JOHN MAXWELL Chairman

PHILIP AGLIETTI Vice-Chair TOWN OF CARMEL ZONING BOARD OF APPEALS



60 McAlpin Avenue Mahopac, New York 10541 Tel. (845) 628-1500 – Ext 187 www.ci.carmel.ny.us MICHAEL CARNAZZA Director of Code Enforcement

BOARD MEMBERS ROSE FABIANO SILVIO BALZANO JOHN STARACE JULIE MCKEON

#### LEGAL NOTICE

By the Zoning Board of Appeals of the Town of Carmel pursuant to Section 267 Town Law, notice is hereby given that a hearing will be held on:

## APRIL 27, 2023 - 7:30 P.M.

To hear the following applications:

### HOLD OVER APPLICATIONS:

 Application of OSCAR CHAVEZ & GIOVANNA TORANZO for a Variation of Section 156-15 seeking a Variance for permission to build addition to kitchen (south side of house). The property is located at 710 South Lake Blvd., Mahopac NY and is known as Tax Map #75.11-2-15.

Code Requires/Allows	Provided	Variance Required
15' side	13.77'	1.23'

## **NEW APPLICATIONS:**

 Application of <u>FRANK SCHMIDT</u> for a Variation of Section 156-15 seeking an Area Variance for permission to retain two sheds. The property is located at 50 Steiner Drive, Mahopac NY and is known as Tax Map #64.9-1-8.

Code Requires/Allows	Provided	Variance Required
Shed 1: 10' Side	1'	9'
Shed 2: 10' Rear	8'	2'

 Application of <u>LIONEL RIVERA</u> for a Variation of Section 156-15 seeking an Area Variance for permission to build a front mudroom addition, portico and steps. The property is located at 13 Hillside Place, Carmel NY and is known as Tax Map #44.15-2-15

Code Requires/Allows	Provided	Variance Required
40' Side	38'	2'

 Application of <u>PHILLIP LEPORE</u> for a Variation of Section 156-15 seeking an Area Variance for permission to construct shed. The property is located at 28 Crosshill Road, Mahopac NY and is known as Tax Map #74.42-1-69.

Code Requires/Allows	Provided	Variance Required
10' Side	2'	8'
10' Rear	2.1'	7.9'

 Application of <u>MICHAEL MADSEN</u> for a Variation of Section 156-15 seeking an Area Variance for permission to replace existing deck and add portion. The property is located at 26 Boniello Drive, Mahopac NY and is known as Tax Map #85.12-2-13.

Code Requires/Allows	Provided	Variance Required
15' Side	8'	7'

 Application of C.TORRES/K.SANTANA for a Variation of Section 156-15 seeking an Area Variance for permission to retain deck. The property is located at 258 Topland Road, Mahopac NY and is known as Tax Map #63.82-1-5.

Code Requires/Allows	Provided	Variance Required
15' Side – South	4'	11'
15' Side - North	13'	2'

 Application of <u>DAVID & EVELYN SANTANA</u> for a Variation of Section 156-20 seeking an Area Variance for permission to retain existing 52" fence in front and 6' high on sides as well as Driveway Gates. The property is located at 467 Bullet Hole Road, Mahopac NY and is known as Tax Map #64.6-1-2

Code Requires/Allows	Provided	Variance Required
4' Fence Front Yard	52" across front of house and 6' along driveway & adjacent to easterly property & 6' Driveway Gate	4" along front and 2' along driveway & easterly property line

 Application of MITCHELL & LAUREN KARPF for a Variation of Section 156-20 seeking an Area Variance for permission to retain 6' fence in front yard. The property is located at 19 Woodland Road, Mahopac NY and is known as Tax Map #75.7-1-18.2.

Code Requires/Allows	Provided	Variance Required
4' Fence in Front Yard	6' Fence	2' variance

 Application of <u>FABIAN PANI</u> for a Variation of Section 156-20 seeking a Variance for permission to retain 6' fence in front. The property is located at 112 Stillwater Road, Mahopac NY and is known as Tax Map #75.17-1-52.

Code Requires/Allows	Provided	Variance Required
4' fence in front yard	6'	2'

10. Application of <u>ROBERT SORENSEN</u> for a Variation of Section 156-20 seeking a Variance for permission to construct fence along front/side of corner lot. The property is located at 1 Fabbri Court, Mahopac NY and is known as Tax Map #75.13-1-22.

Code Requires/Allows	Provided	Variance Required
4' tall fence in front yard	6' fence along Rt. 6N	2' Fence Variance

## MISCELLANEOUS:

#### MINUTES:

- February 23, 2023
- March 23, 2023

By Order of the Chairman, John Maxwell





Town Hall, Town of Carmel 60 McAlpin Ave. Mahopac, N.Y. 10541

		(845)628-1500
IN THE MATTER OF THE APPEAL		
OF	. }	[
Mavez+ Ioranzo exens	Application	n Date: 3 3 20 23
TO THE ZONING BOARD OF APPEALS OF THE TOWN OF CARMEL	Application	m Date:
Application For (circle applicable): Area Varia	nce (15le-15 Use Variance	Interpretation 280A
Name of Property Owner: OSCAT Chavez	+ Address: 710 S.1	Lake Blyd mahoor 1)
2- 6	10 vana Toram ZD (Address)	
Mailing Address: (City)	Phone Number(s)	<u></u>
Zoning District: (R-120, Commercial, C/BP, or Conservation)	Tax Map: 15 (section)	- 2 - 15 (Block)
Applicant is: (circle one) (Owner) (Lessee)	(Contract Vendee) [Attach de	ed, contract of sale or lease agreement]
E-Mail Address.		Saferinae Noet (1997) (1997) Albertelak (1998) Aretika (1994) Aretika (1994) Aretika (1995) (1995) (1996) (199
Previous Appeals regarding the subject premises		
DATE	REQUEST	RESULTS
DO Prenon	2817 appeara	nces / Dried
	1.7	
	1111-00 010	
List all improvements (1 family dwelling, pool, of	ic.) I fonty House + SLed	
The owner shall submit with this application sup	porting materials including plans, elevation	s, landscaping diagrams, traffic circulation
diagrams, neighborhood land use maps, property understand the request. List attachments here:	survey, photographs of property and any of	ther materials that will assist the Board to
understand the request. List attachments here	survey, protos	
Is any portion of the proporty within 500 ft of or	ar atota an annuar binbana an an b	
Is any portion of the property within 500 ft. of ar Explain: R+LeN/S. Lake Blvd	LAKE MAHOPAC	parkway or public lands? YES/NO
I, the applicant, am seeking permission to: <u>Gu</u>	30. 101. 1.211 1	ionth Side of house)
i, the applicant, and seeking permission to:	THE PARTY OF	10Wh )ide of how )
CODE REOUIRES / ALLOWS	PROVIDED	VARIANCE REOUIRED
157 500	200 MARCH 13 19 47	/ ) Q /
13 2100	AGUSEST 17: P.1	1.23
State of New York )		
SS: County of Putnam )		
The undersigned petitioner, being duly sworn, deposes and s (his) (her) knowledge except as to the matters therein stated	ays that (he) (she) has read the foregoing petition and	knows the content thereof, and that the same is true to
7 4 .	to be on information and belief, and as to those matters	s (he) (she) believes to be true.
Sworn to before me this day of MARCL 20_2	3	
Atticea & Menn	_	
Notary Public		
PATRICIA R. GENNA	7	
Notary Public, State of New York No. 05GE6: 52305		. 1
Qualified in Pulnain County	11000	3 3 3 3 3

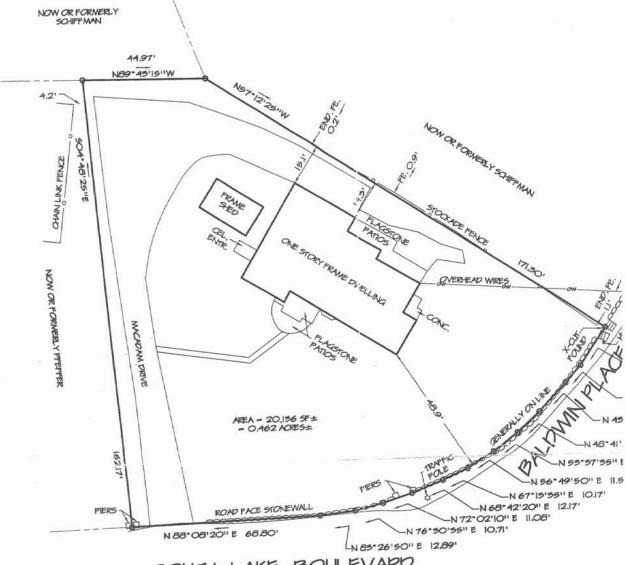


Town Hall, Town of Carmel 60 McAlpin Ave. Mahopac, N.Y. 10541 (845)628-1500

#### **AUTHORIZATION FORM**

RE:	Property of: OSCAV CRAVEZ	oloranne Branzo
	Located at: 710 So. Lake BIVO OWNER	)
	Tax Map #: 15, 1/ (Address) 15	(City, Town, Village)
	In the matter of: Clavez tovan	Coc Request)
To wh	om it may concern:	A 16
This le	etter is to authorize will by	Ada Ov
a/an (d	check one) Attorney Engineer Archite	ectOther_V_contractor
to app	ly for the required variance(s) on the above noted p	roperty and to sign all necessary papers and make all
necess	sary representations on my behalf in connection wit	h the above-mentioned master.
Count	ersigned: David R. Adlev	Signed: Geovarue Voranzo
	(Print Name)	Giovanne Toranzo
-11	ng Address: 19 Sincet Drive	Mailing Address: 110 South Lake Blud
State:	NY. Zip: 10594	State: NY Zip: 10541
Telep	hone # 914 557 2032	Telephone #
E-mai	1: adlerador 48 cyalso. wm	

NOTE: The willful submission of false or inaccurate information on this application may result in the dismissal of the application, or the revocation of any action taken on the application, or both.



SOUTH LAKE BOULEVARD

SURVEY OF PROPERTY

STEVEN G. SLOANE ELIZABETH A. SLOANE

SITUATE IN

TOWN OF CARMEL SCALE: |" - 20'

PLITNAM CO., N.Y. JUNE 11, 2003

COPYRIGHT @ 2003 ROBERTH, DERGENDORFF, ALL RIGHTS RESERVED

SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS, ENCLIMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER PACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

MAY DISCLOSE.

CERTIFICATIONS INDICATED HEREON SIGNIFY THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE ENSTINA CODE OF PRACTICE FOR LAND SURVEYS ADDITED BY THE NEW YORK STATE ASSOCIATION OF PROPESSIONAL LAND SURVEYORS, INC.

CERTIFICATIONS SHALL RIN ONLY TO THE PERSON FOR WHOM THIS SURVEY WAS PREPARED AND ON HIS DEHALF TO THE TITLE CO, AND LENDING INSTITUTION LISTED HEREON.

CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUPSECIENT OWNERS.

Boot of Beng ROBERT H. BERGENIORFF N.Y. Lic. no. 40507 CT. Lic. no. 8000

OFFICE OF RICHARD H. GORR 559 ROUTE 6 P.O. BOX 916

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#### CODE REVIEW 2020 RCNYS & ECCCNYS

CONSTRUCTION TYPE: 5-B

USE GROUP CLASSIFICATION: EXISTING: SINGLE FAMILY (R3) PROPOSED: SINGLE FAMILY (R3) CATEGORY OF WORK: NEW ADDITION

ALLOWABLE LOADS:

BUILDING:

IST FLOOR= 40psf SECOND FLOOR= 30psf SEMENT= 20psf BOOF= 20psf

ENERGY CODE REQUIREMENTS: PRESCRIPTIVE (RESIDENTIAL)

92 U.F./I.OW 'F' GLAZING!

#### CLIMATIC & GEOGRAPHIC DESIGN CRITERIA

												Zone: 4	1
Locat	ion: Mahopa	ic, NY										ZONE: 4	
Seron Speed Dest	Salarsic	Subject to Damage From						١.		ice Shield	Flood		
	(ngh)	Cetegory (ROST Only)	Wedber	Frist Line Death	Termite .	Decoy	Wester Design Temp.	Design Temp.	Doys	Zone	Underloyment Regt.	Heart	١.
30	115 to 123	С	Severe	42"	Moderate to Heavy	Slight to Moderate	,	84	5750	4	Yes	Yes	١.
				DI	A 5 1 1 1	OCA	ID.						1

EXISTING TO BE DEMOLISHED EXISTING PARTITIONS & WALLS PROPOSED INTERIOR PARTITION

ROPOSED 2x6 EXTERIOR PARTITION w/ R-21 INSULATION

PROPOSED EXTERIOR WALL TO BE INSULATED MAXIMUM R-VALUE PROPOSED FOUNDATION WALL

#### ZONING REQUIREMENTS

ZONE: ITEM		R REQUIRED	EXISTING	LOT SIZE: 20,04 PROPOSED
USE YARDS:	FRONT YARD SIDE YARD: ONE REAR YARD	ONE FAMILY 40.0' 25.0' 40.0'	ONE FAMILY 48.9' 13.7' 48.25'	ONE FAMILY 48.9' 13.7' 48.25'
COVERAG	3	20042x15%= 3006sf	2135sf	2135sf
HEIGHT		35'	18'-7"	18'-7"

hereby certify that these plans have been designed in accordance with the MYS Energy Conservation Code. The Architect has not been elected for any supervision of the Bestelation of materials at pb\_abit. The plantacity shall be responsible for its comply with all applications.

#### GÉNERAL NOTES

- ANY DISCREPANCIES BETWEEN THE EXISTING CONDITIONS DOCUMENTS & THE ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.
- ONDERED TO THE ATLEATION OF THE MOUNTAIN DEFONE FANCE, AND ONE ATT MITTAIN.

  THE CONTROCTOR SHALL REVEW ALL DOCUMENTS & VERBEY ALL DIMENSIONS & FIELD CONDITIONS & SHALL CONDITIONS AS SHALL COMPRIED THAT ONCE IS SHAULTER AS SHOWN, ANY CONTROL TO THE MOUNTAINS, EVE. SHALL BE IMPOINTELY REPORTED TO THE ARCHITECT FOR CLARRICATION PRIOR TO THE PERFORMANCE OF ANY MORK IN CLESTION. WHEN CONTRACTOR ACCEPTS DELIVERY OF ALL ITEMS NOTED ON PLANS WHETHER IN CONTRACT OR NOT IN CONTRACT, HE SHALL BE RESPONSIBLE FOR LOSS AND/OR DAMAGE TO THESE TIPS.
- CONTROL, HE SHALL BE HAS CONTROL TO SEE THE ENT LIGHTS ENTIRE DURATION OF THE WORK ALL EXITS, EXIT INSTITUTE, THE CONTRACTOR SHALL MAINTAIN FOR THE ENT LIGHTS ENTIRE DURATION OF THE WORK ALL EXITS, EXIT INSTITUTE, THE PROTECTION DEVICES & ALERWAY IN CONFORMANCE WITH ALL APPLICABLE CODES & ORDINA TYP." SHOULD MEAN THAT THE CONCITION IS REPRESENTATIVE FOR SWILLAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE, NOTED, DETAILS ARE USUALLY REYED & NOTED "TYP." ONLY ONCE WHEN THEY FIRST OCCUR.
- DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- DO NOT SOUZE BRANNESS. WITTEN DIRENSORS DEC. PRECEDENCE COM SOUZE DIRENSORS DE MANDE ACHTECHNES DAMPISS THAT PRECEDENCE CO DECEMBRANCES FOR LOUDT DIRECTORS DE MANDE OF TEUR PROMIÉDI. LOUR DESCRIPTO DECEMBRANCES EN MEDIT ACHTECHNES DERINNOS DE DIRECTIONO SOURCE DE CENTRA DE LOUR DE CONTROLLO SOUL DE LOUR DE CONTROLLO DE LOUR DE DIRECTIONO SOUNCE DE LOUR DE LOUR DE CONTROLLO SOUL DE LOUR DE LOUR DE LOUR DE DIRECTION SOUNCE DE LOUR DE LOUR DE LOUR DE LOUR DE LOUR DE LOUR DE PER CONTROLLO SOUNCE DE LOUR DE PER CONTROLLO DE LOUR DE L
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- PLINCH LIST ITEMS ARE TO BE COMPLETED WITHIN 7 DAYS OF ISSUANCE & PRIOR TO CONSTRUCTION COMPLETION
- ONE (1) AS BUILT SET OF DRAWINGS SHALL REMAIN ON SITE IN PLAN TUBE HOLDER.
- THE G.C. & SUB-CONTRACTORS SHALL OBTAIN & PAY FOR ALL REQUIRED PERMITS. G.C. IS TO CAPRY WORKMAN'S COMP. & DISABILITY INSURANCE AS REQUIRED BY NEW YORK STATE
- THE ARCHITECT HAS NOT BEEN RETAINED TO SUPERVISE CONSTRUCTION.
- THE G.C. SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE SITE & ADJOINING PROFERILES ALL DIMENSIONS ARE APPROPRIATE & MAY VARY DUE TO UNSEEN EXISTING CONDITIONS THE COMMER WILL PROVIDE ALL TEMPORARY POWER, LIGHT, WATER & TELEPHONE DURING THE CONSTRUCTION. THE USE OF EXISTING TOLETS BY THE WORKNEY WILL BE PERMITTED, WITH THE UNDERSTAINING THAT
- THE USE OF EXISTING TOLETS BY THE WORKNEN WILL BE PERMITTED, WITH THE UNDERSTANDING THE THE AREA MILL BE MAINTAINED & CLEANED AT THE COMPLETION OF THE WORK. DURING THE COURSE OF THE WORK/PROJECT, NO CHANGES TO THE SCOPE WILL BE PERMITTED, UNLESS SPECIFICALLY REQUESTED/AUTHORIZED BY EITHER THE ARCHITECT OR DULY AUTHORIZED PERSONNEL.
- ALL ELECTRICAL & PLUMBING WORK TO BE PERFORMED BY SUB-CONTRACTORS WHO ARE LICENSED IN THE

#### PLUMBING NOTES

- All plumbing shall be in accordance with the local building construction code.
- The Contractor shall obtain all permits, approvals, affidavits, certifications, etc. & pay all fees as required by the local authorities.
- Provide all final connections, etc. to all fixtures, cases, etc.

#### GYPSUM WALL BOARD NOTES

- Provide cypsym wallocard materials in sizes & types as indicated on the drawings.
- Reliver to the job site in original packages, begring manufacturer's name.
- Keep materials flot, under cover & out of contact with damp surfaces until ready for use. Gold Bond (National Gypsum Co.), U.S. Gypsum Co., Donn products, approved by Architect.
- One their (Mexican algorithms of the Control of the

#### FIRE STOPPING NOTES

- Duct & pipe spaces & conceded spaces within partitions, wails, floors, roots, stairs, furning, pipes spaces column enclosures, etc. that would permit passage of florme, smoker, furnes or hot gases from one floor to another floor or roof spaces, or from one conceded ones to another, shall be filled with
  - Fire stopping may be of combustible material consisting of wood not less than 2" nominal thickness with tight joints, except that non-combustible fire stopping shall be used in consected spaces of fire division & where in concept with freedoms, flues & chimmers.
- All hollow partitions & furred out spaces shall be fire stopped at each floor level. Fire stops shall be the full thickness of the hallow furred out spaces.
- Chiego that contribute to the regarder fire resistant rating of a floor or roof assembly shall be continuous between setzion walls, vertool fire disistins, fire separations, corrisks partitions or other partitions having a least the south fire resistance rulleg as the ceiting. The conceivaling space done such ceiting shall be fire stopped into areas not exceeding 3000st for the full height of the conceived space.
- Certify and or the suppose into those to executively access to the suppose of the building or within the extens well of the building shall have a minimum prospec secrors to combestitives of 2 belong in. O. Chimney building shall have a minimum prospec secrors to combestitives of 2 belong in. O. Chimney building interful grainings that place is through the solid or continue, shall have a minimum obspec deforance of 1 and (25mm). The changes and not be filled except to provide fire belong in occurration as the 200 RMXPS Section (RDQLIS).
- Fireblacking, in combustible construction, fireblacking shall be provided to cut off both vertical and horizontal conceiled draft openings and to form an effective fire barrier between stories, and between too story and the root space. Fireblacking shall be provided in wood-fromed construction in the following the provided in wood-fromed construction in the following the provided in which the provided in which the provided in which the following the provided in which the provided in which the following the provided in the provided in which the following the provided in the provided i
- nocurums. 1. In concealed spaces of stud walls and partitions, including furred spaces and parallel rows of studs of

#### CARPENTRY NOTES

- Wood beam shall be bridged with 1 1/4"x3" members or solid wood bridging spaced 8"-0"a.c. maximum A minimum of 2", shall be maintained between all wood joists & beams adjacent to chimneys wood flooring shall be light 1/2" from chimney.
- Provide all blocking & cutouts as required for medicine cabinets, access doors as required. Plumbing fixtures, H.V.A.C., etc. verify with Architect & Owner prior to start of carpentry work.
- The Corporary Conference shall be responsible to the level of all floors, sits, etc. & plumbing of all walls
- All interior doors shall match existing & shall be finished per Owners spec.
- All finished hardware shall be supplied by the Owner & installed by the Corpentry Contractor. The Carpe shall be responsible for obtaining all necessary templates, etc. & insure the proper installation of all finished hardware. Corpenter shall provide bross butts, 180 degree saving & minimum 3 per door.

#### SMOKE DETECTORS NOTES

- Smake detectors shall be installed as required by NYS Code Sect. R314 in dwelling units Detectors shall be either ignization chamber or photolectronic type & to comply with R314.1.1 Units to be operaved by the Board of Standards & Appeals, accepted pursuant to rules & regulations pramulgated by the commissioner or listed by an acceptable testing laboratory, such as:
- a. Underwriters Laboratory North Brook, IL Units shall be installed in areas designated on plans; they shall be located on or near the ceiling & within  $15-0^{\circ}$  & within any rooms used for steeping purposes; for dealing units with multiple levels when any level this only one means of egrees, units shall be provided at all shall be solved to the control of the shall be solved to the solve one means of egrees, units shall be provided at all shall be solved to the shall be solved to the shall be shal
- Smoke detectors shall be installed as follows:

  a. Ceiling mounted closest edge of the unit shall be min. at 4" from any wall.

  b. Wall mounted clasest edge of unit shall be min. at 6" & a max of 12" from ceiling.

#### **ENERGY CONSERVATION**

- Window infiltration shall sat exceed. Sctm per linear foot of cruck when tested of impact pressure of 25mph wind.

  Door infiltration shall not exceed 1 cm; per linear foot of cruck when lested at impact pressure of 25mph wind. Domestic water heater to have input of 75,000 blus or less with capacity of not less than 20gal, or more than 120gal, wit receivery efficiency of 75%.
- Exterir point around date it window, with it colling, rick and it is usual, apoulant, weether shipped or otherwise session. The building or winding will not be leaded out winding to know as an indexp rate and executing lives and compare beau. This might select contains a service of the SMT in EST and or proof of a service of 22 and as of positions of the service of 22 and as of positions of 22 and as of 22 and 23 and 24 ; around doors & windows, walls & callings, etc. shall be couled, gaskated, weather stripped or atherwise sected.

- Billipation control recourse.

  C. Interior down, il indicated on the time of the test, shed he open.

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  C. Interior spet of coding systems, it indicated on the time of the test, shall be faily open.
- 1. Supply of inter-register, it is stated as the red of the first, while is the following the color inter-register. It is stated as the red of the first, while is they will be required by the color inter-register in the first inter-register in the first inter-register in the red of the read to the red of th

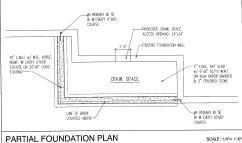
- perification by the party conducting the test of the occuracy of the test results; and signature of the party conducting the test
- NITICE 4.1.1 (R4C2.4.1.3) installation. The components of the teading thermal envelope as indicated in Total NITICE 4.1.1 shall be in accordance with the manufacture in installations and the orders indicated in Table NITICE 4.1.1, as applicable to the method-construction. Mathem required by the building default, on approved third party shall impact all components and veryll complications.

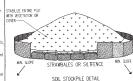
#### NOTE: SEE TABLE N1102.4.1.1 ON DRAWING A5

- ntrol measures. Including exhaust, intake, makeup air, backdraft and flue dampers shall be closed, but not social beyond intended infili

- NOTE: THESE PARAMETERS APPLY TO THE ADDITION; EXISTING FIRST FLOOR WALLS & WINDOWS NOT TO BE REPLACED WILL NOT COMPLY WITH THESE PARAMETERS.

## Chavez-Toranzo Residence 710 So. Lake Blvd. - Mahopac, NY







# ALL SITE PLAN INFORMATION TAKEN FROM SURVEY PREPARED SOUTH LAKE BOULEVARD

## ENGINEERED WD. PLACARD SITE PLAN

EXISTING PARTIAL FLOOR PLAN

STOCK PILE DETAIL POST WITH SUPPORT NET --FILTER FABRIC --FLOW --BACKFILL -NATIVE SOIL

INSTALLATION NOTES EXCAVATE A 4"x4" TRENCH ALONG THE LOWER PERMETER OF THE SITE.

- 2. UNROLL A SECTION AT A TIME & POSITION THE POSTS AGAINST THE BACK (COANSTREAM) MALL OF THE TRENCH (NET SIDE AWAY FROM DIRECTION OF FLOW). 3. DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS APPROXIMATELY 2 INCHES FROM
- 5. JOIN SECTIONS AS SHOWN ABOVE.

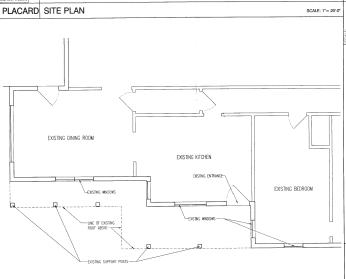
#### **EROSION CONTROL**

#### **EXCAVATION NOTES**

- Sail value assumed at 2 tons per sa. It.: subject to building inspectors approval
- Som varue vascures on a cities per 34, 11, 300/pc/s to Version and State State
- Difference in footing levels are to be stepped up or down at a 30degree angle
- Bottom of all exterior facting shall be a minimum of 3'-6" below adjoining grade
- Rottom of all footings shall be placed an undisturbed earth unless otherwise noted

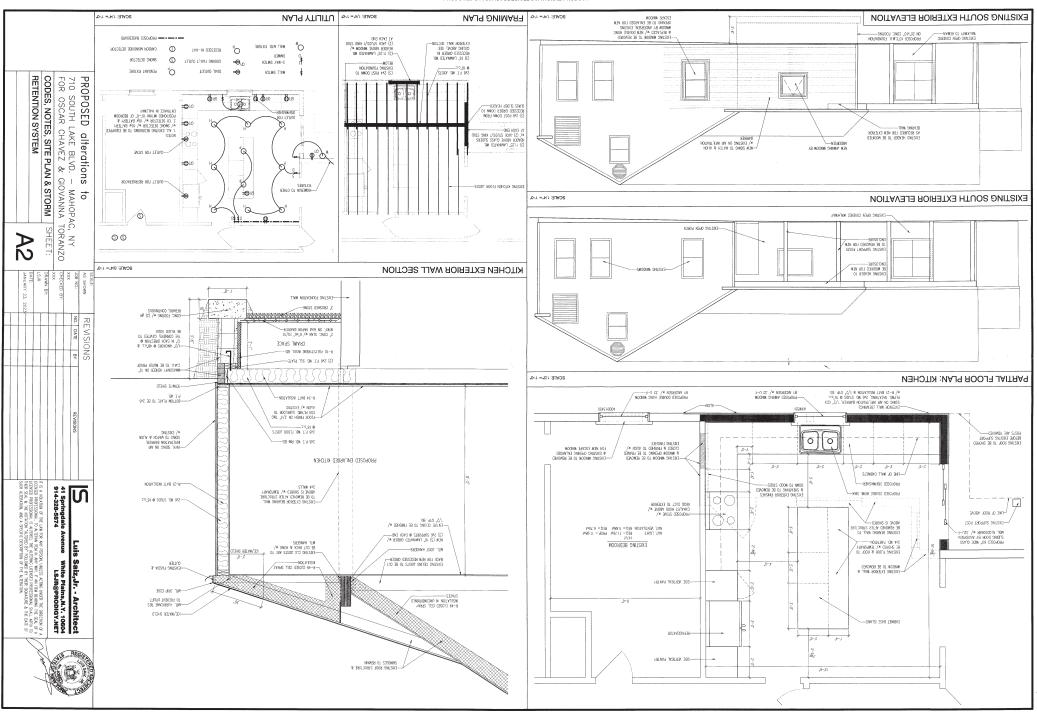
#### **ELECTRICAL NOTES**

- The Contractor shall obtain all permits, approvals, offidavits, certificates, etc. & pay all fees as required by the local authorities & Fire Underriters.
- All work shall be in strict accordance with all local laws & regulations & the National Electrical Code.
- All new fixtures shall be furnished by the Owner & installed by the electrical Contractor.
- All both tollet & kitchen type outlets shall be GFI approved type.
- The Contractor shall obtain Electrical Underwriters Cartification upon completion of his work.
- Lighting equipment: not less than 90 percent of the permanently installed lighting fixtures shall contain only high efficacy lamps.



- MAHOPAC, NY GIOVANNA TORANZO STORM ∞ alterations LAKE BLVD. CHAVEZ & SITE NOTES,

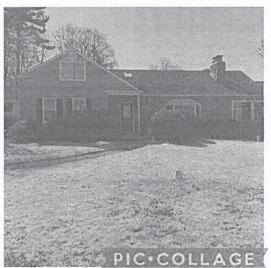
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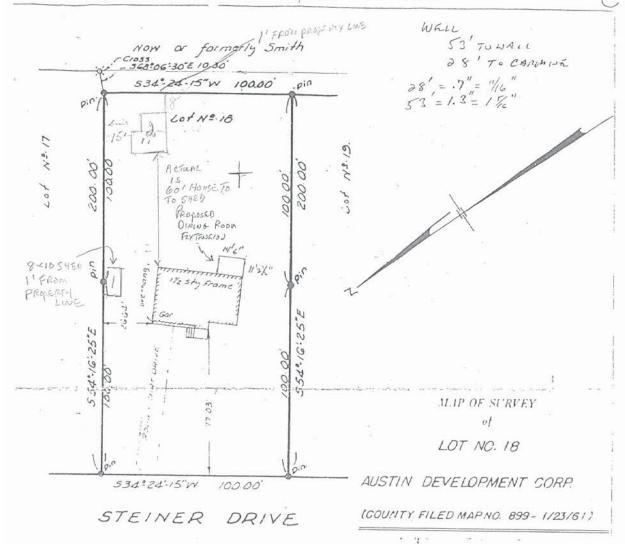




Town Hall, Town of Carmel 60 McAlpin Ave. Mahopac, N.Y. 10541 (845)628-1500

IN THE MATTER OF THE APPEAL OF		Ţ.
TO THE ZONING BOARD OF APPEALS OF THE TOWN OF CARMEL	JA	pplication Date: $3/98$ , 20 $23$
TO THE ZONING BOARD OF APPEALS OF THE TOWN OF CARMEL  Application For (circle applicable): Area Variance  Application For (circle applicable): Area Variance  Again of Property Owner:    Control   School   Address:   Owner   School   Address:   Owner   Owner   Address:   Owner   Address:   Owner   Own		
Name of Property Owner: Fount S	Charlet Address: 50	Steiner Dr. Mahanae NV
Mailin Addans Son 1		
(Address) (City)	(State) Phone No	ımber(s):_
Zoning District: [R-120, Commercial, C/BP, or Conservation]	Tax Map:(section	
Applicant is: (circle one) (Owner) (Lessee		
E-Mail Address:	,	No.
Previous Appeals regarding the subject premises	5:	
DATE	REQUEST	RESULTS
120	- 200	
DO PRENIO	IS CISH CEPTER	Dances (( ) Mal)
	7 7	
diagrams, neighborhood land use maps, property understand the request. List attachments here:	Survey, photographs of property an	d any other materials that will assist the Board to
I, the applicant, am seeking permission to:	etain 2 Shah	
CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
Shed 1 10'5, le	1	9-1
52 od 2 10' Rean	8'	2'
State of New York )  SS:  County of Putnam )  The undersigned petitioner, being duly sworn, deposes and st  (his) (her) knowledge except as to the matters therein stated to  Sworn to before me this  day of Matth 20 2	to be on information and belief, and as to thos	tion and knows the content thereof, and that the same is true to se matters (he) (she) believes to be true.
Olica Saly	Notary F N Qualif	ALICE DALY  Public, State of New York  o. 01DA6345218  ied in Putnam County  ion Expires July 25, 2024

Petitioner July a. Lehr Date 3/28/2023



EEGEND

Indicates from Pin marked
Burgess Survey Point



NEW YORK.

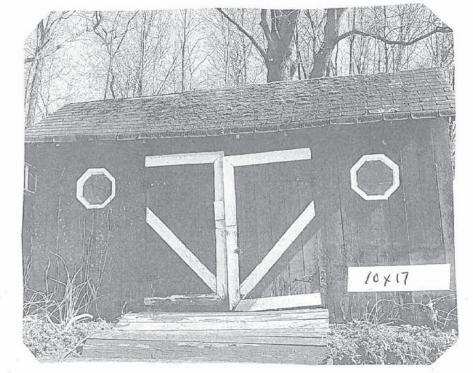
Scale: 1 In. = 40 Ft. June 20, 1907

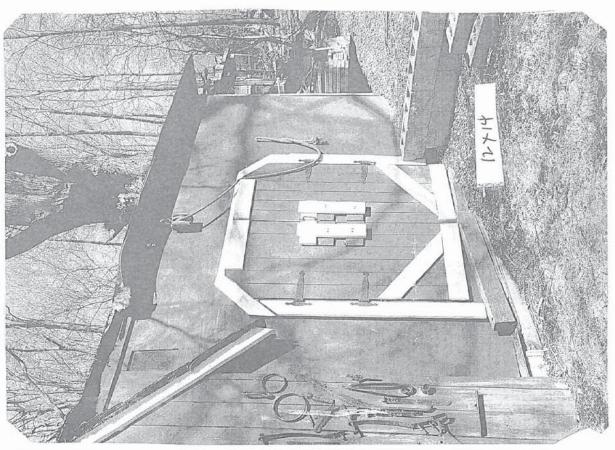
I certify that this map was made from an action survey of the property.

Surre completed of June 14 1007 Map completed in June 20 1007

I control to Signession, 12 mgs Sonk, and the Guarantee Company the new Cooks of

S) REESS & BLUR





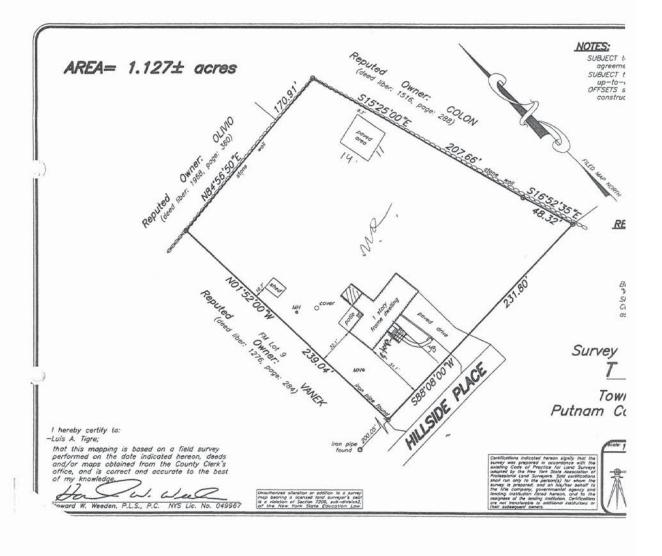




Town Hall, Town of Carmel 60 McAlpin Ave. Mahopac, N.Y. 10541 (845)628-1500

IN THE MATTER OF THE APPEAL OF TO THE ZONING BOARD OF APPEALS OF THE TOWN OF CARMEL	<u>s</u>	Applie	cation Date:	3 30	)_,20_23
Application For (circle applicable): Area Va	riance 156-15	) Use Variance	Interpretat	ion 280	
Name of Property Owner: Lionel 1	Zivera Add	ress: 13 Hills	ide DI	Carmer	NY 10512
Name of Property Owner: Lionel 1  Mailing Address: 13 Hills de pu  (Address)	come u	Phone Number	er(s):_	J.C.	(State)
Zoning District: (R-120, Commercial, C/BP, or Conservation)	Tax !	Map: 44.13 (section)	- Z	>	(Lot)
Applicant is: (circle one) (Owner) (Lesse	ee) (Contract Ven	idee) [Attac	h deed, contra	ct of sale or	lease agreement]
E-Mail Address:	161 =	^^			
Previous Appeals regarding the subject premis	es:				
DATE	REQUE	EST		R	ESULTS
		100		-/2	
NO pre	vrons 21	SA appe	asane		She)
		(45) 51			
	1 /	-	1	1 /	
List all improvements (1 family dwelling, poor The owner shall submit with this application s diagrams, neighborhood land use maps, prope	supporting materials in	ncluding plans, eleva	tions, landscap	oing diagrams	s, traffic circulation assist the Board to
understand the request. List attachments here:	Photos	raphs	2 / 301	0641	
Is any portion of the property within 500 ft. of Explain: FAIR STREET	J				s?YES/NO
I, the applicant, am seeking permission to:	Build A	4 Front	MOd	100m	Addition
CODE REQUIRES / ALLOWS	DEPENDANCE OF THE PROPERTY OF	/IDED		ARIANCE R	
40'	36			2'	
State of New York ) ss: County of Putnam )					
The undersigned petitioner, being duly sworn, deposes at (his) (her) knowledge except as to the matters therein state		d belief, and as to those it	natters (he) (she) b		
Sworn to before me this 30 day of Mrt 20		ALICE D Notary Public, Star No. 04DA63 Qualified in Putr Commission Expires	e of New York 45218		

Petitioner Aire Do Date 3/30/23



#### CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

		MIND	DESIGN				SUBJECT TO DAPLAGE	1000000					
CLITIATE				HIND-BORNE DEBRIS ZONE	SEISMIC DESIGN CATEGORY	HEATHERING	FROST LINE DEPTH	TERMITE	MINTER DESIGN TEMP.	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	HEAN ANNUAL TEMP
6B	50 PSF	YES IS THE	NO.	NO.		SEVERE		HODERATE TO HEAVE		TES	140	1500 OR LESS	

#### SILT FENCE INSTALLATION NOTES

- EXCAVATE A 6 INCH X 6 INCH TRENCH AS SHOWN ON THE BROSION CONTROL PLAN
- MINOLL A SECTION AT A TITLE AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAT) HALL OF THE TRENCH
- DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS APPROXIMATELY 2 INCHES FROM THE TRENCH BOTTOM.
- 4. LAY THE TOE-IN PLAP OF PARKIC ONTO THE UNDISTURBED BOTTON OF THE TRENCH, BACKFILL THE TRENCH AND TAYE THE BOX. STREETER SLOWER REDURE AN INTERCEPT TRENCH
- 5. SILT FENCE TO BE AMOUNT INSO SILT STOP OR EQUAL.
- FLOW

## SHOUND GROUND 4" MIN

### (2) EROSION CONTROL FENCE

N 84° 56' 50° E

#### ELECTRICAL NOTES

- ELECTRICAL EQUIPMENT SHOWN ON DRAWINGS IS DIAGRATUATIC WITH NO ATTERPT TADE TO SHOW EVERY RACEMAT, FITTING, JUNCTION BOX, ETC.
- ALL HORK TO BE PERFORMED UNDER SUPERVISION OF A ELECTRICAL CONTRACTOR LICENSED BY THE STATE OF NON YORK AND THE TOWN OF CAPPEL.
- 3 ALL HORK TO COPPLY WITH NYTH TO MR, NATIONAL ELECTRICAL GODE AND ALL APPLICABLE STATE AND LOCAL CODES
- CONTRACTOR TO DETAIN ALL PERSISTS REQUIRED TO COMPLETE HORK AND SCHEDULE ALL REQUIRED INSPECTIONS HITH LOCAL AUTHORITIES
- 6. ALL NEW EQUIPMENT TO BE INSTALLED PER PARUPACTURERS SPECIFICATIONS.
- 6 THE ELECTRICIAN SHALL FURNISH LATTES FOR ALL NEW LIGHT FORTURES PROVIDED BY THE ELECTRICIAN AND SHALL REPLACE AND SOCK LATTES SHACE BLAIR COT UNITS. THE PROJECT IS COTHLETE AND THE CHIEFE HAVE RECEIVED THE CERTIFICATE OF OCCUPANCY.
- 7 THE CONTRACTOR SHALL LOOSELY SET ALL BORES FOR ALL SHEFORES, CONTRIDERS OUTLITS, AND LIGHT FOTURES PEOR TO HERBE, THE GOWER IS TO APPECUE ALL LOCATIONS DEFORE BOYES ARE PERMADENTLY SET AND MISING COPPENCES.
- B. NO SUBSTITUTIONS OF LIGHT FOXTURES, LAMPS, SHITGHES, OR OUTLETS SPECIFIED SHALL BE PRADE HITHOUT THE APPROVAL OF THE GRACE.
- THE ELECTRICAL CONTRACTOR TO EXAMINE EXISTING SERVICE TO DETERMINE IF IT IS ADEQUATE TO SUPPOSE THE ADDITIONAL LIGHTING LOADS

#### GENERAL NOTES

- CONTRACTOR SHALL VERIFY ALL DIFIENDING SHOWN ON THE DRAWINGS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, OTIBISIONS AND/OR CONJUNCTS BEFORE PROCEEDING WITH THE WORK. ARCHITECT IS NOT ENGAGED FOR SUPERVISION.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT HHEDIATELY CANNOT CORNEY WITH ALL REQUIREMENTS. 'DO NOT SCALE DRAPHINGS GOVERN, LARGER SCALE DRAPHINGS GOVERN OVER SHALER SCALED DRAPHINGS.
- S. CONTRACTOR PLUST COMPLY HITH THE RULES AND REGULATIONS OF ACENCIES HAVING JURISDICTION AND SHALL CONFORM TO THE NEH TORK STATE RESIDENTIAL CODE AND THE TOWN OF CAMPEL.
- 5. THE OWNER SHALL RELEASE, HOLD HARFLESS AND INDEPNETY THE ASSISTECT WITH RESPECT TO ANY CHANGES FRADE TO THE CONSTRUCTION DOCUMENTS BY ANYONG FORE THAN THE ARCHITECT, OS GANAGED IN ANY AGMECT OF THE WORK, OR TAILURE BY THE CONTRACTOR TO BUILD BY ACCORDANCE WITH THESE CONSTRUCTION. DOCUMENTS.
- UPON SUBSTANTIAL COPPLETION AND BEFORE PINAL PAYMENT, THE CONTRACTOR SHALL SUBMIT SIGNED LIEN HAVERS FROM ALL SUB CONTRACTORS AND PLACE SUPPLIERS IN CONNECTION WITH THIS PROJECT TO OWNER.

#### CONSTRUCTION NOTES

- INFORMATION SHOWN ON THESE DRAWINGS IS FOR DESIGN INTENT ONLY. VERIFY EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD. COORDINATE DISCREPANCIES WITH THE ARCHITECT.
- PROVIDE PROOF OF WORKMAN'S COMPENSATION INSURANCE AND DISABILITY INSURANCE COVERAGE REQUIRED BY GOVERNING STATE LAW PRIOR TO START OF WORK.
- ALL NORK SHALL BE ERECTED AND INSTALLED PLIMB, LEVEL, SQUARE, TRUE AND IN PROPER ALIGNMENT.
- 4 ALL MATERIALS AND ASSEMBLES REQUIRED TO HAVE A FIRE RESISTANCE RATING SHALL COPPLY WITH NEBS "FIRE RESISTANCE RATINGS" AND HAVE BEEN TESTED ACCORDANCE WITH ASTH "STANDARD TECHNOSE OF FIRE TESTS".
- 5. HHERE PIPES OR CABLES PENETRATE HALL OR FLOOR OPENINGS PROVIDE FIRESTOP HATERIAL AS REQUIRED TO HAURE CONTINUITY OF RATING PER NEW YORK STATE BUILDING CODE OR LOCAL CODE.
- E. FOOTINGS SHALL BEAR ON UNDISTURBED SOIL HAVING A SAFE BEARING CAPACITY OF 2000 IB PER SQ FT.
- 7. ALL CONCRETE HORK SHALL CONFORT TO THE ACI BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE.
- ALL CONCRETE SHALL BE HORTAL HEIGHT (STORE) CONCRETE HAVING A FINITUM ULTIMATE COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DATS.
- ALL BAR REINFORCING SHALL BE DEFORTED BARS OF NEW BILLET STEEL CONFORMING TO ASTM AND, GRADE 40.
- IO. WELDED WIRE FABRIC SHALL CONFORM TO ASTM AND AIM.
- 12. STRUCTURAL LUPBER TO BE DOUGLAS FIR, Fb+1200 PSI, ALL LUPBER TO BE GRADE HARKED.
- 14. PAINTING OR INTERIOR FINISH SHALL BE DONE UNDER CONDITIONS HHICH HILL NOT JEOPARDIZE THE QUALITY OR APPEARANCE OF SUCH HORK.
- IS. ALL DIMENSIONS ARE TO FACE OF FRAMING UNLESS OTHERWISE NOTED.
- B. ELECTRICAL WORK TO COMPLY WITH U.L. REQUIREMENTS AND WITH THE NATIONAL ELECTRIC CODE.
- IT. THE CONTRACTOR SHALL PROTECT ALL ITEMS TO BE RELOCATED, ANY ITEMS REQUIRED TO BE RELOCATED WHICH ARE DAMAGED BY THE CONTRACTOR'S ORBATIONS SHALL BE REPLACED AT HIS EXPRISE.
- IS ALL EXISTING FLOORS REVEALED FROM DEMOLITION OF EXISTING PARTITIONS SHALL BE PATCHED TO PROVIDE ADEQUATE SURFACE FOR NEH FLOORING.
- IR ALL PARTITIONS PARTIALLY DEPOLISHED SHALL BE PATCHED AND REPURBISHED TO HATCH DOSTING.
- ALL PLUTBING, ELECTRICAL OR OTHER EXISTING UTILITY LINES SERVING ITDIS TO BE RELOCATED SHALL HAVE CAPS, FACE PLATES, ETC. TO THATCH EXISTING.

DESIGN LOADS

DEAD LOAD | 12 PSF

LIVE LOAD 40 PSF SHOW LOAD 30 PSF DEFLECTION L/340

GUARD POST 200 LBS

- ALL DOORS IN DRIVALL PARTITIONS SHALL BE SET A FROM CLEAR OPENING OF FRAME TO IMMEDIATE ADJACENT HALL, UNLESS OTHERNOES MOTES.
- 24. ALL DOORS SHALL HAVE AN UNDERCUT TO CLEAR FINISH FLOOR BY 1/2" INLESS OTHERHISE NOTED.

# ARCHITECTS

STEVEN A. GRGECIC NYS LIC. NO. 035297



NO DATE REVISION

RIVERA RESIDENCE FRONT ENTRY MUD ROOM

HILLSIDE PLACE CARMEL, NY 10512 PROJECT NUMBER

GENERAL NOTES SPECIFICATIONS DRAWN BY

SCALE AS NOTED SP-1

2020 RCNYS AND 2020 EECNYS CONSERVATION CODE TABLE

DESIGN DATA:

HINTER DRY-BULB TEMP. 7 SUPPLEX DRY-BULB TEMP. 64

CONCIDENT WET-BULB TEHP- 79 HEATING DEGREE DAYS: 5750

ZONE: 4B

CODE DESIGN APPROACH: CHAPTER R4 (TABLE 1.2)

HEATING TYPE OIL FIRED - FORCED AIR

#### R-VALUE

DESCRIPTION	CONTENTS	PROPOSED	REQUIRED
CEILING		R-49	R-49
HALL.		R-21	20+6*OR (3+10*
FLOOR		R-50	R-30
DASEMENT HALL		N/A	R-15/14
SLAB FLOOR		N/A	R-10 4 FT

#### U-VALUE

ESCRIPTION .	CONTRIBUTE	PROPOSED	REQUIRED		
A TIME		0.30	0.50		

#### NOTES:

- 2. ALL NEW DOORS SHALL BE FULLY WHEATHERSTRIPPED
- PROVIDE CAULKING AROUND ALL DOORS AND WINDOWS TO PREVENT AIR INFILTRATION INTO BUILDING.
- PROVIDE CAULKING AROUND ALL FLOOR AND CEILING PENETRATIONS (MEGHANICAL, PLUTBING AND ELECTRICAL)
- 5. ALL NEW PROLATION TO BE CLOSED CELL SPRAY FOATS INSULATION

#### BUILDING CODE NOTE:

THESE PLANS ARE DESIGNED BY USING THE 2020 RESIDENTIAL CODE OF NEW YORK STATE CURRENT NEPA 70 IS THE 2017 NEC

#### S 88° 08' 00" W 231.80 HILLSIDE PLACE

AREA = 1.07 +/- ACRES

PAGE OF HER SE FT.

PROPOSED SITE PLAN

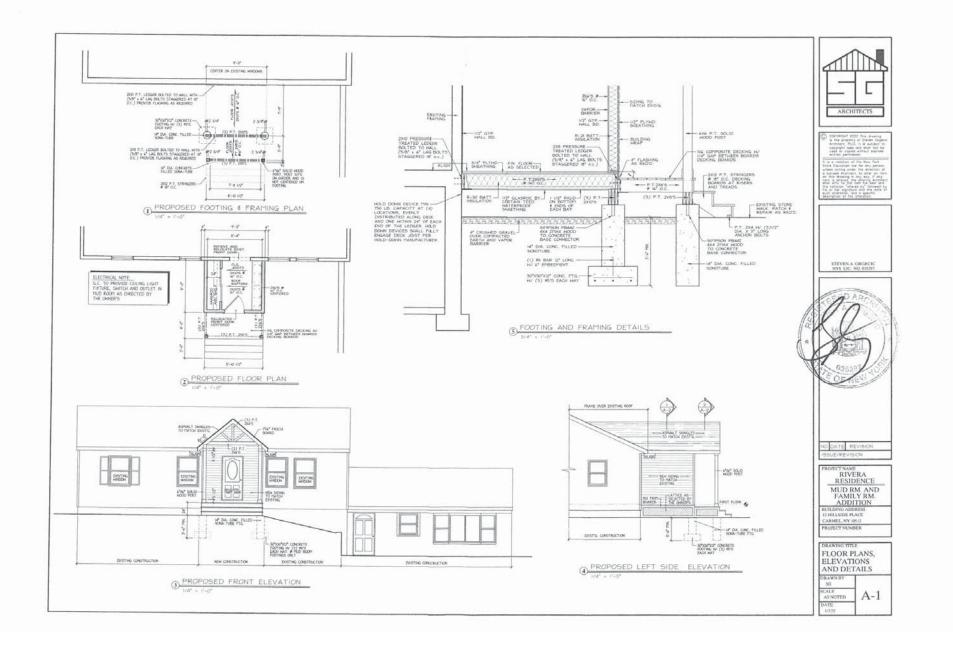
EXISTING (I) STORT FRAMED CHIEFLING

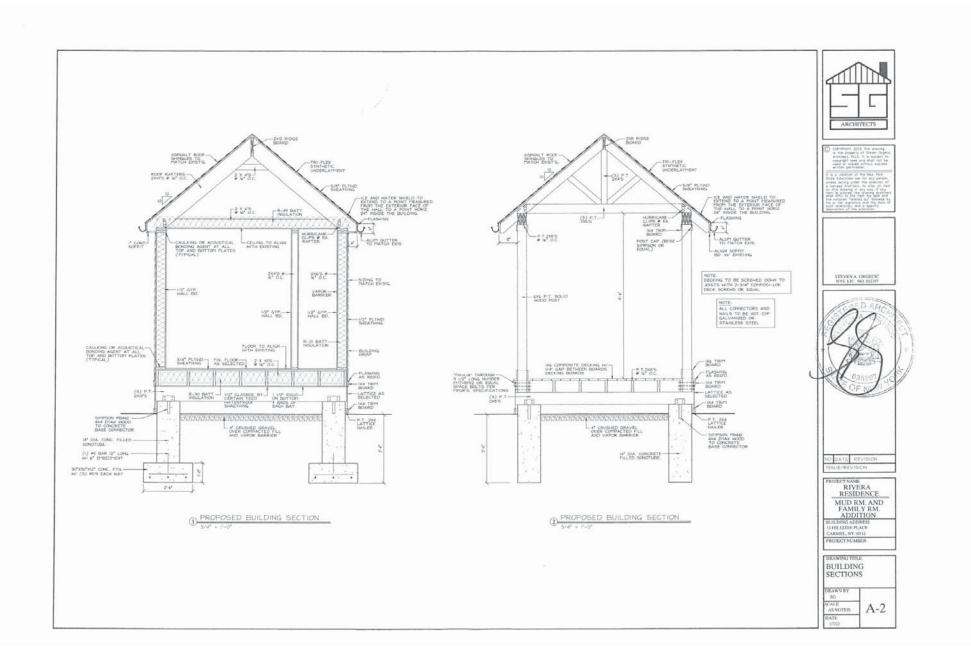
PATCH AND REPAIR

SITE PLAN BASED ON A SURVEY BY: HOWARD W. WEEDEN, PLS, PC 62 MAIN STREET, WALDEN NY 125% DATED: SEPTEMBER II, 2019

170.91

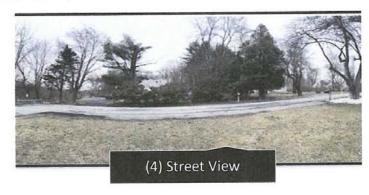
16.52.35





## MUDROOM ADDITION - 13 Hillside Pl, Carmel NY











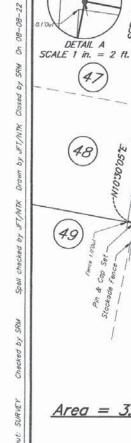


Town Hall, Town of Carmel 60 McAlpin Ave. Mahopac, N.Y. 10541 (845)628-1500

IN THE MATTER OF THE APPEAL Application Date: 3 - 24 Prose TO THE ZONING BOARD OF APPEALS OF THE TOWN OF CARMEL Application For (circle applicable): Area Variance (156.15) Use Variance Interpretation Name of Property Owner: PHELLIP US PORE Address: 28 CROSSUILL 120AD MAHOPAC NJ Mailing Address: 28 Clostile ROAD MAHIGAE N. Y Phone Number(s): Tax Map: 74.42 - 1 - 69 Applicant is: (circle one) (Owner) [Attach deed, contract of sale or lease agreement] (Lessee) (Contract Vendee) E-Mail Address: Previous Appeals regarding the subject premises: REQUEST RESULTS DATE List all improvements (1 family dwelling, pool, etc.) I florely divil The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO I, the applicant, am seeking permission to: Construct CODE REQUIRES / ALLOWS PROVIDED VARIANCE REQUIRED 2 State of New York 1 County of Putnam ) The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true. Sworm to before me this 38th day of March 20 33 ALICE DALY Notary Public, State of New York No. 01DA6345218 Qualified in Putnam County Commission Expires July 25, 2024

Petitioner

Date 3-2K-2023





SEE 04

DETAIL A

47

48

49

use of and is certified only to:

PHILLIP LEPORE

-N1030'05"E

Frame Shed

Under

Construction

Concrete Pod & Steps

Plastic Post 19.1 Chain Link Fence & Post & Wire Fence

Concrete Retaining Wall 90.00 Pin & Cop Set -Area = 3.600 Sa. Ft.This map was prepared for the exclusive

1. COPYRIGHT "2022" by BADEY & WATSON, Surveying & Engineering, D.P.C. All Rights Reserved. Unauthorized duplication is a violation of applicable

2. Unauthorized alteration or addition to a document prepared by a licensed land surveyor is a violation of Section 7209, Subdivision 2 of

3. All certifications are valid for this map and copies thereof only if said map or copies bear the embossed seal of the surveyor whose signature

A. If underground improvements, easements, or encroachments exist and ore neither visible during normal field survey operations nor described in instruments provided to these surveyors, they may not be shown on this

map.
5. This property may be affected by instruments which have not been provided to these surveyors. Users of this map should verify title with their attorney or a qualified title examiner.

6. The premises hereon is Lots 33 & 34, Block 19 as shown on that

the New York State Education Law.

appears hereon.

Concrete Retaining Wall

Concrete Walk

/Frame Dwelling

Roof Overhong

Notes

Stockade Fence

Concrete Walk & Steps

SURVEY OF PROPERTY
PREPARED FOR

Water Valve

Gravel Drive

PHILLIP LEPORE

TOWN OF CARMEL PUTNAM COUNTY NEW YORK

90.00:

Pin & Cop Sei

Concrete Wall

SCALE 1 in. = 10 ft. AUGUST 4, 2022

We hereby certify that the survey shown hereon was completed by us on August 4, 2022 , that this map was completed on August 10, 2022 , and that this survey has been prepared in accordance with the existing Code of Practice for Land Surveys as adopted by The New York State Association of Professional Land Surveyors, Inc.

at

337035











Town Hall, Town of Carmel

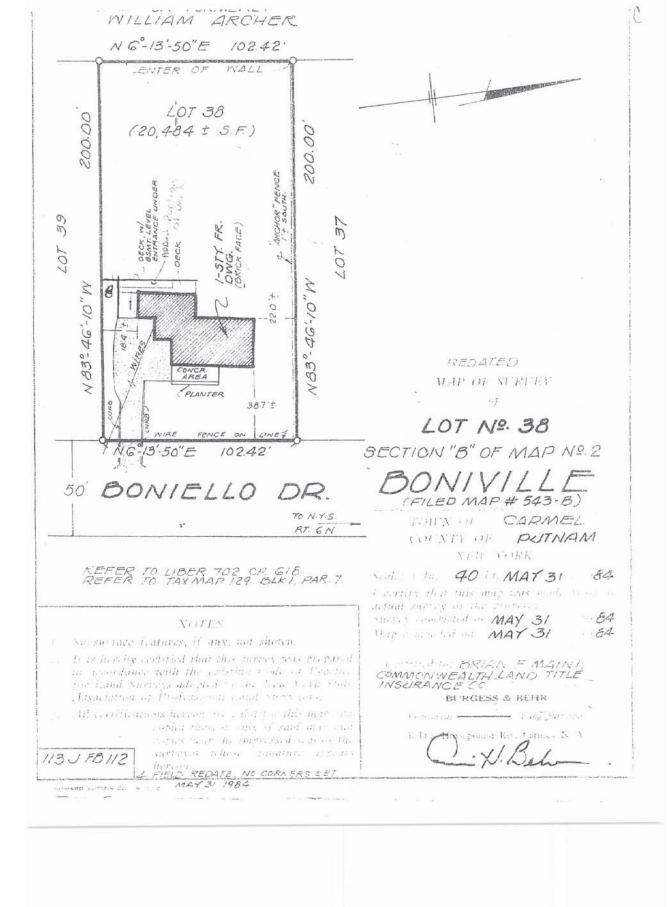
60 McAlpin Ave. Mahopac, N.Y. 10541 (845)628-1500

IN THE MATTER OF OF THE ZONING BOOF THE TOWN	DECK DARD OF APPEALS	App	olication Date:	-18 .2023		
		ance (1576-15) Use Variance	e Interpretation	n 280A		
Name of Property Owner:	Michael Me	unce (15015) Use Variance Address: 26 Bo (Address)	nello Dr.	Mahora N.Y		
Mailing Address: 26	Bootelle De	Mchopee N . Phone Num	aher(s):	(State)		
(Addre	ss) (City)	Tax Map: 85,	12 7	17		
Applicant is: (circle one)	(Owner) (Lessee)	(Contract Vendee) [Atta	ich deed, contract	of sale or lease agreement]		
E-Mail Address:		~				
Previous Appeals regarding	ng the subject premises	E				
DATE		REQUEST		RESULTS		
	1.53 -03	7777 2				
	NO PI	errow 2BH Opp	earing	( sonay		
	+					
Explain:		place existing Deek				
CODE DECUMPE	/ALLOWE	PROVIDER	1	TANCE BEGUNES		
CODE REQUIRES	7 ALLOWS	PROVIDED	VAR	VARIANCE REQUIRED		
10 270						
	The second second					
State of New York ) ss: County of Putnam ) The undersigned petitioner, bein (this) (her) knowledge except as t Sworm to before me this Neurs Public	g duly sworm, deposes and so the matters therein stated to day of 202	ays that (he) (she) has read the foregoing petitic to be on information and belief, and as to those and the foregoing petitic to be on information and belief, and as to those and the foregoing petitics to be on information and belief, and as to those and the foregoing petitics to be on information and the foregoing petitics to be on information and the foregoing petitics to be on information and belief, and as to those and the foregoing petitics to be on information and belief, and as to those and the foregoing petitics to be on information and belief, and as to those and the foregoing petitics to be on information and belief, and as to those and the foregoing petitics to be on information and belief, and as to those and the foregoing petitics to be on information and belief, and as to those and the foregoing petitics are the foregoing petitics to be one information and belief, and the foregoing petitics are the foregoing petitics and the foregoing petitics are the foregoing petitics are the foregoing petitics and the foregoing petitics are the foregoing pet	matters (he) (she) helicy	it thereof, and that the same is true to res to be true.		
ALICE DALY Notary Public, State o No. 01DA6345	f New York	211	2 (	2 10 2		

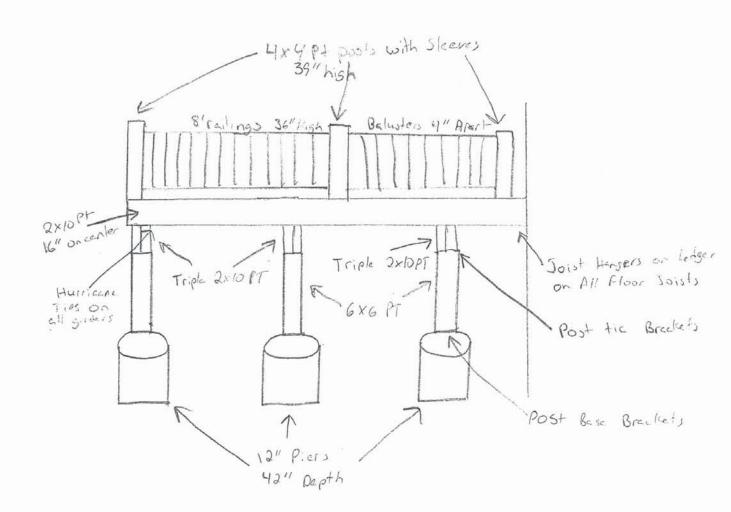
Qualified in Putnam County Commission Expires July 25, 2024

110

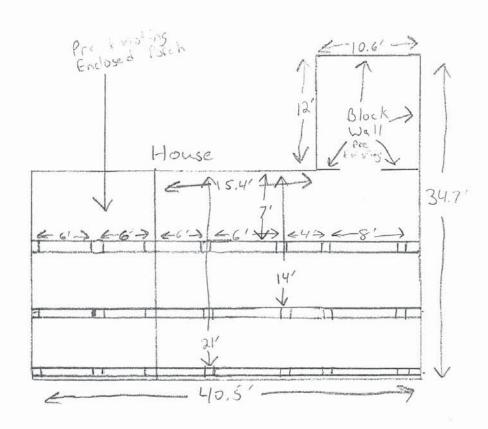
Petitioner Child My Date 3-29-2023

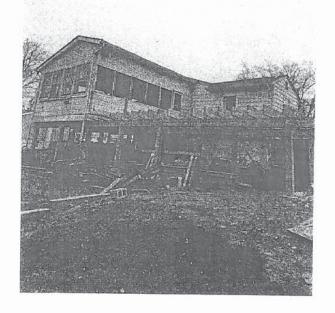


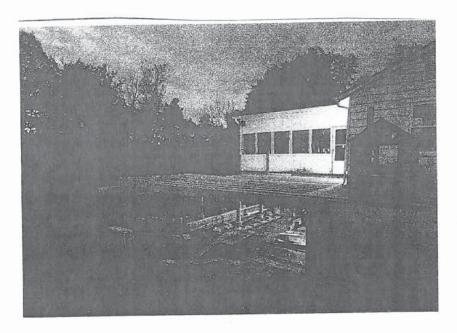
## Side View



P









Commission Expires May 20, 2023

## ZONING BOARD OF APPEALS TOWN OF CARMEL PUTNAM COUNTY

Town Hall, Town of Carmel 60 McAlpin Ave. Mahopac, N.Y. 10541 (845)628-1500

IN THE MATTER OF THE APPEAL		
TORRES/ OF	}	1
SANTANA DECK	Appli	ication Date: 3 33 , 20 33
TO THE ZONING BOARD OF APPEALS OF THE TOWN OF CARMEL		
Application For (circle applicable): Area Varia	nce (156.15) Use Variance	Interpretation 280A
Name of Property Owner: Crishad Torres +	CODE SECTION	Toplanded Mehanacal
Mailing Address: Same	Sentina (Address)	(City) (State)
(Address) (City)	(State) Phone Numb	1/1/
Zoning District: (R-120, Commercial, C/BP, or Conservation)	Tax Map: 63-8	- (Block) - (Lot)
Applicant is: (circle one (Owner) (Lessee)	(Contract Vendee) [Attac	h deed, contract of sale or lease agreement]
E-Mail Address:		
Previous Appeals regarding the subject premises	. 5	
Tortous Appeals regarding the subject premises	•	
DATE	REQUEST	RESULTS
2000	05 10 100 100	- 1 -
2002 Doeme	RS ON BACK OF HOUS	
JUS 124152 JII		- DARWIA
	A DO BATHROO	m /
	11.1001.	1/2 /
List all improvements (1 family dwelling, pool, o	etc.) I framly duly tr	Dech.
s any portion of the property within 500 ft. of ar explain: Yes Putnam Valley	ny state or county-highway, town bound	dary, parkway or public lands YES/NO
f, the applicant, am seeking permission to:	Celan Doch	
CODE PROVINCE LA CAMP	V about the control	
CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
15' Sile North	7	1//
15' Side North	13	2
	-0	
	- 2	
State of New York) Westchester		
County of Putnam ) The undersigned petitioner, being duly sworn, deposes and s	ays that (he) (she) has read the foregoing petition	a and knows the content thereof, and that the same is true to
County of Putnam ) The undersigned petitioner, being duly sworn, deposes and s his) (her) knowledge except as to the matters therein stated I	ays that (he) (she) has read the foregoing petition to be on information and belief, and as to those n	a and knows the content thereof, and that the same is true to natters (he) (she) believes to be true.
County of Putnam ) The undersigned petitioner, being duly sworn, deposes and s (his) (her) knowledge except as to the matters therein stated i	ays that (he) (she) has read the foregoing petition to be on information and belief, and as to those n	a and knows the content thereof, and that the same is true to natters (he) (she) believes to be true.
County of Putnam ) The undersigned petitioner, being duly sworn, deposes and s his) (her) knowledge except as to the matters therein stated I	ays that (he) (she) has read the foregoing petition to be on information and belief, and as to those necessary the second	n and knows the content thereof, and that the same is true to natters (he) (she) believes to be true.
State of New York  Work  County of Putnam  The undersigned petitioner, being duly sworn, deposes and s (his) (her) knowledge except as to the matters therein stated to sworm to before me this	ays that (he) (she) has read the foregoing petition to be on information and belief, and as to those new parking the same and the same	a and knows the content thereof, and that the same is true to natters (he) (she) believes to be true.
County of Putnam ) The undersigned petitioner, being duly sworn, deposes and s (his) (her) knowledge except as to the matters therein stated in the sword to be a sword to	ays that (he) (she) has read the foregoing petition to be on information and belief, and as to those new particles and a second	and knows the content thereof, and that the same is true to natters (he) (she) believes to be true.
County of Putnam ) The undersigned petitioner, being duly sworn, deposes and s (his) (her) knowledge except as to the matters therein stated to	ays that (he) (she) has read the foregoing petition to be on information and belief, and as to those new parkbases. The petitioner was a second property of the petitioner with the petitioner was a second property of the petitioner was a second pr	and knows the content thereof, and that the same is true to natters (he) (she) believes to be true.  Date 2023



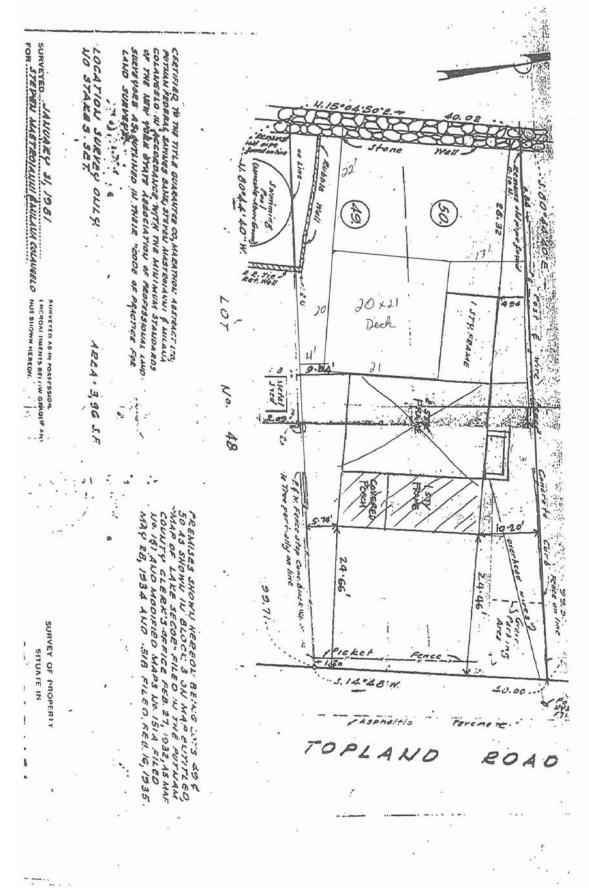


Town Hall, Town of Carmel 60 McAlpin Ave. Mahopac, N.Y. 10541 (845)628-1500

#### **AUTHORIZATION FORM**

RE:	Property of: Katherine Santa	na
	Located at: 258 Topland RD	, MahoPac
	Tax Map #: 63.82 -1-5	(City, Town, Village)
	In the matter of:(Variance	Paragraph .
	(variance	(Koquest)
To who	om it may concern:	
This let	tter is to authorize Carmelo	Santana
a/an (ch	heck one) AttorneyEngineer Architec	et_Other (Spouse)
to apply	y for the required variance(s) on the above noted pro	operty and to sign all necessary papers and make all
necessa	ary representations on my behalf in connection with	the above-mentioned matter.
	ersigned: 65 S.A. M.A.	Signed: Kath Jath
	Carmelo Jantara Mota	Katherine Santana
Mailing	g Address: 258 topland R	Mailing Address: 258 Topland Rd Maho pac
State:	Ny Zip: 10541	State: N-/ Zip: 10541
Telepho	one #	Telephone # C
Date:		**************************************
E-mail:	:_'	

NOTE: The willful submission of false or inaccurate information on this application may result in the dismissal of the application, or the revocation of any action taken on the application, or both.











## ZONING BOARD OF APPEALS TOWN OF CARMEL

Town Hall, Town of Carmel 60 McAlpin Ave. Mahopac, N.Y. 10541

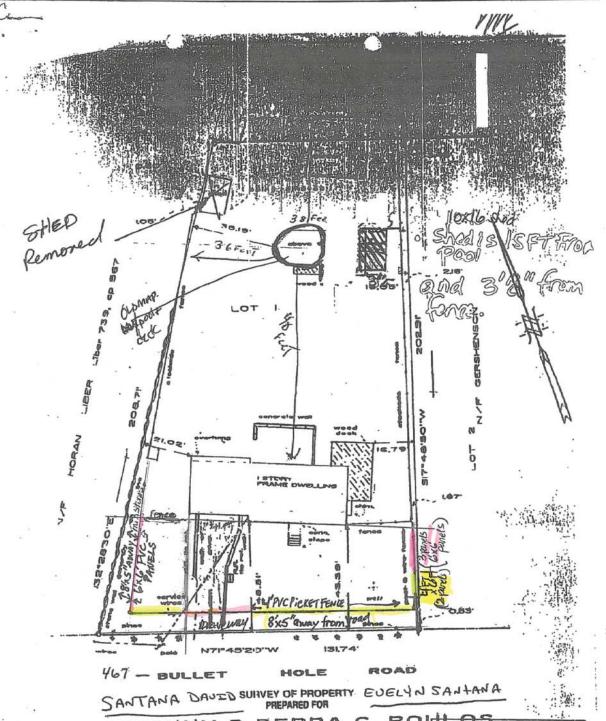
**PUTNAM COUNTY** (845)628-1500 IN THE MATTER OF THE APPEAL OF rence sentana Application Date: TO THE ZONING BOARD OF APPEALS OF THE TOWN OF CARMEL Application For (circle applicable): Area Variance (156-20) Name of Property Owner: Mailing Address: Phone Number(s) 64.6 Tax Map: Zoning District: Applicant is: (circle one) ((Owner)/ (Contract Vendee) [Attach deed, contract of sale or lease agreement] E-Mail Address: Previous Appeals regarding the subject premises: RESULTS REQUEST DATE 1995 Cerantas List all improvements (1 family dwelling, pool, etc.) The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO Explain: I, the applicant, am seeking permission to: Netown 6 Howsides as well as Delvensey bate CODE REQUIRES / ALLOWS PROVIDED VARIANCE REQUIRED State of New York )

County of Putnam )
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

day of 1/pg 20 2003

Notary Public, State of New York
No. 91BA6345218
Qualified in Putnam County Commission Expires July 25, 2024

ALICE DALY



	THENNY	8	DEB	RAC	J. F O	4-	RECEIVED	17
AREA - 21,332 8.	F.	TOW	SITUATE I	N THE		OAR		No.
	PUTNAM SCALE I In.		ft.		NEW YO		APR 1 2 2017	· ¿C
	. SUALE TIM.					FL	and yourself	B

I CHERTI II CORR the surveyor and made this mad cartily

- OTES:

  1. All certifications are valid for this map and copies thereof only if the said map or copies beer the impressed seal of the surveyor whose signature appears hereon.

  2. Attention of this document, except by a licensed Land Surveyor, is lifegel.

  3. This map and copies thereof are certified to the above named owner and the title company and lending institution(s) named hereon, and to those parties only.

- LOT I is shown at intep entitled "Wi PORTION OF PROPERTY OF MAR PINELLY etc." filed in the Putneri Ct Clerk's office Oct. 2,1967 as map in

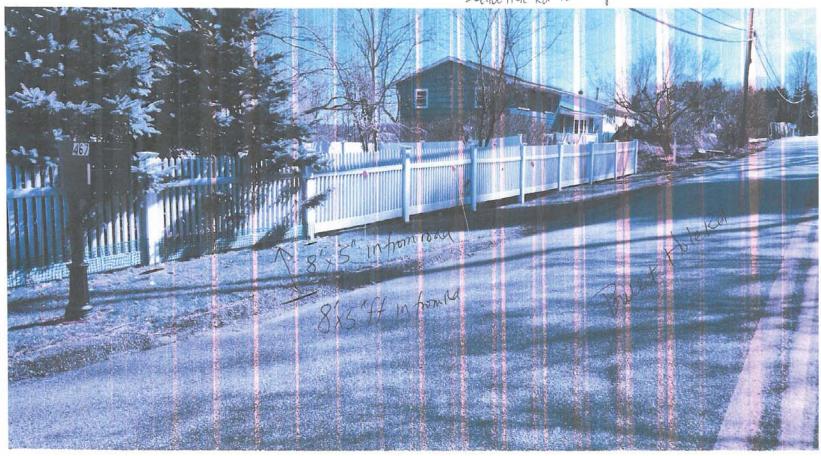
RICHARD H GORR, PLS. N Y S. LIE. No. 40513.
ROUTÉ B P O. BOIL 918
MAHOPAC. N Y 10847

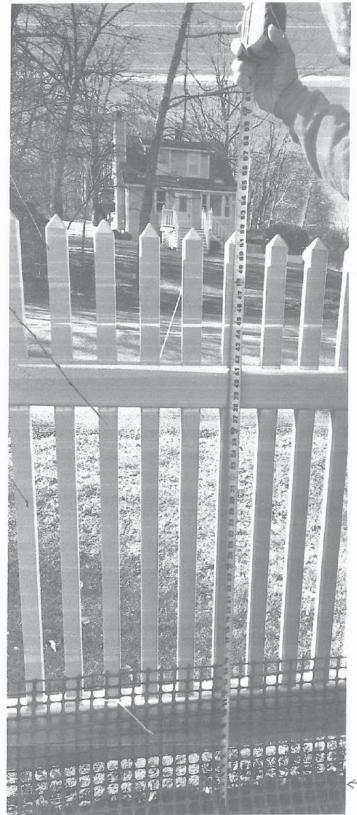
RICHARD II. GORR

David Suntana 467 Bullet Hole Rd. Mahogae, ny 10541 Bullet Hole Rd.

2d. View Front of Property

Bulled Hole Rd to uphill to Hill Street ->





David Santani 46x Bulletthok Rd Mahopac, My 10841

Front pue Piexat fence 4 ff fence

Keepgahage out

Traveling on Bully 1-bit is foliated by the state of the

Harry Carly Surtana Harry Bullet Har Ad Mahopac My 10541

du



Trunt Pic (R) side of property

David Sautana 467 Bullet Hole Pd Mahapanty 100+1

Zombre House -> !!

Bullet the Rd

| horrible = GX6 ff Acpanels

David of Enelogy Sartana 467 Bullet Hole Rd. Mahigac, My 10941

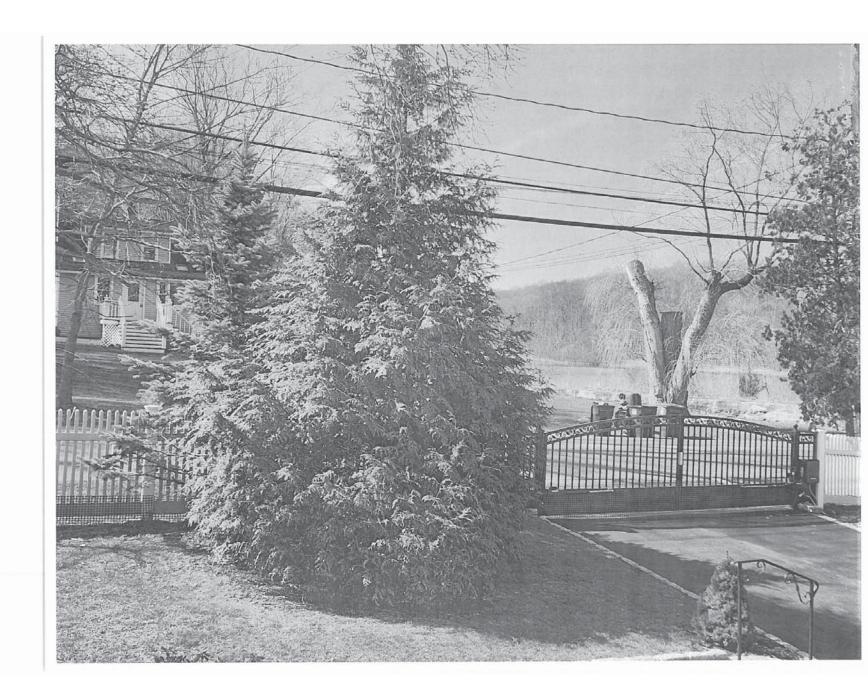
\* hideous empty lot - Keep out wildcannals, paray ivyl loads of trans/deev tick infected.



(1) side of property

David Sandara
467 Bullet Hole Pd
Hahapac M 10571

Compty lot
downathries
Keep out deers
" dogs
" " gabage
from neighbors
" bears





A

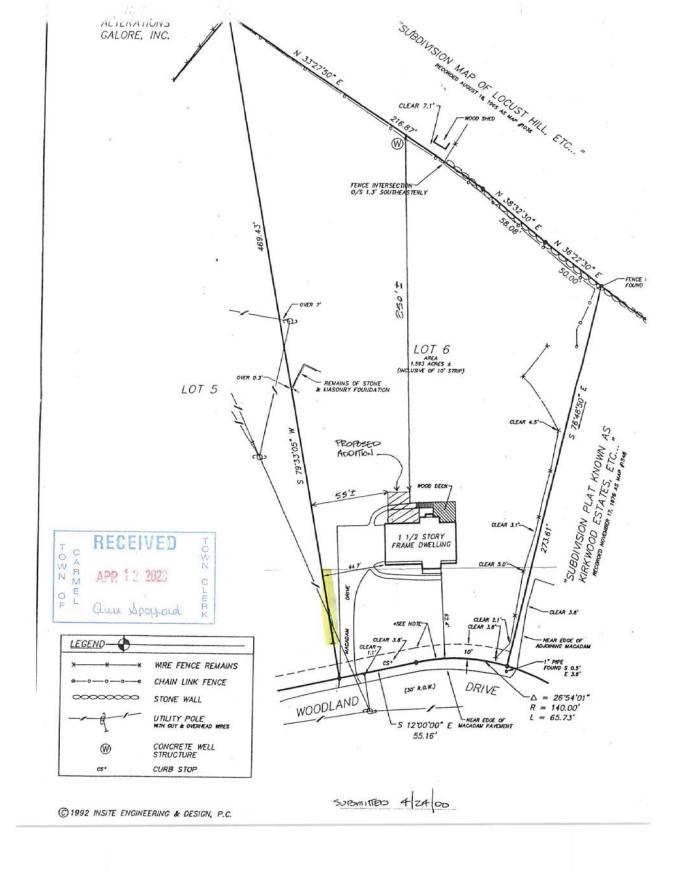
#### ZONING BOARD OF APPEALS TOWN OF CARMEL PUTNAM COUNTY

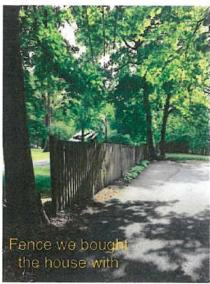
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Town Hall, Town of Carmel 60 McAlpin Ave. Mahopac, N.Y. 10541 (845)628-1500

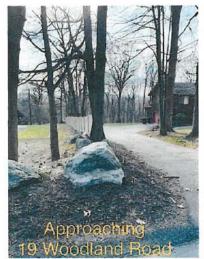
IN THE MATTER OF THE APPEAL		/
V 1 1 0 F	}	0 . (
TO THE ZONING BOARD OF APPEALS OF THE TOWN OF CARMEL		plication Date: April + , 20 23
Application For (circle applicable): Area Varia	nce ( De Variance	e Interpretation 280A
Name of Property Owner: Mrtchell + L.	EN ren Kan FAddress: 19 W	100 dland Rd. Mahopac NY 105;
Mailing Address: 19 Woodland Rd. Make	(Address)  Phone Num	mber(s): (State)
Zoning District: (Address) (City) / Zoning District: (R-120, Commercial, CiBP, or Conservation)	(State) Tax Map: 7.75, 7	
Applicant is: (circle one) (Owner) (Lessee)	(section)	(Block) (Lot)
	(Contract vendee) [Atta	ach deed, contract of sale or lease agreement
E-Mail Address:	,	1
Previous Appeals regarding the subject premises:		
DATE	REQUEST	RESULTS
No prev	ious board appear	Marced & T)
List all improvements (1 family dwelling, pool, e	- 1 Parail house	shed
	porting materials including plans, ele survey, photographs of property and	evations, landscaping diagrams, traffic circulation
Is any portion of the property within 500 ft. of an Explain: LOCST LOKE PSIVE		
I, the applicant, am seeking permission to:	Retail 6 Fence	in front your
CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
4' Fence in Fried W	6 henre	2 Vaross
70110	- Marce	
		T RECEIVED T
		W A N
		N M APR 12 2023 C
		F Court Montand R
State of New York )		cran abolition K
SS: County of Putnam )		
The undersigned petitioner, being duly sworn, deposes and st (his) (her) knowledge except as to the matters therein stated t	to be on information and belief, and as to those	
Sworn to before me this H day of April 20 3	reoterly i dono, ou	ate of New York
Uliy Waln	No. 01DA6 Qualified in Pu	itnam County
Notary Public	Commission Expire	es July 25, 2024

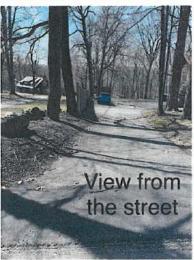
Petitioner Lauren Karff Date 4/4/23



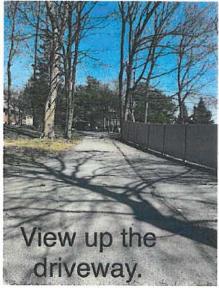












19 Woodland Road Mahopac







me

#### ZONING BOARD OF APPEALS TOWN OF CARMEL PUTNAM COUNTY

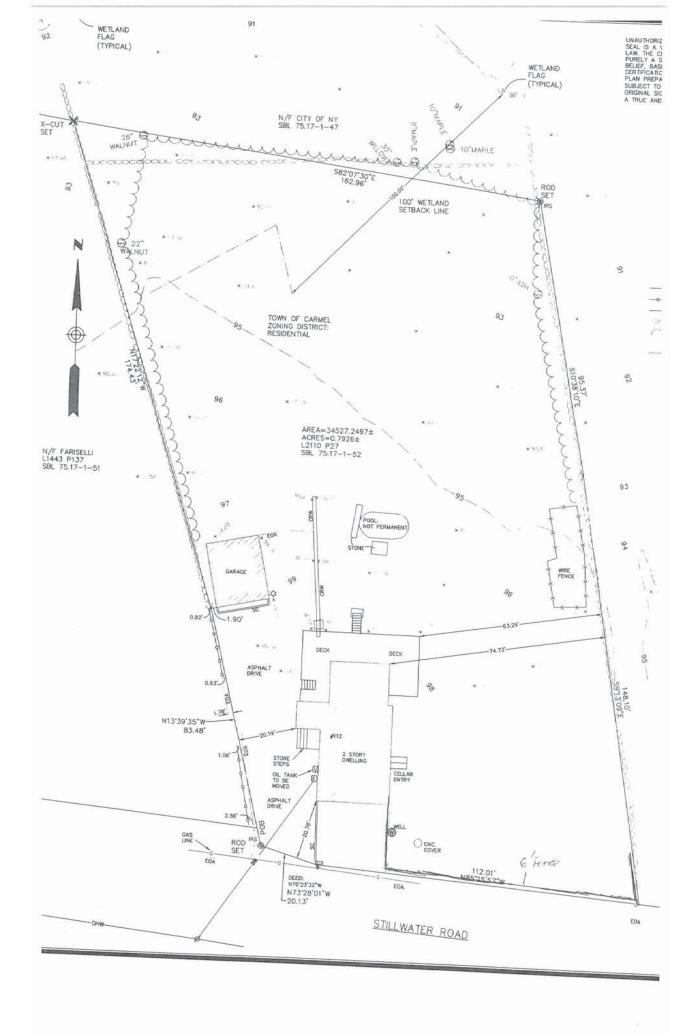
Me

Town Hall, Town of Carmel 60 McAlpin Ave. Mahopac, N.Y. 10541 (845)628-1500

IN THE MATTER OF THE APPEAL  OF  COTHE ZONING BOARD OF APPEALS  OF THE TOWN OF CARMEL		pplication Date: 4 1 , 20 23		
Application For (circle applicable): Area Variar	nce (157, 20) Use Variar	nce Interpretation 280A		
Name of Property Owner: Fabian	ani Address: 112	Still wester Rd Mahopae 109		
Mailing Address: Same (City)	Phone No	umber(s):		
Mailing Address:  Coning District:  (R-120, Commercial, C-BP, or Conservation)	Tax Map: \(\frac{1}{5}\)	(Block) - 5,2		
Applicant is: (circle one) (Owner) (Lessee)	(Contract Vendee) [A	ttach deed, contract of sale or lease agreement		
E-Mail Address:				
Previous Appeals regarding the subject premises:				
DATE	REQUEST	RESULTS		
DATE	REQUEST	RESOLIS		
NO PRESTUDIO	ZBA CEPPEA	rances (MMA)		
7	~~~			
List all improvements (1 family dwelling, pool, e	ac.) DOOL, MOUS	ng stones		
The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here:    Solved   Photos				
CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED		
H Flore Front vol	6'	2		
State of New York )  SS: County of Putnam ) The undersigned petitioner, being duly sworn, deposes and s (his) (her) knowledge except as to the matters therein stated Sworn to before the his day of April 20 D	to be on information and belief, and as to the state of t	etition and knows the content thereof, and that the same is true to nose matters (he) (she) believes to be true.  ALICE DALY  III., State of New York  1.DA6345218  In Putnam County  Expires July 25, 2024		

Petitioner 5

Date 4-12-23

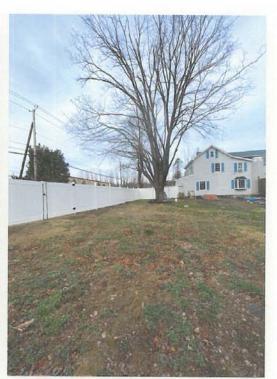






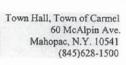




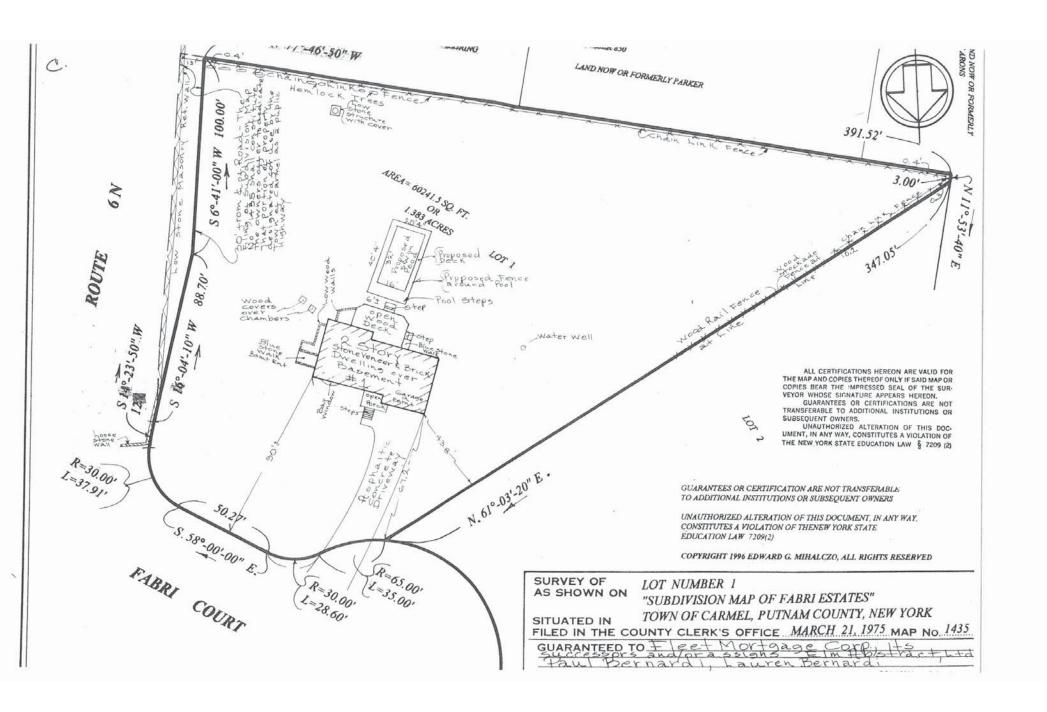




# ZONING BOARD OF APPEALS TOWN OF CARMEL PUTNAM COUNTY



IN THE MATTER OF THE APPEAL		
OF	}	/
Sorensen tence	Applic	ation Date: 4/1/, 20 3
TO THE ZONING BOARD OF APPEA OF THE TOWN OF CARMEL	LS	1/1/
Application For (circle applicable): Area V	Variance (156.10) Use Variance	Interpretation 280A
Name of Property Owner: Robert	SOYENSEN Address: FEL	bbri Ct. Mohops: Ny 1034
Mailing Address: Same	Phone Number	PAR UNA
Mailing Address:  Zoning District:  (R-120, Commercial, C/BP, or Conservation)	(State) 75.13	/ 2)
(R-120, Commercial, C/BP, or Conservation	n) Tax Map: (section)	- (Block) - 22
Applicant is: (circle one) (Owner) (Les	ssee) (Contract Vendee) [Attach	deed, contract of sale or lease agreement]
E-Mail Address:_/		
Previous Appeals regarding the subject pren	nises:	
DATE	REQUEST	RESULTS
410 034000	700 0	
No prenon	so ZBA approvances	(Drua')
-		
List all improvements (1 family dwelling, po	ool, etc.) Sury + Broches	ne
diagrams, neighborhood land use maps, proj understand the request. List attachments her	perty survey, photographs of property and any e: SULVEY, Phytos	
Is any portion of the property within 500 ft. Explain:	of any state or county highway, town bounda	ry, parkway or public lands YES NO
	1 marks of C	
I, the applicant, am seeking permission to: _	construct fence a	clong front/side-cornerlot
CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
4 tall bence in	6 Fence Clong	I Fence Vavee
Front Yd	RY 6N	
		*
State of New York )		
State of New York ) SS: County of Putnam )		
The undersigned petitioner, being duly sworn, deposes	and says that (he) (she) has read the foregoing petition as	nd knows the content thereof, and that the same is true to
(ms) (ner) knowledge except as to the matters therein si	ated to be on information and belief, and as to those mat	tters (he) (she) believes to be true.
Sworn to before me this 11 day of April 2	Notary Public, State o	
Clive Valy	No. 01DA6345	218
Oney Fusic	Qualified in Pulnan Commission Expires Ju	
	_ // 0	
	Parities Oldand	
	Petitioner // 100	Date_ 4/11/2-03,



## T

### 1 Fabbri Court Mahopac, NY 10541

#### Proposed type of fence:





#### Current view of street from house/yard:





## Current view of yard/house from street:





