

JOHN MAXWELL
Chairman

PHILIP AGLIETTI
Vice-Chair

**TOWN OF CARMEL
ZONING BOARD OF APPEALS**



60 McAlpin Avenue
Mahopac, New York 10541
Tel. (845) 628-1500 – Ext 187
www.ci.carmel.ny.us

MICHAEL
CARNAZZA
Director of Code
Enforcement

BOARD MEMBERS
ROSE FABIANO
SILVIO BALZANO
JOHN STARACE
JULIE MCKEON

LEGAL NOTICE

By the Zoning Board of Appeals of the Town of Carmel pursuant to Section 267 Town Law, notice is hereby given that a hearing will be held on:

JULY 27, 2023 – 7:30 P.M.

To hear the following applications:

HOLD OVER APPLICATIONS:

1. Application of **FRANK GIORDANO** for an Interpretation of Section 156-15. Applicant seeks Interpretation that the apartment above garage is legally pre-dated, or in the alternative, a Use Variance to permit same to continue. The property is located at 23 Seminary Hill Road, Carmel NY and is known as Tax Map #55.6-1-68.
2. Application of **BORE COTAJ** for an Interpretation of Section 156-15. Applicant owns the parcel upon which the temporary dock is located and a parcel improved by at least one residential dwelling unit which is directly across the street but separated by a road (i.e. East Lake Blvd.). Applicant seeks an Interpretation that the intent of the statute (i.e. a dock when not located on a parcel improved by at least one residential unit) is met under the circumstances set forth herein or, in the alternative, the following area variances (table below). The property is located at 148 East Lake Blvd., Mahopac NY and is known as Tax Map #76.30-1-5.

Code Requires/Allows	Provided	Variance Required
Dock:		
Lake frontage 50'	6'	44'
Minimum Depth 30'	4'	26'

Minimum Area 3000	96	2904
--------------------------	-----------	-------------

NEW APPLICATIONS:

3. Application of **WILLIAM & JOY BLOOMER** for a Variation of Section 156-15 seeking a Variance for permission to retain 1 shed and a pergola. The property is located at 188 East Lake Blvd., Mahopac, NY and is known as Tax Map #76.22-1-12.

Code Requires/Allows	Provided	Variance Required
10' (shed)	2.7'	7.3'
10' (pergola)	3.1'	6.9'

4. Application of **SARGIS MIRZA** for a Variation of Section 156-15 seeking a Variance for permission to erect one story two-car garage. The property is located at 19 Brookview Drive, Carmel NY and is known as Tax Map #55.-2-66.

Code Requires/Allows	Provided	Variance Required
20' Side	13.8'	6.2'

5. Application of **DANY & DORIS AVILA** for a Variation of Section 156-15 seeking a Variance for permission to add room where existing deck is. The property is located at 94 Entrance Way, Mahopac NY and is known as Tax Map #74.35-1-2.

Code Requires/Allows	Provided	Variance Required
15' rear	11.2'	3.8'

6. Application of **THOMAS SIMONE** for a Variation of Section 156-15 seeking a Variance for permission to install shed onto waterfront property without a principal structure. The property is located at 879 South Lake Blvd., Mahopac NY and is known as Tax Map #75.44-1-32.

Code Requires/Allows	Provided	Variance Required
10' side	1'	9'

7. Application of **LIZ & PAT MARTIN** for a Variation of Section 156-15 seeking a Variance for permission to relocate accessory apartment (no setback variance needed). The property is located at 151 Secor Road, Mahopac NY and is known as Tax Map #74.12-2-56.

Code Requires/Allows	Provided	Variance Required
Single Family House w/accessory apt can be detached if existing prior to 1998.	Separate cottage as an accessory apartment being relocated	To relocate accessory apt./cottage, therefore, not existing prior to 1998.

8. Application of **JOHN CHANG** for a Variation of Section 156-15 seeking a Variance for permission to retain church on 2nd floor. The property is located at 716 Route 6, Mahopac NY and is known as Tax Map #76.30-1-26.

Code Requires/Allows	Provided	Variance Required
1 space/200 sf - Deli		
23/07/100 = 12 ps		
1 ps/3 seats - church		
32 seats/3 = 11 ps		
Total 23 ps	18 ps	5 ps

9. Application of **NIKOLLE SMAJLAJ** for a Variation of Section 156-15 seeking a Variance for permission to retain existing free-standing garage. The property is located at 579 Croton Falls Road, Carmel NY and is known as Tax Map #77.13-2-44.

Code Requires/Allows	Provided	Variance Required
Rear Yard - 15'	0'	15'
Front Yard - 40' (Munich Road)	37'	3'

MISCELLANEOUS:

MINUTES: June 22, 2023

By Order of the Chairman,

John Maxwell



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 MoAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

IN THE MATTER OF THE APPEAL
OF
Frank Giordano
TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: _____, 20__

Application For (circle applicable): Area Variance () Use Variance Interpretation 280A
Name of Property Owner: Frank Giordano Address: 23 Seminary Hill Road, Carmel, NY
Mailing Address: 3811 Perry St., Jefferson Valley, NY Phone Number(s):
Zoning District: C O M M. Tax Map: 55.6 - 1 - 68
Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]
E-Mail Address: _____

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
1978	Approve subject apartment	Denied

List all improvements (1 family dwelling, pool, etc.) main house w/2 apartments, 2 story frame garage

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: affidavit, memorandum of law, assessment card

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO
Explain: Seminary Hill Road is a Town road

I, the applicant, am seeking permission to: see attached

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
	<u>See attached</u>	

State of New York)
 ss:
County of Putnam)
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this 9th day of May, 2003

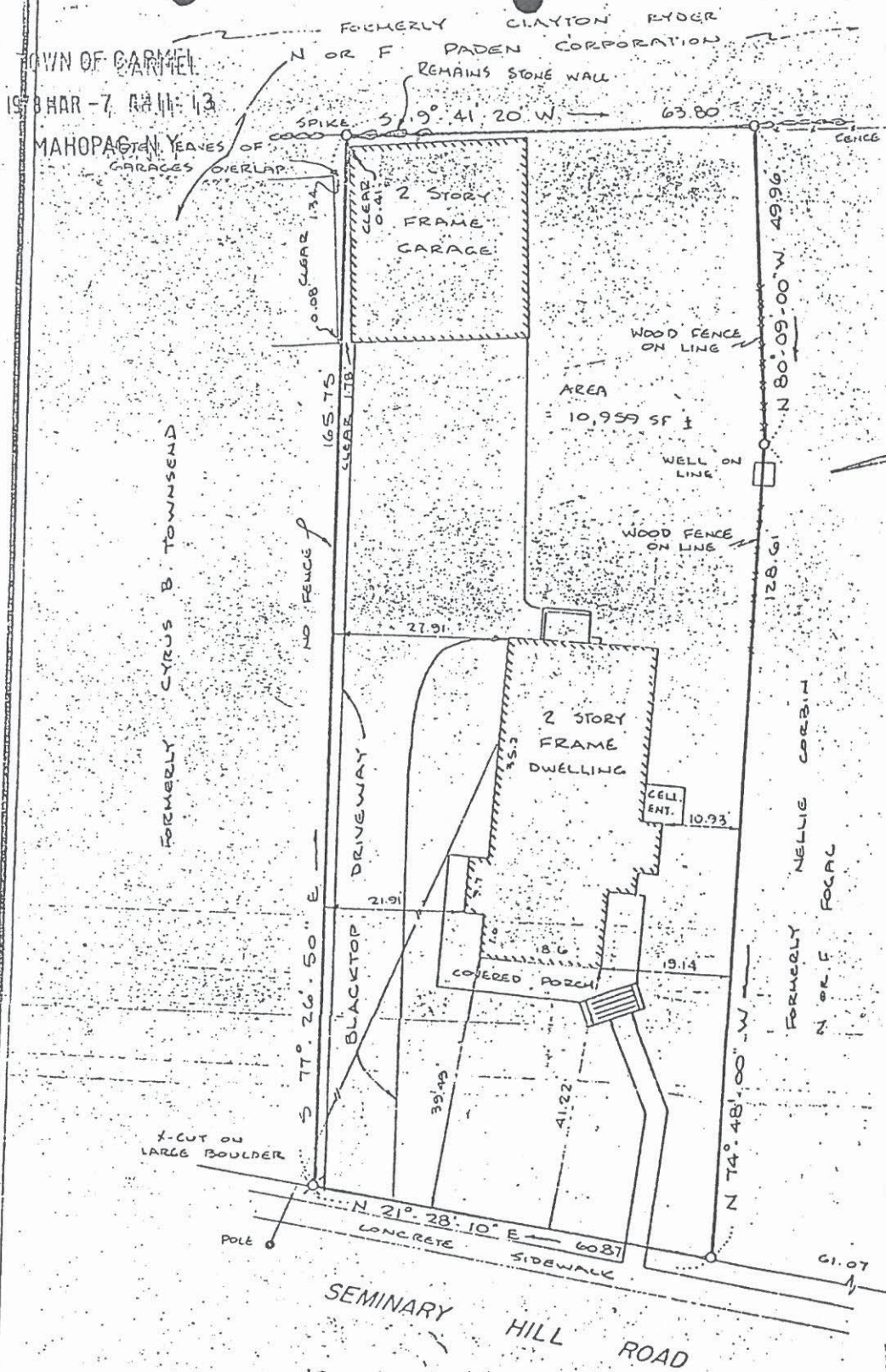
Margaret Ferreri Buechel
Notary Public

MARGARET FERRERI BUECHEL
Notary Public, State of New York
No. 4919619
Qualified in Dutchess County
Commission Expires February 8, 2006

Petitioner Date _____

ATTACHMENT

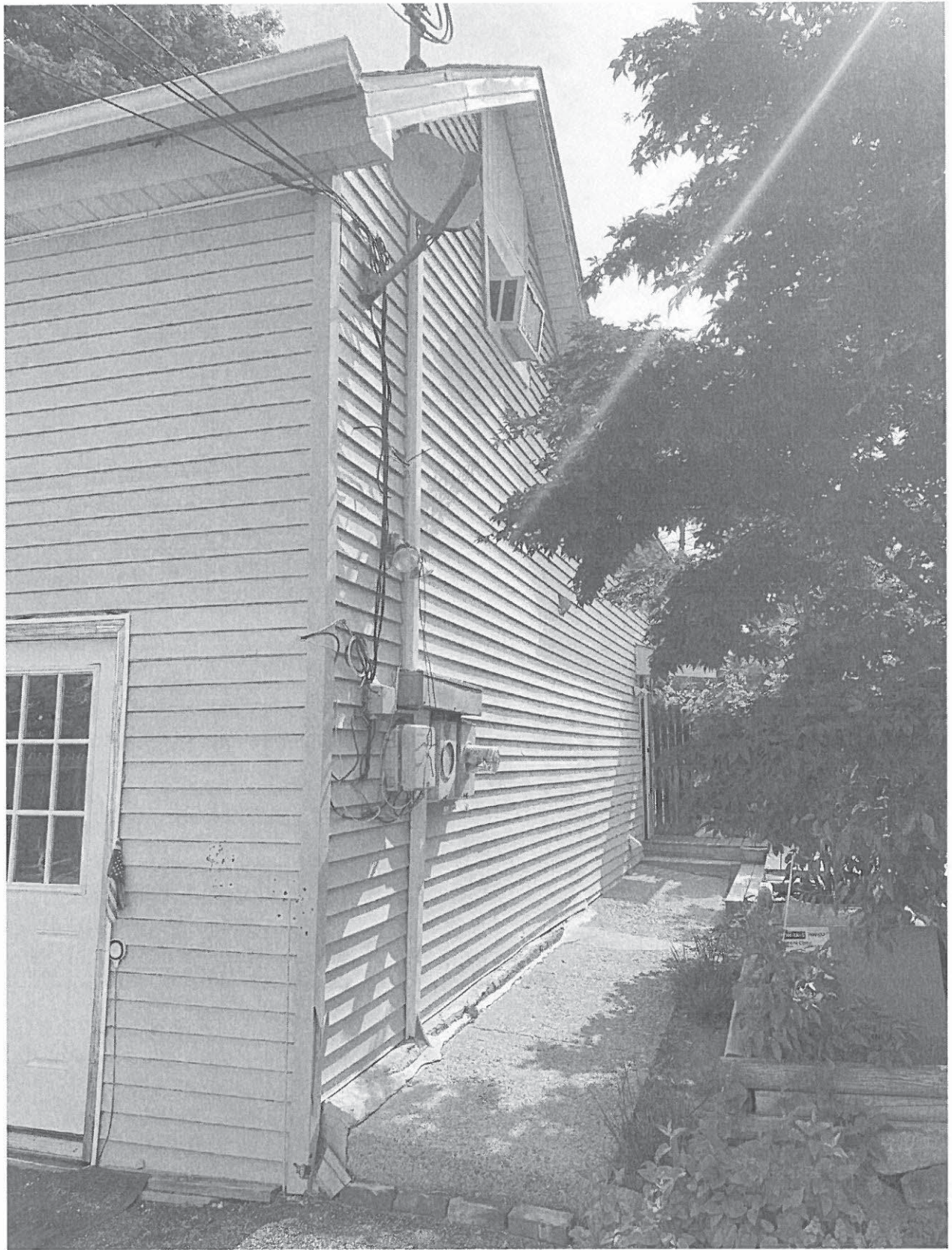
Applicant seeks interpretation that the apartment above garage is legally pre-dated or in the alternative a use variance to permit same to continue.

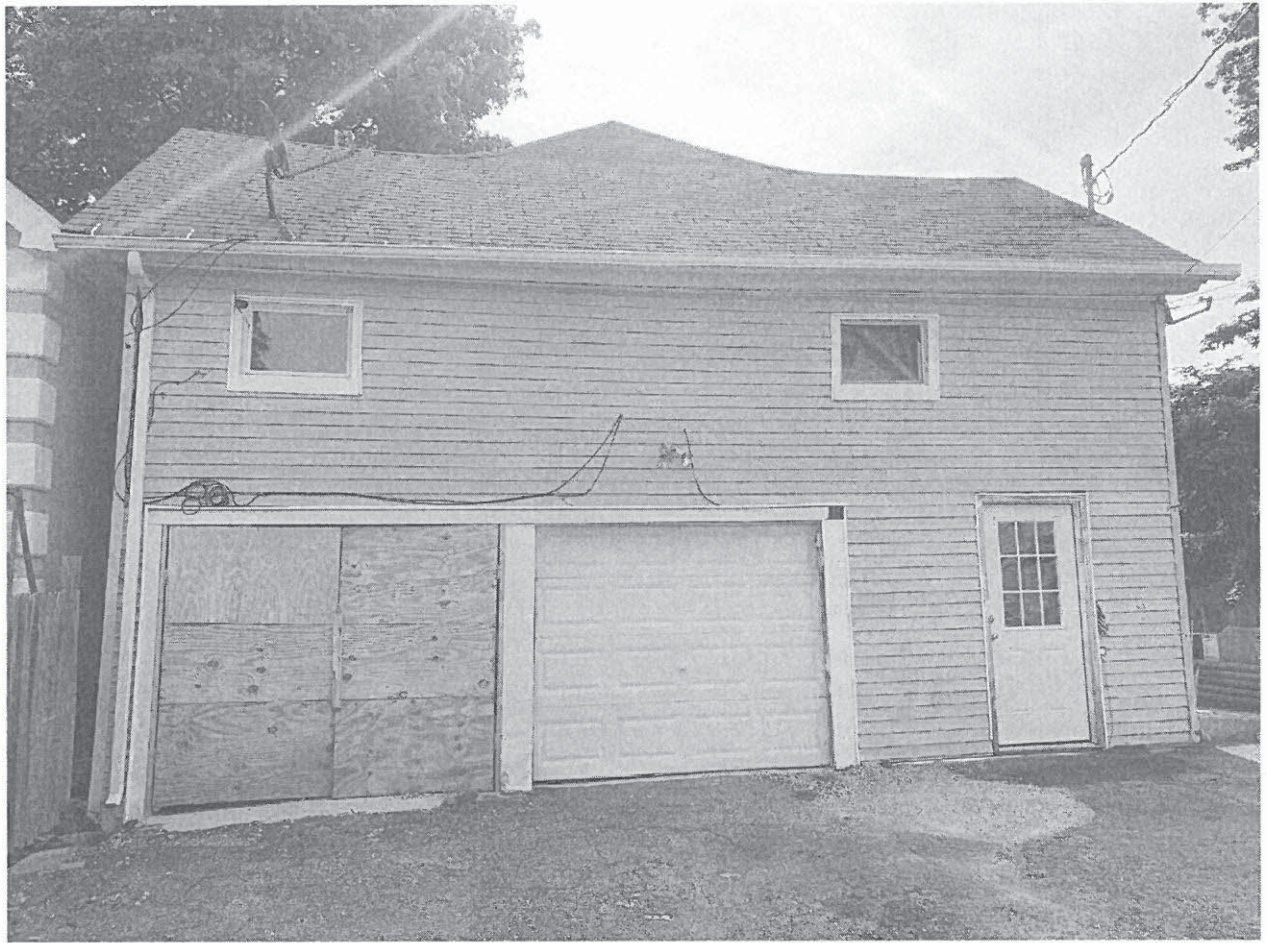


SURVEY OF PROPERTY
 TO BE CONVEYED TO
 JOHN W. & JULIA M. CA
 SITUATE IN













ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

MC

IN THE MATTER OF THE APPEAL
OF
Bore Cotaj
TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: _____, 20____

Application For (circle applicable): Area Variance () Use Variance Interpretation 280A
Name of Property Owner: **Bore Cotaj** Address: **148 E. Lake Blvd., Mahopac, NY**
Mailing Address: **34 Kayla Lane, Mahopac, NY** Phone Number(s): _____
Zoning District: **Res** Tax Map: **76.30 - 1 - 5**

Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]
E-Mail Address: **waslaw@shillinglegal.com**

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
	N/A	

List all improvements (1 family dwelling, pool, etc.) single family home

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: survey, photographs, affidavit, memorandum of law

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO
Explain: _____

I, the applicant, am seeking permission to: See attached

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
	<u>See attached</u>	

State of New York)
 ss:
County of Putnam)
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.
Sworn to before me this 9th day of May, 2023
Margaret Ferreri Buechel
Notary Public
MARGARET FERRERI BUECHEL
Notary Public, State of New York
No. 4919619
Qualified in Dutchess County
Commission Expires February 8, 2024
Petitioner _____ Date _____

ATTACHMENT

Applicant owns the parcel upon which the temporary dock is located and a parcel improved by at least one residential dwelling unit which is directly across the street but separated by a road (i.e. East Lake Blvd.). Applicant seeks an interpretation that the intent of the statute (i.e. a dock when not located on a parcel improved by at least one residential unit) is met under the circumstances set forth herein or in the alternative the following area variances:

Code Requires/Allows	Provided	Variance Required
Dock		
Lake frontage 50'	6'	44' - 24'
Minimum depth 30'	4'	26'
Minimum area 3000	96	2904



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

AUTHORIZATION FORM

RE: Property of: Bore Cotaj
Located at: 148 E. Lake Blvd. (Owner) _____, Mahopac, NY
(Address) _____ (City, Town, Village)
Tax Map #: 76.30-1-5
In the matter of: _____
(Variance Request)

To whom it may concern:

This letter is to authorize Shilling & Smith, P.C.

a/an (check one) Attorney Engineer Architect Other _____

to apply for the required variance(s) on the above noted property and to sign all necessary papers and make all necessary representations on my behalf in connection with the above-mentioned matter.

Countersigned: _____
(Representative)
William A. Shilling, Jr., Esq.
(Print Name)

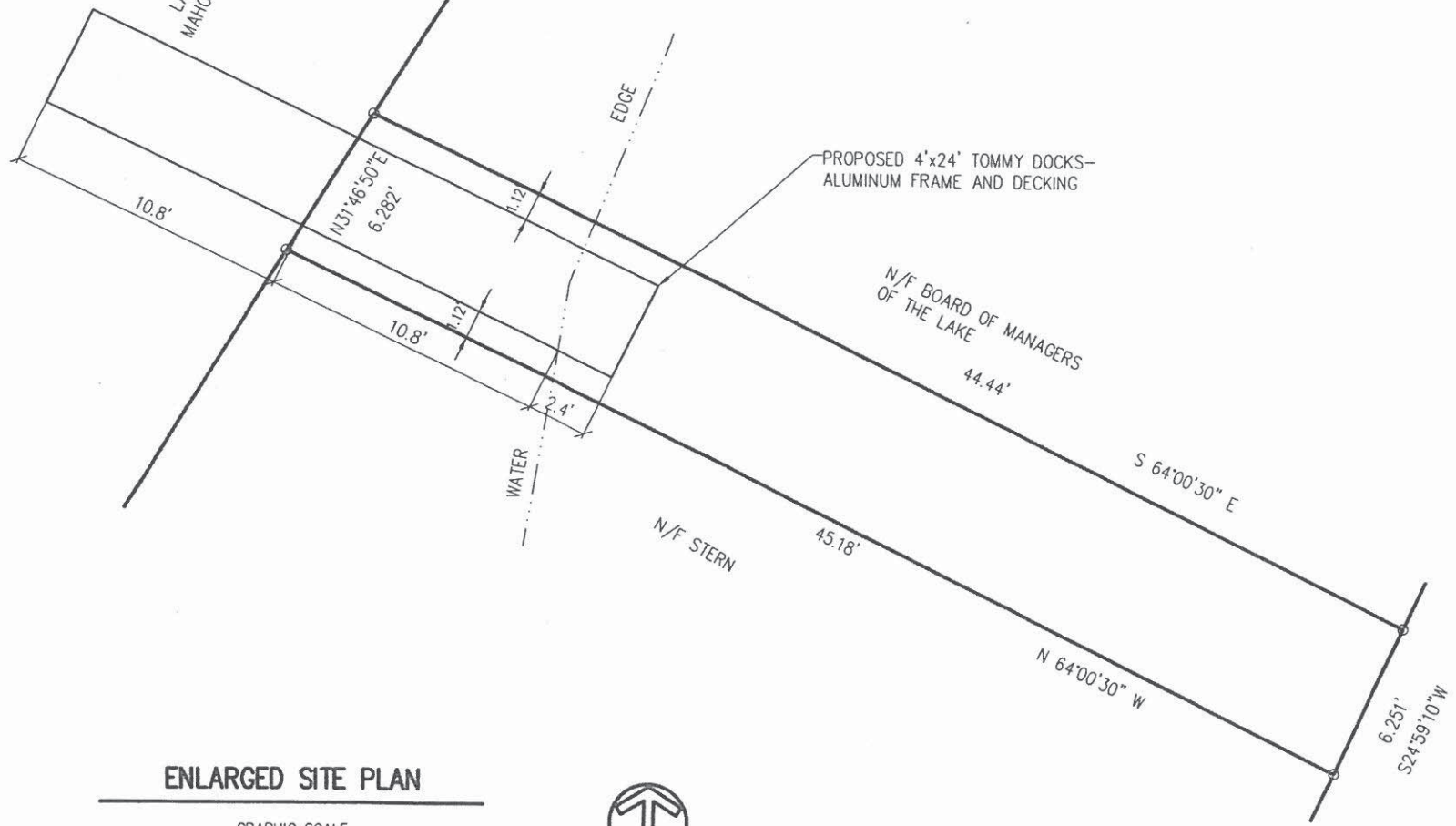
Signed: _____
(Owner of Property)
Bore Cotaj
(Print Name)

Mailing Address: Shilling & Smith, P.C.
1961 Route 6, Suite U3, Carmel
State: NY Zip: 10541
Telephone # 845-225-7500
Date: _____
E-mail: waslaw@shillinglegal.com

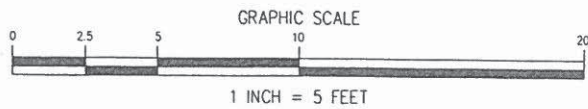
Mailing Address: 34 Kayla Lane, Mahopac
State: NY Zip: 10541
Telephone # _____

NOTE: The willful submission of false or inaccurate information on this application may result in the dismissal of the application, or the revocation of any action taken on the application, or both.

LAKE MAHOPAC



ENLARGED SITE PLAN



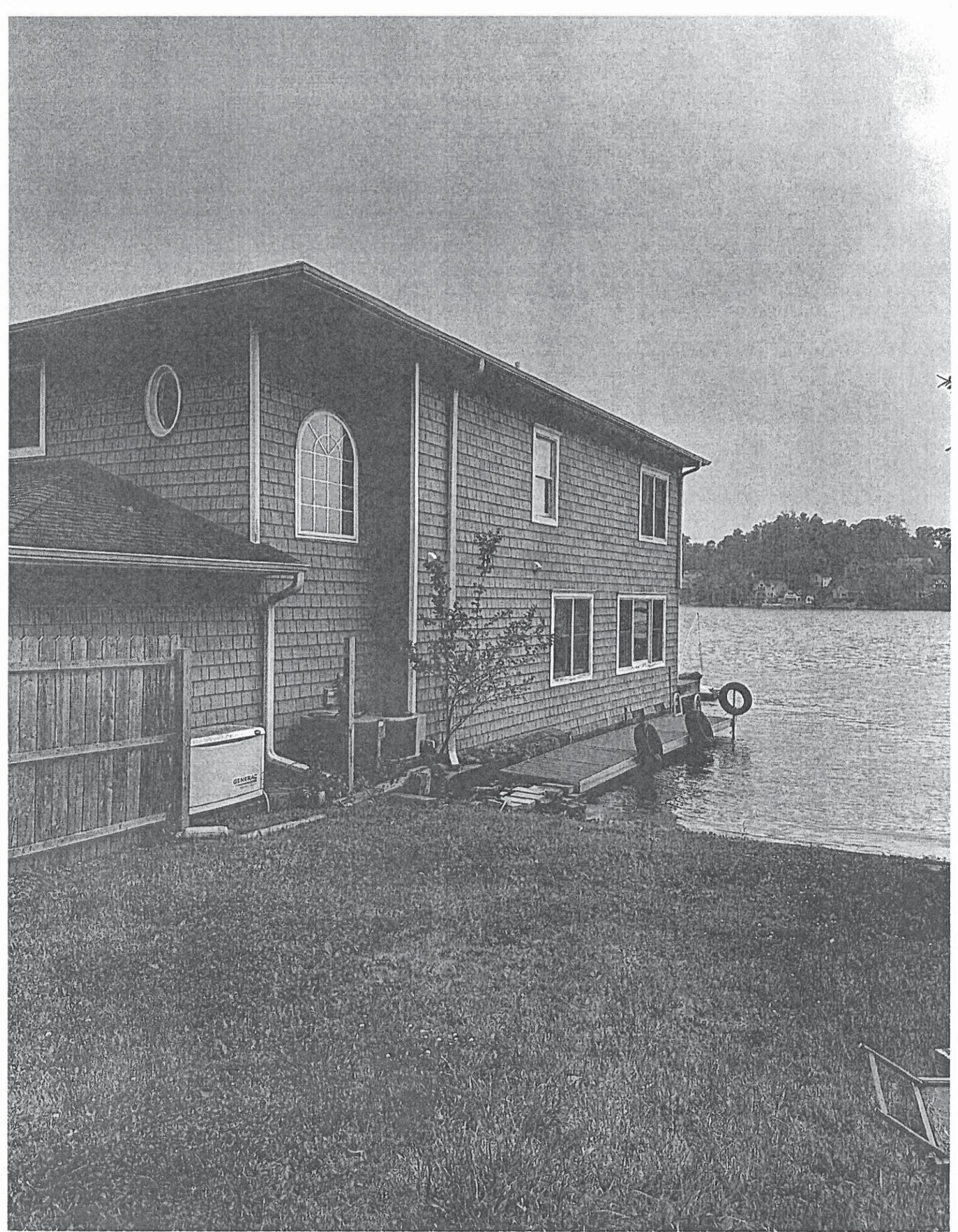
PURSUANT TO NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209 SUBDIVISION 2, "IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ENGINEER IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

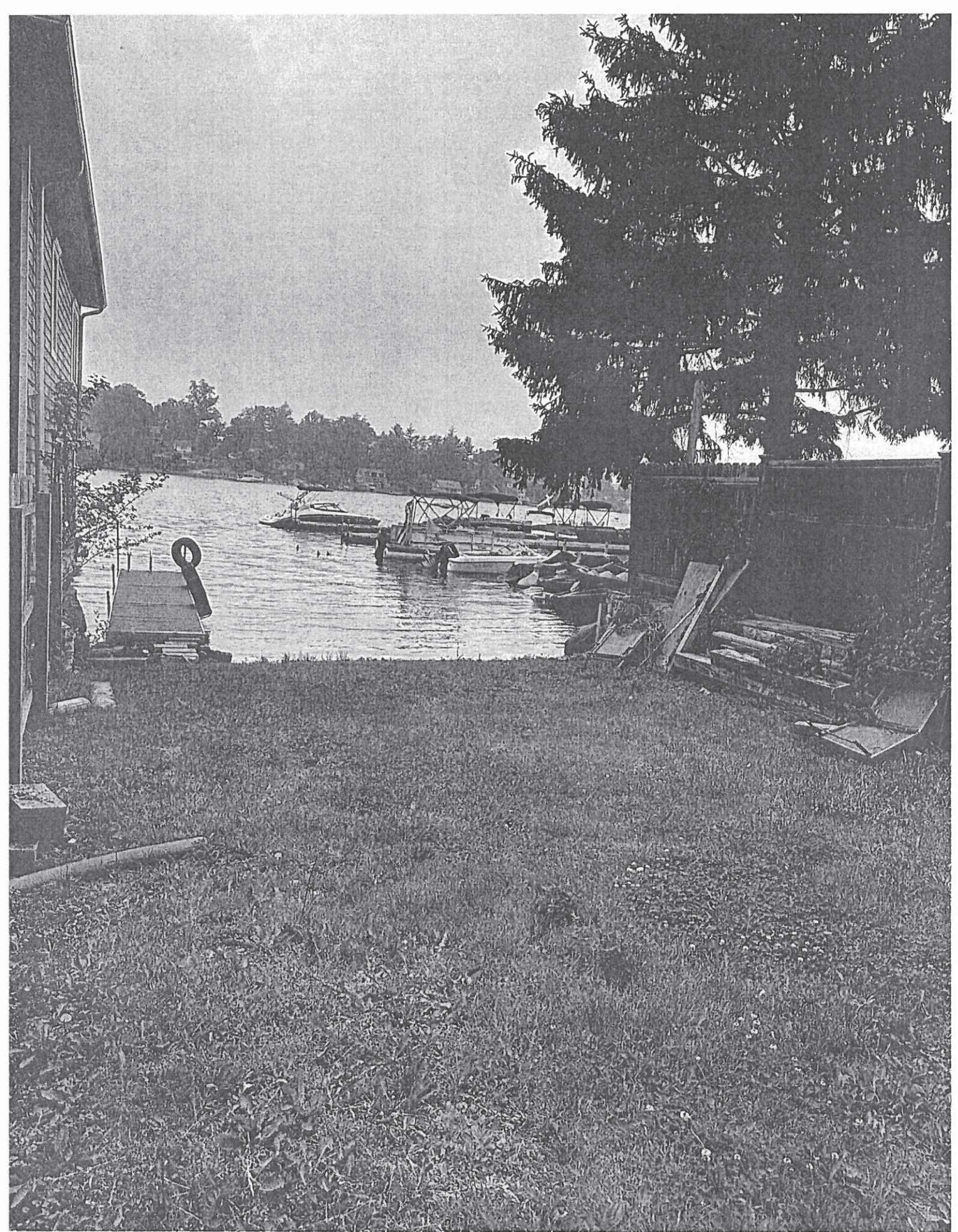
PUTNAM ENGINEERING
ENGINEERS and ARCHITECTS
4 OLD ROUTE 6, BREWSTER, NEW YORK 10509
(845) 279-6789 FAX (845) 279-6789

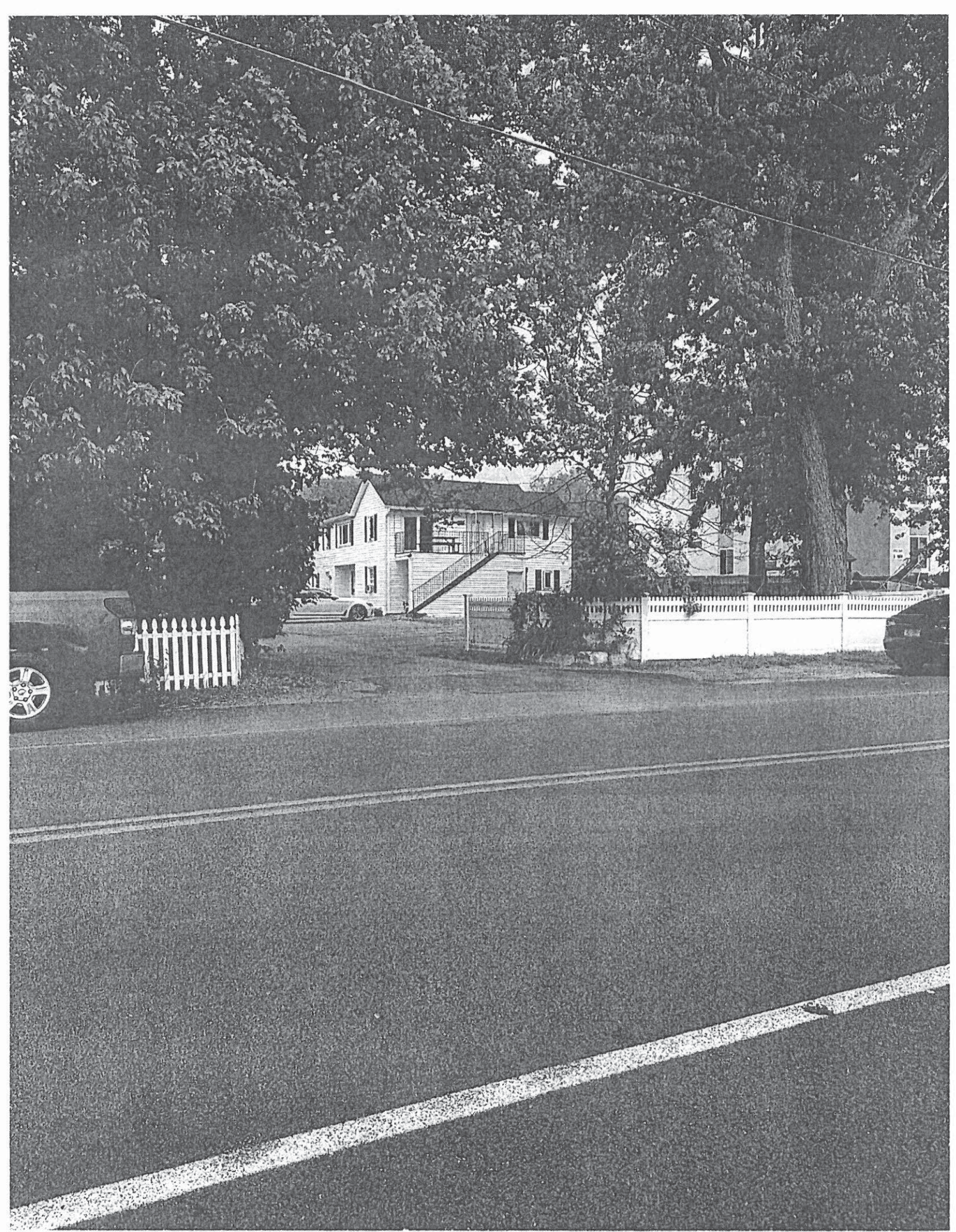
PREPARED FOR:
VJEKO & BORE COTAJ
34 KAYLA LANE
MAHPOAC, NY 10541
148 EAST LAKE BLVD
TOWN OF CARMEL
PUTNAM COUNTY, NEW YORK
TAX MAP No. 76.30, BLOCK 1, LOT 5

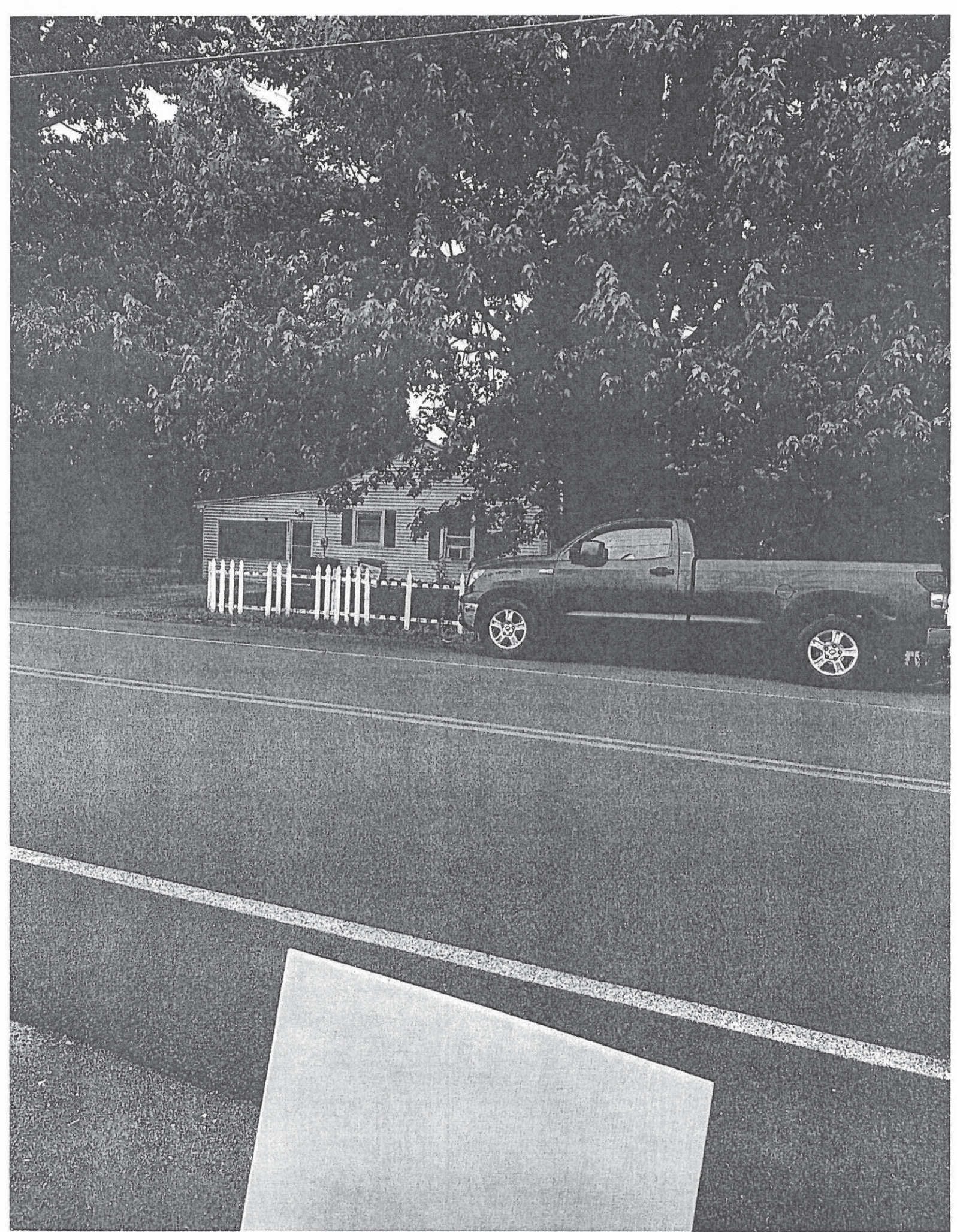
ENLARGED SITE PLAN

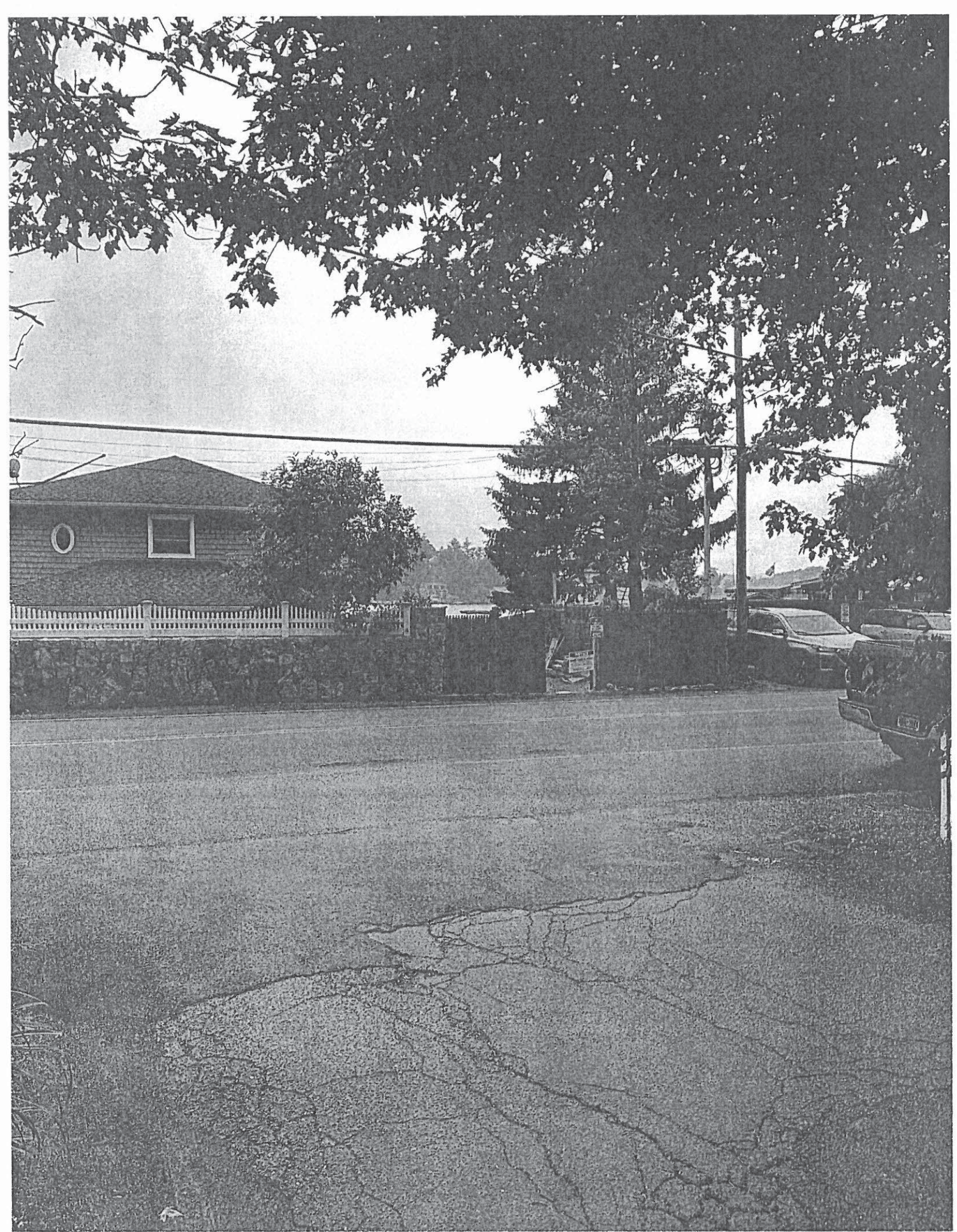
DRAWING DATE: 06/01/2022
PRJ MGR: PML DRAWN BY: PMK
PF PROJ No.
8414

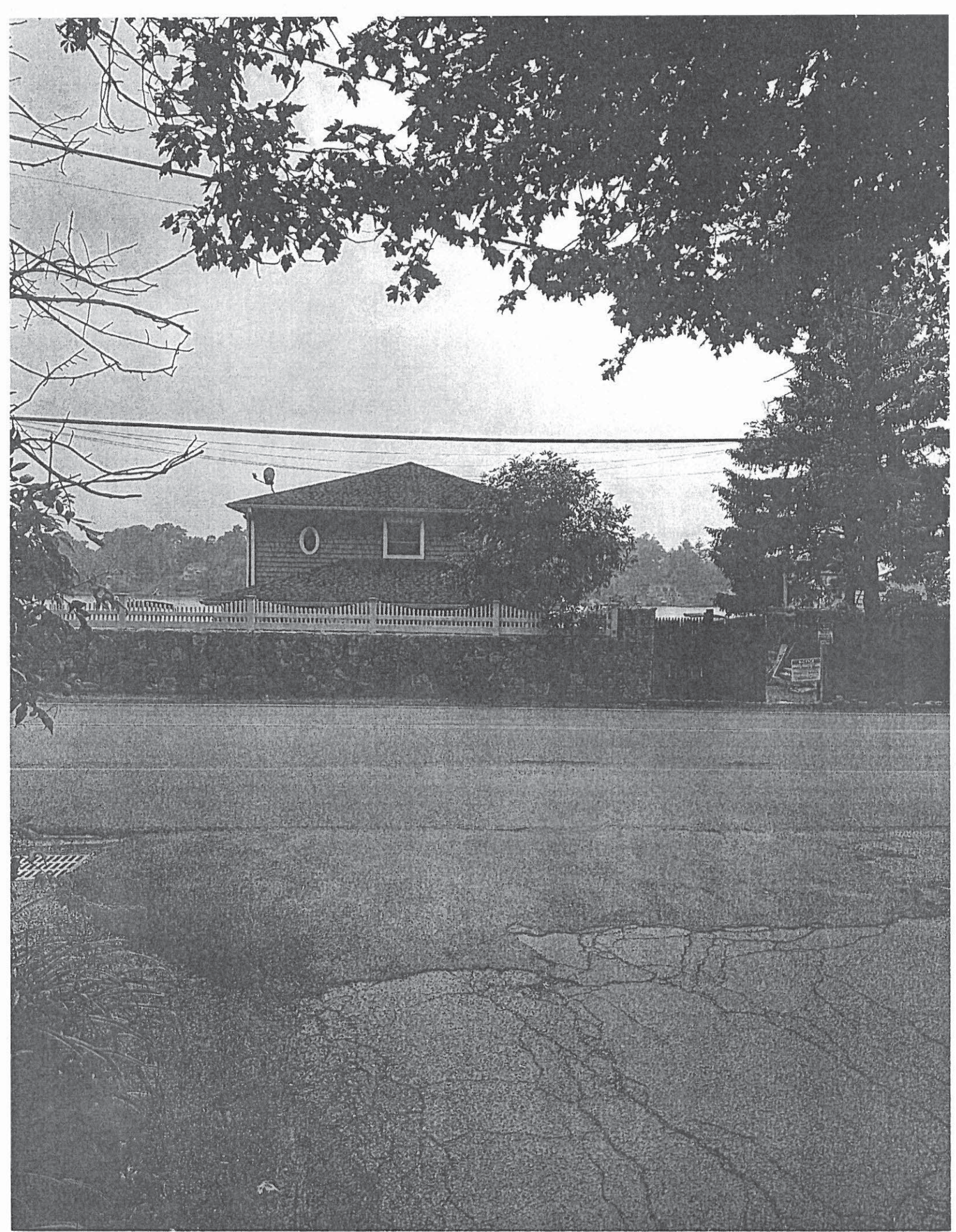


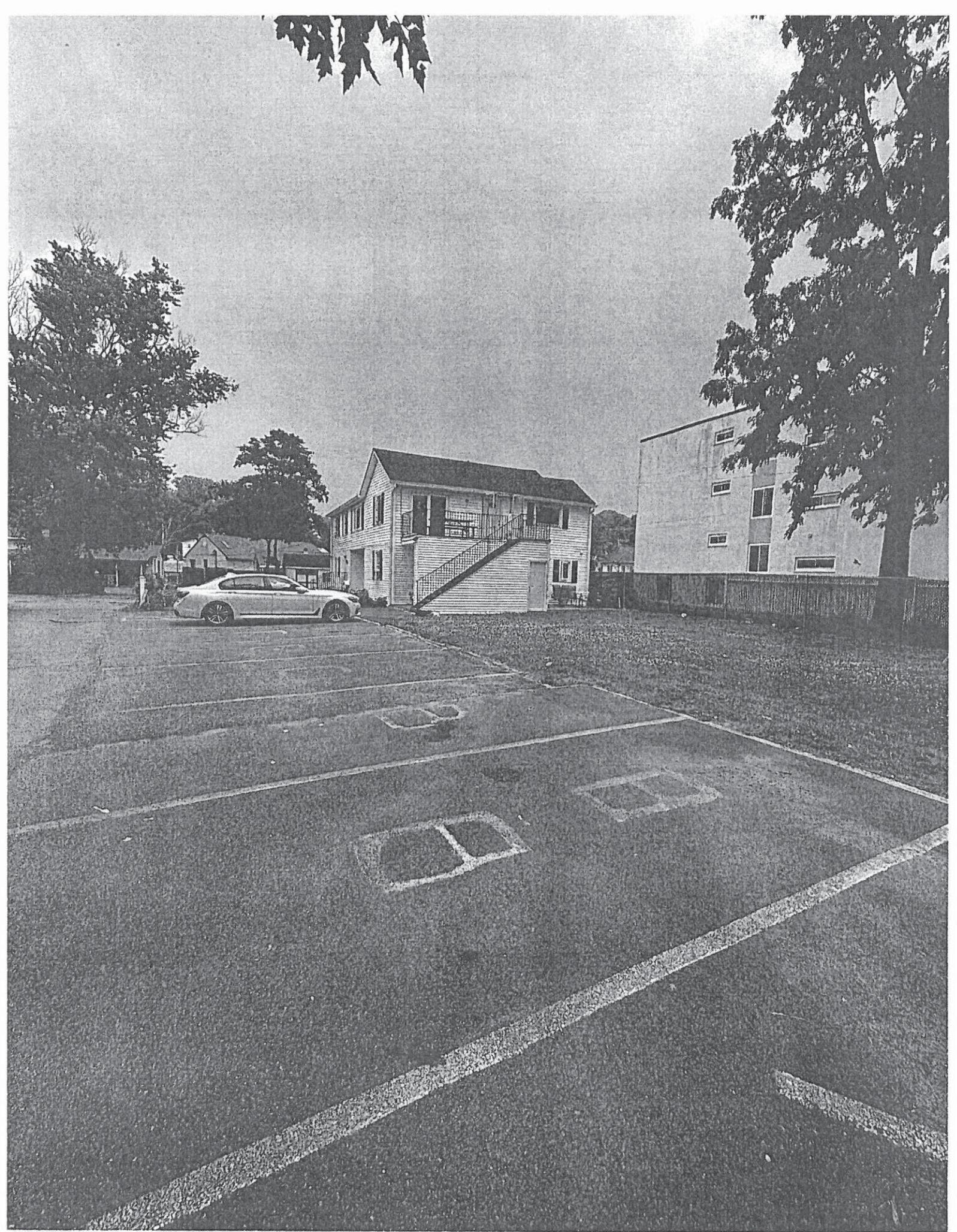


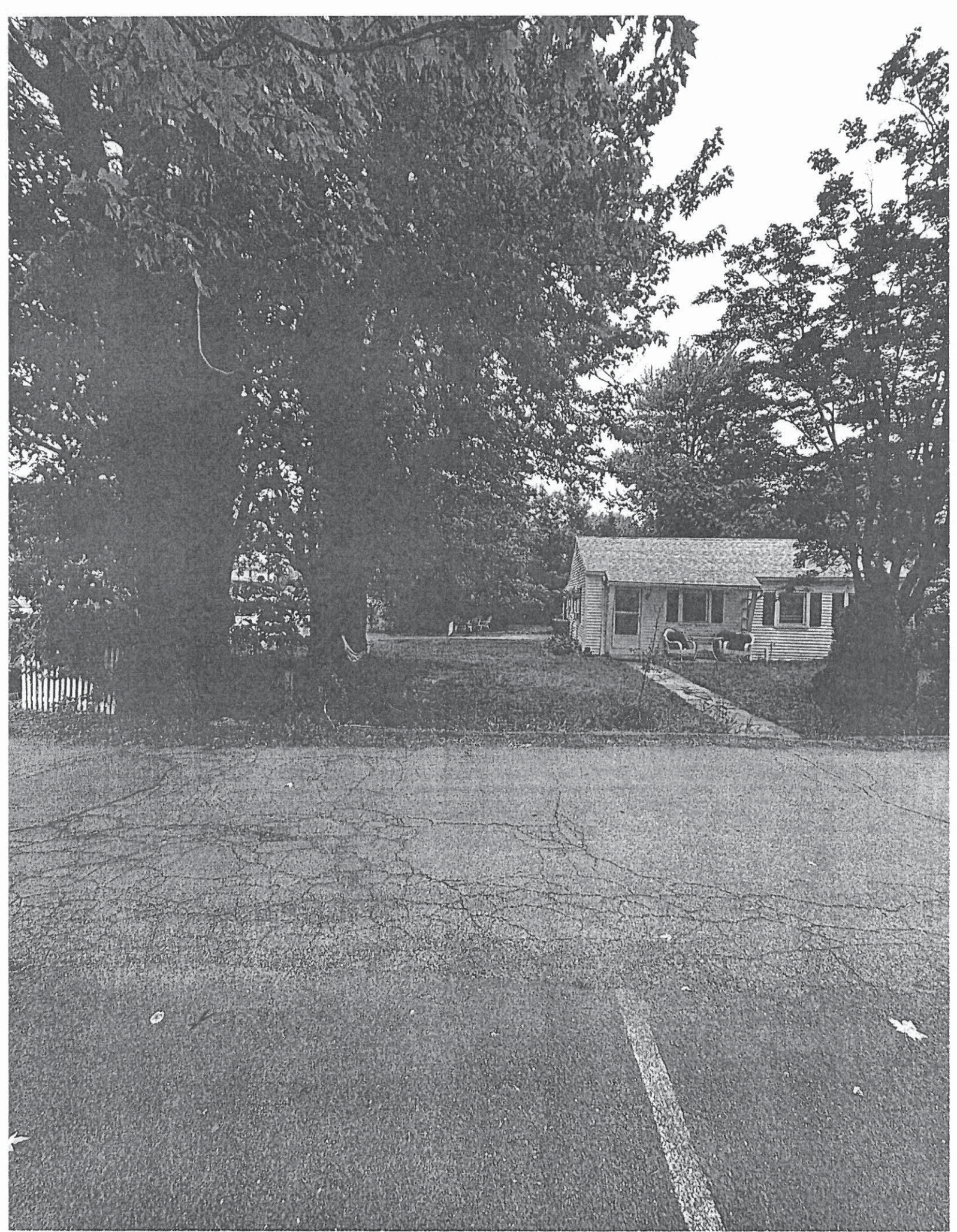


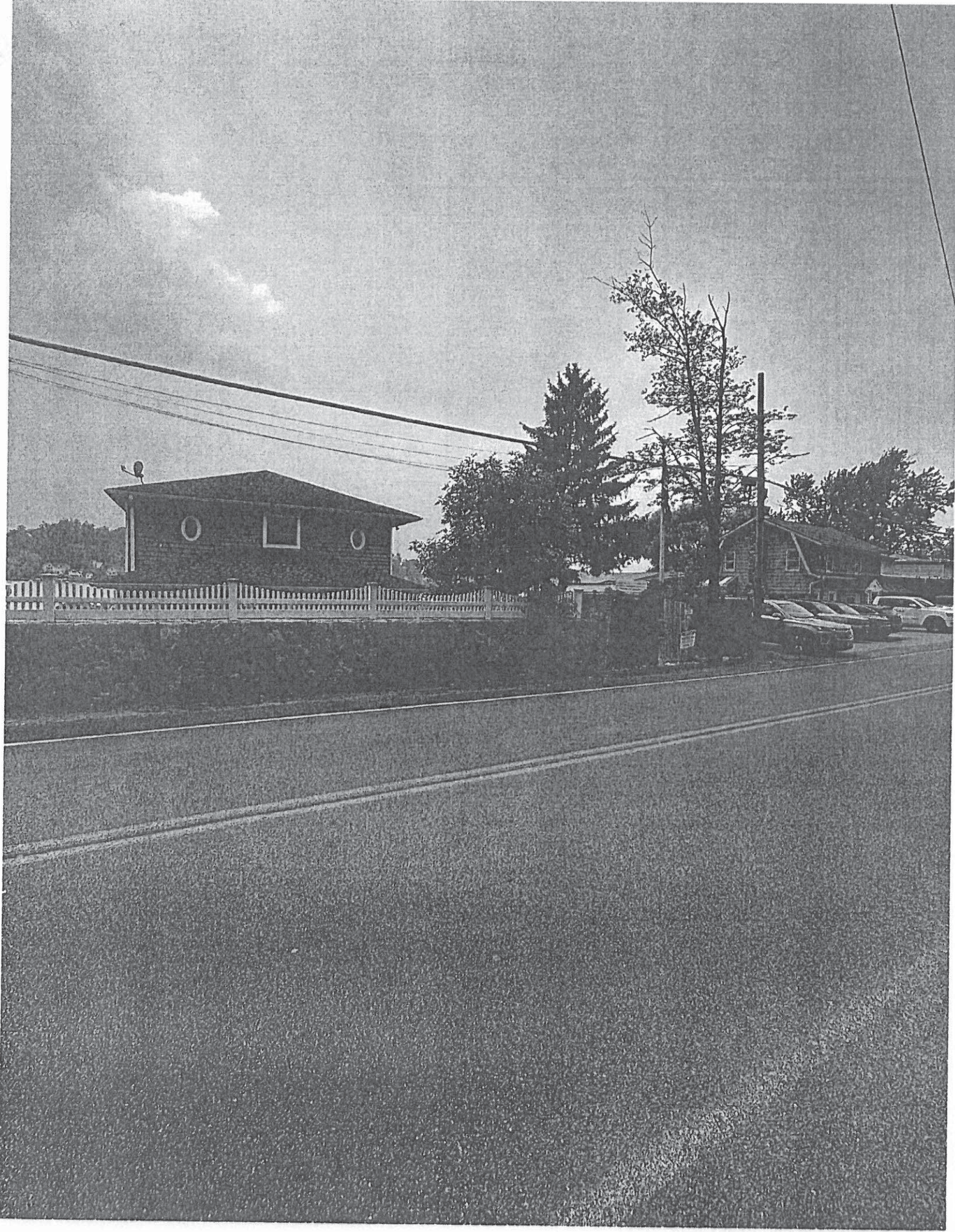












A

MC



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

IN THE MATTER OF THE APPEAL
OF

Bloomer

TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

6/6 / 2023

Application Date: ~~4/27~~, 20 ~~22~~

Application For (circle applicable): Area Variance (156.15) Use Variance Interpretation 280A
Name of Property Owner: William Bloomer + JOY BLOOMER Address: 188 East Lake Blvd Mahopac NY
Mailing Address: P.O. Box 5 Mahopac NY Phone Number(s):
Zoning District: R-120 Tax Map: 76.22 - 1 - 12

Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]

E-Mail Address: _____

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
	<u>No previous appearances</u>	<u>Done</u>

List all improvements (1 family dwelling, pool, etc.) 3 Stools, Pergola, + Dock

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: Survey + Photos

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO
Explain: Yes East Lake Blvd + Lake Mahopac

I, the applicant, am seeking permission to: Retain 3 Stools + Pergola

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
<u>10'</u>	<u>2.7'</u>	<u>7.3'</u>
<u>10' Pergola</u>	<u>31'</u>	<u>6.9'</u>

State of New York)
 ss:
County of Putnam)
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this 6 day of June 2023

Alice Daly
Notary Public

ALICE DALY
Notary Public, State of New York
No. 01DA6345218
Qualified in Putnam County
Commission Expires July 25, 2024

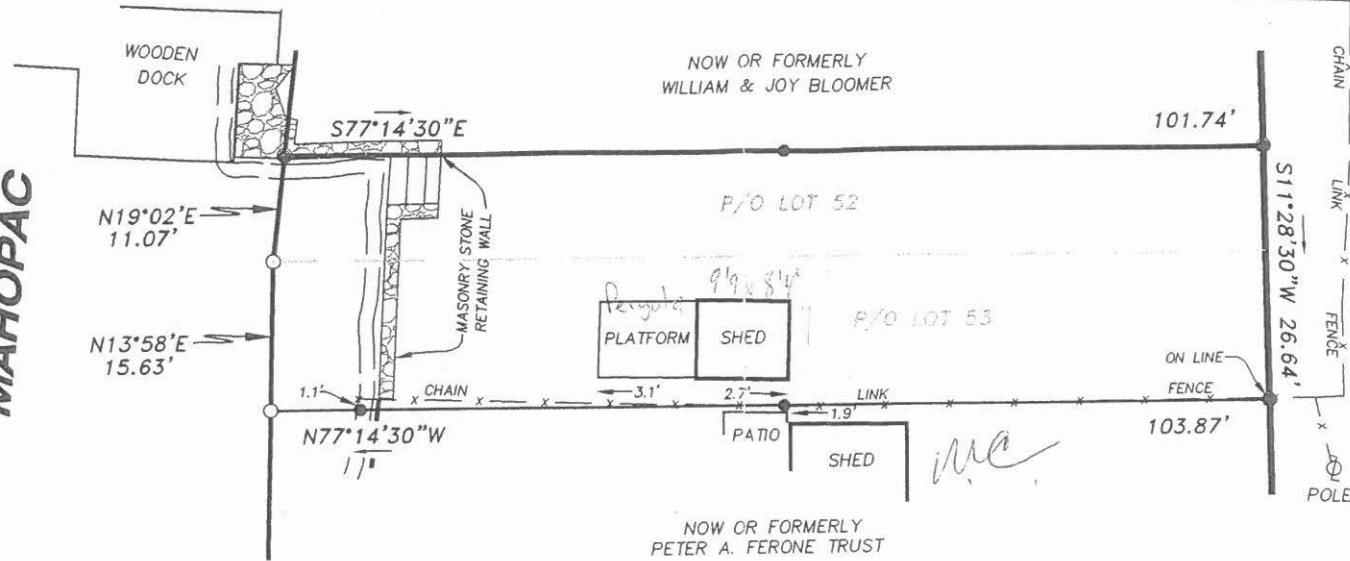
Petitioner [Signature] Date 6/6/23

TITLE No. MAC-99376
 CERTIFIED TO: WILLIAM J. BLOOMER
 FIDELITY NATIONAL TITLE INSURANCE COMPANY
 MAJOR ABSTRACT CORP.

IN ACCORDANCE WITH THE EXISTING CODE
 OF PRACTICE FOR LAND SURVEYS
 ADOPTED BY THE NEW YORK STATE
 ASSOCIATION OF PROFESSIONAL LAND
 SURVEYORS.

COPYRIGHT © 2013
 DeROSA LAND SURVEYING PLLC,
 ALL RIGHTS RESERVED, UNAUTHORIZED
 DUPLICATION IS A VIOLATION OF
 APPLICABLE LAWS

LAKE
 MAHOPAC



● - DENOTES MARKER SET

IF UNDERGROUND IMPROVEMENTS, EASEMENTS, OR ENCROACHMENTS EXIST AND ARE NEITHER VISIBLE DURING NORMAL FIELD SURVEY OPERATIONS NOR DESCRIBED IN INSTRUMENTS PROVIDED TO THIS SURVEYOR, THEY MAY NOT BE SHOWN ON THIS MAP AND ARE NOT CERTIFIED.

THIS PROPERTY MAY BE AFFECTED BY INSTRUMENTS WHICH HAVE NOT BEEN PROVIDED TO THIS SURVEYOR. USERS OF THIS MAP SHOULD VERIFY TITLE WITH THEIR ATTORNEY OR A QUALIFIED TITLE EXAMINER.

AREA= 2,745 SQ. FT.

PREMISES SHOWN HEREON BEING A PORTION OF LOTS 52 & 53 AS SHOWN ON A MAP ENTITLED "MAP OF LAKE MAHOPAC PARK" SAID MAP FILED IN THE PUTNAM COUNTY CLERK'S OFFICE ON FEBRUARY 19, 1916 AS MAP No. 9.

PREPARED BY:



301 FIELDS LANE
 BREWSTER, NY 10509
 PH. (845) 277-3404
 FX. (845) 277-4117
 contact@derosalandsurveying.com

Jeffrey DeRosa

JEFFREY DeROSA, PLS
 NYS LIC. No. 50749

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

ALL CERTIFICATIONS HEREON ARE VALID FOR THIS MAP AND COPIES THEREOF ONLY IF SAID MAP OR COPIES ARE MARKED WITH BOTH THE EMBOSSED SEAL AND ORIGINAL SIGNATURE IN BLUE INK OF THE SURVEYOR WHOSE SIGNATURE APPEARS HEREON.

GRAPHIC SCALE



(IN FEET)
 1 inch = 15 ft.

RECEIVED

JUN 23 2013

Anne Spofford

1032 011

0000001

1032 01111



LAKE SHORE
 DRIVE
 (ASPHALT PAVEMENT)

SURVEY OF PROPERTY
 PREPARED FOR
WILLIAM BLOOMER
 SITUATE IN THE
TOWN OF CARMEL
PUTNAM COUNTY
NEW YORK

SCALE: 1"=15' DATE: AUGUST 29, 2013

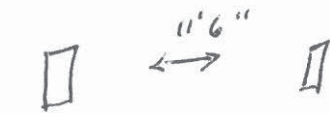
FILE No. T 721B-4
 PUTNAM\CARMEL\LAKE MAHOPAC PARK\DEROSA DOCK PARCEL

Bloomer 7/25/51

Re: 188 East Lake Blvd, Mahogac, N.Y.

Tm # 76.22-1-12

pergola 4 supporting posts 8"x8"
10' height



19'6"

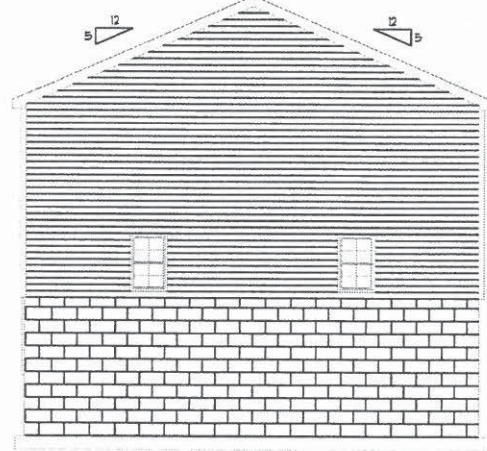
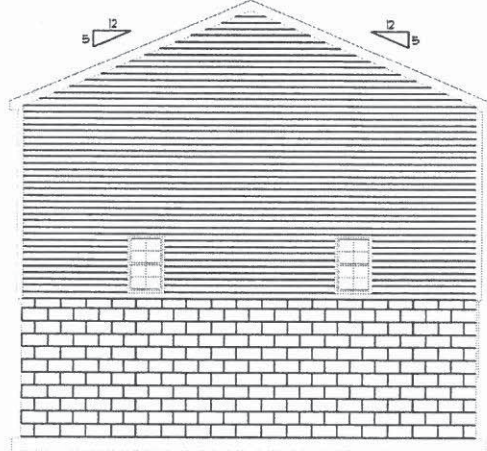
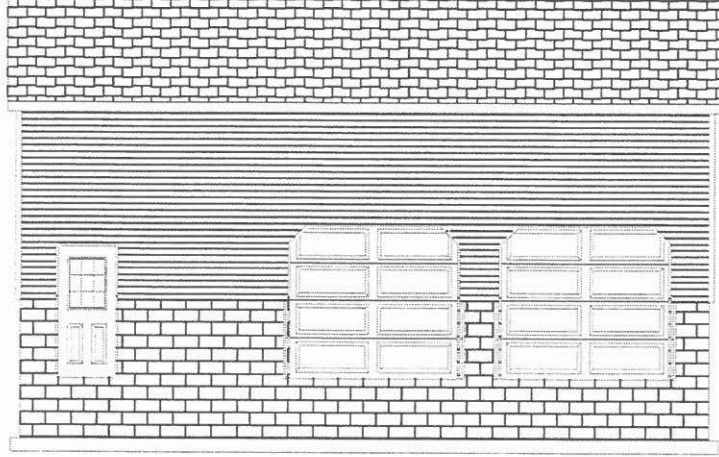
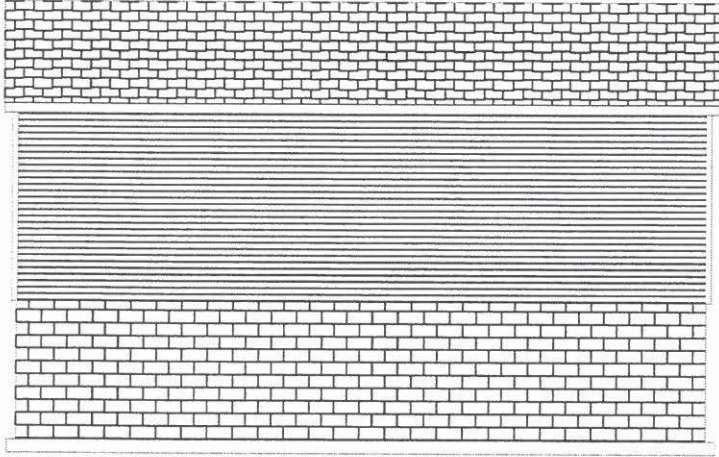


16' to lake

wood slats 1" x 3"
cross from supporting
post to supporting post

Shed Dimensions 9'9" x 8'4"





WHERE DREAMS BECOME REALITY

5075 Lower Valley Rd
Aiglen PA 19310

PHONE: 610-593-7700

Sargis Mirza

19 Brookview Dr
Carmel
New York
10512

PHONE:

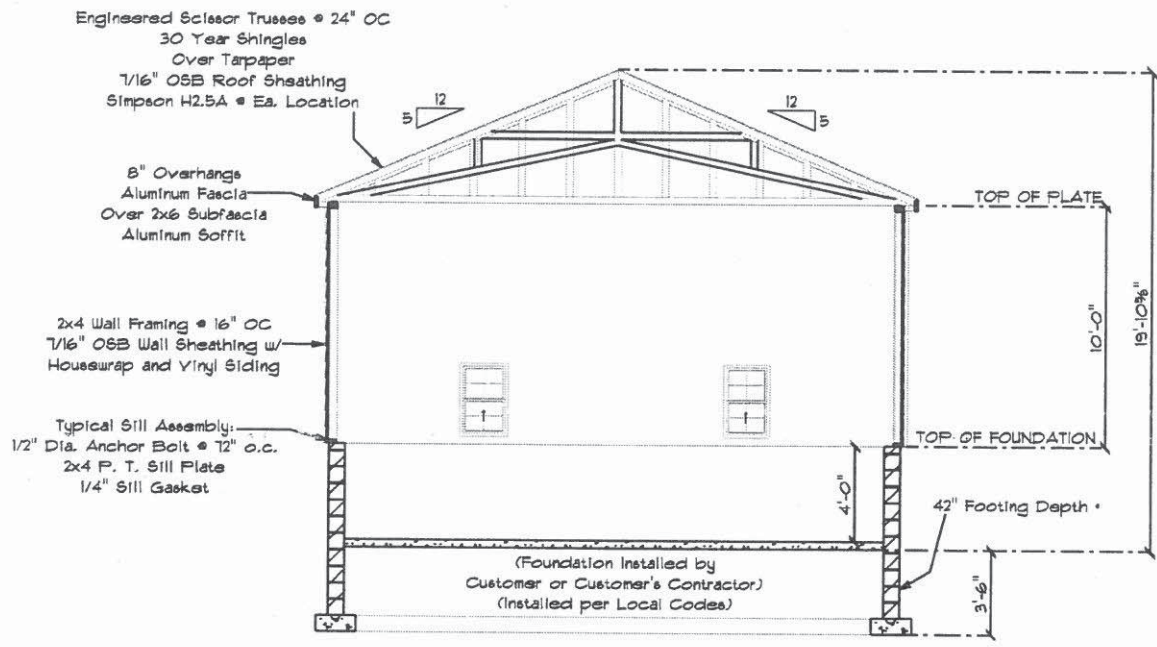
DRAWN BY: James Lapp

SCALE: 1" = 10'-0"

DATE: Friday, April 21, 2023

CONSTRUCTION NOTES:

enclosure Live Load: 30 psf
Wind Load: 115 mph
Weathering: Severe
Termites: Moderate to Heavy
Decay: Slight to Moderate
Flood Hazard: see Local Flood Map



• Footing Depth is Only An Approx. Depth
 Foundation To Be Installed per Local Codes



CROSS SECTION A

SCALE: 1/8" = 1'-0"

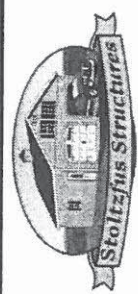
CONSTRUCTION NOTES:

Snow Live Load: 30 psf
 Wind Load: 115 mph
 Weathering: Severe
 Termites: Moderate to Heavy
 Decay: Slight to Moderate
 Flood Hazard: see Local Flood Map

Sargis Mirza

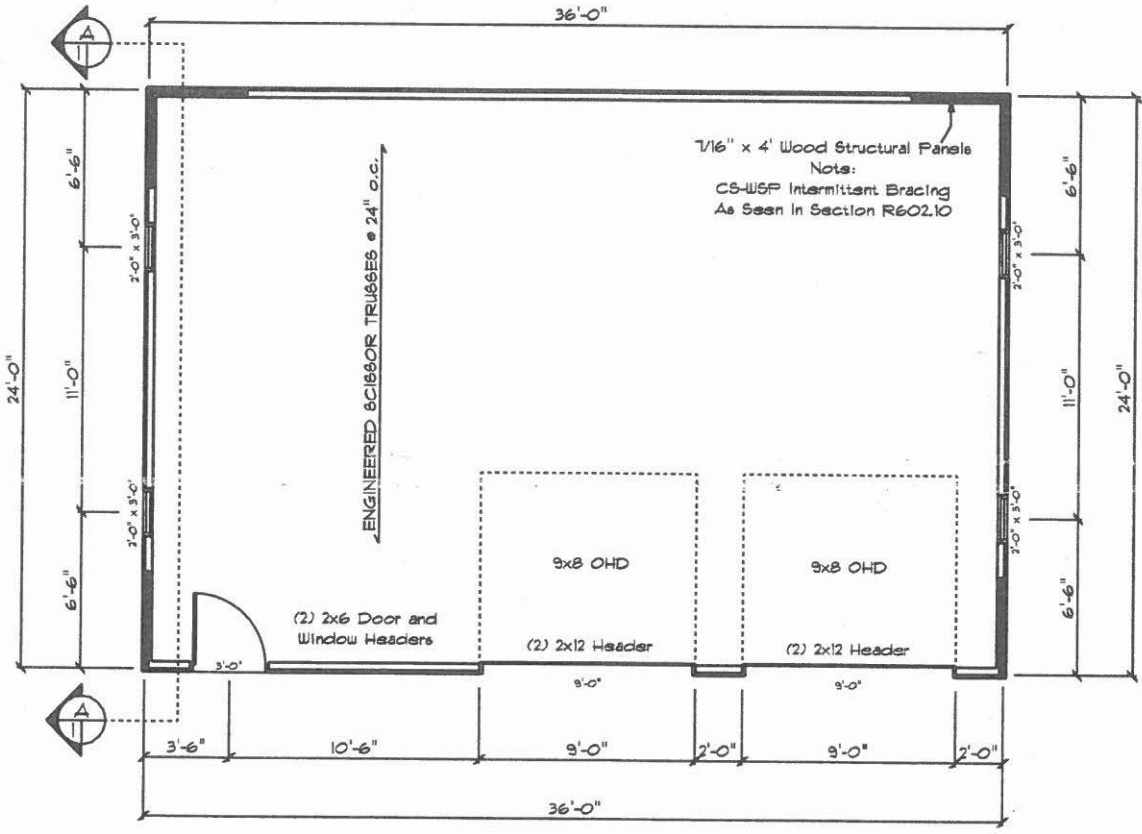
19 Brookview Dr
 Carmel
 New York
 10512

DRAWN BY: James Lapp
 SCALE: 1/8" = 1'-0"
 DATE: Friday, April 21, 2023



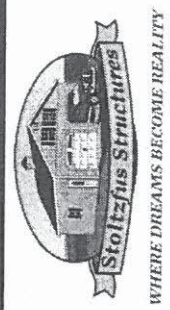
WHERE DREAMS BECOME REALITY

5075 Lower Valley Rd
 Aiglen PA 19310
 PHONE: 610-593-7700



MAIN FLOOR

SCALE: 1/8" = 1'-0"

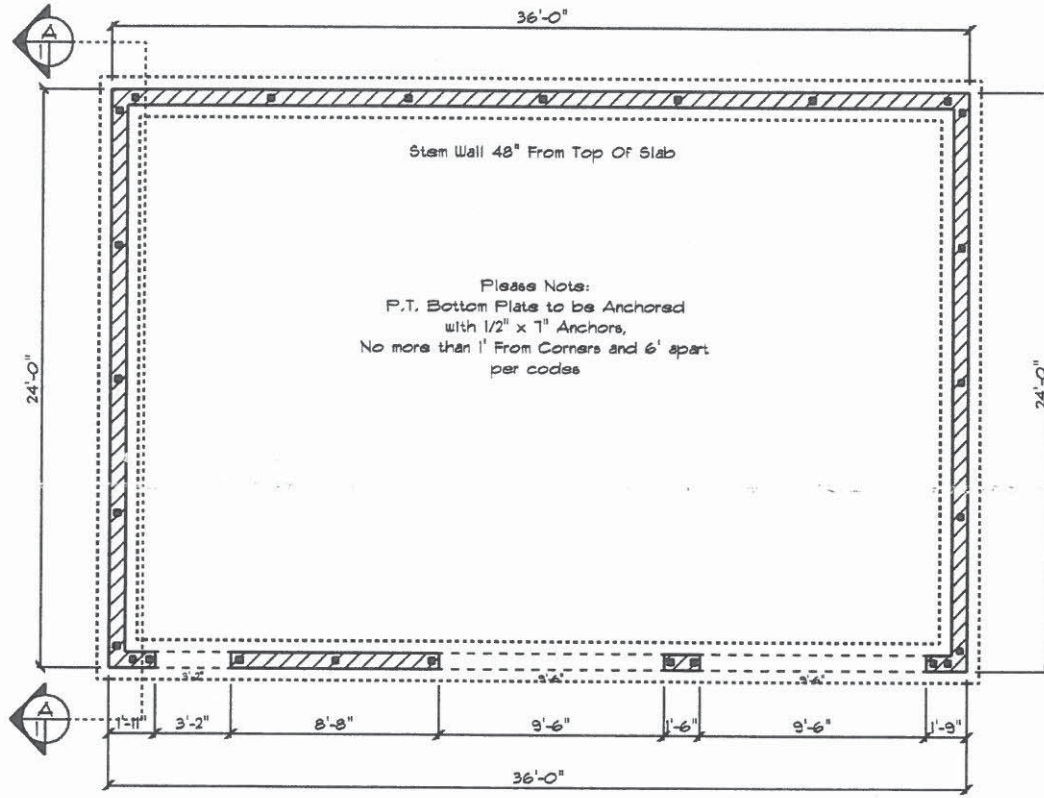


5075 Lower Valley Rd
 Atglen PA 19310
 PHONE: 610-593-7700

Sargis Mirza
 19 Brookview Dr
 Carmel
 New York
 10512
 PHONE:

DRAWN BY: James Lapp
 SCALE: 1/8" = 1'-0"
 DATE: Friday, April 21, 2023

CONSTRUCTION NOTES:
 Snow Live Load: 30 psf
 Wind Load: 115 mph
 Weathering: Severe
 Termites: Moderate to Heavy
 Decay: Slight to Moderate
 Flood Hazard: see Local Flood Map



FOUNDATION PLAN

SCALE: 1/8" = 1'-0"



5075 Lower Valley Rd
Atglen PA 19310

PHONE: 610-593-7700

Sargis Mirza

19 Brookview Dr
Carmel
New York
10512

DRAWN BY: James Lapp

SCALE: 1/8" = 1'-0"

DATE: Friday, April 21, 2023

PHONE:

CONSTRUCTION NOTES:

Snow Live Load: 30 psf
Wind Load: 115 mph
Weathering: Severe
Termites: Moderate to Heavy
Decay: Slight to Moderate
Flood Hazard: see Local Flood Map







A.

me



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

IN THE MATTER OF THE APPEAL
OF
Avila room addition
TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: July 7, 2023

Application For (circle applicable): Area Variance (150-15) Use Variance Interpretation 280A
Name of Property Owner: Dany, Doris Avila Address: 94 ENTRANCE WAY MAHOPAC NY
Mailing Address: 94 ENTRANCE WAY MAHOPAC NY Phone Number(s):
Zoning District: R Tax Map: 74.35 - 1 - 2
Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]
E-Mail Address:

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
	<u>NO previous appearances</u>	<u>(Signature)</u>

List all improvements (1 family dwelling, pool, etc.)

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: Stone wall patio, fence replaced

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO
Explain: LAKE SECOR

I, the applicant, am seeking permission to: add room where existing deck is

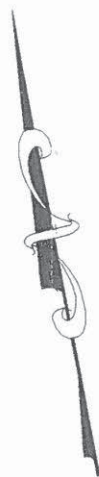
CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
<u>15' Rear</u>	<u>11.2</u>	<u>3.8'</u>

State of New York)
ss:
County of Putnam)
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

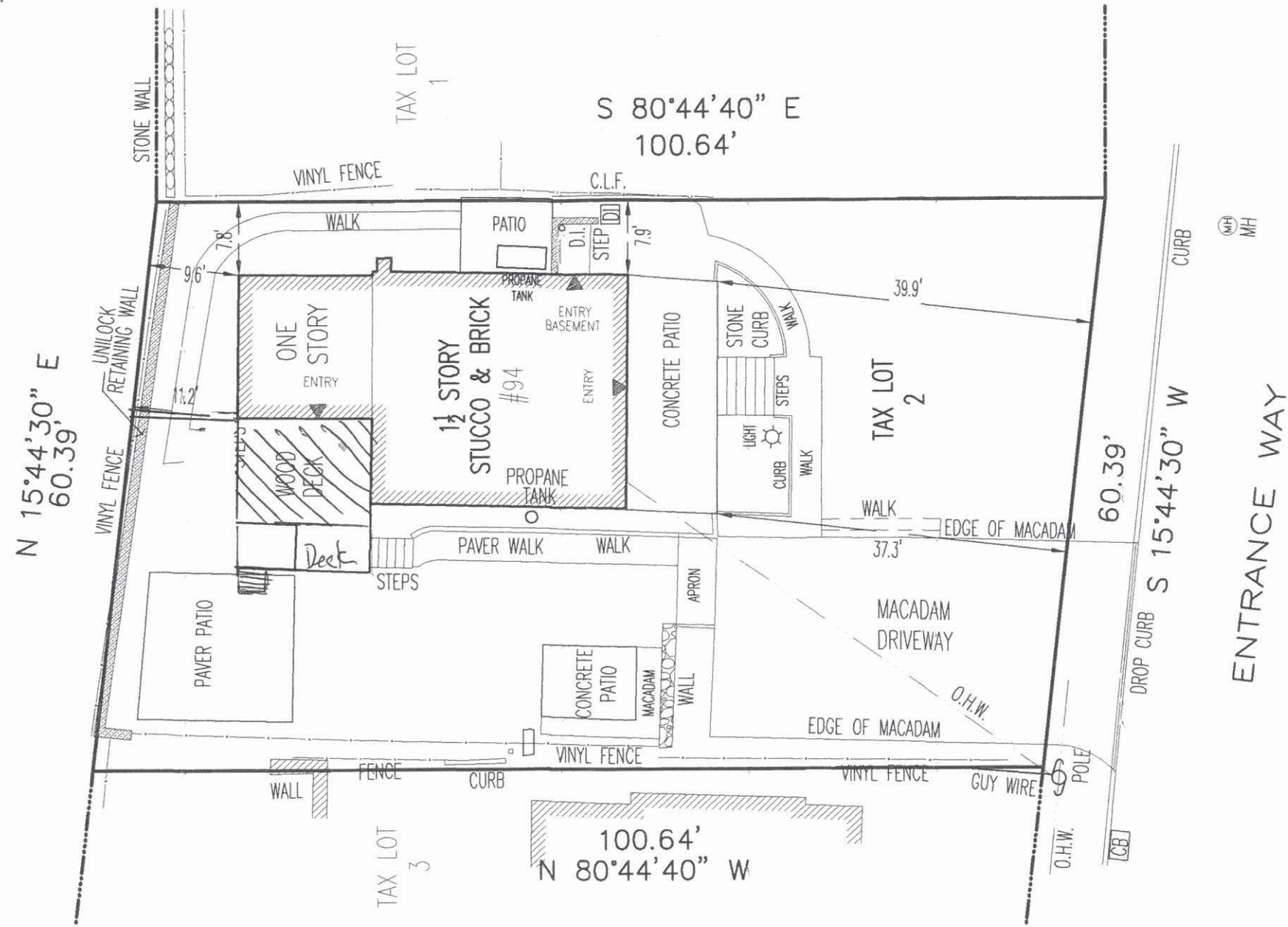
Sworn to before me this 7 day of July 20 23
Alice Daly
Notary Public

ALICE DALY
Notary Public, State of New York
No. 01DA8345218
Qualified In Putnam County
Commission Expires July 25, 2024

Petitioner (Signature) Date 7/7/2023



me



LEGENDS:
 C.L.F. CHAIN LINK FENCE
 BLDG. BUILDING
 GV GAS VALVE
 0.4'N NORTH
 DI DRAINAGE INLET
 W.I.F. WROUGHT IRON FENCE
 N/F NOW OR FORMERLY
 O.H.W. OVER HEAD WIRES

DO NOT SCALE

SCALE: 1"= 15'
 Measurement in U.S. Standard.

DATE: 03-27-2023.

JOB NUMBER
 PCFM151-B21-55.

Summit Land Surveying P.C.
 21 Drake Lane
 White Plains NY 10607
 (914) 629-7758
 Info@SLSPC.US

BELOW SURFACE ENCROACHMENTS ARE NOT SHOWN. THE EXISTENCE OF RIGHT OF WAYS AND/OR EASEMENTS OF RECORD, IF ANY, NOT SHOWN HEREON, ARE NOT CERTIFIED.

A TITLE REPORT OF THE SUBJECT PROPERTY WAS NOT PROVIDED, A DEED OF THE SUBJECT PROPERTY WAS PROVIDED.

UNAUTHORIZED ALTERATION OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYORS SEAL IS VIOLATION OF 7209, SUB-DIVISION 2, OF NEW YORK STATE EDUCATION LAW. COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYORS INKED SEAL OR EMBOSSED SEAL NOT BE CONSIDERED TO BE A TRUE AND VALID COPY.

Certifications indicated are limited only to the person for whom this survey was prepared and on his or her behalf to the title company, governmental agency and lending institution for the title number listed hereon. The certifications are not transferable.

NOT FOR TITLE TRANSFER.

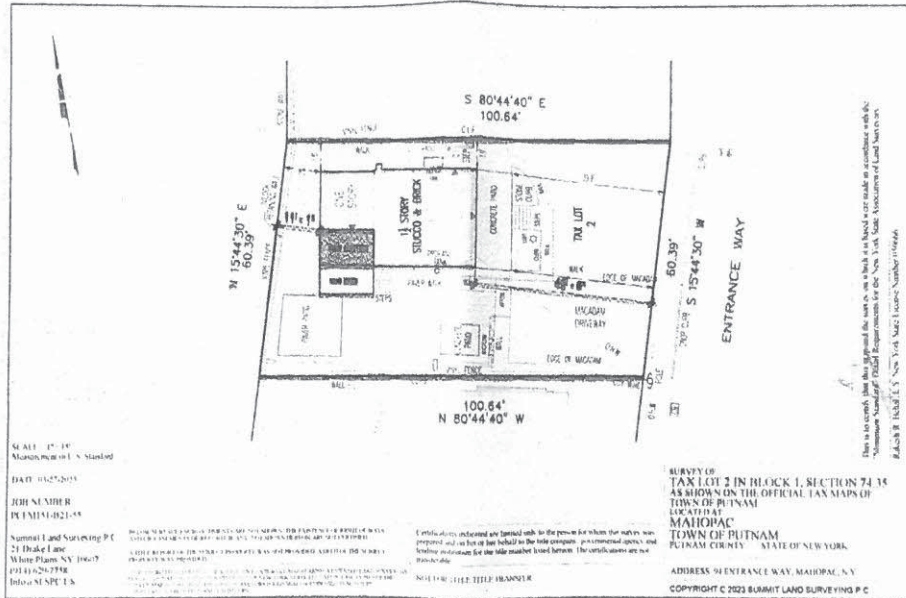
SURVEY OF
TAX LOT 2 IN BLOCK 1, SECTION 74.35
AS SHOWN ON THE OFFICIAL TAX MAPS OF
TOWN OF PUTNAM
 LOCATED AT
MAHOPAC
TOWN OF PUTNAM
 PUTNAM COUNTY STATE OF NEW YORK.

ADDRESS: 94 ENTRANCE WAY, MAHOPAC, N.Y.

COPYRIGHT ©2023 SUMMIT LAND SURVEYING P.C.

This is to certify that this map and the survey on which it is based were made in accordance with the "Minimum Standard" Detail Requirements for the New York State Association of Land Surveyors.

Rakesh R. Behal, L.S. New York State License Number 050666.



SCALE: 1" = 10'
 ALL DIMENSIONS IN U.S. STANDARD
 DATE: 05/25/2023
 JOB NUMBER:
 PLM151-021-55
 Summit Land Surveying P.C.
 21 Drake Lane
 White Plains, NY 10607
 (914) 626-7798
 info@summitls.com

SURVEY OF
 TAX LOT 2 IN BLOCK 1, SECTION 74.35
 AS SHOWN ON THE OFFICIAL TAX MAPS OF
 TOWN OF PUTNAM
 LOCATED AT
 MAHOPAC
 TOWN OF PUTNAM
 PUTNAM COUNTY - STATE OF NEW YORK
 ADDRESS: 94 ENTRANCE WAY, MAHOPAC, NY
 COPYRIGHT © 2023 SUMMIT LAND SURVEYING P.C.

This is a certified true and correct copy of the same as on file in the office of the County Clerk of Putnam County, New York, State of New York, and is subject to the provisions of the New York State Real Property Law, Section 209(1)(b).
 R.A.S.B. 18348 U.S. New York, Map 1 Survey, Number 116466

1 SITE PLAN
 SCALE: 1" = 10'

REFERENCED CODE:
 2020 EOCNNYS
 2020 BUILDING CODE - NEW YORK STATE

ZONING CODE:
 TOWN OF CARMEL ZONING LAW

ZONING DISTRICT:
 R1 - RESIDENTIAL

CONSTRUCTION TYPE:
 TYPE V

CLIMATE AND GEOGRAPHIC DESIGN CRITERIA
 CLIMATE ZONE: 5
 GROUND SNOW LOAD: 40 PSF
 WIND SPEED (MPH): 115 MPH
 SEISMIC DESIGN CATEGORY: B
 FROST LINE DEPTH: 48"
 FLOOD HAZARDS: NONE

Area Schedule		
Area	Level	Area
591 SF	FIRST FLOOR	Area
122 SF	SECOND FLOOR	Area
1915 SF		

ZONING CONFORMANCE

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, ALL WORK UNDER THIS APPLICATION IS IN COMPLIANCE WITH THE EOCNNYS

PROPERTY ADDRESS: 94 Entrance Way Mahopac NY 10541
 RANGE (R-1) (R-1)
 ZONING DISTRICT (R1) - RESIDENTIAL

	REQUIRED	ACTUAL	COMPLYING	REQUESTED VARIANCES
LOT AREA	125.00 SQ. FT.	6,899.4 SQ. FT.	NO	EXISTING
LOT WIDTH	200 FEET	60.98 FEET	NO	EXISTING
LOT DEPTH	200 FEET	100.84 FEET	NO	EXISTING
YARD SETBACKS				
FRONT	25 FEET	48.8 FEET	YES	
REAR	10 FEET	7.8 FEET	NO	EXISTING
SIDE	10 FEET	6.8 FEET	NO	EXISTING
HEIGHT	35 FEET	31.8 FEET	YES	
MAX. COVERAGE	10%	14.6%	YES	

PROJECT:
94 Entrance Way
 94 Entrance Way Mahopac NY 10541

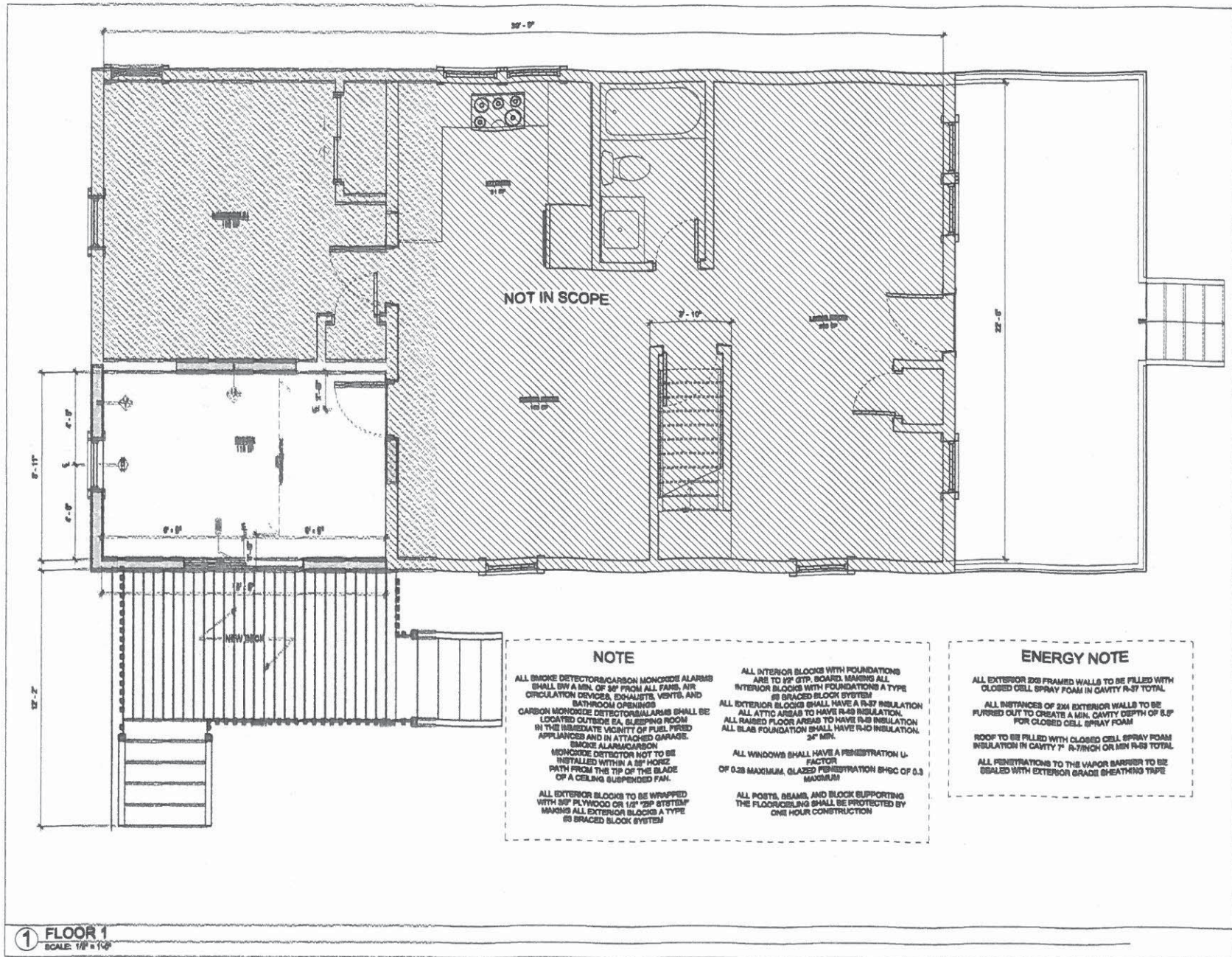
CONSULTANTS:

SCALE:

ISSUED FOR: CONSTRUCTION DOCUMENTS
 ISSUE DATE: 07/10/2023
 V. DESK DATE:

DWG TITLE:
 SITE PLAN
 DWG NO:
SITE-101

SCALE: As Indicated PAGE: 1 OF 1
 DATE: 05/25/23 NO: 1000
 FILE: 1000-101-101.dwg
 PLOT: 1000-101-101.dwg



1 FLOOR 1
SCALE: 1/8" = 1'-0"

NOTE

ALL SMOKE DETECTORS/CARBON MONOXIDE ALARMS SHALL BE A MIN. OF 30' FROM ALL FANS, AIR CIRCULATION DEVICES, EXHAUSTS, VENTS, AND BATHROOM OPENINGS.
 CARBON MONOXIDE DETECTOR/ALARMS SHALL BE LOCATED OUTSIDE EA. SLEEPING ROOM IN THE IMMEDIATE VICINITY OF FUEL BURNING APPLIANCES AND IN ATTACHED GARAGE.
 SMOKE ALARMS/CARBON MONOXIDE DETECTOR NOT TO BE INSTALLED WITHIN A 30' HORSE PATH FROM THE TIP OF THE BLADE OF A CEILING SUSPENDED FAN.
 ALL EXTERIOR BLOCKS TO BE WRAPPED WITH 5/8" PLYWOOD OR 1/2" CSP SYSTEM MAKING ALL EXTERIOR BLOCKS A TYPE IS BRACED BLOCK SYSTEM.

ALL INTERIOR BLOCKS WITH FOUNDATIONS ARE TO 2" (G.P. BOARD) MAKING ALL INTERIOR BLOCKS WITH FOUNDATIONS A TYPE IS BRACED BLOCK SYSTEM.
 ALL EXTERIOR BLOCKS SHALL HAVE R-7.5 INSULATION.
 ALL ATTIC AREAS TO HAVE R-48 INSULATION.
 ALL RAISED FLOOR AREAS TO HAVE R-10 INSULATION.
 ALL SLAB FOUNDATION SHALL HAVE R-10 INSULATION.
 3" MIN.
 ALL WINDOWS SHALL HAVE A PENETRATION U-FACTOR OF 0.28 MAXIMUM. GLAZED PENETRATION SHGC OF 0.3 MAXIMUM.

ALL POSTS, BEAMS, AND BLOCK SUPPORTING THE FLOOR/CEILING SHALL BE PROTECTED BY ONE HOUR CONSTRUCTION.

ENERGY NOTE

ALL EXTERIOR EXposed FRAMED WALLS TO BE FILLED WITH CLOSED CELL SPRAY FOAM IN CAVITY R-7 TOTAL.
 ALL INSTANCES OF 2X4 EXTERIOR WALLS TO BE FURRED OUT TO CREATE A MIN. CAVITY DEPTH OF 8.1" FOR CLOSED CELL SPRAY FOAM.
 ROOF TO BE FILLED WITH CLOSED CELL SPRAY FOAM INSULATION IN CAVITY 7" R-7/8" OR MIN R-63 TOTAL.
 ALL PENETRATIONS TO THE VAPOR BARRIER TO BE SEALED WITH EXTERIOR GRADE SHEATHING TAPE.

PROJECT:

94 Entrance Way

94 Entrance Way Mahopac NY 10541

CONSULTANTS:

SEAL:

ISSUED FOR SUBSTITUTION DOCUMENTS

ISSUE DATE: 07/10/2023

V. DES. DATE:

DWG TITLE:

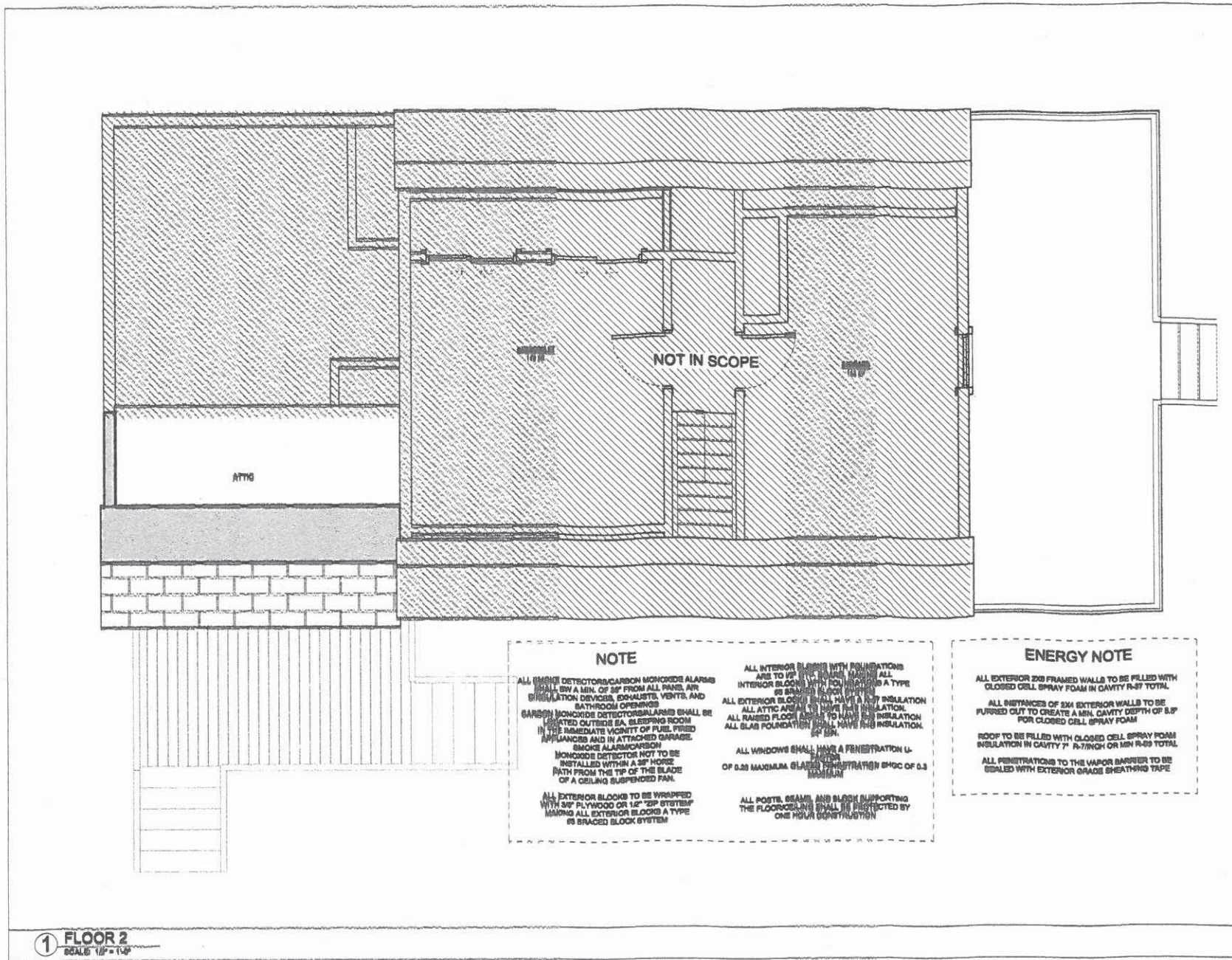
FIRST FLOOR

DWG NO.:

00.02

SCALE: 1/8" = 1'-0" PAGE NO. 1602 PLAN NO. 00.02

DATE: 07/10/2023



PROJECT:

94 Entrance Way

94 Entrance Way Mahopac NY 10541

CONSULTANTS:

SEAL:

NOTE

ALL RANGE DETECTORS CARBON MONOXIDE ALARMS SHALL BE LOCATED AT LEAST 10 FT FROM ALL PANS, AIR EXHAUSTION DEVICES, EXHAUSTS, VENTS, AND BATHROOM OPENINGS. CARBON MONOXIDE DETECTOR/ALARMS SHALL BE LOCATED OUTSIDE OR IN THE IMMEDIATE VICINITY OF FUEL FIRED APPLIANCES AND IN ATTACHED GARAGE. MONOXIDE DETECTOR NOT TO BE INSTALLED WITHIN A 5' RADIUS FROM THE TIP OF THE BLADE OF A CEILING SUSPENDED FAN.

ALL EXTERIOR BLOCKS TO BE WRAPPED WITH 3/8" PLYWOOD OR 1/2" ZIP SYSTEM MAKING ALL EXTERIOR BLOCKS A TYPE IS BRACED BLOCK SYSTEM.

ALL INTERIOR BLOCKS WITH FOUNDATIONS ARE TO 1/2" MIN. INSULATION. ALL INTERIOR BLOCKS WITH FOUNDATIONS A TYPE IS BRACED BLOCK SYSTEM.

ALL EXTERIOR BLOCKS SHALL HAVE 1" R-19 INSULATION. ALL ATTIC AREAS TO HAVE R-30 INSULATION. ALL RAISED FLOOR AREAS TO HAVE R-10 INSULATION. ALL SLAB FOUNDATIONS SHALL HAVE R-10 INSULATION.

ALL WINDOWS SHALL HAVE A PENETRATION U-FACTOR OF 0.28 MAXIMUM GLASS PENETRATION SHGC OF 0.3 MAXIMUM.

ALL POSTS, BEAMS, AND BLOCK SUPPORTING THE FLOORING SHALL BE PROTECTED BY ONE HOUR CONSTRUCTION.

ENERGY NOTE

ALL EXTERIOR 2X8 FRAMED WALLS TO BE FILLED WITH CLOSED CELL SPRAY FOAM IN CAVITY R-37 TOTAL.

ALL DISTANCES OF 2X4 EXTERIOR WALLS TO BE FURRED CUT TO CREATE A MIN. CAVITY DEPTH OF 8.5" FOR CLOSED CELL SPRAY FOAM.

ROOF TO BE FILLED WITH CLOSED CELL SPRAY FOAM INSULATION IN CAVITY 7" R-7/INCH OR MIN R-39 TOTAL.

ALL PENETRATIONS TO THE VAPOR BARRIER TO BE SEALED WITH EXTERIOR GRADE SHEATHING TAPE.

1 FLOOR 2
SCALE: 1/8" = 1'-0"

ISSUED FOR CONSTRUCTION DOCUMENTS

ISSUE DATE: 07/10/2025

DATE: _____

DATE: _____

DATE: _____

DATE: _____

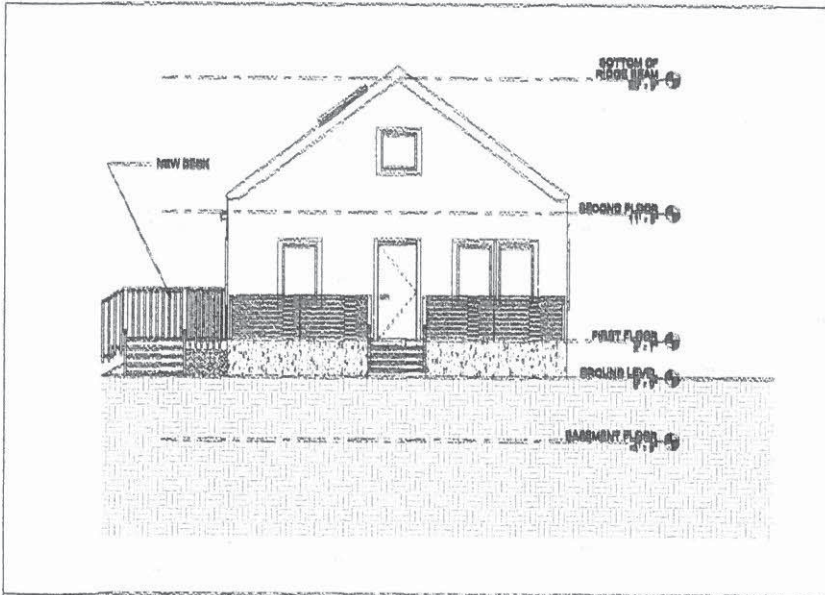
DWG TITLE: SECOND FLOOR

DWG NO: 00.03

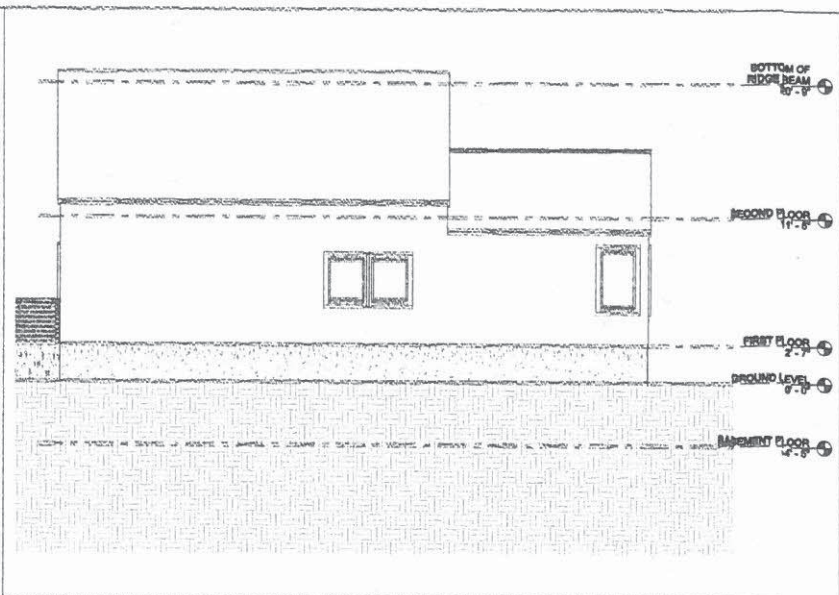
SCALE: 1/8" = 1'-0" PAGE: 100

DATE: 07/10/2025

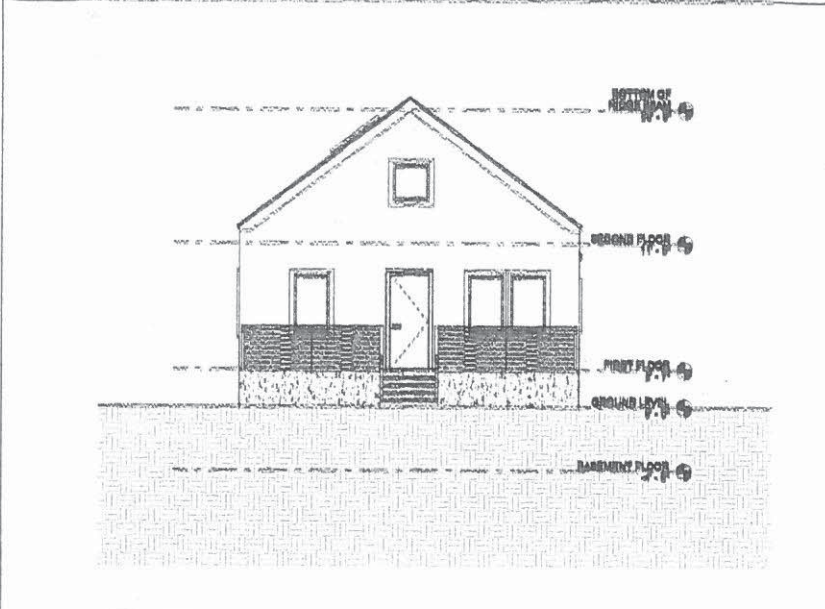
PROJECT: 94 Entrance Way Mahopac NY 10541



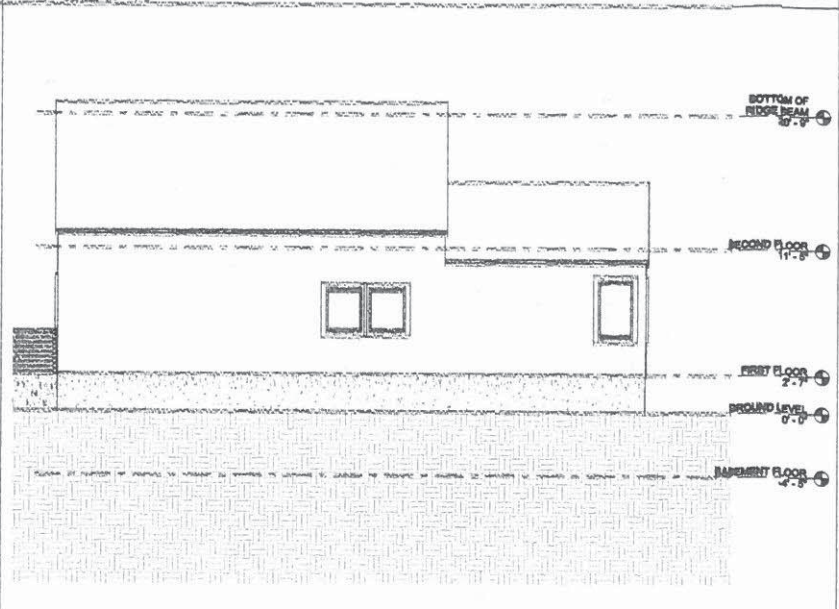
1 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3 EXISTING EAST ELEVATION
SCALE: 1/4" = 1'-0"



4 EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"

PROJECT: _____

94 Entrance Way

94 Entrance Way Mahopac
NY 10541

CONSULTANTS: _____

SEAL: _____

ISSUED FOR CONSTRUCTION DOCUMENTS

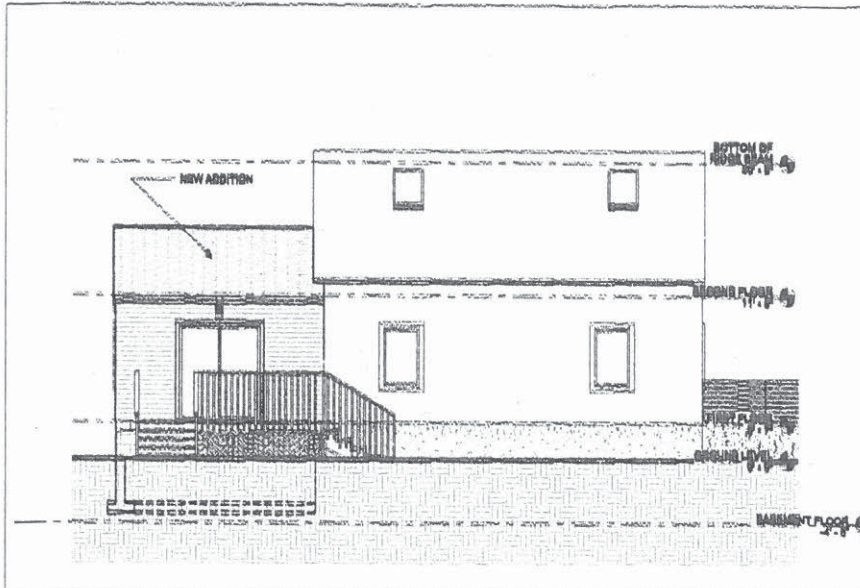
ISSUE DATE: 07/10/2023
V. DES. DATE: _____

DWG TITLE: _____

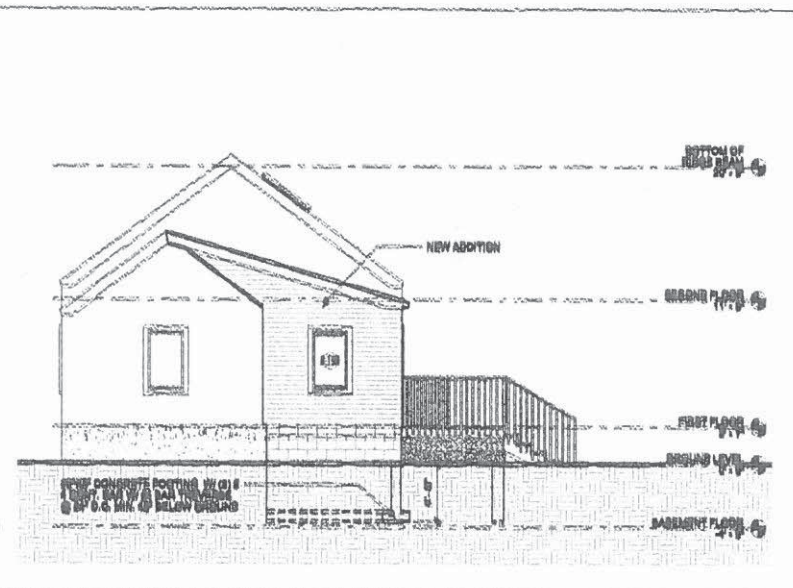
DWG NO: _____

100.01

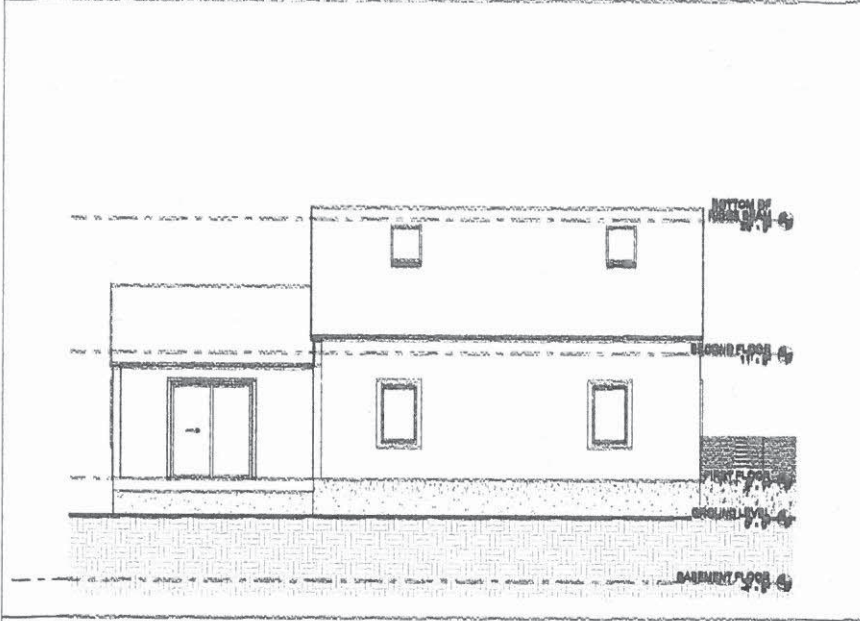
SCALE: 1/4" = 1'-0" PAGE: _____
 DESIGNED BY: _____ INC. NO.: _____
 DATE: _____
 DRAWN BY: _____



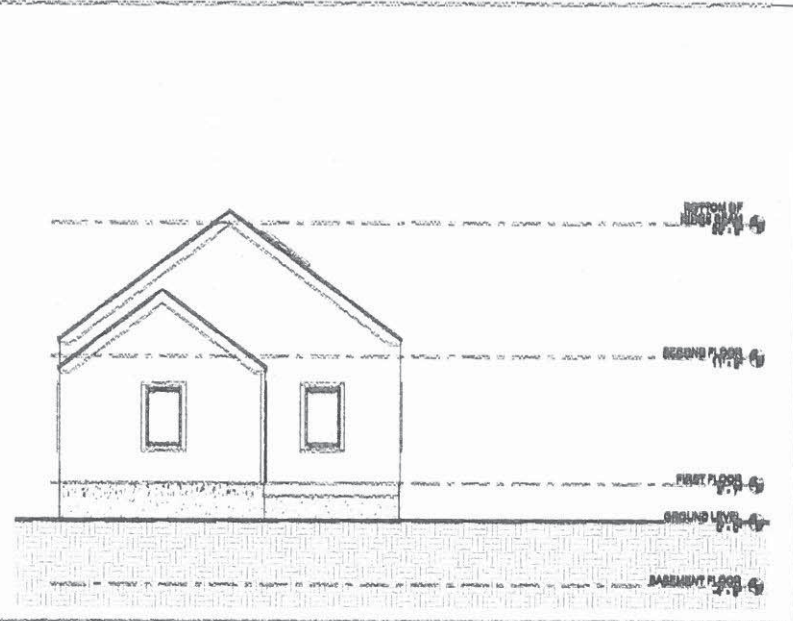
1 PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"



3 EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



4 EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"

PROJECT:

94 Entrance Way

94 Entrance Way Mahopac NY 10541

CONSULTANTS:

SEAL:

ISSUED FOR CONSTRUCTION DOCUMENTS

ISSUE DATE: 07/10/2023
V. DES. DATE

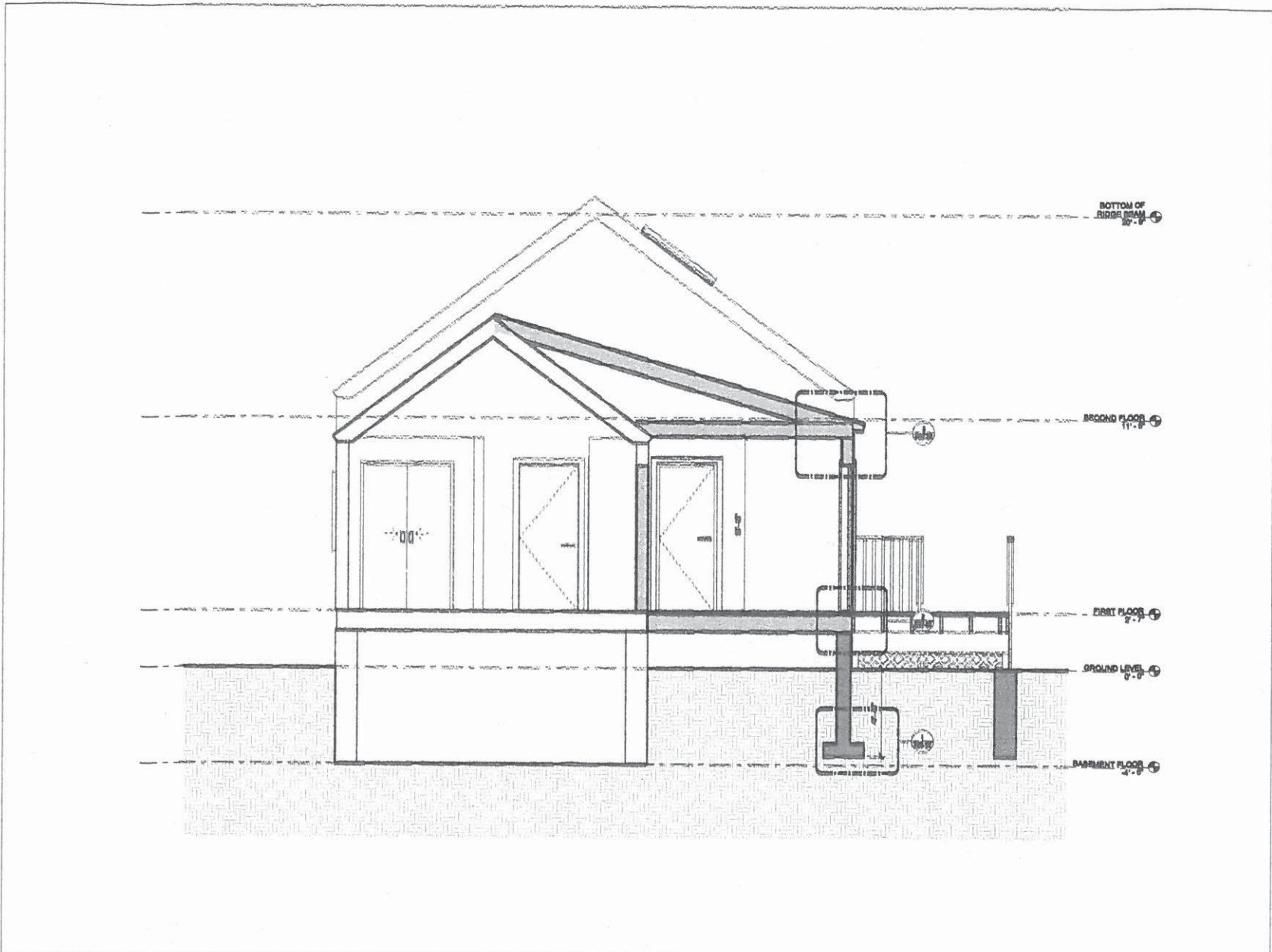
DWG TITLE:

ELEVATIONS S & W

DWG NO:

100.02

SCALE: 1/4" = 1'-0" PAGE NO: 10000 10/01
DATE: 07/10/2023



1 HOUSE SECTION
SCALE: 1/2" = 1'-0"

PROJECT: _____

94 Entrance Way

94 Entrance Way Mahopac
NY 10541

CONSULTANTS: _____

SEAL: _____

ISSUED FOR CONSTRUCTION DOCUMENTS

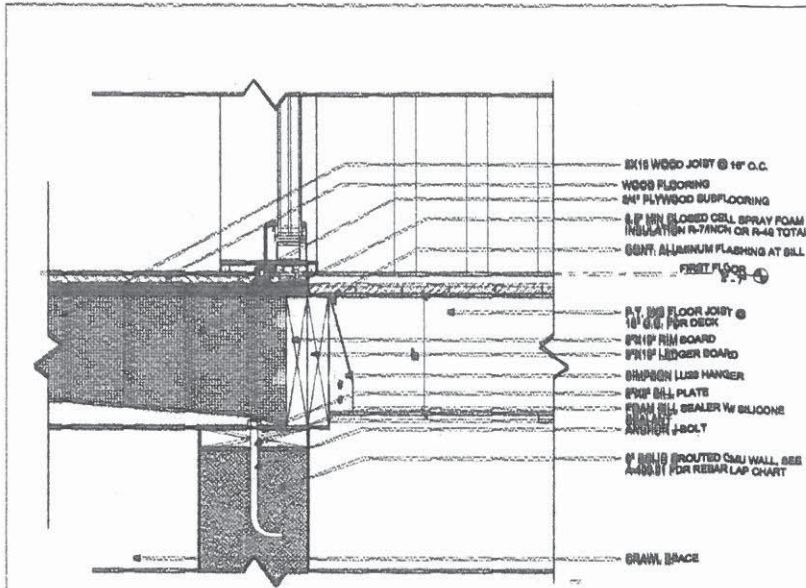
ISSUE DATE: 07/10/2023
V. DES. DATE: _____

DWG TITLE: _____

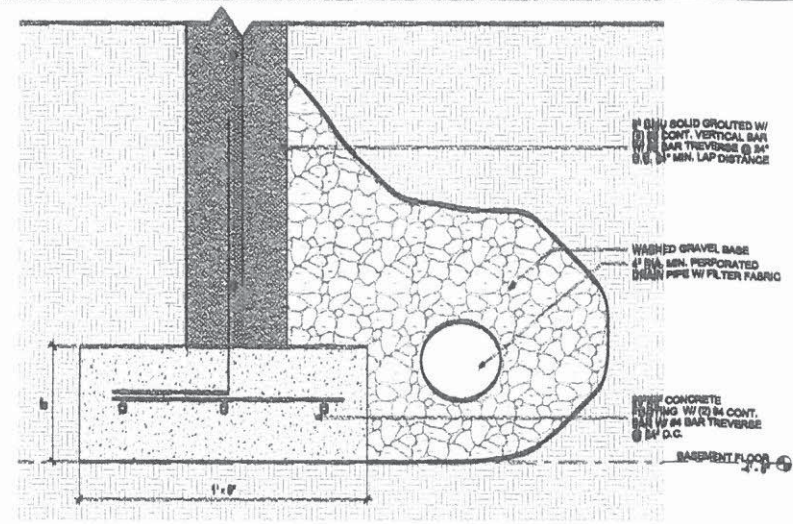
DWG NO: _____

200.01

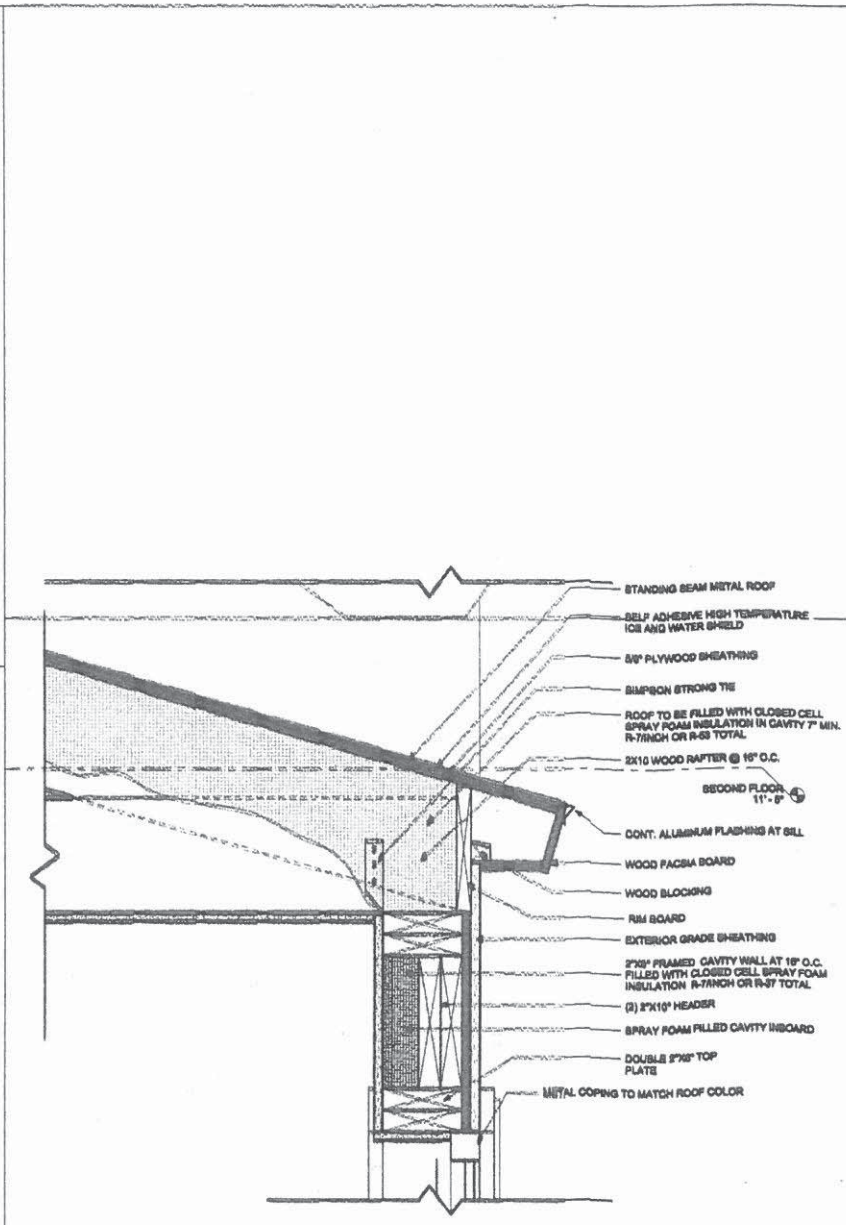
SCALE: 1/2" = 1'-0" PAGE NO: _____
NO. 1500 PLOT NO: _____
NO. _____ NO. _____
NO. _____ NO. _____



2 HOUSE SECTION - Callout 2
SCALE: 3/4" = 1'-0"



1 HOUSE SECTION - Callout 1
SCALE: 3/4" = 1'-0"



3 HOUSE SECTION - Callout 3
SCALE: 3/4" = 1'-0"

PROJECT:

94 Entrance Way

94 Entrance Way Mahopac NY 10541

CONSULTANTS:

SEAL:

ISSUED FOR CONSTRUCTION DOCUMENTS

ISSUE DATE: 07/10/2023
V. DES. DATE:

DWG TITLE:

DWG NO: 200.02

SCALE: 3/4" = 1'-0" PAGE NO:
© 2023 The McGraw-Hill Companies, Inc. All rights reserved. Printed in the USA. 12/2022

Generated by REScheck-Web Software
Compliance Certificate

Project: 94 ENTRANCE WAY
 Entry Code: 0000
 Location: Mahopac, NY 10541
 Construction Type: Single-Family
 Project Type: Single-Family
 Change Date: 06/15/2023
 Project Status: In Progress

Construction Date: 06/15/2023
 Designer/Author: [Redacted]
 Designer/Contributor: [Redacted]

Compliance: 2 BR Single-Family Home
 Maximum Area: 90
 Maximum Height: 6.50
 Maximum Wind Speed: 100
 Maximum Snow Load: 0.50
 Maximum Seismic Zone: 2

Envelope Assemblies

Assembly	Area	U-Value	R-Value	Area * U-Value	Area * R-Value
1.1.1.1 - 2x4 SHOWN EXTERIOR WALL - Uninsulated Cavity	108	0.18	5.56	19.44	590.88
1.1.1.2 - 2x4 SHOWN EXTERIOR WALL - Insulated Cavity	78	0.09	11.11	7.02	866.58
1.1.1.3 - 2x4 SHOWN EXTERIOR WALL - Insulated Cavity - 1"	31	0.09	11.11	2.79	354.51
1.1.1.4 - 2x4 SHOWN EXTERIOR WALL - Insulated Cavity - 2"	31	0.09	11.11	2.79	354.51
1.1.1.5 - 2x4 SHOWN EXTERIOR WALL - Insulated Cavity - 3"	31	0.09	11.11	2.79	354.51
1.1.1.6 - 2x4 SHOWN EXTERIOR WALL - Insulated Cavity - 4"	31	0.09	11.11	2.79	354.51
1.1.1.7 - 2x4 SHOWN EXTERIOR WALL - Insulated Cavity - 5"	31	0.09	11.11	2.79	354.51
1.1.1.8 - 2x4 SHOWN EXTERIOR WALL - Insulated Cavity - 6"	31	0.09	11.11	2.79	354.51

Envelope Assemblies: This document is a compliance certificate for the building envelope. It is generated by the REScheck-Web Software. The certificate is valid for the building envelope assembly described in the table above. The certificate is valid for the building envelope assembly described in the table above. The certificate is valid for the building envelope assembly described in the table above.

Project Title: 94 ENTRANCE WAY
 Date Issued: 06/15/2023
 Page 1 of 1

Inspection Checklist

Inspection Checklist

Project Title: 94 ENTRANCE WAY
 Date Issued: 06/15/2023
 Page 1 of 1

Item	Item Description	Item Status	Item Location	Item Comments
1.1.1.1	2x4 SHOWN EXTERIOR WALL - Uninsulated Cavity	Pass	Exterior Wall	
1.1.1.2	2x4 SHOWN EXTERIOR WALL - Insulated Cavity	Pass	Exterior Wall	
1.1.1.3	2x4 SHOWN EXTERIOR WALL - Insulated Cavity - 1"	Pass	Exterior Wall	
1.1.1.4	2x4 SHOWN EXTERIOR WALL - Insulated Cavity - 2"	Pass	Exterior Wall	
1.1.1.5	2x4 SHOWN EXTERIOR WALL - Insulated Cavity - 3"	Pass	Exterior Wall	
1.1.1.6	2x4 SHOWN EXTERIOR WALL - Insulated Cavity - 4"	Pass	Exterior Wall	
1.1.1.7	2x4 SHOWN EXTERIOR WALL - Insulated Cavity - 5"	Pass	Exterior Wall	
1.1.1.8	2x4 SHOWN EXTERIOR WALL - Insulated Cavity - 6"	Pass	Exterior Wall	

Item	Item Description	Item Status	Item Location	Item Comments
1.1.1.1	2x4 SHOWN EXTERIOR WALL - Uninsulated Cavity	Pass	Exterior Wall	
1.1.1.2	2x4 SHOWN EXTERIOR WALL - Insulated Cavity	Pass	Exterior Wall	
1.1.1.3	2x4 SHOWN EXTERIOR WALL - Insulated Cavity - 1"	Pass	Exterior Wall	
1.1.1.4	2x4 SHOWN EXTERIOR WALL - Insulated Cavity - 2"	Pass	Exterior Wall	
1.1.1.5	2x4 SHOWN EXTERIOR WALL - Insulated Cavity - 3"	Pass	Exterior Wall	
1.1.1.6	2x4 SHOWN EXTERIOR WALL - Insulated Cavity - 4"	Pass	Exterior Wall	
1.1.1.7	2x4 SHOWN EXTERIOR WALL - Insulated Cavity - 5"	Pass	Exterior Wall	
1.1.1.8	2x4 SHOWN EXTERIOR WALL - Insulated Cavity - 6"	Pass	Exterior Wall	

PROJECT:
94 Entrance Way
 94 Entrance Way Mahopac NY 10541

CONSULTANTS:

Item	Item Description	Item Status	Item Location	Item Comments
1.1.1.1	2x4 SHOWN EXTERIOR WALL - Uninsulated Cavity	Pass	Exterior Wall	
1.1.1.2	2x4 SHOWN EXTERIOR WALL - Insulated Cavity	Pass	Exterior Wall	
1.1.1.3	2x4 SHOWN EXTERIOR WALL - Insulated Cavity - 1"	Pass	Exterior Wall	
1.1.1.4	2x4 SHOWN EXTERIOR WALL - Insulated Cavity - 2"	Pass	Exterior Wall	
1.1.1.5	2x4 SHOWN EXTERIOR WALL - Insulated Cavity - 3"	Pass	Exterior Wall	
1.1.1.6	2x4 SHOWN EXTERIOR WALL - Insulated Cavity - 4"	Pass	Exterior Wall	
1.1.1.7	2x4 SHOWN EXTERIOR WALL - Insulated Cavity - 5"	Pass	Exterior Wall	
1.1.1.8	2x4 SHOWN EXTERIOR WALL - Insulated Cavity - 6"	Pass	Exterior Wall	

Item	Item Description	Item Status	Item Location	Item Comments
1.1.1.1	2x4 SHOWN EXTERIOR WALL - Uninsulated Cavity	Pass	Exterior Wall	
1.1.1.2	2x4 SHOWN EXTERIOR WALL - Insulated Cavity	Pass	Exterior Wall	
1.1.1.3	2x4 SHOWN EXTERIOR WALL - Insulated Cavity - 1"	Pass	Exterior Wall	
1.1.1.4	2x4 SHOWN EXTERIOR WALL - Insulated Cavity - 2"	Pass	Exterior Wall	
1.1.1.5	2x4 SHOWN EXTERIOR WALL - Insulated Cavity - 3"	Pass	Exterior Wall	
1.1.1.6	2x4 SHOWN EXTERIOR WALL - Insulated Cavity - 4"	Pass	Exterior Wall	
1.1.1.7	2x4 SHOWN EXTERIOR WALL - Insulated Cavity - 5"	Pass	Exterior Wall	
1.1.1.8	2x4 SHOWN EXTERIOR WALL - Insulated Cavity - 6"	Pass	Exterior Wall	

Item	Item Description	Item Status	Item Location	Item Comments
1.1.1.1	2x4 SHOWN EXTERIOR WALL - Uninsulated Cavity	Pass	Exterior Wall	
1.1.1.2	2x4 SHOWN EXTERIOR WALL - Insulated Cavity	Pass	Exterior Wall	
1.1.1.3	2x4 SHOWN EXTERIOR WALL - Insulated Cavity - 1"	Pass	Exterior Wall	
1.1.1.4	2x4 SHOWN EXTERIOR WALL - Insulated Cavity - 2"	Pass	Exterior Wall	
1.1.1.5	2x4 SHOWN EXTERIOR WALL - Insulated Cavity - 3"	Pass	Exterior Wall	
1.1.1.6	2x4 SHOWN EXTERIOR WALL - Insulated Cavity - 4"	Pass	Exterior Wall	
1.1.1.7	2x4 SHOWN EXTERIOR WALL - Insulated Cavity - 5"	Pass	Exterior Wall	
1.1.1.8	2x4 SHOWN EXTERIOR WALL - Insulated Cavity - 6"	Pass	Exterior Wall	

Item	Item Description	Item Status	Item Location	Item Comments
1.1.1.1	2x4 SHOWN EXTERIOR WALL - Uninsulated Cavity	Pass	Exterior Wall	
1.1.1.2	2x4 SHOWN EXTERIOR WALL - Insulated Cavity	Pass	Exterior Wall	
1.1.1.3	2x4 SHOWN EXTERIOR WALL - Insulated Cavity - 1"	Pass	Exterior Wall	
1.1.1.4	2x4 SHOWN EXTERIOR WALL - Insulated Cavity - 2"	Pass	Exterior Wall	
1.1.1.5	2x4 SHOWN EXTERIOR WALL - Insulated Cavity - 3"	Pass	Exterior Wall	
1.1.1.6	2x4 SHOWN EXTERIOR WALL - Insulated Cavity - 4"	Pass	Exterior Wall	
1.1.1.7	2x4 SHOWN EXTERIOR WALL - Insulated Cavity - 5"	Pass	Exterior Wall	
1.1.1.8	2x4 SHOWN EXTERIOR WALL - Insulated Cavity - 6"	Pass	Exterior Wall	

Project Title: 94 ENTRANCE WAY
 Date Issued: 06/15/2023
 Page 1 of 1

Project Title: 94 ENTRANCE WAY
 Date Issued: 06/15/2023
 Page 1 of 1

Project Title: 94 ENTRANCE WAY
 Date Issued: 06/15/2023
 Page 1 of 1

Project Title: 94 ENTRANCE WAY
 Date Issued: 06/15/2023
 Page 1 of 1

ISSUED FOR:
CONSTRUCTION DOCUMENTS

ISSUE DATE: 07/10/2023
 REV. DES. DATE
 1 BUILDING PERMIT REV. 09/18/20
 20

DWG TITLE:
500.01

SCALE:
 AS SHOWN

DATE:
 07/10/2023

NO. OF SHEETS:
 10

SHEET NO.:

Section	Find Inspection Problem	How Solved	Find Solved	Complete?	Comments/Recommendation
001.0	All exterior or interior spaces have 100% of walls and floors and 100% of ceiling meet or exceed the 2018 IECC energy efficiency requirements.			Complete	Requirement met for int.
001.1	See 001.0 for exterior walls and floors. All exterior walls and floors have 100% of walls and floors and 100% of ceiling meet or exceed the 2018 IECC energy efficiency requirements.			Complete	Requirement met for int.
001.2	See 001.0 for exterior walls and floors. All exterior walls and floors have 100% of walls and floors and 100% of ceiling meet or exceed the 2018 IECC energy efficiency requirements.			Complete	Requirement met for int.
001.3	See 001.0 for exterior walls and floors. All exterior walls and floors have 100% of walls and floors and 100% of ceiling meet or exceed the 2018 IECC energy efficiency requirements.			Complete	Requirement met for int.
001.4	See 001.0 for exterior walls and floors. All exterior walls and floors have 100% of walls and floors and 100% of ceiling meet or exceed the 2018 IECC energy efficiency requirements.			Complete	Requirement met for int.
001.5	See 001.0 for exterior walls and floors. All exterior walls and floors have 100% of walls and floors and 100% of ceiling meet or exceed the 2018 IECC energy efficiency requirements.			Complete	Requirement met for int.
001.6	See 001.0 for exterior walls and floors. All exterior walls and floors have 100% of walls and floors and 100% of ceiling meet or exceed the 2018 IECC energy efficiency requirements.			Complete	Requirement met for int.
001.7	See 001.0 for exterior walls and floors. All exterior walls and floors have 100% of walls and floors and 100% of ceiling meet or exceed the 2018 IECC energy efficiency requirements.			Complete	Requirement met for int.
001.8	See 001.0 for exterior walls and floors. All exterior walls and floors have 100% of walls and floors and 100% of ceiling meet or exceed the 2018 IECC energy efficiency requirements.			Complete	Requirement met for int.
001.9	See 001.0 for exterior walls and floors. All exterior walls and floors have 100% of walls and floors and 100% of ceiling meet or exceed the 2018 IECC energy efficiency requirements.			Complete	Requirement met for int.
002.0	See 001.0 for exterior walls and floors. All exterior walls and floors have 100% of walls and floors and 100% of ceiling meet or exceed the 2018 IECC energy efficiency requirements.			Complete	Requirement met for int.

Section	Find Inspection Problem	How Solved	Find Solved	Complete?	Comments/Recommendation
002.1	See 001.0 for exterior walls and floors. All exterior walls and floors have 100% of walls and floors and 100% of ceiling meet or exceed the 2018 IECC energy efficiency requirements.			Complete	Requirement met for int.
002.2	See 001.0 for exterior walls and floors. All exterior walls and floors have 100% of walls and floors and 100% of ceiling meet or exceed the 2018 IECC energy efficiency requirements.			Complete	Requirement met for int.
002.3	See 001.0 for exterior walls and floors. All exterior walls and floors have 100% of walls and floors and 100% of ceiling meet or exceed the 2018 IECC energy efficiency requirements.			Complete	Requirement met for int.
002.4	See 001.0 for exterior walls and floors. All exterior walls and floors have 100% of walls and floors and 100% of ceiling meet or exceed the 2018 IECC energy efficiency requirements.			Complete	Requirement met for int.
002.5	See 001.0 for exterior walls and floors. All exterior walls and floors have 100% of walls and floors and 100% of ceiling meet or exceed the 2018 IECC energy efficiency requirements.			Complete	Requirement met for int.
002.6	See 001.0 for exterior walls and floors. All exterior walls and floors have 100% of walls and floors and 100% of ceiling meet or exceed the 2018 IECC energy efficiency requirements.			Complete	Requirement met for int.
002.7	See 001.0 for exterior walls and floors. All exterior walls and floors have 100% of walls and floors and 100% of ceiling meet or exceed the 2018 IECC energy efficiency requirements.			Complete	Requirement met for int.
002.8	See 001.0 for exterior walls and floors. All exterior walls and floors have 100% of walls and floors and 100% of ceiling meet or exceed the 2018 IECC energy efficiency requirements.			Complete	Requirement met for int.
002.9	See 001.0 for exterior walls and floors. All exterior walls and floors have 100% of walls and floors and 100% of ceiling meet or exceed the 2018 IECC energy efficiency requirements.			Complete	Requirement met for int.
003.0	See 001.0 for exterior walls and floors. All exterior walls and floors have 100% of walls and floors and 100% of ceiling meet or exceed the 2018 IECC energy efficiency requirements.			Complete	Requirement met for int.



Item	Value
Approved Date	07/10/2023
Approved By	John Doe
Project No.	500.02
Address	94 Entrance Way Mahopac NY 10541
Inspector	John Doe
City	Mahopac NY
County	Putnam
State	NY
Project Type	Residential
Construction Type	Single-Family
Year Built	2023
Inspector License No.	123456789
Inspector Expiration Date	12/31/2024
Inspector Title	Professional Engineer
Inspector Firm	ABC Engineering
Inspector Address	123 Main St, Mahopac NY 10541
Inspector Phone	(914) 123-4567
Inspector Email	john.doe@abceng.com
Inspector Website	www.abceng.com
Inspector State	NY
Inspector Country	USA

PROJECT: **94 Entrance Way**

94 Entrance Way Mahopac NY 10541

CONSULTANTS:

SEAL:

ISSUED FOR: CONSTRUCTION DOCUMENTS

ISSUE DATE: 07/10/2023

REV. DES. DATE

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, ALL WORK UNDER THIS APPLICATION IS IN COMPLIANCE WITH THE 2020 NYCDC

DESIGNED CODE: 2020 NYCDC

BUILDING CODE: NEW YORK STATE

ZONING CODE: TOWN OF GAMBEL ZONING LAW

DESIGN DISTRICT: NY - RESIDENTIAL

CONSTRUCTION TYPE: TYPE V

CLIMATE AND GEOGRAPHIC DESIGN CRITERIA

CLIMATE ZONE: 5

GROUND SNOW LOAD: 40 PSF

WIND SPEED MAPS: 115 MPH

WINDING COLUMN CATEGORY: B

FIRST FLOOR HEIGHT: 8'-0"

FLOOD HAZARD: NONE

DWG TITLE: ENERGY

DWG NO: **500.02**

SCALE: 1/8" = 1'-0"

DATE: 07/10/23

BY: [Signature]

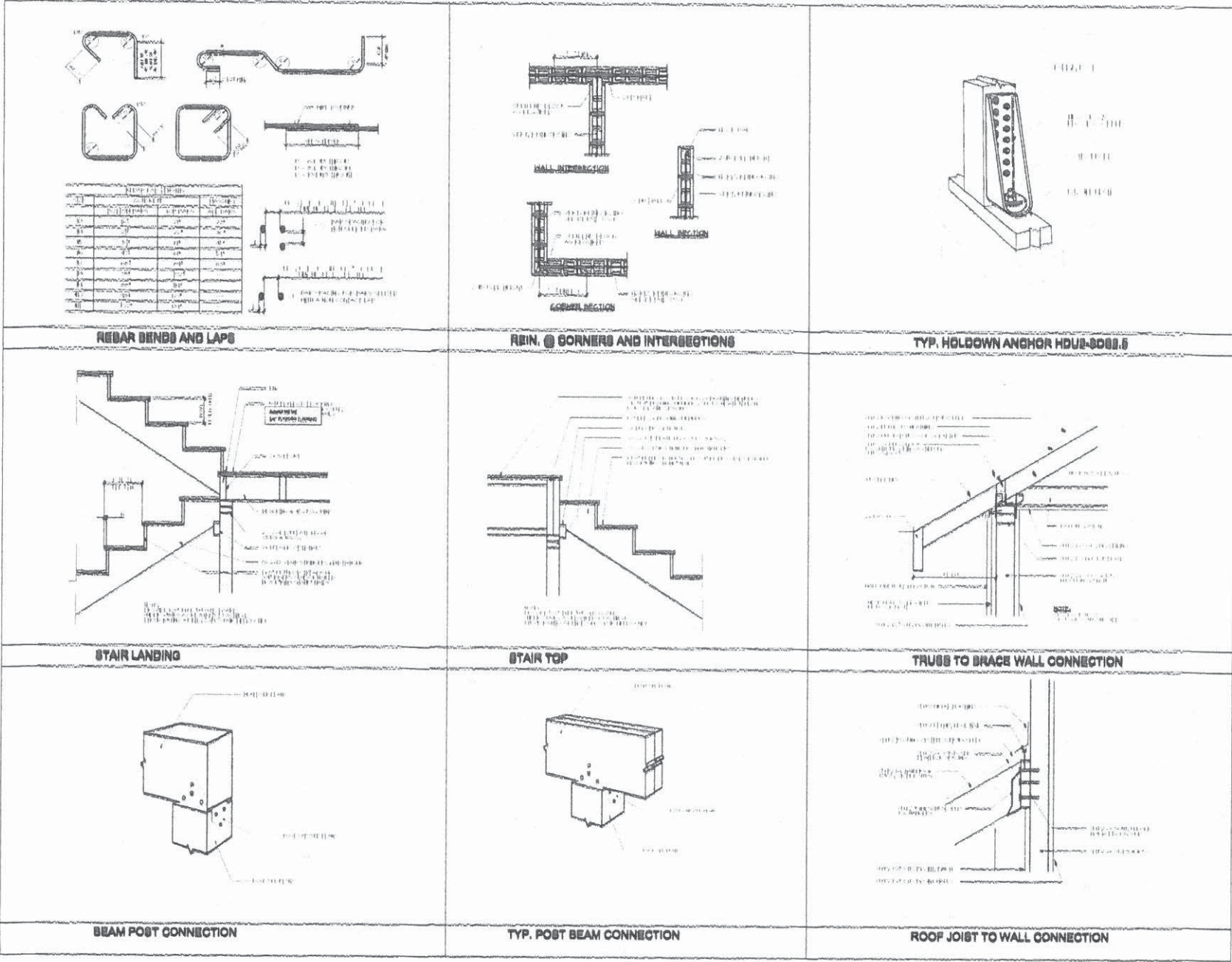
CHECKED BY: [Signature]

DATE: 07/10/23

Family and Type	Sound	Mark	Heat Transfer Coefficient (U)	Single Heat Gain Coefficient	Frame Height	Rough Width
DR-001-01 - 10'0" x 8'0" - 10'0" x 8'0"	1	DR	0.350 BTU/(hr·ft²·°F)	0.4	8'0"	8'0"

TYPE	Sound	Mark	Heat Transfer Coefficient (U)	Single Heat Gain Coefficient	Frame Height	Rough Width
WF-001-01 - 10'0" x 8'0" - 10'0" x 8'0"	1	WF	0.350 BTU/(hr·ft²·°F)	0.4	8'0"	8'0"

WINDOW AND DOOR SCHEDULE



PROJECT: _____

94 Entrance Way

94 Entrance Way Mahopac NY 10541

CONSULTANTS: _____

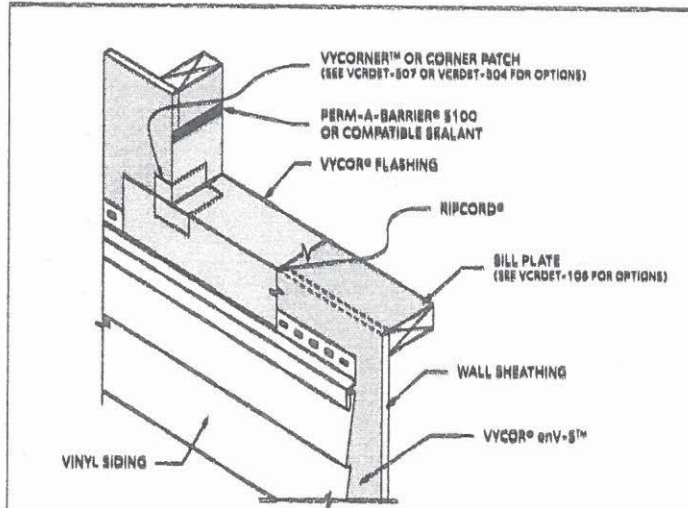
SEAL: _____

ISSUED FOR CONSTRUCTION DOCUMENTS

ISSUE DATE: 07/10/2023
 V. DES. DATE

DWG TITLE: TYPICAL DETAILS
 DWG NO: S-001

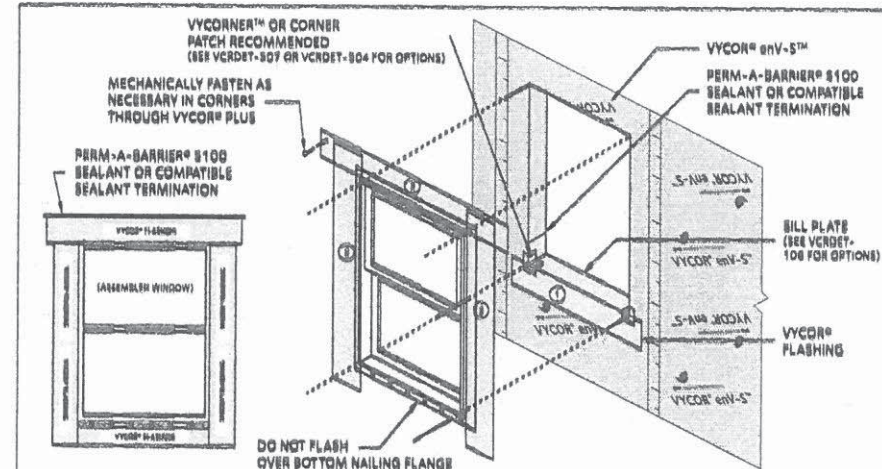
SCALE: 1/4" = 1'-0"
 SHEET NO: 1 OF 1
 PROJECT: 94 Entrance Way Mahopac NY 10541



NOTES:

- A. VISIT GCPAT.COM FOR THE MOST CURRENT DETAILS, INSTALLATION VIDEO AND PRODUCT DATA SHEETS
- B. RIPCORD® CAN BE REMOVED FROM VYCOR® FLASHING FOR EASE OF INSTALLATION
- C. INSTALL VYCOR® FLASHING AND VYCOR® enV-5™ TO FORM WATER SHEDDING LAP
- D. INSTALL VYCOR® enV-5™ VERTICALLY OR HORIZONTALLY TO FORM WATER SHEDDING LAP
- E. FOR BILL PAN DEPTH GREATER THAN 6 INCHES, A SLOPED BILL IS REQUIRED IN ACCORDANCE WITH ASTM E 2112
- F. A BACK DAM CAN BE ACCOMPLISHED USING A WOODEN FLURRING STRIP OR BY FOLDING THE VYCOR® FLASHING ADHESIVE LAYER ONTO ITSELF
- G. LEAVE RELEASE PAPER ON LOWER HALF OF VYCOR® FLASHING BILL FLASHING FOR FUTURE TIE-IN TO VINYL SIDING
- H. EXTEND VYCOR® FLASHING OVER NAILING FLANGE OF THE LAST COMPLETE COURSE OF SIDING PANEL AND TRIM VYCOR® FLASHING TO PROTECT FROM PERMANENT EXPOSURE TO UV
- I. LEAVE RELEASE PAPER ON OR OTHER BOND BREAKER BETWEEN VYCOR® FLASHING AND VINYL
- J. INSTALL VYCOR® FLASHING AROUND REMAINING WINDOW UNIT PER WINDOW DETAILS (VCRDET-100 TO 111)
- K. DETAIL ALSO RELEVANT FOR ALL VYCOR® FLASHINGS

<p>gcp applied technologies gcpat.com</p>	<p>TIE-IN WITH VINYL SIDING AT WINDOW SILL VYCOR® SELF-ADHERED FLASHING</p>	<p>Drawing: VCRBNV-167</p>
		<p>Scale: Not to scale</p> <p>Effective Date: 08/04/19</p> <p>Supersedes: NEW</p>



NOTES:

- A. VISIT GCPAT.COM FOR THE MOST CURRENT DETAILS, INSTALLATION VIDEO AND PRODUCT DATA SHEETS
- B. RIPCORD® CAN BE REMOVED FROM VYCOR® FLASHING FOR EASE OF INSTALLATION
- C. INSTALL VYCOR® FLASHING IN ORDER AS SHOWN BY NUMBERS
- D. DETAIL RELEVANT FOR ALL VYCOR® FLASHINGS
- E. INSTALL VYCOR® enV-5™ VERTICALLY OR HORIZONTALLY TO FORM WATER SHEDDING LAP
- F. INSTALL PERM-A-BARRIER® S100 OR COMPATIBLE SEALANT TO TOP LEADING EDGE OF HEAD FLASHING AND ALL NON WATER SHEDDING EDGES

<p>gcp applied technologies gcpat.com</p>	<p>FLANGED WINDOW FLASHING INSTALLATION AFTER VYCOR® enV-5™ VYCOR® SELF-ADHERED FLASHING</p>	<p>Drawing: VCRBNV-100</p>
		<p>Scale: Not to scale</p> <p>Effective Date: 08/04/19</p> <p>Supersedes: NEW</p>

TYPICAL AIR SEALING DETAIL

PROJECT:

94 Entrance Way

94 Entrance Way Mahopac NY 10541

CONSULTANTS:

SCALE:

ISSUED FOR CONSTRUCTION DOCUMENTS

ISSUE DATE: 07/10/2023
V. DES. DATE

DWG TITLE:

TYPICAL DETAILS

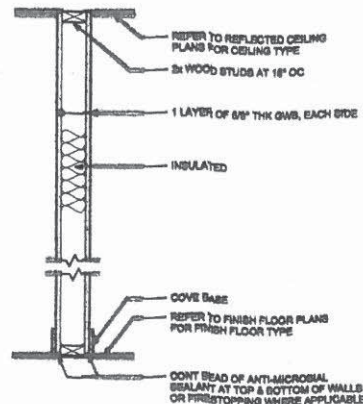
DWG NO:

S-002

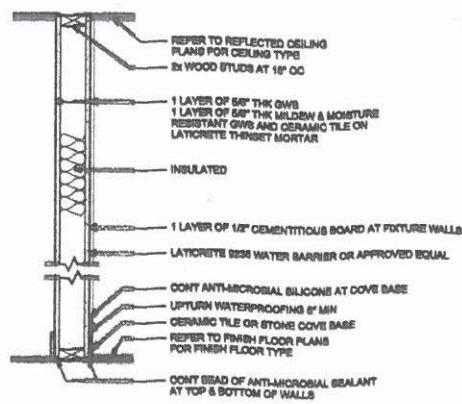
SCALE: 1/8" = 1'-0" (AS SHOWN)
PAGE NO. 02
DATE: 07/10/2023
PROJECT: 94 Entrance Way Mahopac NY 10541

NOTES:

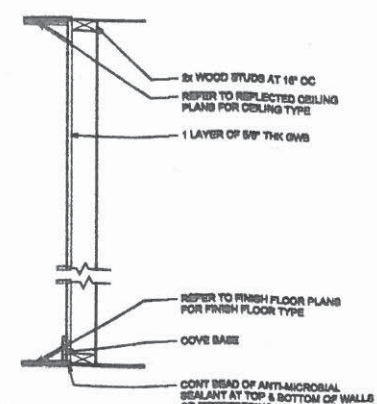
1. ALL FIRE RATING ASSEMBLIES TO COMPLY WITH ANSII/UL 283
2. CMU CORE FILING REQUIREMENTS BY STRUCTURAL ENGINEER
3. REFER TO INTERIOR ELEVATIONS FOR TILE LOCATION AND DESIGN



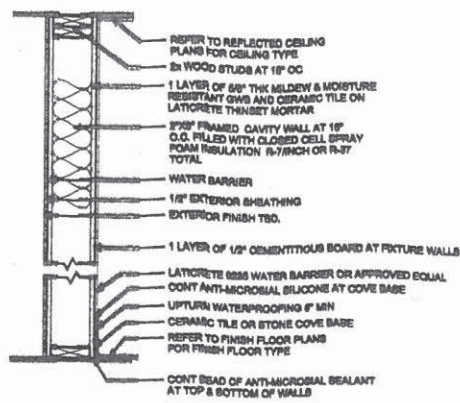
1.01 2x4 WOOD FRAMING
 1.02 2x4 WOOD FRAMING INSULATED
 1.11 2x6 WOOD FRAMING



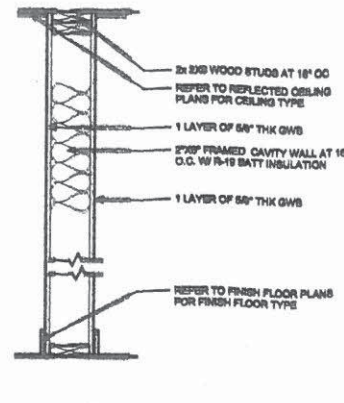
1.20 2x4 WOOD FRAMING WET AREA / TILE



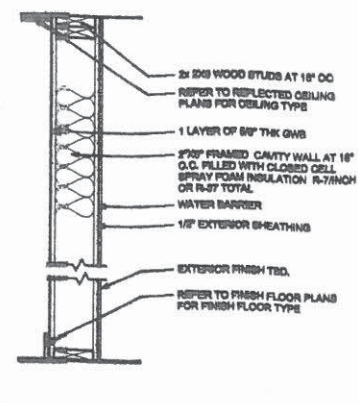
1.21 2x4 WOOD FRAMING CHASE WALL



1.22 2x6 EXTERIOR WOOD FRAME WALL



1.23 2x6 WOOD FRAME WALL



1.24 2x6 EXTERIOR WOOD FRAME WALL

PARTITIONS TYPES
 SCALE: 1/8\"/>

PROJECT: _____

94 Entrance Way

94 Entrance Way Mahopac NY 10541

CONSULTANTS: _____

SCALE: _____

ISSUED FOR CONSTRUCTION DOCUMENTS	
ISSUE DATE: 07/10/2023	
V. DES. DATE	

DWG TITLE:
 TYPICAL DETAILS
 DWG NO:

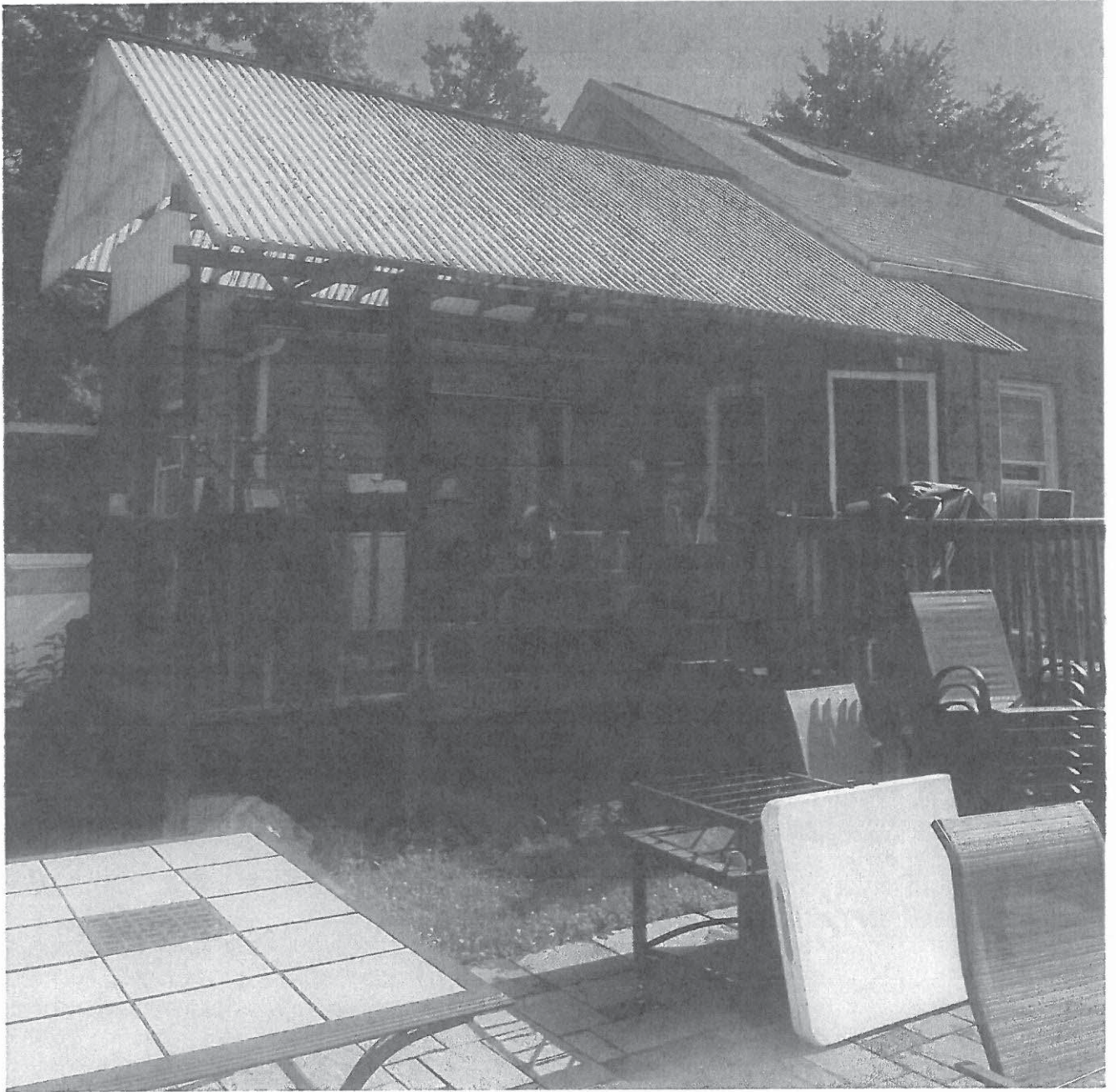
S-003

SCALE: 1/8\"/>	PAGE NO:
DATE: 07/10/23	

From: Doris Avila doris10541@yahoo.com
Subject: Back porch
Date: July 11, 2023 at 9:18 AM
To: Doris Avila doris10541@yahoo.com

DV







ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

*ML **

IN THE MATTER OF THE APPEAL

OF
Simone Shed

TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: 7/5, 2023

Application For (circle applicable): Area Variance (156-15) Use Variance Interpretation 280A
Name of Property Owner: Thomas Simone Address: 879 S. Lake Blvd Mahopac
Mailing Address: 155 Buckshallow Rd Mahopac Phone Number(s):
Zoning District: C Tax Map: 7544 - 1 - 32

Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]
E-Mail Address: _____

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
	<i>NO previous ZBA appearances</i>	<i>(ma)</i>

List all improvements (1 family dwelling, pool, etc.) _____

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: LANDSCAPING

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO
Explain: Rt 6

I, the applicant, am seeking permission to: install shed onto waterfront property w/o a principal structure

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
<u>10' side</u>	<u>1</u>	<u>9'</u>

State of New York)
 ss:
County of Putnam)
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this 5th day of July 2023
Alice Daly
Notary Public

ALICE DALY
Notary Public, State of New York
No. 01DA6345218
Qualified In Putnam County
Commission Expires July 25, 2024

Petitioner Thomas Simone Date 7/5/2023

LAKE MAHOPAC



SURVEY OF PROPERTY SITUATE IN THE TOWN OF CARMEL PUTNAM COUNTY NEW YORK

SCALE : 1"= 10'
SURVEYED : OCTOBER 17, 2022

● PREMISES ARE DESIGNATED ON THE TAX MAPS FOR THE TOWN OF CARMEL SECTION; 75.44 BLOCK; 1 LOT; 32 STREET ADDRESS: 879 SOUTH LAKE BLVD. PROPERTY AREA: 2,970 Sq.Ft. - 0.0682 ACRE

● THE PREMISES SHOWN HEREON DESCRIBED IN DEED RECORDED IN THE PUTNAM,COUNTY CLERKS OFFICE IN BOOK 1520 PAGE 256

● SURVEY IS SUBJECT TO ANY STATE OF FACTS WHICH AN UP-TO-DATE TITLE EXAMINATION MAY DISCLOSE.

● THE OFFSETS SHOWN HEREON ARE NOT INTENDED TO ESTABLISH PROPERTY LINES FOR THE ERECTION OF FENCES, STRUCTURES OR ANY OTHER IMPROVEMENTS.

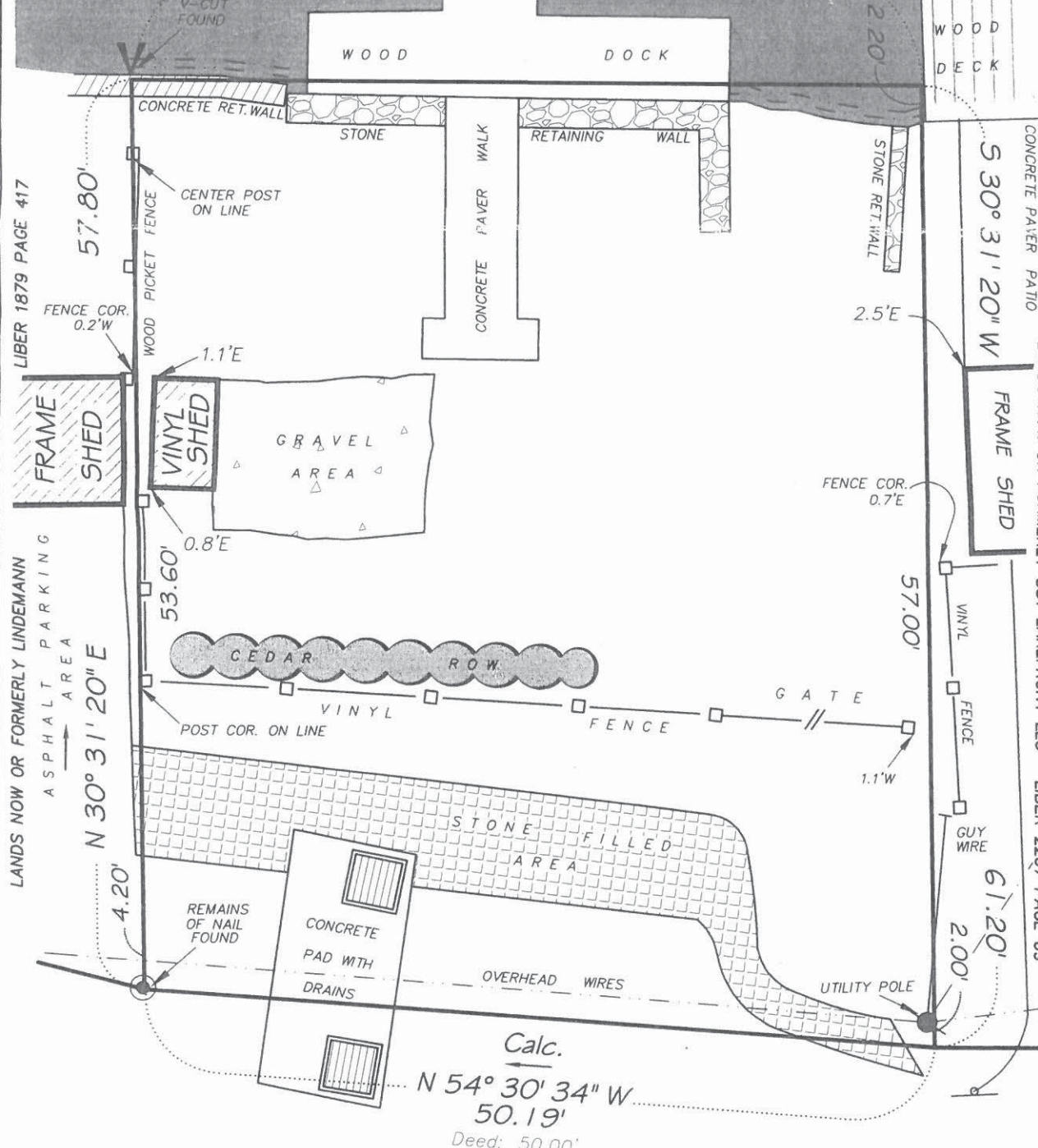
● ENCROACHMENTS BELOW GRADE AND/OR SUBSURFACE FEATURES, IF ANY, NOT LOCATED OR SHOWN HEREON.

● UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAWS.

● ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S SEAL SHALL BE CONSIDERED TO BE TRUE VALID COPIES.

● THIS MAP WAS PREPARED FROM AN ACTUAL FIELD SURVEY CONDUCTED ON THE DATE SHOWN AND THAT SAID SURVEY WAS PERFORMED IN ACCORDANCE WITH THE EXISTING " CODE OF PRACTICE FOR LAND SURVEYS " ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.

PREPARED FOR: THOMAS SIMONE

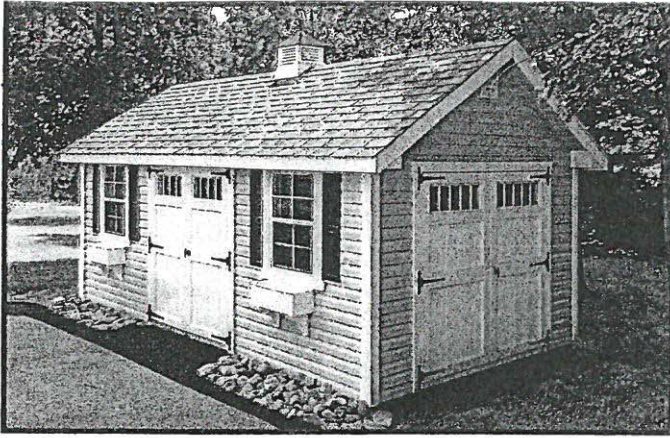


ROUTE 6N
A.K.A. SOUTH LAKE BLVD.
OSCEOLA LAKE - MAHOPAC LAKE, PART 2, STATE HIGHWAY 9274

Link
Land Surveyors P.C.
21 Clark place Suite 1B
Mahopac N.Y. 10541
Phone 845-628-5857
Fax 845-621-0013

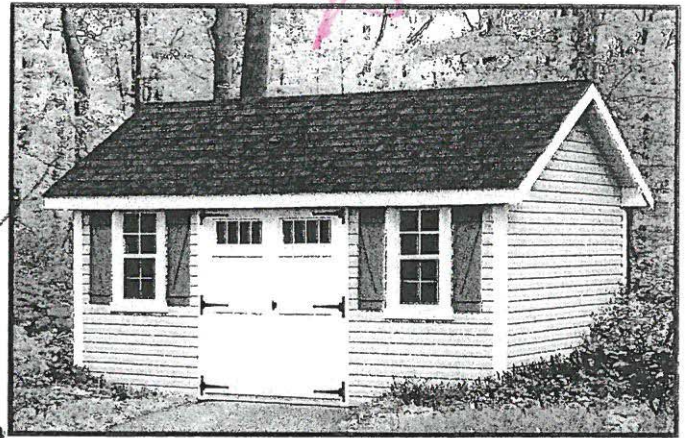
STATE OF NEW YORK
ERIK J. LINK
NEW YORK STATE LICENSED
LAND SURVEYOR NO. 080542

COPYRIGHT 2022
LINK LAND SURVEYOR P.C. ALL RIGHTS
RESERVED. THE UNAUTHORIZED
REPRODUCTION AND OR DISTRIBUTION OF THIS
DOCUMENT IS ILLEGAL, AND IS A VIOLATION
UNDER UNITED STATES COPYRIGHT LAWS.



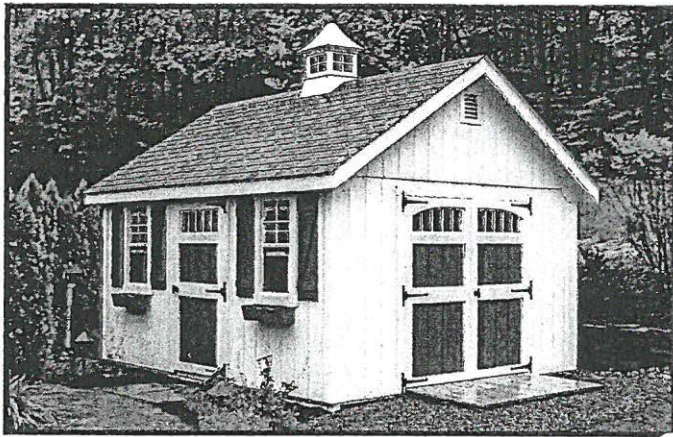
Vinyl Elite A-Frame: 10x16. Gray Vinyl, Dual Gray Shingles, White Trim, White Doors

Options Shown: Wood Trim Pkg, Wood Doors, Garden Vents, Cupola, Flower Boxes Not Available




Vinyl Elite A-Frame: 10' x 16', Beige Vinyl, Weatherwood Shingles, White Trim, White Doors, Blue Shutters

Options Shown: Z Shutters, Transom Windows, Wood Doors, Wood Trim Package



Elite A-Frame: 12x16, White T-111, Dual Gray Shingles, White Trim, Riehl Green Doors

Options Shown: Extra Door, Transom in Doors, Z Shutters, Flower Boxes, Garden Vents, Ramp, Cupola



Special Note
Standard Doors for Vinyl Elite Series are Six Panel Fiberglass Doors. Wood Doors are optional.

*what's the inside of we
are they like the other hand*

Vinyl 10x16 New England 7007⁰⁰

12x16 Elite A Frame 8876⁰⁰

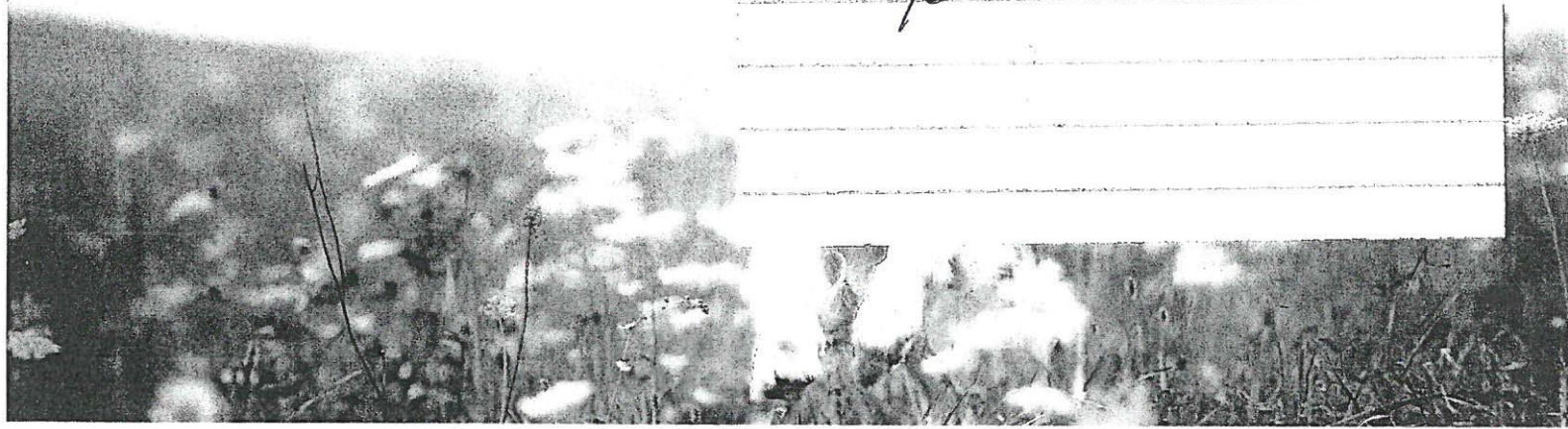
*Vinyl
1 Z Shutters 200⁰⁰*

2 wood Doors 259 ~~300~~⁰⁰

(3) wood Trim Pkg Fiberglass Door

(4) Transom Windows

(5) Vinyl Gable Vent 50⁰⁰







ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
-1500

me

IN THE MATTER OF THE APPEAL
OF
Martin
TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: June 27, 2023

Application For (circle applicable): Area Variance (156-15) Use Variance Interpretation 280A
Name of Property Owner: Liz & Pat Martin Address: 151 Secor Rd. Mahopac, NY 10541
Mailing Address: 151 Secor Rd. Mahopac, NY 10541 Phone Number(s):
Zoning District: R Tax Map: 74.12 2 56
Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]
E-Mail Address:

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
<u>1982</u>	<u>add 12'x12' bedroom to existing bldg on prop</u>	<u>Granted SMO</u>

List all improvements (1 family dwelling, pool, etc.) (1) Family House & Cottage + 5' shed

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here:

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO
Explain: Secor Road, A Country Road

I, the applicant, am seeking permission to: Relocate Accessory apt. (no setback variance needed)

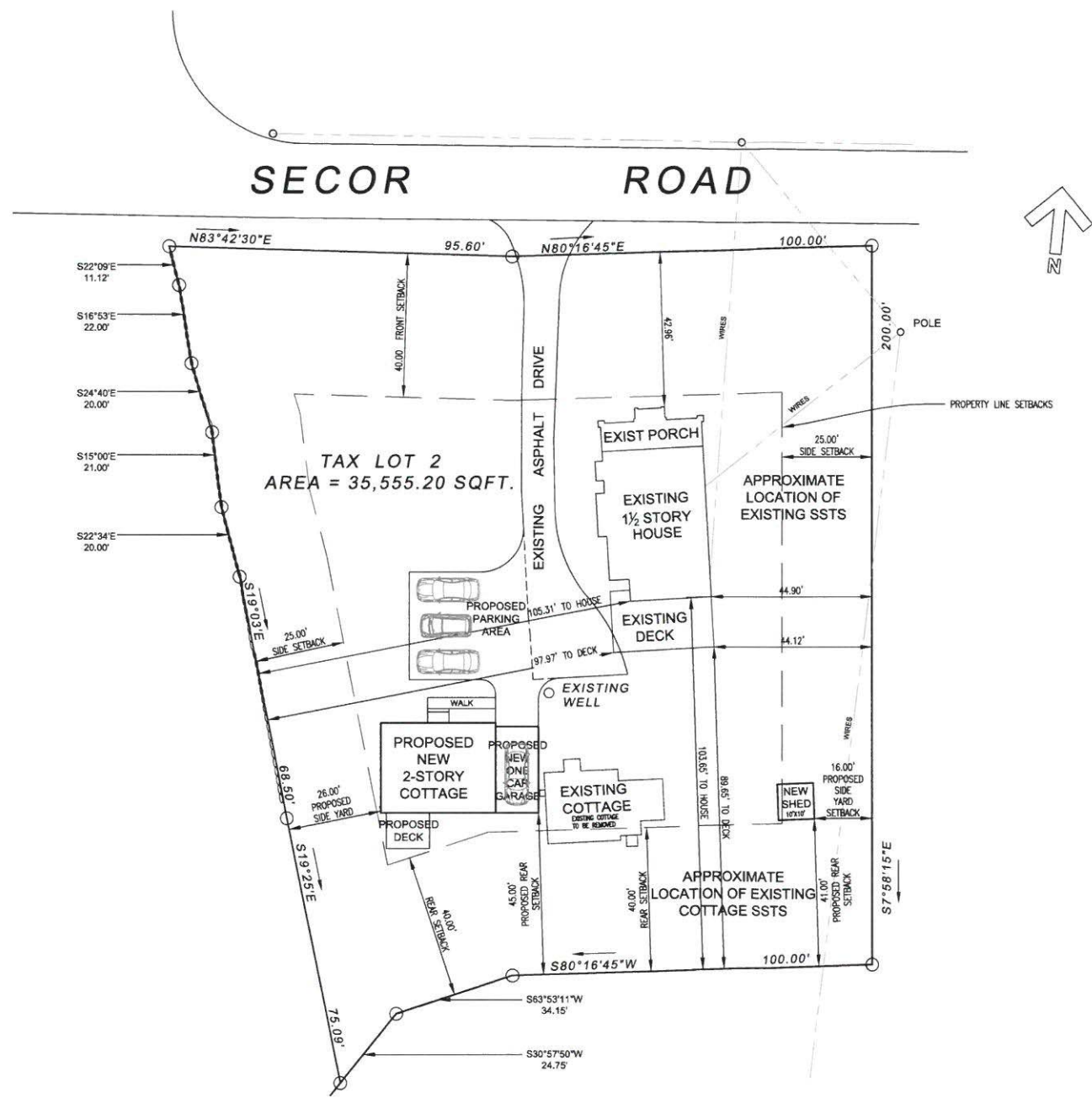
CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
Single Family House	Sep Cottage as an accessory Apt.	To relocate accessory apt. cottage
<u>w/accessory apt can be detached if existing prior to 1998</u>	<u>Being Relocated</u>	<u>+ therefore not existing prior to 1998</u>

State of New York)
County of Putnam)
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this 12 day of July, 2023
[Signature]

PATRICIA AMICUCCI
Notary Public, State of New York
No. 01AM6431878
Qualified in Putnam County
Commission Expires 04/18/2026

[Signature]
Petitioner _____ Date _____



ARCHITECTURAL SITE PLAN

1"=20'
 SITE PLAN BASED ON SUBDIVISION MAP
 BY ROBERT BAXTER, LAND SURVEYOR
 DATED: 11-16-1983



ARCHITECTURAL VISIONS, P.L.L.C.
 A GREENBERG DESIGN GROUP
 2 MUSCOOT ROAD NORTH MAHOPAC NY, 10541
 TEL: 845-628-6613 FAX: 845-628-2807

PROJECT:
 MARTIN RESIDENCE
 PROJECT ADDRESS: 151 SECOR ROAD, MAHOPAC, NY 10541
 MAILING ADDRESS: 151 SECOR ROAD, MAHOPAC, NY 10541

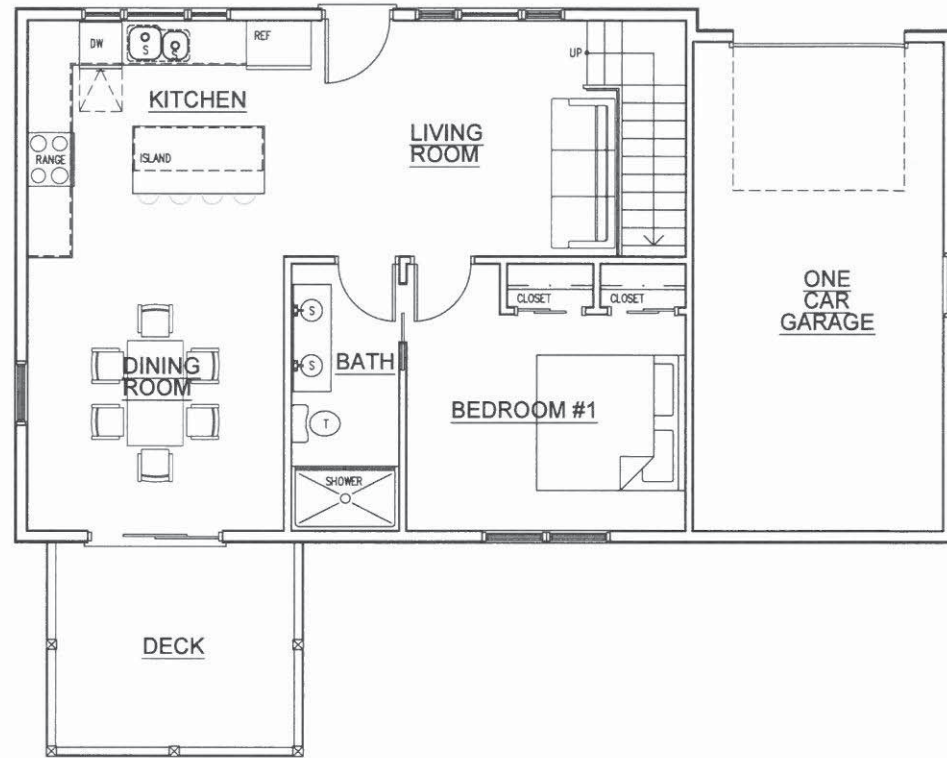
ARCHITECTURAL SITE PLAN

ISSUANCE: [Signature]
 011056

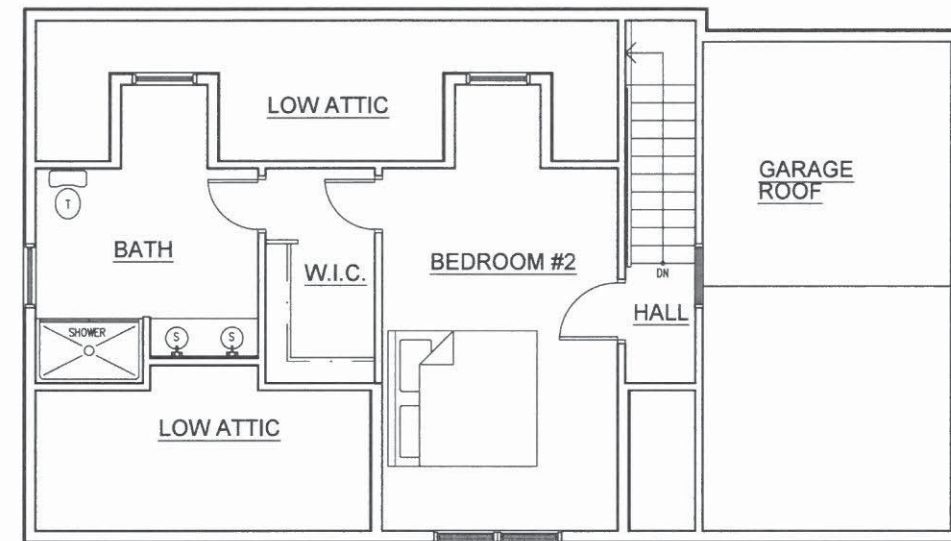
SCALE: AS NOTED
 DRAWN BY: CHKD BY MLS / JLG
 PROJECT NO. 05-23-052

AS-100

IT IS A VIOLATION OF STATE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM ON THESE PLANS AND DOCUMENTS IN ANY MANNER, PER STATE LAW. IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ARCHITECT SHALL APPLY TO REPAIR WITH THE SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS/HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION. THE ARCHITECT, SURVEYOR AND ALL RESPONSIBLE FOR A TITLE OF THESE PLANS AND DOCUMENTS BY THESE ARE EXPRESSLY DENIED PERMISSION TO OTHERS TO ALTER THESE PLANS AND DOCUMENTS.



1 PROPOSED FIRST FLOOR PLAN
1/4"=1'-0"



2 PROPOSED SECOND FLOOR PLAN
1/4"=1'-0"



3 FRONT FRONT ELEVATION
1/4"=1'-0"

ARCHITECTURAL VISIONS LLC

2 MUSCOOT ROAD NORTH P: 845-628-6613
MAHOPAC NY, 10541 F: 845-628-2807
JOEL.GREENBERG@ARCHVISIONS.COM

PROJECT:
MARTIN RESIDENCE
PROJECT ADDRESS: 20 CORNISH RD. MAILING ADDRESS: 20 CORNISH RD.

2 STORY COTTAGE PLANS

ISSUANCE	
SCALE AS NOTED	
DRAWN BY: CHKD BY: MWO/JLG	A-100
PROJECT NO. 05-23-052	

IT IS A VIOLATION OF STATE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER OR ADD TO THESE PLANS AND DOCUMENTS IN ANY WAY. PER STATE LAW, IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO THE SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS/HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION. THE ARCHITECT SHALL BE RESPONSIBLE FOR ANY ALTERATIONS OF THESE PLANS AND DOCUMENTS BY OTHERS AND SHALL BE RESPONSIBLE FOR ANY ALTERATIONS TO THESE PLANS AND DOCUMENTS.



Martin's
Main House



Martin-
Accessory Cpt



Martin
Shed



**ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY**

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

dlc

IN THE MATTER OF THE APPEAL
OF
John Chang
TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date June 12, 2023

Application For (circle applicable): Area Variance (156-15) Use Variance Interpretation 280A
 Name of Property Owner: John Chang Address: 2675 Cecile Dr. Yorktown Heights, NY 10598
 Mailing Address: 716 Route 6 Mahopac, NY 10541 Phone Number(s):
 Zoning District: C Tax Map: 76.30 - 1 - 26
 Applicant is: (circle one) Owner (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]
 E-Mail Address:

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS

List all improvements (1 family dwelling, pool, etc.) Bldg. - first Floor-Deli, Second Floor-Church

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: Site Plans, Floor Plans, Elevations

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO
 Explain: State Highway Route 6

I, the applicant, am seeking permission to: Retain Church on 2nd floor.

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
1 Space /200 SF -Deli		
23/07/100=12ps		
1ps/3 seats-church		
32 seats/3= 11 ps		
total 23 ps	18 PS	5 PS

State of New York)
 ss:
 County of Putnam)
 The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this 10 day of July, 2023

[Signature]

PATRICIA AMICUCCI
 Notary Public, State of New York
 No. 01AM6431878
 Qualified in Putnam County
 Commission Expires 04/18/2026

Petitioner *John Chang* Date _____



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

AUTHORIZATION FORM

RE: Property of: John Chang
(Owner)
Located at: 716 Route 6, Mahopac, NY 10541
(Address) (City, Town, Village)
Tax Map #: 76.30-1-26
In the matter of: Parking Variance
(Variance Request)

To whom it may concern:

This letter is to authorize Joel Greenberg

a/an (check one) Attorney Engineer Architect Other _____

to apply for the required variance(s) on the above noted property and to sign all necessary papers and make all necessary representations on my behalf in connection with the above-mentioned matter.

Countersigned: Joel Greenberg
(Representative)
Joel Greenberg
(Print Name)

Signed: John Chang
(Owner of Property)
John Chang
(Print Name)

Mailing Address: 2 muscoot Road North
Mahopac
State: NY Zip: 10541
Telephone # 845-628-6613
Date: 6/10/2023
E-mail: joel.greenberg@arch-visions.com

Mailing Address: 2675 Cecile Dr.
Yorktown Heights,
State: NY Zip: 10541
Telephone # 9

NOTE: The willful submission of false or inaccurate information on this application may result in the dismissal of the application, or the revocation of any action taken on the application, or both.

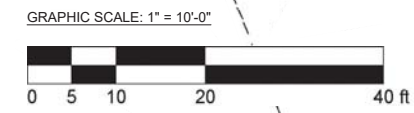
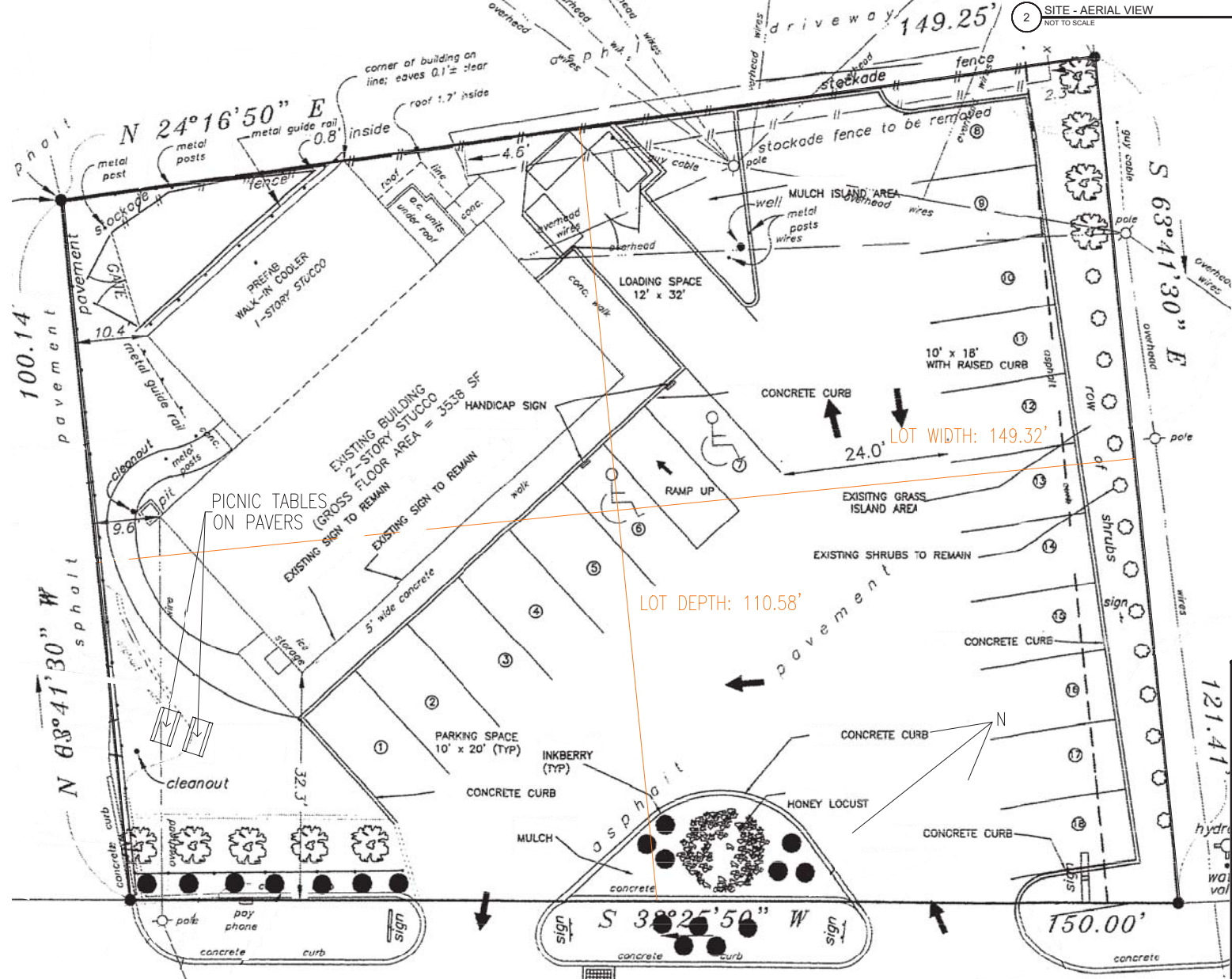
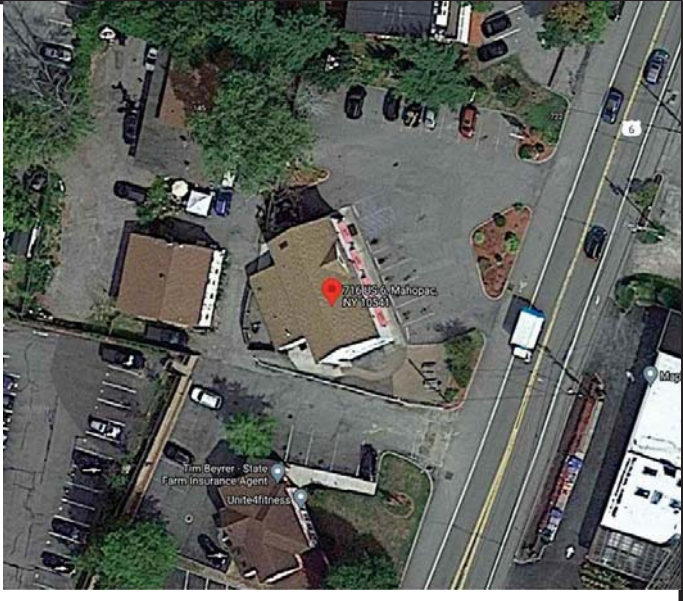
PROPERTIES WITHIN 500':

76.30-1-47 Brendan Luchini 1 Babbins St Mahopac, NY 10541	76.30-1-41 Manuel Martin 1 Overhill Rd Mahopac, NY 10541	76.30-1-111 Joseph Ranz 1 Overhill Rd Mahopac, NY 10541	76.30-1-112 Elizabeth Balan 149 East Lake Blvd Unit D-2 Mahopac, NY 10541	76.30-1-113 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-114 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-115 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-116 Board of Managers of the La PO BOX 2058 Newport Beach, CA 92659
76.30-1-42 Anthony Pugliese 131 Harbor Ln Mahopac, NY 10541	76.30-1-49 David Levin 131 Harbor Ln Mahopac, NY 10541	76.30-1-114 Victor Antonucci 851 Newmarket Pl Fort Mill, SC 29708	76.30-1-115-114 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-115-115 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-115-116 Board of Managers of the La PO BOX 2058 Newport Beach, CA 92659	76.30-1-115-117 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-115-118 Melissa France 23 Sunnyside Rd Katonah, NY 10524
76.30-1-21-101 Artur Blazynski 141 East Lake Blvd Unit A-1 Mahopac, NY 10541	76.30-1-21-114 Michelle Scymra 141 East Lake Blvd Apt B2 Mahopac, NY 10541	76.30-1-21-121 Luis Peral 141 East Lake Blvd Unit G-3 Mahopac, NY 10541	76.30-1-117 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-118 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-119 Melissa France 23 Sunnyside Rd Katonah, NY 10524	76.30-1-120 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-121 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659
76.30-1-21-123 Francis Reynolds 120 United Rd Mahopac, NY 10541	76.30-1-21-125 Nikki Onchwani 141 East Lake Blvd Apt B2 Yorktown Heights, NY 10598	76.30-1-21 Main The Water Club at Lake Mahopac 60 Mahopac Ave Mahopac, NY 10541	76.30-1-120 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-121 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-122 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-123 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-124 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659
76.30-1-21-113 Thomas Carroll 141 East Lake Blvd E-1 Mahopac, NY 10541	76.30-1-21-116 Michael Scymra 141 East Lake Blvd E-1 Mahopac, NY 10541	76.30-1-21-124 Bryan Mack 141 East Lake Blvd H-3 Mahopac, NY 10541	76.30-1-123 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-124 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-125 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-126 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-127 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659
76.30-1-21-131 Michael Cimino 141 East Lake Blvd L1 Mahopac, NY 10541	76.30-1-21-132 DMAM Interiors, LLC 28 Acorn Dr Mahopac, NY 10541	76.30-1-21-134 The Water Club at Lake Mahopac 141 East Lake Blvd M1 Mahopac, NY 10541	76.30-1-124 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-125 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-126 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-127 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-128 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659
76.30-1-21-135 Stephen Tomasco 141 East Lake Blvd M2 Mahopac, NY 10541	76.30-1-21-133 Maura B. Scymra Supplemental 141 East Lake Blvd Unit A-3 Mahopac, NY 10541	76.30-1-21-135 William O'Neil 141 East Lake Blvd Unit A2 Mahopac, NY 10541	76.30-1-129 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-130 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-131 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-132 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-133 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659
76.30-1-21-104 Robert Mazini 100 Guyton Dr Mahopac, NY 10541	76.30-1-21-105 Anthony Scymra 141 East Lake Blvd Unit A-3 Yorktown Heights, NY 10598	76.30-1-21-106 William O'Neil 141 East Lake Blvd Unit B-3 Mahopac, NY 10541	76.30-1-132 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-133 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-134 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-135 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-136 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659
76.30-1-21-107 Dina Cimino 12 Rebecca Ln Carmel, NY 10512	76.30-1-21-108 Elizabeth Hoegberg 141 East Lake Blvd C2 Mahopac, NY 10541	76.30-1-21-109 Maria Kaplan 141 East Lake Blvd Unit C-3 Mahopac, NY 10541	76.30-1-135 Anessa DeLeonno 149 East Lake Blvd Unit M-2 Mahopac, NY 10541	76.30-1-136 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-137 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-138 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-139 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659
76.30-1-21-110 Sue Pujak 13366 William Myer Ct Palm Beach Gardens, FL 33410	76.30-1-21-111 Robert Scymra 141 East Lake Blvd Unit D-2 Mahopac, NY 10541	76.30-1-21-112 Rita Bullino 141 East Lake Blvd Unit D-3 Mahopac, NY 10541	76.30-1-136 Greater Ridge Post 5491 VFW PO BOX 132 Mahopac, NY 10541	76.30-1-137 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-138 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-139 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-140 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659
76.30-1-21-115 Arthur Bellini 141 East Lake Blvd Unit E3 Mahopac, NY 10541	76.30-1-21-117 Jana Rodina Tronzo 877 Berkshire Rd Wapping, NY 12594	76.30-1-21-118 David Luberoff 141 East Lake Blvd Unit F-3 Mahopac, NY 10541	76.30-1-138 Main 155 East Lake Blvd Mahopac 60 Mahopac Ave Mahopac, NY 10541	76.30-1-139 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-140 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-141 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-142 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659
76.30-1-21-119 Daniel Cooke 141 East Lake Blvd Unit G1 Mahopac, NY 10541	76.30-1-21-120 David Ranz 389 Rt. 20 Somers, NY 10589	76.30-1-21-122 Ryan Morligh 141 East Lake Blvd Unit M-1 Mahopac, NY 10541	76.30-1-139 Lakeview Realty 104 LLC PO BOX 416 Mahopac, NY 10541	76.30-1-140 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-141 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-142 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-143 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659
76.30-1-21-126 Dawn Ann Schaefer 141 East Lake Blvd Unit J2 Mahopac, NY 10541	76.30-1-21-127 Rose Ranzoni Revoc Living Trust 4 Summer Dr Somers, NY 10589	76.30-1-21-128 Daniel Cooke 141 East Lake Blvd Unit K1 Mahopac, NY 10541	76.30-1-140 Joseph Spillone 149 East Lake Blvd Mahopac, NY 10541	76.30-1-141 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-142 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-143 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-144 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659
76.30-1-21-129 28 Hastings Corp 48 Lake View Ter Mahopac, NY 10541	76.30-1-21-130 David Ranz 389 Rt. 20 Somers, NY 10589	76.30-1-21-131 Sue Pujak 13366 William Myer Ct Palm Beach Gardens, FL 33410	76.30-1-141 James Ranz 60 Harbor Dr Mahopac, NY 10541	76.30-1-142 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-143 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-144 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-145 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659
76.30-1-21-134 Kristina Antonik 141 East Lake Blvd Unit M3 Mahopac, NY 10541	76.30-1-21-132 Burt Cony 34 Kayla Ln Mahopac, NY 10541	76.30-1-21-133 Sue Pujak 13366 William Myer Ct Palm Beach Gardens, FL 33410	76.30-1-142 Eddie Holmes 143 See Ave Mahopac, NY 10541	76.30-1-143 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-144 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-145 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-146 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659
76.30-1-4 Nicole Stern 888 Rt. 6 Mahopac, NY 10541	76.30-1-8 Pocket Ass, LLC 930 South Lake Blvd Mahopac, NY 10541	76.30-1-134 Lake Mahopac Units Realty Corp PO BOX 2058 Newport Beach, CA 92659	76.30-1-143 Victor Menares 78 Harbor Dr Mahopac, NY 10541	76.30-1-144 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-145 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-146 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-147 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659
76.30-1-5 Burt Cony 34 Kayla Ln Mahopac, NY 10541	76.30-1-9 Burt Cony 34 Kayla Ln Mahopac, NY 10541	76.30-1-135 Main The Lake Mahopac Condominiums 60 Mahopac Ave Mahopac, NY 10541	76.30-1-144 Timothy Boyer 710 Route 6 Mahopac, NY 10541	76.30-1-145 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-146 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-147 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-148 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659
76.30-1-15-102 George Daly 149 East Lake Blvd Unit A2 Mahopac, NY 10541	76.30-1-15-103 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-15-104 Samer Abu-Mallouh 149 East Lake Blvd Unit B-1 Mahopac, NY 10541	76.30-1-145 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-146 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-147 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-148 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-149 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659
76.30-1-15-105 Bridlin Repley PO BOX 620 Aranoch, NY 10501	76.30-1-15-106 Jean DeCarre PO BOX 19 Mahopac, NY 10541	76.30-1-15-107 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-146 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-147 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-148 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-149 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-150 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659
76.30-1-15-108 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-15-109 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-15-110 Mohamed Mansour Abu-Mallouh 149 East Lake Blvd Unit D-1 Mahopac, NY 10541	76.30-1-147 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-148 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-149 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-150 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-151 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659
76.30-1-15-142 Vincenzo Moschetti 722 Rt 6 - Unit G Mahopac, NY 10541	76.30-1-15-144 Kevin McDevitt 86 Lake Dr Paul River, NY 10563	76.30-1-15-145 Melissa Winger 23 Sunnyside Rd Katonah, NY 10524	76.30-1-148 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-149 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-150 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-151 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-152 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659
76.30-1-15-146 Elizabeth France R.R. 42 PO BOX 38 PO BOX 38 Katonah, NY 10524	76.30-1-27 Dan W. Realty, LLC 721 Rt 6 721 Rt 6 Mahopac, NY 10541	76.30-1-24 728 Route 6 LLC 148 East Lake Blvd Mahopac, NY 10541	76.30-1-149 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-150 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-151 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-152 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-153 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659
76.30-1-25 Mahopac Central School Dist 178 East Lake Blvd Mahopac, NY 10541	76.30-1-30 Mahopac Volunteer Fire Dept PO BOX 267 Mahopac, NY 10541	76.30-1-37 Christopher Beck 78 Harbor Dr Mahopac, NY 10541	76.30-1-150 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-151 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-152 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-153 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-154 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659
76.30-1-28 Mahopac Volunteer Fire Dept PO BOX 267 Mahopac, NY 10541	76.30-1-2 Mahopac Volunteer Fire Dept PO BOX 267 Mahopac, NY 10541	76.30-1-3 Mahopac Volunteer Fire Dept PO BOX 267 Mahopac, NY 10541	76.30-1-151 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-152 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-153 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-154 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-155 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659
76.30-1-29 Burt Cony 34 Kayla Ln Mahopac, NY 10541	76.30-1-6 Board of Managers of the Lake PO BOX 2058 Newport Beach, CA 92659	76.30-1-7 Burt Cony 34 Kayla Ln Mahopac, NY 10541	76.30-1-152 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-153 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-154 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-155 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-156 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659
76.30-1-8 Lake Mahopac Units Realty Corp PO BOX 2058 Newport Beach, CA 92659	64.20-1-9 State Of New York 40 Glenville Ave Carmel, NY 10512		76.30-1-153 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-154 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-155 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-156 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-157 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659

Zoning Schedule
Owner - John Chang - 716 Route 6, Mahopac, NY 10541
Mailing Address - 2675 Cecile Drive, Yorktown Heights, NY 10598

ZONE - C TM# 76.30-1-26 C - COMMERCIAL	REQUIRED	EXISTING	VARIANCE
MIN LOT AREA (SF)	40,000SF	16,522SF	VARIANCE PREVIOUSLY GRANTED
MIN LOT WIDTH (FT)	200FT	149.32FT	VARIANCE PREVIOUSLY GRANTED
MIN LOT DEPTH (FT)	200FT	110.58FT	VARIANCE PREVIOUSLY GRANTED
MIN YARD DIMENSIONS (FT)			
FRONT	40FT	32.3FT	VARIANCE PREVIOUSLY GRANTED
SIDE	20FT	9.6FT	VARIANCE PREVIOUSLY GRANTED
REAR	20FT	0FT	VARIANCE PREVIOUSLY GRANTED
MINIMUM FLOOR AREA MAX BUILDING HEIGHT (FT) MAX LOT COVERAGE (%)	5,000SF 35FT 15%	4,400SF 35FT 15.7%	NONE NONE
TOTAL REQUIRED PARKING: 23 PS* (12 PS + 11 PS = 23 PS)	DELI: 2007 SF/200 SF = 12 PS CHAPEL: 32 SEATS/3 = 11 PS	18 PS EXISTING	5 PS VARIANCE

*MASS IS 7PM-10PM ON WEDNESDAY AND SATURDAY.
DELI CLOSURES AT 6 PM WEEKDAYS AND 3PM ON SATURDAY.
**CHAPEL: 1 SPOT/3 SEATS
***DELI: 1 SPOT/200 SF



U. S. ROUTE 6

ARCHITECTURAL VISIONS, LLC
2 MUSCOOT ROAD NORTH MAHOPAC NY, 10541
P: 845-628-6613 F: 845-628-2807
JOEL.GREENBERG@ARCHVISIONS.COM

PROJECT: JOHN CHANG
PROJECT ADDRESS: 716 ROUTE 6, MAHOPAC, NY 10541
MAILING ADDRESS: 2675 CECILE DR, YORKTOWN HEIGHTS, NY 10598
TAX MAP NO. 76.30-1-26

SITE PLAN

ISSUANCE	DATE
FOR REVIEW	05/20/2024
FOR REVIEW	05/20/2024
FOR REVIEW	05/20/2024
FOR REVIEW	05/20/2024

SCALE AS NOTED
DRAWN BY/CHKD BY JT /MSL/JG
PROJECT NO. 12-22-159

S-100

IT IS A VIOLATION OF STATE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM ON THESE PLANS AND DOCUMENTS IN ANY WAY, PER STATE LAW, IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED. THE ALTERING ARCHITECT SHALL AFFIX TO HIS/HER ITEM THE SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS/HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION. THIS ARCHITECT DENIES ANY AND ALL RESPONSIBILITY FOR ALTERNATIONS OF THESE PLANS AND DOCUMENTS BY OTHERS AND EXPRESSLY DENIES PERMISSION TO OTHERS TO ALTER THESE PLANS AND DOCUMENTS.



Victoria's CATERING DELI & GROCERY

Catering

Breakfast

Lunch

PLUMBING & HEATING 914-245-4210

Change - Elev. & Parking



Victoria's CATERING DELI & GROCERY

Catering

Breakfast

Lunch

DEBASP
PLUMBING & HEATING
914-245-4210

Change Cur. & Parking



CHANG Parking Lot



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 Mainpin Ave.
Mahopac, N.Y. 10541
(845) 828-1500

Handwritten initials

IN THE MATTER OF THE APPEAL
OF

Smajlaj

TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date June 27, 2023

Application For (circle applicable) Area Variance (156-15) Use Variance Interpretation 2MOA
 Name of Property Owner **NIKOLLE Smajlaj** Address: 579 Croton Falls Rd Carmel, NY 10512
 Mailing Address: 579 Croton Falls Rd. Carmel, NY 10512 Phone Number(s):
 Zoning District: R Tax Map: 77.13 2 44
 Applicant is: (circle one) Owner (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]
 E-Mail Address:

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS

List all improvements (1 family dwelling, pool, etc.) 1 Family Dwelling & Freestanding Garage

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: Survey, Plans & elevations

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES NO
 Explain: Yes, Croton Falls Road - A County Road

I, the applicant, am seeking permission to:

CODE REQUIRES	ALLOWS	PROVIDED	VARIANCE REQUIRED
	REAR YARD - 15'	0 Ft.	15'
	FRONT YARD - 40' (Munich Rd)	37'	3'

State of New York)

County of Putnam)

The undersigned petitioner, being duly sworn, deposes and says that they (she) has read the foregoing petition and knows the content thereof, and that the same is true to the best of their knowledge except as to the matters therein stated to be on information and belief, and as to those matters they (she) believes to be true.

Sworn to before me this 10 day of July 2023

Signature of Notary

PATRICIA AMICUCCI
Notary Public, State of New York
No. 01AM6431878
Qualified in Putnam County
Commission Expires 04/18/20 26

Signature of Petitioner
Petitioner

Date



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

AUTHORIZATION FORM

RE: Property of: Nikolaj Smajlj (Owner)
Located at: 579 Croton Falls Road, Carmel, NY 10512 (Address) (City, Town, Village)
Tax Map #: 77.13-2-44
In the matter of: Area Variance- West Sideyard (Variance Request)

To whom it may concern:

This letter is to authorize Joel Greenberg Of Architectural Visions

a/an (check one) Attorney Engineer Architect Other Other ()

to apply for the required variance(s) on the above noted property and to sign all necessary papers and make all necessary representations on my behalf in connection with the above-mentioned matter.

Countersigned: Joel Greenberg (Representative)
Joel Greenberg (Print Name)

Signed: Ernest Smajlj (Owner of Property)
Ernest Smajlj (Print Name)

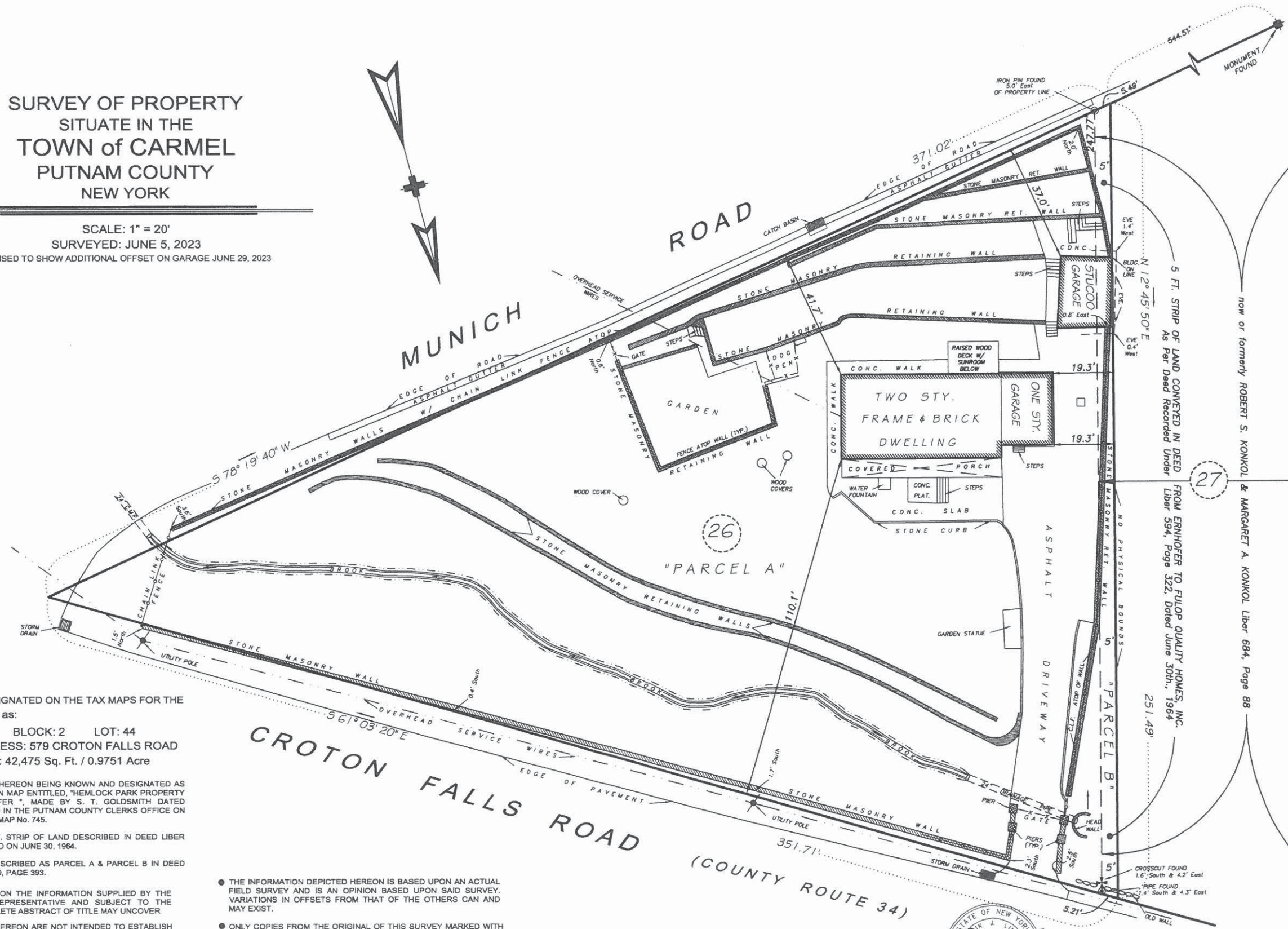
Mailing Address: 2 Muscoot Road North
Mahopac
State: NY Zip: 10512
Telephone # 845-628-6613
Date: 6/28/2023
E-mail: joel.greenberg@arch-visions.com

Mailing Address: 579 Croton Falls Road
Carmel
State: NY Zip: 10512
Telephone #

NOTE: The willful submission of false or inaccurate information on this application may result in the dismissal of the application, or the revocation of any action taken on the application, or both.

SURVEY OF PROPERTY SITUATE IN THE TOWN of CARMEL PUTNAM COUNTY NEW YORK

SCALE: 1" = 20'
SURVEYED: JUNE 5, 2023
REVISED TO SHOW ADDITIONAL OFFSET ON GARAGE JUNE 29, 2023



● PREMISES ARE DESIGNATED ON THE TAX MAPS FOR THE TOWN of CARMEL as:
SECTION: 77.13 BLOCK: 2 LOT: 44
PROPERTY ADDRESS: 579 CROTON FALLS ROAD
PROPERTY AREA: 42,475 Sq. Ft. / 0.9751 Acre

● THE PREMISES SHOWN HEREON BEING KNOWN AND DESIGNATED AS LOT No. 26 ON A CERTAIN MAP ENTITLED, "HEMLOCK PARK PROPERTY OF ALBERT T. ERNHOFER ", MADE BY S. T. GOLDSMITH DATED JANUARY 26, 1955, FILED IN THE PUTNAM COUNTY CLERKS OFFICE ON APRIL 25, 1955 AS FILED MAP No. 745.

TOGETHER WITH A 5 FT. STRIP OF LAND DESCRIBED IN DEED LIBER 594, PAGE 322 RECORDED ON JUNE 30, 1964.

SAID PARCELS BOTH DESCRIBED AS PARCEL A & PARCEL B IN DEED RECORDED IN LIBER 1829, PAGE 393.

● THIS MAP IS BASED UPON THE INFORMATION SUPPLIED BY THE CLIENT AND/OR HIS REPRESENTATIVE AND SUBJECT TO THE FINDINGS THAT A COMPLETE ABSTRACT OF TITLE MAY UNCOVER

● THE OFFSETS SHOWN HEREON ARE NOT INTENDED TO ESTABLISH PROPERTY LINES FOR THE ERECTION OF FENCES, STRUCTURES OR ANY OTHER IMPROVEMENTS.

● ENCROACHMENTS BELOW GRADE AND/OR SUBSURFACE FEATURES, IF ANY, NOT LOCATED OR SHOWN HEREON.

● UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAWS.

● THE INFORMATION DEPICTED HEREON IS BASED UPON AN ACTUAL FIELD SURVEY AND IS AN OPINION BASED UPON SAID SURVEY. VARIATIONS IN OFFSETS FROM THAT OF THE OTHERS CAN AND MAY EXIST.

● ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S SEAL SHALL BE CONSIDERED TO BE TRUE VALID COPIES.

● THIS MAP WAS PREPARED FROM AN ACTUAL FIELD SURVEY CONDUCTED ON THE DATE SHOWN AND THAT SAID SURVEY WAS PERFORMED IN ACCORDANCE WITH THE EXISTING " CODE OF PRACTICE FOR LAND SURVEYS " ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.

PREPARED FOR: NIKOLLE SMAJLAJ

Link
Land Surveyors P.C.
21 Clark Place, Suite 1-B Mahopac N.Y. 10541
Phone 845-628-5857



COPYRIGHT 2023
LINK LAND SURVEYOR P.C. ALL RIGHTS RESERVED. THE UNAUTHORIZED REPRODUCTION AND OR DISTRIBUTION OF THIS DOCUMENT IS ILLEGAL, AND IS A VIOLATION UNDER UNITED STATES COPYRIGHT LAWS.

5 FT. STRIP OF LAND CONVEYED IN DEED LIBER 594, PAGE 322, DATED JUNE 30th, 1964
FROM ERNHOFER TO FILIOP QUALITY HOMES, INC.
As Per Deed Recorded Under
now or formerly ROBERT S. KONKOL & MARGARET A. KONKOL Liber 684, Page 88

26

27



Smajlić



Smajlaj