

JOHN MAXWELL
Chairman

PHILIP AGLIETTI
Vice-Chair

TOWN OF CARMEL
ZONING BOARD OF APPEALS



60 McAlpin Avenue
Mahopac, New York 10541
Tel. (845) 628-1500 – Ext 187
www.ci.carmel.ny.us

MICHAEL
CARNAZZA
*Director of Code
Enforcement*

BOARD MEMBERS

ROSE FABIANO
SILVIO BALZANO
JOHN STARACE
JULIE MCKEON

LEGAL NOTICE

By the Zoning Board of Appeals of the Town of Carmel pursuant to Section 267 Town Law, notice is hereby given that a hearing will be held on:

APRIL 27, 2023 – 7:30 P.M.

To hear the following applications:

HOLD OVER APPLICATIONS:

1. Application of **OSCAR CHAVEZ & GIOVANNA TORANZO** for a Variation of Section 156-15 seeking a Variance for permission to build addition to kitchen (south side of house). The property is located at 710 South Lake Blvd., Mahopac NY and is known as Tax Map #75.11-2-15.

Code Requires/Allows	Provided	Variance Required
15' side	13.77'	1.23'

NEW APPLICATIONS:

2. Application of **FRANK SCHMIDT** for a Variation of Section 156-15 seeking an Area Variance for permission to retain two sheds. The property is located at 50 Steiner Drive, Mahopac NY and is known as Tax Map #64.9-1-8.

Code Requires/Allows	Provided	Variance Required
Shed 1: 10' Side	1'	9'
Shed 2: 10' Rear	8'	2'

3. Application of **LIONEL RIVERA** for a Variation of Section 156-15 seeking an Area Variance for permission to build a front mudroom addition, portico and steps. The property is located at 13 Hillside Place, Carmel NY and is known as Tax Map #44.15-2-15

Code Requires/Allows	Provided	Variance Required
40' Side	38'	2'

4. Application of **PHILLIP LEPORE** for a Variation of Section 156-15 seeking an Area Variance for permission to construct shed. The property is located at 28 Crosshill Road, Mahopac NY and is known as Tax Map #74.42-1-69.

Code Requires/Allows	Provided	Variance Required
10' Side	2'	8'
10' Rear	2.1'	7.9'

5. Application of **MICHAEL MADSEN** for a Variation of Section 156-15 seeking an Area Variance for permission to replace existing deck and add portion. The property is located at 26 Boniello Drive, Mahopac NY and is known as Tax Map #85.12-2-13.

Code Requires/Allows	Provided	Variance Required
15' Side	8'	7'

6. Application of **C.TORRES/K.SANTANA** for a Variation of Section 156-15 seeking an Area Variance for permission to retain deck. The property is located at 258 Topland Road, Mahopac NY and is known as Tax Map #63.82-1-5.

Code Requires/Allows	Provided	Variance Required
15' Side - South	4'	11'
15' Side - North	13'	2'

7. Application of **DAVID & EVELYN SANTANA** for a Variation of Section 156-20 seeking an Area Variance for permission to retain existing 52" fence in front and 6' high on sides as well as Driveway Gates. The property is located at 467 Bullet Hole Road, Mahopac NY and is known as Tax Map #64.6-1-2

Code Requires/Allows	Provided	Variance Required
4' Fence Front Yard	52" across front of house and 6' along driveway & adjacent to easterly property & 6' Driveway Gate	4" along front and 2' along driveway & easterly property line

8. Application of **MITCHELL & LAUREN KARP** for a Variation of Section 156-20 seeking an Area Variance for permission to retain 6' fence in front yard. The property is located at 19 Woodland Road, Mahopac NY and is known as Tax Map #75.7-1-18.2.

Code Requires/Allows	Provided	Variance Required
4' Fence in Front Yard	6' Fence	2' variance

9. Application of **FABIAN PANI** for a Variation of Section 156-20 seeking a Variance for permission to retain 6' fence in front. The property is located at 112 Stillwater Road, Mahopac NY and is known as Tax Map #75.17-1-52.

Code Requires/Allows	Provided	Variance Required
4' fence in front yard	6'	2'

10. Application of **ROBERT SORENSEN** for a Variation of Section 156-20 seeking a Variance for permission to construct fence along front/side of corner lot. The property is located at 1 Fabbri Court, Mahopac NY and is known as Tax Map #75.13-1-22.

Code Requires/Allows	Provided	Variance Required
4' tall fence in front yard	6' fence along Rt. 6N	2' Fence Variance

MISCELLANEOUS:

MINUTES:

- February 23, 2023
- March 23, 2023

By Order of the Chairman, John Maxwell



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

Ma

IN THE MATTER OF THE APPEAL
OF
Chavez + Toranzo extension
TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: 3/3, 2023

Application For (circle applicable): Area Variance 15ft-15' Use Variance Interpretation 280A

Name of Property Owner: Oscar Chavez + Address: 710 S. Lake Blvd Mahopac NY

Mailing Address: same Giovanna Toranzo Phone Number(s): _____

Zoning District: R130 Tax Map: 75.11 - 2 - 15

Applicant is: (circle one) Owner (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]

E-Mail Address: _____

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
	<u>NO previous ZBA appearances</u>	<u>(Dma)</u>

List all improvements (1 family dwelling, pool, etc.) 1 family House + Sled

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: survey, photos

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO
Explain: Rt 6N/S Lake Blvd; LAKE MAHOPAC

I, the applicant, am seeking permission to: Build addition to Kitchen (South Side of house)

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
<u>15' side</u>	<u>15' 13' 7"</u>	<u>1.23'</u>

State of New York)
County of Putnam)
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this 3 day of March 2023
Patricia R. Genna
Notary Public

PATRICIA R. GENNA
Notary Public, State of New York
No. 05966162005
Qualified in Putnam County
Commission Expires 3-12-2027

Petitioner Giovanna Toranzo Date 3/3/23



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

AUTHORIZATION FORM

RE: Property of: Oscar Chavez Giovanna Brenzo
Located at: 710 So. Lake Blvd (Address) (City, Town, Village)
Tax Map #: 75.11 2 15
In the matter of: Chavez Toranzo (Variance Request)

To whom it may concern:

This letter is to authorize David R. Adler
a/an (check one) Attorney Engineer Architect Other (contractor)

to apply for the required variance(s) on the above noted property and to sign all necessary papers and make all necessary representations on my behalf in connection with the above-mentioned matter.

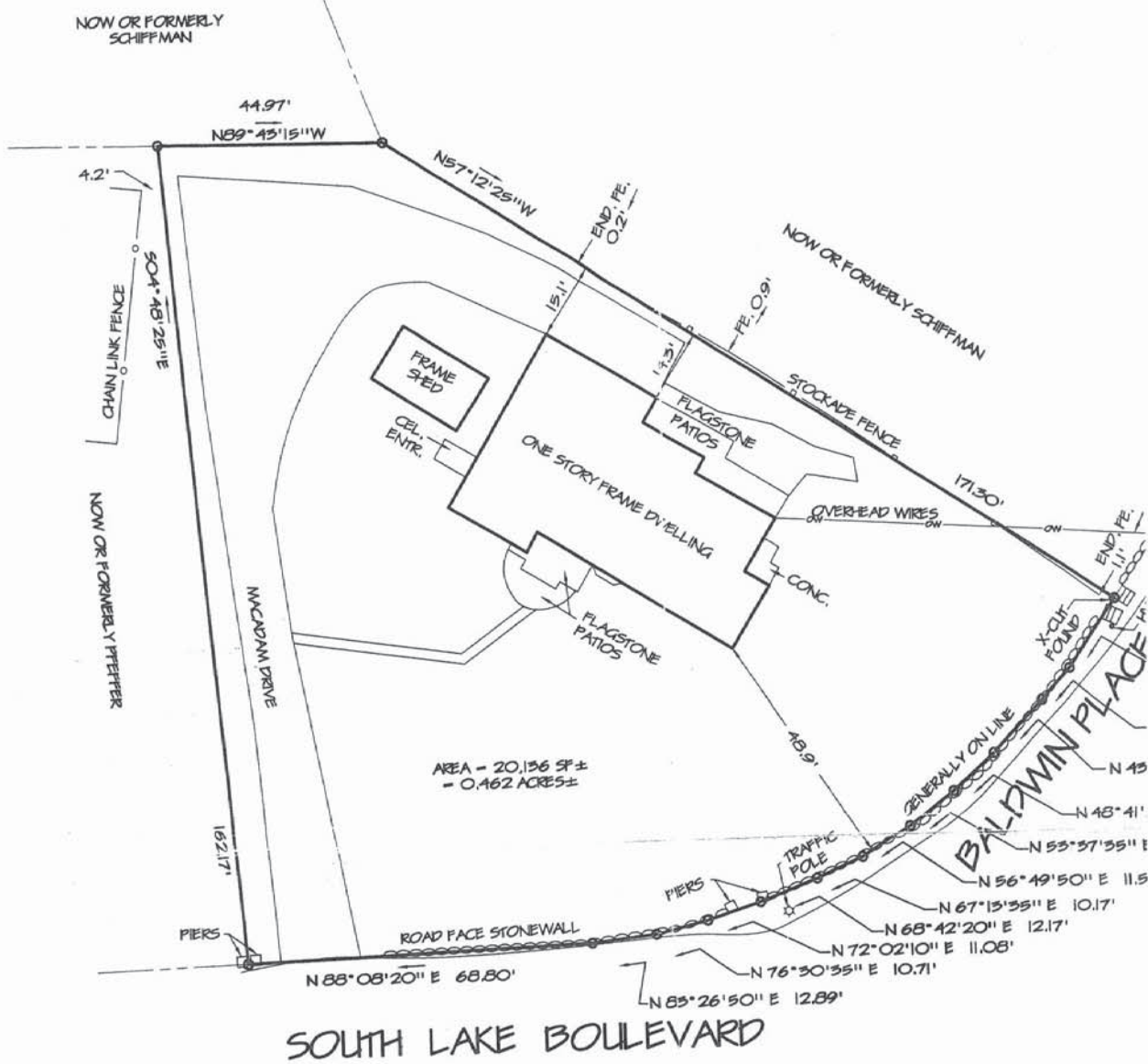
Countersigned: David R. Adler
(Representative)
(Print Name)

Signed: Giovanna Toranzo
(Owner of Property)
Giovanna Toranzo
(Print Name)

Mailing Address: 19 Sunset Drive
Thousand Oaks
State: NY Zip: 10994
Telephone # 914 557 2032
Date: 3-3-09
E-mail: adleradler48cg@aol.com

Mailing Address: 710 South Lake Blvd
State: NY Zip: 10541
Telephone # _____

NOTE: The willful submission of false or inaccurate information on this application may result in the dismissal of the application, or the revocation of any action taken on the application, or both.



SURVEY OF PROPERTY
 PREPARED FOR
STEVEN G. SLOANE
 AND
ELIZABETH A. SLOANE

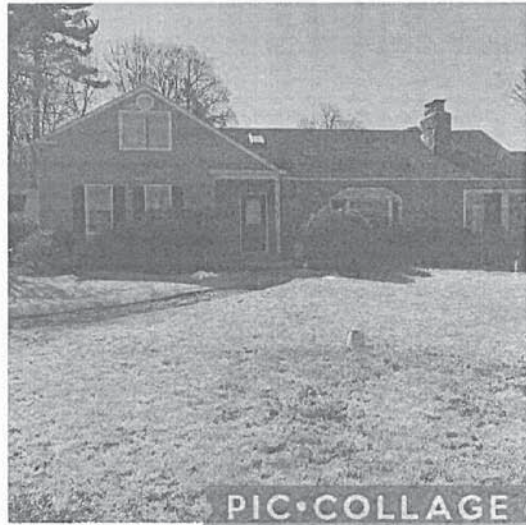
SITUATE IN
 TOWN OF CARMEL PUTNAM CO., N.Y.
 SCALE: 1" = 20'
 JUNE 11, 2003
 COPYRIGHT © 2003 ROBERT H. BERGENDORFF. ALL RIGHTS RESERVED

SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
 CERTIFICATIONS INDICATED HEREON SIGNIFY THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS, INC.
 CERTIFICATIONS SHALL RUN ONLY TO THE PERSON FOR WHOM THIS SURVEY WAS PREPARED AND ON HIS BEHALF TO THE TITLE CO. AND LENDING INSTITUTION LISTED HEREON.
 CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

ROBERT H. BERGENDORFF
 N.Y. Lic. no. 40907 CT. Lic. no. 8000

OFFICE OF RICHARD H. GORR
 599 ROUTE 6 P.O. BOX 916

THE ALTE
 OTHER TI
 LEADING
 WELFARE
 LICENSEE
 SURVEY/
 PREPARE
 UNAUTHC
 SURVEY/
 THE NEW
 THE LOC
 OR ENCI
 HEREON
 ALL CER
 MAP AN
 COPIES
 SURVEY/
 THIS MA
 "SURVE"
 STATEM
 ANCE P



A

Me



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

IN THE MATTER OF THE APPEAL
OF
Schmidt
TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: 3/28, 2023

Application For (circle applicable): Area Variance (156.15) Use Variance Interpretation 280A
Name of Property Owner: Frank Schmidt Address: 50 Stein Dr. Mahopac NY
Mailing Address: Same Phone Number(s):
Zoning District: R Tax Map: 64.9 - 1 - 9
Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]
E-Mail Address:

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
	<u>No previous ZBA appearances</u>	<u>(Initials)</u>

List all improvements (1 family dwelling, pool, etc.) 1 family dwelling, + 2 sheds

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: Survey + Photos

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO (NO)
Explain:

I, the applicant, am seeking permission to: Retain 2 sheds

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
<u>Shed 1 10' Side</u>	<u>1'</u>	<u>9'</u>
<u>shed 2 10' Rear</u>	<u>8'</u>	<u>2'</u>

State of New York)
 ss:
County of Putnam)
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

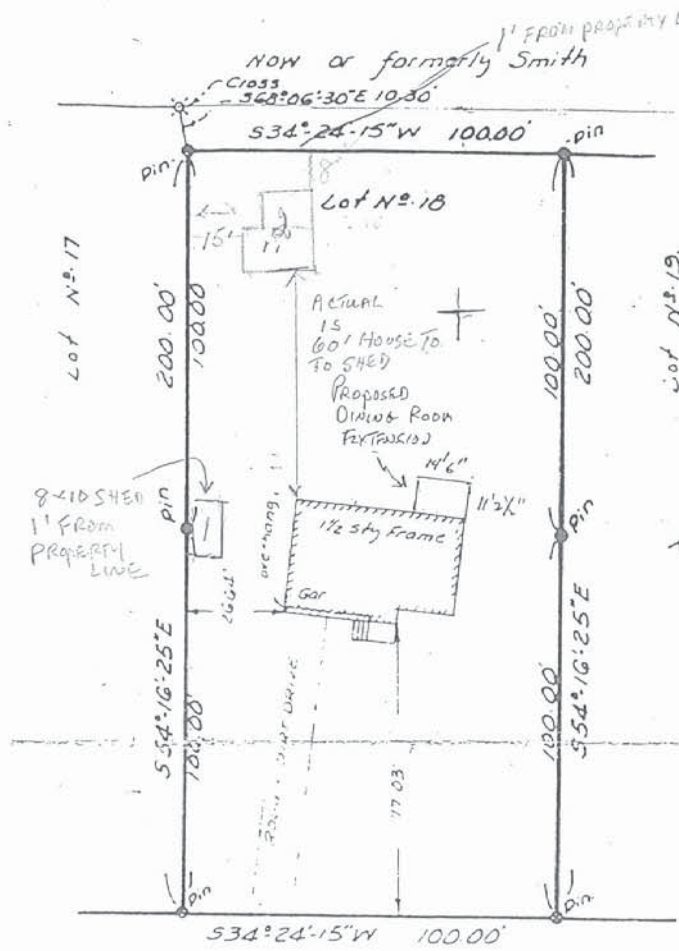
Sworn to before me this 28 day of March 2023
Alice Daly
Notary Public

ALICE DALY
Notary Public, State of New York
No. 01DA6345218
Qualified in Putnam County
Commission Expires July 25, 2024

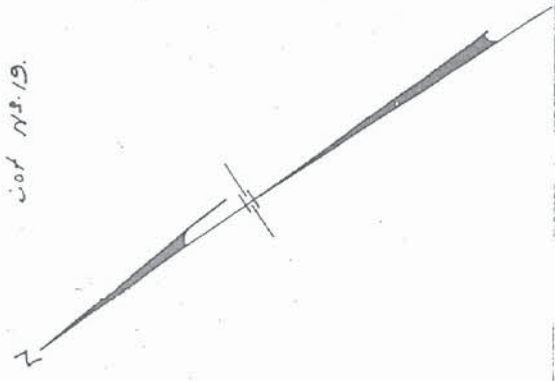
Petitioner Frank Schmidt Date 3/28/2023

SIGNS ARE NOT PERMANENT - THEY SIT ON CONCRETE BLOCK

C



WALL
 53' TO WALL
 28' TO CURBLINE
 $28' = .7'' = 1/16''$
 $53' = 1.3'' = 1 5/16''$



MAP OF SURVEY
 of
 LOT NO. 18

AUSTIN DEVELOPMENT CORP.
 (COUNTY FILED MAP NO. 899- 1/23/61)

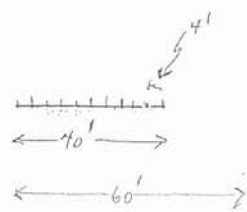
COUNTY OF PUTNAM
 NEW YORK.

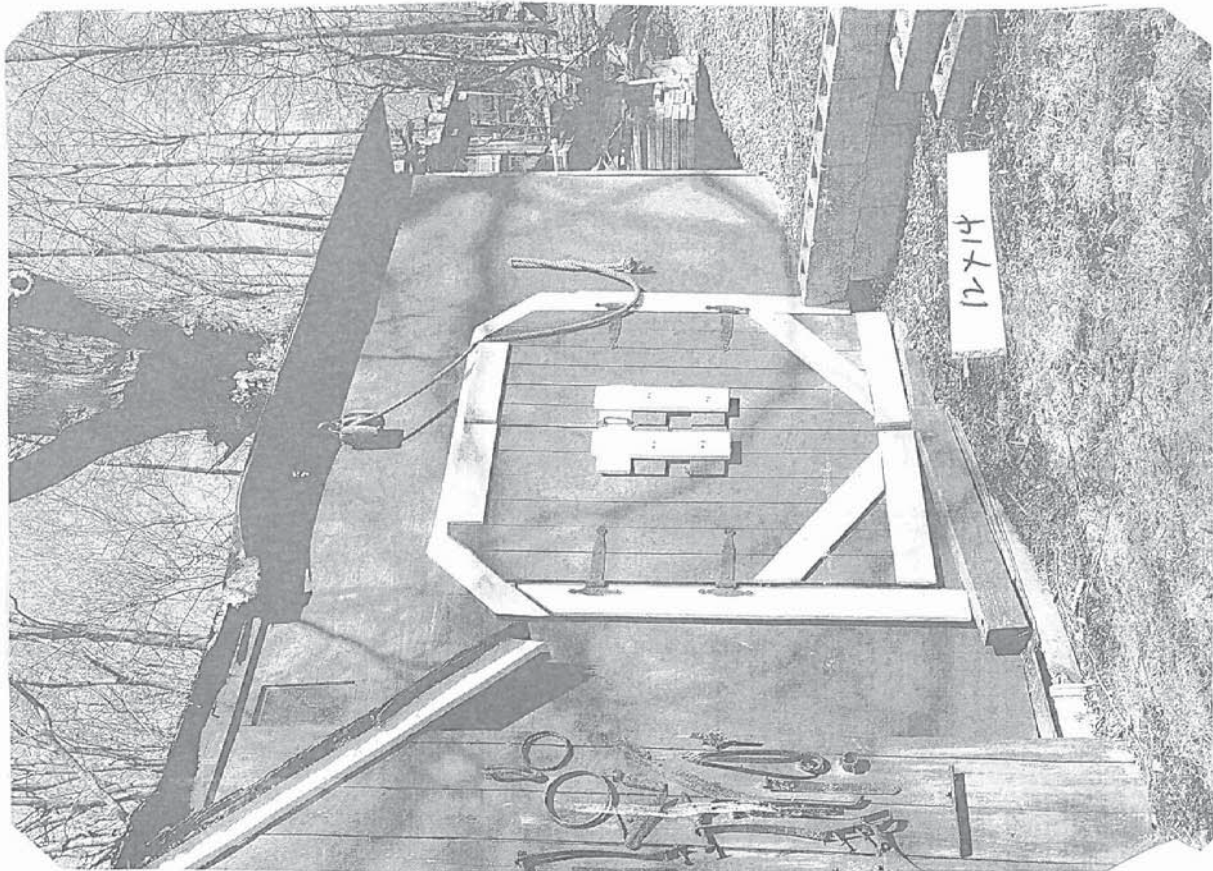
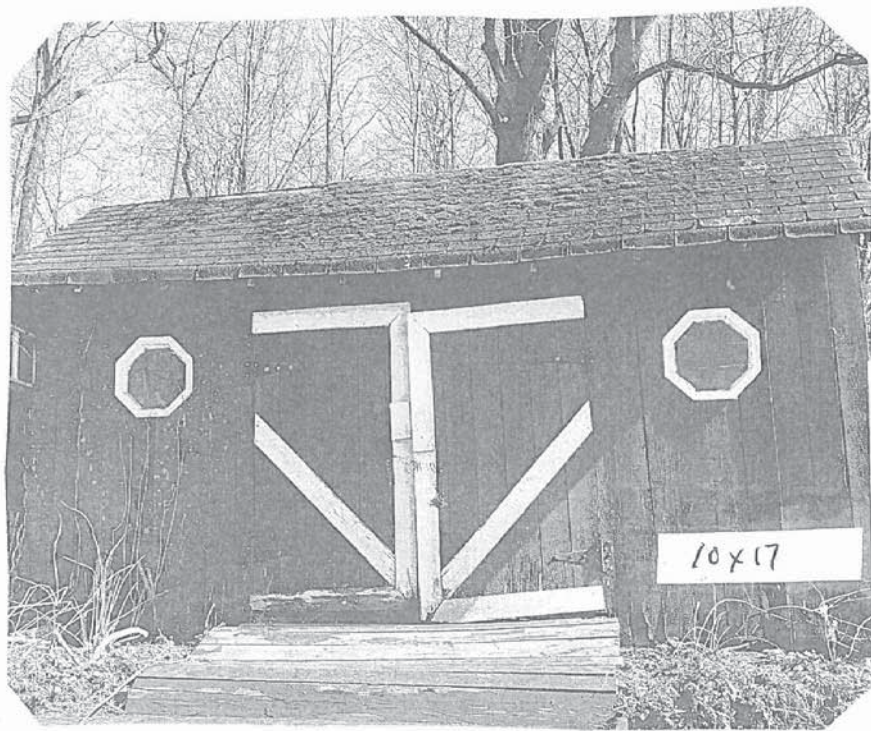
Scale: 1 In. = 40 Ft. June 20, 1967
 I certify that this map was made from an actual survey of the property.
 Survey completed on June 14, 1967
 Map completed on June 20, 1967

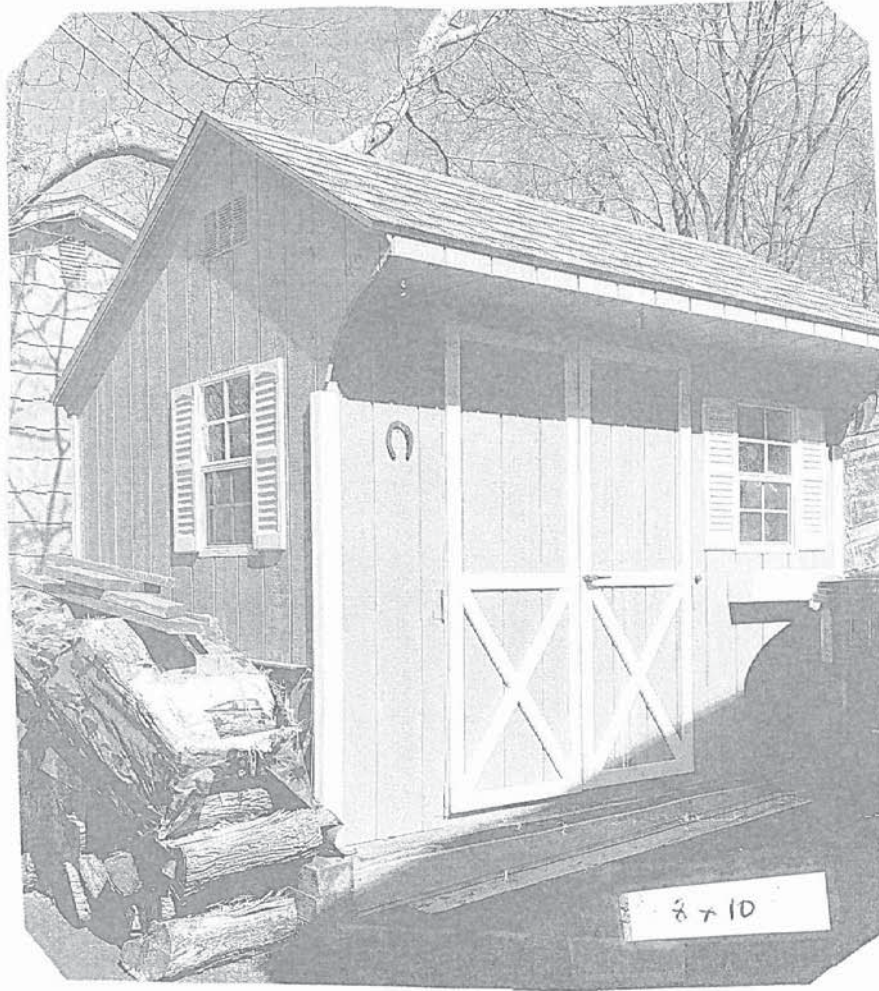
Checked by: [Signature]
 and [Signature]
 BURGESS & BLAIR

LEGEND

•..... Indicates Iron pin marked "Burgess Survey Point"







A

ARC



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

IN THE MATTER OF THE APPEAL
OF
Rivera Addition
TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: 3/30, 2023

Application For (circle applicable): Area Variance 156-15 Use Variance Interpretation 280A
Name of Property Owner: Lionel Rivera Address: 13 Hillside Pl Carmel NY 10512
Mailing Address: 13 Hillside Pl Carmel NY 10512 Phone Number(s): _____
Zoning District: R Tax Map: 44.13 - 2 - 15
Applicant is: (circle one) Owner (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]
E-Mail Address: _____

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
	<u>NO previous ZBA appearances</u>	<u>(Done)</u>

List all improvements (1 family dwelling, pool, etc.) 1 family w/ accessory apt. shed

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: Plans, Elevations, Survey, Photographs

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO
Explain: FAIR STREET

I, the applicant, am seeking permission to: Build A Front Mudroom Addition Portico and Steps

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
<u>40'</u>	<u>36</u>	<u>2'</u>

State of New York)
 ss:
County of Putnam)
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

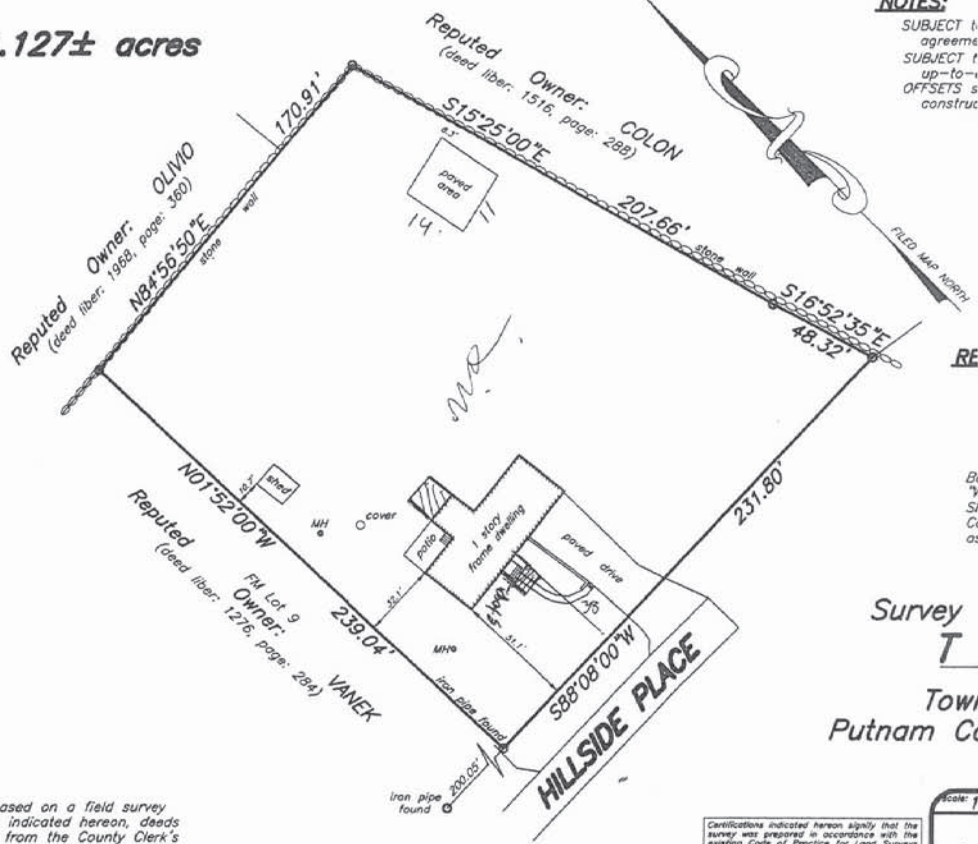
Sworn to before me this 30 day of March 2023
Alice Daly
Notary Public

ALICE DALY
Notary Public, State of New York
No. 01DA6345218
Qualified in Putnam County
Commission Expires July 25, 2024

Petitioner Alice Rivera Date 3/30/23

C

AREA= 1.127± acres



NOTES:
 SUBJECT to
 agreements
 SUBJECT to
 UP-TO-DATE
 OFFSETS &
 construc

FILED MAP 10/27/11

RE

EN
 T
 S
 C
 A

Survey
 T
 Town
 Putnam Co

I hereby certify to:
 Luis A. Tigre;
 that this mapping is based on a field survey performed on the date indicated hereon, deeds and/or maps obtained from the County Clerk's office, and is correct and accurate to the best of my knowledge.

Howard W. Weeden
 Howard W. Weeden, P.L.S., P.C. NYS Lic. No. 049967

Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of Section 2306, sub-section 2 of the New York State Education Law.

Certifications indicated hereon signify that the survey was prepared in accordance with the existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors. Said certifications shall run only to the person(s) for whom the survey is prepared, and on his/her behalf to the title company, governmental agency and lending institution listed hereon, and to the trustees of the lending institution. Certifications are not transferable to auctioneer, realtor or their subsequent owners.

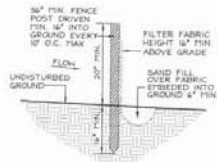


CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

HIND DESIGN				SUBJECT TO DAMAGE FROM				HINTER DESIGN TEMP				
CLIMATE ZONE	GROUND SNOW LOAD	SPECIAL HIND REGION	NO OBJECTS	HAZARD-DEBRIS ZONE	SEISMIC DESIGN CATEGORY	HEATHERING	FROST LINE DEPTH	TERRITE	ICE SHELF UNDERLAMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP.
4B	30 PSF	YES	NO	NO	C	REVERSE	42"	MODERATE TO HEAVY	7 DEG	YES	NO	1900 OR LESS

SILT FENCE INSTALLATION NOTES

1. EXCAVATE A 4 INCH 9 x 4 INCH TRENCH AS SHOWN ON THE EROSION CONTROL PLAN.
2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
3. DRIVE THE POST INTO THE GROUND UNTIL THE SETTING IS APPROXIMATELY 2 INCHES FROM THE TRENCH BOTTOM.
4. LAY THE TIE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH, BACKFILL THE TRENCH AND TAMP THE SOIL. STEEPER SLOPES REQUIRE AN INTERCEPT TRENCH.
5. SILT FENCE TO BE APPROX 1000 SILT STOP OR EQUAL.



EROSION CONTROL FENCE
N.T.S.

ELECTRICAL NOTES

1. ELECTRICAL EQUIPMENT SHOWN ON DRAWINGS IS DIAGNOSTIC WITH NO ATTEMPT MADE TO MARK EVERY RACUNY, FITTING, JUNCTION BOX, ETC.
2. ALL WORK TO BE PERFORMED UNDER SUPERVISION OF A LICENSED CONTRACTOR LICENSED BY THE STATE OF NEW YORK AND THE TOWN OF CARLE.
3. ALL WORK TO COMPLY WITH NFPA 70-00, NATIONAL ELECTRICAL CODE AND ALL APPLICABLE STATE AND LOCAL CODES.
4. CONTRACTOR TO OBTAIN ALL PERMITS REQUIRED TO COMPLETE WORK AND SCHEDULE ALL REQUIRED INSPECTIONS WITH LOCAL AUTHORITIES.
5. ALL NEW EQUIPMENT TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.
6. THE ELECTRICAL SHALL FURNISH LAMPS FOR ALL NEW LIGHT FIXTURES PROVIDED BY THE ELECTRICAL AND SHALL REPLACE ANY EXISTING LAMPS WHICH BURN OUT UNTIL THE PROJECT IS COMPLETE AND THE OWNERS HAVE RECEIVED THE CERTIFICATE OF OCCUPANCY.
7. THE CONTRACTOR SHALL LOOSENLY SET ALL BONES FOR ALL SWITCHES, CONVENIENCE OUTLETS, AND LIGHT FIXTURES PRIOR TO HIRING THE OWNER TO APPROVE ALL LOCATIONS BEFORE BONES ARE PERMANENTLY SET AND WIRING COMMENCES.
8. NO SUBSTITUTIONS OF LIGHT FIXTURES, LAMPS, SWITCHES, OR OUTLETS SPECIFIED SHALL BE MADE WITHOUT THE APPROVAL OF THE OWNER.
9. PROVIDE GALLS (ASTM A51) AT ALL PENETRATIONS FOR WIRES AND PIPES THROUGH HORIZONTAL FIRE BLOCKING AND PLATES BETWEEN FLOORS.
10. THE ELECTRICAL CONTRACTOR TO EXAMINE EXISTING SERVICE TO DETERMINE IF IT IS ADEQUATE TO SUPPORT THE ADDITIONAL LIGHTING LOADS.

GENERAL NOTES

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, OMISSIONS AND/OR CONFLICTS BEFORE PROCEEDING WITH THE WORK. ARCHITECT IS NOT ENGAGED FOR SUPERVISION.
2. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF HE CANNOT COMPLY WITH ALL REQUIREMENTS. DO NOT SCALE DRAWINGS! DIMENSIONS GOVERN, LARGER SCALE DRAWINGS GOVERN OVER SMALLER SCALED DRAWINGS.
3. CONTRACTOR MUST COMPLY WITH THE RULES AND REGULATIONS OF AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO THE NEW YORK STATE RESIDENTIAL CODE AND THE TOWN OF CARLE.
4. THE CONTRACTOR SHALL MAINTAIN A BOUND CURRENT AND COMPLETE SET OF CONTRACT DOCUMENTS ON THE PREMISES FOR ALL TRADES TO USE.
5. THE OWNER SHALL RELEASE, HOLD HARMLESS AND INDEMNIFY THE ARCHITECT WITH RESPECT TO ANY CHANGES MADE TO THE CONSTRUCTION DOCUMENTS BY ANYONE OTHER THAN THE ARCHITECT, OR OMISSIONS IN ANY ASPECT OF THE WORK, OR FAILURE BY THE CONTRACTOR TO BUILD IN ACCORDANCE WITH THESE CONSTRUCTION DOCUMENTS.
6. UPON SUBSTANTIAL COMPLETION AND BEFORE FINAL PAYMENT, THE CONTRACTOR SHALL SUBMIT SIGNED LISTS SHOWING FROM ALL SUB CONTRACTORS AND SUPPLIER SUPPLIES IN CONNECTION WITH THIS PROJECT TO OWNER.

CONSTRUCTION NOTES

1. INFORMATION SHOWN ON THESE DRAWINGS IS FOR DESIGN INTENT ONLY. VERIFY EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD. COORDINATE DISCREPANCIES WITH THE ARCHITECT.
2. PROVIDE PROOF OF WORKMANS COMPENSATION INSURANCE AND DISABILITY INSURANCE COVERAGE REQUIRED BY GOVERNING STATE LAW PRIOR TO START OF WORK.
3. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE, TRUE AND IN PROPER ALIGNMENT.
4. ALL MATERIALS AND ASSEMBLIES REQUIRED TO HAVE A FIRE RESISTANCE RATING SHALL COMPLY WITH NFPA FIRE RESISTANCE RATINGS AND HAVE BEEN TESTED IN ACCORDANCE WITH ASTM "STANDARD METHODS OF FIRE TESTS".
5. WHERE PIPES OR CABLES PENETRATE WALL OR FLOOR OPENINGS PROVIDE FIRESTOP MATERIAL AS REQUIRED TO INSURE CONTINUITY OF RATING PER NEW YORK STATE BUILDING CODE OR LOCAL CODE.
6. FOOTINGS SHALL BEAR ON UNDISTURBED SOIL HAVING A SAFE BEARING CAPACITY OF 2000 LB PER SQ FT.
7. ALL CONCRETE WORK SHALL CONFORM TO THE AD BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE.
8. ALL CONCRETE SHALL BE NORMAL HEIGHT (STONE) CONCRETE HAVING A FINISH UPSTATE COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
9. ALL BAR REINFORCING SHALL BE DEFORMED BARS OF NEW BILLET STEEL CONFORMING TO ASTM A618, GRADE 60.
10. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A62 AND A66.
11. ALL CONCRETE MASONRY UNITS TO BE SILICEOUS AGGREGATE TYPE OF THICKNESS INDICATED ON DRAWINGS.
12. STRUCTURAL LUMBER TO BE DOUGLAS FIR, F#1200 PSI. ALL LUMBER TO BE GRADE MARKED.
13. INSTALL WINDOWS, DOORS AND ALL OTHER EQUIPMENT AS PER MANUFACTURERS SPECIFICATIONS.
14. PAINTING OR INTERIOR FINISH SHALL BE DONE UNDER CONDITIONS WHICH WILL NOT JEOPARDIZE THE QUALITY OR APPEARANCE OF SUCH WORK.
15. ALL DIMENSIONS ARE TO FACE OF FRAMING UNLESS OTHERWISE NOTED.
16. ELECTRICAL WORK TO COMPLY WITH U.L. REQUIREMENTS AND WITH THE NATIONAL ELECTRIC CODE.
17. THE CONTRACTOR SHALL PROTECT ALL ITEMS TO BE RELOCATED. ANY ITEMS REQUIRED TO BE RELOCATED WHICH ARE DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT HIS EXPENSE.
18. ALL EXISTING FLOORS REVEALED FROM DEMOLITION OF EXISTING PARTITIONS SHALL BE PATCHED TO PROVIDE ADEQUATE SURFACE FOR NEW FLOORING.
19. ALL PARTITIONS PARTIALLY DEMOLISHED SHALL BE PATCHED AND REFINISHED TO MATCH EXISTING.
20. ALL PLUMBING, ELECTRICAL OR OTHER EXISTING UTILITY LINES SERVING ITEMS TO BE RELOCATED SHALL HAVE CAPS, FACE PLATES, ETC. TO MATCH EXISTING.
21. "AREA OF NO WORK" DELINEATES ARCHITECTURAL WORK. IT DOES NOT EXCLUDE WORK FOR MECHANICAL, ELECTRICAL, PLUMBING OR ANY OTHER TRADE.
22. PARTITIONS SHOWN ALIGNED WITH BASE BUILDING STRUCTURE SHALL BE FLUSH AND SMOOTH WITH BASE BUILDING UNLESS OTHERWISE NOTED.
23. ALL DOORS IN ORTHALL PARTITIONS SHALL BE SET 4 FEET CLEAR OPENING OF FRAME TO IMMEDIATE ADJACENT HALL, UNLESS OTHERWISE NOTED.
24. ALL DOORS SHALL HAVE AN UNDERCUT TO CLEAR FINISH FLOOR BY 1/2" UNLESS OTHERWISE NOTED.

2020 RCNYS AND 2020 EECNYS CONSERVATION CODE TABLE

DESIGN DATA:
 WINTER DRY-BULB TEMP. 7
 SUMMER DRY-BULB TEMP. 84
 COINCIDENT WET-BULB TEMP. 73
 HEATING DEGREE DAYS: 5750
 ZONE: 4B
 CODE DESIGN APPROACH: CHAPTER R4 (TABLE 1.2)
 HEATING TYPE: OIL FIRED - FORCED AIR

DESCRIPTION	COMMENTS	PROPOSED	REQUIRED
CEILING		R-49	R-49
HALL		R-71	2019/2020 R-107
FLOOR		R-30	R-30
BASEMENT WALL		N/A	R-5/4
SLAB FLOOR		N/A	R-10 & FT

DESCRIPTION	COMMENTS	PROPOSED	REQUIRED
GLAZING		0.30	0.30

- NOTES:
1. ALL NEW WINDOWS SHALL HAVE INSULATED GLASS.
 2. ALL NEW DOORS SHALL BE FULLY WEATHERSTRIPPED.
 3. PROVIDE CALLING AROUND ALL DOORS AND WINDOWS TO PREVENT AIR INFILTRATION INTO BUILDING.
 4. PROVIDE CALLING AROUND ALL FLOOR AND CEILING PENETRATIONS (MECHANICAL, PLUMBING AND ELECTRICAL).
 5. ALL NEW INSULATION TO BE CLOSED CELL SPRAY FOAM INSULATION.

BUILDING CODE NOTE

THESE PLANS ARE DESIGNED BY USING THE 2020 RESIDENTIAL CODE OF NEW YORK STATE CURRENT NFPA 70 IS THE 2017 NEC.



PROPOSED SITE PLAN

1" = 30.00'
 SITE PLAN BASED ON A SURVEY BY:
 EDWARD W. HEEDEN, P.L.S., P.E.
 62 MAIN STREET, WALDEN NY 12586
 DATED: SEPTEMBER 11, 2019



© COPYRIGHT 2022 This drawing is the property of Steven Gregic Architects, LLC. It is subject to copyright laws and shall not be used or copied without express written permission.
 It is a violation of the New York State Education Law for any person, unless acting under the direction of a licensed architect, to make or cause to be made any copy of this drawing or any part of it, and the violation "retained by" followed by the name of the applicant and the date of such violation, and a specific description of the violation.

STEVEN A. GREGIC
 NYS LIC. NO. 035237



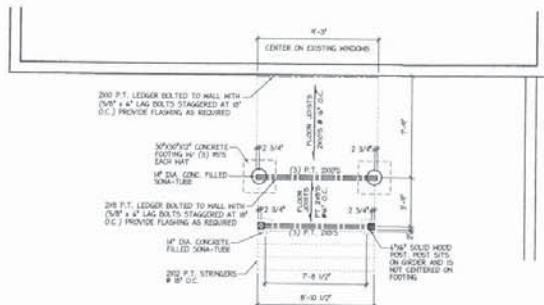
NO DATE REVISION
 ISSUE/REVISION

PROJECT NAME
 RIVERA
 RESIDENCE
 FRONT ENTRY
 MUD ROOM
 BUILDING ADDRESS
 113 HILLSIDE PLACE
 CARMEL NY 12012
 PROJECT NUMBER

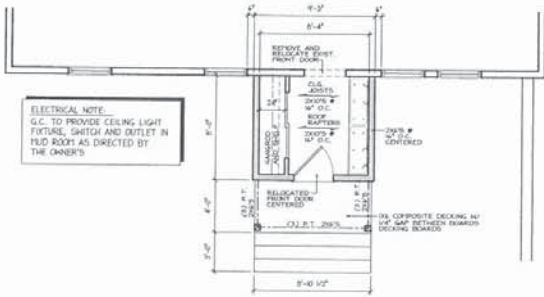
DRAWING TITLE
 GENERAL NOTES
 AND
 SPECIFICATIONS
 DRAWN BY
 50
 SCALE
 AS NOTED
 DATE
 11/25/22
 SP-1

DESIGN LOADS

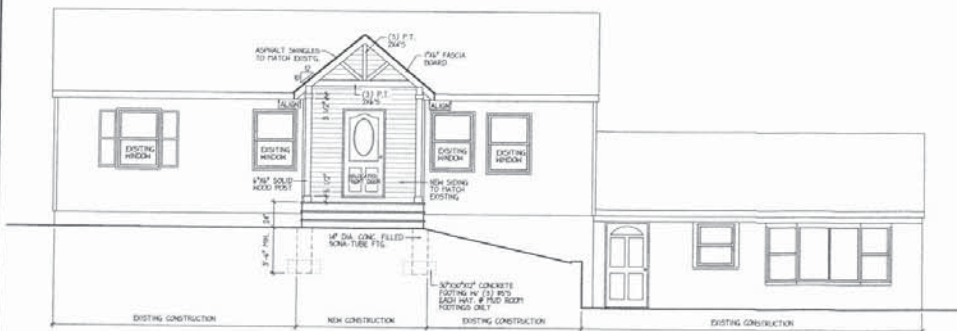
DEAD LOAD	12 PSF
LIVE LOAD	40 PSF
SNOW LOAD	30 PSF
DEFLECTION	L/360
GUARD POST & SCREENING	200 LBS



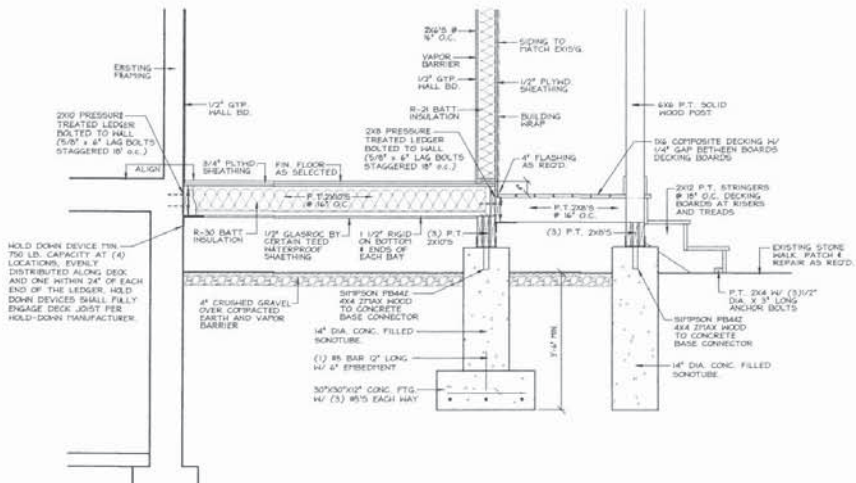
1 PROPOSED FOOTING & FRAMING PLAN
1/4" = 1'-0"



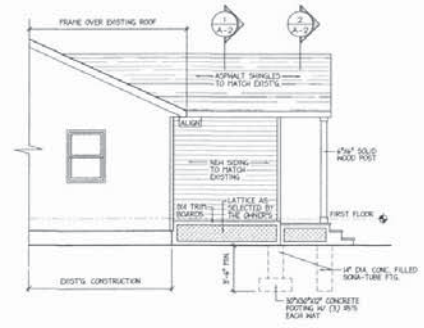
2 PROPOSED FLOOR PLAN
1/4" = 1'-0"



3 PROPOSED FRONT ELEVATION
1/4" = 1'-0"



5 FOOTING AND FRAMING DETAILS
3/4" = 1'-0"



4 PROPOSED LEFT SIDE ELEVATION
1/4" = 1'-0"



ARCHITECTS

© COPYRIGHT 2007 This drawing is the property of Steven Grigori Architect, P.L.L.C. It is subject to copyright laws and shall not be used or copied without express written permission.

It is a violation of the New York State Education Law for any person, unless acting under the direction of a licensed architect, to draw or prepare this drawing in any way, if any, used, altered, or otherwise, without the written consent of the firm, and the architect, stated or implied, by its or her signature and the date of such signature, and a specific description of the alteration.

STEVEN A. GRIGORI
NYE LIC. NO. 05357



NO.	DATE	REVISION

PROJECT NAME
**RIVERA
RESIDENCE
MUD RM. AND
FAMILY RM.
ADDITION**

BUILDING ADDRESS
11 HILLSIDE PLACE
CARMEL, NY 10512

PROJECT NUMBER

DRAWING TITLE
**FLOOR PLANS,
ELEVATIONS
AND DETAILS**

DRAWN BY
SG

SCALE
AS NOTED

DATE
1/12/07

A-1



© COPYRIGHT 2013. This drawing is the property of Steven Graecic Architects, LLC. It is subject to copyright laws and shall not be used or copied without written permission.

It is a violation of the New York State Education Law for any person, unless acting under the direction of a licensed architect, to alter, add to, delete, or otherwise modify any part of this drawing or any other document related to this project without the written consent of the architect. Violation of this provision is subject to the penalties and the State of New York Education Law.

STEVEN A. GRAECIC
NYS LIC. NO. 03597



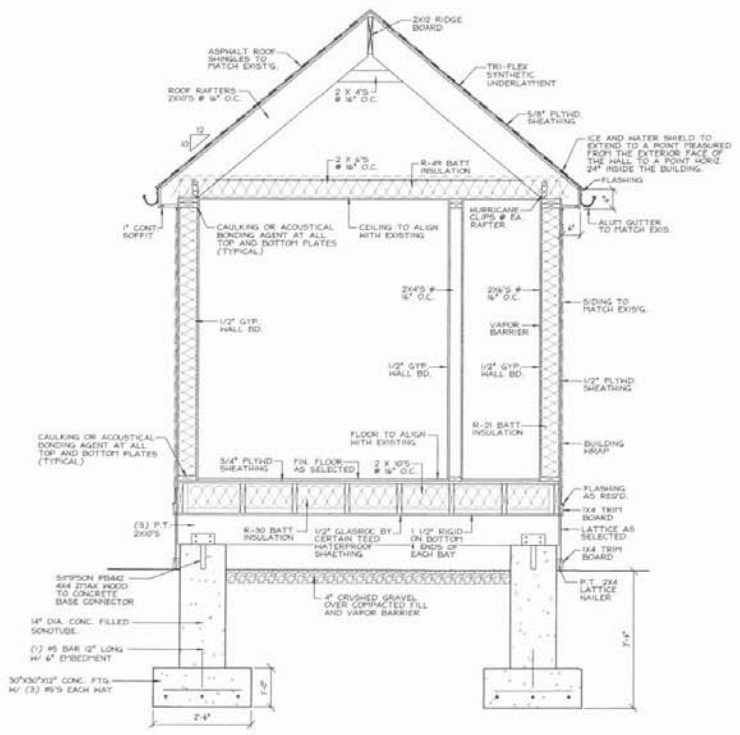
NO. DATE REVISION
ISSUE/REVISION

PROJECT NAME
**RIVERA
RESIDENCE
MUD RM. AND
FAMILY RM.
ADDITION**
BUILDING ADDRESS
13 HILLSIDE PLACE
CARMEL, NY 12012
PROJECT NUMBER

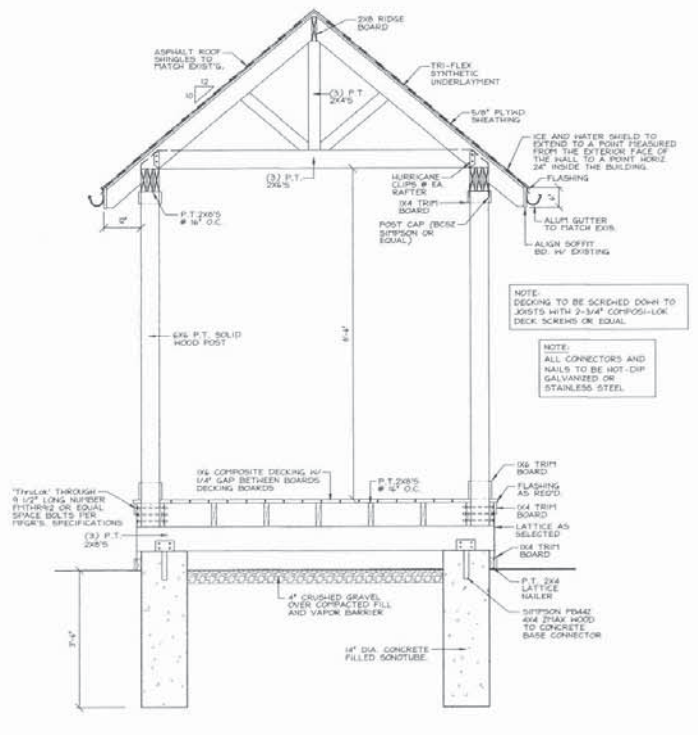
DRAWING TITLE
**BUILDING
SECTIONS**

DRAWN BY
SG
SCALE
AS NOTED
DATE
1/12

A-2



1 PROPOSED BUILDING SECTION
3/4" = 1'-0"

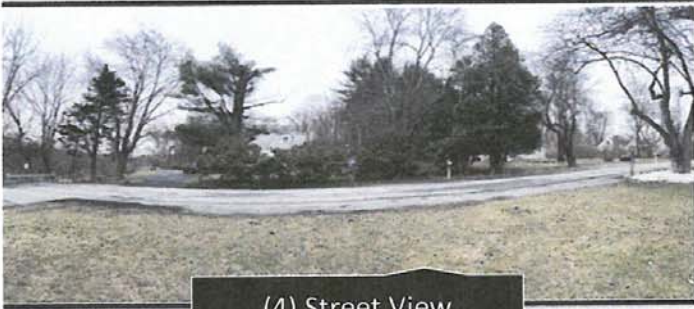


2 PROPOSED BUILDING SECTION
3/4" = 1'-0"

MUDROOM ADDITION - 13 Hillside Pl, Carmel NY



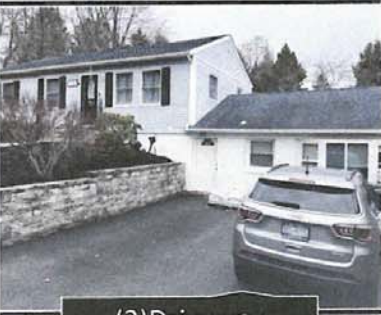
(1) Front View



(4) Street View



(2) Side View



(3) Driveway



(5) Street View (Cul-de-sac)



(6) Street View left side



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

IN THE MATTER OF THE APPEAL
OF
Lepore
TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: 3-26, 2023

Application For (circle applicable): Area Variance (156.15) Use Variance Interpretation 280A
Name of Property Owner: PHILLIP LEPORE Address: 28 CROSSHILL ROAD MAHOPAC NY
Mailing Address: 28 CROSSHILL ROAD MAHOPAC NY Phone Number(s):
Zoning District: R-120 Tax Map: 74.42-1-69
Applicant is: (circle one) Owner (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]

E-Mail Address: _____

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
No previous ZBA appearances		(initials)

List all improvements (1 family dwelling, pool, etc.) 1 family dwelly. Shed

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: Survey + Photos Plans

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES NO
Explain:

I, the applicant, am seeking permission to: Construct Shed

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
<u>10' Side</u>	<u>2</u>	<u>8'</u>
<u>10' Rear</u>	<u>2.1</u>	<u>7.9'</u>

State of New York)
 ss:
County of Putnam)
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this 28th day of March 2023

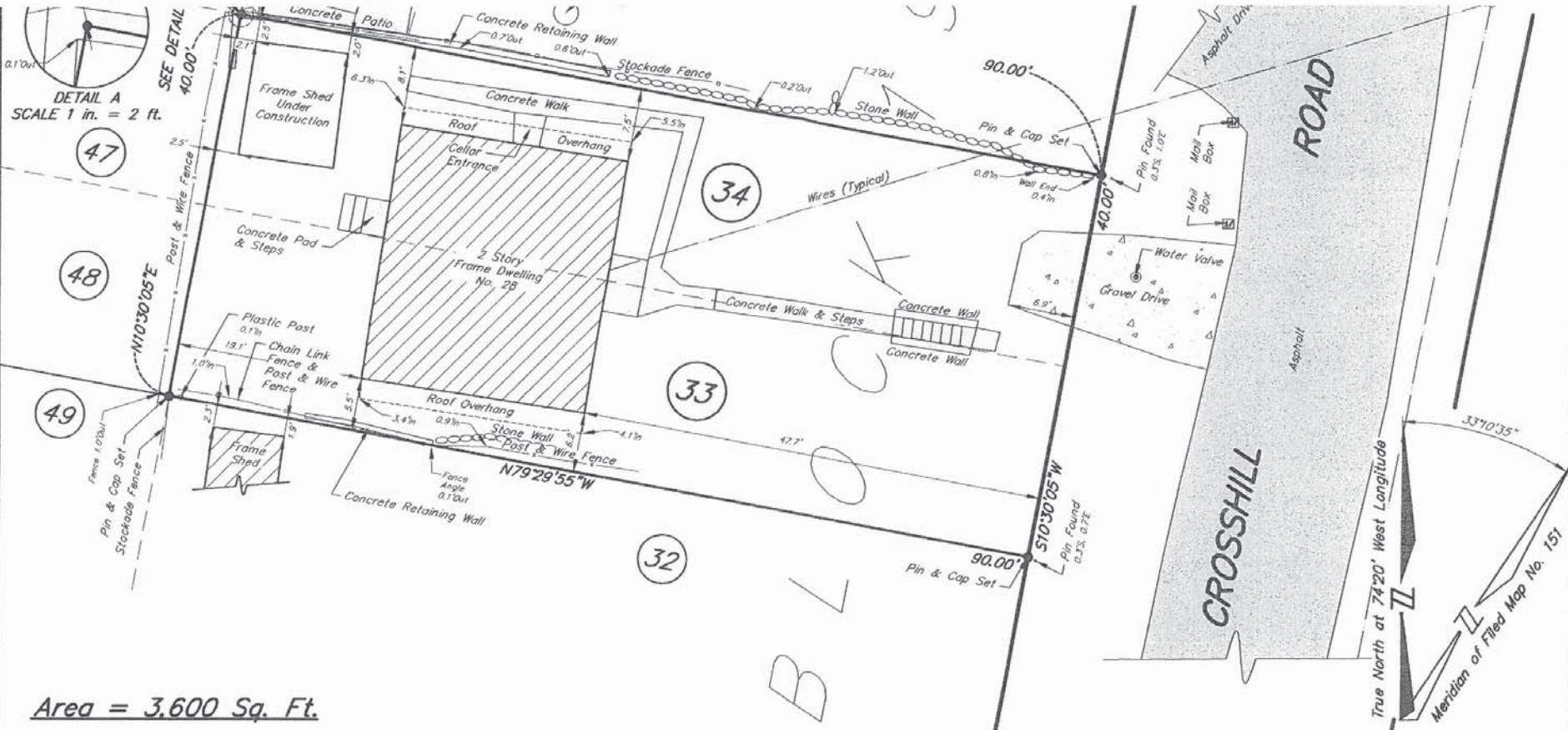
Alice Daly
Notary Public

ALICE DALY
Notary Public, State of New York
No. 01DA6345218
Qualified in Putnam County
Commission Expires July 25, 2024



Petitioner [Signature] Date 3-26-2023

LS26435_01_V22.DWG Layout: SURVEY Checked by SRM Spell checked by JFT/NTK Drawn by JFT/NTK Closed by SRM On 08-08-22



Area = 3,600 Sq. Ft.

This map was prepared for the exclusive use of and is certified only to:
PHILLIP LEPORE

- Notes
1. COPYRIGHT "2022" by BADEY & WATSON, Surveying & Engineering, D.P.C. All Rights Reserved. Unauthorized duplication is a violation of applicable laws.
 2. Unauthorized alteration or addition to a document prepared by a licensed land surveyor is a violation of Section 7209, Subdivision 2 of the New York State Education Law.
 3. All certifications are valid for this map and copies thereof only if said map or copies bear the embossed seal of the surveyor whose signature appears hereon.
 4. If underground improvements, easements, or encroachments exist and are neither visible during normal field survey operations nor described in instruments provided to these surveyors, they may not be shown on this map.
 5. This property may be affected by instruments which have not been provided to these surveyors. Users of this map should verify title with their attorney or a qualified title examiner.
 6. The premises hereon is Lots 33 & 34, Block 19 as shown on that certain map entitled "Map of Lake George" which was filed to the

SURVEY OF PROPERTY
 PREPARED FOR
PHILLIP LEPORE
 SITUATE IN THE
TOWN OF CARMEL
PUTNAM COUNTY
NEW YORK

SCALE 1 in. = 10 ft. AUGUST 4, 2022

We hereby certify that the survey shown hereon was completed by us on August 4, 2022, that this map was completed on August 10, 2022, and that this survey has been prepared in accordance with the existing Code of Practice for Land Surveys as adopted by The New York State Association of Professional Land Surveyors, Inc.



PRINTED





ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

MAC A

IN THE MATTER OF THE APPEAL
OF
Madsen Deck
TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: 1-18, 2023

Application For (circle applicable): Area Variance (1576-15) Use Variance Interpretation 280A
Name of Property Owner: Michael Madsen Address: 26 Boniello Dr. Mahopac N.Y.
Mailing Address: 26 Boniello Dr. Mahopac N.Y. Phone Number(s): _____
Zoning District: R-170 Tax Map: 85.12 - 2 - 13
Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]
E-Mail Address: _____

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
	<u>NO previous ZBH Appearance</u>	<u>(Signature)</u>

List all improvements (1 family dwelling, pool, etc.) 1 family dwelling, new windows, doors

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: Survey, photos

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES (NO)
Explain: _____

I, the applicant, am seeking permission to: Replace existing Deck and add portion

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
<u>15' Side</u>	<u>8'</u>	<u>7'</u>

State of New York)
 ss:
County of Putnam)
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

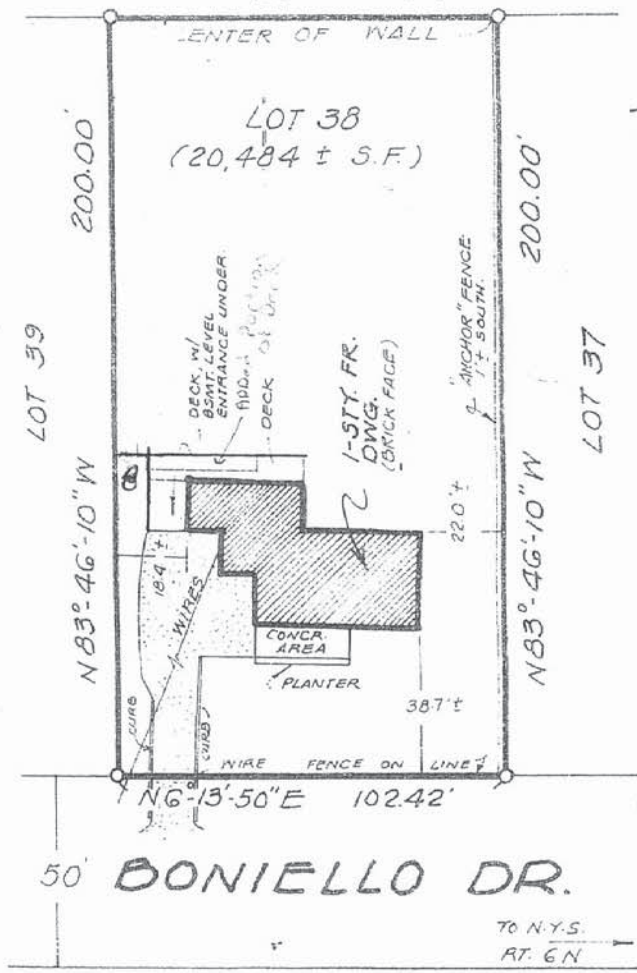
Sworn to before me this 29 day of March, 2023
Alice Daly Notary Public

ALICE DALY
Notary Public, State of New York
No. 01DA6345218
Qualified in Putnam County
Commission Expires July 25, 2024

Petitioner Michael Madsen Date 3-29-2023

WILLIAM ARCHER

N 6°-13'-50"E 102.42'



REDATED
MAP OF SURVEY

LOT No. 38

SECTION "B" OF MAP No. 2

BONIVILLE
(FILED MAP # 543-B)

TOWN OF CARMEL
COUNTY OF PUTNAM
NEW YORK

50' BONIELLO DR.

TO N.Y.S.
AT 6N

REFER TO LIBER 702 CP. 616
REFER TO TAX MAP 129 BLK 1, PAR. 7.

Scale: 1 in. = 40 ft. MAY 31 1984
I certify that this map was made by me or an actual surveyor on the premises
survey completed on MAY 31 1984
Map recorded on MAY 31 1984

NOTES

1. No site race features, if any, not shown.
2. It is hereby certified that this survey was prepared in accordance with the existing Code of Practice for Land Surveyors adopted by the New York State Association of Professional Land Surveyors.
3. All accretions heron are, that is this map, no copies there or any of said map and copies here, be introduced into the surveys whose signature appears hereon.

Prepared by: BRIAN F. MAINI
COMMONWEALTH LAND TITLE
INSURANCE CO.

BURGESS & BEHR

Professional Land Surveyor
311 West Broadway, Larchmont, N.Y.

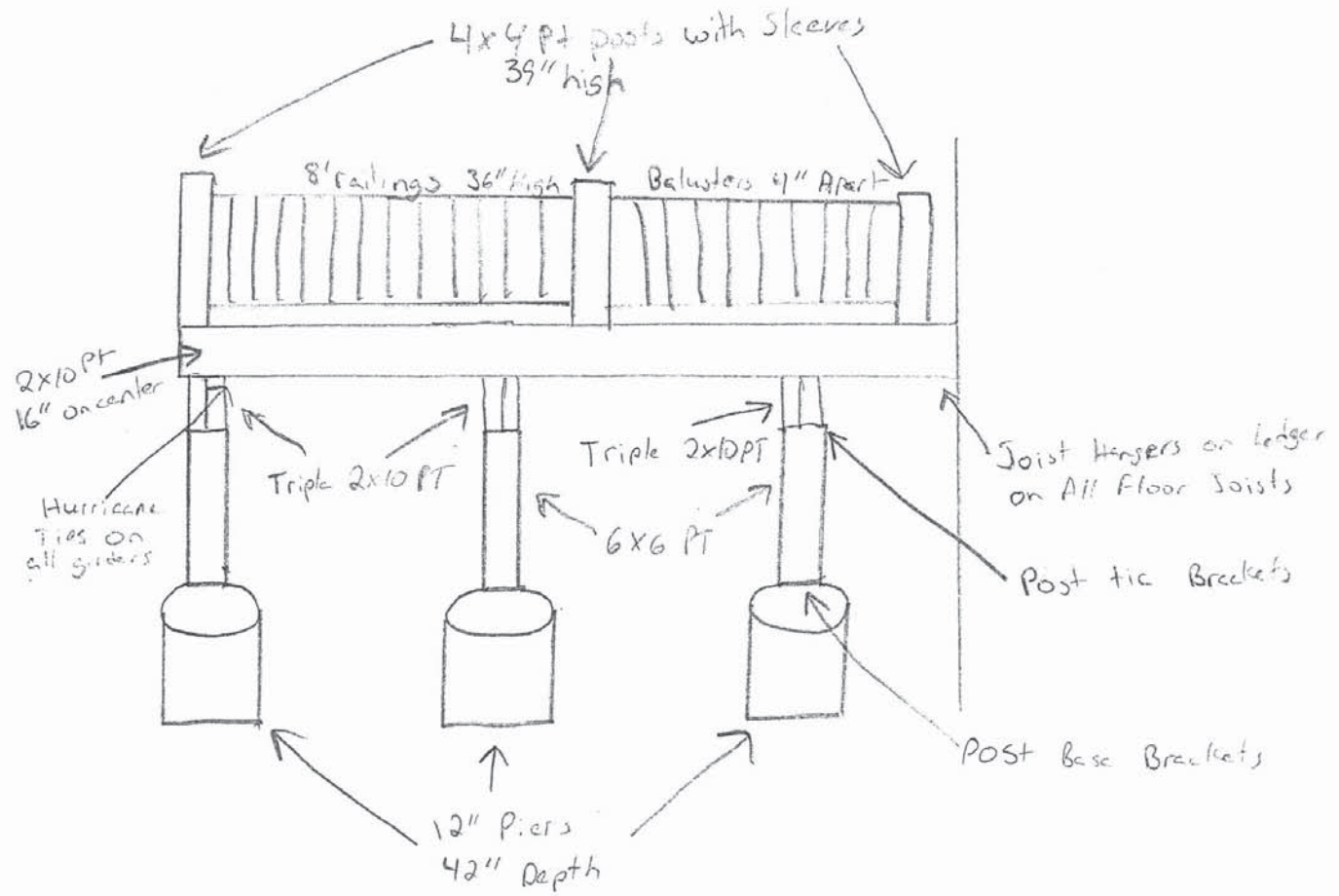
B. F. Maini

113J FD 112

FIELD REDATE, NO CORNERS SET

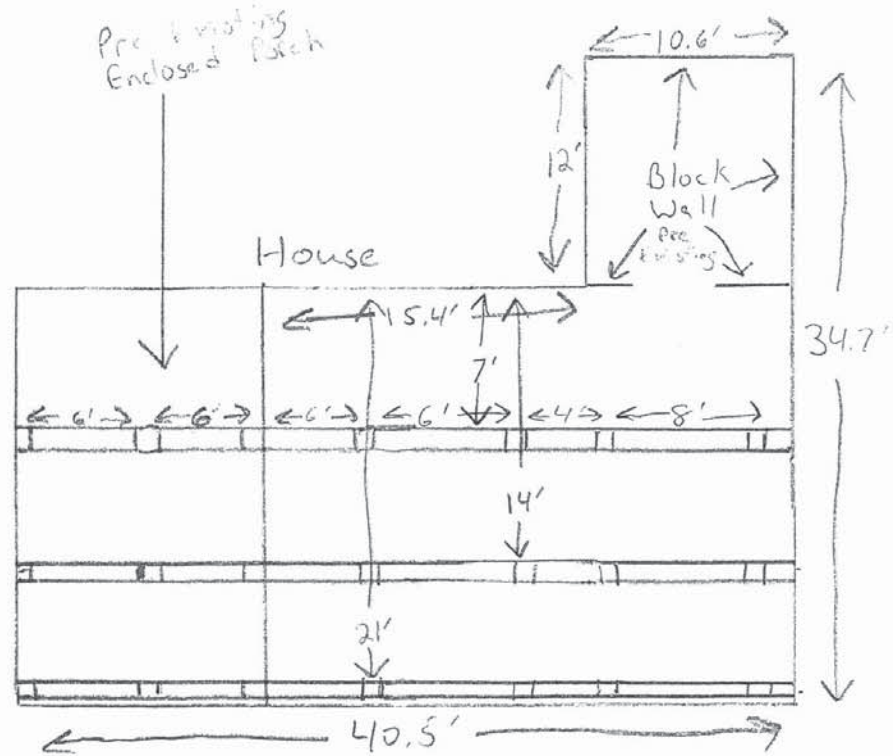
RECORDED BY: MAY 31 1984

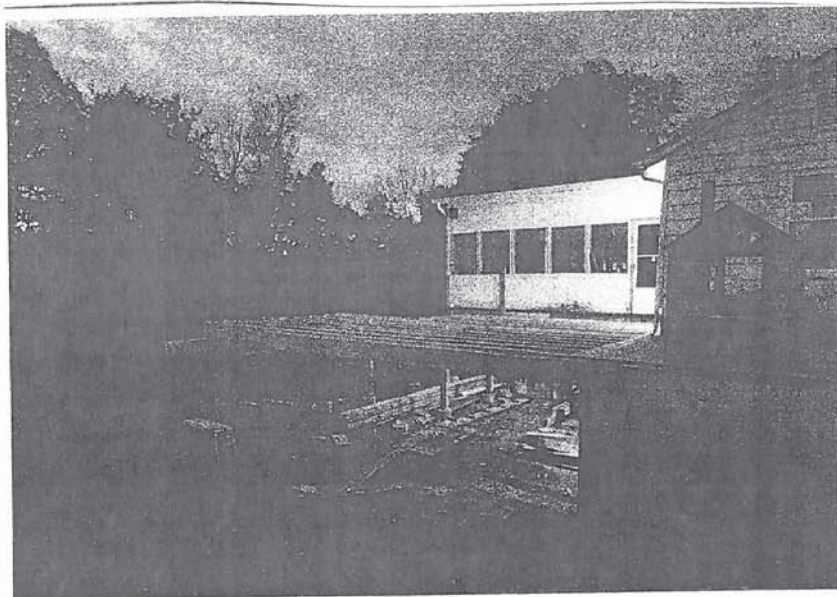
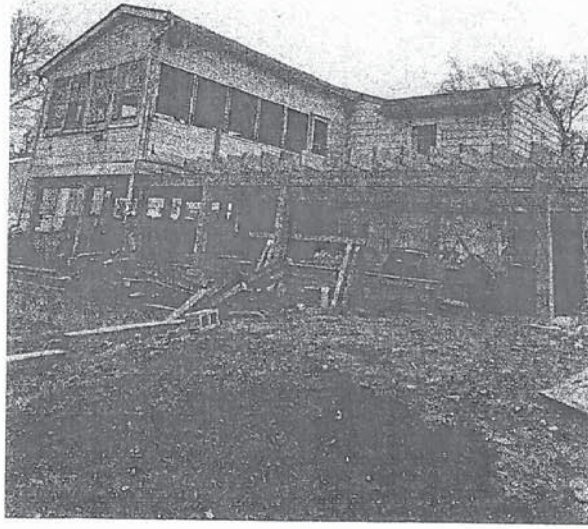
Side View



D

Plan View





A



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Mc
Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

IN THE MATTER OF THE APPEAL
TORRES OF
SANTANA DECK
TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: 3/23, 20 23

Application For (circle applicable): Area Variance (156.15) Use Variance Interpretation 280A
Name of Property Owner: Cristina Torres + Katherine Address: 258 Topland Rd Mahopac NY
Mailing Address: same Phone Number(s): _____
Zoning District: R-120 Tax Map: 63.82 1 5
Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]
E-Mail Address: _____
Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
<u>2002</u>	<u>DORMERS ON BACK OF HOUSE</u>	<u>Granted</u>
<u>2005</u>	<u>RAISE 2nd FLOOR, EXTEND FRONT PORCH + ADD BATHROOM</u>	<u>Granted</u>

List all improvements (1 family dwelling, pool, etc.) 1 family dwelling w/Deed.

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: Survey + Photos.

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO
Explain: Yes Putnam Valley Town Line + Town of Carmel property

I, the applicant, am seeking permission to: Retain Deck.

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
<u>15' Side South</u>	<u>4'</u>	<u>11'</u>
<u>15' side North</u>	<u>13'</u>	<u>2'</u>

State of New York)
Westchester)
County of Putnam)
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this 5 day of 4, 20 23
Katherine Santa
Notary Public

BARBARA LEVY
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01LE6392102
Qualified in Westchester County
Commission Expires May 28, 2023

Petitioner Katherine Santa Date 2023

8



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

AUTHORIZATION FORM

RE: Property of: Katherine Santana
Located at: 258 Topland RD, Mahopac
Tax Map #: 63.82-1-5

In the matter of: _____
(Variance Request)

To whom it may concern:

This letter is to authorize Carmelo Santana

a/an (check one) Attorney _____ Engineer _____ Architect _____ Other (spouse)

to apply for the required variance(s) on the above noted property and to sign all necessary papers and make all necessary representations on my behalf in connection with the above-mentioned matter.

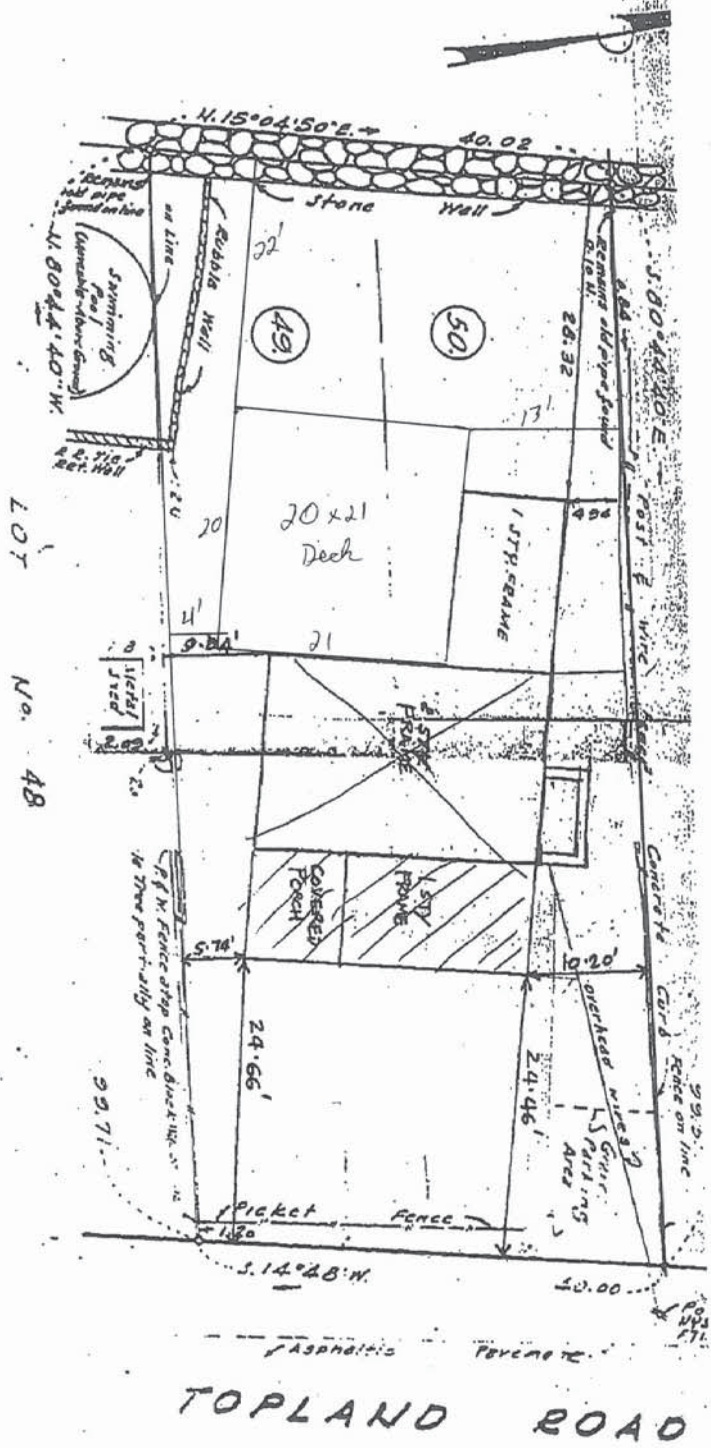
Countersigned: Carlo Soto
Carmelo Santana Mob

Signed: Katherine Santana
Katherine Santana

Mailing Address: 258 Topland R
Mahopac
State: NY Zip: 10541
Telephone # _____
Date: _____
E-mail: _____

Mailing Address: 258 Topland Rd
Mahopac
State: NY Zip: 10541
Telephone # _____

NOTE: The willful submission of false or inaccurate information on this application may result in the dismissal of the application, or the revocation of any action taken on the application, or both.



CESTRIED TO THE TITLE GUARANTEES CO. MASTROU. ASSOCIATES, INC. PUTIAN FEDERAL SAVINGS BANK, STEVEN MASTROUAKI & MILADA COLABELLO IN ACCORDANCE WITH THE MINIMUM STANDARDS OF THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS AS CONTAINED IN THEIR "CODE OF PRACTICE FOR LAND SURVEYING".

LOCATION SURVEY ONLY
NO STAKES SET
AREA 3,996 SF

SURVEYED JANUARY 31, 1981
FOR STEVEN MASTROUAKI & MILADA COLABELLO
SURVEYED AS IN POSSESSION
ENCLOSURE NOT SHOWN HEREON.

PREMISES SHOWN HEREON BEING LOTS 49 & 50 AS SHOWN IN BLOCK 3 ON MAP ENTITLED "MAP OF LAKE SECOR" FILED IN THE PUTNAM COUNTY CLERK'S OFFICE FEB. 27, 1982, AS MAP NO. 181 AND MODIFIED MAPS NO. 151A FILED MAY 28, 1984 AND 518 FILED, REC. 16, 1985.

TOPLAND ROAD

SURVEY OF PROPERTY
SITUATE IN





ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

IN THE MATTER OF THE APPEAL
OF
Santana Fence
TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: April 4th, 2023

Application For (circle applicable): Area Variance (156-20) Use Variance Interpretation 280A
Name of Property Owner: David + Evelyn Santana Address: 467 Bullet Hole Rd, Mahopac NY 10541
Mailing Address: - Same - Phone Number(s): _____
Zoning District: Residential Tax Map: 64.6 - 1 - 2
Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]
E-Mail Address: _____

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
2017	Retain existing shed - granted	<u>Done</u>
1995	Retain pool deck + house deck granted	

List all improvements (1 family dwelling, pool, etc.) 1 family dwelly, Pool, Shed

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: Survey, photos

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO (NO)
Explain: _____

I, the applicant, am seeking permission to: Retain existing 52" fence in front and 6' flossides as well as driveway gates

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
4' Fence Front Yd	52" across Frontal House + 6" along Driveway and adjacent to Eastern Property + 6' Driveway Gate	4" along Front 2' along Driveway + Frontal Property Line

State of New York)
 ss:
County of Putnam)
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this 5th day of April, 2023
Alice Daly
Notary Public

ALICE DALY
Notary Public, State of New York
No. 01BA6345218
Qualified in Putnam County
Commission Expires July 25, 2024

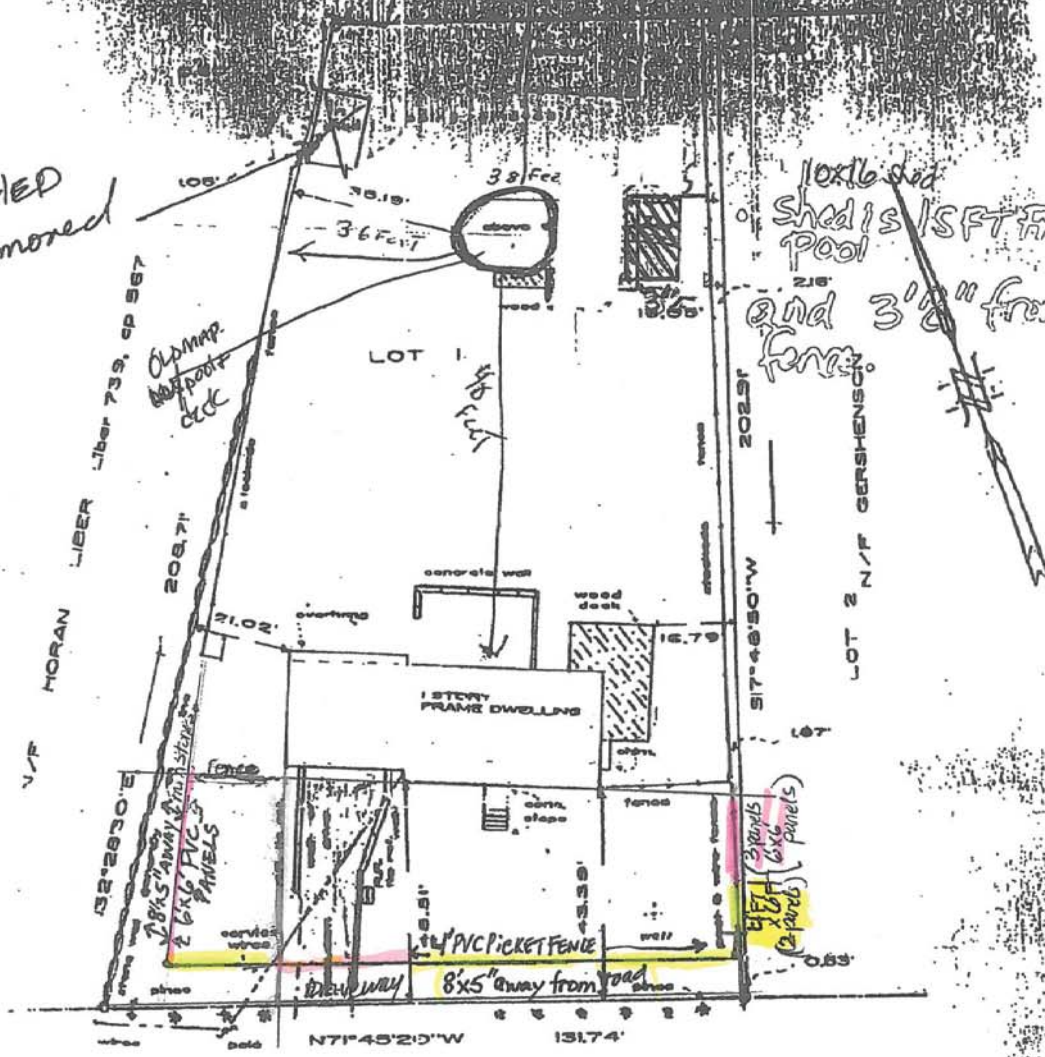
Petitioner Julian Santana Date 4/3/2023

C

VIVE

SHED
Removed

10x16 shed
Shed is 15 FT FROM
Pool
and 3' 6" from
fence.



467 - BULLET HOLE ROAD
 SANTANA DAVID SURVEY OF PROPERTY EVELYN SANTANA
 PREPARED FOR
 THENNY & DEBRA C. POULOS

AREA - 21,332 S.F.
 OR 0.48 AC.

SITUATE IN THE
 TOWN OF CARMEL
 PUTNAM COUNTY
 SCALE 1 in. = 30 ft.

NEW YORK
 19 93

RECEIVED
 APR 12 2017
 Anne Spofford

I, RICHARD H. GORR the surveyor who made this map certify that the survey shown herein was completed by me on March 6 19 93; that this map was completed by me on March 10 1993 and that this survey has been prepared in accordance with the existing Code of Practice for Land Surveys adopted by The New York State Association of Professional Land Surveyors

- NOTES:
1. All certifications are valid for this map and copies thereof only if the said map or copies bear the impressed seal of the surveyor whose signature appears hereon.
 2. Alteration of this document, except by a licensed Land Surveyor, is illegal.
 3. This map and copies thereof are certified to the above-named owner and the title company and lending institution(s) named hereon, and to those parties only.
 4. LOT 1 is shown on map entitled 'MAP OF PORTION OF PROPERTY OF MARY PINELL, etc.' filed in the Putnam County Clerk's office Oct. 2, 1957 as map no. 522.

Richard H. Gorr
 RICHARD H. GORR, P.L.S. N.Y.S. Lic. No. 40919
 ROUTE 8 P.O. BOX 916
 MAHOPAC, N.Y. 10547

RICHARD H. GORR
 LAND SURVEYOR

JOB No. 1902

David Santana
467 Bullet Hole Rd.
Mahopac, Ny 10541

View: Front of Property

Bullet Hole Rd to \nearrow uphill to Hill Street \rightarrow





David Santana
46x Bulletin Rd
Mahopac, Ny 10541

Front PVC
Picket fence

4' ft fence

← Keep garbage out
neighbors



Front Pic
(R) side of
property

David Santana
407 Bullet Hole Rd
Mahopack, NY 10541

Zombie House → " "



Bullet Hole Rd
77

horrible :-



6'x6' ft
PVC panels

David of Evelyn Santana
467 Bullet Hole Rd.
Mahopac, NY 10541

* hideous empty lot - keep out wild animals, pouring ivory loads of ticks/deer-tick infested.



(L) side of
Property

David Santana
467 Bullet Hole Rd
Mahopac, NY 10541

← empty lot
down trees
Keep out deers
" " dogs
" " garbage
from neighbors
" " bears





ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

ME

IN THE MATTER OF THE APPEAL
OF
KARPF
TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: April 12, 2023

Application For (circle applicable): Area Variance (156-20) Use Variance Interpretation 280A
Name of Property Owner: Mitchell + Lauren Karpf Address: 19 Woodland Rd. Mahopac NY 10541
Mailing Address: 19 Woodland Rd. Mahopac NY Phone Number(s):
Zoning District: R-120 Tax Map: 75.7 L - 18.2
(R-120, Commercial, C/BP, or Conservation) (section) (Block) (Lot)

Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]

E-Mail Address: _____

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
	<u>No previous board appearances</u>	<u>KT</u>

List all improvements (1 family dwelling, pool, etc.) 1 family house, shed

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: survey, photos

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES NO
Explain: West Lake Blvd

I, the applicant, am seeking permission to: Retain 6' fence in front yard

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
<u>4' Fence in Front</u>	<u>6' fence</u>	<u>2' Varies</u>



State of New York)
 ss:
County of Putnam)
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

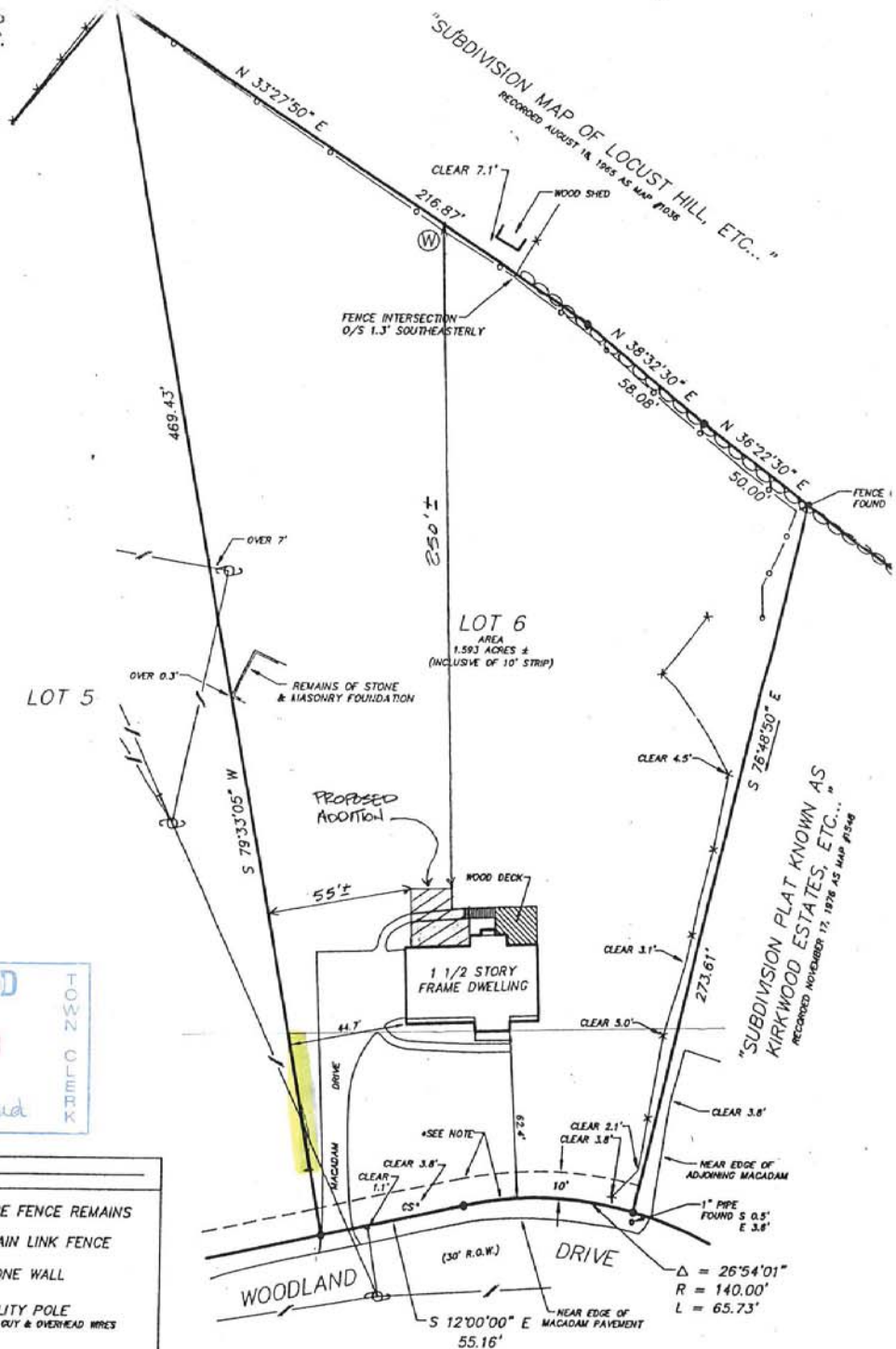
Sworn to before me this 4th day of April 2023
Alice Daly
Notary Public

ALICE DALY
Notary Public, State of New York
No. 01DA6345218
Qualified in Putnam County
Commission Expires July 25, 2024

Petitioner: Lauren Karpf Date: 4/12/23

ALTERATIONS
GALORE, INC.

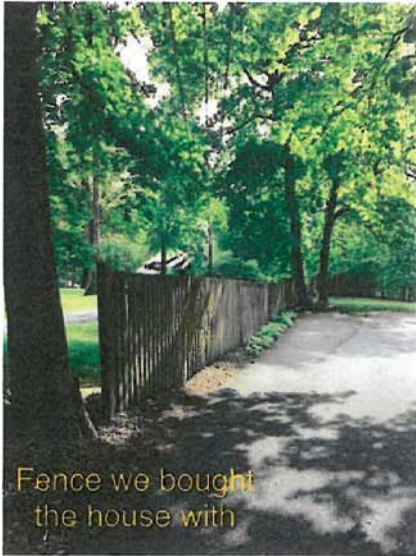
"SUBDIVISION MAP OF LOCUST HILL, ETC..."
RECORDED AUGUST 14, 1965 AS MAP #1636

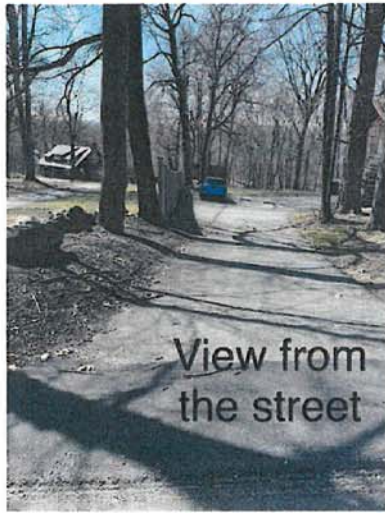
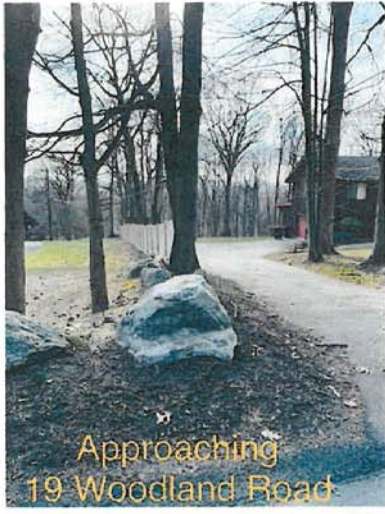


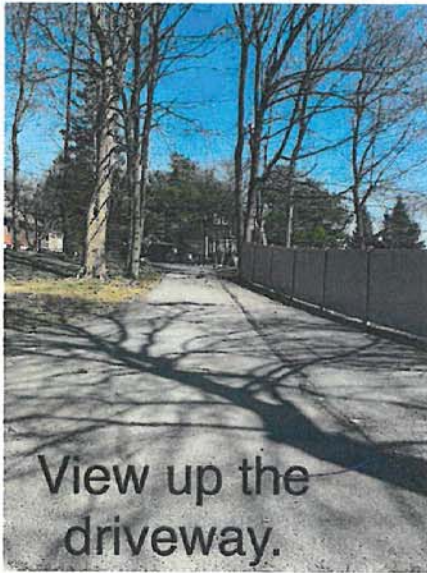
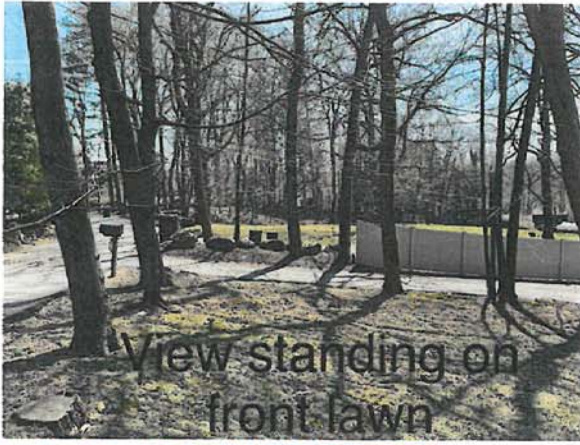
RECEIVED
APR 12 2023
Ann Spafford

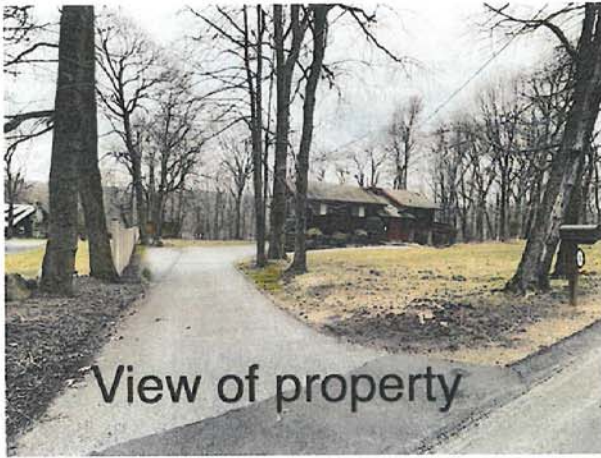
LEGEND	
	WIRE FENCE REMAINS
	CHAIN LINK FENCE
	STONE WALL
	UTILITY POLE WITH OUT & OVERHEAD WIRES
	CONCRETE WELL STRUCTURE
	CURB STOP

SUBMITTED 4/24/00

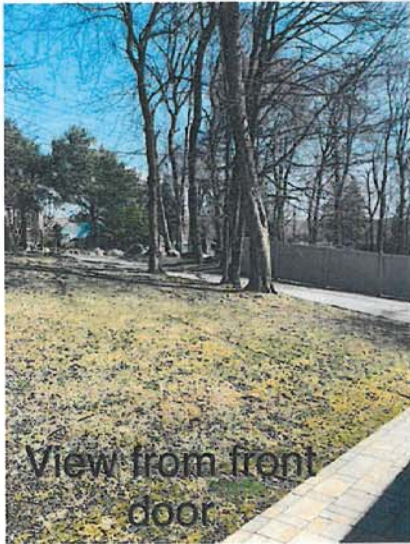








View of property



View from front door



A

me



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

IN THE MATTER OF THE APPEAL
OF
Pani Fence
TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: 4/11, 2023

Application For (circle applicable): Area Variance (156.20) Use Variance Interpretation 280A

Name of Property Owner: Fabian Pani Address: 112 Stillwater Rd Mahopac NY

Mailing Address: same Phone Number(s): _____

Zoning District: R Tax Map: 75.17 - 1 - 52

Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]

E-Mail Address: _____

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
	<u>NO previous ZBA appearances</u>	<u>(Dna)</u>

List all improvements (1 family dwelling, pool, etc.) pool, paving stones,

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: survey, photos,

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES NO
Explain: City of New York property

I, the applicant, am seeking permission to: retain 6' fence in front

me

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
<u>4' fence frontyd</u>	<u>6'</u>	<u>2'</u>

State of New York)
)
 ss:
County of Putnam)
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this 12th day of April 2023

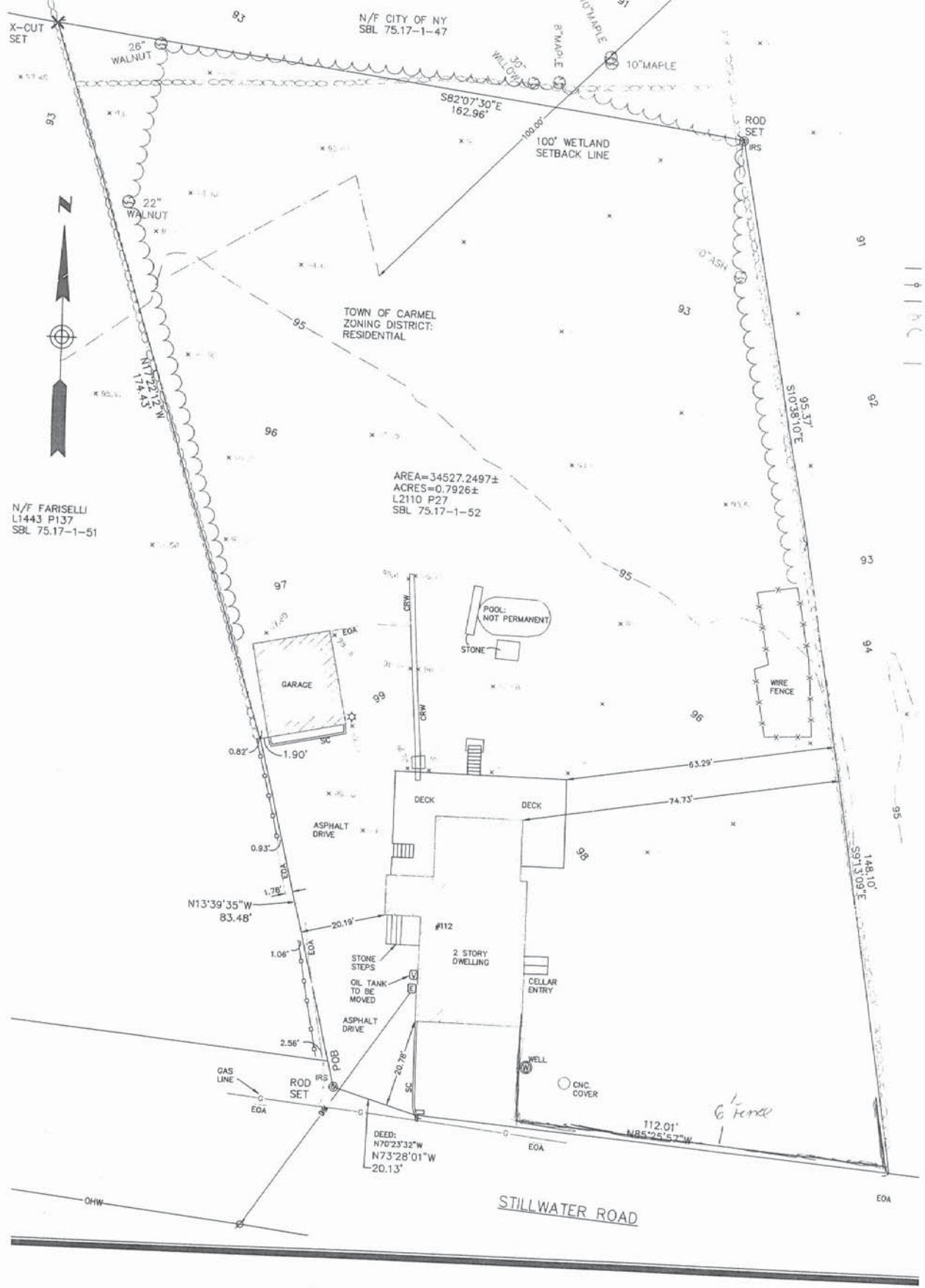
Alice Daly
Notary Public

ALICE DALY
Notary Public, State of New York
No. 01DA6345218
Qualified in Putnam County
Commission Expires July 25, 2024

Petitioner Fabian Pani Date 4-12-23

WETLAND FLAG (TYPICAL)

UNAUTHORIZED SEAL IS A VIOLATION OF THE PROFESSIONAL ENGINEERING LAW. THE SEAL IS PURELY A STATE BELIEF, BASIS CERTIFICATION PLAN PREPARED SUBJECT TO ORIGINAL SIGNATURE AND A TRUE AND



STILLWATER ROAD









A



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

IN THE MATTER OF THE APPEAL
OF
Sorensen Fence
TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: 4/11, 20 23

Application For (circle applicable): Area Variance (150.20) Use Variance Interpretation 280A
Name of Property Owner: Robert Sorensen Address: 1 Febbri Ct. Mahopac Ny 10541
Mailing Address: Same Phone Number(s): X
Zoning District: R-120 Tax Map: 75.13 - 1 - 22
Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]
E-Mail Address: X

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
	<u>NO previous ZBA appearances</u>	<u>(DMA)</u>

List all improvements (1 family dwelling, pool, etc.) Sung + Brochure

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: Survey, photos

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO
Explain: NO

I, the applicant, am seeking permission to: construct fence along front/side - corner lot

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
<u>4' tall fence in front yd</u>	<u>6' Fence Along RT 60</u>	<u>2' Fence Variance</u>

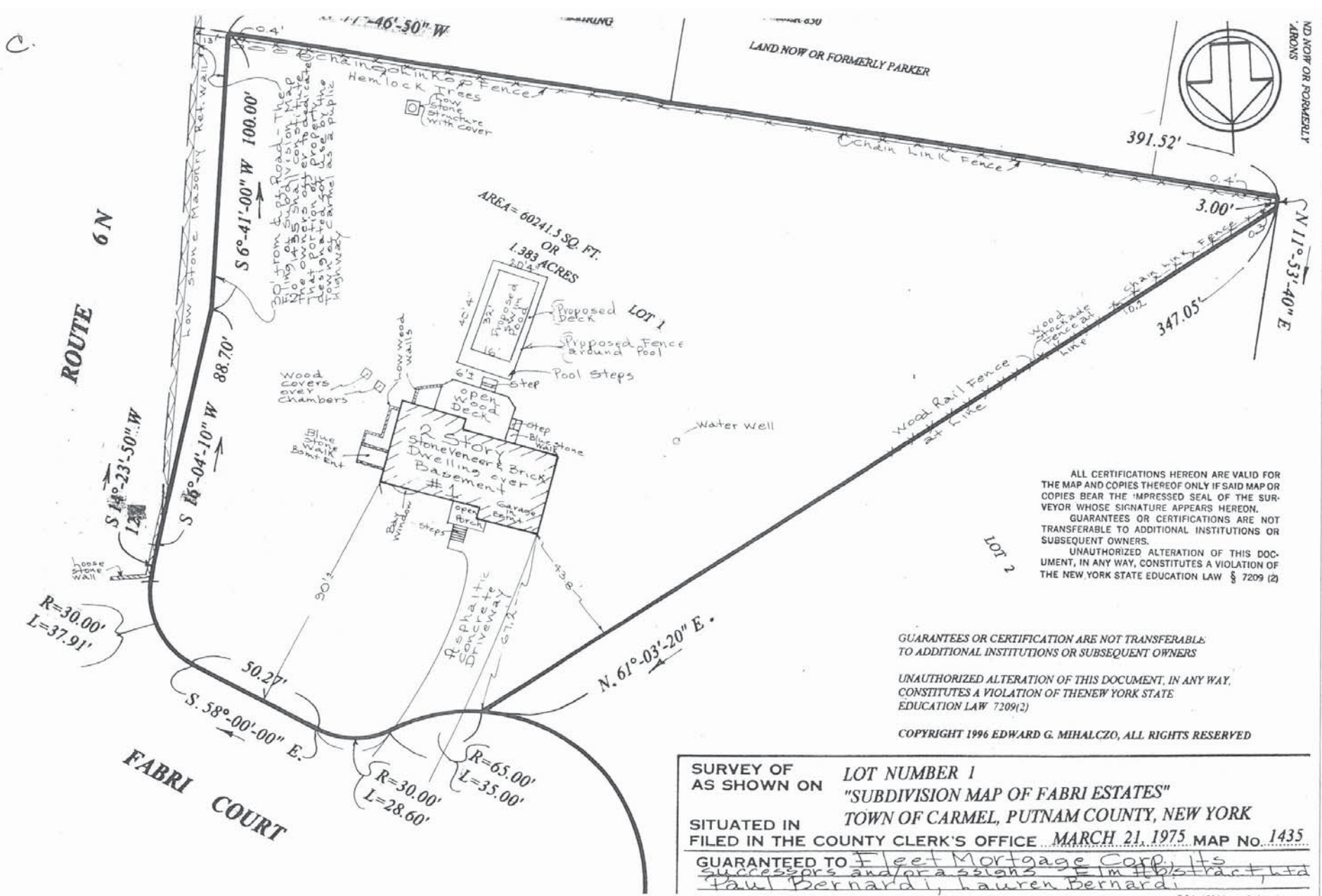
State of New York)
 ss:
County of Putnam)
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this 11th day of April, 20 23

Alice Daly
Notary Public

ALICE DALY
Notary Public, State of New York
No. 010A6345218
Qualified in Putnam County
Commission Expires July 25, 2024

Petitioner [Signature] Date 4/11/2023



LAND NOW OR FORMERLY
ARONS

LAND NOW OR FORMERLY PARKER

ALL CERTIFICATIONS HEREON ARE VALID FOR THE MAP AND COPIES THEREOF ONLY IF SAID MAP OR COPIES BEAR THE IMPRESSED SEAL OF THE SURVEYOR WHOSE SIGNATURE APPEARS HEREON.
 GUARANTEES OR CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
 UNAUTHORIZED ALTERATION OF THIS DOCUMENT, IN ANY WAY, CONSTITUTES A VIOLATION OF THE NEW YORK STATE EDUCATION LAW § 7209(2)

GUARANTEES OR CERTIFICATION ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS

UNAUTHORIZED ALTERATION OF THIS DOCUMENT, IN ANY WAY, CONSTITUTES A VIOLATION OF THE NEW YORK STATE EDUCATION LAW 7209(2)

COPYRIGHT 1996 EDWARD G. MIHALCZO, ALL RIGHTS RESERVED

SURVEY OF LOT NUMBER 1
 AS SHOWN ON "SUBDIVISION MAP OF FABRI ESTATES"
 SITUATED IN TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK
 FILED IN THE COUNTY CLERK'S OFFICE MARCH 21, 1975 MAP NO. 1435
 GUARANTEED TO Fleet Mortgage Corp, its successors and/or assigns E in Abstract, Ltd Paul Bernard I, Lauren Bernardi

J

1 Fabbri Court Mahopac, NY 10541

Proposed type of fence:



Current view of street from house/yard:



Current view of yard/house from street:

