

JOHN MAXWELL
Chairman

PHILIP AGLIETTI
Vice-Chair

TOWN OF CARMEL
ZONING BOARD OF APPEALS



60 McAlpin Avenue
Mahopac, New York 10541
Tel. (845) 628-1500 – Ext 187
www.ci.carmel.ny.us

MICHAEL
CARNAZZA
Director of Code
Enforcement

BOARD MEMBERS

ROSE FABIANO
SILVIO BALZANO
JOHN STARACE
JULIE MCKEON

LEGAL NOTICE

By the Zoning Board of Appeals of the Town of Carmel pursuant to Section 267 Town Law, notice is hereby given that a hearing will be held on:

AUGUST 31, 2023 – 7:30 P.M.

To hear the following applications:

HOLD OVER APPLICATIONS:

1. Application of **LIZ & PAT MARTIN** for a Variation of Section 156-15 seeking a Variance for permission to relocate accessory apartment (no setback variance needed). The property is located at 151 Secor Road, Mahopac NY and is known as Tax Map #74.12-2-56.

Code Requires/Allows	Provided	Variance Required
Single Family House w/accessory apt can be detached if existing prior to 1998.	Separate cottage as an accessory apartment being relocated	To relocate accessory apt./cottage, therefore, not existing prior to 1998.

2. Application of **JOHN CHANG** for a Variation of Section 156-15 seeking a Variance for permission to retain church on 2nd floor. The property is located at 716 Route 6, Mahopac NY and is known as Tax Map #76.30-1-26.

Code Requires/Allows	Provided	Variance Required
1 space/200 sf – Deli		
23/07/100 = 12 ps		

1 ps/3 seats – church		
32 seats/3 = 11 ps		
Total 23 ps	18 ps	5 ps

NEW APPLICATIONS:

3. Application of **PATRICK VETERE** for a Variation of Section 156-15 seeking a Variance for permission to construct a deck in the rear of property. The property is located at 56 Entrance Way, Mahopac NY and is known as Tax Map #74.43-1-18.1.

Code Requires/Allows	Provided	Variance Required
15'	11.7'	3.3'

4. Application of **THOMAS McKENNA** for a Variation of Section 156-15 seeking a Variance for permission to construct addition with 15' property setback instead of 20' required by Code, and retain existing shed. The property is located at 100 Macgregor Drive, Mahopac NY and is known as Tax Map #64.17-1-46.

Code Requires/Allows	Provided	Variance Required
20' setback - addition	15' setback	5'
10' side – shed	3'	7'

5. Application of **LORI DESETTO** for a Variation of Section 156-15 seeking a Variance for permission to retain shed. The property is located at 71 Rebecca Lane, Carmel NY and is known as Tax Map #76.8-1-19.

Code Requires/Allows	Provided	Variance Required
10' side	9.6'	0.4'

6. Application of **MARC PEKOWSKY** for a Variation of Section 156-15 seeking a Variance for permission to install a pre-fabricated garage on property. The property is located at 43 Benjamin Rd., Mahopac NY and is known as Tax Map #75.13-1-37.

Code Requires/Allows	Provided	Variance Required
40' front	15'	25'
20' side	10'	10'

7. Application of **CARL & ANITA ALBANO** for a Variation of Section 156-45.2B(3) seeking a Variance for permission to allow 1,640 square foot accessory apartment where 900 square foot maximum is allowed. The property is located at 7 Albano Ridge, Carmel NY and is known as Tax Map #55.14-1-26.324.

Code Requires/Allows	Provided	Variance Required
Apartment should be between 400 s.f. & 900 s.f.	1,640 s.f.	740 s.f.

8. Application of **CHRISTOPHER GRAHAM** for a Variation of Section 156-15 seeking a Variance for permission to build addition at 4.75' from the left side of property line. The property is located at 20 Front Street, Mahopac NY and is known as Tax Map #76.6-1-4.

Code Requires/Allows	Provided	Variance Required
20 ft.	4.75 ft.	15.25 ft.

9. Application of **ROBERT ALTERO** for a Variation of Section 156-15 seeking a Variance for permission to retain gazebo and legalize room above garage. The property is located at 3 Curry Spur, Mahopac NY and is known as Tax Map #53.12-1-17

Code Requires/Allows	Provided	Variance Required
10' rear (gazebo)	2'	8'
25' front (garage)	0' (over property line. Easement agreement needed.)	25'

10. Application of **MATTHEW SIMON** for a Variation of Section 156-15 seeking a Variance for permission to retain a shed that's existing 6' from rear property line. The property is located at 20 Red Brook Road, Mahopac NY and is known as Tax Map #74.12-1-18

Code Requires/Allows	Provided	Variance Required
10'	6'	4'

11. Application of **JOHN CICERALE** for an Interpretation to retain 2 residences on one lot (currently three 1-family dwellings.) There are three residential structures with history of residential use. The main structure (31) has recently been destroyed by a fire in March 2023. It will be rebuilt upon receipt of insurance proceeds. The "cabin" was occupied residentially upon Applicant's purchase in 2021 and has not been discontinued during Applicant's ownership. The third residential structure (27) has fallen into severe disrepair and has not been resided in for an extended period of time. Applicant wishes to discontinue the legal residential use of the "cabin", raze the house in disrepair (27) and place a new one-bedroom structure which is smaller than the existing structure (27). Applicant seeks an Interpretation of §156-47 permitting the replacement of the single-family house (27) which is of "a more restrictive nature" (156-47 A-2). In the alternative, Applicant seeks a variance of §156-10 to permit two residential structures on one lot. The property is located at 27-31 Causeway Park, Carmel NY and is known as Tax Map #43.-1-53.

MISCELLANEOUS:

MINUTES: **July 27, 2023**

By Order of the Chairman,

John Maxwell



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

me

IN THE MATTER OF THE APPEAL
OF
Martin

Application Date June 27, 2023

TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application For (circle applicable): Area Variance (156-15) Use Variance Interpretation 280A

Name of Property Owner: Liz & Pat Martin Address: 151 Secor Rd. Mahopac, NY 10541

Mailing Address: 151 Secor Rd. Mahopac, NY 10541 Phone Number(s): _____

Zoning District: R Tax Map: 74.12 - 2 - 56

Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]

E-Mail Address: _____

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
<u>1982</u>	<u>add 12'x12' bedroom to existing bldg on prop</u>	<u>granted SMO</u>

List all improvements (1 family dwelling, pool, etc.) (1) Family House & Cottage - 2 Shed

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: _____

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO
Explain: Secor Road, A Country Road

I, the applicant, am seeking permission to: Relocate Accessory apt. (no setback variance needed)

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
Single Family House	Sep Cottage as an accessory Apt.	To relocate accessory apt. cottage
<u>w/accessory apt can be detached if existing prior to 1998</u>	<u>Being Relocated</u>	<u>therefore not existing prior to 1998</u>

State of New York)
County of Putnam)
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true

Sworn to before me this 16 day of July, 2023

PATRICIA AMICUCCI
Notary Public, State of New York
No. 01AM6431878
Qualified in Putnam County
Commission Expires 04/18/2026

Petitioner *Jill Grealy* Date _____



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

AUTHORIZATION FORM

RE: Property of: Elizabeth & Patrick Martin
Located at: 151 Secor Road (Owner) Mahopac, NY 10541
Tax Map #: 74.12-2-56 (Address) (City, Town, Village)
In the matter of: Relocating Existing Apartment
(Variance Request)

To whom it may concern:

This letter is to authorize Joel Greenberg

a/an (check one) Attorney Engineer Architect Other _____

to apply for the required variance(s) on the above noted property and to sign all necessary papers and make all necessary representations on my behalf in connection with the above-mentioned matter.

Countersigned: Joel Greenberg
(Representative)
Joel Greenberg
(Print Name)

Signed: Elizabeth Martin
(Owner of Property)
Elizabeth Martin
(Print Name)

Mailing Address: 2 Muscoot Rd North
Mahopac

Mailing Address: 151 Secor Rd.
Mahopac,

State: NY Zip: 10541

State: NY 10541

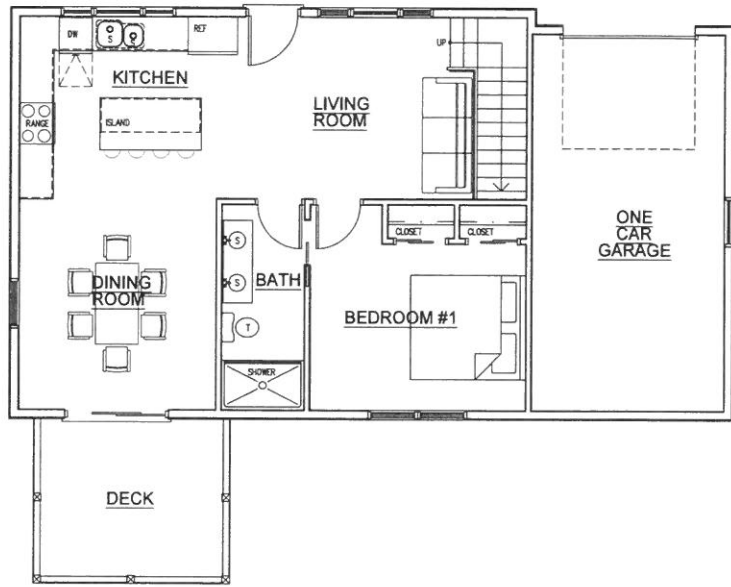
Telephone # 845-628-6613

Telephone # 97

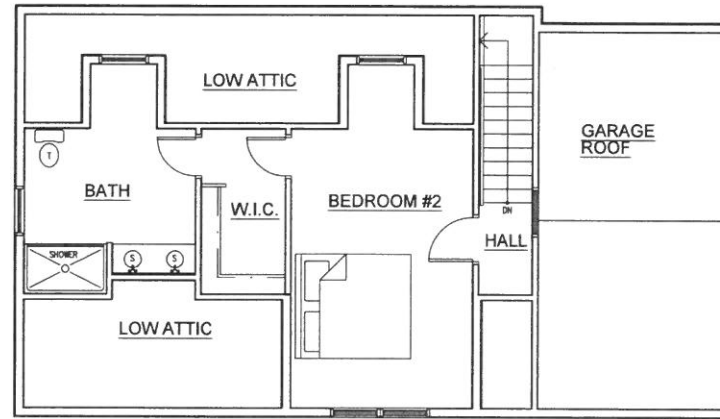
Date: 7/10/2023

E-mail: joel.greenberg@arch-visions.com

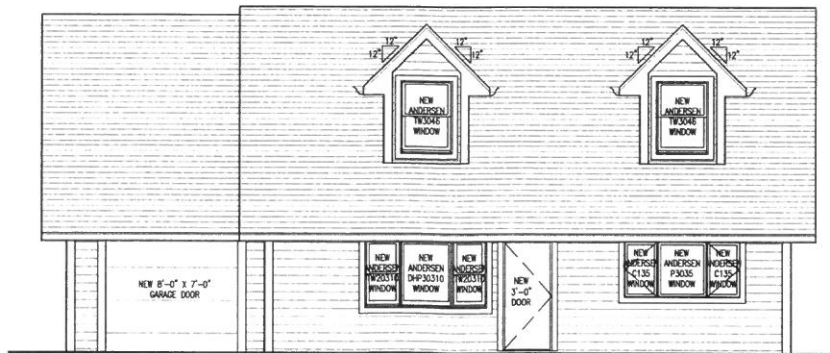
NOTE: The willful submission of false or inaccurate information on this application may result in the dismissal of the application, or the revocation of any action taken on the application, or both.



1 PROPOSED FIRST FLOOR PLAN
1/4"=1'-0"



2 PROPOSED SECOND FLOOR PLAN
1/4"=1'-0"



3 FRONT FRONT ELEVATION
1/4"=1'-0"

ARCHITECTURAL VISIONS, LLC

2 MUSCOOT ROAD NORTH
MAHOPAC NY, 10541
JOEL.PRESNER@ARCHVISIONS.COM

P: 845-628-6613
F: 845-628-2827

PROJECT:
MARTIN RESIDENCE
PROJECT ADDRESS: 20 DORNISH RD.
MAILING ADDRESS: 20 DORNISH RD.

2 STORY COTTAGE PLANS

ISSUANCE
NO. REVISED

SCALE
AS NOTED
DRAWN BY: CHM/KD
BY: MHA/JLO

PROJECT NO.
05-23-052

A-100



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

dlc

IN THE MATTER OF THE APPEAL
OF
John Chang

Application Date: June 12, 2023

TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application For (circle applicable): Area Variance 156-15 Use Variance Interpretation 280A
Name of Property Owner: John Chang Address: 2675 Cecile Dr. Yorktown Heights, NY 10598
Mailing Address: 716 Route 6 Mahopac, NY 10541 Phone Number(s): 9
Zoning District: C Tax Map: 76.30 - 1 - 26
Applicant is: (circle one) Owner (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]
E-Mail Address: _____

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS

List all improvements (1 family dwelling, pool, etc.) Bldg. - first Floor-Deli, Second Floor-Church

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: Site Plans, Floor Plans, Elevations

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO
Explain: State Highway Route 6

I, the applicant, am seeking permission to: Retain Church on 2nd floor

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
1 Space /200 Sf -Deli		
23/07/100=12ps		
1ps/3 seats-church		
32 seats/3= 11 ps		
total 23 ps	18 PS	5 PS

State of New York)
ss:

County of Putnam)

The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true

Sworn to before me this 10 day of July, 2023

[Signature]

PATRICIA AMICUCCI
Notary Public, State of New York
No. 01AM6431878
Qualified in Putnam County
Commission Expires 04/18/2026

Petitioner *[Signature]* Date _____



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

AUTHORIZATION FORM

RE: Property of: John Chang
Located at: 716 Route 6 (Address), Mahopac, NY 10541 (City, Town, Village)
Tax Map #: 76.30-1-26
In the matter of: Parking Variance (Variance Request)

To whom it may concern:

This letter is to authorize Joel Greenberg
a/an (check one) Attorney Engineer Architect Other ()
to apply for the required variance(s) on the above noted property and to sign all necessary papers and make all necessary representations on my behalf in connection with the above-mentioned matter.

Countersigned: Joel Greenberg (Representative)
Joel Greenberg (Print Name)

Signed: John Chang (Owner of Property)
John Chang (Print Name)

Mailing Address: 2 muscoot Road North
Mahopac
State: NY Zip: 10541
Telephone # 845-628-6613
Date: 6/10/2023
E-mail: joel.greenberg@arch-visions.com

Mailing Address: 2675 Cecile Dr.
Yorktown Heights,
State: NY Zip: 10541
Telephone # _____

NOTE: The willful submission of false or inaccurate information on this application may result in the dismissal of the application, or the revocation of any action taken on the application, or both.

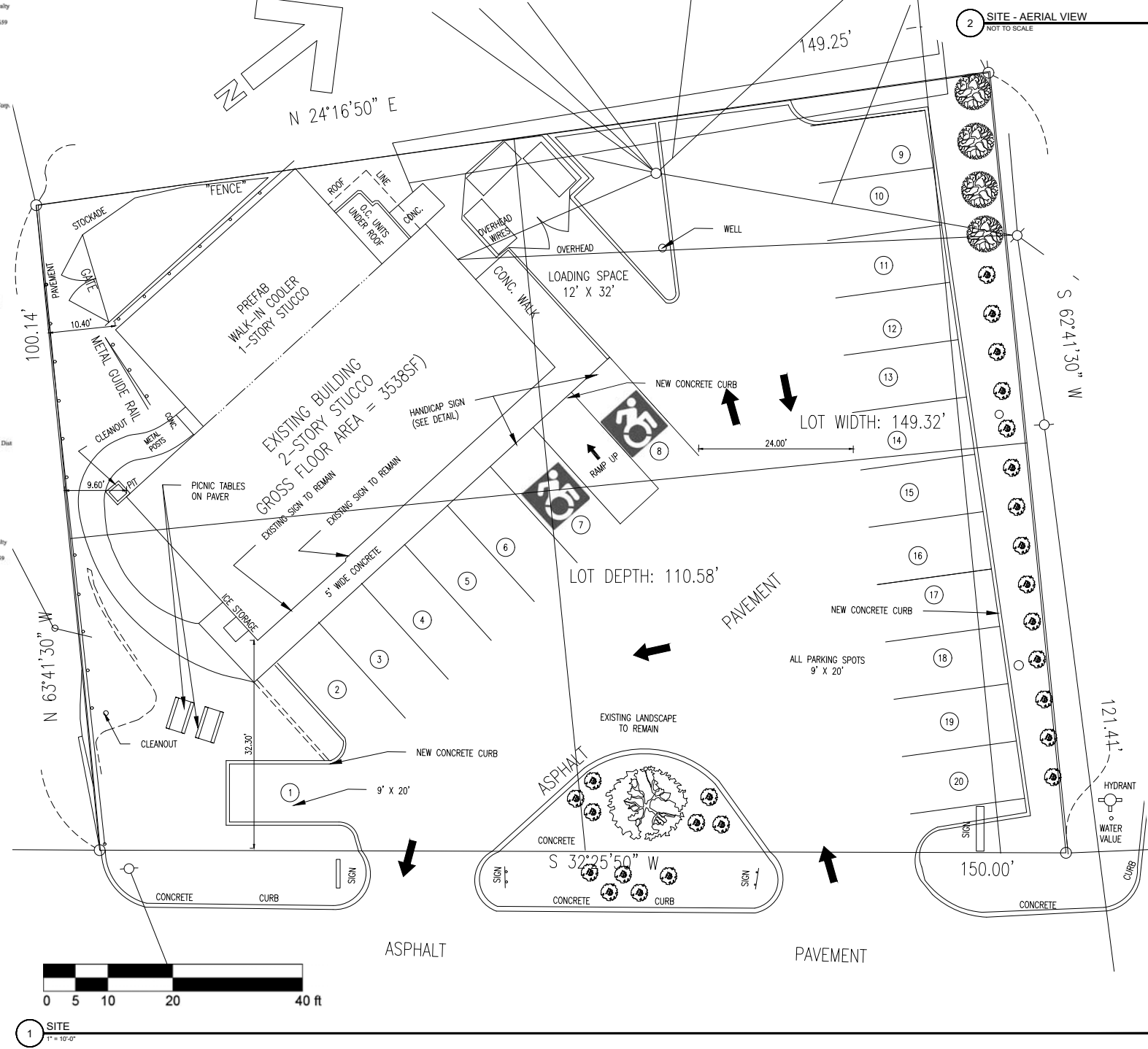
PROPERTIES WITHIN 500':

76.30-1-47 Brandon Luchini 1 Baldwin St Mahopac, NY 10541	76.30-1-41 Mason Martin 1 Onondaga Rd Mahopac, NY 10541	76.30-1-111 Joseph Russo 1 Onondaga Rd Mahopac, NY 10541	76.30-1-11-111 Elizabeth Bales 149 East Lake Blvd Unit D-2 Newport Beach, CA 92659	76.30-1-15-113 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-15-113 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659
76.30-1-42 Anthony Pugliese 15 Hawley Ln Mahopac, NY 10541	76.30-1-99 David Laven 127 Lakeside Dr Mahopac, NY 10541	76.30-1-1 Victor Antonucci 811 Hopewell St Ft Mill, SC 29708	76.30-1-15-114 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-15-115 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-15-116 Board of Managers of the La PO BOX 2058 Newport Beach, CA 92659
76.30-1-21-101 Artur Blaszczak 141 East Lake Blvd Unit A-1 Mahopac, NY 10541	76.30-1-21-114 Michelle Seymour 141 East Lake Blvd Apt B2 Mahopac, NY 10541	76.30-1-21-121 Luis Pineda 141 East Lake Blvd Unit G-3 Mahopac, NY 10541	76.30-1-15-117 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-15-118 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-15-119 Melissa Prince 23 Sunnyside Rd Katonah, NY 10524
76.30-1-21-123 Francis Reynolds 127 Lakeside Dr Mahopac, NY 10541	76.30-1-21-123 Nikki Crochowski 127 Lakeside Dr Yorktown Heights, NY 10598	76.30-1-21-121 Maine The Water Club at Lake Mahopac 60 Mahopac Ave Mahopac, NY 10541	76.30-1-15-120 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-15-121 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-15-122 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659
76.30-1-21-112 Thomas Carroll 141 East Lake Blvd E-1 Mahopac, NY 10541	76.30-1-21-116 Helen Mueller 141 East Lake Blvd H-3 Mahopac, NY 10541	76.30-1-21-124 Bryan Mack 141 East Lake Blvd H-3 Mahopac, NY 10541	76.30-1-15-123 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-15-124 Lisa McCormick 149 East Lake Blvd Unit H-3 Mahopac, NY 10541	76.30-1-15-125 Hilda Colby 149 East Lake Blvd J1 Mahopac, NY 10541
76.30-1-21-131 Michael Cimino 141 East Lake Blvd L-1 Mahopac, NY 10541	76.30-1-21-132 DMAM Enterprises, LLC 26 Averett Dr Mahopac, NY 10541	76.30-1-21-134 The Water Club at Lake Mahopac 141 East Lake Blvd M1 Mahopac, NY 10541	76.30-1-15-126 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-15-127 Raj Ahluwalia 149 East Lake Blvd Unit J-3 Mahopac, NY 10541	76.30-1-15-128 Equity Trust Company 8 Burnwood Ct Mt Kisco, NY 10549
76.30-1-21-133 Stephen Tomasz 141 East Lake Blvd M2 Mahopac, NY 10541	76.30-1-21-103 Maide B Saraceno Supplemental 141 East Lake Blvd Unit A-3 Mahopac, NY 10541	76.30-1-21-102 William Vance 141 East Lake Blvd Unit A-3 Mahopac, NY 10541	76.30-1-15-129 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-15-130 George Ryker 2723 Quaker Church Rd Yorktown Heights, NY 10598	76.30-1-15-131 Aula Stone 149 East Lake Blvd Unit L-1 Mahopac, NY 10541
76.30-1-21-104 Robert Mazari 105 Guyton Dr Mahopac, NY 10541	76.30-1-21-105 Anthony Swanson 2797 Hoyt St Yorktown Heights, NY 10598	76.30-1-21-106 William Vance 141 East Lake Blvd Unit B-3 Mahopac, NY 10541	76.30-1-15-132 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-15-133 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-15-134 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659
76.30-1-21-107 Diana Cirino 12 Rebecca Ln Canter, NY 10512	76.30-1-21-108 Elizabeth Hengstberg 141 East Lake Blvd C-2 Mahopac, NY 10541	76.30-1-21-109 Marin Kaplan 141 East Lake Blvd Unit C-3 Mahopac, NY 10541	76.30-1-15-135 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-15-136 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-15-137 John Pomato 15 Harbor Ln Mahopac, NY 10541
76.30-1-21-110 Sue Pujak 13366 William Myer Ct Palm Beach Gardens, FL 33418	76.30-1-21-111 Robert Secawa 141 East Lake Blvd Unit 2-D Mahopac, NY 10541	76.30-1-21-112 Eva Ballo 141 East Lake Blvd Unit D-3 Mahopac, NY 10541	76.30-1-15-138 Greater Mahopac Post 5491 VFW PO BOX 132 Mahopac, NY 10541	76.30-1-2 Mahopac Ridge Bldg Inc PO BOX 132 Mahopac, NY 10541	76.30-1-14 DAJ East Lake Realty Corp 69 Burnwood Rd Mahopac, NY 10541
76.30-1-21-113 Arthur Butts 141 East Lake Blvd Unit E3 Mahopac, NY 10541	76.30-1-21-117 Jesse Roman, trustee 877 Barkham Rd Wingdale, NY 12594	76.30-1-21-118 Daniel Liberman 141 East Lake Blvd Unit F-3 Mahopac, NY 10541	76.30-1-15-139 Main 155 EastLakeAssoc/LakeMahopac/Conc 60 Mt. Alpin Ave Mahopac, NY 10541	76.22-1-3 Tara Realty, Inc. 305 East Lake Blvd Apt A Mahopac, NY 10541	76.22-1-40 141 East Lake LLC 148 East Lake Blvd Mahopac, NY 10541
76.30-1-21-119 Daniel Cooke 141 East Lake Blvd Unit G1 Mahopac, NY 10541	76.30-1-21-120 David Ransel 380 Rt. 202 Somers, NY 10589	76.30-1-21-122 Bryan Murphy 141 East Lake Blvd Unit H-1 Mahopac, NY 10541	76.22-1-4 Lakeview Realty 168 LLC PO BOX 416 Mahopac, NY 10541	76.22-1-40 Hilary Manor Realty Corp PO BOX 416 Mahopac, NY 10541	76.22-1-40 Matthew Spillina 145 East Lake Blvd Mahopac, NY 10541
76.30-1-21-126 Dawn Ann Schaefer 141 East Lake Blvd Unit J2 Mahopac, NY 10541	76.30-1-21-127 Rose Rensetti Revoc Living Trust 4 Somerset Dr Somers, NY 10589	76.22-1-58 Joseph Spillina 149 East Lake Blvd Mahopac, NY 10541	76.30-1-21-128 Daniel Cooke 141 East Lake Blvd Unit K1 Mahopac, NY 10541	76.30-1-38 Dennis Ryan 2 Baldwin St Mahopac, NY 10541	76.5-3-3 Power Repairs Inc 1 Marina Dr Mahopac, NY 10541
76.30-1-21-129 28 Hamilton Corp 48 Lake View Ter Mahopac, NY 10541	76.30-1-21-130 David Ransel 380 Rt. 202 Somers, NY 10589	76.30-1-40 Jose Vilalobos 2 Onondaga Rd Mahopac, NY 10541	76.30-1-46 Dariusz Patrylo 30 Mahopac Ave Mahopac, NY 10541	76.30-1-34 Apple 65 Corp 708 Ludg Ave Ste 208 Somers, NY 10582	76.30-1-22 Bristol Realty LLC 402 Rt 6 Mahopac, NY 10541
76.30-1-21-136 Kristina Antosh 141 East Lake Blvd Unit M3 Mahopac, NY 10541	76.30-1-39 Bore Conq 34 Kayla Ln Mahopac, NY 10541	76.30-1-45 James Roman 60 Heather Dr Mahopac, NY 10541	76.30-1-23 ORC Mahopac LLC 135 Mahopac Ave #17 New York, NY 10016	76.30-1-35 Town Of Canter 40 Mahopac Ave Mahopac, NY 10541	76.30-1-30 Mahopac Central School Dist 178 East Lake Blvd Mahopac, NY 10541
76.30-1-4 Nicole Stern 888 Rt 6 Mahopac, NY 10541	76.30-1-18 Pocket Area, LLC 950 South Lake Blvd Mahopac, NY 10541	76.30-1-64 Vicent Menares 70 Heather Dr Mahopac, NY 10541	76.30-1-24 Monica Realty Management 278 Bushkillville Rd 278 Bushkillville Rd Mahopac, NY 10541	76.30-1-35 Town Of Canter 40 Mahopac Ave Mahopac, NY 10541	76.30-1-28 Joseph Scollan PO BOX 79 Mahopac, NY 10541
76.30-1-5 Bore Conq 34 Kayla Ln Mahopac, NY 10541	76.30-1-15 Main The Lake Mahopac Condominiums 60 Mahopac Ave Mahopac, NY 10541	76.30-1-25 Timothy Byrner 710 Route 6 Mahopac, NY 10541	76.30-1-31 Frank Fazio Inc 710 Route 6 PO BOX 102 Mahopac, NY 10541	76.30-1-28 Joseph Scollan PO BOX 79 Mahopac, NY 10541	76.30-1-15-139 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659
76.30-1-15-102 George Daly 149 East Lake Blvd Unit A2 Mahopac, NY 10541	76.30-1-15-103 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-15-104 Samer Abu-Mulh 149 East Lake Blvd Unit B-1 Mahopac, NY 10541	76.30-1-26 Luna One Management Corp 2675 Conits Dr Yorktown Heights, NY 10598	76.30-1-15-138 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-15-142 Mark Lakatos 722 Rt 6 Unit F Mahopac, NY 10541
76.30-1-15-105 Bresha Reppel PO BOX 630 Aranah, NY 10501	76.30-1-15-106 Jean DeCesare PO BOX 619 Mahopac, NY 10541	76.30-1-15-107 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-15-137 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-15-139 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	
76.30-1-15-108 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-15-109 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-15-110 Mohamed Mansour Abu-Mulh 149 East Lake Blvd Unit D-1 Mahopac, NY 10541	76.30-1-15-140 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-15-141 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	
76.30-1-15-142 Vincenzo Moschella 722 Rt 6 - Unit G Mahopac, NY 10541	76.30-1-15-144 Keris McGee 86 Lds Dr Ft Mill, NY 10536	76.30-1-15-145 Melissa Winger 23 Sunnyside Rd Katonah, NY 10524	76.30-1-15-141 Lake Mahopac Units Realty PO BOX 2058 Newport Beach, CA 92659	76.30-1-15-142 Mark Lakatos 722 Rt 6 Unit F Mahopac, NY 10541	
76.30-1-15-146 Elizabeth Prince R.R. #2 PO BOX 38 PO BOX 38 Katonah, NY 10524	76.30-1-27 Ian W. Realty, LLC 725 Rt 6 725 Rt 6 Mahopac, NY 10541	76.22-1-54 728 Route 6 LLC 148 East Lake Blvd Mahopac, NY 10541	76.30-1-37 Christopher Bath 79 Heather Dr Mahopac, NY 10541		
76.22-1-55 Mahopac Central School Dist 178 East Lake Blvd Mahopac, NY 10541	76.22-1-30 Mahopac Volunteer Fire Dept PO BOX 267 Mahopac, NY 10541	76.30-1-3 Christy Bath 79 Heather Dr Mahopac, NY 10541			
76.22-1-58 Mahopac Volunteer Fire Dept PO BOX 267 Mahopac, NY 10541	76.22-1-2 Knights of Columbus 5743 PO BOX 66 PO BOX 66 Mahopac, NY 10541	76.30-1-3 Main WaterClub/Condo/Mahopac Dev/Corp 60 Mt. Alpin Ave Mahopac, NY 10541			
76.30-1-20 Bore Conq 34 Kayla Ln Mahopac, NY 10541	76.30-1-6 Board of Managers of the Lake PO BOX 2058 Newport Beach, CA 92659	76.30-1-7 Bore Conq 34 Kayla Ln Mahopac, NY 10541			
76.30-1-8 Lake Mahopac Units Realty Corp PO BOX 2058 Newport Beach, CA 92659	64.20-1-9 Sara Offner York 40 Glenville Ave Canter, NY 10512				

Zoning Schedule
Owner - John Chang - 716 Route 6, Mahopac, NY 10541
Mailing Address - 2675 Cecile Drive, Yorktown Heights, NY 10598

ZONE - C TM# 76.30-1-26 C - COMMERCIAL	REQUIRED	EXISTING	VARIANCE
MIN LOT AREA (SF)	40,000SF	16,522SF	VARIANCE PREVIOUSLY GRANTED
MIN LOT WIDTH (FT)	200FT	149.32FT	VARIANCE PREVIOUSLY GRANTED
MIN LOT DEPTH (FT)	200FT	110.58FT	VARIANCE PREVIOUSLY GRANTED
FRONT	40FT	32.3FT	VARIANCE PREVIOUSLY GRANTED
SIDE	20FT	0.6FT	VARIANCE PREVIOUSLY GRANTED
REAR	20FT	0FT	VARIANCE PREVIOUSLY GRANTED
MINIMUM FLOOR AREA	5,000SF	4,400SF	VARIANCE PREVIOUSLY GRANTED
MAX BUILDING HEIGHT (FT)	35FT	<35FT	NONE
MAX LOT COVERAGE (%)	15%	15.7%	NONE
TOTAL REQUIRED PARKING: 23 PS* (12 PS + 11 PS = 23 PS)	DELI: 2007 SF/200 SF = 12 PS CHAPEL: 32 SEATS/3 = 11 PS	20 PS EXISTING	3 PS VARIANCE

*MASS IS 7PM-10PM ON WEDNESDAY AND SATURDAY.
DELI CLOSERS AT 6 PM WEEKDAYS AND 3PM ON SATURDAY.
**CHAPEL: 1 SPOT/3 SEATS
***DELI: 1 SPOT/200 SF



ARCHITECTURAL VISIONS LLC
2 MUSCOOT ROAD NORTH MAHOPAC NY, 10541 P: 845-628-6613 F: 845-628-2807
JOEL.GREENBERG@ARCH-VISIONS.COM

PROJECT: JOHN CHANG
PROJECT ADDRESS: 716 ROUTE 6, MAHOPAC, NY 10541
MAILING ADDRESS: 2675 CECILE DR, YORKTOWN HEIGHTS, NY 10598
TAX MAP NO. 76.30-1-26

SITE PLAN

ISSUANCE	DATE
FOR REVIEW	05/09/2024
FOR REVIEW	05/09/2024
FOR REVIEW	05/09/2024
FOR REVIEW	05/09/2024
FOR REVIEW	05/09/2024
FOR REVIEW	05/09/2024

SCALE AS NOTED
DRAWN BY/CHKD BY JT /MSL/JG
PROJECT NO. 12-22-159

S-100

IT IS A VIOLATION OF STATE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM ON THESE PLANS AND DOCUMENTS IN ANY WAY. PER STATE LAW, IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO HIS/HER ITEM THE SEAL AND THE NOTATION "ALTERED BY FOLLOWED BY HIS/HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION. THIS ARCHITECT DENIES ANY AND ALL RESPONSIBILITY FOR ALTERNATIONS OF THESE PLANS AND DOCUMENTS BY OTHERS AND EXPRESSLY DENIES PERMISSION TO OTHERS TO ALTER THESE PLANS AND DOCUMENTS.



Change - Elev. & Parking





CHANG Parking Lot



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

IN THE MATTER OF THE APPEAL
OF
Vetere rear deck
TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL.

Application Date: 06/30, 2023

Application For (circle applicable): Area Variance () Use Variance Interpretation 280A
Name of Property Owner: Patrick Vetere Address: 56 Entrance Way Mahopac NY

Mailing Address: 56 Entrance Way Carmel NY Phone Number(s):

Zoning District: R-120 Residential Tax Map: 74.43 1 18.1

Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]

E-Mail Address:

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
n/a		

List all improvements (1 family dwelling, pool, etc.) new deck in rear property 14'x10'

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: property survey, photographs pf property, plans, plot plan

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO NO
Explain: no

I, the applicant, am seeking permission to: Construct a deck in the rear of my property

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
15'	11.7'	3.3'

State of New York)

ss:

County of Putnam)

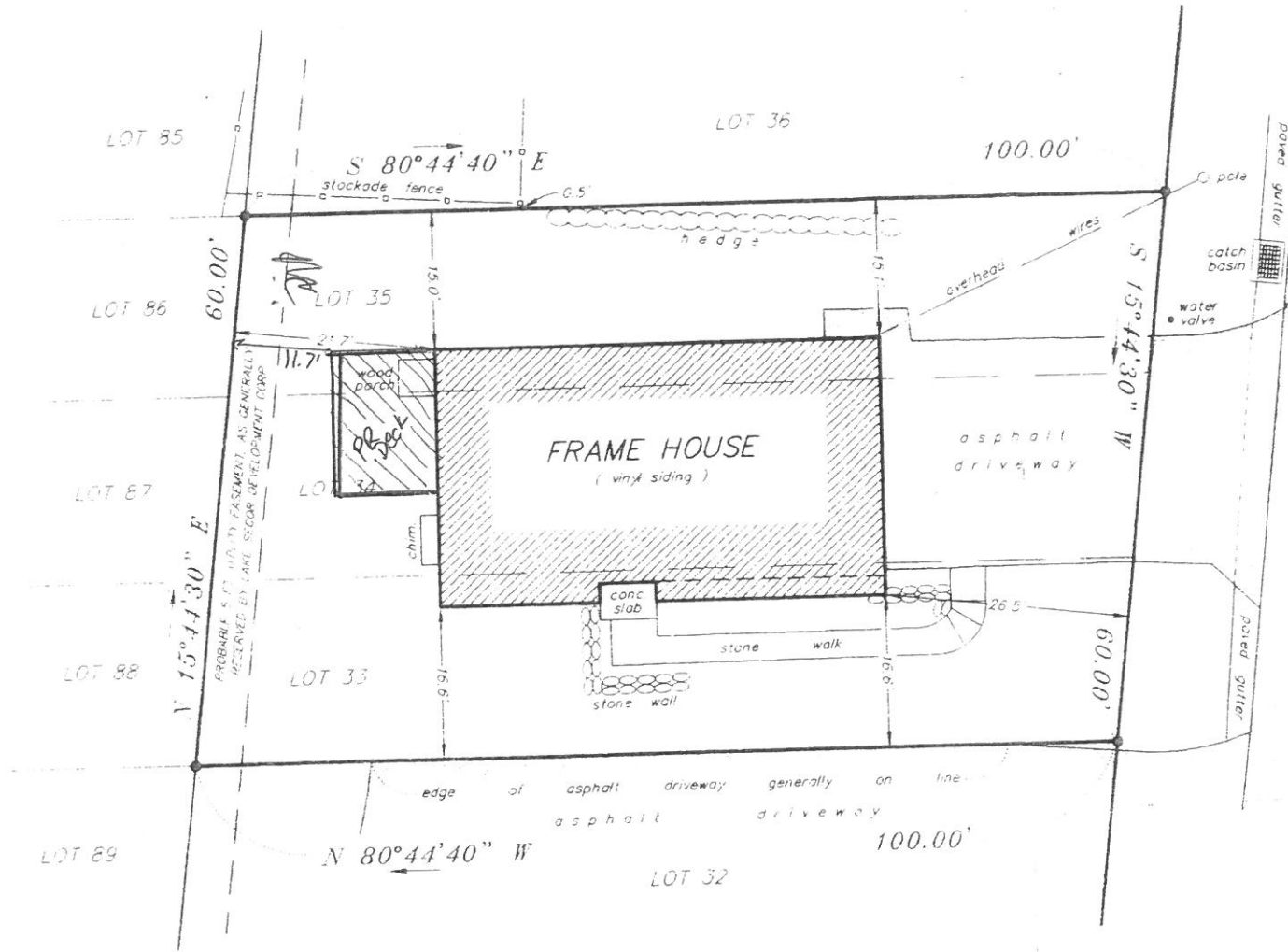
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true

Sworn to before me this 17th day of July, 2023

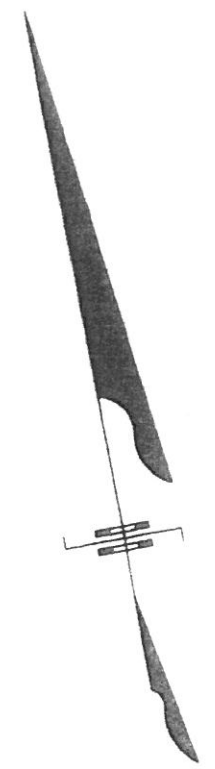
Alice Daly
Notary Public

ALICE DALY
Notary Public, State of New York
No. 01DA6345218
Qualified in Putnam County
Commission Expires July 25, 2024

Petitioner Patrick A Vetere Date 8/17/2023



N.



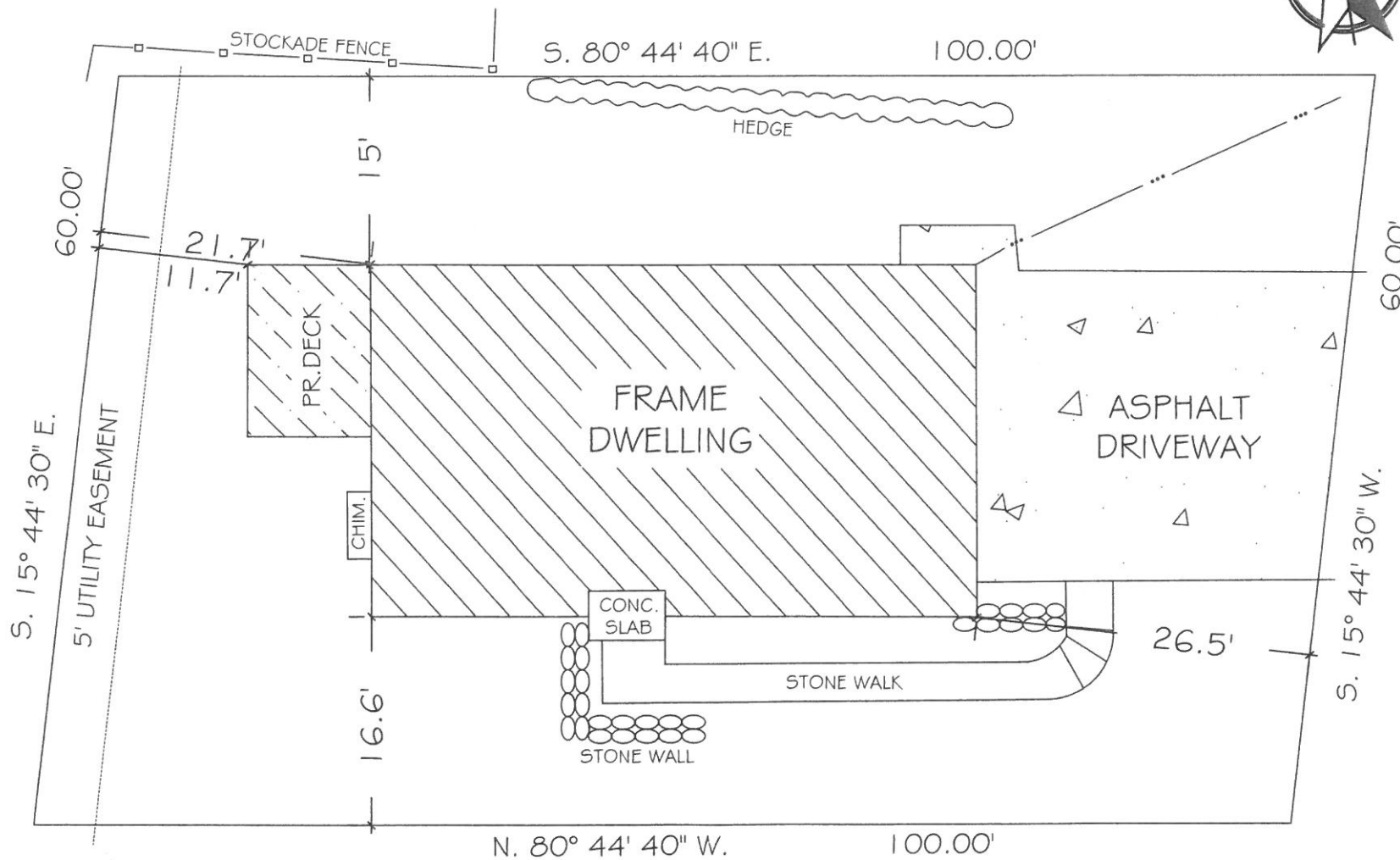
ENTRANCE WAY

as noted and limited below, only to:
 MICHAEL FARINA
 OLA GENTILE-POLICE & DONNA J. POLICE
 ATLANTIC MORTGAGE GROUP, LTD.
 STATEWIDE ABSTRACT CORP.

AREA = 0.1369 ACRE

SURVEY OF PRC
 PREPARED FOR
MICHAEL FARINA
 PROPERTY SITUATION

PLEASE NOTE THE PROPOSED DECK LOCATION ON THIS PLOT PLAN IS REFERENCED FROM THE SURVEY PROVIDED BY THE HOMEOWNER.



Best in Backyards
 —A Division of Eastern Jungle Gym—
 30 COMMERCE DRIVE
 CARMEL, NEW YORK — (877) 643-4868

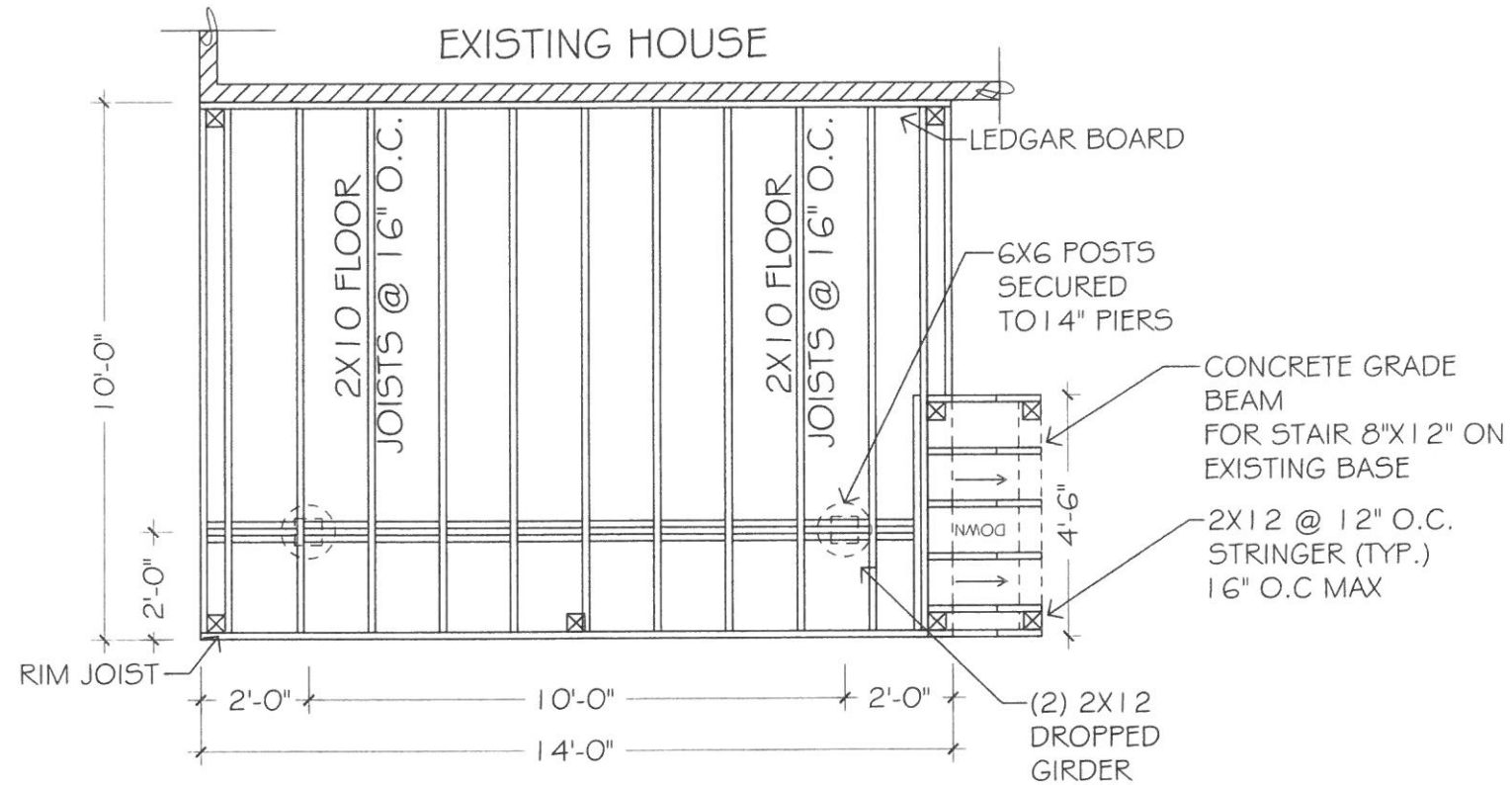
A PLOT PLAN
 A100 SCALE: 1" = 30'-0"

PLEASE NOTE THAT ALL DIMENSIONS MUST BE VERIFIED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION.

PROJECT			VETERE		
DRAWING			56 ENTRANCE WAY CARMEL NY		
SCALE			DRAWN BY		
AS NOTED			RL		
DATE			CHECKED BY		
07/01/23			A100		

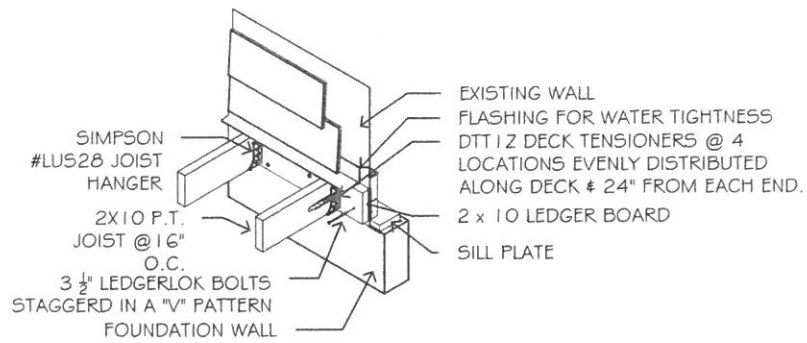
PLANS MEET NYS 2020 RESIDENTIAL CODE

PLEASE NOTE THAT ALL DIMENSIONS MUST BE VERIFIED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION

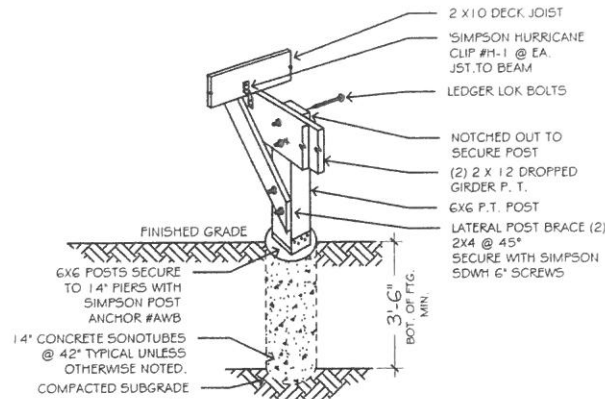


A DECK
A101 SCALE: 3/8" = 1'-0"

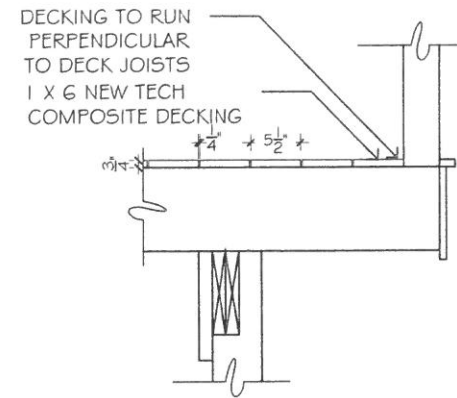
PROJECT		
VETERE 56 ENTRANCE WAY CARMEL NY		
DRAWING		
DECK		
SCALE	DRAWN BY	DRAWING NO.
AS NOTED	RL	A101
DATE	CHECKED BY	
07/01/23		



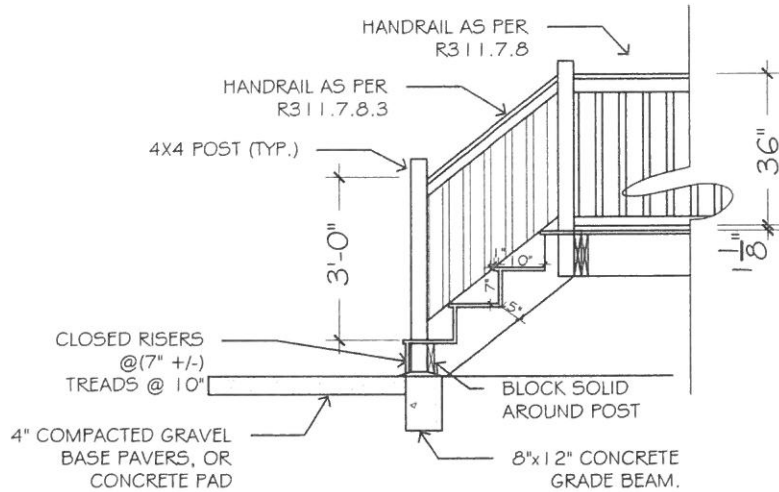
A CONNECTION @ LEDGAR BOARD
A102 SCALE: 3/8" = 1'-0"



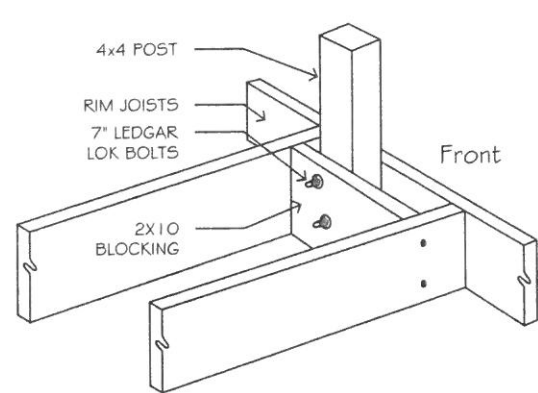
B DROPPED GIRDER
A102 SCALE: 1/4" = 1'-0"



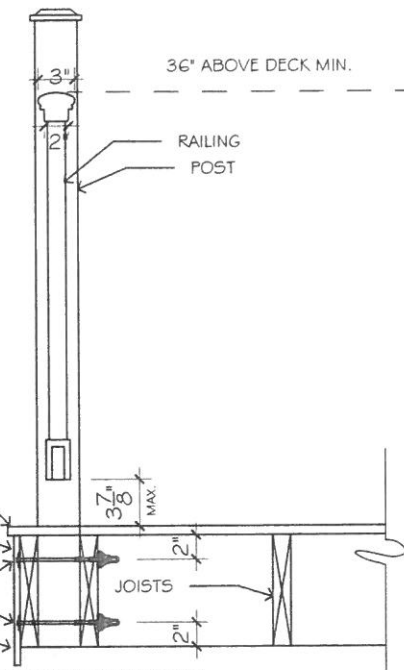
C DROPPED DECKING DETAIL
A102 SCALE: 3/4" = 1'-0"



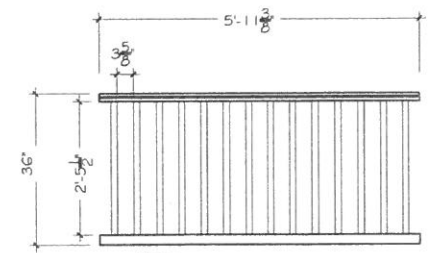
D STAIR DETAIL
A102 SCALE: 3/8" = 1'-0"



E POST DETAIL
A102 SCALE: 1" = 1'-0"



F RAILING POST CONNECTION
A102 SCALE: 1" = 1'-0"



G RAILING DETAIL
A102 SCALE: 3/8" = 1'-0"

RAILING & STAIR NOTE

STAIRS WITH (4) OR MORE RISERS SHALL BE PROVIDED WITH HANDRAILS ON AT LEAST ONE SIDE. HANDRAILS SHALL BE A MINIMUM OF 34" IN HEIGHT AND NOT MORE THAN 38" IN HEIGHT. RAILS ARE TO BE MEASURED VERTICALLY FROM THE NOSING OF THE TREADS.

PORCHES, DECKS, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS A MINIMUM OF 36" HIGH.

RISERS ARE TO BE CLOSED SUCH THAT THE OPENING BETWEEN THE TREADS DOES NOT PERMIT THE PASSAGE OF A 4" DIAMETER SPHERE.

PROJECT	VETERE	
	56 ENTRANCE WAY CARMEL NY	
DRAWING	DETAILS	
SCALE	DRAWN BY	DRAWING NO
AS NOTED	RL	A102
DATE	CHECKED BY	
07/01/23		









ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave
Mahopac, N.Y. 10541
(845)628-1500

Mc

IN THE MATTER OF THE APPEAL
OF
McKenna
TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date July 24, 2023

Application For (circle applicable): Area Variance 156.15 Use Variance Interpretation 280A
Name of Property Owner Thomas McKenna Address: 100 Macgregor Drive, Mahopac, NY
Mailing Address: 100 Macgregor Drive, Mahopac, NY Phone Number(s) _____
Zoning District: R - Residential Tax Map: 64.17 1 46
Applicant is: (circle one) Owner (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]
E-Mail Address: _____

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
	<u>No previous board appearances</u>	<u>KT</u>

List all improvements (1 family dwelling, pool, etc.): 1 family dwelling, shed

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: _____

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO
Explain: NO

I, the applicant, am seeking permission to: contract addition with 15' property set back instead of 20' required by code.

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
<u>20' set back addition</u>	<u>15' set back</u>	<u>5'</u>
<u>10' side shed</u>	<u>3'</u>	<u>7'</u>

State of New York
County of Putnam WESTLAESKA
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true

Sworn to before me this 24 day of July, 2023
EM my

ESTEBAN MUNOZ
NOTARY PUBLIC STATE OF NEW YORK
QUALIFIED IN FRANKLIN COUNTY
LIC. #01MUG263345
COMM. EXP. JUNE 11, 2024

Petitioner [Signature] Date 7-24-23

Division 1 - General Notes

- 1. Building shall be constructed in accordance with the International Building Code (IBC) 2006 Edition with all amendments through the 2009 Edition.
2. The Contractor shall be responsible for obtaining all necessary permits and licenses for the construction of the building.
3. All work shall be done in accordance with the approved construction documents.

Division 2 - Foundations

- 1. Foundations shall be constructed in accordance with the approved construction documents.
2. Foundations shall be constructed on undisturbed earth or on a concrete slab on grade.
3. Foundations shall be constructed with a minimum of 4000 psi concrete.

Division 3 - Concrete Work

- 1. Concrete shall be placed and finished in accordance with the approved construction documents.
2. Concrete shall be placed in a single lift unless otherwise specified.
3. Concrete shall be cured in accordance with the approved construction documents.

Division 4 - Masonry

- 1. Masonry shall be constructed in accordance with the approved construction documents.
2. Masonry shall be constructed with a minimum of 3500 psi concrete masonry units.
3. Masonry shall be constructed with a minimum of 3500 psi mortar.

Division 5 - Steel Deck

- 1. Steel deck shall be constructed in accordance with the approved construction documents.
2. Steel deck shall be constructed with a minimum of 30 gauge steel.
3. Steel deck shall be constructed with a minimum of 1/2 inch thickness.

Division 6 - Concrete Slab

- 1. Concrete slab shall be constructed in accordance with the approved construction documents.
2. Concrete slab shall be constructed with a minimum of 4000 psi concrete.
3. Concrete slab shall be constructed with a minimum of 4 inch thickness.

Division 7 - Concrete Walls

- 1. Concrete walls shall be constructed in accordance with the approved construction documents.
2. Concrete walls shall be constructed with a minimum of 4000 psi concrete.
3. Concrete walls shall be constructed with a minimum of 8 inch thickness.

Division 8 - Concrete Columns

- 1. Concrete columns shall be constructed in accordance with the approved construction documents.
2. Concrete columns shall be constructed with a minimum of 4000 psi concrete.
3. Concrete columns shall be constructed with a minimum of 12 inch diameter.

Division 9 - Concrete Beams

- 1. Concrete beams shall be constructed in accordance with the approved construction documents.
2. Concrete beams shall be constructed with a minimum of 4000 psi concrete.
3. Concrete beams shall be constructed with a minimum of 12 inch depth.

Division 10 - Concrete Slabs on Grade

- 1. Concrete slabs on grade shall be constructed in accordance with the approved construction documents.
2. Concrete slabs on grade shall be constructed with a minimum of 4000 psi concrete.
3. Concrete slabs on grade shall be constructed with a minimum of 4 inch thickness.

Division 11 - Masonry

- 1. Masonry shall be constructed in accordance with the approved construction documents.
2. Masonry shall be constructed with a minimum of 3500 psi concrete masonry units.
3. Masonry shall be constructed with a minimum of 3500 psi mortar.

Division 12 - Steel Deck

- 1. Steel deck shall be constructed in accordance with the approved construction documents.
2. Steel deck shall be constructed with a minimum of 30 gauge steel.
3. Steel deck shall be constructed with a minimum of 1/2 inch thickness.

Division 13 - Concrete Slab

- 1. Concrete slab shall be constructed in accordance with the approved construction documents.
2. Concrete slab shall be constructed with a minimum of 4000 psi concrete.
3. Concrete slab shall be constructed with a minimum of 4 inch thickness.

Division 14 - Concrete Walls

- 1. Concrete walls shall be constructed in accordance with the approved construction documents.
2. Concrete walls shall be constructed with a minimum of 4000 psi concrete.
3. Concrete walls shall be constructed with a minimum of 8 inch thickness.

Division 15 - Concrete Columns

- 1. Concrete columns shall be constructed in accordance with the approved construction documents.
2. Concrete columns shall be constructed with a minimum of 4000 psi concrete.
3. Concrete columns shall be constructed with a minimum of 12 inch diameter.

Division 16 - Concrete Beams

- 1. Concrete beams shall be constructed in accordance with the approved construction documents.
2. Concrete beams shall be constructed with a minimum of 4000 psi concrete.
3. Concrete beams shall be constructed with a minimum of 12 inch depth.

Division 17 - Concrete Slabs on Grade

- 1. Concrete slabs on grade shall be constructed in accordance with the approved construction documents.
2. Concrete slabs on grade shall be constructed with a minimum of 4000 psi concrete.
3. Concrete slabs on grade shall be constructed with a minimum of 4 inch thickness.

Division 18 - Thermal & Moisture Protection

- 1. Thermal and moisture protection shall be constructed in accordance with the approved construction documents.
2. Thermal and moisture protection shall be constructed with a minimum of 1/2 inch thickness.
3. Thermal and moisture protection shall be constructed with a minimum of 15 lb per square foot density.

Division 19 - Dry Wall

- 1. Dry wall shall be constructed in accordance with the approved construction documents.
2. Dry wall shall be constructed with a minimum of 5/8 inch thickness.
3. Dry wall shall be constructed with a minimum of 1/2 inch joint compound.

Division 20 - Doors & Windows

- 1. Doors and windows shall be constructed in accordance with the approved construction documents.
2. Doors and windows shall be constructed with a minimum of 1 1/2 inch thickness.
3. Doors and windows shall be constructed with a minimum of 1/2 inch gap.

Division 21 - Partitions

- 1. Partitions shall be constructed in accordance with the approved construction documents.
2. Partitions shall be constructed with a minimum of 5/8 inch thickness.
3. Partitions shall be constructed with a minimum of 1/2 inch joint compound.

Division 22 - Ceilings

- 1. Ceilings shall be constructed in accordance with the approved construction documents.
2. Ceilings shall be constructed with a minimum of 5/8 inch thickness.
3. Ceilings shall be constructed with a minimum of 1/2 inch joint compound.

Division 23 - Floors

- 1. Floors shall be constructed in accordance with the approved construction documents.
2. Floors shall be constructed with a minimum of 5/8 inch thickness.
3. Floors shall be constructed with a minimum of 1/2 inch joint compound.

Division 24 - Stairs

- 1. Stairs shall be constructed in accordance with the approved construction documents.
2. Stairs shall be constructed with a minimum of 5/8 inch thickness.
3. Stairs shall be constructed with a minimum of 1/2 inch joint compound.

Division 25 - Elevation

- 1. Elevation shall be constructed in accordance with the approved construction documents.
2. Elevation shall be constructed with a minimum of 5/8 inch thickness.
3. Elevation shall be constructed with a minimum of 1/2 inch joint compound.

Division 26 - Elevation

- 1. Elevation shall be constructed in accordance with the approved construction documents.
2. Elevation shall be constructed with a minimum of 5/8 inch thickness.
3. Elevation shall be constructed with a minimum of 1/2 inch joint compound.

Division 27 - Elevation

- 1. Elevation shall be constructed in accordance with the approved construction documents.
2. Elevation shall be constructed with a minimum of 5/8 inch thickness.
3. Elevation shall be constructed with a minimum of 1/2 inch joint compound.

IAI WHALEN ARCHITECTURE PLLC
114 ROUTE 55, SUITE A, LAGUNA HILLS, NY 10801
(914) 333-4331 WWW.IAIArchitecture.com

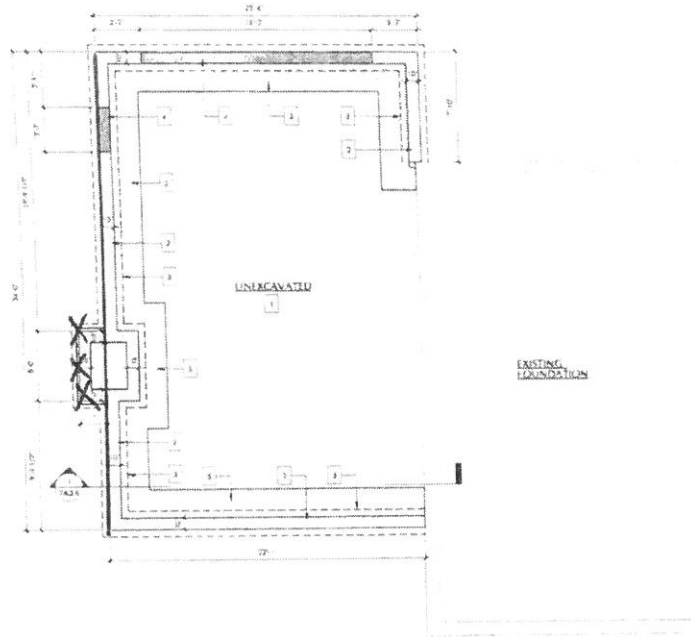
Table with 2 columns: No. and Description. Contains project information and revision notes.

RESIDENCE ADDITION & RENOVATIONS TO THE:
McKENNA RESIDENCE
100 MacGregor Drive
Mahopac, NY 10541

Table with 2 columns: No. and Description. Contains project information and revision notes.

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CD

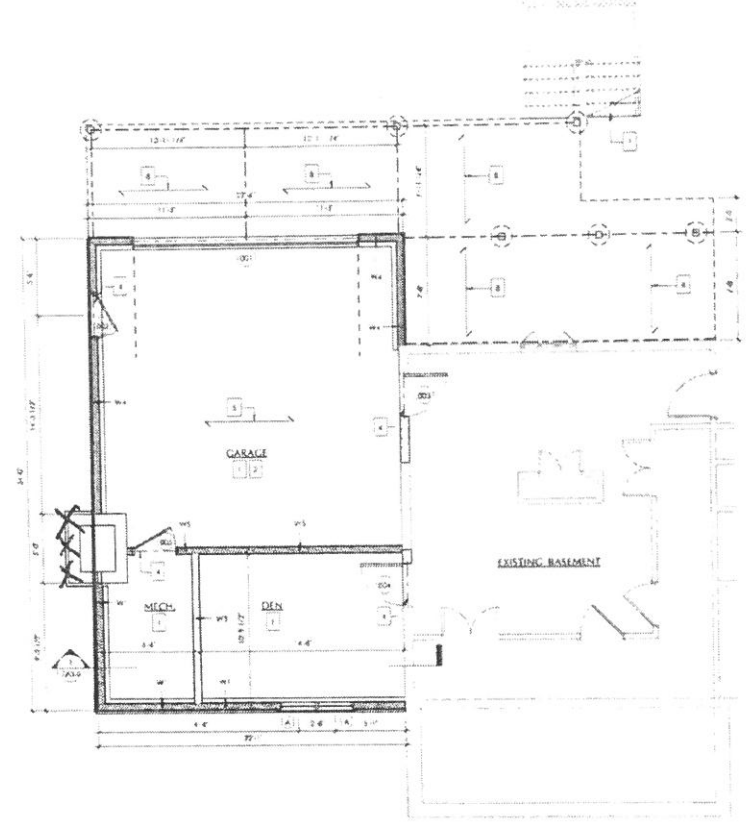
NOT FOR CONSTRUCTION
FOR REVIEW ONLY 05.12.23



1 FOUNDATION PLAN
DATE: 11-1-19

FOUNDATION KEY NOTES:

1. 3" THICK POLYMER CONCRETE SLAB OVER 12" MIN. VAPOR BARRIER OVER 4" COMPACTED GRAVEL DRAIN COURSE (SEE DETAIL FOR REINFORCING BARS & JOINTS) WITH 1" MIN. 1/2" SAND BED.
2. 12" THICK 15% SLICE-POURED CONCRETE FOUNDATION WALL. SEE SECTION FOR REINFORCING BARS.
3. 12" THICK 15% SLICE-POURED CONCRETE CODING WALL SECTION FOR REINFORCING BARS.
4. EXISTING FOUNDATION WALL AS PER DETAIL. COORDINATE WITH CONSTRUCTION PLANS FOR DISCONTINUATION & REPAIR.
5. 1/2" POLYETHYLENE TEREPHTHALATE INSULATION AT PERIMETER OF SLAB.
6. 2" X 4" FLOOR JOIST WITH 1/2" WITHIN STUD & SIGHTING.
7. 1/2" X 4" FLOOR JOIST.
8. ALL FLOOR JOIST TO BE 2" X 4" DIMENSIONED PER R-12 RADIANT CEILING. ATTACH TO BE CONCRETE FOUNDATION WALL WITH 1" MIN. GAP.
9. 1/2" X 4" FLOOR JOIST TO BE 2" X 4" DIMENSIONED PER R-12 RADIANT CEILING.
10. 1/2" X 4" FLOOR JOIST TO BE 2" X 4" DIMENSIONED PER R-12 RADIANT CEILING.



2 BASEMENT PLAN
DATE: 11-1-19

BASEMENT CONSTRUCTION KEY NOTES:

1. FLOOR FINISH IS SELECTED BY OWNER.
2. INSTALL 2" X 4" JOIST ON EXISTING GARAGE CEILING.
3. 1/2" POLYETHYLENE TEREPHTHALATE INSULATION.
4. 1/2" X 4" FLOOR JOIST WITH 1/2" WITHIN STUD & SIGHTING.
5. NEW 1/2" X 4" FLOOR JOIST TO BE 2" X 4" DIMENSIONED PER R-12 RADIANT CEILING.
6. 1/2" X 4" FLOOR JOIST WITH 1/2" WITHIN STUD & SIGHTING.
7. NEW WOOD FLOOR FINISH TO BE 3/4" THICK OVER 1/2" X 4" FLOOR JOIST WITH 1/2" WITHIN STUD & SIGHTING. ATTACH TO BE CONCRETE FOUNDATION WALL WITH 1" MIN. GAP.
8. NEW 1/2" X 4" FLOOR JOIST TO BE 2" X 4" DIMENSIONED PER R-12 RADIANT CEILING.

WALL TYPES:

- W1: NEW 8" CMU MATCH EXISTING OVER 1/2" X 4" FLOOR JOIST OVER 1/2" X 4" FLOOR JOIST WITH 1/2" WITHIN STUD & SIGHTING. ATTACH TO BE CONCRETE FOUNDATION WALL WITH 1" MIN. GAP.
- W2: 2" X 4" FLOOR JOIST WITH 1/2" WITHIN STUD & SIGHTING.
- W3: 2" X 4" FLOOR JOIST WITH 1/2" WITHIN STUD & SIGHTING.
- W4: NEW 8" CMU MATCH EXISTING OVER 1/2" X 4" FLOOR JOIST OVER 1/2" X 4" FLOOR JOIST WITH 1/2" WITHIN STUD & SIGHTING. ATTACH TO BE CONCRETE FOUNDATION WALL WITH 1" MIN. GAP.
- W5: 2" X 4" FLOOR JOIST WITH 1/2" WITHIN STUD & SIGHTING.
- W6: 2" X 4" FLOOR JOIST WITH 1/2" WITHIN STUD & SIGHTING.

NOT FOR CONSTRUCTION
FOR REVIEW ONLY 05-12-23

WHALEN ARCHITECTURE
1141 ROUTE 55, SUITE A, LAGANAPAC, NY 12540
(845) 337-4311 | WWW.WHALENARCHITECTURE.COM

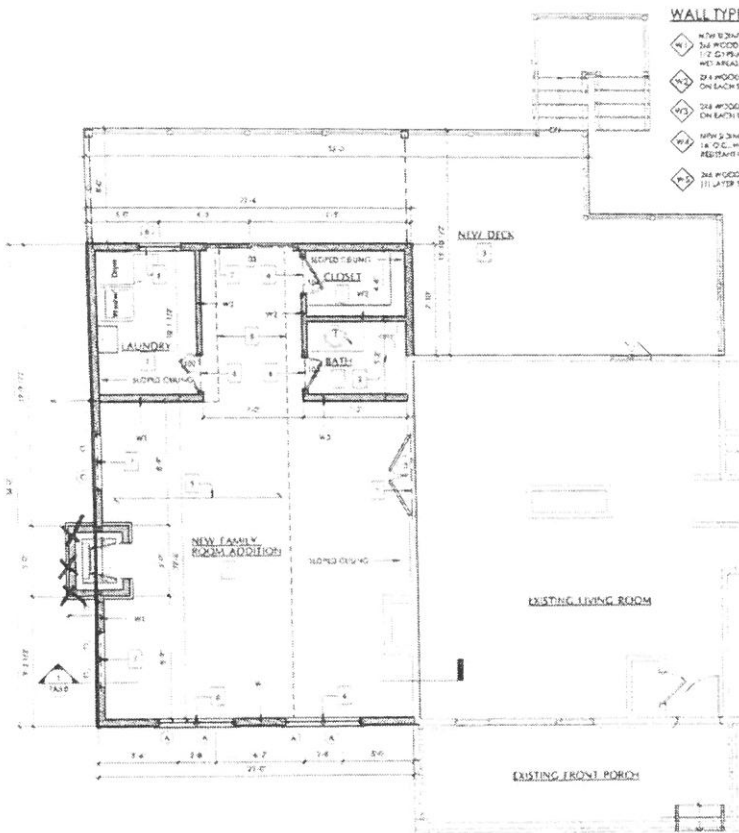
NO.	REVISION	DATE	BY	CHKD BY

FOUNDATION & BASEMENT PLAN

PROJECT NAME:
**Addition & Renovations to the:
McKenna Residence
100 MacGregor Drive
Mahopac, NY 10541**

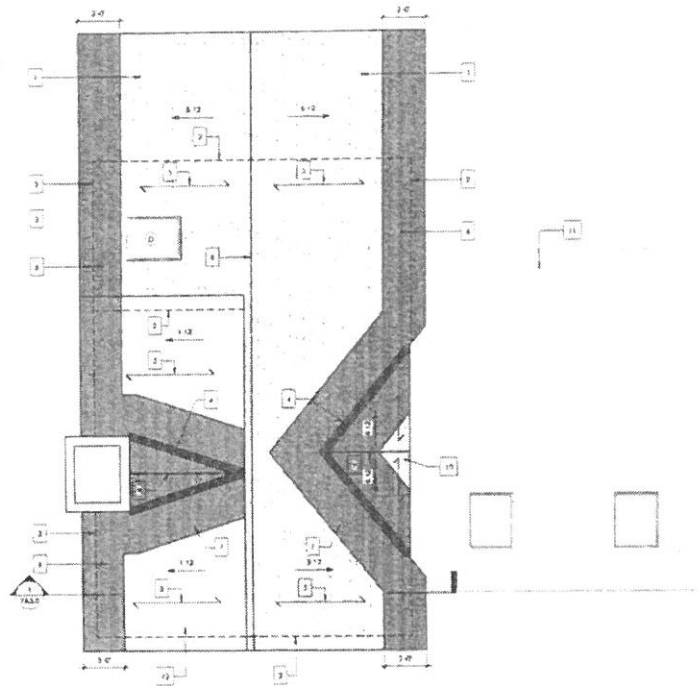
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WALL TYPES:

- W1 NEW BRICK TO MATCH EXISTING OVER 1/2" BR WALL SHEATHING OVER 2x4 WOOD STUDS @ 16" O.C. WITH 1/2" CAVITY INSULATION INSTALL 1/2" GYPSUM WALL BOARD ON EXTERIOR SIDE. MOISTURE RESISTANT IN ALL WET AREAS.
- W2 2x4 WOOD STUDS @ 16" O.C. WITH 1/2" LAYER 1/2" GYPSUM WALL BOARD ON EACH SIDE. MOISTURE RESISTANT IN ALL WET AREAS. TYPICAL.
- W3 2x4 WOOD STUDS @ 16" O.C. WITH 1/2" LAYER 1/2" GYPSUM WALL BOARD ON EACH SIDE. MOISTURE RESISTANT IN ALL WET AREAS. TYPICAL.
- W4 1/2" BRICK OVER 1/2" BR WALL SHEATHING OVER 2x4 WOOD STUDS @ 16" O.C. INSTALL 1/2" GYPSUM WALL BOARD ON EXTERIOR SIDE. MOISTURE RESISTANT IN ALL WET AREAS.
- W5 2x4 WOOD STUDS @ 16" O.C. WITH 1/2" CAVITY INSULATION INSTALL 1/2" LAYER 1/2" GYPSUM WALL BOARD ON EACH SIDE.



2 ROOF PLAN

SCALE: 1/4" = 1'-0"

ROOF KEY NOTES:

- 1. ADJACENT ROOF EAVES TO MATCH EXISTING ON LIVE BR SIDE. OVERLAP OVER EXISTING AS SCHEDULED.
- 2. USE OF PRECAST WALL BEAMS.
- 3. METAL GUTTERS AND DOWNSPOUTS. REVIEW DOWNSPOUT LOCATIONS IN FIELD IN CHANGE AND ARCHITECT.
- 4. INSTALL 2" x 4" BRICKING SPIES ON EXTERIOR SIDE OF VALLEY WITH OVERLAP.
- 5. NEW 2x10 ROOF RAFTERS @ 16" O.C.
- 6. 2" X 4" & WATER MEMBRANE AT ALL ROOF LEVELS. CONTRACTOR TO PROVIDE 2" X 4" WATER MEMBRANE EXTENDING 3" OUT BEYOND FACE OF EXTERIOR WALL.
- 7. INSTALL 5/8" METAL & WATER MEMBRANE ON EACH SIDE OF ROOF VALLEY WITH 6" MIN. OVERLAP.
- 8. RAMP UP 1/2" x 1" ROOF BEAM.
- 9. 2x12 WOOD BEAM.
- 10. NEW EXTERIOR OF EXISTING ROOF TO BE OVERBUILT.
- 11. EXISTING ROOF TO REMAIN.
- 12. EXTERIOR ROOF WATER FRAME ON LIVE BR SIDE OF SHEATHING OVER FRAMING AS SHOWN/NOTED.

1 1ST FLOOR PLAN

SCALE: 1/4" = 1'-0"

FIRST FLOOR CONSTRUCTION KEY NOTES:

- 1. FLOOR FINISHES AS SELECTED BY OWNER.
- 2. PLUMBING FINISHES AS SELECTED BY OWNER.
- 3. NEW COMPOSITE DECKING.
- 4. NEW GARAGE APPLIED BY PAINTER.
- 5. EXISTING JOISTS @ 16" O.C.
- 6. 1/2" BR SHEATHING.
- 7. 1/2" x 1/2" VINYL FIBER REINFORCED WINDOW.
- 8. USE OF PRECAST CONCRETE ABOVE.
- 9. NEW 2x10 WOOD BEAMS @ 16" O.C. WITH 1/2" BR WALL SHEATHING ON EXTERIOR SIDE OF STAIRS. WALLING BRACKETERS TO BE SPACED @ 16" O.C. MAX.
- 10. NEW WOOD FRAMED STAIRS TO GO UP TO 2ND FLOOR. USE ROOF @ 1/2" BR WALL SHEATHING OVER 2x4 WOOD STUDS @ 16" O.C. WITH 1/2" CAVITY INSULATION ON EXTERIOR SIDE OF FRAMING. FINISH AS SELECTED BY OWNER.

WINDOW SCHEDULE				
TAG	WIDTH	HEIGHT	TYPE	COMMENT
1	4'-0"	2'-12"	DOUBLE HUNG	
2	3'-0"	2'-0"	DOUBLE HUNG	
3	2'-0"	2'-0"	TWO LIGHT	
4	2'-0"	4'-0"	SLIP DOOR	

WINDOW NOTES:
 1. PRECISION TREATED GLASS IN ALL WINDOWS THAT THE GLASS IS LESS THAN 18" ABOVE THE FLOOR.
 2. ALL WINDOWS TO BE SELECTED BY OWNER.
 3. ALL NEW WINDOWS TO HAVE LOW-E INSULATION.
 4. FINISH OF WINDOWS AND DOORS AS SHOWN OR AS NOTED.
 5. FINISH AND PAINT THE INTERIOR SIDE OF ALL WINDOWS. FINISH ALL BATHROOM WINDOWS WITH A MARINE GRADE PAINT.
 6. FINISH INTERIOR TRIM ON ALL WINDOWS AS SELECTED BY OWNER.
 7. ON EXTERIOR PROVIDE & INSTALL 1/2" WOOD WINDOW TRIM AS MANUFACTURED BY WINDOWS ON JAMB AND HEADS OF ALL WINDOWS.

DOOR SCHEDULE				
TAG	WIDTH	HEIGHT	TYPE	COMMENT
101	3'-0"	7'-0"	SLIP DOOR	
102	3'-0"	7'-0"	SLIP DOOR	GLASS DOOR W/DOOR
103	3'-0"	7'-0"	SLIP DOOR	
104	3'-0"	7'-0"	SLIP DOOR	
105	3'-0"	7'-0"	SLIP DOOR	
106	3'-0"	7'-0"	SLIP DOOR	
107	3'-0"	7'-0"	SLIP DOOR	
108	3'-0"	7'-0"	SLIP DOOR	
109	3'-0"	7'-0"	SLIP DOOR	
110	3'-0"	7'-0"	SLIP DOOR	

JAWHALEN ARCHITECTURE PLLC
 1141 ROUTE 55, SUITE 1, CANTON, NY 14503
 (845) 332-4331 | JAWHALENARCHITECTURE.COM

NO.	DATE	DESCRIPTION
1	05/12/23	ISSUED FOR PERMIT
2	05/12/23	ISSUED FOR REVIEW

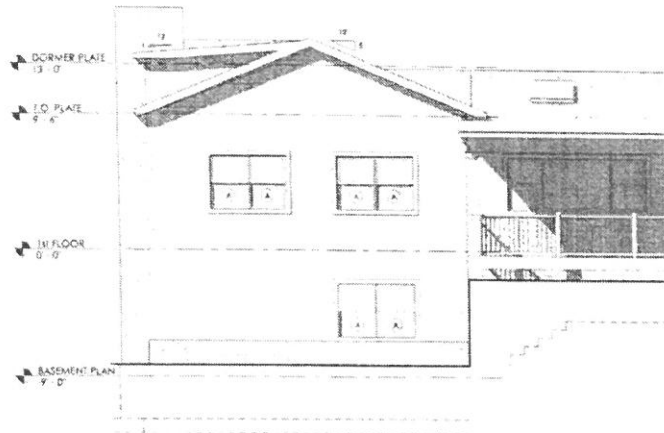
DESIGNED BY:
Additions & Renovations to the:
McKenna Residence
 100 MacGregor Drive
 Mahopac, NY 10541

NO.	DATE	DESCRIPTION
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2	05/12/23	ISSUED FOR REVIEW

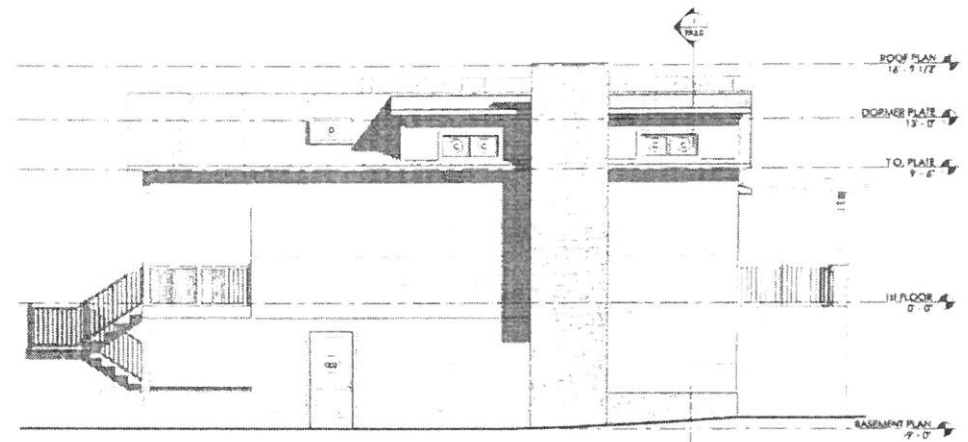
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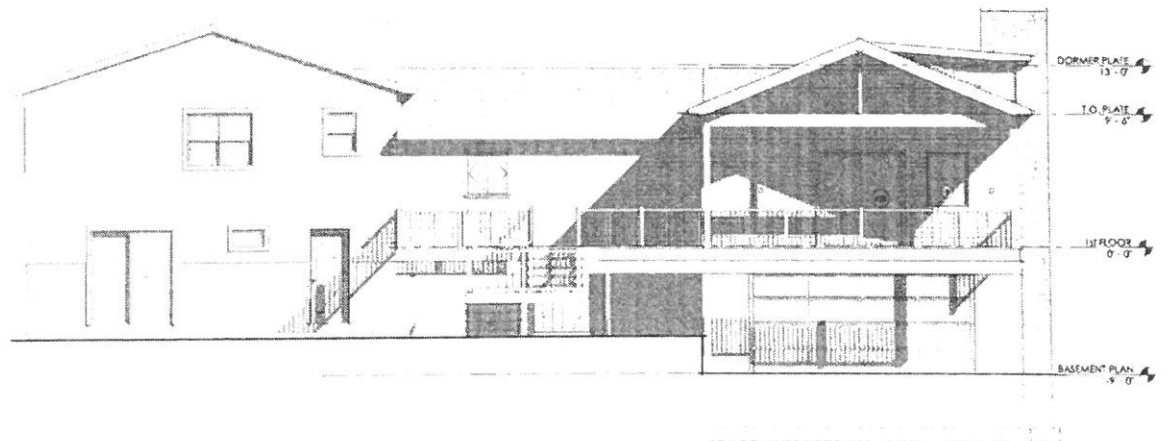
NOT FOR CONSTRUCTION
 FOR REVIEW ONLY 05/12/23



1 FRONT ELEVATION
6A2.0 11.11.12



3 LEFT ELEVATION
6A2.0 11.11.12



2 BACK ELEVATION
6A2.0 11.11.12

ELEVATION KEY NOTES:

- 1 EXISTING REFERENCED BY OLD
- 2 NEW FOOTING AS SCHEDULED - SEE SECTION FOR MORE INFO.
- 3 NEW COLUMNS AS SCHEDULED - TYPICAL FOR (S) - SEE FLOOR PLAN FOR MORE INFO.
- 4 NEW CAST IN PLACE CONCRETE AT COLUMN BASE AS DIRECTED BY OWNER.
- 5 NEW 2" X 4" HIGH FINISH AS PER NUMBER OF DECK RAILING STYLE AS DIRECTED BY OWNER.
- 6 APPROXIMATE FINISHED GRADE.
- 7 LINE OF NEW CONCRETE STEPS BETWEEN RETAINING WALLS.
- 8 NEW CONCRETE RETAINING WALL - SEE FOUNDATION PLAN FOR MORE INFORMATION.

NOT FOR CONSTRUCTION
FOR REVIEW ONLY 05/12/23

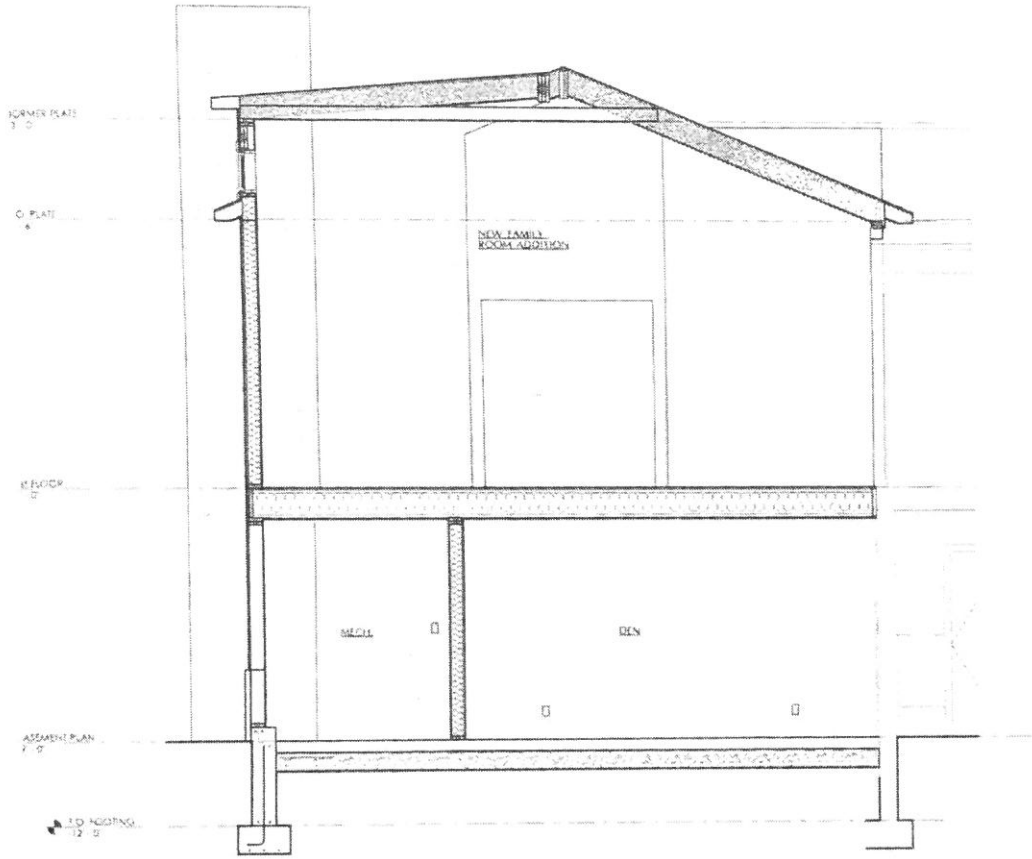
IAI WHALEN ARCHITECTURE pllc
 1141 ROUTE 54, SUITE A, LAGANCKVILLE, NY 13349
 (845) 332-4311 WWW.IAIAWHALENARCHITECTURE.COM

NO.	REVISION	DATE	BY	CHK	APP

PROJECT NAME: Addition & Renovations to the: **McKenna Residence**
 100 MacGregor Drive
 Mahopac, NY 10541

EXTERIOR ELEVATIONS

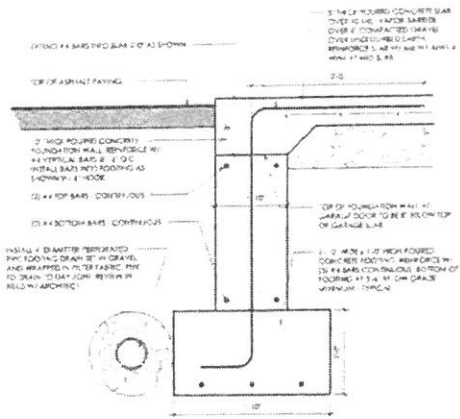
DATE: 05/12/23	SCALE: A 1/4" = 1'-0"
6A2.0	CD



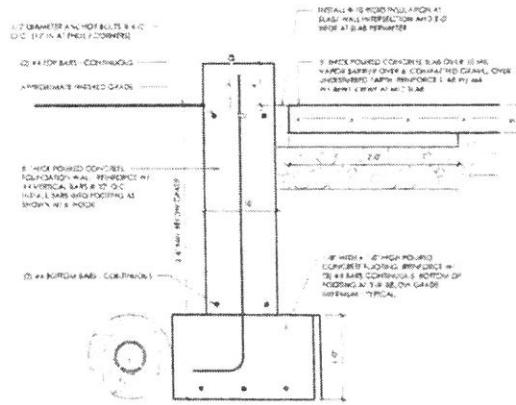
CROSS SECTION
TAB 0 11'-11"

SECTION KEY NOTES:

1. NEW 4" HIGH AND DRAIN SET IN GRAVEL & FLEX FIBRIC FOOTING DRAIN TO DISCHARGE TO STREET OR DRAINAGE
2. NEW 1/2" 12' ADJUSTED CONCRETE FOOTING REINFORCED W/ #4 BARS CONTINUOUS
3. NEW 4" HIGH POURED CONCRETE SLAB OVER 1/2" VAPOR BARRIER OVER COMPACTED GRAVEL. REINFORCE SLAB W/ #4 @ 14" ON CENTER W/ 4" MID SLAB
4. 8" THICK POURED CONCRETE FOUNDATION WALL REINFORCE W/ #4 BARS @ 15" O.C.
5. NEW 4" SET IN PLACE POLY STYRENE INSUL. 1/2" DRAINAGE CHANNEL 4" @ 14" O.C. @ 12" ON CENTER
6. NEW EXTERIOR WALL AS TO BE SET BY SUB CONTRACTOR
7. NEW INTERIOR WALL AS TO BE SET BY SUB CONTRACTOR
8. 1/2" INSUL. EXTERIOR WALL
9. NEW LOGGING AS SELECTED BY OWNER OVER SH. TRAP ON WOOD SHEATHING BOLDED & BOLDED OVER FRAMING AND BRIDLED
10. INSTALL BATH INSULATION & REINFORCE WITH JOIST H-HULL
11. NOT USED
12. NEW 2" INS. TOP PLATE. THE INSUL. BRUSH ON W/ GARTIES AT WALLS / CORNERS. SEE INSTRUCTIONS. TYPICAL
13. INSTALL NEW ED. JOINT W/ NEW BATH INSULATION. IS AS ALL NEW ED. JOINTS. INSTALL NEW VESTED SOFFIT W/ NEW BATH INSULATION. IS AS ALL NEW ED. JOINTS.
14. NEW 4" SET IN PLACE POLY STYRENE INSUL. 1/2" DRAINAGE CHANNEL 4" @ 14" O.C. @ 12" ON CENTER
15. NEW 4" SET IN PLACE POLY STYRENE INSUL. 1/2" DRAINAGE CHANNEL 4" @ 14" O.C. @ 12" ON CENTER
16. NEW 4" SET IN PLACE POLY STYRENE INSUL. 1/2" DRAINAGE CHANNEL 4" @ 14" O.C. @ 12" ON CENTER
17. NEW 4" SET IN PLACE POLY STYRENE INSUL. 1/2" DRAINAGE CHANNEL 4" @ 14" O.C. @ 12" ON CENTER
18. NEW 4" SET IN PLACE POLY STYRENE INSUL. 1/2" DRAINAGE CHANNEL 4" @ 14" O.C. @ 12" ON CENTER
19. NEW 4" SET IN PLACE POLY STYRENE INSUL. 1/2" DRAINAGE CHANNEL 4" @ 14" O.C. @ 12" ON CENTER
20. NEW 4" SET IN PLACE POLY STYRENE INSUL. 1/2" DRAINAGE CHANNEL 4" @ 14" O.C. @ 12" ON CENTER
21. NEW 4" SET IN PLACE POLY STYRENE INSUL. 1/2" DRAINAGE CHANNEL 4" @ 14" O.C. @ 12" ON CENTER
22. NEW 4" SET IN PLACE POLY STYRENE INSUL. 1/2" DRAINAGE CHANNEL 4" @ 14" O.C. @ 12" ON CENTER
23. NEW 4" SET IN PLACE POLY STYRENE INSUL. 1/2" DRAINAGE CHANNEL 4" @ 14" O.C. @ 12" ON CENTER
24. NEW 4" SET IN PLACE POLY STYRENE INSUL. 1/2" DRAINAGE CHANNEL 4" @ 14" O.C. @ 12" ON CENTER
25. NEW 4" SET IN PLACE POLY STYRENE INSUL. 1/2" DRAINAGE CHANNEL 4" @ 14" O.C. @ 12" ON CENTER
26. NEW 4" SET IN PLACE POLY STYRENE INSUL. 1/2" DRAINAGE CHANNEL 4" @ 14" O.C. @ 12" ON CENTER
27. NEW 4" SET IN PLACE POLY STYRENE INSUL. 1/2" DRAINAGE CHANNEL 4" @ 14" O.C. @ 12" ON CENTER
28. NEW 4" SET IN PLACE POLY STYRENE INSUL. 1/2" DRAINAGE CHANNEL 4" @ 14" O.C. @ 12" ON CENTER
29. NEW 4" SET IN PLACE POLY STYRENE INSUL. 1/2" DRAINAGE CHANNEL 4" @ 14" O.C. @ 12" ON CENTER
30. NEW 4" SET IN PLACE POLY STYRENE INSUL. 1/2" DRAINAGE CHANNEL 4" @ 14" O.C. @ 12" ON CENTER
31. NEW 4" SET IN PLACE POLY STYRENE INSUL. 1/2" DRAINAGE CHANNEL 4" @ 14" O.C. @ 12" ON CENTER
32. NEW 4" SET IN PLACE POLY STYRENE INSUL. 1/2" DRAINAGE CHANNEL 4" @ 14" O.C. @ 12" ON CENTER
33. NEW 4" SET IN PLACE POLY STYRENE INSUL. 1/2" DRAINAGE CHANNEL 4" @ 14" O.C. @ 12" ON CENTER
34. NEW 4" SET IN PLACE POLY STYRENE INSUL. 1/2" DRAINAGE CHANNEL 4" @ 14" O.C. @ 12" ON CENTER
35. NEW 4" SET IN PLACE POLY STYRENE INSUL. 1/2" DRAINAGE CHANNEL 4" @ 14" O.C. @ 12" ON CENTER



FOUNDATION DETAIL @ GARAGE DOOR
TAB 0 11'-11"



FOUNDATION DETAILS
TAB 0 11'-11"

NOT FOR CONSTRUCTION
FOR REVIEW ONLY 05-12-23

WHALEN ARCHITECTURE pllc
1141 ROUTE 55, SUITE A, LA GRANGEVILLE, NY 12546
(845) 337-4331 | WWW.WHALENARCHITECTURE.COM

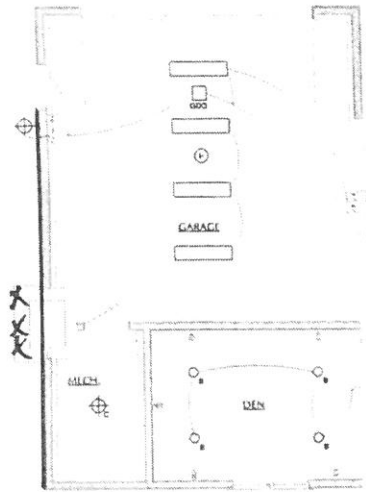
SECTION & DETAILS

Addition & Renovations to the:
McKenna Residence
100 MacGregor Drive
Mahopac, NY 10541

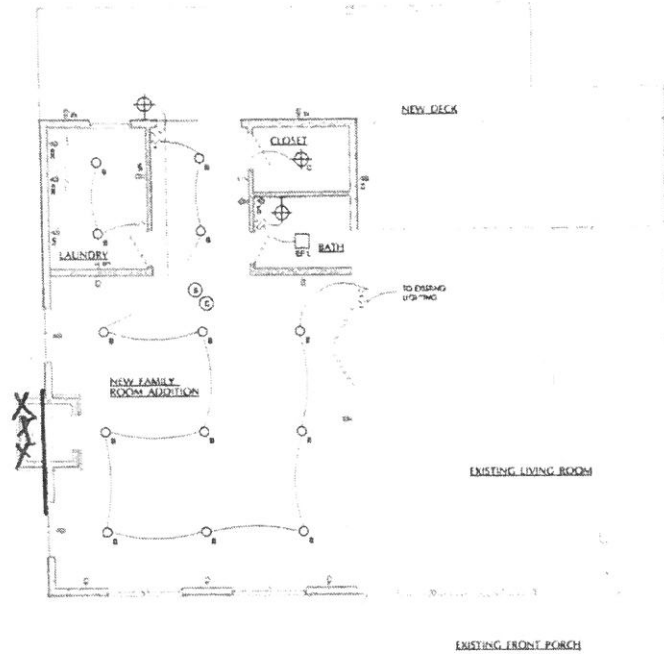
<p>PROJECT NO: 7A3.0</p> <p>DATE: 05-12-23</p> <p>SCALE: AS SHOWN</p> <p>DATE PLOTTED: 05-12-23</p> <p>PLotted by: [Name]</p>	<p>DATE: 05-12-23</p> <p>SCALE: AS SHOWN</p> <p>DATE PLOTTED: 05-12-23</p> <p>PLotted by: [Name]</p>
---	--

7A3.0

CD



BASEMENT ELECTRICAL PLAN



1ST FLOOR ELECTRICAL PLAN

ELECTRICAL LEGEND

- ⊕ DEDICATED DUPLEX RECEPTACLE
- ⊕ DUPLEX RECEPTACLE
- ⊕ EXTERIOR DUPLEX RECEPTACLE W/ COVER
- ⊕ GROUND FAULT INTERRUPTER DUPLET
- ⊕ SINGLE POLE SWITCH
- ⊕ SINGLE POLE DIMMER SWITCH
- ⊕ THREE WAY SWITCH
- ⊕ 3-WAY EXTERIOR SWITCH WITH COVER
- ⊕ WALL MOUNTED LIGHT FEATURE AS SELECTED BY OWNER
- ⊕ 6" DIAMETER RECESSED LIGHT FEATURE
- ⊕ CEILING MOUNTED LIGHT FEATURE AS SELECTED BY OWNER
- ⊕ CEILING MOUNTED EXHAUST FAN / LIGHT FEATURE (MIN 30 CFM EXHAUST FAN)
- ⊕ HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
- ⊕ HARD WIRED CARBON MONOXIDE DETECTOR W/ BATTERY BACK-UP
- ⊕ HARD WIRED HEAT DETECTOR W/ BATTERY BACK-UP
- ⊕ 1x4 CEILING MOUNTED FLUORESCENT LIGHT
- ⊕ GARAGE DOOR OPENER WITH LIGHT

IAI WHALEN ARCHITECTURE PLLC
 1141 ROUTE 33, SUITE A, LACROIXVILLE, NY 13487
 (845) 337-4721 | WWW.IAIAWHALENARCHITECTURE.COM

NO.	DATE	DESCRIPTION

REVISIONS:
 Addition & Renovations to the:
McKenna Residence
 100 MacGregor Drive
 Mahopac, NY 10541

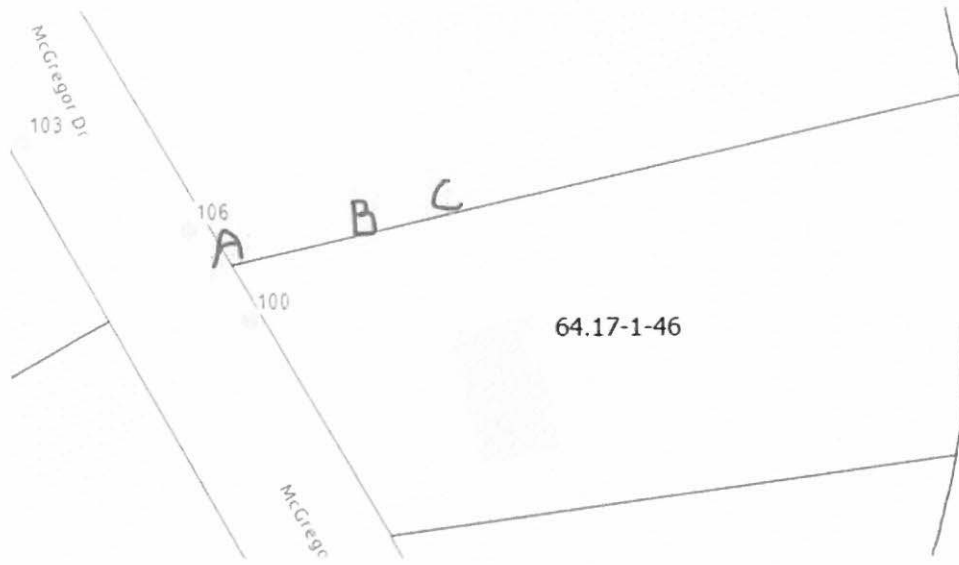
DESIGNED BY: [Signature]
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 DATE: 05/12/23

8E1.0

CD

NOT FOR CONSTRUCTION
 FOR REVIEW ONLY 05/12/23

Aerial View:



View A



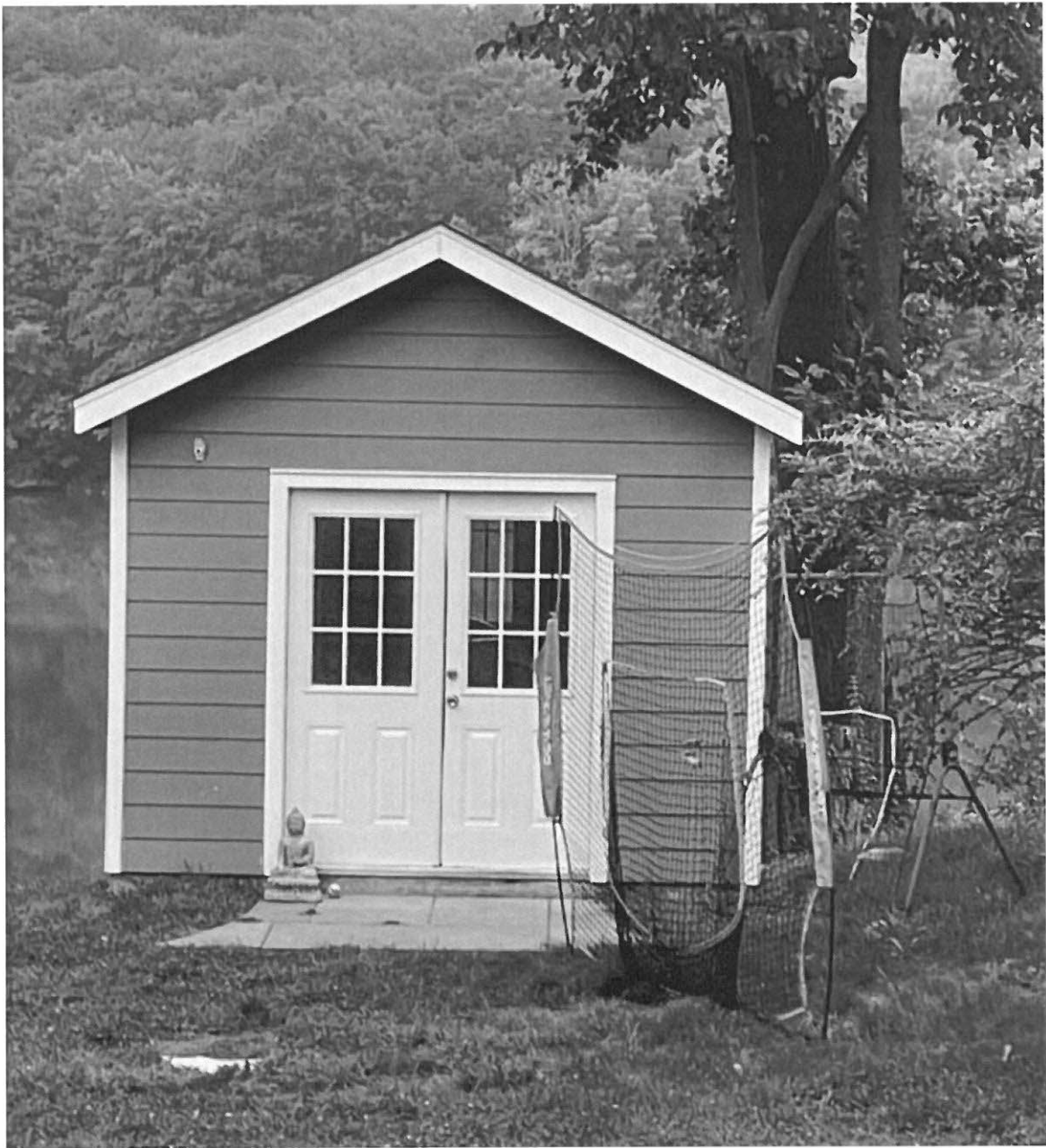
View B



View C



Shed:





ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

Mc

IN THE MATTER OF THE APPEAL
OF

DeSetto

TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: 12/15, 2022

Application For (circle applicable): Area Variance (156.15) Use Variance Interpretation 280A
CODE SECTION

Name of Property Owner: LORI DESETTO Address: 71 Rebecca Lane Carmel NY
(Address) (City) (State)

Mailing Address: 71 Rebecca Lane Carmel NY Phone Number(s): _____
(Address) (City) (State)

Zoning District: R-120 Tax Map: 76.8 - 1 - 19
(R-120, Commercial, C/BP, or Conservation) (section) (Block) (Lot)

Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]

E-Mail Address: _____

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
	<i>NO previous ZBA appearances</i>	<i>Dma</i>

List all improvements (1 family dwelling, pool, etc.) 1 family dwelling, Pool, Shed (m/d apt)

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: Survey + Photos.

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO
Explain: No

I, the applicant, am seeking permission to: Retain Shed

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
<u>10' side</u>	<u>9.6'</u>	<u>.4'</u>

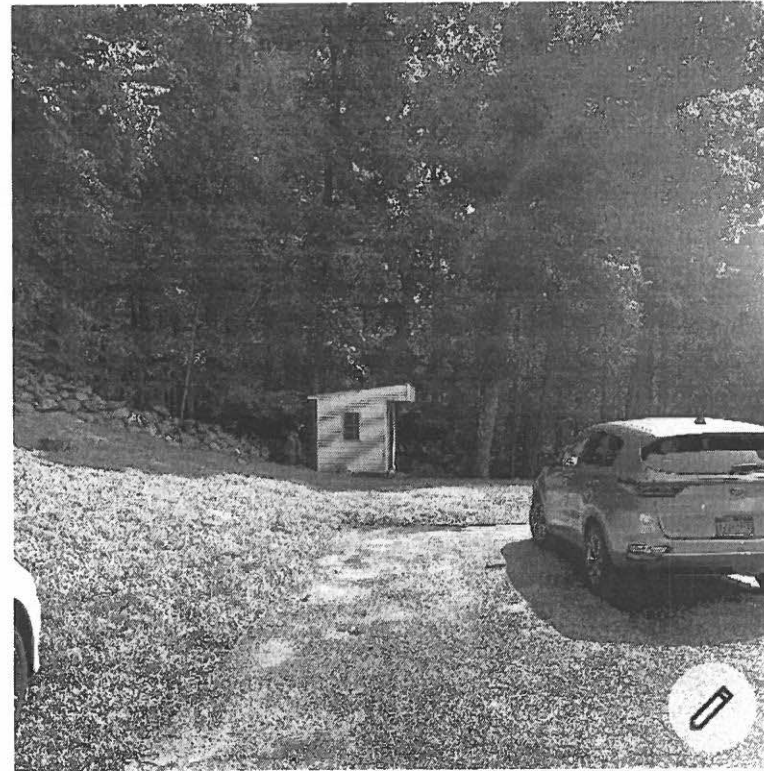
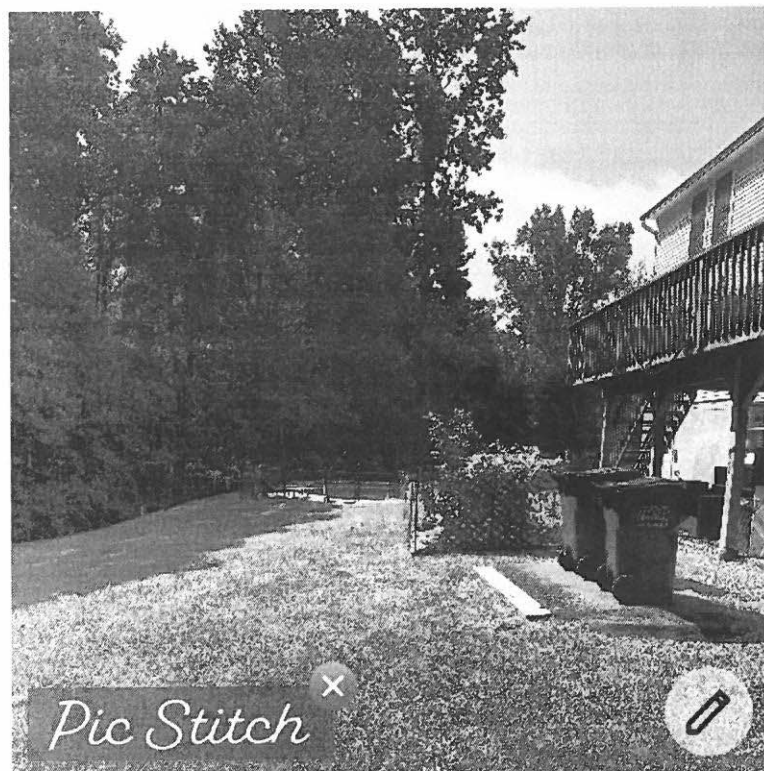
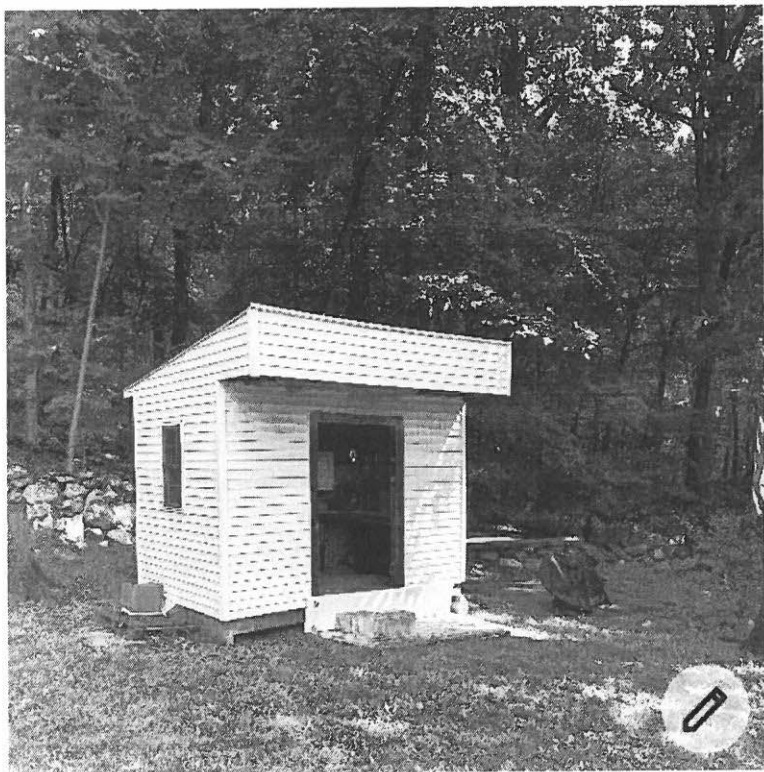
State of New York)
 ss:
County of Putnam)
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this 15 day of December 22

Alice Daly
Notary Public

ALICE DALY
Notary Public, State of New York
No. 01DA6345218
Qualified in Putnam County
Commission Expires July 25, 2024

Petitioner [Signature] Date 12/15/22

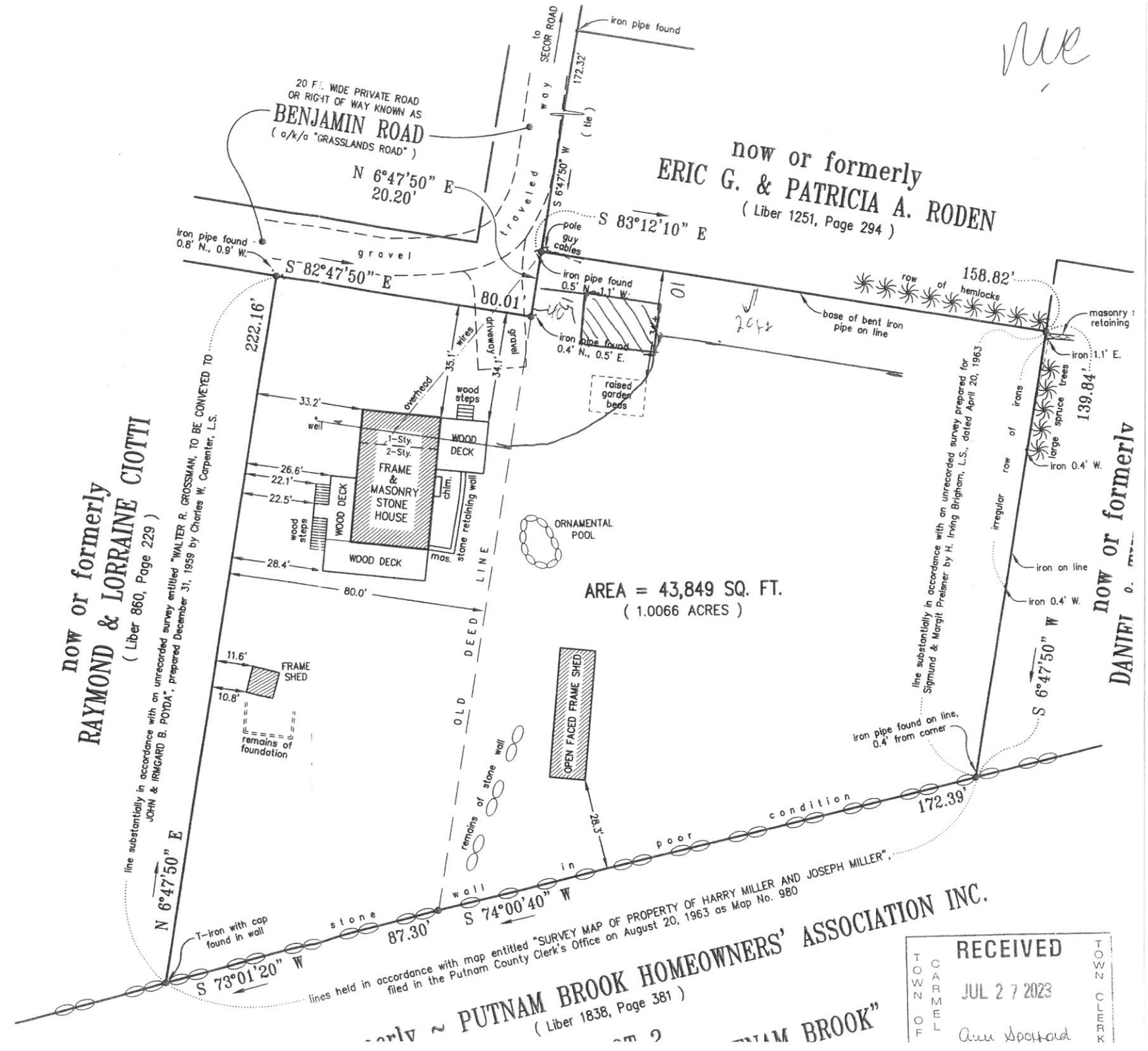


DEED AND SURVEY OF PROPERTY
 PREPARED FOR
K PEKOWSKY
 &
VY BLUM

PROPERTY SITUATE IN
 TOWN OF CARMEL
 COUNTY OF PUTNAM
 STATE OF NEW YORK

SCALE: 1" = 30'

DATE: AUGUST 7, 2014

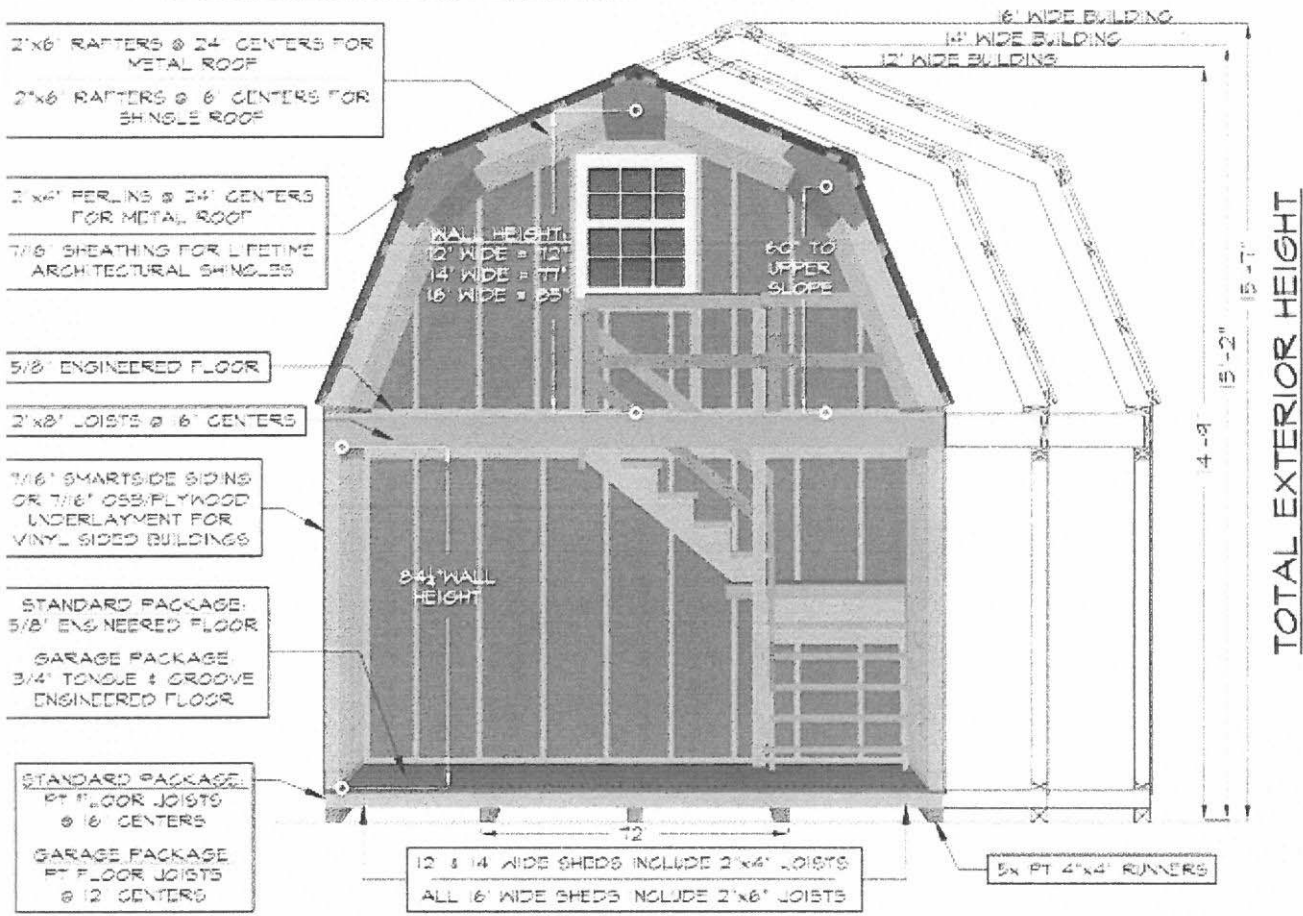


nk

RECEIVED
 JUL 27 2023
 Ann Spofford

below, only to:

CHOICE OF METAL OR SHINGLE ROOF





ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

MC

IN THE MATTER OF THE APPEAL
OF
Albano
TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: 7/31, 2023

Application For (circle applicable): Area Variance 156-45.2 B(3) Use Variance Interpretation '280A'
Name of Property Owner: CARL & ANITA Albano Address: 7 Albano Ridge Carmel NY
Mailing Address: 11 Clark Place Mahopac NY Phone Number(s): _____
Zoning District: R Tax Map: 55.14-1-26.324
Applicant is: (circle one) Owner Lessee Contract Vendee [Attach deed, contract of sale or lease agreement]
E-Mail Address: _____
Previous Appeals regarding the subject premises: N/A

DATE	REQUEST	RESULTS
	<u>No previous board appearances</u>	<u>(N/A)</u>

List all improvements (1 family dwelling, pool, etc.) _____

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: _____

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO
Explain: Mechanic St Carmel NY (Town Rd)

I, the applicant, am seeking permission to: allow 1640 sq. ft. accessory apt where 900 sq. max allowed

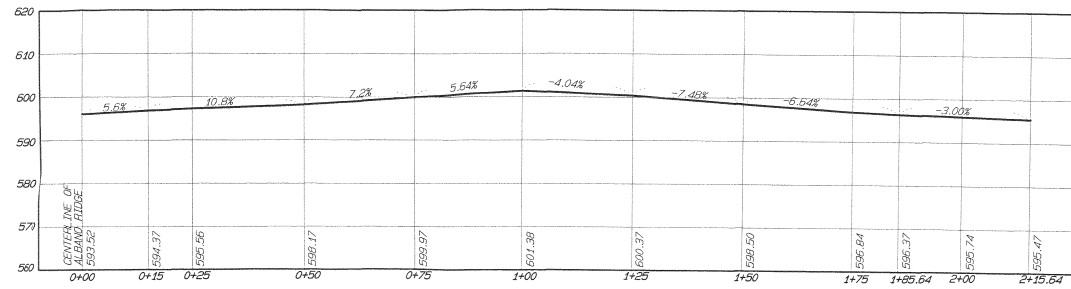
CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
<u>Apt shall be between 400 sq. ft. + 900 sq. ft.</u>	<u>1640</u>	<u>740*</u>

State of New York)
 ss:
County of Putnam)
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this 1 day of Aug, 2023
Alice Daly
Notary Public

ALICE DALY
Notary Public, State of New York
No. 01DA6345218
Qualified in Putnam County
Commission Expires July 25, 2024

[Signature]
Petitioner Date 8/1/2023



DRIVEWAY PROFILE
 SCALE: 1" = 20' HORIZ.
 SCALE: 1" = 20' VERT.

MECHANIC STREET

"FINAL SUBDIVISION PLAT
 KNOWN AS ALBANO ESTATES V, ETC."
 FILED MAP No. 3157

"SUBDIVISION MAP PREPARED FOR
 LOUIS ALBANO AND CARL AND ANITA
 ALBANO, ETC."
 FILED MAP No. 1970

PARCEL B

- Notes:
- 1) Elevations shown hereon conform to the National Geodetic Survey Standard Vertical Datum of 1929.
 - 2) Additional underground easements, utilities or structures, etc. other than those shown hereon may be encountered.
 - 3) The subsurface information shown hereon, if any, is not guaranteed as to accuracy or completeness and should be verified by the contractor before any excavation.

H. STANLEY JOHNSON AND COMPANY
 LAND SURVEYORS, P.C.
 42 SMITH AVENUE P.O. BOX 93
 MT. KISCO, N.Y. 10549
 TEL. 914-241-3872
 FAX. 914-241-0438



SURVEY BROUGHT TO DATE: NOVEMBER 1, 2022
 MAP REVISED: NOVEMBER 15, 2022
 SURVEYED: APRIL 7, 2020
 MAP PREPARED: APRIL 21, 2020

BY: *Robert S. Johnson*
 NEW YORK STATE LICENSED LAND SURVEYOR NO. 50037
 ROBERT S. JOHNSON, P.L.S.

4
 AREA = 568,908 S.F.
 or
 13.060 Acres

Area = 13.060 Acres.

Tax Identification: Sheet 55.14 Block 1 Lot. 28.324

In accordance with the existing Code of Practice for Land Surveys as adopted by The New York State Association of Professional Land Surveyors, Inc.

Unauthorized alteration or addition to a survey map bearing a Licensed Land Surveyor's seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law.

All certifications are valid for this map and copies thereof only if said map or copies bear the impressed seal of the surveyor whose signature appears hereon.

The location of underground improvements or encroachments hereon, if any exist, are not certified or shown.

SURVEY OF PROPERTY
 AND
 DRIVEWAY PROFILE
 PREPARED FOR
CARL ALBANO

AND
ANITA ALBANO

Being Lot 4 as shown on a certain map entitled "Final Subdivision Plat, Known as Albano Estates IV" said map filed in the Putnam County Clerk's Office: September 8, 2006 as Map No. 3030

SITUATE IN THE
 TOWN OF CARMEL
 PUTNAM COUNTY, NEW YORK

SCALE: 1" = 50'

DATA: V99-009

PREPARED BY: SMS CHECKED BY: RSJ

JOB NO. V20-001.0





ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

JK

IN THE MATTER OF THE APPEAL
OF

Graham

TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: August 14, 2023

Application For (circle applicable): Area Variance (156.15) Use Variance Interpretation 280A
CORRECTIONS

Name of Property Owner: Graham Address: 20 Front St
(Address) (City) (State)

Mailing Address: 20 Front Street Mahopac NY Phone Number(s) _____
(Address) (City) (State)

Zoning District: Res Tax Map: 76.6 - 1 - 4
(R-120, Commercial, C/BP, or Conservation) (section) (Block) (Lot)

Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]

E-Mail Address: _____

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
<u>3/19/78</u>	<u>Retain additional one family unit in existing structure</u>	<u>DENIED</u>

List all improvements (1 family dwelling, pool, etc.) 1 family dwelg, Detached Gar.

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: Site plan, survey, house plans, photos

Is any portion of the property within 500 ft of any state or county highway, town boundary, parkway or public lands? YES/NO
Explain: Croton Falls Rd (NO)

I, the applicant, am seeking permission to: permit to build addition at 4.75' from the left side of property line

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
20 Ft	4.75'	4.75 <u>15.25</u>

State of New York)

ss:

County of Putnam)

The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

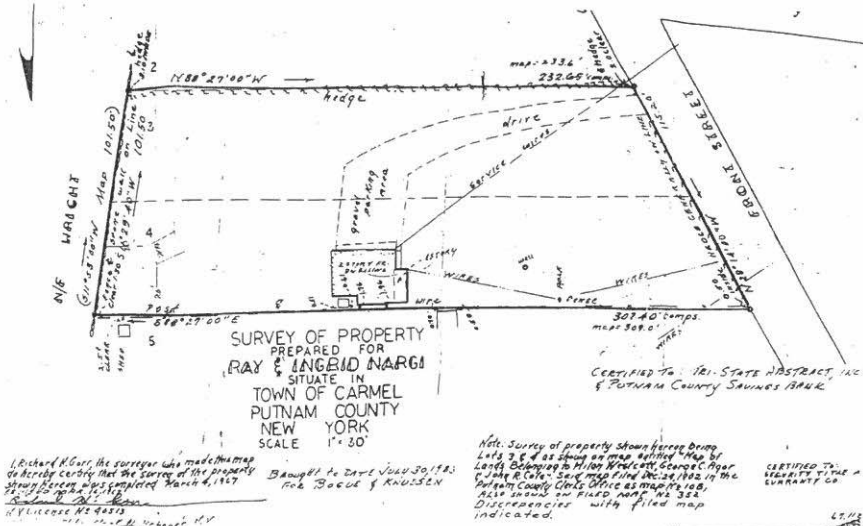
Sworn to before me this 14 day of Aug, 2023

Alice Daly
Notary Public

ALICE DALY
Notary Public, State of New York
No. 01DA6345218
Qualified in Putnam County
Commission Expires July 25, 2024

Petitioner: *[Signature]* Date 10-14-23

SITE PLAN
 BASED ON SURVEY OF PROPERTY
 PREPARED BY
 Richard Gorr
 LAND SURVEYOR
 July 30, 1983



1. Richard Gorr, the surveyor who made this map to hereby certify that the survey of this property was made in accordance with the laws of the State of New York and the rules and regulations of the Board of Regents of the State of New York.

Not: Survey of property shown hereon done by Gorr & Co. on 07-30-83. Map filed in the County Clerk's Office on 08-04-83. This map is subject to the provisions of the Real Property Law of the State of New York, Chapter 100, Section 130, as amended.

GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO COMMENCING WORK.
2. CONSTRUCTION NOTES ON DRAWINGS ARE INCLUSIVE OF ALL TRADES AND SHALL BE READ AND UNDERSTOOD BY ALL CONTRACTORS AND SUBCONTRACTORS.
3. ARCHITECTURAL DRAWINGS SHALL BE FOLLOWED AS CLOSELY AS ACTUAL FIELD CONDITIONS AND THE WORK OF OTHER TRADES PERMIT. ANY PIPING, WIRING OR MATERIALS NOT SPECIFICALLY SHOWN OR SPECIFIED BUT NEEDED TO COMPLETE THE WORK SHALL BE DEEMED TO BE PART OF THE WORK AND SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. DETAILS NOT USUALLY SHOWN OR SPECIFIED BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK, SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
4. THE CONTRACTOR SHALL VERIFY ALL EQUIPMENT LOCATIONS, CLEARANCES AND HOOKUPS WITH MANUFACTURER'S SPECIFICATIONS WHETHER THE EQUIPMENT IS SUPPLIED BY THE GENERAL CONTRACTOR OR OTHERS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD FIT AND QUALITY OF ALL WORK WHETHER BY THE GENERAL CONTRACTOR OR BY SUBCONTRACTORS. NO ALLOWANCES SHALL BE MADE ON BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLECT ON HIS PART.
6. CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH THE REQUIREMENTS OF LOCAL AUTHORITIES.
7. CONTRACTOR SHALL EMPLOY WORKMEN SKILLED IN THE WORK THEY PERFORM. ALL WORK SHALL BE PERFORMED IN A FIRST CLASS, WORKMANLIKE MANNER AND IN NO WAY SHALL DAMAGE OR WEAKEN THE STRUCTURAL STRENGTH OR INTEGRITY OF THE EXISTING BUILDING.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL METHODS AND MEANS OF CONSTRUCTION AND PROVIDE ALL SAFEGUARDS TO ENSURE SAFETY TO THE PUBLIC FOR THE DURATION OF THIS RENOVATION PROJECT.
9. CONTRACTOR SHALL CONFORM TO THE RESIDENTIAL BUILDING CODE OF NEW YORK STATE AND OTHER APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL CODES, LAWS, REGULATIONS, ORDINANCES AND REQUIREMENTS.
10. CONTRACTOR SHALL OBTAIN THE REQUIRED PERMITS AND PAY THE REQUIRED FEES INCLUDING FOR THE USE OF CRANES, HOISTS OR OTHER SPECIAL EQUIPMENT. BEFORE COMMENCING WORK, ALL PERMITS SHALL BE CONSPICUOUSLY DISPLAYED AT THE SITE IN A LOCATION OPEN TO PUBLIC INSPECTION FOR THE DURATION OF THE WORK.
11. WORK SHALL NOT COMMENCE UNTIL IT HAS BEEN APPROVED BY THE AGENCIES HAVING JURISDICTION.
12. ALL MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS OR APPROPRIATE MATERIALS INSTITUTE. WHERE MANUFACTURER'S SPECIFICATIONS SO STATE, MANUFACTURER SHALL BE RESPONSIBLE FOR THE PERFORMANCE OF THEIR PRODUCT AND SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER, DESIGNER AND GENERAL CONTRACTOR IN CASE OF FAILURE.
13. ALL CONTRACTORS TO PROVIDE ALL NECESSARY BARRICADES AND SAFETY PRECAUTIONS AND STRICTLY ADHERE TO ALL APPLICABLE CODES RELATED TO SAFETY INCLUDING STATE, LOCAL AND OSHA REQUIREMENTS.
14. ALL MATERIALS AND EQUIPMENT SHALL BE APPROVED FOR USE AS REQUIRED BY GOVERNING MUNICIPAL, STATE AND/OR FEDERAL AGENCIES AND SHALL MEET ALL REQUIRED CONDITIONS.
15. PLUMBING AND ELECTRICAL WORK SHALL BE DONE BY LICENSED PLUMBER AND ELECTRICIAN.
16. THESE BID DOCUMENTS DO NOT INCLUDE THE DESIGN OF PLUMBING OR HVAC SYSTEMS.
17. THE ENGINEER SHALL HAVE FINAL APPROVAL OF HVAC, RADIATOR LOCATIONS, SPRINKLER HEAD LOCATIONS, NEW DUCT LAYOUT, SUPPLY AND RETURN AIR GRILLE LOCATIONS.
18. PROVIDE AND INSTALL ALL REQUIRED WIRING FOR NEW CONSTRUCTION AND MODIFICATIONS TO EXISTING AREAS AS REQUIRED AS PER THE POWER AND LIGHTING PLANS. RELOCATE EXISTING SERVICE AS MAY BE REQUIRED. REVIEW PROPOSED RELOCATIONS WITH DESIGNER PRIOR TO STARTING WORK.
19. OBTAIN ALL REQUIRED PERMITS, INSPECTIONS AND APPROVALS. COORDINATE ALL WORK WITH THE GENERAL CONTRACTOR AND THE APPLICABLE UTILITY COMPANIES. ENTIRE INSTALLATION SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE, STATE AND LOCAL CODES AND ORDINANCES AND THE ELECTRIC UTILITY AND TELEPHONE COMPANIES.

GRAHAM RESIDENCE
 20 Front St.
 Mahopac, NY 10541



LOCATION PLAN
 NOT TO SCALE



ANTHONY SOTTILE, PE
 PROFESSIONAL ENGINEER IN MECHANICAL ENGINEERING
 625 HILLTOP ST. MAHOPAC, NY 10541 (845) 628-6089
 Project: PROPOSED 2-STORY ADDITION
 Drawing Title: COVER PAGE AND NOTES

ISSUED / REVISIONS	
Date	Title

ZONING CALCULATIONS

TOWN OF CARMEL ZONING REQUIREMENTS

BASIC DATA : ADDRESS: 20 FRONT STREET, MAHOPAC, NY 10541
TAX MAP # 76.6-1-4

PROPOSED USE: 1 FAMILY RESIDENCE

PRINCIPLE	REQUIRED / ALLOWABLE:	EXISTING / PROPOSED:	VARIANCE / REQUIRED:
BULK REGULATIONS:			
LOT AREA:	1/2 to 1 ACRE	0.63 ACRE	NO
FRONT:	40'	127.86'/115.92'	NO
LEFT SIDE:	20'	176'/14.75'	YES 15.25' LEFT SIDE
RIGHT SIDE:	20'	72.99'	LEFT SIDE
REAR:	30'	N/A	NO

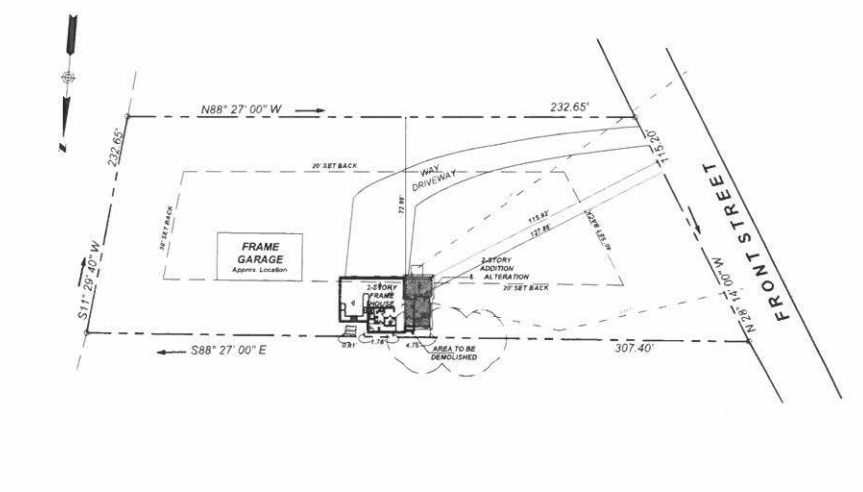
DRAWING INDEX

- Z-1 COVER PAGE AND NOTES
- A-1 EXISTING-DEMO FLOOR PLANS
- A-2 PROPOSED FLOOR PLAN
- A-3 PROPOSED ELEVATIONS - EXISTING HOUSE PHOTO

PROJECT DIRECTORY

Anthony Sottile, P.E.
 53 Fmi Drive
 Carmel, NY 10512
 T. 845.628.6089

GRAHAM RESIDENCE
 20 FRONT ST.
 Mahopac, NY 10541



SITE PLAN
 AUGUST-02-23 SCALE 1" = 30'

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA (Effective 5-12-2020)

LOCATION: TOWN OF CARMEL Zip Code: 10541

GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY (RISK DR)	SUBJECT TO DAMAGE FROM								
	SPEED (MPH)	TOPG EFFECTS	SPECIAL WIND REGION	WIND BURNING DESIGN ZONE		WEATHERING	FROST LINE DEPTH	TERMITE	WINTER DESIGN TEMP	CLIMATE ZONE	ICE BARRIER UNDERLAYMENT REQD.	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
30	SPECIAL WIND REGION 110 MPH @ 100 MPH	NO	YES	NO	C	SEVERE	42"	MODERATE TO HEAVY	7	4A	YES	NO	1500 or less	51.6

MANUAL J DESIGN CRITERIA

Elevation	Latitude	Winter heating	Summer cooling	Altitude correction factor	Indoor design temperature	Design temperature cooling	Heating temperature difference
436	41	7	87	1	68	75	61
Cooling temperature difference	Wind velocity heating	Wind velocity cooling	Coincident wet bulb	Daily range	Winter humidity	Summer humidity	
12	20.4	7.5	72	M	30	55	

OWNER: GRAHAM RESIDENCE
 20 FRONT ST.
 MAHOPAC, NY 10541

Scale: As Noted
 Date: AUGUST-02-2023
 Drawing Number: Z-1



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

me

IN THE MATTER OF THE APPEAL
OF

Altero

Application Date: August 14, 2023

TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application For (circle applicable): Area Variance () Use Variance Interpretation 280A
Name of Property Owner: **Robert Altero** Address: **3 Curry Spur**
Mailing Address: **3 Curry Spur, Mahopac, NY** Phone Number(s):
Zoning District: **R-120** Tax Map: **53.12 - 1 - 7**

Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]
E-Mail Address: **rayexdesign@gmail.com**

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
2014	retain existing deck	granted
2006	side and rear yards for enlarging BR	granted

List all improvements (1 family dwelling, pool, etc.) house remains, shed, garage, pool gazebo

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: survey and pictures

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO
Explain: yes Loma Pon Rd

I, the applicant, am seeking permission to: retain gazebo, legalize room above garage

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
10' rear (gazebo)	2' and 6'	8'
25' front (garage)	0'	25'
	(Over Property Line, Easement agreement needed)	

State of New York)
 SS:
County of Putnam)
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this 15 day of August 2023
Alice Daly
Notary Public

ALICE DALY
Notary Public, State of New York
No. 01DA6345218
Qualified in Putnam County
Commission Expires July 25, 2024

Petitioner William Besharat Date 8/15/23



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

AUTHORIZATION FORM

RE: Property of: Robert Altero
(Owner)
Located at: 3 Curry Spur, Mahopac, NY 10541
(Address) (City, Town, Village)
Tax Map #: 53.12-1-7
In the matter of: Altero front and rear yard variance
(Variance Request)

To whom it may concern:

This letter is to authorize William Besharat

a/an (check one) Attorney Engineer Architect Other (Agent)

to apply for the required variance(s) on the above noted property and to sign all necessary papers and make all necessary representations on my behalf in connection with the above-mentioned matter.

Countersigned: *William Besharat*
(Representative)
William Besharat
(Print Name)

Signed: *Robert Altero*
(Owner of Property)
Robert Altero
(Print Name)

Mailing Address: 266 Shear Hill Rd
Mahopac
State: NY Zip: 10541
Telephone # 914-330-4999
Date: 8/14/2023
E-mail: Ravexdesign@gmail.com

Mailing Address: 3 Curry Spur
Mahopac
State: NY Zip: 10541
Telephone # _____

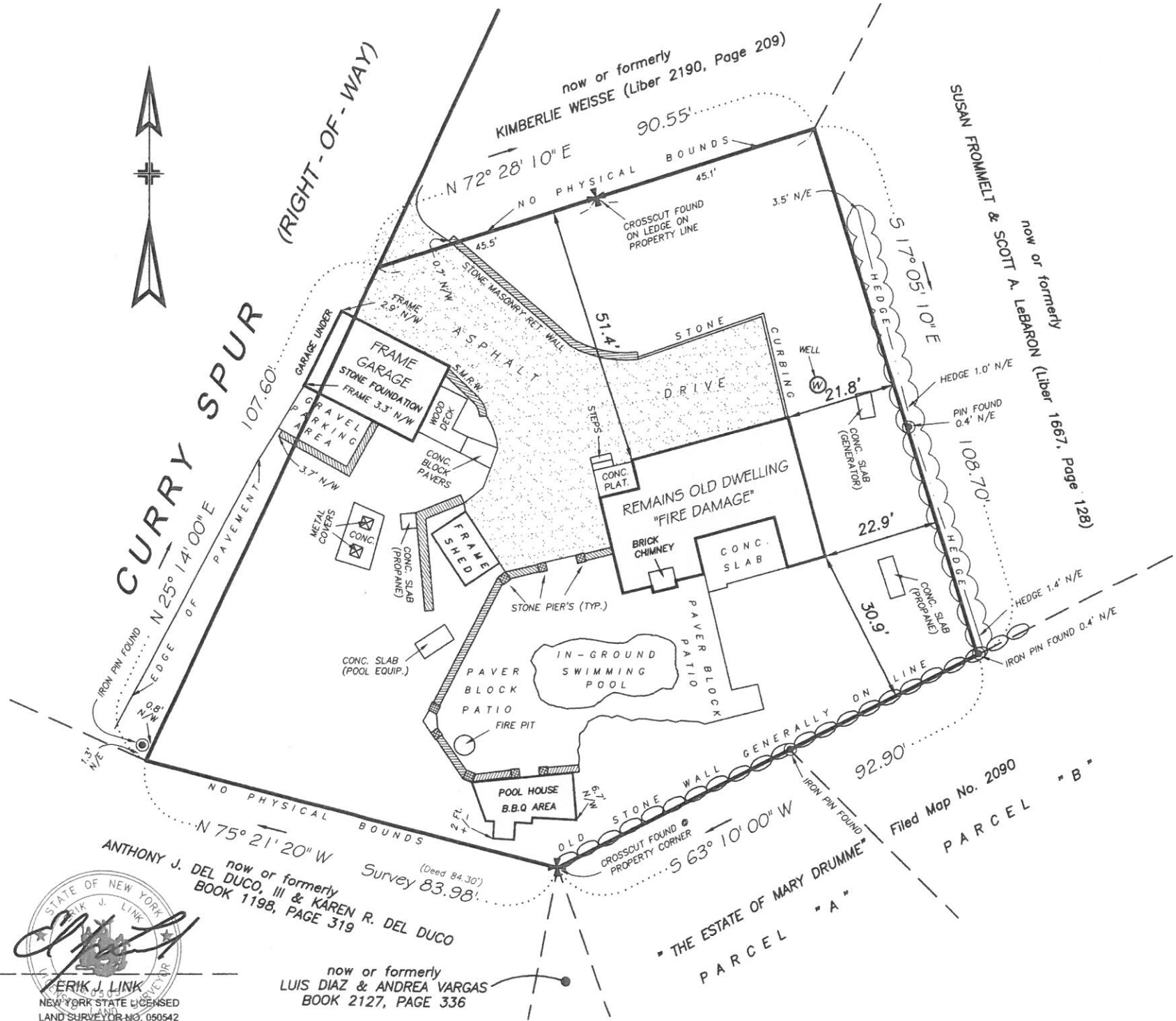
NOTE: The willful submission of false or inaccurate information on this application may result in the dismissal of the application, or the revocation of any action taken on the application, or both.

SURVEY OF PROPERTY
 SITUATE IN THE
TOWN of CARMEL
 PUTNAM COUNTY
 NEW YORK

SCALE : 1" = 20'
 SURVEYED : AUGUST 7, 2023

- THE PREMISES SHOWN HEREON DESCRIBED IN DEED RECORDED IN BOOK 1964 PAGE 283 ON OCTOBER 13, 2014, IN THE PUTNAM COUNTY CLERK'S OFFICE.
- PREMISES ARE DESIGNATED ON THE TAX MAPS FOR THE TOWN of CARMEL as:
 SECTION: 53.12 BLOCK: 1 LOT: 7
 STREET ADDRESS: 3 CURRY SPUR
 PROPERTY AREA: 15,019 Sq. Ft. / 0.3448 Acre
- THIS MAP IS BASED UPON THE INFORMATION SUPPLIED BY THE CLIENT AND/OR HIS REPRESENTATIVE AND SUBJECT TO THE FINDINGS THAT A COMPLETE ABSTRACT OF TITLE MAY UNCOVER
- THE OFFSETS SHOWN HEREON ARE NOT INTENDED TO ESTABLISH PROPERTY LINES FOR THE ERECTION OF FENCES, STRUCTURES OR ANY OTHER IMPROVEMENTS.
- ENCROACHMENTS BELOW GRADE AND/OR SUBSURFACE FEATURES, IF ANY, NOT LOCATED OR SHOWN HEREON.
- UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAWS.
- THE INFORMATION DEPICTED HEREON IS BASED UPON AN ACTUAL FIELD SURVEY AND IS AN OPINION BASED UPON SAID SURVEY. VARIATIONS IN OFFSETS FROM THAT OF THE OTHERS CAN AND MAY EXIST.
- ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S SEAL SHALL BE CONSIDERED TO BE TRUE VALID COPIES.
- THIS MAP WAS PREPARED FROM AN ACTUAL FIELD SURVEY CONDUCTED ON THE DATE SHOWN AND THAT SAID SURVEY WAS PERFORMED IN ACCORDANCE WITH THE EXISTING " CODE OF PRACTICE FOR LAND SURVEYS " ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.

PREPARED FOR: ROBERT ALTERO



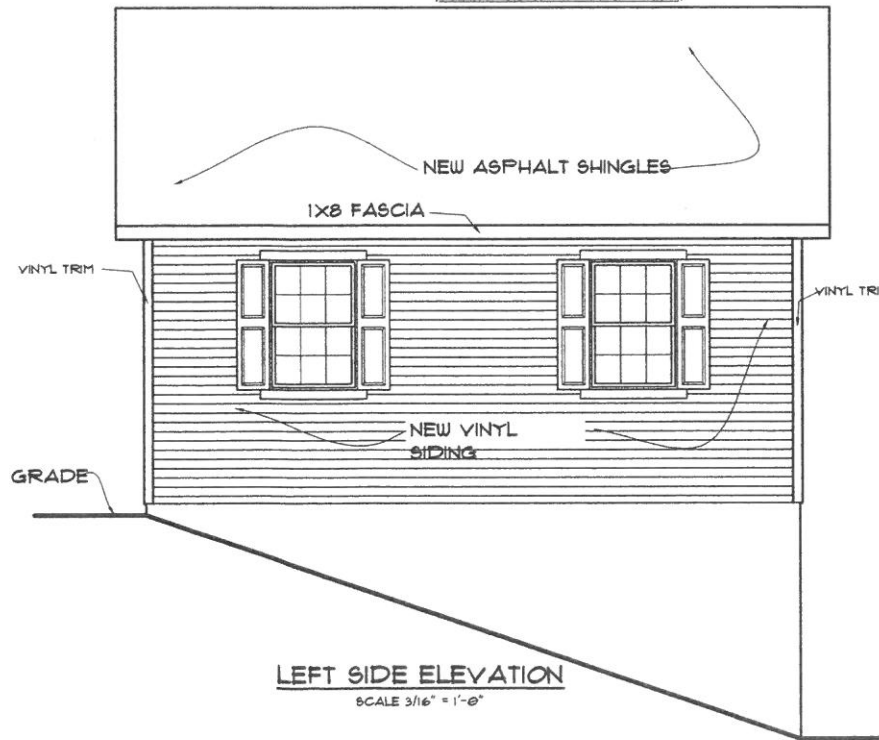
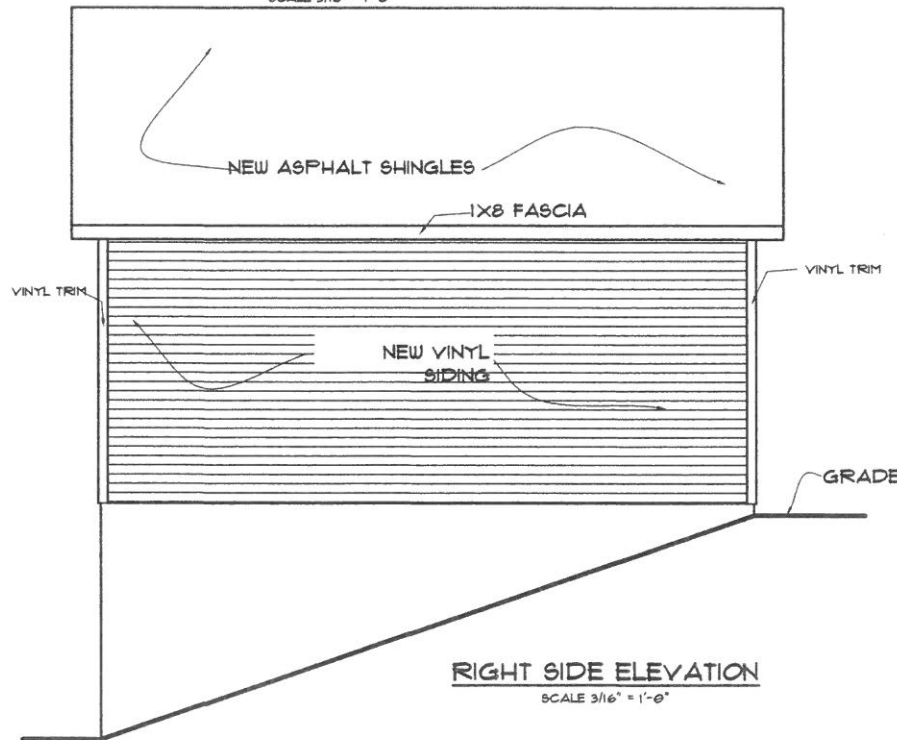
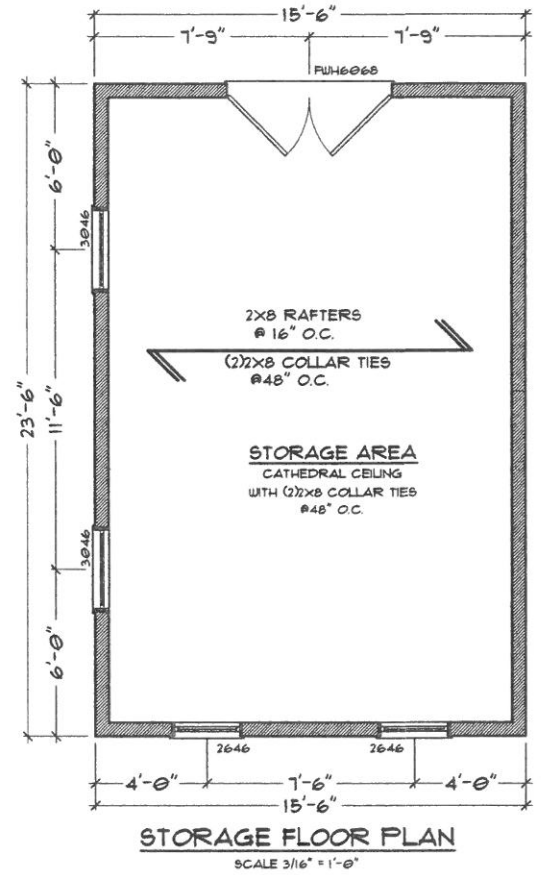
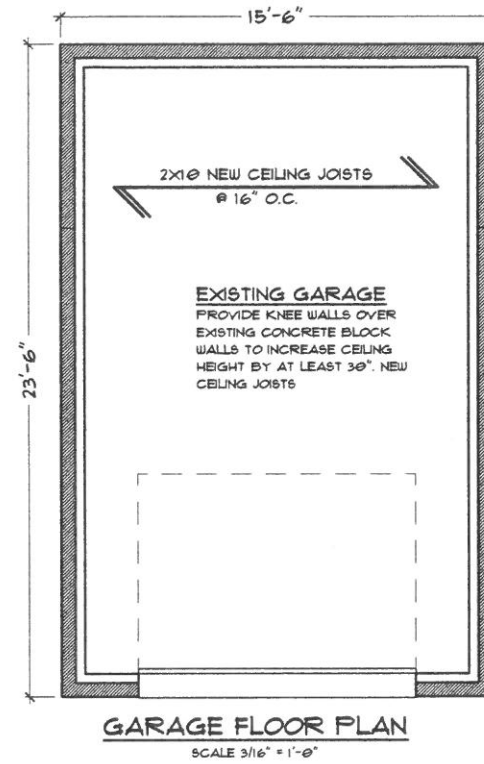
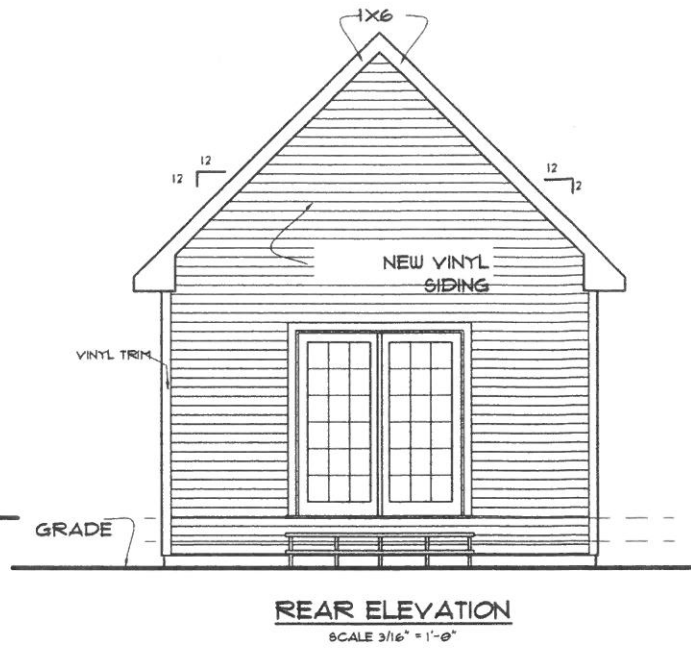
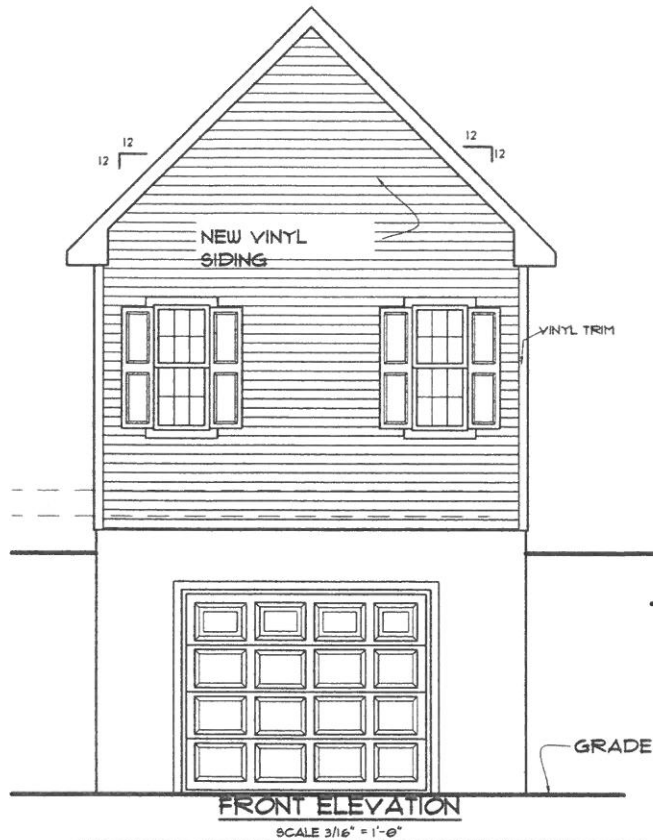
Link
Land Surveyors P.C.
 21 Clark Place, Suite 1-B Mahopac, N.Y. 10541
 Phone 845-628-5857

STATE OF NEW YORK
 ERIK J. LINK
 NEW YORK STATE LICENSED
 LAND SURVEYOR NO. 050542

ANTHONY J. DEL DUCCO
 now or formerly
 Survey 83.98
 (Deed 84.30)
 now or formerly
 LUIS DIAZ & ANDREA VARGAS
 BOOK 2127, PAGE 336

COPYRIGHT 2023
 LINK LAND SURVEYOR P.C. ALL RIGHTS RESERVED. THE UNAUTHORIZED
 REPRODUCTION AND OR DISTRIBUTION OF THIS DOCUMENT IS ILLEGAL, AND
 IS A VIOLATION UNDER UNITED STATES COPYRIGHT LAWS.

Filed Map No. 2090
 PARCEL "A"
 PARCEL "B"



RAYEX
DESIGN PLANNING CONSTRUCTION

OWNER: ROBERT ALTERO	JOB #
	DRN BY:
	CHKD BY:
PROJECT: ADDITION TO EXISTING DETACHED GARAGE LOCATED AT 3 CURRY SPUR IN MAHOPAC, TOWN OF CARMEL, NY	TAX MAP #:

SHEET TITLE: FLOOR PLANS & ELEVATIONS
1 OF 1

REVISIONS: DATE: 8/11/2023







ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

me

IN THE MATTER OF THE APPEAL
OF

SIMON

TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: **AUGUST 14, 2023**

Application For (circle applicable): Area Variance () Use Variance Interpretation 280A
 Name of Property Owner: **Matthew Simon** Address: **20 Red Brook Rd**
 Mailing Address: **20 Red Brook Rd, Mahopac,** Phone Number(s):
 Zoning District: **R-120** Tax Map: **74.12 - 1 - 18**
(R-120, Commercial, C BP, or Conservation) (Address) (City) (State) (Section) (Block) (Lot)

Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) **[Attach deed, contract of sale or lease agreement]**

E-Mail Address: _____

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS

List all improvements (1 family dwelling, pool, etc.) **House and Shed**

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: **pictures of shed**

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO
 Explain: **Secore Rd**

I, the applicant, am seeking permission to: **retain a shed that existing 6' from rear property line**

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
10 10	6'	4' 4'

State of New York)
 ss:
 County of Putnam)

The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this 15 day of August 2023

Alice Daly
 Notary Public

ALICE DALY
 Notary Public, State of New York
 No. 01DA6345218
 Qualified in Putnam County
 Commission Expires July 25, 2024

Petitioner William Berhard Date 8/15/23



AUTHORIZATION FORM

RE: Property of: Matthew Simon
Located at: 20 Red Brook Rd (Owner) Mahopac, NY 10541
Tax Map #: 74.12-1-18 (Address) (City, Town, Village)
In the matter of: Simon (Variance Request)

To whom it may concern:

This letter is to authorize William Besharat
a/an (check one) Attorney Engineer Architect Other (Agent)

to apply for the required variance(s) on the above noted property and to sign all necessary papers and make all necessary representations on my behalf in connection with the above-mentioned matter.

Countersigned: _____
(Representative)
William Besharat
(Print Name)

Signed: Matthew Simon
(Owner of Property)
Matthew Simon
(Print Name)

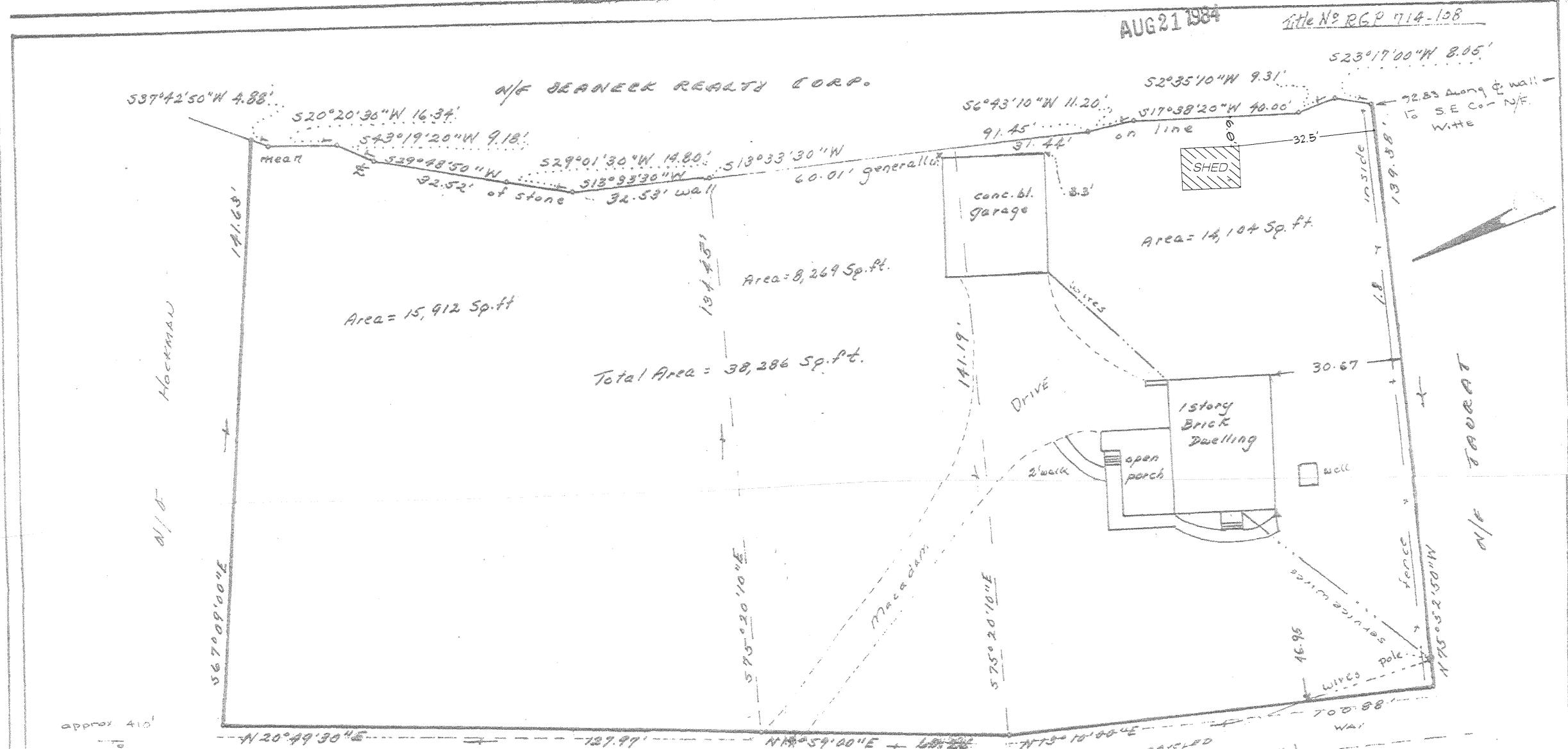
Mailing Address: 266 Shear Hill Rd
Mahopac
State: NY Zip: 10541
Telephone # 914-330-4999
Date: 8/14/2023
E-mail: Ravexdesign@gmail.com

Mailing Address: 20 Red Brook Rd
Mahopac
State: NY Zip: 10541
Telephone # _____

NOTE: The willful submission of false or inaccurate information on this application may result in the dismissal of the application, or the revocation of any action taken on the application, or both.

AUG 21 1984

Title No RGP 714-158



Area = 15,912 Sp. ft.

Area = 8,269 Sp. ft.

Area = 14,104 Sp. ft.

Total Area = 38,286 Sp. ft.

approx 410'
to
Sacon
RD

PRIVATE ROAD (Known as "Red Brook Road")

SURVEY OF PROPERTY
 PREPARED FOR
 WILLIAM E. & AGNES C. FITZPATRICK
 SITUATE IN
 TOWN OF CARMEL
 PUTNAM COUNTY
 NEW YORK
 SCALE 1" = 20'

I, Richard H. Gorr, the surveyor who made this map, do hereby certify that
 the survey of the property shown hereon was completed July 9, 1969
 brought to date Aug. 13, 1984

Richard H. Gorr
 N.Y. License No 90513
 Old Stone Bldg., Clark Place, Mahopac, N.Y.

Certified to:
 Security Title & Guaranty Company &
 Poughkeepsie Savings Bank & Robert J.
 Jean M. Arenella





ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

MC

IN THE MATTER OF THE APPEAL
OF
John Cicerale
TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: 8/13, 20 23

Application For (circle applicable): Area Variance () Use Variance Interpretation 280A
Name of Property Owner: John Cicerale & Justine MacIsaac Address: 27-31 Causeway Park, Carmel, NY
Mailing Address: 27-31 Causeway Park, Carmel, NY Phone Number(s): 7
Zoning District: Res Tax Map: 43 - 1 - 53
Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]
E-Mail Address: _____

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
	N/A	

List all improvements (1 family dwelling, pool, etc.) 2 one story frame residences, frame cabin, shed, pool w/deck

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: survey, affidavits, Memorandum of Law to follow

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO
Explain: yes

I, the applicant, am seeking permission to: retain 2 residences on one lot (currently 3-family dwellings)

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
	See attached	

State of New York)
 ss:
County of Putnam)
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this 13th day of August, 20 23

Notary Public

WILLIAM A. SHILLING JR.
Notary Public, State of New York
Reg. No. 02SH476423
Qualified in Putnam County
Commission Expires 07/01/20

Date 8-13-23

ATTACHMENT

There are three residential structures with history of residential use. The main structure (31) has recently been destroyed by a fire in March of 2023. It will be rebuilt upon receipt of insurance proceeds. The “cabin” was occupied residentially upon Applicant’s purchase in 2021 and has not been discontinued during Applicant’s ownership. The third residential structure (27) has fallen into severe disrepair and has not been resided in for an extended period of time. Applicant wishes to discontinue the legal residential use of the “cabin”, raze the house in disrepair (27) and place a new one bedroom structure which is smaller than the existing structure (27). Applicant seeks an interpretation of 156-47 permitting the replacement of the single family house (27) which is of “a more restrictive nature” (156-47 A-2). In the alternative, Applicant seeks a variance of §156-10 to permit two residential structures on one lot.



AUTHORIZATION FORM

RE: Property of: John Cicerale
(Owner)
Located at: 27-31 Causeway Park, Carmel, NY
(Address) (City, Town, Village)
Tax Map #: 43.-1-53
In the matter of: interpretation
(Variance Request)

To whom it may concern:

This letter is to authorize William A. Shilling, Jr., Esq., Shilling & Smith, P.C.

a/an (check one) Attorney Engineer Architect Other _____

to apply for the required variance(s) on the above noted property and to sign all necessary papers and make all necessary representations on my behalf in connection with the above-mentioned matter.

Countersigned: _____
(Representative)
William A. Shilling, Jr., Esq.
(Print Name)

Signed: _____
(Owner of Property)
John Cicerale
(Print Name)

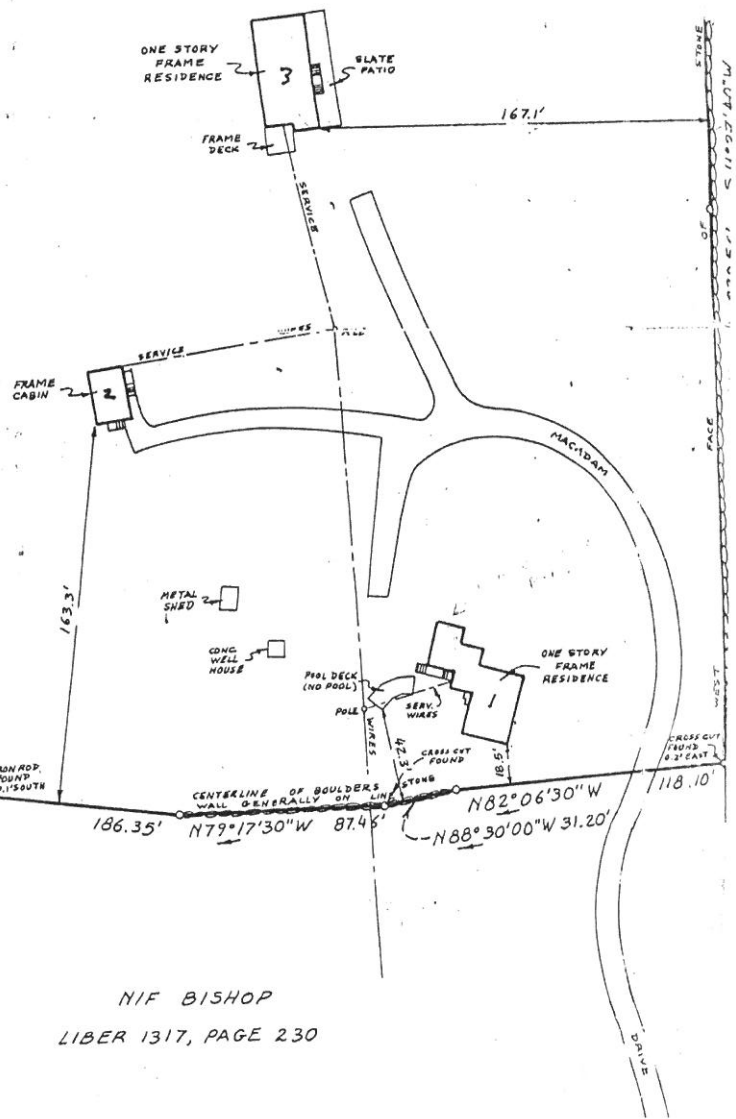
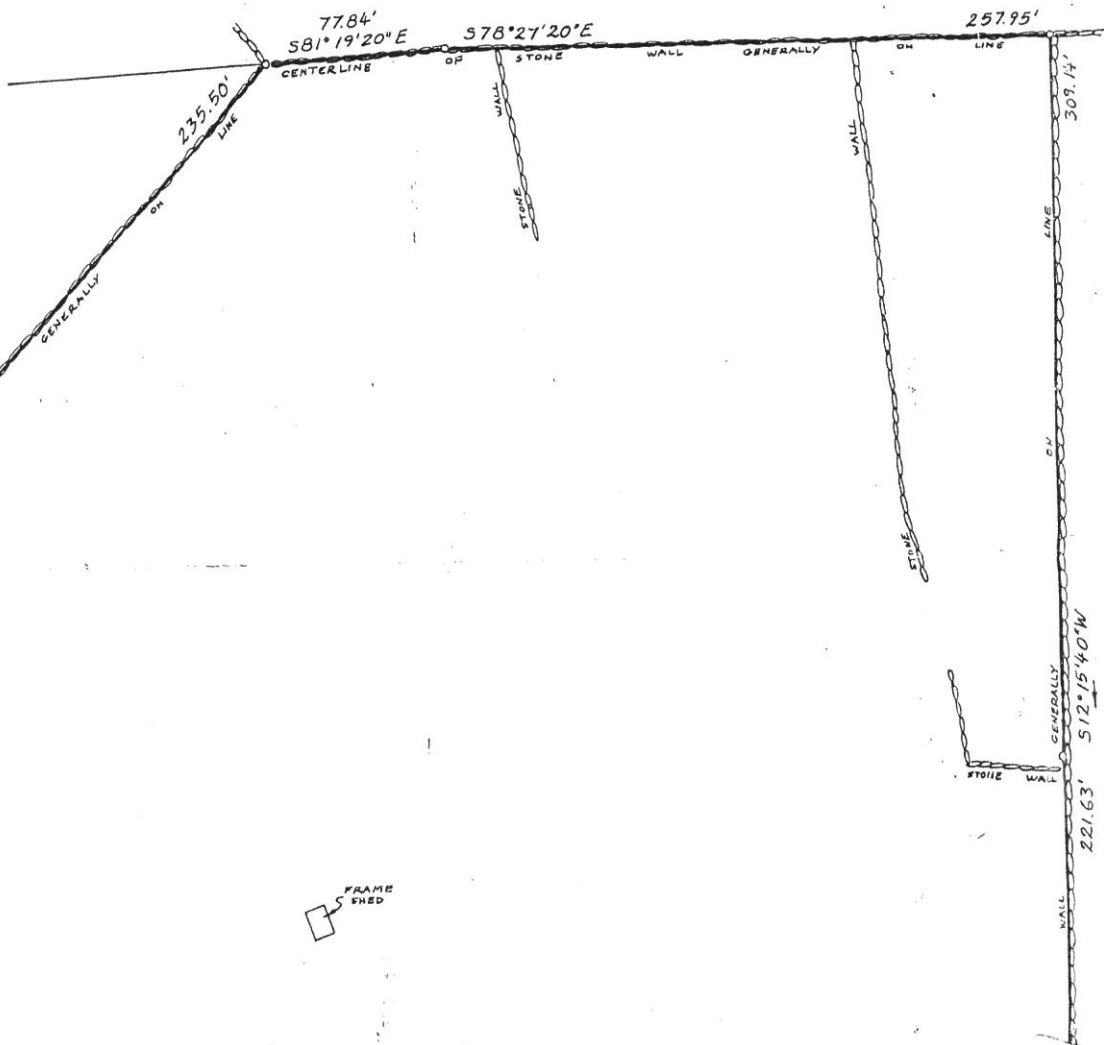
Mailing Address: 1961 Route 6, Suite U3
Carmel
State: NY Zip: 10512
Telephone # (845) 225-7500
Date: _____
E-mail: waslaw@shillinglegal.com

Mailing Address: 27-31 Causeway Park
Carmel
State: NY Zip: 10512
Telephone # _____

NOTE: The willful submission of false or inaccurate information on this application may result in the dismissal of the application, or the revocation of any action taken on the application, or both.

INL.
FOR M.R. ASSOCIATES, ETC.
AS MAP NUMBER 2316
LOT 1

NIF CAMPBELL
MAP OF HICKORY NUT HILL, ETC.
OCTOBER 21, 1960 AS MAP NO. 896
LOT 3



NIF THE CITY OF NEW YORK