

CRAIG PAEPRER
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ANTHONY GIANNICO
Vice Chairman

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TOWN OF CARMEL
PLANNING BOARD



60 McAlpin Avenue
Mahopac, New York 10541
Tel. (845) 628-1500 – Ext.190
www.ci.carmel.ny.us

MICHAEL CARNAZZA
*Director of Code
Enforcement*

RICHARD FRANZETTI, P.E.
Town Engineer

PATRICK CLEARY,
AICP, CEP, PP, LEED AP
Town Planner

PLANNING BOARD AGENDA
OCTOBER 13, 2022 – 7:00 P.M.

TAX MAP # PUB. HEARING MAP DATE COMMENTS

Executive Session – Pending Litigation – 6:30 P.M.

PUBLIC HEARING

1. Liberty New York Water – 23 General MacArthur Dr. 54.20-1-42 10/13/22 7/29/22 Site Plan

SITE PLAN

2. P & R Estate Corp – 122 Gleneida Ave, Carmel 44.13-2-68 2/4/22 Residential Site Plan

SUBDIVISION

3. Jedlicka, Regina – 334 Austin Road 64.13-1-16 10/3/22 Sketch Plan

MISCELLANEOUS

4. 70 Old Route 6, LLC – 70 Old Route 6, Carmel 55.11-1-15 12/8/16 Extension of Final Site Plan Approval

5. Minutes – 09/08/22

TOWN BOARD REFERRAL

6. Town of Carmel Comprehensive Master Plan and Zoning Code Draft Discussion (No Public Comments)



architects + engineers

2700 Westchester Avenue, Ste 415
Purchase, NY 10577 | tel 914.358.5623

October 3, 2022

Craig Paeprer, Chairperson
Town of Carmel Planning Board
60 McAlpin Avenue
Mahopac, NY 10541

**Re: Liberty New York Water
Wellhead Treatment at West Branch Acres
H2M Project No.: NYAW2105**

Dear Chairperson Craig:

The subject project proposes a new potable water treatment building for removal of PFAS from the drinking water in order to meet compliance with the New York State Department of Health requirements. This property is 2.11 acres and located on 23 General MacArthur Drive Carmel Hamlet, NY 10512. The site currently contains a 10,000 gallon potable water storage tank, disinfection building, and three potable water wells which serves the community of 80 homes surrounding the site.

The project was presented at your board at the July 14, 2022 and August 11, 2022 meetings. Following the August 11th meeting, we have been before the Town Environmental Conservation Board and Zoning Board. We have revied no comments from either board and received the variances for Lot Area and Parking. We have noted such variances on Sheet C100. In addition, we have received Health Department approval from the Putnam County Department of Health. We are scheduled to be on the Planning Board Public Hearing this coming October 13th.

Below please find the responses to the latest set of comments from the following entities:

- Town of Carmel Engineering Department
- Town of Carmel Planning Board

Town Engineer Comments

General Comments:

1. *Should any public improvements be deemed necessary as part of the development of the tract, a Performance Bond and associated Engineering Fee must eventually be established for the work. The applicant will need to develop a quantity take off for bonding purposes. The applicate should note that a Performance Bond and associated Engineering fee is minimally required for the stormwater management practices, erosion and sediment control, drainage features, landscaping etc. installed on site. Please see 156-61 J and K of the Town Code for additional information.*

Response: An estimate for the Performance Bond has been sent to the Town Engineer for review and acceptance.

Detailed Comments:

1. *A landscaping plan has been provided. The applicant should add a note the following:*
 - a. *All planting should be verified by the Town of Carmel Wetlands Inspector. Note should be added to drawing.*
 - b. *All plantings shall be installed per Section 142 of the Town of Carmel Town Code. Note should be added to drawing.*

Response: Please see the notes 15 and 16 on sheet, CL 100.

2. *Gate valves shall be AWWA non-rising stem type, as manufactured by Mueller Company, Model A-2360-23, or approved equal, conforming to the latest AWWA Standard for Gate Valves – 3” through 48” – for Water and Other Liquids, AWWA Designation C-509.*

Response: This comment is noted. Client standard gate valve is Mueller Model 2360 as noted in the enclosed specification SECTION 402324 - VALVES AND VALVE ACCESSORIES.

3. *Sizes up to and including 12” shall be 250 psi working pressure. The valve body and bonnet shall be ductile iron. All interior and exterior metal surfaces shall be coated with a two-part thermosetting epoxy complying with AWWA C550.*

Response: All valves are Mueller Model 2360 which have a minimum working pressure of 250psi, cast iron body, and fusion epoxy coated interior and exterior surface,

4. *Valves shall have dual “O” ring seals, inside screw, resilient wedge seats in accordance with AWWA Designation C-550 and shall be constructed so as to provide unobstructed full port clearance when fully open and immediate complete closure when closed. The ends of the valves shall be mechanical joint.*

Response: The Mueller Model 2360 comply with this comment.

5. *All valves shall be arranged to open in counter clockwise direction unless otherwise specifically indicated and operating nuts shall be 2” square.*

Response: The Mueller Model 2360 valve contain a 2” square nut and the valves will be specified to open counter clockwise.

6. *Valves shall be tested to a pressure of not less than two times the working pressure.*

Response: The discharge pressure before the tank is roughly 50psi. Per the specifications, pressure tests are performed on all pipes, valves and fittings to a minimum of 150 psi or 1.5 times line pressure, whichever is greater.

Planning Board Comments

1. *13 existing trees are proposed to be removed to accommodate the proposed improvements. It is noted that a 26” Maple Tree is proposed to be removed. Is it possible to preserve this large tree? It is in an area where grading is proposed, so the use of a “tree well” may be possible.*

Response: Please see revised Sheet CL100 and Detail 7 on C 500. We have limited the number of trees being removed to 9 trees and called out for the Maple tree to be protected.

2. *A new landscaping plan consisting of fifteen 6-7’ tall green giant arborvitaes is proposed. It is recommended that this row of plantings be extended around the front of the building to more effectively screen the GAC building from the home to the south.*

Response: Please see revised Sheet CL100, additional plantings have been added to the south of the building.

Your assistance with this matter is greatly appreciated. If you have any questions please contact Jessica Alves at 914-358-5623 x1416.

Very truly yours,

H2M architects + engineers

A handwritten signature in black ink, appearing to read 'Jessica Alves', is written over the printed name and title.

Jessica Alves, P.E.
Senior Project Engineer

Enclosures: Planning Board Submission

cc: Christopher Peters-NYAW

X:\NYAW (New York American Water) -\NYAW2105 - Wellhead Treatment at West Branch Acres\02-Permitting\Planning Board\22-1013 - Public Hearing\22-1003 Responses.docx



LEGEND

DESCRIPTION	SYMBOL
DENSE GRADE AGGREGATE AREA	[Hatched pattern]
DOOR	[Door symbol]
SPOT ELEVATION	[Spot elevation symbol]
TOP AND BOTTOM CURB ELEVATION	[Curb elevation symbol]

SYMBOL

[Symbol]	+121.50
[Symbol]	TC140.00 BC139.50

DESCRIPTION

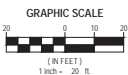
[Symbol]	MAJOR CONTOUR
[Symbol]	MINOR CONTOUR
[Symbol]	FLOW ARROW
[Symbol]	BLOWOFF LINE
[Symbol]	NEW SILT FENCE

SYMBOL

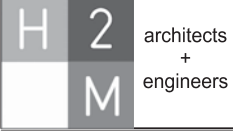
[Symbol]	240
[Symbol]	241
[Symbol]	10
[Symbol]	5'

SITE DEMOLITION NOTES:

- REPORT ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS TO THE ENGINEER IN WRITING IMMEDIATELY.
- UNDERGROUND UTILITY INFORMATION SHOWN ON THESE PLANS WAS OBTAINED FOR DESIGN PURPOSES ONLY. PROVIDE FOR CONSTRUCTION MARKOUT AND LOCATE EXISTING UNDERGROUND UTILITIES. NO EXCAVATION CAN COMMENCE UNTIL UTILITY DOCUMENTATION HAS BEEN COMPLETED.
- AFTER MARKOUT AND PRIOR TO DISTURBING THE SITE, UNCOVER ALL SUBSURFACE UTILITIES AND STRUCTURES WITHIN LIMITS OF DISTURBANCE TO CONFIRM THEIR LOCATION AND DEPTH.
- NO COMPENSATION WILL BE MADE FOR ANY INCONVENIENCE CAUSED BY ENCOUNTERING UTILITIES AND STRUCTURES WHICH ARE NOT SHOWN OR ARE INACCURATELY SHOWN ON THE PLANS.
- REPAIR ANY DAMAGE TO EXISTING UTILITIES RESULTING FROM CONTRACTOR OPERATIONS IMMEDIATELY AT NO COST TO OWNER.
- REPAIR ANY DAMAGE TO EXISTING SITE FEATURES SCHEDULED TO REMAIN RESULTING FROM CONTRACTOR OPERATIONS AT NO COST TO OWNER.
- LOCATE ALL COMPONENTS OF ANY EXISTING IRRIGATION SYSTEMS PRIOR TO CONSTRUCTION AND PROTECT THROUGHOUT THE DURATION OF THE CONTRACT. REPAIR ALL DAMAGED COMPONENTS AT NO ADDITIONAL COST TO THE OWNER.
- PROVIDE TEMPORARY FENCING TO PROTECT WORK AREAS.
- INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLAN PRIOR TO ANY GROUND DISTURBANCE.
- DELINEATE THE LIMITS OF CLEARING AND REVIEW WITH THE OWNER PRIOR TO COMMENCING WORK.
- NOTIFY OWNER AND ENGINEER IMMEDIATELY IN WRITING WHEN UNKNOWN STRUCTURES OR SUSPECTED HAZARDOUS OR CONTAMINATED MATERIALS ARE ENCOUNTERED PRIOR TO REMOVAL OR DISTURBANCE.
- TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AND VEHICULAR TRAFFIC DURING REMOVAL ACTIVITIES, AND PROVIDE TEMPORARY MEASURES FOR THE PROTECTION AND SAFETY OF THE PUBLIC UNTIL FINAL ACCEPTANCE BY THE OWNER.
- BACKFILL ALL VOIDS RESULTING FROM THE REMOVAL OF EXISTING SITE FEATURES. BACKFILL TO BE SOIL, FREE OF ORGANIC MATERIAL, DEBRIS, TRASH, CLAY AND STONES LARGER THAN 4 INCHES.



TOTAL LAND DISTURBANCE = 3,800 S.F. / 0.09 ACRES



2700 Westchester Ave., Suite 415
Purchase, NY 10977
914.358.6623 • www.h2m.com

CONTRACT NO.

MARK	DATE	DESCRIPTION
1	07-29-22	PLANNING BOARD COMMENTS



DESIGNED BY	DRAWN BY	CHECKED BY	REVIEWED BY
B.J.L.	B.J.L.	M.P.M.	

PROJECT NO. NYAW2105 DATE: FEBRUARY 2022 SCALE: 1" = 20'

Liberty New York Water

Wellhead Treatment at West Branch Acres



Camel, NY

CONTRACT

STATUS: REGULATORY REVIEW

SHEET TITLE: SITE DEMOLITION SITE PLAN


CONTRACT NO.: CD 100.00



X:\DWG\Drawings\Projects\2022\07\0722\0722-04-010\0722-04-010-010.dwg (Wellhead Treatment at West Branch Acres) (B) (C) (D) (E) (F) (G) (H) (I) (J) (K) (L) (M) (N) (O) (P) (Q) (R) (S) (T) (U) (V) (W) (X) (Y) (Z) (AA) (AB) (AC) (AD) (AE) (AF) (AG) (AH) (AI) (AJ) (AK) (AL) (AM) (AN) (AO) (AP) (AQ) (AR) (AS) (AT) (AU) (AV) (AW) (AX) (AY) (AZ) (BA) (BB) (BC) (BD) (BE) (BF) (BG) (BH) (BI) (BJ) (BK) (BL) (BM) (BN) (BO) (BP) (BQ) (BR) (BS) (BT) (BU) (BV) (BW) (BX) (BY) (BZ) (CA) (CB) (CC) (CD) (CE) (CF) (CG) (CH) (CI) (CJ) (CK) (CL) (CM) (CN) (CO) (CP) (CQ) (CR) (CS) (CT) (CU) (CV) (CW) (CX) (CY) (CZ) (DA) (DB) (DC) (DD) (DE) (DF) (DG) (DH) (DI) (DJ) (DK) (DL) (DM) (DN) (DO) (DP) (DQ) (DR) (DS) (DT) (DU) (DV) (DW) (DX) (DY) (DZ) (EA) (EB) (EC) (ED) (EE) (EF) (EG) (EH) (EI) (EJ) (EK) (EL) (EM) (EN) (EO) (EP) (EQ) (ER) (ES) (ET) (EU) (EV) (EW) (EX) (EY) (EZ) (FA) (FB) (FC) (FD) (FE) (FF) (FG) (FH) (FI) (FJ) (FK) (FL) (FM) (FN) (FO) (FP) (FQ) (FR) (FS) (FT) (FU) (FV) (FW) (FX) (FY) (FZ) (GA) (GB) (GC) (GD) (GE) (GF) (GG) (GH) (GI) (GJ) (GK) (GL) (GM) (GN) (GO) (GP) (GQ) (GR) (GS) (GT) (GU) (GV) (GW) (GX) (GY) (GZ) (HA) (HB) (HC) (HD) (HE) (HF) (HG) (HH) (HI) (HJ) (HK) (HL) (HM) (HN) (HO) (HP) (HQ) (HR) (HS) (HT) (HU) (HV) (HW) (HX) (HY) (HZ) (IA) (IB) (IC) (ID) (IE) (IF) (IG) (IH) (II) (IJ) (IK) (IL) (IM) (IN) (IO) (IP) (IQ) (IR) (IS) (IT) (IU) (IV) (IW) (IX) (IY) (IZ) (JA) (JB) (JC) (JD) (JE) (JF) (JG) (JH) (JI) (JJ) (JK) (JL) (JM) (JN) (JO) (JP) (JQ) (JR) (JS) (JT) (JU) (JV) (JW) (JX) (JY) (JZ) (KA) (KB) (KC) (KD) (KE) (KF) (KG) (KH) (KI) (KJ) (KK) (KL) (KM) (KN) (KO) (KP) (KQ) (KR) (KS) (KT) (KU) (KV) (KW) (KX) (KY) (KZ) (LA) (LB) (LC) (LD) (LE) (LF) (LG) (LH) (LI) (LJ) (LK) (LL) (LM) (LN) (LO) (LP) (LQ) (LR) (LS) (LT) (LU) (LV) (LW) (LX) (LY) (LZ) (MA) (MB) (MC) (MD) (ME) (MF) (MG) (MH) (MI) (MJ) (MK) (ML) (MM) (MN) (MO) (MP) (MQ) (MR) (MS) (MT) (MU) (MV) (MW) (MX) (MY) (MZ) (NA) (NB) (NC) (ND) (NE) (NF) (NG) (NH) (NI) (NJ) (NK) (NL) (NM) (NN) (NO) (NP) (NQ) (NR) (NS) (NT) (NU) (NV) (NW) (NX) (NY) (NZ) (OA) (OB) (OC) (OD) (OE) (OF) (OG) (OH) (OI) (OJ) (OK) (OL) (OM) (ON) (OO) (OP) (OQ) (OR) (OS) (OT) (OU) (OV) (OW) (OX) (OY) (OZ) (PA) (PB) (PC) (PD) (PE) (PF) (PG) (PH) (PI) (PJ) (PK) (PL) (PM) (PN) (PO) (PP) (PQ) (PR) (PS) (PT) (PU) (PV) (PW) (PX) (PY) (PZ) (QA) (QB) (QC) (QD) (QE) (QF) (QG) (QH) (QI) (QJ) (QK) (QL) (QM) (QN) (QO) (QP) (QQ) (QR) (QS) (QT) (QU) (QV) (QW) (QX) (QY) (QZ) (RA) (RB) (RC) (RD) (RE) (RF) (RG) (RH) (RI) (RJ) (RK) (RL) (RM) (RN) (RO) (RP) (RQ) (RR) (RS) (RT) (RU) (RV) (RW) (RX) (RY) (RZ) (SA) (SB) (SC) (SD) (SE) (SF) (SG) (SH) (SI) (SJ) (SK) (SL) (SM) (SN) (SO) (SP) (SQ) (SR) (SS) (ST) (SU) (SV) (SW) (SX) (SY) (SZ) (TA) (TB) (TC) (TD) (TE) (TF) (TG) (TH) (TI) (TJ) (TK) (TL) (TM) (TN) (TO) (TP) (TQ) (TR) (TS) (TT) (TU) (TV) (TW) (TX) (TY) (TZ) (UA) (UB) (UC) (UD) (UE) (UF) (UG) (UH) (UI) (UJ) (UK) (UL) (UM) (UN) (UO) (UP) (UQ) (UR) (US) (UT) (UU) (UV) (UW) (UX) (UY) (UZ) (VA) (VB) (VC) (VD) (VE) (VF) (VG) (VH) (VI) (VJ) (VK) (VL) (VM) (VN) (VO) (VP) (VQ) (VR) (VS) (VT) (VU) (VV) (VW) (VX) (VY) (VZ) (WA) (WB) (WC) (WD) (WE) (WF) (WG) (WH) (WI) (WJ) (WK) (WL) (WM) (WN) (WO) (WP) (WQ) (WR) (WS) (WT) (WU) (WV) (WW) (WX) (WY) (WZ) (XA) (XB) (XC) (XD) (XE) (XF) (XG) (XH) (XI) (XJ) (XK) (XL) (XM) (XN) (XO) (XP) (XQ) (XR) (XS) (XT) (XU) (XV) (XW) (XX) (XY) (XZ) (YA) (YB) (YC) (YD) (YE) (YF) (YG) (YH) (YI) (YJ) (YK) (YL) (YM) (YN) (YO) (YP) (YQ) (YR) (YS) (YT) (YU) (YV) (YW) (YX) (YZ) (ZA) (ZB) (ZC) (ZD) (ZE) (ZF) (ZG) (ZH) (ZI) (ZJ) (ZK) (ZL) (ZM) (ZN) (ZO) (ZP) (ZQ) (ZR) (ZS) (ZT) (ZU) (ZV) (ZW) (ZX) (ZY) (ZZ)

CONSULTANTS

MARK	DATE	DESCRIPTION



DESIGNED BY: JMA DRAWN BY: JMA/CEM CHECKED BY: REVERED BY:
 PROJECT NO: NYAW2105 DATE: MAY 2022 SCALE: AS SHOWN

Liberty New York Water

Wellhead Treatment at West Branch Acres



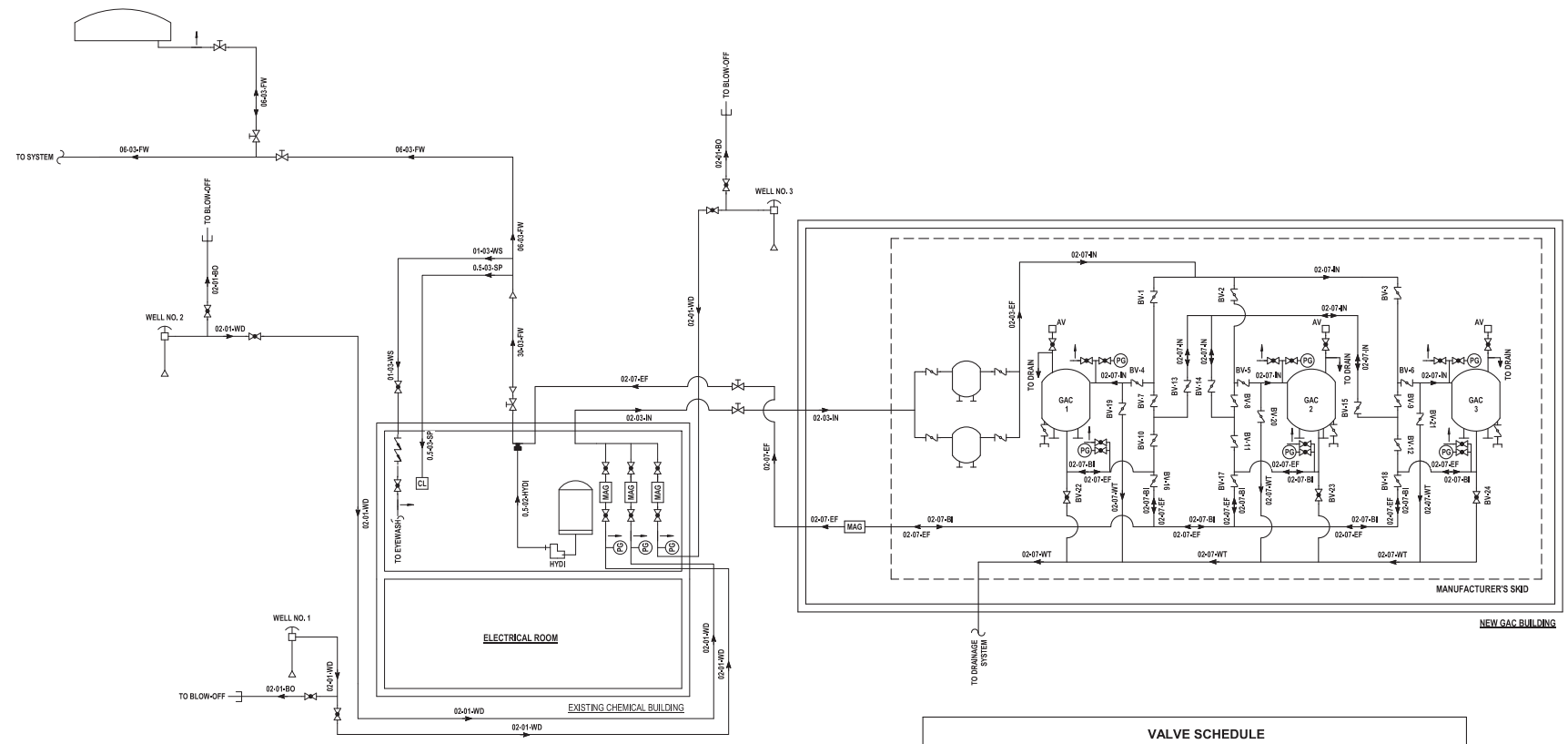
Carmel, NY

CONTRACT

STATUS: **FINAL BID DOCUMENT**

SHEET TITLE: **PROCESS DIAGRAM**

SHEET NO.: **D 002.00**



1 Process Diagram
SCALE: NTS

VALVE SCHEDULE

VALVE	SERIES OPERATION GAC-1 TO GAC-2	SERIES OPERATION GAC-2 TO GAC-3	SERIES OPERATION GAC-3 TO GAC-1	RINSE GAC-1	RINSE GAC-2	RINSE GAC-3	BACKWASH GAC-1	BACKWASH GAC-2	BACKWASH GAC-3
BV-1	O	X	X	O	X	X	X	X	X
BV-2	X	O	X	O	X	X	X	X	X
BV-3	X	X	O	X	X	X	X	X	X
BV-4	O	X	O	O	X	X	X	X	X
BV-5	O	O	X	X	O	X	X	X	X
BV-6	X	O	O	X	X	O	X	X	X
BV-7	X	X	O	X	X	X	X	X	X
BV-8	O	X	X	X	X	X	X	X	X
BV-9	X	O	X	X	X	X	X	X	X
BV-10	O	X	X	X	X	X	X	X	X
BV-11	X	O	X	X	X	X	X	X	X
BV-12	X	X	O	X	X	X	X	X	X
BV-13	O	X	O	X	X	X	X	X	X
BV-14	O	O	X	X	X	X	X	X	X
BV-15	X	O	O	X	X	X	X	X	X
BV-16	X	X	O	X	X	X	O	X	X
BV-17	O	X	X	X	X	X	X	O	X
BV-18	X	O	X	X	X	X	X	X	O
BV-19	X	X	X	X	X	X	O	X	X
BV-20	X	X	X	X	X	X	X	O	X
BV-21	X	X	X	X	X	X	X	X	O
BV-22	X	X	X	O	X	X	X	X	X
BV-23	X	X	X	X	O	X	X	X	X
BV-24	X	X	X	X	X	O	X	X	X

LEGEND: O = OPEN, X = CLOSED

CONSULTANTS

MARK	DATE	DESCRIPTION

DESIGNED BY: DRAWN BY: CHECKED BY: REVIEWED BY:

PROJECT NO.: NYAW2105 DATE: JUNE 2022 SCALE: AS SHOWN

CLIENT
Liberty (New York Water Corp.)

Wellhead Treatment at West Branch Acres



Carmel, NY

CONTRACT

STATUS
NOT FOR CONSTRUCTION

SHEET TITLE
PHOTO PAGE

DATE: 6/1/22



① Proposed Location of Building
 SCALE: NO SCALE



② Proposed Split Face Block
 SCALE: NO SCALE



③ Close Up of Existing Building
 SCALE: NO SCALE



④ Existing Site
 SCALE: 1/2" = 1'-0"

September 19, 2022

Mr Craig Paeprer
Planning Board Chair
60 McAlpin Avenue
Mahopac NY 10541

RE: Site Plan P&R Estate Corp.
44.13-2-68

Dear Mr. Paeprer,

As per our application dated back in the spring of this year, for the legalization of a multi family building we offer these comments.

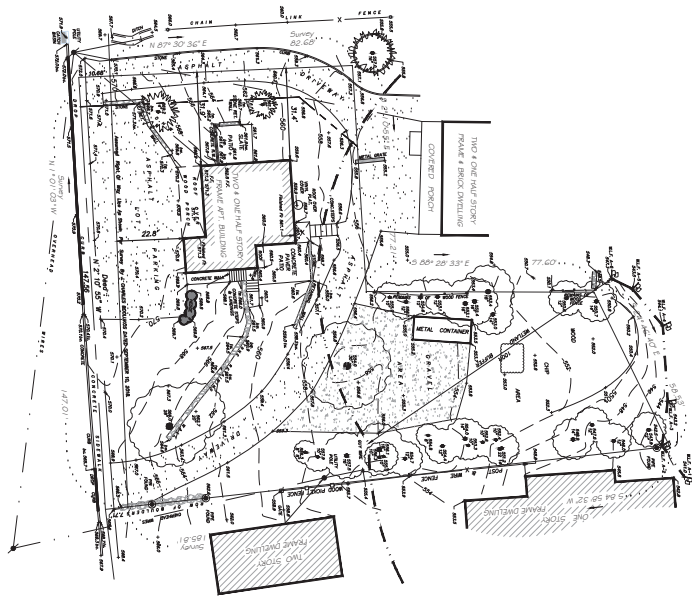
The applicant has appeared in front of the ECB and obtained an approval from them. The applicant acknowledges that we will need ZBA approval for various items, as well as referrals and approvals from NYSDEC, Carmel Fire, and a referral to Putnam County Department of Planning. the applicant has updated the plans as per points below

- Lighting Plan is provided
- stormwater management is detailed on plans
- Sight distance and turning plan provided
- Sequence of construction provided
- Plans approved ECB
- Plans meet town code per Section 128

We would like to be referred to the ZBA for the variables needed. I hope that these responses and enclosed plans clarify any questions you may have, Thank you I look forward to any comments you may have.

Best Regards,

Robert M. Sherwood, RLA



SURVEY EXISTING CONDITIONS

NEIGHBORS

44-12-004 Teresa Basso 1140 W. 1st St. Carmel, NY 12012	44-12-006 Joseph Basso 1140 W. 1st St. Carmel, NY 12012	44-12-014 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-016 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-018 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-020 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-022 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-024 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-026 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-028 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-030 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-032 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-034 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-036 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-038 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-040 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-042 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-044 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-046 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-048 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-050 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-052 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-054 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-056 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-058 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-060 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-062 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-064 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-066 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-068 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-070 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-072 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-074 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-076 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-078 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-080 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-082 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-084 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-086 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-088 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-090 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-092 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-094 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-096 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-098 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-100 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-102 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-104 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-106 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-108 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-110 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-112 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-114 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-116 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-118 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-120 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-122 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-124 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-126 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-128 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-130 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-132 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-134 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-136 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-138 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-140 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-142 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-144 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-146 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-148 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-150 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-152 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-154 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-156 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-158 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-160 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-162 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-164 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-166 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-168 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-170 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-172 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-174 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-176 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-178 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-180 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-182 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-184 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-186 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-188 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-190 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-192 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-194 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-196 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-198 Walter Basso 1140 W. 1st St. Carmel, NY 12012	44-12-200 Walter Basso 1140 W. 1st St. Carmel, NY 12012
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tax map and radius



SITE LOCATION MAP

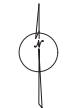
ZONING DATA

TAX MAP DESIGNATION SECTION 44.13, BLOCK 2, LOT 168			
ZONING DISTRICT	COMMERCIAL		
ITEM	REQUIRED	PROPOSED	VARIANCE REQ.
LOT AREA	40,000 SF	17,360	22,640 SF.
LOT COVERAGE	30%	7%	NA
LOT WIDTH	200	147'	53'
LOT DEPTH	200	105	95'
FRONT YARD	40	22.8'	17.2'
SIDE YARD	75	29.7'	NA
REAR YARD	30	23.1	6.9'
HEIGHT	35	33'4"	NA
OFF STREET PARKING	8	8 SPACES	0
AREA OF DISTURBANCE		9,085 SF	NA
MIN. BUILDING AREA	5,000SF	3,200	NA

PARKING REQUIRED 2 PER APARTMENT, 8 REQUIRED

NOTES:

- Survey information taken from a SURVEY PREPARED BY Link Land Surveying refer to this survey for information.
- Location of existing utilities not performed by this office confirm location of all utilities prior to construction CALL DIG SAFELY NY
- Contractor to verify all grades and dimensions prior to construction, contractor to inform Landscape Architect with any discrepancies.



NOTE:

ROBERTS HERWOOD
LANDSCAPE ARCHITECT, LLC
P.O. BOX 564, BROOKFIELD, CT 06804
pt/203.788.1547 c/203.894.5337 e/roberts@herwoodllc.com



SITE CONFORMITY PLAN

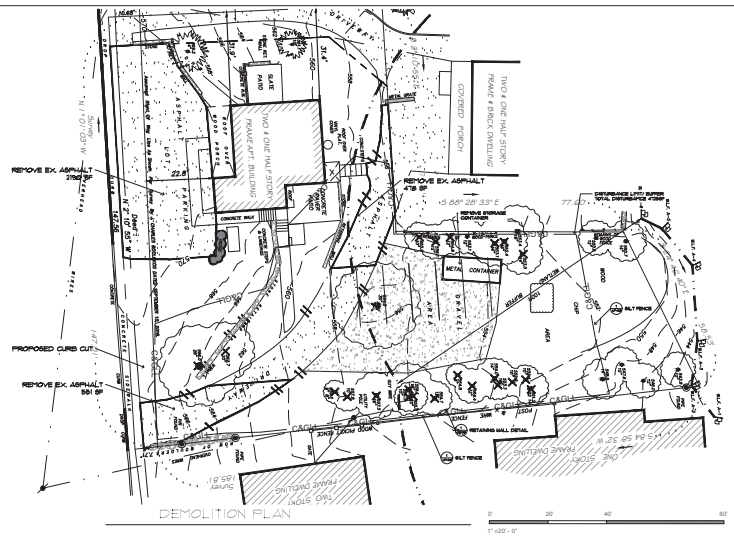
P&R Estate Corp.
122 Glenville
Carmel NY

PROJECT:

COUNTY:

#4 COMMENTS 4.12.22
#3 2.4.22
#2 3.30.21
#1 comments 12.15.18
REVISIONS: AS NOTED
SCALE: 6.4.18
DATE: 18.14
JOB NO:
DRAWING NO:

LP-1.0
1 OF 5



SEDIMENT AND EROSION CONTROL NOTES:

1. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CURRENT EDITION OF THE WESTCHESTER COUNTY BEST MANAGEMENT PRACTICES MANUAL FOR EROSION AND SEDIMENT CONTROL.
2. SILT FENCE SHALL BE INSTALLED AS SHOWN ON THIS DRAWING PRIOR TO BEGINNING ANY CLEARING AND GRUBBING OR EARTHWORK.
3. GRASS SEED MAY BE APPLIED BY EITHER MECHANICAL OR HYDROSEEDING METHODS. HYDROSEEDING SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE NYS DOT STANDARD SPECIFICATION CONSTRUCTION MATERIALS SECTION 640-3.01, METHOD NO. 1.
4. CUT OR FILL SLOPES STEEPER THAN A 3:1 SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
5. PAVED ROADWAYS SHALL BE KEPT CLEAN AT ALL TIMES.
6. THE SITE AT ALL TIMES SHALL BE GRAZED AND MAINTAINED SUCH THAT ALL STORY WATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
7. ALL STORY DRAINAGE OUTLETS SHALL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
8. CUT AND FILL SHALL NOT ENDANGER ADJACENT PROPERTY, NOR DIVERT WATER ONTO THE PROPERTY OF OTHERS.
9. SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS BY OWNERS FIELD REPRESENTATIVE (OFFER) TO INSURE THAT CHANNEL, TEMPORARY AND PERMANENT DITCHES AND PILES ARE CLEAR OF DEBRIS, THAT EMBANKMENTS AND BERMS HAVE NOT BEEN ENLARGED AND THAT ALL STRIP BARRIERS ARE INTACT. ANY FAILURE OF SEDIMENT AND EROSION CONTROL MEASURES SHALL BE IMMEDIATELY REPAIRED BY THE CONTRACTOR AND INSPECTED FOR APPROVAL BY THE OWNER AND/OR SITE ENGINEER.
10. DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE OWNER.
11. ALL FILLS SHALL BE COMPACTED TO PROVIDE STABILITY OF MATERIAL AND TO PREVENT SETTLEMENT.
12. EXCAVATIONS AND FILLS TO BE ROLLED, SEALED AND STABILIZED AT COMPLETION OF EACH CONSTRUCTION DAY.
13. CONSTRUCTION OF A TEMPORARY STABILIZED GRAVEL CONSTRUCTION ENTRANCE AS INDICATED ON THIS PLAN SHALL COMPLY WITH 24 FEET HIGH AND 24 FEET WIDE WITH A MINIMUM LENGTH OF 30 FEET FOR THE PURPOSE OF CLEANING TIRE TREADS PRIOR TO VEHICLES ENTERING LEFT SIDE DRIVE.
14. CONTRACTOR RESPONSIBLE FOR MAINTAINING SEDIMENTATION AND EROSION CONTROL MEASURES UNTIL FINAL GRADING AND SEEDING STABILIZATION TAKE PLACE.

DRAINAGE

DRAINAGE CALCULATIONS:

PROPOSED INCREASE IN IMPERVIOUS SURFACE 1338 SF INCLUDING new driveway and parking

25 YEAR 6 HOUR EVENT = 6" OF RAINFALL MITIGATED BY THE IMPERVIOUS SURFACE

FRE DEVELOPMENT MIXED (1.7) COEFFICIENT (SUBURBAN):
 $Q = 1.7 \times 3.5 \times 1338 \text{ OR } 46.83 \text{ CF}$

POST DEVELOPMENT DRIVEWAY (1.9) COEFFICIENT:
 $Q = 1.9 \times 3.5 \times 1338 \text{ OR } 60.21 \text{ CF}$

POST DEVELOPMENT MINUS PRE DEVELOPMENT + STORAGE REQUIRED 26.16 - 60.21 = 134 CF

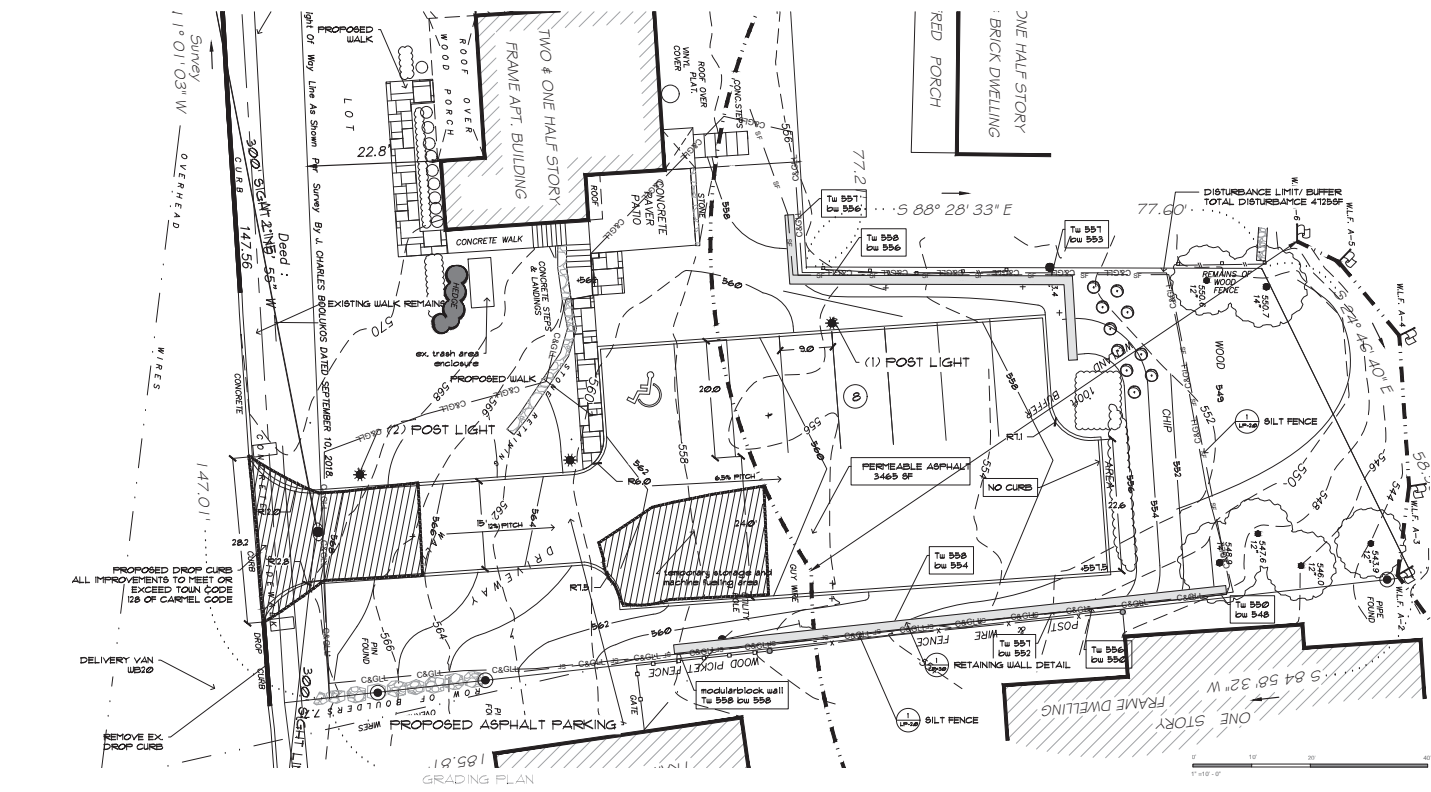
PERMEABLE ASPHALT UTILIZED WITH 24" DEEP GRAVEL RESEVOR, 18" @ 0.66 CF WATER STORAGE

TOTAL WATER STORAGE OF AREA = AREA X 0.66 = 3465 X 0.66 = 2286 CF WATER STORAGE AVAILABLE

SITE SPECIFIC NOTES

1. PERMEABLE ASPHALT
 1. ASPHALT DRIVEWAY AREA TO BE VACUUMED TWICE PER YEAR TO PREVENT CLOGGING
 2. NO ABRASIVES USED DURING WINTER MAINTENANCE, EX. SAND
 3. DEICER MAY BE USED SALT
 4. NO STORAGE OF DIRT OR MULCH MATERIALS/ CLEAN AREA IMMEDIATELY AND VACUUM
2. WETLAND BUFFER NOTES
 1. DURING CONSTRUCTION NO MACHINES PARKED STORED IN WETLAND BUFFER
 2. IF EQUIPMENT STORED OVERNITE, TO BE STORED OVER 9 MIL POLY PLASTIC
 3. MACHINE NEEDING FUEL TO BE ACCOMPLISHED OUTSIDE OF BUFFER AREA
 4. ALL AREAS TO BE SEEDED WITH CONSERVATION MIX TO PREVENT EROSION.
3. SILT FENCE TO BE INSTALLED PRIOR TO TREE REMOVAL
4. SITE CONTRACTOR TO HAVE EMERGENCY SPILL KIT ON SITE TO FACILITATE CLEANUP OF ANY SPILLS DURING CONSTRUCTION.
5. APPLICANT TO INSTALL 4 FOUR SIGNS ALONG BACK OF PARKING AREA INDICATING THE PROPERTY IS WITHIN A TOUR WETLAND BUFFER

ROBERTS HERWOOD
 LANDSCAPE ARCHITECTS PLLC
 P.O. BOX 564, BROOKFIELD, CT 06804
 PH: 203.788.1147 | C: 203.894.5337 | e: roberts@herwood66.com



CONSTRUCTION SEQUENCE:

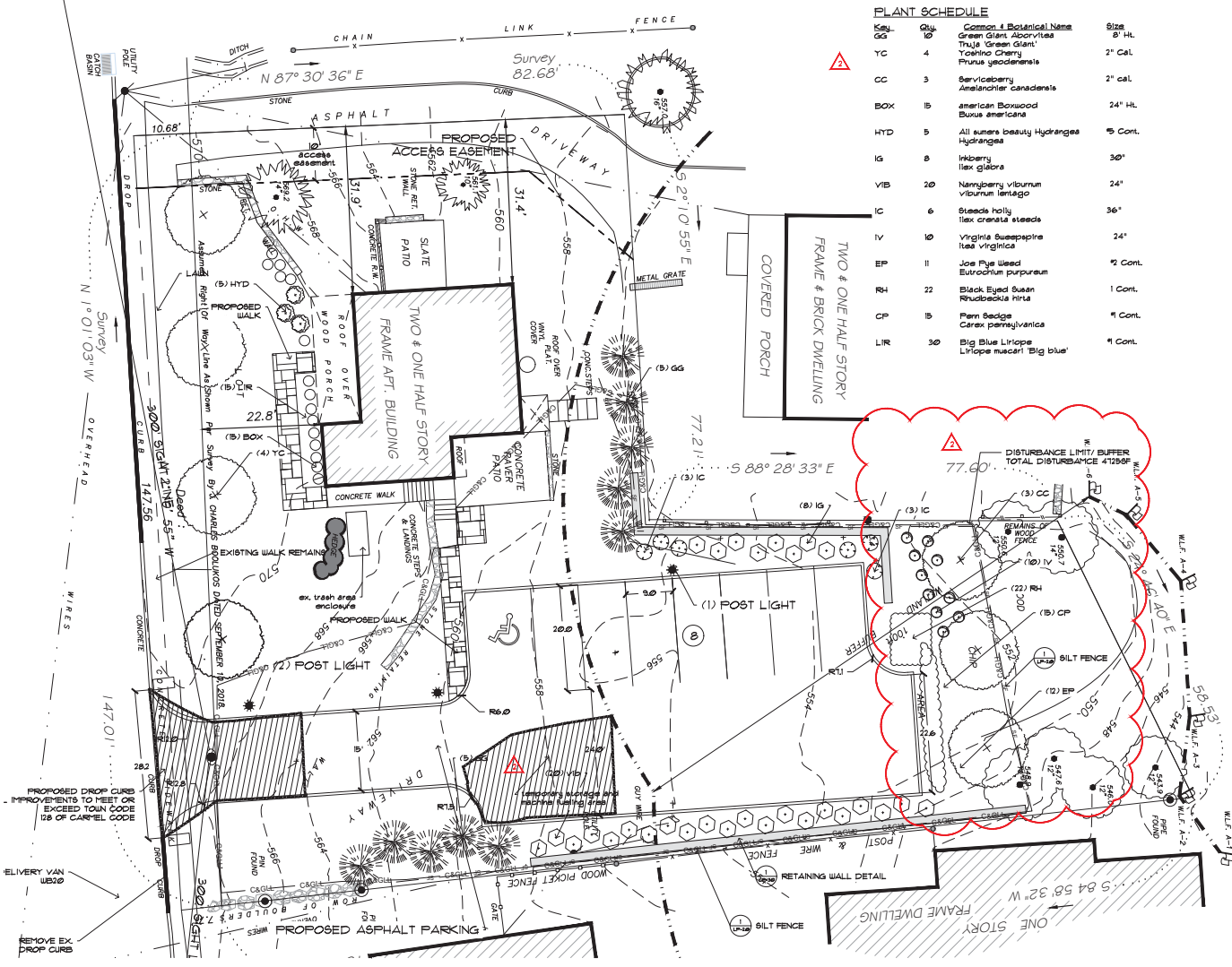
- 1) ESTABLISH DISTURBANCE LIMITS AND DENOTE RESOURCES TO BE PROTECTED.
- 2) IF EXISTING CONSTRUCTION ENTRANCE IS NOT ADEQUATE, CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AT ROADWAY.
- 3) INSTALL SILT FENCING AND SEDIMENT CONTROL.
- 4) MAINTAIN ALL EIC CONTROLS, AS NECESSARY, THROUGHOUT COURSE OF CONSTRUCTION.
- 5) CONSTRUCT SHRUBS AND TREE PROTECTION MEASURES.
- 6) ACCOMPLISH THE REQUIRED CLEARING/ GRUBBING OF SITE.
 - 1) TOPSOIL REMOVAL AND STOCKPILING PERFORMED WHERE SPECIFIED.
 - 2) STAGED PARKING AREA DURING CONSTRUCTION AND STABILIZE GRADING AS WORK PERFORMED.
 - 3) VEGETATION REMOVALS PER SITE PLAN.
 - 4) DRIVEWAY AND PARKING AREAS TO BE DEVELOPED AS PER PLAN
- 7) REMOVE STAGING AREAS UPON COMPLETION OF CONSTRUCTION.
- 8) SOIL RESTORATION OF DISTURBED AREAS
- 9) REMOVE EROSION AND SEDIMENT CONTROL PRACTICES.

GENERAL NOTES:

1. BASE PLAN TAKEN FROM SURVEY PREPARED BY LAND SURVEYORS
2. THE OWNER, CONTRACTOR AND/OR HIS AGENTS OR ADVISORS MUST NOTIFY THE APPROPRIATE UTILITY COMPANIES AND/OR AGENCIES AT LEAST 2 HOURS PRIOR TO ANY CONSTRUCTION, EXCAVATION OR DISPOSAL AT OR NEAR UNDERGROUND FACILITIES IN ACCORDANCE WITH INDUSTRIAL CODE 53.
3. ALL CONTRACTORS SHALL VERIFY EXISTING ELEVATIONS PRIOR TO CONSTRUCTION OF STORM WATER MANAGEMENT SYSTEM. SHOULD INCONGRUENCES IN EXISTING ELEVATIONS BE DETERMINED, CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER PRIOR TO COMMENCING CONSTRUCTION OF THE STORM WATER MANAGEMENT SYSTEM.

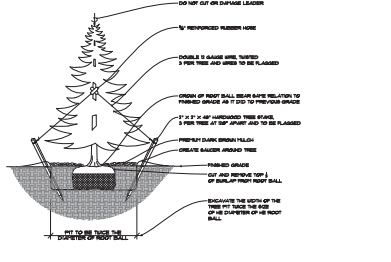
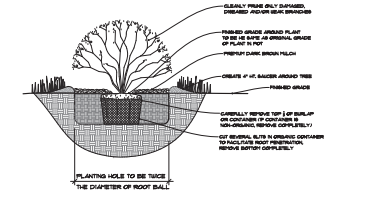
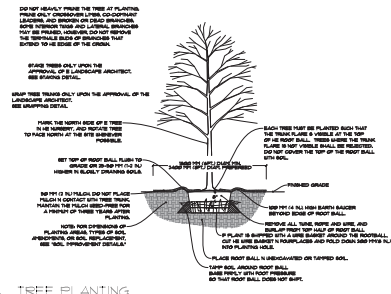
GRADING AND DEMOLITION PLAN
 P&R Estate Corp.
 122 Gladstone
 Carmel NY

REVISIONS:
 SCALE: AS NOTED
 DATE: 2.4.22
 JOB NO: 18.14
 DRAWING NO: LP-2.0
 2 OF 5



PLANT SCHEDULE

Qty	Common Name	Botanical Name	Size
GG	Green Giant	Abrus baccata	8' Ht.
YC	Yucca	Yucca glauca	2' Cal.
CC	Cornus	Cornus canadensis	2' cal.
BOX	American Boxwood	Buxus americana	24" Ht.
HYD	Hydrangea	Hydrangea	5' Cont.
IG	Ilex	Ilex glabra	36"
VIB	Nannyberry	Viburnum lentago	24"
IC	Steads Holly	Ilex cornata	36"
IV	Virginia Suespirra	Euonymus virginica	24"
EP	Joe Pye Weed	Eurochium purpureum	9' Cont.
RS	Black Eyed Susan	Rudbeckia hirta	1 Cont.
CP	Flann Bedgie	Carex pennsylvanica	4' Cont.
LIR	Big Blue Liriope	Liriope muscari 'Big Blue'	4' Cont.



SEEDING NOTES:
 NEW ENGLAND EROSION CONTROL RESTORATION MIX DRY MIXES
 NEW ENGLAND MIXED PLANTS, INC. 808 WEST ST. AUBURN, MA 01502

1. FINE GRASSES AND SEED AREAS DISTURBED BY CONSTRUCTION OPERATIONS AND AREAS NOT COVERED BY BULLETS, STRUCTURES, PAVING OR PLANTING AREAS.
2. SPREAD STYCOLOKED TOPSOIL, PROVIDE CLEAN FILL TOPSOIL AS REQUIRED TO MEET FINISH GRADAS AS CALLED FOR.
3. THE DATE OF SEEDING SHALL BE PROVIDED PER 500 P. 1000. HOURS SHALL BE SOON BY HAND OR BY APPLIED MACHINE IN SUCH A MANNER THAT A UNIFORM STAND WILL BE OBTAINED. AFTER SEEDING, THE SURFACE SHALL BE EVENLY RAKED WITH A FINE TOOTH RAKE.
4. GRASS SEED SHALL BE SOON ONLY BETWEEN APRIL AND JUNE 1 AND BETWEEN AUGUST 15 AND OCTOBER 1 AND DURING APPROVED PERIODS WHEN WEATHER CONDITIONS ARE SUITABLE AS DETERMINED BY THE LANDSCAPE ARCHITECT.
5. LOOSELY APPLY STRAW MULCH TO ALL SEEDED AREAS.
6. APPLY EROSION CONTROL BURLAP TO ALL SLOPED OVER 1 FOOT VERTICAL TO 2 FEET HORIZONTAL.
7. RESEED ALL AREAS THAT DO NOT SHOW A SATISFACTORY STAND OF GRASS AFTER 30 DAYS AND CONTINUE TO DO SO UNTIL A SATISFACTORY STAND OF GRASS HAS BEEN ESTABLISHED.

- ### SEDIMENT AND EROSION CONTROL NOTES:
1. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CURRENT EDITION OF THE WEST-CHESTER COUNTY BEST MANAGEMENT PRACTICES MANUAL FOR EROSION AND SEDIMENT CONTROL.
 2. SILT FENCE SHALL BE INSTALLED AS SHOWN ON THIS DRAWING PRIOR TO BEGINNING ANY CLEARING AND/OR EARTHWORK.
 3. GRASS SEED MIX MAY BE APPLIED BY EITHER MECHANICAL OR HYDROSEEDING METHODS. HYDROSEEDING SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE NYSDOT STANDARD SPECIFICATION, CONSTRUCTION AND MATERIALS, SECTION 610-3.02, METHOD NO. 1.
 4. CUT OR FILL SLOPES STEEPER THAN A 3:1 SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
 5. PAVED ROADWAYS SHALL BE KEPT CLEAN AT ALL TIMES.
 6. THE SITE AT ALL TIMES SHALL BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF IS DIVERTED TO EOL EROSION AND SEDIMENT CONTROL FACILITIES.
 7. ALL STORM DRAINAGE OUTLETS SHALL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.

8. CUT AND FILL SHALL NOT ENDANGER ADJOINING PROPERTY, NOR DIVERT WATER ONTO THE PROPERTY OF OTHERS.
9. SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS BY OWNER'S FIELD REPRESENTATIVE (OPAL) TO INSURE THAT CHANNEL, TEMPORARY AND PERMANENT DITCHES AND PILES ARE CLEAR OF DEBRIS THAT REPRESENTS AND RISKS HAVE NOT BEEN BREACHED AND THAT ALL STRAIN GAUGES ARE INTACT. ANY FAILURE OF SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE IMMEDIATELY REPORTED TO THE CONTRACTOR AND INSPECTED FOR APPROVAL BY THE OPR AND/OR SITE ENGINEER.
10. SLOPE SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE OPR.
11. ALL FILL SHALL BE COMPACTED TO PROVIDE STABILITY OF MATERIAL, AND TO PREVENT SETTLEMENT.
12. EXCAVATIONS AND FILLS TO BE ROLLED, SEALED AND STABILIZED AT COMPLETION OF EACH CONSTRUCTION DAY.
13. CONSTRUCTION OF A TEMPORARY STABILIZED GRAVEL CONSTRUCTION ENTRANCE AS INDICATED ON THIS PLAN SHALL CONSIST OF A 12" THICK GRAVEL BASE, 24" FEET WIDE WITH A MINIMUM LENGTH OF 10 FEET FOR THE PURPOSE OF CLEANING THE TIRES PRIOR TO VEHICLES ENTERING BEST PRACTICE RED CLAY LANE.
14. CONTRACTOR RESPONSIBLE FOR MAINTAINING SEDIMENTATION AND EROSION CONTROL MEASURES UNTIL FINAL GRADING AND SEEDING STABILIZATION TAKE PLACE.

- ### GENERAL NOTES:
1. BASE PLAN TAKEN FROM SURVEY PREPARED BY LINK LAND SURVEYORS
 2. THE OWNER, CONTRACTOR AND/OR HIS AGENTS OR AGENS MUST NOTIFY THE APPROPRIATE UTILITY COMPANIES AND/OR AGENS AT LEAST 14 DAYS PRIOR TO ANY CONSTRUCTION, EXCAVATION OR DISPOSITION AT OR NEAR UNDERGROUND FACILITIES IN ACCORDANCE WITH INDUSTRIAL CODE 93.
 3. ALL CONTRACTORS SHALL VERIFY EXISTING ELEVATIONS PRIOR TO CONSTRUCTION OF STORM WATER MANAGEMENT SYSTEM. SHOULD INCONSISTENCIES IN EXISTING ELEVATIONS BE DETERMINED, CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER PRIOR TO COMMENCING CONSTRUCTION OF THE STORMWATER MANAGEMENT SYSTEM.

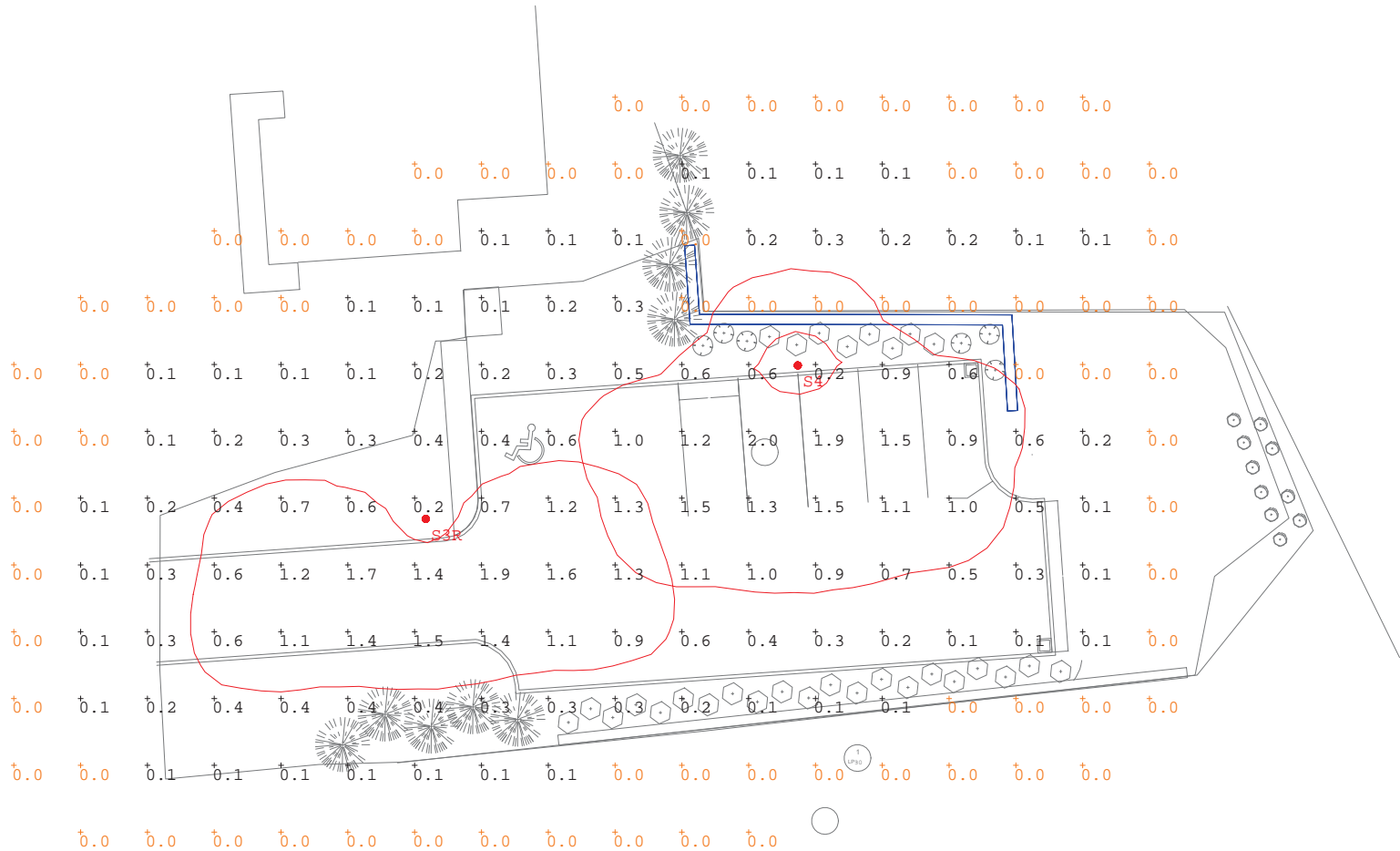
PROJECT: **ROBERTS HERWOOD LANDSCAPE ARCHITECT LLC**
 P.O. BOX 564, BROOKFIELD, CT 06804
 TEL: 203.788.1547 FAX: 203.894.5337 E: roberts@herwoodllc.com



PRODUCT: **LAYOUT & LANDSCAPE PLAN**
 CLIENT: **P&R Estate Corp.**
 122 Glenville
 Carmel, NY

#3 COMMENTS 5.23.22
 #2 COMMENTS 5.4.22
 #1 COMMENTS 5.12.22

REVISIONS:
 SCALE: AS NOTED
 DATE: 2.4.22
 JOB NO: 18.14
 DRAWING NO: LP-3.0
 3 OF 5



Luminaire Schedule				
Qty	Label	Lum. Watts	Arrangement	Description
1	S3R	50.6	Single	Sternberg E250LED-3ARC30T3R-MDL03-FL Mounted on 14FT Pole
1	S4	50.7	Single	Sternberg E250LED-3ARC30T4-MDL03-FL Mounted on 14FT Pole

Calculation Summary							
Label	Units	Avg	Max	Min	Avg/Min	Max/Min	Grid Height
Site	Fc	0.32	2.0	0.0	N.A.	N.A.	0
Parking & Drive Lane	Fc	1.03	2.0	0.1	10.30	20.00	

Project: Carmel, NY	
Contact: Cliff Gilbert Specifications - Southern CT (203) 788-0814 cgilbert@illuminatene.com	Detail: Photometric Calculation Date: 5/10/2022 Revision: --- Scale: 1/8" = 1'-0" Drawn By: CK
illuminatene 44 Sixth Road Woburn, MA 01801 (781) 935-8500	Drawing Number: SL-1
333 Pleasant Valley Road South Windsor, CT 06074 (860) 282-0597	Sheet 1 of 1



October 3, 2022

Craig Paeprer, Chairman and Members of the Carmel Planning Board
60 McAlpin Ave
Mahopac, NY 10541

RE: Jedlicka 2 Lot Subdivision
334 Austin Road
TM#: 64.13-1-16

Dear Chairman Paeprer and the Members of the Carmel Planning Board,

The following is my response to Mr. Carnazza's memo date September 26, 2022:

1. A note regarding Open Development Approval from the Town Board was added to the Site Plan.
2. Testing for the septic system was made on July 28, 2022, and observed by the Putnam County Department of Health. The tests were approved.
3. The required variance from the ZBA has been added to the Site Plan.

The following is my response to Mr. Cleary's report of September 28:

1. Open Development from the Town Board has been noted on the Site Plan.
2. It is my understanding that the lot width requirement for Lot 1 is met.
3. The proposed access easement has been referred to Mr. Charbonneau, the Planning Board Attorney.
4. There are no existing changes to the curb cut on Austin Road.
5. A well and septic permit will be obtained from the Putnam County Department of Health. The testing has been completed and approved by the Health Department.
6. The topography for Lot #2 has been added.
7. The stormwater management plan will be submitted after Town Board and Zoning Board approval has been obtained.
8. The proposed utilities for the proposed house on Lot #2 will be served by existing utility poles.
9. There are no wetlands or steep slopes in the area of Lot #2 to be developed. In addition, no mature trees will be removed, and the entire developed area will be landscaped. The landscape plan will be developed after the Town Board and Zoning Board approvals.

The following is my response to Mr. Franzetti's memo of September 21:

1. The Subdivision Plat was already submitted with the initial application.

Two Muscoot Road North
Mahopac, New York 10541
P: (845) 628-6613 F: (845) 628-2807
Email: joel.greenberg@arch-visions.com
www.arch-visions.com



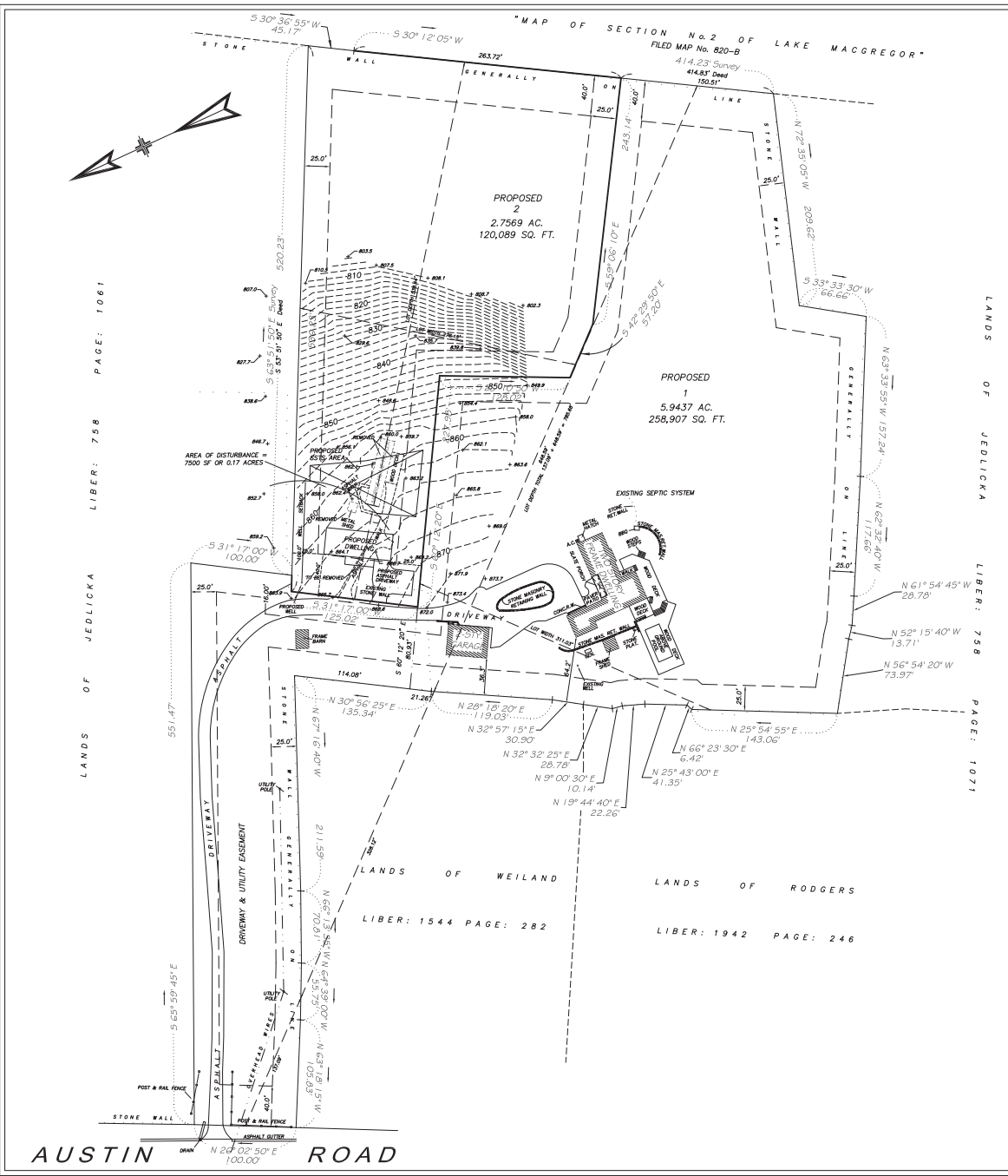
2. The subdivision plat and Site Plan clearly show that Lot #2 does not have any road frontage.
3. Driveway easements and maintenance agreement have been submitted for the Planning Board Attorney's review.
4. The topography has been added for Lot #2
5. A note has been added regarding the existing stone walls.
6. No area for open space is being proposed.
7. ***The next six items on Mr. Franzetti's memo (items a-f) apparently do not pertain to this project since these items refer to a project at 419 Union Valley Road, Tax Map #88.7-1-22.***
8. A stormwater design will be submitted after Town Board and Zoning Board approval.
9. NYCDEP approval should not be required since this property is not in the New York City Watershed.
10. The total disturbed area is 0.17 Acres. Therefore, NYSDEC GP-0-20-001 and NYCEP permit may not be required. As mentioned above, NYCDEP approval should not be required since this property is not in the New York City Watershed.
11. The Site Plan does not show any public improvements, therefore a performance Bond and Engineering Fee is not required.
12. If required, a stormwater bond and maintenance guarantee will be submitted.

My client and I look forward to obtaining Sketch Approval at your meeting of Thursday October 13, 2022 so that we may pursue Town Board and Zoning Board approval.

Very truly yours,

A handwritten signature in cursive script that reads "Joel Greenberg". The signature is written in black ink and is positioned above the typed name.

Joel Greenberg, AIA, NACRB



PLANNING BOARD TOWN OF CARMEL

TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK, ON THE _____ DAY OF _____ SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION, ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL, SIGNED THIS _____ DAY OF _____ BY _____

(CHAIRMAN, CARMEL PLANNING BOARD)

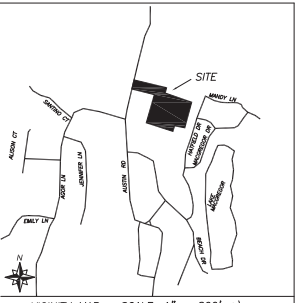
(SECRETARY, CARMEL PLANNING BOARD)

THIS PLAN VALID FOR FILING UNTIL _____ (DATE)
 THIS MAP MUST BE FILED IN THE PUTNAM COUNTY CLERK'S OFFICE WITHIN 30 DAYS OF THIS APPROVAL.

CERTIFIED BY:
 REAL PROPERTY TAX DEPARTMENT

TO THE REAL PROPERTY TAX DEPARTMENT
 PLEASE CERTIFY THAT THE FOLLOWING
 TAX MAP NUMBER
 MAP 64.13 " BLOCK 1 " LOT 16
 IN THE
 TOWN OF CARMEL
 IS THE CORRECT TAX MAP NUMBER
 FOR THE ATTACHED SUBDIVISION MAP.

SIGNED _____ DATE _____
 DIRECTOR OF REAL PROPERTY TAXES



PUTNAM COUNTY HEALTH DEPARTMENT APPROVAL

APPROVAL SUBJECT TO THE PROVISION OF A PRIVATE WATER SUPPLY AND PRIVATE SEWAGE DISPOSAL FOR EACH HABITABLE LOT IN ACCORDANCE WITH THE PUTNAM COUNTY SANITARY CODE AND AS SHOWN ON THE REALTY SUBDIVISION PLAN FILED WITH THE PUTNAM COUNTY DEPARTMENT OF HEALTH. CONSENT IS HEREBY GIVEN FOR THE FILING OF THIS MAP IN THE OFFICE OF THE COUNTY CLERK IN ACCORDANCE WITH THE PROVISIONS OF SECTION 1116 AND 1117 OF THE PUBLIC HEALTH LAW.

BY:
 ENVIRONMENTAL HEALTH SERVICES

EXPIRATION DATE: _____

CERTIFICATION BY :
 PUTNAM COUNTY COMMISSIONER OF FINANCE

THE COMMISSIONER OF FINANCE HEREBY CERTIFIES THAT ALL TOWN, COUNTY AND VILLAGE TAXES FORWARD TO THIS OFFICE FOR COLLECTION AS OF _____ HAVE BEEN PAID FOR THE PARCEL AS DESCRIBED AS:

TAX MAP NUMBER
 MAP 64.13 " BLOCK 1 " LOT 16
 IN THE
 TOWN OF CARMEL

SIGNED _____ DATE _____
 COMMISSIONER OF FINANCE

SKETCH PLAT
 PREPARED FOR
REGINA JEDLIČKA
 SITUATE IN THE
TOWN OF CARMEL
 PUTNAM COUNTY
 NEW YORK

SCALE : 1" = 50'

SURVEYED : APRIL 1, 2022

NOTES - PROPOSED LOT #2:
 1) LOT #2 WILL HAVE A WELL AND SEPTIC SYSTEM INSTALLED. TESTING HAS BEEN WITNESSED BY THE PCHD AND HAS BEEN APPROVED.
 2) LOT #2 WILL BE SERVED BY ELECTRIC, TELEPHONE, & CABLE FROM THE EXISTING SERVICE ALONG THE EXISTING DRIVEWAY.
 3) THERE ARE NO WETLANDS AND THERE ARE NO STEEP SLOPES IN THE AREA TO BE DEVELOPED.
 4) THERE ARE NO MATURE TREES TO BE REMOVED.
 5) THE DEVELOPED AREA (7500 SF OR 0.17 ACRES), WILL BE FULLY LANDSCAPED.
 6) EXISTING STONE WALLS WILL REMAIN, EXCEPT FOR NEW DRIVEWAY OPENINGS.

ZONING SCHEDULE

OPEN DEVELOPMENT - TOWN BOARD APPROVAL REQUIRED UNDER SECTION (280A) OF TOWN LAW

	REQUIRED	PROPOSED LOT 1	PROPOSED LOT 2
ZONE: R-20			
TRF 44.13-1.15			
R - RESIDENTIAL			
MIN LOT AREA (SQ. FT)	125,000	258,907	120,089
(A/C)		5.9437	2.7569
MIN LOT WIDTH (FT)	200	312.29	276.15
MIN LOT DEPTH (FT)	200	795.64*	536.44
MIN YARD DIMENSIONS (FT)			
FRONT	40	146.5	40.5
SIDE	25	64.2	38.7
REAR	40	282.7	68.6
MAX BUILDING HEIGHT (FT)	35	-35	-35
MIN FRONTAGE (FT)	100	100	0
MAX LOT COVERAGE (%)	65	1.9	1.5

* VARIANCE REQUIRED FROM ZBA SINCE THE LOT DEPTH PASSES THROUGH THE ADJACENT LOT FOR 336.12 FT. THE TOTAL ON JEDLIČKA'S LOT #1 IS 795.68 FT.

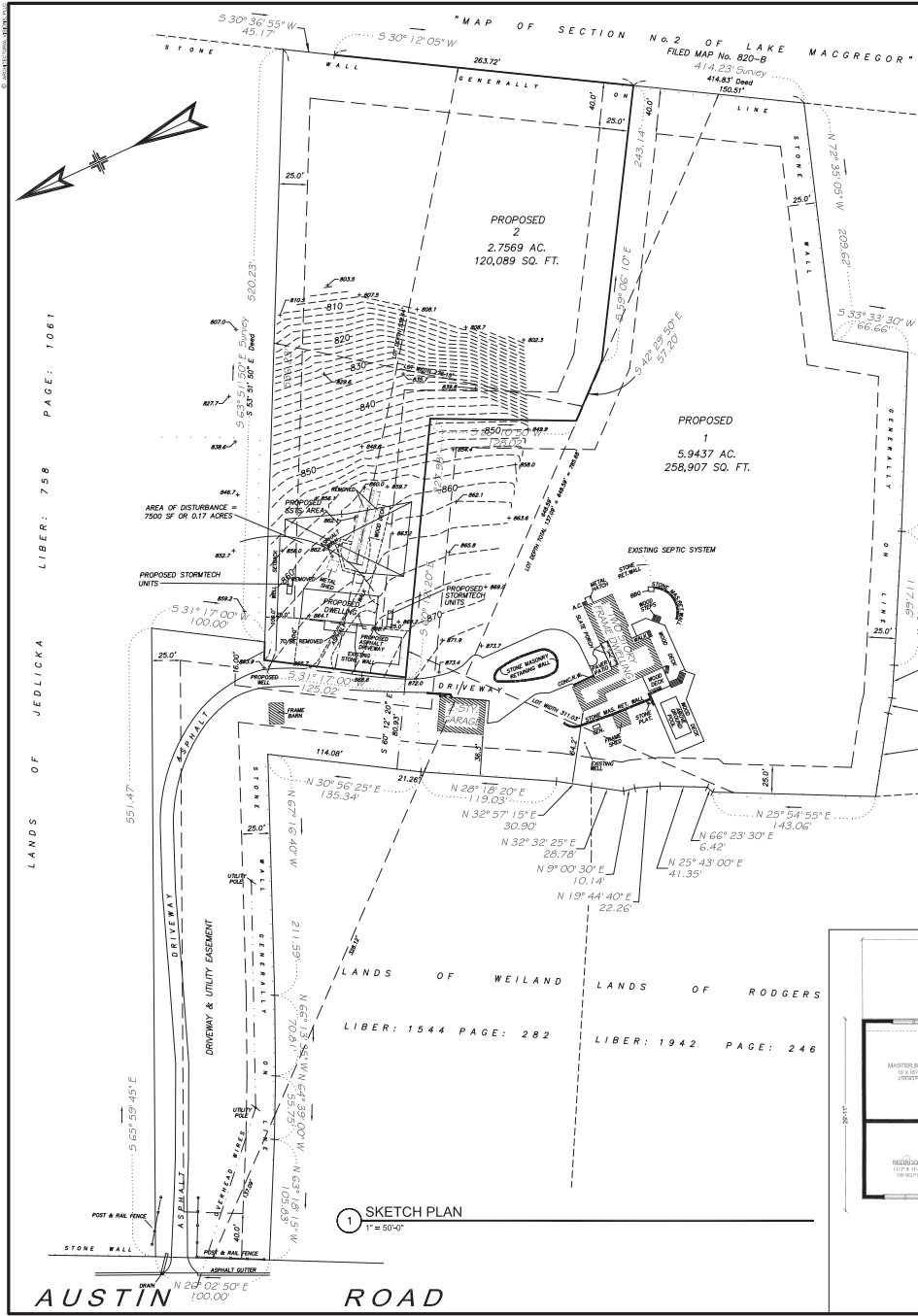
PROFESSIONAL ARCHITECT

LAND SURVEYOR'S CERTIFICATION
 I, ERIC J. LINK, HEREBY CERTIFY THAT THE SURVEY UPON WHICH THIS MAP IS BASED WAS COMPLETED APRIL 1, 2022 & MAP COMPLETED ON AUGUST 30, 2022.

ERIC J. LINK
 NEW YORK STATE LICENSED
 LAND SURVEYOR NO. 055942

PROFESSIONAL LAND SURVEYOR

NEW YORK STATE LICENSED
 LAND SURVEYOR NO. 055942



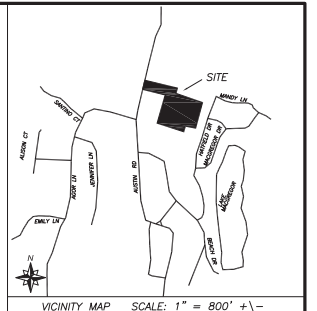
- NOTES - PROPOSED LOT #2:**
- 1) LOT #2 WILL HAVE A WELL AND SEPTIC SYSTEM INSTALLED. TESTING HAS BEEN WITNESSED BY THE POND AND HAS BEEN APPROVED.
 - 2) LOT #2 WILL BE SERVED BY ELECTRIC, TELEPHONE, & CABLE FROM THE EXISTING SERVICE ALONG THE EXISTING DRIVEWAY.
 - 3) THERE ARE NO WETLANDS AND THERE ARE NO STEEP SLOPES IN THE AREA TO BE DEVELOPED.
 - 4) THERE ARE NO MATURE TREES TO BE REMOVED.
 - 5) THE DEVELOPED AREA (7500 SQ. FT. OR 0.17 ACRES) WILL BE FULLY LANDSCAPED.
 - 6) EXISTING STONE WALLS WILL REMAIN, EXCEPT FOR NEW DRIVEWAY OPENING.
 - 7) IN LIEU OF PROVIDING OPEN SPACE, THE RECREATION FEE WILL BE PAID.
 - 8) STORM WATER MANAGEMENT WILL USE STORMTECH UNITS. DESIGN FOR STORMTECH UNITS WILL BE PROVIDED PRIOR TO FINAL APPROVAL.
 - 9) EXISTING ASPHALT WALK WILL BE REMOVED AS INDICATED.

ZONING SCHEDULE

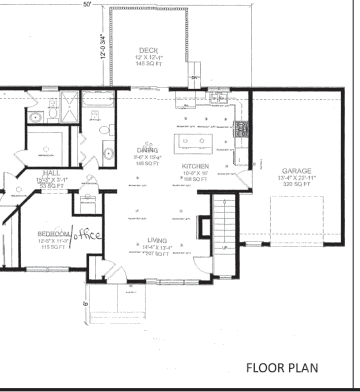
OPEN DEVELOPMENT - TOWN BOARD APPROVAL REQUIRED UNDER SECTION 230A(2) OF TOWN LAW

ZONE - R120	REQUIRED	PROPOSED LOT 1	PROPOSED LOT 2
TRM 64.13-1-16			
R - RESIDENTIAL			
MIN LOT AREA (SQ. AC)	120,000	258,907	120,089
MIN LOT WIDTH (FT)	200	5,943.7	2,756.9
MIN LOT DEPTH (FT)	200	321.03	276.15
MIN YARD DIMENSIONS (FT)		785.06*	530.44
FRONT YARD	40	146.5	40.5
SIDE YARD	25	64.2	30.7
REAR YARD	40	202.7	456.6
MAX BUILDING HEIGHT (FT)	25	25	25
MIN FRONTAGE (FT)	100	100	0
MAX LOT COVERAGE (%)	65	2.0	1.5

* VARIANCE REQUIRED FROM ZBA SINCE THE LOT DEPTH PASSES THROUGH THE ADJACENT LOT FOR 328.12 FT. THE TOTAL ON JEDLIČKA'S LOT #1 IS 785.68 FT.



64.13-1-25 Philip R. Esposito 11 Macgregor Dr. Malapasc, NY 10541	64.13-1-79 Craig Joseph 117 Macgregor Dr. Malapasc, NY 10541	64.13-1-60 Cynthia Ann Inevocable Trust 12 Redding Ln. Malapasc, NY 10541	64.13-1-19 Dorothy Johnson 302 Austin Rd. Malapasc, NY 10541	64.13-1-29 William A Long III 31 Mandy Ln. Malapasc, NY 10541
64.13-1-40 Pauline M Joseph 313 Lakewood Ln. Malapasc, NY 10541	64.13-1-40 SNC Realty LLC 14 Redding Ln. Malapasc, NY 10541	64.13-1-73 Domenico DiNapoli Walter Tapp 311 Austin Rd. Malapasc, NY 10541	64.13-1-12 Edward A Rodgers 314 Austin Rd. Malapasc, NY 10541	64.13-1-17 Gregory M Wieland 328 Austin Rd. Malapasc, NY 10541
64.13-1-74 George M Weiss 141 Macgregor Dr. Malapasc, NY 10541	64.13-1-75 Diana R Mancini 119 Macgregor Dr. Malapasc, NY 10541	64.13-1-26 Frederick J Dreier 327 Austin Rd. Malapasc, NY 10541	64.13-1-14 Alyssa M Androsino 331 Austin Rd. Malapasc, NY 10541	64.13-1-16 Regina Jeddicka 334 Austin Rd. Malapasc, NY 10541
64.13-1-41 Stephen E Smith 19 Hatfield Rd. Malapasc, NY 10541	64.13-1-27 Amanda Escobar 19 Macgregor Dr. Malapasc, NY 10541	64.13-1-02 Arlene Brun 2 Reading Ln. Malapasc Falls, NY 10542	64.13-1-45 Ronald G Jeddicka PO BOX 200 Malapasc Falls, NY 10542	64.13-1-15 Ronald G Jeddicka Attn: Red Mills Market Inc PO BOX 200 Malapasc Falls, NY 10542
64.13-1-77 Charles Schulz 23 Hatfield Rd. Malapasc, NY 10541	64.13-1-42 Kathleen Haney 23 Hatfield Rd. Malapasc, NY 10541	64.13-1-43 Michael Murphy 23 Mandy Ln. Malapasc, NY 10541	64.13-1-33 Frank Iacono 124 Bala Bala Rd. Malapasc, NY 10541	64.13-1-23 Robert F Samlane 149 Austin Rd. Malapasc, NY 10541
64.13-1-51 Nika Canovic 26 Mandy Ln. Malapasc, NY 10541	64.13-1-43 Michelle David 27 Hatfield Rd. Malapasc, NY 10541	64.13-1-58 Teraz N Sasser 27 Mandy Ln. Malapasc, NY 10541	64.13-1-45 Anthony J Nalimino, III 365 Austin Rd. Malapasc, NY 10541	64.13-1-22 County of Putnam 40 Glenside Ave Cannell, NY 10512
64.13-1-10 Gary M Marzotto 281 Agor Ln. Malapasc, NY 10541	64.13-1-22 Francesco Volpicella 286 Austin Rd. Malapasc, NY 10541	64.13-1-52 Marta Calabro 289 Austin Rd. Malapasc, NY 10541	64.13-1-46 Daniel Colangelo 41 Hatfield Rd. Malapasc, NY 10541	64.13-1-47 Eileen D'Donovan 45 Hatfield Rd. Malapasc, NY 10541
64.13-1-24 Henk Kraming 290 Austin Rd. Malapasc, NY 10541	64.13-1-11 Zof Maki 291 Agor Ln. Malapasc, NY 10541	64.13-1-21 Jennifer M McPhillips 294 Austin Rd. Malapasc, NY 10541	64.13-1-38 Stephen Hakagen 3 Hatfield Rd. Malapasc, NY 10541	64.13-1-49 Michael R Kasomath 55 Hatfield Rd. Malapasc, NY 10541
64.13-1-20 Regina Jeddicka 334 Austin Rd. Malapasc, NY 10541	64.13-1-20 Regina Jeddicka Attn: Red Mills Market PO BOX 200 Malapasc Falls, NY 10542	64.13-1-23 Steven S Ciampini 3 Macgregor Dr. Malapasc, NY 10541	64.13-1-39 Thomas P Fagan 9 Hatfield Rd. Malapasc, NY 10541	64.13-1-41 Richard J Gromero 8 Redding Ln. Malapasc, NY 10541
64.13-1-76 Anthony Profera 30 Hatfield Rd. Malapasc, NY 10541	64.13-1-50 Michael Cavanaugh 30 Mandy Ln. Malapasc, NY 10541	64.13-1-13 Ann E Madala 30 Austin Rd. Malapasc, NY 10541		



ARCHITECTURAL VISIONS
115 GARDENHURST DRIVE, CANTON, NY 10515
TEL: 845-629-6613
WWW.ARCHITECTURALVISIONS.COM

PROJECT: OWNER
REGINA JEDLIČKA
PROJECT ADDRESS: 334 AUSTIN RD, MALAPASC, NY 10541
TAX MAP NO. 64.13-20

SKETCH PLAN

ISSUANCE	DATE	BY
DESIGNED	01/20/2020	REGINA JEDLIČKA
DRAWN	01/20/2020	REGINA JEDLIČKA
CHECKED	01/20/2020	REGINA JEDLIČKA
APPROVED	01/20/2020	REGINA JEDLIČKA

SCALE AS NOTED
OWNER APPROVED BY: VTP M.S./L.L.O.
PROJECT NO. 00000007

S-100

IT IS A VIOLATION OF STATE LAW FOR ANY PERSON UNLESS AUTHORIZED UNDER THE PROVISIONS OF A LICENSED ARCHITECT, TO ALTER OR REPRODUCE THESE PLANS AND DOCUMENTS OR ANY PART THEREOF IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR ANY ALTERATIONS TO THESE PLANS AND DOCUMENTS. THE ARCHITECT SHALL BE RESPONSIBLE FOR ANY ALTERATIONS TO THESE PLANS AND DOCUMENTS.

KEMPEY ENGINEERING

Consultants in Environmental Engineering

1569 East Beecher Hill Road, Owego, NY 13827

(607) 223-4653

Facsimile (607) 223-1591

September 14, 2022

Mr. Craig Paeper
Chairman
Planning Board
Town of Carmel
Carmel Town Hall
60 McAlpin Avenue
Mahopac, New York 10541

Re: 70 Old Route 6, LLC
Town of Carmel Planning Board Site Plan Approval
Tompkins Recycling Center
70 Old Route 6
Town of Carmel
Tax Map #55.11-1-15
Request for Site Plan Approval Extension

Dear Chairman Paeper and Members of the Board:

The Planning Board granted a one-year extension of the Site Plan Approval for the Tompkins Recycling Center Project to 70 Old Route 6, LLC on October 14, 2021. We request that the Board consider a reapproval of the site plan at this time. The Board should be aware that the proposed sale noted in Putman Engineering, PLLC's September 30, 2021 letter to the Board was completed on February 11, 2022 with the purchase of the Members' equity interests in 70 Old Route 6, LLC. Therefore, the ownership of the property located at 70 Old Route 6, Carmel, New York did not change as a result of this equity interest purchase. In addition, we would like advise the Board that Kempey Engineering has completed the construction documents for the project, which are currently being reviewed and anticipates filing the building permit application within the next 30-days.

The project has the following permits:

- | | | |
|----|---|-----------------------------------|
| 1. | Town of Carmel - Site Plan Approval | Expires 10/21/2022 |
| 2. | Town of Carmel Wetland Permit Number 933 | Expires 07/01/2022
(See Below) |
| 3. | NYSDEC Solid Waste Management Facility Permit | Expires 02/07/2024 |
| 4. | NYSDEC Freshwater Wetland Permit | Expires 12/04/2022 |

5. NYSDEP SWPPP Approval Expires 01/29/2027
6. NYSDEC SPDES Multi-Sector General Permit for Stormwater Discharges Associated with Construction Activities GP-10-001 - Permit NYR 10Q049. This permit is valid (open) until a Notice of Termination is filed to close out the project after the completion of construction.

In addition, it should be noted that the information provided to Kempey Engineering indicated that the Town of Carmel Freshwater Wetlands Permit Number 933 expired on August 25, 2022 and not July 1, 2022 as indicated in the above-mentioned permit. Kempey Engineering submitted the Application to Renewal Town of Carmel Freshwater Wetlands Permit Number 933 to the Environmental Conservation Board on August 19, 2022. Kempey Engineering presented the renewal application to the Town of Carmel Environmental Conservation Board during its September 2, 2022 meeting and is currently addressing the Board's comments provided during the above-mentioned meeting. Kempey Engineering will be providing its response to the Board's comments prior the Board's October 6, 2022 meeting and will be representing the renew application to the Board at the above-mentioned meeting.

Also, FEMA has issued a conditional letter of map revision (July 24, 2014) based on the fill which will remove the property from the flood plain once the "as-built" topographic survey is submitted verifying compliance with the design drawings.

Further, transmitted herewith is 70 Old Route 6, LLC's Check Number 1004 dated September 12, 2022 in the amount of Two Thousand Dollars and Zero Cent (\$ 2,000.00) for the Site Plan Approval Application Fee required to renew Town of Carmel Planning Board Site Plan Approval for construction of 70 Old Route 6, LLC's proposed 70 Old Route 6, Carmel, New York Construction and Demolition Debris Handling and Recovery Facility (Tompkins Recycling Center).

If you have any questions or require any additional information, please advise.

Very truly yours,



XC: Gandolfo Schiavone, 70 Old Route 6, LLC