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Chairman

ANTHONY GIANNICO
Vice Chairman

BOARD MEMBERS
KIM KUGLER
RAYMOND COTE
ROBERT FRENKEL
MARK PORCELLI
VICTORIA CAUSA

TOWN OF CARMEL
PLANNING BOARD



60 McAlpin Avenue
Mahopac, New York 10541
Tel. (845) 628-1500 – Ext.190
www.ci.carmel.ny.us

MICHAEL CARNAZZA
*Director of Code
Enforcement*

RICHARD FRANZETTI, P.E.
Town Engineer

PATRICK CLEARY,
AICP, CEP, PP, LEED AP
Town Planner

PLANNING BOARD AGENDA
SEPTEMBER 9, 2021 – 7:00 P.M.

REVISION #1

TAX MAP # PUB. HEARING MAP DATE COMMENTS

RESOLUTION

- | | | | |
|--|------------|---------|-----------------------|
| 1. DPL Realty LLC – 102 Gleneida Ave, Carmel | 44.14-1-22 | 8/2/21 | Residential Site Plan |
| 2. Hirsch, Stacy – 311 Drewville Road | 66.13-1-7 | 8/16/21 | Site Plan |

SITE PLAN

- | | | | |
|---|-----------|---------|------------------------------------|
| 3. Delamere-Fitzpatrick Family Chiropractic -
87 Ellen Ave | 75.59-1-2 | 7/23/21 | Special Site Plan (Home
Office) |
|---|-----------|---------|------------------------------------|

SUBDIVISION

- | | | | |
|--|-----------|---------|----------------------|
| 4. Fante Subdivision – 419 Union Valley Road | 87.7-1-22 | 7/30/21 | Sketch Plan (2 Lots) |
|--|-----------|---------|----------------------|

MISCELLANEOUS

- | | | | |
|--|-------------|--|--|
| 5. Yankee Development – Piggott Road | 76.15-1-12 | | Extension of Preliminary
Subdivision Approval |
| 6. MCSS Self Storage – 155 Hughson Ave, Carmel | 55.16-1-8.1 | | Waiver of Site Plan
Application |
| 7. Minutes – 07/28/21 | | | |



TOWN OF CARMEL SITE PLAN APPLICATION INSTRUCTIONS



The Town of Carmel Planning Board meetings are held twice a month, on the second and fourth Wednesday's, at 7:00 PM at Carmel Town Hall, 60 McAlpin Avenue, Carmel

The submission deadline is 10 days prior to the Planning Board meeting. New site plan applications that have been deemed complete will be placed on the agenda in the order they are received.

No application will be placed on the agenda that is incomplete

Pre-Submission:

Prior to the formal submission of the site plan, a pre-submission conference may be requested by the applicant to be conducted with representatives from the Town, which may include the Town Planner, Town Engineer, Director of Code Enforcement and/or the Planning Board Attorney. This conference will serve to educate the applicant on the process he/she must follow, clarify the information required to submit a complete site plan application, and to highlight any specific areas of concern. You may arrange a pre-submission conference through the Planning Board Secretary at (845) 628-1500 extension 190.

Submission Requirements:

At least 10 days prior to the Planning Board meeting, the site plan application shall be submitted to the Planning Board Secretary as follows:

All site plans shall be signed, sealed and folded with the title box legible. The application package shall include:

- ☒ 11 copies of the Site Plan Application Form, signed and notarized.
- ☒ 11 copies of the SEQR Environmental Assessment Form (use of short form or long form shall be determined at pre-submission conference).
- ☒ 5 full size sets of the Site Plan (including floor plans and elevations)
- ☒ 1 CD (in pdf. format) containing an electronic version of the Site Plan
- ☒ 2 copies of the Disclosure Statement
- ☒ 11 copies of the Site Plan Completeness Certification Form
- ☒ All supplemental studies, reports, plans and renderings.
- ☒ 2 copies of the current deed.
- ☒ ~1/2 copies of all easements, covenants and restrictions.
- ☒ The appropriate fee, determined from the attached fee schedule. Make checks payable to the *Town of Carmel*.

Rose Tronchetti 8/26/21
Planning Board Secretary; Date

Richard J. [Signature] 8/26/2021
Town Engineer; Date



TOWN OF CARMEL SITE PLAN APPLICATION



Per Town of Carmel Code – Section 156 - Zoning

SITE IDENTIFICATION INFORMATION		
Application Name: Fitzpatrick Family Chiropractic	Application # 21-0008	Date Submitted: 8/26/21
Site Address: No. 87 Street: Ellen Ave Hamlet: Mahopac		
Property Location: (Identify landmarks, distance from intersections, etc.) Nearest Intersection - Mary Ave		
Town of Carmel Tax Map Designation: Section 75.59 Block 1 Lot(s) 2	Zoning Designation of Site: R-120	
Property Deed Recorded in County Clerk's Office Date 05/12/1998 Liber 1427 Page 496	Liens, Mortgages or other Encumbrances Yes No	
Existing Easements Relating to the Site <input checked="" type="checkbox"/> No Yes Describe and attach copies:	Are Easements Proposed? <input checked="" type="checkbox"/> No Yes Describe and attach copies:	
Have Property Owners within a 500' Radius of the Site Been Identified? <input checked="" type="checkbox"/> Yes No Attached List to this Application Form		
APPLICANT/OWNER INFORMATION		
Property Owner: Dr Siobhan Delamere- Fitzpatrick	Phone #: 646-331-7697 Fax#:	Email: drejfitzpatrick@aol.com
Owners Address: No. 87 Street: Ellen Ave Town: Mahopac State: NY Zip: 10541		
Applicant (If different than owner):	Phone #: Fax#:	Email:
Applicant Address (If different than owner): No. Street: Town: State: Zip:		
Individual/ Firm Responsible for Preparing Site Plan: Joel Greenberg of Architectural Visions, PLLC	Phone #: 845-628-6613 Fax#:	Email: joel.greenberg@arch-visions.com
Address: No. 2 Street: Muscoot Road North Town: Mahopac State: NY Zip: 10541		
Other Representatives:	Phone #: Fax#:	Email:
Owners Address: No. Street: Town: State: Zip:		
PROJECT DESCRIPTION		
Describe the project, proposed use and operation thereof: Create Chiropractic Office in Existing Building		



TOWN OF CARMEL SITE PLAN APPLICATION

PROJECT INFORMATION			
Lot size: Acres: 1.54 Square Feet: 69,638		Square footage of all existing structures (by floor): 3,314 SF	
# of existing parking spaces: 0		# of proposed parking spaces: 3	
# of existing dwelling units: 1		# of proposed dwelling units: 1	
Is the site served by the following public utility infrastructure:			
<div style="display: flex; justify-content: space-between;"> <div> Is project in sewer district or will private septic system(s) be installed? <u>Exist SS TS</u> If yes to Sanitary Sewer answer the following: </div> <div> Does approval exist to connect to sewer main? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> Is this an in-district connection? _____ Out-of district connection? _____ What is the total sewer capacity at time of application? _____ What is your anticipated average and maximum daily flow _____ </div> </div>			
<i>For Town of Carmel Town Engineer</i> What is the sewer capacity <u>NA - RDP 8/26/2021</u>			
<div style="display: flex; justify-content: space-between;"> <div> Water Supply If Yes: </div> <div> Does approval exist to connect to water main? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> What is the total water capacity at time of application? <u>300 GPD</u> What is your anticipated average and maximum daily demand <u>300 GPD</u> </div> </div>			
<div style="display: flex; justify-content: space-between;"> <div>Storm Sewer</div> <div>Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/></div> </div>			
<div style="display: flex; justify-content: space-between;"> <div>Electric Service</div> <div>Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/></div> </div>			
<div style="display: flex; justify-content: space-between;"> <div>Gas Service</div> <div>Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/></div> </div>			
<div style="display: flex; justify-content: space-between;"> <div>Telephone/Cable Lines</div> <div>Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/></div> </div>			
<i>For Town of Carmel Town Engineer</i> <div style="display: flex; justify-content: space-between;"> <div> Water Flows <u>existing site - no change</u> Sewer Flows <u>NA</u> </div> <div style="text-align: right;"> <u>RDP</u> <u>8/26/2021</u> </div> </div>			
Town Engineer; Date			
What is the predominant soil type(s) on the site? N/A		What is the approximate depth to water table? N/A	
Site slope categories:		15-25% <u>70</u> % 25-35% <u>30</u> % >35% _____ %	
Estimated quantity of excavation:		Cut (C.Y.) _____ Fill (C.Y.) _____	
Is Blasting Proposed Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> Unknown: <input type="checkbox"/>			
Is the site located in a designated Critical Environmental Area? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Does a curb cut exist on the site? Yes: <input type="checkbox"/> No: <input type="checkbox"/>		Are new curb cuts proposed? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
What is the sight distance? Left <u>200 FT</u> Right <u>200 FT</u>			
Is the site located within 500' of:			
The boundary of an adjoining city, town or village			Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
The boundary of a state or county park, recreation area or road right-of-way			Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
A county drainage channel line.			Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
The boundary of state or county owned land on which a building is located			Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>

TOWN OF CARMEL SITE PLAN APPLICATION

Is the site listed on the State or Federal Register of Historic Place (or substantially contiguous) Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Is the site located in a designated floodplain? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Will the project require coverage under the Current NYSDEC Stormwater Regulations <div style="text-align: right;">Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/></div>			
Will the project require coverage under the Current NYCDEP Stormwater Regulations <div style="text-align: right;">Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/></div>			
Does the site disturb more than 5,000 sq ft		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Does the site disturb more than 1 acre		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Does the site contain freshwater wetlands? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Jurisdiction: NYSDEC: <input type="checkbox"/> Town of Carmel: <input type="checkbox"/> N/A			
<i>If present, the wetlands must be delineated in the field by a Wetland Professional, and survey located on the Site Plan.</i>			
Are encroachments in regulated wetlands or wetland buffers proposed? N/A Yes: <input type="checkbox"/> No: <input type="checkbox"/>			
Does this application require a referral to the Environmental Conservation Board?		Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Does the site contain waterbodies, streams or watercourses? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Are any encroachments, crossings or alterations proposed? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Is the site located adjacent to New York City watershed lands? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Is the project funded, partially or in total, by grants or loans from a public source? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>			
Will municipal or private solid waste disposal be utilized? Public: <input type="checkbox"/> Private: <input checked="" type="checkbox"/>			
Has this application been referred to the Fire Department?		Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
What is the estimated time of construction for the project? <div style="text-align: right;">2 Months</div>			
ZONING COMPLIANCE INFORMATION			
Zoning Provision	Required	Existing	Proposed
Lot Area	120,000 SF	69,638 SF	69,638 SF
Lot Coverage	15 %	0.049%	0.049%
Lot Width	200 FT	349.53 FT	349.53 FT
Lot Depth	200 FT	196.86 FT	196.86 FT
Front Yard	40 FT	84.7 FT	84.70 FT
Side Yard	20 FT	3.8 FT	3.8 FT
Rear Yard	40 FT	2.2 FT	2.2 FT
Minimum Required Floor Area			
Floor Area Ratio	N/A		
Height	35 FT	18 FT	18 FT
Off-Street Parking	3	2	3
Off-Street Loading	N/A		

TOWN OF CARMEL SITE PLAN APPLICATION

Will variances be required? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	If yes, identify variances: Lot Area- 50,362 SF Lot Depth - 4 FT Rear Yard - 1 FT
PROPOSED BUILDING MATERIALS	
Foundation	Existing
Structural System	Existing
Roof	Existing
Exterior Walls	Existing
APPLICANTS ACKNOWLEDGEMENT	
<p>I hereby depose and certify that all the above statements and information, and all statements and information contained in the supporting documents and drawings attached hereto are true and correct.</p>	
Dr Siobhan Delamere- Fitzpatrick Applicants Name	 Applicants Signature
Sworn before me this <u>23rd</u> day of <u>July</u> 20 <u>21</u>	
 Notary Public	<div style="border: 1px solid black; padding: 5px; width: fit-content; margin: 0 auto;"><p>Jessica L DeNoyelles NOTARY PUBLIC, STATE OF NEW YORK Registration No. 01DE6347296 Putnam County Commission Expires August 29, 2024</p></div>



TOWN OF CARMEL
**SITE PLAN COMPLETENESS
CERTIFICATION FORM**



All Site Plans submitted to the Planning Board for review shall include the following information and details, as set forth in Section 156-61 B of the Town of Carmel Zoning Ordinance.

This form shall be included with the site plan submission

	Requirement Data	To Be Completed by the Applicant	Waived by the Town
1	Name and title of person preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2	Name of the applicant and owner (if different from applicant)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3	Original drawing date, revision dates, scale and north arrow	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4	Tax map, block and lot number(s), zoning district	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5	All existing property lines, name of owner of each property within a 500' radius of the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6	Contour lines at two-foot intervals, grades of all roads, driveways, sanitary and storm sewers	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7	The location of all water bodies, streams, watercourses, wetland areas, wooded areas, rights-of-way, streets, roads, highways, railroads, buildings, structures	N/A <input type="checkbox"/>	<input type="checkbox"/>
8	The location of all existing and proposed easements	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9	The location of all existing and proposed structures, their use, setback dimensions, floor plans, front, side and rear elevations, buildable area.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10	On site circulation systems, access, egress ways and service roads, emergency service access and traffic mitigation measures	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11	Sidewalks, paths and other means of pedestrian circulation	N/A <input type="checkbox"/>	<input type="checkbox"/>
12	On-site parking and loading spaces and travel aisles with dimensions	<input checked="" type="checkbox"/>	<input type="checkbox"/>
13	The location, height and type of exterior lighting fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>
14	Proposed signage	<input checked="" type="checkbox"/>	<input type="checkbox"/>
15	For non-residential uses, an estimate of the number of employees who will be using the site, description of the operation, types of products sold, types of machinery and equipment used	<input checked="" type="checkbox"/>	<input type="checkbox"/>



TOWN OF CARMEL
**SITE PLAN COMPLETENESS
CERTIFICATION FORM**



	Requirement Data	To Be Completed by the Applicant	Waived by the Town
16	The location of clubhouses, swimming pools, open spaces, parks or other recreational areas, and identification of who is responsible for maintenance	N/A <input type="checkbox"/>	<input type="checkbox"/>
17	The location and design of buffer areas, screening or other landscaping, including grading and water management. A comprehensive landscaping plan in accordance with the Tree Conservation Law	<input checked="" type="checkbox"/>	<input type="checkbox"/>
18	The location of public and private utilities, maintenance responsibilities, trash and garbage areas	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19	A list, certified by the Town Assessor, of all property owners within 500 feet of the site boundary	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20	Any other information required by the Planning Board which is reasonably necessary to ascertain compliance with this chapter	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Applicants Certification (to be completed by the licensed professional preparing the site plan:

I Joel Greenberg hereby certify that the site plan to which I have attached my seal and signature, meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:



Signature - Applicant



Signature - Owner

7/23/2021

Date

7/23/2021

Date



Professionals Seal



TOWN OF CARMEL
SITE PLAN COMPLETENESS
CERTIFICATION FORM



Town Certification (to be completed by the Town)

I _____ hereby confirm that the site plan meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:

Rose Grimaldi
Signature - Planning Board Secretary

8/26/21
Date

Richard J. [Signature]
Signature - Town Engineer

8/26/2021
Date

Short Environmental Assessment Form

Part 1 - Project Information


Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

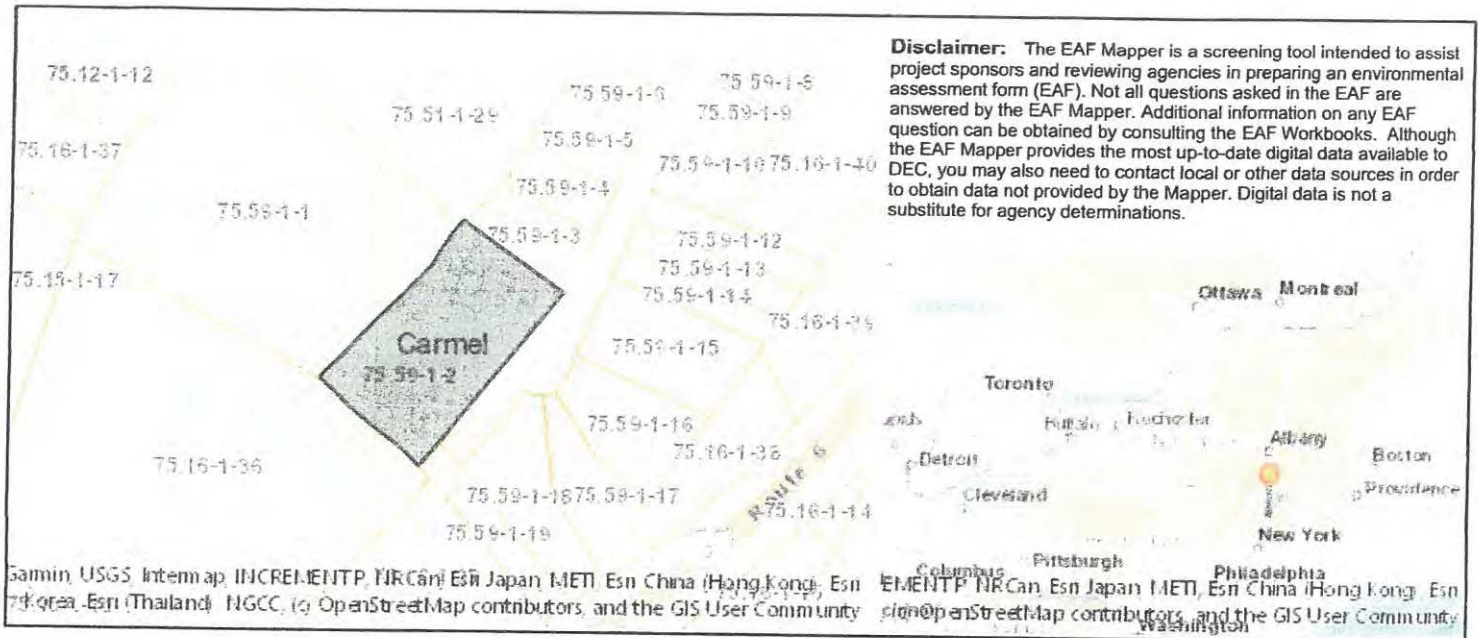
Part 1 – Project and Sponsor Information			
Name of Action or Project: Fitzpatrick Family Chiropractic			
Project Location (describe, and attach a location map): 87 Ellen Ave, Mahopac, NY 10541			
Brief Description of Proposed Action: Create Chiropractic Office in Existing Building			
Name of Applicant or Sponsor: Dr Siobhan Delamere- Fitzpatrick		Telephone: 646-331-7697	
Address: 87 Ellen Ave		E-Mail: drejfitzpatrick@aol.com	
City/PO: q Mahopac		State: NY	Zip Code: 10541
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Carmel ZBA & Building Dept			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		1.59 acres	
b. Total acreage to be physically disturbed?		0.009 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		1.59 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: <u>Existing Septic System</u> _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

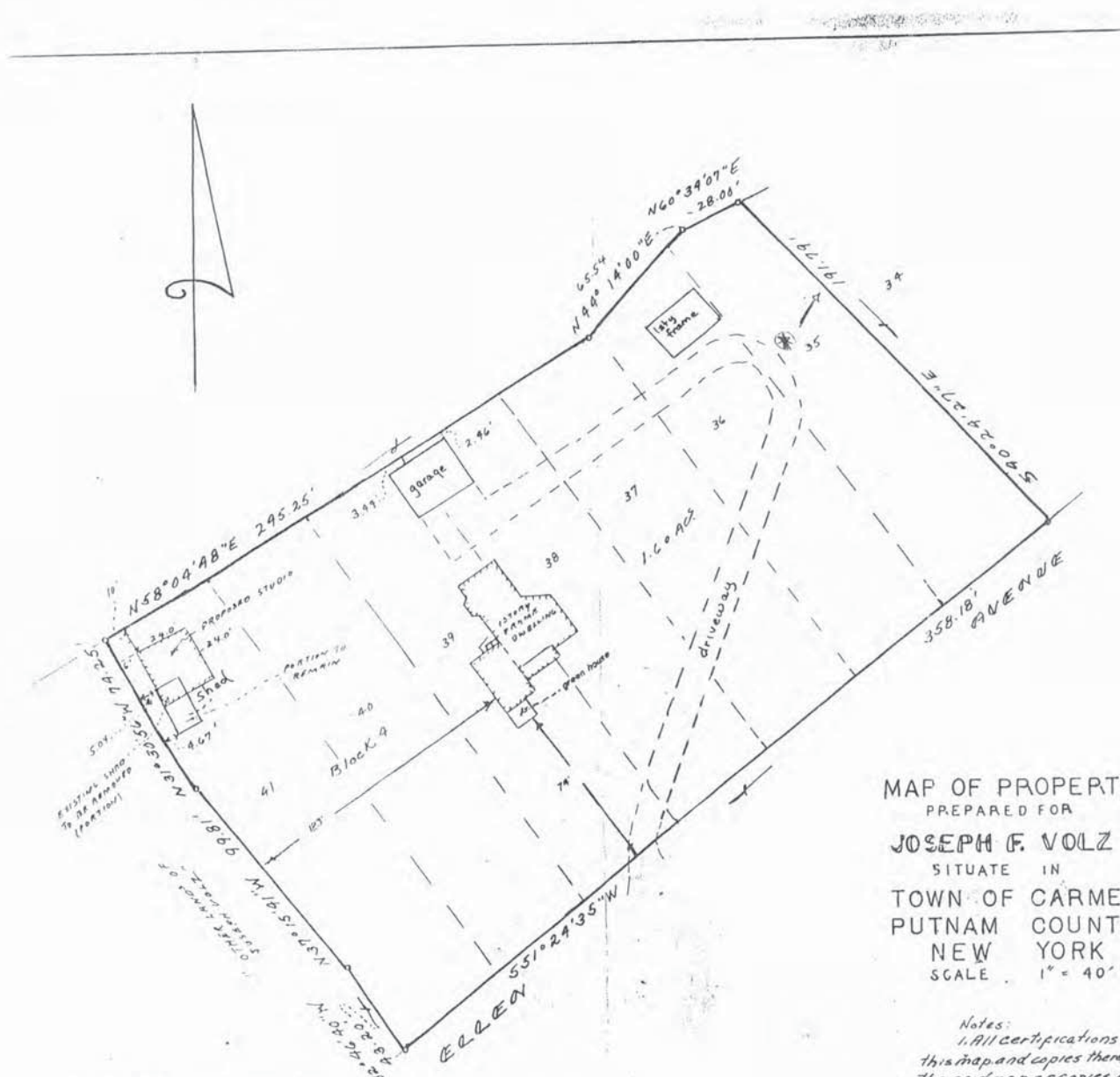
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? Northern Long-eared Bat	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	<input type="checkbox"/>	<input type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>Dr Siobhan Delamere- Fitzpatrick</u> Date: <u>07/23/2021</u>		
Signature: <u></u> Title: <u>Project Architect</u>		

EAF Mapper Summary Report

Friday, July 23, 2021 2:03 PM



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Northern Long-eared Bat
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No



MAP OF PROPERTY
PREPARED FOR
JOSEPH F. VOLZ
SITUATE IN
TOWN OF CARMEL
PUTNAM COUNTY
NEW YORK
SCALE 1" = 40'

I, Richard H. Garr, the surveyor who made this map, certify that this map was completed by me on Aug 27, 1988 in accordance with the existing code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors.

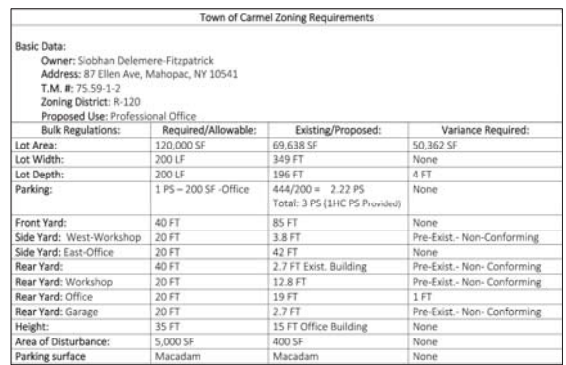
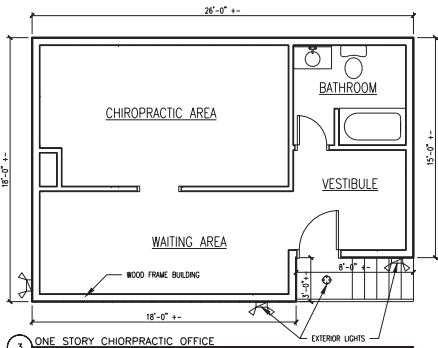
Richard H. Garr
Richard H. Garr, P.L.S. N.Y.S. L.N. 940513
100 Cherry Lane
Mahopac, N.Y. 10541

MAP REVISED OCTOBER 3, 1988

SCHEDULE "B"

Notes:
1. All certifications are this map and copies thereof. The said map or copies bear impressed seal of the Surveyor whose signature appears.
2. Alteration of this document except by a licensed land surveyor is illegal.
3. Map prepared in accordance with filed map "La Ka View Park" and Supp. 35, 36, 37, 38 and 39 prep. H.I. Brigham dated March

Vol. 1



IT IS A VIOLATION OF STATE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM ON THESE PLANS AND DOCUMENTS IN ANY WAY. PER STATE LAW, IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO HIS/HER ITEM THE SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS/HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION. THIS ARCHITECT DENIES ANY AND ALL RESPONSIBILITY FOR ALL ALTERATIONS OF THESE PLANS AND DOCUMENTS BY OTHERS AND EXPRESSLY DENIES PERMISSION TO OTHERS TO ALTER THESE PLANS AND DOCUMENTS.

S-100

BIBBO ASSOCIATES, L.L.P.

Consulting Engineers

Timothy S. Allen, P.E.
Nicholas Gaboury, P.E.
Matthew J. Girona, P.E.

August 16, 2021 - *Revised*

Town of Carmel Planning Board
60 McAlpin Avenue
Mahopac, NY 10541-2340

Attn: Mr. Craig Paeprer, Chairman

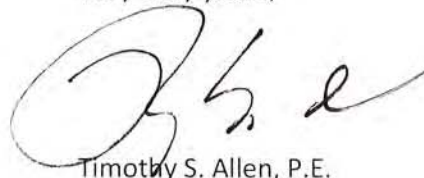
Re: Proposed 14-Lot Subdivision
Yankee Development, Piggott Road
TM # 76.15-1-12

Dear Chairman and Members of the Board:

On behalf of the owners of the above captioned property we are hereby requesting an additional 180-day extension of Preliminary Subdivision Approval. This project was granted a 180 day extension until August 15, 2021. Our client is proceeding with the DEP review process and will ultimately subdivide the property if the residential real estate market continues on its positive trend. A check in the amount of \$ 2,000 for the renewal fee is enclosed (previously submitted 8/13/2021).

We respectfully request to be placed on your earliest available agenda. Should you require any additional information, please feel free to contact me.

Very truly yours,



Timothy S. Allen, P.E.

TSA/mme
Enclosure

cc: Angelo Luppino
Michael Sirignano
File

Site Design ♦ Environmental

Mill Pond Offices • 293 Route 100 • Suite 203 • Somers, New York 10589
Phone: 914.277.5805 • Fax: 914.277.8210
Website: www.bibboassociates.com • E-mail: bibbo@bibboassociates.com

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Fishkill, NY 12524
Phone 845.896.0120
- **New York City Office**
505 Park Avenue
New York, NY 10022
Phone 646.794.5747

RICHARD L. O'ROURKE
Principal Member
ro'rourke@kblaw.com

August 13, 2021

Craig Paepre, Chairperson
Town of Carmel Planning Board
60 McAlpin Avenue
Mahopac, New York 10541

Re: Repurposing of 155 Hughson Road, Carmel, New York,
Tax ID No. 55.16-1-8.1, Waiver of Site Plan Approval
Pursuant to Section 156-61 (L)

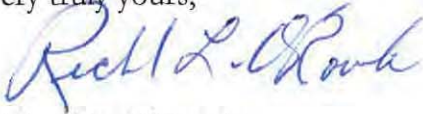
Dear Chairman Paepre:

In response to the request made at last evening's Planning Board meeting to demonstrate the ability of the applicant to have parking available onsite of one parking space for 1,000 square feet of self-storage, enclosed please find a site plan sketch prepared by SW Architecture and Design dated August 13, 2021. As you know, for self-storage pursuant to Code Section 256-33G, there shall be one parking space for every 10,000 square feet. In addition, based upon the determination made by the Building Inspector, we are enclosing this site plan so as to satisfy his request and that of the Planning Board that there is sufficient area to have one parking space for every 1,000 square feet of building.

We look forward to the review by the Planning Board as well as the Building Inspector and do hope we have satisfied all the requirements to obtain a waiver of site plan approval for the application.

Thank you for your consideration.

Very truly yours,



Richard L. O'Rourke

RLO/sb

Encl.

cc: Daniel Weinstein, MCSS Properties
Michael Carnazza, Building Inspector/Code Enforcement Officer
Patrick Cleary, Planning Consultant



155 HUGHSON ROAD | CARMEL, NEW YORK

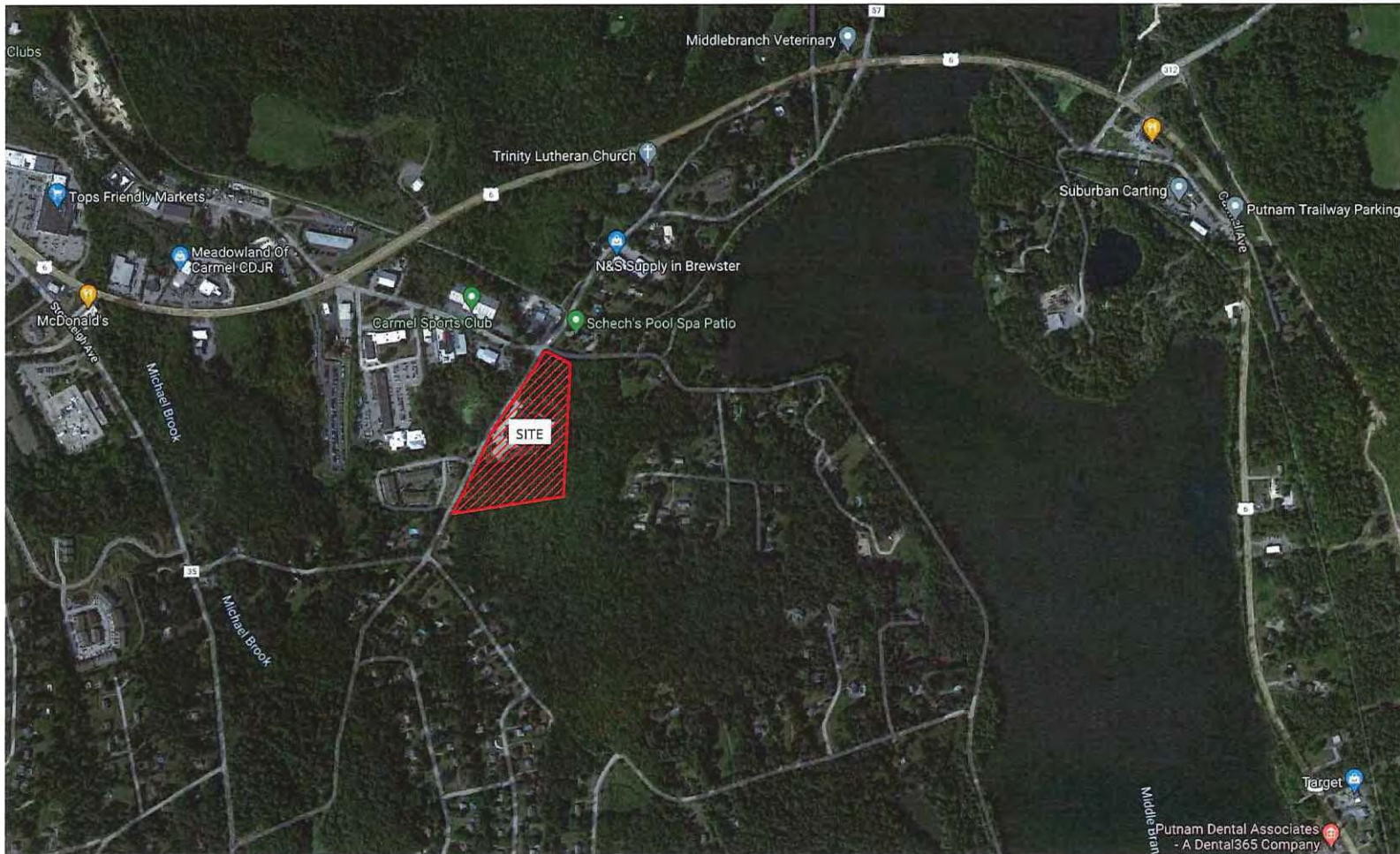
AUGUST 13, 2021

LIST OF EXHIBITS

1. COVER SHEET
2. SITE AERIAL
3. SITE PLAN
4. GROUND FLOOR PLAN
5. MEZZANINE PLAN
6. ROOF PLAN



MCSS SELF-STORAGE
2801 SW 31st AVENUE #2B
COCONUT GROVE, FL 33133

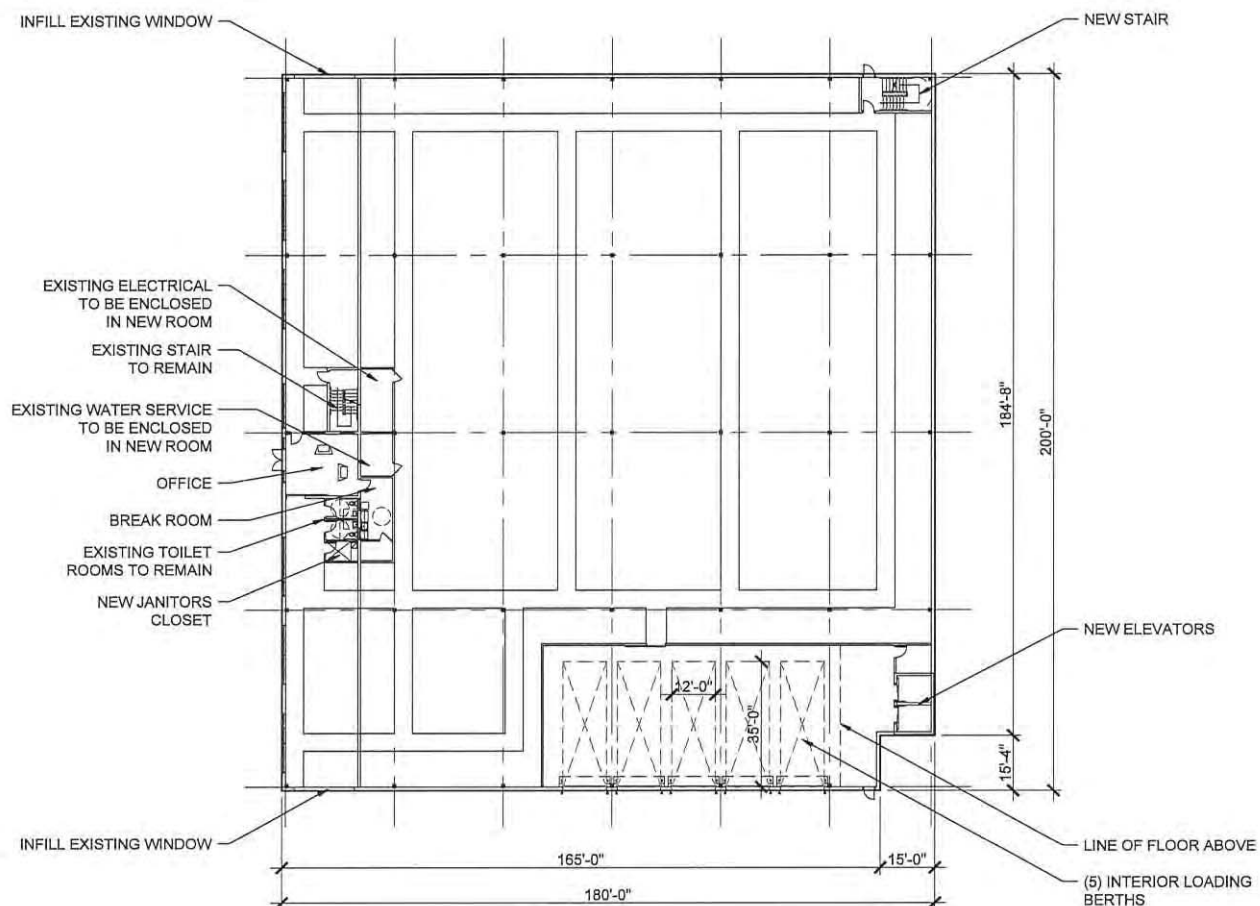


155 HUGHSON ROAD
CARMEL, NEW YORK

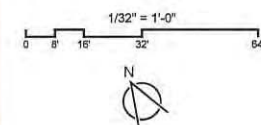


SITE AERIAL PHOTOGRAPH

AUGUST 13, 2021
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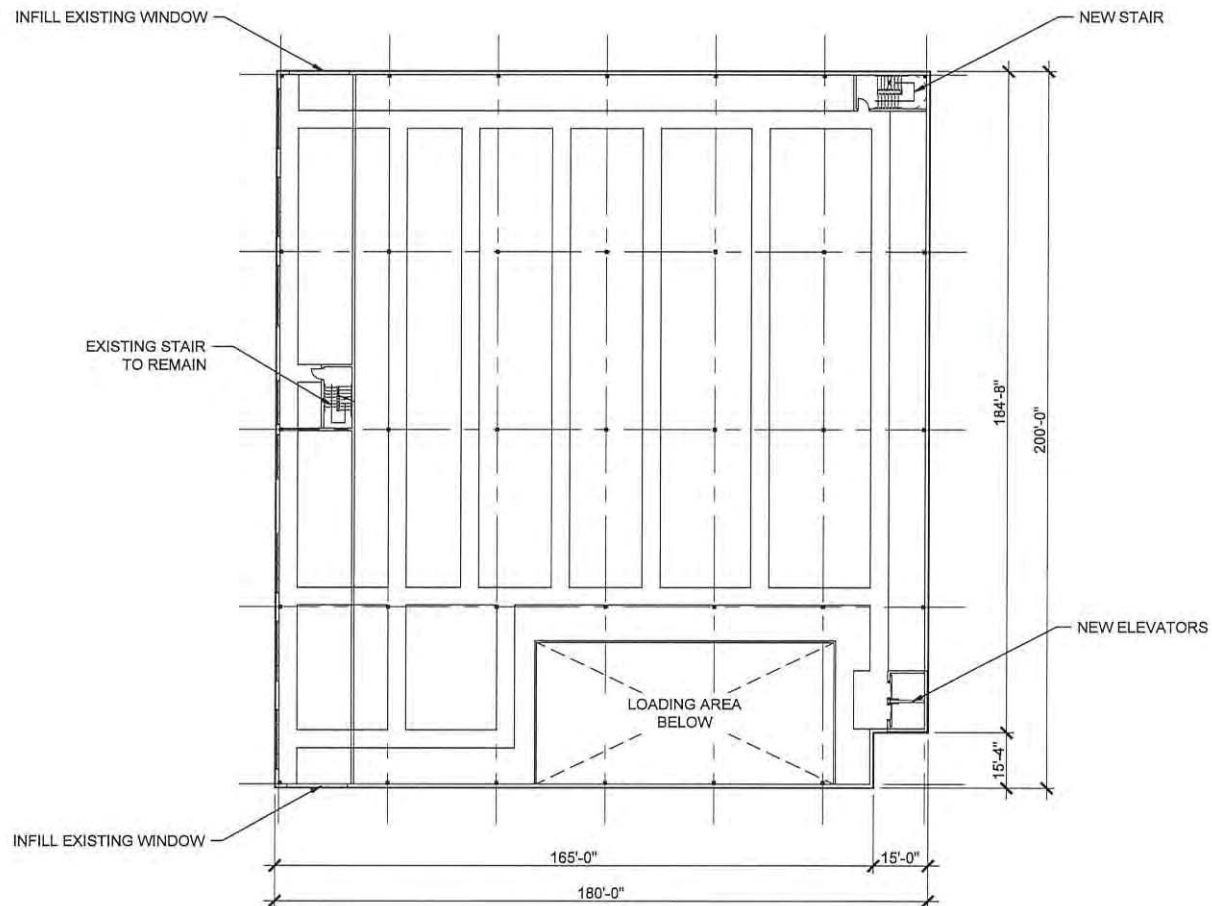


155 HUGHSON ROAD
CARMEL, NEW YORK

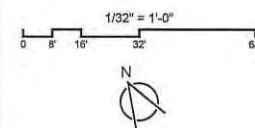


GROUND FLOOR PLAN

AUGUST 13, 2021
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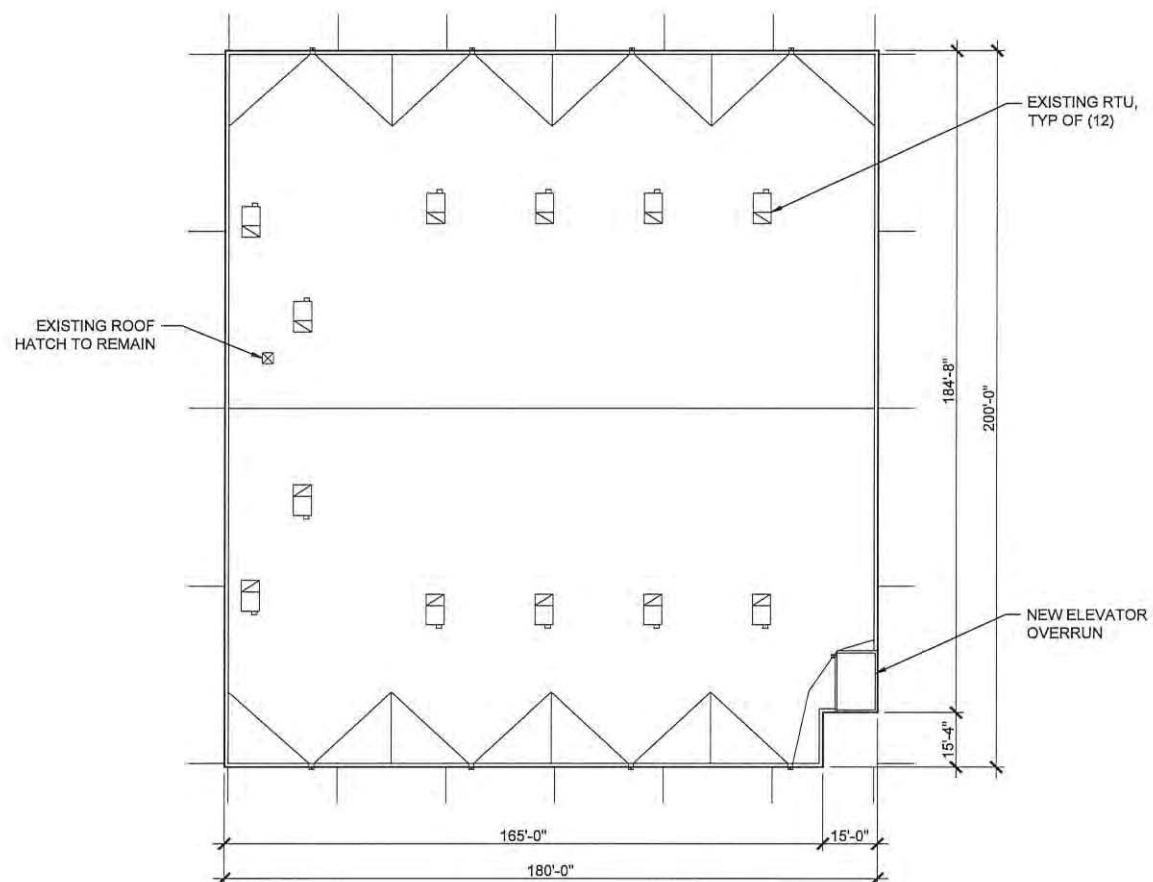
155 HUGHSON ROAD
CARMEL, NEW YORK



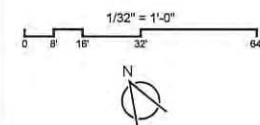
MEZZANINE PLAN

AUGUST 13, 2021

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155 HUGHSON ROAD
CARMEL, NEW YORK



ROOF PLAN

AUGUST 13, 2021
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