

JOHN MAXWELL
Chairman

PHILIP AGLIETTI
Vice-Chair

TOWN OF CARMEL
ZONING BOARD OF APPEALS



60 McAlpin Avenue
Mahopac, New York 10541
Tel. (845) 628-1500 – Ext 187
www.ci.carmel.ny.us

MICHAEL
CARNAZZA
Director of Code
Enforcement

BOARD MEMBERS
ROSE FABIANO
SILVIO BALZANO
JOHN STARACE
JULIE MCKEON

LEGAL NOTICE

By the Zoning Board of Appeals of the Town of Carmel pursuant to Section 267 Town Law, notice is hereby given that a hearing will be held on:

NOVEMBER 2, 2023 – 7:30 P.M.

To hear the following applications:

HOLD OVER APPLICATIONS:

1. Application of **LIZ & PAT MARTIN** for a Variation of Section 156-15 seeking a Variance for permission to relocate accessory apartment (no setback variance needed). The property is located at 151 Secor Road, Mahopac NY and is known as Tax Map #74.12-2-56.

Code Requires/Allows	Provided	Variance Required
Single Family House w/accessory apt can be detached if existing prior to 1998.	Separate cottage as an accessory apartment being relocated	To relocate accessory apt./cottage, therefore, not existing prior to 1998.

2. Application of **ROBERT ALTERO** for a Variation of Section 156-15 seeking a Variance for permission to retain gazebo and legalize room above garage. The property is located at 3 Curry Spur, Mahopac NY and is known as Tax Map #53.12-1-17

Code Requires/Allows	Provided	Variance Required
10' rear (gazebo)	2'	8'
25' front (garage)	0' (over property line. Easement agreement needed.)	25'

3. Application of **FRANK GIORDANO** for an Interpretation of Section 156-15. Applicant seeks Interpretation that the apartment above garage is legally pre-dated, or in the alternative, a Use Variance to permit same to continue. The property is located at 23 Seminary Hill Road, Carmel NY and is known as Tax Map #55.6-1-68.

4. Application of **BORE COTAJ** for an Interpretation of Section 156-15. Applicant owns the parcel upon which the temporary dock is located and a parcel improved by at least one residential dwelling unit which is directly across the street but separated by a road (i.e. East Lake Blvd.). Applicant seeks an Interpretation that the intent of the statute (i.e. a dock when not located on a parcel improved by at least one residential unit) is met under the circumstances set forth herein or, in the alternative, the following area variances (table below). The property is located at 148 East Lake Blvd., Mahopac NY and is known as Tax Map #76.30-1-5.

Code Requires/Allows	Provided	Variance Required
Dock:		
Lake frontage 50'	6'	44'
Minimum Depth 30'	4'	26'
Minimum Area 3000	96	2904

NEW APPLICATIONS:

5. Application of **CHRISTOPHER MCBRIDE** for a Variation of Section 156-15 seeking a Variance for permission to retain existing shed. The property is located at 83 Fair Street, Carmel NY and is known as Tax Map #44.14-1-85.

Code Requires/Allows	Provided	Variance Required
40' front	31.8'	8.2'

6. Application of **RICHARD & PAMELA STANLEY** for a Variation of Section 156-15 & 156-47.A(1) seeking a Variance for permission to construct 2nd floor addition. The property is located at 22 Frederick Street, Mahopac NY and is known as Tax Map #64.19-1-60.

Code Requires/Allows	Provided	Variance Required
30' Rear	25.35'	4.65'

7. Application of **PATRICK KOHLMAN** for a Variation of Section 156-15 seeking a Variance for permission to add steps to deck & shed. The property is located at 26 Summit Circle Drive, Mahopac NY and is known as Tax Map #87.9-1-33.

Code Requires/Allows	Provided	Variance Required
30' Rear – deck	1.1'	28.9'

8. Application of **ALEX MALICHEK** for a Variation of Sections 156-15 seeking a Variance for permission to build a deck attached to rear of garage. The property is located at 13 Maple Lane East, Mahopac NY and is known as Tax Map #53.-1-50

Code Requires/Allows	Provided	Variance Required
15' side	7'	8'

9. Application of **JASON SHOTT** for a Variation of Section 156-15 seeking a Variance for permission to retain 10' X 18' shed. The property is located at 33 Angela Drive, Carmel NY and is known as Tax Map #54.9-1-29.

Code Requires/Allows	Provided	Variance Required
10'x18' shed: 20' side	7'	13'

10. Application of **JOSEPH CARUSO** for a Variation of Section 156-15 seeking a Variance for permission to retain 2nd shed. The property is located at 18 Cheryl Court, Mahopac NY and is known as Tax Map #75.17-1-16

Code Requires/Allows	Provided	Variance Required
10' side	1'	9'
10' rear	1'	9'

11. Application of **ANTONIO & BETH REALE** for a Variation of Section 156-15 seeking a Variance for permission to retain gazebo & pergola. The property is located at 117 Breckenridge Road, Mahopac NY and is known as Tax Map #74.12-1-3.

Code Requires/Allows	Provided	Variance Required
15' (20' x 12')	2' side	13'
15' (24' x 12')	2' rear	13'

12. Application of **ALISON & DANIEL BROWN-Contract Vendee (DeSanctis-Owner)** for a Variation of Section 156-15 seeking a Variance for permission to construct a second floor on an existing, non-conforming, first floor. The property is located at 18 Frederick Street, Mahopac NY and is known as Tax Map #64.19-1-62.

Code Requires/Allows	Provided	Variance Required
15'	8.79'	6.21'

13. Application of **BRIAN KELLY** for a Variation of Section 156-15 seeking a Variance for permission to retain two sheds. The property is located at 33 Well Road, Mahopac NY and is known as Tax Map #53.-1-59.-13.

Code Requires/Allows	Provided	Variance Required
Shed 1; 10' side	2'	8'
Shed 2; 10' side	2'	8'

14. Application of **WARREN & ANGELA MESSNER** for a Variation of Section 156-15 seeking a Variance for permission to add dormers to finish space over garage for music studio/practice space; not commercial. The property is located at 44 Sycamore Road, Mahopac NY and is known as Tax Map #76.5-1-28.

Code Requires/Allows	Provided	Variance Required
25' front	14'	11'
10' side	.9'	9.1'

15. Application of **WILLIAM WEIZENECKER** for a Variation of Section 156-15 seeking a Variance for permission to retain shed. The property is located at 225 Daisy Lane, Carmel NY and is known as Tax Map #77.19-1-11.

Code Requires/Allows	Provided	Variance Required
10'	7.5'	2.5'

MISCELLANEOUS:

MINUTES:

- August 31, 2023 & September 28, 2023

By Order of the Chairman, John Maxwell



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

me

IN THE MATTER OF THE APPEAL
OF
Martin

Application Date June 27, 2023

TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application For (circle applicable): Area Variance (156-15) Use Variance Interpretation 280A

Name of Property Owner: Liz & Pat Martin Address: 151 Secor Rd. Mahopac, NY 10541

Mailing Address: 151 Secor Rd. Mahopac, NY 10541 Phone Number(s): _____

Zoning District: R Tax Map: 74.12 - 2 - 56

Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]

E-Mail Address: _____

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
1982	add 12'x12' bedroom to existing bldg on prop	granted SMO

List all improvements (1 family dwelling, pool, etc.) (1) Family House & Cottage - 2 Shed

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: _____

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO
Explain: Secor Road, A Country Road

I, the applicant, am seeking permission to: Relocate Accessory apt. (no setback variance needed)

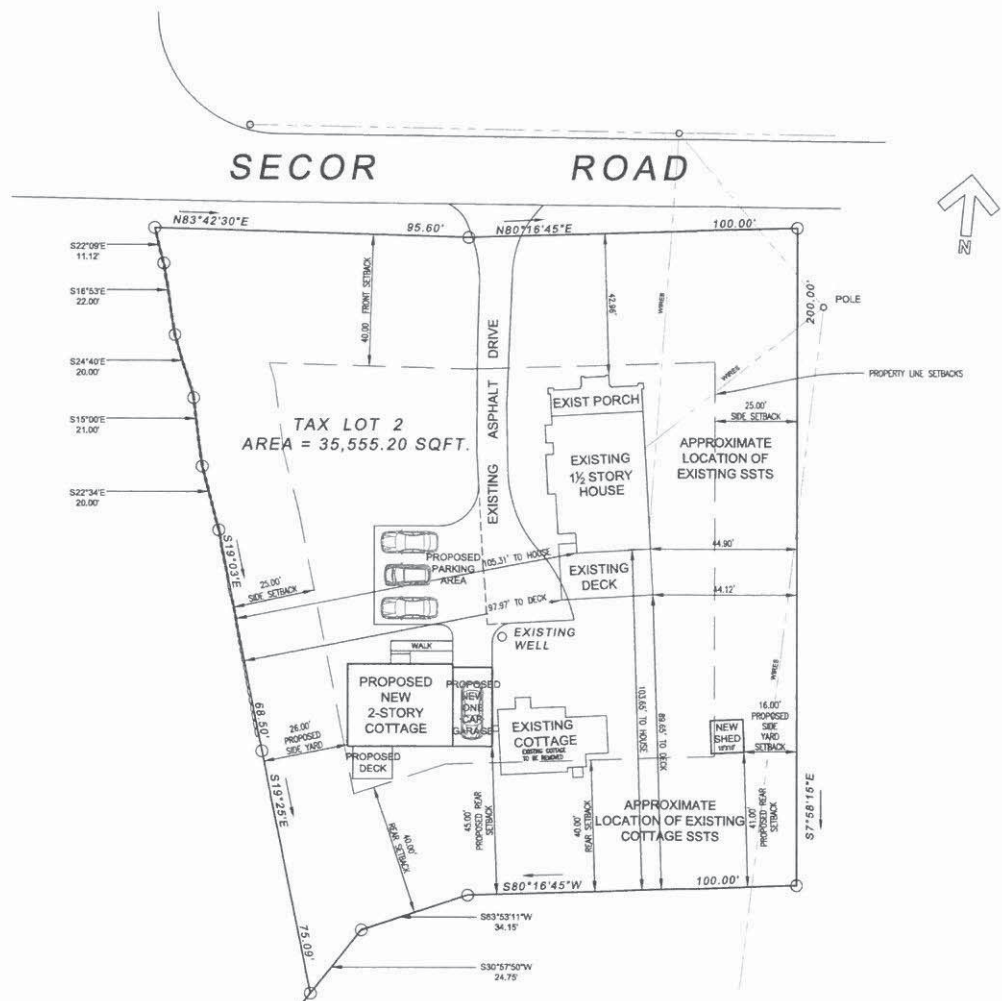
CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
Single Family House	Sep Cottage as an accessory Apt.	To relocate accessory apt. cottage
<u>w/accessory apt can be detached if existing prior to 1998</u>	<u>Being Relocated</u>	<u>therefore not existing prior to 1998</u>

State of New York)
County of Putnam)
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as in those matters (he) (she) believes to be true

Sworn to before me this 16 day of July, 2023

PATRICIA AMICUCCI
Notary Public, State of New York
No. 01AM6431878
Qualified in Putnam County
Commission Expires 04/18/2026

Petitioner Jane Grealy



ARCHITECTURAL SITE PLAN

1" = 20'
 SITE PLAN BASED ON SUBDIVISION MAP
 BY ROBERT BAXTER, LAND SURVEYOR
 DATED: 11-15-1983



ARCHITECTURAL VISIONS, LLC
 A VISIONS INTERNATIONAL COMPANY

2 MUSCOOT ROAD NORTH P.O. BOX 4278-8613
 MAHOPAC NY, 10541 MAHOPAC NY, 10541
 TEL: 845-628-2807 FAX: 845-628-2807

PROJECT:
 MARTIN RESIDENCE

PROJECT ADDRESS: 151 SECOR ROAD
 MAHOPAC, NY 10541

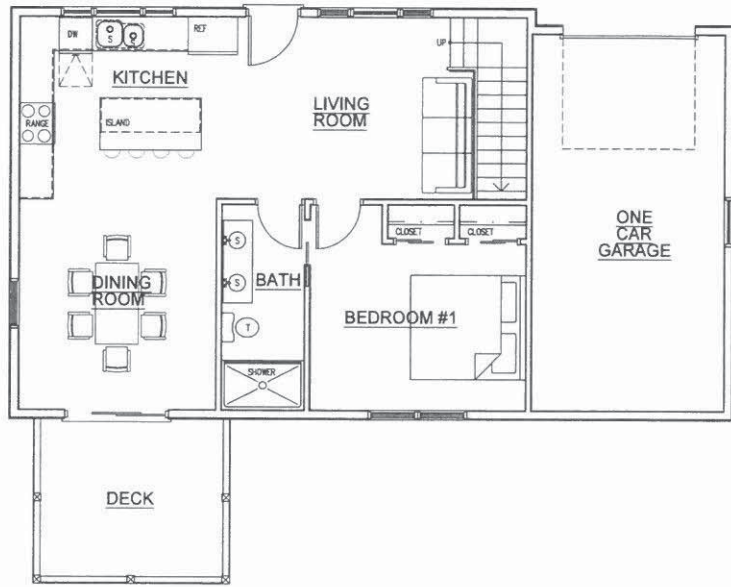
ARCHITECTURAL SITE PLAN

ISSUANCE FOR PERMIT

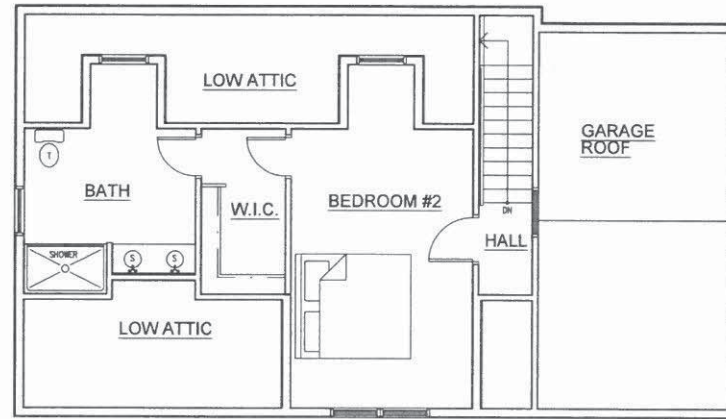
Joel Greenberg

SCALE: AS NOTED
 DRAWN BY: JCS
 PROJECT NO. 05-23-02

AS-100



1 PROPOSED FIRST FLOOR PLAN
1/4"=1'-0"



2 PROPOSED SECOND FLOOR PLAN
1/4"=1'-0"



3 FRONT FRONT ELEVATION
1/4"=1'-0"

ARCHITECTURAL VISIONS, LLC

2 MUSCOOT ROAD NORTH
MAHOPAC NY, 10541
JOEL.PRESNER@ARCHVISIONS.COM

P 845-628-6613
F 845-628-2827

PROJECT:
MARTIN RESIDENCE
PROJECT ADDRESS: 20 DORNISH RD.
MAILING ADDRESS: 20 DORNISH RD.

2 STORY COTTAGE PLANS

INSURANCE	DATE

SCALE: AS NOTED
DRAWN BY: CHW/KD
BY: MMS/JLS
PROJECT NO.: 05-23-052

A-100

IT IS A VIOLATION OF ETHICS FOR ANY PERSON, UNDER ANY CIRCUMSTANCES, TO REPRODUCE OR TRANSMIT THESE PLANS OR DOCUMENTS IN ANY MANNER, FOR ANY PURPOSE, WITHOUT THE WRITTEN PERMISSION OF ARCHITECTURAL VISIONS, LLC. THE ARCHITECT, ARCHITECTURAL VISIONS, LLC, AND ITS AFFILIATES SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY, INCLUDING THE USE OF THESE PLANS AND DOCUMENTS, IN ANY MANNER, WITHOUT THE WRITTEN PERMISSION OF ARCHITECTURAL VISIONS, LLC. THE ARCHITECT, ARCHITECTURAL VISIONS, LLC, AND ITS AFFILIATES SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY, INCLUDING THE USE OF THESE PLANS AND DOCUMENTS, IN ANY MANNER, WITHOUT THE WRITTEN PERMISSION OF ARCHITECTURAL VISIONS, LLC.



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

me

IN THE MATTER OF THE APPEAL
OF

Altero

Application Date: August 14, 2023

TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application For (circle applicable): Area Variance () Use Variance Interpretation 280A
Name of Property Owner: **Robert Altero** Address: **3 Curry Spur**

Mailing Address: **3 Curry Spur, Mahopac, NY** Phone Number(s):

Zoning District: **R-120** Tax Map: **53.12 - 1 - 7**

Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]

E-Mail Address: **rayexdesign@gmail.com**

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
2014	retain existing deck	granted
2006	side and rear yards for enlarging BR	granted

List all improvements (1 family dwelling, pool, etc.) house remains, shed, garage, pool gazebo

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: survey and pictures

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO
Explain: yes Loma Pon Rd

I, the applicant, am seeking permission to: retain gazebo, legalize room above garage

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
10' rear (gazebo)	2' and 6'	8'
25' front (garage)	0'	25'
	(Over Property Line, Easement agreement needed)	

State of New York)

ss:

County of Putnam)

The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this 15 day of August 2023

Alice Daly
Notary Public

ALICE DALY
Notary Public, State of New York
No. 01DA6345218
Qualified in Putnam County
Commission Expires July 25, 2024

Petitioner William Besharat Date 8/15/23



AUTHORIZATION FORM

RE: Property of: Robert Altero
(Owner)
Located at: 3 Curry Spur, Mahopac, NY 10541
(Address) (City, Town, Village)
Tax Map #: 53.12-1-7
In the matter of: Altero front and rear yard variance
(Variance Request)

To whom it may concern:

This letter is to authorize William Besharat

a/an (check one) Attorney Engineer Architect Other (Agent)

to apply for the required variance(s) on the above noted property and to sign all necessary papers and make all necessary representations on my behalf in connection with the above-mentioned matter.

Countersigned: *William Besharat*
(Representative)
William Besharat
(Print Name)

Signed: *Robert Altero*
(Owner of Property)
Robert Altero
(Print Name)

Mailing Address: 266 Shear Hill Rd
Mahopac
State: NY Zip: 10541
Telephone # 914-330-4999
Date: 8/14/2023
E-mail: Ravexdesign@gmail.com

Mailing Address: 3 Curry Spur
Mahopac
State: NY Zip: 10541
Telephone # _____

NOTE: The willful submission of false or inaccurate information on this application may result in the dismissal of the application, or the revocation of any action taken on the application, or both.

SURVEY OF PROPERTY SITUATE IN THE TOWN of CARMEL PUTNAM COUNTY NEW YORK

SCALE : 1" = 20'
SURVEYED : AUGUST 7, 2023

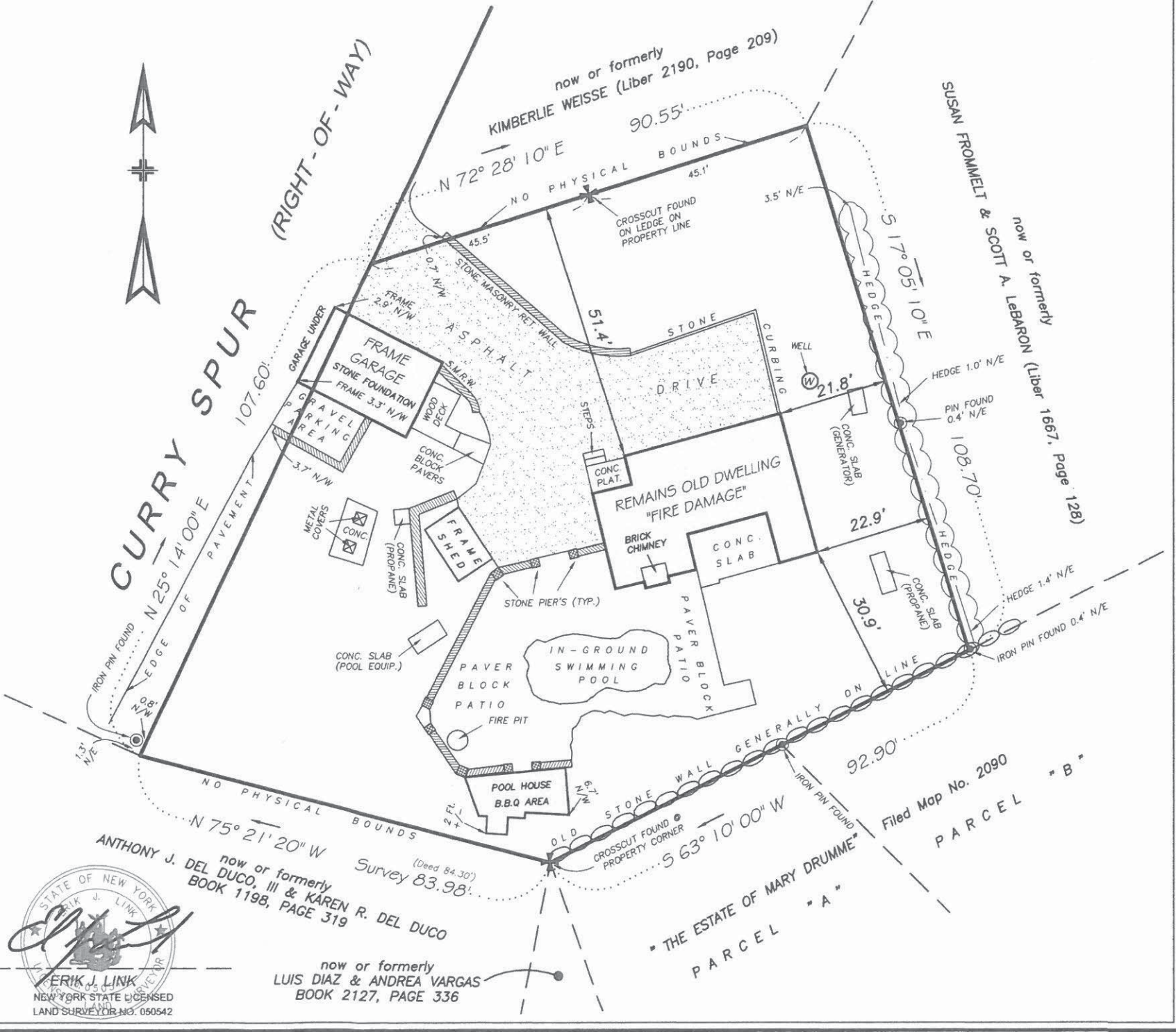
- THE PREMISES SHOWN HEREON DESCRIBED IN DEED RECORDED IN BOOK 1964 PAGE 283 ON OCTOBER 13, 2014, IN THE PUTNAM COUNTY CLERK'S OFFICE.
- PREMISES ARE DESIGNATED ON THE TAX MAPS FOR THE TOWN of CARMEL as:
SECTION: 53.12 BLOCK: 1 LOT: 7
STREET ADDRESS: 3 CURRY SPUR
PROPERTY AREA: 15,019 Sq. Ft. / 0.3448 Acre
- THIS MAP IS BASED UPON THE INFORMATION SUPPLIED BY THE CLIENT AND/OR HIS REPRESENTATIVE AND SUBJECT TO THE FINDINGS THAT A COMPLETE ABSTRACT OF TITLE MAY UNCOVER
- THE OFFSETS SHOWN HEREON ARE NOT INTENDED TO ESTABLISH PROPERTY LINES FOR THE ERECTION OF FENCES, STRUCTURES OR ANY OTHER IMPROVEMENTS.
- ENCROACHMENTS BELOW GRADE AND/OR SUBSURFACE FEATURES, IF ANY, NOT LOCATED OR SHOWN HEREON.
- UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAWS.
- THE INFORMATION DEPICTED HEREON IS BASED UPON AN ACTUAL FIELD SURVEY AND IS AN OPINION BASED UPON SAID SURVEY. VARIATIONS IN OFFSETS FROM THAT OF THE OTHERS CAN AND MAY EXIST.
- ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S SEAL SHALL BE CONSIDERED TO BE TRUE VALID COPIES.
- THIS MAP WAS PREPARED FROM AN ACTUAL FIELD SURVEY CONDUCTED ON THE DATE SHOWN AND THAT SAID SURVEY WAS PERFORMED IN ACCORDANCE WITH THE EXISTING " CODE OF PRACTICE FOR LAND SURVEYS " ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.

PREPARED FOR: ROBERT ALTERO

Link
Land Surveyors P.C.
21 Clark Place, Suite 1-B Mahopac, N.Y. 10541
Phone 845-628-5857

COPYRIGHT 2023
LINK LAND SURVEYOR P.C. ALL RIGHTS RESERVED. THE UNAUTHORIZED REPRODUCTION AND OR DISTRIBUTION OF THIS DOCUMENT IS ILLEGAL, AND IS A VIOLATION UNDER UNITED STATES COPYRIGHT LAWS.

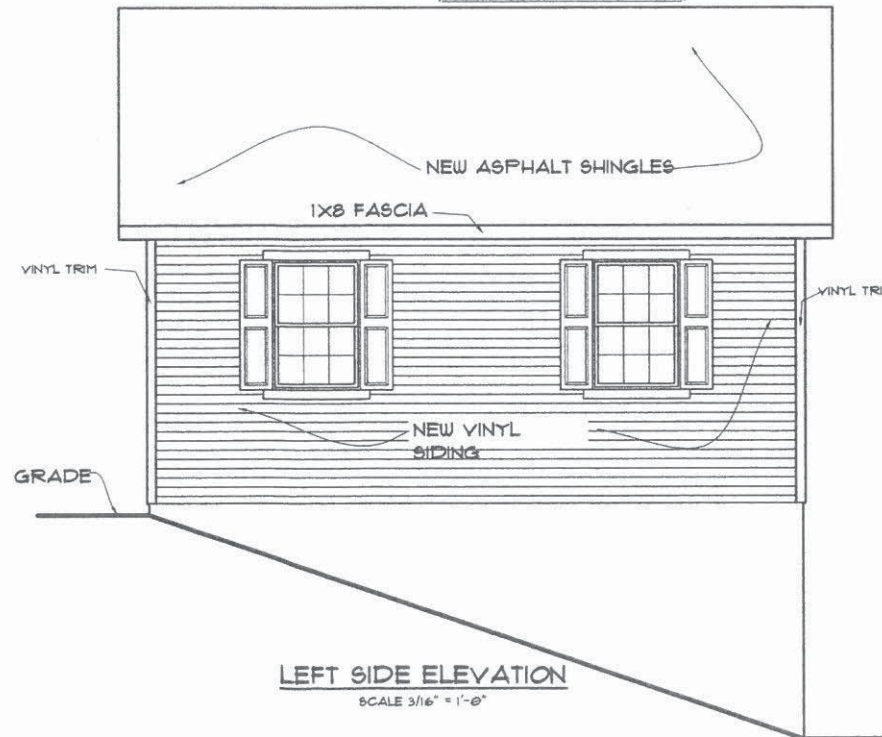
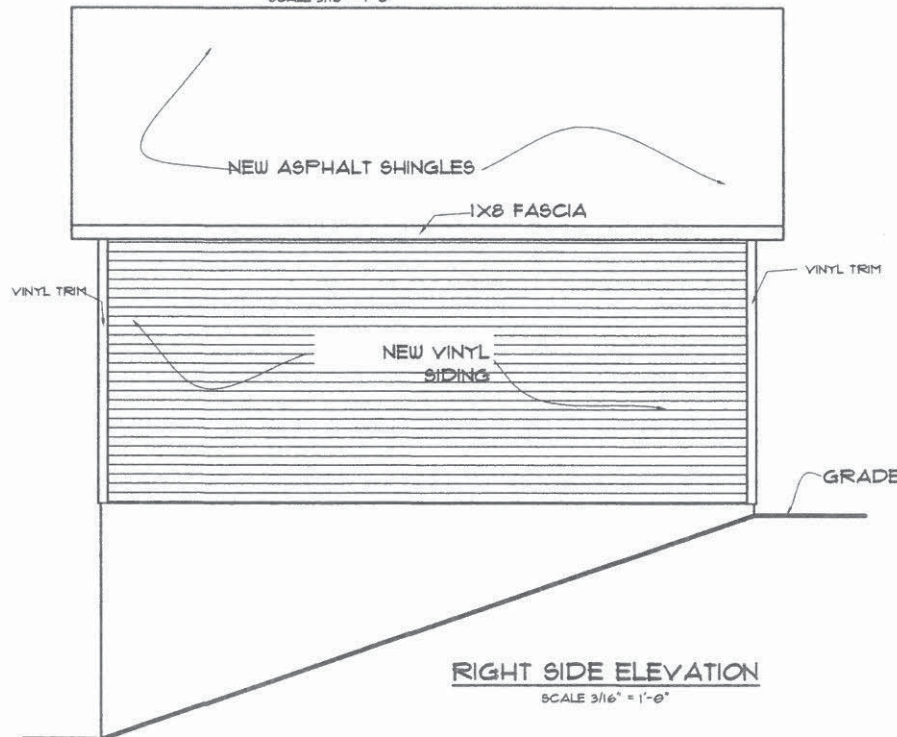
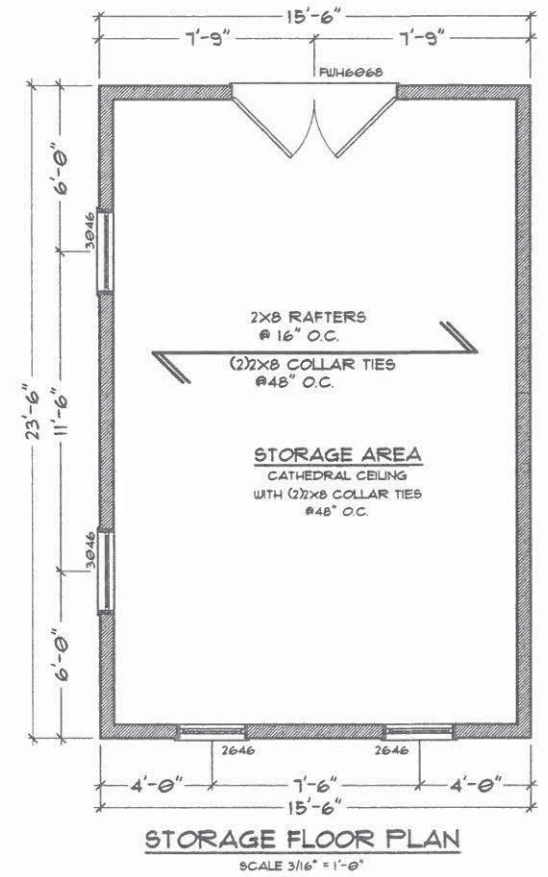
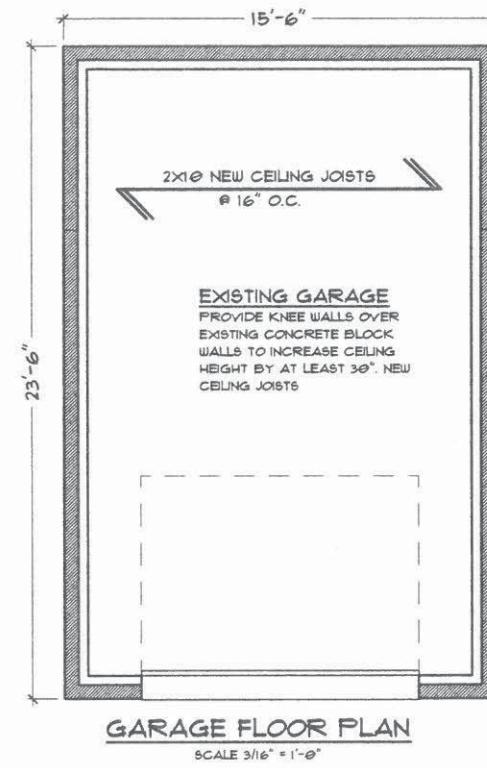
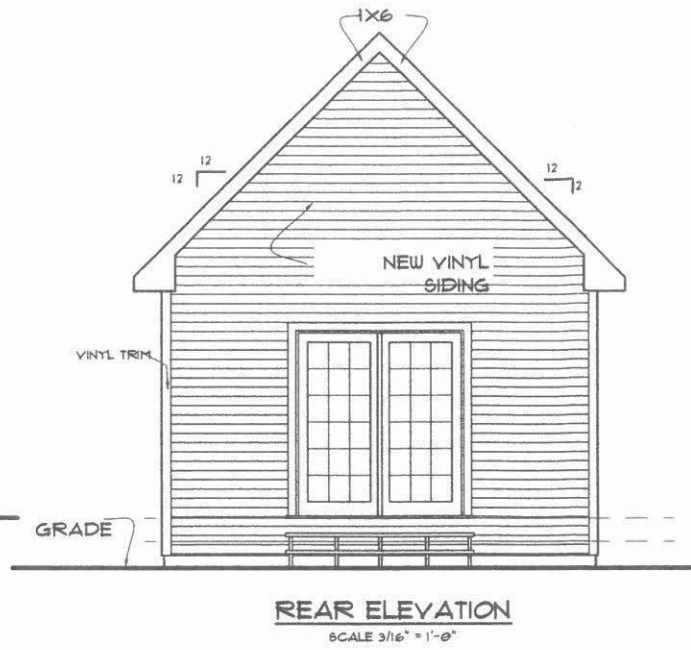
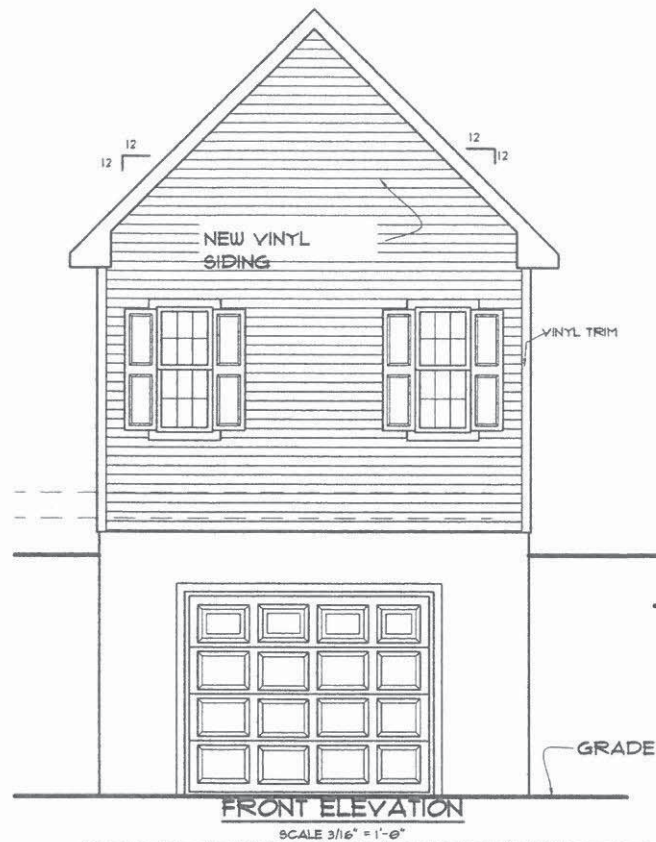
ERIK J. LINK
NEW YORK STATE LICENSED
LAND SURVEYOR NO. 050542



ANTHONY J. DEL DUCCO
now or formerly
DUCCO, III & KAREN R. DEL DUCCO
BOOK 1198, PAGE 319
Survey 83.98

now or formerly
LUIS DIAZ & ANDREA VARGAS
BOOK 2127, PAGE 336

THE ESTATE OF MARY DRUMME
PARCEL "A"
PARCEL "B"



RAYEX
DESIGN PLANNING CONSTRUCTION

OWNER: ROBERT ALTERO	JOB #
	DRN BY:
	CHKD BY:
PROJECT: ADDITION TO EXISTING DETACHED GARAGE LOCATED AT 3 CURRY SPUR IN MAHOPAC, TOWN OF CARMEL, NY	TAX MAP #:

SHEET TITLE: FLOOR PLANS & ELEVATIONS
1 OF 1

REVISIONS:	DATE: 8/11/2023
------------	-----------------







ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

*make attached
5/9/23
Sara*

IN THE MATTER OF THE APPEAL
OF
Frank Giordano
TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: _____, 20__

Application For (circle applicable): Area Variance () Use Variance Interpretation 280A
Name of Property Owner: **Frank Giordano** Address: **23 Seminary Hill Road, Carmel, NY**
Mailing Address: **3811 Perry St., Jefferson Valley, NY** Phone Number(s): _____
Zoning District: **C.M.M.** Tax Map: **55.6 - 1 - 68**
Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]
E-Mail Address: _____

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
1978	Approve subject apartment	Denied

List all improvements (1 family dwelling, pool, etc.) **main house w/2 apartments, 2 story frame garage**

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: affidavit, memorandum of law, assessment card

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO
Explain: **Seminary Hill Road is a Town road**

I, the applicant, am seeking permission to: **see attached**

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
	See attached	

State of New York)
 ss:
County of Putnam)
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this **9th** day of **May**, 20**23**

Margaret Ferreri Buechel
Notary Public

MARGARET FERRERI BUECHEL
Notary Public, State of New York
No. 4919619
Qualified in Dutchess County
Commission Expires February 8, 20**26**

Petitioner  Date _____

ATTACHMENT

Applicant seeks interpretation that the apartment above garage is legally pre-dated or in the alternative a use variance to permit same to continue.



AUTHORIZATION FORM

RE: Property of: Frank Giordano
Located at: 23 Seminary Hill Road, Carmel
Tax Map #: 55.6-1-68
In the matter of: _____

To whom it may concern:

This letter is to authorize Shilling & Smith, P.C.

a/an (check one) Attorney Engineer Architect Other _____

to apply for the required variance(s) on the above noted property and to sign all necessary papers and make all necessary representations on my behalf in connection with the above-mentioned matter.

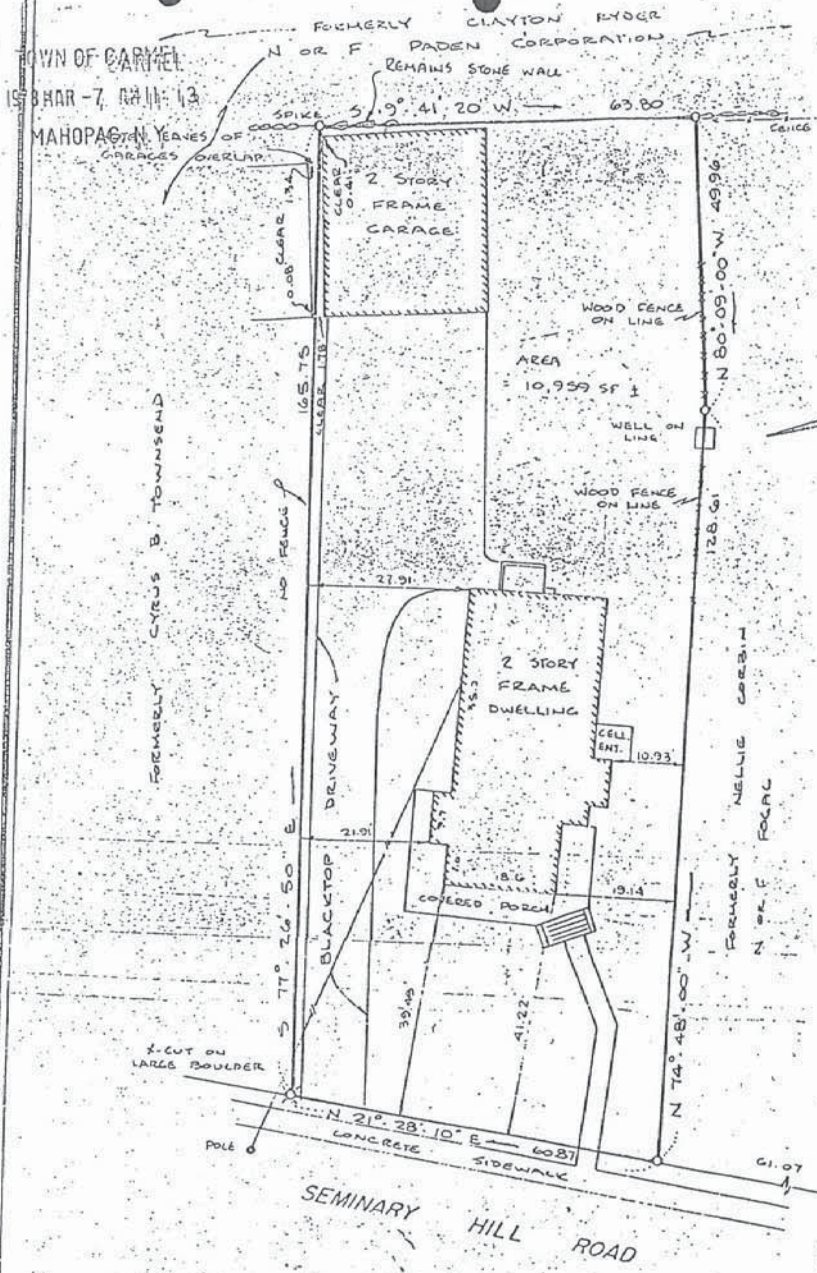
Countersigned: [Signature]
William A. Shilling, Jr., Esq.

Signed: [Signature]
Frank Giordano

Mailing Address: 1961 Route 6, Suite U3
Carmel
State: NY Zip: 10535
Telephone # 845-225-7500
Date: 5/9/2023
E-mail: waslaw@shillinglegal.com

Mailing Address: 3811 Perry St.
Jefferson Valley
State: NY Zip: 10535
Telephone # _____

NOTE: The willful submission of false or inaccurate information on this application may result in the dismissal of the application, or the revocation of any action taken on the application, or both.



SURVEY OF PROPERTY
 TO BE CONVEYED TO
 JOHN W. & JULIA M. CA
 SITUATE IN

DECISION AND ORDERFile No. 1978-3-3
TM 18-3-17

Name of petitioner: Giovanni Grioli
 Address: 23 Seminary Hill, Carmel, New York
 Location of property: 23 Seminary Hill, Carmel, NE Corner

Nature of petition: Variation of Sec. 63-9.3 - Permitted Principal Uses in a multi-family residence district.

PRESENT: Chairman, Joseph Girven, Michael A. Bibbo, Jr., Richard Lowenstein, Michael J. Meany, Wm. K. Wallis, Morrie Koblenz, Walter Pritchett, Building Inspector, Nick Molle, Zoning Inspector, Marge Agor, Deputy Building Inspector, Louis Goldstein.

The above referred to petition having been duly advertised for a public hearing in the Putnam County Courier the official paper of the Town of Carmel, in the issue published on March 15, 1978 and the matter having duly come on to be heard before a duly convened meeting of the board on March 23, 1978, at the Town Hall, Mahopac, N. Y., and all the facts, matters and evidence produced by the petitioner, by the administrative official concerned, and by interested parties having been duly heard, received and considered, and due deliberation having been had, the following decision is hereby made:

FINDINGS OF FACT:

Application concerns property located at 23 Seminary Hill Road in an R.M.F. zone in Carmel, New York. Applicant seeks permission to complete another dwelling unit in the garage at the subject premises.

The applicant was represented by her nephew, Peter Copollo, who stated that Mrs. Grioli has one family living above her and wishes to make an apartment in the garage for her son. Applicant said that the property is serviced by Town water and sewer facilities and she plans to install a kitchen in the proposed third dwelling unit. Mrs. Grioli indicated that the hardship she suffers is the illness of her husband. A Board member expressed concern over what would happen to the proposed third apartment should the applicant's son vacate it at some time in the future. Mr. Copollo responded that the applicant has a rented apartment upstairs from which she derives income. Additionally, the son plans to pay rent for the proposed third apartment should it be approved.

CONCLUSION

After due deliberation the Board concluded that the proposed variance request would require 24,000 sq. ft. for three dwelling units while the applicant has only 10,959 sq. ft. The Board reasoned that allowing the variance would overburden the property and create an excessive abuse of the discretionary power of the Board to grant area variances.

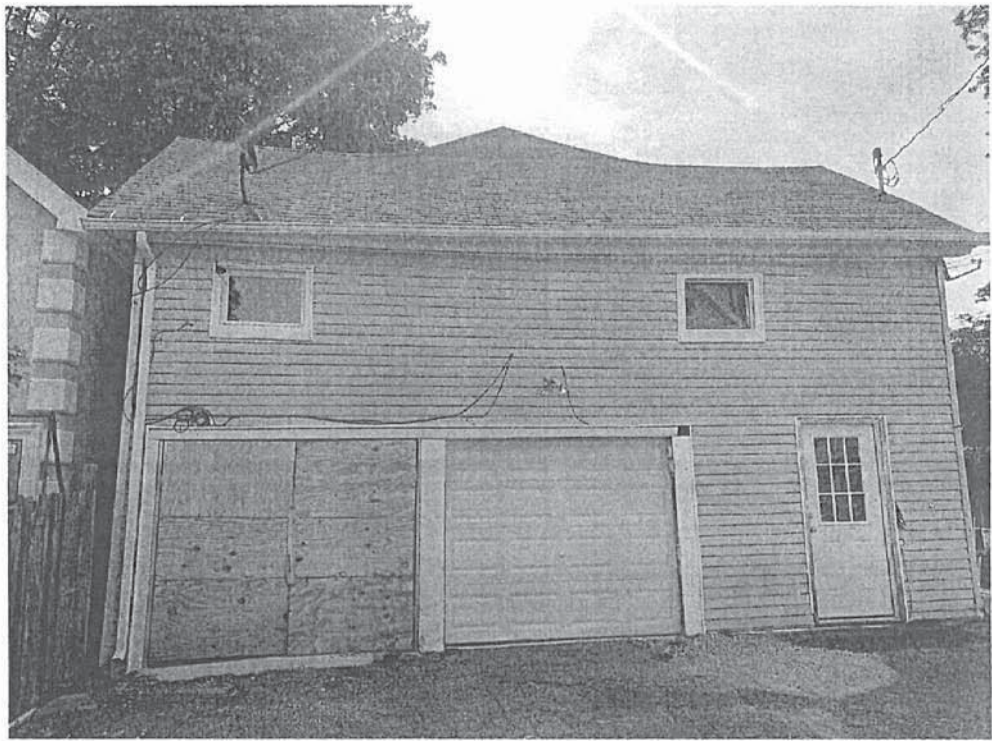
DECISION

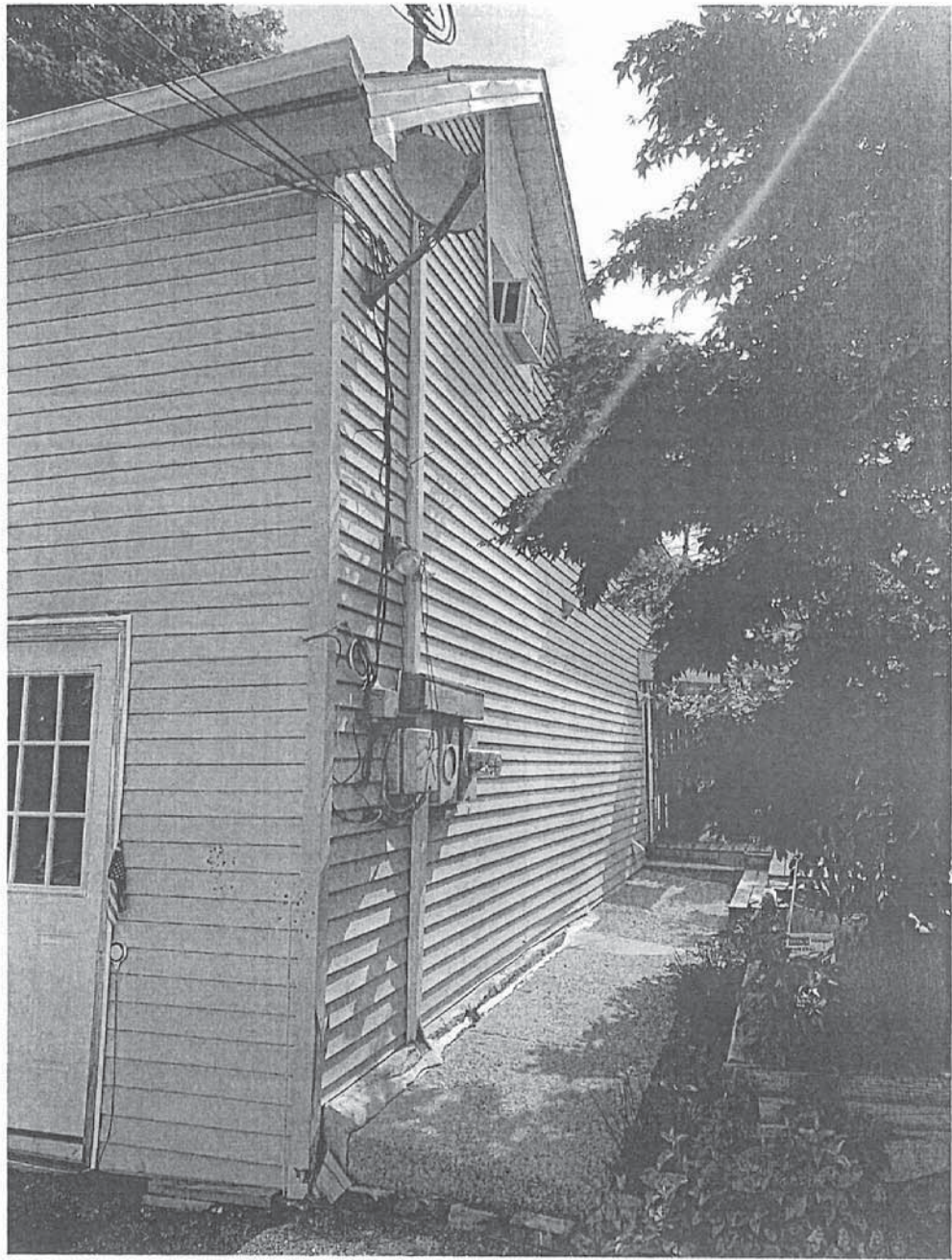
Request for a variance is denied
 ORDERED, that the petition be and same hereby is DENIED .

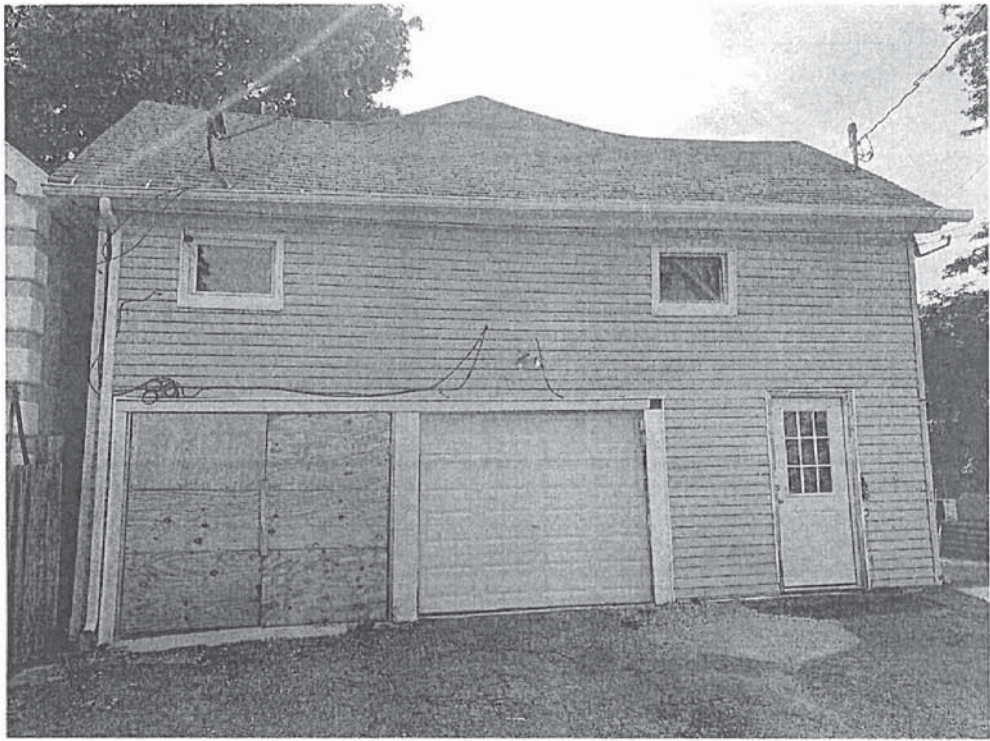
Dated, Mahopac, N. Y.,
 on April 18 19 78
 Filed in the office of the
 Town Clerk, Mahopac, N. Y.,
 on April 20 19 78
 Submitted to Putnam
 County Planning Board
 on 19
 Approved By the Putnam
 Planning Board
 on 19

Joseph F. Girven
 Chairman
Margaret M. Moore
 Clerk













ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

MC

IN THE MATTER OF THE APPEAL
OF
Bore Cotaj
TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: _____, 20____

Application For (circle applicable): Area Variance () Use Variance Interpretation 280A
Name of Property Owner: **Bore Cotaj** Address: **148 E. Lake Blvd., Mahopac, NY**
Mailing Address: **34 Kayla Lane, Mahopac, NY** Phone Number(s): _____
Zoning District: **Res** Tax Map: **76.30 - 1 - 5**

Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]
E-Mail Address: **waslaw@shillinglegal.com**

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
	N/A	

List all improvements (1 family dwelling, pool, etc.) **single family home**

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: survey, photographs, affidavit, memorandum of law

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO
Explain: _____

I, the applicant, am seeking permission to: **See attached**

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
	<i>See attached</i>	

State of New York)
)
County of Putnam)
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this 9th day of May 2023
Margaret Ferreri Buechel
Notary Public

MARGARET FERRERI BUECHEL
Notary Public, State of New York
No. 4919619
Qualified in Dutchess County
Commission Expires February 8, 2024

Petitioner *[Signature]* Date _____

ATTACHMENT

Applicant owns the parcel upon which the temporary dock is located and a parcel improved by at least one residential dwelling unit which is directly across the street but separated by a road (i.e. East Lake Blvd.). Applicant seeks an interpretation that the intent of the statute (i.e. a dock when not located on a parcel improved by at least one residential unit) is met under the circumstances set forth herein or in the alternative the following area variances:

Code Requires/Allows	Provided	Variance Required
Dock		
Lake frontage 50'	6'	44' 24'
Minimum depth 30'	4'	26'
Minimum area 3000	96	2904



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

AUTHORIZATION FORM

RE: Property of: Bore Cotaj
Located at: 148 E. Lake Blvd. (Address) Mahopac, NY (City, Town, Village)
Tax Map #: 76.30-1-5
In the matter of: _____ (Variance Request)

To whom it may concern:

This letter is to authorize Shilling & Smith, P.C.

a/an (check one) Attorney Engineer Architect Other _____

to apply for the required variance(s) on the above noted property and to sign all necessary papers and make all necessary representations on my behalf in connection with the above-mentioned matter.

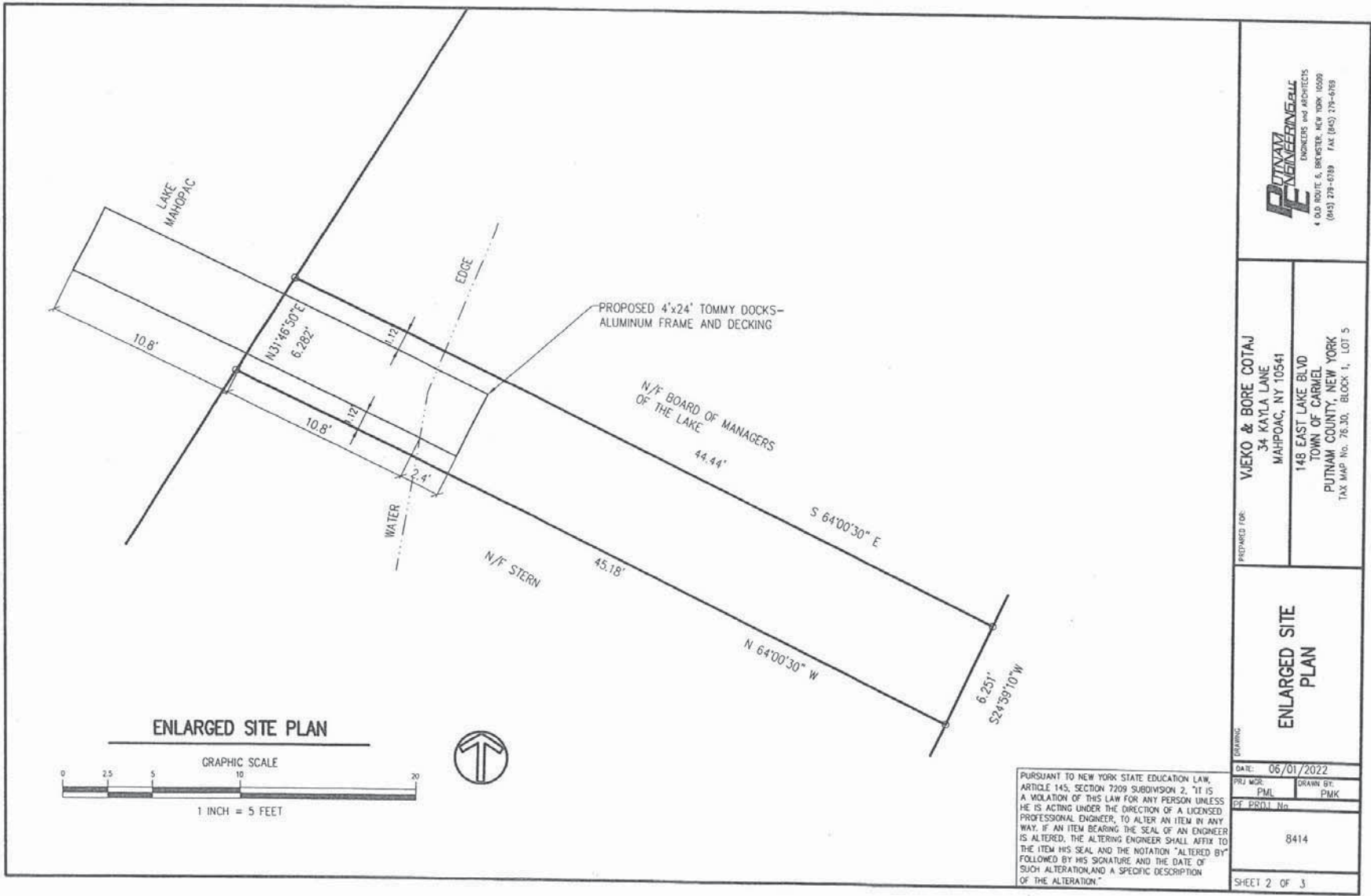
Countersigned: _____
(Representative)
William A. Shilling, Jr., Esq.
(Print Name)

Signed: _____
(Owner of Property)
Bore Cotaj
(Print Name)

Mailing Address: Shilling & Smith, P.C.
1961 Route 6, Suite U3, Carmel
State: NY Zip: 10541
Telephone # 845-225-7500
Date: _____
E-mail: wastaw@shillinglegal.com

Mailing Address: 34 Kayla Lane, Mahopac
State: NY Zip: 10541
Telephone # _____

NOTE: The willful submission of false or inaccurate information on this application may result in the dismissal of the application, or the revocation of any action taken on the application, or both.



PUTNAM ENGINEERING
ENGINEERS and ARCHITECTS
4 OLD ROUTE 6, BRIDGEVILLE, NEW YORK 10599
(845) 278-6789 FAX (845) 278-6788

PREPARED FOR:
VJEKO & BORE COTAJ
34 KAYLA LANE
MAHOPOAC, NY 10541
148 EAST LAKE BLVD
TOWN OF CARMEL
PUTNAM COUNTY, NEW YORK
TAX MAP No. 76.30, BLOCK 1, LOT 5

**ENLARGED SITE
PLAN**

DATE: 06/01/2022
PRJ MGR: PML
DRAWN BY: PMK

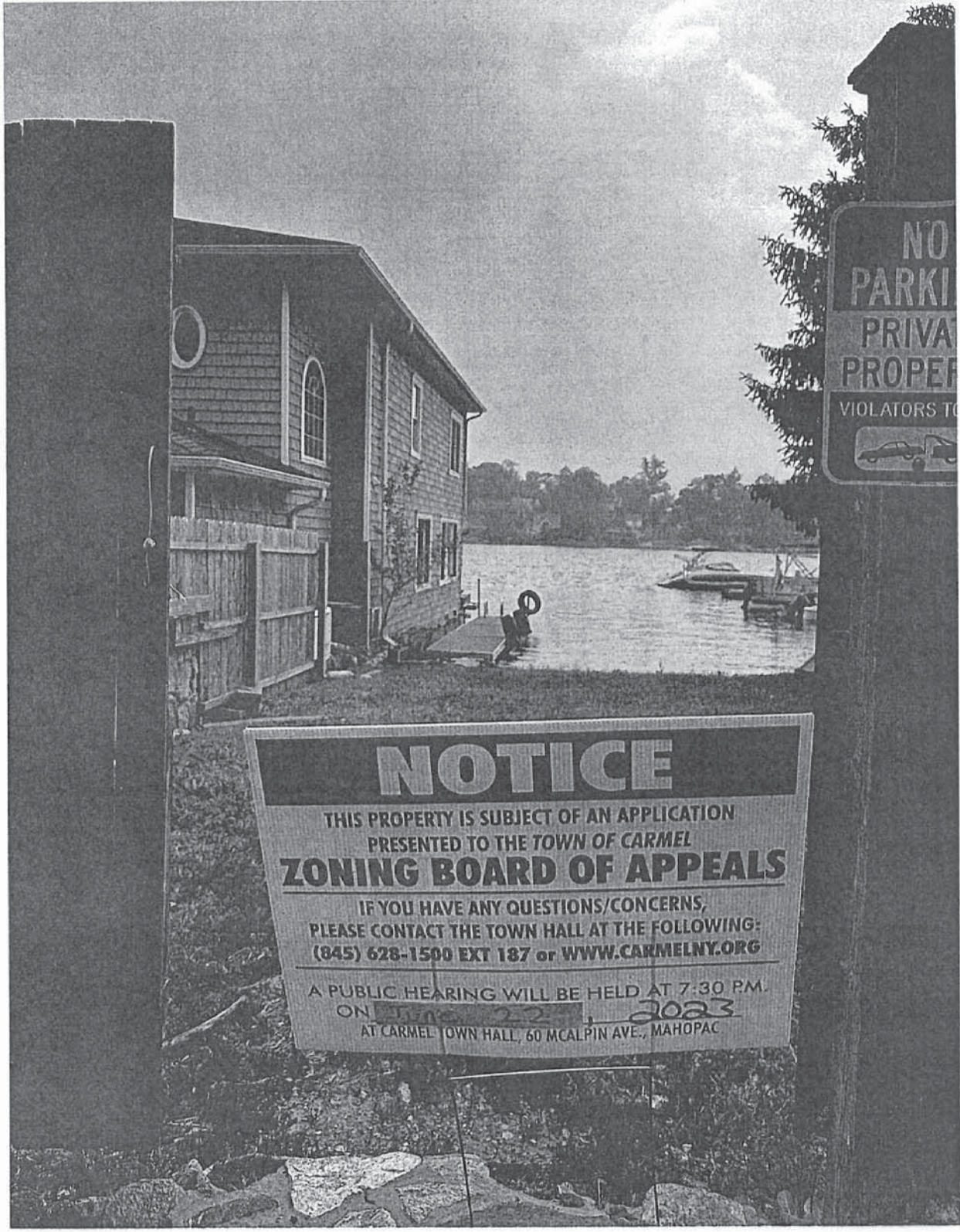
PURSUANT TO NEW YORK STATE EDUCATION LAW,
ARTICLE 145, SECTION 7209 SUBDIVISION 2, "IT IS
A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS
HE IS ACTING UNDER THE DIRECTION OF A LICENSED
PROFESSIONAL ENGINEER, TO ALTER AN ITEM IN ANY
WAY. IF AN ITEM BEARING THE SEAL OF AN ENGINEER
IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO
THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY"
FOLLOWED BY HIS SIGNATURE AND THE DATE OF
SUCH ALTERATION, AND A SPECIFIC DESCRIPTION
OF THE ALTERATION."

8414
SHEET 2 OF 3



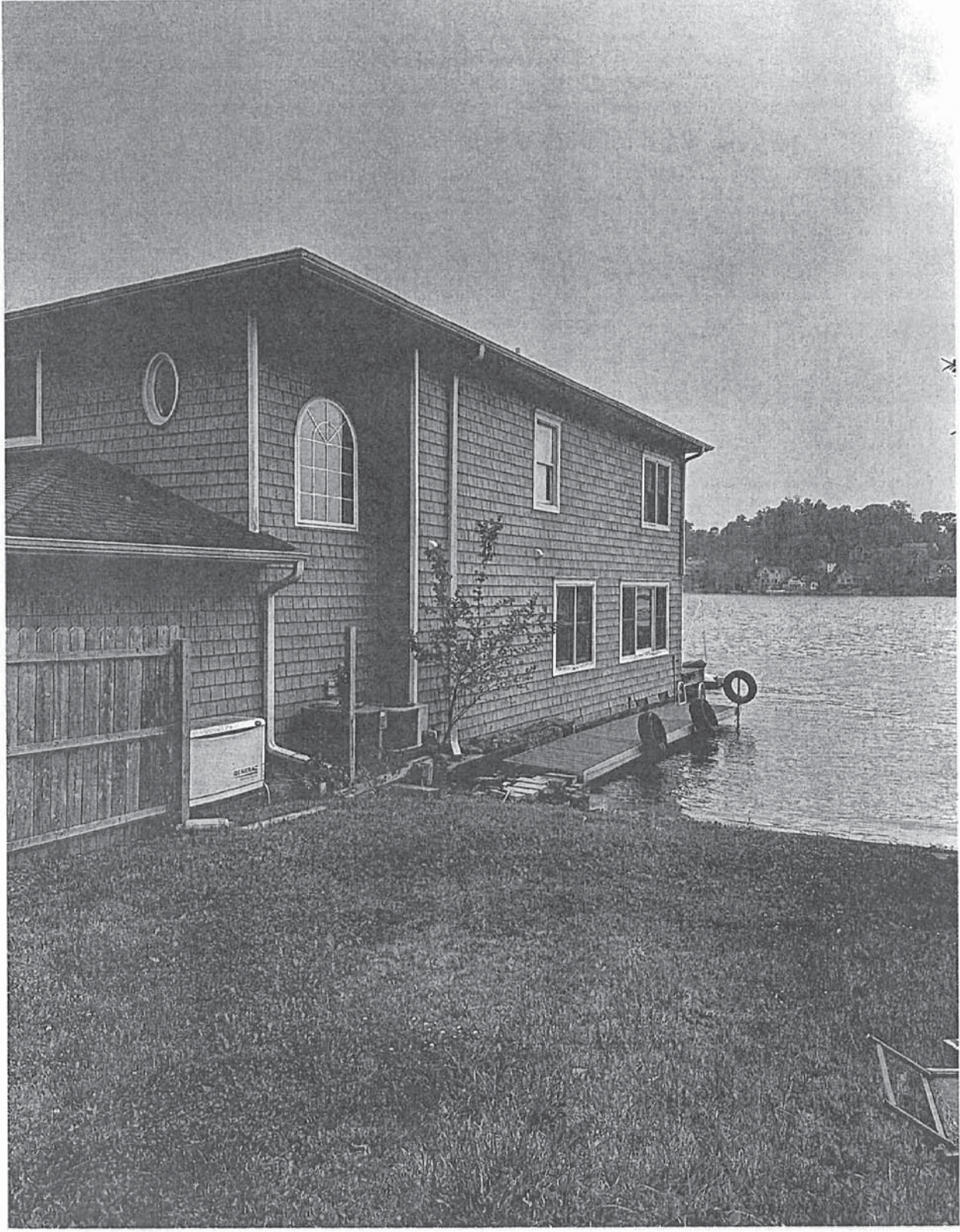
**NO
PARKING
PRIVATE
PROPERTY**
VIOLATORS TOWED

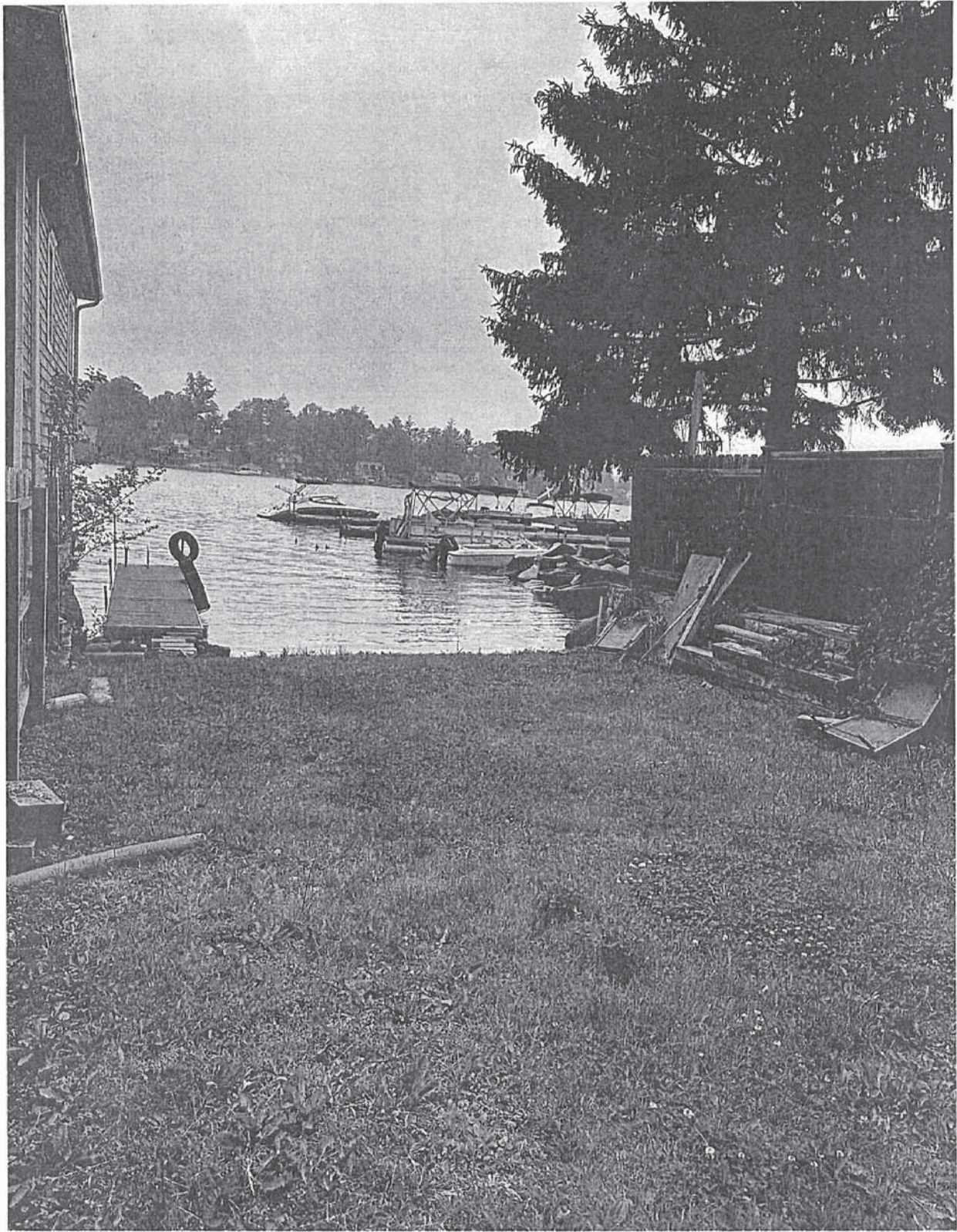
NOTICE
THIS PROPERTY IS SUBJECT OF AN APPLICATION
PRESENTED TO THE TOWN OF CARMEL
ZONING BOARD OF APPEALS
IF YOU HAVE ANY QUESTIONS/CONCERNS,
PLEASE CONTACT THE TOWN HALL AT THE FOLLOWING:
(845) 628-1500 EXT 137 or WWW.CARMELNY.ORG
A PUBLIC HEARING WILL BE HELD AT 7:30 P.M.
ON JUNE 22, 2023
AT CARMEL TOWN HALL, 60 MCALPIN AVE., MAHOPAC

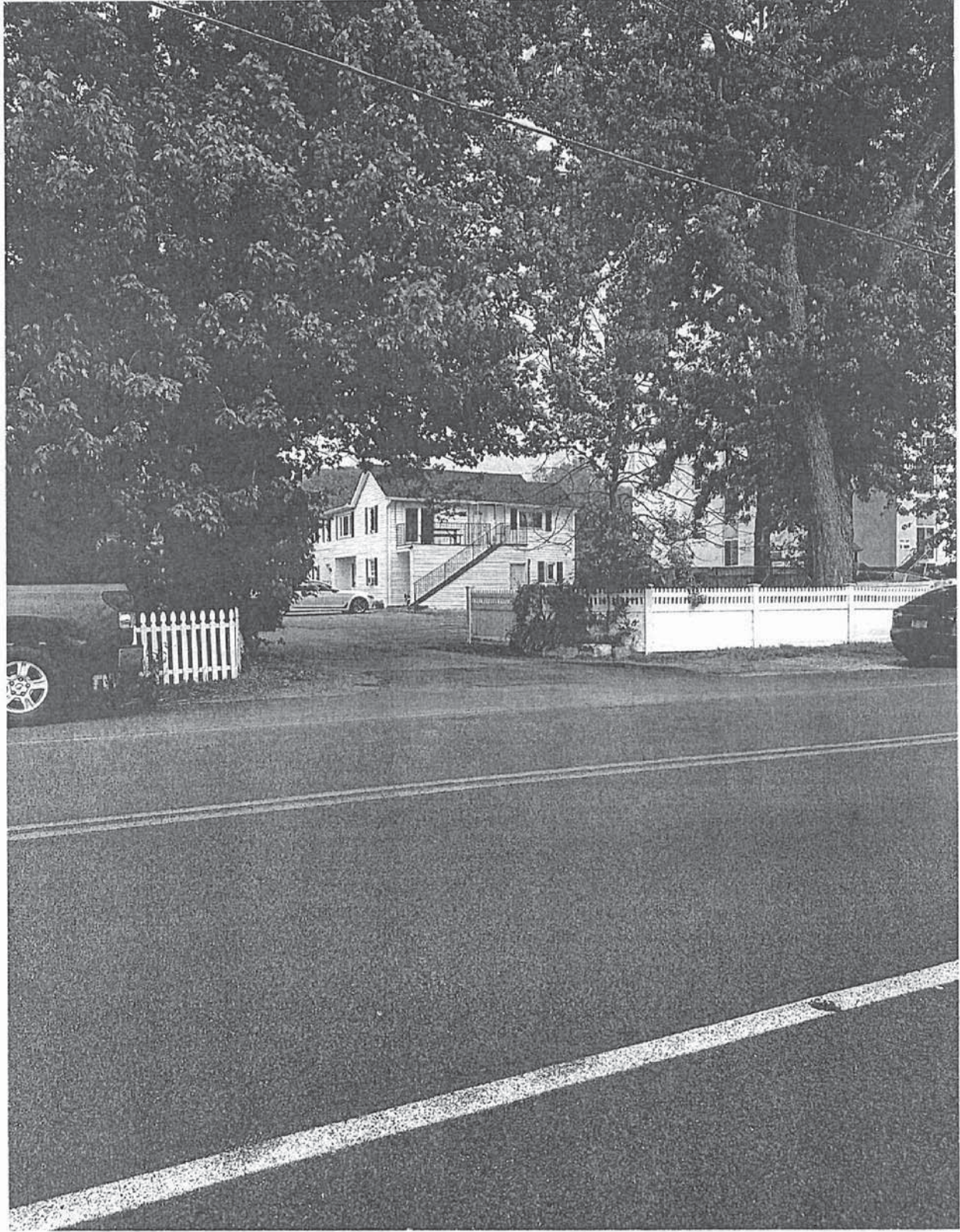


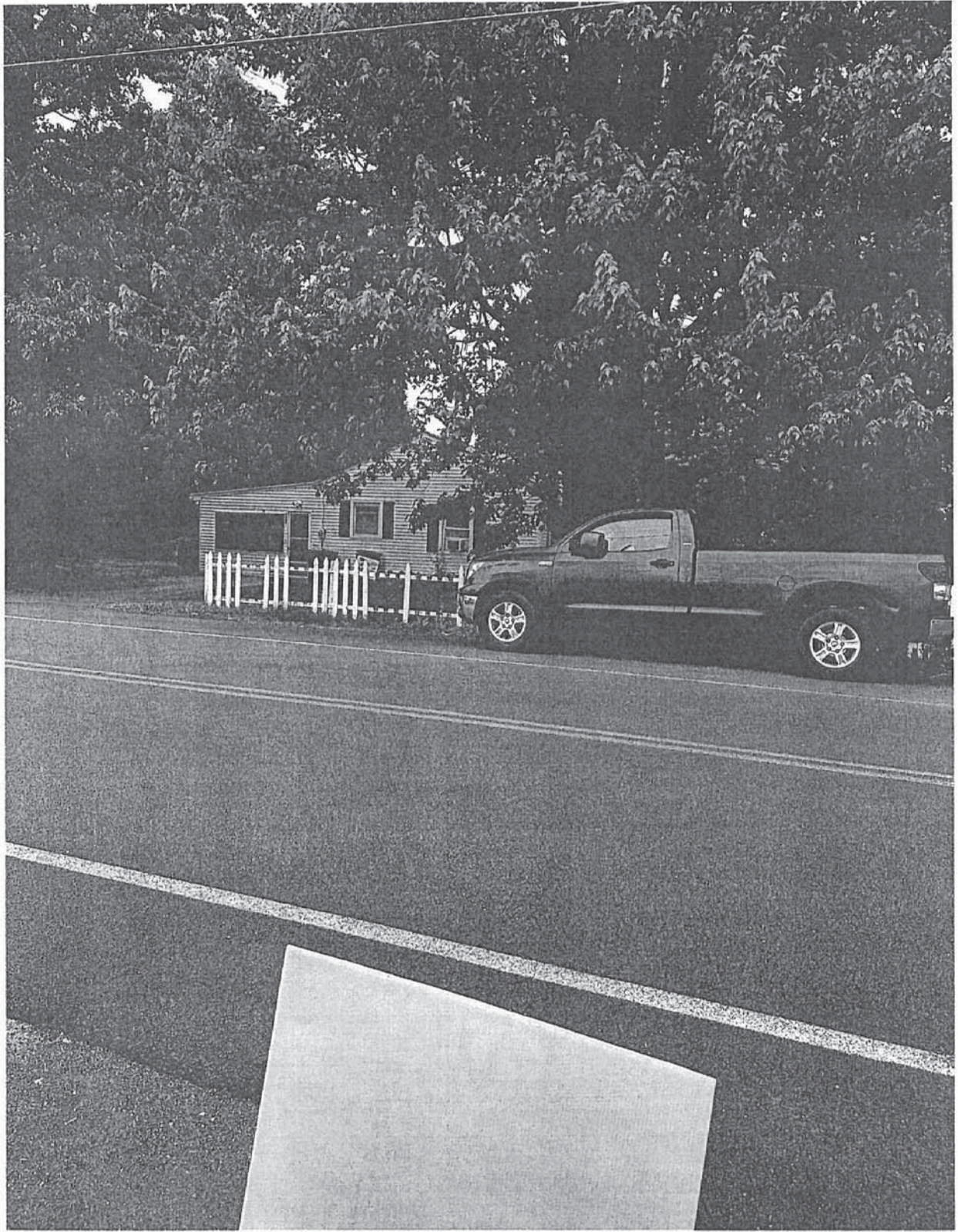
NO
PARKING
PRIVATE
PROPERTY
VIOLATORS TO

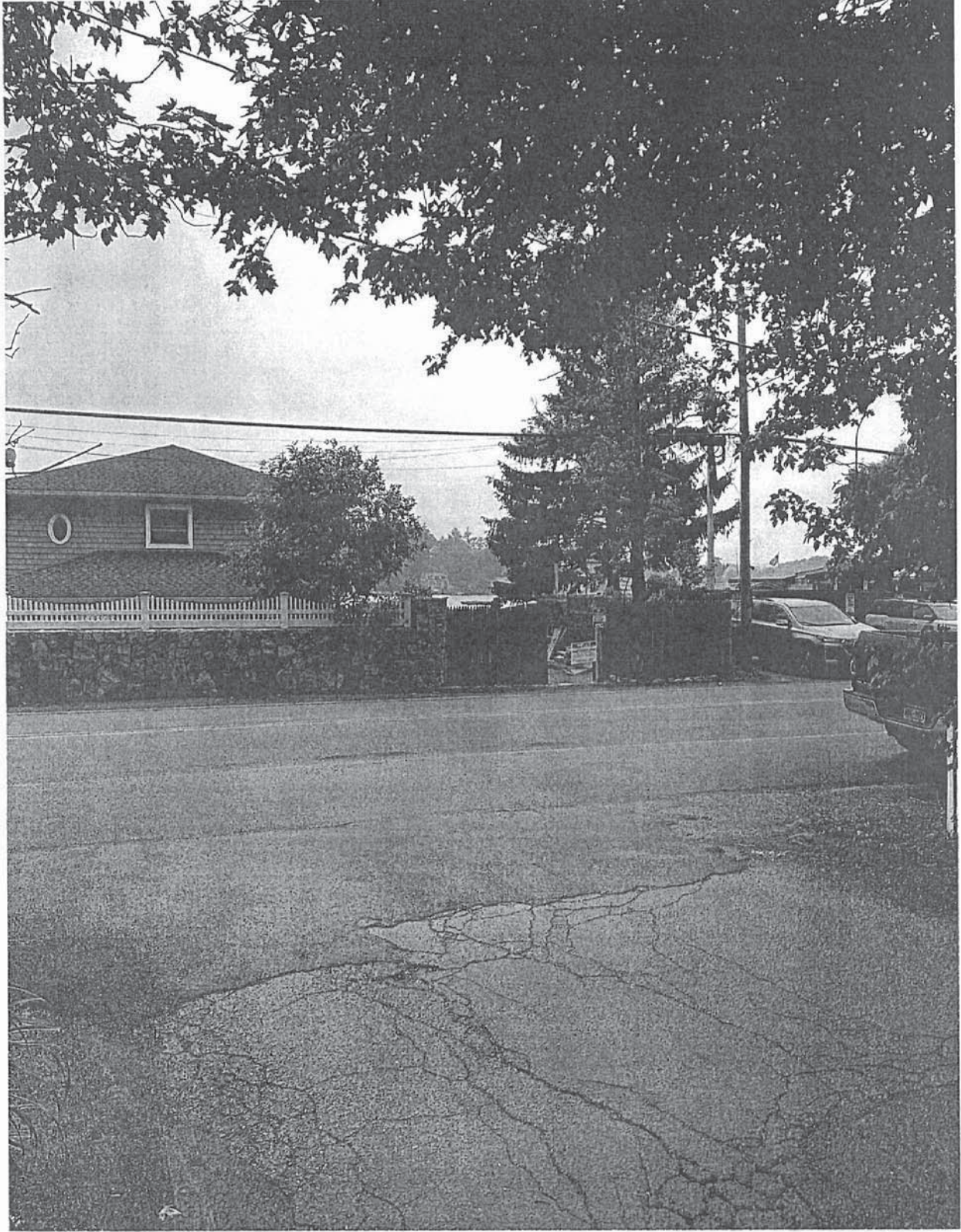

NOTICE
THIS PROPERTY IS SUBJECT OF AN APPLICATION
PRESENTED TO THE TOWN OF CARMEL
ZONING BOARD OF APPEALS
IF YOU HAVE ANY QUESTIONS/CONCERNS,
PLEASE CONTACT THE TOWN HALL AT THE FOLLOWING:
(845) 628-1500 EXT 187 or WWW.CARMELNY.ORG
A PUBLIC HEARING WILL BE HELD AT 7:30 P.M.
ON JUNE 22, 2023
AT CARMEL TOWN HALL, 60 MCALPIN AVE., MAHOPAC

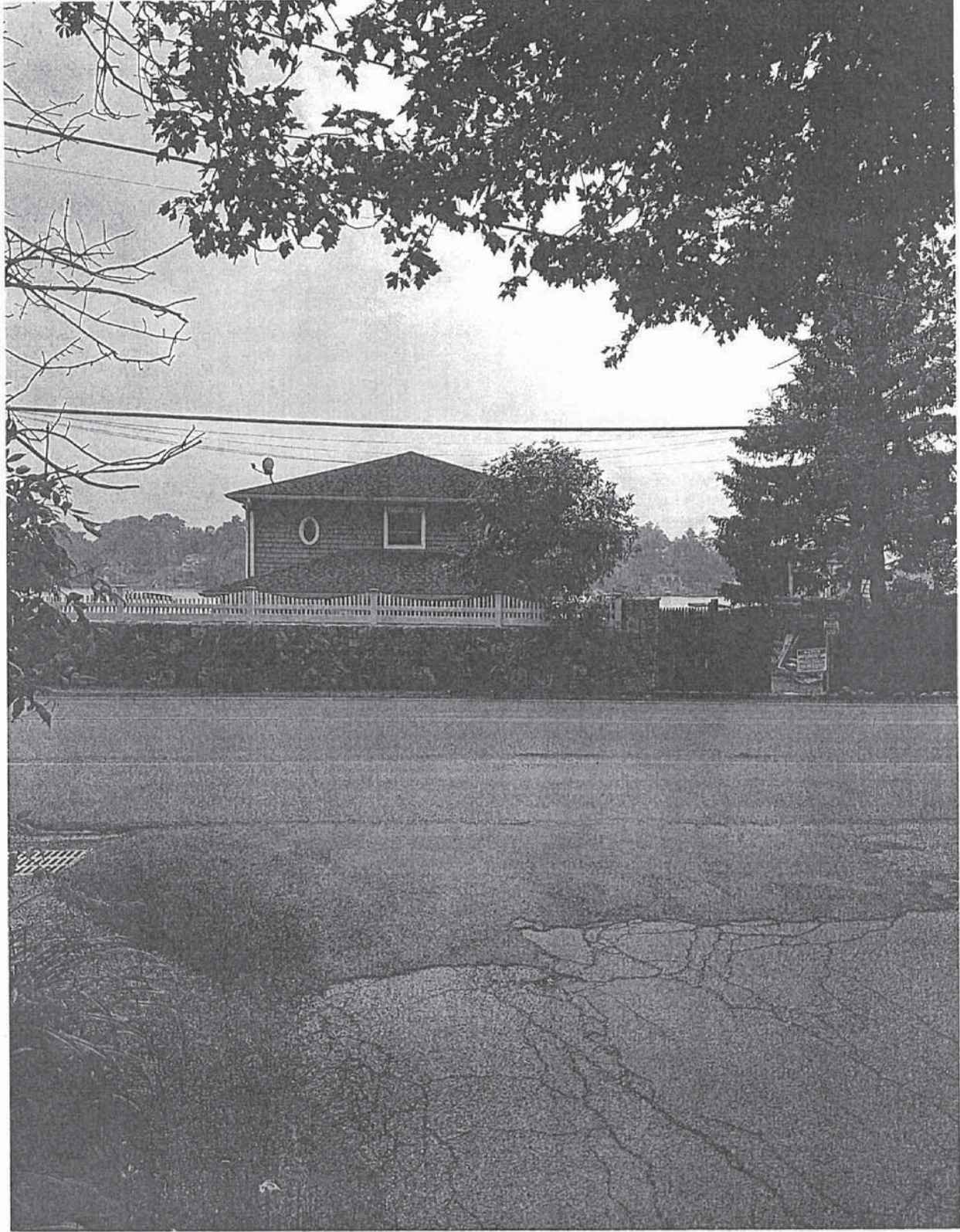


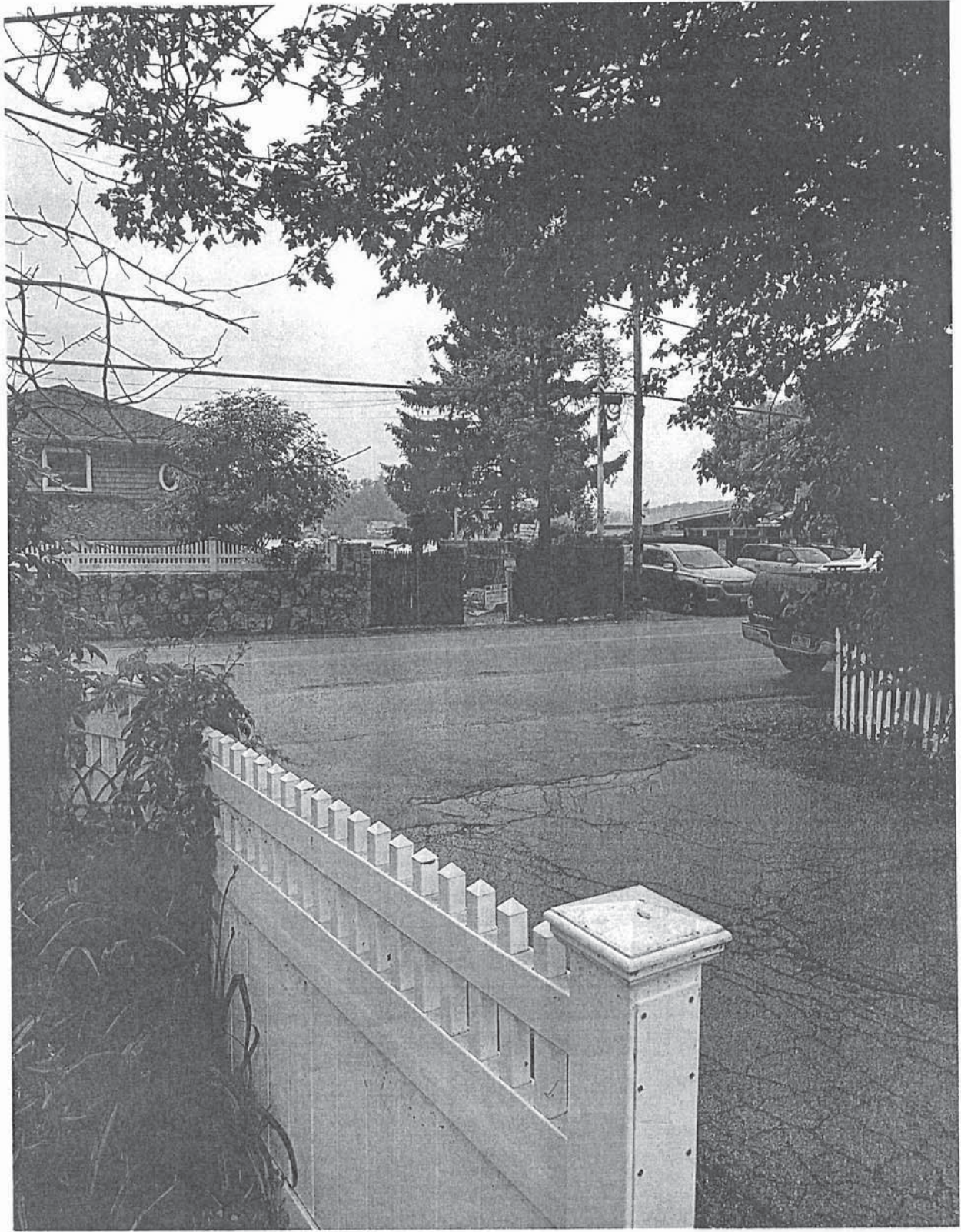


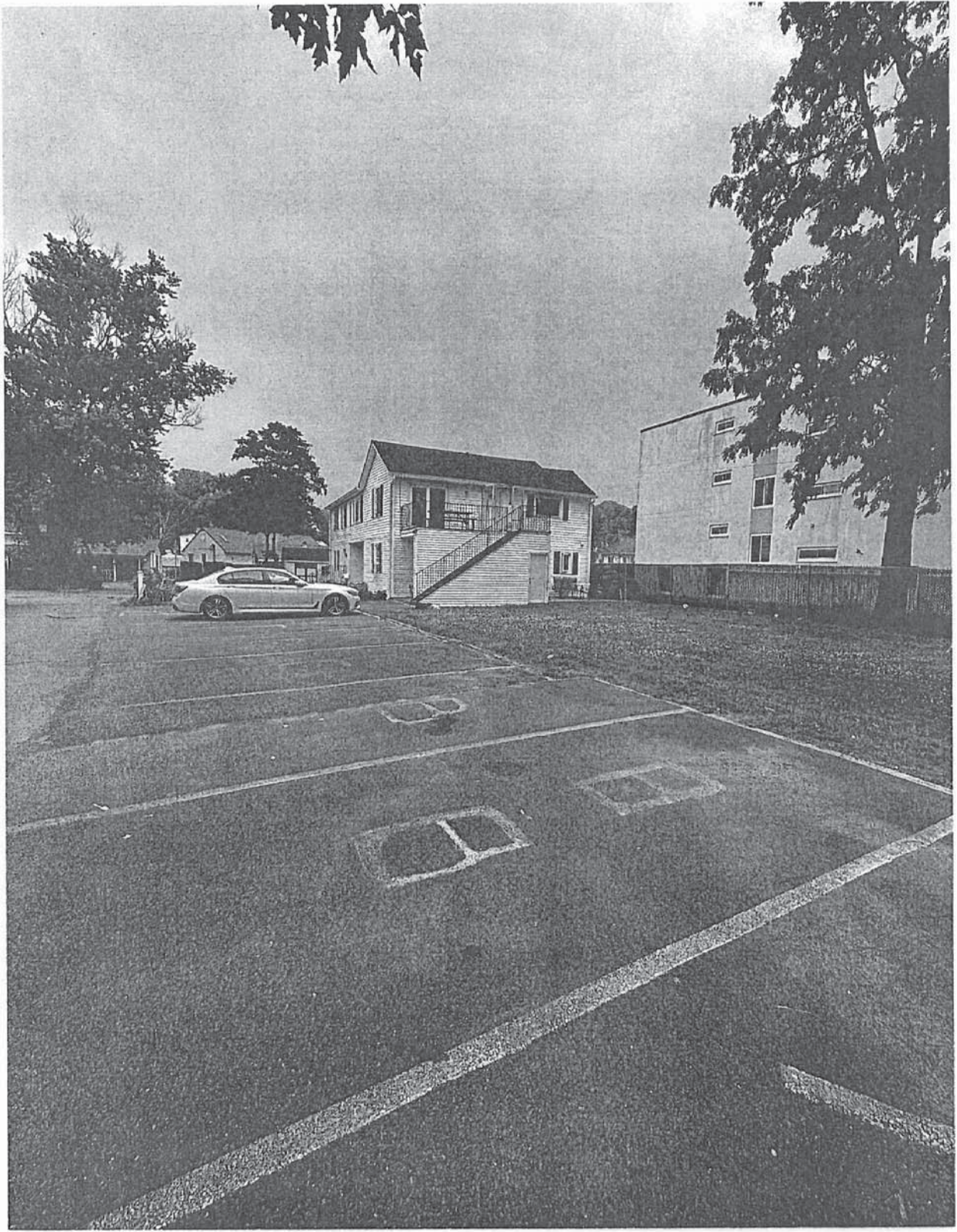




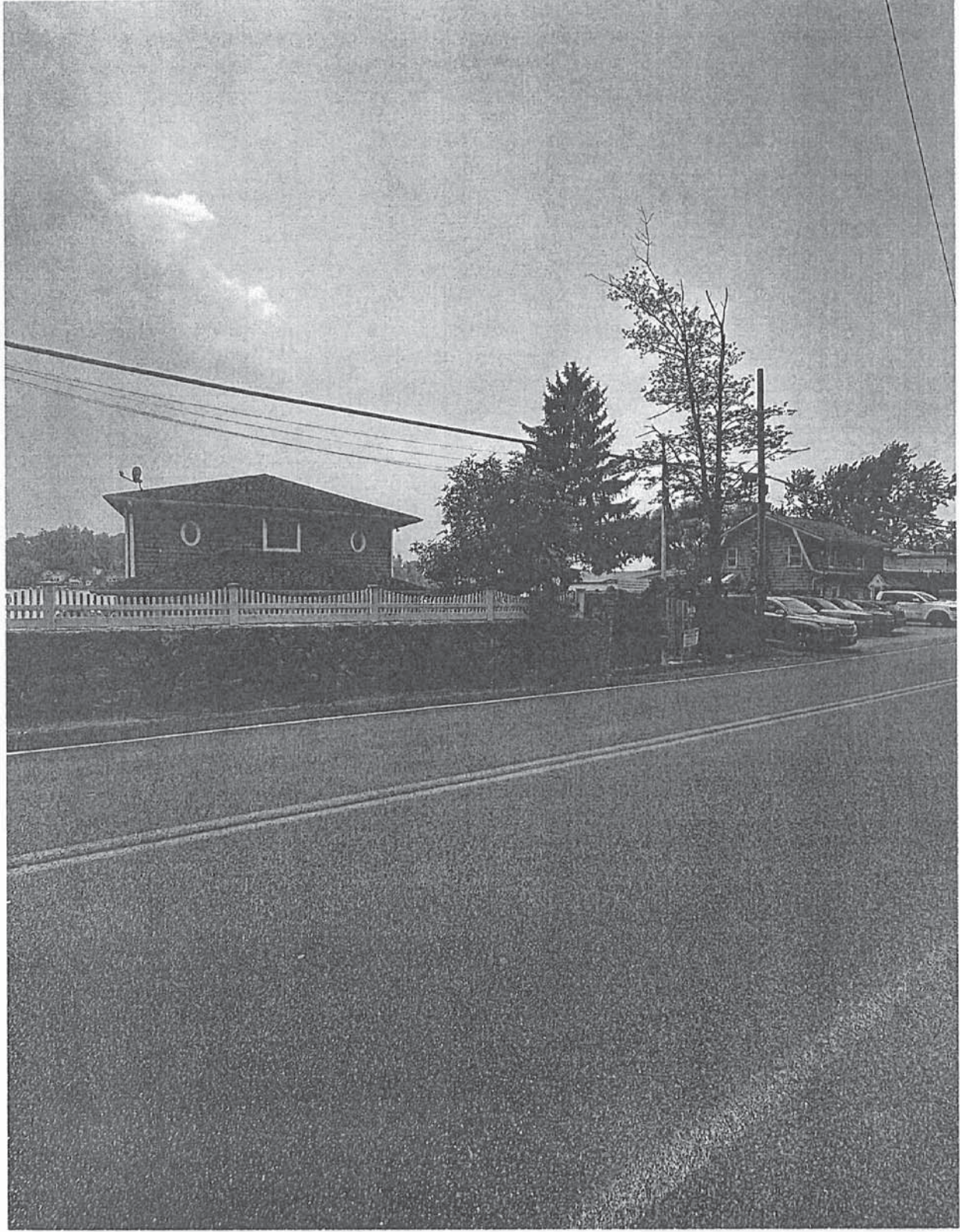














ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

MC

IN THE MATTER OF THE APPEAL
OF
McBride Shed
TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: 6/22, 20 23

Application For (circle applicable): Area Variance (15615) Use Variance Interpretation 280A
 Name of Property Owner: Christopher McBride Address: 83 FAIR ST CARMEL NY
 Mailing Address: 83 FAIR ST CARMEL NY Phone Number(s): _____
 Zoning District: R120 Tax Map: 44.14 - 1 - 85
 Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]
 E-Mail Address: _____

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS

List all improvements (1 family dwelling, pool, etc.) 1 Family Dwelling, Pool, Shed

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: Survey, Photos

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO
 Explain: FAIR ST. (County Road)

I, the applicant, am seeking permission to: Retain Existing Shed

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
<u>40' FRONT</u>	<u>31.8</u>	<u>8.2</u>

State of New York)
 ss:
 County of Putnam)
 The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this 22 day of June 2023
Alice Daly
 Notary Public

ALICE DALY
 Notary Public, State of New York
 No. 01DA6345218
 Qualified in Putnam County
 Commission Expires July 25, 2024

Petitioner: Christopher McBride Date 6/22/2023





**ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY**

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

ME

IN THE MATTER OF THE APPEAL
OF
Richard + Pamela Stanley
TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: Sept 20, 2023

Application For (circle applicable): Area Variance (156.47A) + 156.15 Use Variance Interpretation 280A

Name of Property Owner: Richard + Pamela Stanley Address: 22 Frederick St Mahopac NY
(Address) (City) (State)

Mailing Address: 22 Frederick St, Mahopac, NY Phone Number(s): _____
(Address) (City) (State)

Zoning District: R Tax Map: 64.19 - 1 - 60
(R-120, Commercial, C/BP, or Conservation) (section) (Block) (Lot)

Applicant is: (circle one) Owner (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]

E-Mail Address: gmcguinness@hudsondesign.pro

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
9/2011	Add deck to second house on property	Granted

List all improvements (1 family dwelling, pool, etc.) 2-1 family dwellings, Dock, Shed + Carport

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: Site Plan + Plans

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO
Explain: Yes Kirk Lake

I, the applicant, am seeking permission to: Carport 2nd floor addition

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
30' Rear	25.35	4.65

State of New York)
 ss:
County of Putnam)
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this 20th day of SEPT 2023

Karla Ray Green
Notary Public

KARLA RAY GREEN
NOTARY PUBLIC STATE OF NEW YORK
ORANGE COUNTY
LIC. #01GR6082947
COMM. EXP. NOV 4, 2026

Petitioner [Signature] Date 20, Sept '23



AUTHORIZATION FORM

RE: Property of: Richard + Pamela Stanley
(Owner)
Located at: 22 Frederick St, Mahopac, NY
(Address) (City, Town, Village)
Tax Map #: 64.19-1-60
In the matter of: 4.65' Area Variance
(Variance Request)

To whom it may concern:

This letter is to authorize James Copeland/Hudson Design
a/an (check one) Attorney Engineer Architect Other ()

to apply for the required variance(s) on the above noted property and to sign all necessary papers and make all necessary representations on my behalf in connection with the above-mentioned matter.

Countersigned: [Signature]
(Representative)
James Copeland
(Print Name)

Signed: [Signature] Pamela Stanley
(Owner of Property)
E.R. Stanley P. Stanley
(Print Name)

Mailing Address: 1949 Route 9
Garrison
State: NY Zip: 10524
Telephone # 845-424-4810
Date: 9/19/23
E-mail: jcopeland@hudsondesign.pro.

Mailing Address: 22 Frederick St
Mahopac
State: NY Zip: 10541
Telephone _____

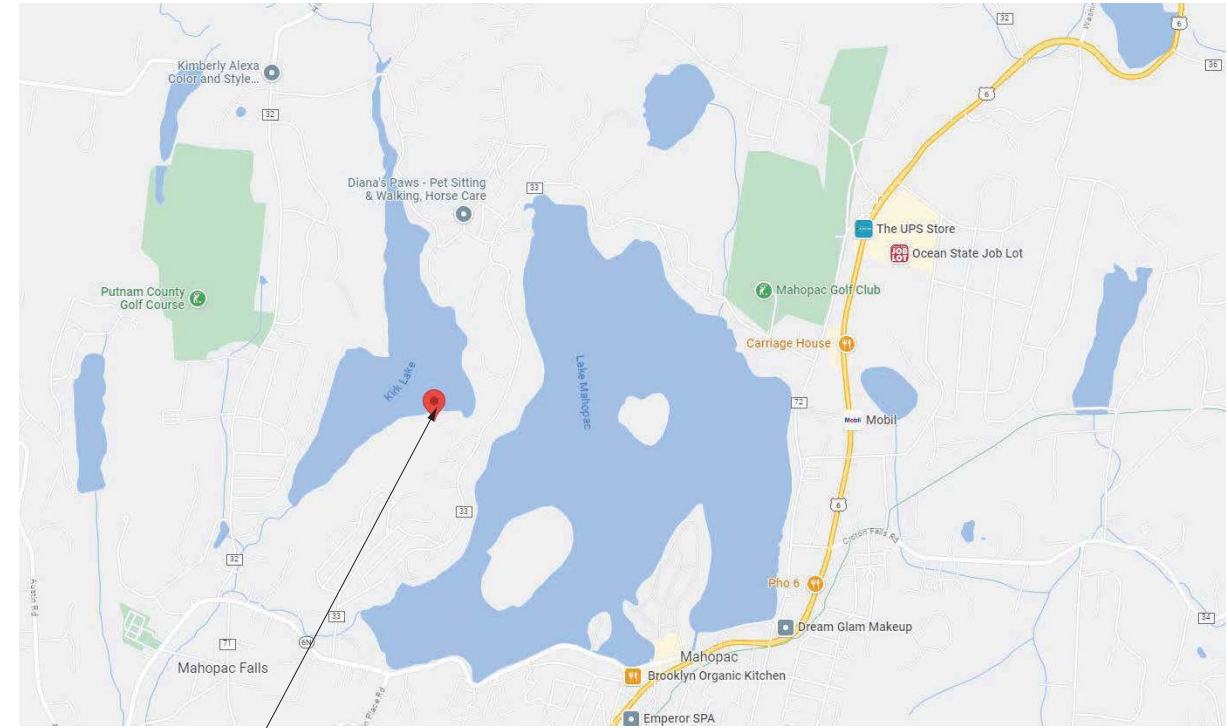
NOTE: The willful submission of false or inaccurate information on this application may result in the dismissal of the application, or the revocation of any action taken on the application, or both.

NEW CONSTRUCTION / ALTERATIONS FOR:
STANLEY

22 FREDERICK ST
MAHOPAC, NY 10541

TAX MAP ID: 64.19-1-60
ZONING DISTRICT: R, RESIDENTIAL

DRAWING INDEX		
SHEET NUMBER	SHEET NAME	CURRENT REVISION
G-001	TITLE SHEET	
G-002	GENERAL NOTES & SPECIFICATIONS	
SP-1	EXISTING SITE PLAN	
SP-2	PROPOSED SITE PLAN	
A-101	BASEMENT & FIRST FLOOR PLANS	
A-102	SECOND FLOOR & ATTIC PLANS	
A-201	EXTERIOR ELEVATIONS	



PROJECT LOCATION

LOCATION MAP - NOT TO SCALE

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

ARCHITECTURE
MASTER PLANNING
INTERIOR DESIGN



**HUDSON
DESIGN**

1949 ROUTE NINE
GARRISON, NEW YORK
10524

PHONE: 845-424-4810
FAX: 845-424-4815
www.hudsonsdesign.pro

NEW CONSTRUCTION
/ ALTERATIONS FOR:

STANLEY
22 FREDERICK ST
MAHOPAC, NY 10541

Proj. #23019

UNDER NEW YORK STATE EDUCATIONAL LAW ARTICLE 135, §9.5d, IT IS UNLAWFUL FOR ANY PERSON TO ALTER ANY ITEM ON THIS DRAWING, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT. IF ANY ITEM IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION. THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THESE DRAWINGS SHALL NOT BE REPRODUCED, PUBLISHED, USED ON OTHER PROJECTS, OR FOR ADDITIONS TO THIS PROJECT OR USED FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING. COPYRIGHT © 2023, HUDSON DESIGN ARCHITECTURE & CONSTRUCTION MANAGEMENT PLLC.

ISSUED FOR ZBA

9/19/23

TITLE SHEET

G-001

Proj. #23019 STANLEY

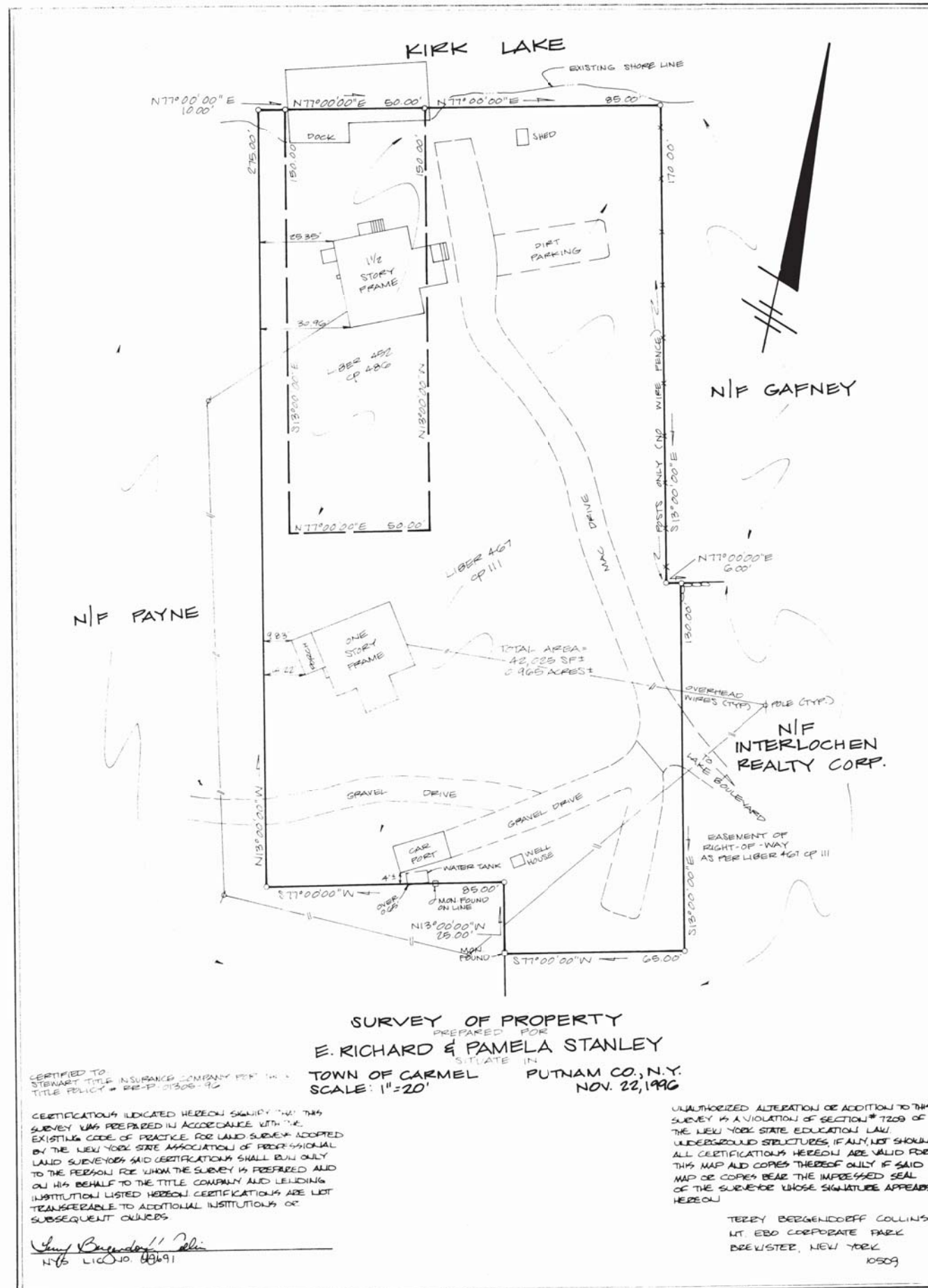
NAILING SCHEDULE		
ITEM	# OR O/C OF NAILS	SIZE OF NAIL (BOX OR COM.)
JOIST		
TOE NAIL TO PLATES SILL OR GIRDER	3	8d
TO PARALLEL ALTERNATE JOISTS	3	16d
AT LAPS OVER BEARING, FACE NAILS	3	16d
STUDS		
END NAILS TO PLATES	2	16d
OR TOE NAILS, 2 EACH SIDE	4	8d
CORNER ANGLE OR MULTIPLE	24" O.C.	10d
TOP PLATES		
SPIKE TOGETHER	12" O.C.	10d
LAPS AND INTERSECTIONS, FACE NAILS	2	16d
BLOCKING		
TO PLATE	2	16d
OR - TOE NAIL	4	8d
TO JOIST, EACH SIDE	2	16d
OR - TOE NAIL	4	8d
BRIDGING		
TOE NAIL TO JOISTS, EACH SIDE	2	10d
2" X LAMINATED BEAMS OR LINTELS		
SPIKE TOGETHER	16" O.C.	16d
DOUBLE JOISTS OR HEADERS		
SPIKE TOGETHER, ALONG EACH EDGE	16" O.C.	10d
PLYWOOD SHEATHING AND SUBFLOOR NAILING		
AT EDGES OF SHEETS		
3/8" THICK	4" O.C. MAX	8d
1/2" & 5/8" THICK	6" O.C. MAX	10d
AT INTERIOR OF EACH SHEET, NAILS @ 10" O.C. FOR 3/8" & 1/2" PLYWOOD		

PATTERN LEGEND	
	GRAVEL
	EARTH
	SAND/GYPSUM
	WOOD
	PLYWOOD
	LAMINATED FRAMING
	FRAMING
	BLOCKING
	RIGID INSULATION
	SPRAY FOAM INSULATION
	CONCRETE
	STEEL
	ALUMINUM
	GLAZING

SYMBOL LEGEND	
	SLOPE REFERENCE
	STAIR DESIGNATION
	REVISION TAG
	WALL TYPE TAG
	BUILDING SECTION DESIGNATION
	WINDOW TAG
	DOOR TAG
	CALLOUT DESIGNATION
	ELEVATION DESIGNATION
	INTERIOR ELEVATION DESIGNATION
	BUILDING ELEVATION DESIGNATION

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT 2020 RESIDENTIAL CODE OF NEW YORK STATE (1RC 2018) TABLE N1102.1.2 2020 ENERGY CONSERVATION CODE OF NYS (IECC 2018) TABLE 402.1.2 IN LIEU OF COMPUTER SOFTWARE COMPLIANCE		
CLIMATE ZONE: PUTNAM COUNTY, ZONE 5		
COMPONENT	REQUIRED	PROVIDED
FENESTRATION U-FACTOR	0.30	0.30
SKYLIGHT U-FACTOR	0.55	
GLAZED FENESTRATION SHGC	NR	
CEILING R-VALUE	49	49
WOOD FRAME WALL R-VALUE	20 OR 13 CAVITY & 5 CONT.	21
FLOOR R-VALUE	30	
BASEMENT WALL R-VALUE	15 CONTINUOUS OR 19 CAVITY	
SLAB R-VALUE & DEPTH	10 / 2 FT	10
CRAWL SPACE WALL R-VALUE	15 CONTINUOUS OR 19 CAVITY	

CLIMATE AND GEOGRAPHIC DESIGN CRITERIA TABLE R301.2(1), 2020 RESIDENTIAL CODE OF NEW YORK STATE													
GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIREMENT	FLOOD HAZARD	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	SPEED (MPH)	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WIND-BORN DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITE					
30 PSF	90-100	NO	NO	NO	C	SEVERE	42"	NO	15	YES	NO	<1500	48.7



SURVEY OF PROPERTY
 PREPARED FOR
E. RICHARD & PAMELA STANLEY
 SITUATE IN
TOWN OF CARMEL PUTNAM CO., N.Y.
 SCALE: 1"=20' NOV. 22, 1996

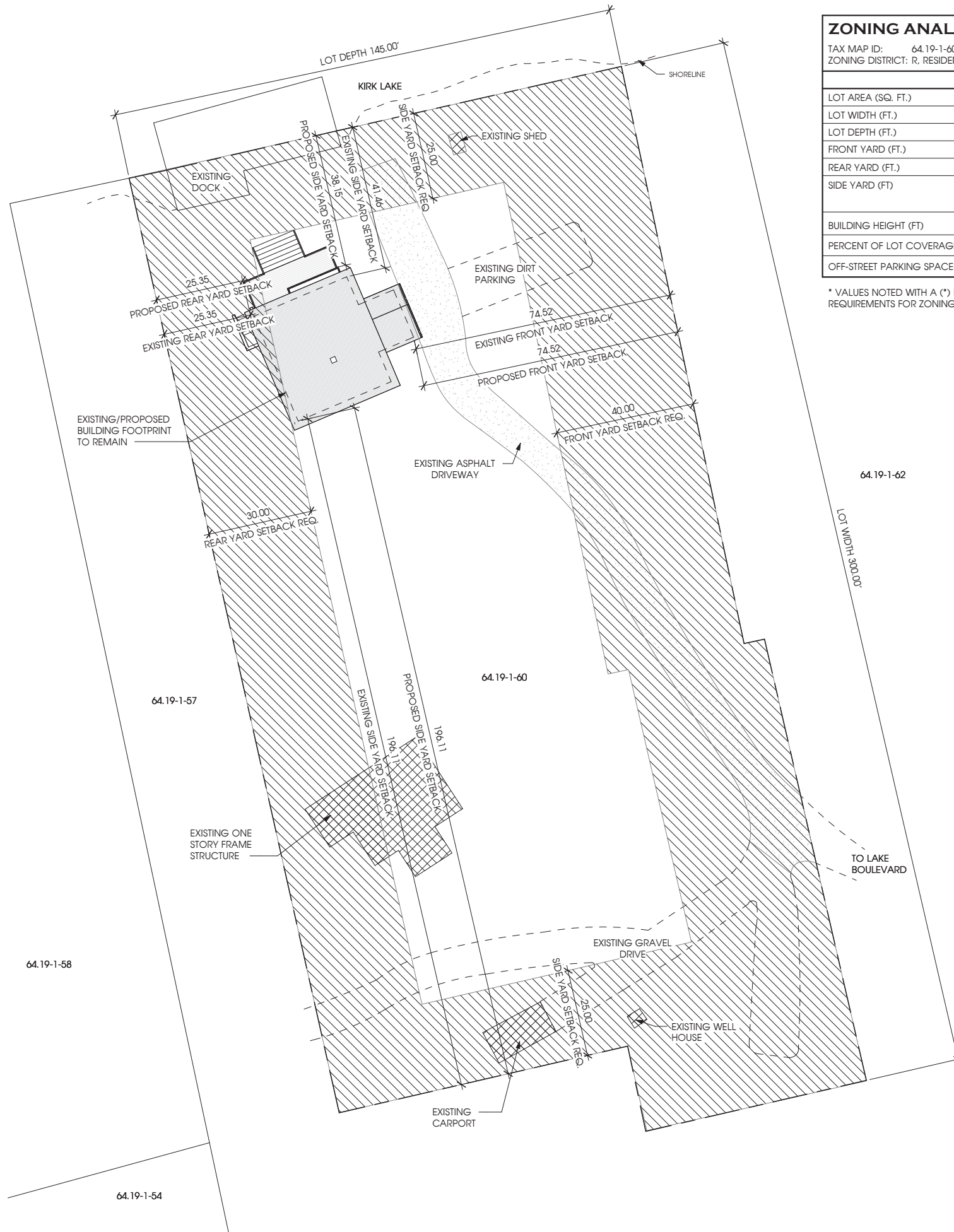
CERTIFIED TO
 STEWART TITLE INSURANCE COMPANY PER TITLE
 POLICY # BR-P-01300-96

CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEY ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS SAID CERTIFICATIONS SHALL BE VALID ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED AND ON HIS BEHALF TO THE TITLE COMPANY AND LENDING INSTITUTION LISTED HEREON CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS

Terry Bergencioff Collins
 NYS LIC. NO. 83691

UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW UNDERGROUND STRUCTURES IF ANY, NOT SHOWN ALL CERTIFICATIONS HEREON ARE VALID FOR THIS MAP AND COPIES THEREOF ONLY IF SAID MAP OR COPIES BEAR THE IMPRESSED SEAL OF THE SURVEYOR WHOSE SIGNATURE APPEARS HEREON

TERRY BERGENCIOFF COLLINS
 LT. EBO CORPORATE PARK
 BREWSTER, NEW YORK
 10509



ZONING ANALYSIS

TAX MAP ID: 64.19-1-60
 ZONING DISTRICT: R, RESIDENTIAL

	MINIMUM	MAXIMUM	EXISTING	PROPOSED	VARIANCE REQUIRED
LOT AREA (SQ. FT.)	120,000		42,688 *	42,688	
LOT WIDTH (FT.)	200		300	300	
LOT DEPTH (FT.)	200		145 *	145	
FRONT YARD (FT.)	40		74.52	74.52	
REAR YARD (FT.)	30		25.35 *	25.35	YES, 4.65'
SIDE YARD (FT)	25 (EACH SIDE)		NORTH 41.46 SOUTH 196.11	NORTH 38.47 SOUTH 196.11	
BUILDING HEIGHT (FT)		35	18.54	30.12	
PERCENT OF LOT COVERAGE		15%	7.30%	7.30%	
OFF-STREET PARKING SPACES	4		4	4	

* VALUES NOTED WITH A (*) INDICATE THAT THE EXISTING PROVIDED SETBACK DIMENSION IS NON-CONFORMING PER THE REQUIREMENTS FOR ZONING DISTRICT R LISTED IN LOCAL CODE SECTION 156 ATTACHMENT 1.



ARCHITECTURE
 MASTER PLANNING
 INTERIOR DESIGN



**HUDSON
 DESIGN**

1949 ROUTE NINE
 GARRISON, NEW YORK
 10524

PHONE: 845-424-4810
 FAX: 845-424-4815
 www.hudsonsdesign.pro

NEW CONSTRUCTION
 / ALTERATIONS FOR:
STANLEY

22 FREDERICK ST
 MAHOPAC, NY 10541

Proj. #23019

UNDER NEW YORK STATE EDUCATIONAL LAW ARTICLE 135, §9.3d, IT IS UNLAWFUL FOR ANY PERSON TO ALTER ANY ITEM ON THIS DRAWING, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT. IF ANY ITEM IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION. THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THESE DRAWINGS SHALL NOT BE REPRODUCED, PUBLISHED, USED ON OTHER PROJECTS, USED FOR ADVERTISEMENTS TO THIS PROJECT OR USED FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING. COPYRIGHT © 2023, HUDSON DESIGN ARCHITECTURE & CONSTRUCTION MANAGEMENT PLLC.



ISSUED FOR ZBA

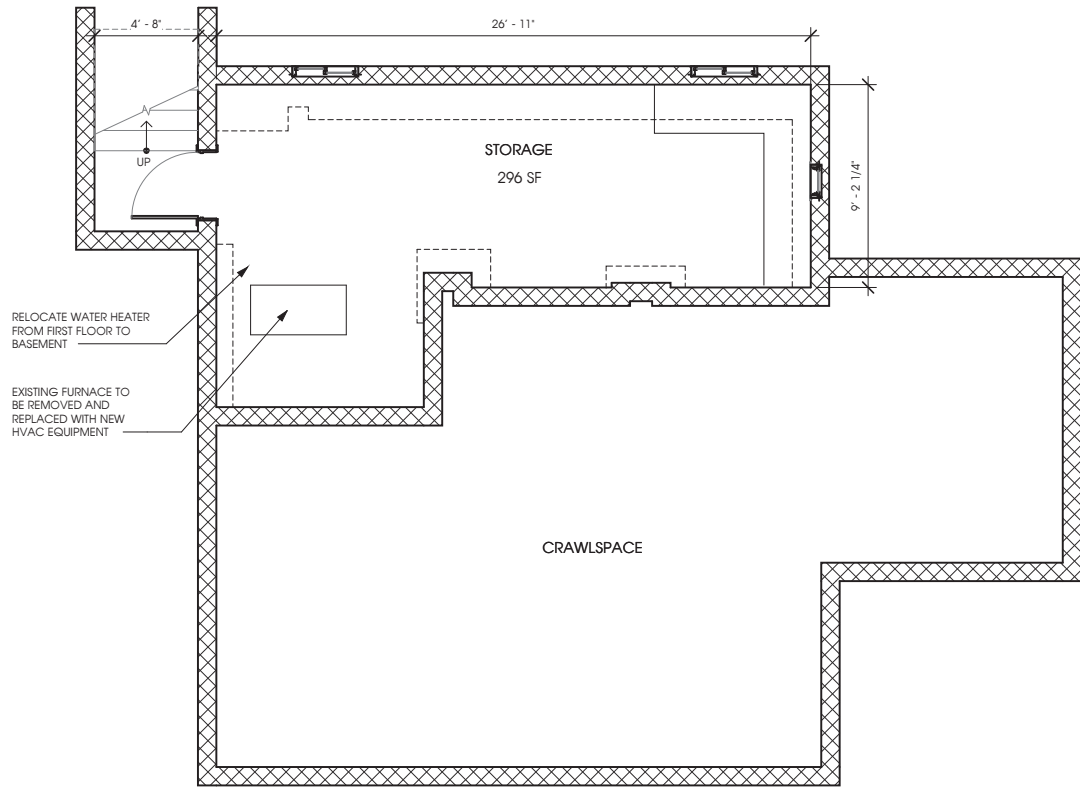
9/19/23

PROPOSED SITE
 PLAN

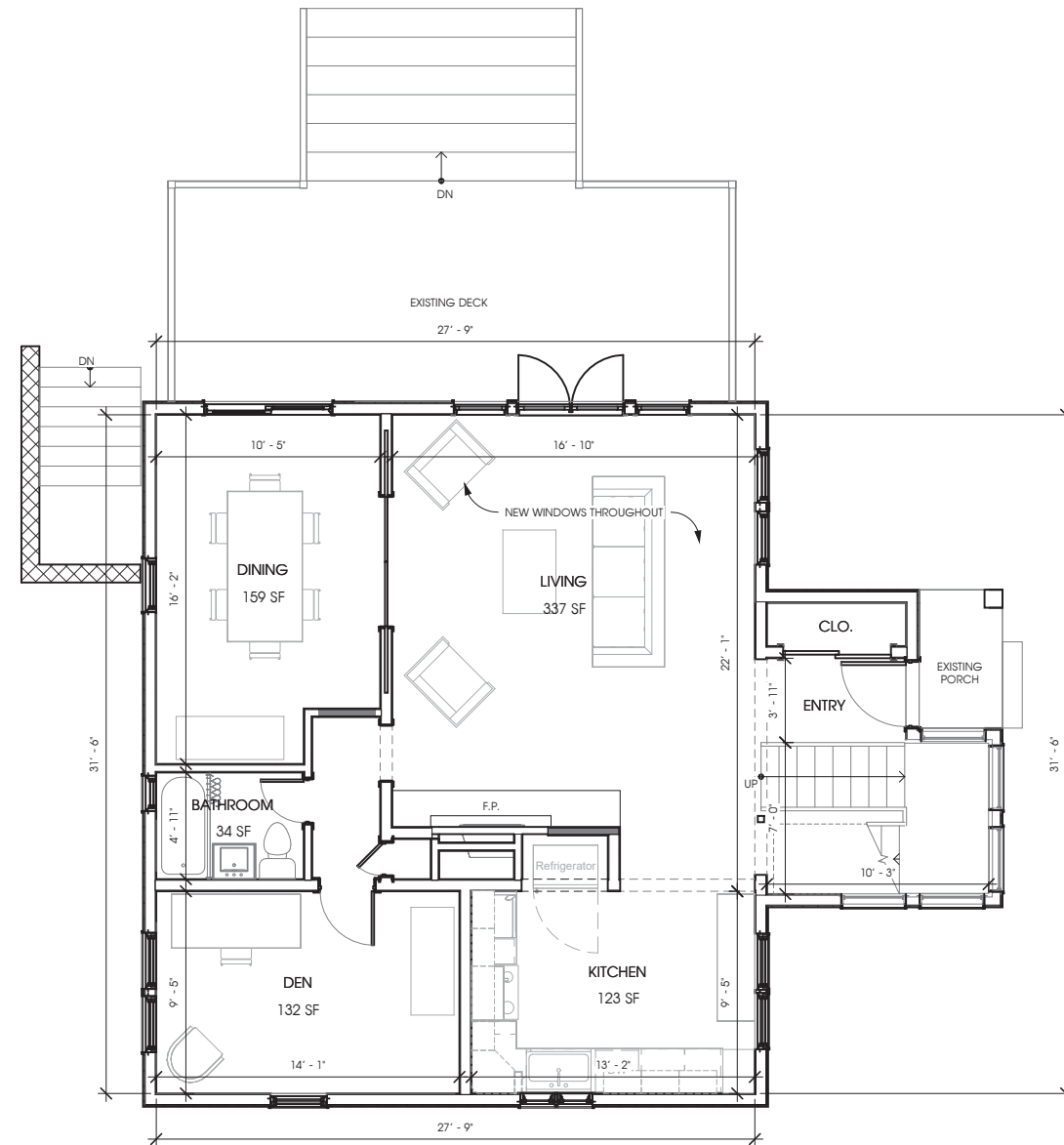
SP-2

Proj. #23019 STANLEY

WALL LEGEND	
EXISTING WALL TO REMAIN	
NEW WALLS	



1 BASEMENT PLAN
1/4" = 1'-0"



2 FIRST FLOOR PLAN
1/4" = 1'-0"

ARCHITECTURE
MASTER PLANNING
INTERIOR DESIGN



**HUDSON
DESIGN**

1949 ROUTE NINE
GARRISON, NEW YORK
10524

PHONE: 845-424-4810
FAX: 845-424-4815
www.hudsonsdesign.pro

NEW CONSTRUCTION
/ ALTERATIONS FOR:
STANLEY

22 FREDERICK ST
MAHOPAC, NY 10541

Proj. #23019

UNDER NEW YORK STATE EDUCATIONAL LAW ARTICLE 135, §9.5b, IT IS UNLAWFUL FOR ANY PERSON TO ALTER ANY ITEM ON THIS DRAWING, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT. IF ANY ITEM IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION. THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THIS DRAWING SHALL NOT BE REPRODUCED, PUBLISHED, USED ON OTHER PROJECTS, OR FOR ADDITIONS TO THIS PROJECT OR USED FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING. COPYRIGHT © 2023, HUDSON DESIGN ARCHITECTURE & CONSTRUCTION MANAGEMENT PLLC.



ISSUED FOR ZBA

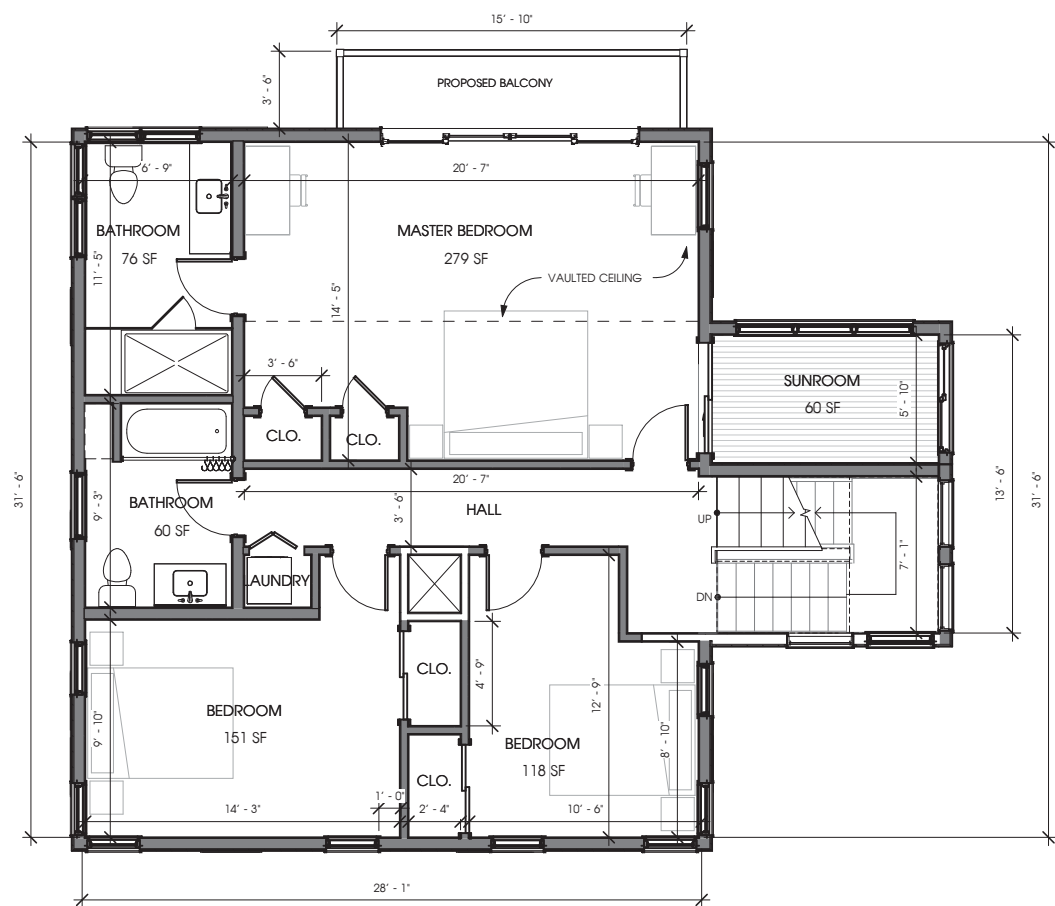
9/19/23

BASEMENT &
FIRST FLOOR
PLANS

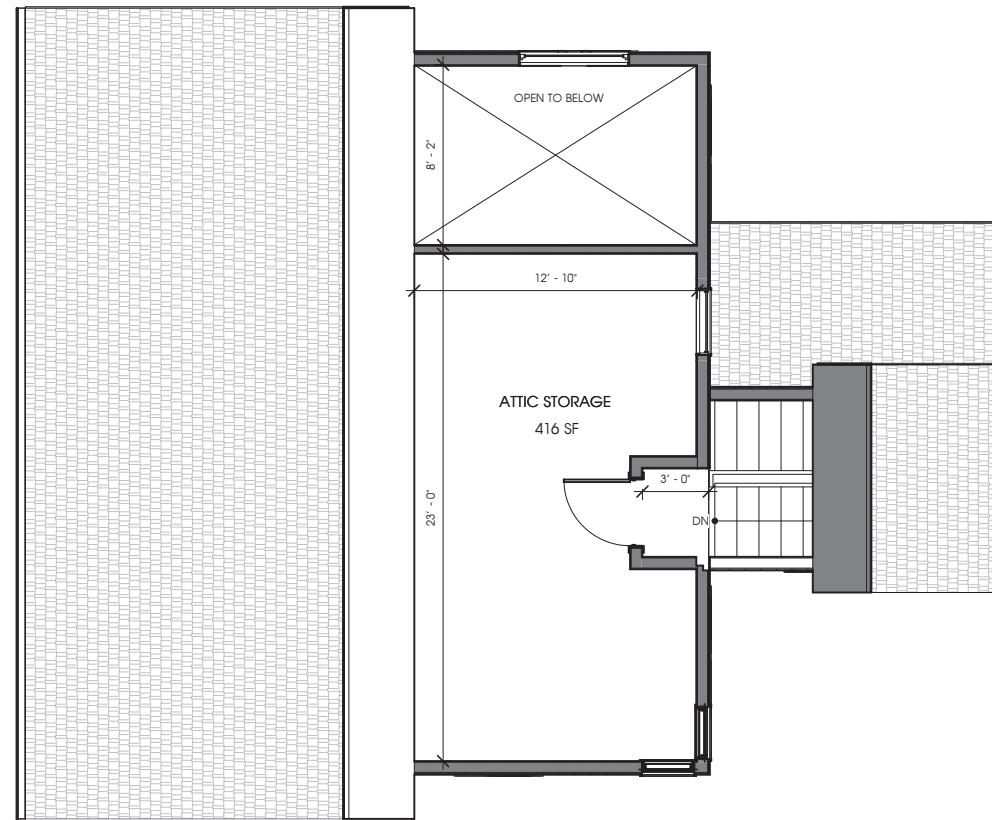
A-101

Proj. #23019 STANLEY

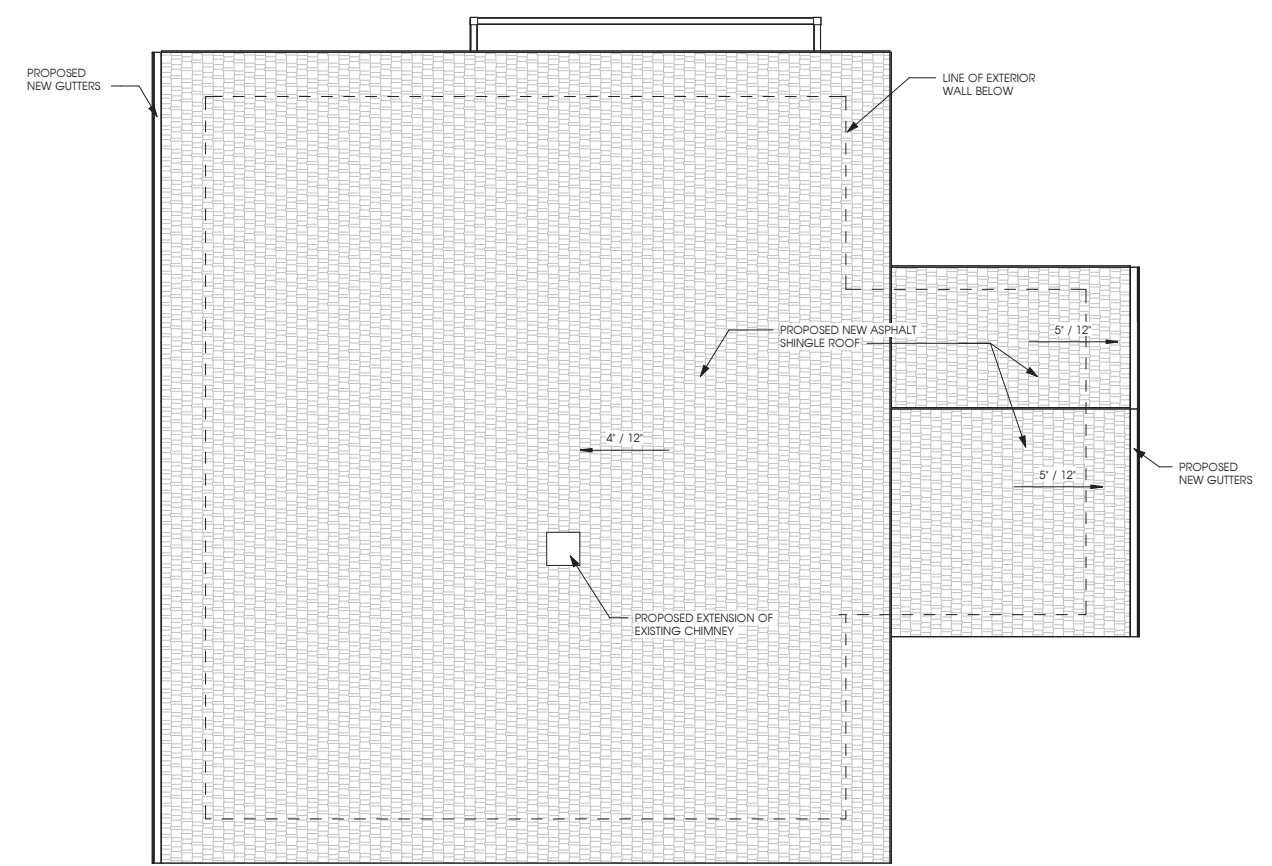
WALL LEGEND	
EXISTING WALL TO REMAIN	
NEW WALLS	



1 SECOND FLOOR PLAN
1/4" = 1'-0"



2 ATTIC
1/4" = 1'-0"



3 ROOF PLAN
1/4" = 1'-0"

ARCHITECTURE
MASTER PLANNING
INTERIOR DESIGN



**HUDSON
DESIGN**

1949 ROUTE NINE
GARRISON, NEW YORK
10524

PHONE: 845-424-4810
FAX: 845-424-4815
www.hudsonsdesign.pro

NEW CONSTRUCTION
/ ALTERATIONS FOR:
STANLEY

22 FREDERICK ST
MAHOPAC, NY 10541
Proj. #23019

UNDER NEW YORK STATE EDUCATIONAL LAW ARTICLE 135, §9.5b, IT IS UNLAWFUL FOR ANY PERSON TO ALTER ANY ITEM ON THIS DRAWING, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT. IF ANY ITEM IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION. THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THESE DRAWINGS SHALL NOT BE REPRODUCED, PUBLISHED, USED ON OTHER PROJECTS, GLEED FOR ADDITIONS TO THIS PROJECT OR USED FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING. COPYRIGHT © 2023, HUDSON DESIGN ARCHITECTURE & CONSTRUCTION MANAGEMENT PLLC.

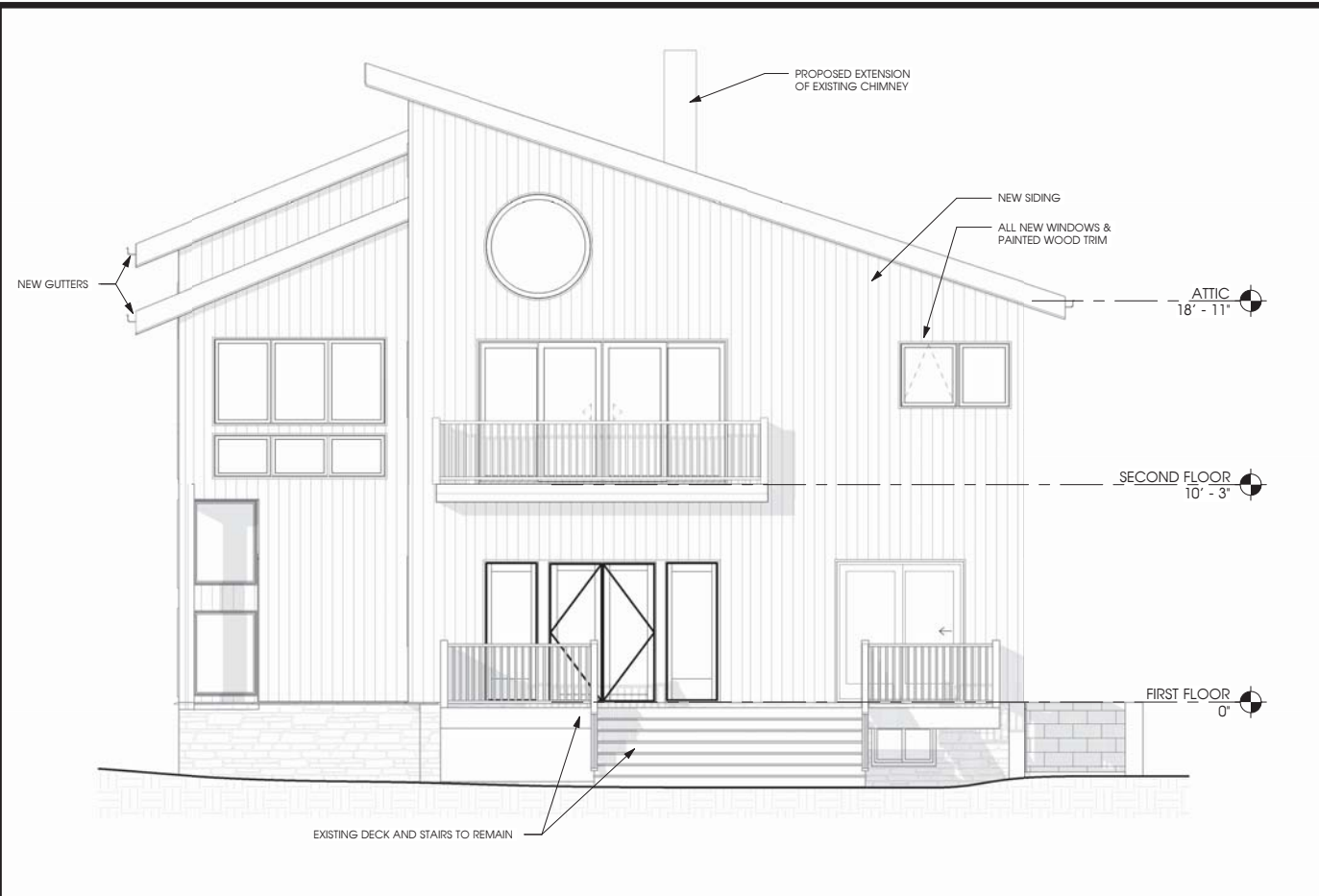
ISSUED FOR ZBA

9/19/23

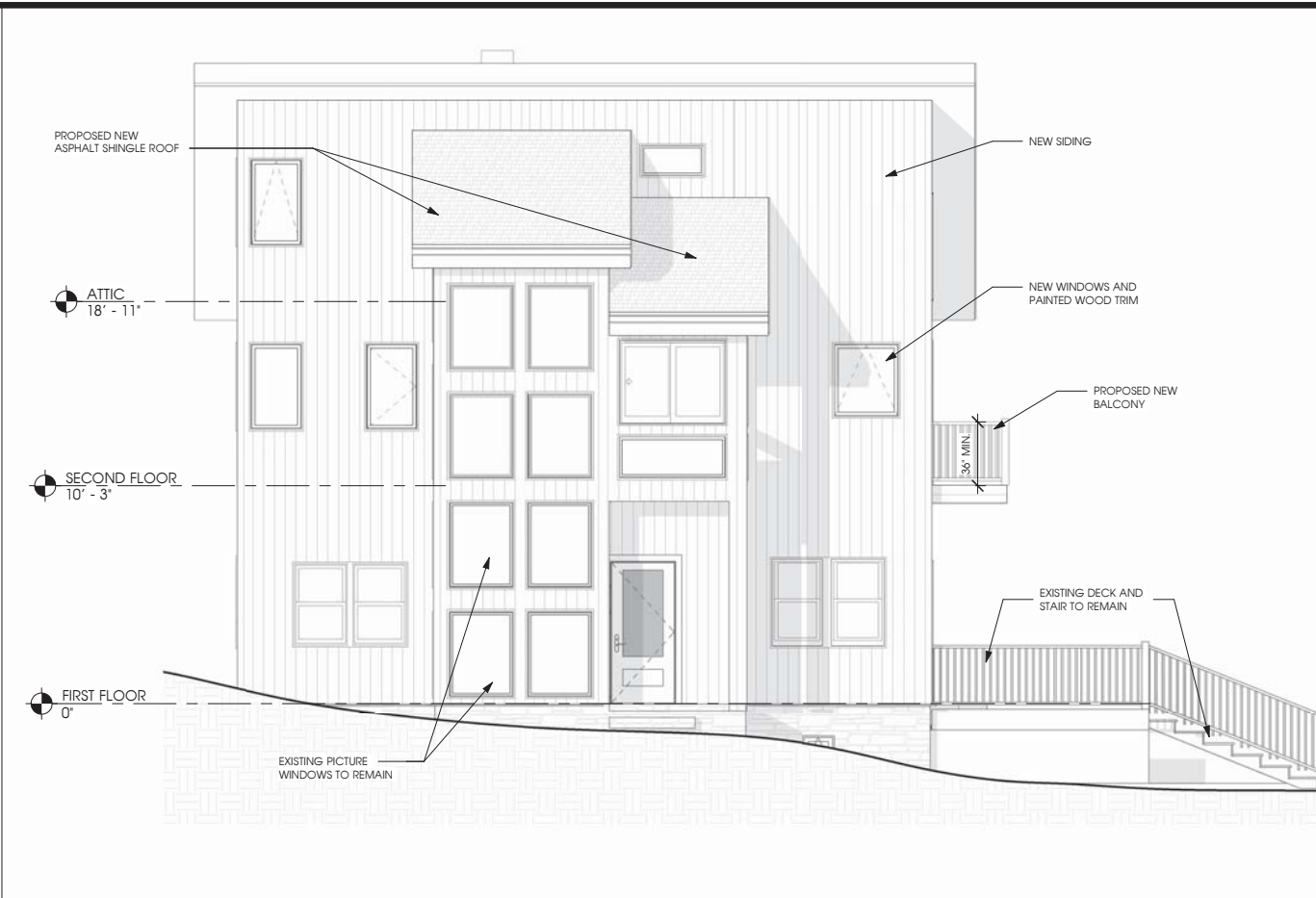
SECOND FLOOR &
ATTIC PLANS

A-102

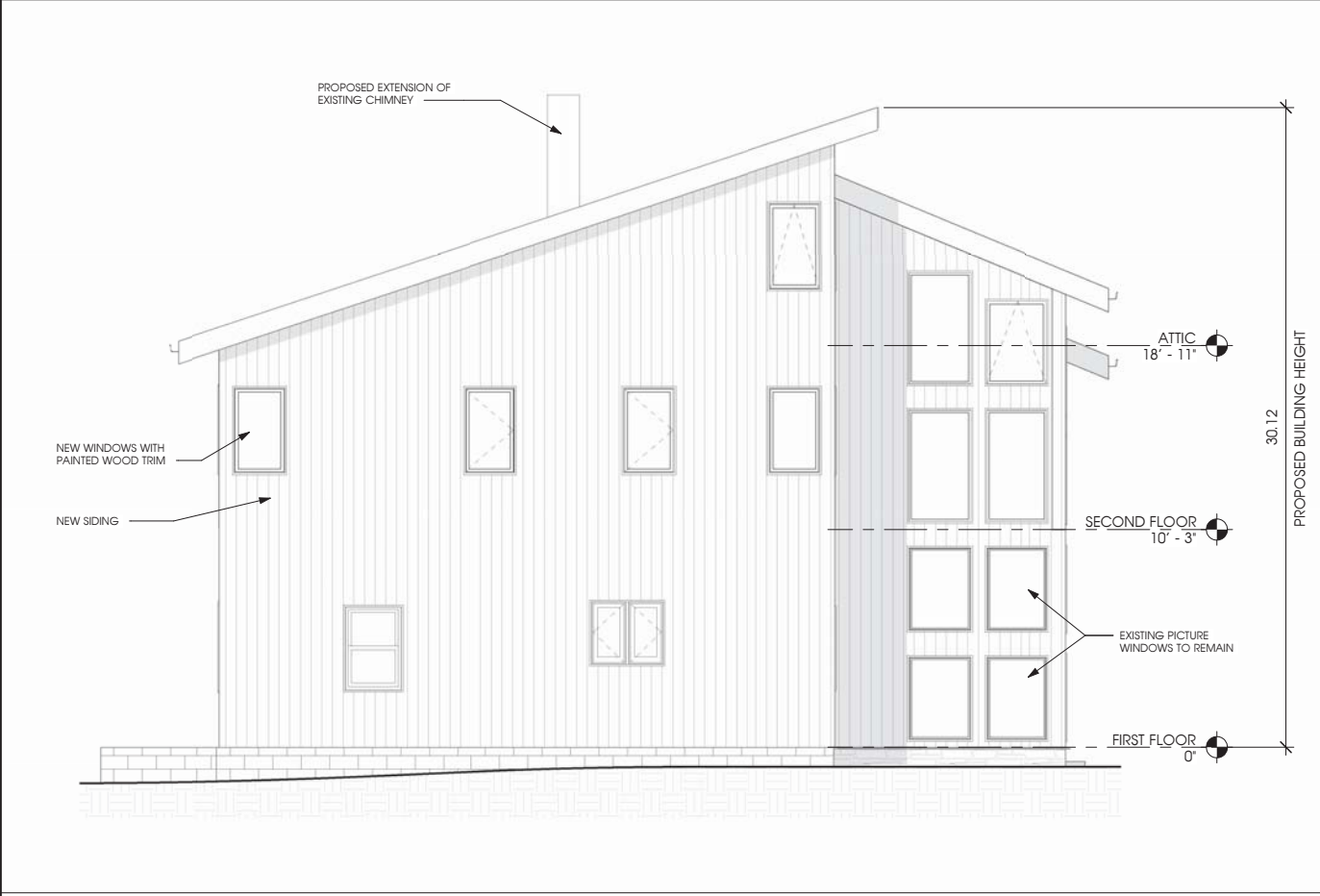
Proj. #23019 STANLEY



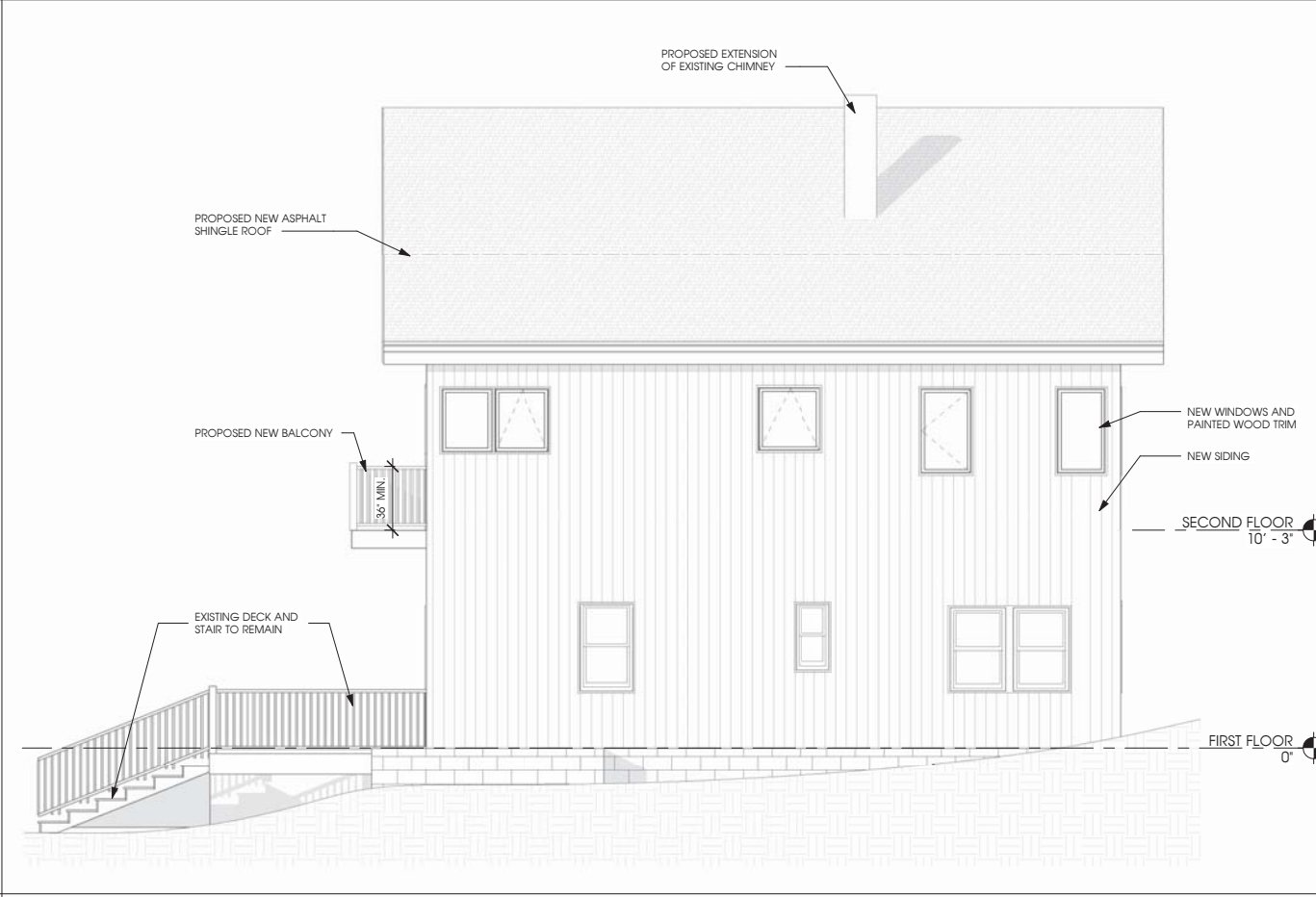
1 NORTH ELEVATION
1/4" = 1'-0"



2 EAST ELEVATION
1/4" = 1'-0"



3 SOUTH ELEVATION
1/4" = 1'-0"



4 WEST ELEVATION
1/4" = 1'-0"

ARCHITECTURE
MASTER PLANNING
INTERIOR DESIGN



**HUDSON
DESIGN**

1949 ROUTE NINE
GARRISON, NEW YORK
10524

PHONE: 845-424-4810
FAX: 845-424-4815
www.hudsondesign.pro

NEW CONSTRUCTION
/ ALTERATIONS FOR:

STANLEY
22 FREDERICK ST
MAHOPAC, NY 10541
Proj. #23019

UNDER NEW YORK STATE EDUCATIONAL LAW ARTICLE 135, §9.3d, IT IS UNLAWFUL FOR ANY PERSON TO ALTER ANY ITEM ON THIS DRAWING, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT. IF ANY ITEM IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION. THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THESE DRAWINGS SHALL NOT BE REPRODUCED, PUBLISHED, USED ON OTHER PROJECTS, GLEED FOR ADDITIONS TO THIS PROJECT OR USED FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING. COPYRIGHT © 2023, HUDSON DESIGN ARCHITECTURE & CONSTRUCTION MANAGEMENT PLLC.

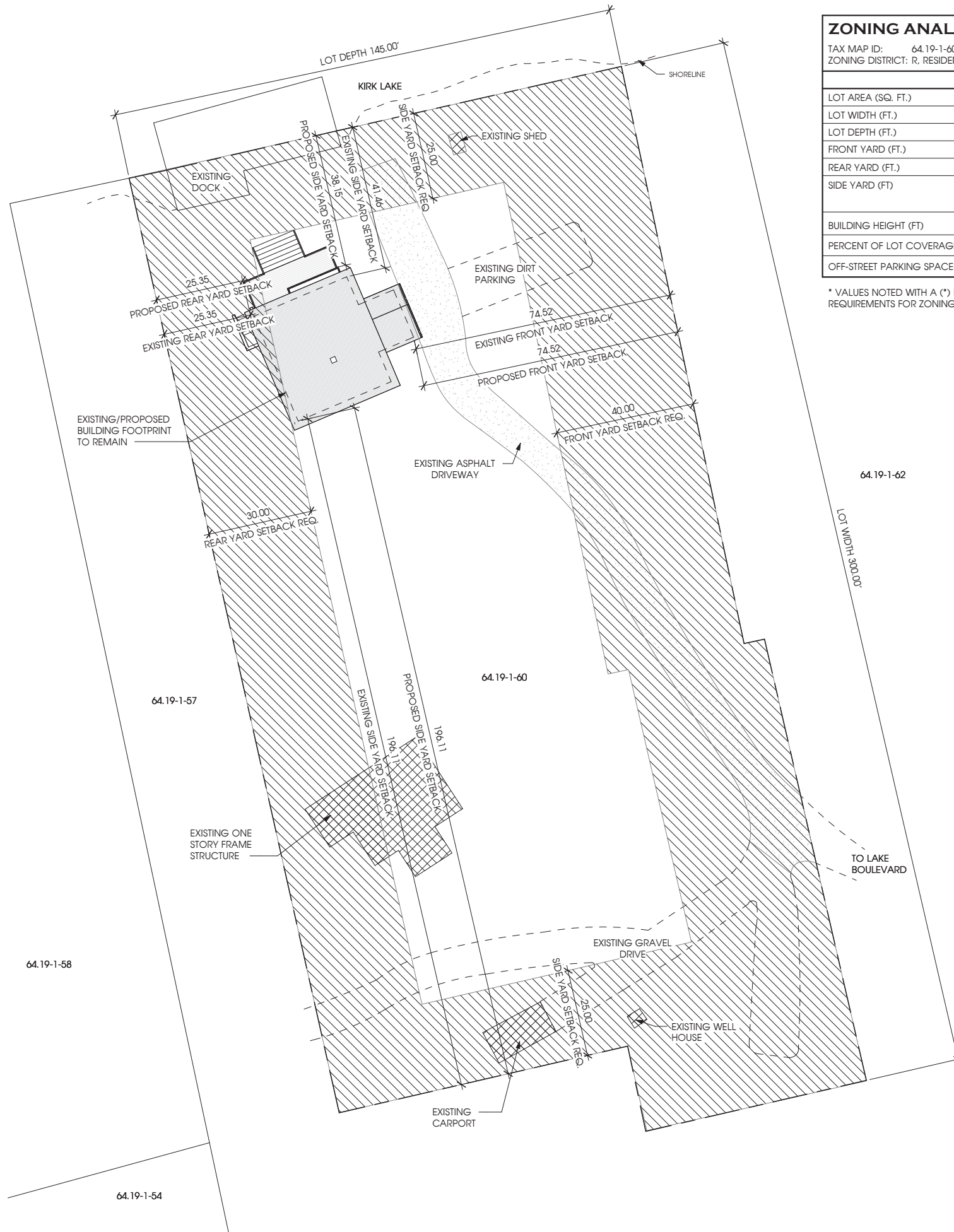
ISSUED FOR ZBA

9/19/23

EXTERIOR
ELEVATIONS

A-201

Proj. #23019 STANLEY



ZONING ANALYSIS

TAX MAP ID: 64.19-1-60
 ZONING DISTRICT: R, RESIDENTIAL

	MINIMUM	MAXIMUM	EXISTING	PROPOSED	VARIANCE REQUIRED
LOT AREA (SQ. FT.)	120,000		42,688 *	42,688	
LOT WIDTH (FT.)	200		300	300	
LOT DEPTH (FT.)	200		145 *	145	
FRONT YARD (FT.)	40		74.52	74.52	
REAR YARD (FT.)	30		25.35 *	25.35	YES, 4.65'
SIDE YARD (FT)	25 (EACH SIDE)		NORTH 41.46 SOUTH 196.11	NORTH 38.47 SOUTH 196.11	
BUILDING HEIGHT (FT)		35	18.54	30.12	
PERCENT OF LOT COVERAGE		15%	7.30%	7.30%	
OFF-STREET PARKING SPACES	4		4	4	

* VALUES NOTED WITH A (*) INDICATE THAT THE EXISTING PROVIDED SETBACK DIMENSION IS NON-CONFORMING PER THE REQUIREMENTS FOR ZONING DISTRICT R LISTED IN LOCAL CODE SECTION 156 ATTACHMENT 1.



ARCHITECTURE
 MASTER PLANNING
 INTERIOR DESIGN



**HUDSON
 DESIGN**

1949 ROUTE NINE
 GARRISON, NEW YORK
 10524

PHONE: 845-424-4810
 FAX: 845-424-4815
 www.hudsonsdesign.pro

NEW CONSTRUCTION
 / ALTERATIONS FOR:
STANLEY

22 FREDERICK ST
 MAHOPAC, NY 10541

Proj. #23019

UNDER NEW YORK STATE EDUCATIONAL LAW ARTICLE 135, §9.3d, IT IS UNLAWFUL FOR ANY PERSON TO ALTER ANY ITEM ON THIS DRAWING, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT. IF ANY ITEM IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION. THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THESE DRAWINGS SHALL NOT BE REPRODUCED, PUBLISHED, USED ON OTHER PROJECTS, USED FOR ADVERTISEMENTS TO THIS PROJECT OR USED FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING. COPYRIGHT © 2023, HUDSON DESIGN ARCHITECTURE & CONSTRUCTION MANAGEMENT PLLC.

ISSUED FOR ZBA

9/19/23

PROPOSED SITE
 PLAN

SP-2

Proj. #23019 STANLEY



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

me

IN THE MATTER OF THE APPEAL
OF
Kohlman
TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: 9/15, 2023

Application For (circle applicable): Area Variance (156.15) Use Variance Interpretation 280A

Name of Property Owner: PATRICK KOHLMAN Address: 26 Summit Circle Dr Mahopac NY

Mailing Address: SAME Phone Number(s): _____

Zoning District: R Tax Map: 87.9 - 1 - 33

Applicant is: (circle one) Owner (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]

E-Mail Address: _____

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
1/1988	Section 280A	Granted

List all improvements (1 family dwelling, pool, etc.) 1 family House

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: Hand-drawn Site Plans + Photos

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO Explain: Yes Town of Sonen

I, the applicant, am seeking permission to: Add Steps to Deck + Shed

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
30' Rear deck	1.1	28.9

State of New York)
 ss:
County of Putnam)
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

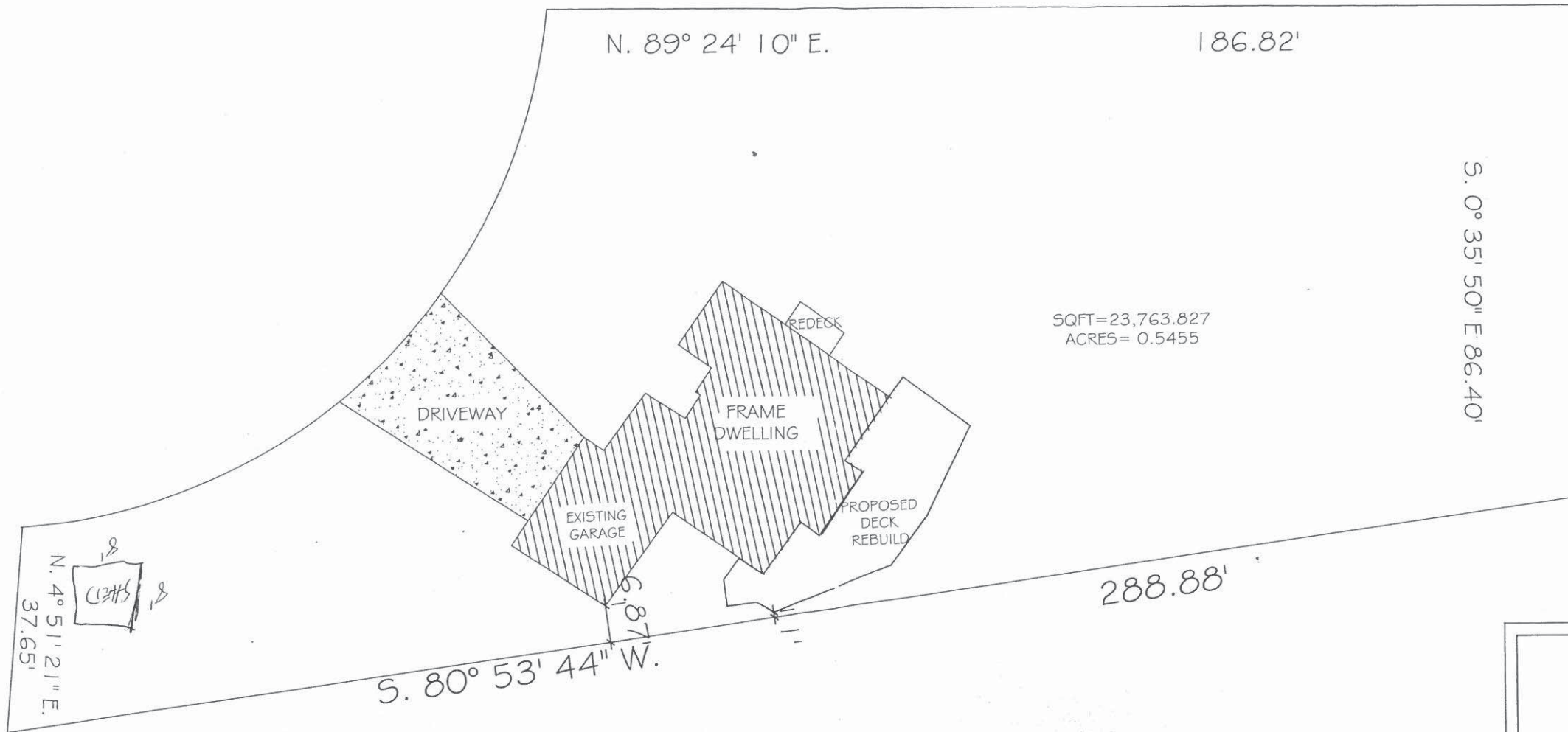
Sworn to before me this 20th day of Sept, 2023

Alice Daly
Notary Public

ALICE DALY
Notary Public, State of New York
No. 01DA6345218
Qualified in Putnam County
Commission Expires July 25, 2024

Petitioner [Signature] Date 9/20/23

PLEASE NOTE THE PROPOSED DECK LOCATION ON THIS PLOT PLAN IS REFERENCED FROM THE SURVEY PROVIDED BY THE HOMEOWNER.

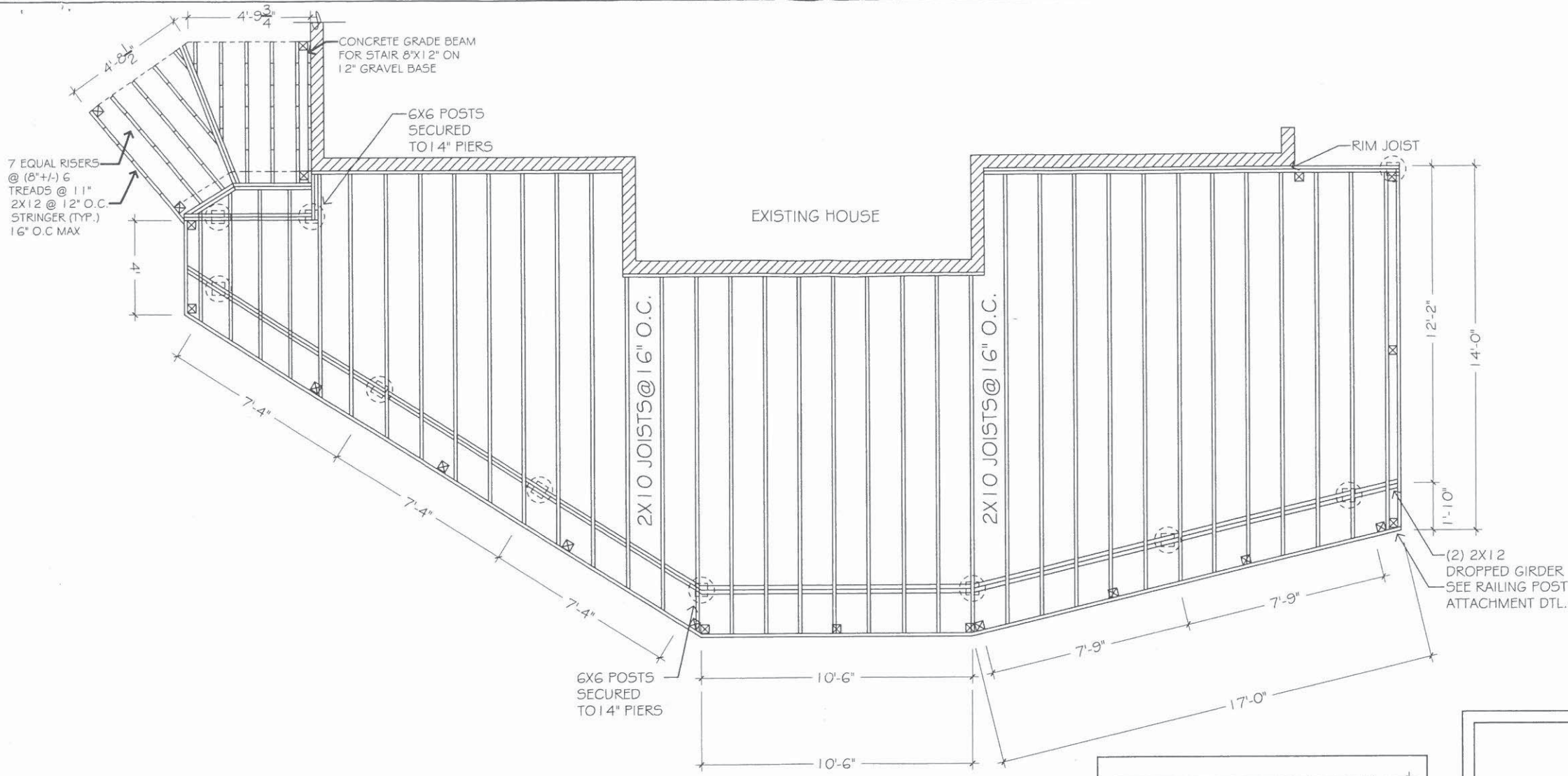


A PLOT PLAN
 A100 SCALE: 1" = 30'-0"

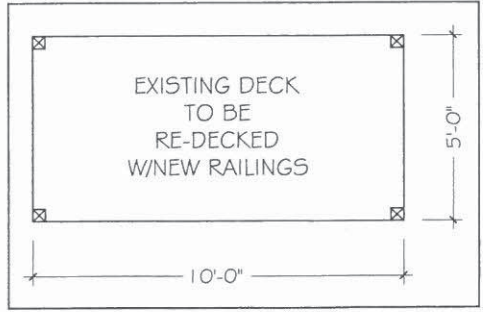
Best in Backyards
 —A Division of Eastern Jungle Gym*
 30 COMMERCE DRIVE
 CARMEL, NEW YORK — (877) 543-4969

PLEASE NOTE THAT ALL DIMENSIONS MUST BE VERIFIED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION.

PROJECT			KOHLMANN
DRAWING			26 SUMMIT CIRCLE DRIVE MAHOPAC NY
DRAWING			PLOT PLAN
SCALE	DRAWN BY	DRAWING NO.	
AS NOTED	RL	A100	
DATE	CHECKED BY		
05/17/23	WJ		



A DECK A
A101 SCALE: 1/4" = 1'-0"



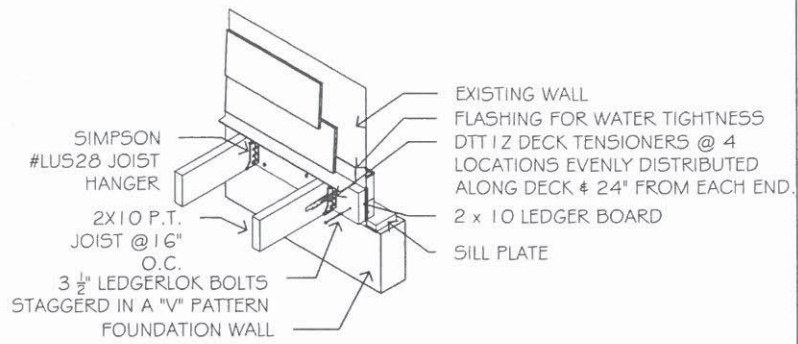
A DECK A
A101 SCALE: 1/4" = 1'-0"

PLEASE NOTE THAT ALL DIMENSIONS MUST BE VERIFIED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION

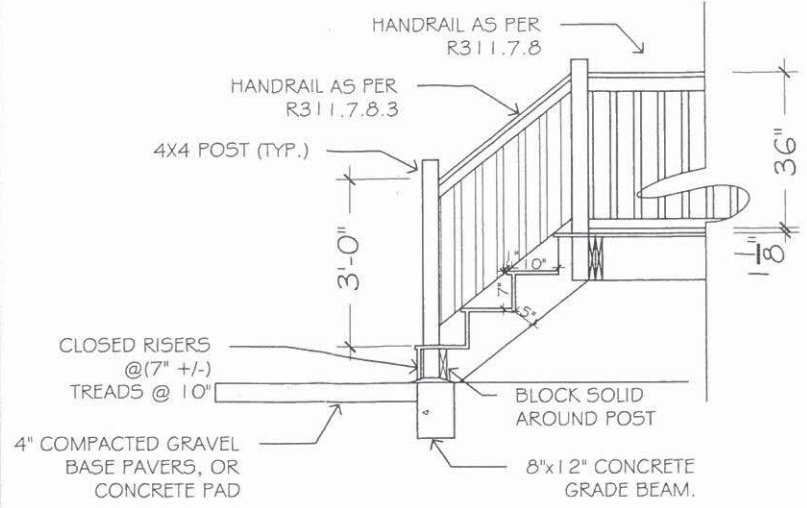
PLANS MEET NYS 2020 RESIDENTIAL CODE

Best in Backyards
—A Division of Eastern Jungle Gym*
30 COMMERCE DRIVE
CARMEL, NEW YORK — (877) 543-4969

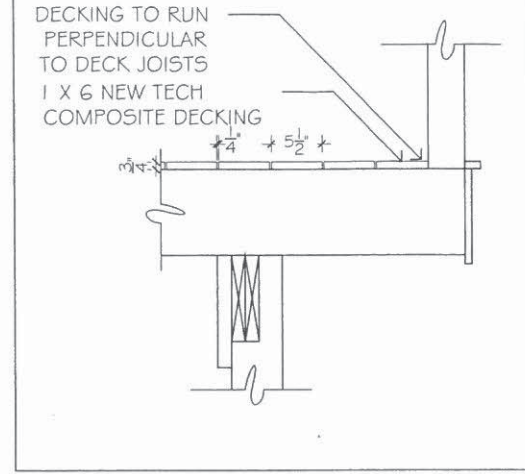
PROJECT		KOHLMANM	
		26 SUMMIT CIRCLE DRIVE MAHOPAC NY	
DRAWING		DECK	
SCALE AS NOTED	DRAWN BY RL	DRAWING NO.	
DATE 02/10/23	CHECKED BY	A101	



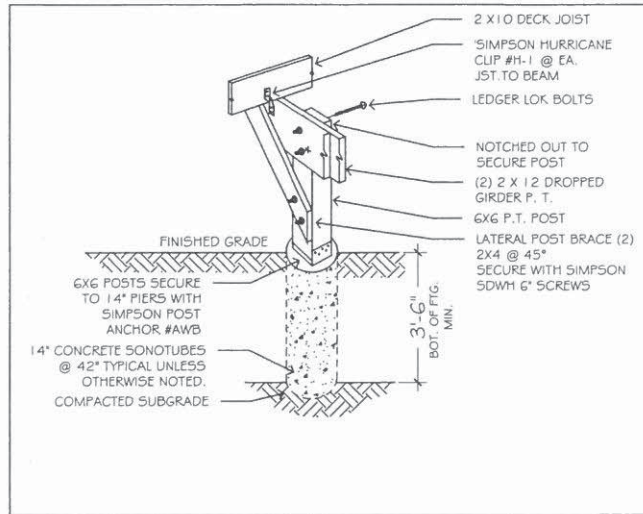
A CONNECTION @ LEDGAR BOARD
A102 SCALE: 3/8" = 1'-0"



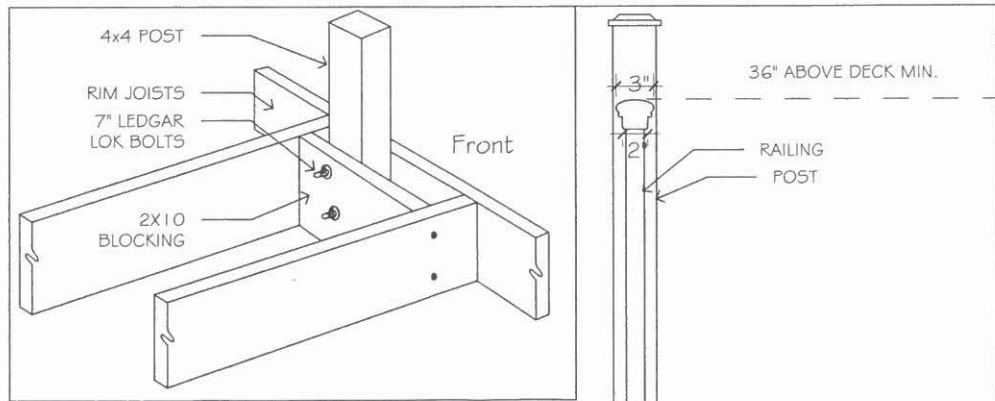
A STAIR DETAIL
A102 SCALE: 3/8" = 1'-0"



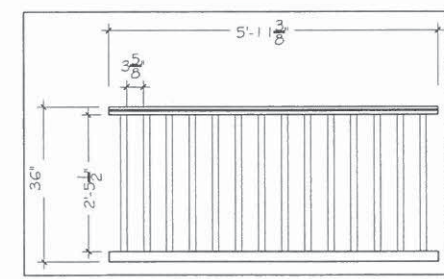
C DROPPED DECKING DETAIL
A102 SCALE: 3/4" = 1'-0"



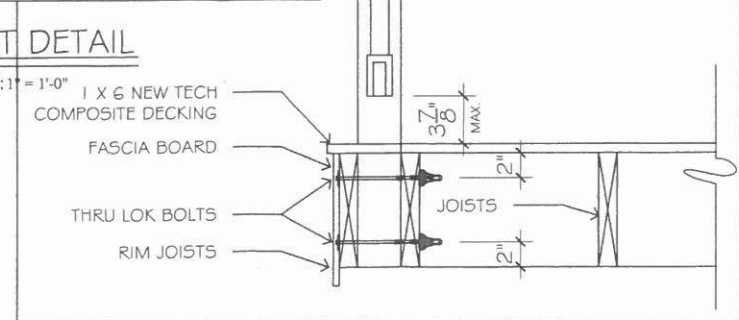
A DROPPED GIRDER
A102 SCALE: 1/4" = 1'-0"



E POST DETAIL
A102 SCALE: 1" = 1'-0"



G RAILING DETAIL
A102 SCALE: 3/8" = 1'-0"



F RAILING POST CONNECTION
A102 SCALE: 1" = 1'-0"

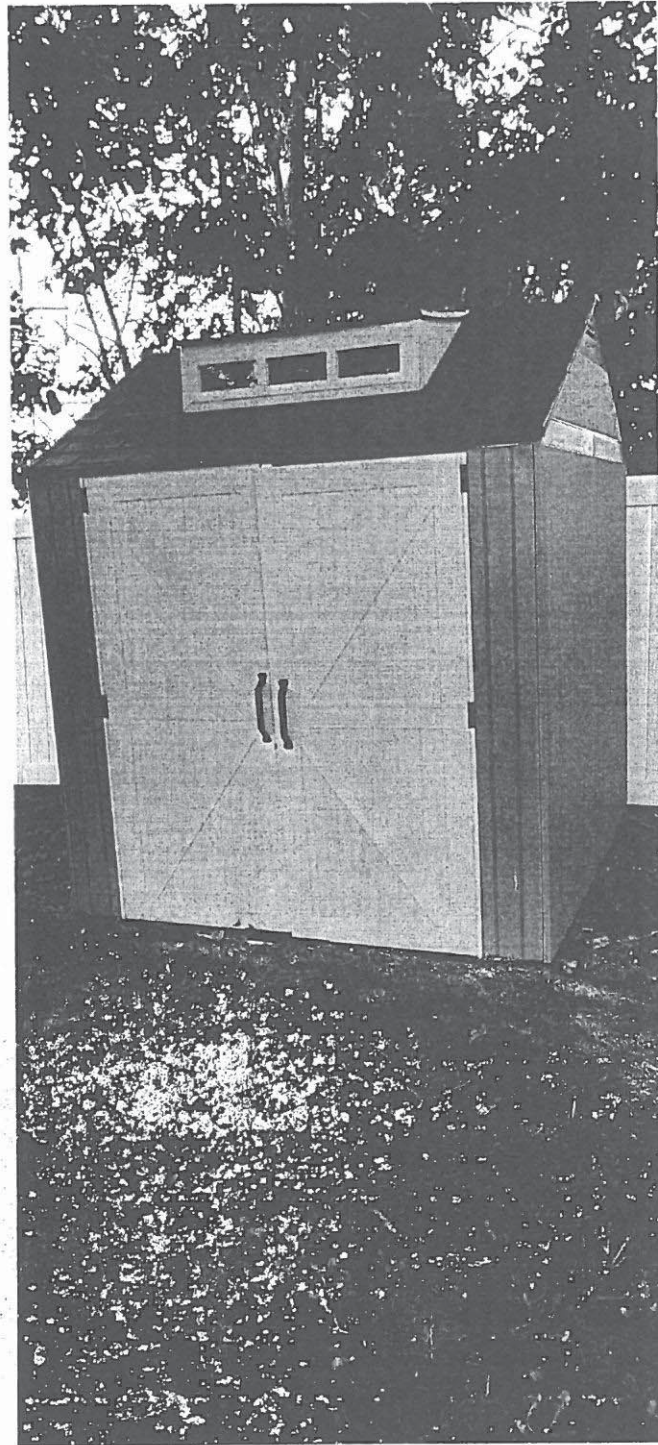
RAILING & STAIR NOTE

STAIRS WITH (4) OR MORE RISERS SHALL BE PROVIDED WITH HANDRAILS ON AT LEAST ONE SIDE. HANDRAILS SHALL BE A MINIMUM OF 34" IN HEIGHT AND NOT MORE THAN 38" IN HEIGHT. RAILS ARE TO BE MEASURED VERTICALLY FROM THE NOSING OF THE TREADS.

PORCHES, DECKS, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS A MINIMUM OF 36" HIGH.

RISERS ARE TO BE CLOSED SUCH THAT THE OPENING BETWEEN THE TREADS DOES NOT PERMIT THE PASSAGE OF A 4" DIAMETER SPHERE.

PROJECT		KOHLMANM	
		26 SUMMIT CIRCLE DRIVE MAHOPAC NY	
DRAWING		DETAILS	
SCALE	DRAWN BY	DRAWING NO.	
AS NOTED	RL		
DATE	CHECKED BY	A102	
06/17/23			





ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

ME

IN THE MATTER OF THE APPEAL
OF

Malick, Alex

TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: 9/7, 20 23

Application For (circle applicable): Area Variance (18015) Use Variance Interpretation 280A
Name of Property Owner: Alexander Malick Address: 13 Maple Ln East Mahopac, NY
Mailing Address: 13 Maple Ln East Mahopac, NY Phone Number(s): _____
Zoning District: R130 Tax Map: 53. - 1 - 50

Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]

E-Mail Address: _____

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
<u>1959</u>	<u>Erect addition to pre-existing dwelling structure which lacks road frontage requirements 280A of Town Law - (Granted)</u>	<u>(Dma)</u>
<u>1/2022</u>	<u>demo garage + build new garage - (Granted)</u>	

List all improvements (1 family dwelling, pool, etc.) _____

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: _____

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO (NO)
Explain: _____

I, the applicant, am seeking permission to: Build a deck attached to rear of garage

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
<u>15' SIDE</u>	<u>max 7' min</u>	<u>min 8' max</u>

State of New York)

ss:

County of Putnam)

The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this 11 day of Sept. 2023

Alice Daly
Notary Public

ALICE DALY
Notary Public, State of New York
No. 01DA6345218
Qualified in Putnam County
Commission Expires July 25, 2024

Petitioner *Alex Malick* Date 9/11/2023

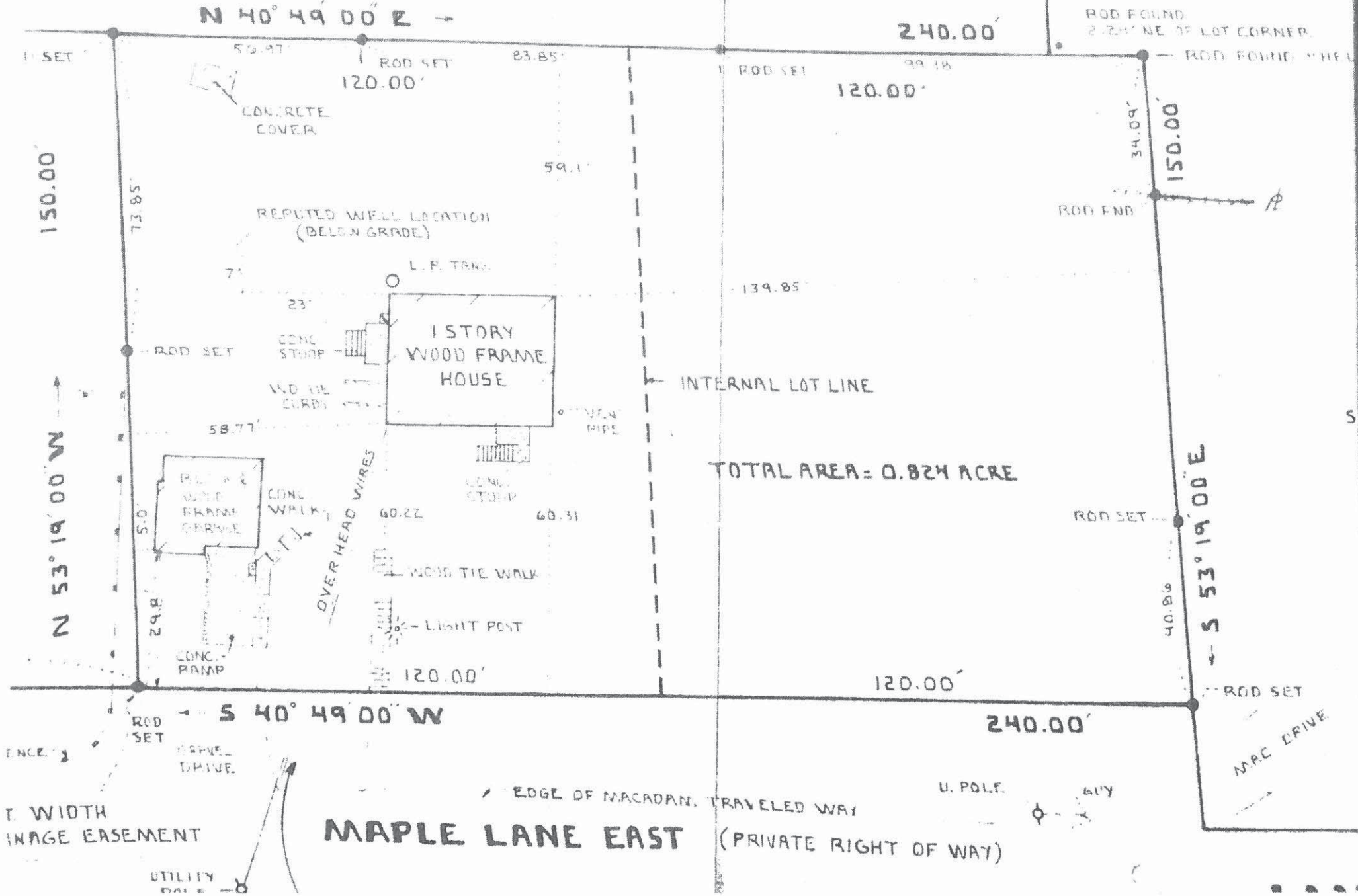
N/F MADALON LOT 1 F.M. NO. 2809

LIBER 1604 CP 420

N/F D

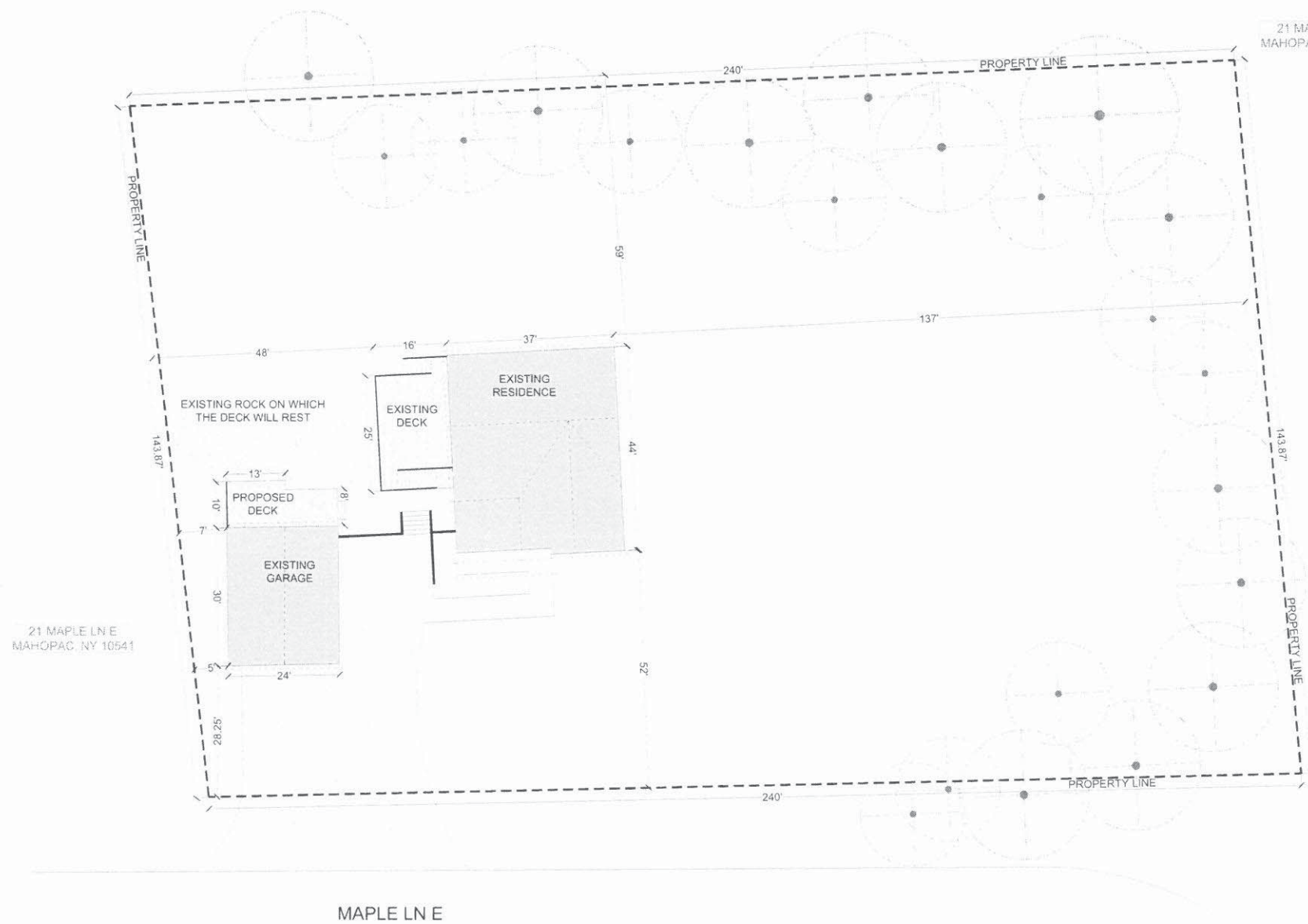
LIBER

SEE FILED



8 JAMES CT
MAHOPAC, NY 10541

21 MAPLE LN E
MAHOPAC, NY 10541



21 MAPLE LN E
MAHOPAC, NY 10541

MAPLE LN E

REMARKS:

REMARKS:

SITE PLAN

13 MAPLE LN E
MAHOPAC, NY 10541

ALEXANDER MALICHEK
CRISTINA MALICHEK

PARCEL NO. 372000
LOT AREA 34,522 SQ. FT.

STAMP:

DATE 09.23.2023

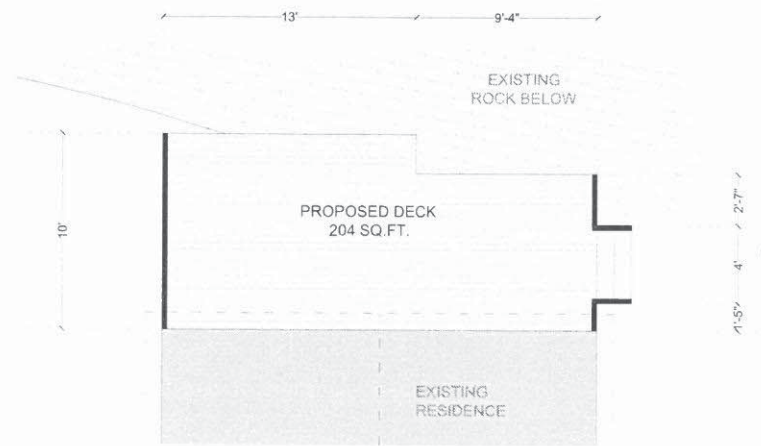
SCALE 1"=10'

PLOT SIZE 24" x 36"

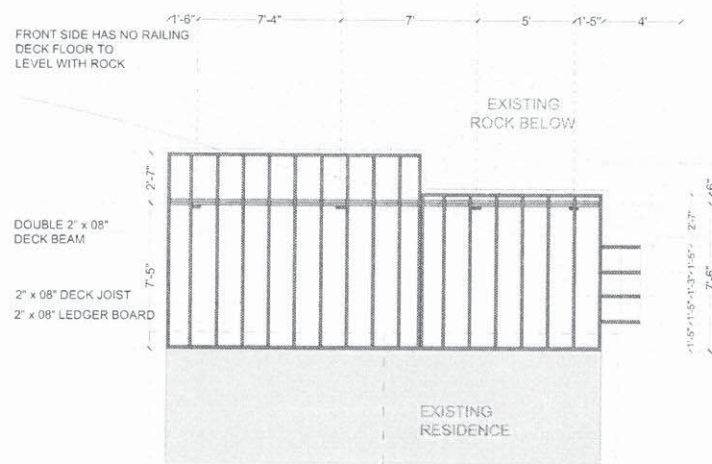


SHEET NO.

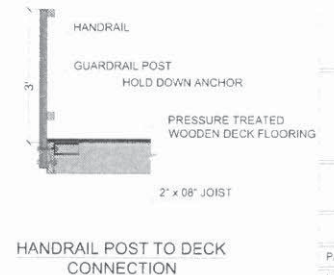
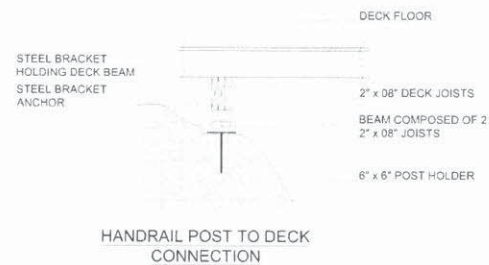
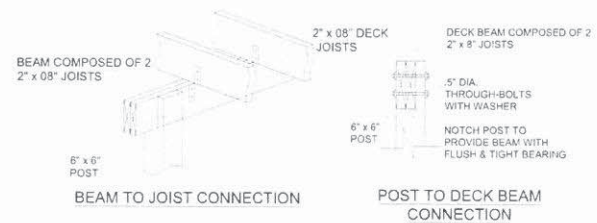
01



FLOOR PLAN



FRAMING PLAN



FRAMING PLAN

REMARKS:

REMARKS:

DECK DRAWINGS

13 MAPLE LN E
MAHOPAC, NY 10541
ALEXANDER MALICHEK
CRISTINA MALICHEK
PARCEL NO.: 372000
LOT AREA 34,522 SQ. FT.

DATE: 09.02.2023
SCALE: 1"=10'
PLOT SIZE: 24" x 36"





A

me



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

IN THE MATTER OF THE APPEAL
OF

SHOTT

TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: 9/20, 2023

Application For (circle applicable): Area Variance (156.15) Use Variance Interpretation 280A

Name of Property Owner: JASON SHOTT Address: 33 Angela Drive Carmel NY

Mailing Address: 33 Carmel Dr Carmel NY Phone Number(s):

Zoning District: R-120 Tax Map: 54.9 - 1 - 29

Applicant is: (circle one) Owner (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]
E-Mail Address:

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
	NO previous ZBA appearances	(ma)

List all improvements (1 family dwelling, pool, etc.) 1 family House, Pool, 3 Steels, chicken coop.

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: Survey + Photos.

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO
Explain: LONGPONDED

I, the applicant, am seeking permission to: Retain 10x18 Steel

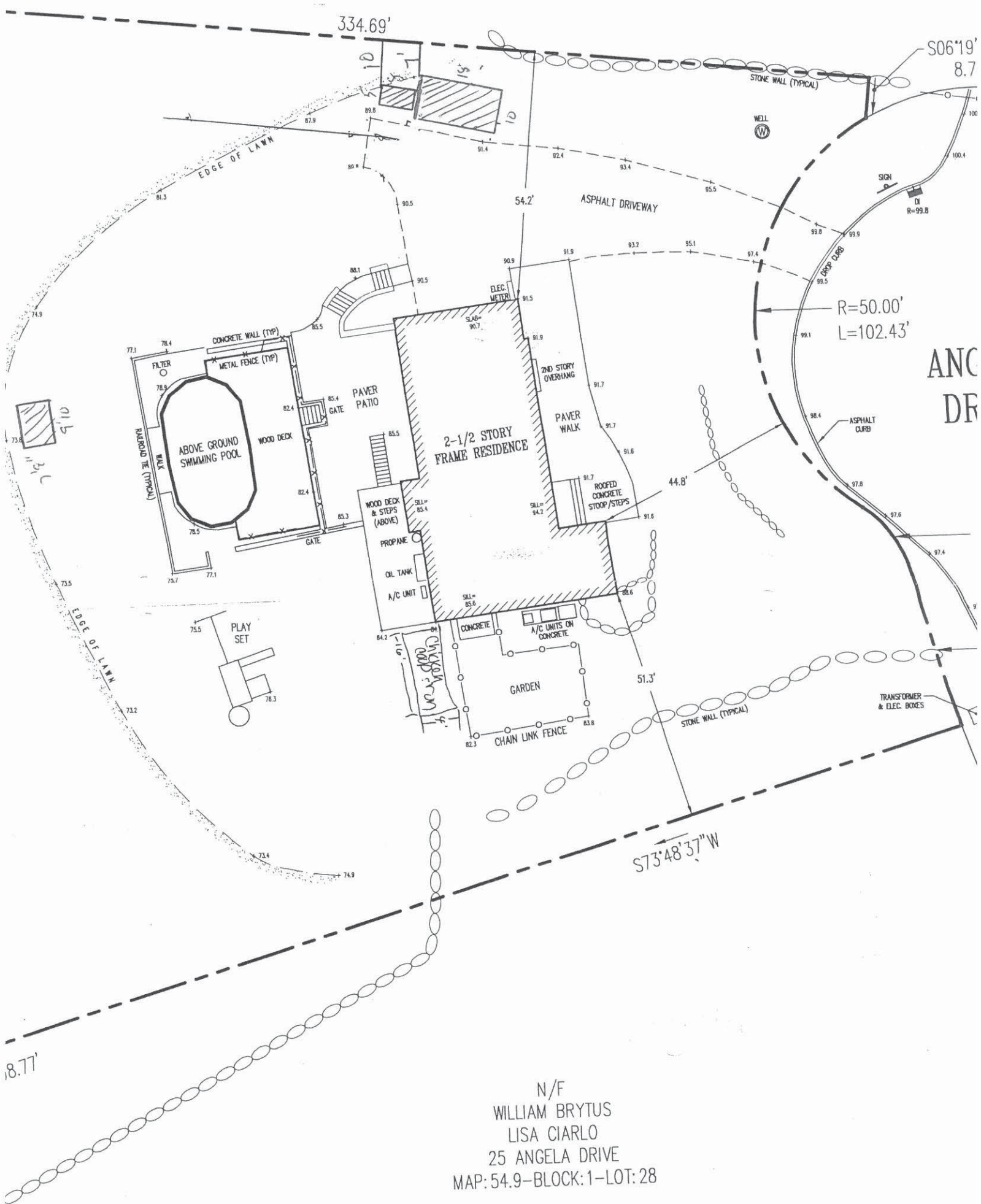
CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
10x18 shed - 20' side	7'	13' Variance

State of New York)
) SS:
County of Putnam)
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.
Sworn to before me this 20th day of Sept. 2023
Lisa LaQuidara
Notary Public

LISA LAQUIDARA
Notary Public, State of New York
No. 01LA6165923
Qualified in Putnam County
Commission Expires 5-14-27

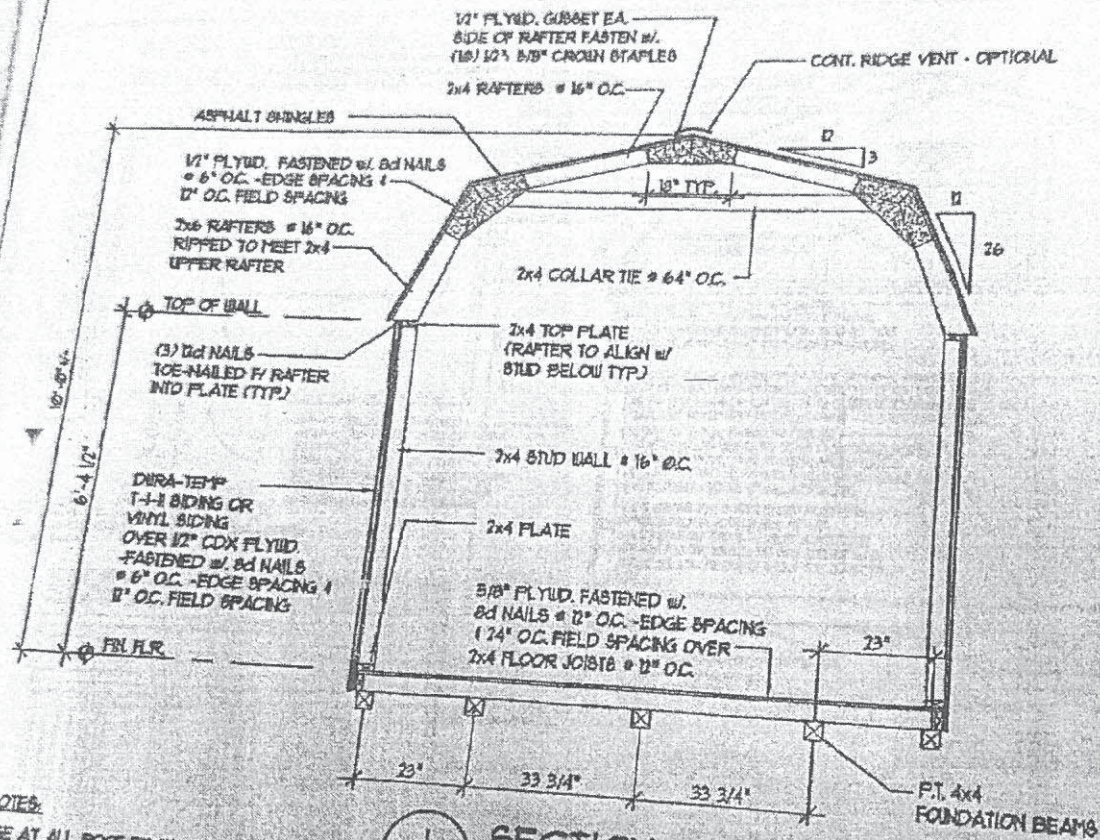
Petitioner [Signature] Date 9/20/23

N/F
TOWN OF CARMEL



ANC
DR

N/F
WILLIAM BRYTUS
LISA CIARLO
25 ANGELA DRIVE
MAP: 54.9-BLOCK: 1-LOT: 28

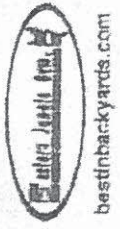


SECTION
A.2
SCALE: 3/8" = 1'-0"

- GENERAL NOTES:
1. DRIP EDGE AT ALL ROOF EDGES FOR LEAK-FREE QUALITY FINISH
 2. OVERHANG FLUSH ON GABLES
 3. FINISHED SOFFIT ON ALL BUILDINGS
 4. HURRICANE TIES IF REQUIRED
 5. FELT PAPER, UNLESS OTHERWISE NOTED, REQUIRED UNDERLAYMENT SHALL CONFORM TO ASTM D-726 TYPE I, ASTM D-4869 TYPE I OR ASTM D-6171

PROJ. 13086
 DRAWN BY: RJE
 SECTION

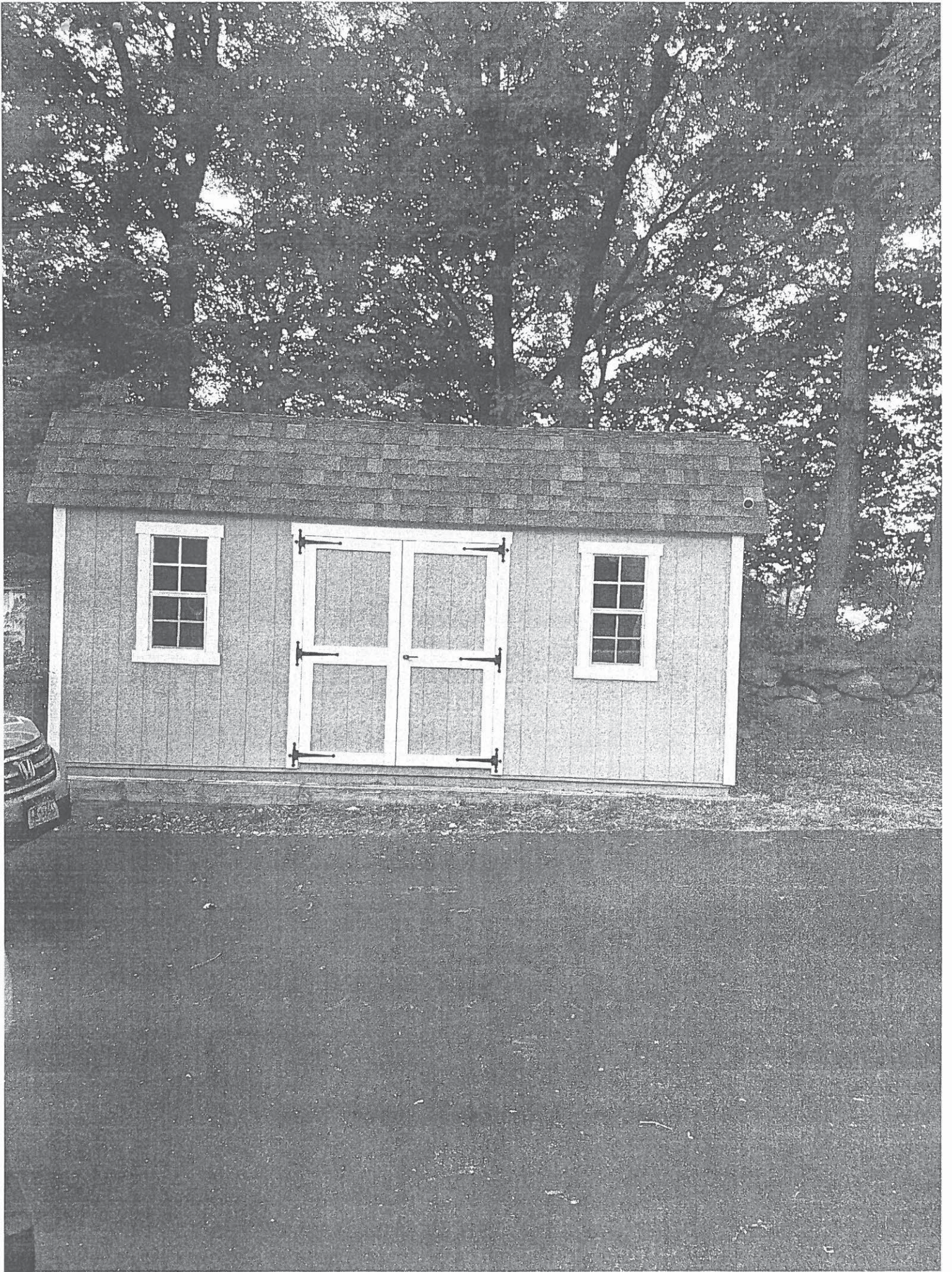
A.2

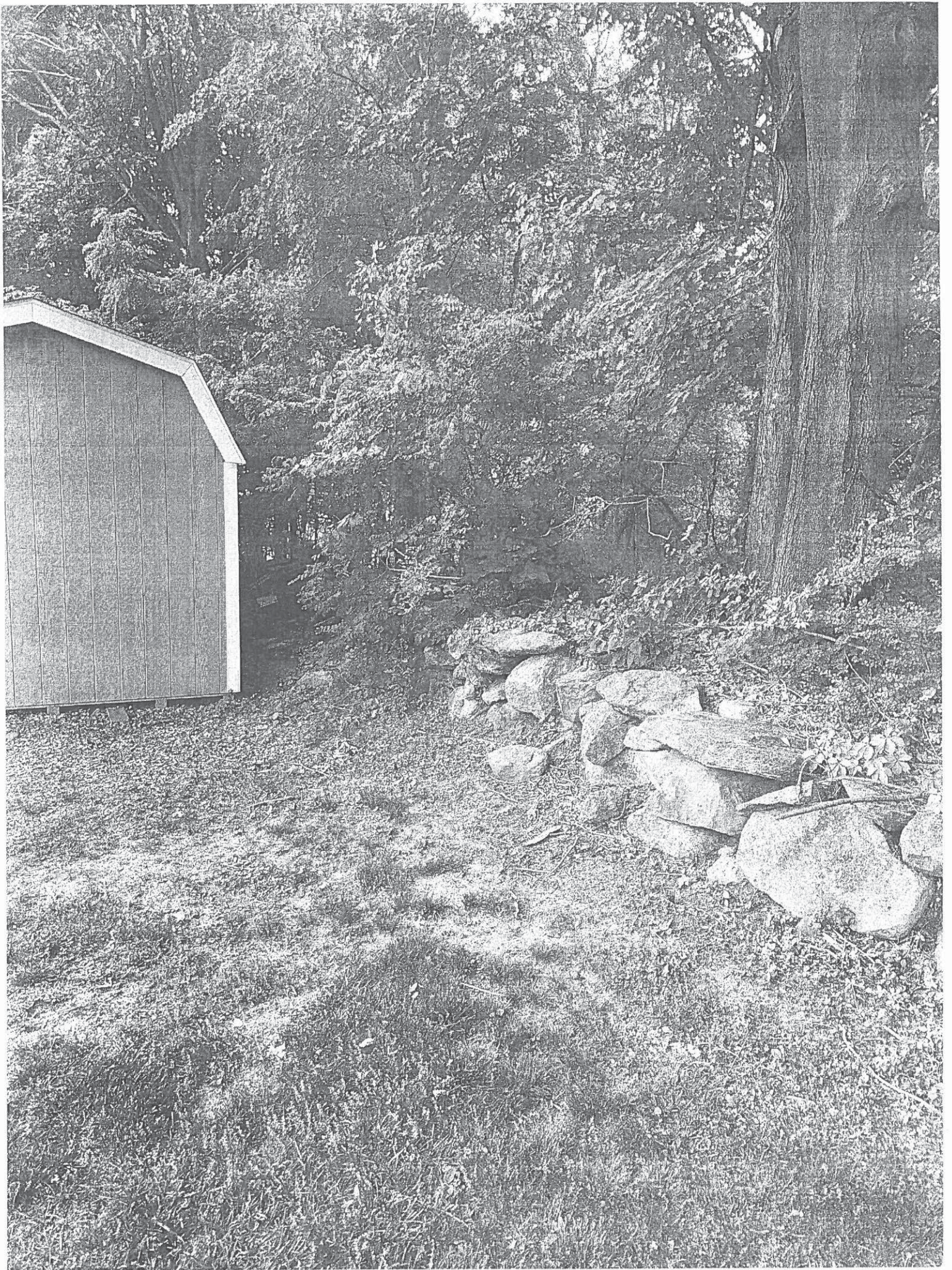


bestbackyards.com

STANDARD
 10 WIDE DUTCH BARN
 BACKYARD SERIES

Engel
 Architects, LLC
 1854 Lincoln Highway East
 Lancaster, PA 17602
 (717) 392-8021, fax: 392-7140







A

MA



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

IN THE MATTER OF THE APPEAL
OF
Caruso Shed
TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: 9/1, 20 23

Application For (circle applicable): Area Variance (150-15) Use Variance Interpretation 280A
Name of Property Owner: Joseph Caruso Address: 18 Cheryl Ct Mahopac NY
Mailing Address: 18 Cheryl Ct Mahopac NY Phone Number(s): 9
Zoning District: R Tax Map: 75-17 - 1 - 16

Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]

E-Mail Address: _____

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
<u>1974</u>	<u>25' SIDE SETBACK FOR HOUSE - GRANTED</u>	<u>[Signature]</u>

List all improvements (1 family dwelling, pool, etc.) Sheds, 1 family house, Pool w/deck

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: Survey + Photos

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO
Explain: Rt 6N

I, the applicant, am seeking permission to: Retain 2nd Shed

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
<u>10' side</u>	<u>1</u>	<u>9</u>
<u>10' rear</u>	<u>1</u>	<u>9</u>

mc

State of New York)
ss:
County of Putnam)
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this 15 day of Sept 20 23

[Signature]
GARY KIERNAN
NOTARY PUBLIC-STATE OF NEW YORK
No. 01K16222608
Qualified in Putnam County
My Commission Expires 05-24-2026

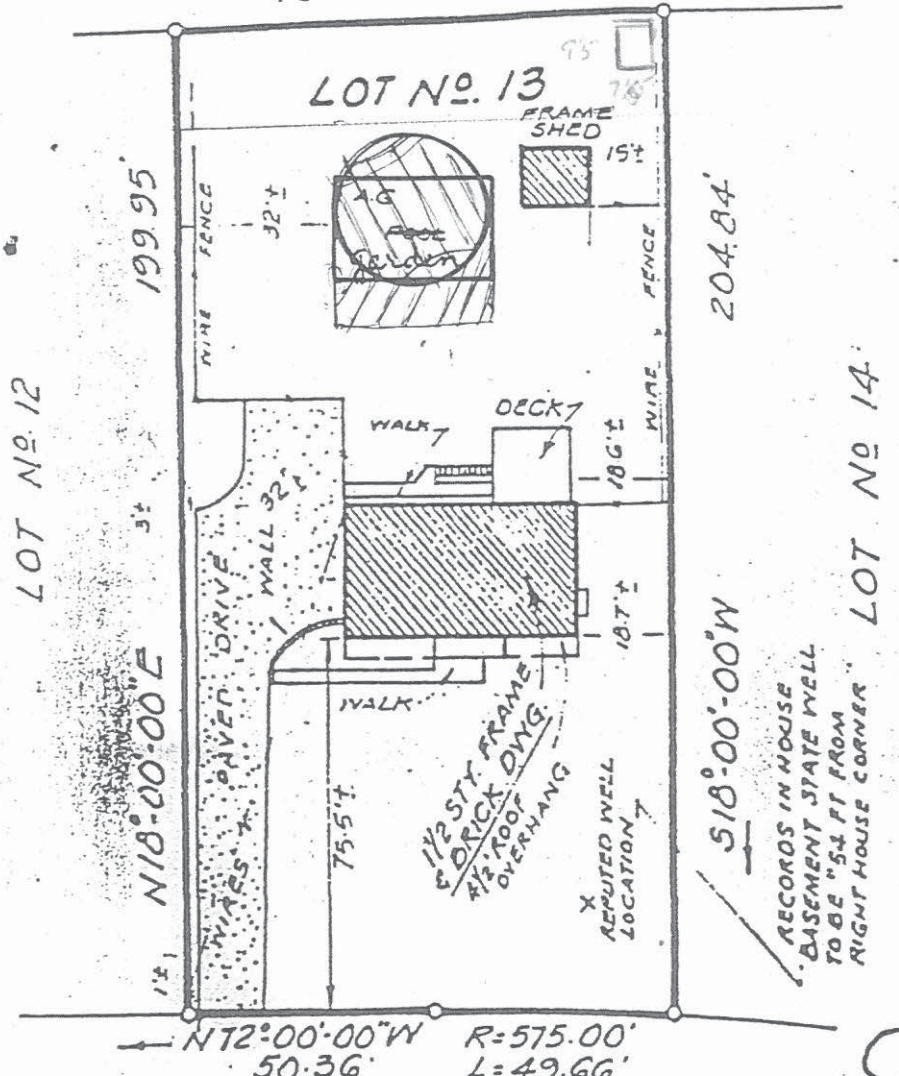
Petitioner [Signature] Date 9/15/23

This map prepared for BYRON L. TART JR
MARGARET A. TAR

NOW OR FORMERLY MARSHALL

N

573°-34'-20"E 100.00'



REDATED *
M.I.P. OF SURVEY
of

LOT NO. 13
OF

CHERYL HEIG

(FILED MAP # 1029, 6/10/65)

TOWN OF CARMEL
COUNTY OF PUTNAM
NEW YORK

CHERYL COURT

* ORIGINAL MAP BY JOSEPH AGNELI, L.S., WHOSE
RECORDS WE POSSESS, DATED JUNE 18, 1965.

Scale: 1 in. = 40 ft. AUG. 20, 1988

I certify that this map was made from
actual survey of the property.

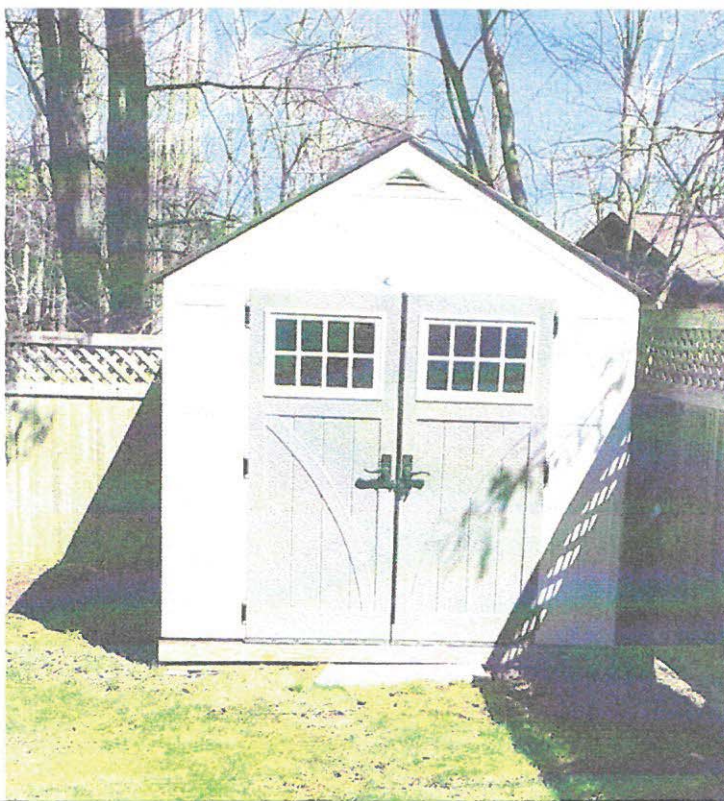
Survey completed on AUG 18, 1988

Map completed on AUG 20, 1988

NOTES

- 1.—Subsurface features, if any, not shown.
- 2.—It is hereby certified that this survey was prepared in accordance with the existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors.
- 3.—All certifications hereon are valid for the map and copies thereof only, if said map and copies are not altered or tampered with.

Certified to Public Records Copy of
Abstract, Insurance, and
Map of the Property





ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

MC

IN THE MATTER OF THE APPEAL
OF

Reale

Application Date: *10/2*, 20*23*

TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application For (circle applicable): Area Variance (*156.15*) Use Variance Interpretation 280A
(CODE SECTION)

Name of Property Owner: *Antonio + Beth Reale* Address: *117 Breckenridge Rd, Mahopac*
(Address) (City) (State)

Mailing Address: *117 Breckenridge Rd, Mahopac* Phone Number(s): *...*
(Address) (City) (State)

Zoning District: *R-120* Tax Map: *74.12 - 1 - 3*
(R-120, Commercial, C'BP, or Conservation) (section) (Block) (Lot)

Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]

E-Mail Address: _____

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
	<i>No previous board appearances</i>	

List all improvements (1 family dwelling, pool, etc.) *1 family Dwelling, Pool, Gravel + Pergola*

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: *Survey, pictures*

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO NO
Explain: _____

I, the applicant, am seeking permission to: *Obtain Gravel + Pergola*

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
<i>15' (20x12)</i>	<i>2' Side</i>	<i>13'</i>
<i>15' (24x12)</i>	<i>2' Rear</i>	<i>13'</i>

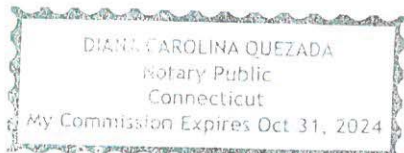
Connecticut
State of New York

County of ~~Putnam~~ *Fairfield*

The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this *4th* day of *October* 20*23*

Diana Quezada
Notary Public



Petitioner *Beth Reale* Date *10/4/23*

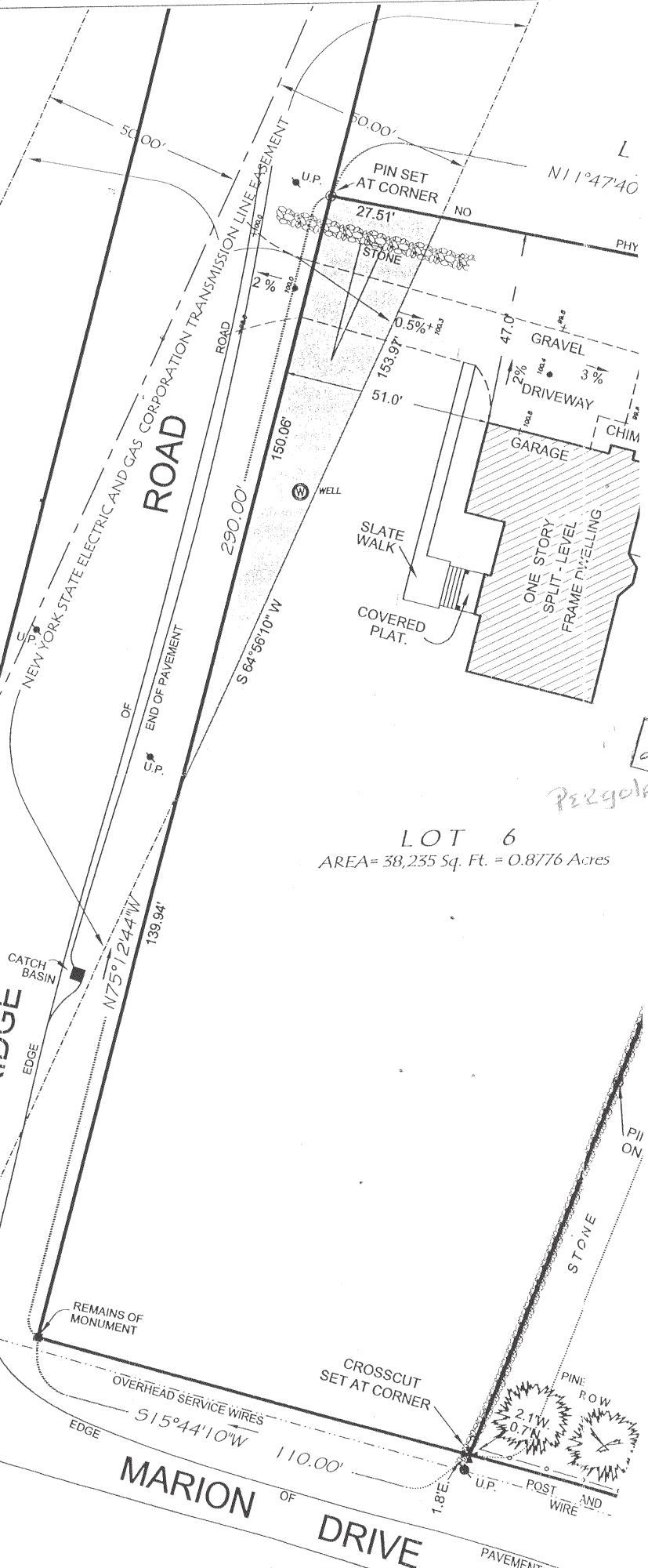
4683



APPROVED
TOWN OF CARMEL
ENGINEER'S OFFICE
APPROVED BY
TOWN ENGINEER
DATE 08/01/06

BRECKINRIDGE
EDGE

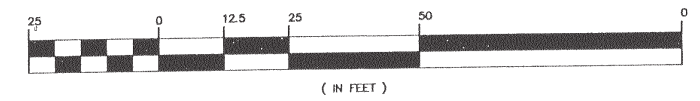
MARION
DRIVE
PAVEMENT



LOT 6
AREA = 38,235 Sq. Ft. = 0.8776 Acres

SURVEY OF PROPERTY
SITUATE IN THE
TOWN OF CARMEL
PUTNAM COUNTY
NEW YORK

SCALE: 1" = 25'
SURVEYED: DECEMBER 13, 2003



PREMISES ARE DESIGNATED ON THE TAX MAP FOR THE:
TOWN OF CARMEL
SECTION 74.12 * BLOCK 1 * LOT 3
THE PREMISES SHOWN HEREON IS LOT No 6 AS SHOWN ON "MAP OF
SURVEY OF A PORTION OF PROPERTY OF OSCAR BRECH AND MIRA BRECH
AND PROPERTY OF OTHERS MADE BY ROY BURGESS DATED MAY 31, 1955
AND FILED IN THE PUTNAM COUNTY CLERK'S OFFICE ON OCT 10, 1955 AS
MAP No 667-B

A REPORT OF TITLE WAS NOT PROVIDED. ACCORDINGLY, THIS SURVEY IS
SUBJECT TO THE STATE OF FACTS AN UP TO DATE EXAMINATION OF TITLE
MAY DISCLOSE, IF ANY.

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING
A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209,
SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAWS.

ENCROACHMENTS BELOW GRADE AND/OR SUBSURFACE FEATURES,
IF ANY NOT LOCATED OR SHOWN HERON

ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH
AN ORIGINAL OF THE LAND SURVEYOR'S SEAL SHALL BE CONSIDERED
TO BE TRUE VALID COPIES

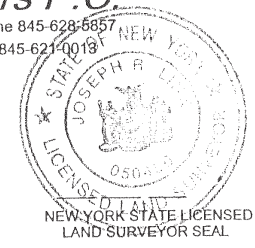
CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS MAP WAS
PREPARED FROM AN ACTUAL FIELD SURVEY CONDUCTED ON DATE SHOWN
AND THAT SAID SURVEY WAS PERFORMED IN ACCORDANCE WITH THE
EXISTING "CODE OF PRACTICE FOR LAND SURVEYS" ADOPTED BY THE
NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.
THIS CERTIFICATION SHALL RUN ONLY TO THE PARTY FOR WHOM THIS
SURVEY WAS PREPARED AND ON THEIR BEHALF TO THE TITLE COMPANY
AND LENDING INSTITUTION LISTED HEREON. THIS CERTIFICATION SHALL
NOT BE TRANSFERABLE.

CERTIFIED TO:
PETER MORFEA

NO.	DATE	DESCRIPTION	BY
1	5-1-06	FINAL AS-BUILT	JRL
2	3-1-06	WELL LOCATED / ROUGH DRIVEWAY	JRL
3	2-16-06	pipe lengths shown as per markers found	JRL
4	1-18-06	LOCATION OF AS BUILT SEPTIC AREA	JRL
5	11-09-05	LAYOUT PROPOSED SEPTIC AREA	JRL
6	11-04-05	SET PROPERTY MARKERS	JRL
7	11-03-05	LAYOUT OF PROPOSED BUILDING	JRL
8	9-14-05	PROPOSED DWELLING AND DRIVEWAY	JRL
9			
10			

Link
Land Surveyors P.C.
21 Clark place Suite 1B
Mahopac N.Y. 10541
Phone 845-628-6857
Fax 845-621-0018

Joseph R. Link
JOSEPH R. LINK
NEW YORK STATE LICENSED
LAND SURVEYOR NO. 050456







A

MS



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

IN THE MATTER OF THE APPEAL
OF
DeSanctis / owner
Brown / contract vendee
TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: 10/5, 20 23

Application For (circle applicable): Area Variance (150.15) Use Variance Interpretation 280A
Name of Property Owner: Alison & Daniel Brown Address: 18 Frederick St Mahopac NY
owner Kenneth DeSanctis
Mailing Address: 14 Boxwood Place Rye Brook Phone Number(s): _____
Zoning District: R-120 Tax Map: 64.19 - 1 - 62
(R-120, Commercial, C/BP, or Conservation) (section) (Block) (Lot)

Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]
E-Mail Address: _____

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
	<u>No previous ZBA appearances</u>	<u>Deny</u>

List all improvements (1 family dwelling, pool, etc.) 1 family dwelling

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: PLANS AA, A1, A2, A3, SITE PLAN, PHOTOGRAPHS

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES / NO
Explain: Kirk Lake

I, the applicant, am seeking permission to: construct a second floor on an existing non-conforming 1st floor

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
<u>15'</u>	<u>8.79'</u>	<u>6.21'</u> <i>MR</i>

State of New York)
 ss:
County of Putnam)
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this 9th day of 10, 20 23

[Signature]
Notary Public

GARY D WEINER
Notary Public, State of New York
Reg No. 01WE6385895
Qualified in Westchester
Commission Expires January 14 2027

Petitioner Mary Scott Date 10/9/23



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

AUTHORIZATION FORM

RE: Property of: ALISON & DANIEL BROWN
(Owner) contract vendee's
Located at: 18 FREDERICK ST, MAHOPAC
(Address) (City, Town, Village)
Tax Map #: 64.19 - 1 - 62
In the matter of: SIDE YARD VARIANCE REQUEST
(Variance Request)

To whom it may concern:

This letter is to authorize MARY F SCOTT

a/an (check one) Attorney Engineer Architect Other ()

to apply for the required variance(s) on the above noted property and to sign all necessary papers and make all necessary representations on my behalf in connection with the above-mentioned matter.

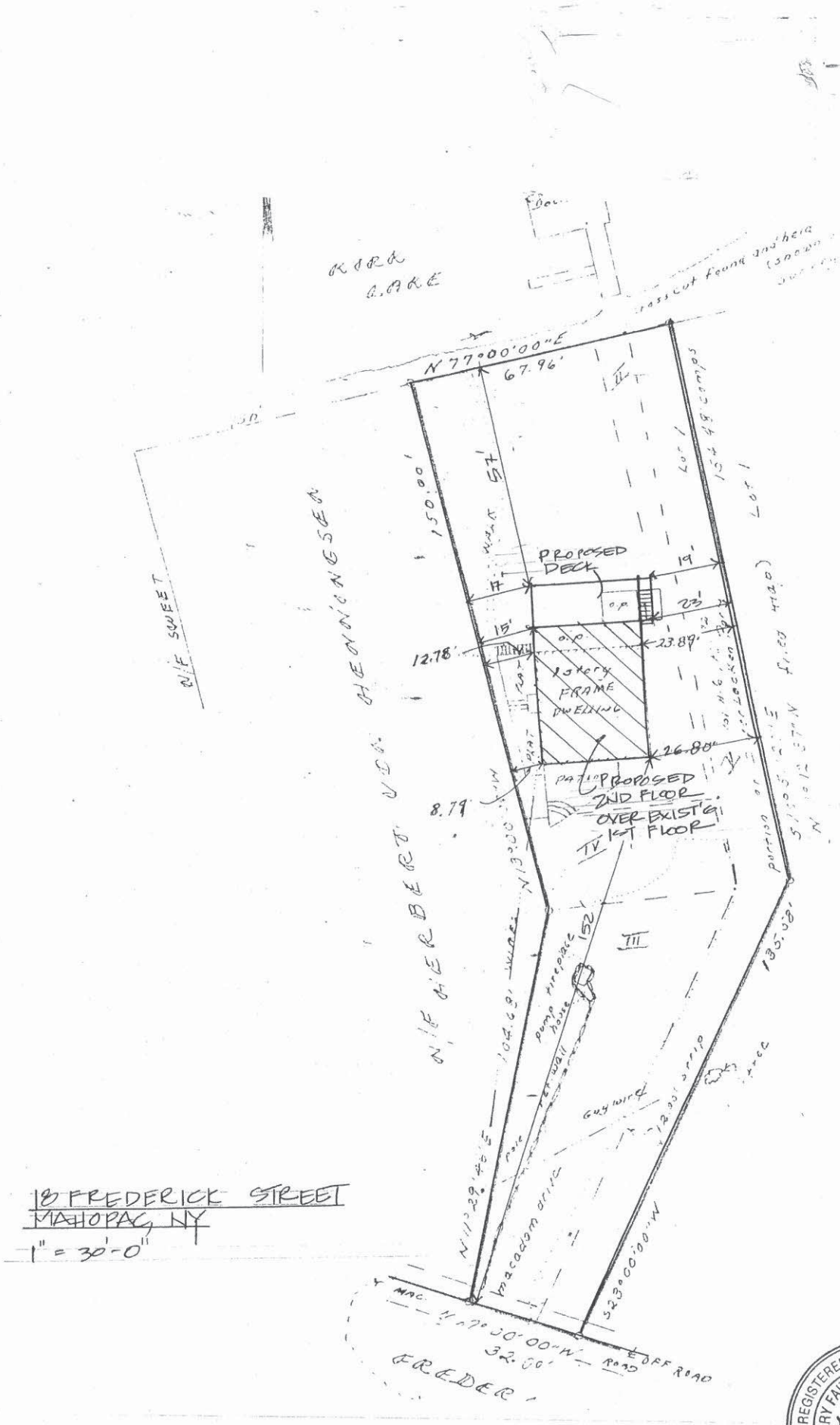
Countersigned: Mary F Scott
(Representative)
MARY F SCOTT
(Print Name)

Signed: Alison Brown
(Owner of Property) Contract Vendee
Alison Brown
(Print Name)

Mailing Address: 33 Fairways Dr
Mt Kisco NY
State: NY Zip: 10549
Telephone # 914 907 8318
Date: Oct 9, 2023
E-mail: mfscottarch@gmail.com

Mailing Address: 14 Boxwood Place
Rye Brook
State: NY Zip: 10573
Telephone # _____

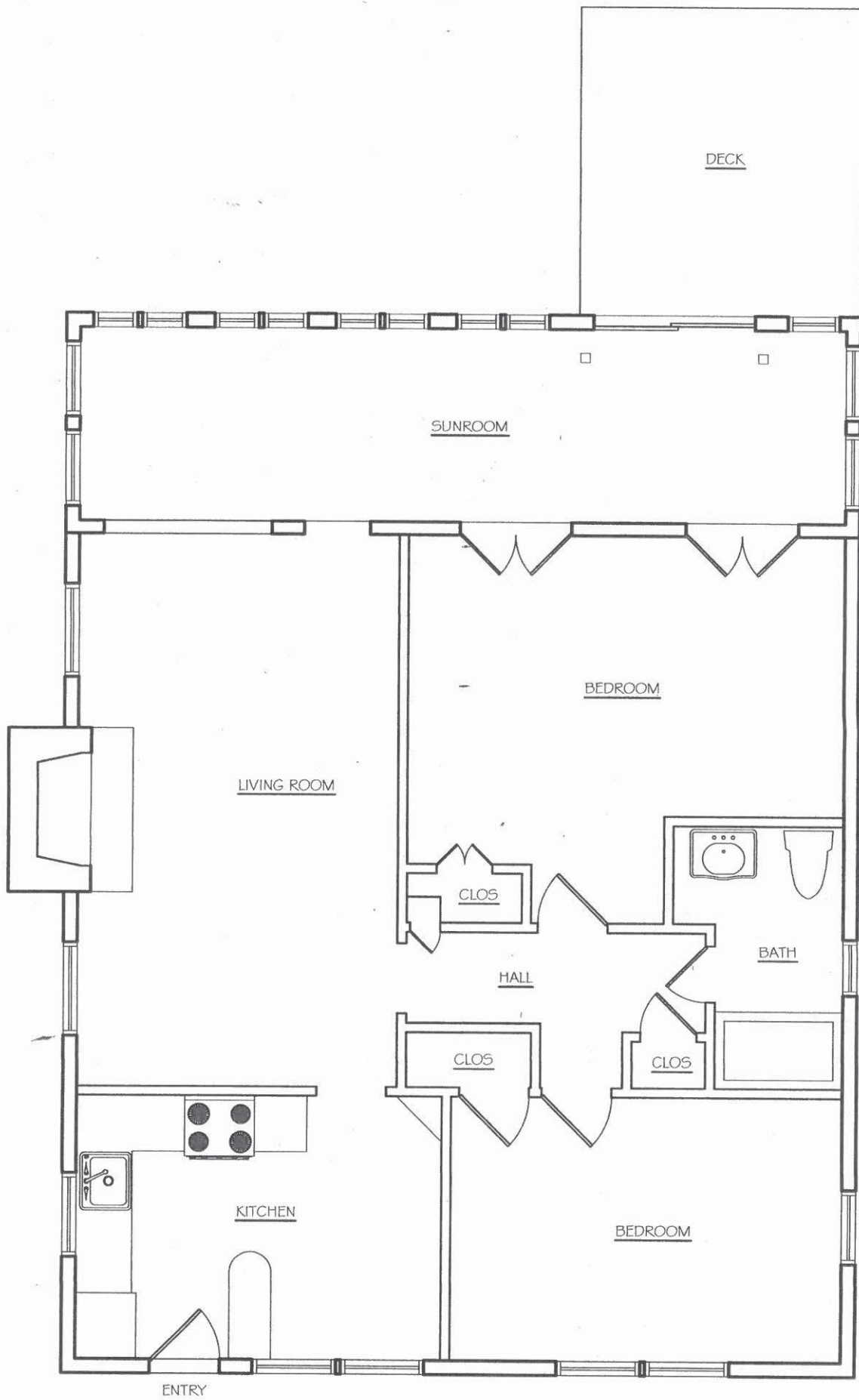
NOTE: The willful submission of false or inaccurate information on this application may result in the dismissal of the application, or the revocation of any action taken on the application, or both.



18 FREDERICK STREET
 MAHOPAC, NY
 1" = 30'-0"



<p>A1</p>	<p>REVISIONS: DATE: AUGUST 29, 2023 SCALE:</p>	<p>PROPOSED SITE PLAN</p>	<p>BROWN RESIDENCE 18 FREDRICK STREET MAHOPAC, NY</p>	<p>MARY FAITHORN SCOTT ARCHITECT 33 FAIRWAYS DRIVE MOUNT KISCO, NY 10549 PHONE: 914-241-6262</p>
------------------	--	---------------------------	---	--



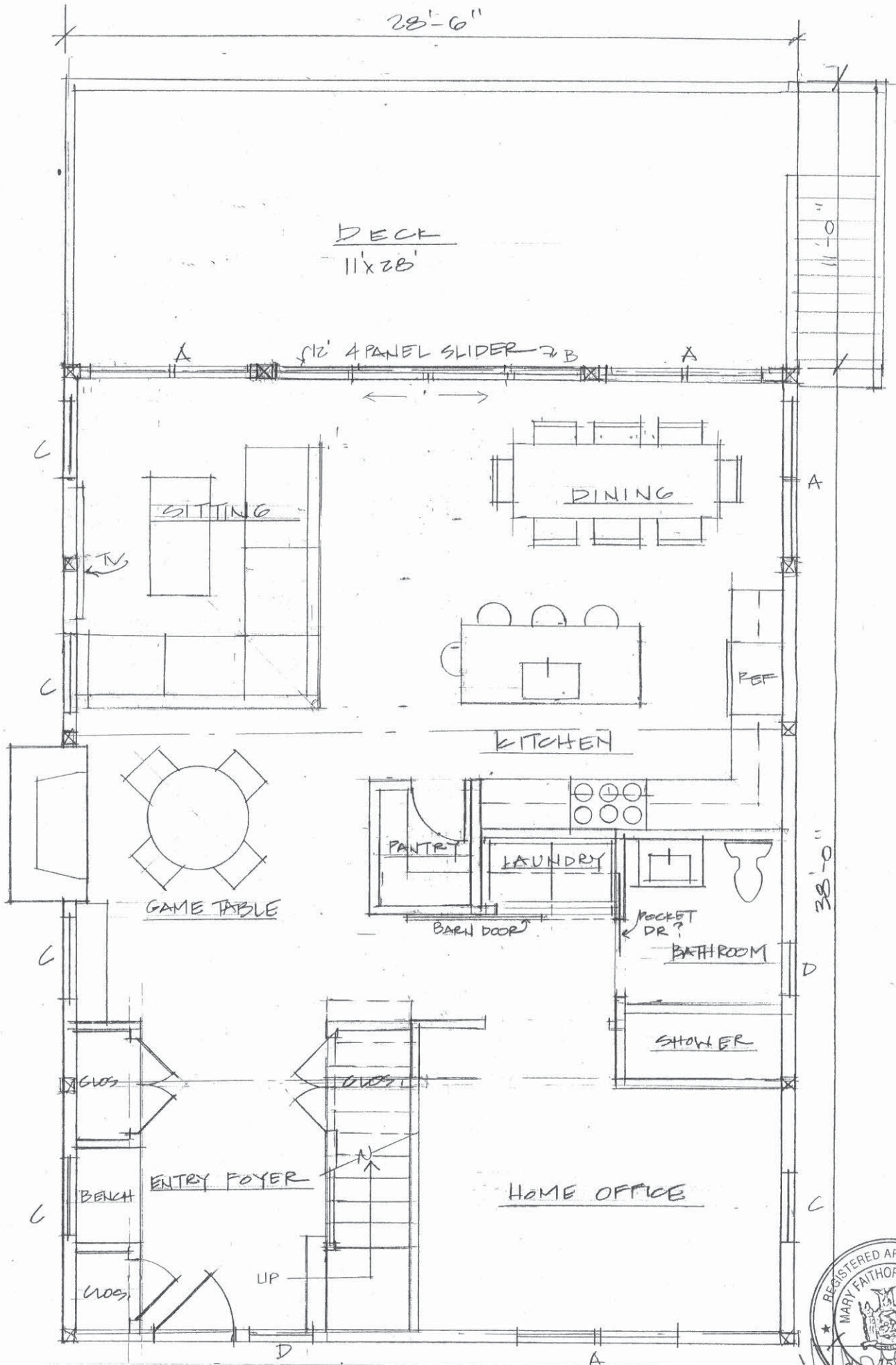
EXT

REVISIONS
 DATE: AUGUST 26, 2023
 SCALE: 1/4" = 1'-0"

EXISTING FIRST FLOOR PLAN

BROWN RESIDENCE
 18 FREDRICK STREET
 MAHOPAC, NY

MARY FAITHORN SCOTT
 ARCHITECT
 33 FAIRWAYS DRIVE
 MOUNT KISCO, NY 10549
 PHONE: 914-241-6262



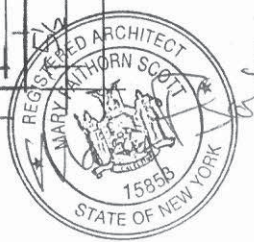
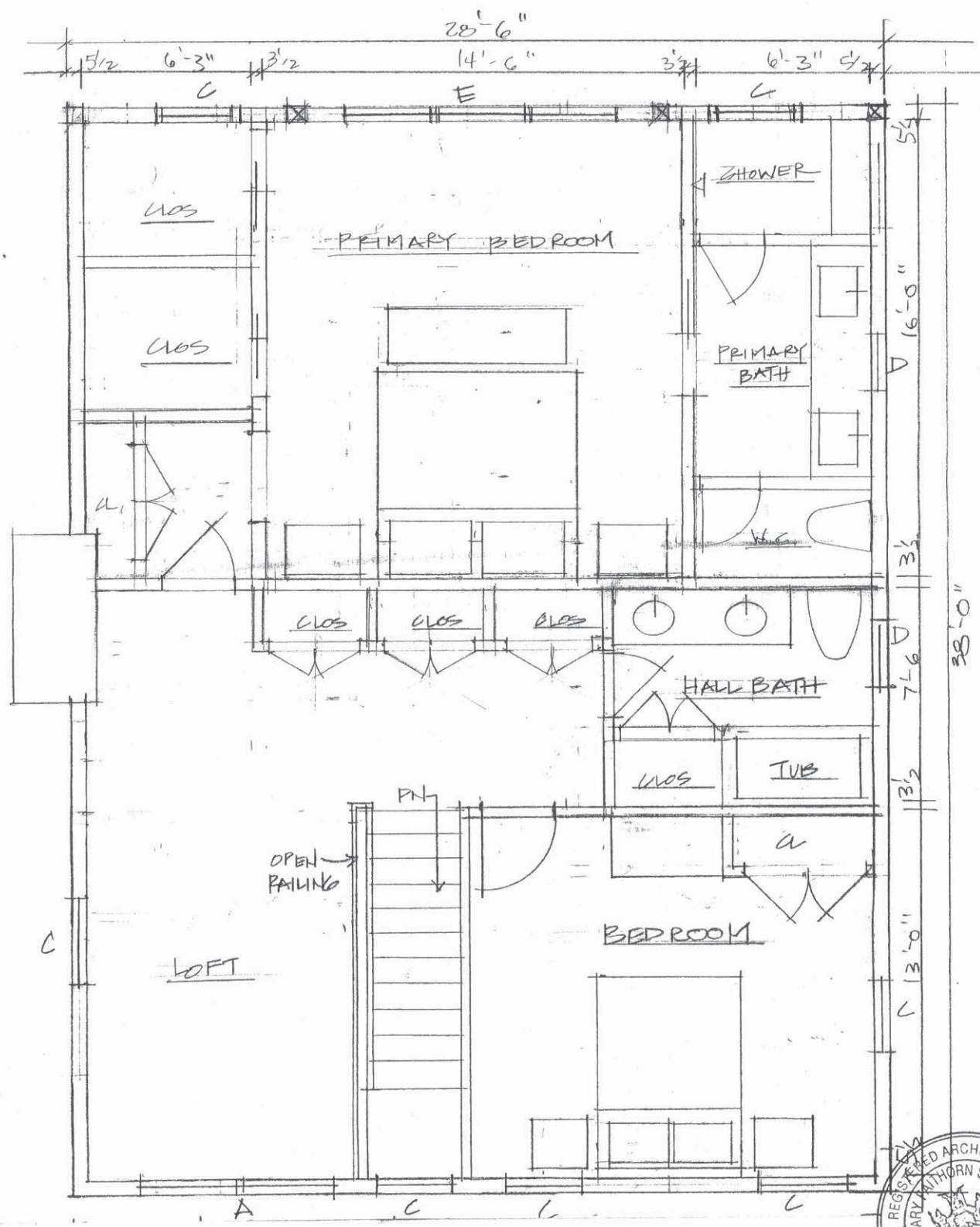
A2

REVISIONS
 DATE: AUGUST 29, 2023
 SCALE: 1/4" = 1'-0"

PROPOSED FIRST FLOOR PLAN

BROWN RESIDENCE
 18 FREDRICK STREET
 MAHOPAC, NY

MARY FAITHORN SCOTT
 ARCHITECT
 33 FAIRWAYS DRIVE
 MOUNT KISCO, NY 10549
 PHONE: 914-241-6262



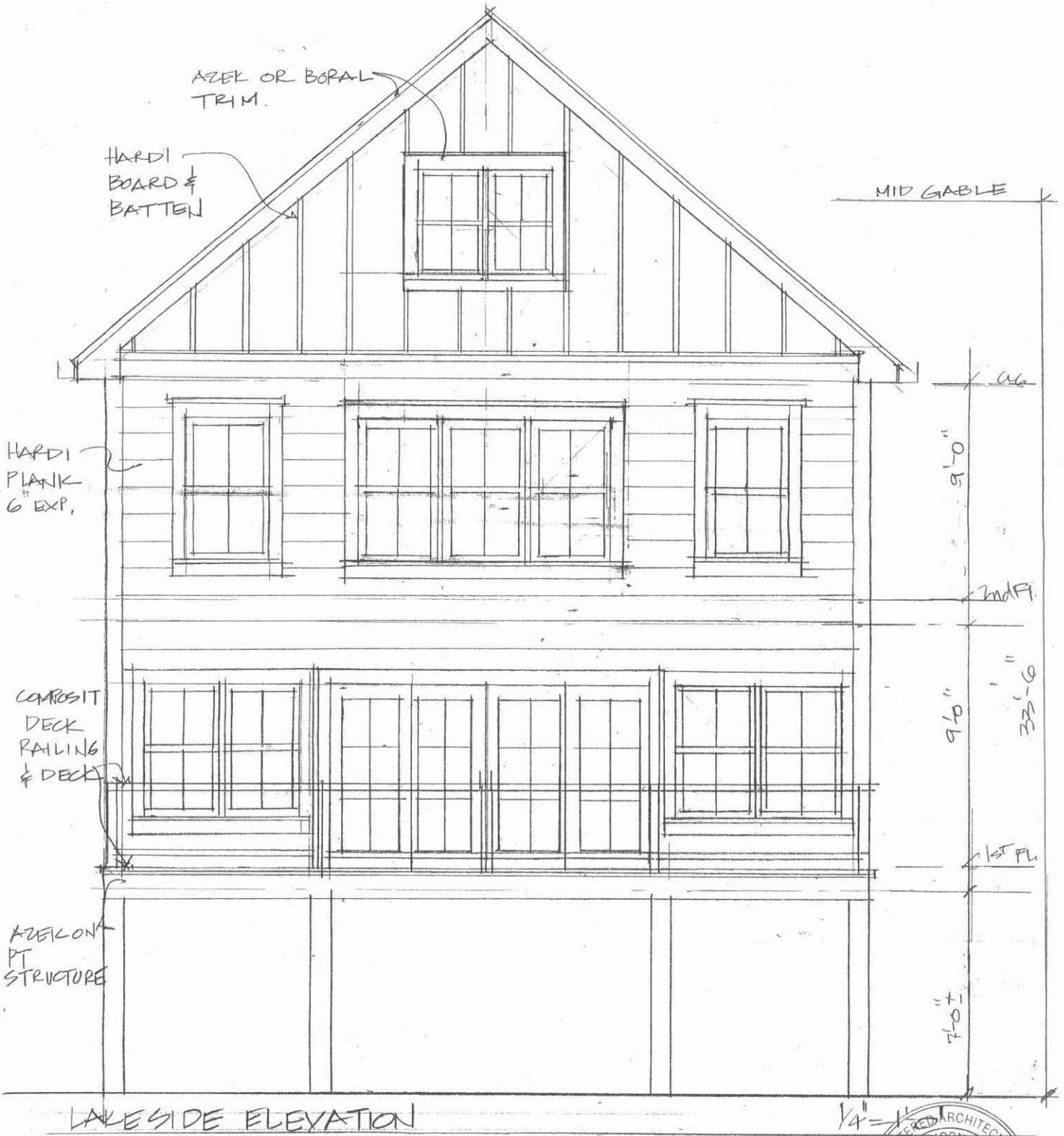
A3

REVISIONS:
 DATE: AUGUST 28, 2023
 SCALE: 1/4" = 1'-0"

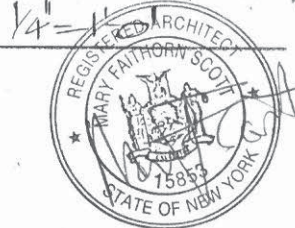
PROPOSED 2ND FLOOR PLAN

BROWN RESIDENCE
 18 FREDRICK STREET
 MAHOPAC, NY

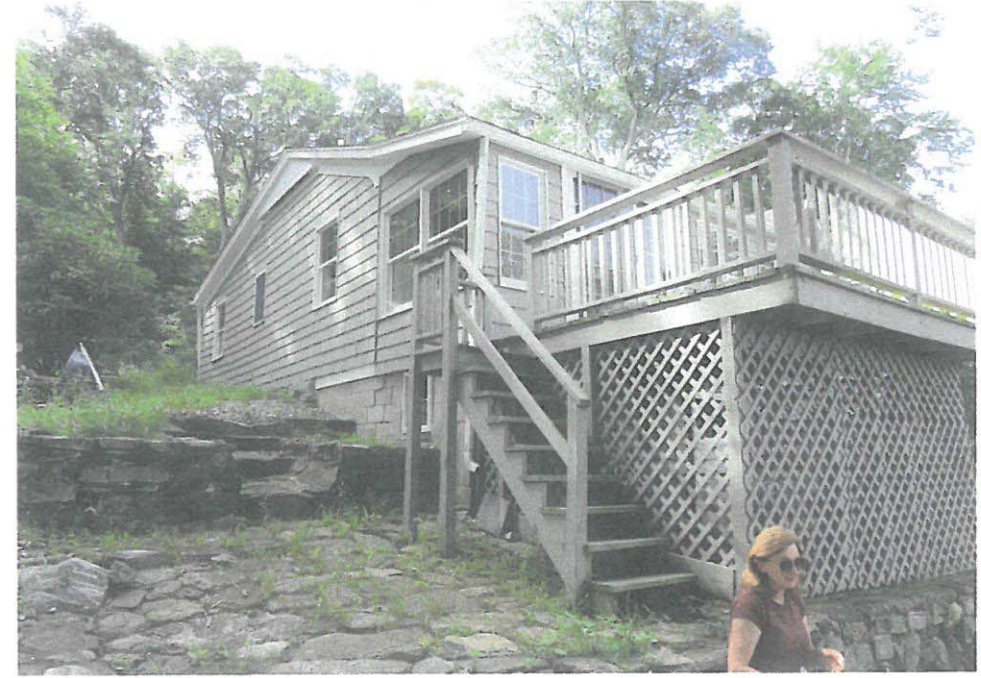
MARY FAITHORN SCOTT
 ARCHITECT
 33 FAIRWAYS DRIVE
 MOUNT KISCO, NY 10549
 PHONE: 914-241-6262



LAKE SIDE ELEVATION



<p>A4</p> <p>REVISIONS: DATE: AUGUST 29, 2013 SCALE: 1/4" = 1'-0"</p>	<p>PROPOSED LAKE SIDE ELEVATION</p>	<p>BROWN RESIDENCE 18 FREDRICK STREET MAHOPAC, NY</p>	<p>MARY FAITHORN SCOTT ARCHITECT 33 FAIRWAYS DRIVE MOUNT KISCO, NY 10549 PHONE: 914-241-6262</p>
--	-------------------------------------	---	--



me



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

Brian Kelly ~~for~~

Ossi Sport Club Inc.

IN THE MATTER OF THE APPEAL

OF

~~Kelly~~

TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: 9/17, 20 23

Application For (circle applicable): Area Variance (156.15) Use Variance Interpretation 280A
Name of Property Owner: Brian P. Kelly Address: 33 Well Road Mahopac N.Y.
Mailing Address: same Phone Number(s): _____
Zoning District: R-120 Tax Map: 53, 1, 59-13

Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]

E-Mail Address: _____

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
	<u>NO previous ZBA appearances</u>	<u>(Signature)</u>

List all improvements (1 family dwelling, pool, etc.) 1 family house, 2 sheds + Garage

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: Survey + Photos

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES NO

I, the applicant, am seeking permission to: Retain 2 Sheds

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
<u>Shed 1 10'side</u>	<u>2'</u>	<u>8'</u>
<u>Shed 2 10'side</u>	<u>2'</u>	<u>8'</u>

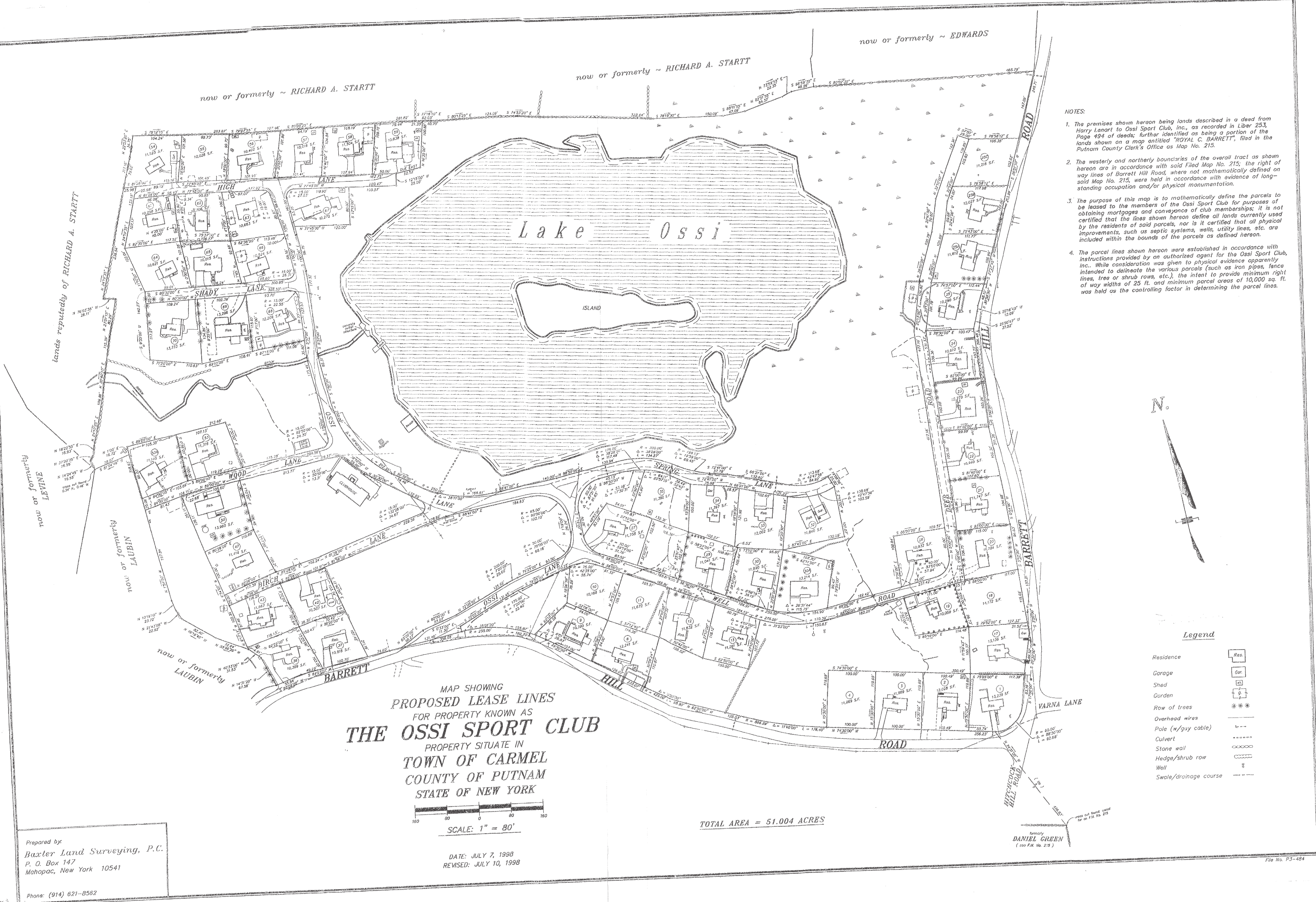
State of New York)
 ss:
County of Putnam)
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this 18th day of Sept. 20 23

Alice Daly
Notary Public

ALICE DALY
Notary Public, State of New York
No. 01DA6345218
Qualified in Putnam County
Commission Expires July 25, 2024

Petitioner Brian Kelly Date 9/18/23



MAP SHOWING
PROPOSED LEASE LINES
 FOR PROPERTY KNOWN AS
THE OSSII SPORT CLUB
 PROPERTY SITUATE IN
TOWN OF CARMEL
COUNTY OF PUTNAM
STATE OF NEW YORK

SCALE: 1" = 80'

TOTAL AREA = 51.004 ACRES

DATE: JULY 7, 1998
 REVISED: JULY 10, 1998

NOTES:

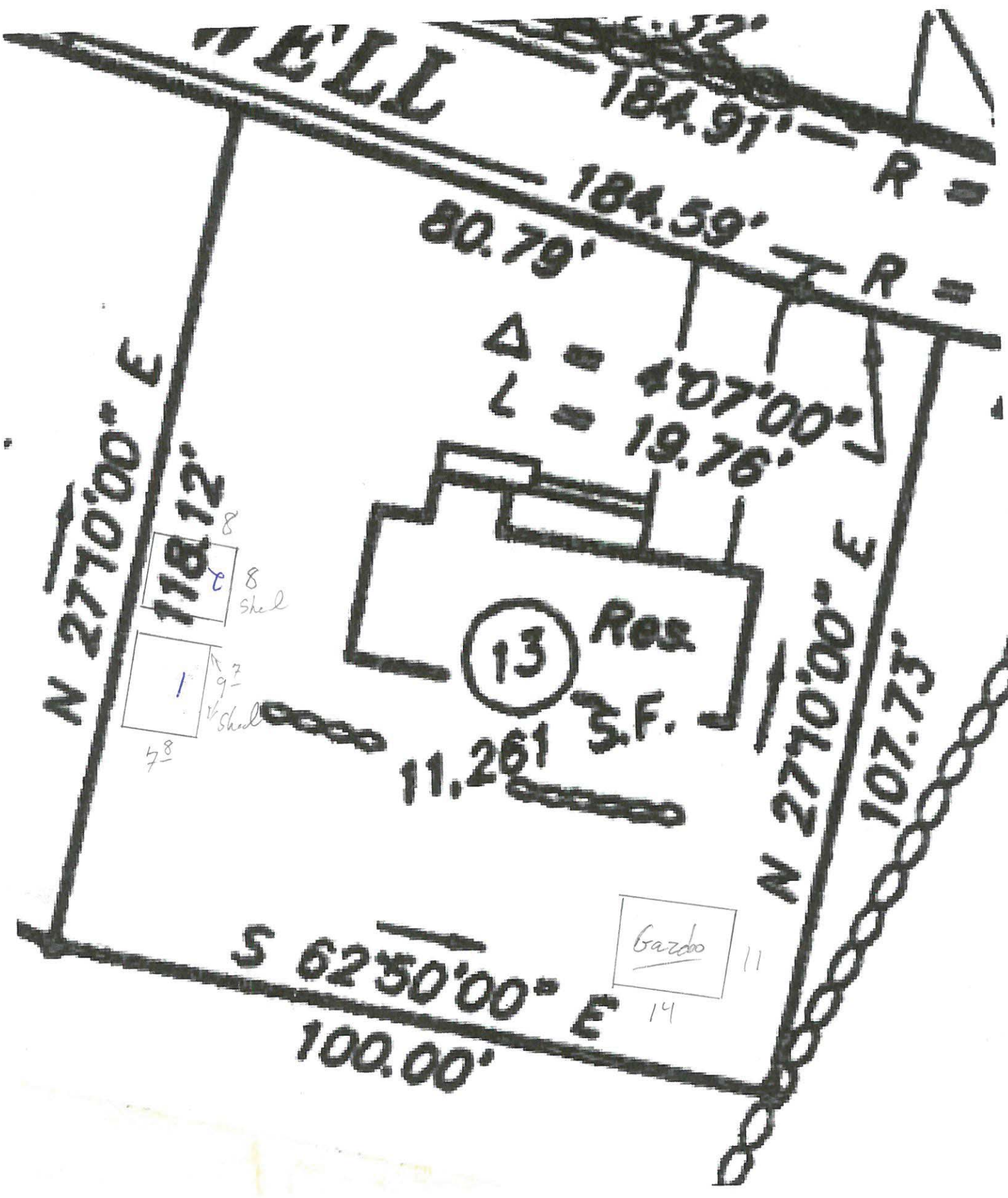
1. The premises shown hereon being lands described in a deed from Harry Lenart to Ossi Sport Club, Inc., as recorded in Liber 253, Page 494 of deeds; further identified as being a portion of the lands shown on a map entitled "ROYAL C. BARRETT", filed in the Putnam County Clerk's Office as Map No. 215.
2. The westerly and northerly boundaries of the overall tract as shown hereon are in accordance with said Filed Map No. 215; the right of way lines of Barrett Hill Road, where not mathematically defined on said Map No. 215, were held in accordance with evidence of long-standing occupation and/or physical monumentation.
3. The purpose of this map is to mathematically define the parcels to be leased to the members of the Ossi Sport Club for purposes of obtaining mortgages and conveyance of club memberships; it is not certified that the lines shown hereon define all lands currently used by the residents of said parcels, nor is it certified that all physical improvements, such as septic systems, wells, utility lines, etc. are included within the bounds of the parcels as defined hereon.
4. The parcel lines shown hereon were established in accordance with instructions provided by an authorized agent for the Ossi Sport Club, Inc. While consideration was given to physical evidence apparently intended to delineate the various parcels (such as iron pipes, fence lines, trees or shrub rows, etc.), the intent to provide minimum right of way widths of 25 ft. and minimum parcel areas of 10,000 sq. ft. was held as the controlling factor in determining the parcel lines.

Legend

- Residence
- Garage
- Shed
- Garden
- Row of trees
- Overhead wires
- Pole (w/guy cable)
- Culvert
- Stone wall
- Hedge/shrub row
- Well
- Swale/drainage course

Prepared by
 Baxter Land Surveying, P.C.
 P. O. Box 147
 Mahopac, New York 10541

formerly
DANIEL GREEN
 (see P.M. No. 215)



WELL

184.91'

184.59'

80.79'

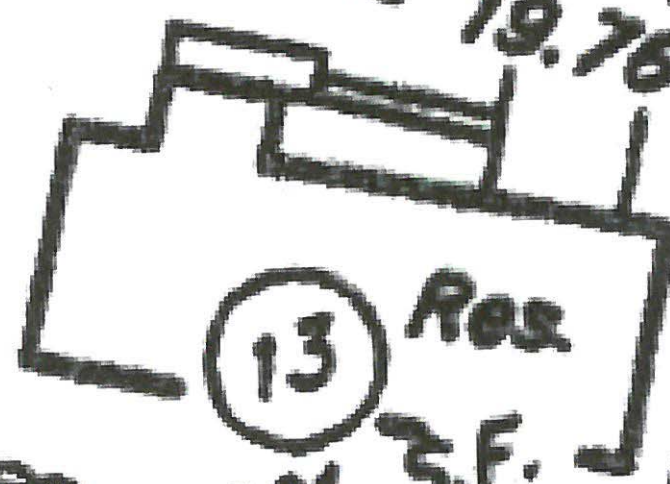
N 2770'00" E

118.12'

8
8
Shed

1
9
Shed
78

$\Delta = 407'00"$
 $L = 19.76'$



11,261 S.F.

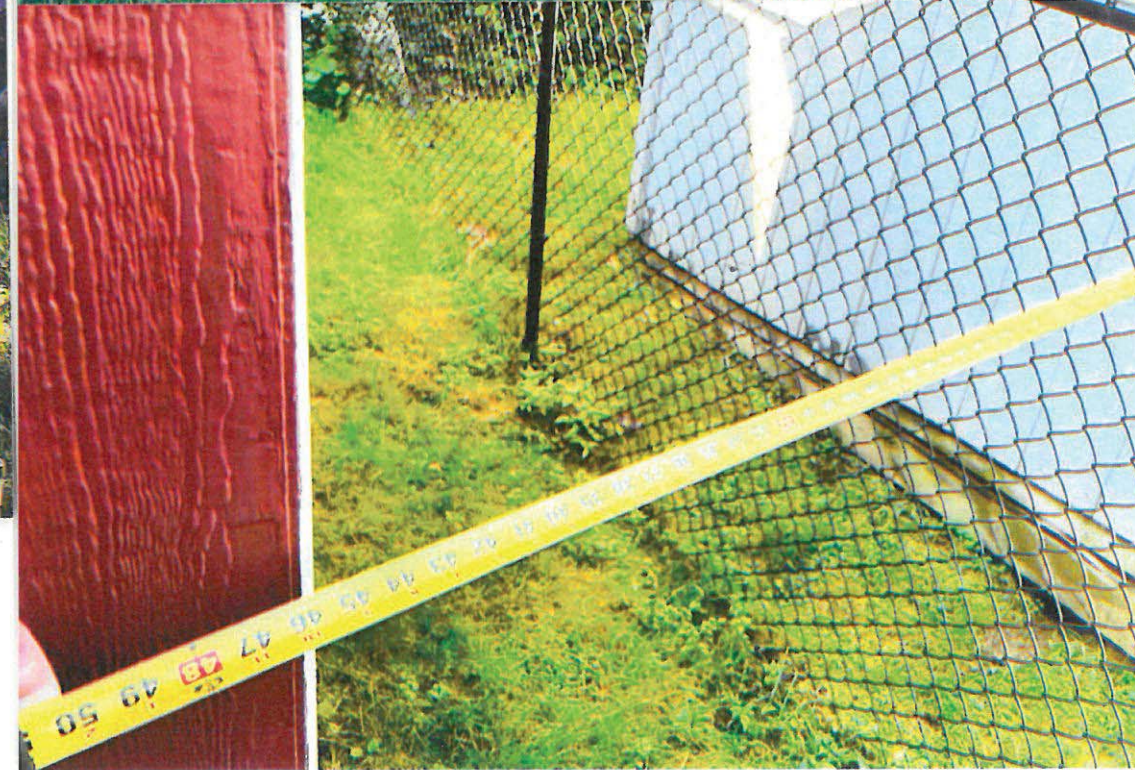
N 2770'00" E

107.73'

S 62'50'00" E
 100.00'

Gazdo
 11
 14









A

MC



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

IN THE MATTER OF THE APPEAL
OF
Messner
TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: 10/6, 20 23

Application For (circle applicable): Area Variance (150/15) Use Variance Interpretation 280A
Name of Property Owner: Warren & Angela Messner Address: 44 Sycamore Road Mahopac N.Y. 10541
Mailing Address: 44 Sycamore Rd Mahopac, N.Y. 10541 Phone Number(s): 0
Zoning District: R2 Tax Map: 76.5 - 1 - 28

Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]

E-Mail Address: _____

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
<u>3/1987</u>	<u>Retain existing deck - Granted</u>	<u>(Done)</u>

List all improvements (1 family dwelling, pool, etc.) 1 Family Dwelling, Garage, Boat House

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: Survey / PLANS

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO
Explain: Yes, Lake Mahopac

I, the applicant, am seeking permission to: Add Dormers to finish space over garage for Music studio, Practice space / Not commercial

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
<u>25' Front</u>	<u>14</u>	<u>11'</u>
<u>10' Sides</u>	<u>.9"</u>	<u>9.1'</u>

State of New York)
 ss:
County of Putnam)
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this 6 day of October 20 23

Alice Daly
Notary Public

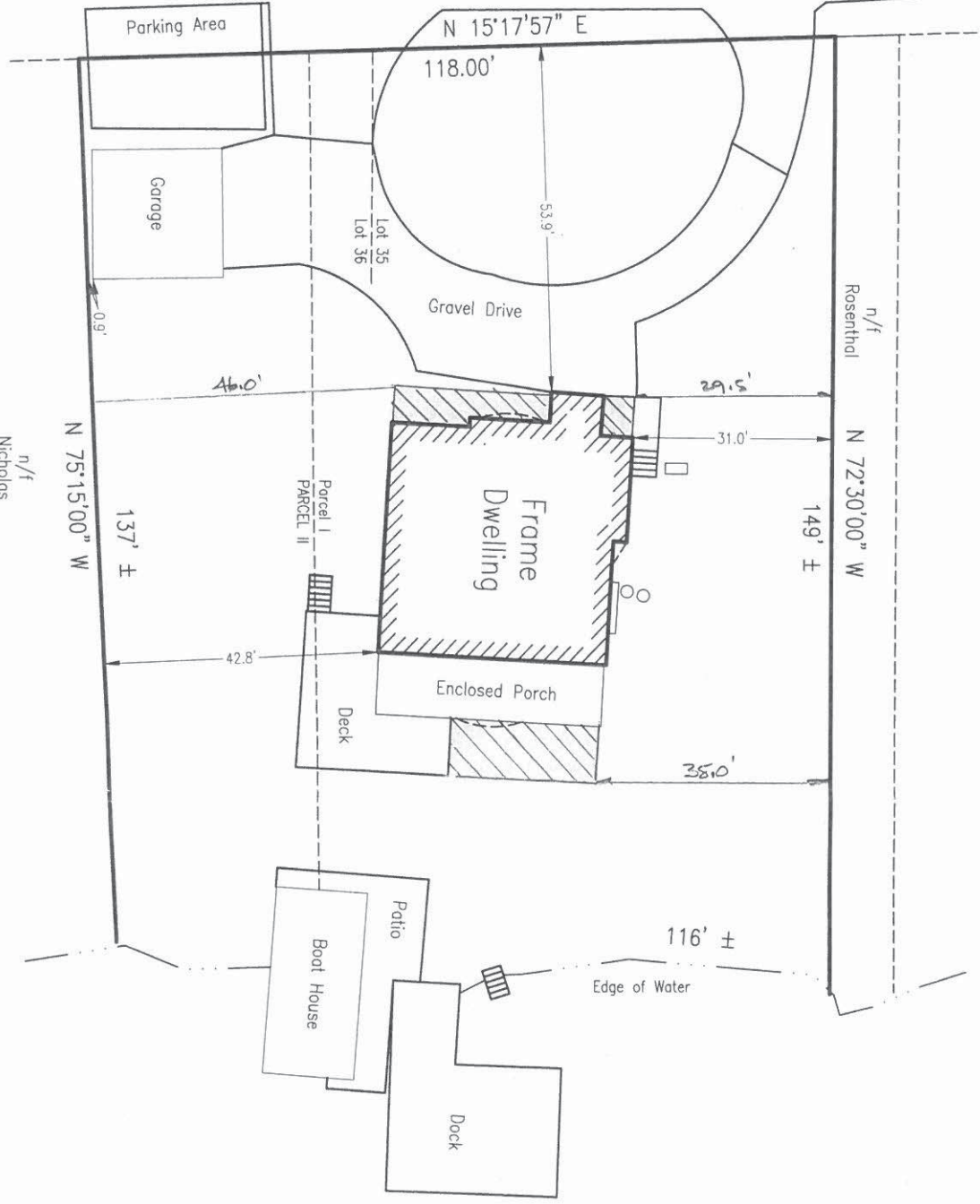
ALICE DALY
Notary Public, State of New York
No. 01DA6345218
Qualified in Putnam County
Commission Expires July 25, 2024

Petitioner [Signature] Date 10/6/23

Certifications on this boundary survey map signify that the map was prepared in accordance with the current existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc. The certification is not an expressed or implied warranty or guarantee, it is purely a statement of professional opinion based on knowledge, information and existing field evidence and documentary evidence available. The certification is limited to persons for whom the boundary survey map is prepared, to the title company, to the governmental agency, and to the lending institution listed on this boundary survey map. Any alteration or addition to this survey is a violation of SECTION 7209 of the NEW YORK STATE EDUCATION LAW, except as per SUBDIVISION 2. All certifications herein are valid for this map and copies thereof only if said map or copies bear the inked or impressed seal of the surveyor whose original signature appears hereon.



SYCAMORE ROAD



LAKE MAHOPAC

ANY EASEMENTS AND/OR SUBSURFACE STRUCTURES UNRECORDED ARE NOT GUARANTEED UNLESS PHYSICALLY EVIDENT ON THE PREMISES AT THE TIME OF THE SURVEY. SUBJECT TO COVENANTS, EASEMENTS, RESTRICTIONS, CONDITIONS AND AGREEMENTS RECORDED AND UNRECORDED UNDERGROUND UTILITIES SHOWN HEREON BASED ON UTILITY EVIDENCE VISIBLE AT GROUND SURFACE AND ARE SUBJECT TO FIELD VERIFICATION BY EXCAVATION UTILITIES SHOWN DO NOT PURPORT TO CONSTITUTE OR REPRESENT ALL UTILITIES LOCATED UPON OR ADJACENT TO THE SURVEYED PREMISES SUBJECT TO AN UP TO DATE TITLE SEARCH SURVEYED AS IN POSSESSION

WETLANDS IF ANY ARE NOT SHOWN Being a Portion of Lots 35 & 36 as shown on a map entitled "Amended Map of Mahopac Point, Lake Mahopac, Town of Carmel, Putnam Co., N.Y." on file in the Putnam County Clerk's Office as Map number 57.



CERTIFIED ONLY TO:
 Warren Messner
 Angela Messner
 Benchmark Title Agency, LLC
 AmTrust Title Insurance Company

SURVEY PREPARED FOR
WARREN & ANGELA
MESSNER

TOWN OF CARMEL, COUNTY OF PUTNAM, STATE OF NEW YORK
 TAX LOT: SECTION 76.05 - BLOCK 1 - LOT 28
 SCALE: 1" = 20'
 SURVEY DATE: AUGUST 29, 2022
 AREA: 0.384 ACRES

#22398
EDWARD T. GANNON, P.L.S.
 CHERRY HILL ROAD ~ BLOOMING GROVE, NY 10914
 egannonturveying@yahoo.com

n/f
 Nicholas

n/f
 Rosenthal

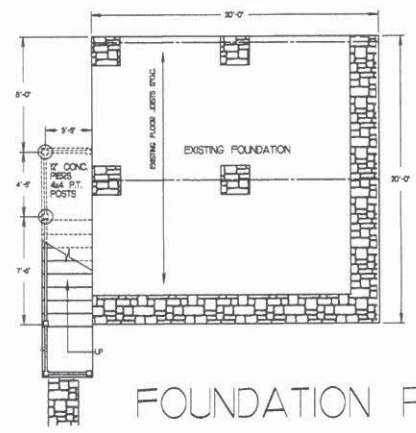


REAR ELEVATION

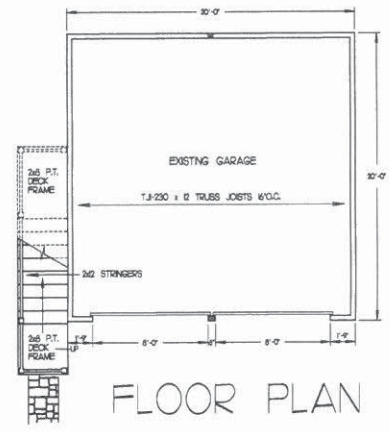
LEFT SIDE ELEV.

RIGHT SIDE ELEV.

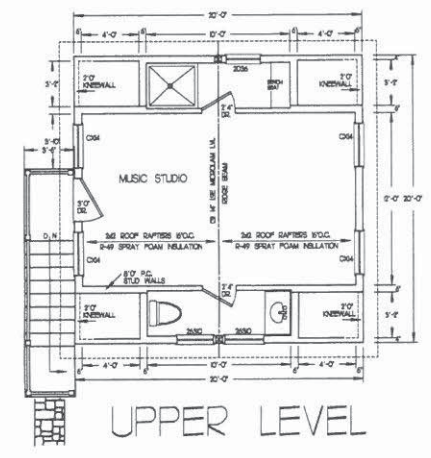
FRONT ELEVATION



FOUNDATION PLAN



FLOOR PLAN



UPPER LEVEL



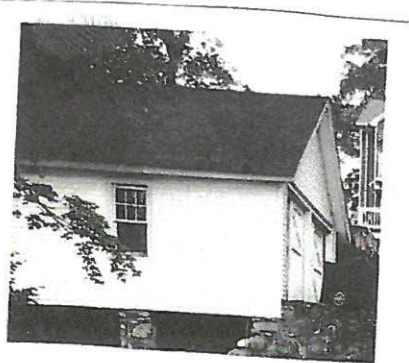
NOTE
 THESE PLANS ARE NOT VALID FOR BUILDING PERMITS OR CONSTRUCTION
 UNLESS STAMPED AND SIGNED BY A STATE LICENSED ARCHITECT OR ENGINEER.

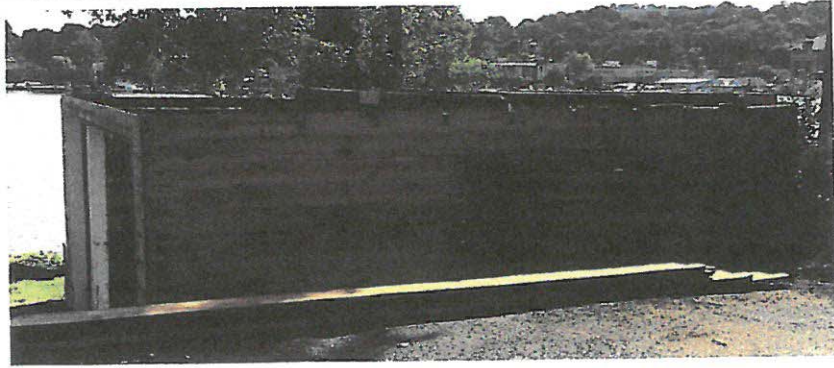
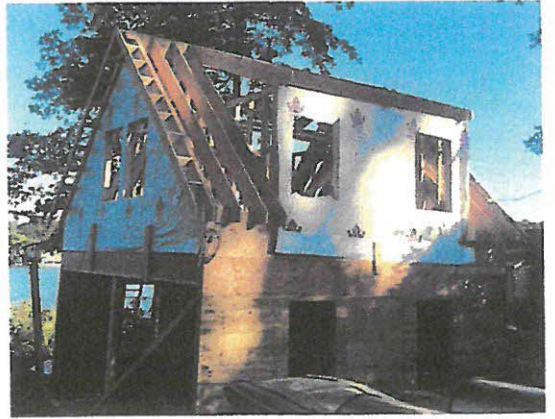
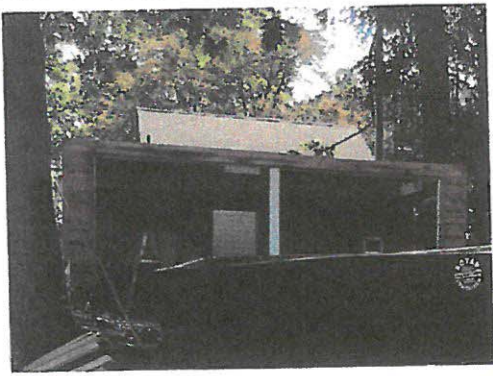
BOB STROM DESIGN
 & CONSTRUCTION INC.
 NORTH LAKE HOLLYWOOD
 MANHATTAN, NEW YORK
 845-638-1423

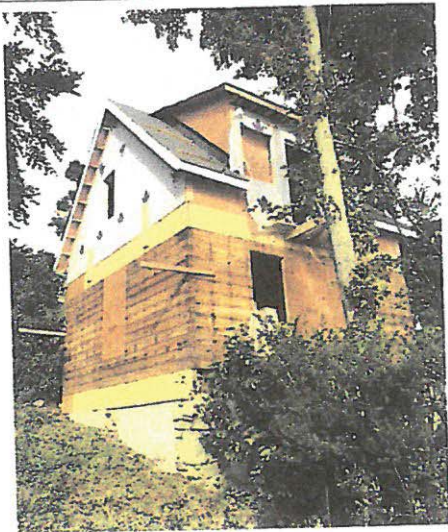
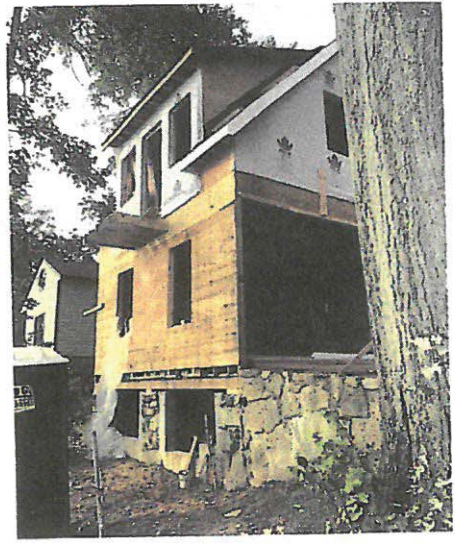
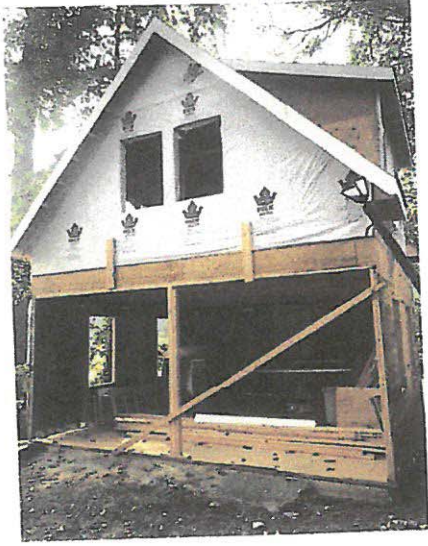
RENOVATION, PORCH AND DECK ADDITION
 ANGELA & WARREN MESSNER
 44 SYCAMORE ROAD
 MAHOOPAC POINT, NEW YORK
 DEC. 20, 2022

ENGINEER OF RECORD
 JOHN KARELL JR., P.E.
 CUSHMAN ROAD
 PATTERSON NEW YORK
 (845) 876-7894

A1
 SCALE 1/4" = 1'-0"









ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

Mc

IN THE MATTER OF THE APPEAL
OF
Weizenecker
TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: 10/5, 2023

Application For (circle applicable): Area Variance (156.15) Use Variance Interpretation 280A
CODE SECTION
Name of Property Owner: Wm WEIZENISCHER Address: 225 DAISY LANE CARMEL N.Y.
(Address) (City) (State)
Mailing Address: SAME Phone Number(s): 914-760-8036
(Address) (City) (State)
Zoning District: R Tax Map: 77.19 - 1 - 11
(R-120, Commercial, C/BP, or Conservation) (section) (Block) (Lot)

Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]
E-Mail Address: Bill Weizenecker @ yahoo.com

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
<u>10/2003</u>	<u>Construct Detached Two car garage</u>	<u>Granted</u>

List all improvements (1 family dwelling, pool, etc.) 1 family dwelg, 2 sheds, 1 garage, 1 chicken Coop.

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: Photos + Survey

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO
Explain: TOWN OF Southeast - Croton Falls Reservoir

I, the applicant, am seeking permission to: Retain Shed

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
<u>10</u>	<u>7.5</u>	<u>2.5</u>

State of New York)
County of Westchester)
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this 16 day of Oct 2023

[Signature]



Petitioner [Signature] Date 10-15-23

