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*Chairman*

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*Vice Chairman*

**BOARD MEMBERS**  
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**TOWN OF CARMEL**  
**PLANNING BOARD**



60 McAlpin Avenue  
Mahopac, New York 10541  
Tel. (845) 628-1500 – Ext.190  
[www.ci.carmel.ny.us](http://www.ci.carmel.ny.us)

MICHAEL CARNAZZA  
*Director of Code  
Enforcement*

RICHARD FRANZETTI, P.E.  
*Town Engineer*

PATRICK CLEARY,  
AICP, CEP, PP, LEED AP  
*Town Planner*

**PLANNING BOARD AGENDA**  
**SEPTEMBER 8, 2022 – 7:00 P.M.**

**TAX MAP #   PUB. HEARING   MAP DATE   COMMENTS**

**RESOLUTION**

|   |            |         |           |
|---|------------|---------|-----------|
| 1. Suez Water New York Inc – Chateau Wells -<br>59 McNair Drive | 75.20-1-16 | 6/24/22 | Site Plan |
|---|------------|---------|-----------|

**SITE PLAN**

|  |                 |         |                   |
|--|-----------------|---------|-------------------|
| 2. Kiwi Country Day School – 825 Union Valley Rd | 77.17-1-31 & 32 | 8/24/22 | Amended Site Plan |
| 3. 910 South Lake Blvd LLC – 910 South Lake Blvd | 75.44-1-57 & 64 | 8/12/22 | Amended Site Plan |

**MISCELLANEOUS**

|   |            |  |  |
|---|------------|--|--|
| 4. Yankee Land Development – Bayberry Hill Rd &<br>Owen Drive | 76.15-1-12 |  | Extension of Preliminary<br>Subdivision Approval |
| 5. Minutes – 07/14/22, 07/27/22                               |            |  |  |



August 24, 2022

Town of Carmel Planning Board  
60 McAlpin Avenue  
Mahopac, New York 10541

RE: Kiwi Country Day Camp  
Town of Carmel  
TM# 77.17-1-31 & 32

Dear Chairman Paepre and Members of the Board:

Please find enclosed the following plans and documents in support of an application for amended site plan approval for the above referenced project:

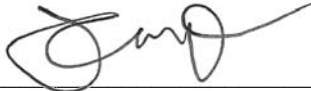
- Site Plan Application, dated August 24, 2022. (11 copies)
- Site Plan Completeness Certification Form. (11 copies).
- Disclosure Addendum Statement, dated August 24, 2022. (2 copies)
- Site Plan, dated August 24, 2022. (5 copies)
- SEQR Short EAF, dated August 24, 2022. (11 copies)
- Property Deed. (2 copies)
- List of Property Owners within 500' of the Site Boundary. (2 copies)
- Check in the amount of \$4,100.00 for the Site Plan Application Fee

The new ownership/applicant is seeking amended site plan approval for the existing Kiwi Country Day Camp. In addition to identifying some minor departures from the current site plan, the applicant seeks to add four yurt structures and some other minor revisions to the site plan.

Please place the project on the September 8, 2022 Planning Board agenda for a discussion of the project with the Board. Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:   
\_\_\_\_\_  
Jeffrey J. Contelmo, PE  
Senior Principal Engineer

JJC/adt

Enclosures (All via email only)

cc: Willi Yahr  
Mahopac Volunteer Fire Department

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3 Garrett Place, Carmel, New York 10512 (845) 225-9690 Fax (845) 225-9717  
[www.insite-eng.com](http://www.insite-eng.com)

Z:\E\21258100 Kiwi Country Day Camp\Record PDF's\2022-08-24 (PB Submission)\082422cpb.doc



# TOWN OF CARMEL SITE PLAN APPLICATION INSTRUCTIONS



The Town of Carmel Planning Board meetings are held twice a month, on the second and fourth Wednesday's, at 7:00 PM at Carmel Town Hall, 60 McAlpin Avenue, Carmel

The submission deadline is 10 days prior to the Planning Board meeting. New site plan applications that have been deemed complete will be placed on the agenda in the order they are received.

**No application will be placed on the agenda that is incomplete**

**Pre-Submission:**

Prior to the formal submission of the site plan, a pre-submission conference may be requested by the applicant to be conducted with representatives from the Town, which may include the Town Planner, Town Engineer, Director of Code Enforcement and/or the Planning Board Attorney. This conference will serve to educate the applicant on the process he/she must follow, clarify the information required to submit a complete site plan application, and to highlight any specific areas of concern. You may arrange a pre-submission conference through the Planning Board Secretary at (845) 628-1500 extension 190.

**Submission Requirements:**

At least 10 days prior to the Planning Board meeting, the site plan application shall be submitted to the Planning Board Secretary as follows:

All site plans shall be signed, sealed and folded with the title box legible. The application package shall include:

- 11 copies of the Site Plan Application Form, signed and notarized.
- 11 copies of the SEQR Environmental Assessment Form (use of short form or long form shall be determined at pre-submission conference).
- 5 full size sets of the Site Plan (including floor plans and elevations)
- 1 CD (in pdf. format) containing an electronic version of the Site Plan
- 2 copies of the Disclosure Statement
- 11 copies of the Site Plan Completeness Certification Form
- All supplemental studies, reports, plans and renderings.
- 2 copies of the current deed.
- 2 copies of all easements, covenants and restrictions.
- The appropriate fee, determined from the attached fee schedule. Make checks payable to the *Town of Carmel*.

*Rose Yonkette 8/29/22*  
 \_\_\_\_\_  
 Planning Board Secretary, Date

*Michelle Long 8/29/22*  
 \_\_\_\_\_  
 Town Engineer, Date  
*Buckley Chapman*





# TOWN OF CARMEL SITE PLAN APPLICATION



Per Town of Carmel Code – Section 156 - Zoning

| SITE IDENTIFICATION INFORMATION  |   |  |
|--|---|--|
| <b>Application Name:</b><br>Kiwi Country Day Camp  | <b>Application #</b><br>22-0009   | <b>Date Submitted:</b><br>August 24, 2022    |
| <b>Site Address:</b><br>No. 825 Street: Union Valley Rd Hamlet: Mahopac  |   |  |
| <b>Property Location:</b> (Identify landmarks, distance from intersections, etc.)<br>Union Valley Road between Colonel Enoch Drive & Blossom Lane                          |   |  |
| <b>Town of Carmel Tax Map Designation:</b><br>Section 77.17 Block 1 Lot(s) 31 & 32   | <b>Zoning Designation of Site:</b><br>Residential   |  |
| <b>Property Deed Recorded in County Clerk's Office</b><br>Date Liber 1931 Page 220   | <b>Liens, Mortgages or other Encumbrances</b><br><input checked="" type="radio"/> Yes <input type="radio"/> No              |  |
| <b>Existing Easements Relating to the Site</b><br>No <input checked="" type="radio"/> Yes Describe and attach copies:<br>Playing Field Use Easement on 31 Blossom Lane     | <b>Are Easements Proposed?</b><br><input checked="" type="radio"/> No <input type="radio"/> Yes Describe and attach copies: |  |
| <b>Have Property Owners within a 500' Radius of the Site Been Identified?</b><br>Yes <input type="radio"/> No <input type="radio"/> Attached List to this Application Form |   |  |
| APPLICANT/OWNER INFORMATION  |   |  |
| <b>Property Owner:</b><br>Kiwi Landco LLC & Dasma Landco LLC   | <b>Phone #:</b> 914-276-2267<br><b>Fax#:</b>  | <b>Email:</b><br>will@kiwicountrydaycamp.com |
| <b>Owners Address:</b><br>No. 825 Street: Union Valley Road Town: Mahopac State: NY Zip: 10512   |   |  |
| <b>Applicant (If different than owner):</b>  | <b>Phone #:</b><br><b>Fax#:</b>   | <b>Email:</b>                                |
| <b>Applicant Address (If different than owner):</b><br>No. Street: Town: State: Zip:   |   |  |
| <b>Individual/ Firm Responsible for Preparing Site Plan:</b><br>Jeffrey J. Contelmo, PE (Insite Engineering)   | <b>Phone #:</b> 845-225-9690<br><b>Fax#:</b>  | <b>Email:</b><br>jcontelmo@insite-eng.com    |
| <b>Address:</b><br>No. 3 Street: Garrett Place Town: Carmel State: NY Zip: 10512   |   |  |
| <b>Other Representatives:</b>  | <b>Phone #:</b><br><b>Fax#:</b>   | <b>Email:</b>                                |
| <b>Owners Address:</b><br>No. Street: Town: State: Zip:  |   |  |
| PROJECT DESCRIPTION  |   |  |
| <b>Describe the project, proposed use and operation thereof:</b><br>Amended Site plan for a seasonal day camp including some minor proposed improvements.                  |   |  |





# TOWN OF CARMEL SITE PLAN APPLICATION

| PROJECT INFORMATION  |  |   |
|--|--|---|
| <b>Lot size:</b><br>Acres: 14.7 & 2.8      640,129 & 122,123<br>Square Feet:   | <b>Square footage of all existing structures (by floor):</b><br>Cumulative 12,000sf+- & 1,350sf+-        |   |
| <b># of existing parking spaces:</b> 11  | <b># of proposed parking spaces:</b> 11  |   |
| <b># of existing dwelling units:</b> 1 & 1   | <b># of proposed dwelling units:</b> 1 & 1   |   |
| <b>Is the site served by the following public utility infrastructure:</b>  |  |   |
| <ul style="list-style-type: none"> <li>▪ Is project in sewer district or will private septic system(s) be installed? <u>NO</u></li> <li>▪ If yes to Sanitary Sewer answer the following:      On Site Septics                             <ul style="list-style-type: none"> <li>▶ Does approval exist to connect to sewer main? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/></li> <li>▶ Is this an in-district connection? _____ Out-of district connection? _____</li> <li>▶ What is the total sewer capacity at time of application? _____</li> <li>▶ What is your anticipated average and maximum daily flow _____</li> </ul> </li> </ul>   |  |   |
| <i>For Town of Carmel Town Engineer</i>  |  |   |
| <ul style="list-style-type: none"> <li>▶ What is the sewer capacity _____</li> </ul>   |  |   |
| <ul style="list-style-type: none"> <li>▪ <b>Water Supply</b>      Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> On Site Wells                             <ul style="list-style-type: none"> <li>If Yes:      ▶ Does approval exist to connect to water main? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/></li> <li>                 ▶ What is the total water capacity at time of application? _____</li> <li>                 ▶ What is your anticipated average and maximum daily demand _____</li> </ul> </li> <li>▪ <b>Storm Sewer</b>      Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/></li> <li>▪ <b>Electric Service</b>      Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/></li> <li>▪ <b>Gas Service</b>      Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/></li> <li>• <b>Telephone/Cable Lines</b>      Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/></li> </ul> |  |   |
| <b>For Town of Carmel Town Engineer</b>  |  |   |
| Water Flows _____<br>Sewer Flows _____<br><br>_____<br><b>Town Engineer; Date</b>  |  |   |
| <b>What is the predominant soil type(s) on the site?</b><br>Ridgebury Complex, Woodbridge Loam, Chatfield Complex  |  | <b>What is the approximate depth to water table?</b>                                |
| <b>Site slope categories:</b> 15-25% <u>15</u> %      25-35% <u>10</u> %      >35% <u>10</u> %   |  |   |
| <b>Estimated quantity of excavation:</b> Cut (C.Y.) <u>0</u> Fill (C.Y.) <u>0</u>  |  |   |
| <b>Is Blasting Proposed</b> Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> Unknown: <input type="checkbox"/>  |  |   |
| <b>Is the site located in a designated Critical Environmental Area?</b> Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>  |  |   |
| <b>Does a curb cut exist on the site?</b> Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>  | <b>Are new curb cuts proposed?</b> Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> | <b>What is the sight distance?</b><br>As Existing - No Proposed Change to Driveways |
| <b>Is the site located within 500' of:</b>   |  |   |
| <ul style="list-style-type: none"> <li>• The boundary of an adjoining city, town or village      Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/></li> <li>• The boundary of a state or county park, recreation area or road right-of-way      Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/></li> <li>• A county drainage channel line.      Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/></li> <li>• The boundary of state or county owned land on which a building is located      Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/></li> </ul>   |  |   |

## TOWN OF CARMEL SITE PLAN APPLICATION

| Is the site listed on the State or Federal Register of Historic Place (or substantially contiguous)<br>Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>                     |            |   |  |           |
|--|------------|---|--|-----------|
| Is the site located in a designated floodplain?<br>Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>   |            |   |  |           |
| Will the project require coverage under the Current NYSDEC Stormwater Regulations<br><div style="text-align: right;">Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/></div> |            |   |  |           |
| Will the project require coverage under the Current NYCDEP Stormwater Regulations<br><div style="text-align: right;">Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/></div> |            |   |  |           |
| Does the site disturb more than 5,000 sq ft  |            | Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> |  |           |
| Does the site disturb more than 1 acre   |            | Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> |  |           |
| Does the site contain freshwater wetlands?<br>Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>  |            |   |  |           |
| Jurisdiction:<br>NYSDEC: <input type="checkbox"/> Town of Carmel: <input checked="" type="checkbox"/>  |            |   |  |           |
| <i>If present, the wetlands must be delineated in the field by a Wetland Professional, and survey located on the Site Plan.</i>  |            |   |  |           |
| Are encroachments in regulated wetlands or wetland buffers proposed? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>   |            |   |  |           |
| Does this application require a referral to the Environmental Conservation Board?  |            |   | Yes: <input type="checkbox"/> No: <input type="checkbox"/> |           |
| Does the site contain waterbodies, streams or watercourses? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>  |            |   |  |           |
| Are any encroachments, crossings or alterations proposed? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>  |            |   |  |           |
| Is the site located adjacent to New York City watershed lands? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>   |            |   |  |           |
| Is the project funded, partially or in total, by grants or loans from a public source?<br>Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>                                  |            |   |  |           |
| Will municipal or private solid waste disposal be utilized?<br>Public: <input type="checkbox"/> Private: <input checked="" type="checkbox"/>   |            |   |  |           |
| Has this application been referred to the Fire Department? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>   |            |   |  |           |
| What is the estimated time of construction for the project? 12/2022  |            |   |  |           |
| ZONING COMPLIANCE INFORMATION  |            |   |  |           |
| Zoning Provision   | Required   | Existing  |  | Proposed  |
| Lot Area   | 120,000 sf | 640,129 sf±   | 122,123 sf±  | No Change |
| Lot Coverage   |            |   | 1.5%±  | No Change |
| Lot Width  | 200'       | 407'±   | 202±   | No Change |
| Lot Depth  | 200'       | 1,395'±   | 790'±  | No Change |
| Front Yard   | 40'        | 27'±  | 306'±  | No Change |
| Side Yard  | 20'        | <25'  | 27'±   | No Change |
| Rear Yard  | 40'        | <40'  | 420'±  | No Change |
| Minimum Required Floor Area  | N/A        |   |  |           |
| Floor Area Ratio   | N/A        |   |  |           |
| Height   | 35'        | <35'  | <35'   |           |
| Off-Street Parking   |            | 11  | 1  | 11   1    |
| Off-Street Loading   |            |   |  |           |

# TOWN OF CARMEL SITE PLAN APPLICATION

|  |   |
|--|---|
| Will variances be required?<br>Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>   | If yes, identify variances:   |
| <b>PROPOSED BUILDING MATERIALS</b>   |   |
| <b>Foundation</b>  | N/A   |
| <b>Structural System</b>   | N/A   |
| <b>Roof</b>  | N/A   |
| <b>Exterior Walls</b>  | N/A   |
| <b>APPLICANTS ACKNOWLEDGEMENT</b>  |   |
| I hereby depose and certify that all the above statements and information, and all statements and information contained in the supporting documents and drawings attached hereto are true and correct. |   |
| Will Yahr<br>_____<br><b>Applicants Name</b>   | <br>_____<br><b>Applicants Signature</b>                        |
| Sworn before me this <u>20</u> day of <u>August</u> 20 <u>22</u>   |   |
| <br>_____<br><b>Notary Public</b>   | CHRISTOPHER A BOEMIO<br>NOTARY PUBLIC-STATE OF NEW YORK<br>No. 01BO6409362<br>Qualified in Westchester County<br>My Commission Expires 09-28-2024 |





# TOWN OF CARMEL SITE PLAN COMPLETENESS CERTIFICATION FORM



All Site Plans submitted to the Planning Board for review shall include the following information and details, as set forth in Section 156-61 B of the Town of Carmel Zoning Ordinance.

This form shall be included with the site plan submission

|    | <i>Requirement Data</i>  | <i>To Be Completed<br/>by the Applicant</i> | <i>Waived by the<br/>Town</i> |
|----|--|---|-------------------------------|
| 1  | Name and title of person preparing the site plan   | ✓ <input checked="" type="checkbox"/>       | <input type="checkbox"/>      |
| 2  | Name of the applicant and owner (if different from applicant)  | ✓ <input checked="" type="checkbox"/>       | <input type="checkbox"/>      |
| 3  | Original drawing date, revision dates, scale and north arrow   | ✓ <input checked="" type="checkbox"/>       | <input type="checkbox"/>      |
| 4  | Tax map, block and lot number(s), zoning district  | ✓ <input checked="" type="checkbox"/>       | <input type="checkbox"/>      |
| 5  | All existing property lines, name of owner of each property within a 500' radius of the site   | ✓ <input checked="" type="checkbox"/>       | <input type="checkbox"/>      |
| 6  | Contour lines at two-foot intervals, grades of all roads, driveways, sanitary and storm sewers   | ✓ <input checked="" type="checkbox"/>       | <input type="checkbox"/>      |
| 7  | The location of all water bodies, streams, watercourses, wetland areas, wooded areas, rights-of-way, streets, roads, highways, railroads, buildings, structures                          | ✓ <input checked="" type="checkbox"/>       | <input type="checkbox"/>      |
| 8  | The location of all existing and proposed easements  | ✓ <input checked="" type="checkbox"/>       | <input type="checkbox"/>      |
| 9  | The location of all existing and proposed structures, their use, setback dimensions, floor plans, front, side and rear elevations, buildable area.                                       | ✓ <input checked="" type="checkbox"/>       | <input type="checkbox"/>      |
| 10 | On site circulation systems, access, egress ways and service roads, emergency service access and traffic mitigation measures   | ✓ <input checked="" type="checkbox"/>       | <input type="checkbox"/>      |
| 11 | Sidewalks, paths and other means of pedestrian circulation   | ✓ <input checked="" type="checkbox"/>       | <input type="checkbox"/>      |
| 12 | On-site parking and loading spaces and travel aisles with dimensions   | ✓ <input checked="" type="checkbox"/>       | <input type="checkbox"/>      |
| 13 | The location, height and type of exterior lighting fixtures  | ✓ n/a <input checked="" type="checkbox"/>   | <input type="checkbox"/>      |
| 14 | Proposed signage   | ✓ n/a <input checked="" type="checkbox"/>   | <input type="checkbox"/>      |
| 15 | For non-residential uses, an estimate of the number of employees who will be using the site, description of the operation, types of products sold, types of machinery and equipment used | ? <input checked="" type="checkbox"/>       | <input type="checkbox"/>      |



# TOWN OF CARMEL SITE PLAN COMPLETENESS CERTIFICATION FORM



|    | Requirement Data   | To Be Completed by the Applicant      | Waived by the Town       |
|----|--|---------------------------------------|--------------------------|
| 16 | The location of clubhouses, swimming pools, open spaces, parks or other recreational areas, and identification of who is responsible for maintenance   | ✓ <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 17 | The location and design of buffer areas, screening or other landscaping, including grading and water management. A comprehensive landscaping plan in accordance with the Tree Conservation Law | ✓ <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 18 | The location of public and private utilities, maintenance responsibilities, trash and garbage areas  | ✓ <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 19 | A list, certified by the Town Assessor, of all property owners within 500 feet of the site boundary  | ✓ <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 20 | Any other information required by the Planning Board which is reasonably necessary to ascertain compliance with this chapter   | ✓ <input checked="" type="checkbox"/> | <input type="checkbox"/> |

**Applicants Certification (to be completed by the licensed professional preparing the site plan:**

I Jeffrey J. Contelmo, PE hereby certify that the site plan to which I have attached my seal and signature, meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:



Will John [Signature]      8/20/22  
 Signature - Applicant      Date

Will John [Signature]      8/20/22  
 Signature - Owner      Date

**Professionals Seal**





TOWN OF CARMEL  
**SITE PLAN COMPLETENESS  
 CERTIFICATION FORM**



**Town Certification (to be completed by the Town)**

I \_\_\_\_\_ hereby confirm that the site plan meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:

Rose Gombetta  
 Signature - Planning Board Secretary

8/29/22  
 Date

M. H. O'Connell  
 Signature - ~~Town Engineer~~  
 Buddy Chapeton

8/29/22  
 Date



# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

| <b>Part 1 – Project and Sponsor Information</b>  |  |                                     |                                 |
|--|--|-------------------------------------|---------------------------------|
| Name of Action or Project:<br>Kiwi Country Day Camp  |  |                                     |                                 |
| Project Location (describe, and attach a location map):<br>825 Union Valley Road, Mahopac, NY 10541  |  |                                     |                                 |
| Brief Description of Proposed Action:<br>Amended Site plan for a seasonal day camp including some minor proposed improvements.   |  |                                     |                                 |
| Name of Applicant or Sponsor:<br>Will Yahr   |  | Telephone: 914-276-2267             |                                 |
|  |  | E-Mail: will@kiwicountrydaycamp.com |                                 |
| Address:<br>825 Union Valley Road  |  |                                     |                                 |
| City/PO:<br>Mahopac  |  | State:<br>New York                  | Zip Code:<br>10541              |
| 1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?<br>If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2. |  |                                     | NO<br><input type="checkbox"/>  |
|  |  |                                     | YES<br><input type="checkbox"/> |
| 2. Does the proposed action require a permit, approval or funding from any other government Agency?<br>If Yes, list agency(s) name and permit or approval:   |  |                                     | NO<br><input type="checkbox"/>  |
|  |  |                                     | YES<br><input type="checkbox"/> |
| 3. a. Total acreage of the site of the proposed action?  |  | 17.5 acres                          |                                 |
| b. Total acreage to be physically disturbed?   |  | 0 acres                             |                                 |
| c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?   |  | 18.4 acres                          |                                 |
| 4. Check all land uses that occur on, are adjoining or near the proposed action:   |  |                                     |                                 |
| 5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)  |  |                                     |                                 |
| <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input checked="" type="checkbox"/> Other(Specify): Camp  |  |                                     |                                 |
| <input type="checkbox"/> Parkland  |  |                                     |                                 |

| 5. Is the proposed action,  | NO  | YES   | N/A                      |
|---|---|---|--------------------------|
| a. A permitted use under the zoning regulations?  | <input type="checkbox"/>  | <input checked="" type="checkbox"/>   | <input type="checkbox"/> |
| b. Consistent with the adopted comprehensive plan?  | <input type="checkbox"/>  | <input checked="" type="checkbox"/>   | <input type="checkbox"/> |
| 6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?   | NO<br><input type="checkbox"/>  | YES<br><input checked="" type="checkbox"/>  |                          |
| 7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?<br>If Yes, identify: _____   | NO<br><input checked="" type="checkbox"/>   | YES<br><input type="checkbox"/>   |                          |
| 8. a. Will the proposed action result in a substantial increase in traffic above present levels?<br>b. Are public transportation services available at or near the site of the proposed action?<br>c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?   | NO<br><input checked="" type="checkbox"/><br><input type="checkbox"/><br><input type="checkbox"/> | YES<br><input type="checkbox"/><br><input type="checkbox"/><br><input type="checkbox"/> |                          |
| 9. Does the proposed action meet or exceed the state energy code requirements?<br>If the proposed action will exceed requirements, describe design features and technologies:<br>_____<br>_____   | NO<br><input type="checkbox"/>  | YES<br><input checked="" type="checkbox"/>  |                          |
| 10. Will the proposed action connect to an existing public/private water supply?<br>If No, describe method for providing potable water: _____<br>Onsite wells currently serve the site.<br>_____  | NO<br><input checked="" type="checkbox"/>   | YES<br><input type="checkbox"/>   |                          |
| 11. Will the proposed action connect to existing wastewater utilities?<br>If No, describe method for providing wastewater treatment: _____<br>Onsite septics currently serve the site.<br>_____   | NO<br><input checked="" type="checkbox"/>   | YES<br><input type="checkbox"/>   |                          |
| 12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?<br><br>b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? | NO<br><input checked="" type="checkbox"/><br><input checked="" type="checkbox"/>                  | YES<br><input type="checkbox"/><br><input type="checkbox"/>                             |                          |
| 13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?<br>b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?<br>If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____<br>_____<br>_____   | NO<br><input type="checkbox"/><br><input checked="" type="checkbox"/>                             | YES<br><input checked="" type="checkbox"/><br><input type="checkbox"/>                  |                          |



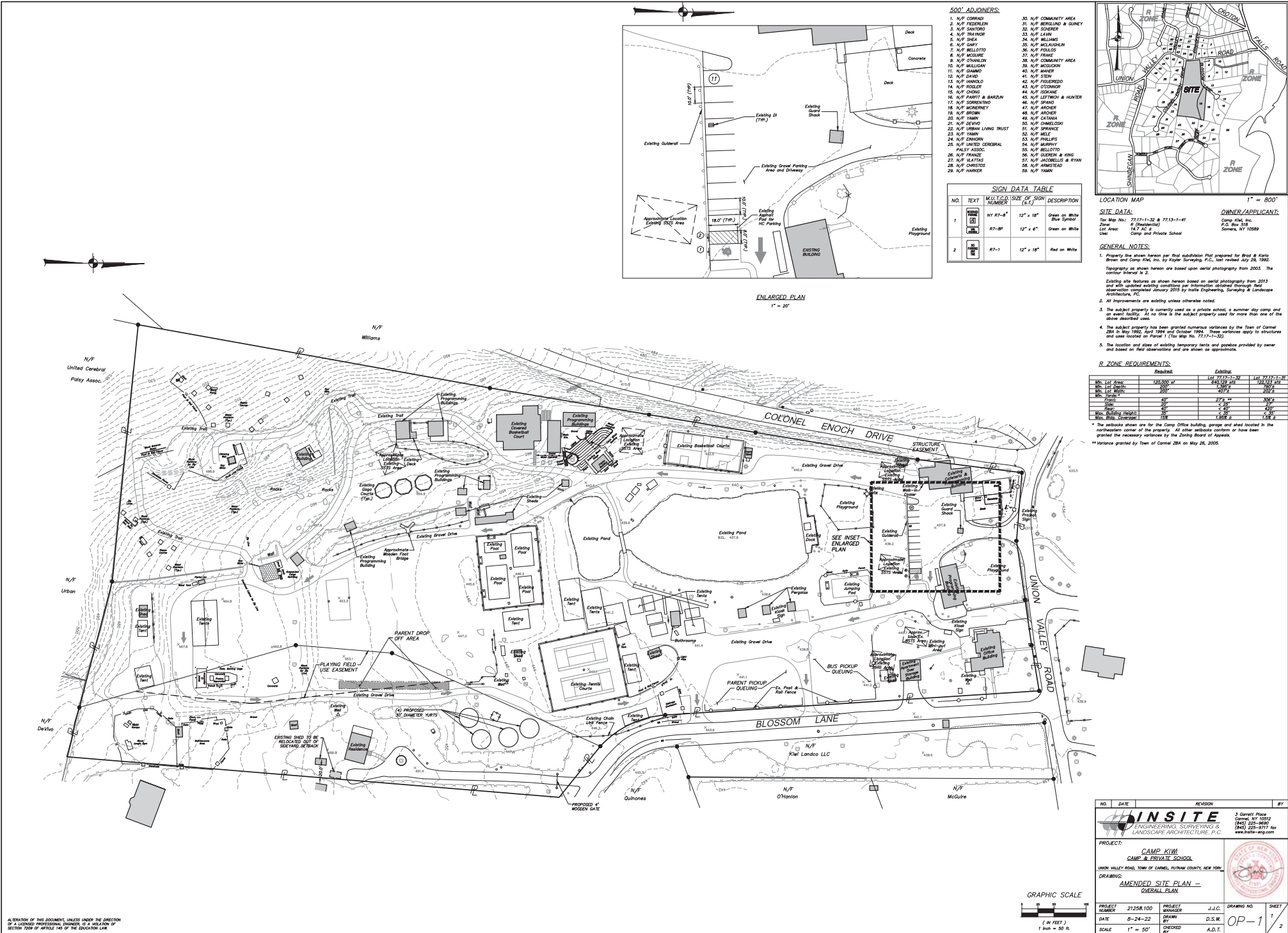




**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



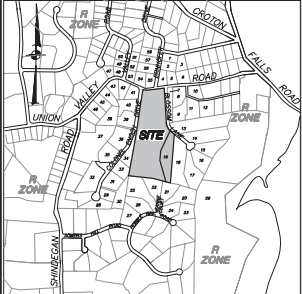
|   |   |
|---|---|
| Part 1 / Question 7 [Critical Environmental Area]   | No  |
| Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites] | No  |
| Part 1 / Question 12b [Archeological Sites]   | No  |
| Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]                               | Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook. |
| Part 1 / Question 15 [Threatened or Endangered Animal]  | Yes   |
| Part 1 / Question 15 [Threatened or Endangered Animal - Name]                                 | Northern Long-eared Bat   |
| Part 1 / Question 16 [100 Year Flood Plain]   | No  |
| Part 1 / Question 20 [Remediation Site]   | No  |



- 500' ADJACENTS:**
- N/F CORNELL
  - N/F FEEDALEN
  - N/F SAVOR
  - N/F TRAMOR
  - N/F DECA
  - N/F GARY
  - N/F BELLETTI
  - N/F MOORE
  - N/F DRAHLIN
  - N/F SAMO
  - N/F MULLIGAN
  - N/F SANG
  - N/F ROUZE
  - N/F CHOW
  - N/F HARTY & BARLIN
  - N/F SORRENTINO
  - N/F MONONEY
  - N/F BROWN
  - N/F TAMM
  - N/F DE VITO
  - N/F URBAN LIVING TRUST
  - N/F SPINALE
  - N/F TAMM
  - N/F PINCUS
  - N/F UNITED GENERAL
  - N/F ASSOC.
  - N/F FRANZE
  - N/F KATZ
  - N/F CHRISTOS
  - N/F HANER
  - N/F COMMUNITY AREA
  - N/F BERGLUND & SUNNY
  - N/F SORRENTINO
  - N/F LAM
  - N/F HILLMAN
  - N/F MCLAUGHLIN
  - N/F FIELDS
  - N/F FRANK
  - N/F COMMUNITY AREA
  - N/F ACCIONE
  - N/F BAKER
  - N/F STEIN
  - N/F FIDURRO
  - N/F O'CONNOR
  - N/F ISKANE
  - N/F LETTICH & HUNTER
  - N/F SPANO
  - N/F ARDREY
  - N/F CATANA
  - N/F DANIELLO
  - N/F O'NEILL
  - N/F MELI
  - N/F MURPHY
  - N/F BELLOTTO
  - N/F GLENN & KING
  - N/F JACOBELLI & PIVAN
  - N/F ARMISTEAD
  - N/F TAMM

**SIGN DATA TABLE**

| NO. | TEXT | MULTIPLE SIGN NUMBER | SIZE OF SIGN (x L) | DESCRIPTION              |
|-----|------|----------------------|--------------------|--------------------------|
| 1   | 18'  | 18'                  | 12" x 18"          | Green on White Blue Sign |
| 2   | 18'  | 18'                  | 12" x 6"           | Green on White           |
| 2   | 18'  | 18'                  | 12" x 18"          | Red on White             |



**LOCATION MAP** 1" = 800'

**SITE DATA:**  
 Tax Map No.: 7713-1-22 & 7713-1-41  
 Zone: R (Residential)  
 Lot Area: 14.9 AC ±  
 Use: Camp and Private School

**OWNER/APPLICANT:**  
 Camp Kivi, Inc.  
 P.O. Box 218  
 Corners, NY 10589

- GENERAL NOTES:**
- Property line shown across per final subdivision Plat prepared for Fred & Kate Brown and Camp Kivi, Inc. by Cooper Corning, P.C., last revised July 28, 1992. The contour interval is 2'.
  - All improvements are existing unless otherwise noted.
  - The subject property is currently used as a private school, a summer day camp and an event facility. At no time is the subject property used for more than one of the above described uses.
  - The subject property has been granted numerous variances by the Town of Corners, ZBA in May 1992, April 1994 and October 1994. These variances apply to structures and site related existing conditions per information obtained through field observation completed January 2015 by InSite Engineering, Surveying & Landscape Architecture, P.C.
  - The location and show of existing temporary utility and easements provided by owner and based on field observations and are shown as appropriate.

**R ZONE REQUIREMENTS:**

|                         | Required:       | Existing:       |
|-------------------------|-----------------|-----------------|
| Min. Lot Area           | 125,000 sq. ft. | 14,900 sq. ft.  |
| Min. Lot Width          | 250 ft.         | 110 ft.         |
| Min. Lot Depth          | 200 ft.         | 200 ft.         |
| Front                   | 25 ft.          | 25 ft.          |
| Side                    | 25 ft.          | 25 ft.          |
| Max. Building Height    | 25 ft.          | 25 ft.          |
| Max. Building Footprint | 25% of lot area | 25% of lot area |

\* The setbacks shown are for the Camp Office building, garage and shed located in the northeastern corner of the property. All other setbacks conform or have been granted the necessary variances by the Zoning Board of Appeals.  
 \*\* Variances granted by Town of Corners ZBA on May 26, 2005.

ALLOCATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2009 OF ARTICLE 146 OF THE EDUCATION LAW.

**INSITE**  
 ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

3 Corvett Place  
 Corners, NY 10512  
 (845) 225-8992  
 (845) 225-8997 fax  
 www.insite-arg.com

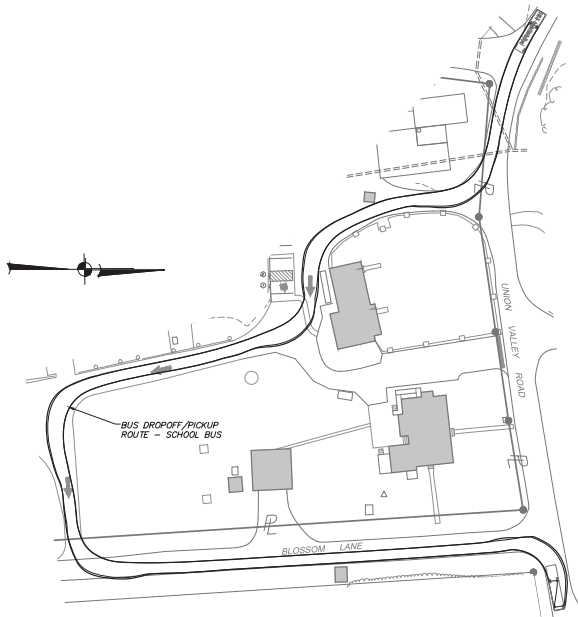
**PROJECT:**  
 CAMP KIVI  
 CAMP & PRIVATE SCHOOL  
 UNION HILLS FARM, TOWN OF CORNERS, PUTNAM COUNTY, NEW YORK

**DRAWING:**  
 AMENDED SITE PLAN - OVERALL PLAN

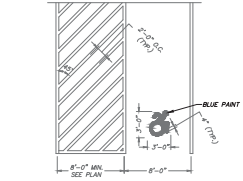
**PROJECT NUMBER:** 21258.100  
**DATE:** 8-24-22  
**SCALE:** 1" = 50'

**J.J.C. DRAWING NO. SHEET**  
 PROJECT MANAGER: J.J.C.  
 DRAFTER: D.S.W.  
 CHECKED BY: A.D.T.

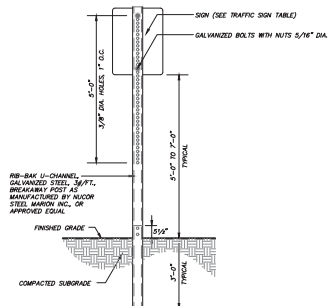
OP-1 / 2



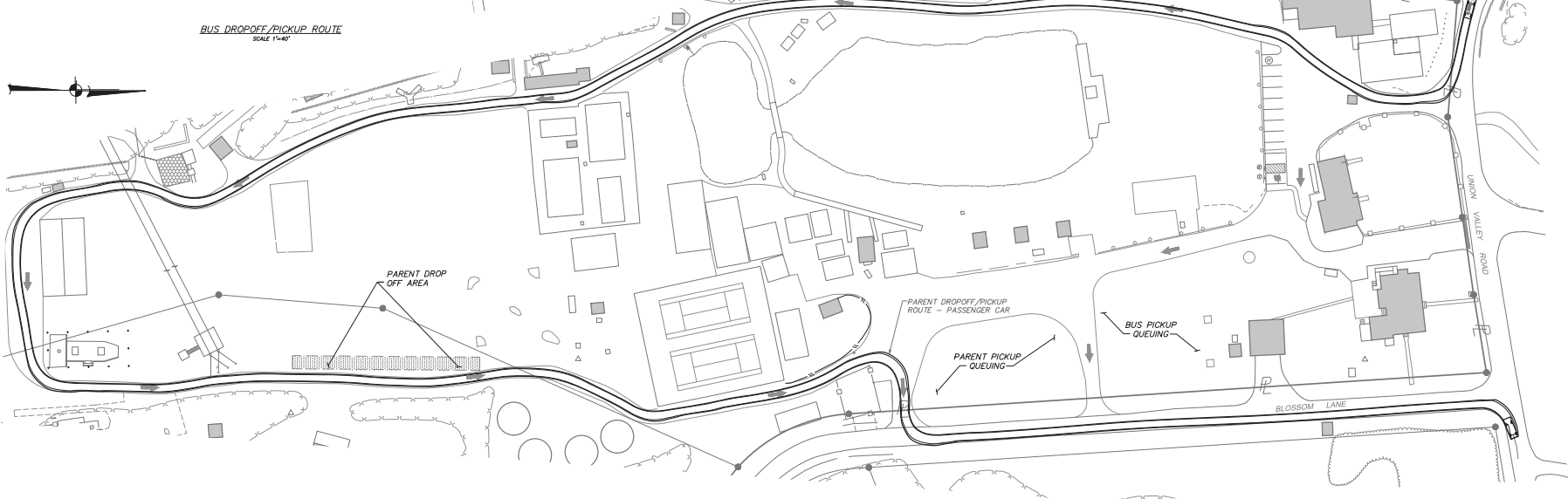
BUS DROPOFF/PICKUP ROUTE  
SCALE 1"=40'



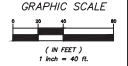
PAINTED NYS ACCESSIBLE PARKING DETAIL  
(N.T.S.)



TRAFFIC SIGN DETAIL  
(N.T.S.)



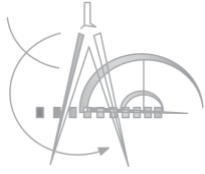
PARENT DROPOFF/PICKUP ROUTE  
SCALE 1"=40'



| NO.   | DATE      | REVISION        | BY     |
|---|-----------|-----------------|--------|
| <b>INSITE</b><br>ENGINEERING, SURVEYING &<br>LANDSCAPE ARCHITECTURE, P.C.       |           |                 |        |
| PROJECT: <b>CAMP KIW<br/>           CAMP &amp; PRIVATE SCHOOL</b>               |           |                 |        |
| LOCATION: <b>WASH HILLS ROAD, TOWN OF CARROLL, PUTNAM COUNTY, NEW YORK</b>      |           |                 |        |
| DRAWING: <b>AMENDED SITE PLAN -<br/>           VEHICLE ROUTES &amp; DETAILS</b> |           |                 |        |
| PROJECT NUMBER  | 21258.100 | PROJECT MANAGER | J.J.C. |
| DATE  | 8-24-22   | DRAWN BY        | D.S.W. |
| SCALE   | 1" = 40'  | CHECKED BY      | A.D.T. |
| DRAWING NO.   | 2         | SHEET           | 2      |
|   | D-1       |                 |        |

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2009 OF ARTICLE 146 OF THE EDUCATION LAW.





# MASTROGIACOMO ENGINEERING, P.C.

29 August 2022

Mrs. Rose Trombetta  
Planning Office  
Carmel Town Hall  
60 McAplin Avenue  
Mahopac, New York 10541

Re: Submission Package for Proposed Botique Hotel at  
910 South Lake Blvd, Town of Carmel, NY

Dear Mrs. Trombetta:

Attached please find the required five (5) sets of site plans and architectural floor plan for the proposed boutique hotel project. From our last meeting with the Planning Board, we have revisited the design to incorporate amenities and we also looked at maximizing the design to obtain thirty (30) guest rooms with some rooms being able to be combined with interlocking doors.

Currently there are two (2) non-conforming structures on the property which are proposed to be removed for the construction of the new proposed multi-family residential building. The proposed thirty (30) room boutique hotel will have two driveways on either side for ingress and egress and the proposed parking will be at the rear of the property. The amenities being provided include an indoor pool at the basement area with showers and saunas in those lower restrooms, a continental breakfast area which can also be used for a conference area and a bar/lounge area for guests to use. All cooking, mechanical, laundry, and hotel offices will be located in the basement area. There are some variances required due to the size of the existing and topography of the property and its non-conformity with the Town of Carmel Zoning Code.

At this time we are requesting being on the September Planning Board meeting to continue with our project approvals to obtain any comment and/or concerns the Planning Board may have before we make any submissions to the Zoning Board.

If you have any questions, or if you need any additional information, please do not hesitate to call me at (914) 920-6372. I can also be reached via electronic mail at [michaelm@masengpc.com](mailto:michaelm@masengpc.com).

Sincerely,

Michael Mastrogiacomo, P.E., L.S.  
New York State P.E. Lic. No. 083853  
New York State L.S. Lic. No. 051124  
Connecticut State Combined P.E. & L.S. No. 021713

# GENERAL NOTES

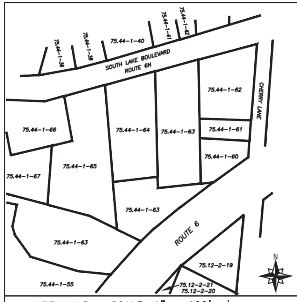
- GENERAL**
- STANDARDS OF CONSTRUCTION:** ALL CONSTRUCTION SHALL CONFORM TO THE TOWN OF CARMEL STANDARDS, RULES AND REGULATIONS REGARDLESS OF WHAT MAY BE INDICATED ON THE PLANS.
  - TESTED FILL:** IF THE SITE REQUIRES IMPORTED FILL, IN THE PROPOSED MUNICIPAL RIGHT OF WAY OR MUNICIPAL OWNED PROPERTY, ALL FILL MUST BE TESTED FOR COMPOSITION AND CHEMICALS IN ACCORDANCE WITH TOWN ENGINEER DIRECTIONS AND AT THE FULL EXPENSE OF THE OWNER. THESE TEST RESULTS MUST BE RECEIVED PRIOR TO DEPOSITING MATERIAL ON MUNICIPAL PROPERTY. A LICENSED PROFESSIONAL ENGINEER MUST BE ON SITE TO APPROVE THE FILL, KEEP RECORDS, AND REVIDEN THE CHAIN OF CUSTODY DOCUMENTATION OF EACH TRUCK BROUGHT TO THE SITE. THE REQUIRED NUMBER OF SAMPLES MUST BE TAKEN AND TESTED BY A NEW YORK STATE CERTIFIED LABORATORY. IN ADDITION, POLLUTION INSURANCE MUST BE PROVIDED PRIOR TO CONSTRUCTION. THE AMOUNT IS TO BE DETERMINED BY THE TOWN ENGINEER.
  - EROSION, DUST & SEDIMENT CONTROL:** THE DEVELOPER SHALL BE RESPONSIBLE FOR PROVIDING PROPER EROSION, SEDIMENT AND DUST CONTROL. ALL EROSION AND SEDIMENT CONTROL MUST BE SIZED AND DESIGNED IN ACCORDANCE WITH THE STANDARDS AND GUIDELINES PRESENTED IN THE LATEST NYSDOT REGULATIONS. THE DEVELOPER SHALL SUBMIT TO THE COMMISSIONER FOR APPROVAL, A PLAN WITH DETAILS DESIGNATING THE METHODS HE INTENDS TO USE FOR EROSION, SEDIMENTATION AND DUST CONTROL DURING THE CONSTRUCTION OF THIS PROJECT. SILT PROTECTION AND ANY WATER RETENTION BASINS WILL BE THE FIRST ITEMS OF CONSTRUCTION. THE EROSION, SEDIMENTATION AND DUST CONTROLS MUST BE MAINTAINED THROUGHOUT CONSTRUCTION OR A STOP WORK ORDER WILL BE ISSUED BY TOWN ENGINEERS.
  - ELEVATION DATUM:** ELEVATIONS SHOWN ON THE PLANS ARE FROM THE FIELD SURVEY IN NAVD 83.
  - INDUSTRIAL CODE RULE '89:** THE DEVELOPER SHALL NOTIFY ALL UTILITY COMPANIES 72 HOURS PRIOR TO THE START OF HIS OPERATIONS AND SHALL COMPLY WITH ALL THE LATEST INDUSTRIAL CODE RULE '89 REGULATIONS.
  - VERIFICATION AND PROTECTION OF EXISTING UTILITIES:** THE DEVELOPER SHALL VERIFY THE SIZE, LOCATION, DEPTH AND INVERTS OF ALL EXISTING OVERHEAD UTILITIES AND STRUCTURES, WHETHER OR NOT THEY ARE SHOWN ON THE APPROVED PLANS OR LOCATED UNDER INDUSTRIAL CODE RULE '89. THE COST OF REPAIRING DAMAGED UTILITIES OR STRUCTURES SHALL BE BORNE BY THE DEVELOPER. IF TEMPORARY UTILITIES ARE REQUIRED IT IS THE RESPONSIBILITY OF THE DEVELOPER TO PROVIDE AND MAINTAIN SAID UTILITIES.
  - PIPE LAYOUT:** THE DEVELOPER SHALL PERFORM ALL PROPOSED PIPE LAYOUT REQUIRED BY MEANS OF A LASER FOR EXACT VERTICAL AND HORIZONTAL ALIGNMENT. THE USE OF BATTER BOARDS, AS SPECIFIED IN THE MUNICIPAL STANDARD CONSTRUCTION SPECIFICATIONS ARTICLE 89.192 - "LAYOUT", SHALL NOT BE ALLOWED. THE DEVELOPER'S EQUIPMENT MUST HAVE BEEN CALIBRATED WITHIN THE PREVIOUS SIX (6) MONTHS PRIOR TO CONSTRUCTION. WRITTEN PROOF OF CALIBRATION MUST BE PROVIDED IF REQUIRED BY THE TOWN ENGINEER.
  - INSPECTION & BACKFILL:** NO BACKFILL SHALL BE PLACED OVER NEW CONSTRUCTION PRIOR TO INSPECTION AND APPROVAL BY TOWN ENGINEER. THE DEVELOPER MUST HAVE A SUFFICIENT STOCKPILE OF CLEAN FILL. IF EXCAVATED MATERIAL IS UNSUITABLE FOR BACKFILL (I.E., ROCK, ORGANIC MATERIAL), THE USE OF CONTROLLED BACKFILL MATERIAL MAY BE REQUIRED IN TRENCHES IF DETERMINED BY THE TOWN ENGINEER.

- EROSION CONTROL**
- INSTALL ALL EROSION CONTROL DEVICES AS INDICATED ON DRAWINGS AND IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS & SPECIFICATIONS FOR EROSION & SEDIMENT CONTROL - LATEST REVISION.
  - CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES DURING COURSE OF CONSTRUCTION.
  - CONTRACTOR SHALL NOT REMOVE UNTIL FULL VEGETATION GROWTH HAS OCCURRED AND AS APPROVED BY THE TOWN INSPECTOR.
  - SEEDING AND MULCHING SHALL BE AS FOLLOWS:
    - TEMPORARY SEEDING & MULCHING**
      - LIME: 40 LBS./1,000 SQ.FT., GROUND LIMESTONE, FERTILIZER: 4 LBS./1,000 SQ.FT., 10-20-10 OR EQUIVALENT WORKED INTO SOIL A MINIMUM OF 4 INCHES.
      - SEED: ANNUAL RYEBGRASS 40 LBS./ACRE OR OTHER APPROVED SEED, PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 15.
      - MULCH: 1" SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 10 TO 40 LBS./1,000 SQ.FT. TO BE APPLIED ACCORDING TO STANDARD PRACTICES. MULCH SHALL BE SECURED BY APPROVED METHODS.

- THE APPLICANT SHALL BE REQUIRED TO CLEAN ROADWAYS FROM ALL SILTATION AND CONSTRUCTION DEBRIS AS REQUIRED, AND UPON COMPLETION OF THE WORK, WITHIN THE VICINITY OF THE PROJECT SITE.
- ALL PLANS SHOULD FULLY INCORPORATE THE APPROPRIATE RECOMMENDATIONS FROM NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION'S STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, DATED AUGUST 2001, OR THE MOST CURRENT VERSION OR ITS SUCCESSOR. THE PLAN AND ITS IMPLEMENTATION SHALL BE SUBJECT TO THE APPROVAL OF THE TOWN ENGINEER.

- SITE WORK:**
- THE SITE SHALL BE GRADED AS INDICATED ON THE DRAWINGS. ALL PROPOSED CONTOURS SHALL BE GRADED TO BLEND EVENLY WITH THE EXISTING CONTOURS.
  - ALL DISTURBED AREAS WHICH WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECTED TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH SALT HAY, OR APPROVED EQUAL, AND BOUND AS PER THE NEW YORK STATE STANDARDS & SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
  - FILL MATERIAL SHALL BE CLEAN FILL AND SHALL BE INSTALLED IN 12 INCH LIFTS AND COMPACTED TO 98% OPTIMUM DENSITY.
  - ALL PIPES SHALL BE SCHEDULE 40 P.V.C. PIPES UNLESS OTHERWISE NOTED.
  - ALL GRAVEL SHALL BE 3/4" GRADED STONE OR RECYCLED MATERIAL IF ALLOWED BY THE MUNICIPALITY.
  - MAINTAIN POSITIVE PITCHES ON ALL DRAIN PIPES TO EXISTING & PROPOSED DRAINAGE STRUCTURES UNLESS OTHERWISE NOTED HEREON.
  - PIPE LAYOUT MUST MEET TOWN CODE.

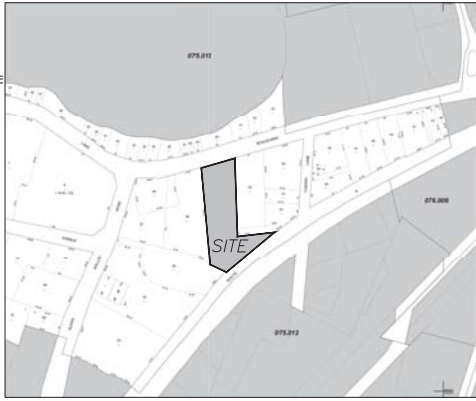
# WEB SOIL SURVEY DATA



**ADJOINING OWNERS**

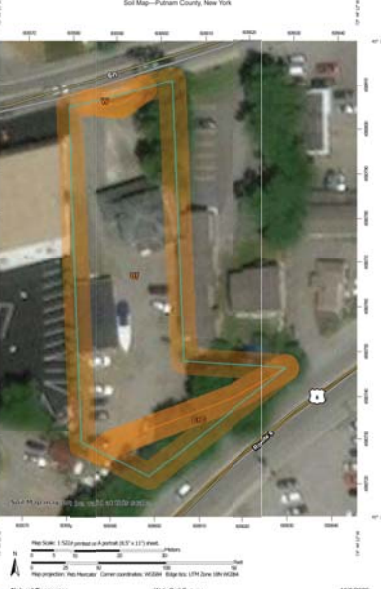
|  |  |
|--|--|
| White Hill Management Corp.<br>900 S. Lake Blvd.<br>Malone, NY 10841<br>75.44-1-05 | White Hill Management Corp.<br>900 S. Lake Blvd.<br>Malone, NY 10841<br>75.44-1-07         |
| Dynomite Properties Corp.<br>56 Phipps Dr.<br>Malone, NY 10841<br>75.44-1-06       | Paladino Realty Mgmt LLC<br>P.O. Box 501<br>Brewster, NY 10509<br>75.44-1-08               |
| Mc. Quo Group LLC<br>914 S. Lake Blvd.<br>Malone, NY 10841<br>75.44-1-03           | Joo & Kevin Corp.<br>215 East Horriet Ave., P. 2<br>Baldwins Place, NY 10750<br>75.44-1-01 |
| White Hill Management Corp.<br>900 S. Lake Blvd.<br>Malone, NY 10841<br>75.44-1-02 | Nucleo Franchise<br>213 Steyer Hill Rd.<br>Malone, NY 10841<br>75.44-1-04                  |

1 AREA MAP & ADJOINING OWNERS LIST  
SCALE: 1"=100' +/-



1 VICINITY MAP  
SCALE: 1"=150'

| MAP LEGEND   | MAP INFORMATION  |
|--|--|
| <p><b>Area of Interest</b></p> <ul style="list-style-type: none"> <li>CC - Chariton-Chaffee complex, 8 to 18 percent slopes, very rocky</li> <li>U - Urban land</li> <li>UL - Urban land</li> <li>W - Wetlands</li> <li>W1 - Wetlands</li> <li>W2 - Wetlands</li> <li>W3 - Wetlands</li> <li>W4 - Wetlands</li> <li>W5 - Wetlands</li> <li>W6 - Wetlands</li> <li>W7 - Wetlands</li> <li>W8 - Wetlands</li> <li>W9 - Wetlands</li> <li>W10 - Wetlands</li> <li>W11 - Wetlands</li> <li>W12 - Wetlands</li> <li>W13 - Wetlands</li> <li>W14 - Wetlands</li> <li>W15 - Wetlands</li> <li>W16 - Wetlands</li> <li>W17 - Wetlands</li> <li>W18 - Wetlands</li> <li>W19 - Wetlands</li> <li>W20 - Wetlands</li> <li>W21 - Wetlands</li> <li>W22 - Wetlands</li> <li>W23 - Wetlands</li> <li>W24 - Wetlands</li> <li>W25 - Wetlands</li> <li>W26 - Wetlands</li> <li>W27 - Wetlands</li> <li>W28 - Wetlands</li> <li>W29 - Wetlands</li> <li>W30 - Wetlands</li> <li>W31 - Wetlands</li> <li>W32 - Wetlands</li> <li>W33 - Wetlands</li> <li>W34 - Wetlands</li> <li>W35 - Wetlands</li> <li>W36 - Wetlands</li> <li>W37 - Wetlands</li> <li>W38 - Wetlands</li> <li>W39 - Wetlands</li> <li>W40 - Wetlands</li> <li>W41 - Wetlands</li> <li>W42 - Wetlands</li> <li>W43 - Wetlands</li> <li>W44 - Wetlands</li> <li>W45 - Wetlands</li> <li>W46 - Wetlands</li> <li>W47 - Wetlands</li> <li>W48 - Wetlands</li> <li>W49 - Wetlands</li> <li>W50 - Wetlands</li> </ul> | <p><b>MAP INFORMATION</b></p> <p>This map is a computer-generated map of the area of interest. It was created using the following information:</p> <ul style="list-style-type: none"> <li>Source: Soil Survey Data, United States Department of Agriculture, National Soil Survey Data Base</li> <li>Date: 2001</li> <li>Scale: 1:25,000</li> <li>Projection: NAD 83, UTM Zone 18N</li> <li>Units: Feet</li> <li>Color: True Color</li> <li>Resolution: 30 Meters</li> <li>Accuracy: +/- 3 Meters</li> <li>Disclaimer: This map is not a guarantee of accuracy. It is provided as a reference only.</li> </ul> |



**Map Unit Legend**

| Map Unit Symbol | Map Unit Name  | Approx. ACP | Percent of ACP |
|-----------------|--|-------------|----------------|
| COC             | Chariton-Chaffee complex, 8 to 18 percent slopes, very rocky | 0.1         | 0.5%           |
| W1              | Wetlands   | 0.2         | 1.0%           |
| W2              | Wetlands   | 0.1         | 0.5%           |
| W3              | Wetlands   | 0.1         | 0.5%           |
| W4              | Wetlands   | 0.1         | 0.5%           |
| W5              | Wetlands   | 0.1         | 0.5%           |
| W6              | Wetlands   | 0.1         | 0.5%           |
| W7              | Wetlands   | 0.1         | 0.5%           |
| W8              | Wetlands   | 0.1         | 0.5%           |
| W9              | Wetlands   | 0.1         | 0.5%           |
| W10             | Wetlands   | 0.1         | 0.5%           |
| W11             | Wetlands   | 0.1         | 0.5%           |
| W12             | Wetlands   | 0.1         | 0.5%           |
| W13             | Wetlands   | 0.1         | 0.5%           |
| W14             | Wetlands   | 0.1         | 0.5%           |
| W15             | Wetlands   | 0.1         | 0.5%           |
| W16             | Wetlands   | 0.1         | 0.5%           |
| W17             | Wetlands   | 0.1         | 0.5%           |
| W18             | Wetlands   | 0.1         | 0.5%           |
| W19             | Wetlands   | 0.1         | 0.5%           |
| W20             | Wetlands   | 0.1         | 0.5%           |
| W21             | Wetlands   | 0.1         | 0.5%           |
| W22             | Wetlands   | 0.1         | 0.5%           |
| W23             | Wetlands   | 0.1         | 0.5%           |
| W24             | Wetlands   | 0.1         | 0.5%           |
| W25             | Wetlands   | 0.1         | 0.5%           |
| W26             | Wetlands   | 0.1         | 0.5%           |
| W27             | Wetlands   | 0.1         | 0.5%           |
| W28             | Wetlands   | 0.1         | 0.5%           |
| W29             | Wetlands   | 0.1         | 0.5%           |
| W30             | Wetlands   | 0.1         | 0.5%           |
| W31             | Wetlands   | 0.1         | 0.5%           |
| W32             | Wetlands   | 0.1         | 0.5%           |
| W33             | Wetlands   | 0.1         | 0.5%           |
| W34             | Wetlands   | 0.1         | 0.5%           |
| W35             | Wetlands   | 0.1         | 0.5%           |
| W36             | Wetlands   | 0.1         | 0.5%           |
| W37             | Wetlands   | 0.1         | 0.5%           |
| W38             | Wetlands   | 0.1         | 0.5%           |
| W39             | Wetlands   | 0.1         | 0.5%           |
| W40             | Wetlands   | 0.1         | 0.5%           |
| W41             | Wetlands   | 0.1         | 0.5%           |
| W42             | Wetlands   | 0.1         | 0.5%           |
| W43             | Wetlands   | 0.1         | 0.5%           |
| W44             | Wetlands   | 0.1         | 0.5%           |
| W45             | Wetlands   | 0.1         | 0.5%           |
| W46             | Wetlands   | 0.1         | 0.5%           |
| W47             | Wetlands   | 0.1         | 0.5%           |
| W48             | Wetlands   | 0.1         | 0.5%           |
| W49             | Wetlands   | 0.1         | 0.5%           |
| W50             | Wetlands   | 0.1         | 0.5%           |

**MASTROGIOACOMO ENGINEERING P.C.**  
 10 MELAND AVENUE, SUITE 200A  
 PORT CHESTER, NEW YORK 10573  
 TEL.: 914.932.6377  
 FAX: 914.932.6378  
 WWW.MASTROGIOACOMO.COM  
 LICENSE # NEW YORK 012685010

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- REVISIONS**
- | NO. | DATE       | DESCRIPTION                    |
|-----|------------|--------------------------------|
| 1   | 11.20.2020 | Issue for Review               |
| 2   | 07.20.2020 | Review for Final 1 Site        |
| 3   | 11.22.2021 | Revision per Staff Comments    |
| 4   | 09.11.2022 | Revision application for hotel |
| 5   | 09.12.2022 | Revision application for hotel |



Client Name and Address

**910 SOUTH LAKE LLC**  
 57 ROUTE 6  
 SUITE 204  
 BALDWIN PLACE, NY 10505

Project Information

**PROPOSED HOTEL**  
 910 S. LAKE BLVD  
 TOWN OF CARMEL  
 PUTNAM CO., NEW YORK

Job No. 20-078  
 AS NOTED  
 Scale 8 OCT 2020  
 Drawn By MMA  
 Checked By MMA

Sheet

**001**

Scale 1 Signature

Michael Mastrogioacomo, P.E.  
 NEW YORK STATE LICENSE # 012685010  
 CONDUCTOR STATE # 114-10-100-190

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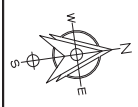
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REVISIONS

|            |                               |
|------------|-------------------------------|
| 11.20.2020 | Issue Comments                |
| 07.20.2021 | Revised Building & Site       |
| 11.20.2021 | Revisions per Staff Comments  |
| 01.11.2022 | Revised application for hotel |
| 09.11.2022 | Revised application for hotel |
| 09.12.2022 | Revised application for hotel |

Drawing North



Client Name and Address  
**910 SOUTH LAKE LLC**  
 57 ROUTE 6  
 SUITE 204  
 BALDWIN PLACE, NY  
 10505

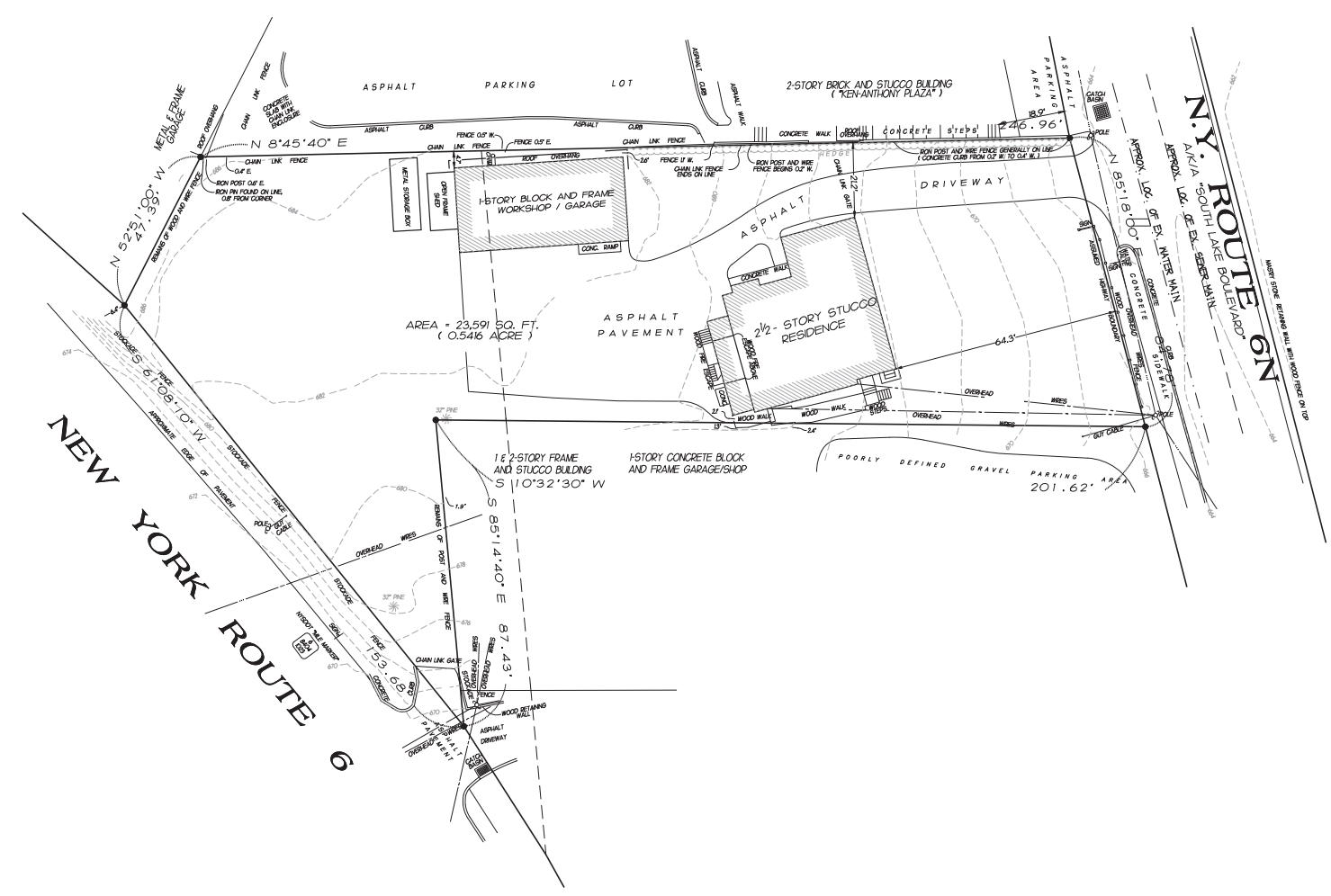
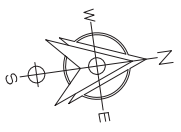
Project Information  
**PROPOSED HOTEL**  
 Situated at  
 910 S. LAKE BLVD  
 TOWN OF CARMEL  
 PUTNAM CO.  
 NEW YORK

|            |            |
|------------|------------|
| Job No.    | 20-078     |
| Scale      | AS NOTED   |
| Date       | 8 OCT 2020 |
| Drawn By   | MMA        |
| Checked By | MMA        |
| Sheet      |            |

**C100**

Seal & Signature  
  
 MICHAEL MASTROGIACOMO, P.E., E.S.  
 NO. 105, STATE OF NEW YORK  
 EXPIRES 12/31/2022

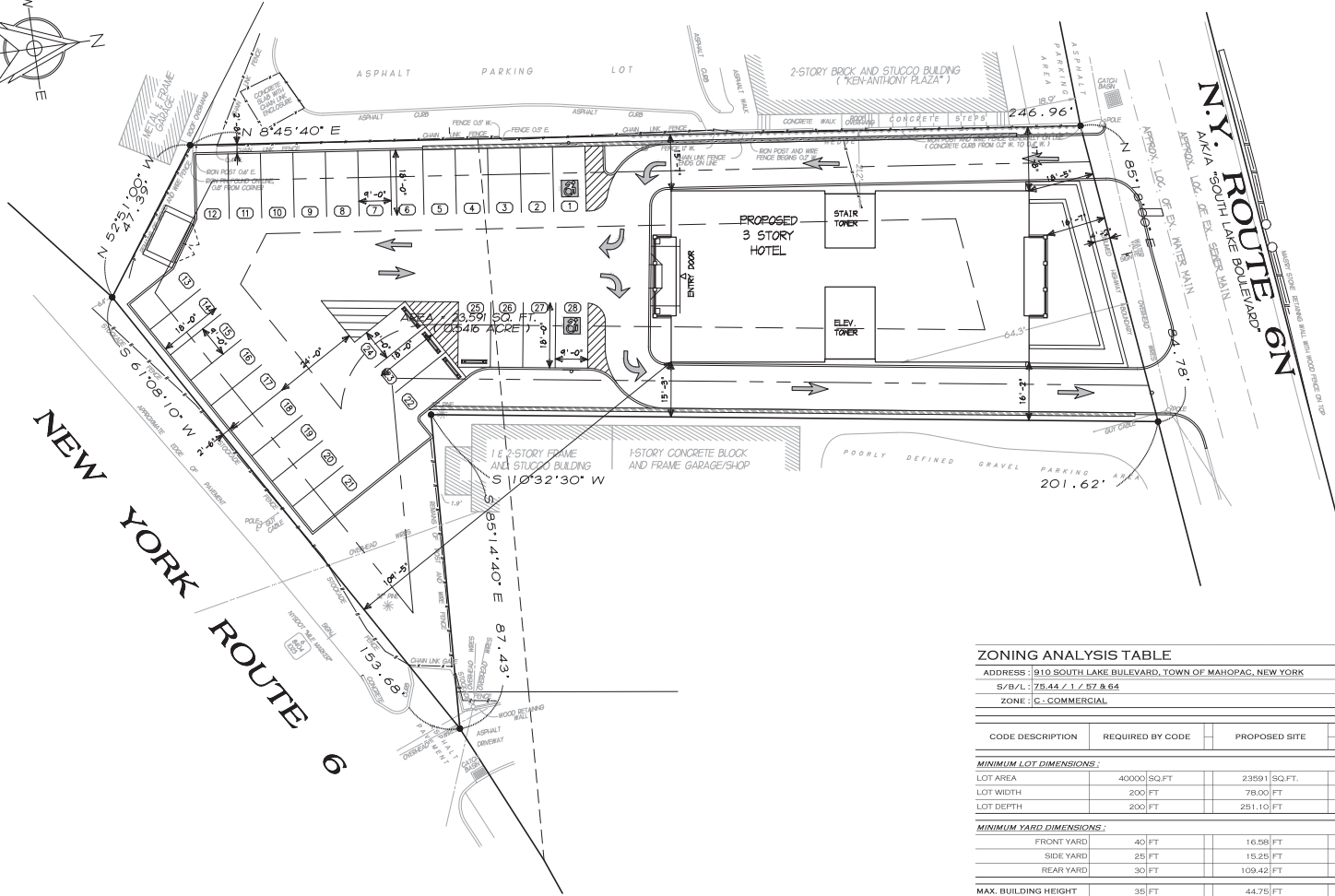
EXISTING CONDITIONS & SITE DEMOLITION PLAN



1 EXISTING CONDITIONS & SITE DEMOLITION PLAN  
 SCALE: 1"=10'  
 NOTE:



**DIG SAFELY NY**  
 PRIOR TO CONSTRUCTION, CONTRACTOR SHALL LOCATE ALL BURIED UTILITIES TO ENSURE THAT NO INTERFERENCE EXISTS DURING CONSTRUCTION ACTIVITIES



1 PROPOSED SITE PLAN  
SCALE: 1"=10'  
NOTE:

### ZONING ANALYSIS TABLE

| ADDRESS: 910 SOUTH LAKE BOULEVARD, TOWN OF MAHOPAC, NEW YORK |                  |                |                        |                   |               |
|--|------------------|----------------|------------------------|-------------------|---------------|
| S/B/L: 75.44 / 1 / 2, 57 & 64                                |                  |                |                        |                   |               |
| ZONE: C-COMMERCIAL   |                  |                |                        |                   |               |
| CODE DESCRIPTION   | REQUIRED BY CODE | PROPOSED SITE  | COMMENTS               | VARIANCE REQUIRED |               |
|  |                  |                |                        | YES               | NO % VARIANCE |
| <b>MINIMUM LOT DIMENSIONS:</b>                               |                  |                |                        |                   |               |
| LOT AREA   | 40000 SQ.FT      | 23591 SQ.FT.   | NON-CONFORM'G, PRE-EX. | X                 | 41.02%        |
| LOT WIDTH  | 200 FT           | 78.00 FT       | NON-CONFORM'G, PRE-EX. | X                 | 61.00%        |
| LOT DEPTH  | 200 FT           | 251.10 FT      | MEETS CODE             |                   | X             |
| <b>MINIMUM YARD DIMENSIONS:</b>                              |                  |                |                        |                   |               |
| FRONT YARD   | 40 FT            | 16.58 FT       | VARIANCE REQUIRED      | X                 | 58.55%        |
| SIDE YARD  | 25 FT            | 15.25 FT       | VARIANCE REQUIRED      | X                 | 39.00%        |
| REAR YARD  | 30 FT            | 109.42 FT      | MEETS CODE             |                   | X             |
| MAX. BUILDING HEIGHT   | 35 FT            | 44.75 FT       | VARIANCE REQUIRED      |                   | 27.86%        |
| MIN. REQ. FLOOR AREA   | 5000 SQ.FT.      | 13893 SQ.FT.   | MEETS CODE             |                   | X             |
|  |                  | 1ST FLR = 4631 |                        |                   |               |
|  |                  | 2ND FLR = 4631 |                        |                   |               |
|  |                  | 3RD FLR = 4631 |                        |                   |               |
|  |                  | TOTAL = 13893  |                        |                   |               |
| MAX. BUILDING COVER'G  | 30%              | 19.63%         | MEETS CODE             |                   | X             |
| LOT AREA =   | 23591 SQ.FT.     |                |                        |                   |               |
| BLDG AREA =  | 4631 SQ.FT.      |                |                        |                   |               |
| BLDG COVERAGE =  | 4631 X 100% =    | 19.63%         |                        |                   |               |
|  | 23591            |                |                        |                   |               |
| REQUIRED PARKING   | 28               | 30             | VARIANCE REQUIRED      | X                 | -7.14%        |
| PER SECTION (156-36 (F))                                     | 1 ROOM           | D.U. = 28      | FOR LOADING SPACE      |                   |               |
|  |                  | # SPACES = 28  |                        |                   |               |
|  |                  | LOAD'G SPC = 0 |                        |                   |               |
|  |                  | TOT. REQ. = 28 |                        |                   |               |



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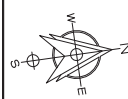
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- 11.30.2020 Issue Comments
- 07.20.2020 Revision per Planning & Site
- 11.22.2021 Revision per Staff Comments
- 01.17.2022 Revision application for hotel
- 09.11.2022 Revision application for hotel
- 09.12.2022 Revision application for hotel

Drawing North



Clients Name and Address

**910 SOUTH LAKE LLC**  
57 ROUTE 6  
SUITE 204  
BALDWIN PLACE, NY  
10505

Project Information  
**PROPOSED HOTEL**  
910 S. LAKE BLVD  
TOWN OF CARMEL  
PUTNAM CO.  
NEW YORK

Job No. 20-078  
Scale AS NOTED  
Date 8 OCT 2020  
Drawn By MMA  
Checked By MMA  
Sheet

C101

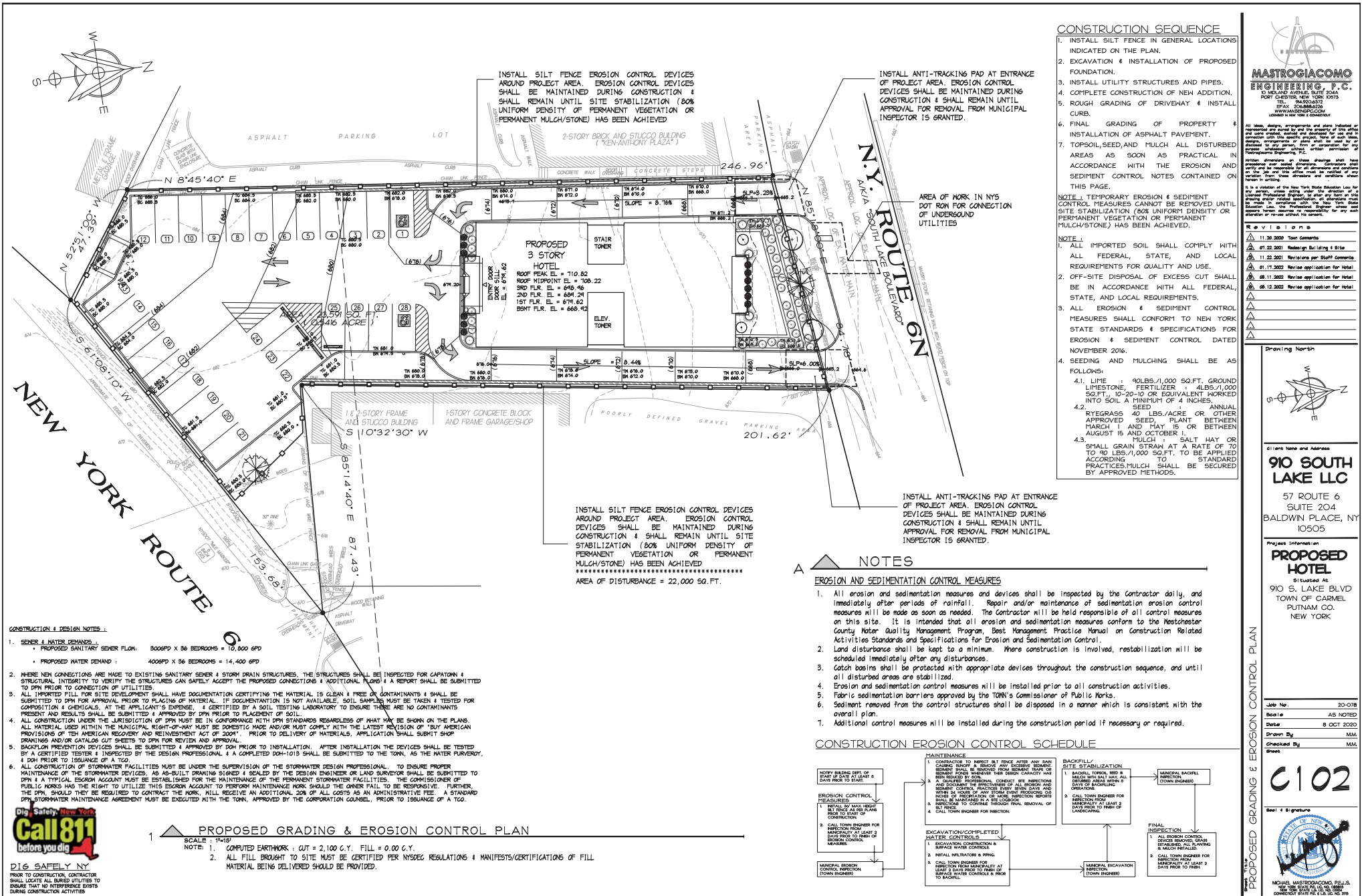
Seal & Signature



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PRIOR TO CONSTRUCTION, CONTRACTOR SHALL LOCATE ALL BURIED UTILITIES TO ENSURE THAT NO INTERFERENCE EXISTS DURING CONSTRUCTION ACTIVITIES





**CONSTRUCTION SEQUENCE**

1. INSTALL SILT FENCE IN GENERAL LOCATIONS INDICATED ON THE PLAN.
2. EXCAVATION & INSTALLATION OF PROPOSED FOUNDATION.
3. INSTALL UTILITY STRUCTURES AND PIPES.
4. COMPLETE CONSTRUCTION OF NEW ADDITION.
5. ROUGH GRADING OF DRIVEWAY & INSTALL CURB.
6. FINAL GRADING OF PROPERTY & INSTALLATION OF ASPHALT PAVEMENT.
7. TOPSOIL, SEED, AND MULCH ALL DISTURBED AREAS AS SOON AS PRACTICAL IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL NOTES CONTAINED ON THIS PAGE.

NOTE: TEMPORARY EROSION & SEDIMENT CONTROL MEASURES CANNOT BE REMOVED UNTIL SITE STABILIZATION (80% UNIFORM DENSITY OR PERMANENT VEGETATION OR PERMANENT MULCH/STONE) HAS BEEN ACHIEVED.

- NOTE 1:
1. IMPORTED SOIL SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL REQUIREMENTS FOR QUALITY AND USE.
  2. OFF-SITE DISPOSAL OF EXCESS CUT SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REQUIREMENTS.
  3. ALL EROSION & SEDIMENT CONTROL MEASURES SHALL CONFORM TO NEW YORK STATE STANDARDS & SPECIFICATIONS FOR EROSION & SEDIMENT CONTROL DATED NOVEMBER 2016.
  4. SEEDING AND MULCHING SHALL BE AS FOLLOWS:
    - 4.1. LIME @ 90 LBS./1,000 SQ.FT. GROUND LIMESTONE, FERTILIZER @ 4 LBS./1,000 SQ.FT., 10-20-10 OR EQUIVALENT WORKED INTO SOIL A MINIMUM OF 4 INCHES.
    - 4.2. SEED ANNUAL RYEGRASS 40 LBS./ACRE OR OTHER APPROVED SEED PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
    - 4.3. MULCH @ 2" STANDARD PRACTICES. MULCH SHALL BE SECURED BY APPROVED METHODS.



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REVISIONS

| NO. | DATE       | DESCRIPTION                   |
|-----|------------|-------------------------------|
| 1   | 11.28.2020 | Initial Contract              |
| 2   | 07.28.2021 | Revised for Permitting & Site |
| 3   | 11.22.2021 | Revisions per Staff Comments  |
| 4   | 01.11.2022 | Revised application for hotel |
| 5   | 08.11.2022 | Revised application for hotel |
| 6   | 08.12.2022 | Revised application for hotel |

Drawing North

910 SOUTH LAKE LLC  
57 ROUTE 6  
SUITE 204  
BALDWIN PLACE, NY 10505

**PROPOSED HOTEL**  
Sited at 910 S. LAKE BLVD  
TOWN OF CARMEL  
PUTNAM CO., NEW YORK

Project Information

|            |            |
|------------|------------|
| Job No.    | 20-078     |
| Scale      | AS NOTED   |
| Date       | 8 OCT 2020 |
| Drawn By   | MM         |
| Checked By | MM         |
| Sheet      |            |

**C102**

Scale: 1" = 30'

- CONSTRUCTION & DESIGN NOTES**
1. **SEWER & WATER DEMANDS**
    - PROPOSED SANITARY SEWER FLOW: 300GPD X 36 BEDROOMS = 10,800 GPD
    - PROPOSED WATER DEMAND: 400GPD X 36 BEDROOMS = 14,400 GPD
  2. WHERE NEW CONNECTIONS ARE MADE TO EXISTING SANITARY SEWER & STORM DRAIN STRUCTURES, THE STRUCTURES SHALL BE INSPECTED FOR CAPACITY & STRUCTURAL INTEGRITY TO VERIFY THE STRUCTURES CAN SAFELY ACCEPT THE PROPOSED CONNECTIONS & ADDITIONAL LOADS & A REPORT SHALL BE SUBMITTED TO DPM PRIOR TO CONNECTION OF UTILITIES.
  3. ALL IMPORTED FILL FOR SITE DEVELOPMENT SHALL HAVE DOCUMENTATION CERTIFYING THE MATERIAL IS CLEAN & FREE OF CONTAMINANTS & SHALL BE SUBMITTED TO DPM FOR APPROVAL PRIOR TO PLACING OF MATERIAL. IF DOCUMENTATION IS NOT AVAILABLE, SOIL SAMPLES MUST BE TAKEN & TESTED FOR COMPOSITION & CHEMICALS AT THE APPLICANT'S EXPENSE. IF CERTIFIED BY A SOIL TESTING LABORATORY TO PRESENT THERE ARE NO CONTAMINANTS PRESENT AND RESULTS SHALL BE SUBMITTED & APPROVED BY DPM PRIOR TO PLACEMENT OF SOIL.
  4. ALL CONSTRUCTION UNDER THE JURISDICTION OF DPM MUST BE IN CONFORMANCE WITH DPM STANDARDS REGARDLESS OF WHAT MAY BE SHOWN ON THE PLANS. ALL MATERIAL USED WITHIN THE MUNICIPAL RIGHT-OF-WAY MUST BE DOMESTIC MADE AND/OR MUST COMPLY WITH THE LATEST REVISION OF 18" BY AMERICAN PROVISIONS OF THE AMERICAN RECOVERY AND REINVESTMENT ACT OF 2009. PRIOR TO DELIVERY OF MATERIALS, APPLICATION SHALL SUBMIT SHOP DRAWINGS AND/OR CATALOGS CUT SHEETS TO DPM FOR REVIEW AND APPROVAL.
  5. BACKFLOW PREVENTION DEVICES SHALL BE SUBMITTED & APPROVED BY DPM PRIOR TO INSTALLATION. AFTER INSTALLATION THE DEVICES SHALL BE TESTED BY A CERTIFIED TESTER & INSPECTED BY THE DESIGN PROFESSIONAL & A COMPLETED DOH-1015 SHALL BE SUBMITTED TO THE TOWN, AS THE WATER PURVEYOR, & DPM PRIOR TO ISSUANCE OF A TCO.
  6. ALL CONSTRUCTION OF STORMWATER FACILITIES MUST BE UNDER THE SUPERVISION OF THE STORMWATER DESIGN PROFESSIONAL. TO ENSURE PROPER MAINTENANCE OF THE STORMWATER DEVICES, AS AS-BUILT DRAWING SIGNED & SEALED BY THE DESIGN ENGINEER OR LAND SURVEYOR SHALL BE SUBMITTED TO DPM & A TYPICAL EROSION ACCOUNT MUST BE ESTABLISHED FOR THE MAINTENANCE OF THE PERMANENT STORMWATER FACILITIES. THE COMMISSIONER OF PUBLIC WORKS HAS THE RIGHT TO UTILIZE THIS EROSION ACCOUNT TO PERFORM MAINTENANCE WORK SHOULD THE OWNER FAIL TO BE RESPONSIVE. FURTHER, THE DPM SHOULD THEY BE REQUIRED TO CONTRACT THE WORK, WILL RECEIVE AN ADMINISTRATIVE FEE. A STANDARD DPM STORMWATER MAINTENANCE AGREEMENT MUST BE EXECUTED WITH THE TOWN, APPROVED BY THE CORPORATION COUNSEL, PRIOR TO ISSUANCE OF A TCO.

**PROPOSED GRADING & EROSION CONTROL PLAN**

SCALE: 1" = 30'

NOTE 1: COMPUTED EARTHWORK: CUT = 2,100 C.Y. FILL = 0.00 C.Y.

NOTE 2: ALL FILL BROUGHT TO SITE MUST BE CERTIFIED PER NYSDOT REGULATIONS & MANIFESTS/CERTIFICATIONS OF FILL MATERIAL BEING DELIVERED SHOULD BE PROVIDED.

INSTALL SILT FENCE EROSION CONTROL DEVICES AROUND PROJECT AREA. EROSION CONTROL DEVICES SHALL BE MAINTAINED DURING CONSTRUCTION & SHALL REMAIN UNTIL SITE STABILIZATION (80% UNIFORM DENSITY OF PERMANENT VEGETATION OR MULCH/STONE) HAS BEEN ACHIEVED

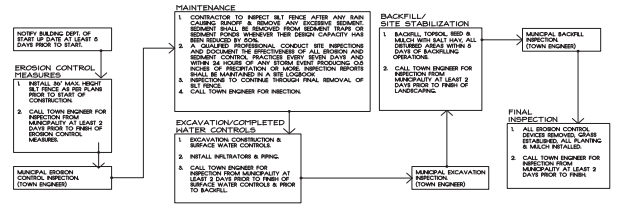
AREA OF DISTURBANCE = 22,000 SQ.FT.

INSTALL ANTI-TRACKING PAD AT ENTRANCE OF PROJECT AREA. EROSION CONTROL DEVICES SHALL BE MAINTAINED DURING CONSTRUCTION & SHALL REMAIN UNTIL APPROVAL FOR REMOVAL FROM MUNICIPAL INSPECTOR IS GRANTED.

**NOTES**

- EROSION AND SEDIMENTATION CONTROL MEASURES**
1. All erosion and sedimentation measures and devices shall be inspected by the Contractor daily, and immediately after periods of rainfall. Repair and/or maintenance of sedimentation erosion control measures will be made as soon as needed. The Contractor will be held responsible of all control measures on this site. It is intended that all erosion and sedimentation measures conform to the Westchester County Water Quality Management Program, Best Management Practice Manual on Construction Related Activities Standards and Specifications for Erosion and Sedimentation Control.
  2. Land disturbance shall be kept to a minimum. Where construction is involved, restabilization will be scheduled immediately after any disturbances.
  3. Catch basins shall be protected with appropriate devices throughout the construction sequence, and until all disturbed areas are stabilized.
  4. Erosion and sedimentation control measures will be installed prior to all construction activities.
  5. Fabric sedimentation barriers approved by the TOWN'S Commissioner of Public Works.
  6. Sediment removed from the control structures shall be disposed in a manner which is consistent with the overall plan.
  7. Additional control measures will be installed during the construction period if necessary or required.

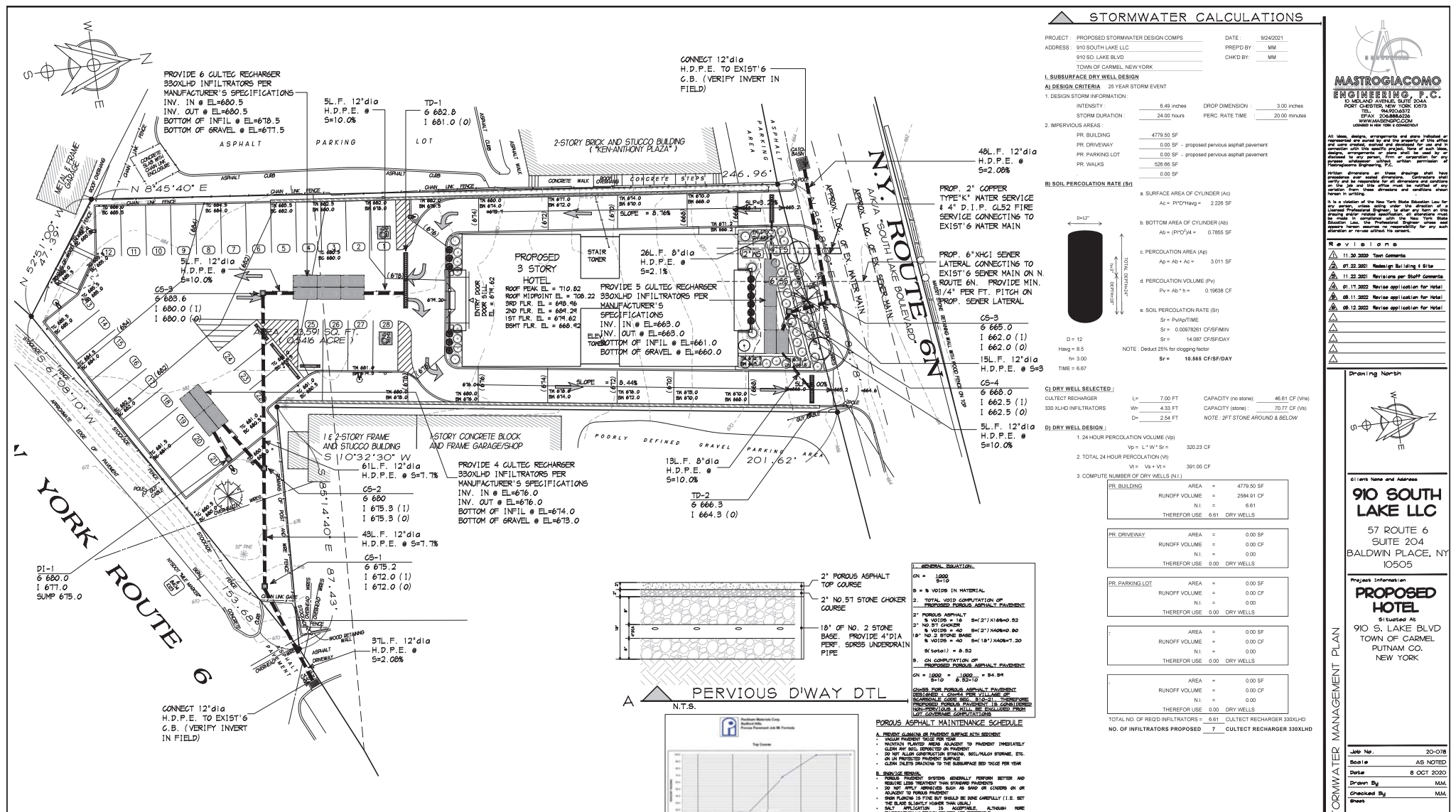
**CONSTRUCTION EROSION CONTROL SCHEDULE**



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PRIOR TO CONSTRUCTION, CONTRACTOR SHALL LOCATE ALL BURIED UTILITIES TO ENSURE THAT NO INTERFERENCE EXISTS DURING CONSTRUCTION ACTIVITIES





### STORMWATER CALCULATIONS

PROJECT: PROPOSED STORMWATER DESIGN COMPS DATE: 9/24/2021  
 ADDRESS: 910 SOUTH LAKE LLC PREP BY: MM  
 910 SO. LAKE BLVD. CHKD BY: MM  
 TOWN OF CARMEL, NEW YORK

**I. SUBSURFACE DRY WELL DESIGN**  
**A) DESIGN CRITERIA** 25 YEAR STORM EVENT

DESIGN STORM INFORMATION:  
 INTENSITY: 6.48 inches CROP DIMENSION: 3.00 inches  
 STORM DURATION: 24.00 hours PERC. RATE TIME: 20.00 minutes

**2. IMPERVIOUS AREAS**  
 PR. BUILDING: 4779.50 SF  
 PR. DRIVEWAY: 0.00 SF - proposed pervious asphalt pavement  
 PR. PARKING LOT: 0.00 SF - proposed pervious asphalt pavement  
 PR. WALKS: 526.95 SF  
 PR. WALKS: 0.00 SF

**B) SOIL PERCOLATION RATE (S)**

a. SURFACE AREA OF CYLINDER (A<sub>c</sub>)  
 $A_c = \pi D^2 H = 2.228 \text{ SF}$

b. BOTTOM AREA OF CYLINDER (A<sub>b</sub>)  
 $A_b = (\pi D^2) / 4 = 0.7855 \text{ SF}$

c. PERCOLATION AREA (A<sub>c</sub>)  
 $A_p = A_c + A_b = 3.011 \text{ SF}$

d. PERCOLATION VOLUME (V<sub>p</sub>)  
 $V_p = A_p \times H = 0.1938 \text{ CF}$

e. SOIL PERCOLATION RATE (S)

$S = V_p / (A_c \times T)$   
 $S = 0.00078281 \text{ CF/SF/MIN}$   
 $S = 14.887 \text{ CF/SF/DAY}$

NOTE: Deduct 20% for clogging factor  
 $S = 10.665 \text{ CF/SF/DAY}$

f. TIME (T) = 6.67

**C) DRY WELL SELECTED:**  
 CULVERT RECHARGER L<sub>d</sub> = 7.00 FT CAPACITY (at 90%) = 46.61 CF (V<sub>90</sub>)  
 330 XLHD INFILTRATORS W<sub>d</sub> = 4.33 FT CAPACITY (at 90%) = 70.77 CF (V<sub>90</sub>)  
 D<sub>d</sub> = 2.54 FT NOTE: 3"PT STONE AROUND & BELOW

**D) DRY WELL DESIGN:**

1. 24 HOUR PERCOLATION VOLUME (V<sub>24</sub>)  
 $V_{24} = L^3 / (12 \times S) = 320.23 \text{ CF}$

2. TOTAL 24 HOUR PERCOLATION (V<sub>T</sub>)  
 $V_T = V_{24} + V_{20} = 391.00 \text{ CF}$

3. COMPUTE NUMBER OF DRY WELLS (N)

| DRY WELL TYPE   | AREA       | AREA       | AREA | AREA | AREA | AREA |
|-----------------|------------|------------|------|------|------|------|
| PR. BUILDING    | 4779.50 SF | 2584.91 CF |      |      |      |      |
| PR. DRIVEWAY    | 0.00 SF    | 0.00 CF    |      |      |      |      |
| PR. PARKING LOT | 0.00 SF    | 0.00 CF    |      |      |      |      |
|                 | 0.00 SF    | 0.00 CF    |      |      |      |      |
|                 | 0.00 SF    | 0.00 CF    |      |      |      |      |
|                 | 0.00 SF    | 0.00 CF    |      |      |      |      |
|                 | 0.00 SF    | 0.00 CF    |      |      |      |      |
|                 | 0.00 SF    | 0.00 CF    |      |      |      |      |
|                 | 0.00 SF    | 0.00 CF    |      |      |      |      |

TOTAL NO. OF RECD INFILTRATORS = 661 CULVERT RECHARGER 330XLHD  
 NO. OF INFILTRATORS PROPOSED = 7 CULVERT RECHARGER 330XLHD



**MASTROGIOACOMO ENGINEERING P.C.**  
 10 MELAND AVENUE, SUITE 204A  
 PORT CHESTER, NEW YORK 10573  
 TEL: 944.900.6372  
 FAX: 944.900.6328  
 WWW.MASTROGIOACOMO.COM  
 LICENSED IN THE STATE OF NEW YORK

All plans, designs, arrangements and items indicated on these drawings are made by and for the benefit of the client and shall not be used for any other project without the written consent of the engineer. The engineer shall not be responsible for any errors or omissions in any drawings, specifications or data furnished to any person, firm or organization for its use, unless such error or omission is the result of negligence on the part of the engineer.

All work, designs, arrangements and items indicated on these drawings shall have been prepared by or under the direct supervision of the engineer. The engineer shall not be responsible for any errors or omissions in any drawings, specifications or data furnished to any person, firm or organization for its use, unless such error or omission is the result of negligence on the part of the engineer.

**Drawing North**

City Name and Address  
**910 SOUTH LAKE LLC**  
 57 ROUTE 6  
 SUITE 204  
 BALDWIN PLACE, NY 10505

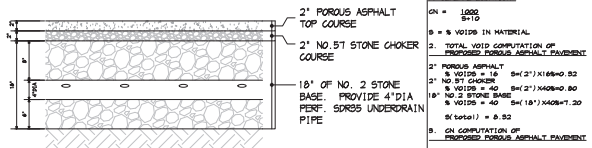
Project Information  
**PROPOSED HOTEL**  
 910 S. LAKE BLVD  
 TOWN OF CARMEL  
 PUTNAM CO., NEW YORK

Job No. 20-078  
 Scale AS NOTED  
 Date 8 OCT 2020  
 Drawn By MMA  
 Checked By MMA

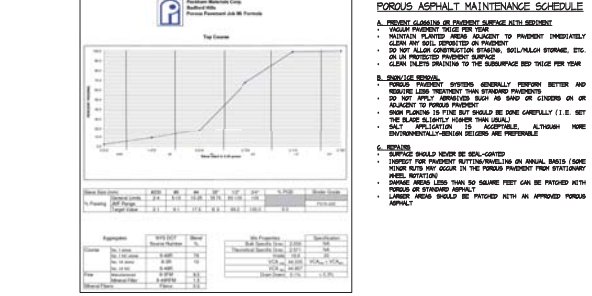
**C103**

Scale 1 Signature

MICHAEL MASTROGIOACOMO, P.E.  
 NO. 10618 STATE OF NEW YORK  
 CONCEPT STATE AND CITY OF NEW YORK



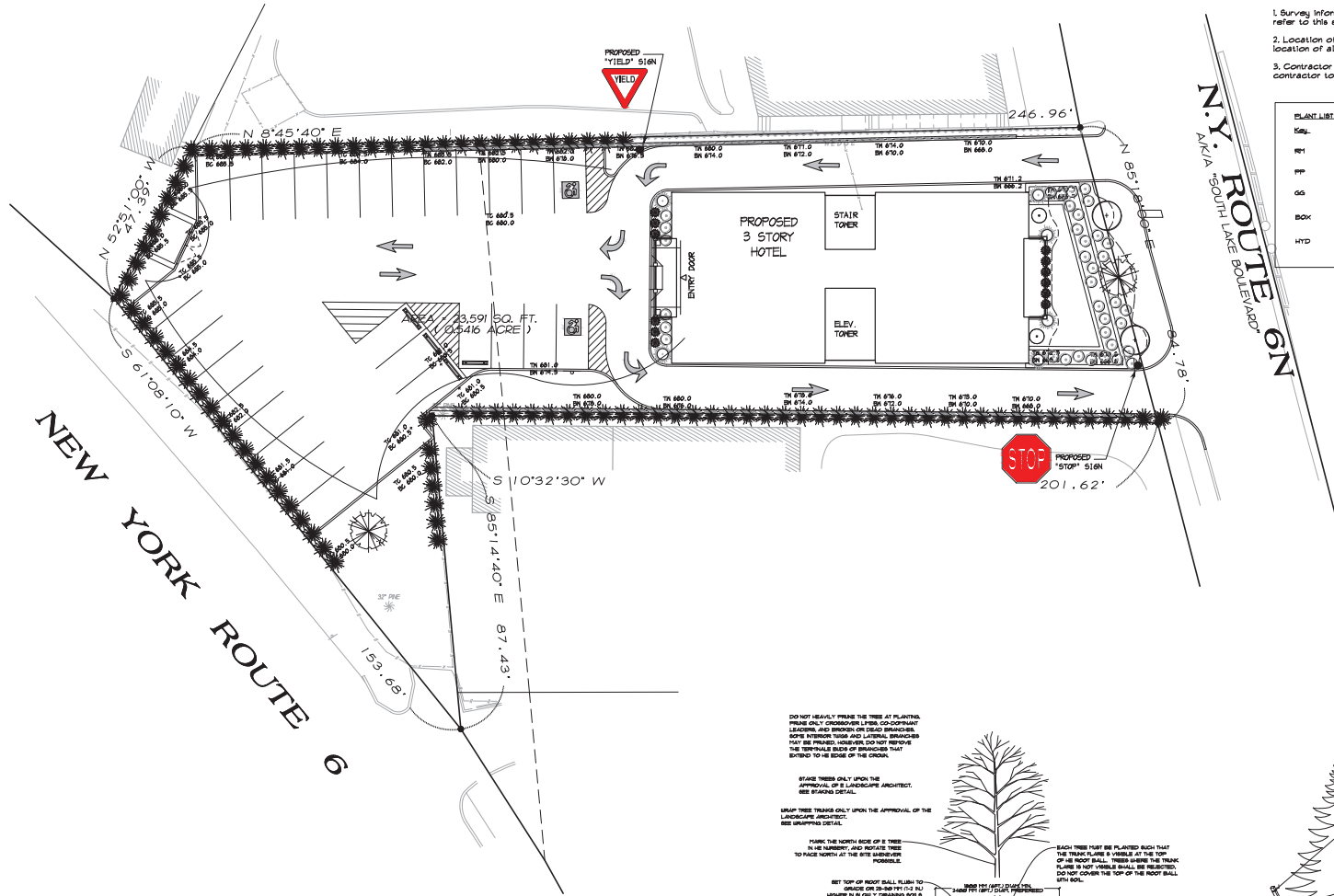
**A PERVIOUS D'WAY DTL**  
 N.T.S.



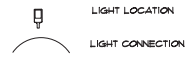
**B PERVIOUS D'WAY DESIGN MIX**  
 N.T.S.

**Dig Safely. Dig Right.**  
**Call 811**  
 before you dig

DIG SAFELY NY  
 PRIOR TO CONSTRUCTION, CONTRACTOR SHALL LOCATE ALL BURIED UTILITIES TO ENSURE THAT NO INTERFERENCE EXISTS DURING CONSTRUCTION ACTIVITIES



- SITE NOTES**
1. LIGHTING TO BE VIPER 8 LUMINAIRE BY HUBBEL LIGHTING REFER TO PHOTOMETRICS PLAN
  2. POLE TO BE 10' HT.



- NOTES:**
1. Survey information taken from a site plan prepared by RAYEX DESIGN refer to this survey for more information.
  2. Location of existing utilities not performed by this office, confirm location of all utilities prior to construction, CALL dig safely New York.
  3. Contractor to verify all grades and dimensions prior to construction, contractor to inform Landscape Architect with any discrepancies.

| CLANT LIST | Common & Botanical Name                                  | Size        |
|------------|--|-------------|
| OP1        | Outdoor Glory Maple<br>Acer rubrum 'Outdoor glory'       | 3 1/2' Cal. |
| PP         | Purple Plum<br>Prunus cerasifera 'Thundercloud'          | 2' Cal.     |
| GG         | Green Giant Arborvitae<br>Thuja standishii 'Green Giant' | 8' Ht.      |
| BOX        | American Boxwood<br>Buxus sempervirens                   | 36" Ht.     |
| HTD        | Tardive Hydrangea<br>Hydrangea paniculata Tardive        | *1 cont.    |

**MASTROGIACOMO ENGINEERING P.C.**  
 10 MELAND AVENUE, SUITE 204A  
 PORT CHESTER, NEW YORK 10573  
 TEL: 945.903.6372  
 FAX: 945.903.6328  
 WWW.MASTROGIACOMO.COM  
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- Revisions:**
- 11.20.2020: Submittal
  - 11.22.2020: Revisions per Staff Comments
  - 01.11.2022: Revisions application for hotel
  - 09.11.2022: Revisions application for hotel
  - 09.12.2022: Revisions application for hotel

Drawing North



Client Name and Address  
**910 SOUTH LAKE LLC**  
 57 ROUTE 6  
 SUITE 204  
 BALDWIN PLACE, NY  
 10505

Project Information  
**PROPOSED HOTEL**  
 910 S. LAKE BLVD  
 TOWN OF CARMEL  
 PUTNAM CO.  
 NEW YORK

Job No: 20-078  
 Scale: AS NOTED  
 Date: 8 OCT 2020  
 Drawn By: MMA  
 Checked By: MMA

**C104**

Scale: Signature

**1 PROPOSED LANDSCAPING PLAN**

SCALE: 1/4"=1'-0"  
 NOTE: 1. ALL PROPOSED PLANTINGS SHALL BE VERIFIED BY THE TOWN OF CARMEL, NEWLANDS INSPECTOR.  
 2. ALL PROPOSED PLANTINGS SHALL BE INSTALLED PER SECTION 142 OF THE TOWN OF CARMEL CODE.

DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSS-BRANCH LINES, CO-DOMINANT LEADERS, AND REMOVE CRACKED BRANCHES. BOTH HORIZONTAL AND VERTICAL BRANCHES MAY BE PRUNED, HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

SPACE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT. SEE SIGNAGE DETAIL.

GROUP TREES TOGETHER UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT. SEE GROUPING DETAIL.

MARK THE NORTH EDGE OF EACH TREE IN RED NUMBERS AND REMOVE TREES TO FACE NORTH AT THE SITE BOUNDARY, IF POSSIBLE.

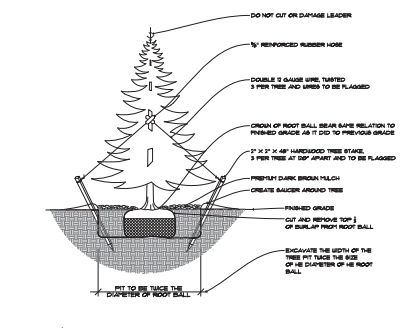
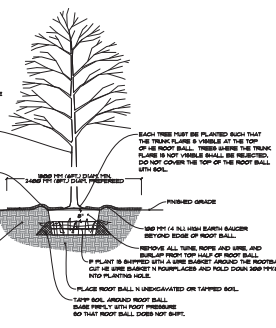
SET TOP OF ROOT BALL FLUSH TO GRADE OR 18-24" (1.5-2.0') HIGHER IN FULLY DRAINAGE SOIL.

DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK. MAINTAIN THE MULCH BED-DEPTH FOR A MINIMUM OF THREE YEARS AFTER PLANTING.

NOTE FOR DIMENSIONS OF PLANTING AREAS: TYPES OF SOIL, FERTILIZERS OR SOIL REPLACEMENT. SEE "SOIL IMPROVEMENT DETAILS".

**A TREE PLANTING DETAIL**

SCALE: N.T.S.



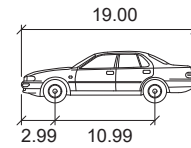
**B EVERGREEN PLANTING DETAIL**

SCALE: N.T.S.

**Dig Safely. New York. Call 811 before you dig.**

**DIG SAFELY NY**  
 PRIOR TO CONSTRUCTION, CONTRACTOR SHALL LOCATE ALL BURIED UTILITIES TO ENSURE THAT NO INTERFERENCE EXISTS DURING CONSTRUCTION ACTIVITIES

SCALE: 1/4"=1'-0"



**P**

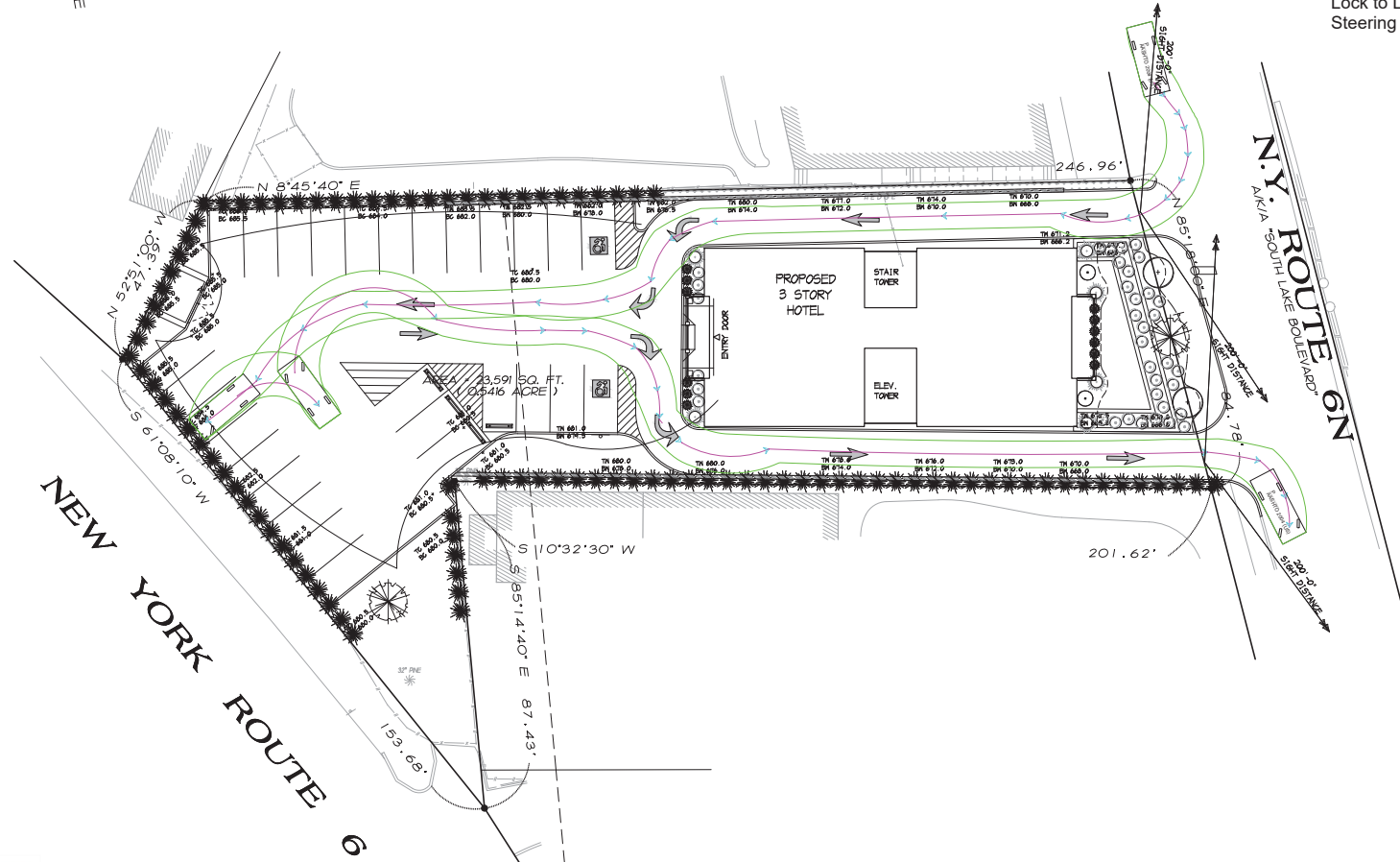
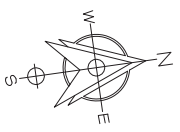
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| Track             | : 6.00     |
| Lock to Lock Time | : 6.0 s    |
| Steering Angle    | : 31.6 deg |

**MASTROGIACOMO ENGINEERING P.C.**  
 10 MELAND AVENUE, SUITE 204A  
 PORT CHESTER, NEW YORK 10573  
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|            |                               |
|------------|-------------------------------|
| 11.20.2020 | Issue Comments                |
| 07.20.2021 | Revised for Staffing & Site   |
| 11.22.2021 | Revisions per Staff Comments  |
| 01.17.2022 | Revised application for hotel |
| 09.11.2022 | Revised application for hotel |
| 09.12.2022 | Revised application for hotel |



**NEW YORK ROUTE 6**

**N.Y. ROUTE 6N**  
AKA "SOUTH LAKE BOULEVARD"

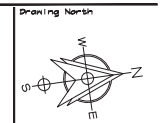
**PROPOSED 3 STORY HOTEL**  
STAIR TOWER  
ELEV. TOWER

3,591 SQ. FT.  
(0.5416 ACRE)



**DIG SAFELY NY**  
PRIOR TO CONSTRUCTION, CONTRACTOR SHALL LOCATE ALL BURIED UTILITIES TO ENSURE THAT NO INTERFERENCE EXISTS DURING CONSTRUCTION ACTIVITIES

**1 MANEUVERABILITY PLAN - PASSENGER CAR**  
SCALE: 1"=10'  
NOTE:



Client Name and Address  
**910 SOUTH LAKE LLC**  
 57 ROUTE 6  
 SUITE 204  
 BALDWIN PLACE, NY  
 10505

Project Information  
**PROPOSED HOTEL**  
 910 S. LAKE BLVD  
 TOWN OF CARMEL  
 PUTNAM CO.  
 NEW YORK

|            |            |
|------------|------------|
| Job No.    | 20-078     |
| Scale      | AS NOTED   |
| Date       | 8 OCT 2020 |
| Drawn By   | MMA        |
| Checked By | MMA        |
| Sheet      |            |

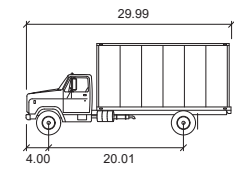
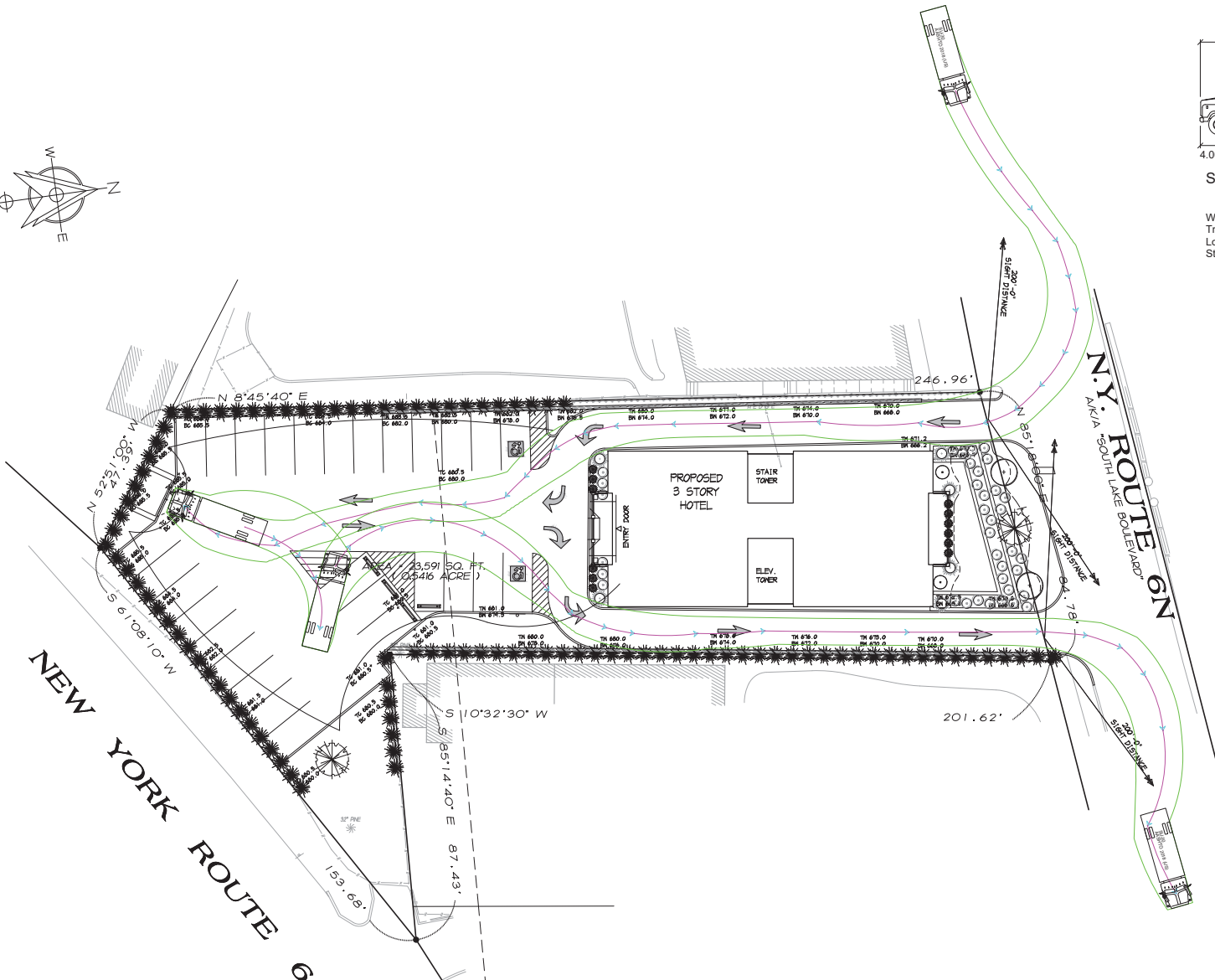
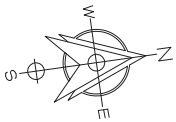
**C105**



MICHAEL MASTROGIACOMO, P.E., S.E.  
 15163 STATE OF NEW YORK  
 CONTRACT STATE #E 112A, 1C, 1D, 1E, 1F, 1G, 1H, 1I, 1J, 1K, 1L, 1M, 1N, 1O, 1P, 1Q, 1R, 1S, 1T, 1U, 1V, 1W, 1X, 1Y, 1Z

MANEUVERABILITY PLAN - PASSENGER CAR





SU-30

Feet

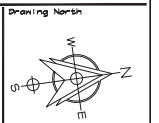
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 Steering Angle : 31.8 deg

**MASTROGIACOMO ENGINEERING P.C.**  
 10 MELAND AVENUE, SUITE 200A  
 PORT CHESTER, NEW YORK 10573  
 TEL: 914.930.6372  
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|            |                               |
|------------|-------------------------------|
| 11.20.2020 | Issue Comments                |
| 07.20.2021 | Revised for Staffing & Site   |
| 11.22.2021 | Revisions per Staff Comments  |
| 01.17.2022 | Revised application for hotel |
| 09.11.2022 | Revised application for hotel |
| 09.12.2022 | Revised application for hotel |



Client Name and Address

**910 SOUTH LAKE LLC**  
 57 ROUTE 6  
 SUITE 204  
 BALDWIN PLACE, NY 10505

Project Information

**PROPOSED HOTEL**  
 910 S. LAKE BLVD  
 TOWN OF CARMEL  
 PUTNAM CO.  
 NEW YORK

|            |            |
|------------|------------|
| Job No.    | 20-078     |
| Scale      | AS NOTED   |
| Date       | 8 OCT 2020 |
| Drawn By   | MM         |
| Checked By | MM         |
| Sheet      |            |

**C106**

Seal & Signature

MICHAEL MASTROGIACOMMO, P.E., No. 102, State of NY, Exp. 12/31/2022  
 CONTRACTOR STATE REG. # 12A-16-102-210

Dig Safely, New York  
**Call 811**  
 before you dig

**DIG SAFELY NY**  
 PRIOR TO CONSTRUCTION, CONTRACTOR SHALL LOCATE ALL BURIED UTILITIES TO ENSURE THAT NO INTERFERENCE EXISTS DURING CONSTRUCTION ACTIVITIES

1 MANEUVERABILITY PLAN - TRUCK  
 SCALE : 1"=10'  
 NOTE:

MANEUVERABILITY PLAN - TRUCK



**MASTROGIACOMO**  
**ENGINEERING P.C.**  
 10 MELAND AVENUE, SUITE 204A  
 PORT CHESTER, NEW YORK 10573  
 TEL. 914.930.6372  
 FAX 914.930.6370  
 WWW.MASTROGIACOMO.COM

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Unless otherwise specified, all design shall be based on the design data and information provided and shall conform to the design and construction standards and specifications of the State of New York and the Federal Highway Administration.

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|            |                               |
|------------|-------------------------------|
| 11.20.2020 | Issue Comments                |
| 07.20.2021 | Revised for Utility & Site    |
| 11.22.2021 | Revised for Staff Comments    |
| 01.17.2022 | Revised application for hotel |
| 09.11.2022 | Revised application for hotel |
| 09.12.2022 | Revised application for hotel |

Drawing North



Client's Name and Address

**910 SOUTH LAKE LLC**  
 57 ROUTE 6  
 SUITE 204  
 BALDWIN PLACE, NY  
 10505

Project Information

**PROPOSED HOTEL**  
 910 S. LAKE BLVD  
 TOWN OF CARMEL  
 PUTNAM CO.  
 NEW YORK

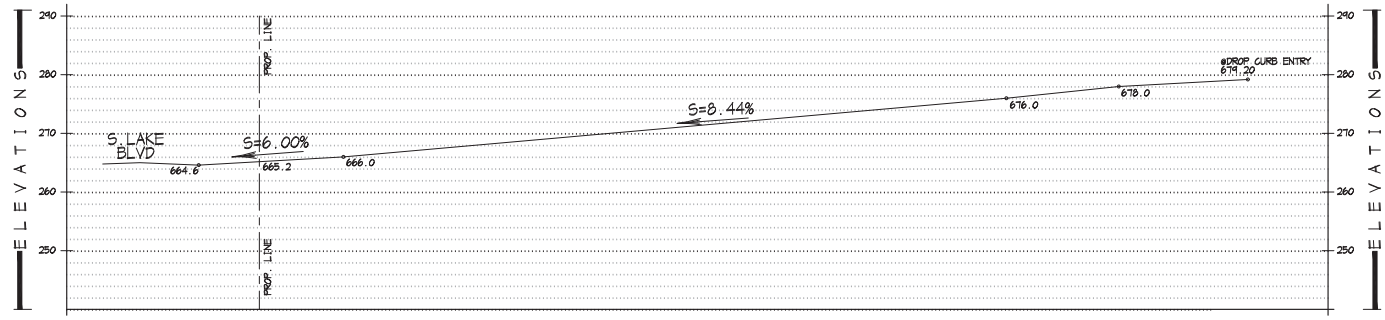
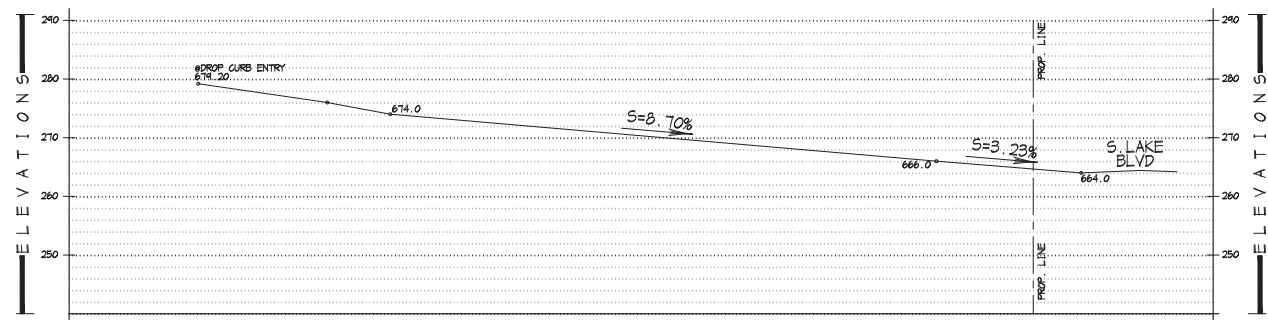
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| Job No.    | 20-078     |
| Scale      | AS NOTED   |
| Date       | 8 OCT 2020 |
| Drawn By   | MM         |
| Checked By | MM         |
| Sheet      |            |

**C107**

Sheet # Signature



MICHAEL MASTROGIACOMO, P.E.  
 NO. 782, STATE OF NEW YORK  
 EXPIRES 12/31/2023  
 CONTRACT STATE # E 124, 12, 16, 18, 19, 20



**DIG SAFELY NY**  
 PRIOR TO CONSTRUCTION, CONTRACTOR  
 SHALL LOCATE ALL BURIED UTILITIES TO  
 ENSURE THAT NO INTERFERENCE EXISTS  
 DURING CONSTRUCTION ACTIVITIES

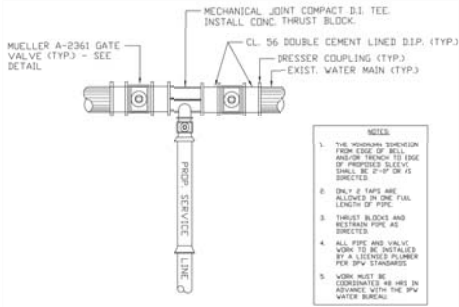
SHEET 1 OF 1 DRIVEWAY PROFILES



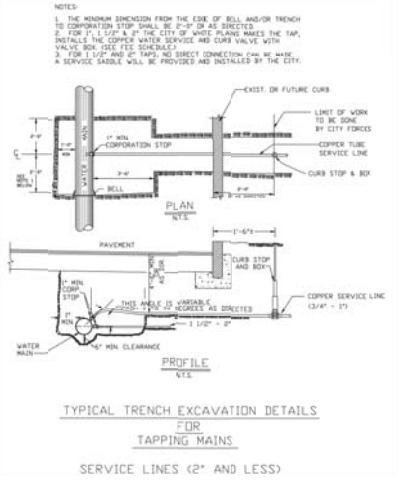


**WATER SERVICE PIPING NOTES**

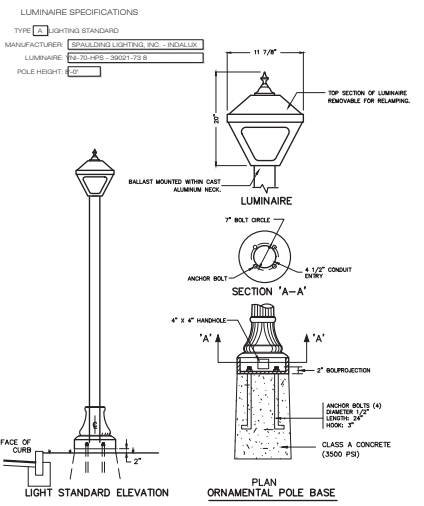
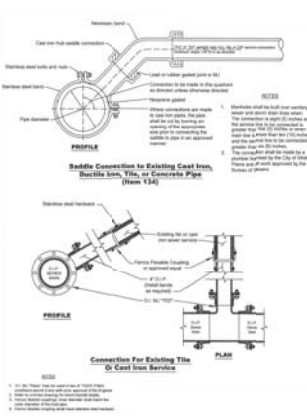
- GATE VALVES SHALL BE ANNA NON-RISING STEM TYPE, AS MANUFACTURED BY MUELLER COMPANY, MODEL A-2361-25, OR APPROVED EQUAL, CONFORMING TO THE LATEST ANNA STANDARD FOR GATE VALVES - 3" THROUGH 48" - FOR WATER AND OTHER LIQUIDS, ANNA DESIGNATION C-509.
- SIZE UP TO AND INCLUDING 12" SHALL BE 250 PSI WORKING PRESSURE. THE VALVE BODY AND BONNET SHALL BE CASTLE IRON. ALL INTERIOR AND EXTERIOR METAL SURFACES SHALL BE COATED WITH A TWO PART THERMOSETTING BODY COATING WITH ANNA COAT.
- VALVES SHALL HAVE DUAL O-RING SEALS, INSIDE AND OUTSIDE, RESILIENT WEDGE SEATS IN ACCORDANCE WITH ANNA DESIGNATION C-509. VALVES SHALL BE CONSTRUCTED BY ANNA TO PROVIDE UNRESTRICTED FULL PORT CLEARANCE WHEN FULLY OPEN AND IMMEDIATE COMPLETE CLOSURE WHEN CLOSED. THE BODY OF THE VALVES SHALL BE MECHANICAL JOINT.
- ALL VALVES SHALL BE ARRANGED TO OPEN COUNTER CLOCKWISE DIRECTION UNLESS OTHERWISE SPECIFICALLY INDICATED AND OPERATING NOTES SHALL BE 2" SQUARE.
- VALVES SHALL BE TESTED TO A PRESSURE OF NOT LESS THAN TWO TIMES THE WORKING PRESSURE.
- WATER SERVICE SADDLES SHALL BE EQUAL TO THOSE MANUFACTURED BY MUELLER, MODEL TH-2007, 55 SERIES STAINLESS STEEL, SINGLE DOUBLE STUD.
- CORPORATION STOPS SHALL BE EQUAL TO THOSE AS MANUFACTURED BY MUELLER COMPANY, MODEL B-2000 SERIES, WBS AND OF THE SIZE REQUIRED. SUCH CORPORATION STOPS SHALL MEET THE REQUIREMENTS OF ANNA SPECIFICATION NO. C-509.
- CURB VALVES (TYP) SHALL BE EQUAL TO THOSE AS MANUFACTURED BY MUELLER COMPANY, MODEL M-1024 AND SHALL CONFORM TO ANNA SPECIFICATION NO. C-509.
- CURB BOXES SHALL BE EQUAL TO THOSE AS MANUFACTURED BY MUELLER COMPANY AND SIMILAR TO MUELLER EXTENSION TYPE WITH ARCH PATTERN BASE MODEL M-1024 ALL EXTENSION ROOFS SHALL BE STAINLESS STEEL.



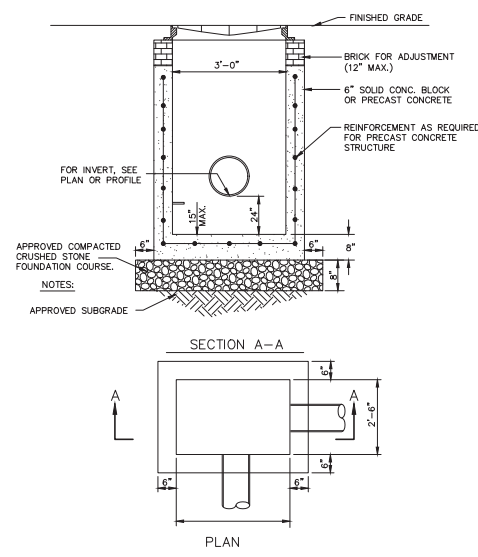
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SCALE: N.T.S.



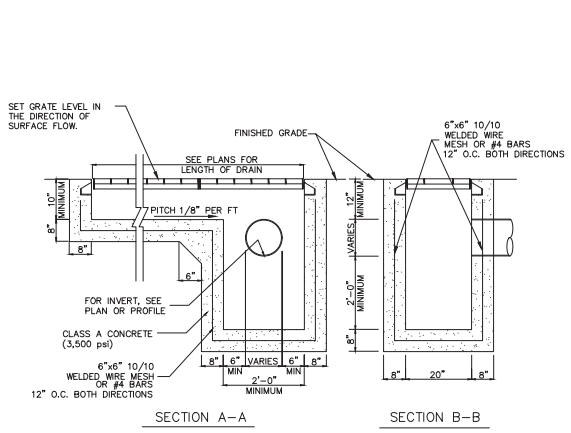
**B SEWER SERVICE DETAIL**  
SCALE: N.T.S.



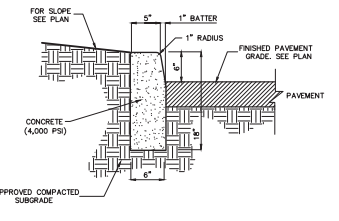
**C DECORATIVE LIGHT DETAIL**  
SCALE: N.T.S.



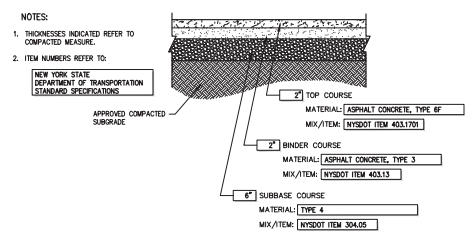
**D DRAIN INLET DETAIL**  
SCALE: N.T.S.



**E TRENCH DRAIN DETAIL**  
SCALE: N.T.S.



**F CONCRETE CURB DETAIL**  
SCALE: N.T.S.



**G SITE PAVEMENT DETAIL (LIGHT DUTY)**  
SCALE: N.T.S.



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REVISIONS

| NO. | DATE       | DESCRIPTION                   |
|-----|------------|-------------------------------|
| 1   | 11.20.2020 | Issue Comments                |
| 2   | 07.20.2020 | Revised for Lighting & Sign   |
| 3   | 11.22.2021 | Revisions per Staff Comments  |
| 4   | 01.11.2022 | Revised application for hotel |
| 5   | 09.12.2022 | Revised application for hotel |

Drawing North

Client's Name and Address  
**910 SOUTH LAKE LLC**  
57 ROUTE 6, SUITE 204, BALDWIN PLACE, NY 10505

Project Information  
**PROPOSED HOTEL**  
910 S. LAKE BLVD, TOWN OF CARMEL, PUTNAM CO., NEW YORK

Job No: 20-078  
Scale: AS NOTED  
Date: 8 OCT 2020  
Drawn By: MMA  
Checked By: MMA

**C201**

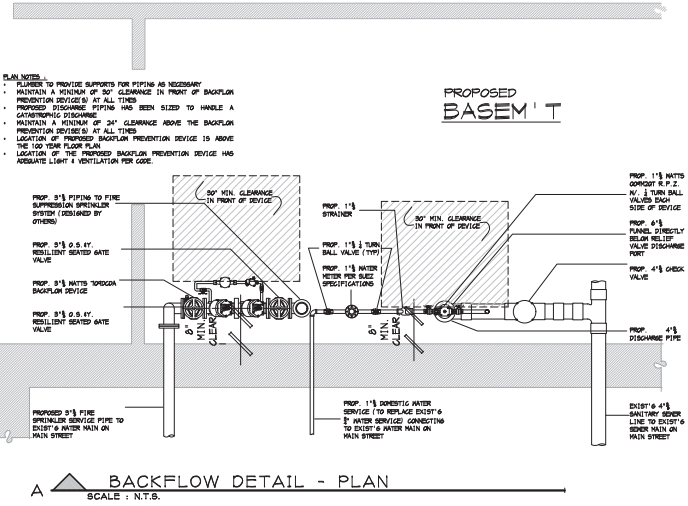


CONSTRUCTION DETAILS

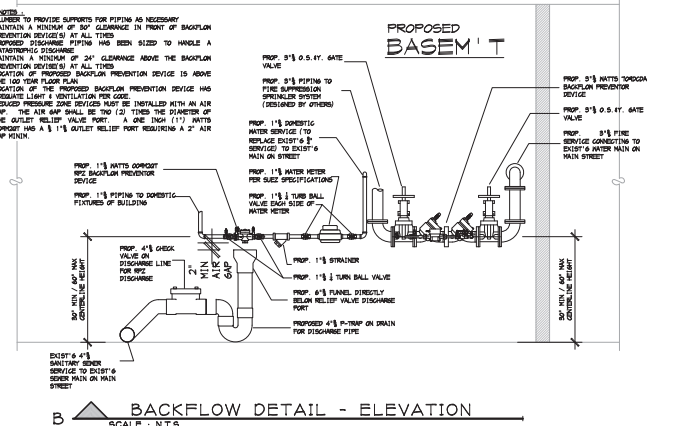
**GENERAL NOTES - BACKFLOW DEVICE**

- GENERAL SPECIFICATIONS**
- ENGINEERS NOT ENGAGED FOR CONSTRUCTION SUPERVISION.
  - VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO COMMENCEMENT OF ANY & ALL WORK. ALL DISCREPANCIES BETWEEN THESE PLANS & ACTUAL FIELD CONDITIONS SHALL BE NOTIFIED TO THE ENGINEER IN WRITING PRIOR TO COMMENCEMENT OF WORK.
  - ALL WORK SHALL COMPLY WITH THE MUNICIPAL PLUMBING CODES, RULES & REGULATIONS, WATER CONVEYOR CODES & THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH.
  - ALL WORK SHALL BE PERFORMED BY A LICENSED PLUMBER IN THE LOCAL MUNICIPALITY.
  - TESTING OF THE D.C.V. DEVICE INSTALLED SHALL BE PERFORMED BY A CERTIFIED TESTER ACCEPTABLE BY THE DEPARTMENT OF HEALTH.
  - ALL FEES MUST BE PAID, PLANS SUBMITTED & APPROVED, & PERMITS OBTAINED BEFORE & WORK MAY BEGIN.
  - THE WATER SERVICE TO THE EXISTING RESIDENCE SHALL BE SHUT OFF BEFORE WORK BEGINS.
  - THE D.C.V. DEVICE SHALL BE TESTED ONCE A YEAR & ALL RESULTS SHALL BE FORWARDED TO THE DEPARTMENT OF HEALTH.
  - THE D.C.V. DEVICE SHALL BE OVERHAULED EVERY FIVE (5) YEARS & OVERHAULED.

- SPECIFICATIONS**
- THE DOUBLE CHECK VALVE BACKFLOW PREVENTOR SHALL CONSIST OF INDEPENDENTLY OPERATING, SPRING LOADED, "Y" PATTERN CHECK VALVES & ONE HYDRAULICALLY DEPENDENT DIFFERENTIAL RELIEF VALVE. THE DEVICE SHALL AUTOMATICALLY REDUCE THE PRESSURE IN THE "ZONE" BETWEEN THE CHECK VALVES TO AT LEAST FIVE (5) P.S.I. LOWER THAN THE INLET PRESSURE. SHOULD THE DIFFERENTIAL BETWEEN THE UPSTREAM & THE ZONE OF THE UNIT DROP TO TWO (2) PSI, THE DIFFERENTIAL RELIEF VALVE SHALL OPEN & MAINTAIN THE PROPER DIFFERENTIAL.
  - MAINLINE VALVE BODY & CAPS INCLUDING RELIEF VALVE BODY & COVER SHALL BE BRONZE.
  - CHECK VALVE MOVING MEMBER SHALL BE CENTER STEM GUIDED. ALL HYDRAULIC SERVING PASSAGES SHALL BE INTERNALLY LOCATED WITHIN THE MAINLINE BODIES.
  - DIAPHRAGM TO SEAT AREA RATIO SHALL BE 10 : 1 MINIMUM.
  - CHECK VALVE COMPONENTS SHALL BE CONSTRUCTED SO THEY MAY BE SERVICED WITHOUT REMOVING THE VALVE BODY FROM THE LINE. ALL SEAT DISCS SHALL BE REVERSIBLE & SHUT OFF VALVES SHALL BE FULL PORTED.
  - THE DEVICE SHALL BE RATED TO ITS P.S.I. WATER WORKING PRESSURE & WATER TEMPERATURE RANGE FROM 55°F TO 100°F.
  - THE DEVICE SHALL MEET THE REQUIREMENTS OF A.S.S.E. STANDARD 101-3, A.M.N.A. STANDARD CODE C506-78, & U.S.C. FOUNDATION FOR CROSS CONNECTION CONTROL & HYDRAULIC RESEARCH, SIXTH EDITION.
  - THE LOCATION OF THE PROPOSED D.C.V. WILL PROVIDE ADEQUATE LIGHT & HEAT.
  - THE PROPOSED D.C.V. SHALL BE INSTALLED IN AN AREA PROTECTED FROM THE HIGHEST POSSIBLE FLOOD PLAIN.
  - AN O.S.H.A. APPROVED LADDER IS REQUIRED FOR DEVICES INSTALLED AT A HEIGHT OF 5'-0" & GREATER.
  - WHERE THE DISTANCE BETWEEN THE WATER METER & THE BACKFLOW PREVENTOR DEVICE IS GREATER THAN 10'-0", ALL EXPOSED PIPING SHALL BE STENCILED "FEED LINE TO BACKFLOW PREVENTOR - DO NOT TAP" AT 5'-0" INTERVALS.



**A BACKFLOW DETAIL - PLAN**  
SCALE : N.T.S.



**B BACKFLOW DETAIL - ELEVATION**  
SCALE : N.T.S.



All plans, permits, approvals and items installed or constructed are subject to the approval of the official and shall comply with the applicable codes and regulations. The Engineer shall be responsible for the accuracy of the information provided and shall not be liable for any errors, omissions or delays in the design or construction of any project, in whole or in part, resulting from the use of the information provided. The Engineer shall not be responsible for any damage or injury to persons or property resulting from the use of the information provided.

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|            |                                |
|------------|--------------------------------|
| 07.20.2020 | Issue Comments                 |
| 07.20.2020 | Revision: Building & Fire      |
| 11.20.2020 | Revision: per Staff Comments   |
| 01.12.2022 | Revision application for hotel |
| 09.12.2022 | Revision application for hotel |

Drawing North

Client Name and Address  
**910 SOUTH LAKE LLC**  
57 ROUTE 6  
SUITE 204  
BALDWIN PLACE, NY  
10505

Project Information  
**PROPOSED HOTEL**  
910 S. LAKE BLVD  
TOWN OF CARMEL  
PUTNAM CO.  
NEW YORK

Job No. 20-078  
Scale AS NOTED  
Date 8 OCT 2020  
Drawn By MMA  
Checked By MMA  
Sheet

**C202**

Seal & Signature  
  
MICHAEL MASTROGIACOMO, P.E., S.  
NO. 10287, STATE OF NEW YORK  
CONNECTION STATE NO. 1124, 10-10-1993

CONSTRUCTION DETAILS



1 FRONT ELEVATION (NORTH SIDE)  
 SCALE: 1/4" = 1'-0"  
 NOTE:



2 REAR ELEVATION (SOUTH SIDE)  
 SCALE: 1/4" = 1'-0"  
 NOTE:

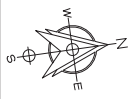
**MASTROGIACOMO**  
**ENGINEERING, P.C.**  
 10 MELAND AVENUE, SUITE 204A  
 PORT CHESTER, NEW YORK 10573  
 TEL: 94-900-6372  
 FAX: 94-900-6370  
 WWW.MASTROGIACOMO.COM  
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- 11.20.2020: Start Comments
- 07.20.2021: Revisions for Lighting & Site
- 11.22.2021: Revisions per Staff Comments
- 01.11.2022: Revisions application for hotel
- 09.11.2022: Revisions application for hotel
- 09.12.2022: Revisions application for hotel

Drawing North



Client Name and Address  
**910 SOUTH LAKE LLC**  
 57 ROUTE 6  
 SUITE 204  
 BALDWIN PLACE, NY 10505

Project Information  
**PROPOSED HOTEL**  
 910 S. LAKE BLVD  
 TOWN OF CARMEL  
 PUTNAM CO., NEW YORK

Job No. 20-078  
 Scale AS NOTED  
 Date 8 OCT 2020  
 Drawn By MMA  
 Checked By MMA  
 Sheet

**A100**

Seal & Signature  
  
 MICHAEL MASTROGIACOMO, P.E., S.E.  
 NEW YORK STATE REG. NO. 104 106 106 106  
 LICENSED PROFESSIONAL ENGINEER

ELEVATIONS





1 LEFT ELEVATION (EAST SIDE)  
SCALE: 3/16" = 1'-0"  
NOTE:



2 RIGHT ELEVATION (WEST SIDE)  
SCALE: 3/16" = 1'-0"  
NOTE:

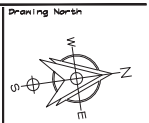
**MASTROGIACOMO ENGINEERING P.C.**  
10 MELAND AVENUE, SUITE 204A  
PORT CHESTER, NEW YORK 10573  
TEL: 914.900.6372  
EMAIL: JON@MASTROGIACOMO.COM  
WWW.MASTROGIACOMO.COM  
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- 11.20.2020 Issue Comments
- 07.20.2021 Revisions per Staff Comments
- 11.22.2021 Revisions per Staff Comments
- 01.17.2022 Revisions application for hotel
- 09.11.2022 Revisions application for hotel
- 09.12.2022 Revisions application for hotel



Client Name and Address  
**910 SOUTH LAKE LLC**  
57 ROUTE 6  
SUITE 204  
BALDWIN PLACE, NY  
10505

Project Information  
**PROPOSED HOTEL**  
31 BROADWAY  
910 S. LAKE BLVD  
TOWN OF CARMEL  
PUTNAM CO.,  
NEW YORK

Job No. 20-078  
Scale AS NOTED  
Date 8 OCT 2020  
Drawn By MMA  
Checked By MMA  
Sheet

**A101**

Seal & Signature

MICHAEL MASTROGIACOMO, P.E., No. 105, State of New York, License No. 165,000,000, Expiration Date 12/31/2024

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- 11.20.2020 Issue Comments
- 07.20.2020 Revisions for Building & Site
- 11.20.2021 Revisions per Staff Comments
- 01.11.2022 Revisions application for hotel
- 09.11.2022 Revisions application for hotel
- 09.12.2022 Revisions application for hotel

Drawing North



Client's Name and Address

**910 SOUTH LAKE LLC**  
 57 ROUTE 6  
 SUITE 204  
 BALDWIN PLACE, NY  
 10505

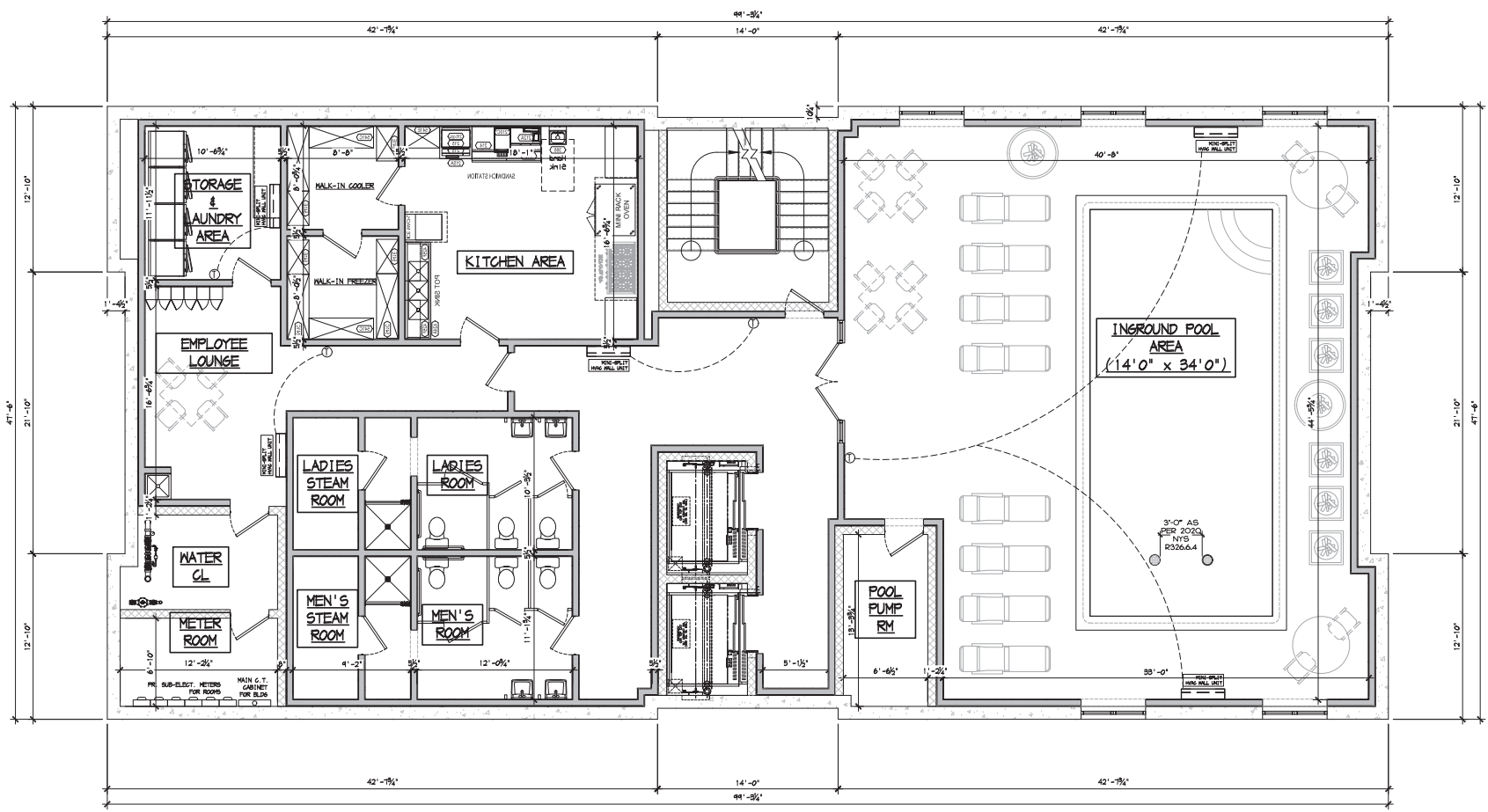
Project Information

**PROPOSED HOTEL**  
 910 S. LAKE BLVD  
 TOWN OF CARMEL  
 PUTNAM CO.  
 NEW YORK

Job No. 20-078  
 Scale AS NOTED  
 Date 8 OCT 2020  
 Drawn By MMA  
 Checked By MMA  
 Sheet

**A200**

Scale & Signature



1 PROPOSED FLOOR PLAN - BASEMENT FLOOR  
 SCALE: 1/4" = 1'-0"  
 NOTE:

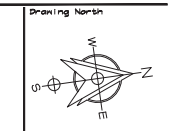
Sheet 1 of 1 PROPOSED FLOOR PLAN - BASEMENT FLOOR



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- 11.20.2020 Initial Comments
- 07.20.2021 Revisions per Staff Comments
- 11.20.2021 Revisions per Staff Comments
- 01.11.2022 Revisions application for hotel
- 09.11.2022 Revisions application for hotel
- 09.12.2022 Revisions application for hotel

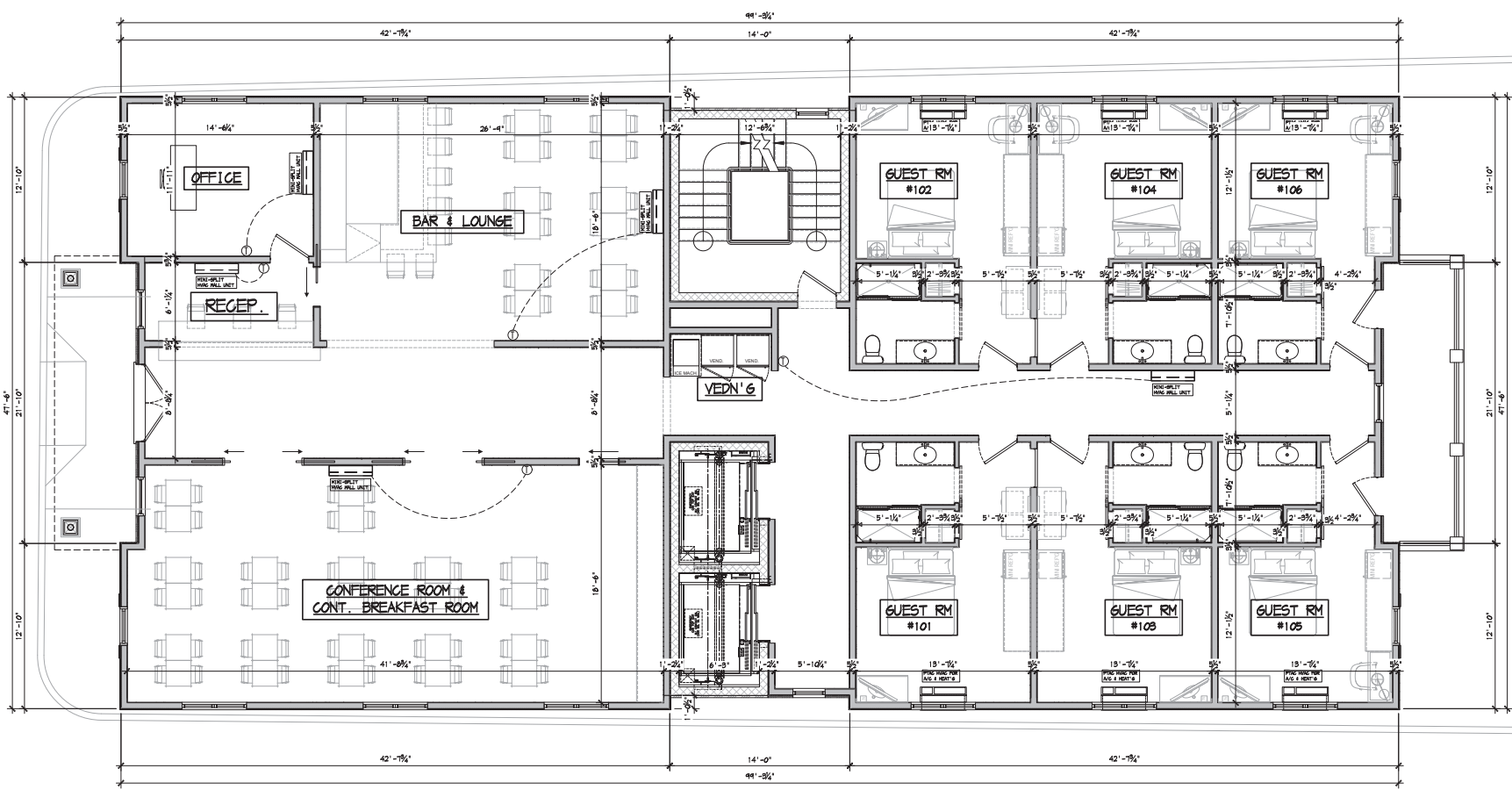


Client Name and Address  
**910 SOUTH LAKE LLC**  
57 ROUTE 6  
SUITE 204  
BALDWIN PLACE, NY  
10505

Project Information  
**PROPOSED HOTEL**  
910 S. LAKE BLVD  
TOWN OF CARMEL  
PUTNAM CO.  
NEW YORK

Job No. 20-078  
Scale AS NOTED  
Date 8 OCT 2020  
Drawn By MMA  
Checked By MMA  
Sheet

**A201**



1 PROPOSED FLOOR PLAN - 1ST FLOOR  
SCALE: 1/4" = 1'-0"  
NOTE:

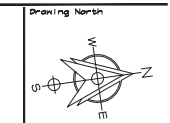
Sheet Title: PROPOSED FLOOR PLAN - 1ST FLOOR



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- 11.20.2020 Initial Comments
- 07.20.2021 Revision per Staff Comments
- 11.22.2021 Revision per Staff Comments
- 01.11.2022 Revision application for hotel
- 09.11.2022 Revision application for hotel
- 09.12.2022 Revision application for hotel



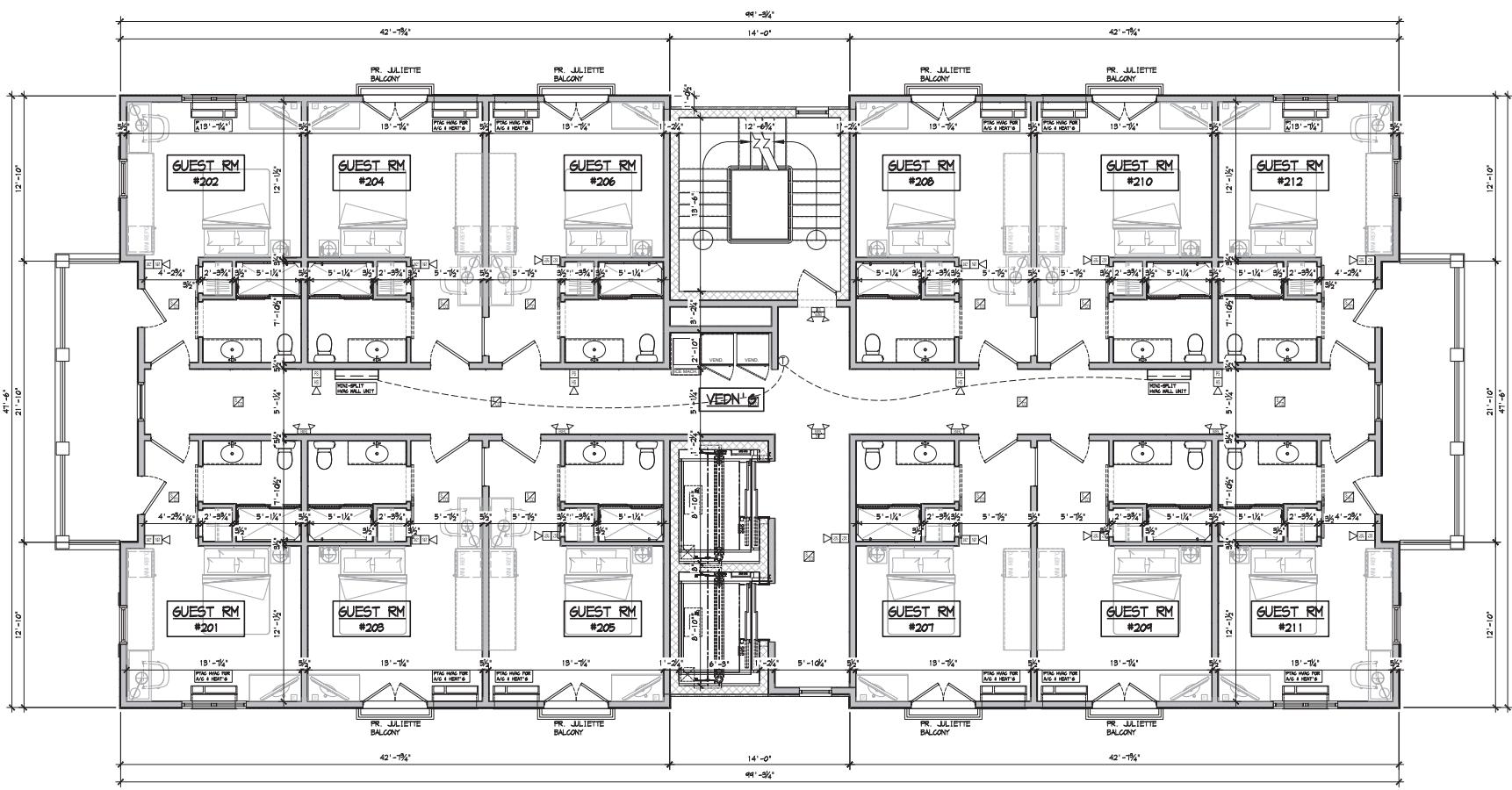
Client's Name and Address  
**910 SOUTH LAKE LLC**  
 57 ROUTE 6  
 SUITE 204  
 BALDWIN PLACE, NY  
 10505

Project Information  
**PROPOSED HOTEL**  
 910 S. LAKE BLVD  
 TOWN OF CARMEL  
 PUTNAM CO.  
 NEW YORK

Job No. 20-078  
 Scale AS NOTED  
 Date 8 OCT 2020  
 Drawn By MMA  
 Checked By MMA

**A202**

Sheet 1 Signature



1 PROPOSED FLOOR PLAN - 2ND FLOORS  
 SCALE: 1/4" = 1'-0"  
 NOTE:

SHEET 1 OF 1 PROPOSED FLOOR PLAN - 2ND FLOORS

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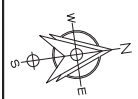
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REVISIONS

- 11.20.2020 Issue Comments
- 07.20.2021 Revision for Building & Site
- 11.22.2021 Revision per Staff Comments
- 01.11.2022 Revision application for hotel
- 03.11.2022 Revision application for hotel
- 09.12.2022 Revision application for hotel

Drawing North



Client's Name and Address

**910 SOUTH LAKE LLC**  
 57 ROUTE 6  
 SUITE 204  
 BALDWIN PLACE, NY  
 10505

Project Information

**PROPOSED HOTEL**  
 910 S. LAKE BLVD  
 TOWN OF CARMEL  
 PUTNAM CO.  
 NEW YORK

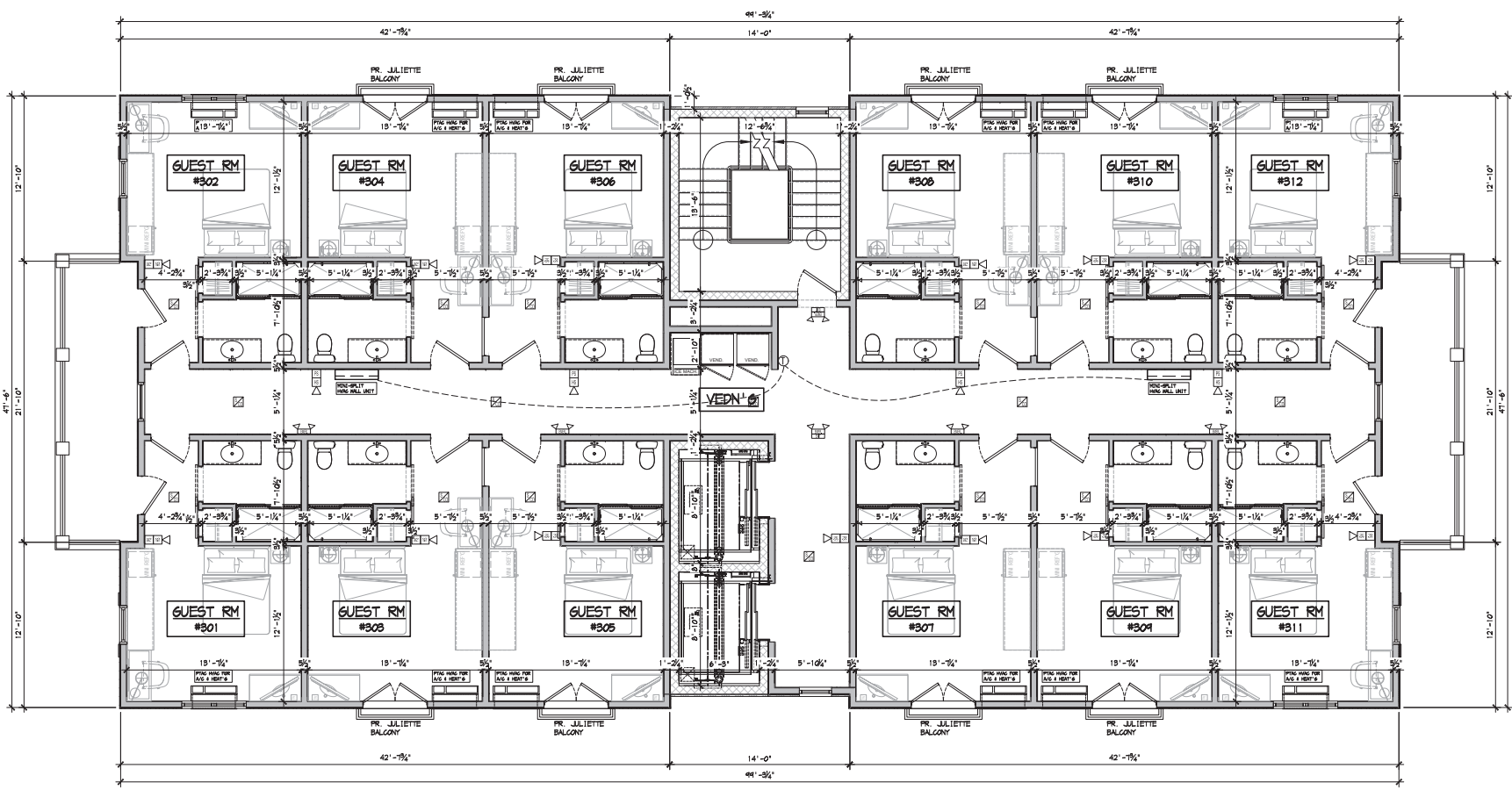
Job No. 20-078  
 Scale AS NOTED  
 Date 8 OCT 2020  
 Drawn By MMA  
 Checked By MMA  
 Sheet

**A203**

Seal & Signature



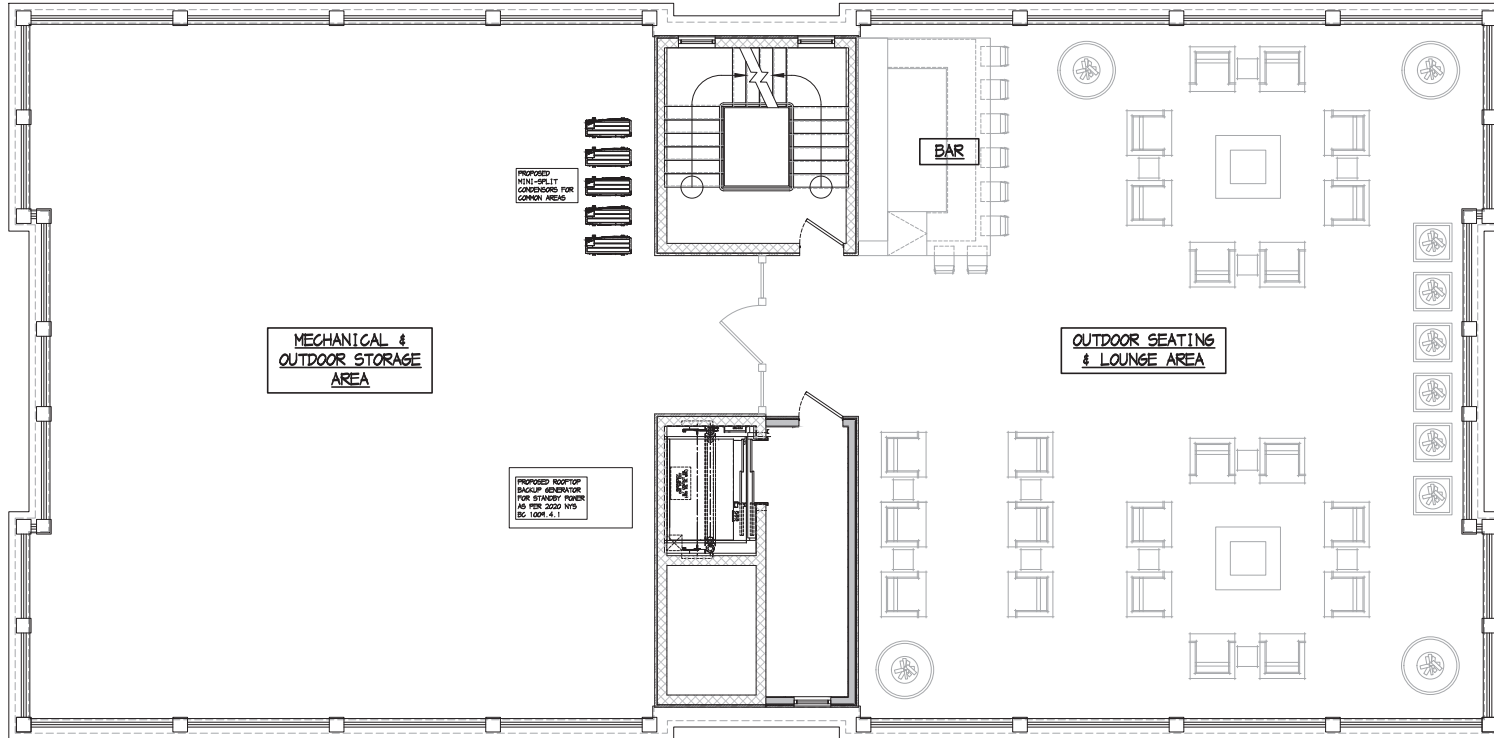
MICHAEL MASTROGIACOMO, P.E., E.S.  
 NEW YORK STATE REG. NO. 104 104 104 104  
 CONTRACT STATE REG. # 104 104 104 104



1 PROPOSED FLOOR PLAN - 3RD FLOORS

SCALE: 1/4" = 1'-0"  
 NOTE:

SHEET 11 OF 11 PROPOSED FLOOR PLAN - 3RD FLOORS



1 PROPOSED FLOOR PLAN - ROOF  
 SCALE: 1/4" = 1'-0"  
 NOTE:

**MASTROGIACOMO**  
**ENGINEERING, P.C.**  
 10 MELAND AVENUE, SUITE 204  
 PORT CHESTER, NEW YORK 10573  
 TEL: 945-900-6372  
 FAX: 945-900-6370  
 WWW.MASTROGIACOMO.COM  
 LICENSE # 104 106 106 106

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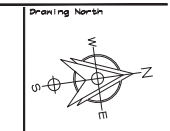
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REVISIONS

|            |                               |
|------------|-------------------------------|
| 11.20.2020 | Issue Comments                |
| 07.20.2021 | Revised for lighting & site   |
| 11.22.2021 | Revised per Staff Comments    |
| 01.17.2022 | Revised application for hotel |
| 09.11.2022 | Revised application for hotel |
| 09.12.2022 | Revised application for hotel |

REVISIONS

|            |                               |
|------------|-------------------------------|
| 11.20.2020 | Issue Comments                |
| 07.20.2021 | Revised for lighting & site   |
| 11.22.2021 | Revised per Staff Comments    |
| 01.17.2022 | Revised application for hotel |
| 09.11.2022 | Revised application for hotel |
| 09.12.2022 | Revised application for hotel |



Client's Name and Address  
**910 SOUTH LAKE LLC**  
 57 ROUTE 6  
 SUITE 204  
 BALDWIN PLACE, NY 10505

Project Information  
**PROPOSED HOTEL**  
 910 S. LAKE BLVD  
 TOWN OF CARMEL  
 PUTNAM CO.  
 NEW YORK

Job No. 20-078  
 Scale AS NOTED  
 Date 8 OCT 2020  
 Drawn By MMA  
 Checked By MMA  
 Sheet

**A204**

Seal & Signature  
  
 MICHAEL MASTROGIACOMO, P.E.  
 NEW YORK STATE # 104 106 106 106  
 CONTRACT STATE # 104 106 106 106

Sheet 1 of 1 PROPOSED FLOOR PLAN - ROOF



# BIBBO ASSOCIATES, L.L.P.

*Consulting Engineers*

Timothy S. Allen, P.E.  
Nicholas Gaboury, P.E.  
Matthew J. Gironda, P.E.

August 8, 2022

Town of Carmel Planning Board  
60 McAlpin Avenue  
Mahopac, NY 10541-2340

Attn: Mr. Craig Paepfer, Chairman

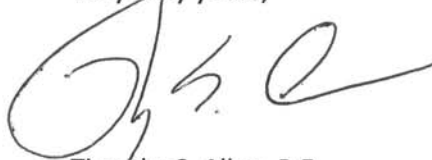
Re: Proposed 14-Lot Subdivision  
Yankee Land Development Subdivision  
Bayberry Hill Road & Owen Drive  
TM # 76.15-1-12

Dear Chairman and Members of the Board:

On behalf of the owners of the above captioned property we are hereby requesting an additional 180-day extension of Preliminary Subdivision Approval. This project was granted a 180 day extension until August 15, 2022. A check in the amount of \$ 2,500 for the renewal fee is enclosed.

We respectfully request to be placed on your earliest available agenda. Should you require any additional information, please feel free to contact me.

Very truly yours,



Timothy S. Allen, P.E.  
Senior Partner

TSA/mme  
Enclosure

cc: Angelo Luppino  
Michael Sirignano  
File

*Site Design ♦ Environmental*

---

Mill Pond Offices • 293 Route 100 • Suite 203 • Somers, New York 10589  
Phone: 914.277.5805 • Fax: 914.277.8210  
Website: [www.bibboassociates.com](http://www.bibboassociates.com) • E-mail: [bibbo@bibboassociates.com](mailto:bibbo@bibboassociates.com)