

CRAIG PAEPRER
Chairman

ANTHONY GIANNICO
Vice Chairman

BOARD MEMBERS

CARL STONE
KIM KUGLER
RAYMOND COTE
ROBERT FRENKEL
MARK PORCELLI

**TOWN OF CARMEL
PLANNING BOARD**



60 McAlpin Avenue
Mahopac, New York 10541
Tel. (845) 628-1500 – Ext. 190
www.ci.carmel.ny.us

MICHAEL CARNAZZA
*Director of Code
Enforcement*

RICHARD FRANZETTI, P.E.
Town Engineer

PATRICK CLEARY,
AICP, CEP, PP, LEED AP
Town Planner

**PLANNING BOARD AGENDA
DECEMBER 11, 2019 – 7:00 P.M.**

MEETING ROOM #2

TAX MAP # PUB. HEARING MAP DATE COMMENTS

PUBLIC HEARING

1.	Monteleone, Laurie – 120 & 124 Shindagen Hill Road, Carmel	87.8-1-12 & 88.5-1-11	12/11/19	10/25/19	Public Hearing/Resolution
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SITE PLAN

2.	Longview School – 110 Scout Hill Road	52.-1-12		11/14/19	Site Plan
3.	Viscovich, Mario – South Lake Blvd	75.42-1-69		12/3/19	Special Site Plan (Dock)
4.	Bondi, Edward – 30 Fowler Ave, Carmel	44.14-1-11		12/5/19	Residential Site Plan

SUBDIVISION

5.	Perricone, Anthony – 163 Orchard Road	74.26-2-22		11/27/19	3 Lot Subdivision (Sketch Plan)
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MISCELLANEOUS

6. Minutes – 09/11/19, 09/25/19 & 10/09/19

	P.W. Scott	pwscott2@comcast.net
	Engineering & Architecture, P.C.	www.pwscott.com
	3871 Route 6	(845) 278-2110
	Brewster, NY 10509	

November 14, 2019

Chief Jeff Boyle
Mahopac Falls Volunteer Fire Dept
PO Box 190
Mahopac Falls, NY 10542
jbalny2010@gmail.com

Re: Longview School
110 Scout Hill Rd

Dear Chief Boyle,

To address concerns with fire safety on the site, as discussed at our meeting, the Client has agreed to the following:

1. Increase the tank size to 20,000 gallons.
2. Relocate the tank onto the access road with the filler and suction lines at the first parking space.
3. Note: A Central Alarm System shall be installed per State Education Regulations.
4. A representative of the Fire Department will evaluate the town road access.

Please accept this for your review. A letter is required for approval confirmation of these items to the Town of Carmel Planning Board.

Call with any questions or to discuss.

With regards,

Peder Scott

Peder Scott, P.E., R.A.
President

Attach: Revised SY2 & SY7

cc: Mark Jacobs, Director Longview School, mark@longviewschool.org

ARCHITECTURE * ENGINEERING * SITE PLANNING

S:\OPEN PROJECTS\Longview School\Correspondence\Chief Boyle ltr re Fire Safety.doc

William A. Shilling, Jr., P.C.

Attorney at Law

122 Old Route 6

Carmel, New York 10512

E-Mail: waslaw@shillinglegal.com

Frank J. Smith III

**Also Admitted in CT*

Phone (845) 225-7500

Fax (845) 225-5692

December 3, 2019

BY ELECTRONIC MAIL

Town of Carmel Planning Board

Attn: Rose Trombetta

60 McAlpin Avenue

Mahopac, New York 10541

RE: 110 Scout Hill Road – Longview School

Dear Chairman Paerprer Members of the Board:

This office has been retained by Longview School located at 110 Scout Hill Road, Mahopac, New York (TM#52.-1-12). I have been asked to address three issues of concern. It is my client's fervent hope that the responses contained herein will cause this Board to refer the matter to the Zoning Board for necessary interpretations to Code and/or *de minimis* variances.

1. FRONTAGE ON A PUBLIC ROAD

In 1982, the Carmel Town Board formally dedicated Crane Road to the Town of Carmel in its entirety as demonstrated on Filed Map 530 & 531 (**Exhibit 1**). The subdivision map, the Bergendorf survey (**Exhibit 2**), and the surveyor's statement that "the Longview School property directly abuts on Scout Hill Road" (**Exhibit 3**) are attached. Also enclosed is a letter signed by Paul Denbaum, Esq. of Thoroughbred Title Services that "...the property does have frontage on Scout Hill...specifically 52.74 feet along the southerly border of property" (**Exhibit 4**). It is respectfully submitted that the issue of frontage on a Town road should be summarily dismissed.

With respect to the necessary frontage to comply with Code, one hundred feet is required except in an instance of a "cul de sac, turnaround or similar case" (emphasis added) where 50' is required (Town of Carmel Code §156-10F, attached as **Exhibit 5**). My client will seek an

interpretation that this is a “similar case” requiring only 50' of frontage or in the alternative a variance. If the interpretation is denied, my client will seek a 52 +/- foot area variance for same.

2. PHASING

The intent was to open the school initially and subsequently build the gym. This would vastly reduce the economic burden to my client, allowing the school to open while the gym is being constructed.

The Building Inspector advises that phasing is “specifically prohibited by the Carmel Town Code”. I can find no such Code provision upon a cursory review. I would request the statutory authority that prohibits the “phasing”. If in fact, there is a prohibition contained in the Carmel Town Code, my client will seek no relief from the ZBA on this matter.

3. PARKING

§156-23 of the Carmel Town Code provides for “a minimum of 10 parking spaces plus 3 spaces per classroom shall be required for those schools with pupils of elementary and junior high school age. Schools with pupils of at least high school age shall provide at least 20 parking spaces plus five per classroom” (**Exhibit 6**).

My client has provided a site plan to the Planning Board with the number of spaces required by the above code (55 spaces) if in fact a small number of potential students of high school age trigger the greater number of parking spaces.

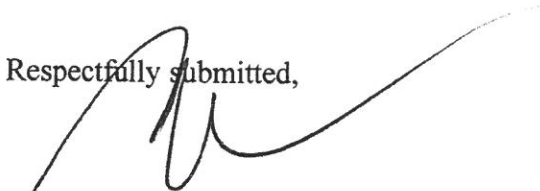
Respectfully, the Code section is unclear, ambiguous and poorly written. For example, the potential of one high school age student should not trigger unnecessary excess disturbance to the property. The intent, I submit was to provide that a school with primarily elementary and junior high students meet the requirement of a smaller number of spaces. Conversely, a school with high school age students or higher (for example a vocational school), would require the greater number of parking spaces because of the reality that students will drive to school.

My client reserves the right to seek a favorable and more practical interpretation on the issue. However, if the interpretation fails, my client will comply with the greater number of parking spaces.

CONCLUSION

In conclusion, this office respectfully submits this letter and accompanying exhibits to the Board for review at their next meeting scheduled for Wednesday, December 11, 2019 at 7:00 PM. Upon receipt of this letter, please confirm that this matter will be added to the Agenda for the above referenced date.

Respectfully submitted,



William A. Shilling, Jr., Esq.
Attorney for Longview School

CC: Mark Jacobs, Longview School
Peder Scott, Project Engineer

Exhibit 1

176

Town Hall
 Mahopac, New York
 September 21, 1982
 7:30 P. M.

A scheduled meeting of the Town Board of the Town of Carmel was called to order, by Supervisor Barrett, at 8:00 P. M.

The members of the Board present were: Supervisor N. Dean Barrett, Councilwoman Doris Stahl and Councilmen William Bell and Alfred Benza. Absent: Councilman Charles Terhune.

ROAD DEDICATION - SCOUT HILL & HILLSIDE VIEW RDS. R350-82

The following resolution offered by Councilman Benza, seconded by Supervisor Barrett:

WHEREAS, pursuant to Highway Law, highways known as Scout Hill Road and Hillside View Road, as shown on filed map No. 530 and 531 as filed in the office of the Clerk of the County of Putnam on October 17, 1949 and November 19, 1949 was offered for dedication; and

WHEREAS, said roads have been approved by the Superintendent of Highways,

NOW, THEREFORE, BE IT RESOLVED that the dedication of Scout Hill Road and Hillside View Road, as shown on filed maps 530 and 531, be approved.

A roll call vote of the Board as follows:

Councilman Terhune	Absent
Councilman Bell	Aye
Councilwoman Stahl	Aye
Councilman Benza	Aye
Supervisor Barrett	Aye

All members of the Board present voting Aye, the resolution was declared adopted.

FUNDS TRANSFER # 7 R 351-82

A resolution offered by Councilwoman Stahl, seconded by Councilman Bell, with all members of the Board present voting Aye, that the following transfer of funds be made

<u>FROM</u>	<u>TO</u>
100/2/2115.00	100/1220.20
Planning Fees \$ 25,928.85	Sup. Equip. \$ 450.00
	100/1110.40
	Just. Exp. 1,405.00
	100/1110.12
	Just. C. T. 1,000.00
	100/128.02
	Ass. Dev. Bd. 500.35
	100/3020.40
	Board. Exp. 600.00
	100/3091.11
	E. C. B. C. T. 250.00
	100/3010.40
	Training Exp. 25.00
	100/3024.10
	E. C. B. Exp. 100.00
	100/3040.40
	Gen. Bd. Exp. 1,250.00
	100/3240.10
	Bus. Exp. 500.00

-----X
In the Matter of Laying Out of Certain :
Highways as Public Highways in the Town of :
Carmel, Putnam County, New York, as shown :
on Subdivision Map entitled "Map of Scout :
Hill Road, Map #531, filed in the Office of :
the Clerk of the County of Putnam, October 19, :
1949, commonly known as :

CONSENT OF TOWN BOARD

HILLSIDE VIEW ROAD and :
SCOUT HILL ROAD :

-----X
UPON READING AND FILING the application of the owners of property
fronting on certain highways known as HILLSIDE VIEW ROAD and SCOUT HILL ROAD,
more particularly shown and designated on Subdivision Map entitled "Map of
Scout Hill Road, Map #531, filed in the Office of the Clerk of the County of
Putnam on October 19, 1949 and the rededication executed by said owners, re-
dedicating the lands lying within the beds of said highways to the Town of
Carmel for town highways as shown on said maps,

AND said highways having been conditionally accepted by the Town
Board by Consent dated March 10, 1971, (recorded in the Putnam County Clerk's
Office in Liber 7 at Page 281), as Town Highways for snow removal and maintenance
only and not for capital improvement,

AND, said owners having requested the removal of said conditions.

NOW, THEREFORE, IT IS RESOLVED, that consent be and the same hereby
is given that the Town Superintendent of Highways of the Town of Carmel, make an
unconditional order laying out the aforesaid town highways, the said town

LIBER

8 525

highways to consist of the lands described in the said dedication and release and to extend as delineated upon the map thereto annexed, all in accordance with the provisions of Section 171 of the Highway Law of the State of New York.

Dated: Mahopac, New York
September 21, 1982.

TOWN BOARD OF THE TOWN OF CARMEL
COUNTY OF PUTNAM, NEW YORK

By


N. Dean Barrett, Supervisor

By


Doris Stahl, Councilwoman

By

A BSENT
Charles Terhune, Councilman

By


William Bell, Councilman

By


Al Benza, Councilman

ANNET CROOKSTON

Town Clerk

Town of Carmel

TOWN HALL
MAHOPAC, NEW YORK 10541

AREA CODE 914
TEL. 628-1500

R E S O L U T I O N

The following resolution offered by Councilman Benza, seconded by Supervisor Barrett:

WHEREAS, pursuant to Highway Laws, highways known as Scout Hill Road and Hillside View Road, as shown on filed map No. 530 as filed in the office of the Clerk of the County of Putnam on October 17, 1949 and November 19, 1949, was offered for dedication; and

WHEREAS, said roads have been approved by the Superintendent of Highways;

NOW, THEREFORE, BE IT RESOLVED that the dedication of Scout Hill Road and Hillside View Road, as shown on filed maps 530 and 531, be approved.

A roll call vote of the Board as follows:

Councilman Terhune	Absent
Councilman Bell	Aye
Councilwoman Stahl	Aye
Councilman Benza	Aye
Supervisor Barrett	Aye

All members of the Board present voting Aye, the resolution was declared adopted.

I, Anne T. Crookston, Town Clerk of the Town of Carmel, County of Putnam, State of New York do hereby certify that the foregoing is a true excerpt from the minutes of a meeting of the Town Board of said Town duly held on the 21st day of September, 1982; and of the whole thereof.

Dated: October 18, 1982
Mahopac, New York

Anne T. Crookston, Town Clerk

Exhibit 2

Exhibit 3

William A. Shilling, Jr.

From: terry@terrybergendorffcollins.com
Sent: Thursday, October 31, 2019 3:03 PM
To: William A. Shilling, Jr.
Subject: Scout Hill Road

Bill,
I just tried calling you but got no answer at the office. Scout Hill Road is shown in its entirety on Filed Map # 531. Long View School property directly abuts Scout Hill Road at the northwestern end of the road. Let me know if you need anything else.

Terry

Thank you,
Terry Bergendorff Collins

PLEASE NOTE NEW EMAIL ADDRESS - terry@terrybergendorffcollins.com

Terry Bergendorff Collins Land Surveying
52 Starr Ridge Road
Brewster, New York 10509
Tel (845) 279-4261
Fax (845) 279-6838

NOTICE: This email message and all attachments transmitted with it may contain legally privileged and confidential information intended solely for the use of the addressee. If the reader of this message is not the intended recipient, you are hereby notified that any reading, dissemination, distribution, copying or other use of this message or its attachments is strictly prohibited. If you have received this message in error, please notify the sender immediately by telephone (845-279-4261) or by email (terry@terrybergendorffcollins.com) and then delete this message and all copies and backups thereof. Thank you.

Exhibit 4



THOROUGHBRED TITLE
A ROULIHAN LAWRENCE AFFILIATE

Craig Paepre
Town of Carmel Planning Board
60 McAlpin Avenue
Mahopac, New York 10541

Re: Road Frontage 110 Scout Hill Rd. Mahopac, NY 10541

LETTER OF INTENT BY TITLE INSURER- Thoroughbred Title Services, LLC: Title No. TTS-33438

November 11, 2019

Dear Mr. Paepre:

My name is Paul Denbaum and I am writing regarding the above referenced file. Thoroughbred Title Services has been retained to issue title insurance and to provide additional ancillary services relating to the transfer of 110 Scout Hill Rd., Mahopac (the "Property").

Upon review of the last deed of record in the Putnam County Clerk's Office conveying this property and a survey of the property conducted by Terry Bergendorff Collins, it is our opinion that the Property does in fact have road frontage on Scout Hill Road, specifically 52.74 feet along the southerly boundary of the property. If need anything further or have any question or concerns, please feel free to reach out to me at my office.

Very truly yours,


Paul E. Denbaum, Esq.

To the best of our knowledge the information provided is accurate. This opinion is based information compiled from public records made available through various town and county offices, agencies and departments. No warranties, promises and or representations of any kind, expressed or implied, are given as to the opinion or information provided in this email. Thoroughbred Title Services, LLC assumes no liability whatsoever, regardless of the nature of the act, error, omission or failure of Thoroughbred Title Services, LLC in connection with the searches, conclusions, or opinions contained herein. In addition, Thoroughbred Title Services, LLC shall not be liable for any loss or damage of whatever nature, direct or indirect which may arise as a result of your use of this information.

Exhibit 5

Town of Carmel, NY
Tuesday, December 3, 2019

Chapter 156. Zoning

Article II. General Regulations

§ 156-10. Buildings, uses and lots.

- A. Lot for every building. Every building shall be located on a lot and, except for nonresidential buildings in districts where such uses are permitted, there shall be not more than one main building and its accessory buildings on one lot.
- B. Yard and open space for every building. No yard or other open space required for the purpose of complying with the provisions of this chapter shall be considered as providing a required open space or yard for any other building on the same or any other lot.
- C. Subdivision of a lot. No lot shall be formed from part of a lot already occupied by a building unless such building and all yards and open spaces connected therewith and the remaining lot comply with all requirements prescribed by this chapter for the district in which said lot is located. No permit shall be issued for the construction of a building on any new lot thus created, unless such building and lot comply with all the provisions of this chapter, the Subdivision Ordinance^[1] and all other applicable rules, regulations and codes of the Town of Carmel and the State of New York.

[1] *Editor's Note: See Ch. 131, Subdivision of Land.*

- D. Irregularly shaped lots. Where a question exists as to the proper application of any of the requirements of this chapter to a particular lot or parcel because of the peculiar or irregular shape of the lot or parcel, the Board of Appeals shall determine how the requirements of this chapter shall be applied.
- E. Lots under water or subject to flooding. No more than 10% of the minimum area requirement of a lot may be satisfied by land which is under water or subject to periodic flooding.
- F. Required street frontage. No building permit shall be issued for any structure unless the lot upon which that structure is to be built has a frontage of at least 100 feet on a Town, county or state street or highway, which street or highway shall provide safe access, as provided in Town Law, § 280-a. At culs-de-sac, turnarounds or similar cases, a fifty-foot frontage is permissible.
- G. (Reserved)^[2]
- [2] *Editor's Note: Former § 63-8A(8), New buildings on lots less than the minimum area, as amended 9-22-1982, was deleted 3-20-2002 by L.L. No. 1-2002.*
- H. Site plan approval. Site plan approval by the Planning Board is required for all uses of land except detached one-family dwellings and detached two-family dwellings and their permitted accessory uses, except as otherwise provided herein.
- I. Existing lots with existing dwellings in single ownership, according to the records of the Building Department, on the date this local law becomes effective, that either want to construct additions or add permitted accessory structures shall meet the following minimum requirements based on lot area:
[Amended 7-2-2008 by L.L. No. 2-2008]

Principal Use

Accessory Use

Exhibit 6

*Town of Carmel, NY
Tuesday, December 3, 2019*

Chapter 156. Zoning

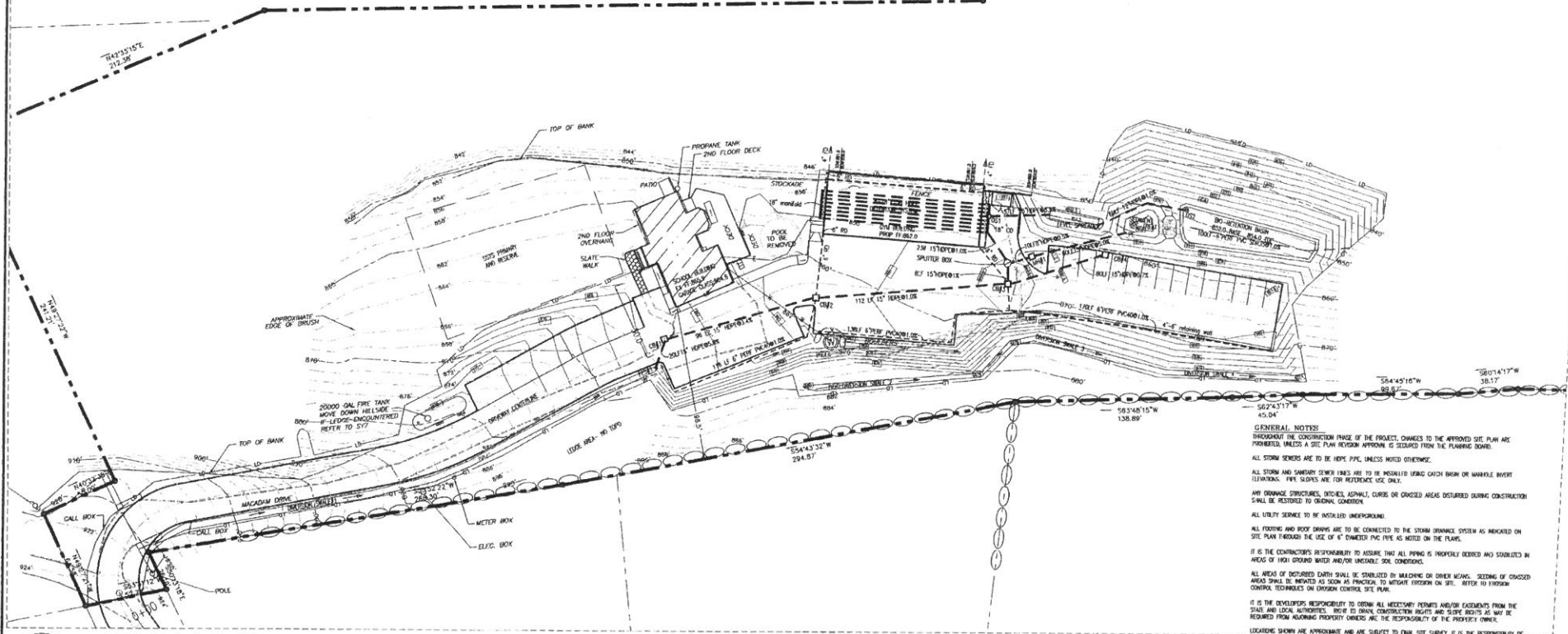
Article III. District Regulations

§ 156-23. Educational institutions.

Private schools and other institutions of higher learning shall be permitted as conditional uses, provided that:

- A. Said school or institution shall be a nonprofit organization within the meaning of the Education Law of New York State.
- B. Such school shall have, as its prime purpose, the general education of students in the arts and sciences and shall be licensed by the State Department of Education if a license for its operation is required by law.
- C. No school permitted hereunder shall be a trade school, except to the extent that instruction in a particular trade or trades may be a part of the general education curriculum of the school in the arts and sciences. No correctional, health or any other institution not primarily concerned with the general education of students in the arts and sciences shall be permitted.
- D. The minimum lot area shall be five acres, plus one acre for each 100 pupils.
- E. A minimum of 10 parking spaces, plus three spaces per classroom shall be required for those schools with pupils of elementary and junior high school age. Schools with pupils of at least high school age shall provide at least 20 parking spaces, plus five per classroom.

NYP CONSULTANTS
 HG+21'31" E
 460.07'



GENERAL NOTES:
 THROUGHOUT THE CONSTRUCTION PHASE OF THE PROJECT, CHANGES TO THE APPROVED SITE PLAN ARE PROHIBITED, UNLESS A SITE PLAN REVISION APPROVAL IS SECURED FROM THE PLANNING BOARD.
 ALL STORM SEWERS ARE TO BE HDPE PIPE, UNLESS NOTED OTHERWISE.
 ALL STORM AND SANITARY SEWER LINES ARE TO BE INSTALLED USING CATCH BASIN OR MANHOLE INVERT ELEVATIONS. PIPE SLOPES ARE FOR REFERENCE USE ONLY.
 ANY EXISTING STRUCTURES, UTILITIES, SIGNALS, CURBS OR OTHER AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO ORIGINAL CONDITION.
 ALL UTILITY SERVICE TO BE INSTALLED UNDERGROUND.
 ALL FOOTING AND ROOF DRAINS ARE TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM AS INDICATED ON SITE PLAN THROUGH THE USE OF 6" DIAMETER PVC PIPE AS NOTED ON THE PLANS.
 IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT ALL PIPING IS PROPERLY DEEDED AND STABILIZED IN AREAS OF HIGH GROUND WATER AND/OR UNSTABLE SOIL CONDITIONS.
 ALL AREAS OF DISTURBED EARTH SHALL BE STABILIZED BY MULCHING OR OTHER MEANS. SEEDING OF CRUSHED ANDER SHALL BE INSTALLED AS SOON AS PRACTICAL TO PREVENT EROSION ON SITE. REFER TO EROSION CONTROL TECHNIQUES ON EROSION CONTROL SITE PLAN.
 IT IS THE DEVELOPER'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND/OR EXEMPTIONS FROM THE STATE AND LOCAL AUTHORITIES. REFER TO DRAINAGE CONSTRUCTION RIGHTS AND SLOPE RIGHTS AS MAY BE REQUIRED FROM ADJOINING PROPERTY OWNERS AND THE RESPONSIBILITY OF THE PROPERTY OWNER.
 LOCATIONS SHOWN ARE APPROXIMATE AND ARE SUBJECT TO FINAL SITE SURVEY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL ELEVATIONS, PROPERTY LINES, LOCATION OF UTILITIES AND SITE CONDITIONS IN THE FIELD. IF ANY DEVIATION OR ALTERATION IS REQUIRED FOR THE COMPLETION OF THIS PROJECT, THE CONTRACTOR SHALL CONTACT P.W. SCOTT ENGINEERING & ARCHITECTURE, P.C. SO THAT REVISIONS MAY BE COMPLETED.
 ALL CURBS WITHIN 10' OF THE TRAVEL PATH TO COMPLY WITH ADA CURB CUTTING REQUIREMENTS.
 ALL EXISTING PAVEMENT ON AND OFF-SITE MARKETS MUST BE VERIFIED WITH AN A-2 SURVEY PRIOR TO ANY SITE ACTIVITIES.
 ALL PIPING SHALL BE INSTALLED TO CONFORM WITH HOBAS LOADS.
 FIRE TANK PLACEMENT REQUIRES FIRE DEPARTMENT APPROVAL.

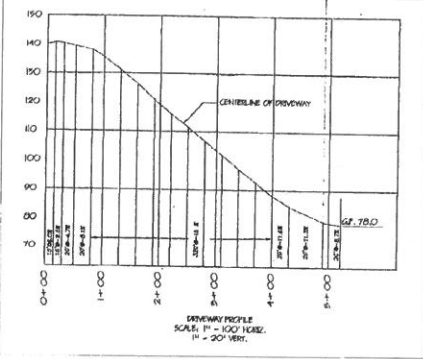
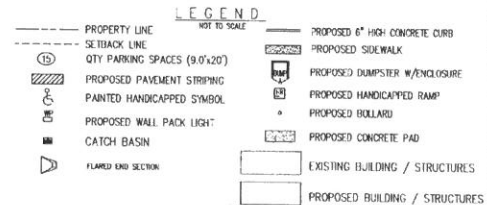
STORM WATER MANAGEMENT SITE PLAN



USGS TOPOGRAPHY SHOWN - SEE WAIVER REQUEST

STRUCTURE	RAM	INV IN	INV OUT	PIPE SLOPE
CB1	805.0	803.0	803.0	1.0% TO CB2
CB2	801.5	808.7	808.5	1.0% TO CB3
CB3	800.0	807.5	807.5	1.0% TO SPLITTER
CB4	800.5	803.0	803.0	0.7% TO CB3
FES #1			854.0	INTO BIO-RETENTION FORNBIAY
FES #2			854.0	INTO BIO-RETENTION FORNBIAY
MHI TRAP	801.3	807.35	807.0	3.0% TO FES #1
SPLITTER BOX #1	800.5		807.45	
15" PIPE IN			807.3	1.0% TO DETENTION
15" PIPE OUT			807.4	0.5% TO MHI
WEIR ELEVATION			809.6	3" WEIR @ 808.5
DETENTION PIPES		807.0	807.0	1" HIGH @ 807.0
DETENTION OSF1	802.0	807.0	804.0	5.5% TO LEVEL SPREADER
BIO-RETENTION SED. TRAP	854.0	854.0		GRAVEL WEIR
BIO-RETENTION OSF2		GRAVEL WEIR	STAND PIPE @ 853.0	1.0% TO LEVEL SPREADER
			PIPE OUT @ 852.0	
LEVEL SPREADER	832.5	831.5	N/A	

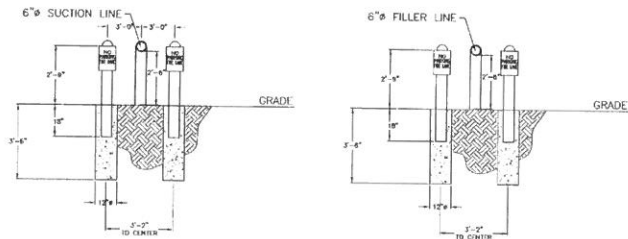
CALL BEFORE YOU DIG
 CALL 1-800-922-4455
 PRIOR TO ANY DIGGATIONS THAT TAKE PLACE ON THE SITE, THE LOCATION OF ALL UTILITIES ON THE PROPERTY, SERVICE LINES AND PUBLIC UTILITIES ON THE STREET MUST BE DEFINED.



DRIVEWAY PROFILE FROM ORIGINAL SURVEY

NOTE: DO NOT SCALE DRAWINGS
 ENGINEERING SUPERVISOR SCALE
 THESE DRAWINGS ARE THE SOLE PROPERTY OF P.W. SCOTT ENGINEERING AND ARCHITECTURE, P.C. AND WILL NOT BE REPRODUCED BY ANY MEANS AND BE LOANED TO ANY OTHER TRACKS/PERSONS WITHOUT THE EXPRESS PERMISSION OF P.W. SCOTT ENGINEERING AND ARCHITECTURE, P.C.

P.W. SCOTT ENGINEERING & ARCHITECTURE, P.C. 3871 ROUTE 6 BREWSTER, NY 10509 845-278-2110	REVISION	DATE	NATURE OF REVISION	Proj. Title	LONGVIEW SCHOOL	110 SCOUT HILL ROAD, CARMEL, NY	Dep. No.	
	A	6/24/19	ADDED UNDERGROUND DETENTION	Project Title	18-103	Drawn by	P.W.S.	
	B	10/4/19	PARKING INCREASED TO 55 SPACES	REVISION PER FIRE DEPARTMENT	Date	05/20/19	Scale	



SUCTION LINE VIEW

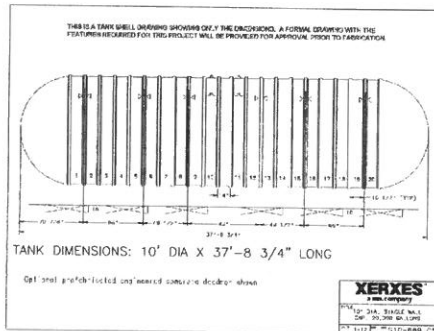
N.T.S.

OFFSET FROM CURB: 2.0 FEET
FACE SUCTION COUPLING

REFILL LINE VIEW

N.T.S.

OFFSET FROM CURB: 2.0 FEET
FACE REFILL COUPLING



TANK DIMENSIONS: 10' DIA X 37'-8 3/4" LONG

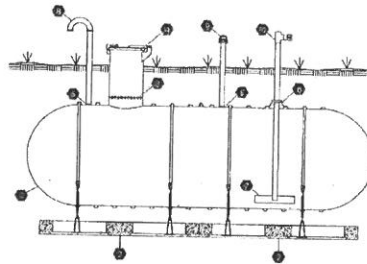
Get trial price/locked and sealed concrete deadman shown



FIBERGLASS FIRE TANK

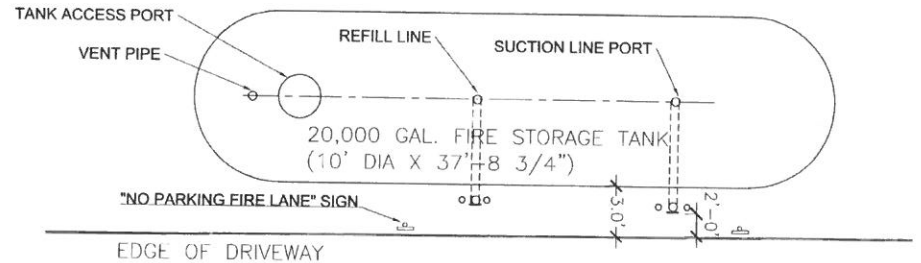
SCALE: 1" = 5.0'

NOTE:
THE MANUFACTURER CAN SUPPLY BETWEEN A 20,000 GALLON TANK BASED UPON THE STANDARD FORMS AVAILABLE. THE TANK SHALL REQUIRE THE CONCRETE DEADMAN AS NOTED IN THE DETAIL—DESIGNED BY THE XERXES COMPANY.



NO.	DESCRIPTION	NO.	DESCRIPTION
1	ZCL XERXES SINGLE-WALL FRP TANK	5	6" NPT SERVICE FITTING
2	ZCL XERXES PRECAST DEADMAN SYSTEM W/ ANCHOR STRAP AND TURNBUCKLE ASSEMBLY	6	8" FRP FLANGED & GUSSETED DOWN PIPE
3	30" I.D. ACCESS OPENING WITH ALIGNMENT RING	7	FRP ANTI-VORTEX PLATE
4	30" FRP RISER PIPE WITH HINGED & LOCKABLE TOP & GEL COAT	8	8" VENT PIPE WITH BIBO SCREEN
		9	8" FILL W/CAM LOCK CONNECTION
		10	8" SUCTION WITH FIRE DEPARTMENT CONNECTION

FIBERGLASS CONNECTION SCHEMATICS NTS



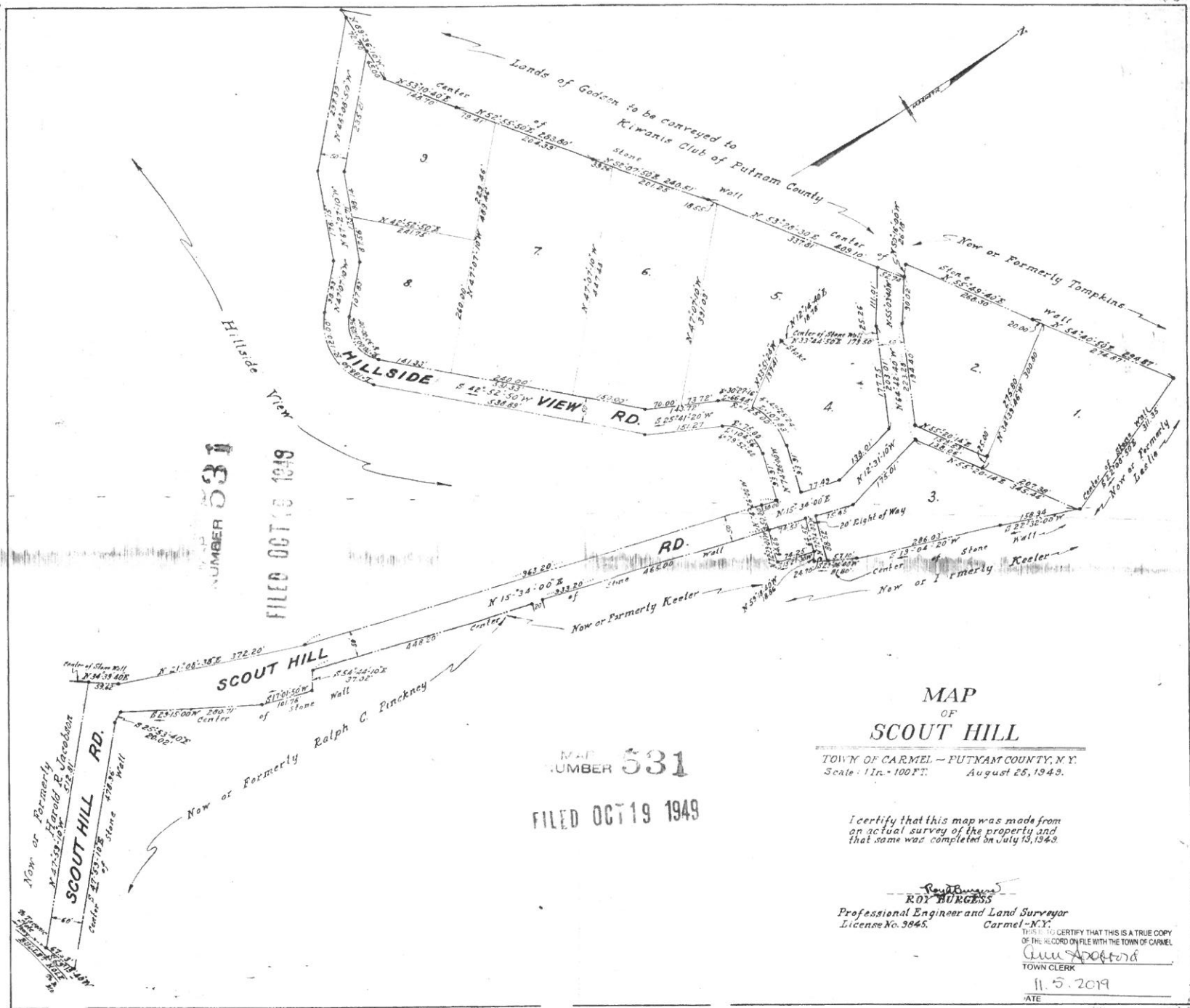
FIRE TANK LINE LAYOUT: NTS

Fire Tank Notes

1. Fiberglass is provided by the Xerxes Company and is provided for the storage of water for fire suppression purposes.
2. The Xerxes Company is to design the tank with adequate ballast to prevent flotation due to high water table at the site.
3. Site Contractor shall coordinate with local Fire Department for fill and suction couplings and placement of the appropriate service lines.
4. Tank location shall be properly backfilled per manufacturer's specifications and protected from surface loads during construction activities.
5. Prior to placement of the tank contact Town of Patterson Building Inspector for inspection of the excavated site and placement of the concrete ballast and strapping.
6. Tank provided with means of egress from the tank.
7. OSHA confined space access applies to tank entry.
8. The installation is not complete until the tank is accepted by the appropriate Fire Department Representative.
9. Twice per year, access is required to inspect the suction/filler integrity and the removal of any debris. Fire Department to inspect with Client Representative.

20,000 GAL. FIBERGLASS FIRE TANK

P. W. SCOTT ENGINEERING & ARCHITECTURE, P.C. 3871 ROUTE 6 BREWSTER, NY 10509 845-278-2110	Revision		Proj. No. FIBERGLASS FIRE STORAGE TANK Project File LONGVIEW SCHOOL P.W. No. 18-225 Date 11/14/2019		Drawn by P.W.S. Scale N.T.S.		
	No.	Date					Description
	B	11/14/19					INCREASED TO 20,000 GAL.



NUMBER 531
 FILED OCT 19 1949

MAP NUMBER 531
 FILED OCT 19 1949

MAP OF SCOUT HILL

TOWNSHIP OF CARMEL - PUTNAM COUNTY, N. Y.
 Scale: 1 in. = 100 FT. August 25, 1949.

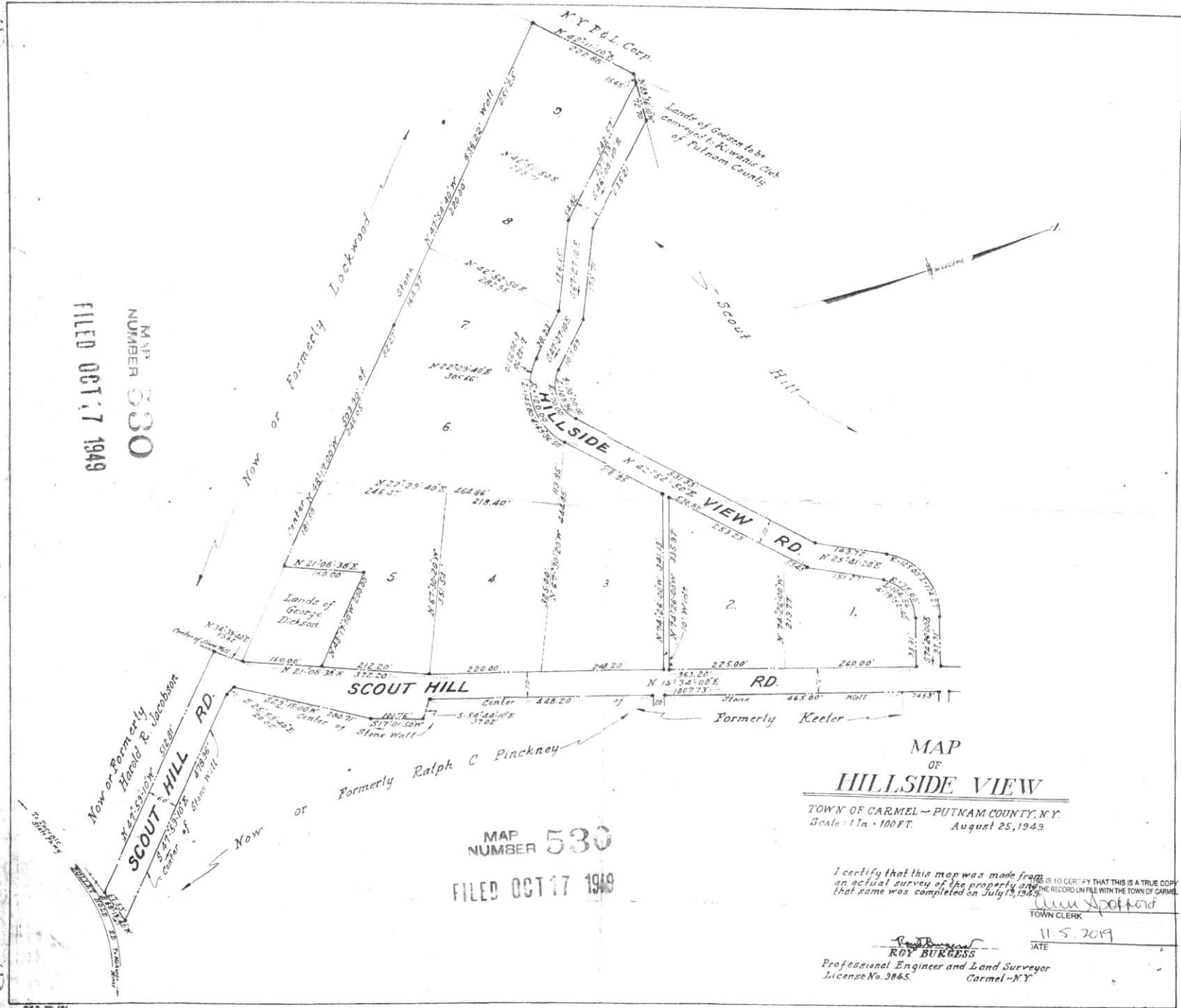
I certify that this map was made from an actual survey of the property and that same was completed on July 15, 1949.

Roy Burgess
 ROY BURGESS
 Professional Engineer and Land Surveyor
 License No. 3845. Carmel - N.Y.

THIS IS TO CERTIFY THAT THIS IS A TRUE COPY OF THE RECORD ON FILE WITH THE TOWN OF CARMEL
Ann Adolfsen
 TOWN CLERK

11.5.2019
 DATE

MAP
NUMBER 530
FILED OCT 17 1949



MAP
OF
HILLSIDE VIEW

TOWN OF CARMEL - PUTNAM COUNTY, N.Y.
Scale: 1 in. = 100 FT. August 25, 1949

MAP
NUMBER 530
FILED OCT 17 1949

I certify that this map was made from an actual survey of the property and that same was completed on July 13, 1949.

Roy Burgess
ROY BURGESS
Professional Engineer and Land Surveyor
License No. 3845. Carmel - N.Y.

Wm Spafford
TOWN CLERK
DATE 11-5-2019



November 27, 2019

Craig Paeprer, Chairman and Members of the Planning Board
Town of Carmel
60 McAlpin Avenue
Mahopac, New York 10541

Re: Viscovich Site Plan
Rt 6N
TM # 75.42-1-6

Dear Mr. Paeprer & Members of the Board,

Please note the following with regards to Mr. Franzetti's memo dated July 26, 2019.

1. None of the improvements go beyond the property line. Therefore, no easements are required.
2. A Legend has been added.
3. A separate survey showing the existing conditions has been submitted. The Site Plan shows both existing improvements to remain and improvements that are being proposed.
4. A Town of Carmel Flood Plain Application is attached.
5. When referred to, we will apply to the Carmel ECB.
6. There is an NYSDOT drainage easement. Attached is a letter from the NYS DOT & a Badey & Watson L.S. description which refers to the Easement.
7. No new electric is being proposed. The existing lighting, all down lights, will remain.
8. A sequence of construction has been provided.
9. No parking is proposed. When referred to, we will apply to the Carmel ZBA.
10. Erosion and sediment control measures are shown on the Site Plan.
11. No parking is proposed. As stated in 9 above a variance is required.
12. The existing fence will remain along Route 6N. New fences along side yards.

If you have any questions, please do not hesitate to contact me.

Very truly yours,

A handwritten signature in black ink that reads "Joel Greenberg".

Joel Greenberg, AIA, NACRB

Two Muscote Road North
Mahopac, New York 10541
P: (845) 628-6613 F: (845) 628-2807
Email: joel.greenberg@arch-visions.com
www.arch-visions.com





State of New York
Department of Transportation
Albany, N.Y. 12232
<http://www.dot.state.ny.us>

Astrid Glynn
Commissioner

Eliot Spitzer
Governor

November 5, 2007

Mario Viscovich
169 Shear Hill Rd.
Mahopac, New York 10541

RE: Request for permission to install deck

Dear Mr. Viscovich:

After reviewing your deck/boat slip plan sheet and associated documents, the Department recognizes the right you have to utilize this property: on which a permanent easement is taken by the State, to your benefit. However, it is the Department's legal right to maintain this drainage facility and reconstruct it when it is no longer serviceable. Additionally, your use of this property and activities thereon shall in no way interfere with the purpose on which the permanent easement (Map#73 Parcel # 83) was purchased for.

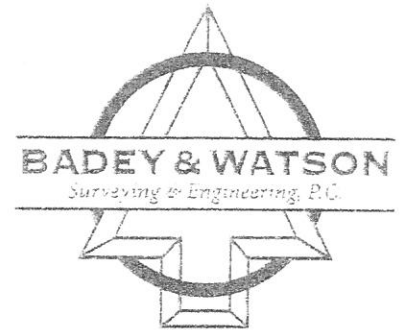
Sincerely,

A handwritten signature in black ink, appearing to read "Albert R DeNigro Jr.", written in a cursive style.

Albert R DeNigro Jr.
NYSDOT Permit Engineer
R8-3, Putnam and So. Dutchess Co.
(845) 878-6363

File No. 61-371
W.O. No. 24731

Doc. No. U:\61-371\Descriptions\MV09MY19BD.docx
Created: May 9, 2019
Figure No. 69
Author: SRM



Description of Property
prepared for
Mario Viscovich and Adrian M. Viscovich
Carmel Tax Map 75.42-1-69

ALL that certain parcel of land situate in the Town of Carmel, County of Putnam and State of New York that was heretofore conveyed from The County of Putnam to Mario Viscovich and Adrian M. Viscovich by that certain deed dated September 30, 2005 and recorded in the Putnam County Clerk's Liber 1721 of deeds at page 409 that is described as follows:

BEGINNING at the point in the easterly line of New York State Route 6-N, S.H. 9274A, also known as South Lake Boulevard, which point is distant 25.00 feet northerly as measured along said easterly line from the division line between the lands formerly of Strull, now or formerly of Breiman on the north and the lands formerly of Strull, now or formerly Gurewitsch on the south. **THENCE** from said point of beginning along a continuation of the easterly line of New York State Route 6-N

N 10°33'25" W 24.89 feet

to a point and the lands formerly of Strull, now or formerly of Maiuzzo.
Thence along said lands

N 80°49'25" E 16.81 feet

to a point in the former shore line of Lake Mahopac. Thence along the former shore line of Lake Mahopac

S 10°10'20" E 24.94 feet

to a point and the lands now or formerly of Breiman. Thence along said lands

S 81°00'40" W 16.64 feet

to the point or place of beginning, containing 417 square feet, more or less.

SUBJECT TO a Permanent Easement for Drainage Pipe Line for the Osceola Lake-Mahopac Lake, Part 2, as shown on Map No. 73, Parcel No. 83 on file with the NYS Department of Transportation.

Prepared by
BADEY & WATSON,
Surveying & Engineering, P.C.
3063 Route 9
Cold Spring, NY 10516
(845) 265-9217



Richard J. Franzetti, P.E.
Town Engineer



(845) 628-1500
(845) 628-2087
Fax (845) 628-7085

Office of the Town Engineer
60 McAlpin Avenue
Mahopac, New York 10541

Town of Carmel Floodplain Development Permit Application
Per Town Code Chapter 86

Date of Application: 11/26/19

1. Name and Address of Applicant: MARIO VISCOVICH

169 SHEAR HILL RD, MAHOPAC, N.Y. 10541

2. Name and Address of Property Owner: MARIO VISCOVICH

SAME AS ABOVE

3. Location of Project: ROUTE 6N

MAHOPAC, N.Y. 10541

4. Tax Map # 75.42-1-6

5. Record Owner: MARIO VISCOVICH

6. Address: SAME AS ABOVE

7. Phone Number: 845-208-3341

8. Federal Emergency Management Agency Flood Insurance Rate Map Panel Number:

36079C0116E 36079C0117E 76079C0118E 36079C0119E

36079C0133E 35968C0134E 36079C0140E 36079C0141E

36079C0142E 36079C0143E 36079C0144E 36079C0206E

36079C0207E 36079C0208E 36079C0209E 36079C0226E

36079C0227E 3607960231E

Town of Carmel Floodplain Development Permit Application
Per Town Code Chapter 86

9. Project Description: DECKS, DOCK & SHED

10. Type of Project: New

Redevelopment

Private/Residential _____ Institutional _____ Commercial/Retail
_____ Realty Subdivision _____ Office _____ Other (Specify) _____

11. Engineers Report:

Included

Not Included

Technical Analysis:

Required By Administrator

Not Required by Administrator

Provided

Not Provided

12. Has the project received Planning Board approval? YES

- a. Date of approval PENDING
- b. Date of approval expiration _____

13. Has the project received Town of Carmel ECB approval? NO

- a. Date of approval PENDING REFERRAL FROM
- b. Date of approval expiration THE PLANNING BOARD

**Town of Carmel Floodplain Development Permit Application
Per Town Code Chapter 86**

14. Has the project received NYSDEC approval? NO

- a. Date of approval _____
- b. Date of approval expiration _____

15. Has the project received NYCDEP approval? N/A

- a. Date of approval _____
- b. Date of approval expiration _____

16. FEE:

Base Application Fee of \$250.00

Included Not Included

The applicant shall be responsible for reimbursing the Town of Carmel for any additional costs necessary for review, inspection and approval of this project.

DEPOSIT Included Not Included

Amount (Not to Exceed \$500.00): _____

17. Plans must be submitted showing at a minimum the following:

- a. Nature of proposed activity; Location of proposed activity;
- b. Dimension of activity;
- c. Existing and proposed elevations in relation to sea level;
- d. Proposed elevation (in relation to mean sea level) of the lowest floor (including basement or cellar) of any new or substantially improved structure located in Zone A1- A30, AE, AH or Zone A if base flood elevation data are available;
- e. Proposed elevation, in relation to mean sea level, to which any new or substantially improved nonresidential structure, will be floodproofed. The permittee shall submit to the local administrator the as-built floodproofed elevation, certified by a professional engineer.
- f. Location of Existing and Proposed Structures;
- g. Location and amount of proposed cutting or filling;

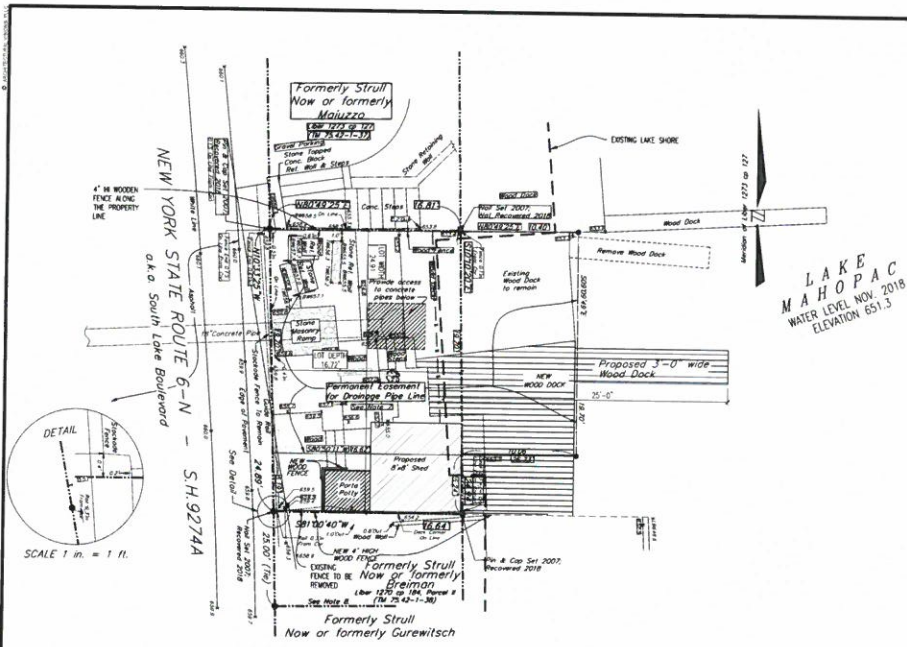
Town of Carmel Floodplain Development Permit Application
Per Town Code Chapter 86

- h. Location and amount of materials being stored on site;
- i. Location of existing and proposed Drainage Facilities;
- j. Any non-residential flood proofing;
- k. Any contemplated utility flood proofing; and
- l. Any altered or relocated watercourses
- m. Erosion Control Measures

All applicants should refer the Chapter 86 of the Carmel Town Code for further information.

Signature of Applicant:  Date: 11/26/19

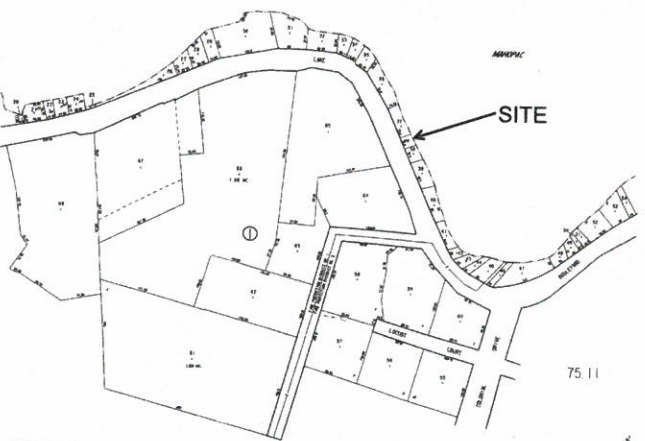
Owner Signature:  Date: 11/26/19



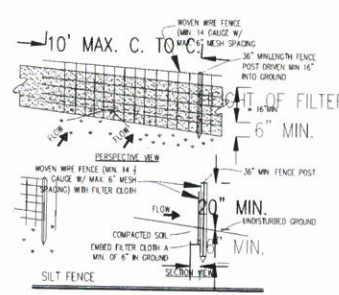
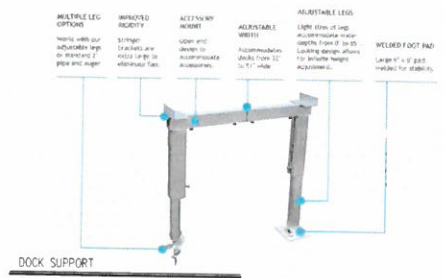
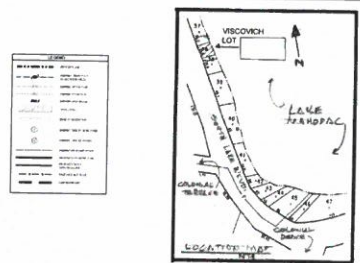
1 SITE PLAN BASED ON A SURVEY BY RADY & WATSON DATED 9/29/2019

LIST OF ADJOINERS:

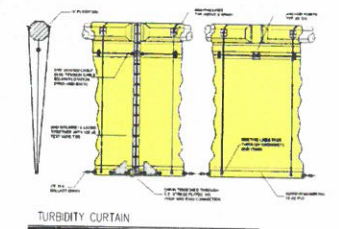
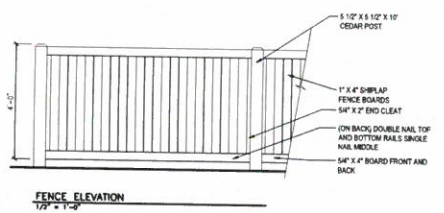
75.42-1-66 Yank Ryan 1 Colonial Dr Mahopac, NY 10541	75.42-1-43 Kenneth Roman 7 Colonial Ter Mahopac, NY 10541	75.42-1-44 Christopher Sobczak 786 South Lake Blvd Mahopac, NY 10541
75.42-1-67 Larisa Holaday Capone PO BOX 744 Mahopac, NY 10541	75.42-1-44 Raymond Capone 704 South Lake Blvd Mahopac, NY 10541	75.42-1-49 Stephen Kugel 778 South Lake Blvd Mahopac, NY 10541
75.42-1-31 Michael C Mallina PO BOX 846 Caponia, TN 37024	75.42-1-37 Larisa Holaday Capone PO BOX 744 Mahopac, NY 10541	75.42-1-33 Loretta A. Dieneri PO BOX 138 Mahopac, NY 10541
75.42-1-34 Amanda Nelson 177 Tinkler Square Rd Mahopac, NY 10541	75.42-1-36 Christopher Sobczak 746 South Lake Blvd Mahopac, NY 10541	75.42-1-37 Michael A. Maluzzo 221 West St Mahopac, NY 10541
75.42-1-38 Patricia Stronazzi Box 262 Mahopac, NY 10541	75.42-1-38 Kenneth E. Brennan 7 Colonial Ter Mahopac, NY 10541	75.42-1-34 Kenneth Sobczak 34 Hydepark Rd Mahopac, NY 10541
75.42-1-39 Tad Swartz 318 Park Ave New York, NY 10022	75.42-1-40 Rose M. Brennan 4 Summer Pl Somers, NY 10589	75.42-1-40 Rose Russo 4 Summer Pl Somers, NY 10589
75.42-1-41 Rose M. Brennan 4 Summer Pl Somers, NY 10589	75.42-1-41 Rose M. Brennan 4 Summer Pl Somers, NY 10589	75.42-1-41 Loretta Dieneri 146 Wood Ave Hawthorne, NY 10532
75.42-1-44 James DiStasio 11 Colonial Ter Mahopac, NY 10541	75.42-1-44 Mark Sparaco 4811 Crown Lake Rd Carmel, NY 10512	44-26-1-8 State Of New York 80 Glenville Ave Carmel, NY 10512
75.42-1-41 A. Linton Alan P. Marino Kathie Shapiro Mahopac, NY 10541	75.42-1-41 Helen Vranovich 109 Stone Hill Rd Mahopac, NY 10541	75.42-1-41 Amanda DiStasio 177 Tinkler Square Rd Mahopac, NY 10541
75.42-1-43 Amanda Brennan PO BOX 246 Mahopac, NY 10541	75.42-1-43 Nancy Ch. Beckell 4 Elm Ct Mahopac, NY 10541	



2 MAP OF ADJOINERS



- CONSTRUCTION SPECIFICATIONS:
1. MOVEN WIRE FENCE TO BE FASTENED REGULARLY TO FENCE WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "1" OR "1 1/2" TYPE OR HARDWOOD.
 2. FILTER CLOTH TO BE FASTENED SECURELY TO MOVEN WIRE FENCE WITH WOVEN WIRE. IF MAXIMUM MESH OPENING.
 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER-X, MARYBERRY, STABURGA, TIA, OR APPROVED EQUIVALENT.
 4. PREFABRICATED UNITS SHALL BE DEGRADABLE, ENVIRONMENTAL OR APPROVED EQUIVALENT.
 5. MAINTENANCE SHALL BE PROVIDED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.



SITE DATA NOTES

PROPERTY OWNER: MARIO & ADRIAN VISCOVICH

PROPERTY LOCATION: SOUTH LAKE BLVD
MAHOPAC, NY 10541

ZONE: R-120

PROPOSED USE: DECKS, DOCKS AND SHED

TAX MAP NO.: 75 42-1-69

WATER/SEWER: NONE

DISTRICTS: MAHOPAC SCHOOL DISTRICT

ZONING COMPLIANCE			
ZONING PROVISION (156-27)	REQUIRED	PROVIDED	VARIANCE
LAKE FRONTAGE	50 FT	24.94	25.06 FT
LOT DEPTH	30 FT	16.64	13.36 FT
AREA	3000 SF	417 SF	2583 SF
PARKING SPACES	1 PS	0 PROVIDED	1 PS

- NOTES:
1. THE USE OF THIS SITE SHALL BE LIMITED TO THE OWNER AND THE IMMEDIATE FAMILY OR BONAFIDE GUESTS OF SUCH OWNER OF THE PARCEL.
 2. EXISTING 18" DIA. CONCRETE PIPE WAS INSTALLED BY NY DOT. THE EASEMENT IS INDICATED ON THE 'SITE PLAN' LETTER IS ATTACHED BY DOT.
 3. NO PARKING ON SITE.
 4. EXIST. ELECTRICAL TO REMAIN.
 5. EXIST. STOCKADE FENCE TO REMAIN, MAX. HT 4FT.

ARCHITECTURAL VISIONS LLC

2 MAUSCOTT ROAD NORTH
MAHOPAC, NY 10541
3031 GREENBROOK-MAHOPAC AVENUE
P. 845-828-0613
F. 845-828-2907
WWW.ARCHITECTURALVISIONS.COM

PROJECT: DECKS, DOCK & SHED FOR MARIO VISCOVICH

PROJECT ADDRESS: SOUTH LAKE BLVD, MAHOPAC, NY 10541
MARIO & ADRIAN VISCOVICH
100 SHEAR HILL RD
MAHOPAC, NY 10541

SITE PLAN

REVISION	DATE	DESCRIPTION
1	10/1/2019	ISSUED FOR PERMITS
2	10/1/2019	ISSUED FOR PERMITS
3	10/1/2019	ISSUED FOR PERMITS
4	10/1/2019	ISSUED FOR PERMITS
5	10/1/2019	ISSUED FOR PERMITS

SCALE AS NOTED

DRAWN BY: MARIO VISCOVICH

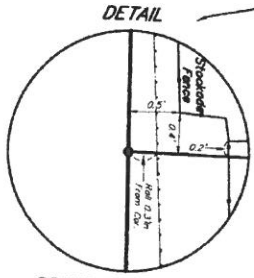
PROJECT NO. AS-100

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BENCHMARK
WALL CORNER
ELEV. 660.66

NEW YORK STATE ROUTE 6-N - S.H. 9274A
a.k.a. South Lake Boulevard

LEGEND	
362.8	SPOT ELEVATION
+10617.7	BOTTOM OF LAKE
+10617.7	TOP & BOTTOM OF WALL
+10615.8	



SCALE 1 in. = 1 ft.
Area = 417 Sq. Ft.

This map was prepared for the exclusive use of and is certified only to:
MARIO VISCOVICH
ADRIAN M. VISCOVICH



Formerly Strull
Now or formerly
Maiuzzo

Liber 1273 of 127.
(TM 75.42-1-37)

Formerly Strull
Now or formerly Breiman

Liber 1270 of 184, Parcel II
(TM 75.42-1-38)

Formerly Strull
Now or formerly Gurewitsch

SURVEY OF PROPERTY
PREPARED FOR
MARIO & ADRIAN M. VISCOVICH
SITUATE IN THE
TOWN OF CARMEL
PUTNAM COUNTY
NEW YORK

SCALE 1 in. = 5 ft. SEPTEMBER 21, 2007

- Notes
1. COPYRIGHT "2018" by BADEY & WATSON, Surveying & Engineering, P.C. All Rights Reserved. Unauthorized duplication is a violation of applicable laws.
 2. Unauthorized alteration or addition to a document prepared by a licensed land surveyor is a violation of Section 7208, Subdivision 2 of the New York State Education Law.
 3. All certifications are valid for this map and copies thereof only if said map or copies bear the embossed seal of the surveyor whose signature appears hereon.
 4. If underground improvements, easements, or encroachments exist and are neither visible during normal field operations nor described in instruments provided to these surveyors, they may not be shown on this map.
 5. This property may be affected by instruments which have not been provided to these surveyors. Users of this map should verify title with their attorney or a qualified title examiner.
 6. This survey is of property described in the Putnam County Clerk's Liber 1721 of deeds of page 408.
 7. This easement is as shown on "Discolo Lake-Mahopac Lake, Part 2, S.H. No. 9274-A, Map No. 73, Parcel No. 83, P.N. 8458.06, Putnam County, N.Y.S.D.O.T. Description and Map for the Acquisition of Property" filed with the NYS Department of Transportation.
 8. This line is as shown on a survey entitled "The Between Lots 3A & 15.. Barnett Strull..." dated January 9, 1980 prepared by Charles W. Carpenter, Land Surveyor.
 9. The vertical datum hereon is assumed.
 10. Revised May 9, 2019 to show new dock located May 3, 2018. Remainder of survey not brought to date.
 11. Revised July 9, 2019 to show dock, dock and fence changes along southerly line located July 2018. Survey not otherwise brought to date.



BADEY & WATSON
Surveying & Engineering, P.C.
Stephen Miller
NEW YORK STATE LICENSED LAND SURVEYOR
LICENSE No. 49789

Drawing Name: L518680_004_104 Layout: SURVEY Checked by SWM Spell checked by NTK Drawn by NTK Closed by KRR On 11-21-2018



TOWN OF CARMEL SITE PLAN APPLICATION INSTRUCTIONS



The Town of Carmel Planning Board meetings are held twice a month, on the second and fourth Wednesday's, at 7:00 PM at Carmel Town Hall, 60 McAlpin Avenue, Carmel

The submission deadline is 10 days prior to the Planning Board meeting. New site plan applications that have been deemed complete will be placed on the agenda in the order they are received.

No application will be placed on the agenda that is incomplete

Pre-Submission:

Prior to the formal submission of the site plan, a pre-submission conference may be requested by the applicant to be conducted with representatives from the Town, which may include the Town Planner, Town Engineer, Director of Code Enforcement and/or the Planning Board Attorney. This conference will serve to educate the applicant on the process he/she must follow, clarify the information required to submit a complete site plan application, and to highlight any specific areas of concern. You may arrange a pre-submission conference through the Planning Board Secretary at (845) 628-1500 extension 190.

Submission Requirements:

At least 10 days prior to the Planning Board meeting, the site plan application shall be submitted to the Planning Board Secretary as follows:

All site plans shall be signed, sealed and folded with the title box legible. The application package shall include:

- 11 copies of the Site Plan Application Form, signed and notarized.
- 11 copies of the SEQR Environmental Assessment Form (use of short form or long form shall be determined at pre-submission conference).
- 5 full size sets of the Site Plan (including floor plans and elevations)
- 1 CD (in pdf. format) containing an electronic version of the Site Plan
- 2 copies of the Disclosure Statement
- 11 copies of the Site Plan Completeness Certification Form
- All supplemental studies, reports, plans and renderings.
- 2 copies of the current deed.
- 2 copies of all easements, covenants and restrictions.
- The appropriate fee, determined from the attached fee schedule. Make checks payable to the *Town of Carmel*.

Rose Y. Smith 12/5/14

 Planning Board Secretary; Date

[Signature] 12/5/19

 Town Engineer; Date



TOWN OF CARMEL SITE PLAN APPLICATION



Per Town of Carmel Code – Section 156 - Zoning

SITE IDENTIFICATION INFORMATION		
Application Name: Edward Bondi	Application # 19-0014	Date Submitted: 12/2/19
Site Address: No. 30 Street: Fowler Ave Hamlet: Carmel, NY 10512		
Property Location: (Identify landmarks, distance from intersections, etc.) 300 ft South of Rte 52		
Town of Carmel Tax Map Designation: Section 44.14 Block 1 Lot(s) 11	Zoning Designation of Site: C	
Property Deed Recorded in County Clerk's Office Date Liber Page	Liens, Mortgages or other Encumbrances Yes No	
Existing Easements Relating to the Site No Yes Describe and attach copies:	Are Easements Proposed? No Yes Describe and attach copies:	
Have Property Owners within a 500' Radius of the Site Been Identified? Yes <input checked="" type="checkbox"/> No Attached List to this Application Form		
APPLICANT/OWNER INFORMATION		
Property Owner: Edward Bondi	Phone #: 914-847-0630 Fax#:	Email:
Owners Address: No. 69 Street: Hickory Lane Town: Bedford State: NY Zip: 10506		
Applicant (If different than owner):	Phone #: Fax#:	Email:
Applicant Address (If different than owner): No. Street: Town: State: Zip:		
Individual/ Firm Responsible for Preparing Site Plan: Architectural Visions	Phone #: 845-628-6613 Fax#: 845-628-2807	Email: joel.greenberg@arch-visions.com
Address: No. 2 Street: Muscoot Road North Town: Mahopac State: NY Zip: 10541		
Other Representatives: N/A	Phone #: Fax#:	Email:
Owners Address: No. Street: Town: State: Zip:		
PROJECT DESCRIPTION		
Describe the project, proposed use and operation thereof: Legalize existing 2 APTS. ON FIRST FLOOR (LOWER LEVEL)		

TOWN OF CARMEL SITE PLAN APPLICATION

PROJECT INFORMATION			
Lot size: Acres: <u>0.51</u> Square Feet: <u>22,095</u>		Square footage of all existing structures (by floor):	
# of existing parking spaces: <u>18</u>		# of proposed parking spaces: <u>0</u>	
# of existing dwelling units: <u>5</u>		# of proposed dwelling units: <u>0</u>	
<p>Is the site served by the following public utility infrastructure:</p> <ul style="list-style-type: none"> ▪ Is project in sewer district or will private septic system(s) be installed? <u>Sewer District</u> ▪ If yes to Sanitary Sewer answer the following: <ul style="list-style-type: none"> Building connected to sewer <u>CONNECTED TO</u> ▶ Does approval exist to connect to sewer main? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> <u>EXIST.</u> ▶ Is this an in-district connection? _____ Out-of district connection? _____ ▶ What is the total sewer capacity at time of application? _____ ▶ What is your anticipated average and maximum daily flow <u>750 GPD</u> <p style="color: blue; font-size: small;">For Town of Carmel Town Engineer</p> <ul style="list-style-type: none"> ▶ What is the sewer capacity <u>NA 12/5/19 m</u> 			
<ul style="list-style-type: none"> ▪ Water Supply Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> Existing <p style="margin-left: 40px;">If Yes: ▶ Does approval exist to connect to water main? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> <u>EXIST.</u></p> <p style="margin-left: 40px;">▶ What is the total water capacity at time of application _____</p> <p style="margin-left: 40px;">▶ What is your anticipated average and maximum daily demand <u>750 GPD</u></p> <ul style="list-style-type: none"> ▪ Storm Sewer Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> ▪ Electric Service Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> ▪ Gas Service Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> • Telephone/Cable Lines Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> <p style="color: blue; font-size: small;">For Town of Carmel Town Engineer</p> <p>Water Flows <u>NA 12/5/19 m</u></p> <p>Sewer Flows <u>NA 12/5/19 m</u></p> <p>_____ Town Engineer; Date</p>			
What is the predominant soil type(s) on the site? <u>N/A</u>		What is the approximate depth to water table? <u>N/A</u>	
<p>Site slope categories: 15-25% <u>100</u> % 25-35% _____ % >35% _____ %</p> <p>Estimated quantity of excavation: Cut (C.Y.) <u>None</u> Fill (C.Y.) <u>None</u></p> <p>Is Blasting Proposed Yes: <input type="checkbox"/> No: <input type="checkbox"/> Unknown: <input type="checkbox"/></p> <p>Is the site located in a designated Critical Environmental Area? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/></p> <p>Does a curb cut exist on the site? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> Are new curb cuts proposed? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> What is the sight distance? Left <u>200'</u> Right <u>200'</u></p>			
<p>Is the site located within 500' of:</p> <ul style="list-style-type: none"> • The boundary of an adjoining city, town or village Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> • The boundary of a state or county park, recreation area or road right-of-way Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> • A county drainage channel line. Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> • The boundary of state or county owned land on which a building is located Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/> 			



TOWN OF CARMEL SITE PLAN APPLICATION

Is the site listed on the State or Federal Register of Historic Place (or substantially contiguous) Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Is the site located in a designated floodplain? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Will the project require coverage under the Current NYSDEC Stormwater Regulations Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Will the project require coverage under the Current NYCDEP Stormwater Regulations Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Does the site disturb more than 5,000 sq ft	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
Does the site disturb more than 1 acre	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
Does the site contain freshwater wetlands? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Jurisdiction: NYSDEC: <input type="checkbox"/> Town of Carmel: <input type="checkbox"/>	
<i>If present, the wetlands must be delineated in the field by a Wetland Professional, and survey located on the Site Plan.</i>	
Are encroachments in regulated wetlands or wetland buffers proposed? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Does this application require a referral to the Environmental Conservation Board?	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
Does the site contain waterbodies, streams or watercourses? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Are any encroachments, crossings or alterations proposed? Yes: <input type="checkbox"/> No: <input type="checkbox"/> N/A	
Is the site located adjacent to New York City watershed lands? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Is the project funded, partially or in total, by grants or loans from a public source? Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	
Will municipal or private solid waste disposal be utilized? Public: <input type="checkbox"/> Private: <input checked="" type="checkbox"/>	
Has this application been referred to the Fire Department? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	
What is the estimated time of construction for the project? No construction REQ'D.	

ZONING COMPLIANCE INFORMATION

Zoning Provision	Required	Existing	Proposed
Lot Area	40,000 SF	22,095 SF	22,095 SF
Lot Coverage	30%	25.4%	25.4%
Lot Width	200 FT.	103 FT.	103 FT.
Lot Depth	200 FT.	134 FT.	134 FT.
Front Yard	40 FT.	82 FT.	82 FT.
Side Yard	25 FT.	2.8 FT & 162 FT	2.8 FT & 162 FT
Rear Yard	30 FT.	0 FT	0 FT.
Minimum Required Floor Area	5,000 SF	5,600 SF	5,600 SF
Floor Area Ratio	N/A		
Height	35 FT.	24 FT.	24 FT.
Off-Street Parking	14 PS	18 PS	18 PS
Off-Street Loading	N/A		

TOWN OF CARMEL SITE PLAN APPLICATION

Will variances be required? Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	If yes, identify variances: Variances -SEE DWG, S-1
PROPOSED BUILDING MATERIALS	
Foundation	
Structural System	N/A
Roof	
Exterior Walls	
APPLICANTS ACKNOWLEDGEMENT	
I hereby depose and certify that all the above statements and information, and all statements and information contained in the supporting documents and drawings attached hereto are true and correct.	
JOEL GREENBERG _____ Applicants Name	 _____ Applicants Signature
Sworn before me this <u>02</u> day of <u>December</u> 20 <u>19</u>	
 _____ Notary Public	ALPA PANDYA Notary Public, State of New York Reg. No. 01PA6397542 Qualified in Westchester County Commission Expires 09/09/23



TOWN OF CARMEL SITE PLAN COMPLETENESS CERTIFICATION FORM



All Site Plans submitted to the Planning Board for review shall include the following information and details, as set forth in Section 156-61 B of the Town of Carmel Zoning Ordinance.

This form shall be included with the site plan submission

1	Name and title of person preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2	Name of the applicant and owner (if different from applicant)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3	Original drawing date, revision dates, scale and north arrow	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4	Tax map, block and lot number(s), zoning district	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5	All existing property lines, name of owner of each property within a 500' radius of the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6	Contour lines at two-foot intervals, grades of all roads, driveways, sanitary and storm sewers	N/A <input type="checkbox"/>	<input type="checkbox"/>
7	The location of all water bodies, streams, watercourses, wetland areas, wooded areas, rights-of-way, streets, roads, highways, railroads, buildings, structures	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8	The location of all existing and proposed easements	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9	The location of all existing and proposed structures, their use, setback dimensions, floor plans, front, side and rear elevations, buildable area.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10	On site circulation systems, access, egress ways and service roads, emergency service access and traffic mitigation measures	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11	Sidewalks, paths and other means of pedestrian circulation	N/A <input type="checkbox"/>	<input type="checkbox"/>
12	On-site parking and loading spaces and travel aisles with dimensions	<input checked="" type="checkbox"/>	<input type="checkbox"/>
13	The location, height and type of exterior lighting fixtures	EXIST. <input type="checkbox"/> DM; LIGHTS @ EA. DOOR	<input type="checkbox"/>
14	Proposed signage	<input type="checkbox"/> NONE	<input type="checkbox"/>
15	For non-residential uses, an estimate of the number of employees who will be using the site, description of the operation, types of products sold, types of machinery and equipment used	N/A <input type="checkbox"/>	<input type="checkbox"/>



TOWN OF CARMEL SITE PLAN COMPLETENESS CERTIFICATION FORM



Requirement Data		To Be Completed by the Applicant	Waived by the Town
16	The location of clubhouses, swimming pools, open spaces, parks or other recreational areas, and identification of who is responsible for maintenance	<input type="checkbox"/> N/A	<input type="checkbox"/>
17	The location and design of buffer areas, screening or other landscaping, including grading and water management. A comprehensive landscaping plan in accordance with the Tree Conservation Law	<input type="checkbox"/> N/A	<input type="checkbox"/>
18	The location of public and private utilities, maintenance responsibilities, trash and garbage areas	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19	A list, certified by the Town Assessor, of all property owners within 500 feet of the site boundary	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20	Any other information required by the Planning Board which is reasonably necessary to ascertain compliance with this chapter	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Applicants Certification (to be completed by the licensed professional preparing the site plan:

I Joel Greenberg hereby certify that the site plan to which I have attached my seal and signature, meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:



Professionals Seal

Joel Greenberg
Signature - Applicant

11/26/19
Date

Ed Bonde
Signature - Owner

2/27/19
Date



TOWN OF CARMEL
SITE PLAN COMPLETENESS
CERTIFICATION FORM



Town Certification (to be completed by the Town)

I _____ hereby confirm that the site plan meets all of the requirements of §156-61B of the Town of Carmel Zoning Ordinance:

Rose Yonke
Signature - Planning Board Secretary

12/5/19
Date

[Signature]
Signature - Town Engineer

12/5/19
Date

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

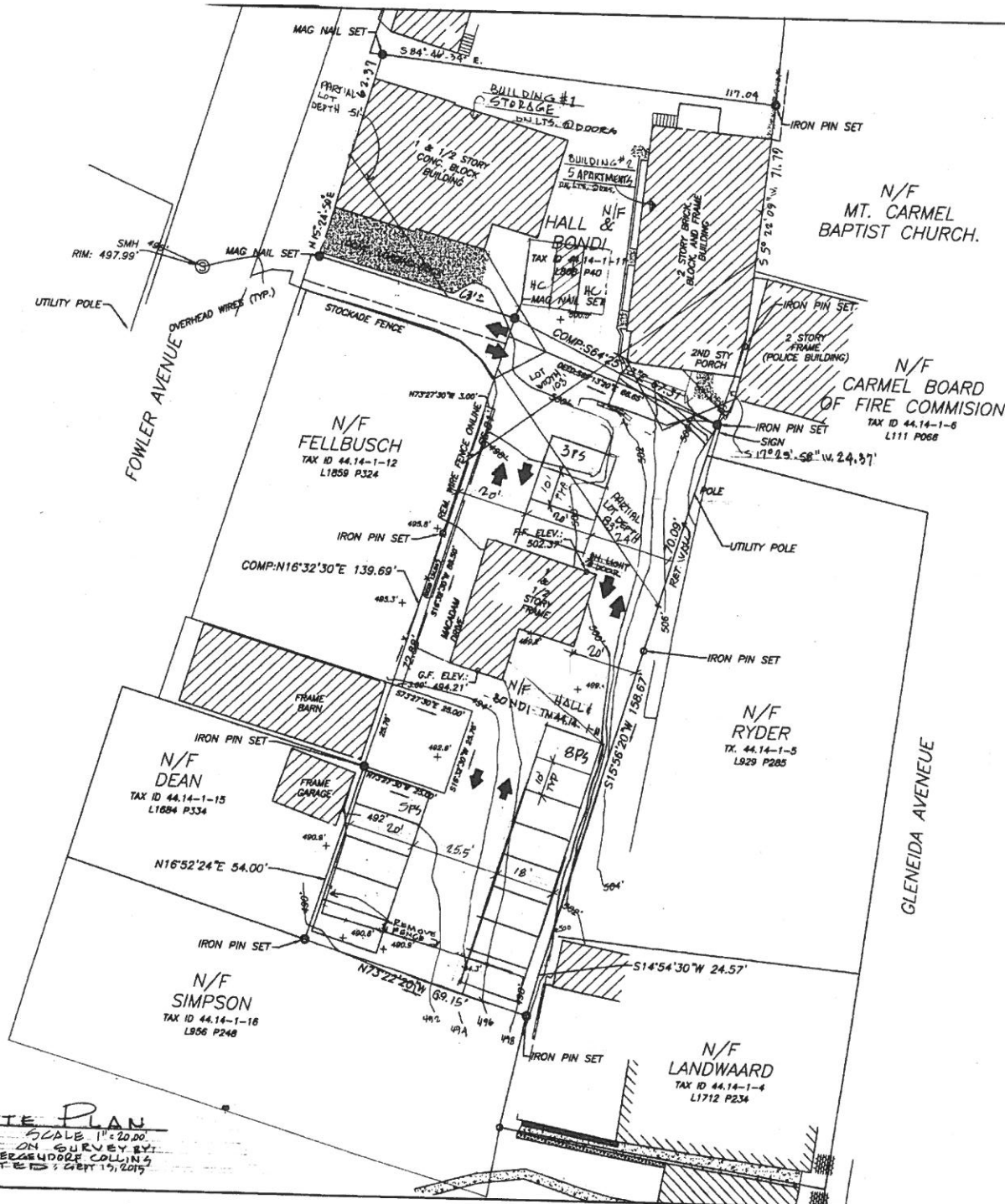
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: Edward Bondi			
Project Location (describe, and attach a location map): 30 Fowler Ave			
Brief Description of Proposed Action: Legalize existing uses			
Name of Applicant or Sponsor: Edward Bondi		Telephone: 917-847-0630	
Address: 69 Hickory Lane, P.O. Box 307		E-Mail:	
City/PO: Bedford		State: NY	Zip Code: 10506
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO	YES
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:		NO	YES
Carmel Building Department			✓
3.a. Total acreage of the site of the proposed action?		<u>0.51</u> acres	
b. Total acreage to be physically disturbed?		<u>0</u> acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<u>0.51</u> acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
	✓	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	✓	
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	✓	
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Edward Bondi</u> Date: <u>2/25/19</u>		
Signature: <u>Joel Greenberg</u> Project Architect		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		



SITE DATA NOTES

OWNER _____ EDWARD BONDI & ROBERT HALL
 LOCATION _____ 30 FOWLER AVE. - CARMEL, NY 10512
 ZONE _____ C-COMMERCIAL
 USE _____ BUILDING #1 - EXISTING STORAGE.
 BUILDING #2 - a. LOWER-FIRST FLOOR
 EXISTING 2 APTS. APPL. TO LEGALIZE.
 b. UPPER FLOOR - 3 EXISTING APTS.

TAX MAP # _____ 44.14-1-11
 WATER _____ TOWN OF CARMEL
 SEWER _____ TOWN OF CARMEL

ZONING CHART

ITEM - REQUIREMENTS	PROVIDED	VARIANCE
1. NO APARTMENTS	2 APARTMENTS	VARIANCE - BLDG #2
2. LOT AREA - 40,000SF	9,378 SF	30,622 SF (PRE-EXISTING)
3. FRONT YARD - 40FT	82FT - BLDG #2	NONE (PRE-EXISTING)
4. REAR YARD - 30FT	0 FT - BLDG #2	30FT (PRE-EXISTING)
5. SIDE YARD N - 25FT	2.8FT - BLDG #2	22.2 (PRE-EXISTING)
6. SIDE YARD S - 25FT	162FT - BLDG #2	NONE (PRE-EXISTING)
7. HEIGHT - 35FT	24FT - BLDG #2	NONE (PRE-EXISTING)
8. LOT COV. - 30%	25.4% BLDGS #1-3	NONE (PRE-EXISTING)
9. LOT WIDTH - 200FT	103FT	97FT (PRE-EXISTING)
10. LOT DEPTH - 200FT	134FT	66FT (PRE-EXISTING)
11. PARKING - 2PS/APT. 5X2=10PS	10PS	NONE - JB ACTUALLY ON
12. 1PS/1,000SF - 3,150SF= 4PS	4PS	SITE INCLUDING 2 H.C.P.S
13. PARKING AISLE - 24FT 20FT AT 2 SPOTS	4FT	(PRE-EXISTING)
14. MINIMUM FLOOR AREA - 5,000SF	5,600SF	(PRE-EXISTING)

NOTES:
 HALL & BONDI (T.M.# 44.14-1-13)
 WILL GRABE X-PARKING
 AVAILABLE TO HALL &
 BONDI (T.M.# 44.14-1-11)

ARCHITECTURAL VISIONS INC.

2 MUBCOOT ROAD NORTH
 MAHOEPAQ NY 10541
 P: 515-628-4813
 F: 515-628-2907

PROJECT: 2 APARTMENTS
 EDWARD BONDI & ROBERT HALL

PROJECT ADDRESS: 30 FOWLER AVE. - CARMEL, NY 10512
 CADREPLAN# 10376 10541-1-11-19
 TAX MAP NO. - 44.14-1-11-19

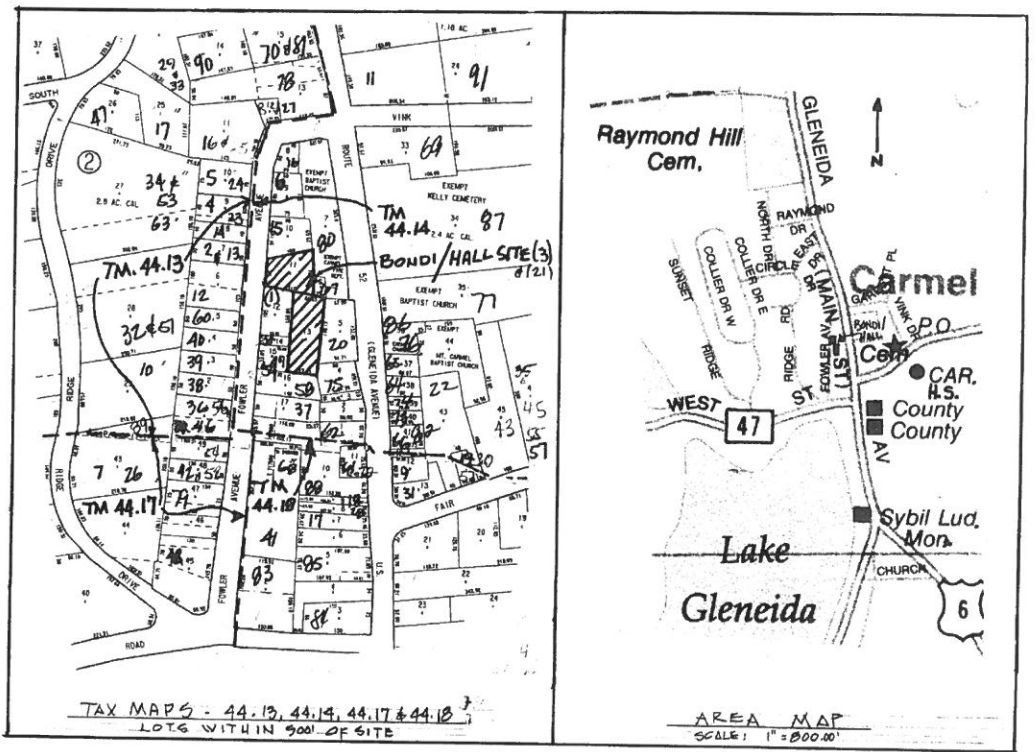
SITE PLAN & SITE DATA NOTES

DATE: 11/21/19	SCALE: AS NOTED
DATE: 12/15/19	
DRAWN BY: [Signature]	
PROJECT NO: C-1	

SITE PLAN
 SCALE 1"=20.00'
 BASED ON SURVEY BY
 TERRY BERGENDORF COLLINS
 DATE: Sept 15, 2015

- 1 44.14-12 Peter Feltzsch
80 Cherry Ln
New York, NY 10242
- 2 44.13-2 NYFC Industrial Venting LLC
145 Route 22
Pawling, NY 12564
- 3 44.14-11 Robert Padi
Rte 207
Hudson, NY 10206
- 4 44.13-9 Adelbert Bremer
775 New Ridge Rd
Bronx, NY 10509
- 5 44.13-14 Robert Shiga
21 Fenner Ave
Carmel, NY 10512
- 6 44.14-9 Monte T Corti
38 Fenner Ave
Carmel, NY 10512
- 7 44.13-143 Priscilla C Wises
4 Ridge Rd
Carmel, NY 10512
- 8 44.13-12 David Radovich
18 Glenville Ave
Carmel, NY 10511
- 9 44.13-12 Elizabeth Property Mgmt
35 Glenville Ave
Carmel, NY 10512
- 10 44.13-20 Steven Pennington
4 Ridge Rd
Carmel, NY 10512
- 11 44.14-123 MBS Student United Bank
Attn: Lamer & Tam Adam Corp
388 Washington St
London, Ontario, M6A 4S4
- 12 44.13-24 August Sancheti
10 Back Rd
Carmel, NY 10512
- 13 44.13-27 Dennis Miletich
21 Fenner Ave
Carmel, NY 10512
- 14 44.13-34 Keris D O'Donnell
1 Fenner Ave
Carmel, NY 10512
- 15 44.14-49 Longview Realty Corp
Attn: Robert Vinity Jr
136 Lakeview Ter
Yonkers, NY 10710
- 16 44.13-21 BMO Funder Property LLC dba Dream
1 Boston Terrace
Yonkers, NY 10701
- 17 44.13-25 Michaela Viteri
4 Clark Dr
Carmel, NY 10512
- 18 44.14-180 May T Ridge
45 Fenner Ave
Carmel, NY 10512
- 19 44.13-27 Henry J Bagnone Jr
2 Brown Rd
Carmel, NY 10512
- 20 44.13-192 37 Main Street Corp
4 Clark Dr
Carmel, NY 10512
- 21 44.13-28 BMO Funder Property, LLC
1 Boston Terrace
Yonkers, NY 10701
- 22 44.13-29 Dan Whelan
- 23 44.13-32 Donnie DeAngelis
at Honey Bees Inc
12 Lewis Rd
Carmel, NY 10512
- 24 44.13-51 37 Main Street Corp
35 Glenville Ave
Carmel, NY 10512
- 25 44.13-211 William Papp
4 Clark Dr
Carmel, NY 10512
- 26 44.14-143 HUSOK Holdings, LLC
47 Massena, Ave. Box 106
White Plains, NY 10601
- 27 44.14-120 Wayne Butto
187 Glenville Ave
Carmel, NY 10512

- 31 44.13-143 Theology for the Preservation
of Sacred Sites
1 Mulford Ave
New York, NY 10019
- 32 44.13-28 Matthew Luskman
10 Ridge Rd
Carmel, NY 10512
- 33 44.13-23 Rosalin G Sanfield
PO BOX 246
Carmel, NY 10512
- 34 44.13-27 Richard Hart Heidman
1221 Oakley Ferry Ste 7009
Yonkers, NY 10710
- 35 44.14-46 21 Fair St LLC
17 Fair St
Carmel, NY 10512
- 36 44.13-11 Barbara L Diaz Lewis Trust
1 Fenner St
Carmel, NY 10512
- 37 44.14-17 19 Glenville Avenue LLC
33 Glenville Ave
Carmel, NY 10509
- 38 44.13-2 Angello A. Roman Trunk
700 Route 27
Hudson, NY 10531
- 39 44.13-25 Frank J Minelli
200 North Main St
Hempstead Harbor, NY 10519
- 40 44.13-24 Lloyd Maskey
800 West End Ave. Apt. 1001
New York, NY 10025
- 41 44.13-137 Robert Thomas Inc
19 Fenner Ave
Carmel, NY 10512
- 42 44.13-48 Eric Pomeroy
11 Fenner Ave
Carmel, NY 10512
- 43 44.14-143 Shown Properties Corp
PO BOX 340
Middletown, NY 10941
- 44 44.13-27 Yonkers Trust
62 Fenner Ave
Yonkers, NY 10710
- 45 44.14-46 21 Fair St LLC
17 Fair St
Carmel, NY 10512
- 46 44.13-21 George Diaz Jr
1 Fenner Ave
Carmel, NY 10512
- 47 44.13-28 Albert J Ryzny
18 Ridge Rd
Carmel, NY 10512
- 48 44.13-44 F.A.B. Estate Corp
21 Fenner Ave
Carmel, NY 10512
- 49 44.13-25 David Radovich
45 Ridge Rd
Carmel, NY 10512
- 50 44.14-14 George Diaz
1 Fenner Ave
Carmel, NY 10512
- 51 44.13-21 Bank's Enterprise Corp
Attn: Leo O'Brien & Yonkers
17 Fair St
Carmel, NY 10512
- 52 44.14-148 Sir Ian Thornton
1 Fenner Ave
Carmel, NY 10512
- 53 44.14-151 George Diaz
1 Fenner Ave
Carmel, NY 10512
- 54 44.13-28 Rodolfo DBB
12 Fenner Ave
Carmel, NY 10512
- 55 44.14-46 21 Fair St LLC
17 Fair St
Carmel, NY 10512
- 56 44.13-21 Clear Mountains, Inc
1387 Putnam Rd
Carmel, NY 10512
- 57 44.14-147 Bank's Enterprise Corp
Attn: Leo O'Brien & Yonkers
17 Fair St
Carmel, NY 10512
- 58 44.14-148 Sir Ian Thornton
1 Fenner Ave
Carmel, NY 10512
- 59 44.14-151 George Diaz
1 Fenner Ave
Carmel, NY 10512
- 60 44.13-24 230a Glenville
35 Fenner Ave
Carmel, NY 10512
- 61 44.13-111 David Olson
19 Ridge Rd
Carmel, NY 10512
- 62 44.14-143 83 Glenville, LLC
83 Glenville Ave
Carmel, NY 10512
- 63 44.14-143 Anthony J. Coy
Attn: Mark Anderson Property M
PO BOX 38
Carmel, NY 10512
- 64 44.13-21 Leonard Terence
7 Ridge Rd
Carmel, NY 10512
- 65 44.14-148 Donald Lamberton
173 Homestead Dr
Mason Neck, NY 10441
- 66 44.14-146 AH Central Baptist Church
PO BOX 236
Carmel, NY 10512
- 67 44.14-147 AH Central Baptist Church
PO BOX 236
Carmel, NY 10512
- 68 44.14-147 AH Central Baptist Church
PO BOX 236
Carmel, NY 10512
- 69 44.14-143 AH Central Baptist Church
PO BOX 236
Carmel, NY 10512
- 70 44.13-25 Adlene Developments, LLC
400 Hollis Blvd
Muhlenberg, NY 10961
- 71 44.13-252 Ernest Jones Jr
60 Glenville Ave
Carmel, NY 10512
- 72 44.13-141 Alfred Seufert
Attn: The New Carmel Church
61 Glenville Ave
Carmel, NY 10512
- 73 44.14-40 R.F.W. Coy
Attn: Mark Anderson Property M
PO BOX 38
Carmel, NY 10512
- 74 44.14-299 James B Johnson
1863 Deronville Rd
Bronx, NY 10705
- 75 44.14-148 Donald Lamberton
173 Homestead Dr
Mason Neck, NY 10441
- 76 44.14-146 AH Central Baptist Church
PO BOX 236
Carmel, NY 10512
- 77 44.14-147 AH Central Baptist Church
PO BOX 236
Carmel, NY 10512
- 78 44.13-21 Fenner Ave Corp
37 Glenville Ave
Carmel, NY 10512
- 79 44.13-47 James D Solomon
7 Hillview Ct
Cortlandt Manor, NY 10507
- 80 44.14-147 AH Central Baptist Church
PO BOX 236
Carmel, NY 10512
- 81 44.13-25 Adlene Developments, LLC
400 Hollis Blvd
Carmel, NY 10512
- 82 44.14-141 Elizabeth Jenkins Jr
60 Glenville Ave
Carmel, NY 10512
- 83 44.14-12 49 Glenville Avenue LLC
12 Glenville Ave
Carmel, NY 10509
- 84 44.14-143 Michaela Baptistian LLC
71 Glenville Ave
Carmel, NY 10512
- 85 44.14-148 Harrow Office Solutions, Inc
303 Mulford Rd
Carmel, NY 10512
- 86 44.14-146 36 Central Baptist Church
PO BOX 236
Carmel, NY 10512
- 87 44.14-144 Kelly Cemetery Inc
Box 22
Carmel, NY 10512
- 88 44.14-144 Edith Pini LLC
28 Montauk 10514
Carmel, NY 10512
- 89 44.13-23 Patricia Church Chaper
31 International Blvd
Bronx, NY 10709
- 90 44.13-14 Edward McClelland
1 International Blvd Apt
F1660B, NY 10724
- 91 44.14-148 Carmel Pini Inc
94 Glenville Ave
Carmel, NY 10512



ARCHITECTURAL VISIONS

2 MURDOCK ROAD NORTH
MAHOOPAC, NY 10541
P: 845.628.0515
F: 845.628.2927
REV. 03/16/19 @ www.architecturalvisions.com

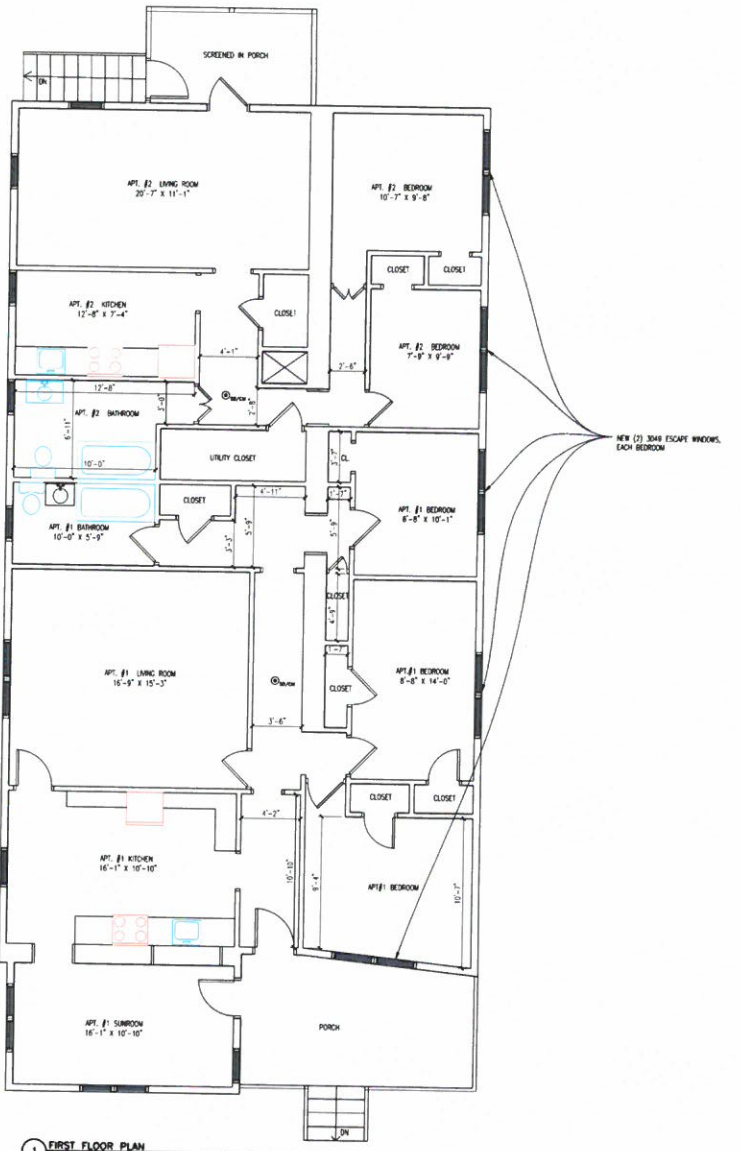
PROJECT: 2 APARTMENTS
EDWARD BONDI & ROBERT HALL

PREPARED BY: ARCHITECTURAL VISIONS
252 S. WASHINGTON ST. SUITE 300
ROCKY HILL, CT 06868
TEL: 860.339.3333
WWW.AVARCHITECT.COM

OWNER'S - 500 FT 4
AREA MAP

ISSUANCE	DATE
1	07/24/19
2	07/24/19

SCALE: AS SHOWN
DRAWN BY: G-2
PROJECT NO:



1 FIRST FLOOR PLAN

EXHAUST FAN TO VENTILATE TO THE EXTERIOR

FINISH SCHEDULE:

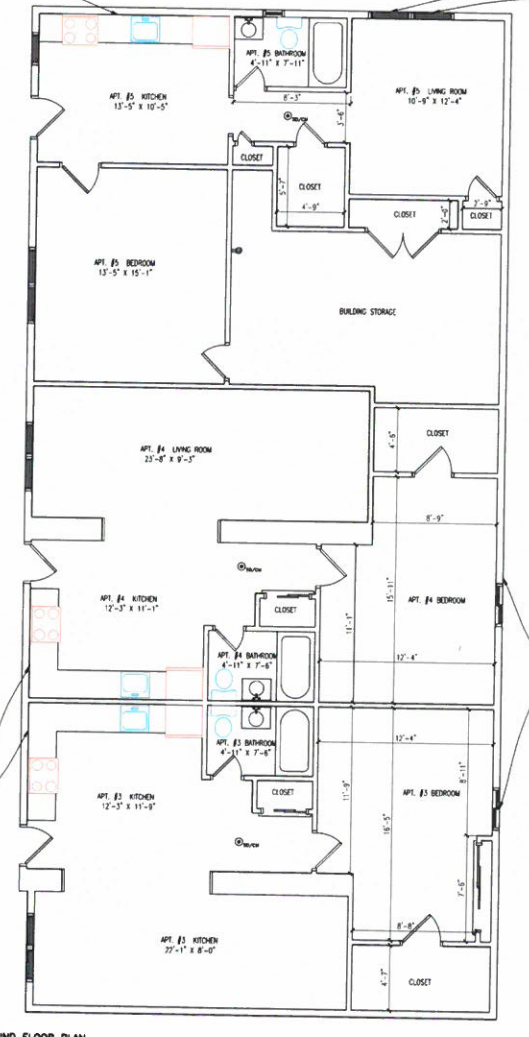
1. WALL, CEILING FINISHES ARE SHEETROCK, PRIMED AND PAINTED.
2. KITCHEN FLOOR FINISHES ARE CERAMIC TILE & BEDROOM FINISHES ARE CARPET.

NOTES:

1. FIRE-BLOCKING TO BE PROVIDED VERTICALLY BETWEEN CEILING/FLOOR JOISTS.
2. PROVIDE HARDWIRED SMOKE DETECTORS & CARBON MONOXIDE DETECTOR.
3. NO STRUCTURAL CHANGE WAS DONE TO EXISTING CONDITIONS OF BASEMENT.
4. THE WORK ACCOMPLISHED FOR THE CONSTRUCTION OF THIS BUILDING MEETS THE REQUIREMENTS OF NYC ENERGY CODE.

NEW (2) 3049 ESCAPE WINDOWS, EACH BEDROOM

EXHAUST FAN TO VENTILATE TO THE EXTERIOR



2 GROUND FLOOR PLAN

ELECTRICAL SYMBOLS

- (Symbol) DUPLEX CONVENIENCE OUTLET
- (Symbol) DEDICATED D.C.O.
- (Symbol) DOUBLE D.C.O.
- (Symbol) GROUND FAULT INTERRUPTER
- (Symbol) WEATHER PROOF G.F.I.
- (Symbol) OVER COUNTER D.C.O.
- (Symbol) HALF SWITCHED D.C.O.
- (Symbol) WALL TOGGLE SWITCH
- (Symbol) DIMMER SWITCH
- (Symbol) THREE POLE SWITCH
- (Symbol) FOUR POLE SWITCH
- (Symbol) RECESSED LED DOWN LIGHT FIXTURE
- (Symbol) RECESSED LED WALL WASHER
- (Symbol) WALL MOUNTED LED LIGHT FIXTURE
- (Symbol) CLIC MOUNTED COMPACT FLUORESCENT FIXTURE
- (Symbol) LIGHT FIXTURE @ DIMMER
- (Symbol) LED PENDANT LIGHT FIXTURE
- (Symbol) L.V. PIN SPOT (MR16)
- (Symbol) COMBINATION SMOKE/CARBON MONOXIDE DETECTOR
- (Symbol) TELEPHONE JACK
- (Symbol) 75 OHM TV JACK
- (Symbol) 1200MM EXHAUST FAN W/ LIGHT
- (Symbol) CEILING FAN
- (Symbol) ALTERNATE CEILING FAN
- (Symbol) FLUORESCENT FIXTURE
- (Symbol) EXTERIOR FLOODED LIGHT W/A SENSOR
- (Symbol) EXTERIOR FLOODED LIGHT

ARCHITECTURAL VISIONS
 ARCHITECTS

2 MUSCOOT ROAD NORTH
 MANHATTAN, NY 10814
 JOSH DRONIKOWSKI@ARCHITECTURALVISIONS.COM P: 645-828-0513 F: 645-828-2807

PROJECT: FOWLER AVE. APARTMENTS
 PROJECT ADDRESS: 30 FOWLER AVENUE, CARMEL, NY 13812
 MAILING ADDRESS: 150 COUNTRY LANE, #200 BOX 807, WEST POINT, NY 10988

FLOOR PLANS

REVISION	DATE	BY	CHKD.

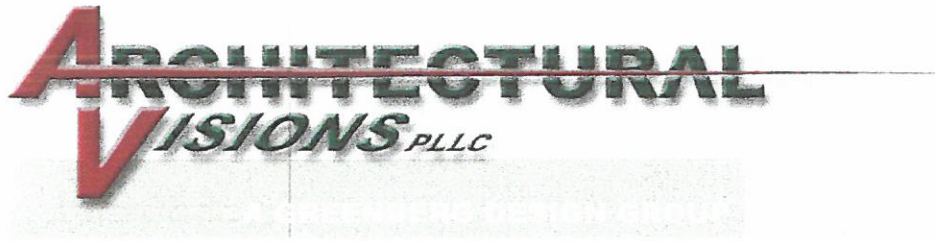
SCALE: AS NOTED

DRAWN BY: JORDAN
 CHECKED BY: JACOB

PROJECT NO. 10-13-108

A-101

IT IS A VIOLATION OF STATE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER OR REMOVE FROM THESE PLANS OR CONDITIONS IN ANY MANNER THAT MAY BE PREJUDICIAL TO THE PUBLIC INTEREST. THE ARCHITECT ASSUMES NO LIABILITY FOR DAMAGES OF ANY KIND OR IN ANY MANNER. THE ARCHITECT'S OBLIGATION IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THESE PLANS AND DOCUMENTS BY OTHERS AND EXPRESSLY DENIES A FURTHER OBLIGATION TO OTHERS FOR THE SAME. ANY REVISIONS TO THESE PLANS AND DOCUMENTS SHALL BE MADE BY THE ARCHITECT AND APPROVED BY THE CLIENT IN WRITING. THIS AGREEMENT SHALL BE VOID AND WITHOUT EFFECT IF IT IS FOUND THAT THE ARCHITECT HAS BEEN DECEASED OR DISABLED.



November 27, 2019

Craig Paeprer, Chairman and Members of the Planning Board
Town of Carmel
60 McAlpin Avenue
Mahopac, New York 10541

Re: 163 Orchard Road
Mahopac, NY 10541
TM# 74.26-2-22

Dear Mr. Paeprer & Members of the Board,

Please note the following with regards to Mr. Franzetti's memo dated November 12, 2019.

1. Revised drawings were sent to the Mahopac Falls Fire Department.
2. Please note the following:
 - a. DEC General Permit not required since the disturbed area is less than 5,000 SF
 - b. DEC Permit not required since there are no wetlands on the property.
 - c. Connection to Carmel Sewage and Water Lines will be applied for if the variances are granted.
 - d. The Driveways for Lots 1 & 3 exist. The Driveway permit for Lot 2 will be applied for if the variances are granted and the subdivision is approved.
 - e. There are no wetlands on the property, therefore a Carmel Wetlands Permit is not required.
3. A DEC General Permit is not required since the disturbed area is less than 5,000 SF.
4. A Stormwater Maintenance agreement will be provided, if required, and the variances are granted and the subdivision is approved.
5. No public improvements are proposed. Therefore, no bond or engineering fee is required.

Two Muscoot Road North
Mahopac, New York 10541
P: (845) 628-6613 F: (845) 628-2807
Email: joel.greenberg@arch-visions.com
www.arch-visions.com

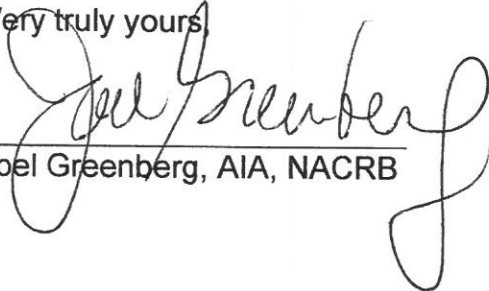


6. Response to Detailed Comments:

- a. The drawing numbers have been revised.
- b. The untitled drawing will be referenced.
- c. No recreation area is being proposed.
- d. A Water and Waste Water Plan will be provided if the variances are granted.
- e. It is quite clear that no dedication of open spaced/recreation area is being proposed, since it is not noted on the subdivision map. A note will be added.
- f. No regrading is required.
- g. The driveways for Lots 1 & 3 exist. A profile of the driveway and cross-section for Lot #2 will be added if the variances are granted and the subdivision proceeds.
- h. Metes and Bounds of the internal lot lines have been added.
- i. The total area of disturbance and the construction sequence are indicated on the map. In addition, erosion control measures have been added to the map.

If you have any questions, please do not hesitate to contact me.

Very truly yours,



Joel Greenberg, AIA, NACRB



WATER AND SEWER REPORT

ANTHONY PERRICONE

163 ORCHARD RD MAHOPAC, NY 10541

TM # 74.26-2-22

1. Water Usage

- a. 75 gallons/person/day
- b. 4 people/household
- c. $75 \times 4 = 300$ gallons/house/day
- d. 2 new houses (lots # 2 & 3) at 300 gallons/house = 600 gallons/day
(house on lot #1 exists)

2. Sewage Usage

- a. 150 gallons/bedroom
- b. 3 bedrooms/house
- c. 450 gallons/house
- d. 2 new houses (lots # 2 & 3) at 450 gallons/house = 900 gallons/day
(house on lot #1 exists)

Respectfully Submitted,

A handwritten signature in blue ink that reads "Joel Greenberg".

Joel Greenberg, AIA, NCARB



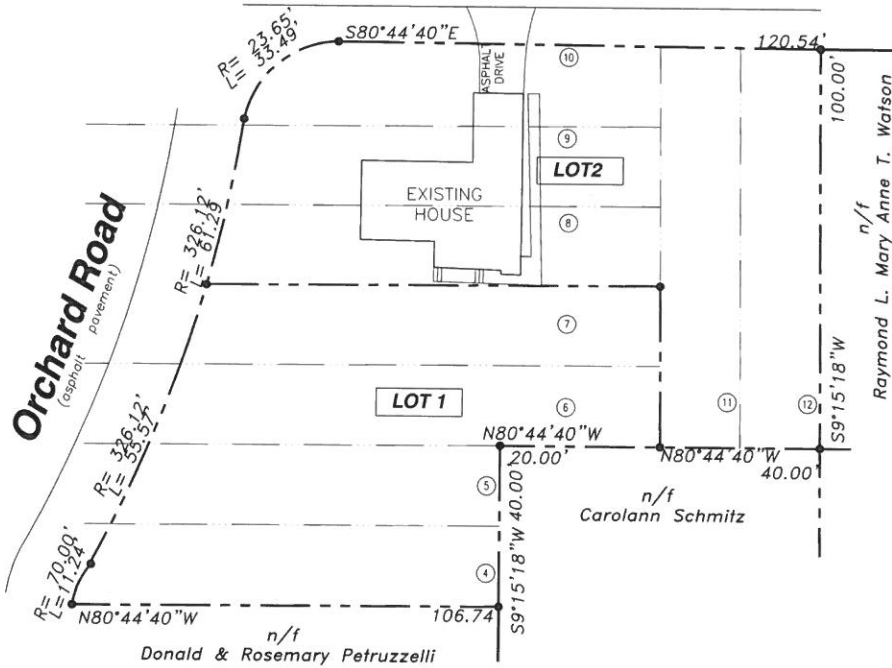
Two Muscoot Road North
Mahopac, New York 10541
P: (845) 628-6613 F: (845) 628-2807
Email: joel.greenberg@arch-visions.com
www.arch-visions.com



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Willow Road

(asphalt pavement)



1 Lot Line
1" = 20'

SURVEY INFORMATION TAKEN FROM A SURVEY BY: BUNNEY ASSOCIATES, L.S. DATED: JANUARY 21, 1987 TOTAL LOT AREA: 18,936 S.F.

PREMISES SHOWN HEREON BEING BLOCK 27 LOTS 4 THROUGH 12, INCLUSIVE, AS SHOWN ON "REVISED MAP OF BLOCKS 10, 11, 26 & 27 - LAKE SECOR", SAID MAP FILED IN PUTNAM COUNTY CLERK'S OFFICE ON FEB 16, 1935 AS MAP NO. 153.B

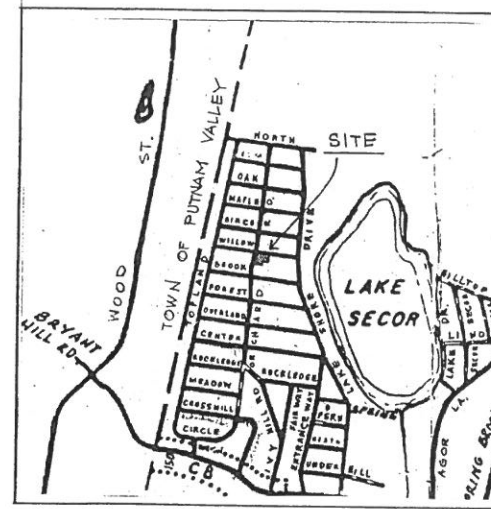
SITE DATA NOTES

SITE ADDRESS: 163 ORCHARD ROAD, MAHOPAC NY 10541
TAX MAP: SECTION 74.26 BLOCK: 2 LOT: 22

LOT #1:
 As Per Deed Dated May 10, 1938 & recorded June 3, 1938 as shown on Map 153B of Lake Secor Filed Feb 16, 1935 as Block 27 Lots 4, 5, 6 & 7

LOT #2:
 As per Deed Dated on May 23, 1940 recorded June 10, 1940 as shown on Map 153B of Lake Secor filed Feb. 16, 1935 as Block 27 lots 8, 9, 10, 11 & 12

NOTE:
 RETURN OF ORIGINAL LOT LINES APPROVED BY THE ZONING BOARD OF APPEALS ON OCTOBER 25, 2019



ARCHITECTURAL VISIONS, P.C.
A GREENBERG DESIGN GROUP

2 MUSCOOT ROAD NORTH P. 845-628-6613
 MAHOPAC NY, 10541 F. 845-628-2807
 JOEL.GREENBERG@ARCHVISIONS.COM

PROJECT:
 RETURN TO ORIGINAL LOT LINES FOR ANTHONY PERRICONE
 PROJECT ADDRESS: 163 ORCHARD ROAD MAHOPAC, NY 10541
 MAILING ADDRESS: 79 CRAESCOTT WAY MAHOPAC, NY 10541
 TAX MAP NO. 74.26-2-22

ORIGINAL LOT LAYOUT

ISSUANCE	DATE
FOR REVIEW	10/20/19
FOR REVIEW	10/27/2019
ZSA	10/28/2019

SCALE: _____

DRAWN BY: CHKD BY: _____

PROJECT NO. 07-15-059

A-100

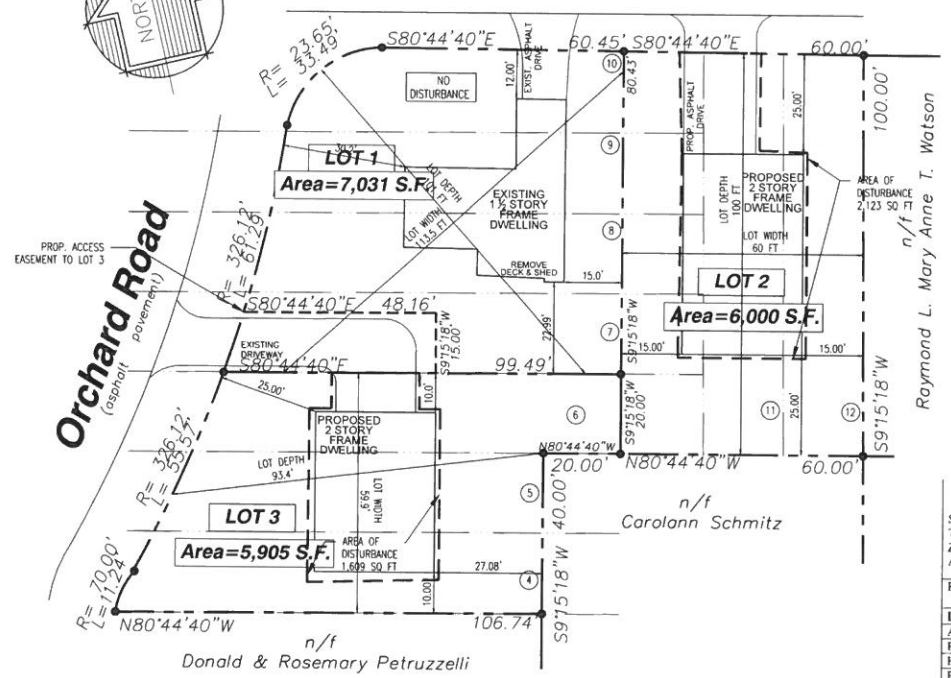
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Willow Road

(asphalt pavement)



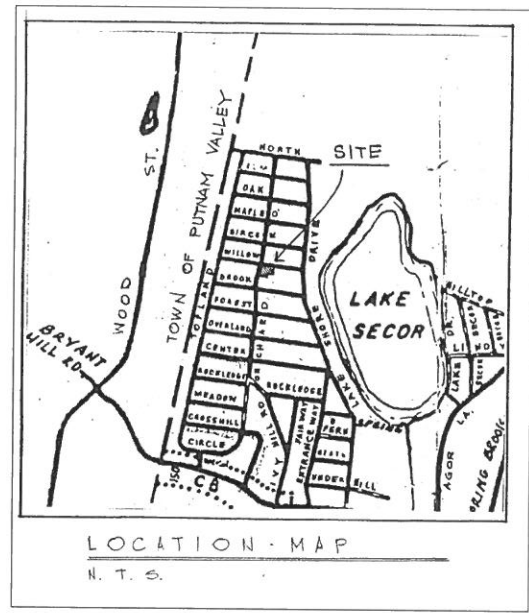
Raymond L. Mary Anne T. Watson

n/f
Donald & Rosemary Petruzzelli

1 SITE PLAN
1" = 20'

SURVEY INFORMATION TAKEN FROM A SURVEY BY: BUNNEY ASSOCIATES, L.S. DATED: JANUARY 21, 1987 TOTAL LOT AREA: 18,936 S.F.

PREMISES SHOWN HEREON BEING LOTS 4 THROUGH 12, INCLUSIVE, AS SHOWN ON "REVISED MAP OF BLOCKS 10, 11, 26 & 27- LAKE SECOR", SAID MAP FILED IN PUTNAM COUNTY CLERK'S OFFICE ON FEB 16, 1935 AS MAP NO. 153.B



SITE DATA NOTES

SITE ADDRESS: 163 ORCHARD ROAD, MAHOPAC NY 10541
TAX MAP: SECTION 24.26 BLOCK 2 LOT: 22
ZONING DISTRICT: R-120
AREA OF DISTURBANCE: 3,732

BULK REGULATIONS	REQUIRED	EXISTING / PROPOSED	VARIANCE
LOT # 1			
AREA - LOT# 1	120,000 SF	7,031 SF	112,969 SF
FRONT YARD - NORTH	40 FT	12 FT	28 FT
FRONT YARD - WEST	40 FT	30.2 FT	9.8 FT
REAR YARD - SOUTH	40 FT	22.99 FT	17.01 FT
REAR YARD - EAST	40 FT	15 FT	25 FT
HEIGHT	35 FT	24 FT	NONE
LOT WIDTH	200 FT	113.5 FT	88.5 FT
LOT COVERAGE	15%	16%	1%
LOT DEPTH	200 FT	101 FT	99 FT
LOT WIDTH @ FRONT PL	100 FT	155.23 FT	NONE

LOT # 2			
AREA - LOT# 2	120,000 SF	6,000 SF	114,000 SF
FRONT YARD	40 FT	25 FT	15 FT
REAR YARD	40 FT	25 FT	15 FT
SIDE YARD - WEST	25 FT	15 FT	10 FT
SIDE YARD - EAST	25 FT	15 FT	10 FT
HEIGHT	35 FT	24 FT	NONE
LOT WIDTH	200 FT	60 FT	140 FT
LOT COVERAGE	15%	25%	10%
LOT DEPTH	200 FT	100 FT	100 FT
LOT WIDTH @ FRONT PL	100 FT	60 FT	40 FT

LOT # 3			
AREA - LOT# 3	120,000 SF	5,905 SF	114,095 SF
FRONT YARD	40 FT	25 FT	15 FT
REAR YARD	40 FT	27.08 FT	12.92 FT
SIDE YARD - SOUTH	25 FT	10 FT	15 FT
SIDE YARD - NORTH	25 FT	10 FT	15 FT
HEIGHT	35 FT	24 FT	NONE
LOT WIDTH	200 FT	59.9 FT	140.1 FT
LOT COVERAGE	15%	30.3%	15.3%
LOT DEPTH	200 FT	93.4 FT	106.65 FT
LOT WIDTH @ FRONT PL	100 FT	66.81 FT	33.19 FT

ARCHITECTURAL VISIONS, P.C.
A GREINBERG DESIGN GROUP

2 MUSCOOT ROAD NORTH MAHOPAC NY, 10541
JAELE.OWENBERG@ARCHVISIONS.COM

P: 845-628-6613
F: 845-628-2807

PROJECT:
3 LOT SUB-DIVISION FOR:
ANTHONY PERRICONE

PROJECT ADDRESS: 163 ORCHARD ROAD MAHOPAC, NY 10541
TAX MAP NO. 74.26-2-22

MAILING ADDRESS: ANTHONY PERRICONE 79 CRAESCOOT WAY MAHOPAC, NY 10541

SUBDIVISION PLAN

ISSUANCE	DATE
FOR REVIEW	8/13/2019
FOR REVIEW	10/28/2019
REVISIONS	11/05/2019
REVISIONS	11/27/2019

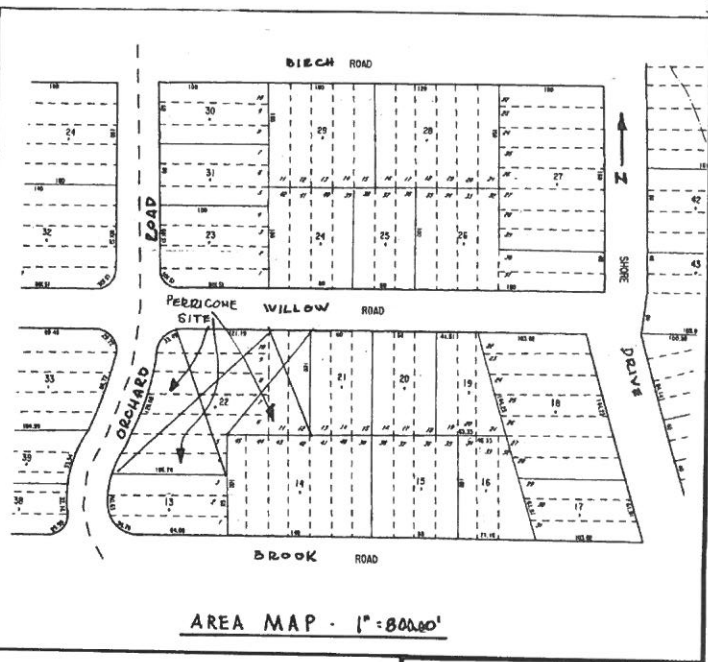
SCALE AS NOTED
DRAWN BY/CHKD BY: MLL / J.L.G.
PROJECT NO. 07-19-099

AS-101

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ARCHITECTURAL VISIONS, INC.

- 15A 74.34-1-25 Federal Natl Mont Assoc
1421 Dallas Pkwy Ste 1000
Dallas, TX 75234
- 10A 74.34-2-43.1 Chrispina Zamora
105 Orchard Rd
Malappac, NY 10541
- 16A 74.34-2-44 Mercedes Andujar
111 Topland Rd
Malappac, NY 10541
- 17A 74.34-1-43.1 Agnes M Emilian
115 Topland Rd
Malappac, NY 10541
- 71 74.26-3-1 Mark W Murrain
125 Orchard Rd
Malappac, NY 10541
- 72 74.26-3-11 Laigina Resner
139 Orchard Rd
Malappac, NY 10541
- 73 74.26-1-7 Kathryn Westrocin
147 Topland Rd
Malappac, NY 10541
- 74 74.26-1-28 Edward A Bopp
150 Orchard Rd
Malappac, NY 10541
- 75 74.26-1-30 Mary Ellen Meyer
158 Orchard Rd
Malappac, NY 10541
- 76 74.26-1-33 Michael A Casano
164 Orchard Rd
Malappac, NY 10541
- 6A 74.34-3-33 Gerbi Seravijan
245 Overland Rd
Malappac, NY 10541
- 25 74.26-2-42 Jerge A Figuera
263 Lake Shore Dr
Malappac, NY 10541
- 26 74.26-2-35 Jerry B Blum
288 Lake Shore Dr
Malappac, NY 10541
- 27 74.26-1-48 Robin D Sakharic
311 Forest Rd
Malappac, NY 10541
- 28 74.26-1-31 Manuel A Margas
315 Willow Dr
Malappac, NY 10541
- 29 74.26-1-42 Anthony Cudde
318 Brook Rd
Malappac, NY 10541
- 30 74.26-1-14 Town Of Carmel
60 Maple Ave
Malappac, NY 10541
- 31 74.26-1-43 Marybeth Sengall
327 Brook Rd
Malappac, NY 10541
- 7A 74.26-1-23 Nancy Torres-Angelo
323 Overland Rd
Malappac, NY 10541
- 8A 74.26-1-18 William Szwarc
334 Forest Rd
Malappac, NY 10541
- 19A 74.26-2-43.1 Wilma Andrade
100 Orchard Rd
Malappac, NY 10541
- 10A 74.26-2-43.1 Elina Bilo
105 Orchard Rd
Malappac, NY 10541
- 20A 74.26-1-20 Elvira Corke
112 Orchard Rd
Malappac, NY 10541
- 21A 74.26-1-15 Pasquale Ciporri
115 Topland Rd
Malappac, NY 10541
- 77 74.26-1-49 Aurelio Carlin
P.O. Box
PO BOX 962
Malappac, NY 10541
- 78 74.26-1-48 Thomas C Tibbitt
142 Orchard Rd
Malappac, NY 10541
- NA 63.20-1-2 Barabas Realty Group, LLC
223 Valley Pl
Malappac, NY 10543
- 79 74.26-1-33 Russell Morisco
150 Orchard Rd
Malappac, NY 10541
- 80 74.26-1-35 Joseph E Shorman
159 Orchard Rd
Malappac, NY 10541
- 81 74.26-1-4 Madita Karlin Litty Trust
170 Topland Rd
Malappac, NY 10541
- 32 74.26-2-18 Steven J Olson
244 Lake Shore Dr
Malappac, NY 10541
- 33 74.26-2-41 Barabas Realty Group, LLC
225 Valley Pl
Malappac, NY 10543
- 34 74.26-1-22 Joe Tamburys
300 Brook Rd
Malappac, NY 10541
- 35 74.26-1-41 Anthony Condit
312 Brook Rd
Malappac, NY 10541
- 36 74.26-1-33 Joseph Caruso
318 Brook Rd
Malappac, NY 10541
- 9A 74.26-1-17 Michael Flanagan
- 37 74.26-1-26 Julia Jankowski
323 Brook Rd
Malappac, NY 10541
- 38 74.26-1-20 Ronald L Madito
323 Forest Rd
Malappac, NY 10541
- 7A 74.26-1-23 Stephen Leggettino
323 Overland Rd
Malappac, NY 10541
- 30 74.26-1-19 Christine Pizzo
327 Brook Rd
Malappac, NY 10541
- 22A 74.26-2-46 Kent A Madigan
101 Orchard Rd
Malappac, NY 10541
- 18 74.26-1-32 Town Of Carmel
60 Maple Ave
Malappac, NY 10541
- 23A 74.26-1-16 Rangan J James O'Brien
112 Orchard Rd
Malappac, NY 10541
- 82 74.26-1-44 MCA Realty Associates LLC
231 Agor Ln
Malappac, NY 10541
- 83 74.26-2-12 Igor Track
135 Orchard Rd
Malappac, NY 10541
- 73 74.26-1-2 Dimes L Marano
142 Topland Rd
Malappac, NY 10541
- 84 74.26-1-37 Charles E Boyle
147 Topland Rd
Malappac, NY 10541
- 95 74.26-1-36 Broderick Diamond
133 Topland Rd
Malappac, NY 10541
- 86 74.26-2-22 Margaret A Kennedy
163 Orchard Rd
Malappac, NY 10541
- 87 74.26-1-4 Madita Karlin Litty Trust
170 Topland Rd
Malappac, NY 10541
- 10A 74.26-2-45.2 Elina Bilo
249 Overland Rd
Malappac, NY 10541
- 40 74.26-2-40 Town Of Carmel
60 Maple Ave
Malappac, NY 10541
- 41 74.26-1-37 Susette A Peterson
303 Willow Dr
Malappac, NY 10541
- 11A 74.26-1-24 John R Kanan
313 Overland Rd
Malappac, NY 10541
- 41 74.26-1-47 Jose Azarado
317 Forest Rd
Malappac, NY 10541
- 43 74.26-1-21 David J McKeown
319 Brook Rd
Malappac, NY 10541
- 37 74.26-1-38 Michael Curta
323 Brook Rd
Malappac, NY 10541
- 44 74.26-1-46 James R Lake
323 Forest Rd
Malappac, NY 10541
- 45 74.26-1-30 Darinda Debor
323 Willow Dr
Malappac, NY 10541
- 29 74.26-1-19 Laura Scarfone
35 Mill Plain Rd Unit 13-2
Dorbury, CT 06811
- 46 74.26-2-23 Susy D Rozald
175 Orchard Rd
Malappac, NY 10541
- 47 74.26-1-24 Austin Lehmann
186 Orchard Rd
Malappac, NY 10541
- 48 74.26-1-23 Rangan J James O'Brien
200 Orchard Rd
Malappac, NY 10541
- 49 74.26-2-32 Michael M Siliakni
201 Orchard Rd
Malappac, NY 10541
- 50 74.26-2-17 Deborah Louise Frankel
204 Brook Rd
Malappac, NY 10541
- 51 74.26-2-6 Myra L Loughlin
205 Forest Rd
Malappac, NY 10541
- 52 74.26-2-16 Pamela Bond Realty Corp
211 Brook Rd
Malappac, NY 10541
- 53 74.26-2-26 Ashley Beach
83 Otis Rd
Carmel, NY 10512
- 54 74.26-2-28 Robert F Agente
214 Brook Rd
Malappac, NY 10541
- 55 74.26-2-4 Thomas M Malone
217 Forest Rd
Malappac, NY 10541
- 1 74.26-2-20 Randy Orban
218 Willow Dr
Malappac, NY 10541
- 2 74.26-2-32 Town Of Carmel
60 Maple Ave
Malappac, NY 10541
- 1A 74.26-2-41 Stephen K White
223 Forest Rd
Malappac, NY 10541
- 3 74.26-2-30 Myra Santiago
223 Lake Shore Dr
Malappac, NY 10541
- 4 74.26-2-14 Francis G Owan
227 Brook Rd
Malappac, NY 10541
- 5 74.26-2-49 Susan E Arnold
229 Lake Shore Dr
Malappac, NY 10541
- 2A 74.26-2-35 Thomas R Schupp
18 Ann Rd
Carmel, NY 10512
- 6 74.26-2-47 William Douglas
235 Lake Shore Dr
Malappac, NY 10541
- 7 74.26-1-17 Anthony F Schorb
238 Maple Rd
Malappac, NY 10541
- 8 74.26-2-13 Alex Scornell
243 Brook Rd
Malappac, NY 10541
- 56 74.26-2-31 Nicole Sullivan
181 Orchard Rd
Carmel, NY 10512
- 57 74.26-2-30 Dennis F Held
187 Orchard Rd
Malappac, NY 10541
- 58 74.26-2-34 Tron Rodriguez
201 Brook Rd
Malappac, NY 10541
- 59 74.26-2-27 Carolyn Sisman
204 Brook Rd
Malappac, NY 10541
- 12A 74.26-2-39 Patricia Alicia Cimen
205 Forest Rd
Malappac, NY 10541
- 60 74.26-2-15 Douglas B Boylan
206 Orchard Rd
Malappac, NY 10541
- 61 74.26-2-5 Pamela Bond Realty Corp
206 Maple Rd
Malappac, NY 10541
- 62 74.26-2-8 Gregory J Schering
212 Brook Rd
Malappac, NY 10541
- 63 74.26-2-19 George D Szwarc
214 Willow Dr
Malappac, NY 10541
- 64 74.26-2-37 Margaret T Pize
218 Willow Dr
Malappac, NY 10541
- 9 74.26-2-15 Daniel Zavis
219 Brook Rd
Malappac, NY 10541
- 10 74.26-2-9 Nicholas DiBaroto
222 Brook Rd
Malappac, NY 10541
- 11 74.26-2-11 Deborah Louise Frankel
204 Brook Rd
Malappac, NY 10541
- 12 74.26-2-29 Edward Robert Wojewicz
236 Brook Rd
Malappac, NY 10541
- 13 74.26-2-24 Kevin Kennedy
227 Willow Dr
Malappac, NY 10541
- 14 74.26-2-10 Kimberly R Rozald
230 Brook Rd
Malappac, NY 10541
- 15 74.26-2-3 John J Neagle
233 Forest Rd
Malappac, NY 10541
- 16 74.26-1-14 Carlos A Niess
236 Maple Rd
Malappac, NY 10541
- 17 74.26-2-46 William Sulzberg
239 Lake Shore Dr
Malappac, NY 10541
- 18 74.26-2-13 Claudia J Bennett
245 Lake Shore Dr
Malappac, NY 10541
- 65 74.26-1-28 Carlos Argento
330 Brook Rd
Malappac, NY 10541
- 66 74.26-1-5 John F Riccio
194 Topland Rd
Malappac, NY 10541
- 67 74.26-2-37 Roberto Gonzalez
284 Brook Rd
Malappac, NY 10541
- 68 74.26-1-14 Douglas Healy
218 Orchard Rd
Malappac, NY 10541
- 69 74.26-2-36 Morris J Atkins
211 Orchard Rd
Malappac, NY 10541
- 13A 74.26-2-40 James J Deigan
212 Brook Rd
Malappac, NY 10541
- 14A 74.26-2-36.2 Felix Realata
218 Orchard Rd
Malappac, NY 10541
- 70 74.26-2-20 Michael Kennedy
218 Willow Dr
Malappac, NY 10541
- 19 74.26-2-35 Barbara Schwab
219 Willow Dr
Malappac, NY 10541
- 20 74.26-2-9 Robert Sanchez
222 Brook Rd
Malappac, NY 10541
- 21 74.26-2-3 James M DeTorne
223 Forest Rd
Malappac, NY 10541
- 22 74.26-2-21 Paul Triggono
226 Willow Dr
Malappac, NY 10541
- 3A 74.26-2-42 Pablo Lave
228 Forest Rd
Malappac, NY 10541
- 23 74.26-2-48 Elvira Corke
2838 White Ave Apt 28
Rosar, NY 10463
- 4A 74.26-2-43.2 Vincent L Light
234 Forest Rd
Malappac, NY 10541
- 5A 74.26-2-34 Lori Cook
237 Overland Rd
Malappac, NY 10541
- 17 74.26-2-46 William Sulzberg
239 Lake Shore Dr
Malappac, NY 10541
- 24 74.26-2-45 Claudia J Bennett
245 Lake Shore Dr
Malappac, NY 10541
- 87 74.26-1-27 Carlos Argento
330 Brook Rd
Malappac, NY 10541
- 88 74.26-1-29 Scott W Ryan
333 Willow Dr
Malappac, NY 10541
- 24A 74.26-1-19 Matthew Tucker
330 Forest Rd
Malappac, NY 10541
- 89 74.26-2-33 Town Of Carmel
60 Maple Ave
Malappac, NY 10541
- 90 74.26-1-45 Lewis Phillips
331 Forest Rd
Malappac, NY 10541
- 1C 74.26-1-16 Town Of Carmel
60 Maple Ave
Malappac, NY 10541



ARCHITECTURAL VISIONS, INC.
 2 MUSCOOT ROAD NORTH
 MAHOPAC, NY 10541
 WWW.OWNERSWITHIN500.COM
 P: 845-628-6813
 F: 845-628-2807

PROJECT: PERRICONE
 PROJECT ADDRESS
 183 ORCHARD ROAD
 MAHOPAC, NY 10541
 TAX MAP NO. 74.26-2-22
 MAILING ADDRESS
 ANTHONY PERRICONE
 70 CRAESCOOT WAY
 MAHOPAC, NY 10541

OWNERS WITHIN 500' AND AREA MAP

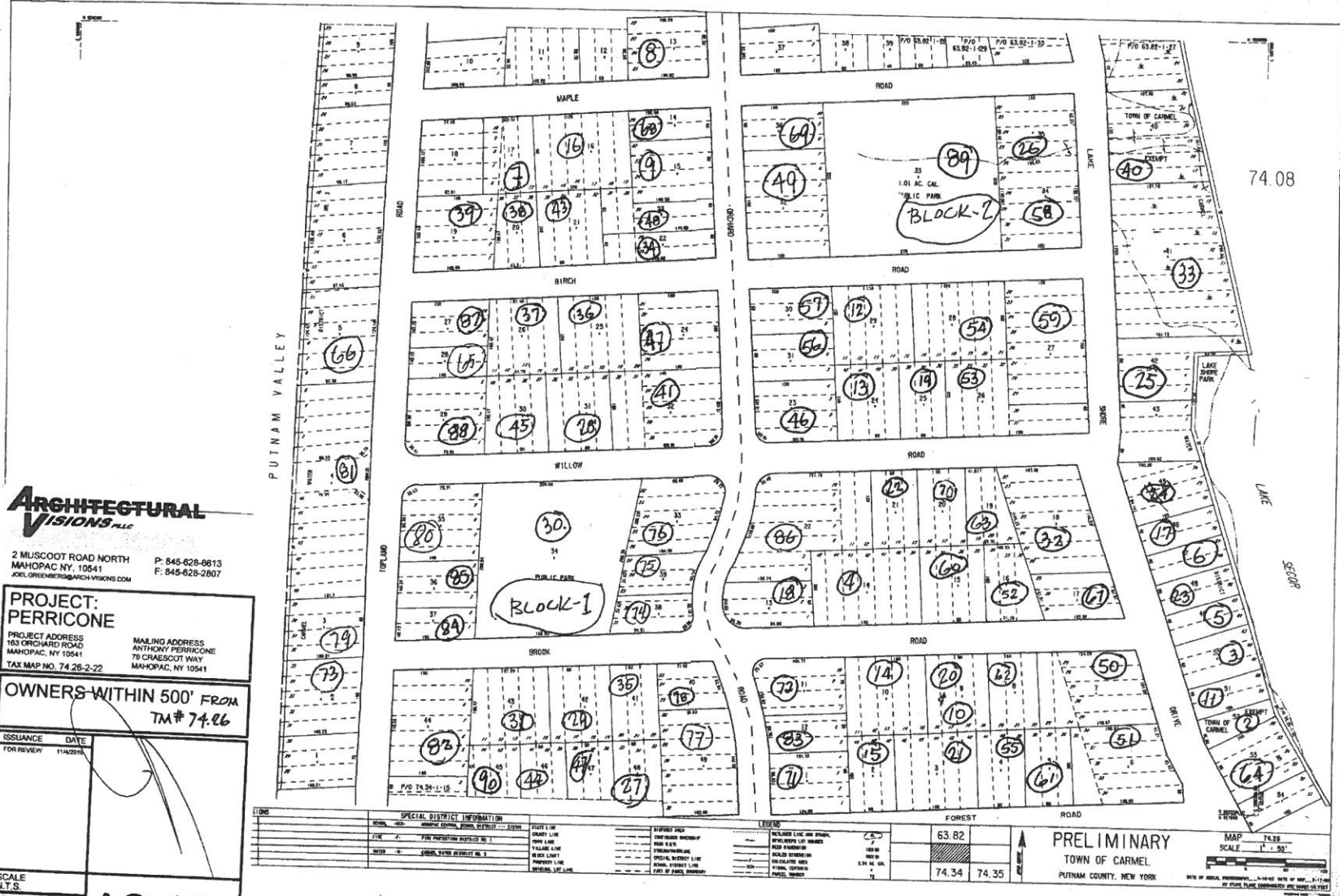
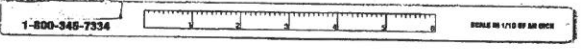
ISSUANCE	DATE
FOR REVIEW	11/20/18
REV	01/01/19

SCALE
 N.T.S.
 DRAWN BY/CHKD BY
 PROJECT NO.
 07-18-069

AS-102

IT IS A VIOLATION OF STATE LAW FOR ANY PERSON UNLAWFULLY CARRYING THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER ANY ITEM ON THESE PLANS AND DOCUMENTS BY ANY MEANS, WITHOUT THE WRITTEN CONSENT OF AN ARCHITECT OR A TITLE, THE ALTERING ARCHITECT SHALL BE RESPONSIBLE FOR THE REAL AND THE ARCHITECT ALTERED BY ANY MEANS, WITHOUT THE WRITTEN CONSENT OF AN ARCHITECT, AND THE DATE OF SUCH ALTERATION, AND A BRIEF DESCRIPTION OF THE ALTERATION. THIS ARCHITECT (DESIGNER) AND ALL RESPONSIBILITY FOR ALTERATIONS OF THESE PLANS AND DOCUMENTS BY OTHERS AND UNLAWFULLY CARRYING PERMISSION TO CHANGES TO THESE PLANS AND DOCUMENTS.

927L



ARCHITECTURAL VISIONS LLC
 2 MUSCOOT ROAD NORTH MAHOPAC NY, 10541 P: 845-628-8613
 163 ORCHARD ROAD MAHOPAC, NY 10541 F: 845-628-2807
 JOEL.GREENBERG@ARCHVISIONS.COM

PROJECT: PERRICONE
 PROJECT ADDRESS: ANTHONY PERRICONE, 70 CRAESCOOT WAY, MAHOPAC, NY 10541
 MAILING ADDRESS: ANTHONY PERRICONE, 70 CRAESCOOT WAY, MAHOPAC, NY 10541
 TAX MAP NO. 74.26-2-22
OWNERS WITHIN 500' FROM TAM # 74.26

ISSUANCE DATE	FOR REVIEW	DATE
	11/20/18	

SCALE: N.T.S.
 DRAWN BY/CHKD BY: [Signature]
AS-103
 PROJECT NO. 07-15-009

PRELIMINARY
 TOWN OF CARMEL
 PUTNAM COUNTY, NEW YORK
 MAP SCALE: 1" = 50'
 MAP NO. 74.26

1-800-345-7334



SCALE IN FEET OF AN INCH

TINAM VALLEY

ARCHITECTURAL VISIONS, LLC

2 MUSCOOT ROAD NORTH
MAHOPAC NY, 10541
JOEL.GREENBERG@ARCHV.COM

P: 845-628-9613
F: 845-628-2807

PROJECT: PERRICONE

PROJECT ADDRESS
163 ORCHARD ROAD
MAHOPAC, NY 10541
TAX MAP NO. 74.26-2.22

MAILING ADDRESS
ANTHONY PERRICONE
78 CRAESCOOT WAY
MAHOPAC, NY 10541

**OWNERS WITHIN 500' FROM
TM# 74.34**

ISSUANCE DATE
FOR REVIEW 11/4/2018

SCALE
N.T.S.
DRAWN BY/CHKD BY
PROJECT NO.
07-19-099

AS-104

NO.	DATE	DESCRIPTION
1	11/4/2018	ISSUED FOR REVIEW

SPECIAL DISTRICT INFORMATION	
UNITS	...
...	...

SYMBOL	DESCRIPTION
(Symbol)	...
(Symbol)	...

SYMBOL	DESCRIPTION
(Symbol)	...
(Symbol)	...

74.26	74.35	74.42	74.43
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PRELIMINARY
TOWN OF CARMEL
PUTNAM COUNTY, NEW YORK

