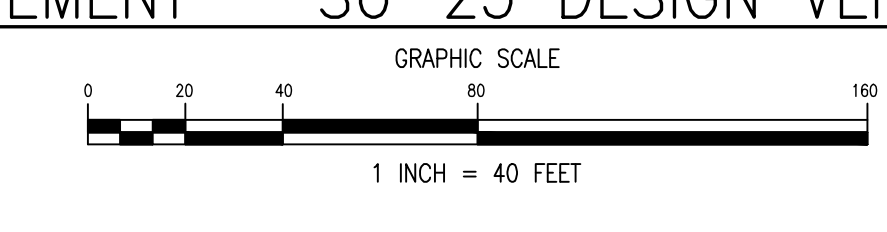
- RETAINING WALL
- CONCRETE CURB
- TRAFFIC DIRECTIONAL ARROW
- ROLL OFF CONTAINER
- ◇ 3 FT WIDE PEDESTRIAN DOOR
- ◇ OVERHEAD DOOR



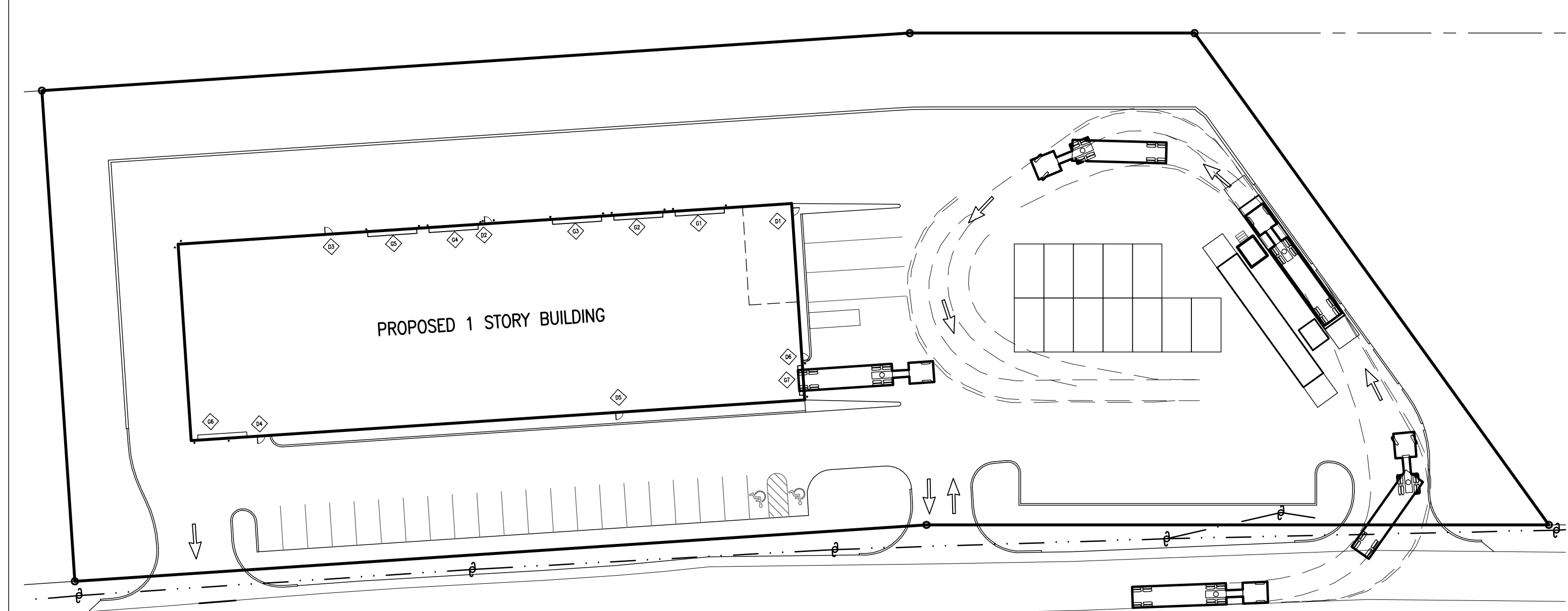
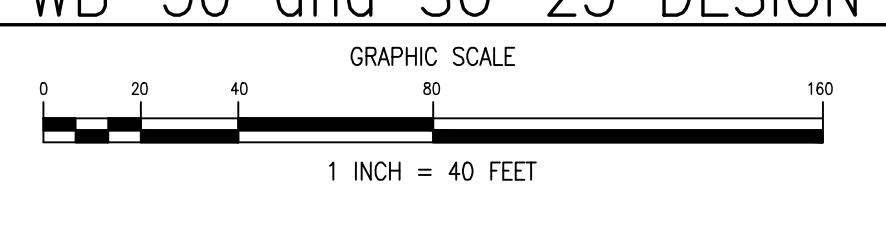
TURNING MOVEMENTS – SU-25 DESIGN VEHICLE



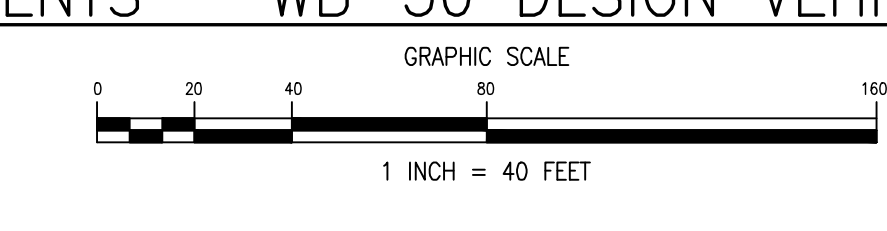
TURNING MOVEMENT – SU-25 DESIGN VEHICLE QUEUING



TURNING MOVEMENTS – WB-50 and SU-25 DESIGN VEHICLES LEAVING SITE



TURNING MOVEMENTS – WB-50 DESIGN VEHICLE ENTERING SITE



**NOTES:**

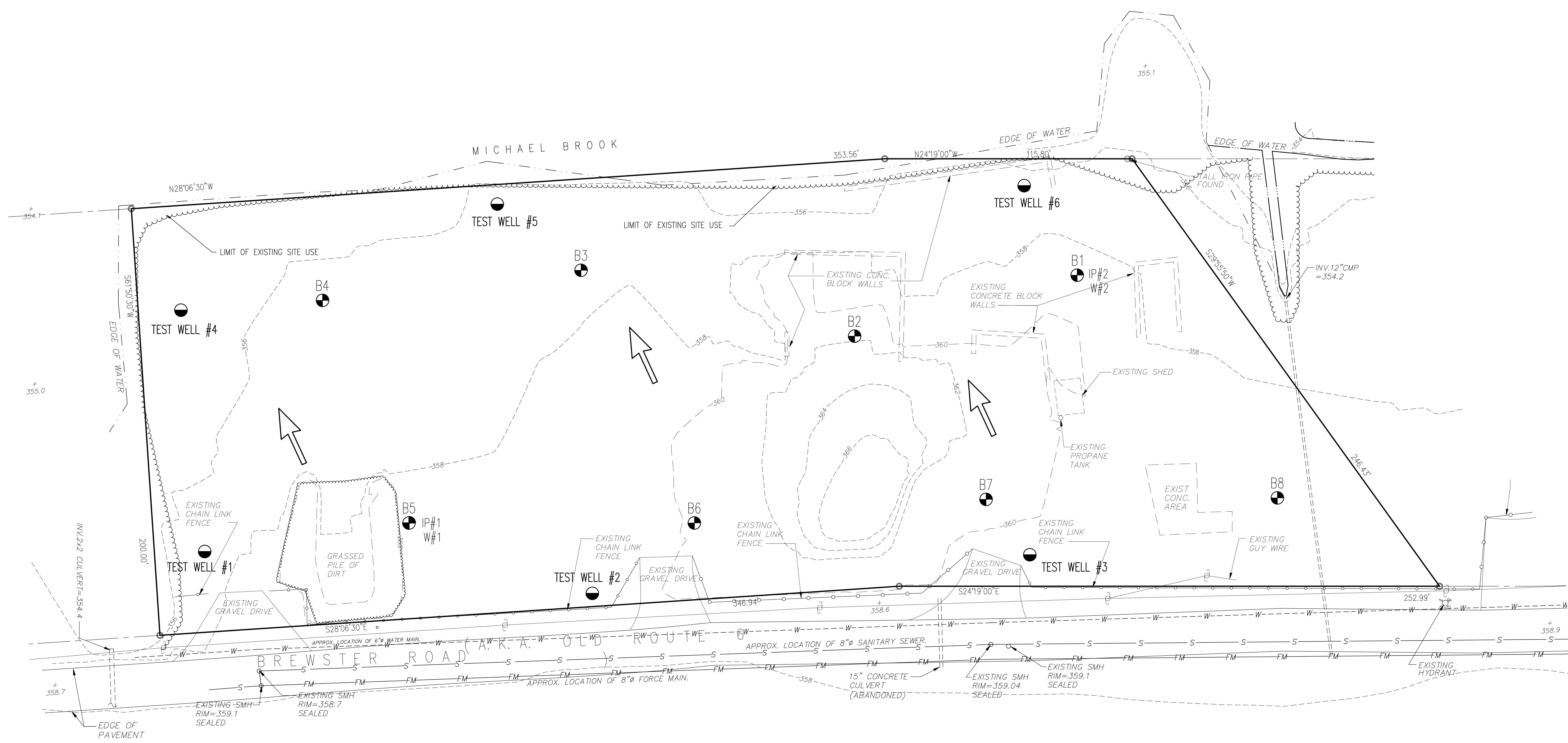
- SITE INFORMATION TAKEN FROM A PLAN ENTITLED "EXISTING TOPOGRAPHY SECTION 181, BLOCK 1, LOT 3 & 4.1" AS PREPARED BY ZEN DESIGN CONSULTANTS, INC. DATED NOVEMBER 14, 2005.
- OWNER/ APPLICANT: 70 OLD ROUTE 6 LLC, P.O. BOX 508, BEDFORD, N.Y. 10506
- PROPOSED USE: COMMERCIAL
- SITE DATA: TAX MAP 55.11-1-15, LOT AREA: 2.45 ACRES (106,927 S.F.)
- ZONING DISTRICT: C COMMERCIAL
- ALL ON-SITE TRAFFIC CIRCULATION IS TWO-WAY UNLESS NOTED OTHERWISE.



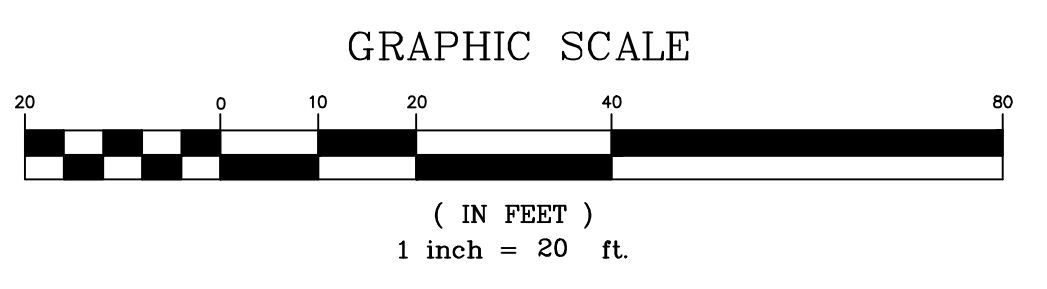


**LEGEND:**

- EXISTING CONTOUR
- EXISTING CHAIN LINK FENCE
- EXISTING EDGE OF WATER
- EXISTING UTILITY POLE AND OVERHEAD WIRES
- EXISTING WATERMAIN
- EXISTING SEWER LINE
- EXISTING FORCEMAIN
- EXISTING HYDRANT
- SOIL TYPE
- SOIL BOUNDARY
- TEST BORE HOLE LOCATION AND NUMBER LIMITED PHASE II SITE INVESTIGATION
- INTER PHASE SAMPLE #1
- INTER PHASE SAMPLE #2
- WATER SAMPLE #1
- WATER SAMPLE #2
- TEST WELL LOCATION AND NUMBER USED TO DETERMINE GROUNDWATER ELEVATION AND DIRECTION OF GROUNDWATER FLOW
- GENERAL DIRECTION OF GROUNDWATER FLOW



**TEST BORING AND GROUNDWATER MONITORING PLAN**



PERMIT TO NEW YORK STATE EDUCATION LAW ARTICLE 145, SECTION 145.1(1) FOR ANY PERSON UNLESS A LICENSED PROFESSIONAL ENGINEER, TO SEAL AND SIGN THIS DRAWING. THE SEAL OF AN ENGINEER IS APPLIED TO THE DRAWING ONLY AFTER THE DESIGNER HAS REVIEWED THE DRAWING AND IS SATISFIED THAT THE DESIGNER'S NOTATION IS CORRECT AND THAT THE DESIGNER HAS REVIEWED THE DRAWING AND IS SATISFIED THAT THE DESIGNER'S NOTATION IS CORRECT AND THAT THE DESIGNER HAS REVIEWED THE DRAWING AND IS SATISFIED THAT THE DESIGNER'S NOTATION IS CORRECT.

NO.	DATE	DESCRIPTION
0	08/27/08	DEC SUBMISSION
1	02/02/10	DEC SUBMISSION
2	04/17/10	DEC SUBMISSION
3	02/15/12	DEC SUBMISSION
4	02/15/12	DEC SUBMISSION
5	04/17/12	DEC SUBMISSION

**TOMPKINS RECYCLING FACILITY INC.**  
 CONSTRUCTION AND DEBRIS PROCESSING CENTER & RECYCLING  
 60 OLD ROUTE 6  
 TOWN OF CARMEL  
 PUTNAM COUNTY, NEW YORK  
 TAX MAP No. 55.11, BLOCK 1, LOT 15  
 OWNER: 70 OLD ROUTE 6, L.L.C. P.O. BOX 508 BEDFORD N.Y. 10506

DATE	14 OCT 08
PROJECT MANAGER	FM
DRAWN BY	FM
CHECKED BY	FM
SCALE	AS NOTED

**TEST BORING AND GROUNDWATER MONITORING PLAN**

PROJECT NUMBER: 8289  
 DRAWING NUMBER: C-007

SHEET 7 OF 11

PUTNAM ENGINEERING & ARCHITECTS  
 4 OLD ROUTE 6, BREWSTER, NEW YORK 10509  
 (845) 279-6789 FAX (845) 279-6769  
 PUTNAM ENGINEERING & ARCHITECTS, L.L.C.

**GRADING AND UTILITIES LEGEND**

- W — WATER MAIN
- S — SANITARY SEWER PIPE
- FM — FORCE MAIN PIPE
- FM — STORMWATER PIPE
- 490 — EXISTING CONTOURS
- (358) — PROPOSED CONTOURS
- ○ — EXISTING UTILITY POLE
- ○ — CURB VALVE
- ○ — SANITARY SEWER CLEANOUT
- — — — — PROPOSED RETAINING WALL
- — — — — PROPOSED STORMWATER PIPE
- — — — — UNDERGROUND ELECTRIC SERVICE
- — — — — EXISTING VEGETATION

**PUTNAM ENGINEERING & ARCHITECTS**  
 ENGINEERS - ARCHITECTS  
 4 OLD ROUTE 6, BREWSTER, NEW YORK 10509  
 (845) 279-6789 FAX (845) 279-6769  
 PUTNAM ENGINEERING, PLLC 2008

PERMIT TO NEW YORK STATE EDUCATION LAW ARTICLE 136, SECTION 136-1.1. THE DESIGNER'S SEAL IS REQUIRED FOR ANY PERSON UNLESS A LICENSED PROFESSIONAL ENGINEER, A LICENSED PROFESSIONAL ARCHITECT, A LICENSED PROFESSIONAL LANDSCAPE ARCHITECT, OR A LICENSED PROFESSIONAL SURVEYOR HAS REVIEWED THE PLAN AND ATTACHED HIS OR HER SEAL AND SIGNATURE TO THE PLAN. THIS EXAMINATION AND NOTATION SHALL BE FOLLOWED BY THE DESIGNER'S ATTENTION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

NO.	DATE	DESCRIPTION
0	07/27/08	DEC. SUBMISSION
1	07/27/08	DEC. SUBMISSION
2	07/27/08	DEC. SUBMISSION
3	07/27/08	DEC. SUBMISSION
4	07/27/08	DEC. SUBMISSION
5	07/27/08	DEC. SUBMISSION

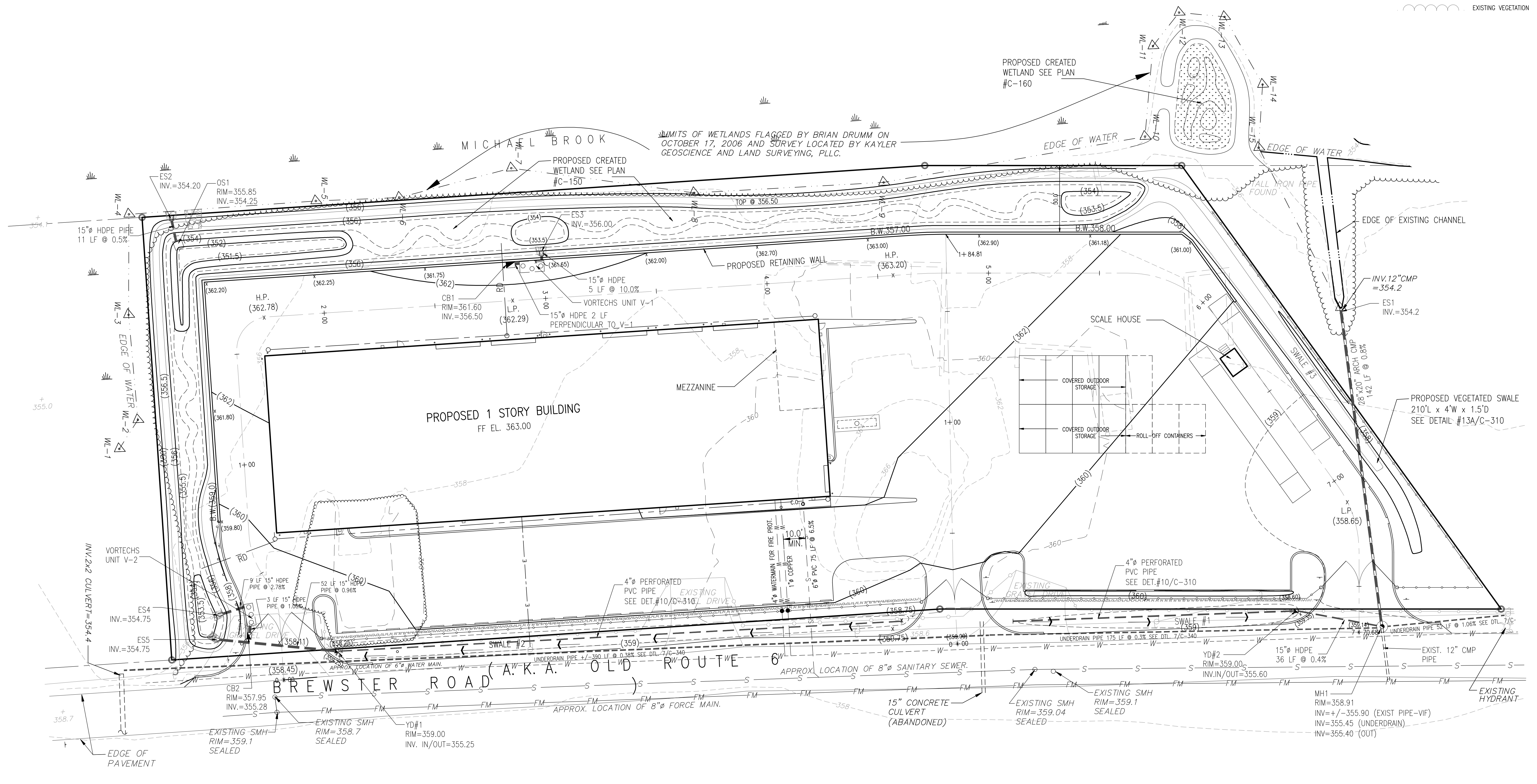
**TOMPKINS RECYCLING FACILITY INC.**  
 CONSTRUCTION AND DEBRIS PROCESSING CENTER & RECYCLING  
 60 OLD ROUTE 6  
 TOWN OF CAMEL  
 PUTNAM COUNTY, NEW YORK  
 TAX MAP No. 55.11, BLOCK 1, LOT 15  
 OWNER: 70 OLD ROUTE 6, L.L.C. P.O. BOX 508 BEDFORD, N.Y. 10506

DATE	PROJECT
14 OCT 08	PROJECT
PROJECT MANAGER	PROJECT
DRAWN BY	PROJECT
CHECKED BY	PROJECT
SCALE	PROJECT
AS NOTED	PROJECT

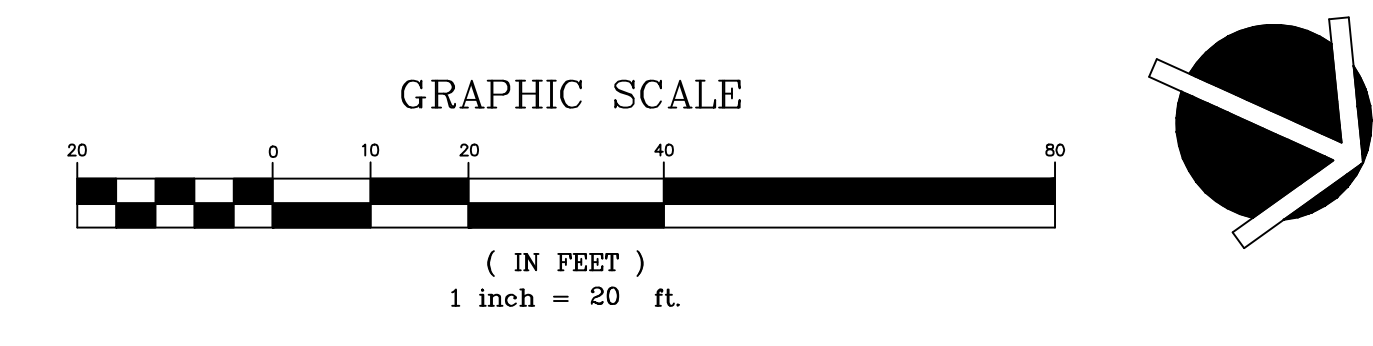
**GRADING AND UTILITIES PLAN**

PROJECT NUMBER: 8289  
 DRAWING NUMBER: C-008

SHEET 8 OF 11



**GRADING AND UTILITIES PLAN**





TOMPKINS RECYCLING FACILITY, INC					
DESCRIPTION	GATE No.	PURPOSE	WIDTH (LF)	HEIGHT (LF)	TYPE
SITE	1	ACCESS/EGRESS	30	N/A	SWING
SITE	2	ACCESS/EGRESS	24	N/A	SWING
SITE	3	EGRESS	30	N/A	SWING
C & D BLDG.	G1	IN/OUT	20	24	ROLL UP
C & D BLDG.	G2	IN/OUT	20	24	ROLL UP
C & D BLDG.	G3	IN/OUT	20	24	ROLL UP
C & D BLDG.	G4	IN/OUT	20	24	ROLL UP
C & D BLDG.	G5	IN/OUT	20	24	ROLL UP
C & D BLDG.	G6	IN/OUT	12	15	ROLL UP
C & D BLDG.	G7	IN/OUT	12	15	ROLL UP

**PUTNAM ENGINEERING & ARCHITECTS**  
 ENGINEERS - ARCHITECTS  
 4 OLD ROUTE 6, BREWSTER, NEW YORK 10509  
 (845) 279-6789 FAX (845) 279-6769  
 PUTNAM ENGINEERING & ARCHITECTS, PLLC

PERMIT TO NEW YORK STATE EDUCATION LAW ARTICLE 145, SECTION 145.1(1) FOR THE DESIGN AND CONSTRUCTION OF THIS FACILITY. THE DESIGN AND CONSTRUCTION OF THIS FACILITY IS THE RESPONSIBILITY OF THE ENGINEER. THE ENGINEER HAS CONDUCTED VISUAL INSPECTIONS OF THE SITE AND HAS REVIEWED THE RECORD DRAWINGS AND SPECIFICATIONS. THE ENGINEER HAS NOT CONDUCTED A FIELD SURVEY OF THE SITE. THE ENGINEER HAS NOT CONDUCTED A FIELD SURVEY OF THE SITE. THE ENGINEER HAS NOT CONDUCTED A FIELD SURVEY OF THE SITE.

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2	02/15/10	DEC SUBMISSION
3	02/17/11	DEC SUBMISSION
4	02/15/12	DEC SUBMISSION
5	04/10/12	DEC SUBMISSION

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3	02/17/11	DEC SUBMISSION
4	02/15/12	DEC SUBMISSION
5	04/10/12	DEC SUBMISSION

**TOMPKINS RECYCLING FACILITY INC.**  
 CONSTRUCTION AND DEBRIS PROCESSING CENTER & RECYCLING  
 60 OLD ROUTE 6  
 TOWN OF CARMEL  
 PUTNAM COUNTY, NEW YORK  
 TAX MAP No. 55.11, BLOCK 1, LOT 15  
 OWNER: 70 OLD ROUTE 6, LLC, P.O. BOX 508 BEDFORD N.Y. 10506

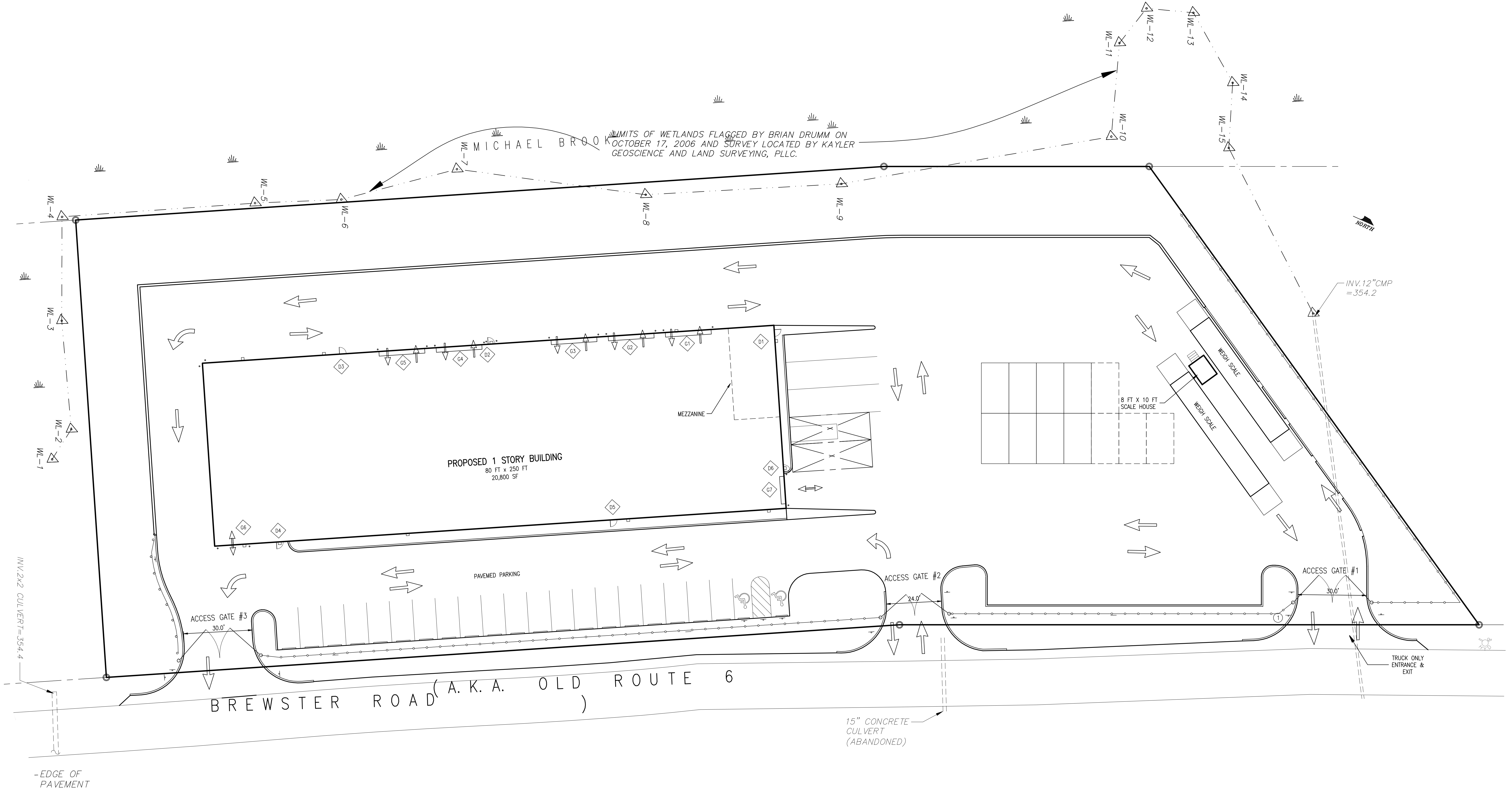
DATE	PROJECT
14 OCT 08	14 OCT 08
PROJECT MANAGER	PROJECT MANAGER
DRAWN BY	DRAWN BY
CHECKED BY	CHECKED BY
SCALE	SCALE
AS NOTED	AS NOTED

**EVACUATION ROUTE PLAN**

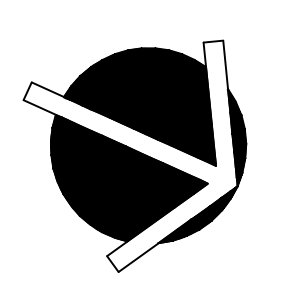
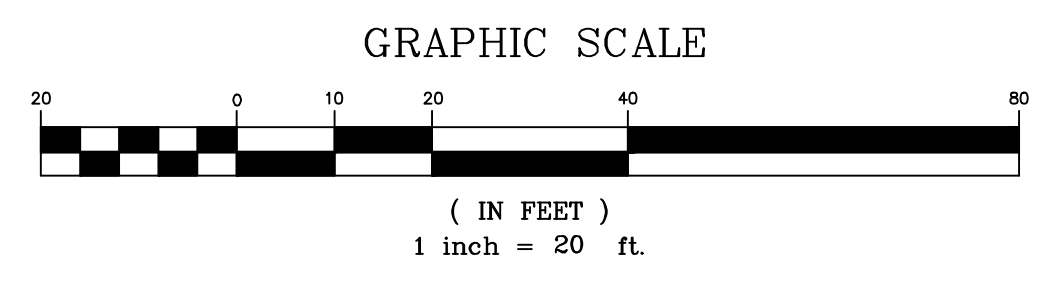
PROJECT NUMBER 8289  
 DRAWING NUMBER

C-009

SHEET 9 OF 11



**EVACUATION ROUTE PLAN**



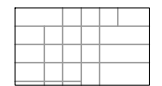
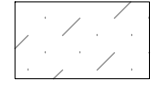




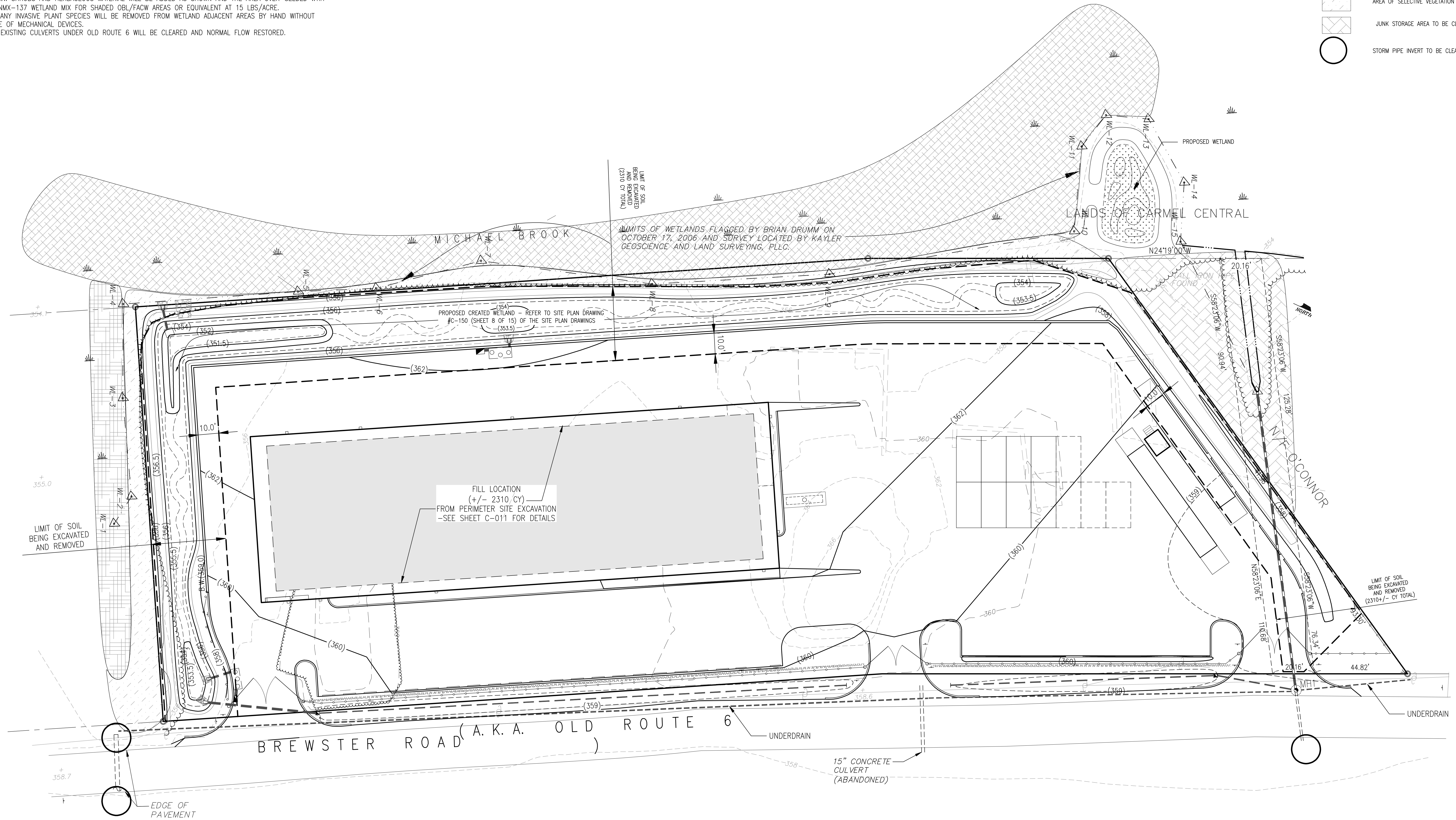


WETLAND AND BUFFER RESTORATION NOTES:

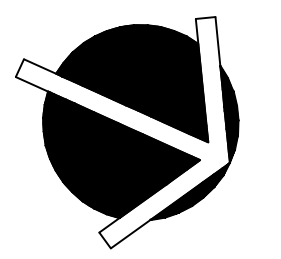
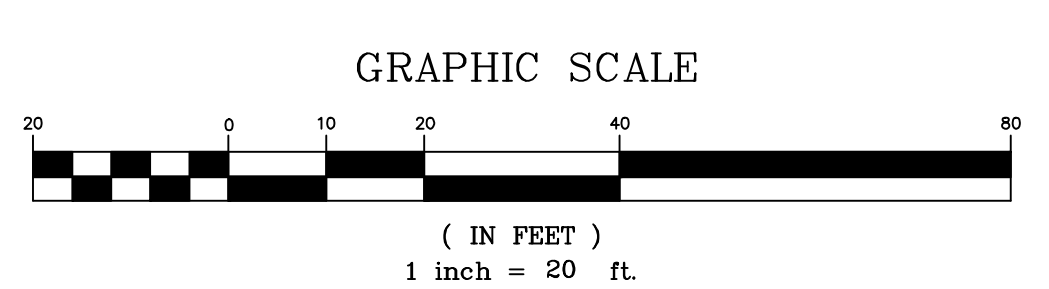
1. THE WETLAND AND STREAM CORRIDOR ADJACENT TO MICHAEL'S BROOK WILL BE CLEARED OF DEBRIS AND FALLEN TREES TO RESTORE FLOW.
2. THE SWALE AT THE SOUTH END OF THE PARCEL SHALL BE CLEARED OF DEBRIS AND FALLEN VEGETATION TO RESTORE FLOW.
3. NUISANCE AND NON-NATIVE VEGETATION WILL BE REMOVED FROM THE AREA ADJACENT TO THE SWALE AND THE AREA SEEDED WITH ERNMX-178 RIPARIAN BUFFER MIX OR EQUIVALENT AT 15 LBS/ACRE.
4. THE "JUNK STORAGE AREA" AT THE NORTH END OF THE SITE WILL BE CLEARED OF RUBBISH AND DEBRIS. THIS MATERIAL WILL ALL BE PROPERLY DISPOSED OF. FOLLOWING CLEAN-UP, THE AREA WILL BE SCARIFIED AND SEEDING WITH ERNMX-178 RIPARIAN BUFFER MIX OR EQUIVALENT AT 15 LBS/ACRE, AND WILL REMAIN UNDEVELOPED.
5. THE SMALL PENINSULA AREA OF HISTORIC DEBRIS IN THE NORTHWEST PORTION OF THE SITE WILL BE CLEARED, CLEANED OUT AND RE-GRADED AS AN EXTENSION OF THE WETLAND AREA, AS SHOWN ON THE PLAN. SHRUBS AND HERBACEOUS MATERIAL WILL BE ADDED AS SHOWN AND THE AREA OVER-SEEDING WITH ERNMX-137 WETLAND MIX FOR SHADED OBL/FACW AREAS OR EQUIVALENT AT 15 LBS/ACRE.
6. ANY INVASIVE PLANT SPECIES WILL BE REMOVED FROM WETLAND ADJACENT AREAS BY HAND WITHOUT USE OF MECHANICAL DEVICES.
7. EXISTING CULVERTS UNDER OLD ROUTE 6 WILL BE CLEARED AND NORMAL FLOW RESTORED.

LEGEND

-  EXISTING VEGETATION
-  STREAM/WETLAND AREA TO BE CLEARED OF FALLEN TREES AND POLES
-  CHANNEL AREA TO BE CLEARED OF DEBRIS AND VEGETATION
-  AREA OF SELECTIVE VEGETATION REMOVAL
-  JUNK STORAGE AREA TO BE CLEARED
-  STORM PIPE INVERT TO BE CLEANED



WETLAND BUFFER ENHANCEMENT PLAN  
& SOIL EXCAVATION AND FILL PLAN



PUTNAM ENGINEERING & ARCHITECTS  
4 OLD ROUTE 6, BREWSTER, NEW YORK 10509  
(845) 279-6789 FAX (845) 279-6769

NO.	DATE	DESCRIPTION
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3	02/11/10	DEC. SUBMISSION
4	02/15/12	DEC. SUBMISSION
5	04/10/12	DEC. SUBMISSION

TOMPKINS RECYCLING FACILITY INC.  
CONSTRUCTION AND DEBRIS PROCESSING CENTER & RECYCLING  
60 OLD ROUTE 6  
TOWN OF CARMEL  
PUTNAM COUNTY, NEW YORK  
TAX MAP No. 55.11, BLOCK 1, LOT 15  
OWNER: 70 OLD ROUTE 6, LLC, P.O. BOX 508 BEDFORD N.Y. 10506

DATE	DESCRIPTION
14 OCT 08	PROJECT MANAGER
	DRAWN BY
	CHECKED BY
	SCALE
	AS NOTED

WETLAND BUFFER ENHANCEMENT PLAN & SOIL EXCAVATION AND FILL PLAN

PROJECT NUMBER 8289  
DRAWING NUMBER

C-010



PERMIT TO NEW YORK STATE EDUCATION LAW ARTICLE 136, SECTION 136-1. THE DESIGN PROFESSIONAL SEAL OF THIS STATE IS NOT VALID UNLESS IT IS ISSUED BY A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LAND SURVEYOR, OR PROFESSIONAL GEOSCIENTIST. THE SEAL OF AN ENGINEER IS VALID ONLY IF THE ENGINEER HAS MAINTAINED THE STATUS OF AN ENGINEER AS REQUIRED BY THE EDUCATION LAW. THE SEAL OF A PROFESSIONAL ENGINEER SHALL NOT BE USED FOR ANY OTHER PURPOSE. ANY VIOLATION OF THIS SECTION SHALL BE CAUSE FOR REVOCATION OF THE PROFESSIONAL SEAL AND A FINE OF UP TO \$500.00 AND A SPECIFIC ORDER OF ALTERNATION AND A SPECIFIC ORDER OF THE ALTERNATION.

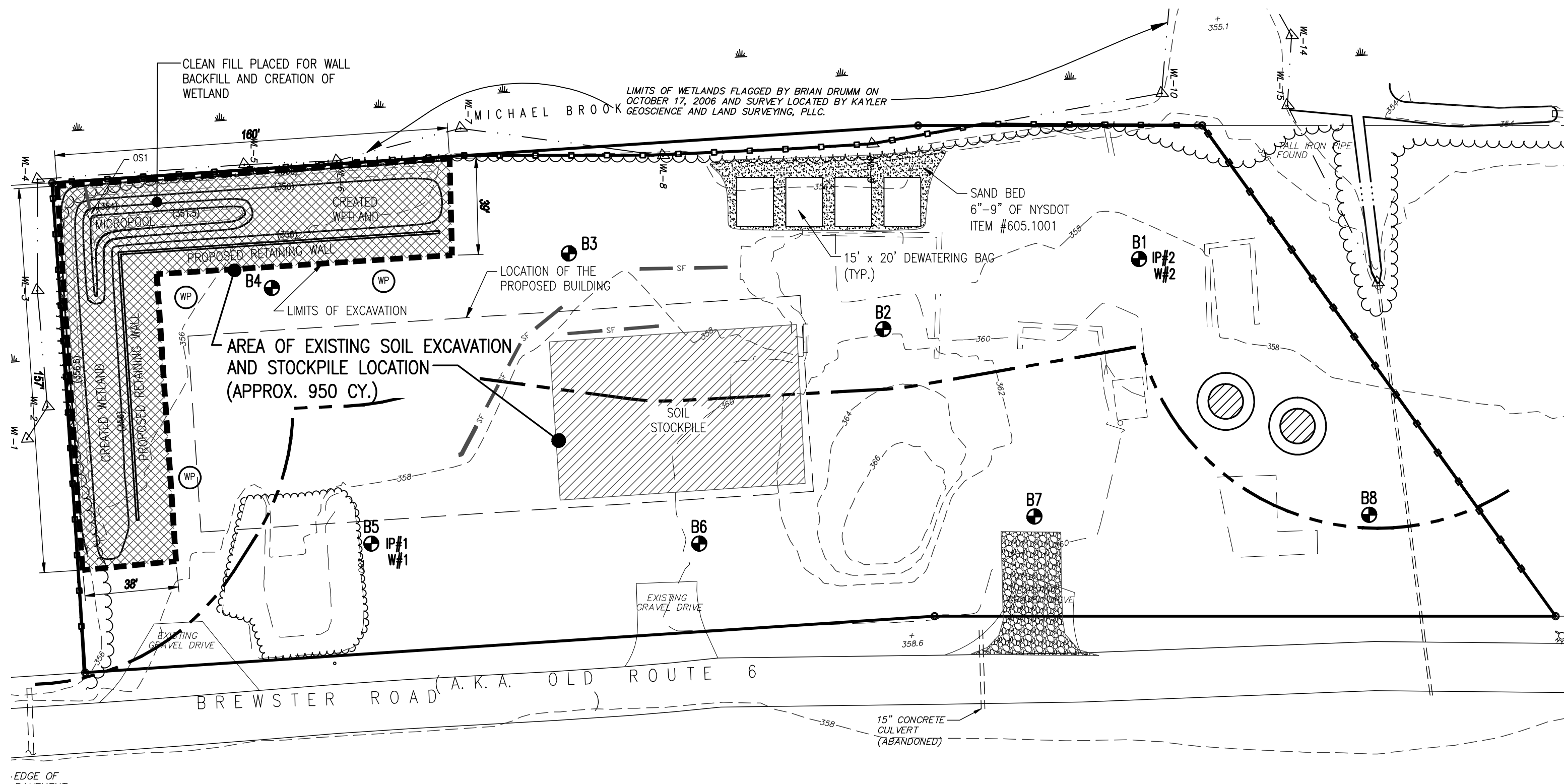
NO.	DATE	DESCRIPTION
0	08/27/08	DEC SUBMISSION
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**TOMPKINS RECYCLING FACILITY INC.**  
 CONSTRUCTION AND DEBRIS PROCESSING CENTER & RECYCLING  
 60 OLD ROUTE 6  
 TOWN OF CAMEL  
 PUTNAM COUNTY, NEW YORK  
 TAX MAP No. 55.11, BLOCK 1, LOT 15  
 OWNER: 70 OLD ROUTE 6, L.L.C. P.O. BOX 508 BEDFORD N.Y. 10506

PROJECT  
 DATE: 14 OCT 08  
 PROJECT MANAGER: PML  
 DRAWN BY: PML  
 CHECKED BY: PML  
 SCALE: AS NOTED

**PHASE II ENVIRONMENTAL SITE INVESTIGATION**  
**SOIL TEST RESULTS**

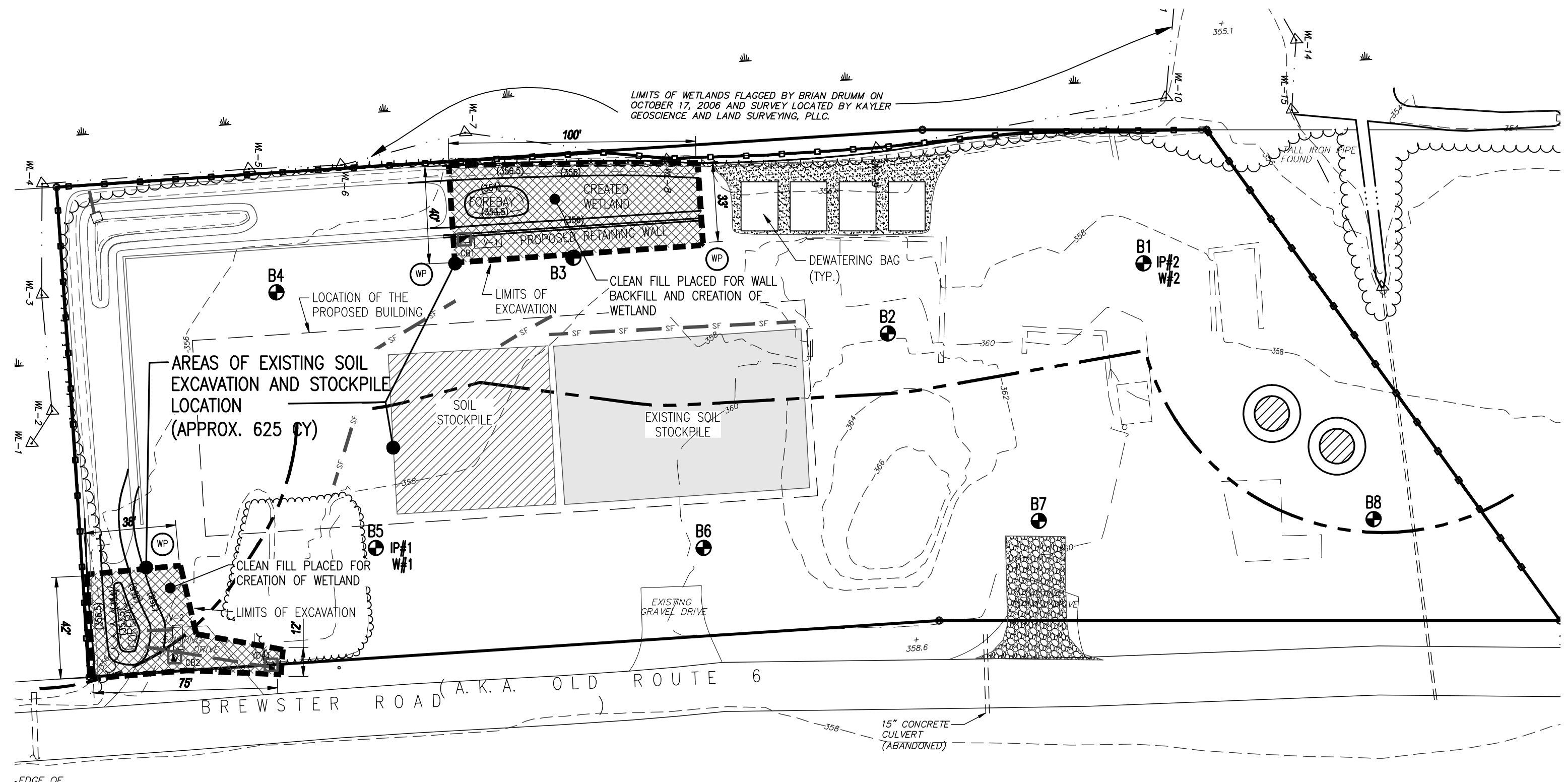
PROJECT NUMBER: 8289  
 DRAWING NUMBER: C-011  
 SHEET 11 OF 11



STAGE 1

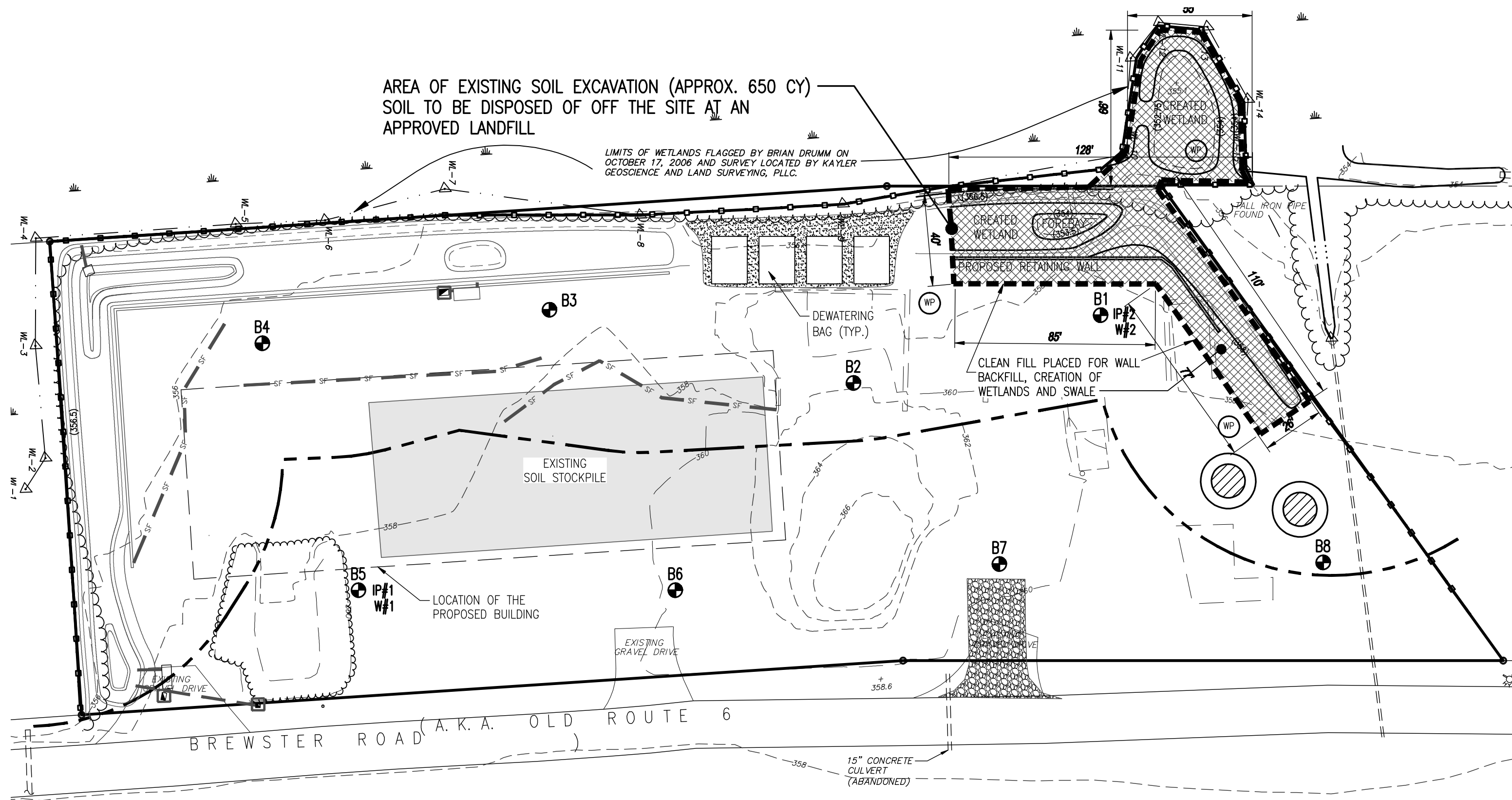
SAMPLE RESULT		375-6.8(b)		
	R	C	GW	
Chromium	19.1	22.0	400.0	19.0

R = RESIDENTIAL  
 C = COMMERCIAL  
 GW = GROUND WATER PROTECTION



STAGE 2

SAMPLE RESULT		375-6.8(b)		
	R	C	GW	
Chromium	22.2	22.0	400.0	19.0

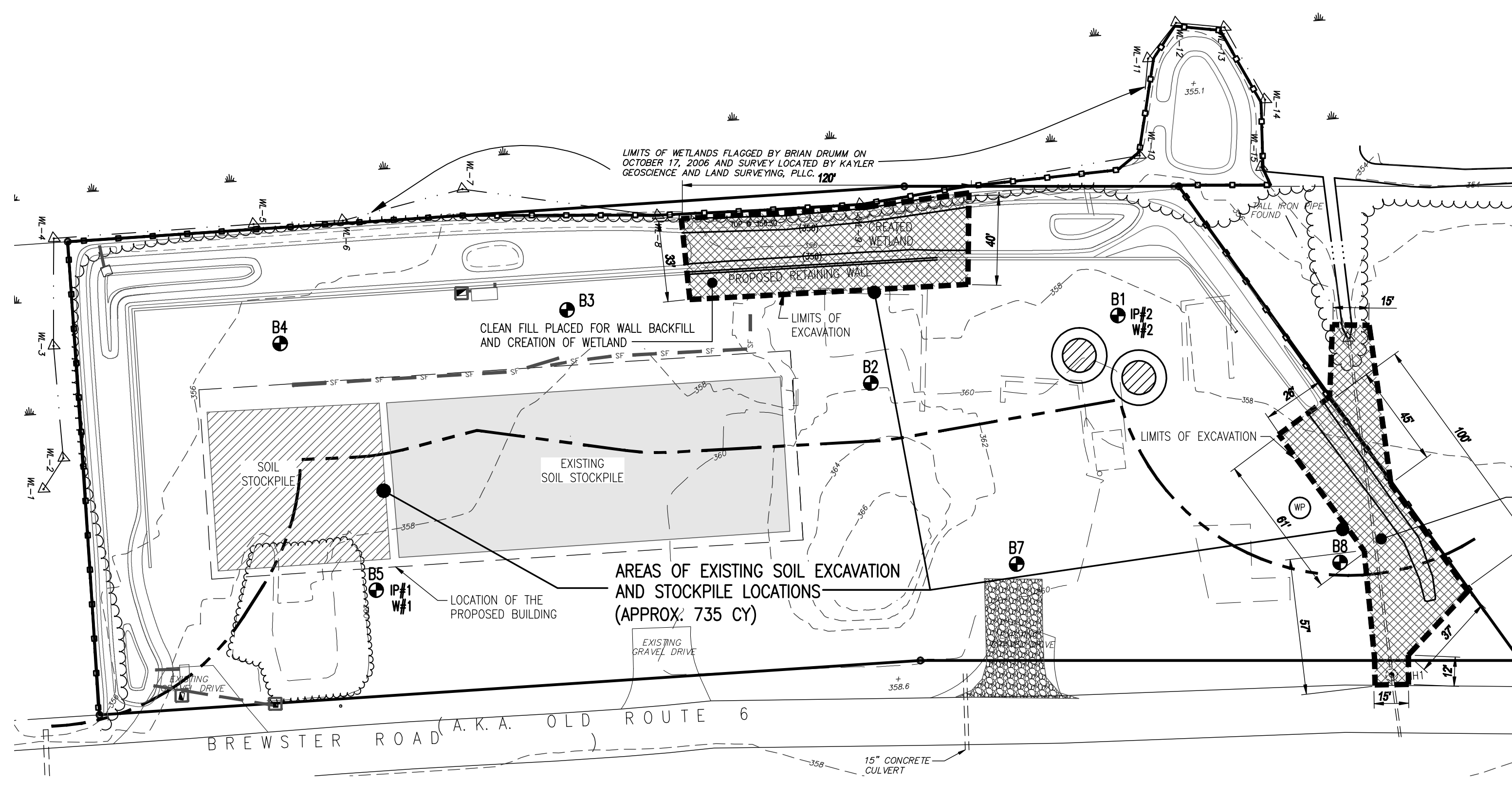


STAGE 3

SAMPLE RESULT		375-6.8(b)		
	R	C	GW	
Benzo (a) anthracene	1,200	1,000	5,600	1,000
Benzo (a) pyrene	1,200	1,000	1,000	22,000
Benzo (b) fluoranthene	1,600	1,000	5,600	1,700
Chrysene	1,400	1,000	56,000	1,000
Ideno (1,2,3-C,d) pyrene	750	500	5,600	8,200

SAMPLE RESULT		375-6.8(b)		
	R	C	GW	
Cadmium	17.10	2.5	9.3	7.5
Lead	934	400	1,000	450
Selenium	5.71	.36	1,500	4.0
Benzo (a) pyrene	1,900	1,000	1,000	22,000
* Dibenzo (a,h) anthracene	840u	330	560	1,000,000
* Hexachlorobenzene	840u	330	6,000	3,200
* Ideno (1,2,3-C,d) pyrene	840u	500	5,600	8,200
* Pentachlorophenol	840u	2,400	6,700	800
* 1,2 Dichloroethane	34u	2,300	30,000	20
* Vinyl Chloride	34u	210	13,000	20

\* "u" INDICATES THE COMPOUND WAS ANALYZED FOR BUT NOT DETECTED. REPORT THE MINIMUM DETECTION LIMIT FOR THE SAMPLE WITH THE "u", I.E. "10u". THIS IS NOT NECESSARILY THE INSTRUMENT DETECTION LIMIT ATTAINABLE FOR THIS PARTICULAR SAMPLE BASED ON ANY CONCENTRATION OR DILUTION THAT MAY HAVE BEEN REQUIRED.



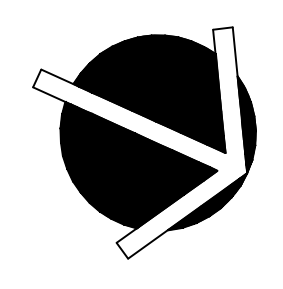
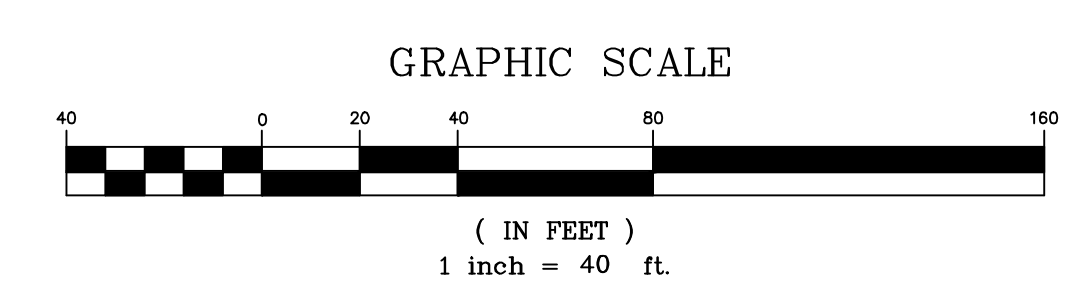
STAGE 4

SAMPLE RESULT		375-6.8(b)		
	R	C	GW	
Chromium	21.6	22.0	400.0	19.0

**LEGEND:**

- - - - - EXISTING CONTOUR
- - - - - EXISTING CHAIN LINK FENCE
- - - - - EXISTING UTILITY POLE AND OVERHEAD WIRES
- - - - - EXISTING HYDRANT
- B1 TEST BORE HOLE LOCATION AND NUMBER LIMITED PHASE II SITE INVESTIGATION
- IP#1 INTER PHASE SAMPLE #1
- IP#2 INTER PHASE SAMPLE #2
- W#1 WATER SAMPLE #1
- W#2 WATER SAMPLE #2
- R RESIDENTIAL
- C COMMERCIAL
- GW GROUND WATER PROTECTION
- CLEAN FILL STOCKPILE

**PHASE II ENVIRONMENTAL SITE INVESTIGATION**





ROBERT LAGA  
Chairman

NICHOLAS FANNIN  
Vice Chairman

RICHARD FRANZETTI  
Wetland Inspector

ROSE TROMBETTA  
Secretary

**TOWN OF CARMEL**  
**ENVIRONMENTAL CONSERVATION BOARD**



60 McAlpin Avenue  
Mahopac, New York 10541  
Tel. (845) 628-1500 - Ext. 190  
www.ci.carmel.ny.us

**BOARD MEMBERS**

Edward Barnett  
Anthony Federice  
Nicole Sedran

**APPLICATION FOR WETLAND PERMIT OR LETTER OF PERMISSION**

**Name of Applicant:** FRANK ROA

**Address of Applicant:** 96 W. LAKE BLVD, MAHOPAC, NY **Email:** RAYEXDESIGN@GMAIL.COM

**Telephone#** 914-330-4999 **Name and Address of Owner if different from Applicant:**

**Property Address:** 96 WEST LAKE BLVD, MAHOPAC, NY 10541 **Tax Map #** 75.7-3-14

**Agency Submitting Application if Applicable:** RAYEX DESIGN

**Location of Wetland:** REAR YARD, LAKE MAHOPAC.

**Size of Work Section & Specific Location:** REAR YAED OF HOUSE @2500 S.F.

**Will Project Utilize State Owned Lands? If Yes, Specify:** NO

**Type and extent of work (feet of new channel, yards of material to be removed, draining, dredging, filling, etc). A brief description of the regulated activity (attach supporting details).**

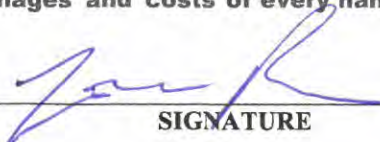
BUILD A 18X32 IN-GROUND SWIMMING POOL

**Proposed Start Date:** SEP 2021 **Anticipated Completion Date:** NOV 2021 **Fee Paid \$** 225.00

\*\*\*\*\*

**CERTIFICATION**

I hereby affirm under penalty of perjury that information provided on this form is true to the best of my knowledge and belief, false statements made herein are punishable as a Class A misdemeanor pursuant to Section 210.45 of the Penal Law. As a condition to the issuance of a permit, the applicant accepts full legal responsibility for all damage, direct or indirect, or whatever nature, and by whomever suffered, arising out of the project described here-in and agrees to indemnify and save harmless the Town of Carmel from suits, actions, damages and costs of every name and description resulting from the said project.

  
SIGNATURE

7/2/2021  
DATE

# Short Environmental Assessment Form

## Part 1 - Project Information

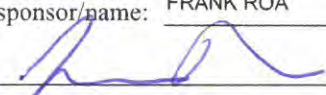
### Instructions for Completing

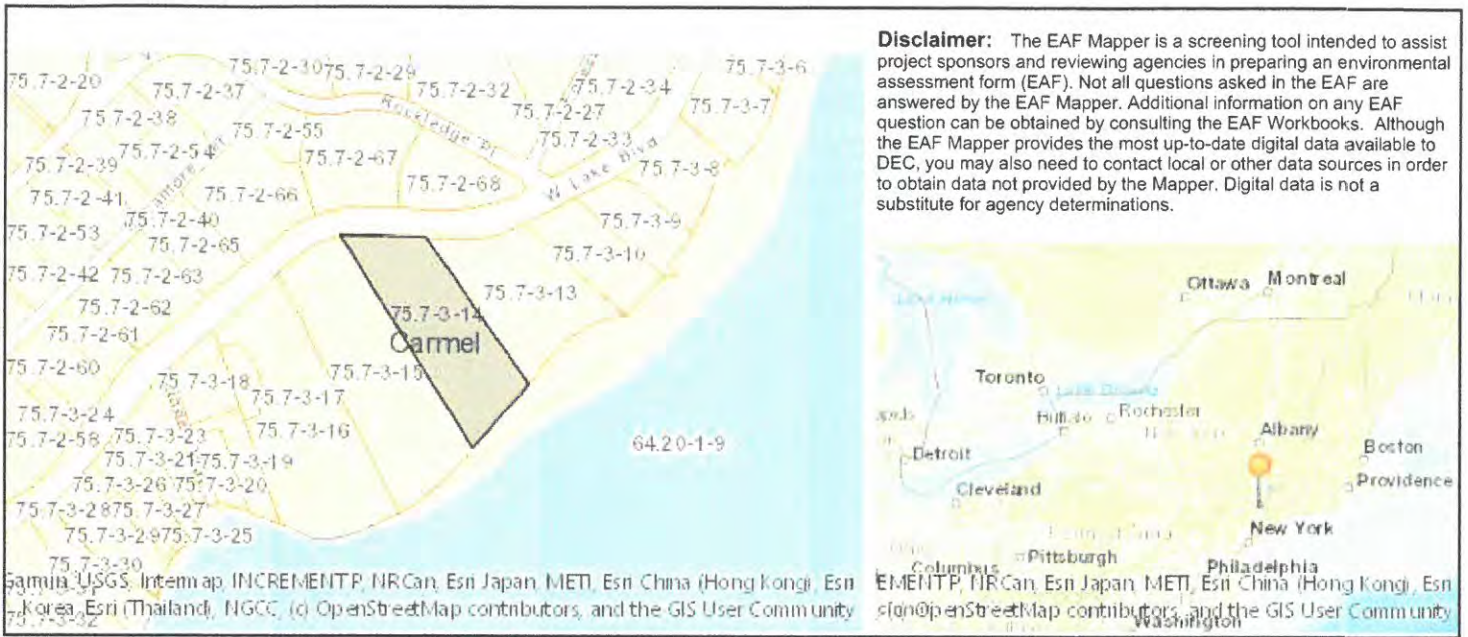
**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>			
FRAND ROA - OWNER			
Name of Action or Project: ROA SWIMMING POOL			
Project Location (describe, and attach a location map): 96 WEST LAKE BLVD			
Brief Description of Proposed Action: PROPOSED IN-GROUND SWIMMING POOL AT REAR YARD OF HOUSE			
Name of Applicant or Sponsor: FRANK ROA		Telephone: 914-330-4999	
		E-Mail: RAYEXDESIGN@GMAIL.COM	
Address: 96 WEST LAKE BLVD			
City/PO: MAHOPAC		State: NY	Zip Code: 10541
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		_____ 1.3 acres	
b. Total acreage to be physically disturbed?		_____ .1 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ 1.3 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			



14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe: _____ _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>  Applicant/sponsor/name: <u>FRANK ROA</u> Date: <u>7/2/2021</u> Signature: <u></u> Title: <u>OWNER</u>		



**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	Yes
Part 1 / Question 20 [Remediation Site]	No





August 2, 2021

Town of Carmel Environmental Conservation Board  
60 McAlpin Avenue  
Mahopac, NY 10541

RE: G&F Subdivision Road,  
Gateway Summit and The Fairways  
Housing Developments  
US Route 6, Town of Carmel, Putnam County, New York

Dear Chairman Laga and Members of the Board:

Enclosed please find four (4) copies of the following information in support of a wetland permit for the above reference project:

- G&F Subdivision Road Site Plan Sheets 1-6 Set, last revised August 2, 2021.
- Gateway Summit Site Plan Sheets 1-8, last revised August 2, 2021.
- The Fairways Site Plan Sheets 1-10, last revised August 2, 2021.
- "Proposed Walking Trail and Boat Dock Site Plans" for Gateway Summit & The Fairways, last revised August 2, 2021. (6 sheets)
- Photo Key Map and photos with Narrative – Existing Site Conditions, dated August 2, 2021.

In response to comments received at the Board's June 17, 2021 meeting, we offer the following responses:

1. Stone walls. Photos of the existing site walls, with a key map and narrative have been included in this submission to provide details of the conditions of the existing site walls. Stone walls outside of the project limit of disturbance are intended to remain.
2. Stream Banks. As noted in the enclosed narrative, the existing stream banks are either rock or vegetated and are stable. Disturbance to these stable areas for additional plantings is not warranted and may do more harm than good. These areas are protected during construction as depicted on the erosion and sediment control plans and notes provided for the project and in the post construction condition as noted on the site plans and in the Narrative.
3. Trees. As noted in the construction sequences for the project, it is intended that the walking trail will be located to minimize disturbance to significant trees and site features. The final alignment of the walking trail may vary up to 10' to either side. Trees will be removed for the gravel trail leading down to the Boat Dock (required for emergency access), as noted in the Narrative. Minimal tree removal is anticipated for the Boat Dock or the Pergola / sitting area – noted in the Narrative. The stream and wetland buffer is a densely wooded area and will remain densely wooded at the completion of the project. Replacement trees within the buffers are not necessary or proposed. The subdivision road and the housing projects will be fully landscaped in accordance with the Town of Carmel Code.

The following general notes for work within the Wetland Buffer have been added to the site plans:

---

3 Garrett Place, Carmel, New York 10512 (845) 225-9690 Fax (845) 225-9717  
[www.insite-eng.com](http://www.insite-eng.com)

- a. Landscape scale machinery will be used to install the walking trail and for tree removal operations within the wetland buffer associated with the gravel portion of the trail, the pergola and the fishing dock.
  - b. Machinery is to be parked outside the wetland buffer when not in use and overnight on top of plywood or tarps.
  - c. A spill kit shall be maintained on site at time when equipment is in sue within the wetland / stream buffer.
  - d. Material stockpiles and staging for walking trail and boat dock improvements will be outside the wetland buffer.
4. Signs. Town of Carmel Wetland Signs have been added to the Fairways site plans on Drawing SP-1.1 and SP1.2 and have been added to the Trail Plans . 3 signs have been added to the site plans along the edge of the wetland at the proposed pergola / sitting area and 4 signs have been added to the site plans in the location of the fishing dock.
  5. Updated Wetland Flagging. Recent wetland flagging and associated Town of Carmel wetland buffer has been updated on the site plans.
  6. The usual suspects. Refer to response provided in Response 3 above. Stockpile locations are outside the wetland / watercourse buffers are identified on the Erosion and sediment control plans for the project. Two additional stockpile locations have been added to the plans for the boathouse and the gravel trail adjacent to those sites, outside the buffer.
  7. Deeds are provided as part of this submission.

We trust you will find the enclosed information in order. Please place the project on the Board's August 5, 2021 agenda for continued discussion of the project. Please contact our office if you should have comments or questions or require additional copies of the above listed information.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:   
Jeffrey J. Contelmo, P.E.  
Senior Principal Engineer

JJC/dlm

Enclosure(s)

cc: Hudson Valley Realty Corp., with enclosures

Insite File No. 04232.100

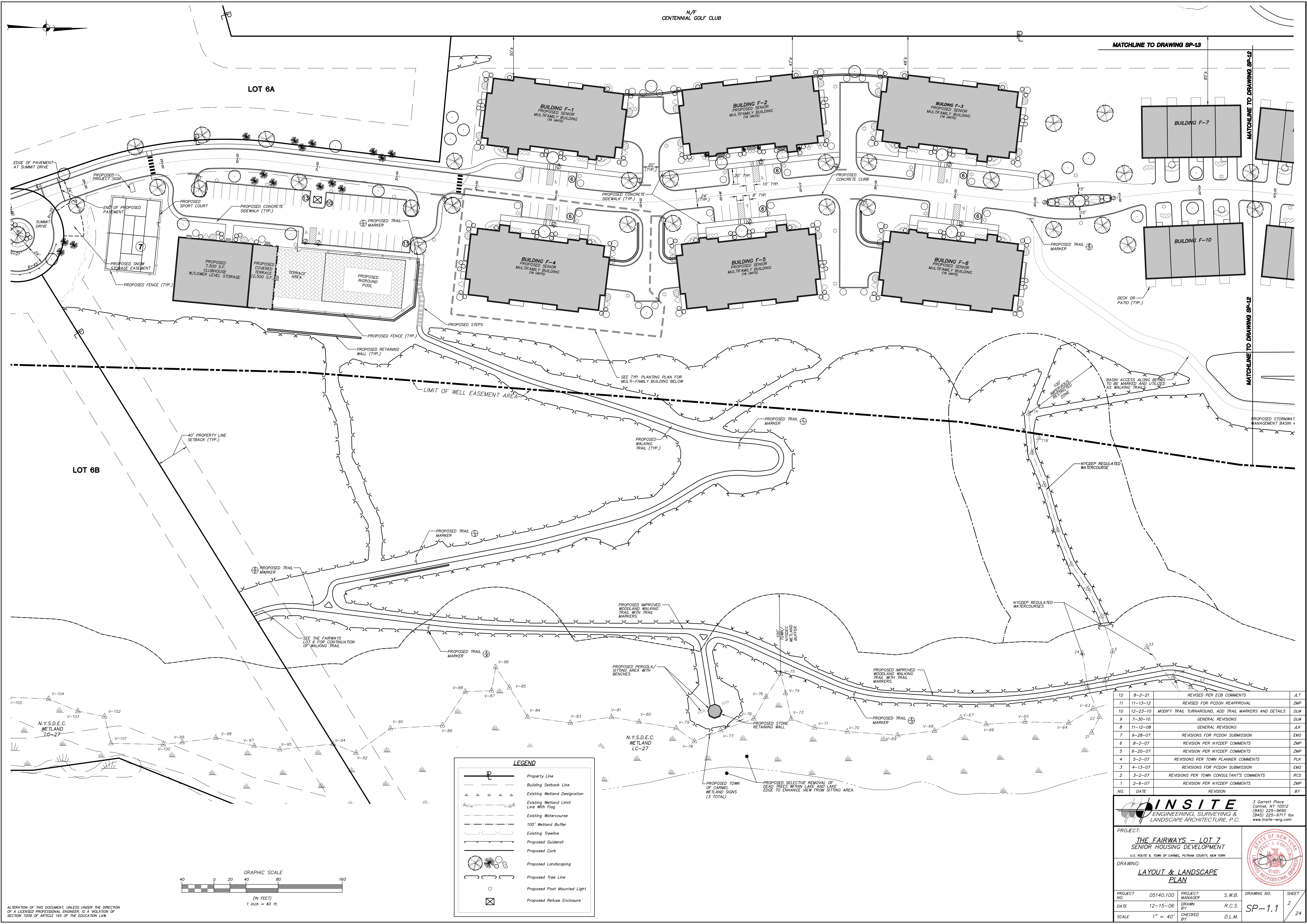






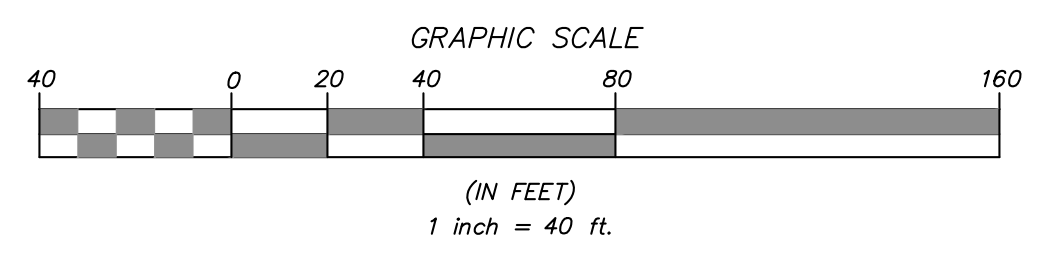
LOT 6A

LOT 6B



**LEGEND**

	Property Line
	Building Setback Line
	Existing Wetland Designation
	Existing Wetland Limit Line With Flag
	Existing Watercourse
	100' Wetland Buffer
	Existing Treeline
	Proposed Guiderail
	Proposed Curb
	Proposed Landscaping
	Proposed Tree Line
	Proposed Post Mounted Light
	Proposed Refuse Enclosure



NO.	DATE	REVISION	BY
12	8-2-21	REVISED PER ECB COMMENTS	JLT
11	11-13-12	REVISED FOR PCDDH REAPPROVAL	ZMP
10	12-23-10	MODIFY TRAIL TURNAROUND, ADD TRAIL MARKERS AND DETAILS	DLM
9	7-30-10	GENERAL REVISIONS	DLM
8	11-12-08	GENERAL REVISIONS	JLK
7	9-28-07	REVISIONS FOR PCDDH SUBMISSION	EMS
6	8-2-07	REVISION PER NYCDOP COMMENTS	ZMP
5	6-20-07	REVISION PER NYCDOP COMMENTS	ZMP
4	5-2-07	REVISIONS FOR TOWN PLANNER COMMENTS	FLK
3	4-13-07	REVISIONS FOR PCDDH SUBMISSION	EMS
2	3-2-07	REVISIONS PER TOWN CONSULTANT'S COMMENTS	RCS
1	2-6-07	REVISION PER NYCDOP COMMENTS	ZMP

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3 Garrett Place  
Carmel, NY 10512  
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(845) 225-9717 fax  
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PROJECT:  
**THE FAIRWAYS - LOT 7  
SENIOR HOUSING DEVELOPMENT**  
U.S. ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING:  
**LAYOUT & LANDSCAPE  
PLAN**

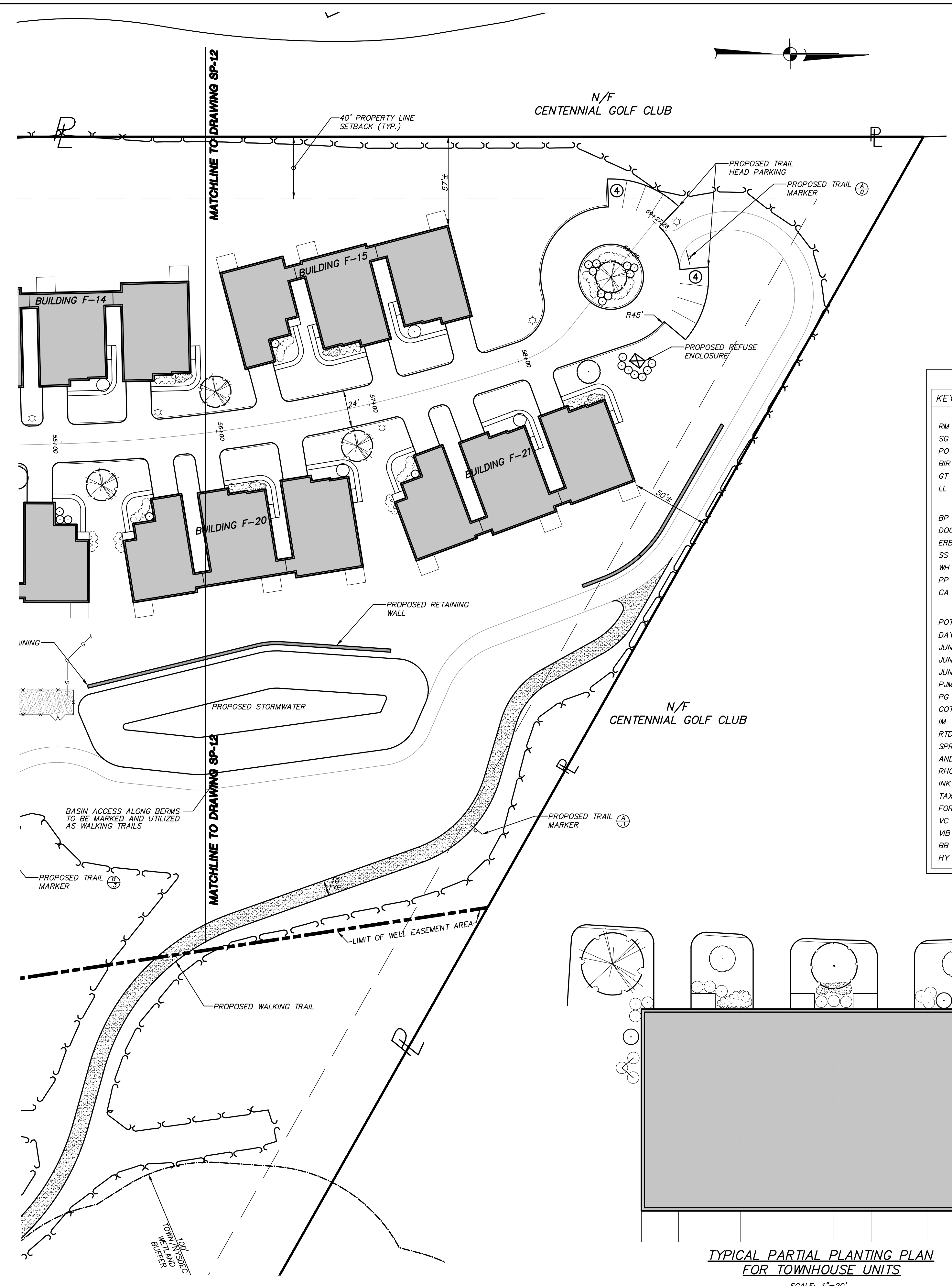
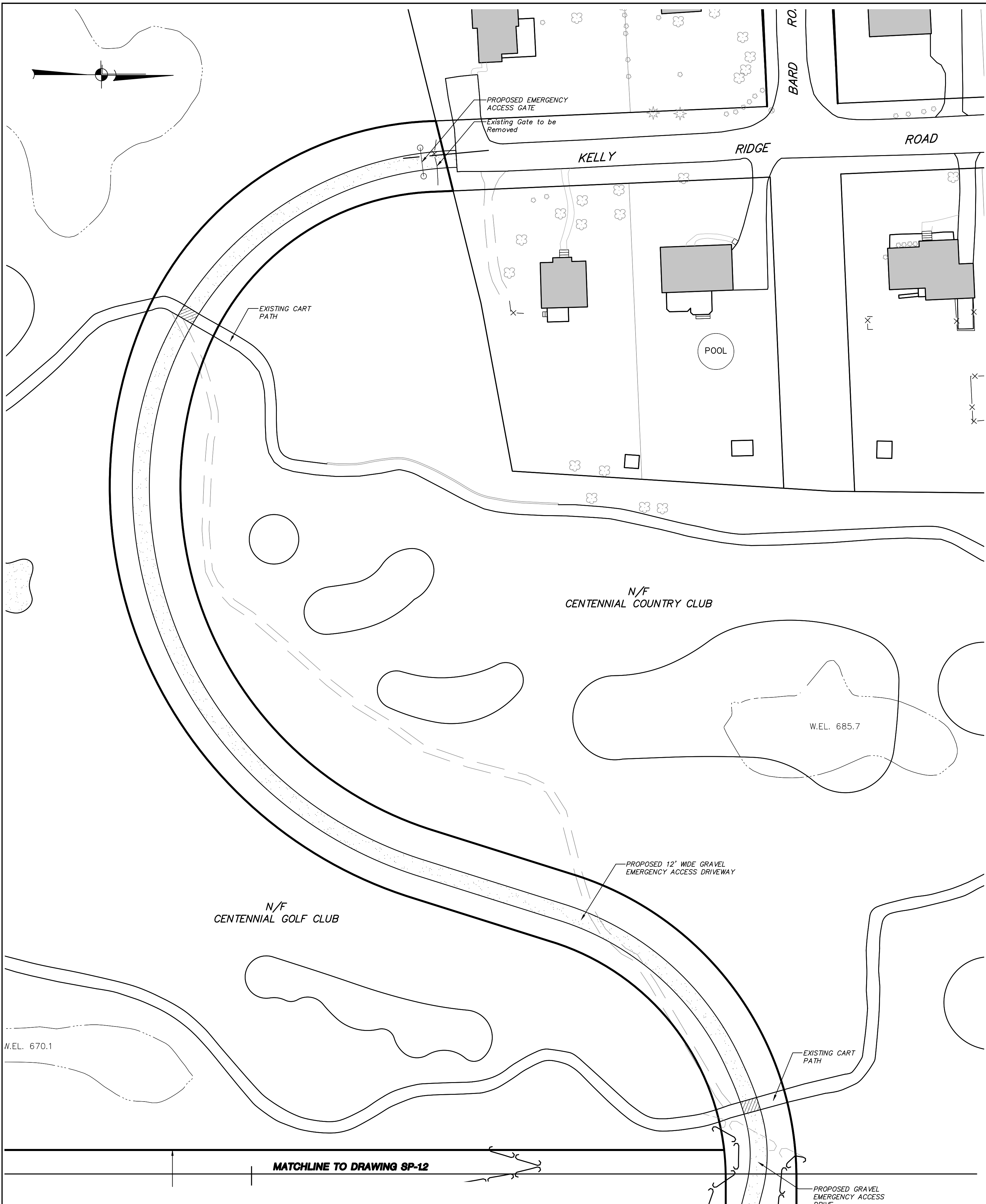
PROJECT NO. 05140.100 PROJECT MANAGER S.W.B. DRAWING NO. SHEET  
DATE 12-15-06 DRAWN BY R.C.S. SP-1.1 2  
SCALE 1" = 40' CHECKED BY D.L.M. 24

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 143 OF THE EDUCATION LAW.



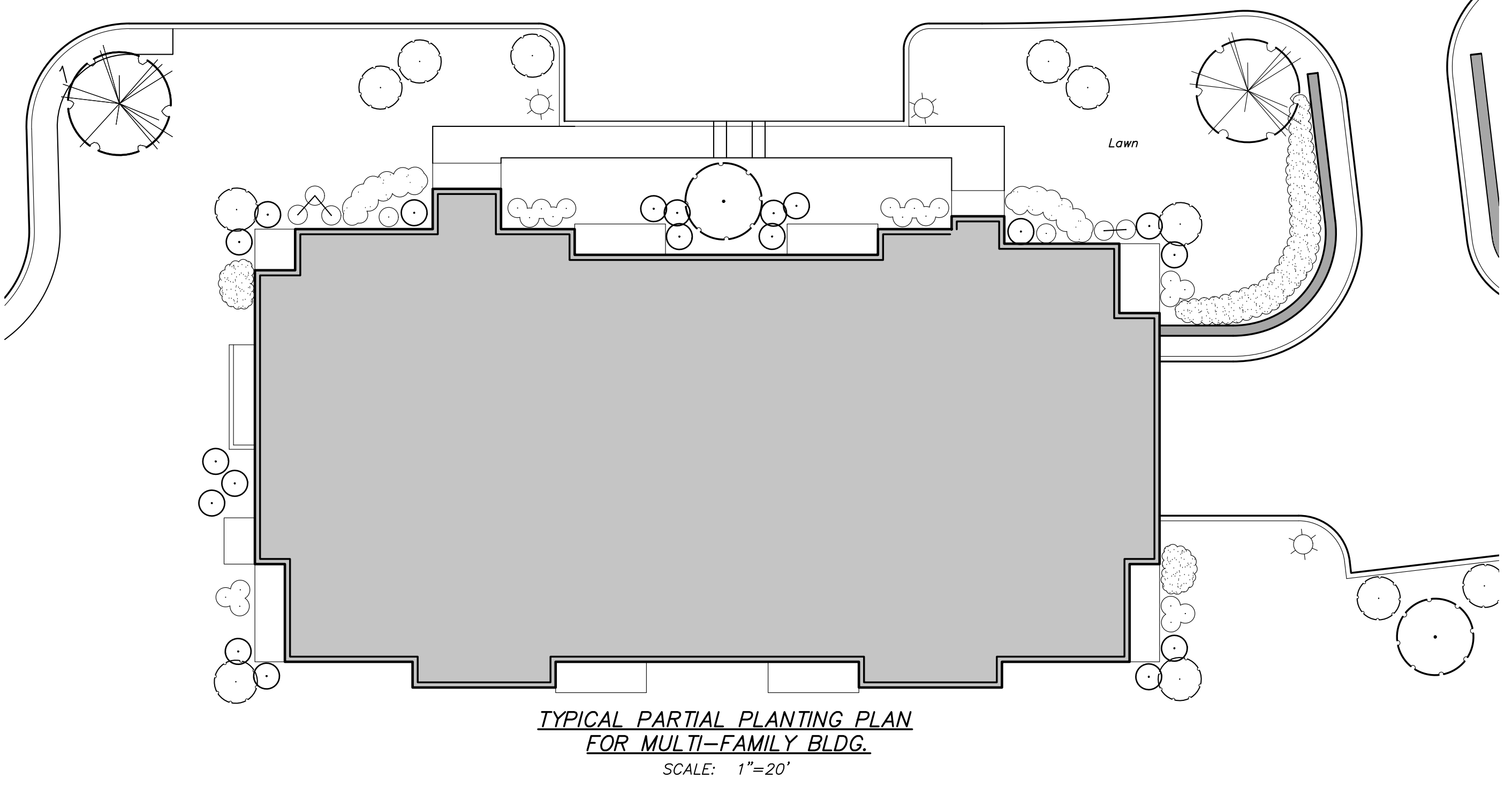
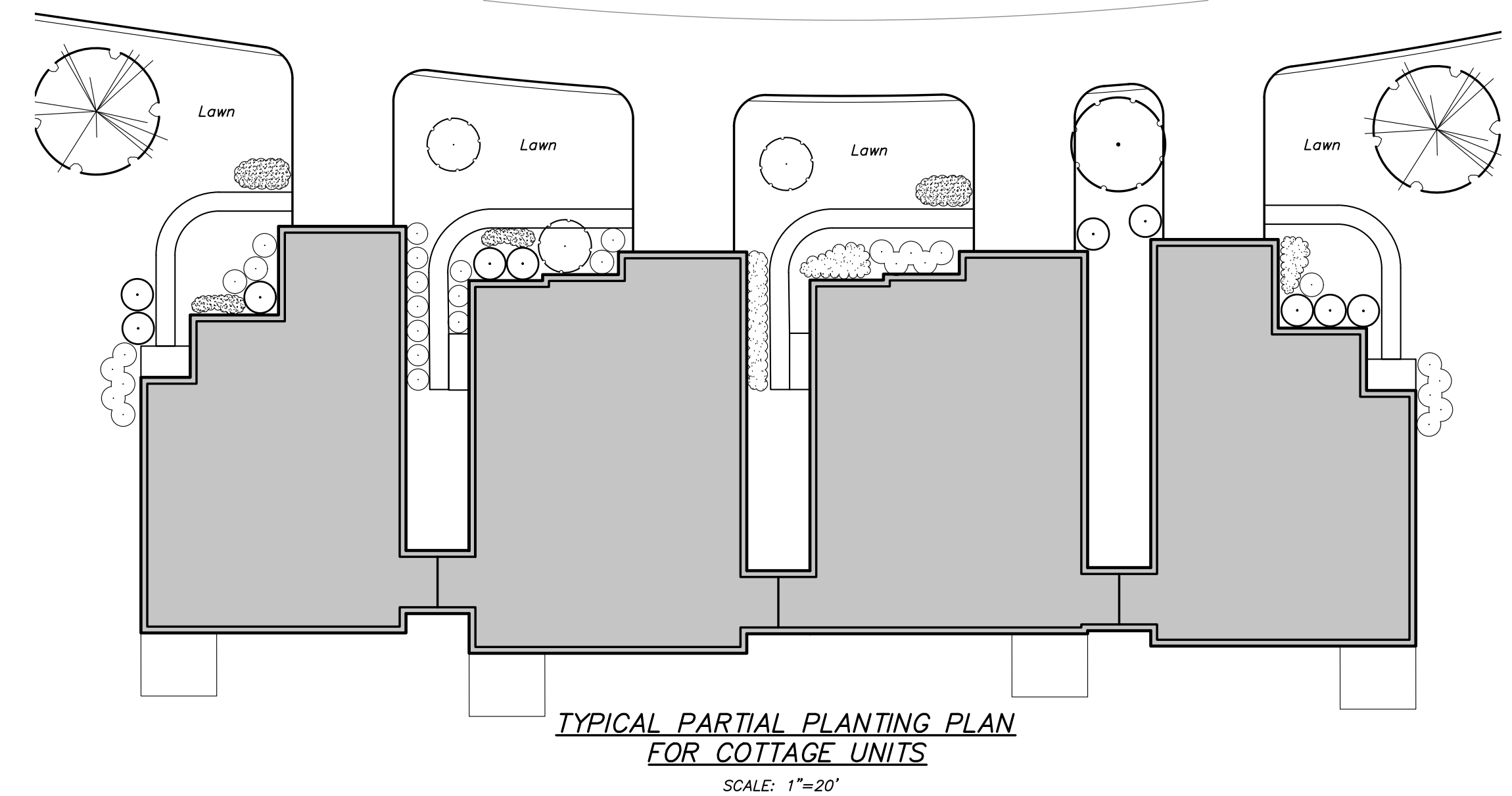
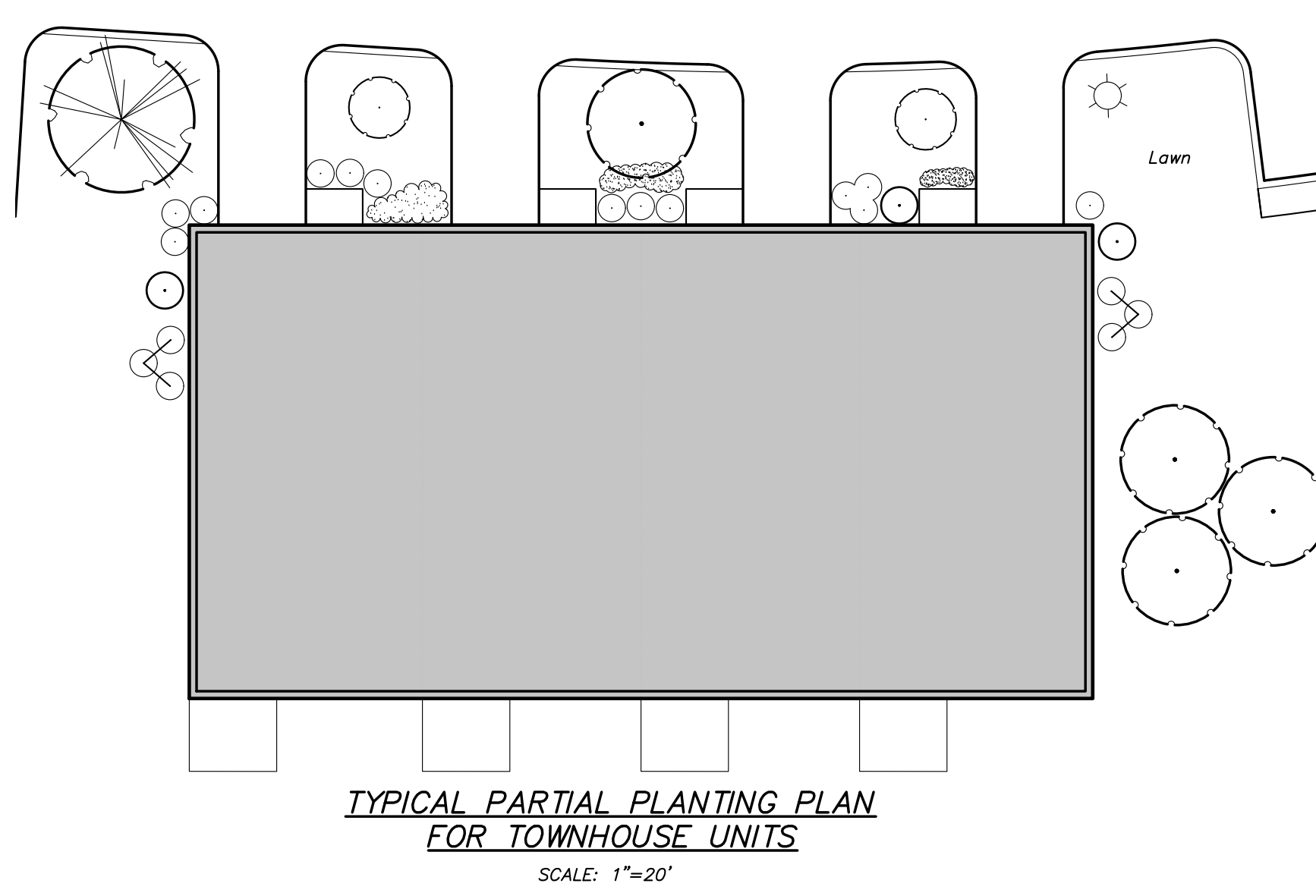
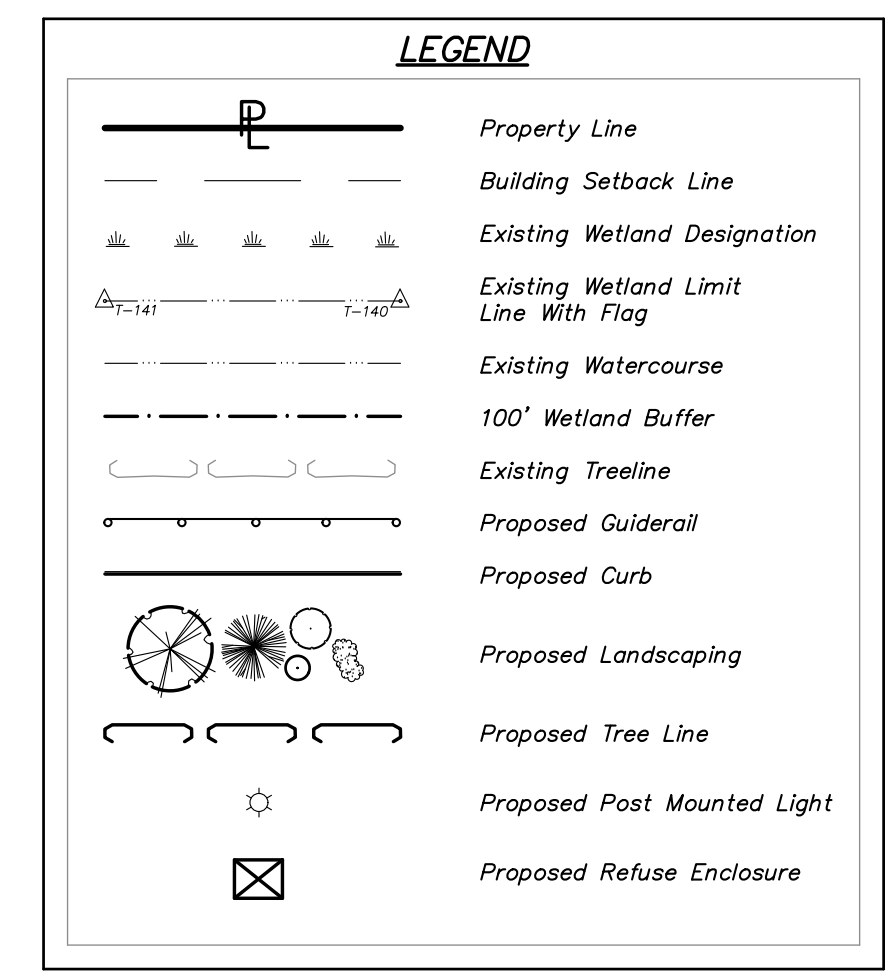




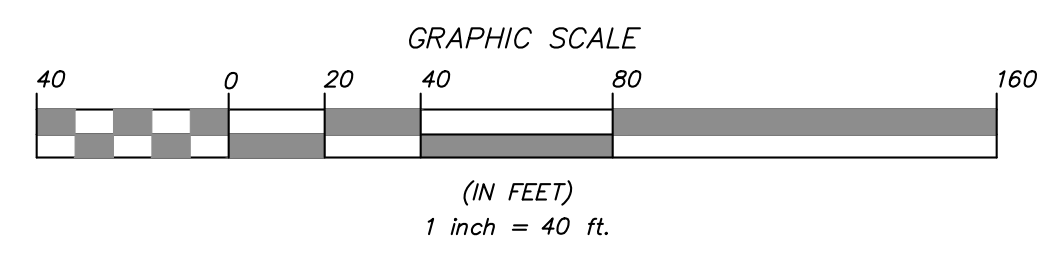


- Planting Notes:**
- All plant materials to be nursery grown.
  - Plants shall conform with the American Association of Nurserymen Standards in all ways including dimensions.
  - Plants shall be planted in all locations designated on the plan or as staked in the field.
  - All plants shall be hardy under climate conditions similar to those in the locality which they are to be planted.
  - 3" of Pine Bark Mulch shall be spread over all planting beds areas.
  - All proposed seeded areas to receive 4" min. depth of topsoil; all proposed landscaped areas to receive 12" min. depth of topsoil.
  - Upon final grading and placement of topsoil and any required soil amendments, areas to receive permanent vegetation cover in combination with suitable mulch as follows:
    - Fertilizer applied at the rate of 14 lbs./1000 sf using 10-6-4 or equivalent.
    - Seed mixture to be planted between April 1 and May 15, or between August 15 and October 15 or as directed by Project Representative at a rate of 50 lbs./acre in the following proportions:
      - 20% Kentucky Bluegrass
      - 40% Creeping Red Fescue
      - 20% Perennial Ryegrass
      - 20% Annual Ryegrass
    - Mulch: Salt Hay or Small Grain Straw applied at a rate of 90 lbs./1000 sf or 2 tons/acre, to be applied and anchored according to New York - Guidelines for Urban Erosion & Sediment Control, Latest Edition.
    - If the season prevents the establishment of a permanent vegetation cover, the disturbed areas will be mulched with straw or equivalent.

KEY	BOTANICAL/COMMON NAME	SIZE	ROOT	REMARKS
<b>SHADE TREES</b>				
RM	Acer rubrum 'October Glory' / October Glory Red Maple	2 1/2" - 3" CAL	B & B	
SG	Liquidambar styraciflua / Sweetgum	2 1/2" - 3" CAL	B & B	
PO	Quercus palustris / Pin Oak	2 1/2" - 3" CAL	B & B	
BIR	Betula papyrifera / Paper Birch	8' - 10' HT.	B & B	Multi-stem
GT	Gleditsia Tricantosa / Honey Locust	8' - 10' HT.	B & B	
LL	Tilia cordata / Little Leaf Linden	8' - 10' HT.	B & B	
<b>FLOWERING TREES</b>				
BP	Pyrus calleryana 'Bradford' / Bradford Pear	2" - 2 1/2" CAL	B & B	
DOG	Cornus Kousa / Kousa Dogwood	7' - 8' HT.	B & B	
ERB	Cercis canadensis / Eastern Redbud	8' - 10' HT.	B & B	
SS	Amelanchier canadensis / Shadbush Serviceberry	8' - 10' HT.	B & B	Multi-stem
WH	Crataegus phenax / Washington Hawthorn	2" - 2 1/2" CAL	B & B	
PP	Prunus cerasifera / Purple Leaf Plum	2" - 2 1/2" CAL	B & B	
CA	Malus floribunda / Japanese Flowering Crabapple	2" - 2 1/2" CAL	B & B	
<b>SHRUBS &amp; GROUNDCOVERS</b>				
POT	Potentilla fruticosa 'Sunset' / Sunset Potentilla	2 GAL	CONT.	
DAY	Hemerocallis 'Stella D'Oro' / Miniature Daylilies	2 GAL	CONT.	
JUN-1	Juniperus horizontalis 'Plumosa Nana' / Dwarf Andorra Juniper	3 GAL	CONT.	
JUN-2	Juniperus sargentii / Sargent's Juniper	3 GAL	CONT.	
JUN-3	Juniperus horizontalis 'Blue Rug' / Blue Rug Juniper	2 GAL	CONT.	
PJM	Rhododendron 'PJM' / PJM Rhododendron	2" - 2 1/2" HT.	B & B	
PG	Rhododendron 'Purple Gem' / Purple Gem Rhododendron	3 GAL	CONT.	
COT	Cotoneaster apiculata / Cranberry Cotoneaster	3 GAL	CONT.	
IM	Ilex Meserviae / Holly	4" - 5" HT.	B & B	
RTD	Cornus Sericea / Red Twig Dogwood	4" - 5" HT.	B & B	
SPR	Spiraea japonica 'Anthony Waterer' / Anthony Waterer Spiraea	3" - 4" HT.	CONT.	
AND	Pieris japonica 'Mt. Fire' / Mt. Fire Andromeda	2" - 2 1/2" HT.	CONT.	
RHO	Rhododendron catawbiense / Catawba Rhododendron	2 1/2" - 3" HT.	CONT.	
INK	Ilex glabra compacta / Dwarf Inkberry	18" - 24" HT.	CONT.	
YAK	Taxus japonica 'repensdens' / English Yew	18" - 24" HT.	CONT.	
FOR	Forsythia x intermedia / Barder Forsythia	4" - 5" HT.	CONT.	
VC	Vaccinium angustifolium / Lowbush Blueberry	3 GAL	CONT.	
VIB	Viburnum prunifolium / Blackhaw Viburnum	2 1/2" - 3" HT.	B & B	
BB	Euonymus alatus 'compacta' / Dwarf Burning Bush	2 1/2" - 3" HT.	CONT.	
HY	Hydrangea arborescens 'Annabelle' / Hydrangea	5 GAL	CONT.	



Key	Sign	M.U.T.C.D. Number	Size of Sign (ft.)	Description
1	STOP	R1-1C	30" x 30"	White on Red
2	WETLAND	R7-B	12" x 18"	Blue on White
3	WALKING TRAIL	R4-7C	24" x 30"	Black on White



NO.	DATE	REVISION	BY
11	8-2-21	REVISED PER EGB COMMENTS	JLT
10	11-13-12	REVISED FOR PCDDH REAPPROVAL	ZMP
9	12-23-10	MODIFY TRAIL TURNAROUND, ADD TRAIL MARKERS AND DETAILS	DLM
8	7-30-10	GENERAL REVISIONS	DLM
7	9-28-07	REVISIONS FOR PCDDH SUBMISSION	EMS
6	8-2-07	REVISION PER NYCDP COMMENTS	ZMP
5	6-20-07	REVISION PER NYCDP COMMENTS	ZMP
4	5-2-07	REVISIONS PER TOWN PLANNER COMMENTS	PLK
3	4-13-07	REVISIONS FOR PCDDH SUBMISSION	RCS
2	3-2-07	REVISIONS PER TOWN CONSULTANT'S COMMENTS	RCS
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**INSITE**  
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3 Garrett Place  
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(845) 225-9650  
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PROJECT:  
**THE FAIRWAYS - LOT 7 SENIOR HOUSING DEVELOPMENT**  
U.S. ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING:  
**LAYOUT & LANDSCAPE PLAN**

PROJECT NO. 05140.100 PROJECT MANAGER S.W.B. DRAWING NO. SHEET 4  
DATE 12-15-06 DRAWN BY R.C.S. SP-1.3  
SCALE 1" = 40' CHECKED BY D.L.M.

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LEGEND			
	Property Line		Proposed Curb
	Existing 2' Contour		Proposed Catch Basin/Drain Inlet
	Existing 10' Contour		Proposed Drainage Manhole
	Proposed 2' Contour		Proposed Outlet Structure
	Proposed 10' Contour		Proposed End Section
	Existing Stonewall		Proposed HDPE Drainage Pipe (See profiles for pipe sizes)
	Existing Town Wetland Limit Line with Flag		Proposed Rip Rap Apron
	Existing Town NYSDEC Wetland Limit Line with Flag		Proposed Sewer Manhole
	Existing DEC Wetland Limit Line with Flag		Proposed 8" # PVC SDR 35 Sewer Man
	Existing Watercourse		Proposed Hydrant with Gate Valve
	100' Wetland Buffer		Proposed 8" # PVC DR14 Water Main
	Existing Utility Pole with Overhead Wires		Proposed Swale
	Existing Manhole		Proposed 4" # PVC DR 14 Water Service with Gate Valve
	Existing Sewer Manhole		Proposed 6" # PVC SDR 35 Sewer Service
	Existing Sewer Main		Proposed 1" Type K Copper Water Service Line with Curb Stop and Curb Box
	Existing Water Main		Proposed 4" # PVC SDR 35 Sewer Service Line
	Existing Drainage Pipe		Dr 132 # Drainage Structure Number and Type Designation

NO.	DATE	REVISION	BY
12	8-2-21	REVISED PER EGB COMMENTS	J.T
11	11-13-12	REVISED FOR PCDOH REAPPROVAL	ZMP
10	7-30-10	GENERAL REVISIONS	DLM
9	11-12-08	GENERAL REVISIONS	J.K
8	11-16-07	REVISIONS PER PCDOH COMMENTS	PLK
7	9-28-07	REVISIONS FOR PCDOH SUBMISSION	EMS
6	9-17-07	REVISION PER NYSOEH COMMENTS	J.BB
5	8-2-07	REVISION PER NYCDEP COMMENTS	ZMP
4	6-20-07	REVISION PER NYCDEP COMMENTS	ZMP
3	4-13-07	REVISIONS FOR PCDOH SUBMISSION	EMS
2	3-2-07	REVISIONS PER TOWN CONSULTANT'S COMMENTS	RCS
1	2-6-07	REVISION PER NYCDEP COMMENTS	ZMP

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PROJECT:  
**THE FAIRWAYS - LOT 7 SENIOR HOUSING DEVELOPMENT**  
U.S. ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING:  
**GRADING & UTILITIES PLAN**

PROJECT NO. 05140.100 PROJECT MANAGER S.W.B. DRAWING NO. SHEET 5  
DATE 12-15-06 DRAWN BY R.C.S. SP-2.1  
SCALE 1" = 40' CHECKED BY D.L.M. 24







13	8-2-21	REVISED PER ECB COMMENTS	JLT
12	11-13-12	REVISED FOR PCDOH REAPPROVAL	ZMP
11	12-23-10	MODIFY TRAIL TURNAROUND, ADD TRAIL MARKERS AND DETAILS	DLM
10	7-30-10	GENERAL REVISIONS	DLM
9	11-16-07	REVISIONS PER PCDOH COMMENTS	PLK
8	9-28-07	REVISIONS FOR PCDOH SUBMISSION	EMS
7	9-17-07	REVISIONS PER NYSDOH COMMENTS	JGB
6	8-2-07	REVISION PER NYCDEP COMMENTS	ZMP
5	6-20-07	REVISION PER NYCDEP COMMENTS	ZMP
4	5-2-07	REVISION PER TOWN PLANNER COMMENTS	RCS
3	4-13-07	REVISIONS FOR PCDOH SUBMISSION	EMS
2	3-2-07	REVISIONS PER TOWN CONSULTANT'S COMMENTS	RCS
1	2-6-07	REVISION PER NYCDEP COMMENTS	ZMP
NO.	DATE	REVISION	BY

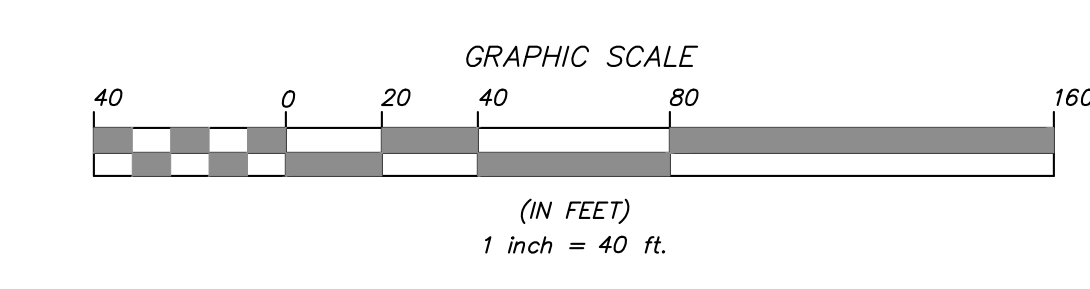
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PROJECT:  
**THE FAIRWAYS - LOT 7  
SENIOR HOUSING DEVELOPMENT**  
U.S. ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

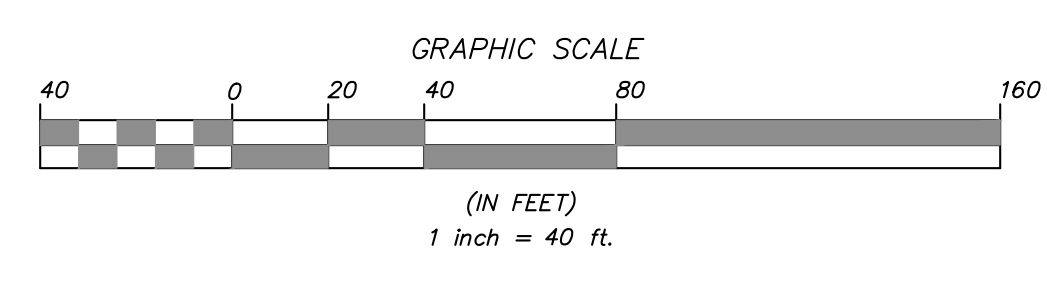
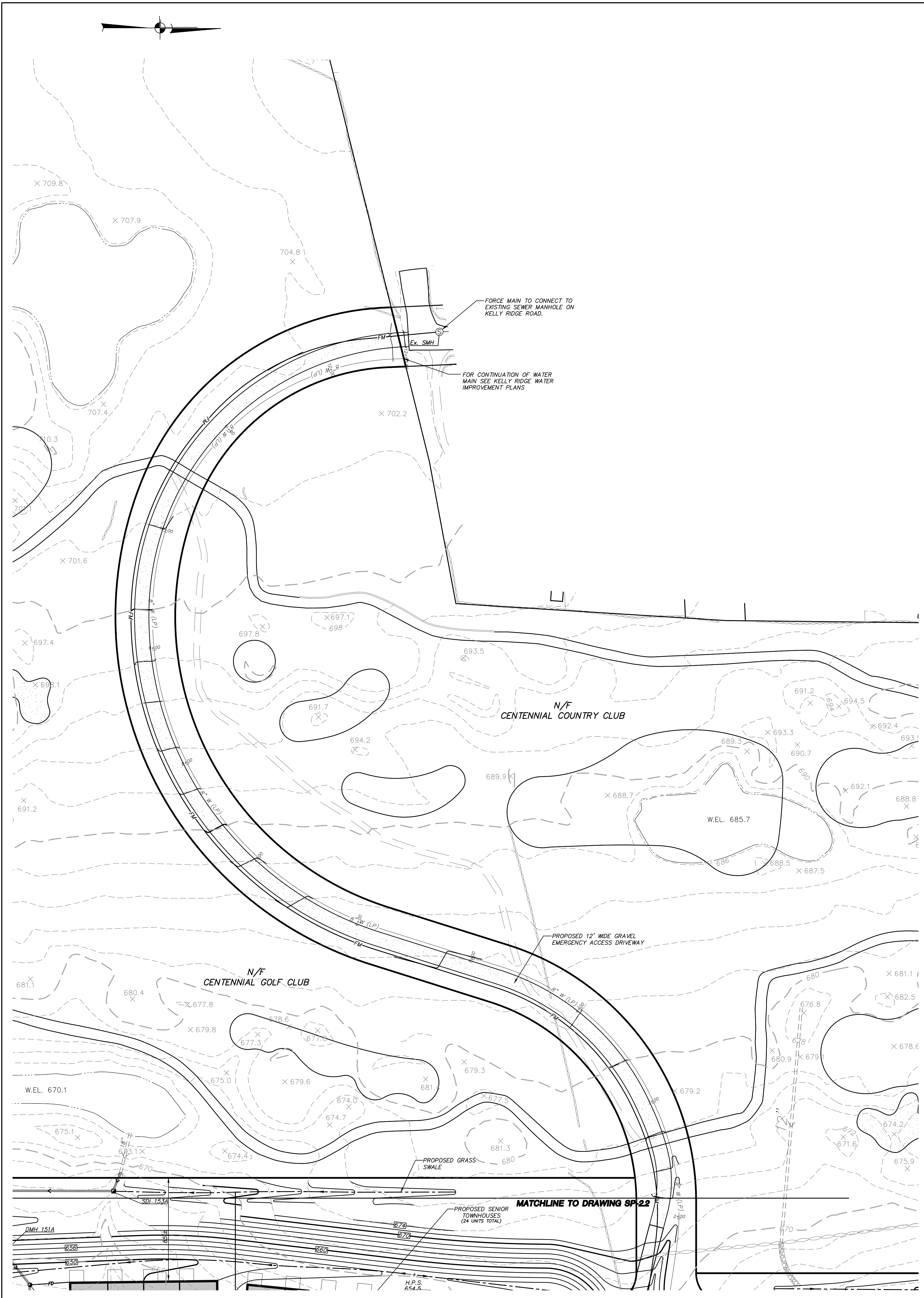
DRAWING:  
**GRADING & UTILITIES PLAN**

PROJECT NO. 05140.100 PROJECT MANAGER S.W.B. DRAWING NO. SHEET  
DATE 12-15-06 DRAWN BY R.C.S. SP-2.2 6  
SCALE 1" = 40' CHECKED BY D.L.M. 24



ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 143 OF THE EDUCATION LAW.





ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.



LEGEND	
	Property Line
	Existing 2' Contour
	Existing 10' Contour
	Proposed 2' Contour
	Proposed 10' Contour
	Existing Stonewall
	Existing Town Wetland Limit Line with Flag
	Existing Town/NYSDEC Wetland Limit Line with Flag
	Existing DEC Wetland Limit Line with Flag
	Existing Watercourse
	100' Wetland Buffer
	Existing Utility Pole with Overhead Wires
	Existing Manhole
	Existing Sewer Manhole
	Existing Sewer Main
	Existing Water Main
	Existing Drainage Pipe
	Proposed Curb
	Proposed Catch Basin/Drain Inlet
	Proposed Drainage Manhole
	Proposed Outlet Structure
	Proposed End Section
	Proposed HDPE Drainage Pipe (See profiles for pipe sizes)
	Proposed Rip Rap Apron
	Proposed Sewer Manhole
	Proposed 8" $\phi$ PVC SDR 35 Sewer Main
	Proposed Hydrant with Gate Valve
	Proposed 8" $\phi$ PVC DR14 Water Main
	Proposed Swale
	Proposed 4" PVC DR 14 Water Service with Gate Valve
	Proposed 6" PVC SDR 35 Sewer Service
	Proposed 1" Type K Copper Water Service Line with Curb Stop and Curb Box
	Proposed 4" PVC SDR 35 Sewer Service Line
	Drainage Structure Number and Type Designation

12	8-2-21	REVISED PER ECB COMMENTS	JLT
11	11-13-12	REVISED FOR PCDDH REAPPROVAL	ZMP
10	7-30-10	GENERAL REVISIONS	DKM
9	11-16-07	REVISIONS PER PCDDH COMMENTS	PLK
8	9-28-07	REVISIONS FOR PCDDH SUBMISSION	JMB
7	9-17-07	REVISIONS PER NYSDDH COMMENTS	JBB
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5	6-20-07	REVISION FOR NYSDDH SUBMISSION	RCS
4	5-2-07	REVISION PER TOWN PLANNER COMMENTS	RCS
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2	3-2-07	REVISIONS PER TOWN COMMENTS	RCS
1	2-6-07	REVISION PER NYCDEP COMMENTS	ZMP
NO.	DATE	REVISION	BY

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PROJECT: THE FAIRWAYS - LOT 7 SENIOR HOUSING DEVELOPMENT  
U.S. ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

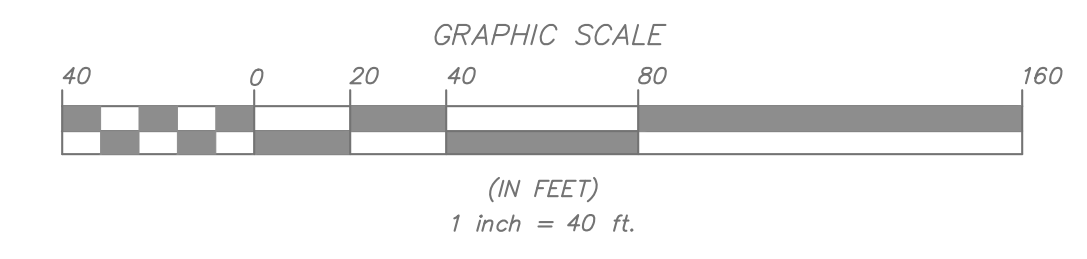
DRAWING: GRADING & UTILITIES PLAN

PROJECT NO. 05140.100 PROJECT MANAGER S.W.B. DRAWING NO. SP-2.3 SHEET 7 OF 24  
DATE 12-15-06 DRAWN BY R.C.S. CHECKED BY D.L.M.









NO.	DATE	REVISION	BY
13	8-2-21	REVISED PER ECB COMMENTS	JLT
12	11-13-12	REVISED FOR PCDDH REAPPROVAL	ZMP
11	12-23-10	MODIFY TRAIL TURNAROUND, ADD TRAIL MARKERS AND DETAILS	DLM
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8	1-28-09	GENERAL REVISIONS	KWM
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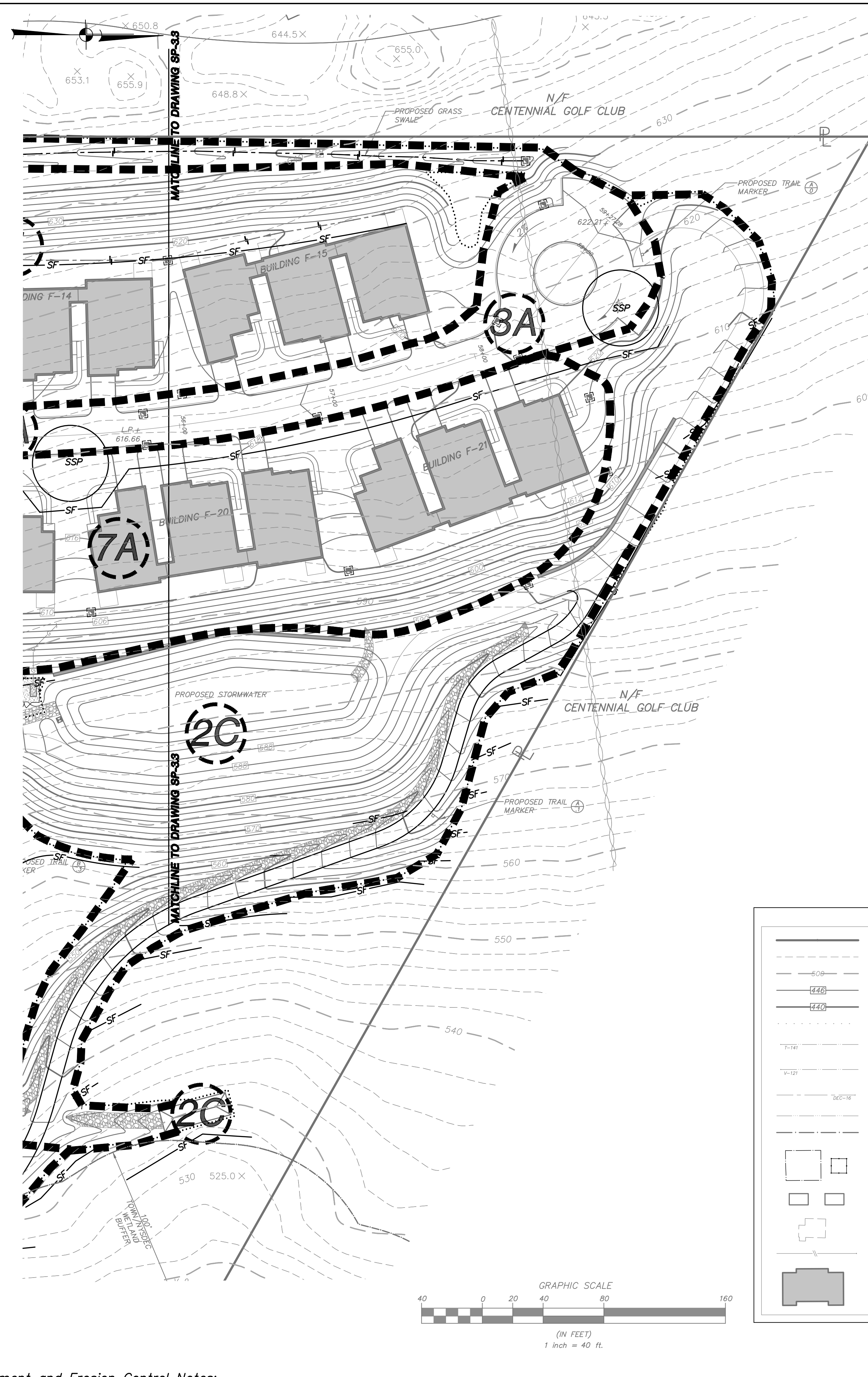
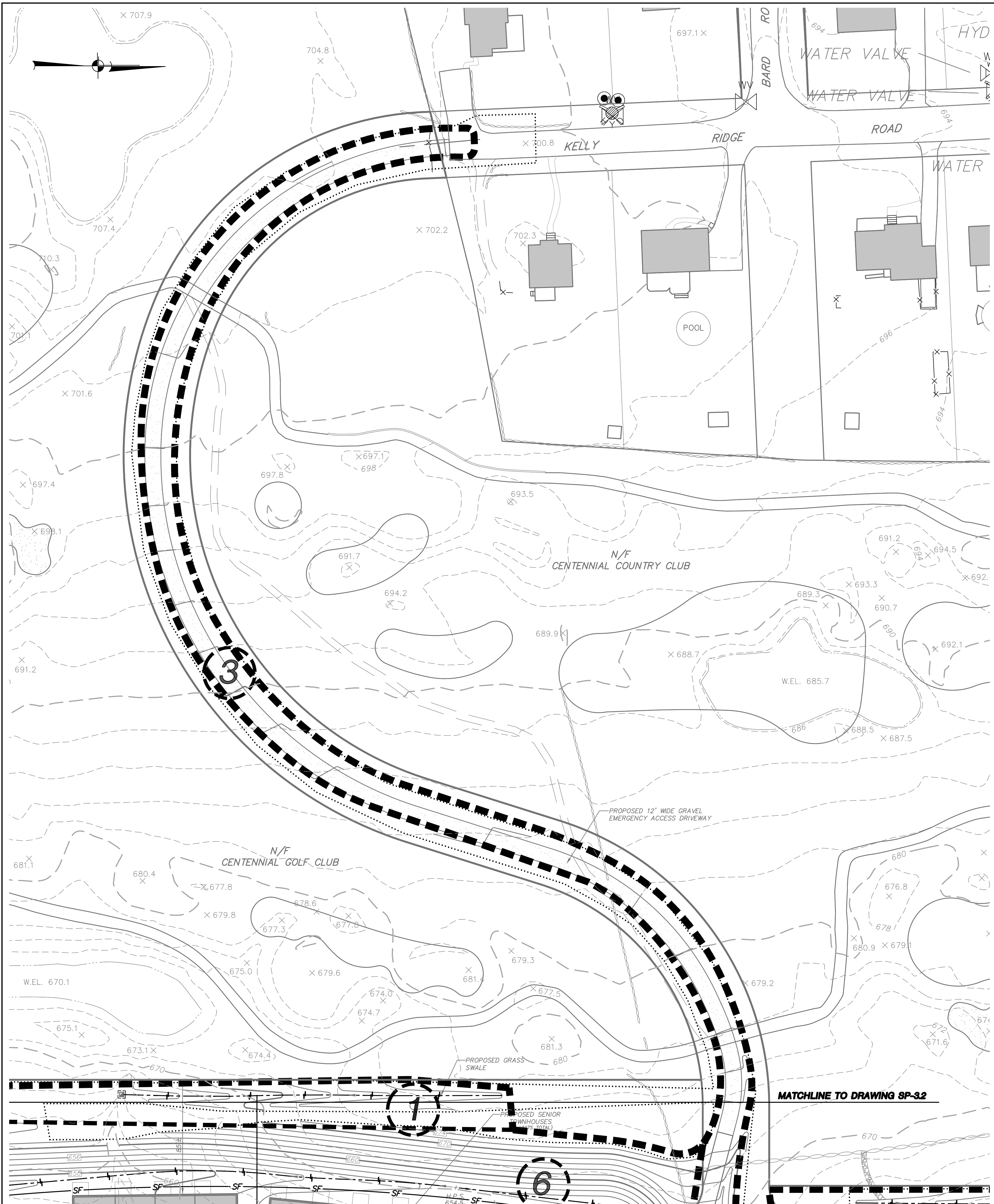
PROJECT:  
**THE FAIRWAYS - LOT 7**  
SENIOR HOUSING DEVELOPMENT  
U.S. ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING:  
**SEDIMENT & EROSION CONTROL PLAN**

PROJECT NO. 05140.100 PROJECT MANAGER S.W.B. DRAWING NO. SHEET 9/24  
DATE 12-15-06 DRAWN BY R.C.S. SP-3.2  
SCALE 1" = 40' CHECKED BY D.L.M.

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**OVERALL CONSTRUCTION SEQUENCE:**

1. Utilize existing logging trails (not shown on the plan) to access the areas of construction within the phase from the completed cut-to-see on Summit Drive to the south. Install erosion control measures as shown on the plan in accordance with the details. Clear trees and grub within the limits of the phase. Clear trees and grub only as necessary to install proposed walking trail. The intent is that the walking trail, will be located to minimize disturbance to significant trees and other site features. The final alignment of the walking trail may vary up to 10' to either side. Stabilize channels in accordance with the Drainage Channel / Wetcourse Stabilization Notes as shown on drawing 2-B. Upon stabilization of drainage channels install proposed grass cut of slope along the western property line to direct the stormwater runoff from the golf course property to the existing channels, around the future area of work. Upon completion of grading operations topsoil, seed, and mulch all disturbed areas as soon as practical in accordance with the sedimentation and erosion control notes on the plan.
- 2A. Construct stabilized construction entrance at proposed entrance to the site north of the proposed cut-to-see on Summit Drive. Install erosion control measures shown on the plan in accordance with the details. Clear trees and grub within the limits of the phase. Begin earthwork activities to construct the proposed access drive (Summit Drive) from station 27+50 to station 41+00. To subgrade. Upon completion of grading operations topsoil, seed, and mulch all disturbed areas as soon as practical in accordance with the sedimentation and erosion control notes on this plan. Install road subbase, drainage structures and piping. Install sewer, water and other utilities as required. Upon completion of grading operations topsoil, seed, and mulch all disturbed areas as soon as practical in accordance with the sedimentation and erosion control notes on this plan.
- 2B. Install erosion control measures shown on the plan in accordance with the details. Clear trees and grub within the limits of the phase. Construct and stabilize proposed stormwater basins 4.1P and 4.2P as temporary sediment basins (TSB). Install outlet structures, drainage piping, and the temporary walking trail to access drainage channels. Install drainage structures and piping. Install sewer, water and other utilities as required. Upon completion of grading operations topsoil, seed, and mulch all disturbed areas as soon as practical in accordance with the sedimentation and erosion control notes on this plan.
- 2C. Install erosion control measures shown on the plan in accordance with the details. Clear trees and grub within the limits of the phase. Construct and stabilize proposed stormwater basins 4.3P and 4.4P as temporary sediment basins (TSB). Install outlet structures, drainage piping, and the temporary walking trail to access drainage channels. Install drainage structures and piping. Install sewer, water and other utilities as required. Upon completion of grading operations topsoil, seed, and mulch all disturbed areas as soon as practical in accordance with the sedimentation and erosion control notes on this plan.
- 3A. Install erosion control measures shown on the plan in accordance with the details. Clear trees and grub within the limits of the phase. Begin earthwork activities associated with the phase. Direct stormwater runoff from construction area to TSB 4.1P, 4.2P, 4.3P and 4.4P. Install road subbase, drainage structures and piping. Install sewer, water and other utilities as required. Upon completion of grading operations topsoil, seed, and mulch all disturbed areas as soon as practical in accordance with the sedimentation and erosion control notes on this plan.
- 3B. Utilizing section of walking trail installed in phase 2C, install erosion control measures as shown on the plan in accordance with the details. The intent is that the walking trail, pergola, etc. will be located to minimize disturbance to significant trees and other site features. The final alignment of the walking trail may vary up to 10' to either side. Clear and grub only as necessary. Install proposed boat house in location as shown on the plan. Upon completion of grading operations topsoil, seed, and mulch all disturbed areas as soon as practical in accordance with the sedimentation and erosion control notes on the plan.
4. Install erosion control measures shown on the plan in accordance with the details. Clear trees and grub within the limits of the phase. Install temporary piping to outlet culvert swale installed along western property line in Phase 1 around the proposed area of disturbance within Phase 4. Direct stormwater runoff from construction area to TSB 4.1P, 4.2P, 4.3P and 4.4P. Install drainage structures and piping. Install sewer, water and other utilities as required. Upon completion of grading operations topsoil, seed, and mulch all disturbed areas as soon as practical in accordance with the sedimentation and erosion control notes on the plan.
5. Install erosion control measures shown on the plan in accordance with the details. Clear trees and grub within the limits of the phase. Install temporary piping to outlet culvert swale installed along western property line in Phase 1. Begin earthwork activities associated with the phase. Direct stormwater runoff from construction area to TSB 4.1P, 4.2P, 4.3P and 4.4P. Install drainage structures and piping. Install sewer, water and other utilities as required. Upon completion of grading operations topsoil, seed, and mulch all disturbed areas as soon as practical in accordance with the sedimentation and erosion control notes on the plan.
6. Install erosion control measures shown on the plan in accordance with the details. Clear trees and grub within the limits of the phase. Install temporary piping to outlet culvert swale installed along western property line in Phase 1. Begin earthwork activities associated with the phase. Direct stormwater runoff from construction area to TSB 4.1P, 4.2P, 4.3P and 4.4P. Install drainage structures and piping. Install sewer, water and other utilities as required. Upon completion of grading operations topsoil, seed, and mulch all disturbed areas as soon as practical in accordance with the sedimentation and erosion control notes on the plan.
- 7A. Install erosion control measures shown on the plan in accordance with the details. Clear trees and grub within the limits of the phase. Begin earthwork activities associated with the phase. Direct stormwater runoff from construction area to TSB 4.1P, 4.2P, 4.3P and 4.4P. Install drainage structures and piping. Install sewer, water and other utilities as required. Upon completion of grading operations topsoil, seed, and mulch all disturbed areas as soon as practical in accordance with the sedimentation and erosion control notes on the plan.
- 7B. Utilizing section of walking trail installed previously, install erosion control measures as shown on the plan in accordance with the details. The intent is that the walking trail, pergola, etc. will be located to minimize disturbance to significant trees and other site features. The final alignment of the walking trail may vary up to 10' to either side. Clear and grub only as necessary. Upon completion of grading operations topsoil, seed, and mulch all disturbed areas as soon as practical in accordance with the sedimentation and erosion control notes on the plan.

**CONSTRUCTION SEQUENCE NOTES:**

1. Refer to erosion control notes on this drawing.
  2. Each phase of work implies that all sediment and erosion control measures will be installed in accordance with best management practices and prior to any clearing and grubbing operations.
  3. Each phase of work implies the removal of existing trees and grubbing of all tree root systems. All topsoil is to be stripped and stockpiled in appropriate locations for future use on the site. All stockpiled soil areas are to be appropriately stabilized and protected.
  4. All finished slopes greater than 3:1 are to be immediately stabilized with erosion control blankets / matting.
  5. Modifications to phasing may be made during construction upon written approval by the approving authority.
  6. Each phase of work shall have the upstream clean water diverted around construction activities.
  7. Upon completion of each localized building group, independent of the phase boundaries, install proposed curbing and asphalt binder.
- General Notes for Work within Wetland Buffer for Walking Trail and Boat Dock Improvements:**
1. Existing stone wall outside of the project limit of disturbance and within the stream and wetland buffers are intended to remain.
  2. Landscape site machinery will be used to install the walking trail and for tree removal operations within the wetland buffer associated with the gravel portion of the trail, the gazebo and the fishing dock.
    - a. Machinery is to be parked outside the wetland buffer when not in use and overnight on top of plywood or tarps.
    - b. A spill kit shall be maintained on site at times when equipment is in use within the wetland/stream buffer.
  3. Material stockpiles and staging for walking trail and boat dock improvements will be outside the wetland buffer.

PHASE	EARTHWORK		AREA OF DISTURBANCE
	CUT VOLUME (cubic yards)	FILL VOLUME (cubic yards)	
1	1,000	1,000	2.4 ACRES
2A			
2B	19,000	16,800	6.0 ACRES**
2C			
3A	4,000	4,000	3.9 ACRES
3B			
4	12,000	44,000	4.8 ACRES
5	6,000	62,000	4.5 ACRES
6	24,000	38,000	4.9 ACRES
7A			
7B	20,000	32,000	4.1 ACRES

\* All excess material will be stockpiled until use on-site  
 \*\* 1.0 Acre of disturbance within phases 2A & 2B to be stabilized prior to total phase 2C disturbance.

**Sediment and Erosion Control Notes:**

1. All construction activities involving the removal or disposition of soil, one to be provided with appropriate protective measures to minimize erosion and contain sediment disposition within. Minimum erosion and sediment control measures shall be implemented as shown on these plans and shall be constructed in accordance with the New York State Standards and Specifications for Erosion and Sediment Control.
2. Prior to the start of construction, stabilized construction entrances, silt fence, and other approved sediment control measures shall be in place as shown on these plans and at other locations where deemed necessary. After the stabilized construction entrance and silt fence are installed, the sediment basins shall be constructed. (See construction sequence.)
3. Wherever feasible, natural vegetation shall be retained and protected. Disturbance shall be minimized in the areas required to perform construction. No more than 5 acres of unprotected soil should be exposed at any one time.
4. All topsoil and subsoil to be stripped from the areas being developed shall be stockpiled and seeded within 24 hours with a mixture of 50% Annual Ryegrass and 50% Perennial Ryegrass @ 30 lbs./acre or 0.7 lbs./1000 s.f. Temporary Sediment Basins shall be seeded with this mixture.
5. Any graded areas not subject to further disturbance or construction traffic shall, within 14 days of final grading, receive permanent vegetation cover in combination with a suitable mulch. All seeded areas to receive a minimum 4" topsoil (from stockpile area) and be seeded and mulched as follows:
  - a. Seed mixture to be planted between March 21 and May 20, or between August 15 and October 15, or as directed by project representative.
  - b. Permanent stormwater basins shall be planted in accordance with the Typical Extended Detention Basin Planting Details.
  - c. All other graded areas shall be seeded at a rate of 50 pounds per acre in the following proportions:
    - Kentucky Bluegrass 20%
    - Crested Dog's Tail 40%
    - Perennial Ryegrass 20%
    - Annual Ryegrass 20%
  - d. Mulch: Soft hay or small grain straw applied at a rate of 90 lbs./1000 S.F. or 2.0 tons/acre, to be applied and anchored with netting to hold it in place, as needed, according to "New York - Guidelines for Urban Erosion and Sediment Control," latest edition.
  - e. Irrigation: Should seed mixtures be applied between May 15 and August 15, adequate moisture should be provided.
6. Grass seed mix may be applied by either mechanical or hydroseeding methods. Hydroseeding shall be performed in accordance with the current edition of the "NYSDOT Standard Specification, Construction and Materials, Section 610-3.02, Method No. 1".
7. Temporary seedings should be inspected every 30 days and after major storm events. Damaged or unvegetated areas should be reseeded immediately.
8. All temporary erosion and sediment controls shall remain in place and maintained regularly to properly functioning condition until all areas exposed during site construction have been suitably stabilized with pavement, permanent structures and/or final vegetative cover.
9. Cut and fill slopes steeper than 3:1 shall also be stabilized with North American Green S150 Erosion Control Blanket, or approved equal. Slopes stabilized with S150 Erosion Blanket shall be seeded with ERNST Conservation Seeds Crownvetch Seeding Mix, or approved equal, in lieu of #5c above.
10. Erosion control blankets and/or seedings as outlined in #8 and #9 above shall be provided to prevent surface water from damaging the cut face of excavation or the sloping surfaces of fills.
11. Fill shall be placed and compacted in 6" lifts so as to minimize sliding or erosion of the soil, and to prevent settlement.
12. The site shall, at all times, be graded and maintained such that all stormwater runoff is diverted to soil erosion and sediment control devices.
13. All stormwater drainage outlets shall be stabilized, as required, before the discharge points become operational.
14. Stormwater from disturbed areas must be passed through an approved sediment barrier before discharge beyond disturbed areas.
15. Sedimentation and erosion control measures shall be inspected and maintained on a weekly basis and after each storm event by the owner's field representative (O.F.R.) to insure that channels, drain inlets, pipes and the sediment basins are clear of debris, that embankments and berms have not been breached and that all silt fence is intact. Sediment shall be removed from the temporary sediment basins when the depth of the sediment has reached the top of the vertical riser pipes. Any failure of sediment and erosion control measures shall be immediately repaired by the contractor and inspected for approval by the O.F.R. and/or site engineer.
16. Dust shall be controlled by sprinkling or other approved methods, as necessary, or as directed by the O.F.R.
17. Pavement must be kept clean at all times.
18. The O.F.R. shall inspect downstream conditions for evidence of sedimentation on a weekly basis and other rainstorms.
19. As warranted by field conditions, special additional sedimentation and erosion control measures, as specified by the site engineer, the Town Engineer, the Town Environmental Inspector and/or New York City Department of Environmental Protection, shall be installed by the contractor.
20. The owner/operator of this project will be responsible for the implementation of sediment and erosion control measures on this site prior to the start of construction and the maintenance of the sediment and erosion control measures until the disturbed areas have been stabilized.
21. Each spring the paved areas should be cleaned to remove the winter's accumulation of traction sand. After this is completed, all drain inlet sumps should be cleaned, as required. During the cleaning process, the drain inlets and pipes should be inspected for structural integrity and overall condition. Repairs and/or replacement should be made as required.
22. Once the desired vegetative cover is established in the basins, only limited maintenance is required. The basins and outlet structures should be inspected after major storm events and semi-annually. During the inspections, the following should be checked:
  - Evidence of clogging of outlet structures.
  - Erosion of the flow path through the detention basin.
  - Subsidence, erosion, cracking or tree growth structure.
  - Condition of the emergency spillway.
  - Accumulation of sediment around the outlet structure.
  - Adequacy of upstream/downstream channel erosion control measures.
  - Erosion of the basin berms and banks.
  - Sources of erosion in the contributory drainage, which should be stabilized.
23. Erosion control measures shall remain in place until all soil disturbing activities have been completed and all disturbed areas are suitably stabilized with a uniform perennial vegetative cover with a density of 60% on all upland areas or areas not covered by permanent structures.
24. Site inspections shall be conducted by a qualified soil erosion control professional at least seven (7) calendar days and within 24 hours of the end of a storm event of 0.5 inches or greater.
25. Periodic inspection of the ponds should be performed throughout the year and after large storm events. These inspections should, at a minimum, check the outlet pipe for blockage and the general overall integrity of the basin and appurtenances.
26. Maintain basin vegetation including removal of trees and replacement of vegetation that should die. Remove any litter which accumulates as necessary. Typically, the accumulated silt will be required to be removed every 10 to 20 years.

**LEGEND**

	Property Line		Proposed Curb
	Existing 2' Contour		Proposed Catch Basin/Drain Inlet with Inlet Protection
	Existing 10' Contour		Proposed Outlet Structure
	Proposed 2' Contour		Proposed End Section
	Proposed 10' Contour		Proposed Rip Rap Apron
	Existing Stonewall		Proposed Limit of Disturbance Line
	Existing Town Wetland Limit Line with Flag		Proposed Silt Fence
	Existing Town/NYDEC Wetland Limit Line with Flag		Proposed Double Silt Fence
	Existing Wetcourse		Proposed Swale with Stone Check Dam
	Existing Wetland 100' Wetland Buffer		Proposed Stabilized Construction Entrance
	Existing Fences		Soil Stock Pile
	Existing Building		Proposed Construction Phase
	Existing Building To Be Demolished		Proposed Construction Phase Line
	Existing Utility Pole with Overhead Wires		Proposed Temporary Swale
	Proposed Building		

NO.	DATE	REVISION	BY
11	8-2-21	REVISED PER EGB COMMENTS	J.L.T.
10	11-13-12	REVISED FOR PCDDH REAPPROVAL	Z.M.P.
9	7-30-10	GENERAL REVISIONS	D.L.M.
8	1-28-09	GENERAL REVISIONS	K.W.M.
7	9-28-07	REVISIONS FOR PCDDH SUBMISSION	E.M.S.
6	8-2-07	REVISION PER NYDEC COMMENTS	Z.M.P.
5	6-20-07	REVISION PER NYDEC COMMENTS	Z.M.P.
4	5-2-07	REVISION PER TOWN PLANNER COMMENTS	R.C.S.
3	4-13-07	REVISIONS FOR PCDDH SUBMISSION	E.M.S.
2	3-02-07	REVISION PER TOWN CONSULTANT'S COMMENTS	E.M.S.
1	2-6-07	REVISION PER NYDEC COMMENTS	Z.M.P.

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PROJECT:  
**THE FAIRWAYS - LOT 7**  
 SENIOR HOUSING DEVELOPMENT  
 U.S. ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING:  
**SEDIMENT & EROSION CONTROL PLAN**

PROJECT NO.	05140.100	PROJECT MANAGER	S.W.B.	DRAWING NO.		SHEET	10
DATE	12-15-06	DRAWN BY	R.C.S.	NO.	SP-3.3		24
SCALE	1" = 40'	CHECKED BY	D.L.M.				



UTILITY/MUNICIPAL CONTACTS		
ORGANIZATION	CONTACT NAME	CONTACT NUMBER
NYSOT	ALBERT R. DENIGRO JR.	(845) 878-6363
NYSEC	RICHARD VAN WAGENEN	(845) 278-8120 EXT. 342
CENTRAL HUDSON GAS AND ELECTRIC CORPORATION	LISA CARVER	(845) 897-6141
TOWN OF CARMEL CWD #2 AND CSD #2	JOHN KARELL JR.	(845) 628-2087

**General Notes**

- Boundary line and existing conditions taken from survey prepared by Terry Bergendorff Collins P.L.S., updated June 2021.
- Wetland limits indicated on this plan were delineated by Tim Miller Associates and survey located by Terry Bergendorff Collins P.L.S.
- Refer to the "Final Subdivision Plot prepared for the G and F Subdivision" prepared by Terry Bergendorff Collins P.L.S., for additional information relative to this project.
- For section of proposed guide rail along proposed town road (Gateway Drive) that is outside of the NYSOT right of way see Corrugated Beam Guide Rail Detail of this drawing set.
- Section of proposed guide rail along proposed town road (Gateway Drive) in the NYSOT right of way and the section of existing weak post guide rail to the east of Gateway Drive in the NYSOT right of way removed for work associated with construction of Gateway Drive is to be installed/reinstated as shown on the plans in accordance with NYSOT Section 606, Guide Rolling Standards, sheet title: Modified G2 Weak-Post Corrugated Beam Guide Rail Installation Details, sheet number: M606-51, and Modified G2 Weak-Post Corrugated Beam Guide Rail Components, sheet number: M606-50. Post spacing shall be in accordance with the standard sheets and the following table. Reuse of existing guide rail is only acceptable with NYSOT approval.

DISTANCE TO TOP OF SLOPE	POST SPACING
≥ 7.9 FEET	12.5 FEET
≥ 5.9 FEET < 7.9 FEET	6.3 FEET
≥ 4.9 FEET < 5.9 FEET	4.2 FEET
- Existing weak post guide rail with 2' on center spacing along the western side of proposed town road removed for proposed work along Gateway Drive shall be reinstalled to current configuration.

**NYSDEC FRESHWATER WETLAND BOUNDARY VALIDATION**

The freshwater wetland boundary as represented on these plans accurately depicts the limits of Freshwater Wetland LC-26 & LC-27 as delineated by Tim Miller Assoc. & Doug Gaugler on April 2005.

DEC Staff: *altil* 12/16/19 Surveyor/Engineer: *[Signature]*  
 Date Valid: 12/14/19 Expiration Date: 12/16/24 SEAL

Wetland boundary delineations as validated by the New York State Department of Environmental Conservation remain valid for five (5) years unless existing exempt activities, area hydrology, or land use practices change (e.g., agricultural to residential). After five (5) years the boundary must be revalidated by DEC staff. Revalidation may include a new delineation and survey of the wetland boundary.

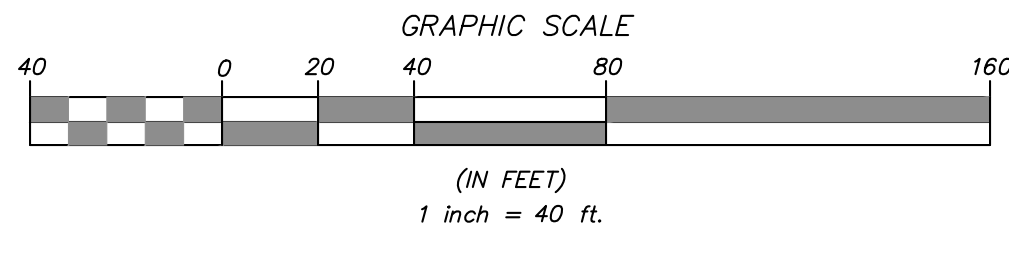
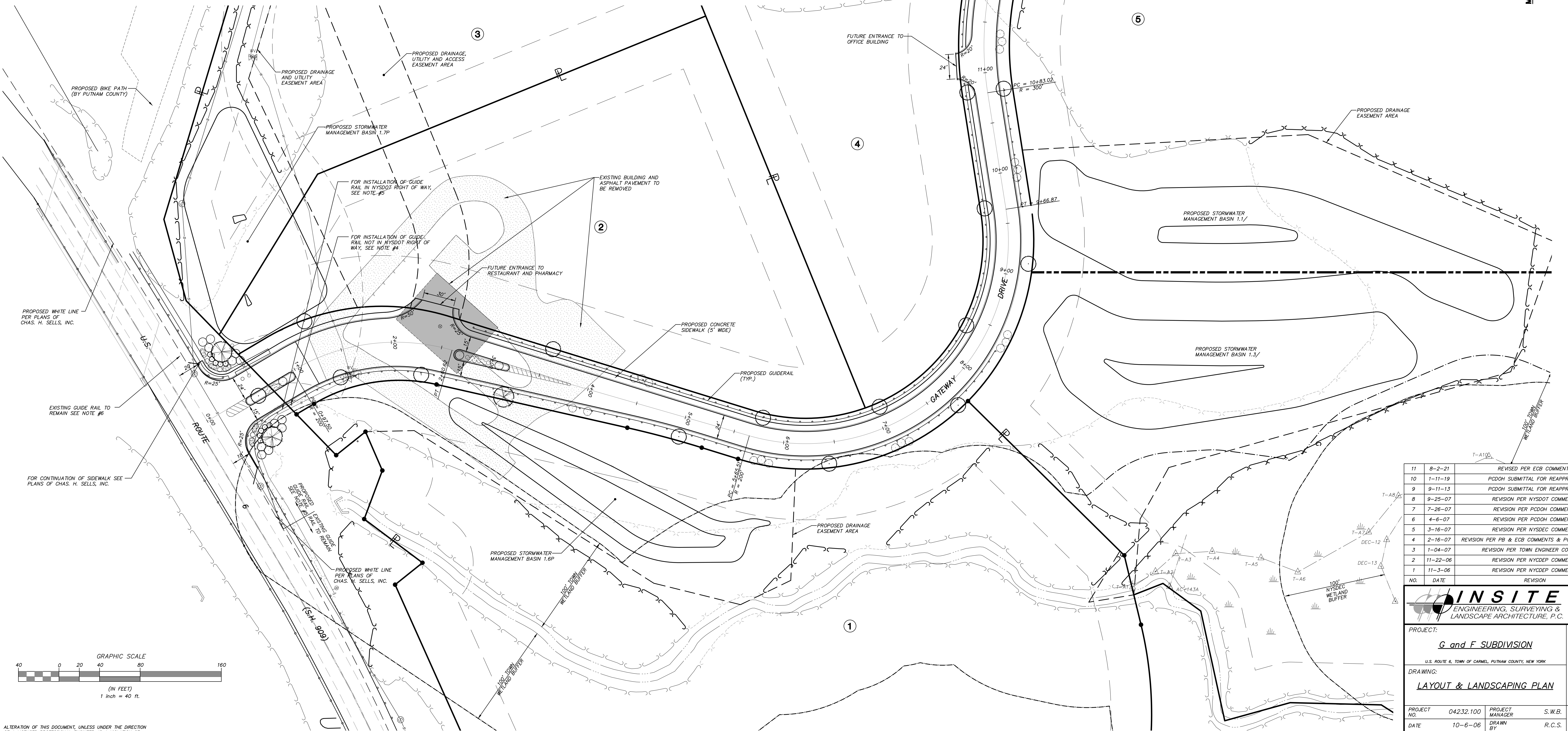
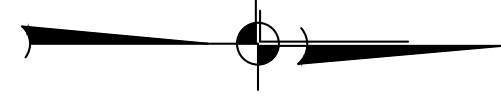
Any proposed construction, grading, filling, excavating, clearing or other regulated activity in the freshwater wetland or within 100 feet of the wetland boundary as depicted on this plan requires a permit from the NYS Department of Environmental Conservation under Article 24 of the Environmental Conservation Law (Freshwater Wetlands Act) prior to commencement of work.

**SCHEMATIC PLANT LIST**

COMMON NAME	SIZE	ROOT
<b>Large Trees</b>		
American Sweetgum	8" - 10' HT.	B & B
White Oak	8" - 10' HT.	B & B
Princeton American Elm	8" - 10' HT.	B & B
Sugar Maple	8" - 10' HT.	B & B
<b>Small Trees</b>		
Eastern Redbud	6" - 7' HT.	B & B
Paper Birch	6" - 7' HT.	B & B
Crabapple	6" - 7' HT.	B & B
<b>Shrubs and Perennials</b>		
Juniper varieties	2 1/2' - 3' HT.	B & B
Dwarf Burning Bush	5 GAL.	CONT.
Bush cinquefoil	3 GAL.	CONT.
Spiraea varieties	3 GAL.	CONT.
Hemerocallis varieties	2 GAL.	CONT.
Viburnum	2 1/2' - 3' HT.	B & B

**LEGEND**

- Property Line
- Building Setback Line
- Existing Wetland Designation
- Existing Wetland Limit Line With Flag
- Existing Watercourse
- 100' Wetland Buffer
- Existing Treeline
- Proposed Guiderail
- Proposed Curb
- Proposed Landscaping
- Proposed Tree Line
- Proposed Post Mounted Light
- Proposed Lot Number



11	8-2-21	REVISED PER ECB COMMENTS	JLT
10	1-11-19	PCDDH SUBMITTAL FOR REAPPROVAL	ZMP
9	9-11-13	PCDDH SUBMITTAL FOR REAPPROVAL	DLM
8	9-25-07	REVISION PER NYSOT COMMENTS	EMS
7	7-26-07	REVISION PER PCDDH COMMENTS	EMS
6	4-6-07	REVISION PER PCDDH COMMENTS	EMS
5	3-16-07	REVISION PER NYSDEC COMMENTS	RCS
4	2-16-07	REVISION PER PB & ECB COMMENTS & PCDD SUBMISSION	RCS
3	1-04-07	REVISION PER TOWN ENGINEER COMMENTS	RCS
2	11-22-06	REVISION PER NYSEC COMMENTS	ZMP
1	11-3-06	REVISION PER NYSEC COMMENTS	ZMP
NO.	DATE	REVISION	BY

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PROJECT: **G and F SUBDIVISION**  
U.S. ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING: **LAYOUT & LANDSCAPING PLAN**

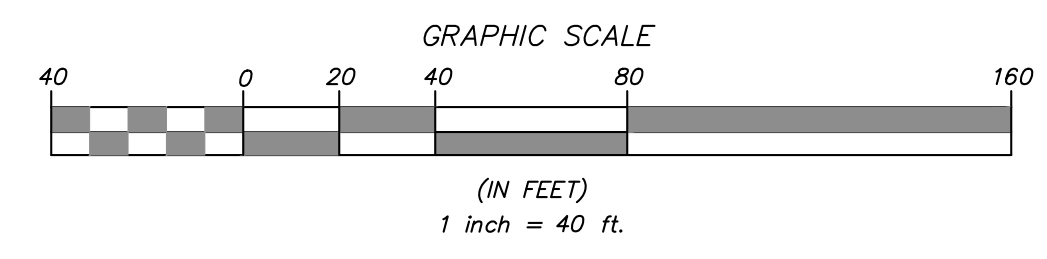
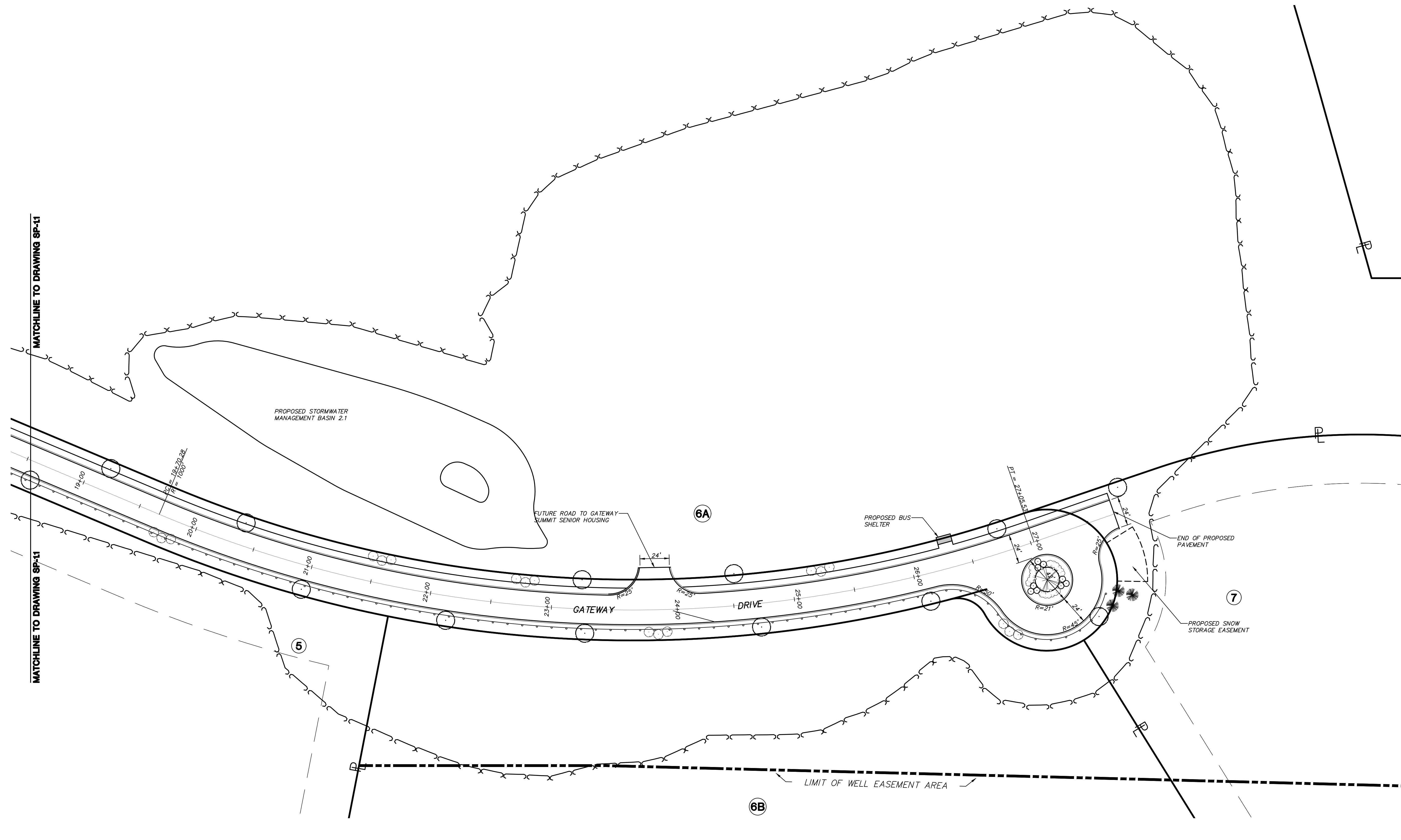
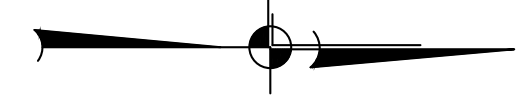
PROJECT NO. 04232.100 PROJECT MANAGER S.W.B. DRAWING NO. SHEET  
 DATE 10-6-06 DRAWN BY R.C.S. SP-1.1 1  
 SCALE 1" = 40' CHECKED BY

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 143 OF THE EDUCATION LAW.



**General Notes**

1. Boundary line and existing conditions taken from survey prepared by Terry Bergendorff Collins P.L.S.
2. Wetland limits indicated on this plan were delineated by Tim Miller Associates and survey located by Terry Bergendorff Collins P.L.S.
3. Refer to the "Final Subdivision Plat prepared for the G and F Subdivision" prepared by Terry Bergendorff Collins P.L.S., for additional information relative to this project.



**SCHEMATIC PLANT LIST**

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**LEGEND**

	Property Line
	Building Setback Line
	Existing Wetland Designation
	Existing Wetland Limit Line With Flag
	Existing Watercourse
	100' Wetland Buffer
	Existing Treeline
	Proposed Guiderail
	Proposed Curb
	Proposed Landscaping
	Proposed Tree Line
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PROJECT: **G and F SUBDIVISION**  
U.S. ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING: **LAYOUT & LANDSCAPING PLAN**

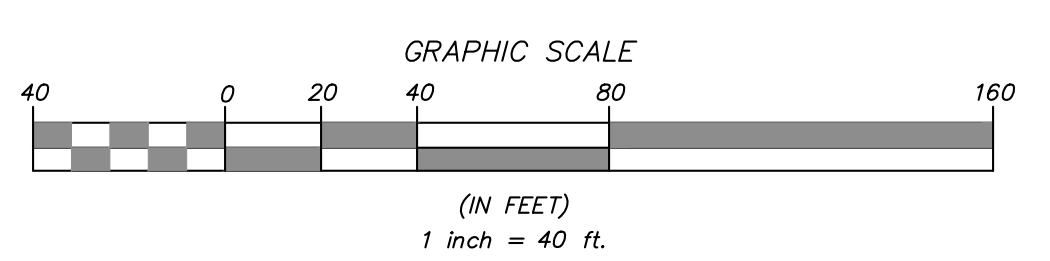
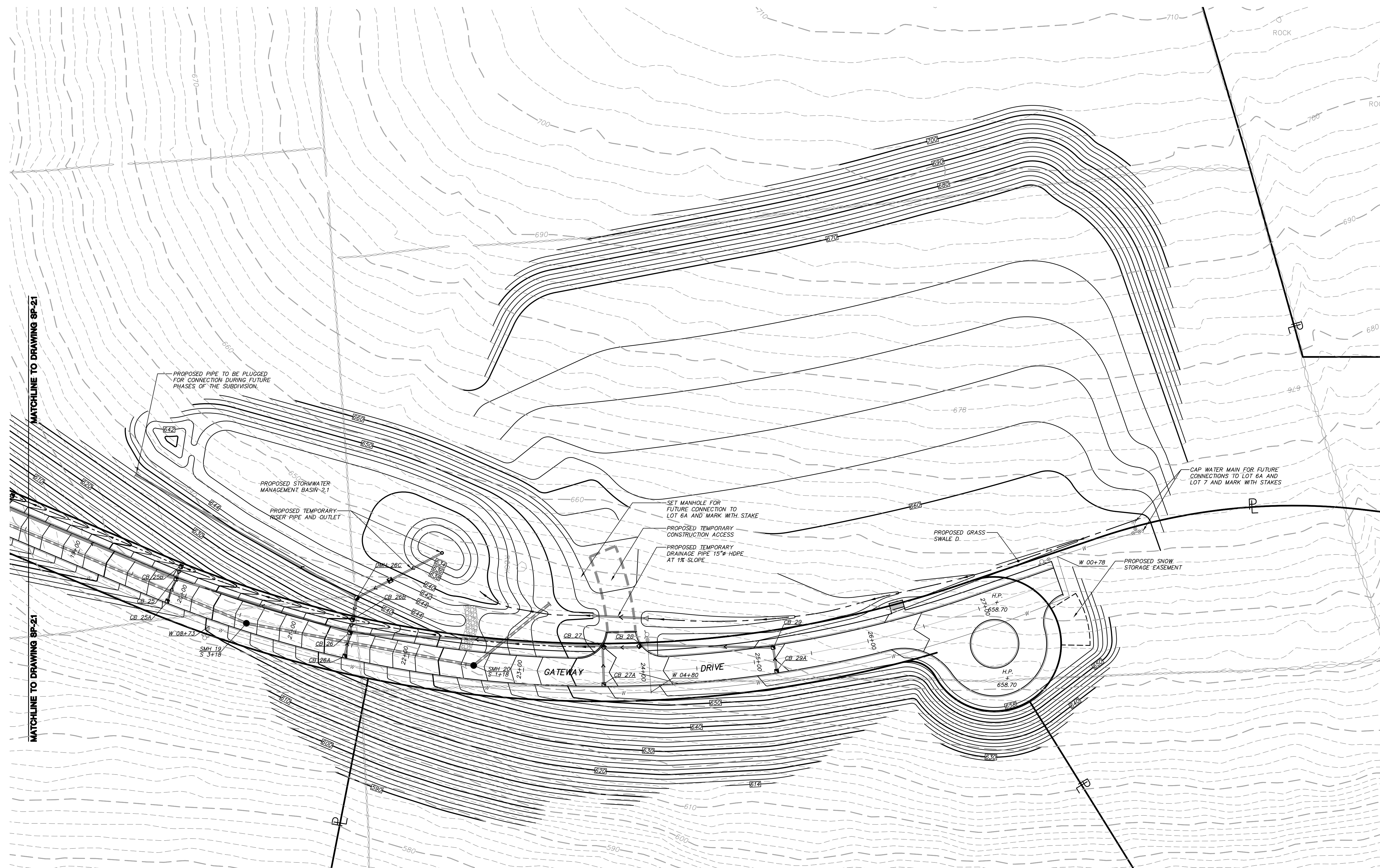
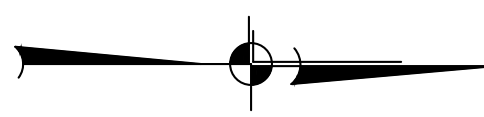
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DATE 10-6-06	DRAWN BY R.C.S.	SP-1.2	2
SCALE 1" = 40'	CHECKED BY		17

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 143 OF THE EDUCATION LAW.









LEGEND	
	Property Line
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	Existing 10' Contour
	Proposed 2' Contour
	Proposed 10' Contour
	Existing Stonewall
	Existing Town Wetland Limit Line with Flag
	Existing Town/NYSDEC Wetland Limit Line with Flag
	Existing DEC Wetland Limit Line with Flag
	Existing Watercourse
	100' Wetland Buffer
	Existing Utility Pole with Overhead Wires
	Existing Manhole
	Existing Sewer Manhole
	Existing Sewer Main
	Existing Water Main
	Existing Drainage Pipe
	Proposed Curb
	Proposed Catch Basin/Drain Inlet
	Proposed Drainage Manhole
	Proposed Outlet Structure
	Proposed End Section
	Proposed HDPE Drainage Pipe (15' # unless noted otherwise)
	Proposed Rip Rap Apron
	Proposed Sewer Manhole
	Proposed Fire Hydrant with Gate Valve
	Proposed Gate Valve-Size To Match Main (Unless Noted Otherwise)
	Proposed Swale

NO.	DATE	REVISION	BY
11	8-2-21	REVISED PER ECB COMMENTS	JLT
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PROJECT: **G and F SUBDIVISION**  
U.S. ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING: **GRADING & UTILITIES PLAN**

PROJECT NO. 04232.100	PROJECT MANAGER S.W.B.	DRAWING NO. SP-2.2	SHEET 4
DATE 10-6-06	DRAWN BY R.C.S.	CHECKED BY	17
SCALE 1" = 40'	CHECKED BY		

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2209 OF ARTICLE 143 OF THE EDUCATION LAW.

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**Sediment and Erosion Control Notes:**

- All construction activities involving the removal or displacement of soil are to be provided with appropriate protective measures to minimize erosion and contain sediment displacement within. Minimum erosion and sediment control measures shall be implemented as shown on these plans and shall be constructed in accordance with the New York State Standards and Specifications for Erosion and Sediment Control.
- Prior to the start of construction, stabilized construction entrances, silt fence, and other approved sediment control measures shall be in place as shown on these plans and at other locations where deemed necessary. After the construction stabilized construction entrance and silt fence are installed, the sediment basins shall be constructed. (See construction sequence.)
- Wherever feasible, natural vegetation shall be retained and protected. Disturbance shall be minimized in the areas required to perform construction. No more than 5 acres of unprotected soil should be exposed at any one time.
- All topsoil and subsoil to be stripped from the areas being developed shall be stockpiled and seeded within 24 hours with a mixture of 50% Annual Ryegrass and 50% Perennial Ryegrass @ 10 lbs./acre or 0.7 lbs./1000 s.f. Temporary Sediment Basins shall be seeded with this mixture.
- Any graded areas not subject to further disturbance or construction traffic shall, within 14 days of final grading, receive protective cover in combination with a suitable mulch. All seeded areas to receive a minimum 4" topsoil (from stockpile area) and be seeded and mulched as follows:
  - Seed mixture to be planted between March 21 and May 20, or between August 15 and October 15, or as directed by project representative.
  - Permanent stormwater basins shall be planted in accordance with the Typical Extended Detention Basin Planting Details.
- All other graded areas shall be seeded at a rate of 50 pounds per acre in the following proportions:
  - Veneta Bluegrass 20%
  - Creeping Red Fescue 40%
  - Perennial Ryegrass 20%
  - Annual Ryegrass 20%
- Mulch: Salt hay or small grain straw applied at a rate of 80 lbs./1000 S.F. or 2 tons/acre, to be applied and distributed with raking to hold it in place, as needed, according to New York State Standards and Specifications for Erosion and Sediment Control.
- Irrigation: Should seed mixtures be applied between May 15 and August 15, adequate moisture should be provided.
- Grass seed mix may be applied by either mechanical or hydroseding methods. Hydroseding shall be performed in accordance with the current edition of the "NYSDOT Standard Specifications, Construction and Materials, Section 610-3.02, Method No. 1".
- Temporary seedings should be inspected every 30 days and after major storm events. Damaged or ungerminated areas shall be reseeded immediately.
- All temporary erosion and sediment controls shall remain in place and maintained regularly in proper functioning condition until all areas exposed during site construction have been suitably stabilized with permanent structures and/or final vegetative cover.
- Cut and fill slopes steeper than 3:1 shall also be stabilized with North American Green 2150 Erosion Control Blanket, or approved equal. Slopes stabilized with 2150 Erosion Blanket shall be seeded with EROSCVT Construction Seeds Crownweave Seeding Mix, or approved equal, in lieu of #5c above.
- Erosion control blankets and/or seeding as outlined in #5 and #6 above shall be provided to prevent surface water from damaging the cut face of excavation or the sloping surfaces of fills.
- Fill shall be placed and compacted in 6" lifts so as to minimize slaking or erosion of the soil, and to prevent settlement.
- The site shall, at all times, be graded and maintained such that all stormwater runoff is diverted to soil erosion and sediment control devices.
- All stormwater drainage outlets shall be stabilized, as required, before the discharge points become operational.
- Stormwater from disturbed areas must be passed through an approved sediment barrier before discharge beyond disturbed areas.
- Sedimentation and erosion control measures shall be inspected and maintained on a weekly basis and after each storm event by the owner's field representative (O.F.R.) to insure that channels, drain inlets, pipes and the sediment basins are clear of debris, that embankments and berms have not been breached and that all silt fence is intact. Sediment shall be removed from the temporary sediment basins when the depth of the sediment has reached the top of the vertical riser pipes. Any failure of sediment and erosion control measures shall be immediately repaired by the contractor and inspected for approval by the O.F.R. and/or site engineer.

- Dust shall be controlled by sprinkling or other approved methods, as necessary, or as directed by the O.F.R.
- Pavement must be kept clean at all times.
- The O.F.R. shall inspect downstream conditions for evidence of sedimentation on a weekly basis and after rainstorms.
- As warranted by field conditions, special additional sedimentation and erosion control measures, as specified by the site engineer, the Town Engineer, the Town Environmental Inspector and/or New York City Department of Environmental Protection, shall be installed by the contractor.
- The owner/operator of this project will be responsible for the implementation of sediment and erosion control measures on this site prior to the start of construction and the maintenance of the sediment and erosion control measures until the disturbed areas have been stabilized.
- Each spring the paved areas should be cleaned to remove the winter's accumulation of traction sand. After this is completed, all drain inlet surges should be cleaned, as required. During the cleaning process, the drain inlets and pipes should be inspected for structural integrity and overall condition. Repairs and/or replacement should be made as required.
- Once the desired vegetative cover is established in the basins, only limited maintenance is required. The basins and outlet structures should be inspected after major storm events and semi-annually. During the inspections, the following should be checked:
  - Evidence of clogging of outlet structures.
  - Erosion of the flow path through the detention basin.
  - Subsidence, erosion, cracking or free growth on the embankments/berms.
  - Condition of the emergency spillways.
  - Accumulation of sediment around the outlet structure.
  - Adaptivity of upstream/downstream channel erosion control measures.
  - Erosion of the basin base and banks.
  - Sources of erosion in the contributory drainage, which should be stabilized.
- Erosion control measures shall remain in place until all soil disturbing activities have been completed and all disturbed areas are suitably stabilized with a uniform perennial vegetative cover with a density of 80% on all unworked areas or areas not covered by permanent structures.
- Site inspections shall be conducted by a qualified soil erosion control professional at least every seven (7) calendar days and within 24 hours of the end of a storm event of 0.5 inches or greater.
- Periodic inspection of the ponds should be performed throughout the year and after large storm events. These inspections should, at a minimum, check the outlet pipe for blockage and the general overall integrity of the basin and appurtenances.
- Maintain basin vegetation including removal of trees and replacement of vegetation that should die. Remove any litter which accumulates as necessary. Typically, the accumulated silt will be required to be removed every 10 to 20 years.

**CONSTRUCTION SEQUENCE NOTES:**

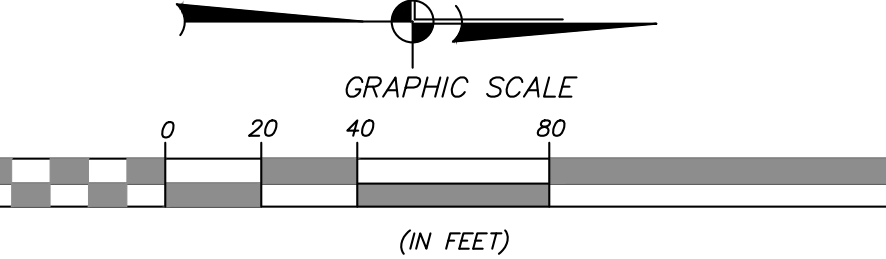
- Refer to erosion control notes on this drawing.
- Each phase of work implies that all sediment and erosion control measures will be installed in accordance with best management practices and prior to any clearing and grubbing operations.
- Each phase of work implies the removal of existing trees and grubbing of all tree root systems.
- All topsoil is to be stripped and stockpiled in appropriate locations for future use on the site. All stockpiled soil areas are to be appropriately stabilized and protected.
- All finished slopes greater than 3:1 are to be immediately stabilized with erosion control blankets / matting.
- Modifications to phasing may be made during construction upon written approval by the approving authority.
- Each phase of work shall have the upstream clean water diverted around construction activities.

**OVERALL CONSTRUCTION SEQUENCE:**

- Construct stabilized construction entrance of proposed town road at Route 6. Install erosion control measures shown on the plan in accordance with the details. Utilize the western portion of the existing highway facility as the staging area as shown on the plan. Clear trees and grub within the limits of the phase. Construct and stabilize proposed stormwater basins 1.6P & 1.7P as temporary sediment basins (TSB) utilizing the designated borrow area to balance the earthwork within the phase. Install outlet structures, drainage piping and temporary outlets. Upon completion of grading operations topsoil, seed, and mulch all disturbed areas as soon as practical in accordance with the sedimentation and erosion control notes on this plan.
- Utilize the existing path shown on the plan to gain access to phase 1B. The existing path will be used as a haul road to the Phase 1B borrow area near proposed station 17+50. The path shall be stabilized with topsoil as necessary. Install erosion control measures shown on the plan in accordance with the details. Clear trees and grub within the limits of the phase. Construct and stabilize proposed stormwater basins 1.1P and 1.3P as temporary sediment basins (TSB) utilizing the designated borrow area to balance the earthwork within the phase. Install outlet structures, drainage piping and temporary outlets. Upon completion of grading operations topsoil, seed, and mulch all disturbed areas as soon as practical in accordance with the sedimentation and erosion control notes on this plan.
- Utilize the existing path as shown on the plan to gain access to the phase 2 borrow area. The existing path will be used as a haul road for construction activities associated with this phase and shall be stabilized with topsoil as necessary. Install erosion control measures as shown on the plan in accordance with the details. Clear trees and grub within the limits of the phase. Construct permanent swale B along the northern side of the road to direct runoff to TSB 1.1P. Construct the proposed access drive from station 7+70 to station 20+50. Direct stormwater runoff from access road to TSB 1.1P & 1.7P. Direct upstream clean water around construction. Begin earthwork activities to upgrade. Install drainage structures and piping. Install sewer, water and the utilities as required. Install subbase, curb and asphalt binder. Upon completion of grading operations topsoil, seed, and mulch all disturbed areas as soon as practical in accordance with the sedimentation and erosion control notes on the plan.
- Construct stabilized construction entrance in location as shown on the plan. Utilize the existing path as shown on the plan for access from the proposed staging area to the southern portion of phase 3. The existing path shall be stabilized with topsoil as necessary. Install erosion control measures as shown on the plan in accordance with the details. Clear trees and grub within the limits of the phase. Construct permanent swales A, C, and D in locations as shown on the plan to direct runoff to the previously constructed temporary sediment basins. Install temporary swale up gradient of the proposed borrow area as shown on the plan to direct clean water away from the proposed area of work. Begin earthwork activities including cut from Phase 3 area adjacent to Town Road cut-in-place placed as compacted fill in road from station 24+75 to station 7+70. Direct stormwater runoff to TSB 1.6P, 1.7P and 2.1P. Install drainage structures and piping. Install sewer, water and other utilities as required. Install subbase, curb and asphalt binder. Upon completion of grading operations topsoil, seed, and mulch all disturbed areas as soon as practical in accordance with the sedimentation and erosion control notes on the plan.

**LEGEND**

- Property Line
- Existing 2' Contour
- Existing 10' Contour
- Proposed 2' Contour
- Proposed 10' Contour
- Existing Stone Wall
- Existing Town Wetland Limit Line with Flag
- Existing Town/NYSDCC Wetland Limit Line with Flag
- Existing DEC Wetland Limit Line with Flag
- Existing Watercourse
- 100' Wetland Buffer
- Existing Building To Be Removed
- Existing Utility Pole with Overhead Wires
- Proposed Curb
- Proposed Catch Basin/Drain Inlet with Inlet Protection
- Proposed Outlet Structure
- Proposed End Section
- Proposed Rip Rap Apron
- Proposed Limit of Disturbance Line
- Proposed Silt Fence
- Proposed Double Silt Fence
- Proposed Swale with Stone Check Dam
- Proposed Stabilized Construction Entrance
- Soil Stock Pile
- Proposed Construction Phase
- Proposed Construction Phase Line
- Proposed Temporary Swale



**General Notes for Work within Wetland Buffer for Walking Trail and Boat Dock Improvements:**

- Existing stone wall outside of the project limit of disturbance and within the stream and wetland buffers are intended to remain. Walls to be repaired are as noted on the site plan.
- Machinery is to be parked outside the wetland buffer when not in use and overnight on top of plywood or tarps.
- A spill kit shall be maintained on site at times when equipment is in use within the wetland/stream buffer.
- Material stockpiles and staging will be outside the wetland buffer in locations shown on the site plans.

PHASE	EARTHWORK CUT VOLUME (cubic yards)	FILL VOLUME (cubic yards)	AREA OF DISTURBANCE
1A	7,000	7,000	2.26 ACRES
1B	11,000	11,000	3.20 ACRES
2	22,000	22,000	4.73 ACRES
3	49,000	49,000	2.80 ACRES
4	32,000	32,000	4.90 ACRES

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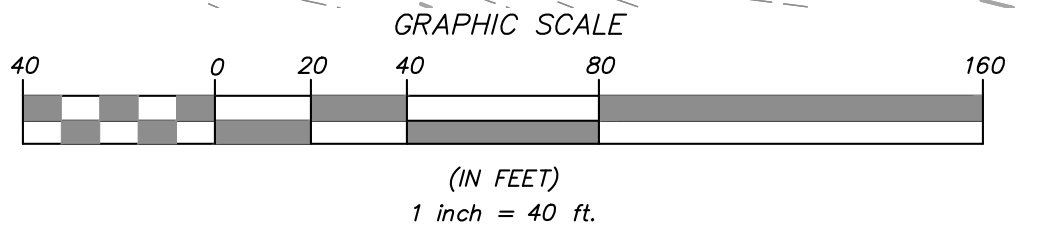
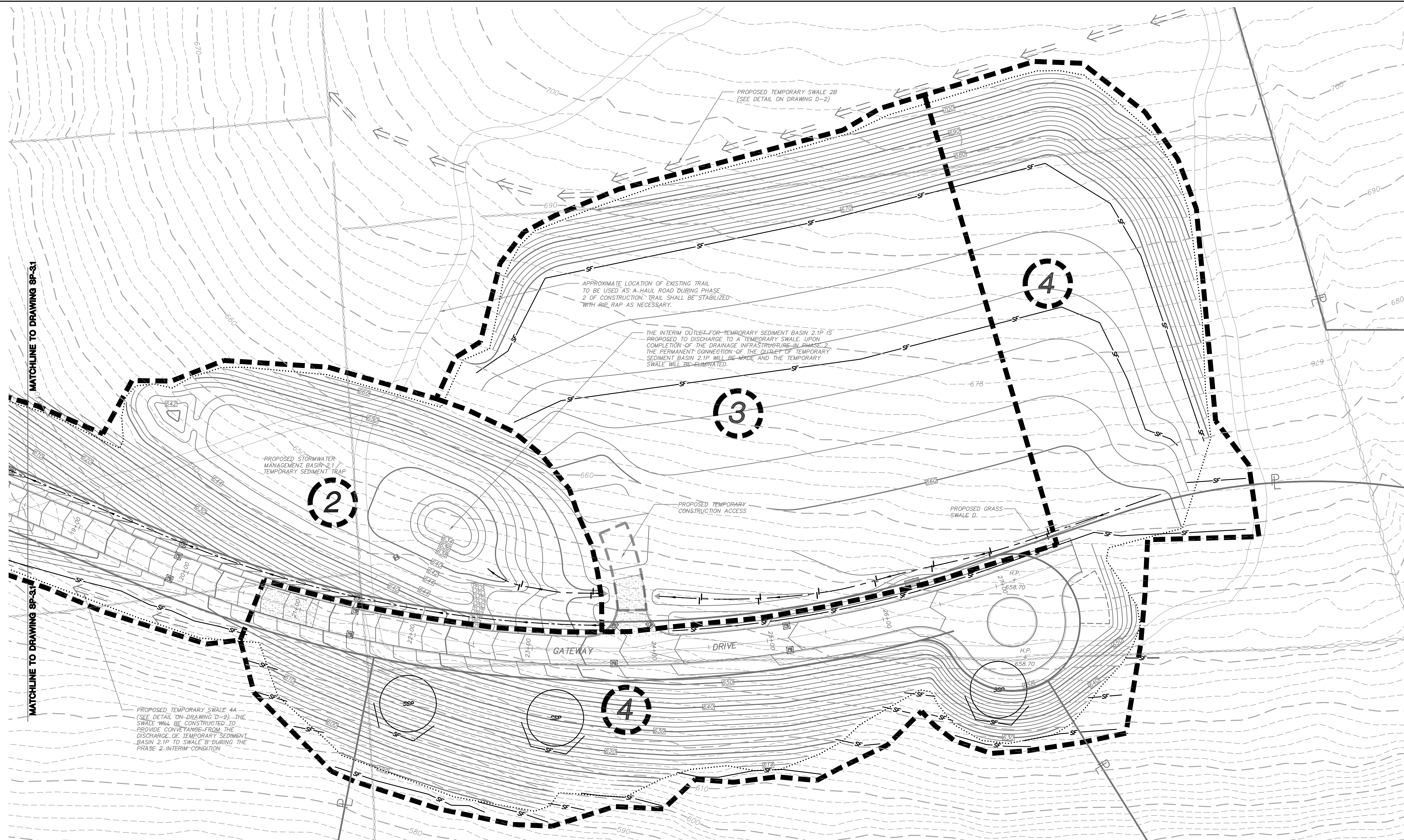
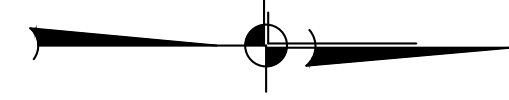
PROJECT: **G and F SUBDIVISION**  
U.S. ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING: **SEDIMENT AND EROSION CONTROL PLAN**

PROJECT NO. 04232.100 PROJECT MANAGER S.W.B. DRAWING NO. SHEET 5/17  
DATE 10-6-06 DRAWN BY R.C.S. CHECKED BY  
SCALE 1" = 40'

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 143 OF THE EDUCATION LAW.





**Sediment and Erosion Control Notes:**

- All construction activities involving the removal or disposition of soil, are to be provided with appropriate protective measures to minimize erosion and contain sediment discharges within. Minimum erosion and sediment control measures shall be implemented as shown on these plans and shall be constructed in accordance with the New York State Standards and Specifications for Erosion and Sediment Control.
- Prior to the start of construction, stabilized construction entrances, all fence, and other approved sediment control measures shall be in place as shown on these plans and at other locations where deemed necessary. After the stabilized construction entrance and all fence are installed, the sediment basins shall be constructed. (See construction sequence.)
- Wherever feasible, natural vegetation shall be retained and protected. Disturbance shall be minimized in the areas required to perform construction. No more than 5 acres of unprotected soil should be exposed at any one time.
- All topsoil and subsoil to be stripped from the areas being developed shall be stockpiled and seeded within 24 hours with a mixture of 50% Annual Ryegrass and 50% Perennial Ryegrass @ 30 lbs./acre or 0.7 lbs./1000 s.f. Temporary Sediment Basins shall be seeded with this mixture.
- Any graded areas not subject to further disturbance or construction traffic shall, within 14 days of final grading, receive permanent vegetation cover in combination with a suitable mulch. All seeded areas to receive a minimum 4" topsoil (from stockpile area) and be seeded and mulched as follows:
  - Seed mixture to be planted between March 21 and May 20, or between August 15 and October 15, or as directed by project representative.
  - Permanent stormwater basins shall be planted in accordance with the Typical Extended Detention Basin Planting Details.
  - All other graded areas shall be seeded at a rate of 50 pounds per acre in the following proportions:
 

Kentucky Bluegrass	20%
Creeping Red Fescue	40%
Salt Hay Ryegrass	20%
Annual Ryegrass	20%
  - Mulch: Salt hay ryegrass applied at a rate of 90 lbs./1000 S.F. or 2 tons/acre, to be applied and anchored with netting to hold it in place, as required according to New York State Standards and Specifications for Erosion and Sediment Control.
  - Irrigation: Should seed mixtures be applied between May 15 and August 15, adequate moisture should be provided.
- Grass seed mix may be applied by either mechanical or hydrosowing methods. Hydrosowing shall be performed in accordance with the current edition of the WSDOT Standard Specification, Construction Materials, Section 610-1.02, Method No. 1.
- Temporary seedings should be inspected every 30 days and after major storm events. Damaged or unvegetated areas should be reseeded immediately.
- All temporary erosion and sediment controls shall remain in place and maintained regularly in properly functioning condition until all areas exposed during site construction have been suitably stabilized with pavement, permanent structures and/or final vegetative cover.
- Cut and fill slopes steeper than 3:1 shall also be stabilized with North American Green 5150 Erosion Control Blanket, or approved equal. Slopes stabilized with 5150 Erosion Blanket shall be seeded with ERNST Conservation Seeds Crownwetch Seeding Mix, or approved equal, in 4" of 8# stone.
- Erosion control blankets and/or seeding as outlined in #5 and #9 above shall be provided to prevent surface water from damaging the cut face of excavation or the retaining surfaces.
- Fill shall be placed and compacted in 6" lifts so as to minimize sliding or erosion of the soil, and to prevent settlement.
- The site shall, at all times, be graded and maintained such that all stormwater runoff is diverted to soil erosion and sediment control devices.
- All stormwater drainage outlets shall be stabilized, as required, before the discharge points become operational.
- Stormwater from disturbed areas must be passed through an approved sedimentation and erosion control measures as specified by the site engineer, the Town Engineer, the Town Environmental Inspector and/or New York City Department of Environmental Protection, shall be installed by the contractor.
- The owner/operator of this project will be responsible for the implementation of sediment and erosion control measures on this site prior to the start of construction and the maintenance of the sediment and erosion control measures until the disturbed areas have been stabilized.
- Each spring the paved areas should be cleaned to remove the winter's accumulation of traction sand. After this is completed, all drain inlet ramps should be cleaned, as required. During the cleaning process, the drain inlets and pipes should be inspected for structural integrity and overall condition. Repairs and/or replacement should be made as required.
- Once the desired vegetation cover is established in the basins, only limited maintenance is required. The basins and outlet structures should be inspected for evidence of erosion, cracking or tree growth on the embankments/bans.
  - Evidence of sloughing of outlet structures.
  - Erosion of the flow path through the detention basin.
  - Subsidence, erosion, cracking or tree growth on the embankments/bans.
  - Condition of the emergency spillway.
  - Accumulation of sediment around the outlet structure.
  - Accumulation of sediment around the flow outlet structure.
  - Adequacy of upstream/downstream channel erosion control measures.
  - Erosion of the basin ends and banks.
  - Sources of erosion in the contributory drainage, which should be stabilized.
- Erosion control measures shall remain in place until all soil disturbing activities have been completed and all disturbed areas are suitably stabilized with a uniform permanent vegetative cover with a density of 80% on all unpaved areas or areas not covered by permanent structures.
- Site inspections shall be conducted by a qualified soil erosion control professional of least every seven (7) calendar days and within 24 hours of the end of a storm event of 0.5 inches or greater.
- Periodic inspection of the ponds should be performed following the year and after large storm events. These inspections should, at a minimum, check the outlet pipe for blockage and the general overall integrity of the basin and appurtenances.
- Maintain bank vegetation including removal of trees and replacement of vegetation aspart should die. Remove any litter which accumulates as necessary. Periodically, the accumulated silt will be required to be removed every 10 to 20 years.

**CONSTRUCTION SEQUENCE NOTES:**

- Refer to erosion control notes on this drawing.
- Each phase of work implies that all sediment and erosion control measures will be installed in accordance with best management practices and prior to any clearing and grubbing operations.
- Each phase of work implies the removal of existing trees and grubbing of all tree root systems.
- All topsoil is to be striped and stockpiled in appropriate locations for future use on the site. All stockpiled soil areas are to be appropriately stabilized and protected.
- All finished slopes greater than 3:1 are to be immediately stabilized with erosion control blankets / matting.
- Modifications to phasing may be made during construction upon written approval by the approving authorities.
- Each phase of work shall have the upstream clean water diverted around construction activities.

**OVERALL CONSTRUCTION SEQUENCE:**

- 1A. Install erosion control measures shown on the plan in accordance with the details. Utilize the western portion of the existing highway facility as the proposed staging area as labeled on the plan. Demolish existing buildings in the vicinity of the proposed staging area. Clear trees and grub within the limits of the phase. Construct and stabilize proposed stormwater basins 1.1P & 1.2P as temporary sediment basins (TSB). Install outlet structure, drainage piping and temporary outlet. Upon completion of grading operations topsoil, seed, and mulch all disturbed areas as soon as practical in accordance with the sedimentation and erosion control notes on this plan.
- 1B. Utilize the existing path shown on the plan to gain access to phase 1B. The existing path will be used as a haul road to the Phase 1B borrow area near proposed station 17+50. The path shall be stabilized with rip rap as necessary. Install erosion control measures shown on the plan in accordance with the details. Clear trees and grub within the limits of the phase. Construct and stabilize proposed stormwater basins 1.1P and 1.2P as temporary sediment basins (TSB), utilizing the designated borrow area to balance the earthwork within the phase. Install outlet structures, drainage piping and temporary outlet. Upon completion of grading operations topsoil, seed, and mulch all disturbed areas as soon as practical in accordance with the sedimentation and erosion control notes on this plan.
2. Construct permanent swale B along the northern side of the road to direct runoff to TSB 1.1P. Construct the proposed access drive from station 7+70 to station 20+30. Direct stormwater runoff from access road to TSB 1.1P & 1.2P. Divert upstream clean water around construction. Begin earthwork activities to subgrade. Install drainage structures and piping. Install sewer, water and the utilities as required. Install subbase, curb and gutter. Place asphalt subbase. Upon completion of grading operations topsoil, seed, and mulch all disturbed areas as soon as practical in accordance with the sedimentation and erosion control notes on the plan.
3. Construct stabilized construction entrance in location as shown on the plan. Utilize the existing path as shown on the plan for access from the proposed staging area to the southern portion of phase 3. The existing path shall be stabilized with riprap as necessary. Install erosion control measures as shown on the plan in accordance with the details. Clear trees and grub within the limits of the phase. Construct permanent swales A, C, and D in locations as shown on the plan to direct runoff to the previously constructed temporary sediment basins. Install temporary swale up gradient of the proposed borrow area as shown on the plan to divert clean water away from the proposed area of work. Begin earthwork activities including cut from Phase 3 area adjacent to town road cut-up-pipe placed as connected (C) in road from station 2+75 to station 7+70. Direct stormwater runoff to TSB 1.1P, 1.2P and 2.1P. Install drainage structures and piping. Install sewer, water and other utilities as required. Install subbase, curb and gutter. Place asphalt subbase. Upon completion of grading operations topsoil, seed, and mulch all disturbed areas as soon as practical in accordance with the sedimentation and erosion control notes on the plan.
4. Construct stabilized construction entrance in location as shown on the plan. Install erosion control measures as shown on the plan in accordance with the details. Clear trees and grub within the limits of the phase. Extend the temporary swale up gradient of the phase 3 borrow area to divert clean water away from the proposed borrow area in phase 4. Extend swale to divert runoff from construction activities to TSB 2.1P. Begin earthwork activities including cut from Phase 4 area. Install riprap. Place cut-up-pipe placed as connected (C) in road from station 20+50 to station 27+50. Direct stormwater runoff to TSB 2.1P, 1.1P and 1.2P. Install drainage structures and piping. Install sewer, water and other utilities as required. Install subbase, curb and gutter. Place asphalt subbase. Upon completion of grading operations topsoil, seed, and mulch all disturbed areas as soon as practical in accordance with the sedimentation and erosion control notes on the plan.

**LEGEND**

— P —	Property Line
— 2' —	Existing 2' Contour
— 10' —	Existing 10' Contour
— 2" —	Proposed 2" Contour
— 10" —	Proposed 10" Contour
— S —	Existing Stonewall
— W —	Existing Town Wetland Limit Line with Flag
— W —	Existing Town/NYSDEC Wetland Limit Line with Flag
— W —	Existing DEC Wetland Limit Line with Flag
— W —	Existing Watercourse
— B —	100' Wetland Buffer
— B —	Existing Building To Be Removed
— W —	Existing Utility Pole with Overhead Wires
— P —	Proposed Curb
— P —	Proposed Catch Basin/Drain Inlet with Inlet Protection
— P —	Proposed Outlet Structure
— P —	Proposed End Structure
— P —	Proposed Rip Rap Area
— P —	Proposed Limit of Disturbance Line
— SF —	Proposed Silt Fence
— DSF —	Proposed Double Silt Fence
— S —	Proposed Swale with Stone Check Dam
— S —	Proposed Stabilized Construction Entrance
— SSP —	Soil Stock Pile
— TA —	Proposed Construction Phase
— TA —	Proposed Construction Phase Line
— TA —	Proposed Temporary Swale

PHASE	EARTHWORK		AREA OF DISTURBANCE
	CUT VOLUME (cubic yards)	FILL VOLUME (cubic yards)	
1A	7,000	7,000	2.26 ACRES
1B	11,000	11,000	3.20 ACRES
2	22,000	22,000	4.73 ACRES
3	49,000	49,000	2.80 ACRES
4	32,000	32,000	4.90 ACRES

NO.	DATE	REVISION	BY
11	8-2-21	REVISED PER ECB COMMENTS	JLT
10	1-11-19	PCDDH SUBMITTAL FOR REAPPROVAL	ZMP
9	9-11-13	PCDDH SUBMITTAL FOR REAPPROVAL	DLM
8	7-26-07	REVISION PER PCDDH COMMENTS	EMS
7	4-6-07	REVISION PER PCDDH COMMENTS	EMS
6	3-16-07	REVISION PER NYSDCP COMMENTS	RCS
5	2-16-07	REVISION PER PB AND ECB COMMENTS AND PCDDH SUBMISSION	RCS
4	1-04-07	REVISION PER TOWN ENGINEER COMMENTS	RCS
3	12-14-06	REVISION PER NYDEP COMMENTS	ZMP
2	11-22-06	REVISION PER NYDEP COMMENTS	ZMP
1	11-3-06	REVISION PER NYDEP COMMENTS	ZMP

**INSITE**  
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

PROJECT: **G and F SUBDIVISION**  
U.S. ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING: **SEDIMENT AND EROSION CONTROL PLAN**

PROJECT NO. 04232.100 PROJECT MANAGER S.W.B. DRAWING NO. SP-3.2 SHEET 6 OF 17  
DATE 10-6-06 DRAWN BY R.C.S. CHECKED BY

3 Garrett Place  
Carmel, NY 10512  
(845) 225-8600  
(845) 225-9717 fax  
www.insite-eng.com

STATE OF NEW YORK  
REGISTERED PROFESSIONAL ENGINEER

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.



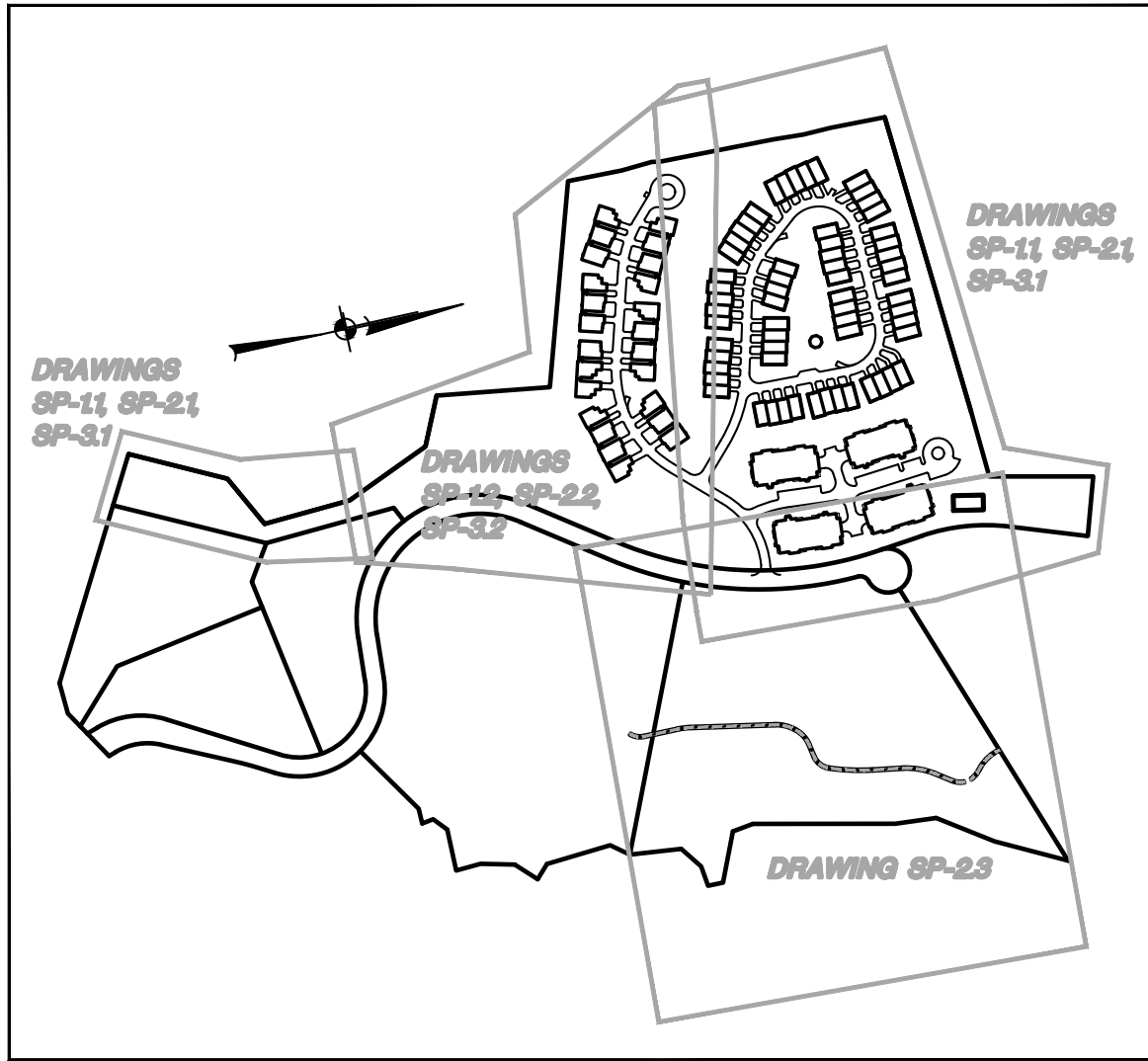
**Parking Requirements:**

Senior Housing		
1.5 spaces per unit x 150 units	=	225 spaces
1 space per 200 sf x 1,800 sf (community building)	=	9 spaces
Total spaces required	=	234 spaces

**Parking Provided**

	Indoor parking spaces	Outdoor parking spaces
Multi-family housing units *	128	27
Townhouse units **	62	62
Cottage Units ***	48	24
Clubhouse	-	8
Subtotal	238	121
Total spaces provided		359

- \* 32 parking spaces located in lower level of each building
- \*\* 1 parking space in garage and 1 in driveway of each unit
- \*\*\* 2 parking spaces in garage and 1 in driveway of each unit



KEY MAP T = 500'

**Senior Housing Zoning Requirements:**

	Required:	Provided:
Min. Lot Area	217,800 SF (9.0 AC)	1,314,205 SF± (30.17 AC)
Min. Road Frontage	125'	1148' ±
Max. Density (Units/Acre)	8	4.97
Max. Dwelling Units	150	150
Max. Building Coverage	35%	18.2% ±
Min. Property Line Setback	40'	>40'
Max. Building Height	40' / 2 Stories	<40' / 2 Stories
Min. Recreation Space (SF/Unit)	300 S.F.	>300 S.F.

NOTE: The NYSDEC Freshwater Wetland Boundary (as shown on this drawing) and validation block (shown below) is as shown on drawing WY-1, "NYSDEC Wetland Validation Map", prepared by Insite Engineering, Surveying, & Landscape Architecture, P.C., dated December 09, 2019.

**NYSDEC FRESHWATER WETLAND BOUNDARY VALIDATION**

The freshwater wetland boundary as represented on these plans accurately depicts the limits of Freshwater Wetland LC-26 & LC-27 as delineated by Tim Miller Assoc. & Doug Goulet, on April 2006.

DEC Staff: *[Signature]* 12/16/19 Surveyor/Engineer

Date Valid: 12/16/19 Expiration Date: 12/16/24 SEAL

Wetland boundary delineations as validated by the New York State Department of Environmental Conservation remain valid for five (5) years unless existing exempt activities, area hydrology, or land use practices change (e.g., agricultural to residential). After five (5) years the boundary must be revalidated by DEC staff. Revalidation may include a new delineation and survey of the wetland boundary.

Any proposed construction, grading, filling, excavating, clearing or other regulated activity in the freshwater wetland or within 100 feet of the wetland boundary as depicted on this plan requires a permit from the NYS Department of Environmental Conservation under Article 24 of the Environmental Conservation Law (Freshwater Wetlands Act) prior to commencement of work.

**Certificate of Occupancy Sections**

C.O. SECTION 1	24 Units & Recreation Area
C.O. SECTION 2	64 Units
C.O. SECTION 3	30 Units; Provide temporary turnaround at road terminus.
C.O. SECTION 4	32 Units

In order for a certificate of occupancy to be issued by the Town of Carmel for a dwelling in a particular C.O. section, the C.O. section in which such dwelling is located as shown on this drawing must be substantially completed to the satisfaction of the Town of Carmel Engineer and must be in compliance with the special use permit issued by the Town of Carmel. A section shall not be deemed substantially complete unless, at a minimum, all utilities including water, sanitary and storm sewers, and all road related work (except for top course of pavement) are substantially complete as determined by the town engineer.

**Record Owner/Applicant:**

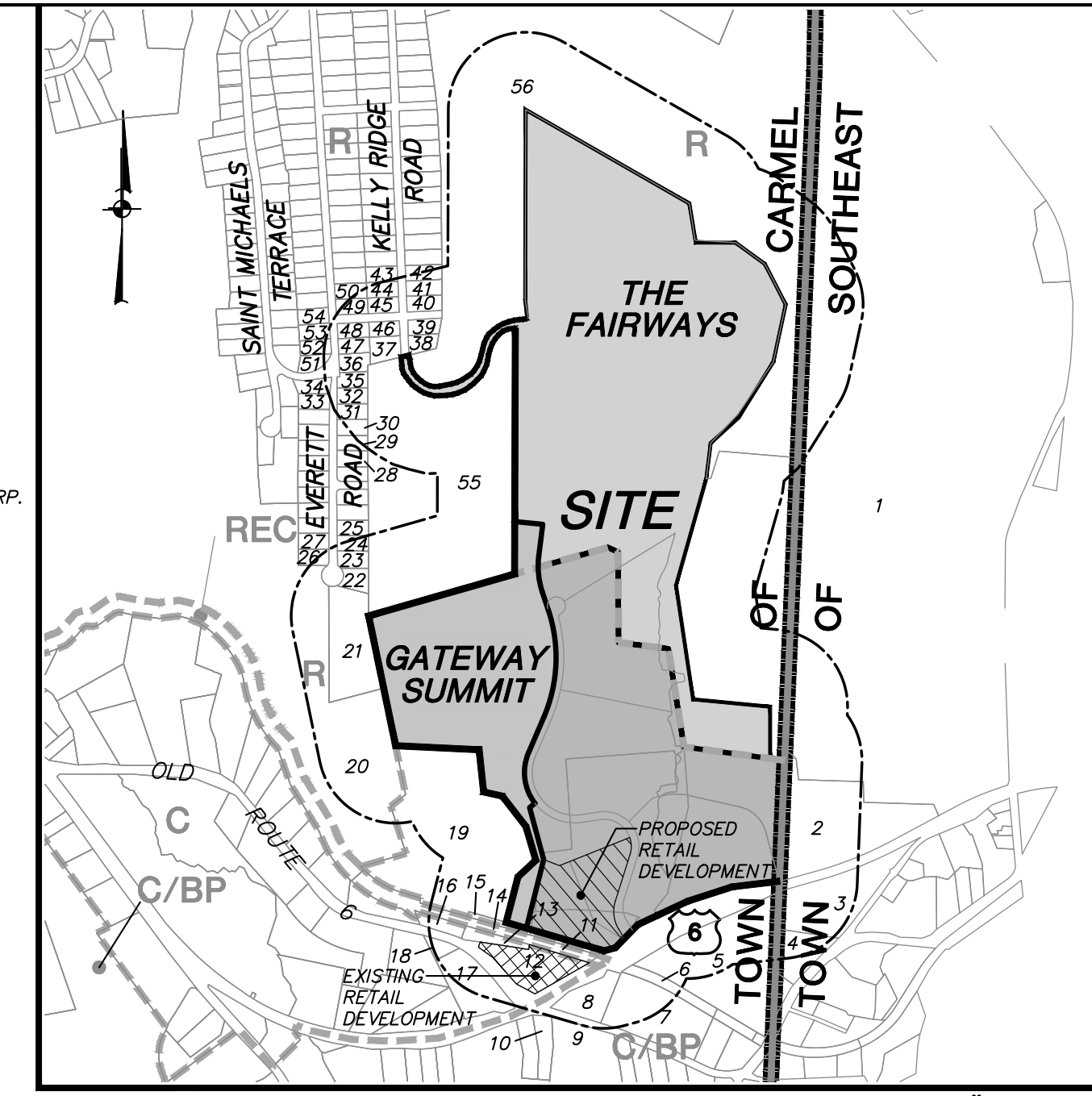
Hudson Valley Realty  
1699 Route 6, Suite 1  
Carmel, NY 10512

**Site Data:**

Total Area:	30.17 AC. ±
Tax Map No.:	55-2-23.1 55-2-24 55-2-25 55.11-1-32
Zoning Districts:	C/BP (Commercial/Business Park)

**500' Adjoiners:**

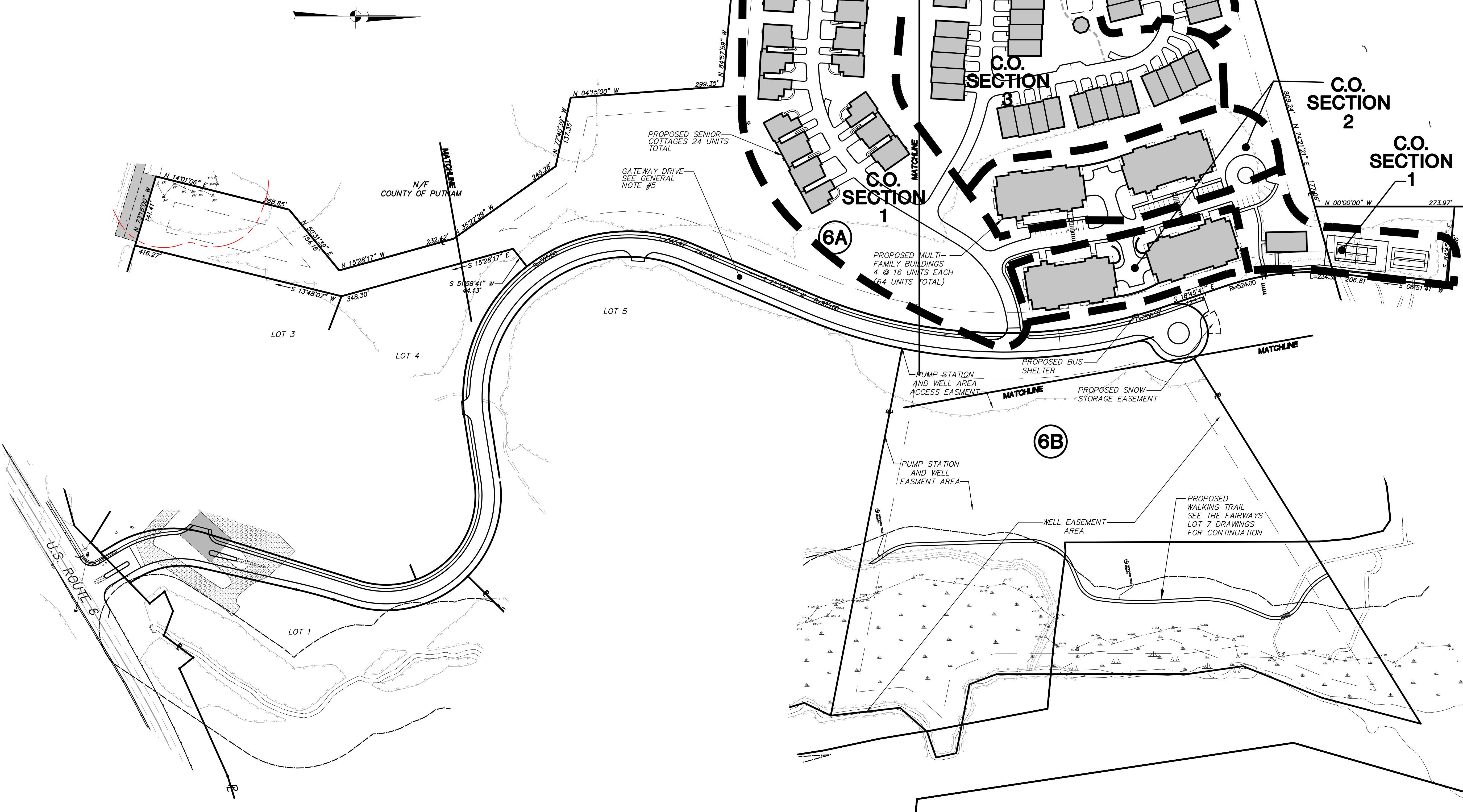
- N/F CENTENNIAL GOLF CLUB OF NEW YORK
- N/F CENTENNIAL GOLF CLUB OF NEW YORK
- N/F TRINITY EVAN LUTHERAN CHURCH
- N/F TOMPKINS TOWN OF CARMEL
- N/F BLANKS & RYDER
- N/F NAPOLIANO
- N/F DAGNONE
- N/F LOS
- N/F COUNTY OF PUTNAM
- N/F TOMPKINS
- N/F COUNTY OF PUTNAM
- N/F DURKIN WATER REALTY LLC
- N/F DURKIN
- N/F HUSSON VALLEY REALTY CORP.
- N/F DURKIN
- N/F BREWSTER-MEADOWLAND FL CAPITAL
- N/F TOWNSEND
- N/F COUNTY OF PUTNAM
- N/F COUNTY OF PUTNAM
- N/F TOWN OF CARMEL
- N/F OGDON
- N/F GIOIELLO
- N/F ROBERTS
- N/F TOBACCO
- N/F TORRE
- N/F MACCHIAROLO
- N/F GRIECO, GRIECO, GREATHY, & GRIECO
- N/F KRISTELLER & TANGRED
- N/F CONSTANCE
- N/F SWISI
- N/F PERRY
- N/F DARRAGH
- N/F BUONINCONTI
- N/F ROSSANO
- N/F NESS & GRABALA
- N/F COLELLA & COLLINS
- N/F KANE
- N/F BUTLER
- N/F HAZEL
- N/F LAZZARI
- N/F BEREZNAK
- N/F CAMILLERI
- N/F MCKEAN
- N/F MARINE MIDLAND BANK WEST MONT.
- N/F DIMARTINO
- N/F BROOKS
- N/F GRABALA
- N/F RAMIREZ
- N/F DEVINE
- N/F HOFFMAN
- N/F MORATTO
- N/F SEXTON
- N/F RINALDI & DYER
- N/F CENTENNIAL GOLF CLUB OF NEW YORK
- N/F CENTENNIAL GOLF CLUB OF NEW YORK



Location Map Scale: 1" = 1000'

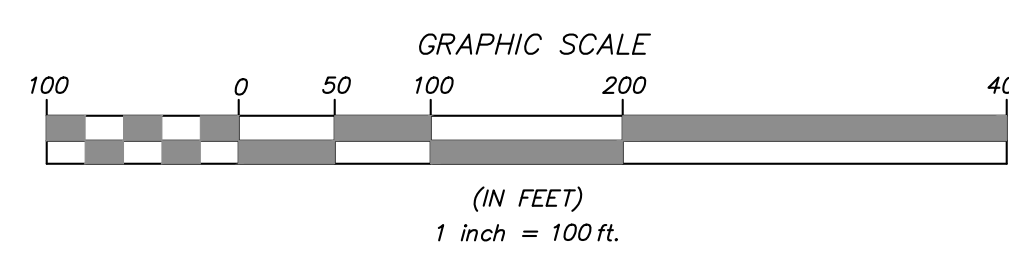
**General Notes:**

- Boundary, existing conditions and topographic information for subject property based on surveys by Terri Bergendorff Collins L.S.
- The wetland boundaries shown hereon were delineated by Tim Miller Associates and survey located by Terri Bergendorff Collins L.S., last revised June 2021.
- The subject application requires a special exception use permit in accordance with section 156-38 of the Town code as amended by Local Law 5 of 2006. The project conforms to the requirements of said law as follows:
  - The subject property is situated in a C/BP and R Zone, and is contiguous to a residential zone.
  - The site exceeds the minimum frontage of one hundred twenty-five (125) feet on a town road.
  - The site exceeds the minimum site area of five acres.
  - The site is served by municipal water (CWD#2) and municipal sewer (CSD#2).
  - The project density is 1.5 units/acre and is less than the permitted eight (8) dwelling units per acre.
  - The project density is 150 units and is equal to the permitted one hundred fifty (150) dwelling units and coverage of the lot by buildings is less than thirty-five percent.
  - All buildings are set back a minimum of forty (40) feet from the front property line.
  - No buildings exceed forty (40) feet in height or two (2) stories above ground. Note the lower level of the proposed buildings do not meet the definition of a story.
  - All multi-level buildings shall contain an elevator.
  - All buildings shall contain a fire suppression system.
  - The project exceeds the minimum of three hundred (300) square feet of recreation space per unit which includes a community room.
  - A minimum of one and one half (1.5) on site parking spaces are provided for each dwelling unit, including appropriate handicap parking.
  - All units shall be occupied exclusively by persons of fifty-five (55) years of age or older and the spouse of any such person.
  - The apartment sizes shall be a minimum of four hundred seventy-five (475) square feet for efficiency (studio) apartments and a minimum of six hundred (600) square feet for one bedroom apartments. The maximum number of bedrooms or potential bedrooms in an apartment/dwelling unit shall be three. The subject project proposes one hundred (100) units with a maximum total of three hundred (300) bedrooms.
  - The site is on a road that has a public bus route. There is an existing bus route on U.S. Route 6 and a proposed bus stop on Summit Drive.
  - The site is within 2,500 feet of retail and service establishments.
  - Washing machines and clothing dryers shall be located in a common laundry room in each building or in each unit.
  - All requirements of the New York State Fire and Building Code and all applicable state, county and town regulations shall be met.
- The subject property is Lot 6A and 6B as shown on a map entitled "Final Subdivision Plot prepared for the G and F Subdivision."
- These plans are based on the construction of Gateway Drive and its related infrastructure being substantially completed. A Building Permit shall not be issued until Gateway Drive is substantially complete in the vicinity of the project.
- The proposed buildings shall be protected by an automatic fire sprinkler system.
- The subject project is prohibited from using the municipal water system (CWD #2) for irrigation purposes.
- This site is proposed to be serviced by a water connection to CWD #2. This service connection is dependent on the proposed "high" pressure distribution system discussed in the FGDs.
- Rock removal is not anticipated with the proposed site work. Should rock be encountered, and blasting necessary, a blasting protocol shall be submitted to the Building Department.
- Offsite water details incorporated in these project plans are provided for information only. For installation of offsite water main and associated appurtenances see project plans entitled, Kelly Ridge Water Improvements.



**List of Drawings**

DRAWING NO.	DRAWING NAME	SHEET
OP-1	Overall Site Plan	1
SP-1.1	Layout & Landscape Plan	2
SP-1.2	Layout & Landscape Plan	3
SP-2.1	Grading & Utilities Plan	4
SP-2.2	Grading & Utilities Plan	5
SP-2.3	Grading, Sediment & Erosion Control Plan	6
SP-3.1	Sediment & Erosion Control Plan	7
SP-3.2	Sediment & Erosion Control Plan	8
OUP-1	Overall Utilities Plan	9
OGP-1	Overall Grading Plan	10
PR-1	Road Profiles	11
PR-2	Drainage Profiles	12
PR-3	Sewer Profiles	13
PR-4	Water Profiles	14
PR-5	Water Profiles	15
D-1	Site Details	16
D-2	Site Details	17
D-3	Site Details	18
D-4	Site Details	19
D-5	Site Details	20



NO.	DATE	REVISION	BY
15	8-2-21	REVISED PER ECB COMMENTS	JLT
14	1-14-13	REVISED FOR PCDDH REAPPROVAL	ZMP
13	11-13-12	REVISED FOR PCDDH REAPPROVAL	ZMP
12	7-30-10	GENERAL REVISIONS	DLM
11	2-26-09	REVISION TOWN COMMENTS	RCS
10	2-11-09	REVISIONS PER TOWN ENGINEER'S COMMENTS	KWM
9	1-28-09	GENERAL REVISIONS	BH
8	11-12-08	GENERAL REVISIONS	JLK
7	10-8-07	REVISED PER PCDDH & NYDEC COMMENTS	EMS
6	8-16-07	REVISED PER NYDEC COMMENTS	RCS
5	7-23-07	REVISED PER NYDEC COMMENTS	ZMP
4	5-2-07	REVISION PER TOWN PLANNER & PCDDH COMMENTS	PLK
3	4-3-07	REVISED PER NYDEC COMMENTS	ZMP
2	3-2-07	REVISED PER TOWN CONSULTANT'S COMMENTS	RCS
1	1-28-07	NYDEC SUBMISSION	ZMP

**INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.**  
3 Garrett Place  
Carmel, NY 10512  
(845) 225-8650  
(845) 225-9717 fax  
www.insite-eng.com

PROJECT: **GATEWAY SUMMIT - LOT 6A SENIOR HOUSING DEVELOPMENT**  
U.S. ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING: **OVERALL SITE PLAN**

PROJECT NO. 04232.106 PROJECT MANAGER S.W.B. DRAWING NO. SHEET 1 OF 20  
DATE 12-15-06 DRAWN BY R.C.S. OP-1  
SCALE AS SHOWN CHECKED BY D.L.M.

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 143 OF THE EDUCATION LAW.



**General Notes:**

- Boundary, existing conditions and topographic information for subject property based on surveys by Terri Bernador Collins.
- The wetland boundaries shown herein were delineated by Tim Miller Associates and survey located by Terri Bernador Collins.

**Planting Notes:**

- All plant materials to be nursery grown.
- Plants shall conform with the American Association of Nurserymen Standards in all ways including dimensions.
- Plants shall be planted in all locations designated on the plan or as staked in the field.
- All plants shall be hardy under climate conditions similar to those in the locality which they are to be planted.
- 3" of Pine Bark Mulch shall be spread over all planting beds areas.
- All proposed seeded areas to receive 4" min. depth of topsoil; all proposed landscaped areas to receive 12" min. depth of topsoil.
- Upon final grading and placement of topsoil and any required soil amendments, areas to receive permanent vegetation cover in combination with suitable mulch as follows:

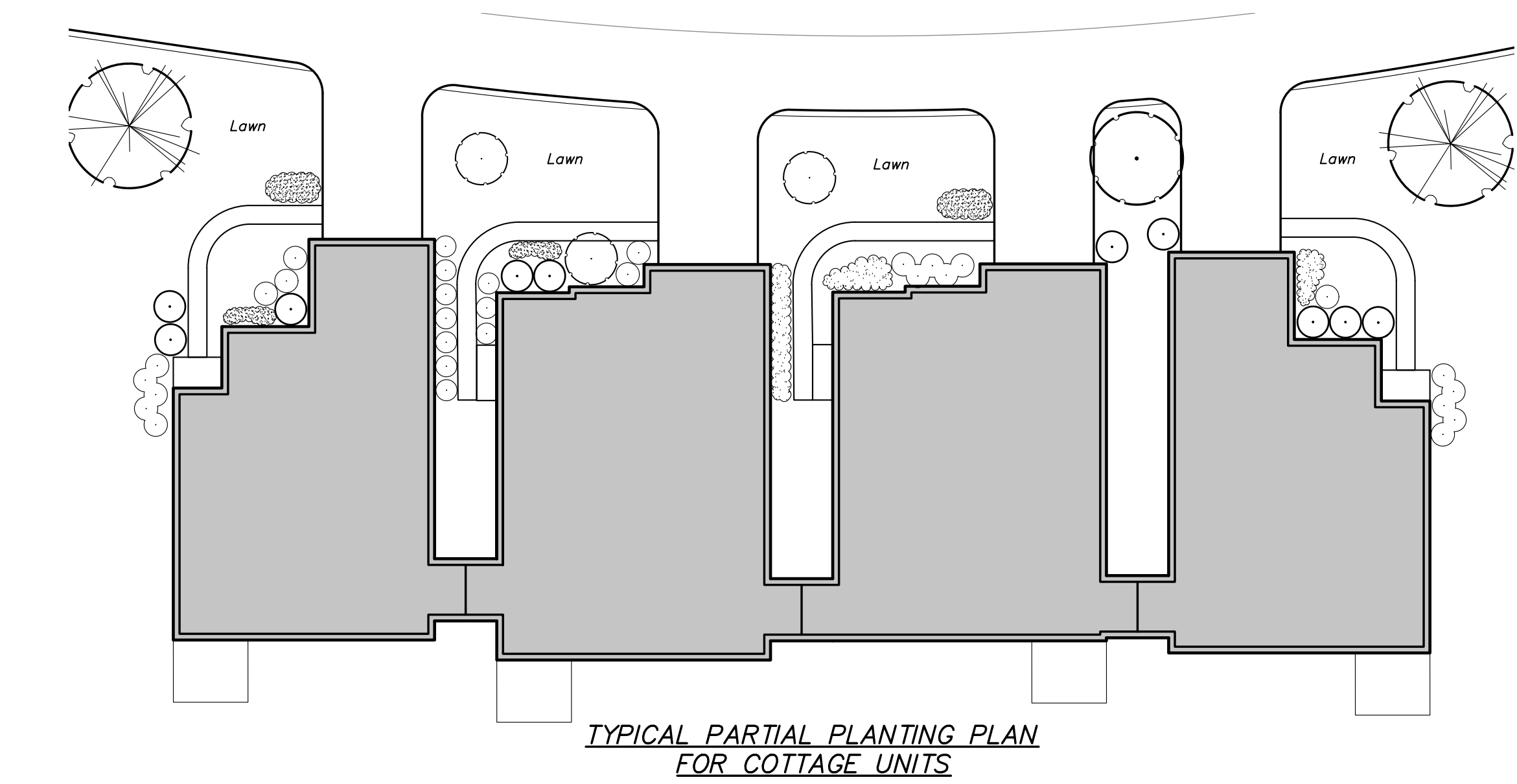
-Fertilizer applied at the rate of 14 lbs./1000 sf using 10-6-4 or equivalent.

-Seed mixture to be planted between April 1 and May 15, or between August 15 and October 15 or as directed by Project Representative at a rate of 50 lbs./acre in the following proportions:

- Kentucky Bluegrass 20%
- Creeping Red Fescue 40%
- Perennial Ryegrass 20%
- Annual Ryegrass 20%

-Mulch: Salt Hay or Small Grain Straw applied at a rate of 90 lbs./1000 sf or 2 tons/acre, to be applied and anchored according to New York State Guidelines for Urban Erosion & Sediment Control, Latest Edition.

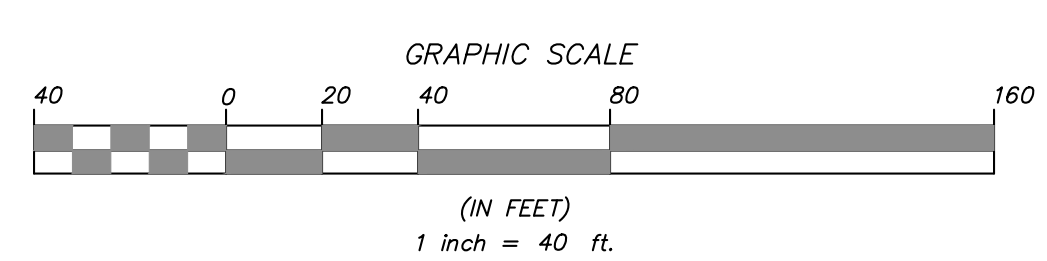
-If the season prevents the establishment of a permanent vegetation cover, the disturbed area will be mulched with straw or equivalent.



TYPICAL PARTIAL PLANTING PLAN FOR COTTAGE UNITS  
SCALE: 1"=20'

KEY	BOTANICAL/COMMON NAME	SIZE	ROOT	REMARKS
<b>SHADE TREES</b>				
RM	Acer rubrum 'October Glory' / October Glory Red Maple	2 1/2" - 3" CAL.	B & B	
SD	Liquidambar styraciflua / Sweetgum	2 1/2" - 3" CAL.	B & B	
PD	Quercus palustris / Pin Oak	2 1/2" - 3" CAL.	B & B	
BR	Betula papyrifera / Paper Birch	8" - 10" HT.	B & B	Multi-stem
OT	Quercus tinctoria / Heavy Leaved	8" - 10" HT.	B & B	
LS	Tilia cordata / Little Leaf Linden	8" - 10" HT.	B & B	
<b>FLOWERING TREES</b>				
BP	Prunus caryocarpa 'Broadford' / Bradford Pear	2" - 2 1/2" CAL.	B & B	
DGG	Cornus florida / Flower Dogwood	7" - 8" HT.	B & B	
DRB	Cercis canadensis / Eastern Redbud	8" - 10" HT.	B & B	
SS	Amelanchier canadensis / Shadblow Serviceberry	8" - 10" HT.	B & B	Multi-stem
WH	Crataegus phaenopynum / Washington Hawthorn	2" - 2 1/2" CAL.	B & B	
PP	Prunus cerasifera / Purple Leaf Plum	2" - 2 1/2" CAL.	B & B	
CA	Malus floribunda / Japanese Flowering Crabapple	2" - 2 1/2" CAL.	B & B	
<b>SHRUBS &amp; GROUNDCOVERS</b>				
PAT	Potentilla fruticosa 'Serenity' / Serenity Potentilla	2 GAL.	CONT.	
DAY	Hemerocallis 'Stalo D'oro' / Miniature Daylilies	2 GAL.	CONT.	
JAN-1	Juniperus horizontalis 'Plumosa Nano' / Dwarf Anemone Juniper	3 GAL.	CONT.	
JAN-2	Juniperus sargentii / Sargent's Juniper	3 GAL.	CONT.	
JAN-3	Juniperus horizontalis 'Blue Rug' / Blue Rug Juniper	2 GAL.	CONT.	
JAM	Rhododendron 'TAM' / TAM Rhododendron	2" - 2 1/2" HT.	B & B	
PG	Rhododendron 'Purple Gem' / Purple Gem Rhododendron	3 GAL.	CONT.	
COF	Cotoneaster spicatus / Cranberry Cotoneaster	3 GAL.	CONT.	
W	Ilex mesaeas / Holly	4" - 5" HT.	B & B	
RTD	Cornus sericea / Red Twig Dogwood	4" - 5" HT.	B & B	
SPR	Spiraea japonica 'Anthony Waterer' / Anthony Waterer Spiraea	3" - 4" HT.	CONT.	
AND	Plantago lanceolata 'M. F. M.' / M. F. M. Andromeda	2" - 1 1/2" HT.	CONT.	
RHO	Rhododendron catawbiense / Catawba Rhododendron	2 1/2" - 3" HT.	CONT.	
IKV	Ilex glabra compacta / Dwarf Inkberry	18" - 24" HT.	CONT.	
TAX	Taxus canadensis 'Sagami' / English Yew	18" - 24" HT.	CONT.	
FOR	Foraythia x intermedia / Border Forsythia	4" - 5" HT.	CONT.	
VC	Vaccinium angustifolium / Lowbush Blueberry	3 GAL.	CONT.	
VB	Viburnum pumilium / Blackhaw Viburnum	2 1/2" - 3" HT.	B & B	
BB	Euonymus alatus 'compacta' / Dwarf Burning Bush	2 1/2" - 3" HT.	CONT.	
HY	Hydrangea arborescens 'Annabelle' / Hydrangea	5 GAL.	CONT.	

Key	Sign	M.U.T.C.D. Number	Size of Sign (s.f.)	Description
1	STOP	R1-1C	30" x 30"	White on Red
2	PLANE	R7-8	12" x 18"	Blue on White
3	YIELD	R4-7C	24" x 30"	Black on White



LEGEND	
	Property Line
	Building Setback Line
	Existing Wetland Designation
	Existing Wetland Limit Line With Flag
	Existing Watercourse
	100' Wetland Buffer
	Existing Treeline
	Existing Tree to be Removed
	Proposed Guideway
	Proposed Curb
	Proposed Landscaping
	Proposed Tree Line
	Proposed Post Mounted Light
	Proposed Building Mounted Light
	Proposed Refuse Enclosure

NO.	DATE	REVISION	BY
9	8-2-21	REVISED PER ECB COMMENTS	J.T
8	11-13-12	REVISED FOR PCDOH REAPPROVAL	DMP
7	7-30-10	GENERAL REVISIONS	ZMP
6	8-16-07	REVISED PER NYCDEP COMMENTS	RCS
5	7-23-07	REVISED PER NYCDEP COMMENTS	ZMP
4	5-2-07	REVISION PER TOWN PLANNER & PCDOH COMMENTS	PLK
3	4-3-07	REVISED PER NYCDEP COMMENTS	ZMP
2	3-2-07	REVISED PER TOWN CONSULTANT'S COMMENTS	RCS
1	1-28-07	NYCDEP SUBMISSION	ZMP

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(845) 225-9650  
(845) 225-9717 fax  
www.insite-eng.com

PROJECT: GATEWAY SUMMIT - LOT 6A SENIOR HOUSING DEVELOPMENT  
U.S. ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING: LAYOUT & LANDSCAPE PLAN

PROJECT NO. 04232.106 PROJECT MANAGER S.W.B. DRAWING NO. 12-15-06 DRAWN BY R.C.S. SHEET 2 OF 20  
DATE 12-15-06 CHECKED BY D.L.M. SP-1.1

SCALE AS SHOWN

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 143 OF THE EDUCATION LAW.





**LEGEND**

- Property Line
- Building Setback Line
- Existing Wetland Designation
- Existing Wetland Limit Line With Flag
- Existing Watercourse
- 100' Wetland Buffer
- Existing Treeline
- Existing Treeline to be Removed
- Proposed Gutter
- Proposed Curb
- Proposed Landscaping
- Proposed Tree Line
- Proposed Post Mounted Light
- Proposed Building Mounted Light
- Proposed Refuse Enclosure

**PLANT LIST**

KEY	BOTANICAL/COMMON NAME	SIZE	ROOT	REMARKS
<b>SHADE TREES</b>				
RM	Acer rubrum 'October Glory' / October Glory Red Maple	2 1/2" - 3" CAL.	B & B	
SD	Liquidambar styraciflua / Sweetgum	2 1/2" - 3" CAL.	B & B	
RD	Quercus rubra / Pin Oak	2 1/2" - 3" CAL.	B & B	
BR	Betula papyrifera / Paper Birch	6" - 10" HT.	B & B	Multi-stem
GT	Gleditsia triacanthos / Honey Locust	6" - 10" HT.	B & B	
LL	Thea verticillata / Little Leaf Linden	6" - 10" HT.	B & B	
<b>FLOWERING TREES</b>				
BP	Pyrus calleryana 'Bradford' / Bradford Pear	2" - 2 1/2" CAL.	B & B	
DWG	Cornus Kousa / Kousa Dogwood	7" - 8" HT.	B & B	
DBE	Gaultheria canadensis / Eastern Redbud	6" - 10" HT.	B & B	
SS	Amenanthe canadensis / Shadbush Serviceberry	6" - 10" HT.	B & B	Multi-stem
WH	Dracopis phaeospermum / Washington Hawthorn	2" - 2 1/2" CAL.	B & B	
PP	Prunus cerasifera / Purple Leaf Plum	2" - 2 1/2" CAL.	B & B	
CA	Malus floribunda / Japanese Flowering Crabapple	2" - 2 1/2" CAL.	B & B	
<b>SHRUBS &amp; GROUNDCOVERS</b>				
POT	Potentilla fruticosa 'Supera' / Supera Potentilla	2 GAL.	CONT.	
DAY	Hemerocallis 'Stella D'Oro' / Miniature Daylily	2 GAL.	CONT.	
JUN-1	Juniperus horizontalis 'Plumosa Nano' / Dwarf Aramae Juniper	3 GAL.	CONT.	
JUN-2	Juniperus sargentii / Sargent's Juniper	3 GAL.	CONT.	
JUN-3	Juniperus horizontalis 'Blue Rug' / Blue Rug Juniper	2 GAL.	CONT.	
JUN-4	Rhododendron 'M.M.' / M.M. Rhododendron	2" - 2 1/2" HT.	B & B	
RD	Rhododendron 'Purple Gem' / Purple Gem Rhododendron	3 GAL.	CONT.	
COT	Cotoneaster glauca / Crabapple Cotoneaster	3 GAL.	CONT.	
W	Wax Myrtle / Holly	4" - 5" HT.	B & B	
RD	Cornus Sericea / Red Twig Dogwood	4" - 5" HT.	B & B	
SPR	Spiraea japonica 'Anthony Waters' / Anthony Waters Spiraea	3" - 4" HT.	CONT.	
AND	Flora japonica Mt. Fire / Mt. Fire Anemone	2" - 2 1/2" HT.	CONT.	
RHO	Rhododendron coccineum / Coccineum Rhododendron	2 1/2" - 3" HT.	CONT.	
NK	Nex glabra compacta / Dwarf Inkberry	18" - 24" HT.	CONT.	
TAX	Taxus baccata 'repens' / English Yew	4" - 5" HT.	CONT.	
FOR	Forstia x intermedia / Boxer Forstia	18" - 24" HT.	CONT.	
VC	Vaccinium angustifolium / Lowbush Blueberry	3 GAL.	CONT.	
VB	Viburnum prunifolium / Blackhaw Viburnum	2 1/2" - 3" HT.	B & B	
BB	Euonymus alatus 'compactus' / Dwarf Burning Bush	2 1/2" - 3" HT.	CONT.	
HY	Hydrangea arborescens 'Innabelle' / Hydrangea	5 GAL.	CONT.	

10	8-2-21	REVISED PER ECB COMMENTS	JLT
9	11-13-12	REVISED FOR PCDOH REAPPROVAL	ZMP
8	7-30-10	GENERAL REVISIONS	DLM
7	11-12-08	GENERAL REVISIONS	JLK
6	8-16-07	REVISED PER NYCDP COMMENTS	RCS
5	7-23-07	REVISED PER NYCDP COMMENTS	ZMP
4	5-2-07	REVISION PER TOWN PLANNER & PCDOH COMMENTS	PLK
3	4-3-07	REVISED PER NYCDP COMMENTS	ZMP
2	3-2-07	REVISIONS PER TOWN CONSULTANT'S COMMENTS	EMW
1	1-28-07	NYCDP SUBMISSION	ZMP
NO.	DATE	REVISION	BY

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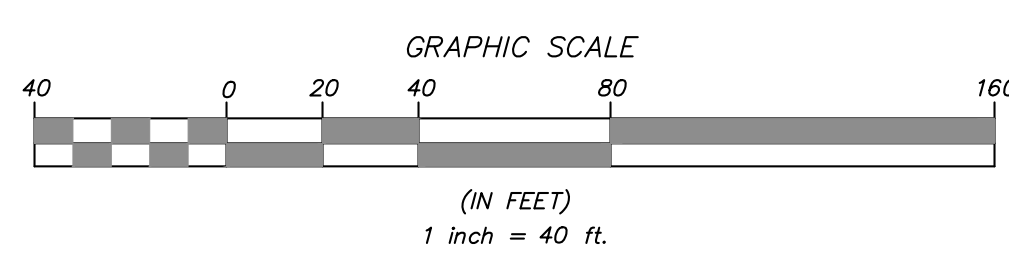
3 Garrett Place  
Carmel, NY 10512  
(845) 225-9650  
(845) 225-9717 fax  
www.insite-ny.com

PROJECT:  
**GATEWAY SUMMIT - LOT 6A**  
SENIOR HOUSING DEVELOPMENT  
U.S. ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING:  
**LAYOUT & LANDSCAPE PLAN**

PROJECT NO. 04232.106 PROJECT MANAGER S.W.B. DRAWING NO. SHEET 3  
DATE 12-15-06 DRAWN BY R.C.S. BY SP-1.2  
SCALE AS SHOWN CHECKED BY D.L.M.

STATE OF NEW YORK  
LANDSCAPE ARCHITECTURE  
Professional Engineer Seal



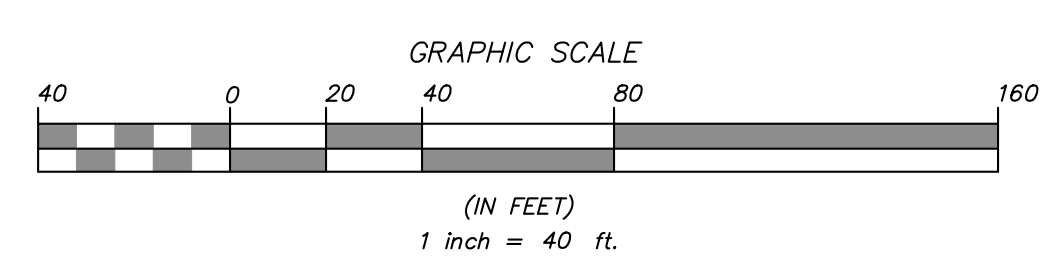
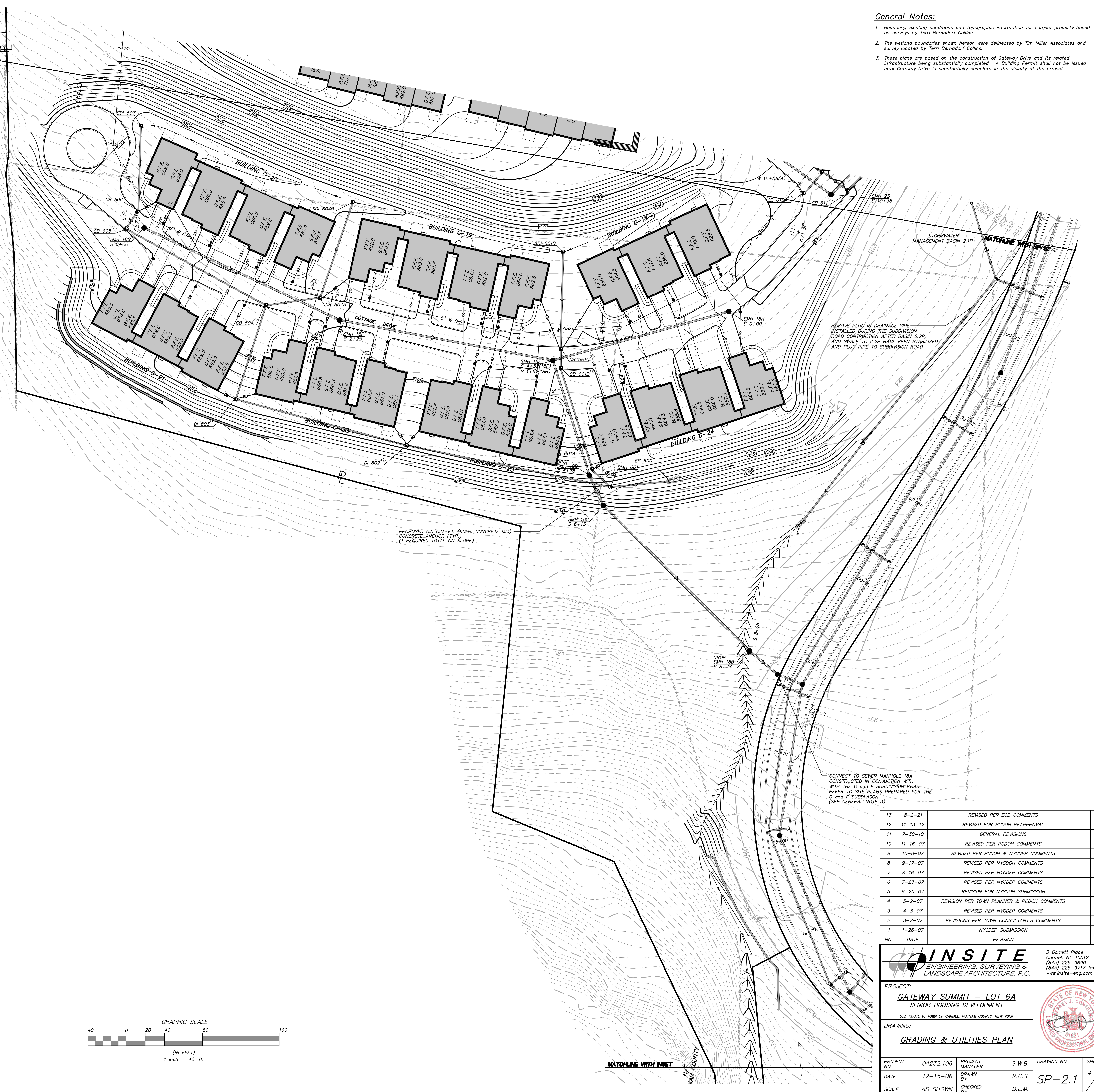
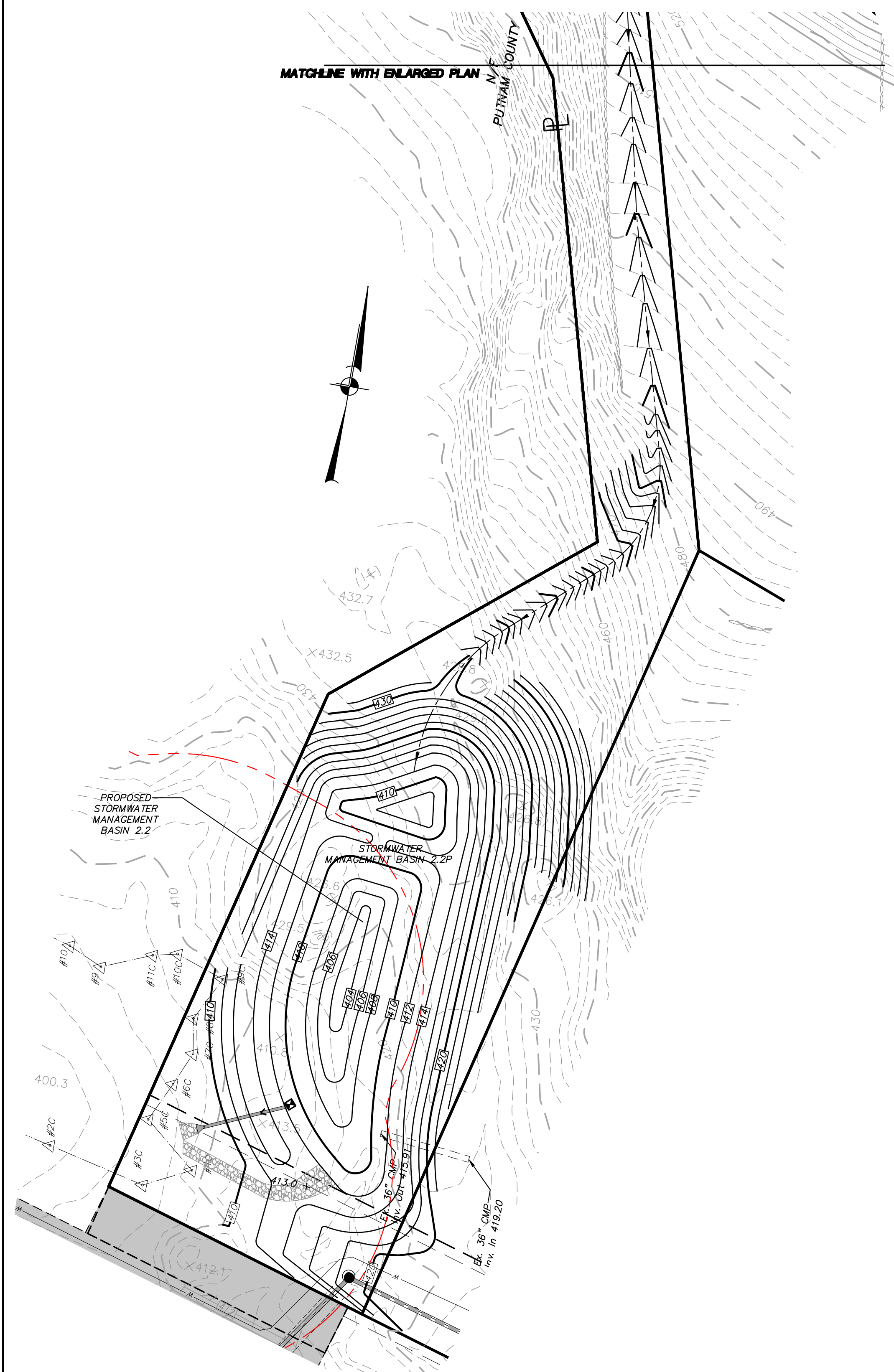
ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 143 OF THE EDUCATION LAW.



- General Notes:**
- Boundary, existing conditions and topographic information for subject property based on surveys by Terri Bernhardt Collins.
  - The wetland boundaries shown hereon were delineated by Tim Miller Associates and survey located by Terri Bernhardt Collins.
  - These plans are based on the construction of Gateway Drive and its related infrastructure being substantially completed. A Building Permit shall not be issued until Gateway Drive is substantially complete in the vicinity of the project.

**LEGEND**

	Property Line		Proposed Curb
	Existing 2' Contour		Proposed Catch Basin/Drain Inlet
	Existing 10' Contour		Proposed Drainage Manhole
	Proposed 2' Contour		Proposed Outlet Structure
	Proposed 10' Contour		Proposed End Section
	Existing Stonewall		Proposed HDPE Drainage Pipe (See profiles for pipe sizes)
	Existing Town Wetland Limit Line with Flag		Proposed Rip Rap Apron
	Existing Town/NYSDEC Wetland Limit Line with Flag		Proposed Sewer Manhole
	Existing DEC Wetland Limit Line with Flag		Proposed 8" PVC SDR 35 Sewer Main
	Existing Watercourse		Proposed Hydrant with Gate Valve
	100' Wetland Buffer		Proposed Low Pressure Water Main (Sized as noted)
	Existing Utility Pole with Overhead Wires		Proposed High Pressure Water Main (Sized as noted)
	Existing Manhole		Proposed Swale
	Existing Sewer Manhole		Proposed 4" PVC DR 14 Water Service with Gate Valve
	Existing Sewer Main		Proposed 6" PVC SDR 35 Sewer Service
	Existing Water Main		Proposed 1" Type K Copper Water Service Line with Curb Stop and Curb Box
	Existing Drainage Pipe		Proposed 4" PVC SDR 35 Sewer Service Line



13	8-2-21	REVISED PER ECB COMMENTS	JLT
12	11-13-12	REVISED FOR PCDOH REAPPROVAL	ZMP
11	7-30-10	GENERAL REVISIONS	DLM
10	11-16-07	REVISED PER PCDOH COMMENTS	PLK
9	10-8-07	REVISED PER PCDOH & NYDEP COMMENTS	EMS
8	9-17-07	REVISED PER NYSDOH COMMENTS	JBB
7	8-16-07	REVISED PER NYDEP COMMENTS	RCS
6	7-23-07	REVISED PER NYDEP COMMENTS	ZMP
5	6-20-07	REVISION FOR NYSDOH SUBMISSION	EMS
4	5-2-07	REVISION PER TOWN PLANNER & PCDOH COMMENTS	PLK
3	4-3-07	REVISED PER NYDEP COMMENTS	ZMP
2	3-2-07	REVISIONS PER TOWN CONSULTANT'S COMMENTS	RCS
1	1-28-07	NYDEP SUBMISSION	ZMP
NO.	DATE	REVISION	BY

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PROJECT:  
**GATEWAY SUMMIT - LOT 6A**  
SENIOR HOUSING DEVELOPMENT  
U.S. ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING:  
**GRADING & UTILITIES PLAN**

PROJECT NO. 04232.106 PROJECT MANAGER S.W.B. DRAWING NO. DRAWN BY R.C.S. SHEET 4 OF 20  
DATE 12-15-06 CHECKED BY D.L.M. **SP-2.1**

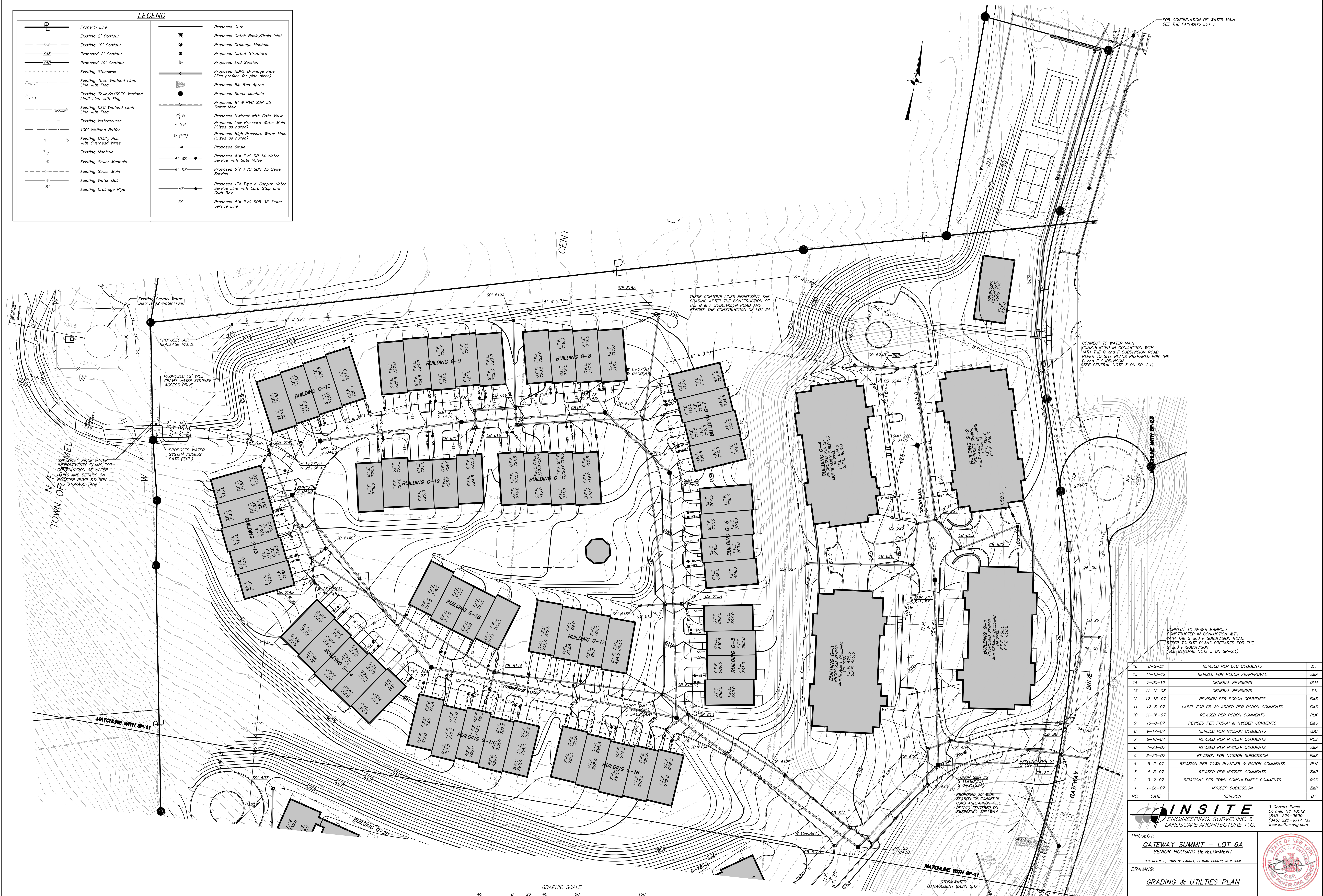
STATE OF NEW YORK  
REGISTERED PROFESSIONAL ENGINEER  
19151

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**LEGEND**

	Property Line		Proposed Curb
	Existing 2' Contour		Proposed Catch Basin/Drain Inlet
	Existing 10' Contour		Proposed Drainage Manhole
	Proposed 2' Contour		Proposed Outlet Structure
	Proposed 10' Contour		Proposed End Section
	Existing Stonewall		Proposed HDPE Drainage Pipe (See profiles for pipe sizes)
	Existing Town Wetland Limit Line with Flag		Proposed Rip Rap Apron
	Existing Town/NYSDEC Wetland Limit Line with Flag		Proposed Sewer Manhole
	Existing DEC Wetland Limit Line with Flag		Proposed 8" # PVC SDR 35 Sewer Main
	Existing Watercourse		Proposed Hydrant with Gate Valve
	100' Wetland Buffer		Proposed Low Pressure Water Main (Sized as noted)
	Existing Utility Pole with Overhead Wires		Proposed High Pressure Water Main (Sized as noted)
	Existing Manhole		Proposed Swale
	Existing Sewer Manhole		Proposed 4" # PVC DR 14 Water Service with Gate Valve
	Existing Sewer Main		Proposed 6" # PVC SDR 35 Sewer Service
	Existing Water Main		Proposed 1" # Type K Copper Water Service Line with Curb Stop and Curb Box
	Existing Drainage Pipe		Proposed 4" # PVC SDR 35 Sewer Service Line



16	8-2-21	REVISED PER ECB COMMENTS	J.T
15	11-13-12	REVISED FOR PCDOH REAPPROVAL	ZMP
14	7-30-10	GENERAL REVISIONS	DLM
13	11-12-08	GENERAL REVISIONS	JLK
12	12-13-07	REVISION PER PCDOH COMMENTS	EMS
11	12-5-07	LABEL FOR CB 29 ADDED PER PCDOH COMMENTS	EMS
10	11-16-07	REVISED PER PCDOH COMMENTS	PLK
9	10-8-07	REVISED PER NYCDPE COMMENTS	EMS
8	9-17-07	REVISED PER NYSOHD COMMENTS	JBB
7	8-16-07	REVISED PER NYCDPE COMMENTS	RCS
6	7-23-07	REVISED PER NYCDPE COMMENTS	ZMP
5	6-20-07	REVISION FOR NYCDPE SUBMISSION	EMS
4	5-2-07	REVISION PER TOWN PLANNER & PCDOH COMMENTS	PLK
3	4-3-07	REVISED PER NYCDPE COMMENTS	ZMP
2	3-2-07	REVISIONS PER TOWN CONSULTANT'S COMMENTS	RCS
1	1-28-07	NYCDPE SUBMISSION	ZMP
NO.	DATE	REVISION	BY

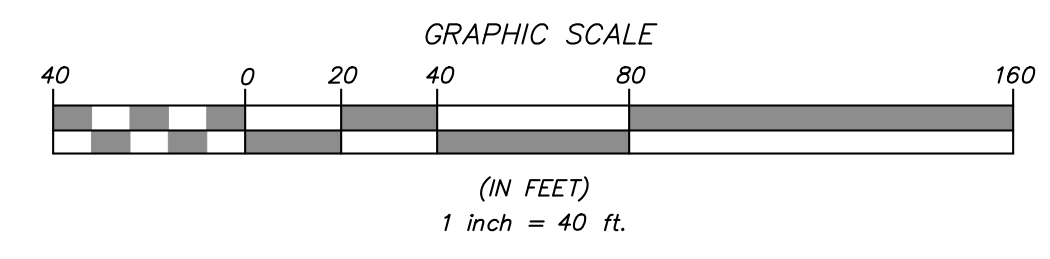
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(845) 225-8650  
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PROJECT: **GATEWAY SUMMIT - LOT 6A**  
SENIOR HOUSING DEVELOPMENT  
U.S. ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING: **GRADING & UTILITIES PLAN**

PROJECT NO: 04232.106 PROJECT MANAGER: S.W.B. DRAWING NO: SP-2.2 SHEET: 5/20  
DATE: 12-15-06 DRAWN BY: R.C.S. CHECKED BY: D.L.M.



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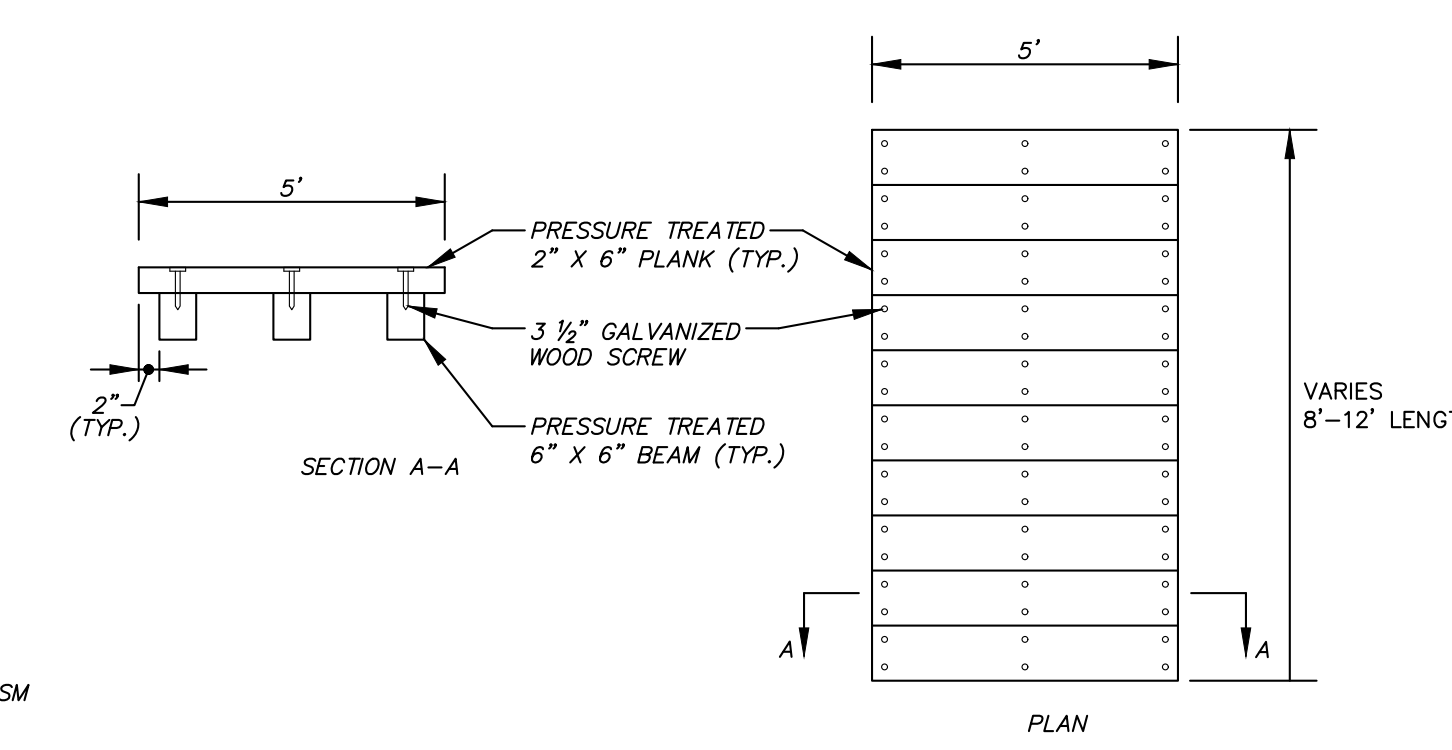
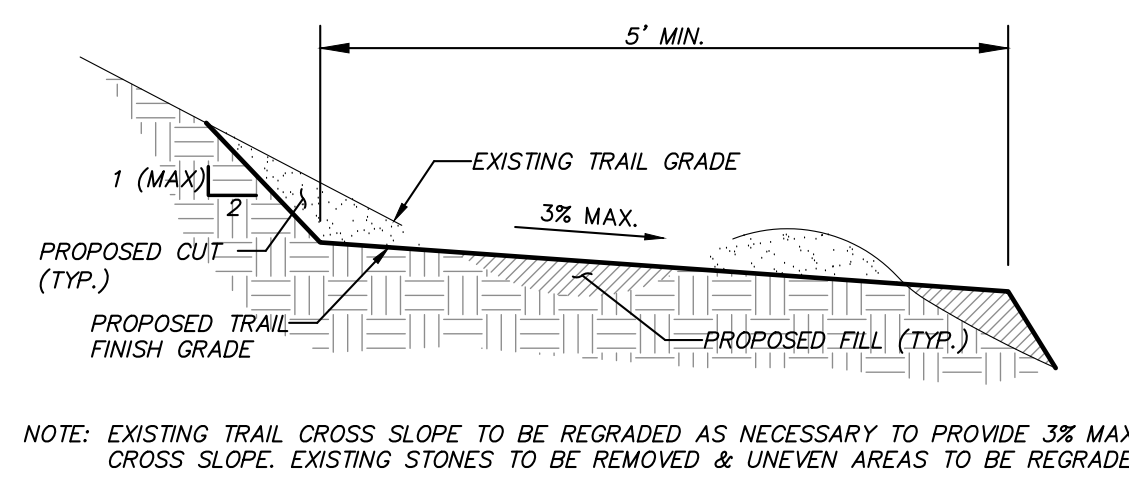
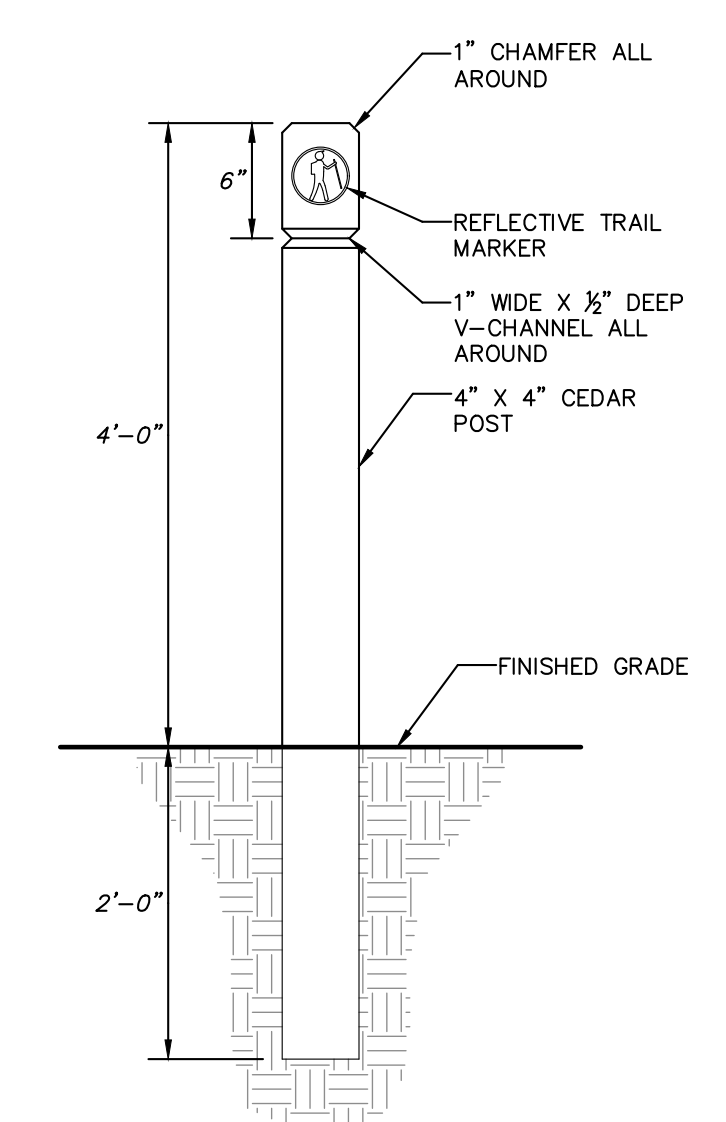




**Note:**  
Refer to Drawing SP-3.1 for Sediment and Erosion Control Notes, Overall Construction Sequence, and Construction Sequence Notes.

LEGEND			
	Property Line		Proposed Curb
	Existing 2' Contour		Proposed Catch Basin/Drain Inlet
	Existing 10' Contour		Proposed Drainage Manhole
	Proposed 2' Contour		Proposed Outlet Structure
	Proposed 10' Contour		Proposed End Section
	Existing Stone Wall		Proposed HDPE Drainage Pipe (See profiles for pipe sizes)
	Existing Town Wetland Limit Line with Flag		Proposed Rip Rap Apron
	Existing Town/NYSDEC Wetland Limit Line with Flag		Proposed Sewer Manhole
	Existing DEC Wetland Limit Line with Flag		Proposed 8" # PVC SDR 35 Sewer Main
	Existing Watercourse		Proposed Hydrant with Gate Valve
	100' Wetland Buffer		Proposed Low Pressure Water Main (Sized as noted)
	Existing Utility Pole with Overhead Wires		Proposed High Pressure Water Main (Sized as noted)
	Existing Manhole		Proposed Swale
	Existing Sewer Manhole		Proposed 4" # PVC DR 14 Water Service with Gate Valve
	Existing Sewer Main		Proposed 6" # PVC SDR 35 Sewer Service
	Existing Water Main		Proposed 1" # Type K Copper Water Service Line with Curb Stop and Curb Box
	Existing Drainage Pipe		Proposed 4" # PVC SDR 35 Sewer Service Line

EC LEGEND	
	Proposed Limit of Disturbance Line
	Proposed Silt Fence
	Proposed Stabilized Construction Entrance
	Proposed Construction Phase
	Proposed Construction Phase Line
	Proposed Temporary Swale

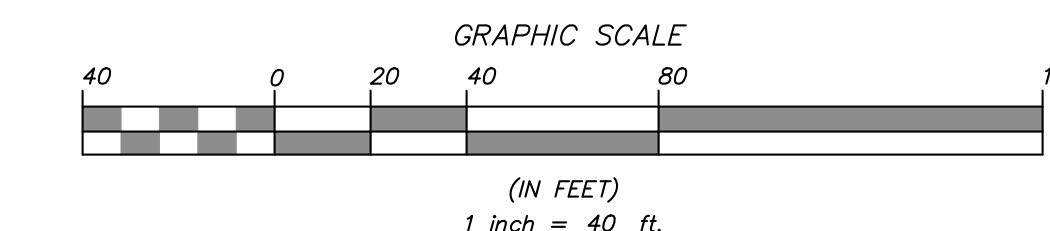


REFLECTIVE TRAIL MARKER AS MANUFACTURED BY NUTRON-OSM (WWW.NUTRON-OSM.COM) OR EQUIVALENT, MOUNTED EVERY 100'S ALONG TRAIL AND AT FORKS IN TRAIL. DISTANCE MARKERS TO BE LOCATED EVERY 1/10 MILE AS LABELLED ON DWGS. SP-1.1, SP-1.2 & SP-1.3.

TRAIL MARKER POST DETAIL (N.T.S.)

TRAIL IMPROVEMENT DETAIL (N.T.S.)

WOOD PLANK DRAINAGE DITCH CROSSING DETAIL (N.T.S.)



NO.	DATE	REVISION	BY
3	8-2-21	REVISED PER ECB COMMENTS	JLT
2	11-13-12	REVISED FOR PCDDM REAPPROVAL	ZMP
1	12-23-10	ADD TRAIL MARKERS AND TRAIL DETAILS	DLM

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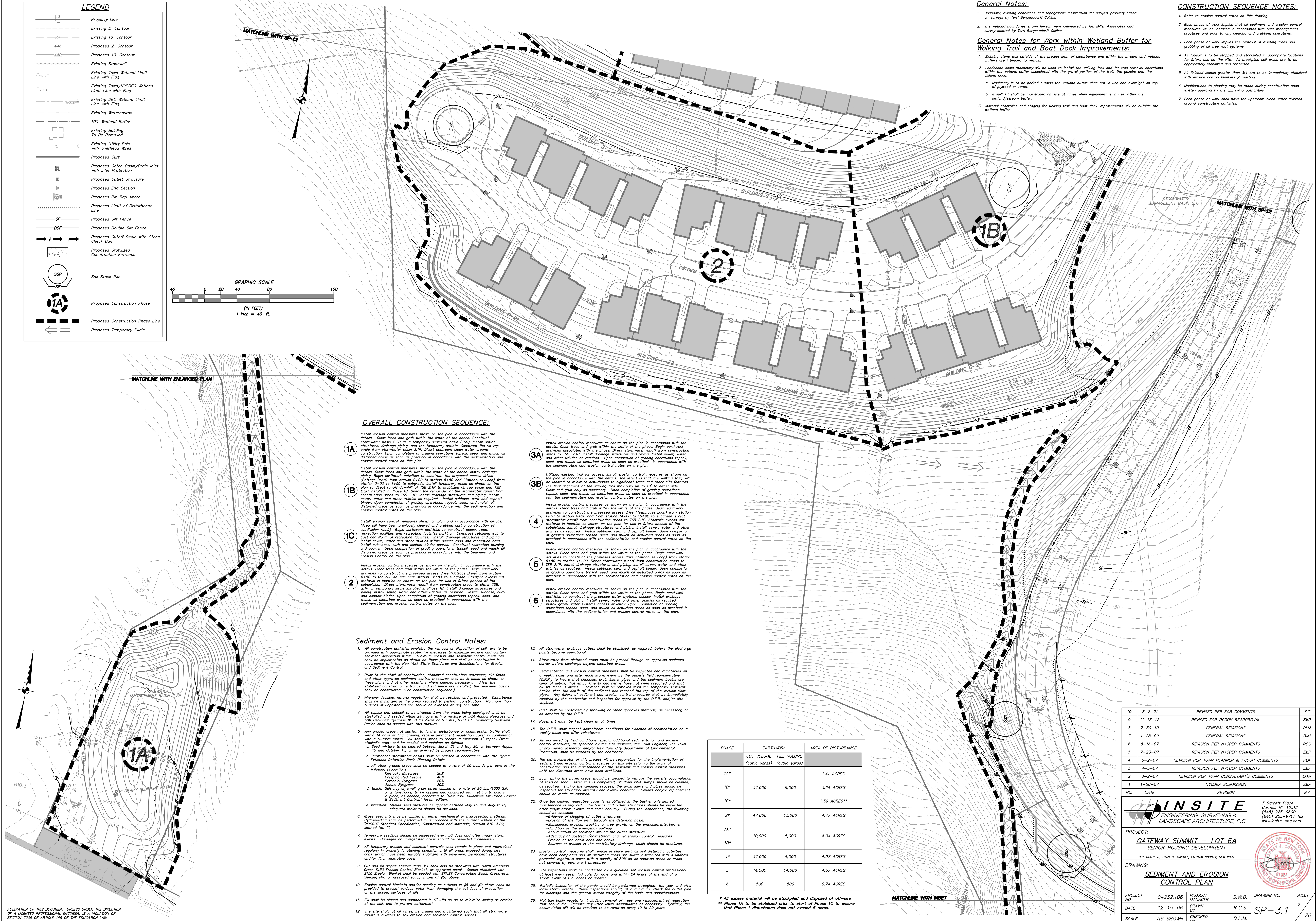
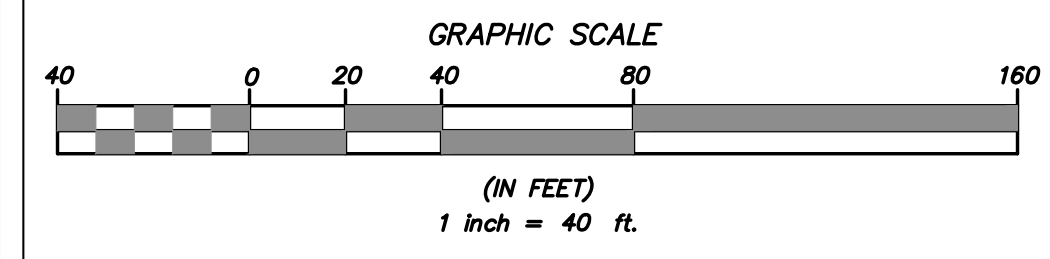
PROJECT: <b>GATEWAY SUMMIT - LOT 6A</b> SENIOR HOUSING DEVELOPMENT U.S. ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK		
DRAWING: <b>GRADING, SEDIMENT &amp; EROSION CONTROL PLAN</b>		
PROJECT NO. 04232.106	PROJECT MANAGER S.W.B.	DRAWING NO. 6
DATE 7-30-10	DRAWN BY J.L.K.	SHEET 6
SCALE AS SHOWN	CHECKED BY D.L.M.	SP-2.3

ALTERNATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 143 OF THE EDUCATION LAW.



**LEGEND**

	Property Line
	Existing 2' Contour
	Existing 10' Contour
	Proposed 2' Contour
	Proposed 10' Contour
	Existing Stenwall
	Existing Town Wetland Limit Line with Flag
	Existing Town/NYSDEC Wetland Limit Line with Flag
	Existing DEC Wetland Limit Line with Flag
	Existing Watercourse
	100' Wetland Buffer
	Existing Building To Be Removed
	Existing Utility Pole with Overhead Wires
	Proposed Curb
	Proposed Catch Basin/Drain Inlet with Inlet Protection
	Proposed Outlet Structure
	Proposed End Section
	Proposed Rip Rap Apron
	Proposed Limit of Disturbance Line
	Proposed Silt Fence
	Proposed Double Silt Fence
	Proposed Cutoff Swale with Stone Check Dam
	Proposed Stabilized Construction Entrance
	Soil Stock Pile
	Proposed Construction Phase 1A
	Proposed Construction Phase 1B
	Proposed Temporary Swale



- General Notes:**
- Boundary, existing conditions and topographic information for subject property based on surveys by Terri Bergendorff Collins.
  - The wetland boundaries shown here were delineated by Tim Miller Associates and survey located by Terri Bergendorff Collins.
- General Notes for Work within Wetland Buffer for Walking Trail and Boat Dock Improvements:**
- Existing stone wall outside of the project limit of disturbance and within the stream and wetland buffers are intended to remain.
  - Landscape scale machinery will be used to install the walking trail and for tree removal operations within the wetland buffer associated with the gravel portion of the trail, the gazebo and the fishing dock.
    - Machinery is to be parked outside the wetland buffer when not in use and overnight on top of plywood or tarps.
    - A spill kit shall be maintained on site at times when equipment is in use within the wetland/stream buffer.
  - Material stockpiles and staging for walking trail and boat dock improvements will be outside the wetland buffer.
- CONSTRUCTION SEQUENCE NOTES:**
- Refer to erosion control notes on this drawing.
  - Each phase of work implies that all sediment and erosion control measures will be installed in accordance with best management practices and prior to any clearing and grading operations.
  - Each phase of work implies the removal of existing trees and grubbing of all tree root systems.
  - All topsoil is to be striped and stockpiled in appropriate locations for future use on the site. All stockpiled soil areas are to be appropriately stabilized and protected.
  - All finished slopes greater than 3:1 are to be immediately stabilized with erosion control blankets / matting.
  - Modifications to phasing may be made during construction upon written approval by the approving authorities.
  - Each phase of work shall have the upstream clean water diverted around construction activities.

**OVERALL CONSTRUCTION SEQUENCE:**

- 1A** Install erosion control measures shown on the plan in accordance with the details. Clear trees and grub within the limits of the phase. Construct stormwater basin 2.2P as a temporary sediment basin (TSB). Install outlet structures, drainage piping, and the temporary access drive. Construct the top swale from stormwater basin 2.1P. Divert upstream clean water around construction. Upon completion of grading operations, topsoil, seed, and mulch all disturbed areas as soon as practical in accordance with the sedimentation and erosion control notes on this plan.
- 1B** Install erosion control measures shown on the plan in accordance with the details. Clear trees and grub within the limits of the phase. Install drainage piping. Begin earthwork activities to construct the proposed access drive (Cottage Drive) from station 0+00 to station 6+50 and (Townhouse Loop) from station 0+00 to 1+50 to subgrade. Install temporary swale as shown on the plan to direct runoff from station 12+43 to subgrade. Stockpile excess cut material in location as shown on the plan for use in future phases of the subdivision. Direct stormwater runoff from construction areas to either TSB 2.2P or temporary swale installed in Phase 1B. Install drainage structures and piping. Install sewer, water and other utilities as required. Install subbase, curb and asphalt binder. Upon completion of grading operations, topsoil, seed, and mulch all disturbed areas as soon as practical in accordance with the sedimentation and erosion control notes on the plan.
- 1C** Utilizing existing trail for access, install erosion control measures as shown on the plan in accordance with the details. Clear trees and grub within the limits of the phase. Install drainage piping. Begin earthwork activities to construct the proposed access drive (Townhouse Loop) from station 1+50 to station 6+50 and from station 14+00 to 16+92 to subgrade. Direct stormwater runoff from construction areas to TSB 2.1P. Stockpile excess cut material in location as shown on the plan for use in future phases of the subdivision. Install drainage structures and piping. Install sewer, water and other utilities as required. Install subbase, curb and asphalt binder. Upon completion of grading operations, topsoil, seed, and mulch all disturbed areas as soon as practical in accordance with the sedimentation and erosion control notes on the plan.
- 2** Install erosion control measures shown on the plan in accordance with the details. Clear trees and grub within the limits of the phase. Begin earthwork activities to construct the proposed access drive (Townhouse Loop) from station 6+50 to station 14+00. Direct stormwater runoff from construction areas to TSB 2.1P. Install drainage structures and piping. Install sewer, water and other utilities as required. Install subbase, curb and asphalt binder. Upon completion of grading operations, topsoil, seed, and mulch all disturbed areas as soon as practical in accordance with the sedimentation and erosion control notes on the plan.
- 3A** Install erosion control measures as shown on the plan in accordance with the details. Clear trees and grub within the limits of the phase. Begin earthwork activities to construct the proposed access drive (Townhouse Loop) from station 14+00 to station 14+50. Direct stormwater runoff from construction areas to TSB 2.1P. Stockpile excess cut material in location as shown on the plan for use in future phases of the subdivision. Install drainage structures and piping. Install sewer, water and other utilities as required. Install subbase, curb and asphalt binder. Upon completion of grading operations, topsoil, seed, and mulch all disturbed areas as soon as practical in accordance with the sedimentation and erosion control notes on the plan.
- 3B** Install erosion control measures as shown on the plan in accordance with the details. Clear trees and grub within the limits of the phase. Begin earthwork activities to construct the proposed access drive (Townhouse Loop) from station 14+50 to station 14+92. Direct stormwater runoff from construction areas to TSB 2.1P. Install drainage structures and piping. Install sewer, water and other utilities as required. Install subbase, curb and asphalt binder. Upon completion of grading operations, topsoil, seed, and mulch all disturbed areas as soon as practical in accordance with the sedimentation and erosion control notes on the plan.
- 4** Install erosion control measures as shown on the plan in accordance with the details. Clear trees and grub within the limits of the phase. Begin earthwork activities to construct the proposed water systems access. Install drainage structures and piping. Install sewer, water and other utilities as required. Install gravel water systems access driveway. Upon completion of grading operations, topsoil, seed, and mulch all disturbed areas as soon as practical in accordance with the sedimentation and erosion control notes on the plan.
- 5** Install erosion control measures as shown on the plan in accordance with the details. Clear trees and grub within the limits of the phase. Begin earthwork activities to construct the proposed water systems access. Install drainage structures and piping. Install sewer, water and other utilities as required. Install gravel water systems access driveway. Upon completion of grading operations, topsoil, seed, and mulch all disturbed areas as soon as practical in accordance with the sedimentation and erosion control notes on the plan.
- 6** Install erosion control measures as shown on the plan in accordance with the details. Clear trees and grub within the limits of the phase. Begin earthwork activities to construct the proposed water systems access. Install drainage structures and piping. Install sewer, water and other utilities as required. Install gravel water systems access driveway. Upon completion of grading operations, topsoil, seed, and mulch all disturbed areas as soon as practical in accordance with the sedimentation and erosion control notes on the plan.

**Sediment and Erosion Control Notes:**

- All construction activities involving the removal or disposition of soil, are to be provided with appropriate protective measures to minimize erosion and contain sediment discharges within the project limits. Minimum erosion and sediment control measures shall be implemented as shown on these plans and shall be constructed in accordance with the New York State Standards and Specifications for Erosion and Sediment Control.
- Prior to the start of construction, stabilized construction entrances, all fence, and other approved sediment control measures shall be in place as shown on these plans and at other locations where deemed necessary. After the stabilized construction entrance and all fence are installed, the sediment basins shall be constructed. (See construction sequence.)
- Whenever feasible, natural vegetation shall be retained and protected. Disturbance shall be minimized in the areas required to perform construction. No more than 5 acres of unprotected soil should be exposed at any one time.
- All topsoil and subsoil to be stripped from the area being developed shall be stockpiled and seeded within 24 hours a mixture of 50% Annual Ryegrass and 50% Perennial Ryegrass @ 30 lbs./acre or 0.7 lbs./1000 s.f. Temporary Sediment Basins shall be seeded with this mixture.
- Any graded areas not subject to further disturbance or construction traffic shall, within 14 days of final grading, receive permanent vegetation cover in combination with a suitable mulch. All sediment control measures shall be inspected (from stockpile area) and be seeded and mulched as follows:
  - Seed mixture to be planted between March 21 and May 23, or between August 15 and October 15, or as directed by project representative.
  - Permanent stormwater basins shall be planted in accordance with the Typical Extended Detention Basin Planting Details.
  - All other graded areas shall be seeded at a rate of 50 pounds per acre in the following proportions:
 

Kentucky Bluegrass	20%
Chenopod Ryegrass	40%
Perennial Ryegrass	20%
Annual Ryegrass	20%
  - Mulch: Soft hay or animal grain straw applied at a rate of 80 lbs./1000 S.F. or 2 tons/acre, to be applied and anchored with netting to hold it in place, as specified in the New York Guidelines for Erosion Control and Sediment Control, latest edition.
  - Irrigation: Should seed mixtures be applied between May 15 and August 15, adequate moisture should be provided.
- Grass seed mix may be applied by either mechanical or hydroseeding methods. Hydroseeding shall be performed in accordance with the current edition of the NYSDOT Standard Specification, Construction and Materials, Section 610-3.02, Method No. 1.
- Temporary seedings should be inspected every 30 days and after major storm events. Damaged or unvegetated areas should be reseeded immediately.
- All temporary erosion and sediment controls shall remain in place and maintained regularly in properly functioning condition until all areas exposed during site construction have been suitably stabilized with permanent, permanent structures and/or final vegetative cover.
- Cut and fill slopes steeper than 3:1 shall also be stabilized with North American Green 3150 Erosion Control Blanket, or approved equal, or slopes stabilized with S150 Erosion Blanket shall be seeded with ERNST Conservation Seeds Drawnwith Seeding Mix, or approved equal, in line of 8:1 slope.
- Erosion control blankets and/or seeding as outlined in #5 and #9 above shall be provided to prevent surface water from damaging the cut face of excavation or the sloping surface of a fill.
- Fill shall be placed and compacted in 6" lifts so as to minimize sliding or erosion of the soil, and to prevent settlement.
- The site shall, at all times, be graded and maintained such that all stormwater runoff is diverted to soil erosion and sediment control devices.
- All stormwater drainage outlets shall be stabilized, as required, before the discharge points become operational.
- Stormwater from disturbed areas must be passed through an approved sediment barrier before discharge of topsoil disturbed areas.
- Sedimentation and erosion control measures shall be inspected and maintained on a weekly basis and after each storm event by the owner's field representative (G.F.R.) to ensure that canyons, drain inlets, ditches and the sediment basins are clear of debris, that embankments and berms have not been breached and that all fill fence is intact. Sediment shall be removed from the temporary sediment basins when the depth of the sediment has reached the top of the vertical riser pipes. Any failure of sediment and erosion control measures shall be immediately repaired by the contractor and inspected for approval by the G.F.R. and/or site engineer.
- Dust shall be controlled by sprinkling or other approved methods, as necessary, or as directed by the G.F.R.
- Pavement must be kept clean at all times.
- The G.F.R. shall inspect downstream conditions for evidence of sedimentation on a weekly basis and after rainstorms.
- As warranted by field conditions, special additional sedimentation and erosion control measures, as specified by the site engineer, the Town Engineer, the Town Environmental Inspector and/or New York City Department of Environmental Protection, shall be installed by the contractor.
- The owner/operator of this project will be responsible for the implementation of sediment and erosion control measures on this site prior to the start of construction and the maintenance of the sediment and erosion control measures until the disturbed areas have been stabilized.
- Each spring the paved areas should be cleaned to remove the winter's accumulation of traction sand. After this is completed, all drain inlet surges should be cleaned, as required. During the cleaning process, the drain inlets and pipes should be inspected for structural integrity and overall condition. Repairs and/or replacement should be made as required.
- Once the desired vegetation cover is established in the basins, only limited maintenance is required. The basins and outlet structures should be inspected after major storm events and semi-annually. During the inspections, the following should be checked:
  - Evidence of sloughing of outlet structures.
  - Subsidence, erosion, cracking or free growth on the embankments/berms.
  - Condition of fill conditions, special additional sedimentation and erosion control measures.
  - Accumulation of sediment around the outlet structure.
  - Adequacy of upstream/downstream channel erosion control measures.
  - Erosion of the basin beds and banks.
  - Sources of erosion in the contributory drainage, which should be stabilized.
- Erosion control measures shall remain in place until all soil disturbing activities have been completed and all disturbed areas are suitably stabilized with a uniform perennial vegetative cover with a density of 80% on all unpaved areas or areas not covered by permanent structures.
- Site inspections shall be conducted by a qualified soil erosion control professional at least every seven (7) calendar days and within 24 hours of the end of a storm event of 0.5 inches or greater.
- Periodic inspection of the ponds should be performed throughout the year and after large storm events. These inspections should, at a minimum, check the outlet pipe for blockage and the general overall integrity of the basin and appliances.
- Maintain basin vegetation including removal of trees and replacement of vegetation that should die. Remove any litter which accumulates as necessary. Typically, the accumulated silt may be required to be removed every 10 to 20 years.

PHASE	CUT VOLUME (cubic yards)	FILL VOLUME (cubic yards)	AREA OF DISTURBANCE (ACRES)
1A*			1.41 ACRES
1B*	37,000	9,000	3.24 ACRES
1C*			1.59 ACRES**
2*	47,000	13,000	4.47 ACRES
3A*	10,000	5,000	4.04 ACRES
3B*			
4*	37,000	4,000	4.97 ACRES
5	14,000	14,000	4.57 ACRES
6	500	500	0.74 ACRES

\* All excess material will be stockpiled and disposed of off-site  
\*\* Phase 1A to be stabilized prior to start of Phase 1C to ensure that Phase 1A disturbance does not exceed 5 acres.

NO.	DATE	REVISION	BY
10	8-2-21	REVISED PER ECB COMMENTS	JLT
9	11-13-12	REVISED FOR PCDOH REAPPROVAL	ZMP
8	7-30-10	GENERAL REVISIONS	DLM
7	1-28-09	GENERAL REVISIONS	B.H.
6	8-16-07	REVISION PER NYDEP COMMENTS	RCS
5	7-23-07	REVISION PER NYDEP COMMENTS	ZMP
4	5-2-07	REVISION PER TOWN PLANNER & PCDOH COMMENTS	PLK
3	4-3-07	REVISION PER NYDEP COMMENTS	ZMP
2	3-2-07	REVISION PER TOWN CONSULTANT'S COMMENTS	EMW
1	1-26-07	NYDEP SUBMISSION	ZMP
NO.	DATE	REVISION	BY

**INSITE**  
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

3 Garrett Place  
Carmel, NY 10512  
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PROJECT: **GATEWAY SUMMIT - LOT 6A**  
SENIOR HOUSING DEVELOPMENT  
U.S. ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING: **SEDIMENT AND EROSION CONTROL PLAN**

PROJECT NO. 04232.106 PROJECT MANAGER S.W.B. DRAWING NO. 51931 SHEET 7  
DATE 12-15-06 DRAWN BY R.C.S. CHECKED BY D.L.M. SCALE AS SHOWN

STATE OF NEW YORK  
REGISTERED PROFESSIONAL ENGINEER  
No. 13183



**General Notes:**

1. Boundary, existing conditions and topographic information for subject property based on surveys by Terri Bernhardt Collins.
2. The wetland boundaries shown hereon were delineated by Tim Miller Associates and survey located by Terri Bernhardt Collins.

LEGEND	
	Property Line
	Existing 2' Contour
	Existing 10' Contour
	Proposed 2' Contour
	Proposed 10' Contour
	Existing Stonewall
	Existing Town Wetland Limit Line with Flag
	Existing Town/NYSDEC Wetland Limit Line with Flag
	Existing DEC Wetland Limit Line with Flag
	Existing Watercourse
	100' Wetland Buffer
	Existing Building To Be Removed
	Existing Utility Pole with Overhead Wires
	Proposed Curb
	Proposed Catch Basin/Drain Inlet with Inlet Protection
	Proposed Outlet Structure
	Proposed End Section
	Proposed Rip Rap Apron
	Proposed Limit of Disturbance Line
	Proposed Silt Fence
	Proposed Double Silt Fence
	Proposed Cutoff Swale with Stone Check Dam
	Proposed Stabilized Construction Entrance
	Soil Stock Pile
	Proposed Construction Phase
	Proposed Construction Phase Line
	Proposed Temporary Swale



NO.	DATE	REVISION	BY
11	8-2-21	REVISED PER ECB COMMENTS	JLT
10	11-13-12	REVISED FOR PCDOH REAPPROVAL	ZMP
9	7-30-10	GENERAL REVISIONS	DLM
8	1-28-09	GENERAL REVISIONS	B.J.H
7	11-12-08	GENERAL REVISIONS	J.K
6	8-16-07	REVISED PER NYCDP COMMENTS	RCS
5	7-23-07	REVISED PER NYCDP COMMENTS	ZMP
4	5-2-07	REVISION PER TOWN PLANNER & PCDOH COMMENTS	EMS
3	4-3-07	REVISED PER NYCDP COMMENTS	ZMP
2	3-2-07	REVISION PER TOWN CONSULTANT'S COMMENTS	EMW
1	1-26-07	NYCDP SUBMISSION	ZMP

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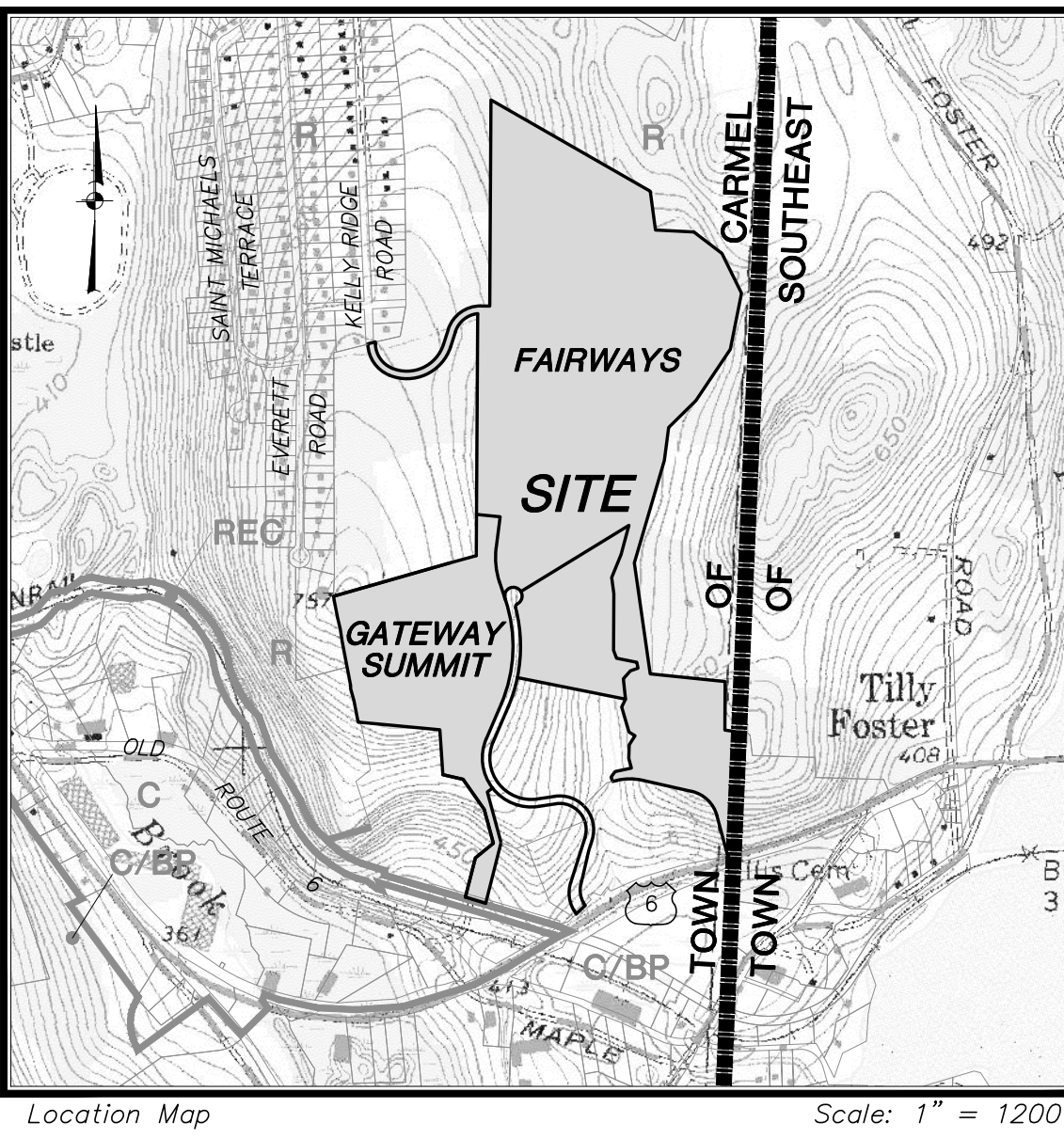
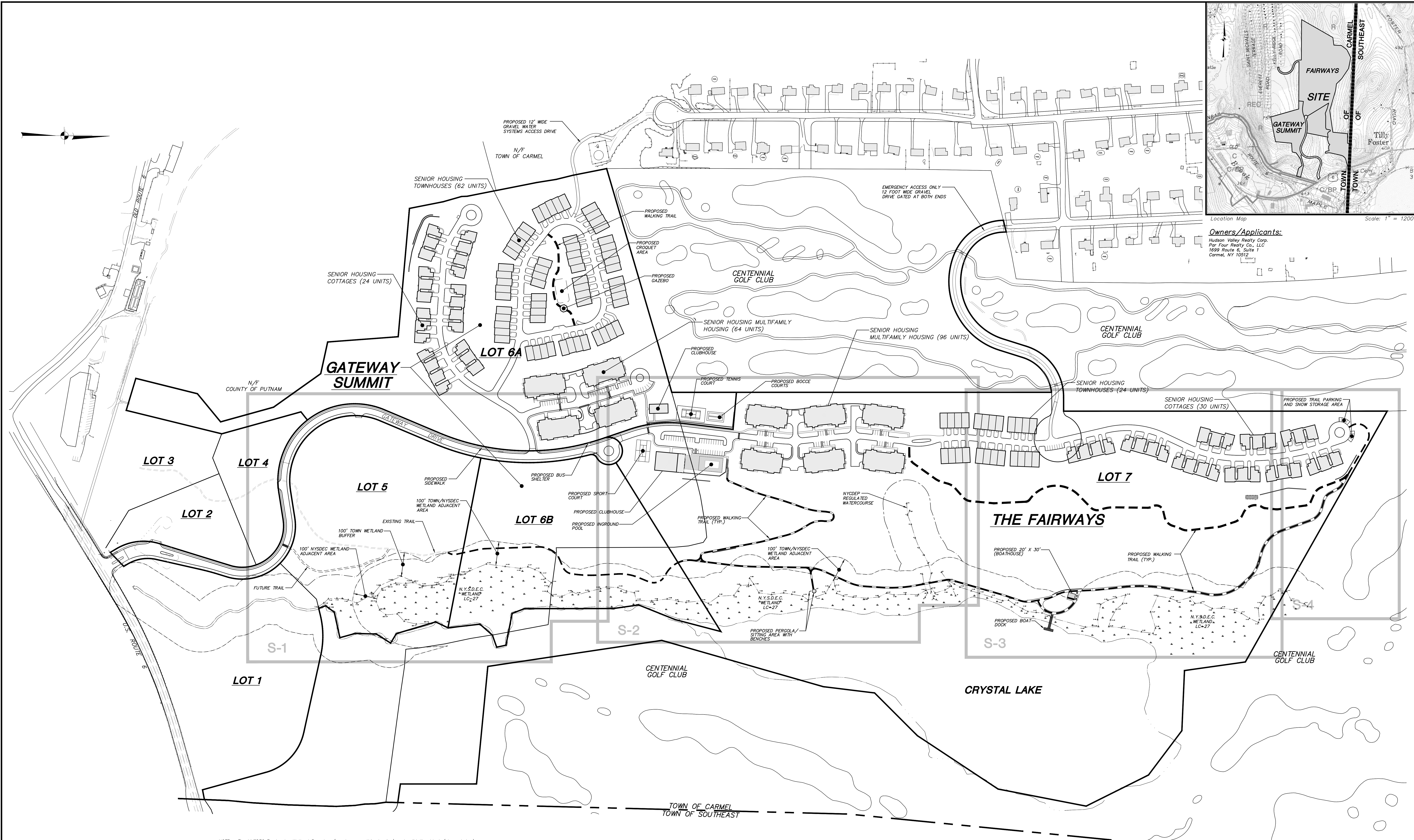
DRAWING:  
**SEDIMENT AND EROSION CONTROL PLAN**

PROJECT NO. 04232.106 PROJECT MANAGER S.W.B. DRAWING NO. SHEET 8  
DATE 12-15-06 DRAWN BY R.C.S. SP-3.2  
SCALE AS SHOWN CHECKED BY D.L.M.

STATE OF NEW YORK  
TERRI J. CONNORS  
REGISTERED PROFESSIONAL ENGINEER  
No. 17183

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 143 OF THE EDUCATION LAW.





Location Map Scale: 1" = 1200'

**Owners/Applicants:**  
 Hubson Valley Realty Corp.  
 Par Four Realty Co., LLC  
 1699 Route 6, Suite 1  
 Carmel, NY 10512

NOTE: The NYSDEC Freshwater Wetland Boundary (as shown on this drawing) and validation block (shown below) is as shown on drawing WY-1, "NYSDEC Wetland Validation Map", prepared by Insite Engineering, Surveying, & Landscape Architecture, P.C., dated December 09, 2019.

**NYSDEC FRESHWATER WETLAND BOUNDARY VALIDATION**

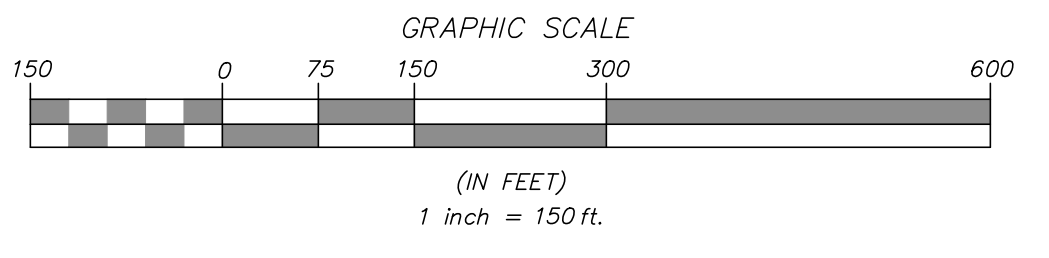
The freshwater wetland boundary as represented on these plans accurately depicts the limits of Freshwater Wetland LC-26 & LC-27, as delineated by Tim Miller Assoc. & Doug Goupler on April 2005.

DEC Staff: *altil* 12/16/19 Supervisor/Engineer: *[Signature]*

Date Valid: 12/16/19 Expiration Date: 12/16/24 SEAL

Wetland boundary delineations as validated by the New York State Department of Environmental Conservation remain valid for five (5) years unless existing exempt activities, area hydrology, or land use practices change (e.g., agricultural to residential). After five (5) years the boundary must be revalidated by DEC staff. Revalidation may include a new delineation and survey of the wetland boundary.

Any proposed construction, grading, filling, excavating, clearing or other regulated activity in the freshwater wetland or within 100 feet of the wetland boundary as depicted on this plan requires a permit from the NYS Department of Environmental Conservation under Article 24 of the Environmental Conservation Law (Freshwater Wetlands Act) prior to commencement of work.



- General Notes:**
- Boundary, existing conditions and topographic information indicated on these plans is based on survey information prepared by Terry Bergendorff Collins, L.S.
  - The NYSDEC wetland boundary information shown hereon was delineated by Tim Miller Associates and Doug Goupler of the NYSDEC and survey located by Terry Bergendorff Collins, L.S., Josh Fisher of the NYSDEC verified the wetland delineation December 2019.
  - The Town of Carmel wetland boundary was delineated by Tim Miller Associates, field verified by David Klotzle, Town of Carmel Wetland Consultant and survey located by Terry Bergendorff Collins, L.S., updated June 2021.
  - This site plan package represents a proposal for enhancements and creation of a walking trail system, non-motorized boat dock and sitting areas for the use and enjoyment of the Gateway Summit and the Fairways Senior Housing Developments. These Senior Housing projects have received site plan approvals from the Town of Carmel and approvals from outside agencies having jurisdiction. The improvements associated with the proposed access roads, buildings and associated improvements, stormwater basins and utilities are shown for information purposes.

2	8-2-21	REVISED PER EGB COMMENTS	JLT
1	10-10-13	REVISED PER TOWN OF CARMEL COMMENTS	MEU
NO.	DATE	REVISION	BY

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PROJECT: GATEWAY SUMMIT & THE FAIRWAYS SENIOR HOUSING DEVELOPMENTS  
 U.S. ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING: PROPOSED WALKING TRAIL AND BOAT DOCK OVERALL SITE PLAN

PROJECT NO.	05140.100	PROJECT MANAGER	S.W.B.	DRAWING NO.	SHEET
DATE	11-02-09	DRAWN BY	R.C.S.	OP-1	1
SCALE	AS SHOWN	CHECKED BY	D.L.M.		6

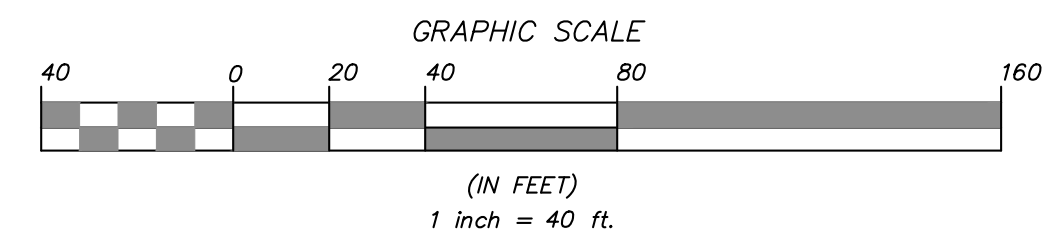
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**LEGEND**

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	Existing Town/NYSDEC Wetland Limit Line with Flag
	Existing DEC Wetland Limit Line with Flag
	Existing Watercourse
	100' Town/NYSDEC Wetland Buffer
	100' Town Wetland Buffer



2	8-2-21	REVISED PER ECB COMMENTS	JLT
1	10-10-13	REVISED PER TOWN OF CARMEL COMMENTS	DLM
NO.	DATE	REVISION	BY

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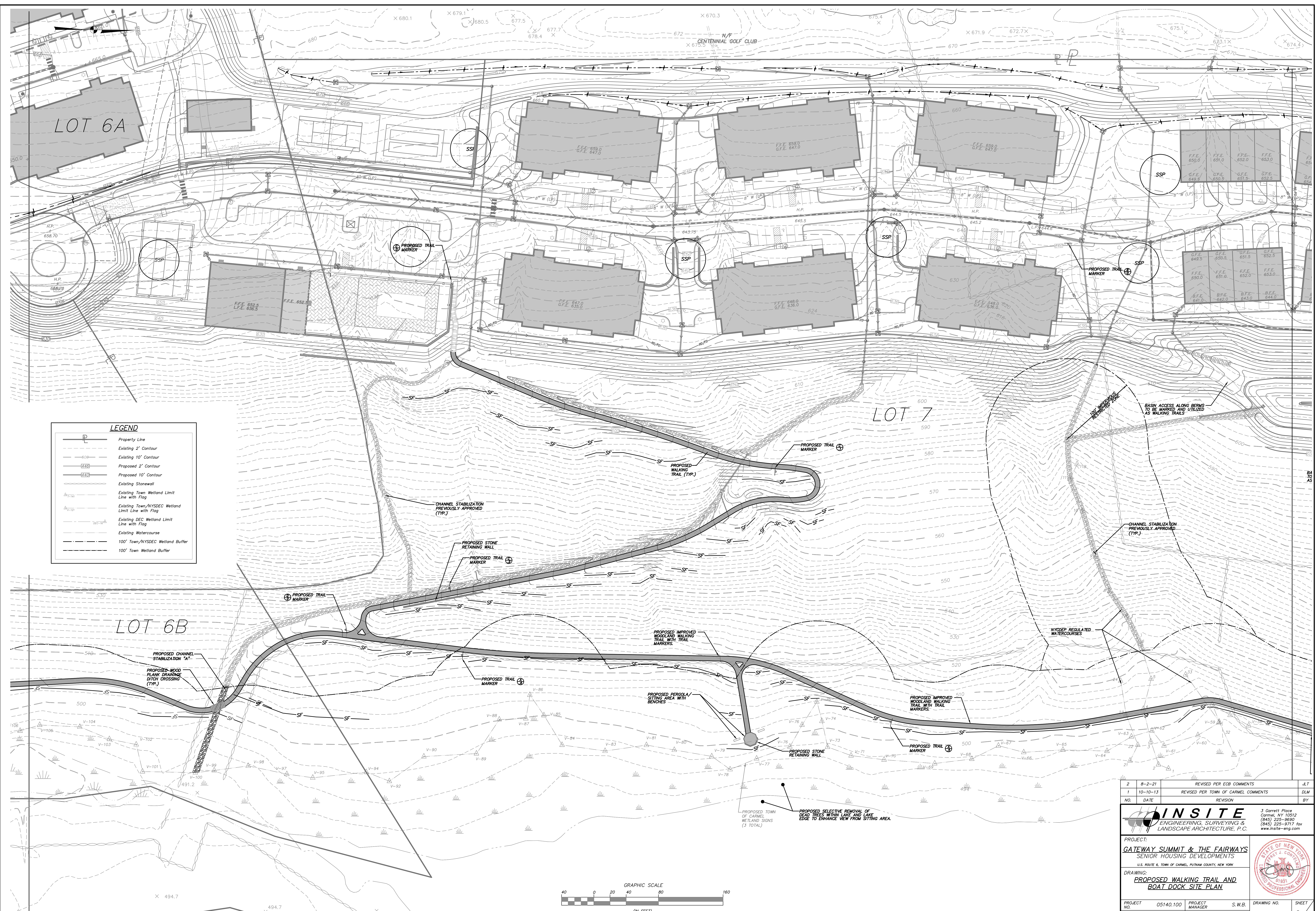
PROJECT:  
**GATEWAY SUMMIT & THE FAIRWAYS**  
SENIOR HOUSING DEVELOPMENTS  
U.S. ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING:  
**PROPOSED WALKING TRAIL AND BOAT DOCK SITE PLAN**

PROJECT NO.	05140.100	PROJECT MANAGER	S.W.B.	DRAWING NO.	SHEET
DATE	11-02-09	DRAWN BY	R.C.S.	S-1	2
SCALE	1" = 40'	CHECKED BY	D.L.M.		6

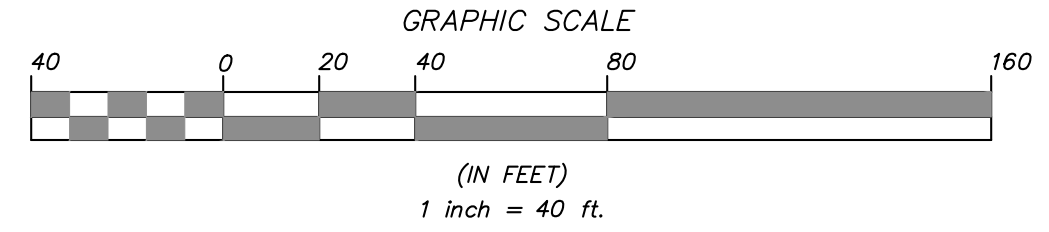
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U.S. ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING:  
**PROPOSED WALKING TRAIL AND BOAT DOCK SITE PLAN**

PROJECT NO.	05140.100	PROJECT MANAGER	S.W.B.
DATE	11-02-09	DRAWN BY	R.C.S.
SCALE	1" = 40'	CHECKED BY	D.L.M.

DRAWING NO. **S-2** SHEET **3** OF **6**

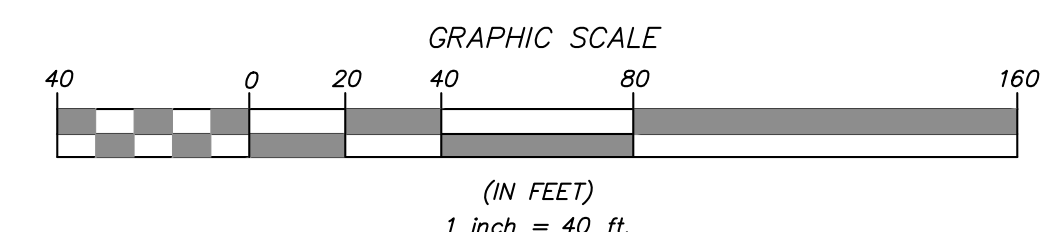
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NO.	DATE	REVISION	BY

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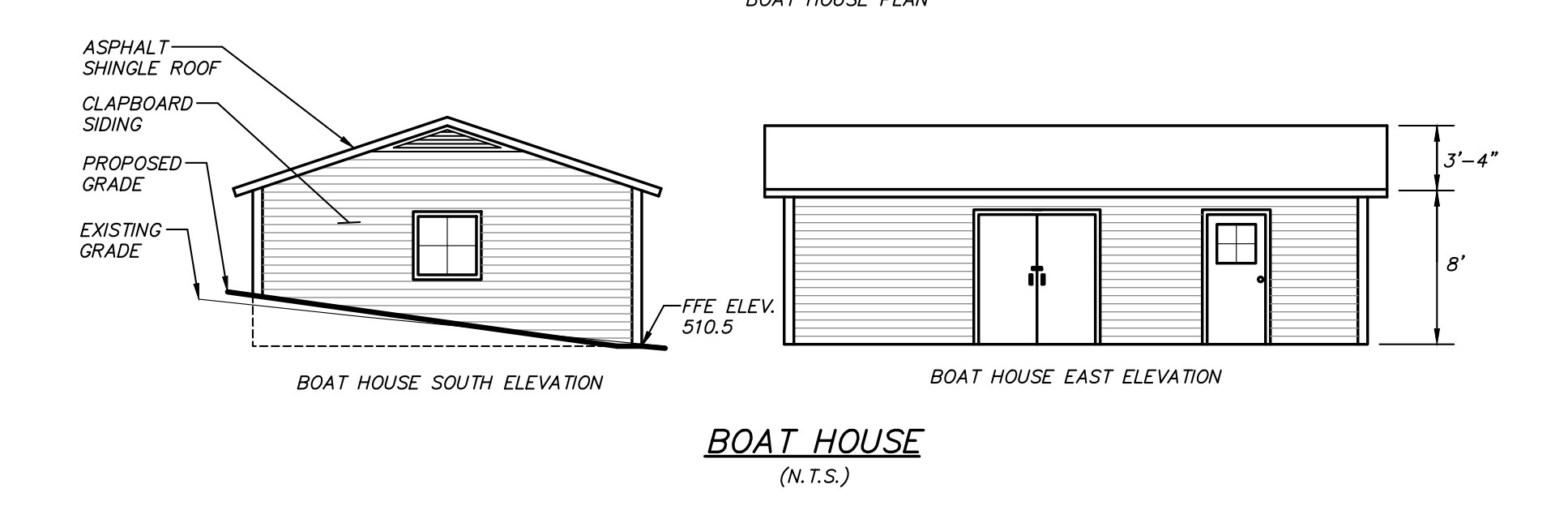
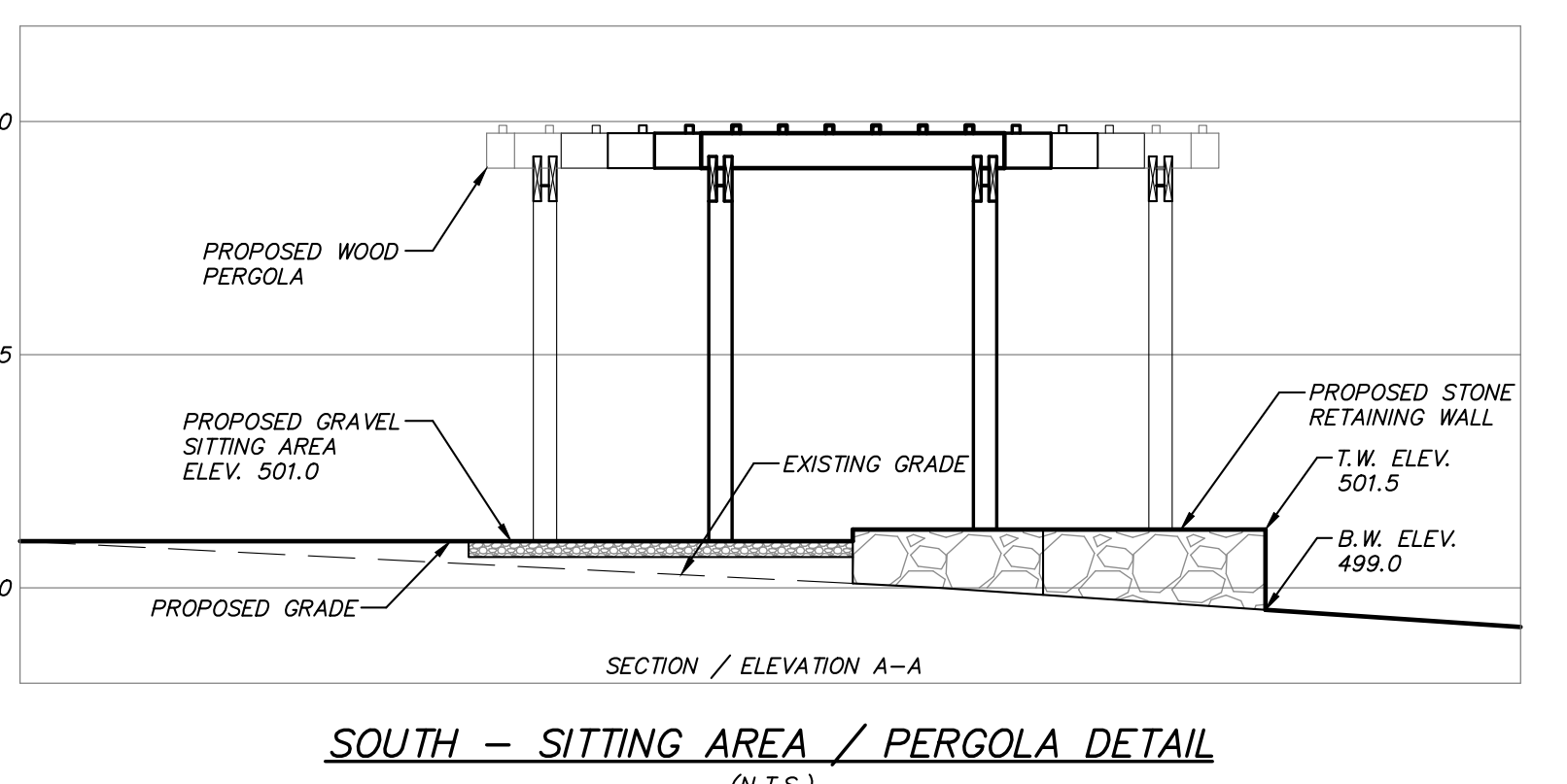
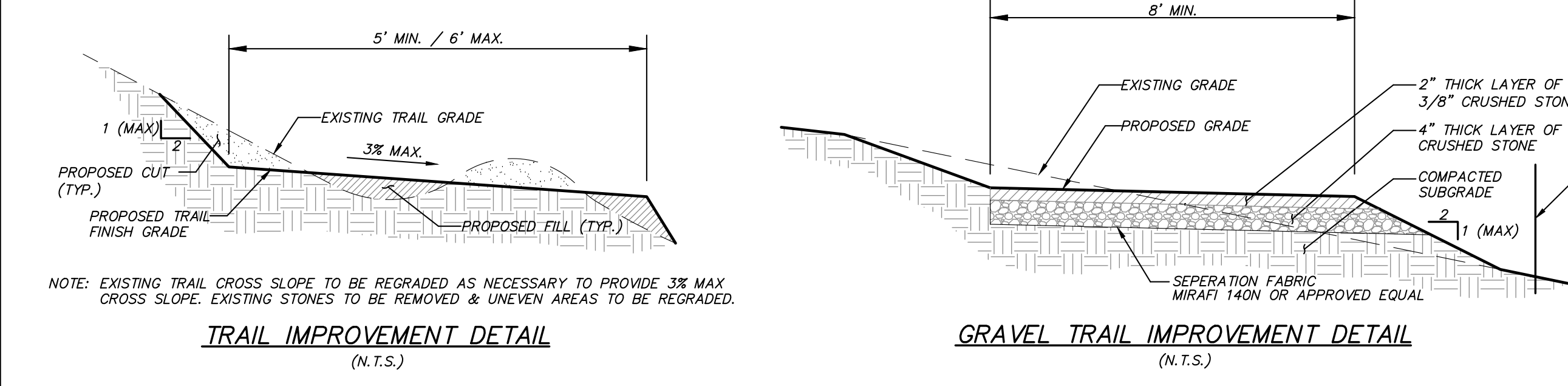
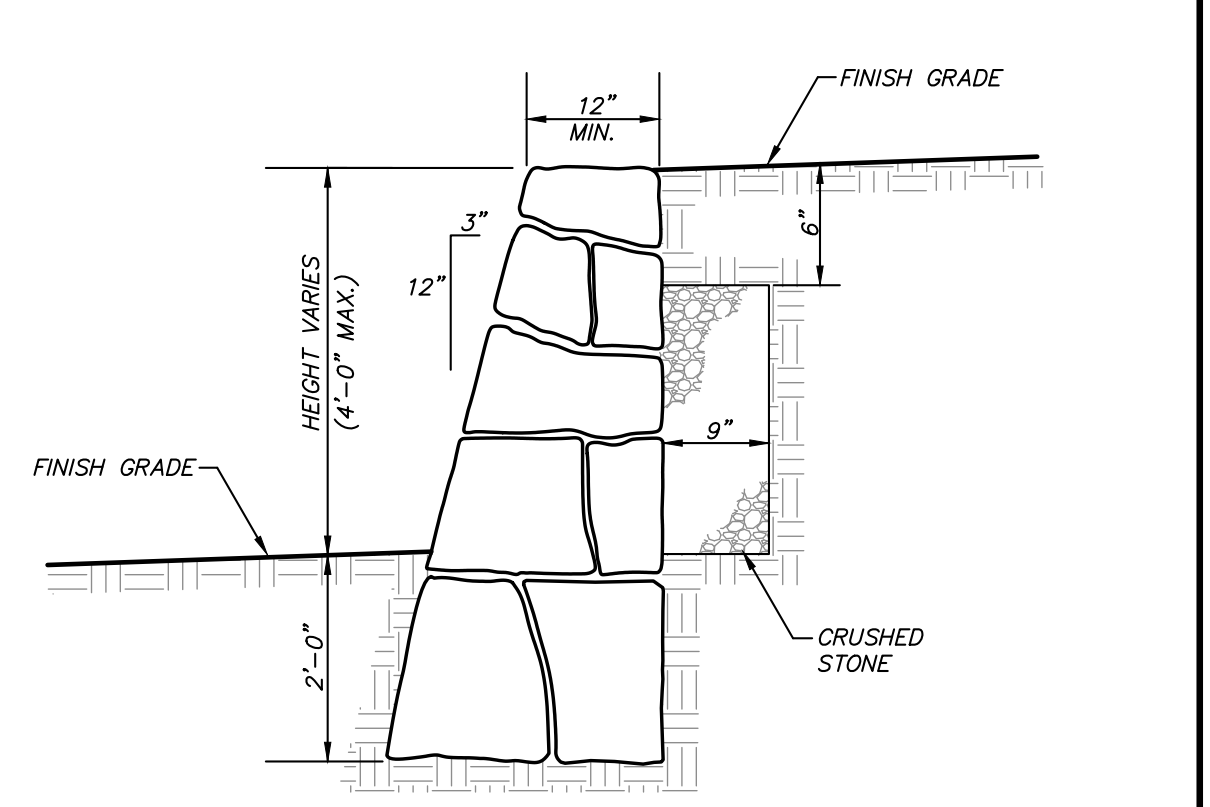
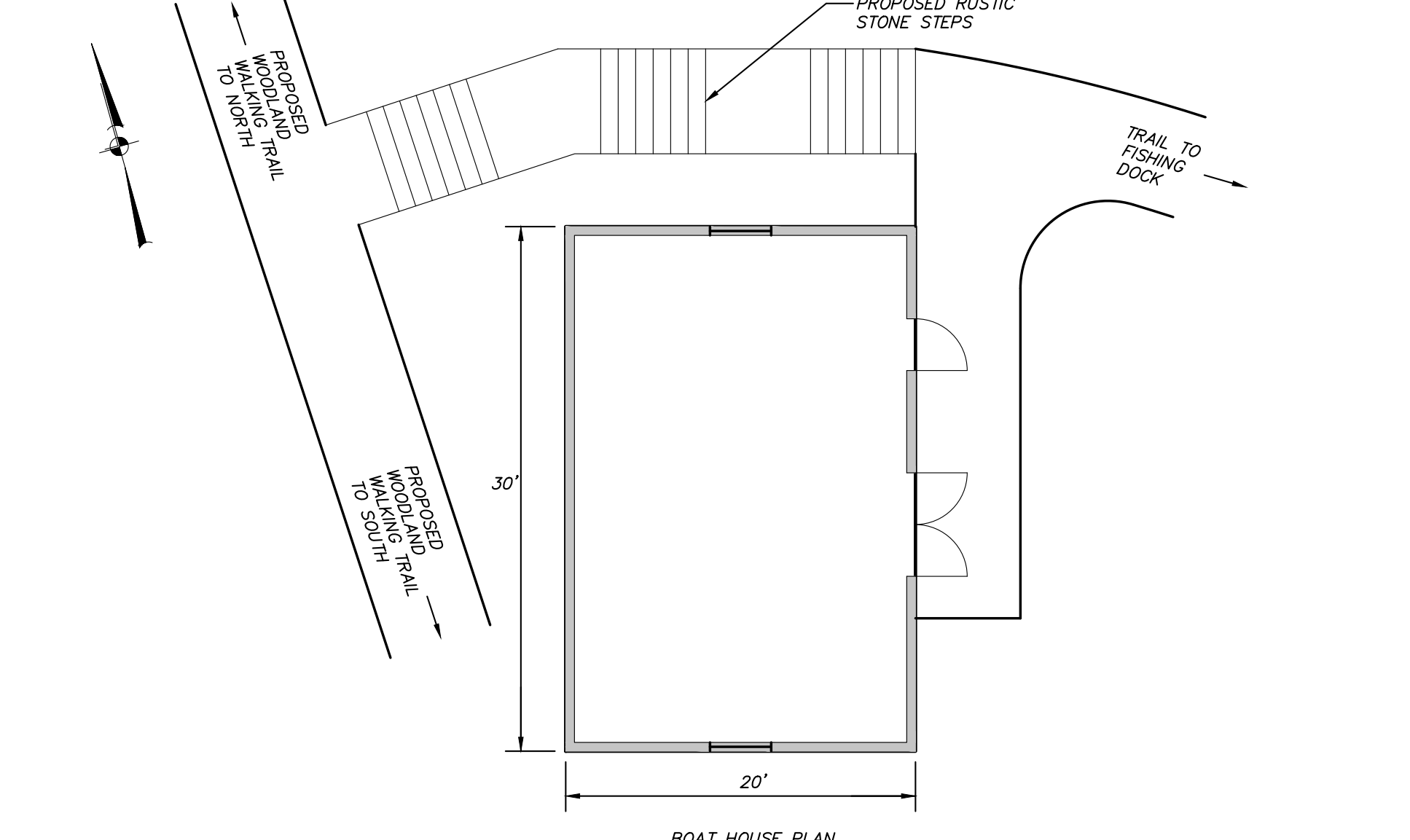
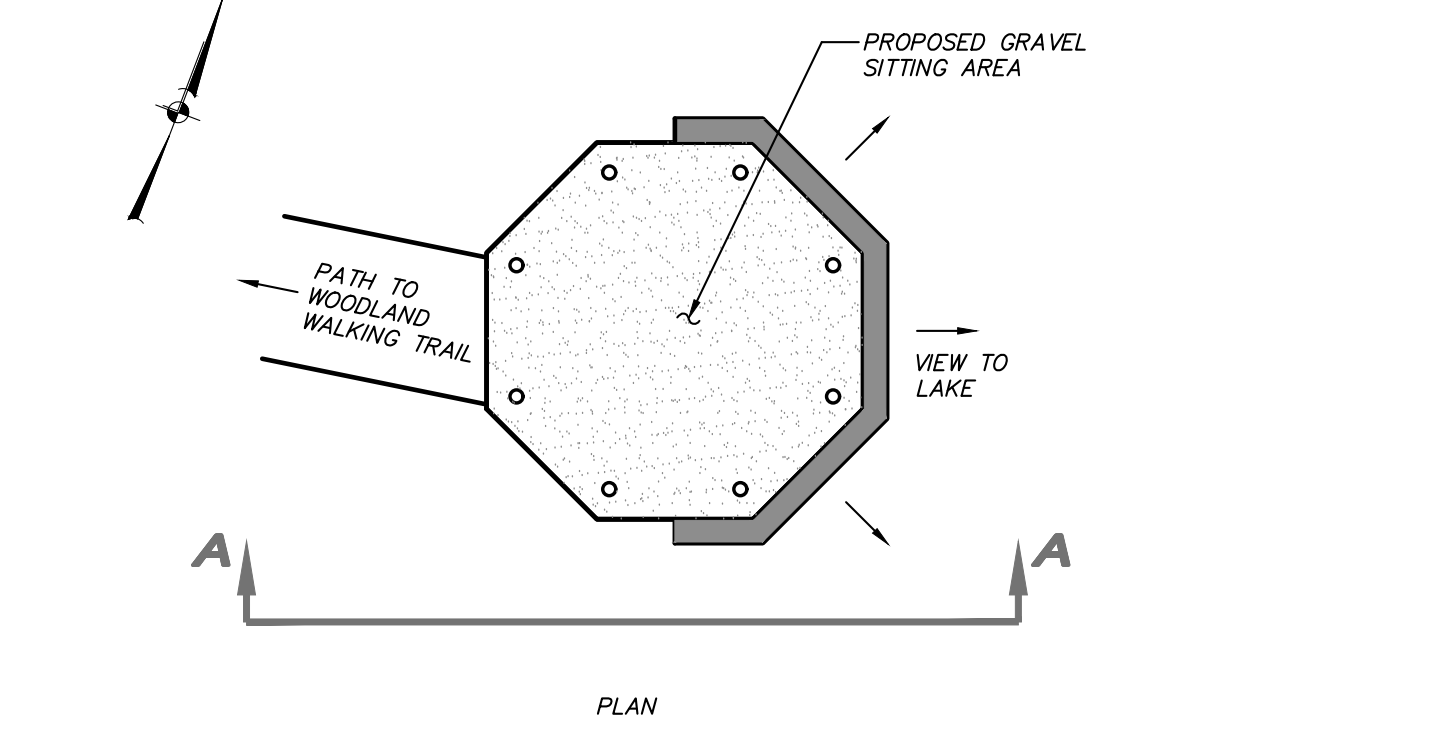
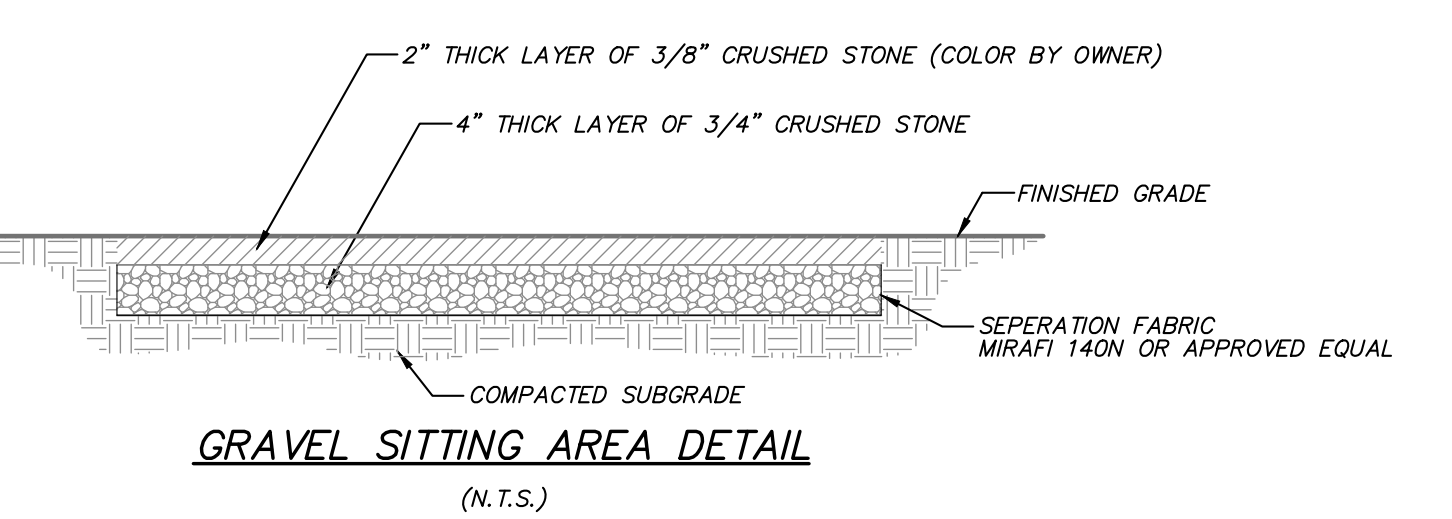
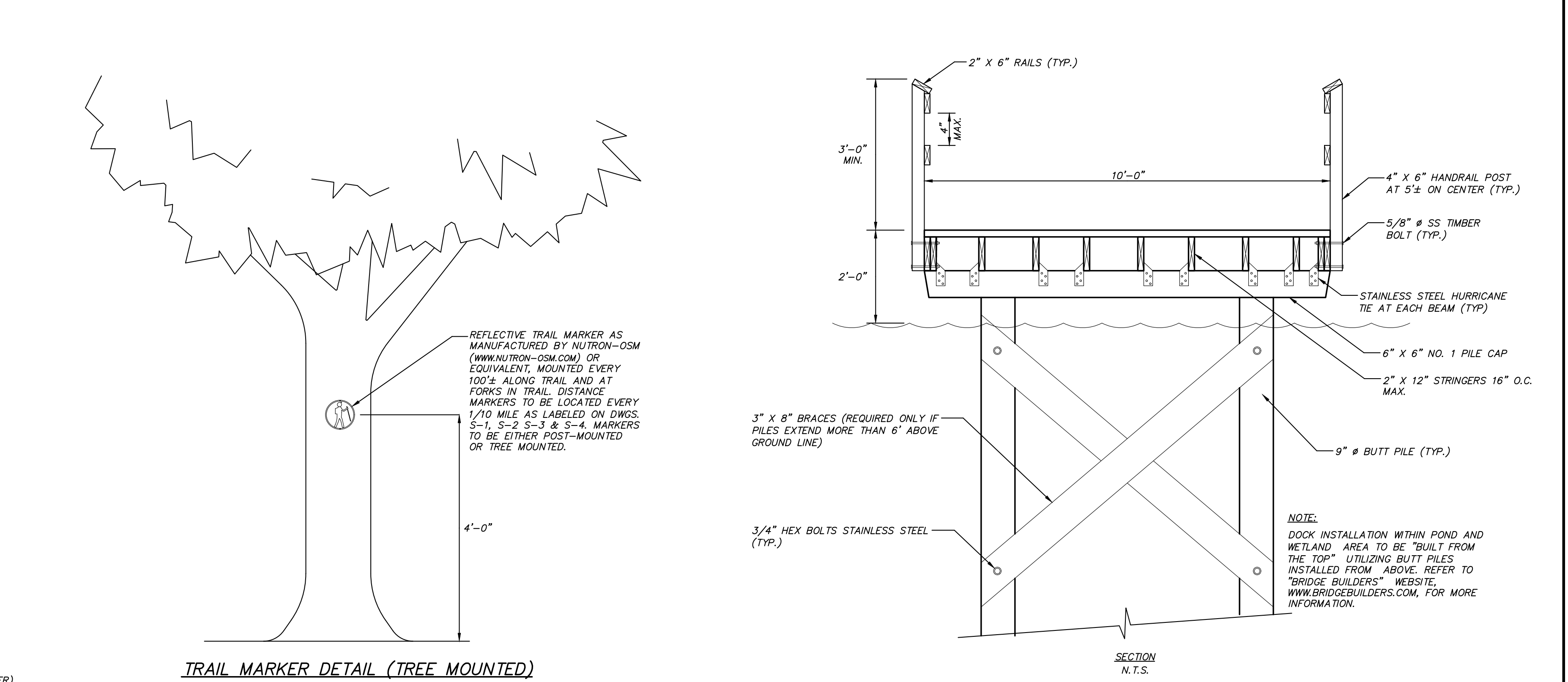
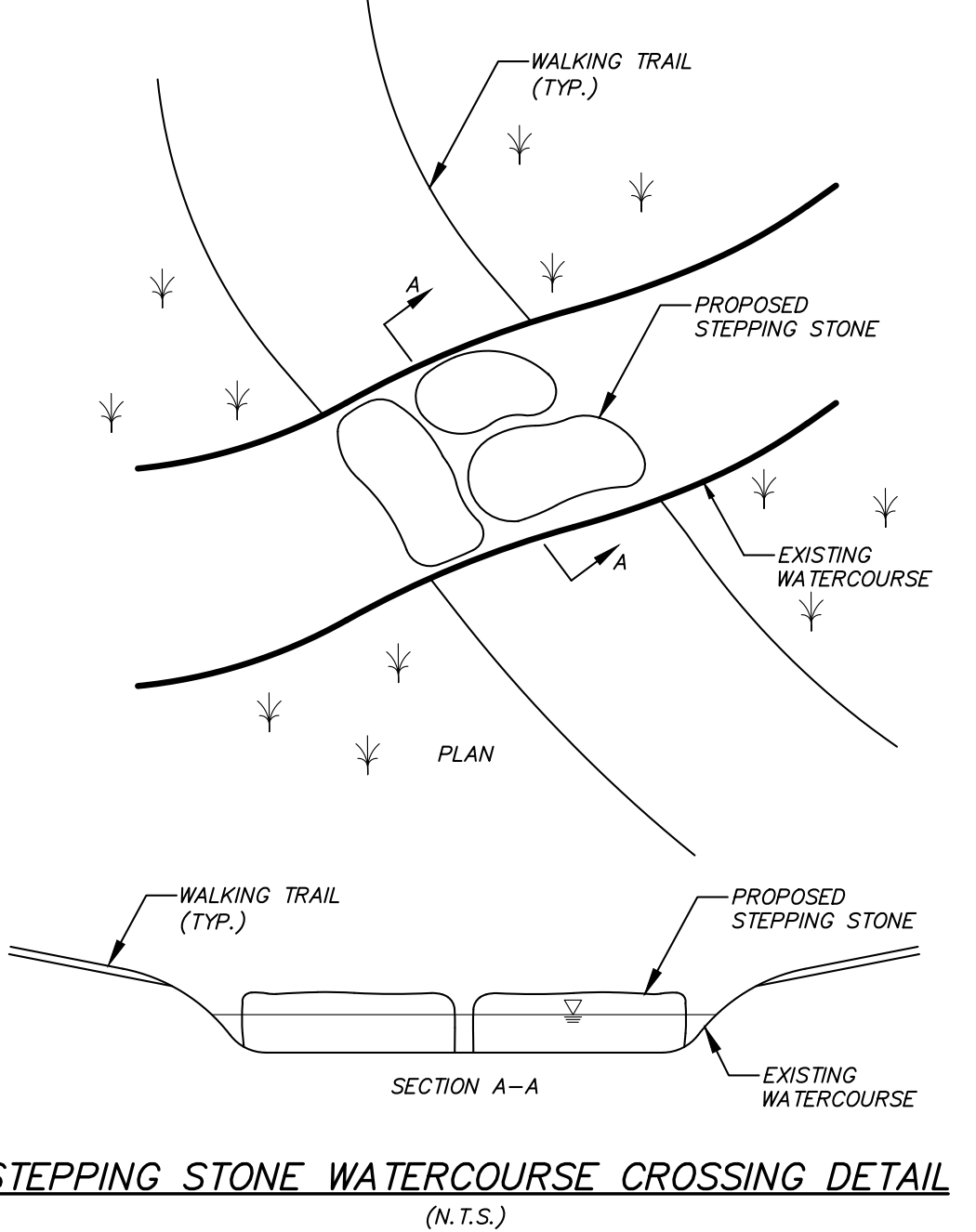
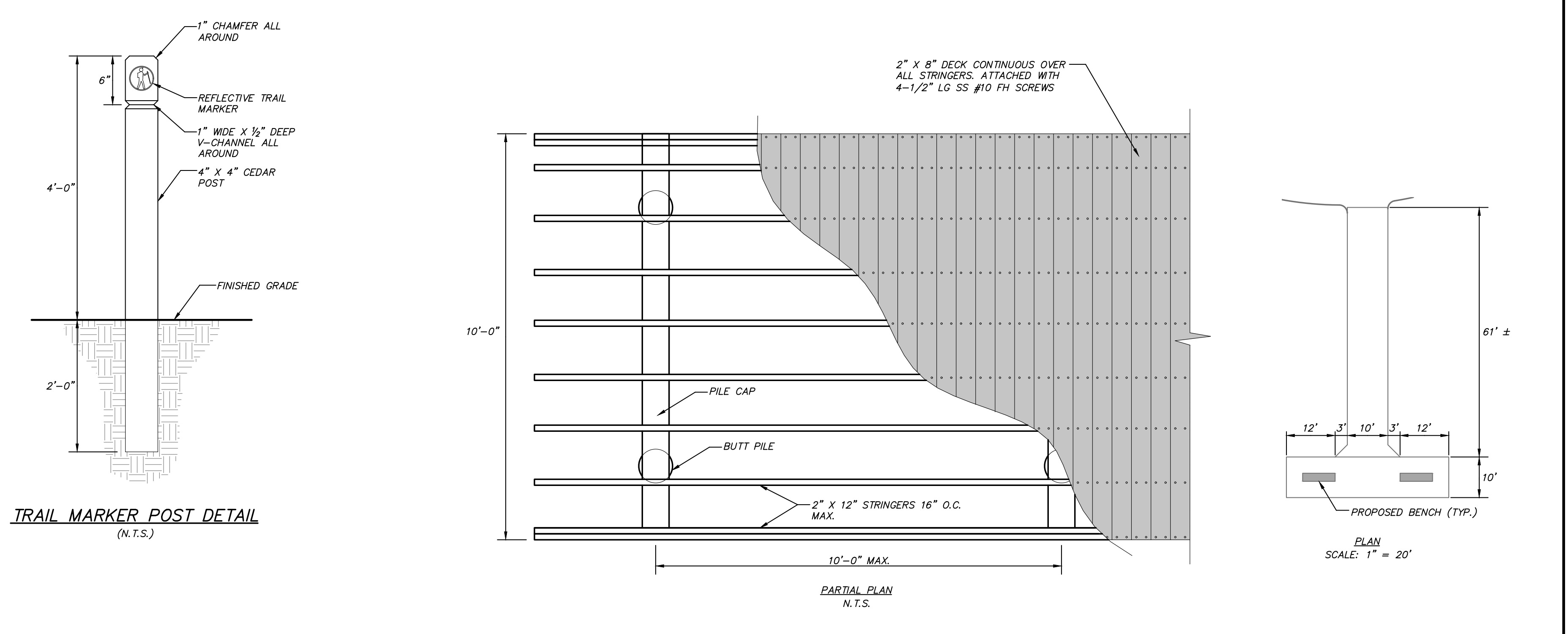
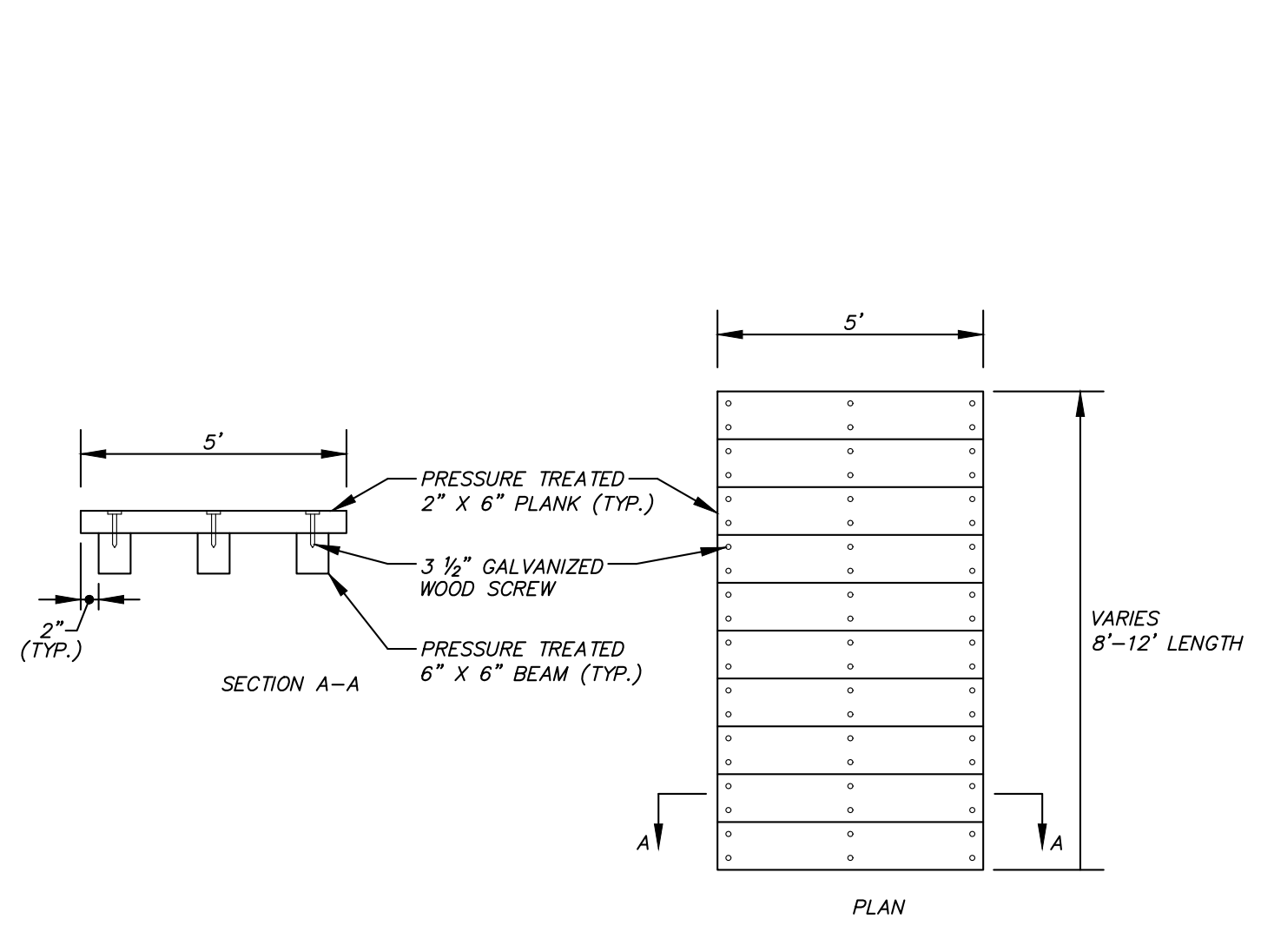
PROJECT:  
**GATEWAY SUMMIT & THE FAIRWAYS**  
SENIOR HOUSING DEVELOPMENTS  
U.S. ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING:  
**PROPOSED WALKING TRAIL AND BOAT DOCK SITE PLAN**

PROJECT NO.	05140.100	PROJECT MANAGER	S.W.B.	DRAWING NO.	SHEET
DATE	11-02-09	DRAWN BY	R.C.S.	S-3	4
SCALE	1" = 40'	CHECKED BY	D.L.M.		6

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 143 OF THE EDUCATION LAW.





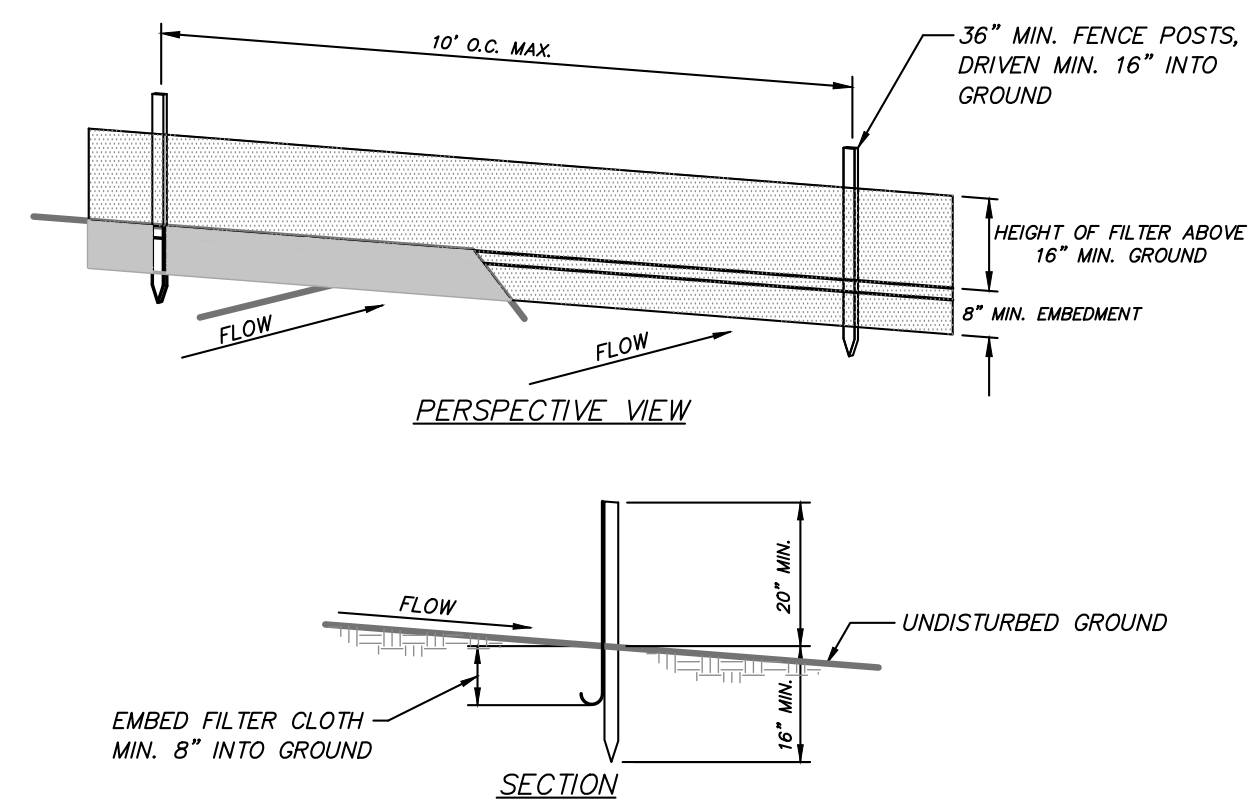
NO.	DATE	REVISION	BY
2	8-2-21	REVISED PER ECB COMMENTS	JLT
1	10-10-13	REVISED PER TOWN OF CARMEL COMMENTS	DLM

		3 Garrett Place Carmel, NY 12512 (845) 225-8690 (845) 225-9717 fax www.insite-eng.com	
<b>PROJECT:</b> GATEWAY SUMMIT & THE FAIRWAYS SENIOR HOUSING DEVELOPMENTS U.S. ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK			
<b>DRAWING:</b> PROPOSED WALKING TRAIL AND BOAT DOCK SITE PLAN AND DETAILS			
PROJECT NO.	05140.100	PROJECT MANAGER	S.W.B.
DATE	11-02-09	DRAWN BY	R.C.S.
SCALE	1" = 40'	CHECKED BY	D.L.M.
DRAWING NO.	S-4	SHEET	5
			6

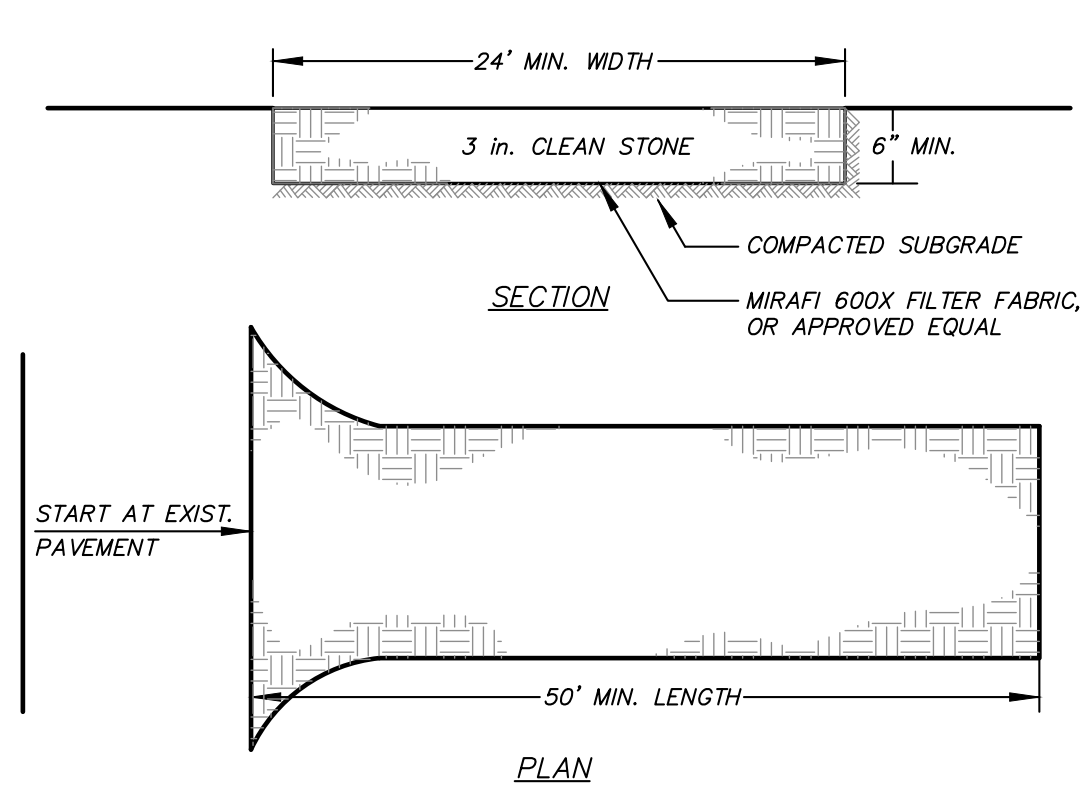
ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.





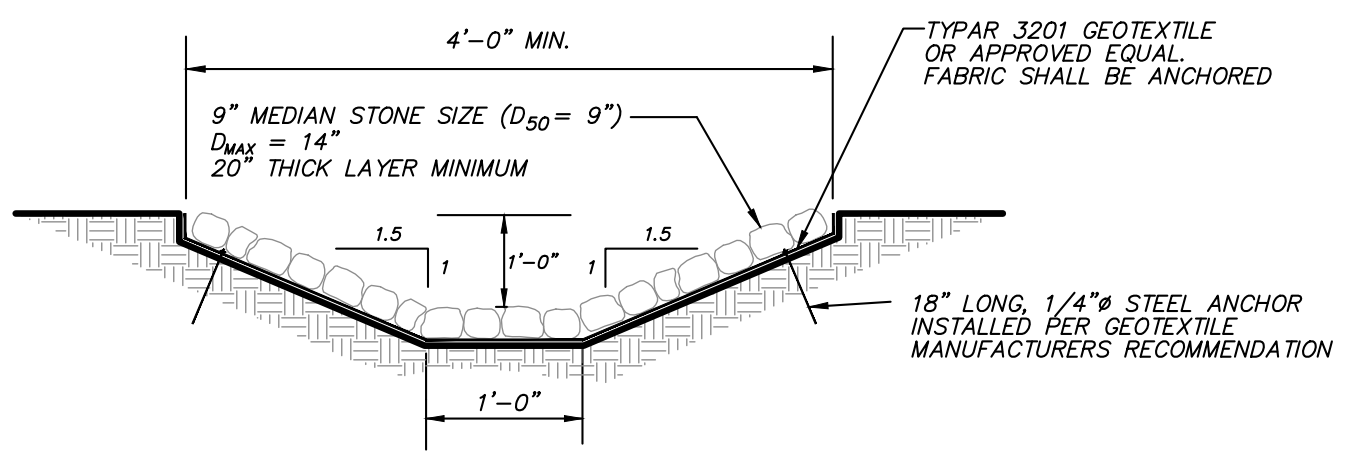
- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**
- FILTER CLOTH TO BE FASTENED SECURELY TO POSTS AT TOP AND MID SECTION.
  - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
  - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- POSTS: STEEL EITHER T OR U TYPE OR 2" HARDWOOD  
 FILTER CLOTH: FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUAL  
 PREFABRICATED UNIT: GEOTAB, ENVROFENCE, OR APPROVED EQUAL

**SILT FENCE DETAIL**  
(N.T.S.)

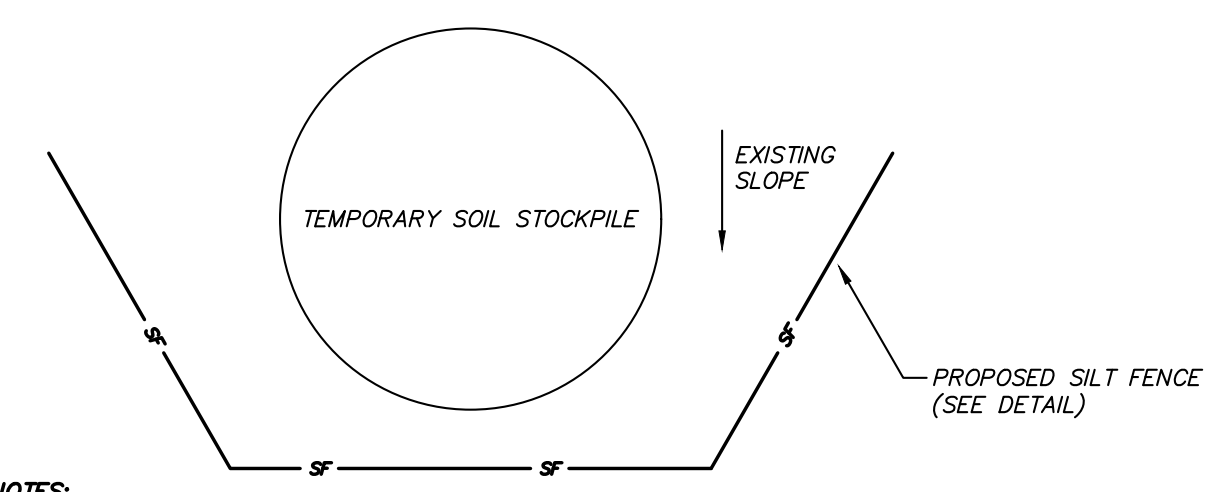


- INSTALLATION NOTES**
- STONE SIZE - USE 3" STONE
  - LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.)
  - THICKNESS - NOT LESS THAN SIX (6) INCHES.
  - WIDTH - 10 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR.
  - FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
  - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
  - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
  - WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
  - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

**STABILIZED CONSTRUCTION ENTRANCE DETAIL**  
(N.T.S.)



**DRAINAGE CHANNEL STABILIZATION 'A'**  
(N.T.S.)



- NOTES**
- AREA CHOSEN FOR STOCKPILE LOCATION SHALL BE DRY AND STABLE.
  - MAXIMUM SLOPE OF STOCKPILE SHALL BE 2:1.
  - UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE IMMEDIATELY SEEDED WITH K31 PERENNIAL TALL FESCUE.
  - ALL STOCKPILES SHALL BE PROTECTED WITH SILT FENCING INSTALLED ON THE DOWNGRADIENT SIDE.

**TEMPORARY SOIL STOCKPILE DETAIL**  
(N.T.S.)

**Erosion & Sediment Control Notes:**

- The owner's field representative (O.F.R.) will be responsible for the implementation and maintenance of sediment and erosion control measures on this site prior to and during construction.
- All construction activities involving the removal or disposition of soil are to be provided with appropriate protective measures to minimize erosion and contain sediment disposition within. Minimum soil erosion and sediment control measures shall be implemented as shown on the plans and shall be installed in accordance with "New York Standards and Specifications For Erosion and Sediment Control," latest edition.
- Wherever feasible, natural vegetation should be retained and protected. Disturbance shall be minimized in the areas required to perform construction. No more than 5 acres of unprotected soil shall be exposed at any one time.
- When land is exposed during development, the exposure shall be kept to the shortest practical period of time, but in no case more than 14 days after the construction activity in that portion of the site has ceased. Disturbance shall be minimized in the areas required to perform construction.
- All construction vehicles shall be kept clear of the watercourses and wetland control areas outside the areas of proposed trail improvements. Additional silt fence shall be installed in the areas where the disturbance is in close proximity of the watercourses or wetland control areas.
- The stabilized construction entrance and silt fence shall be installed as shown on the plans prior to beginning any clearing, grubbing or earthwork.
- All topsoil to be stripped from the area being developed shall be stockpiled and immediately seeded with *Lolium perenne aristatum* or *Lolium perenne multiflorum* for temporary stabilization. *Lolium perenne aristatum* shall be used for winter seeding and *Lolium perenne multiflorum* shall be used for spring and summer seeding.
- Any graded areas not subject to further disturbance or construction traffic shall, within 10 days of final grading, receive permanent vegetation cover in combination with a suitable mulch. All seeded areas to receive a minimum 4" topsoil (from stockpile area) and be seeded and mulched as follows:
  - Seed mixture to be planted between March 21 and May 20, or between August 15 and October 15 or as directed by project representative at a rate of 30 pounds per acre using (EONM-132-1), Native Right-of-Way Woods seed mix with Annual Ryegrass.
  - Mulch: Salt hay or small grain straw applied at a rate of 90 lbs./1000 S.F. or 2 tons/acre, to be applied and anchored according to "New York Standards and Specification For Erosion and Sediment Control," latest edition.
- Grass seed mix may be applied by either mechanical or hydroseeding methods. Hydroseeding shall be performed in accordance with the current edition of the "NYSDOT Standard Specification, Construction and Materials, Section 610-3.02, Method No. 1".
- The site shall at all times be graded and maintained such that all stormwater runoff is diverted to soil erosion and sediment control facilities.
- Stormwater from disturbed areas must be passed through erosion control barriers before discharge beyond disturbed areas or discharged into other drainage systems.
- Sedimentation and erosion control measures shall be inspected and maintained on a daily basis by the O.F.R. to insure that channels, temporary and permanent ditches and pipes are clear of debris, that embankments and berms have not been breached and that all straw bales and silt fences are intact. Any failure of sediment and erosion control measures shall be immediately repaired by the contractor and inspected for approval by the O.F.R. and/or site engineer.
- Dust shall be controlled by sprinkling or other approved methods as necessary, or as directed by the O.F.R.
- Cut and fills shall not endanger adjoining property, nor divert water onto the property of others.
- The O.F.R. shall inspect downstream conditions for evidence of sedimentation on a weekly basis and after rainstorms.
- As warranted by field conditions, special additional sedimentation and erosion control measures, as specified by the site engineer, the Wetlands Inspector, the Town Engineer and/or NYSDEC shall be installed by the contractor.
- Erosion control measures shall remain in place until all disturbed areas are suitably stabilized.

**Construction Sequence**

- Install stabilized construction entrance/anti-tracking pad at entrance to temporary construction access.
- Install silt fence in general locations indicated on the plan.
- Begin selective tree removal operations associated with temporary construction access and proposed trail location. Exact trail location to be adjusted in the field to limit clearing and disturbance to a minimum within the wetland buffer.
- Install temporary construction access.
- Install drainage channel stabilization.
- Begin selective tree removal operations associated with dock installation.
- Begin grading for trail restorations and trail improvements and construct trails.
- Install dock.
- Install retaining walls and construct pergolas at sitting area locations.
- Install sitting areas and benches.
- Remove stabilized construction entrance and temporary construction access and restore trail.
- Topsoil, seed and mulch all disturbed areas as soon as practical in accordance with the Sediment and Erosion Control Notes on this page.

**General Notes for Work within Wetland Buffer for Walking Trail and Boat Dock Improvements:**

- Existing stone wall outside of the project limit of disturbance and within the stream and wetland buffers are intended to remain.
- Landscape scale machinery will be used to install the walking trail and for tree removal operations within the wetland buffer associated with the gravel portion of the trail, the gazebo and the fishing dock.
  - Machinery is to be parked outside the wetland buffer when not in use and overnight on top of plywood or tarps.
  - a spill kit shall be maintained on site at times when equipment is in use within the wetland/stream buffer.
- Material stockpiles and staging for walking trail and boat dock improvements will be outside the wetland buffer.

2	8-2-21	REVISED PER ECB COMMENTS	JLT
1	10-10-13	REVISED PER TOWN OF CARMEL COMMENTS	DLM
NO.	DATE	REVISION	BY

**INSITE**  
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

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www.insite-eng.com

PROJECT: GATEWAY SUMMIT & THE FAIRWAYS SENIOR HOUSING DEVELOPMENTS  
U.S. ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING: PROPOSED WALKING TRAIL AND BOAT DOCK DETAILS AND NOTES

PROJECT NO. 05140.100 PROJECT MANAGER S.W.B.  
DATE 11-02-09 DRAWN BY R.C.S.  
SCALE 1" = 40' CHECKED BY D.L.M.

DRAWING NO. SHEET  
S-5 6  
6

STATE OF NEW YORK  
REGISTERED PROFESSIONAL ENGINEER  
91851





August 2, 2021

RE: G&F Subdivision Road,  
Gateway Summit and The Fairways  
Housing Developments  
US Route 6, Town of Carmel, Putnam County, New York

The following observations are provided at the request of the Town of Carmel Environmental Conservation Board (ECB) based on field visits performed by this office on July 21 and July 23, 2021 to review conditions of existing site walls upslope and within subject area, trees to be removed from wetland and stream buffers due to project disturbance, and condition/vegetative cover of stream banks downslope of project disturbance in the buffer. Refer to site photos and Site Conditions Key Map (Figures KM-1 through KM-5) attached.

- **Area A (Photos A12 through A17 & A24 through A28)**
  1. Focusing on the condition of the stream bank and the status of the existing vegetation throughout the area.
  2. The stream appears to be in good condition with no noticeable erosion along the bank and many large rocks and boulders on its edges.
  3. The existing vegetation contains a mix of native and naturalized vegetation which lends itself to the stability of the stream bank.
  4. It is our opinion that disturbing the vegetation in this area may increase erosive potential, and ultimately cause harm to the watercourse.
  
- **Area B (Photos B18 through B23)**
  1. This area is upslope of the Town regulated stream.
  2. There are 45 trees in this area that will be removed to accommodate site grading associated with construction of Gateway Drive. The genera in this area consist of maples, tulips, elms, and poplar trees.
  3. A graded swale is proposed below the fill area to divert runoff to the stormwater basin.
  
- **Area C (Photos C1 through C11)**
  1. Much of the vegetation in this area consists of understory perennials, and it is estimated that 91 trees will be removed for proposed earthwork. The genera consist of maples, tulips, elms, and poplar trees.
  2. The existing stone walls appear to be in good condition and only require infill of new stone walls in certain areas for continuity. Refer to the site plans for areas of stone wall infill. The stone walls and existing topography will serve to dissipate runoff from the berm of the stormwater basin.
  
- **Area D (Photos D1 through D3)**
  1. The stone walls in this area are generally in good condition and serve to divert/dissipate upslope runoff. The stone walls sit adjacent to the existing trail.
  2. There is no tree removal anticipated in this area.



- **Area E (Photos E4 through E10)**
  1. The stone walls in this area are generally in good condition and serve to divert/dissipate upslope runoff. The stone walls sit adjacent to the existing trail, and location of the new trail.
  2. There is no tree removal anticipated in this area.
  
- **Area F (Photos F11 through F21)**
  1. The stone walls in this area are generally in good condition and serve to divert/dissipate upslope runoff. The stone walls sit adjacent to the location of the proposed trail.
  2. There is no tree removal anticipated in this area.
  
- **Area G (Photos G29 through G38)**
  1. This area is composed primarily of understory perennials under the existing tree canopy. There will be 6 maple trees removed for the pergola and sitting area.
  2. This area will benefit from trimming of the naturalized understory vegetation along the lake edge outside of the wetland to open the view for the pergola and sitting area.
  3. The stone walls in this area are generally in good condition and serve to dissipate/divert upslope runoff. They run adjacent to the existing and proposed path.
  
- **Area H (Photos H28 through H32 & H34 through H37)**
  1. The stone walls in this area are generally in good condition. They will require minor adjustments to accommodate the proposed trail.
  2. There is no tree removal anticipated in this area.
  
- **Area I (Photos I54 through I60)**
  1. This area consists mainly of understory perennials along the lake's edge. There are 6 maple trees anticipated to be removed for the construction of the boat dock and a portion of the gravel trail (necessary for emergency access).
  2. The stone walls along the lake in this area are generally in good condition.
  
- **Area J (Photos J39 through J50)**
  1. Site disturbance within the wetland buffer in this area is associated with the proposed gravel trail (necessary for emergency access). The boathouse is outside the wetland buffer. This office anticipates that there will be 45 trees removed for construction of the gravel trail, including maple, hickory, and beech trees.
  2. The stone walls in this area are generally in good condition and run adjacent to the proposed gravel trail.
  3. Selected vegetation will be trimmed along the lake edge to open up the view of the lake, outside of the wetland.
  
- **Area K (Photos K1 through K8)**
  1. Site disturbance within the wetland buffer is associated with construction of a stormwater basin.
  2. The vegetation consists of predominantly naturalized and native perennials. It is anticipated that 22 trees will be removed. The genera consist of sumac, poplar, maple, elms, oak, and olive (Elaeagnus).



G & F Photos of Existing Conditions Taken July 21 and July 26  
Refer to Site Conditions Key Map (Figures KM-1 through KM-5)



AREA A\_12



AREA A\_13



AREA A\_14



AREA A\_15



AREA A\_16



AREA A\_17



AREA A\_24



AREA A\_25



AREA A\_26



AREA A\_27



AREA A\_28



AREA B\_18



AREA B\_19



AREA B\_20



AREA B\_21



AREA B\_22



AREA B\_23



AREA C\_1



AREA C\_2



AREA C\_3



AREA C\_4



AREA C\_5



AREA C\_6



AREA C\_7



AREA C\_8



AREA C\_9



AREA C\_10



AREA C\_11



AREA D\_1



AREA D\_2



AREA D\_3



AREA E\_4



AREA E\_5



AREA E\_6



AREA E\_7



AREA E\_8



AREA E\_9



AREA E\_10



AREA F\_11



AREA F\_12



AREA F\_13



AREA F\_14



AREA F\_15



AREA F\_16



AREA F\_17



AREA F\_18



AREA F\_19



AREA F\_20



AREA F\_21



AREA G\_29



AREA G\_30



AREA G\_31



AREA G\_32



AREA G\_33



AREA G\_34



AREA G\_35



AREA G\_36



AREA G\_37



AREA G\_38



AREA H\_28



AREA H\_29



AREA H\_34



AREA H\_35



AREA H\_36



AREA I\_54



AREA I\_55



G & F Photos of Existing Conditions Taken July 21 and July 26  
Refer to Site Conditions Key Map (Figures KM-1 through KM-5)



AREA I\_56



AREA I\_57



AREA I\_58



AREA I\_59



AREA I\_60



AREA J\_39



AREA J\_40



AREA J\_41



AREA J\_42



AREA J\_43



AREA J\_44



AREA J\_45



AREA J\_46



AREA J\_47



AREA J\_49



AREA J\_50



AREA J\_51



AREA J\_52



AREA J\_53



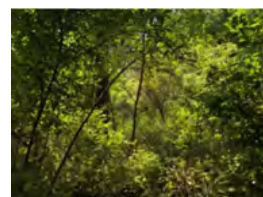
AREA K\_1



AREA K\_2



AREA K\_3



AREA K\_4



AREA K\_5



AREA K\_6



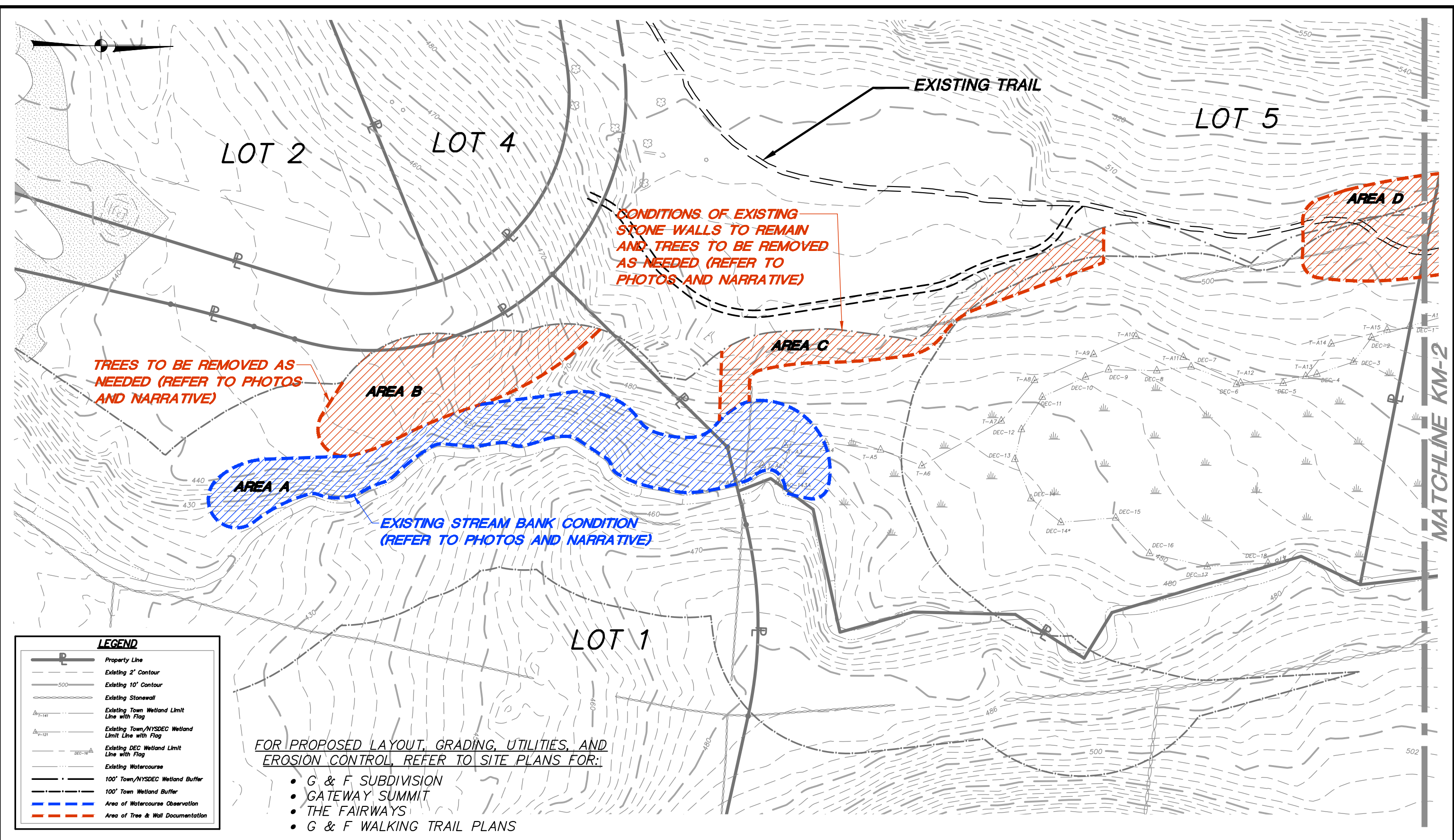
AREA K\_7



AREA K\_8



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TRES TO BE REMOVED AS NEEDED (REFER TO PHOTOS AND NARRATIVE)

CONDITIONS OF EXISTING STONE WALLS TO REMAIN AND TREES TO BE REMOVED AS NEEDED (REFER TO PHOTOS AND NARRATIVE)

EXISTING STREAM BANK CONDITION (REFER TO PHOTOS AND NARRATIVE)

**LEGEND**

	Property Line
	Existing 2' Contour
	Existing 10' Contour
	Existing Stonewall
	Existing Town Wetland Limit Line with Flag
	Existing Town/NYSDEC Wetland Limit Line with Flag
	Existing DEC Wetland Limit Line with Flag
	Existing Watercourse
	100' Town/NYSDEC Wetland Buffer
	100' Town Wetland Buffer
	Area of Watercourse Observation
	Area of Tree & Wall Documentation

FOR PROPOSED LAYOUT, GRADING, UTILITIES, AND EROSION CONTROL, REFER TO SITE PLANS FOR:

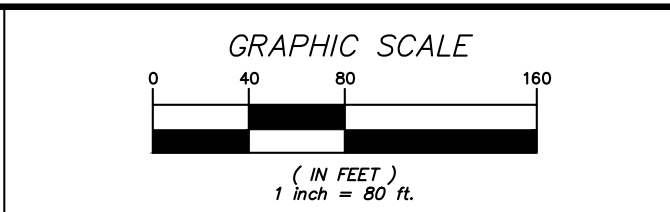
- G & F SUBDIVISION
- GATEWAY SUMMIT
- THE FAIRWAYS
- G & F WALKING TRAIL PLANS

PROJECT: **G & F SUBDIVISION, GATEWAY SUMMIT & THE FAIRWAYS**  
 U.S. ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING: **SITE CONDITIONS KEY MAP**

PREPARED BY:

**INSITE**  
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 3 Garrett Place • Carmel, New York 10512  
 Phone (845) 225-9690 • Fax (845) 225-9717  
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DATE: 8-2-21

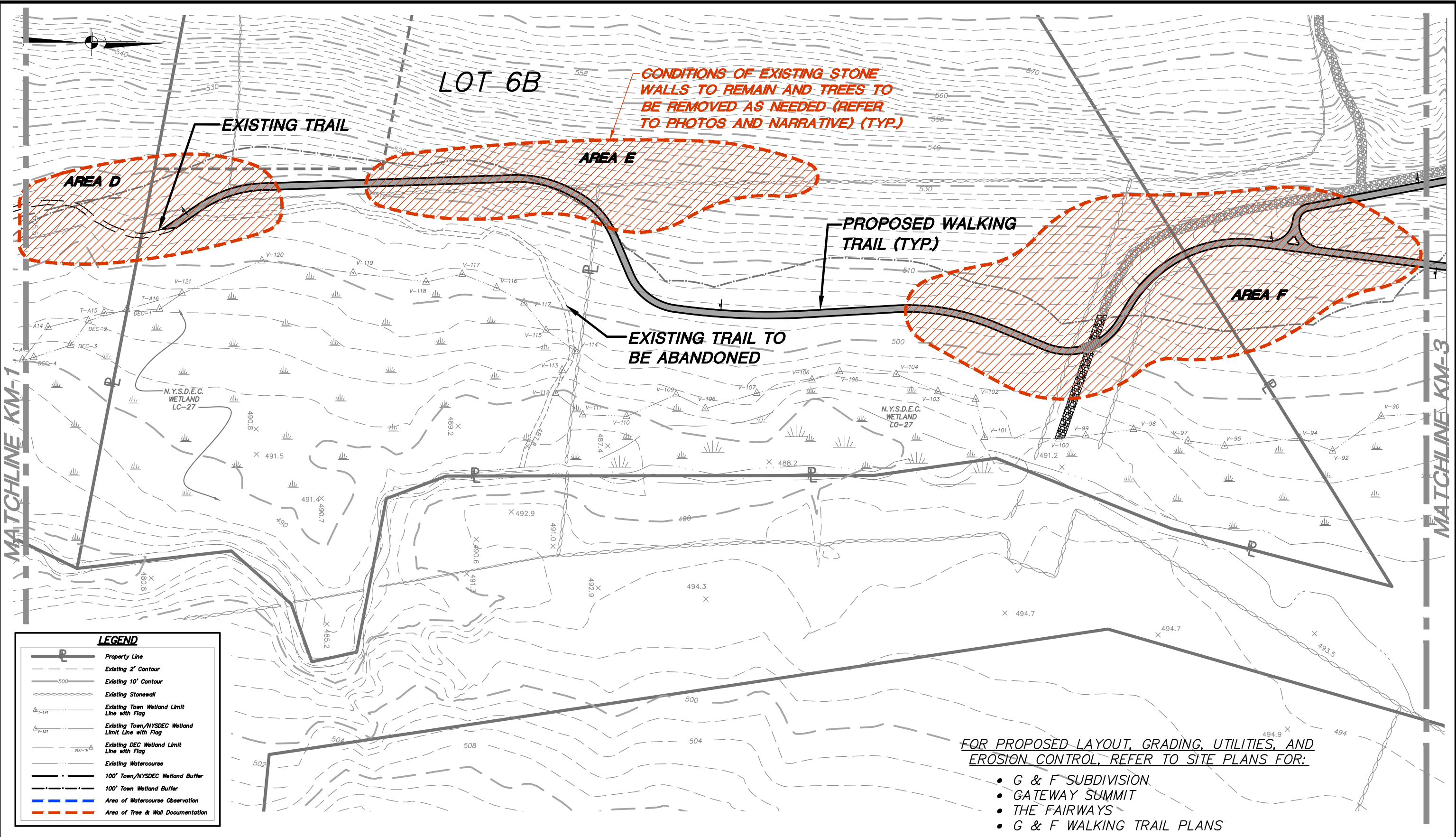
SCALE: 1" = 80'

PROJECT NO.: 05140.100

FIGURE: KM-1



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LEGEND	
	Property Line
	Existing 2' Contour
	Existing 10' Contour
	Existing Stonewall
	Existing Town Wetland Limit Line with Flag
	Existing Town/NYSDEC Wetland Limit Line with Flag
	Existing DEC Wetland Limit Line with Flag
	Existing Watercourse
	100' Town/NYSDEC Wetland Buffer
	100' Town Wetland Buffer
	Area of Watercourse Observation
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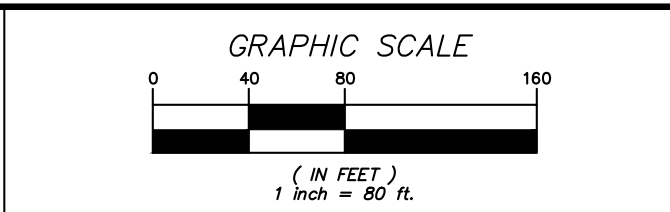
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PROJECT: **G & F SUBDIVISION, GATEWAY SUMMIT & THE FAIRWAYS**  
 U.S. ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING: **SITE CONDITIONS KEY MAP**

PREPARED BY:

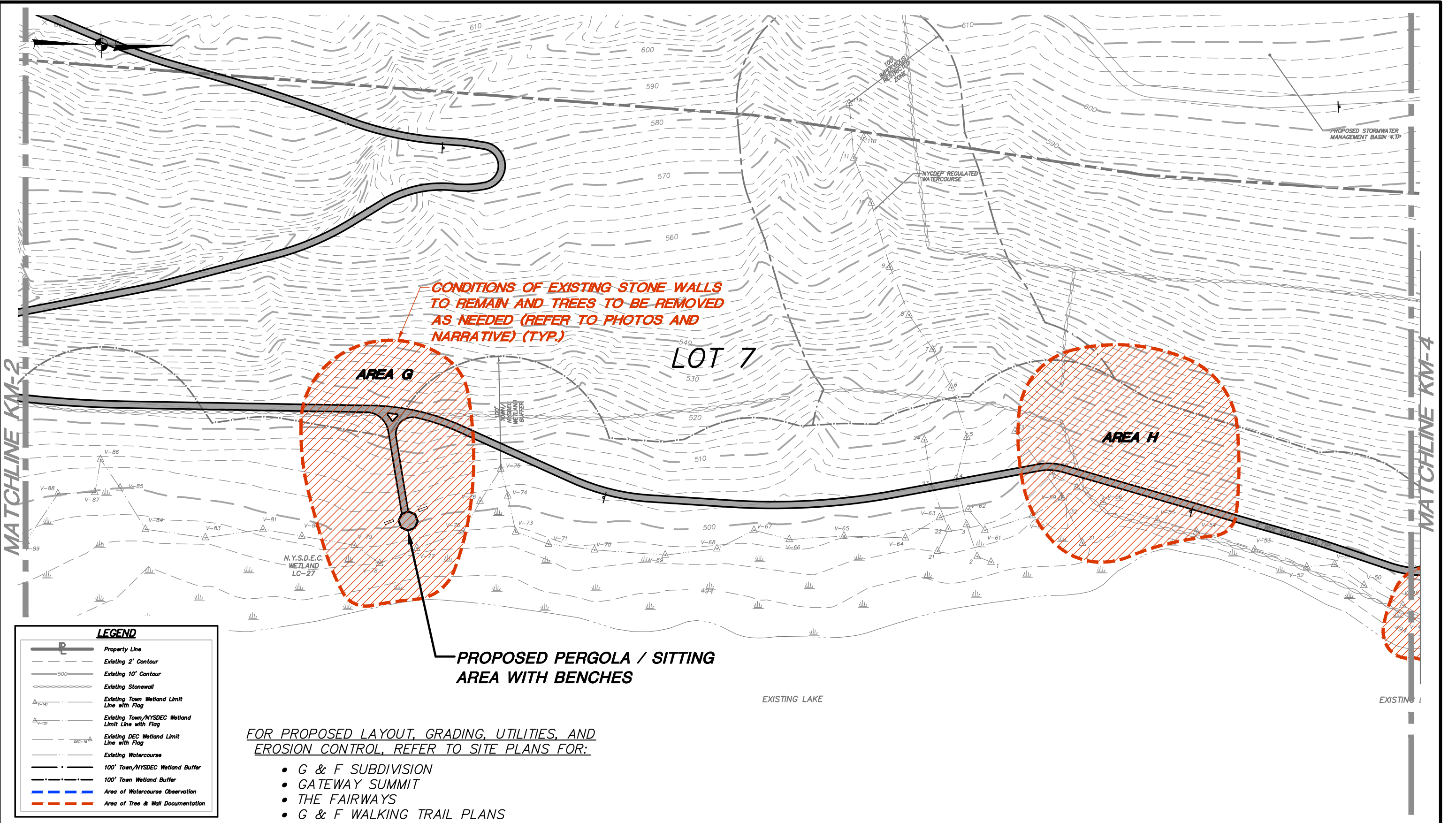
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DATE: 8-2-21  
 SCALE: 1" = 80'  
 PROJECT NO.: 05140.100  
 FIGURE: KM-2



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CONDITIONS OF EXISTING STONE WALLS TO REMAIN AND TREES TO BE REMOVED AS NEEDED (REFER TO PHOTOS AND NARRATIVE) (TYP.)

AREA G

LOT 7

AREA H

PROPOSED PERGOLA / SITTING AREA WITH BENCHES

EXISTING LAKE

EXISTING

FOR PROPOSED LAYOUT, GRADING, UTILITIES, AND EROSION CONTROL, REFER TO SITE PLANS FOR:

- G & F SUBDIVISION
- GATEWAY SUMMIT
- THE FAIRWAYS
- G & F WALKING TRAIL PLANS

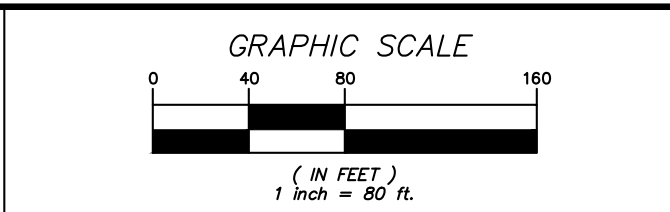
LEGEND	
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	Area of Watercourse Observation
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PROJECT: **G & F SUBDIVISION, GATEWAY SUMMIT & THE FAIRWAYS**  
 U.S. ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING: **SITE CONDITIONS KEY MAP**

PREPARED BY:

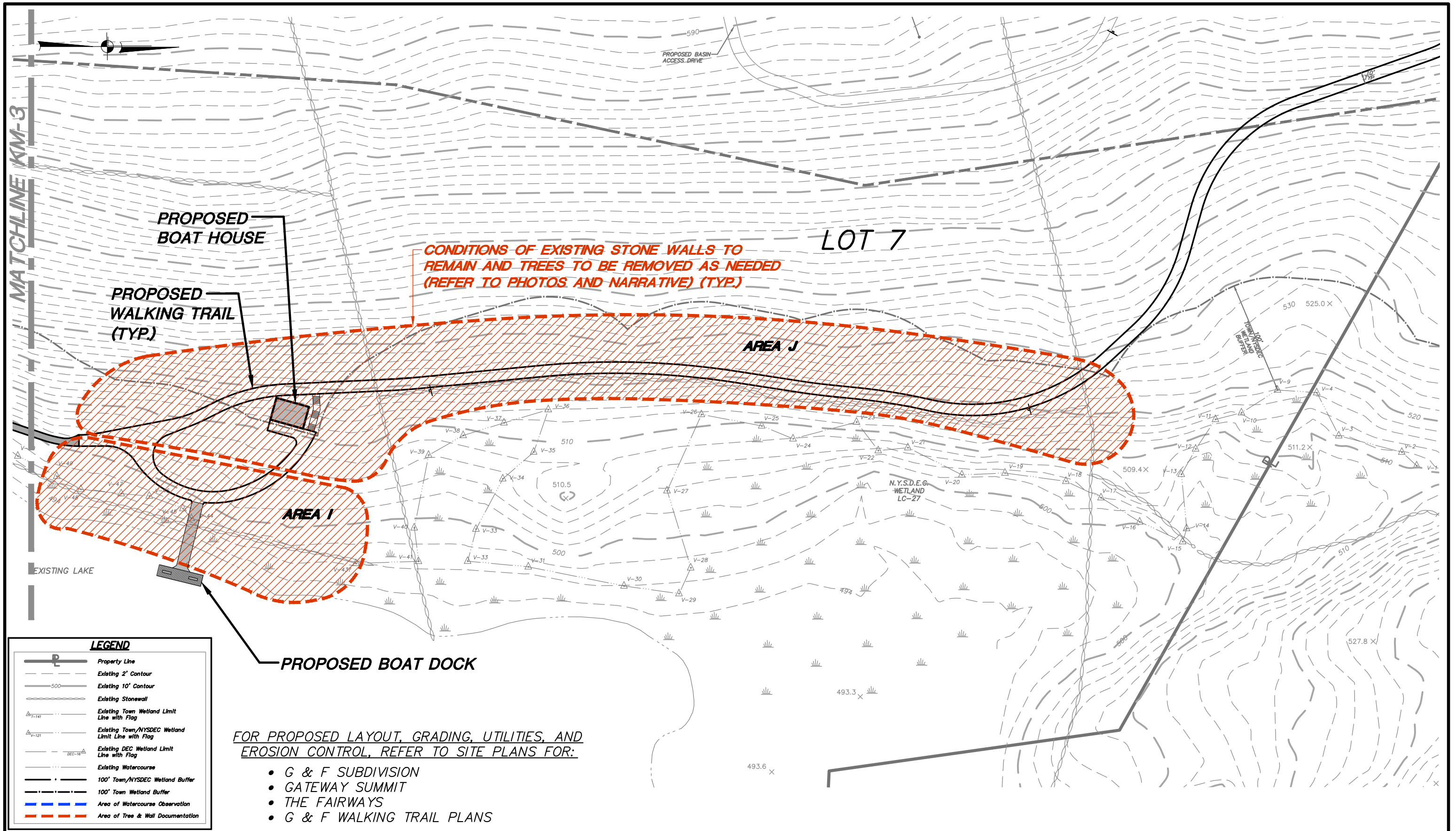
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DATE: 8-2-21  
 SCALE: 1" = 80'  
 PROJECT NO.: 05140.100  
 FIGURE: KM-3



Z:\E\05140100 Fairways SH\Misc Dwg\ECB Key Map\01 KM-1.dwg, 8/2/2021 12:23:26 PM, jrusso, 1:1

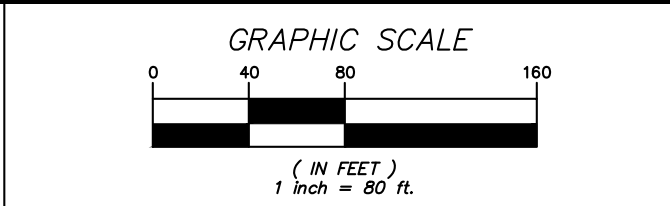


**PROJECT:** G & F SUBDIVISION, GATEWAY SUMMIT & THE FAIRWAYS  
U.S. ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

**DRAWING:** SITE CONDITIONS KEY MAP

**PREPARED BY:**

**INSITE**  
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.  
3 Garrett Place • Carmel, New York 10512  
Phone (845) 225-9690 • Fax (845) 225-9717  
www.insite-eng.com



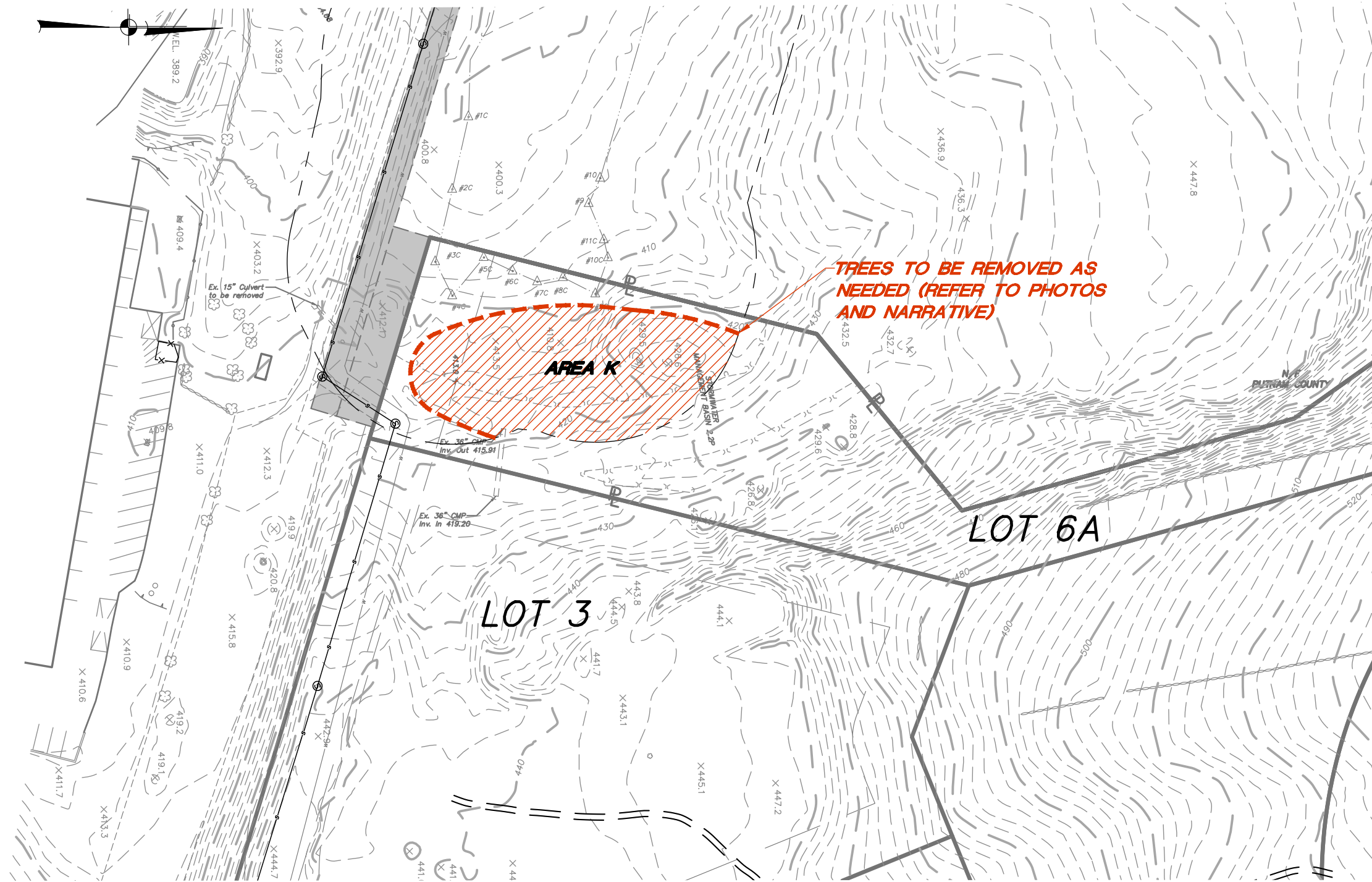
**DATE:** 8-2-21

**SCALE:** 1" = 80'

**PROJECT NO.:** 05140.100

**FIGURE:** KM-4





LEGEND	
	Property Line
	Existing 2' Contour
	Existing 10' Contour
	Existing Stonewall
	Existing Town Wetland Limit Line with Flag
	Existing Town/NYSDEC Wetland Limit Line with Flag
	Existing DEC Wetland Limit Line with Flag
	Existing Watercourse
	100' Town/NYSDEC Wetland Buffer
	100' Town Wetland Buffer
	Area of Watercourse Observation
	Area of Tree & Wall Documentation

FOR PROPOSED LAYOUT, GRADING, UTILITIES, AND EROSION CONTROL, REFER TO SITE PLANS FOR:

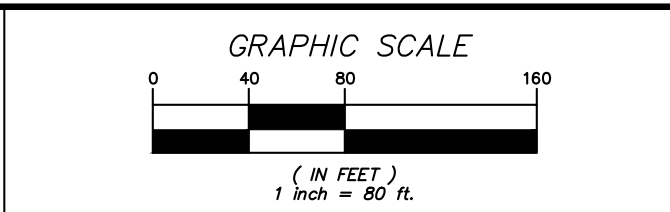
- G & F SUBDIVISION
- GATEWAY SUMMIT
- THE FAIRWAYS
- G & F WALKING TRAIL PLANS

PROJECT: **G & F SUBDIVISION, GATEWAY SUMMIT & THE FAIRWAYS**  
 U.S. ROUTE 6, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING: **SITE CONDITIONS KEY MAP**

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DATE: 8-2-21

SCALE: 1" = 80'

PROJECT NO.: 05140.100

FIGURE: KM-5

Z:\E\05140100 Fairways SH\Misc Dwg\ECB Key Map\01 KM-1.dwg, 8/2/2021 12:22:09 PM, jrusso, 1:1



**From:** [Franzetti, Richard](#)  
**To:** [afederice@hotmail.com](mailto:afederice@hotmail.com); [Edward Barnett](#); [Nicholas Fannin](#); [Nicole Sedran](#); [Robert Laga \(SMJ.Robert@verizon.net\)](#); [Trombetta, Rose](#); [ytbzg@yahoo.com](mailto:ytbzg@yahoo.com)  
**Cc:** [Trombetta, Rose](#); [Andren, Dawn](#)  
**Subject:** 07-14-2021 Site Visit/26 Frederick St/Escrow Return (TM 64.19-1-58)  
**Date:** Thursday, July 15, 2021 4:37:48 PM

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Chairman Laga and Environmental Board members

The Engineering Department performed an inspection of the referenced property. The project has been stabilized for years and the escrow can be returned.

Richard J. Franzetti, P.E, BCEE  
Town Engineer  
60 McAlpin Avenue  
Mahopac, New York 10541  
Phone - (845) 628-1500 ext 181  
Fax – (845) 628-7085  
Cell – (914) 843-4704  
[rjf@ci.carmel.ny.us](mailto:rjf@ci.carmel.ny.us)

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**From:** Andren, Dawn  
**Sent:** Monday, July 12, 2021 12:44 PM  
**To:** Franzetti, Richard <[rjf@ci.carmel.ny.us](mailto:rjf@ci.carmel.ny.us)>  
**Cc:** Trombetta, Rose <[rtrombetta@ci.carmel.ny.us](mailto:rtrombetta@ci.carmel.ny.us)>  
**Subject:** 7/12:21: Site Visit/26 Frederick St/Escrow Return

Hello Rich:

Can you please do a site visit for the following so we may return a \$500 escrow to Mr. Chang:

- 26 Frederick Street, Mahopac
- TM #64.19-1-58 (historically name was Chang – **since moved**)
- Wetland Permit # 884; dtd 9/4/14
- “replace existing 3 bedroom with new 3 bedroom house on same footprint”

Hard-copies of plans, what was approved & permit will be provided shortly following this email.

Please let me know if there’s anything else you would like to see from the file. Thank you!!



*Dawn M. Andren*  
*Planning Department.*

**Town of Carmel**  
**60 McAlpin Avenue**  
**Mahopac, NY 10541**  
**(845) 628-1500 X-187**

**Planning Dept Hours:**

**Mon – Thurs: 10:30-3:30**

**Fri: 9 ~ 12**