

JOHN MAXWELL
Chairman

PHILIP AGLIETTI
Vice-Chair

TOWN OF CARMEL
ZONING BOARD OF APPEALS



60 McAlpin Avenue
Mahopac, New York 10541
Tel. (845) 628-1500 – Ext 187
www.ci.carmel.ny.us

MICHAEL
CARNAZZA
Director of Code
Enforcement

BOARD MEMBERS

ROSE FABIANO
SILVIO BALZANO
JOHN STARACE
JULIE MCKEON
WILLIAM SANTINI

LEGAL NOTICE

By the Zoning Board of Appeals of the Town of Carmel pursuant to Section 267 Town Law, notice is hereby given that a hearing will be held on:

MARCH 28, 2024 – 7:30 P.M.

To hear the following applications:

HOLD OVER APPLICATIONS:

1. Application of **NORBERT LATAWIEC** for a Variation of Section 156-45.2B(1) & 156-20 seeking an Area Variance for permission to retain accessory apartment & fence. The property is located at 1350 Route 6, Carmel NY and is known as Tax Map #54.15-1-17.

Code Requires/Allows	Provided	Variance Required
Structure to be existing 1/21/98	Structure (garage) built after 1/21/98	To allow accessory apartment in garage built after 1/21/98
4' high fence in front	96 inches (8') high	48 inches (4')

2. Application of **ROBERT ALTERO** for a Variation of Section 156-15 seeking a Variance for permission to retain gazebo and legalize room above garage. The property is located at 3 Curry Spur, Mahopac NY and is known as Tax Map #53.12-1-17

Code Requires/Allows	Provided	Variance Required
10' rear (gazebo)	2'	8'
25' front (garage)	0' (over property line. Easement agreement needed.)	25'

3. Application of **MICHAEL J FESTO** for a Variation of Section 156-101 & 156-47A(1) seeking a Use Variance for permission to encroach upon front & rear setbacks with garage, and expand non-conforming Use (two-family). The property is located at 247 Buckshollow Road, Mahopac NY and is known as Tax Map #75.16-2-1.

Code Requires/Allows	Provided	Variance Required
Accessory front setback of 25'	23.75'	1.25'
Accessory front setback of 25'	8.83'	16.17'

4. Application of **DRANA VUKAJ** for a Variation of Section 156-47A(1) seeking a Use Variance for permission to put up a pergola near the pool on lot with: two 1-family dwellings and one 1-family dwelling. The property is located at 515 Route 6N, Mahopac NY and is known as Tax Map #75.10-1-18.

5. Application of **WENDY GUTHRO** for a Variation of Section 156-45.2 seeking to amend D&O dtd 2/21/90 to eliminate condition "no residential use of structure"; to add accessory apartment above garage built before 1998. The property is located at 73 Myrtle Avenue, Mahopac NY and is known as Tax Map #75.14-1-16.

Code Requires/Allows	Provided	Variance Required
Code requires Accessory Apartment no more than 35% of size of the Main House	Accessory Apt. is 76% of the size of the Main House; Main House = 1,011 s.f.; Accessory Apt. = 772 s.f.	41% variance or 418 s.f.

6. Application of **THOMAS SIMONE** for a Variation of Section 156.15 & 156.47A(1) seeking a Use Variance for permission to retain deck. The property is located at 9 Battista Dr., Mahopac NY and is known as Tax Map #75.16-1-30.

Code Requires/Allows	Provided	Variance Required
25' Front	23' (to steps)	2'
10' Side	.5'	9.5'

NEW APPLICATIONS:

7. Application of **RICHARD & ARISTID SHLLAKU** for a Variation of Section 156-15 seeking an Area Variance for permission to subdivide the existing 5.84 +/- acres (254,364 s.f.) into two building lots. The property is located at 345 Austin Road, Mahopac and is known as Tax Map #64.9-1-13.

Code Requires/Allows	Provided	Variance Required
Lot 1: Width 200 ft.	64.71 ft.	135.29 ft.
Lot 1: Frontage 100 ft.	77.11 ft.	22.89 ft.
Lot 2: Width 200 ft.	65.21 ft.	134.79 ft.
Lot 2: Frontage 100 ft.	77.11 ft.	22.89 ft.
	Lot 1: Depth line exits & re-enters the lot	
	Lot 2: Depth line exits & re-enters the lot	

8. Application of **VINCENT SCARFONE** for a Variation of Section 156-20 seeking an Area Variance for permission to replace/repair front wall & fence. The property is located at 799 South Lake Blvd., Mahopac and is known as Tax Map #75.43-1-17.

Code Requires/Allows	Provided	Variance Required
4' fence (front)	6' 2"	2' 2"

9. Application of **LUIS MORGADO** for a Variation of Section 156-15 seeking an Area Variance for permission to add front porch to commercial building (ADA access). The property is located at 14 Fair Street, Carmel and is known as Tax Map #44.18-1-18.

Code Requires/Allows	Provided	Variance Required
40' front	10'	30'
25' side	18.08'	6.92'

10. Application of **DAG ROUTE SIX, LLC (Nick Crecco)** for a Variation of Section 156-15 seeking an Area Variance for permission to construct a 3,240 sf light impact industry use building 7' from the property lines to the north and east. Code requires 25'. The property is located at 395 Route 6, Mahopac and is known as Tax Map #75.20-2-5.

Code Requires/Allows	Provided	Variance Required
25' side yard setback	7'	18'

MISCELLANEOUS:

MINUTES:

- January 25, 2024

- February 22, 2024

By Order of the Chairman,
John Maxwell



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

MA

Revised

IN THE MATTER OF THE APPEAL
OF
Latawiec
TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

156-45.2 B(1)

Application Date: 12/15/2023

Application For (circle applicable): Area Variance () Use Variance Interpretation 280A
 Name of Property Owner: NORBERT LATAWIEC Address: 1350 ROUTE 6, CARMEL, NY
 Mailing Address: 1350 Rte 6, Carmel, NY Phone Number(s): 914 557 4905
 Zoning District: R Tax Map: 54.15 1 17
 Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]
 E-Mail Address: MARK.LATAWIEC75@YAHOO.COM

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
	<u>none</u>	

List all improvements (1 family dwelling, pool, etc.) _____

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: _____

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO
 Explain: YES, NYC DEP WESTBRANCH RESERVOIR

I, the applicant, am seeking permission to: _____

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
<u>Structure to Be Existing 1/21/98</u>	<u>Structure (Gar) Built after 1/21/98</u>	<u>To allow Accessory Dept for garage built after 1/21/98</u>
<u>4' high fence - front</u>	<u>96" High</u>	<u>4' Varied</u>

MC
1/29/24

State of New York)
 County of Putnam)
 The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this 24th day of Jan. 2024
Shannon B. Thompson
 Notary Public

SHANNON B THOMPSON
 NOTARY PUBLIC, STATE OF NEW YORK
 Registration No. 01TH6216601
 Qualified in Dutchess County
 My Commission Expires March 8, 2026

Petitioner Norbert Latawiec Date 08 01 2024
01 08 2024



AUTHORIZATION FORM

RE: Property of: NORBERT LATAWIEC
 Located at: 1350 ROUTE 6 ^(Owner) CARMEL (T)
 Tax Map #: 54.15-1-17 ^(Address) ^(City, Town, Village)

In the matter of: VARIANCE ALLOWING ACCESSORY APARTMENT
INDETACHED ^(Variance Request) STRUCTURE NOT BUILT BEFORE
1998

To whom it may concern:

This letter is to authorize John Kavell, Jr. P.E.

a/an (check one) Attorney Engineer Architect Other

to apply for the required variance(s) on the above noted property and to sign all necessary papers and make all necessary representations on my behalf in connection with the above-mentioned matter.

Countersigned: _____
(Representation)
JOHN KAVELL, JR.
(Print Name)

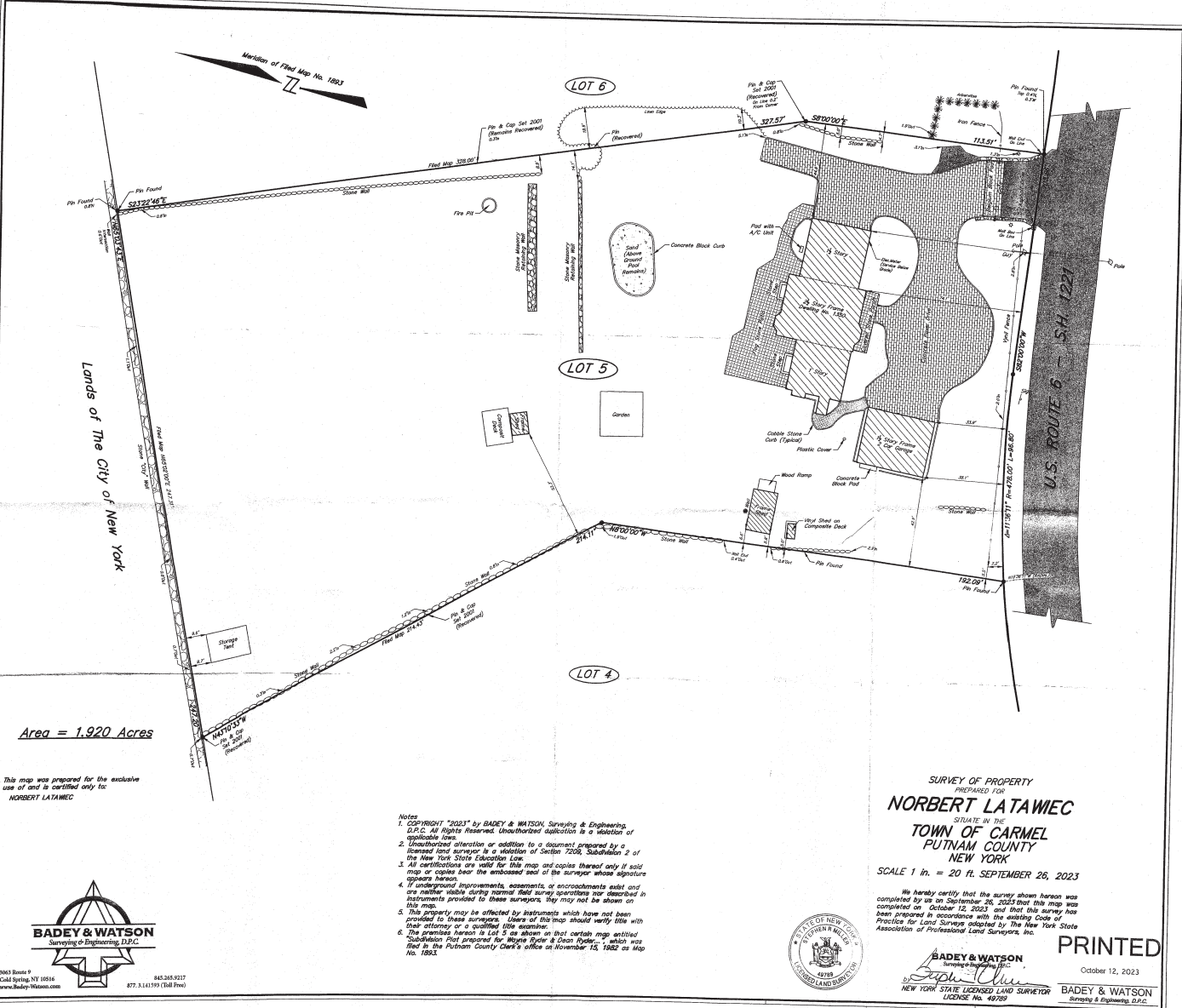
Signed: Norbert Latawiec
(Owner of Property)
NORBERT LATAWIEC
(Print Name)

Mailing Address: 121 CUSHMAN ROAD
PATERSON
 State: NY Zip: 12563
 Telephone # 845-721-0455
 Date: 10/13/23
 E-mail: JACK4911@YAHOO.COM

Mailing Address: 1350 ROUTE 6
CARMEL, NY, 10512-1600
 State: NY Zip: 12562
 Telephone # _____

NOTE: The willful submission of false or inaccurate information on this application may result in the dismissal of the application, or the revocation of any action taken on the application, or both.

Drawing Name: LS_1000_001_022.DWG
 Date: 10/12/2023
 Project: SURVEY
 No. 27044
 Checked by: SNW
 Spall checked by: JFT
 Drawn by: JFT
 Closed by: SNW
 On: 2023-10-12
 T.A. : 54.15-1-17



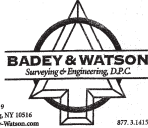
Area = 1.920 Acres

This map was prepared for the exclusive use of and is certified only for:
NORBERT LATAWIEC

- Notes**
1. COPYRIGHT "2023" by BADEY & WATSON, Surveying & Engineering, D.P.C. All Rights Reserved. Unauthorized duplication is a violation of applicable laws.
 2. Unauthorised alteration or addition to a document prepared by a licensed land surveyor is a violation of Section 2008, Subdivision 2 of the New York State Education Law.
 3. All certifications are valid for this map and copies thereof only if said map or copies bear the embossed seal of the surveyor whose signature appears hereon.
 4. If underground improvements, easements, or encroachments exist and are neither visible during normal field survey operations nor described in instruments provided to these surveyors, they may not be shown on this map.
 5. This property may be affected by instruments which have not been recorded to these surveyors. Users of this map should verify title with their attorney or a qualified title examiner.
 6. The premises hereon in Lot 5 are shown on that certain map entitled "Subdivision Plot proposed for Wayne Rader & Dean Rader," which was filed in the Putnam County Clerk's office on November 15, 1982 as Map No. 1983.

SURVEY OF PROPERTY
 PREPARED FOR
NORBERT LATAWIEC
 SITUATE IN THE
TOWN OF CARMEL
PUTNAM COUNTY
NEW YORK
 SCALE 1 in. = 20 ft. SEPTEMBER 26, 2023

We hereby certify that the survey shown hereon was completed by us on September 26, 2023 that this map was prepared in accordance with the ability Code of Practice for Land Surveyors adopted by the New York State Association of Professional Land Surveyors, Inc.



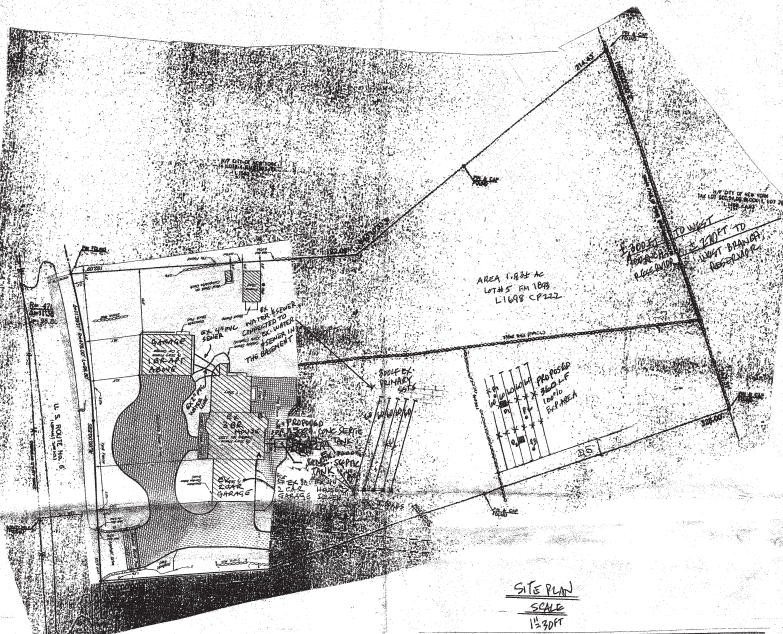
3463 Route 9
 Cold Spring, NY 10516
 www.badey-watson.com
 916.368.2017
 877.3.141.593 (Toll Free)



BADEY & WATSON
 Surveying & Engineering, D.P.C.
 49789
 NEW YORK STATE LICENSED LAND SURVEYOR
 LICENSE No. 49789

PRINTED
 October 12, 2023

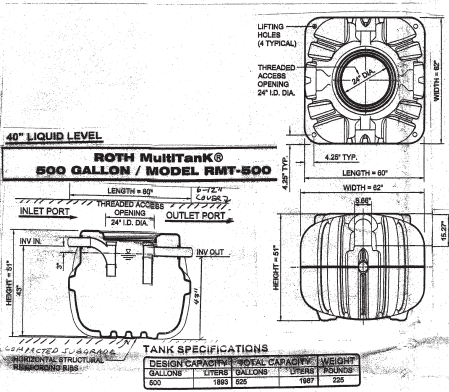
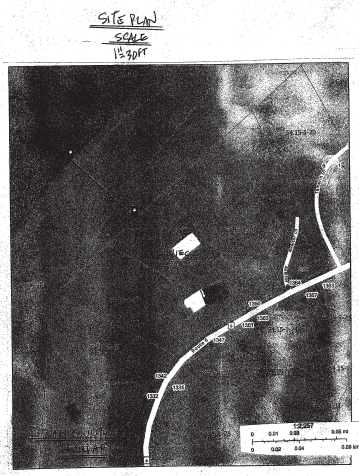
BADEY & WATSON
 Surveying & Engineering, D.P.C.



ZONING SCHEDULE

NORBERT LATAWIC	REQUIRED	EXISTING		
		HOUSE	GARAGE	
MIN LOT AREA (SF)	40,000	84,070		
MIN LOT WIDTH (FT)	200	180**		
MIN LOT DEPTH (FT)	200	400		
MIN YARD DIMENSIONS (FT)	PRINCIPAL / ACCESSORY	FRONT	40	40
		SIDE	25	20
		REAR	30	20
		MAX BUILDING HEIGHT (FT)	35	< 35
MIN FRONTAGE (FT)	100	200		
MAX LOT COVERAGE (%)	30	12		

** unless previously granted



- ### NOTES -
- OWNER: Norbert Latawic
 - SITE ADDRESS: 1350 State Route 6, Carmel (T)
 - WATERSEWER: New York City, West Branch Reservoir
 - All pipe connecting to all inlets and bases shall be cast with the inside wall of the tank or base.
 - Prior to any excavation all underground utilities must be located. Call 1-800-963-7962.
 - not used
 - Construction Start Date: August 1, 2023
Finish Date: August 15, 2023
 - Soil characteristics: see below
 - Soil penetration rate: 5-7 minutes per inch existing primary from approved plan
18 minutes per inch expansion steel lined May 24, 2023
 - Design based upon 4 bedrooms, 400 gal. flow in existing house and one in garage apartment
 - Proposed Septic Tank Size: 500 gallon concrete
 - Existing Septic Tank Size: 1000 gallon concrete
 - Proposed absorption trenches: none
 - Existing absorption trenches: 300 L.P. (at perc 6-7 min)
 - Proposed expansion trenches: 300 L.P. (at perc 10 min)
 - not used
 - Soils - Charlton - Chertford complex (C-C) 0-15%, rocky, Hydrologic Soil Group B
 - Area of disturbance: 450 square feet.
 - Map datum - same as top
 - Property 1.20 acres
 - No long-range survey
 - No existing or proposed wells within 100 feet of the proposed SSTS area, 300 feet if in direct line of drainage.
- ### TANK NOTES
- Access at or above grade level must be secured against unauthorized access.
 - Tank is not rated for vehicular traffic loading.
 - All weirs used is compliant with ASTM D 1248 as required by CSA B96 and IAPMO / ANSI Z100-2007.
 - Tank material of construction is HMW-HDPE.
 - Primary dimensions are in inches.
 - Minimum tank wall thickness is 1/4".
 - Labeling will include: manufacturer name, liquid capacity, date, maximum burial depth, and model number.
 - Riser cover contains the following: 8" x 3" warning: "Danger - Do not enter - Poison Gas" - written in English, French & Spanish.
 - Maximum burial depth from manufacturer is 30' unless specifically instructed otherwise by the factory.
 - Models RMT-750, RMT-1080, RMT-1250 and RMT-1500 are all certified to CSA and IAPMO standards.
 - Models RMT-500, RMT-900 and RMT-1000E are compliant with CSA and IAPMO standards.

- ### CONSTRUCTION NOTES FOR SSTS
- All trees within 10 feet of the proposed subsurface sewage treatment system (SSTS) shall be removed.
 - SSTS to be installed by the Licensed Design Professional and the Putnam County Health Department after construction and prior to backfill.
 - The SSTS area shall be staked and roped off so that no trucks, machinery, building materials, etc. encroachment shall be allowed in the SSTS area.
 - All erosion control measures shall be installed prior to the start of any construction and must be maintained until construction is complete and stabilization has occurred.
 - Construction of SSTS to be in accordance with these plans, any revisions thereto, and the rules and regulations of the permit issuing governmental agency.
 - The SSTS design allows however does not provide for installation of a garbage grinder. Such installation requires additional design and the approval of the Putnam County Department of Health.
 - Putnam County Health Department approval is based on the location of the proposed septic tank shown on the approved drawings. Modifications are to be done prior to Putnam County Health Department approval. Unapproved modifications made to this drawing after the date of Putnam County Health Department approval voids and approval.
 - All steelwalls in and within 10 feet of the SSTS area shall be removed to their entire depth and the remaining void replaced with similar on site soil.
 - A cut or fill is not permitted to the SSTS area, except if so specified on this plan.
 - Occupancy of this structure will not be permitted until the Construction Compliance Application has been received and approved by the Putnam County Health Department and forwarded to the Building Inspector of the respective municipality as part of the Certificate of Occupancy application.
 - This plan is approved for septic tank only, and all other required permits and approvals are the responsibility of the permittee.
 - The Putnam County Health Department approval expires two (2) years from the date on the approval stamp and is required to be renewed on or before the expiration date. The approval is revocable for cause or may be amended or modified when considered necessary by the Department.
 - A copy of the house plans submitted to the building inspector of the local municipality, when filing for a building permit, must be submitted to the Putnam County Health Department to verify the bottom course.
 - For all SSTS which are subject to Joint Review and approval with NYCDEP the Design Professional is to notify NYCDEP and NYCDEP is to issue 24 hours prior to the commencement of the SSTS construction.

UPDATED SURVEY BY BASH & WATSON DATED SEPTEMBER 26, 2023

THERE ARE NO WATERBOROUGH, POND, LAKE AND WETLANDS WITHIN 200 FEET OF THE PROPERTY LINE EXCEPT AS SHOWN ON THESE PLANS

Boundary and Elevation survey by Steven Shaver L.S., February 9, 2007
As Built SSTS by Thomas DeWey, approved by PCHEP September 12, 1983

ALLOCATION OF THIS DRAWING EXCEPT BY A LICENSED P.E. OR ARCHITECT OR LICENSED LAND SURVEYOR IS ILLEGAL AND ACTIVATION BY A P.E. OR ARCHITECT OR SURVEYOR MUST BE INDICATED AND BEAR HIS SIGN, SIGNATURE AND DATE OF ALTERATION.

CALCULATED SURVEY DATA

DATE	BY	REVISION

JOHN KARELL, JR. P.E.
421 CUSHMAN ROAD
PATTERSON, NEW YORK 12563

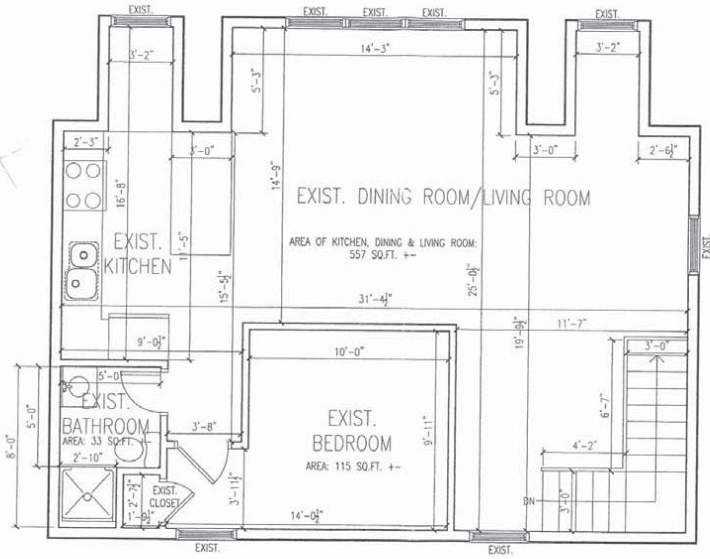
OWNER: NORBERT LATAWIC
1350 ROUTE 6
CARMEL (T)

SCALE: 1" = 30 FT
DATE: JUNE 18, 2023
TAX MAP: 8415-1-17

SHEET NO. A-1

GENERAL NOTE:

-TOTAL APARTMENT AREA IS
808 SQ.FT. +-



1 EXISTING ACCESSORY APARTMENT PLAN OVER EXISTING GARAGE
1/2" = 1'-0"

ARCHITECTURAL
EXIDANS

PROJECT:
NORBERT LATAMEC

EXISTING APARTMENT
PLAN

DATE	
BY	
CHECKED	
DATE	

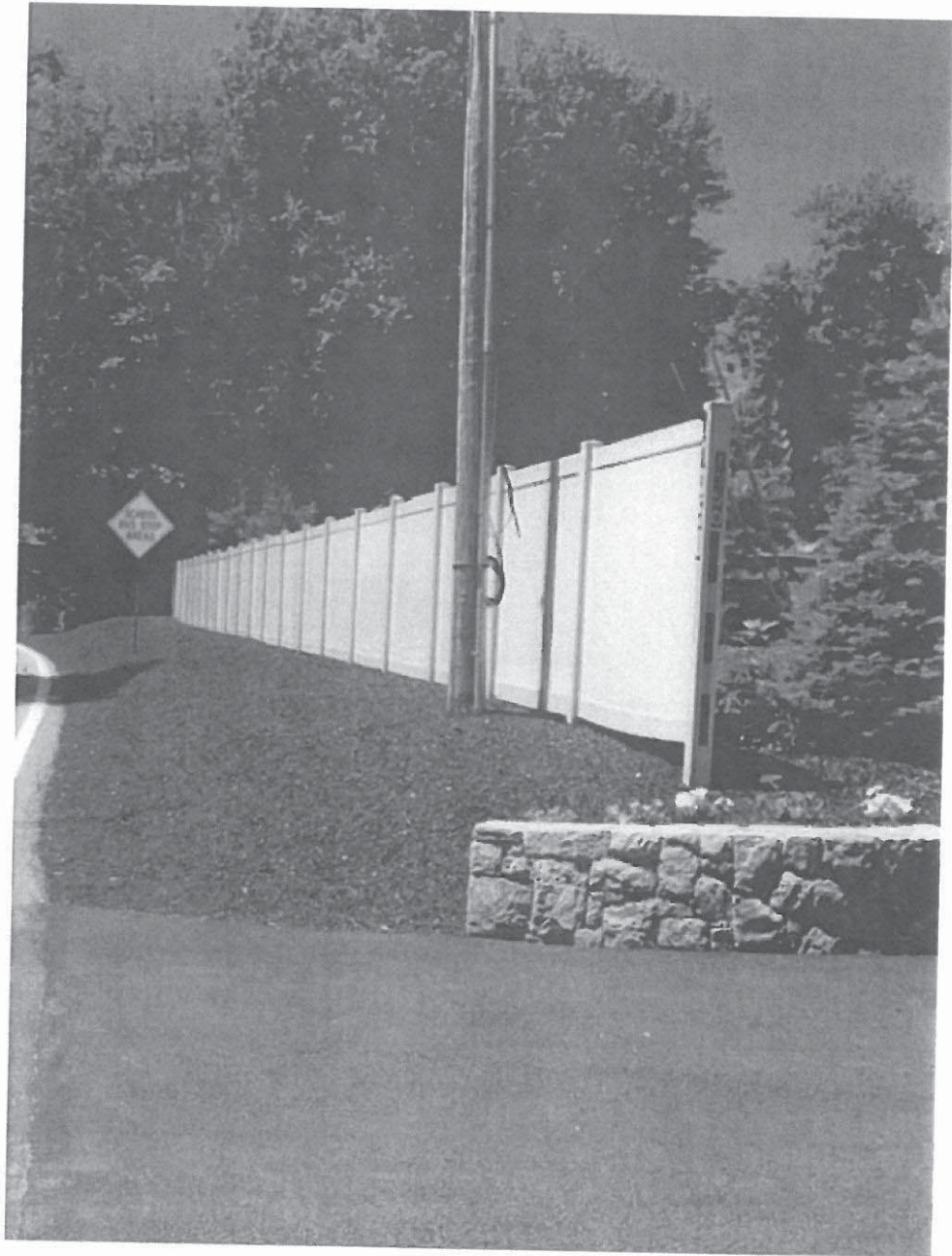
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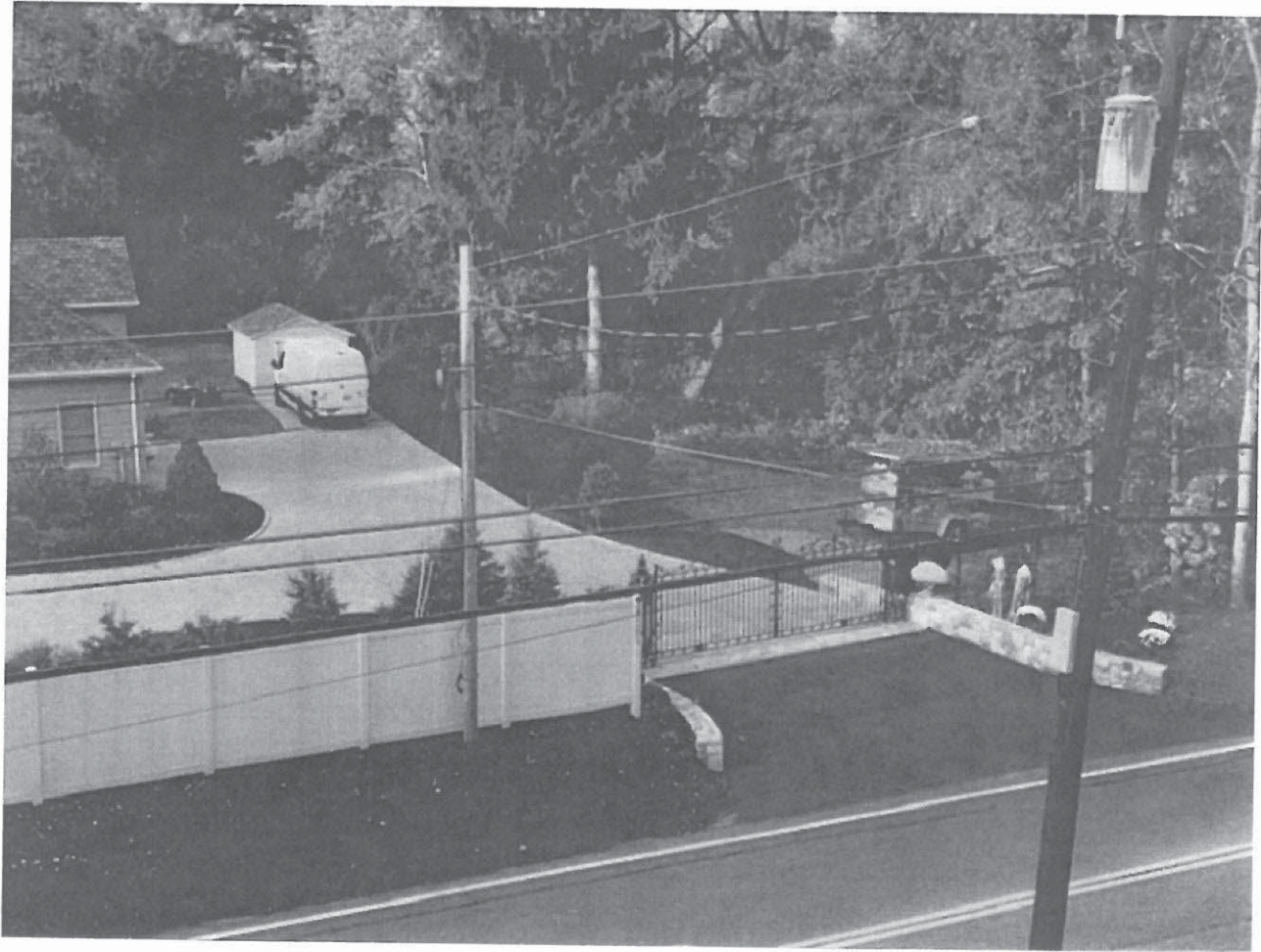


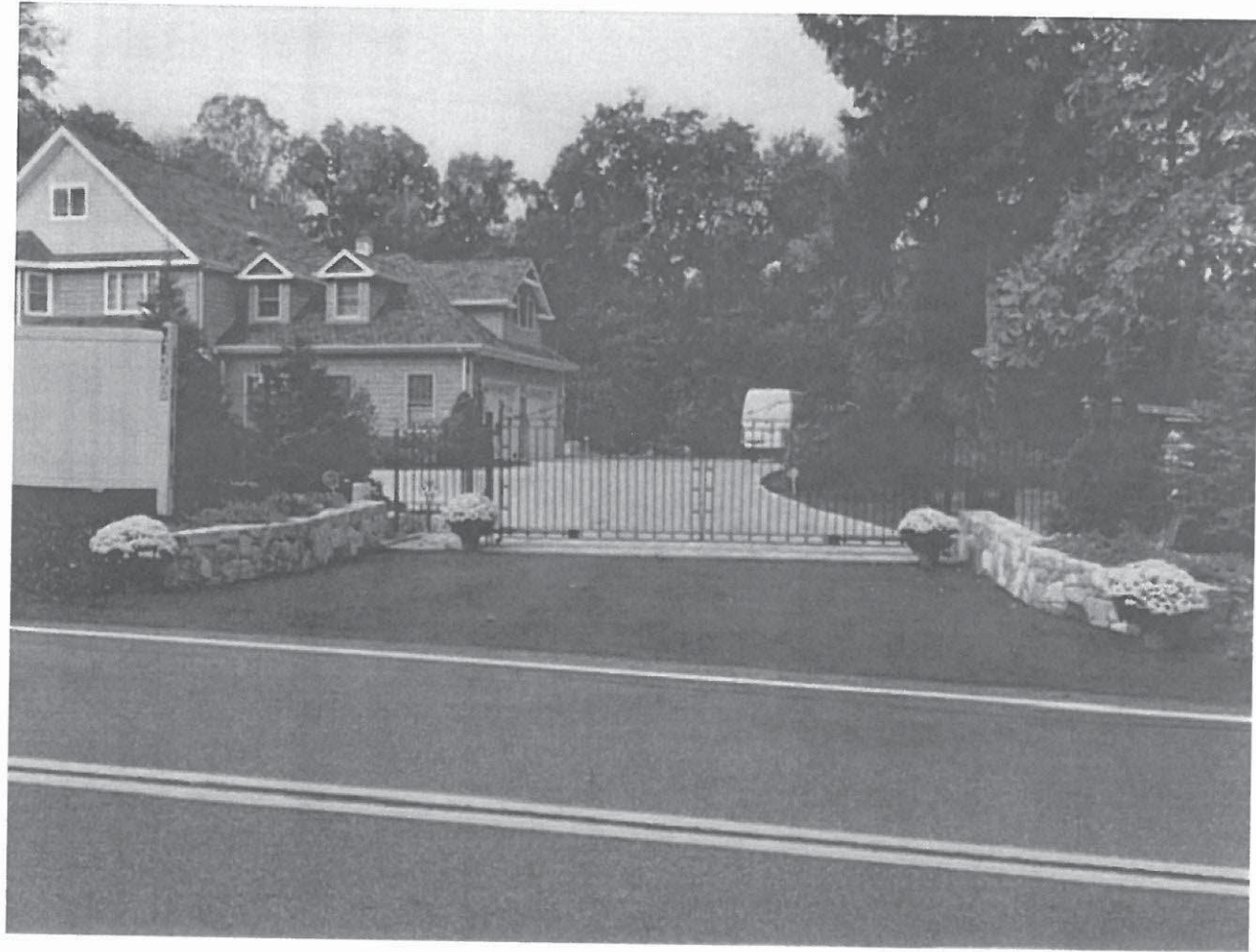














ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

me

IN THE MATTER OF THE APPEAL
OF
Altero
TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: **August 14**, 20**23**

Application For (circle applicable): Area Variance () Use Variance Interpretation 280A
Name of Property Owner: **Robert Altero** Address: **3 Curry Spur**
Mailing Address: **3 Curry Spur, Mahopac, NY** Phone Number(s):
Zoning District: **R-120** Tax Map: **53.12** - **1** - **7**
Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]
E-Mail Address: **rayexdesign@gmail.com**

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
2014	retain existing deck	granted
2006	side and rear yards for enlarging BR	granted

List all improvements (1 family dwelling, pool, etc.) **house remains, shed, garage, pool gazebo**

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: **survey and pictures**

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO
Explain: **yes Loma Pon Rd**

I, the applicant, am seeking permission to: **retain gazebo, legalize room above garage**

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
10' rear (gazebo)	2' and 6'	8'
25' front (garage)	0'	25'
	(Over Property Line, Easement agreement needed)	

State of New York)
)
 ss:
County of Putnam)
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this **15** day of **August** 20**23**
Alice Daly
Notary Public

ALICE DALY
Notary Public, State of New York
No. 01DA6345218
Qualified in Putnam County
Commission Expires July 25, 2024

Petitioner *William Besharat* Date **8/15/23**



AUTHORIZATION FORM

RE: Property of: Robert Altero
(Owner)
Located at: 3 Curry Spur, Mahopac, NY 10541
(Address) (City, Town, Village)
Tax Map #: 53.12-1-7
In the matter of: Altero front and rear yard variance
(Variance Request)

To whom it may concern:

This letter is to authorize William Besharat

a/an (check one) Attorney Engineer Architect Other (Agent)

to apply for the required variance(s) on the above noted property and to sign all necessary papers and make all necessary representations on my behalf in connection with the above-mentioned matter.

Countersigned: William Besharat
(Representative)
William Besharat
(Print Name)

Signed: Robert Altero
(Owner of Property)
Robert Altero
(Print Name)

Mailing Address: 266 Shear Hill Rd
Mahopac
State: NY Zip: 10541
Telephone # 914-330-4999
Date: 8/14/2023
E-mail: Rayexdesign@gmail.com

Mailing Address: 3 Curry Spur
Mahopac
State: NY Zip: 10541
Telephone # _____

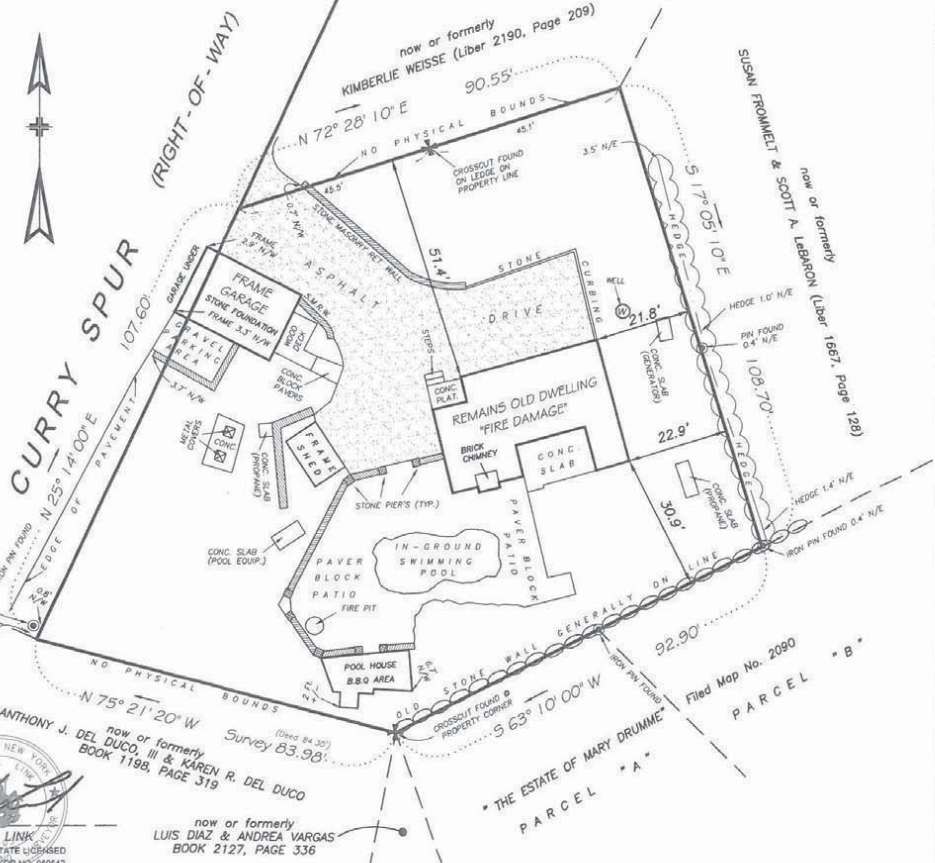
NOTE: The willful submission of false or inaccurate information on this application may result in the dismissal of the application, or the revocation of any action taken on the application, or both.

SURVEY OF PROPERTY
SITUATE IN THE
TOWN of CARMEL
PUTNAM COUNTY
NEW YORK

SCALE: 1" = 20'
SURVEYED: AUGUST 7, 2023

- THE PREMISES SHOWN HEREON DESCRIBED IN DEED RECORDED IN BOOK 1864 PAGE 263 ON OCTOBER 13, 2014, IN THE PUTNAM COUNTY CLERK'S OFFICE.
- PREMISES ARE DESIGNATED ON THE TAX MAPS FOR THE TOWN OF CARMEL as:
SECTION: 53.12 BLOCK: 1 LOT: 7
STREET ADDRESS: 3 CURRY SPUR
PROPERTY AREA: 15,019 Sq. Ft. / 0.3448 Acre
- THIS MAP IS BASED UPON THE INFORMATION SUPPLIED BY THE CLIENT AND/OR HIS REPRESENTATIVE AND SUBJECT TO THE FINDINGS THAT A COMPLETE ABSTRACT OF TITLE MAY UNCOVER
- THE OFFSETS SHOWN HEREON ARE NOT INTENDED TO ESTABLISH PROPERTY LINES FOR THE ERECTION OF FENCES, STRUCTURES OR ANY OTHER IMPROVEMENTS.
- ENCROACHMENTS BELOW GRADE AND/OR SUBSURFACE FEATURES, IF ANY, NOT LOCATED OR SHOWN HEREON.
- UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAWS.
- THE INFORMATION DEPICTED HEREON IS BASED UPON AN ACTUAL FIELD SURVEY AND IS AN OPINION BASED UPON SAID SURVEY. VARIATIONS IN OFFSETS FROM THAT OF THE OTHERS CAN AND MAY EXIST.
- ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S SEAL SHALL BE CONSIDERED TO BE TRUE VALID COPIES.
- THIS MAP WAS PREPARED FROM AN ACTUAL FIELD SURVEY CONDUCTED ON THE DATE SHOWN AND THAT SAID SURVEY WAS PERFORMED IN ACCORDANCE WITH THE EXISTING * CODE OF PRACTICE FOR LAND SURVEYS * ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.

PREPARED FOR: ROBERT ALTERO



Link
Land Surveyors P.C.
 21 Clark Place, Suite 1-B Mahopac, NY 10541
 Phone 845-628-5857

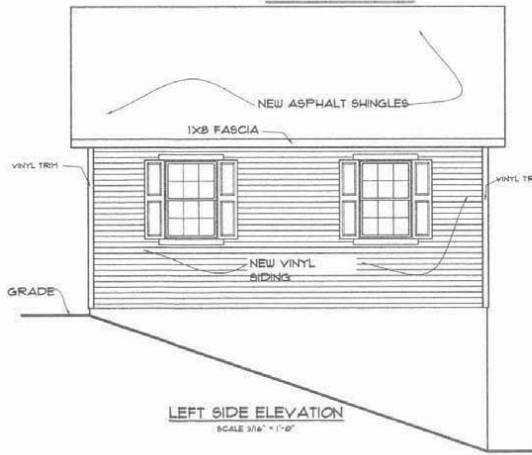
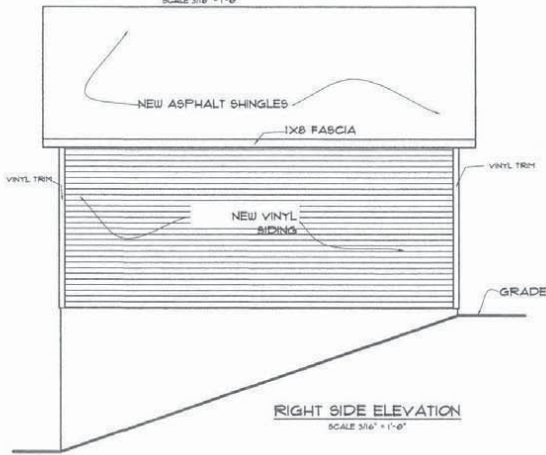
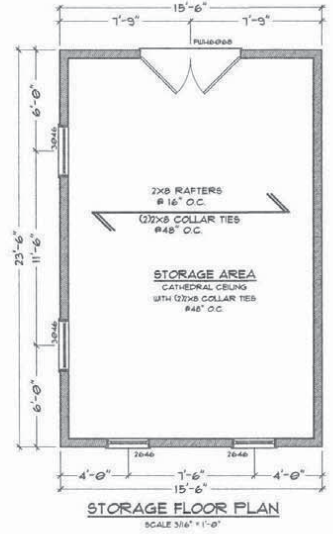
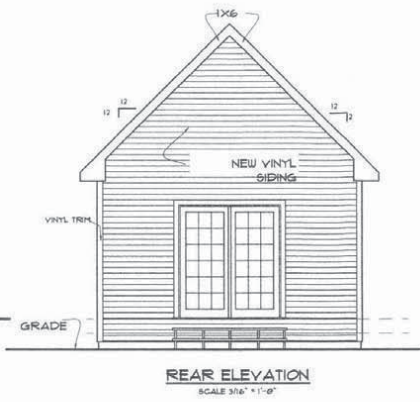
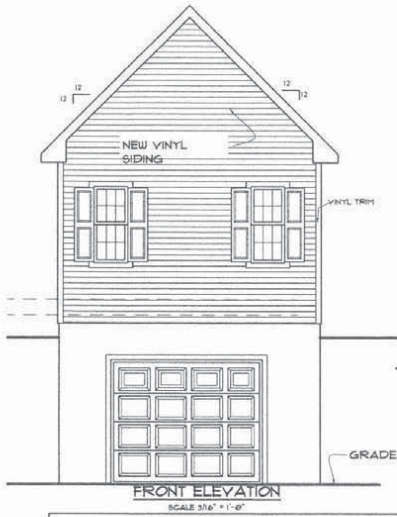


now or formerly
LUIS DIAZ & ANDREA VARGAS
 BOOK 2127, PAGE 336

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Filed Map No. 2080
 PARCEL "B"

"THE ESTATE OF MARY DRUMME"
 PARCEL "A"



RAYEX
DESIGN PLANNING CONSTRUCTION

OWNER: ROBERT ALTERO	JOB #
	DRN BY:
	CHKD BY:
PROJECT: ADDITION TO EXISTING DETACHED GARAGE LOCATED AT 3 CUNY SPUR IN MAHOPAC, TOWN OF CARMEL, NY	TAX MAP #:

SHEET TITLE: FLOOR PLANS & ELEVATIONS
1 OF 1

REVISIONS: DATE: 8/11/2023





ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM (

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

MW

IN THE MATTER OF THE APPEAL
OF
Festo
TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: 11/20, 2023

156.47A1

Application For (circle applicable): Area Variance (156-101) Use Variance Interpretation 280A
Name of Property Owner: Michael J Festo Address: 247 Buckshollow Rd Mahopac NY
Mailing Address: 2 Elizabeth CT Katonah NY Phone Number(s):
Zoning District: R Tax Map: 75.16 - 2 - 1
Applicant is: (circle one) Owner (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]

E-Mail Address _____

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
	<i>No previous heard appearances</i>	<i>(RT)</i>

List all improvements (1 family dwelling, pool, etc.) *Garage & Pool Storage 2 family Dwelling.*

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: *Site plan, proposed elevation plan, proposed section & floor plan.*

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES NO
Explain: *Within 500' of US-Highway 6 & Empire State Trail*

I, the applicant, am seeking permission to: *Encroach upon front & rear setbacks w/ Garage + Expand Non Commercial Use. (2 family)*

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
Accessory front setback of 25'	23.75'	1.25'
Accessory rear setback of 25'	8.83'	16.17'
<i>Front</i>		

State of New York)
County of Putnam) *Westchester*
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

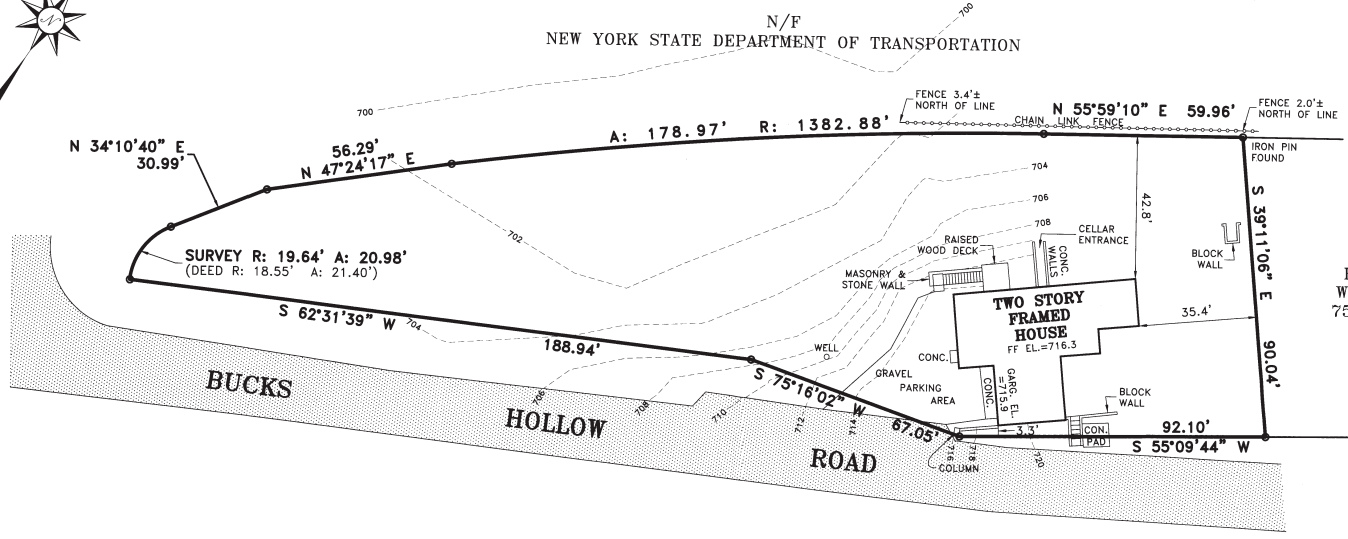
Sworn to before me this *20* day of *November* *2023*

Virginia Montemagno
NOTARY PUBLIC, STATE OF NEW YORK
No. 0TMO6021289
QUALIFIED IN WESTCHESTER COUNTY
COMMISSION EXPIRES MARCH 08, 2027

Petitioner *Michael Festo* Date *11/20/23*



LOT AREA
 21,174.83 S.F.
 OR
 0.49 ACRES



N/F
 BERNIS &
 WEISSBERG
 75.12-2-32

REVISED: SEPT. 20, 2023 (TOPOGRAPHY ADDED)

GENERAL NOTES:

1. THE PREMISES SHOWN HEREON IS GENERALLY AS DESCRIBED IN DEED LIBER-1684 PAGE-468 RECORDED IN THE PUTNAM COUNTY CLERK'S OFFICE.
2. SURVEYED AS PER RECORD DESCRIPTIONS AND EXISTING MONUMENTATION.
3. SUBJECT TO ANY EASEMENTS AND/OR RIGHT OF WAYS THAT AN ACCURATE UP TO DATE ABSTRACT OF TITLE MAY SHOW.
4. THE LOCATION OF ANY SUBSURFACE EASEMENTS, RIGHT OF WAYS, ENCROACHMENTS, AND/OR IMPROVEMENTS, IF ANY EXIST, ARE NOT CERTIFIED OR SHOWN HEREON.
5. ALL CERTIFICATIONS HEREON ARE VALID FOR THIS MAP AND COPIES THEREOF ONLY IF SAID MAP OR COPIES BEAR THE ORIGINAL SEAL OF THE SURVEYOR WHOSE SIGNATURE APPEARS HEREON.
6. ANY ALTERATIONS OR ADDITIONS TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PER SECTION 7209, SUBDIVISION 2.
7. PROPERTY CORNER MONUMENTS WERE NOT PLACED AS PART OF THIS SURVEY.
8. TOPOGRAPHICAL DATUM BASED UPON APPROXIMATE USGS.

W.E. James
 Engineering
 and
 Land Surveying, PLLC
 8 CHEANDA LANE
 WALLKILL, NEW YORK 12589
 PHONE: (845) 686-6622 FAX: (845) 686-6625
 EMAIL: WEJames@optonline.net
 www.wejamesassociates.com

COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A TRUE VALID COPY. GUARANTEES OR CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. GUARANTEES OR CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON IS BASED ON AN ACTUAL FIELD SURVEY COMPLETED ON DECEMBER 28, 2022 (TOPO: SEPT. 19, 2023)

CERTIFIED ONLY TO:
 1. MICHAEL J. FESTO
 2. STEWART TITLE INSURANCE COMPANY
 3. BENCHMARK TITLE AGENCY, LLC

William E. James
WILLIAM E. JAMES, P.E., P.L.S.
 NY STATE PROFESSIONAL LAND SURVEYOR LICENSE #050506

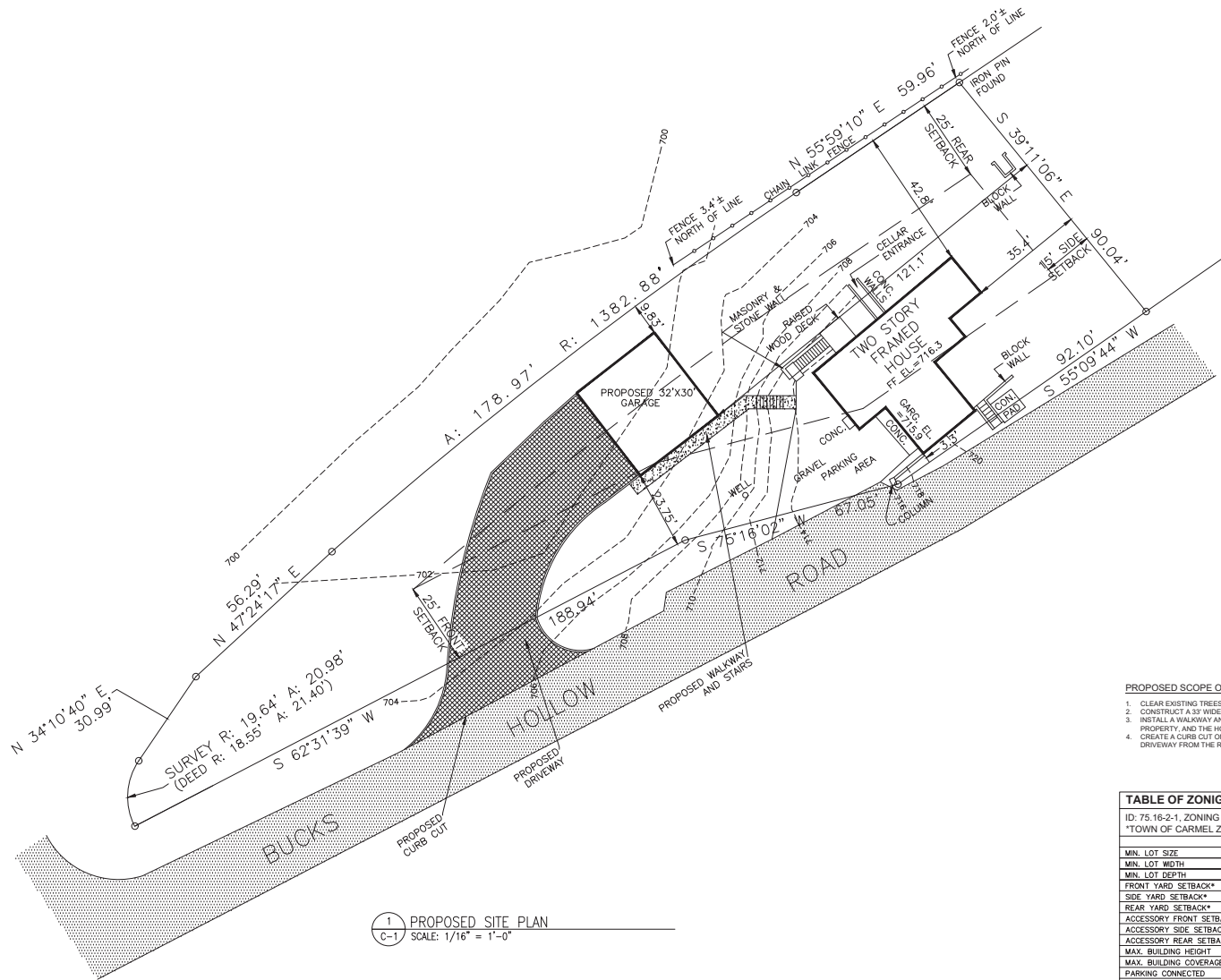
PROJECT TITLE:
 SURVEY PREPARED FOR
Michael J. Festo
 TAX MAP SECTION 75.16, BLOCK 2, LOT 1
 TOWN OF CARMEL
 PUTNAM COUNTY, NEW YORK

SCALE: 1" = 30'
 DATE: JANUARY 1, 2023
 SHEET NO: 1 OF 1

PROJECT CAD REFERENCE:
 PUTNAM COUNTY/TOWN OF CARMEL/BUCKSHOLLOW ROAD/FESTO.DWG

CLIENT
 Michael J. Festo
 2 Elizabeth Court
 Katonah, NY 10536

PROJECT TITLE
PROPOSED 3 CAR GARAGE
247 BUCKSHOLLOW ROAD
MAHOPAC, NY 10541



1 PROPOSED SITE PLAN
 C-1 SCALE: 1/16" = 1'-0"

PROPOSED SCOPE OF WORK:

1. CLEAR EXISTING TREES AND VEGETATION WITHIN PROPOSED WORK AREA.
2. CONSTRUCT A 30' WIDE X 40' DEEP GARAGE TO BE USED FOR PARKING (3 SPACES) AND DRY STORAGE.
3. INSTALL A WALKWAY AND STAIRS CONNECTING THE GARAGE, LOCATED AT THE LOWER ELEVATION OF THE PROPERTY, AND THE HOUSE, LOCATED AT THE UPPER ELEVATION OF THE PROPERTY.
4. CREATE A CURB CUT ON BUCKSHOLLOW ROAD ON THE WESTERN PART OF THE PROPERTY AND INSTALL A DRIVEWAY FROM THE ROAD UP TO THE ENTRANCE OF THE GARAGE.

TABLE OF ZONING DATA:

ID: 75.16-2-1, ZONING DISTRICT: R
 *TOWN OF CARMEL ZONING CODE SECTION §156-101

	REQUIRED	EXISTING	PROPOSED
MIN. LOT SIZE	120,000 S.F.	21,175 S.F.	NO CHANGE
MIN. LOT WIDTH	200 FT.	348.09 FT.	NO CHANGE
MIN. LOT DEPTH	200 FT.	90.04 FT.	NO CHANGE
FRONT YARD SETBACK*	25 FT.	3.3 FT.	NO CHANGE
SIDE YARD SETBACK**	15 FT.	35.4 FT.	NO CHANGE
REAR YARD SETBACK**	25 FT.	42.8 FT.	NO CHANGE
ACCESSORY FRONT SETBACK*	25 FT.	N/A	23.75 FT. (VARIANCE REQUIRED)
ACCESSORY SIDE SETBACK*	10 FT.	N/A	121.1 FT.
ACCESSORY REAR SETBACK**	25 FT.	N/A	9.83 FT. (VARIANCE REQUIRED)
MAX. BUILDING HEIGHT	35 FT.	N/A	23.17 FT.
MAX. BUILDING COVERAGE	15%	6.98%	11.51%
PARKING CONNECTED	1	2	NO CHANGE
TOTAL PARKING SPACES	4	4	7

NO.	DATE	REVISION
1	1/17/2024	Driveway Location
2	3/15/2024	Garage Size

SITE PLAN, ZONING & NOTES

C-1

11/15/2023

AS NOTED
(UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF NY STATE EDUCATIONAL LAW 105B-ARTICLE 14A)

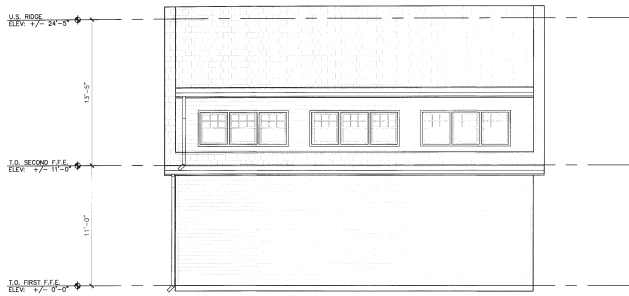
JMER ENGINEERING, P.C.

55 PARK AVE
 COSSING, NY 10562
 PHONE: 518-256-5780

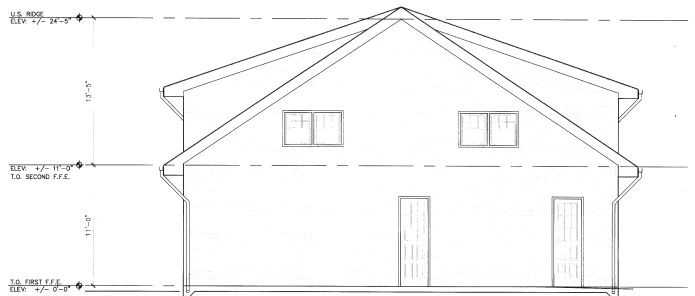
DATE:
 Michael J. Festo
 2 Elizabeth Court
 Katonah, NY 10536

PROJECT:

PROPOSED 3 CAR GARAGE
 247 BUCKSHOLLOW ROAD
 MAHOPAC, NY 10541



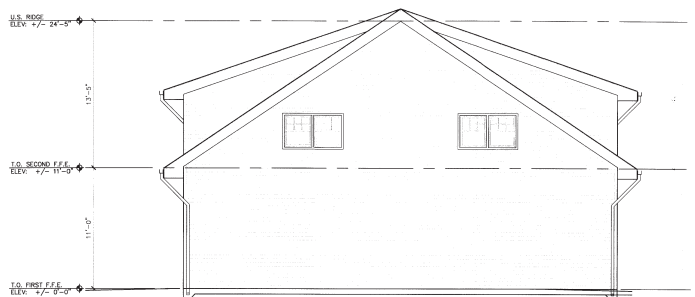
1 NORTH ELEVATION
 A-2 SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
 A-2 SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION
 A-2 SCALE: 1/4" = 1'-0"



4 WEST ELEVATION
 A-2 SCALE: 1/4" = 1'-0"

NO.	DATE	REVISION

PROPOSED ELEVATIONS

A-1
 11/15/2023
 1/4" = 1'-0"

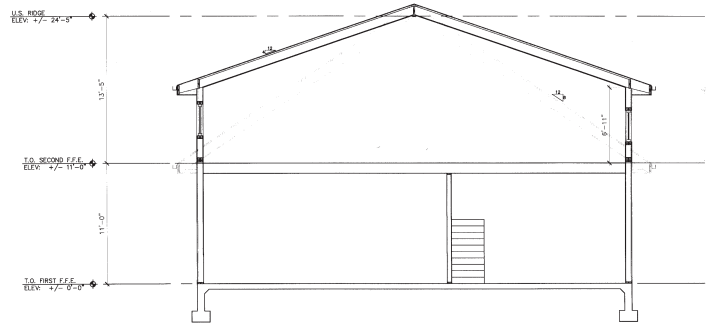
THIS DRAWING IS THE PROPERTY OF JMER ENGINEERING, P.C. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

JMER ENGINEERING, P.C.

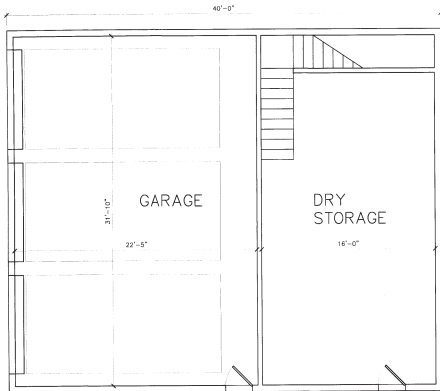
55 PARK AVE
OSWING, NY 10562
PHONE: 914-255-5190

DATE:
Michael J. Festo
2 Elizabeth Court
Katonah, NY 10536

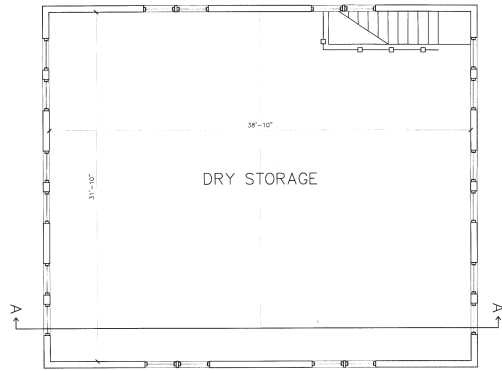
PROPOSED 3 CAR GARAGE
247 BUCKSHOLLOW ROAD
MAHOPAC, NY 10541



1 SECTION
A-2 SCALE: 1/4" = 1'-0"



2 FIRST FLOOR LAYOUT PLAN
A-2 SCALE: 1/4" = 1'-0"



2 SECOND FLOOR LAYOUT PLAN
A-2 SCALE: 1/4" = 1'-0"

NO.	DATE	REVISION

PROPOSED SECTION & FLOOR PLANS

DATE: 11/15/2023
SCALE: 1/4" = 1'-0"

THIS DOCUMENT IS THE PROPERTY OF JMER ENGINEERING, P.C. AND IS TO BE USED ONLY FOR THE PROJECT AND LOCATION SPECIFICALLY IDENTIFIED HEREIN.



Address Identifier



Building Front View



Building Right Side View #1



Building Back View



Building Left Side View



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

MC

IN THE MATTER OF THE APPEAL
OF
Vukaj
TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: 11/29/2023

156.47 A1

Application For (circle applicable): Area Variance (Use Variance) Use Variance Interpretation 280A
Name of Property Owner: DRANA VUKAJ Address: 515 Route 6N Mahopac NY 10541

Mailing Address: SOME Phone Number(s): _____

Zoning District: R-120 Tax Map: 75-10 - 1 - 18

Applicant is: (circle one) Owner (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]

E-Mail Address: _____

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
<u>10/2005</u>	<u>Construct Addition</u>	<u>GRANTED</u>

List all improvements (1 family dwelling, pool, etc.) ~~2-1 family, 1-2 family, garage + pool + Pergola~~

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: Survey + Photos

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands YES/NO
Explain: Rt 6N

I, the applicant, am seeking permission to: put up a pergola near the pool on Lot w/ 2-1 family dwelling + 1-1 family dwelling

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED

State of New York)
 ss:
County of Putnam)
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this 28 day of Nov 20 23
Patricia R. Genna
Notary Public

PATRICIA R. GENNA
Notary Public, State of New York
No. 05GE6162305
Qualified in Putnam County
Commission Expires 3-12-2027

Petitioner [Signature] Date 11/23/23

SURVEY OF PROPERTY
 PREPARED FOR
DORIS A. EDES
 PROPERTY SITUATE IN
TOWN OF CARMEL
COUNTY OF PUTNAM
STATE OF NEW YORK

SCALE: 1" = 40'

DATE: JULY 8, 1996

The premises shown hereon being lands described in Liber 612, Page 78 of deeds; the description recited therein lacks property dimensions and "calls" for physical monumentation. The lines shown hereon were derived as follows:

1. Line of lands of the City of New York was held in accordance with cross cuts found, as referenced hereon.
2. Line along Ballard-Barrett Cemetery, Inc. held as being on or near stone wall; westerly terminus of said line established by holding distance given on Filed Map No. 196-C.
3. Lines along Red Mills Baptist Church are in accordance with a survey by R.H. Gorr, and in accordance with existing physical bounds.
4. The highway boundary along N.Y. Route 6N as shown is an assumed road line, derived by holding the road face of wall as evidence of the extent of lands in public use.

AREA = 1.805 ACRES
 (78,637 SQ. FT.)

Certified, as noted and limited below, only to:
 - DORIS A. EDES

The surveyor's seal, signature and any certification appearing hereon signify that, to the best of his knowledge and belief, this survey was prepared in accordance with the minimum standards for land surveys as set forth in the Code of Practice adopted by the New York State Association of Professional Land Surveyors, Inc.

Certifications shall run only to the person for whom this survey was prepared, and on his behalf, to the title company, lending institution and governmental agency listed hereon; said certifications are not intended to run to additional title companies, lending institutions, subsequent owners or future contract vendees.

Prepared by:
Baxter Land Surveying, P.C.
 P. O. Box 147
 Mahopac, New York 10541

[Signature]
ROBERT E. BAXTER, P.L.S.
 N.Y.S. Lic. No. 49434

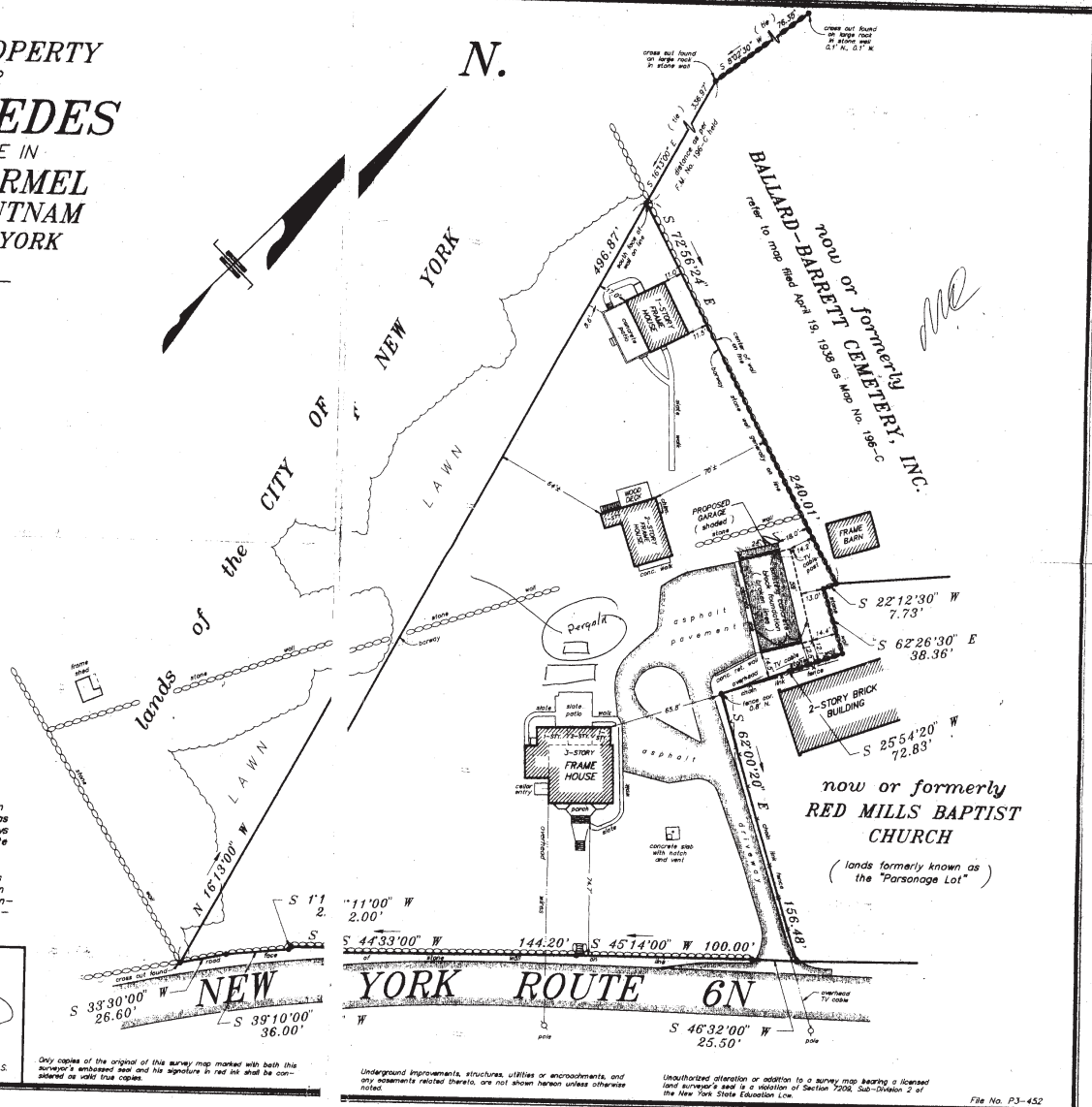
Phone: (914) 621-8562

Only copies of the original of this survey map marked with both this acceptor's enclosed seal and the signature in red ink shall be considered as valid true copies.

Underground improvements, structures, utilities or encroachments, and any easements related thereto, are not shown hereon unless otherwise noted.

Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of Section 7206, Sub-Division 2 of the New York State Education Law.

File No. P3-452













ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

1716

IN THE MATTER OF THE APPEAL
OF
Wendy Guthro

TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: _____, 20____

Application For (circle applicable): Area Variance () Use Variance Interpretation 280A
73 Myrtle Ave., Mahopac, NY

Name of Property Owner: _____ Address: _____ (Address) (City) (State)

Mailing Address: 17 Tree Top Ct., Burlington, MA 01803 Phone Number(s) _____ (Address) (City) (State)

Zoning District: R Tax Map: 75.14 - 1 - 16 (R-120, Commercial, C.B.P. or Combination) (Section) (Block) (Lot)

Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]

E-Mail Address: _____

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
12/21/1989	Raise roof of garage	Approved
2/22/1990	— Raise roof of garage	Approved

List all improvements (1 family dwelling, pool, etc.) 1 Family Dwelling & Accessory Apt. in separate structure

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: survey, photos, plans, septic approval

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO
Explain: Yes Myrtle Avenue

I, the applicant, seeking permission to: Amend D&O dated 2/21/1990 to eliminate condition "no residential use of structure"
To add Accessory Apt. above garage Built before 1998

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
	See attached	

State of New York)
County of Putnam)
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this 10th day of January 2014
Margaret Ferreri Buechel
Notary Public

MARGARET FERRERI BUECHEL
Notary Public, State of New York
No. 4516019
Qualified in Dutchess County
Commission Expires February 8, 2016

Petitioner: _____ Date: _____

ATTACHMENT TO ZBA APPLICATION

CODE REQUIRES/ALLOWS	PROVIDED	VARIANCE REQUIRED
Code requires accessory Apartment no more than 35% of size of the main House	Accessory apartment is 76% of the size of the main house Main house 1011 ft. Acc. Apt. 772 ft.	41% variance or 418 ft.



AUTHORIZATION FORM

RE: Property of: Wendy Guthro
(Owner)
 Located at: 73 Myrtle Avenue Mahopac, NY
(Address) (City, Town, Village)
 Tax Map #: 75.14-1-16
 In the matter of: Variance for accessory apartment
(Variance Request)

To whom it may concern:

This letter is to authorize Shilling & Smith, P.C.

a/an (check one) Attorney Engineer Architect Other _____

to apply for the required variance(s) on the above noted property and to sign all necessary papers and make all necessary representations on my behalf in connection with the above-mentioned matter.

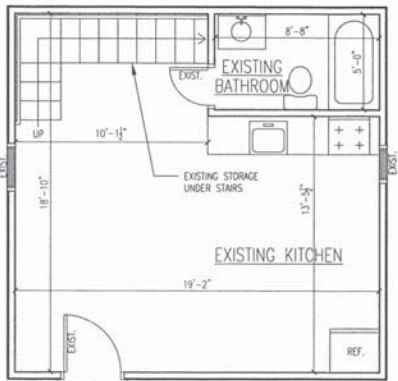
Countersigned:
(Representative)
William A. Shilling, Jr., Esq.
(Print Name)

Signed:
(Owner of Property)
Wendy Guthro
(Print Name)

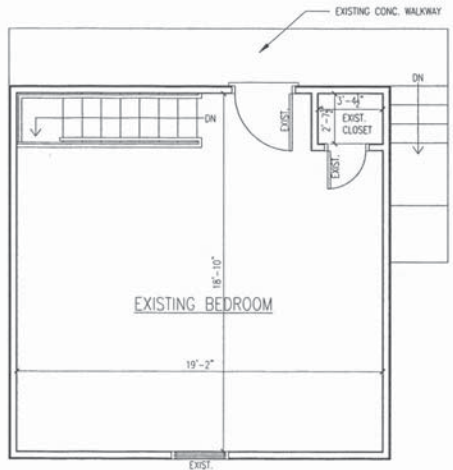
Mailing Address: Shilling & Smith, P.C.
1961 Route 6, Suite U3, Carmel
 State: NY Zip: 01803
 Telephone # 845-225-7500
 Date: _____
 E-mail: wastaw@shillinglegal.com

Mailing Address: 17 Tree Top Ct.
Burlington
 State: VT Zip: 01803
 Telephone # _____

NOTE: The willful submission of false or inaccurate information on this application may result in the dismissal of the application, or the revocation of any action taken on the application, or both.



1 EXISTING FIRST FLOOR PLAN
1/4"=1'-0"



2 EXISTING SECOND FLOOR PLAN
1/4"=1'-0"

ARCHITECTURAL
VISIONS

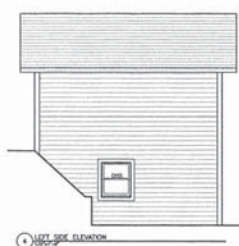
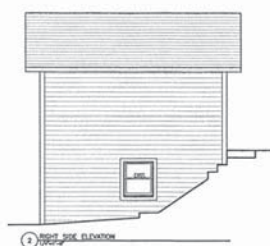
PROJECT:
WENDY GUTHRO

EXISTING APARTMENT PLANS

DATE: 10/15/10

SCALE: 1/4"=1'-0"

A-100



ARCHITECTURAL
DESIGN

2000 W. 10TH AVENUE, SUITE 100 DENVER, CO 80202
 303.733.1111

PROJECT
 WENDY GUTHRO
 1000 W. 10TH AVENUE, SUITE 100 DENVER, CO 80202
 303.733.1111

APARTMENT ELEVATIONS

NO. OF SHEETS	
SHEET NO.	
TITLE	
DATE	
BY	
CHECKED BY	
DATE	
SCALE	

A-200



RECEIVED
FEB 07 2024
Alice Daly

Google



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

1100V
ME
Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

IN THE MATTER OF THE APPEAL
OF
Simone
TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: 1/10, 2024

Application For (circle applicable): Area Variance (156.15) ^{156.47A1} Use Variance Interpretation 280A
 Name of Property Owner: Thomas Simone Address: 9 Ballatah Dr, Mahopac
 Mailing Address: 155 Buckshollow Rd Mahopac Phone Number(s): -
 Zoning District: R-120 Tax Map: 75.16 - 1 - 30
 Applicant is: (circle one) Owner (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]

E-Mail Address: _____
 Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
	<u>28A</u>	<u>Denial</u>
	<u>NO previous appearances</u>	

List all improvements (1 family dwelling, pool, etc.) 2 family house
 The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: Survey + Sketches

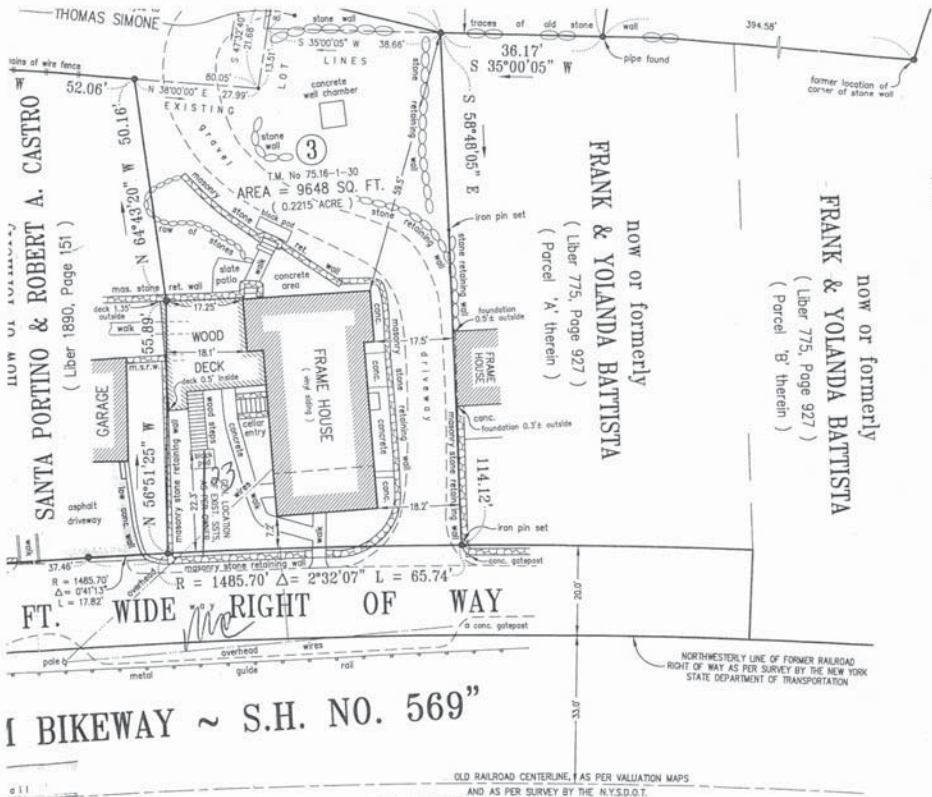
Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES
 Explain: Rt 6
 I, the applicant, am seeking permission to: Retain Deck

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
<u>25' Front</u>	<u>23' (+ steps)</u>	<u>2'</u>
<u>10' Side</u>	<u>.5'</u>	<u>9.5'</u>

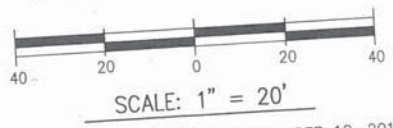
State of New York)
 County of Putnam)
 The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.
 Sworn to before me this 10th day of Jan 2024
 Notary Public: Alice Daly

ALICE DALY
 Notary Public, State of New York
 No. 01DA6345218
 Qualified in Putnam County
 Commission Expires July 25, 2024

Petitioner: Thomas Simone Date: 1/10/2024



SKETCH SUBDIVISION PLAT
 SHOWING
 PROPOSED LOT LINE REALIGNMENT
 PREPARED FOR
THOMAS SIMONE
 &
GENE SIMONE
 PROPERTY SITUATE IN
 TOWN OF CARMEL
 COUNTY OF PUTNAM
 STATE OF NEW YORK



FIELD SURVEY COMPLETED: SEPTEMBER 10, 2012
 SKETCH PLAT PREPARED: SEPTEMBER 19, 2012

1 BIKEWAY ~ S.H. NO. 569''
 of the PEOPLE OF THE STATE OF NEW YORK
 NEW YORK CENTRAL RAILROAD, PUTNAM DIVISION

now or formerly
FRANK & YOLANDA BATTISTA
 (Parcel 'A' therein)
 (Liber 775, Page 927)

now or formerly
FRANK & YOLANDA BATTISTA
 (Parcel 'B' therein)
 (Liber 775, Page 927)

now or formerly
SANTA PORTINO & ROBERT A. CASTRO
 (Liber 1890, Page 151)

of the PEOPLE OF THE STATE OF NEW YORK
 NEW YORK CENTRAL RAILROAD, PUTNAM DIVISION





ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

IN THE MATTER OF THE APPEAL
OF
Richard & Aristid Shllaku
TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: February 20, 2024

Application For (circle applicable): Area Variance () Use Variance Interpretation 280A
Name of Property Owner: Richard & Aristid Shllaku Address: 345 Austin Road Mahopac, NY
Mailing Address: 59 Thurton Place Yonkers, NY 10704 Phone Number(s) _____
Zoning District: R - 120 Tax Map: 64.9 - 1 - 13
Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]
E-Mail Address: _____

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS

List all improvements (1 family dwelling, pool, etc.) Currently vacant. House burned down in mid 2000's
The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: Subdivision plans
Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO
Explain: No
I, the applicant, am seeking permission to: Subdivide the existing 5.84 +/- acres (254,364 s.f.) into two building lots

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
Lot 1 Width 200 feet	64.71 feet	135.29 feet
Lot 1 Frontage 100 feet	77.11 feet	22.89 feet
Lot 2 Width 200 feet	65.21 feet	134.79 feet
Lot 2 Frontage 100 feet	77.11 feet	22.89 feet
Lot 1 depth line exits and re-enters the lot		
Lot 2 depth line exits and re-enters the lot		

State of New York)
ss:
County of Putnam)
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this 20 day of Feb 2024
Kathleen A Linnane
Notary Public

KATHLEEN A LINNANE
NOTARY PUBLIC-STATE OF NEW YORK
No. 01LI6333949
Qualified in Rockland County
My Commission Expires 12-07-2027

Petitioner Rich Shllaku Date 2-20-24



AUTHORIZATION FORM

RE: Property of: Richard & Aristid Shllaku
Located at: 345 Austin Road (Address), Mahopac (City, Town, Village)
Tax Map #: 64.9 - 1 - 13

In the matter of: Both proposed lots needing Lot frontage, lot width and lot depth line exits and re-enters the lot variances
(Variance Request)

To whom it may concern:

This letter is to authorize Paul M. Lynch, P.E.

a/an (check one) Attorney Engineer Architect Other _____

to apply for the required variance(s) on the above noted property and to sign all necessary papers and make all necessary representations on my behalf in connection with the above-mentioned matter.

Countersigned: [Signature]
(Representative)
Paul M. Lynch, P.E.
(Print Name)

Signed: [Signature]
(Owner of Property)
Richard Shllaku
(Print Name)

Mailing Address: 4 Old Route 6
Brewster
State: New York Zip: 10704
Telephone # 845 279 6789
Date: February 20, 2024
E-mail: plynch@putnameng.com

Mailing Address: 59 Thurton Place
Yonkers
State: New York Zip: 10704
Telephone # _____

NOTE: The willful submission of false or inaccurate information on this application may result in the dismissal of the application, or the revocation of any action taken on the application, or both.

ADJOINERS:

TAX MAP #	OWNER	TAX MAP #	OWNER
845-1-14	DEPNO, STEPHEN	845-1-10	MARGOTTO, GARY T.
845-1-81	VITALIANO, R. ANTHONY J.	845-1-9	MARINO, JEFF
845-1-82	MARANO, LUIGI T.	845-1-2	TAPPA, WALTER
845-1-83	WILLIAMS, RICHARD	845-1-3	NEUMAYER, MADELINE
845-1-22	PUNYAY, GOVIND	845-1-4	ATKINSON, ALYSSA G.
845-1-23	BISHNUP, ROBERT E.	845-1-8	JEDKOCA, RONALD G.
845-1-285	WALLACE, BRETT	845-1-9	JEDKOCA, RONALD G.
845-1-289	WALLACE, BRETT	845-1-11	WELAND, GREGORY T.
845-1-29	WALLACE, BRETT	845-1-9	RODGERS, EDWARD A.
845-1-1	MCCALLEN, GLENN	845-1-33	AMALFITANO, ANDREW
845-1-12	HOLMES, ANGELA		

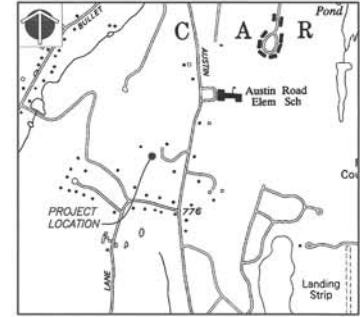
ZONING SCHEDULE

R - RESIDENTIAL	REQUIRED	LOT 1	LOT 2
MIN LOT DIMENSIONS			
MIN AREA (SQ FT.)	20,000	10,775	10,424
MIN WIDTH (FT.)	200	84.4'	83.2'
MIN DEPTH (FT.)	200	87.0'	94.8'
MIN YARD DIMENSIONS			
FRONT (FT.)	40	40.7'	42'
SIDE (FT.)	25	100'	71'
REAR (FT.)	40	50.8'	34'
MAX HEIGHT OF BUILDING (FT.)	35	35'	35'
MAX LOT COVERAGE (%)	8	2	18
MIN ROAD FRONTAGE (FT.)	100	113'	113'

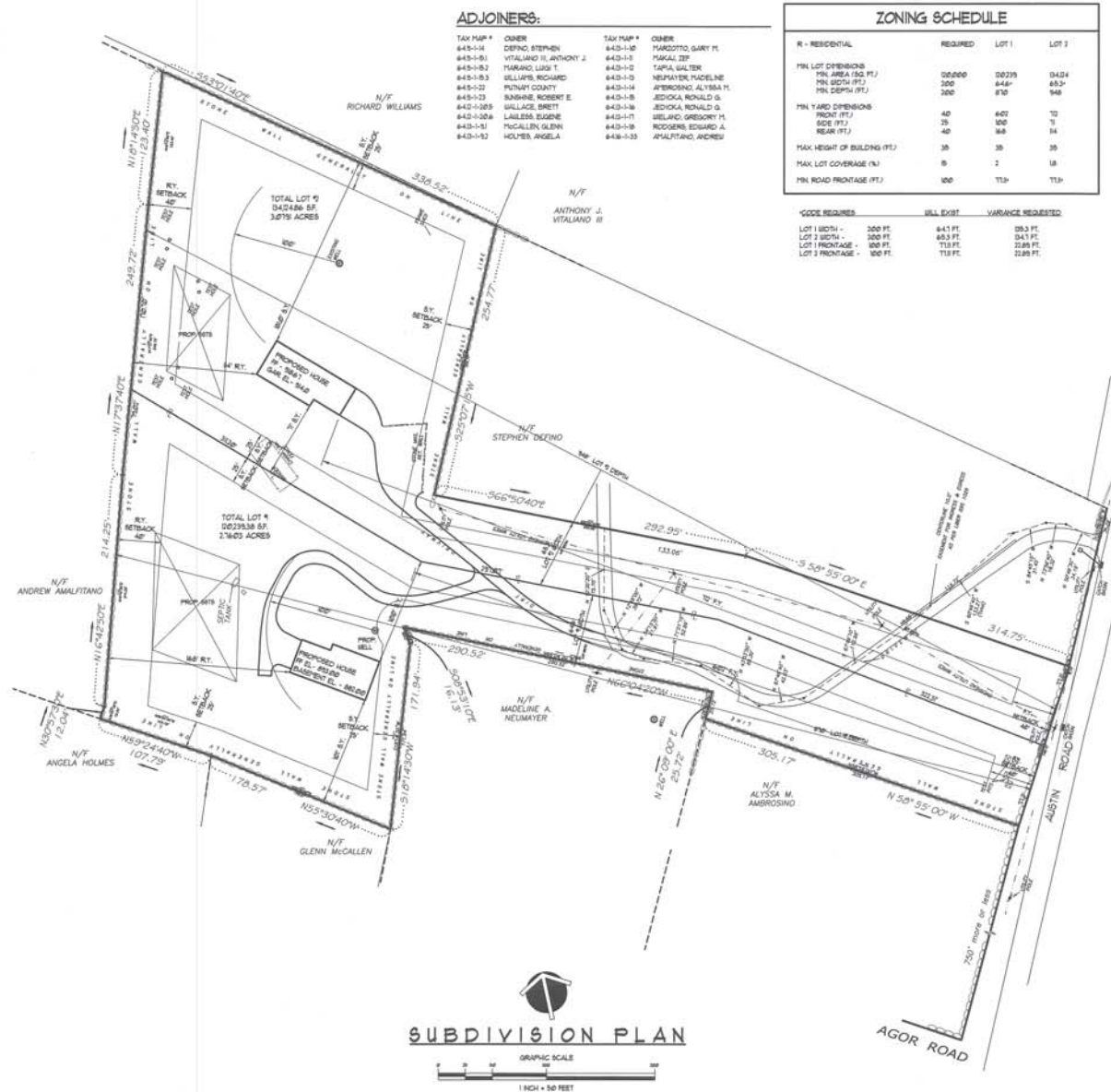
CODE REQUIRED	MIN. EXIST.	VARIANCE REQUESTED
LOT 1 WIDTH - 200 FT.	84.1 FT.	28.3 FT.
LOT 2 WIDTH - 200 FT.	85.3 FT.	34.1 FT.
LOT 1 FRONTAGE - 100 FT.	113.8 FT.	22.8 FT.
LOT 2 FRONTAGE - 100 FT.	113.8 FT.	22.8 FT.



AREA MAP
SCALE: 1"=500'



LOCATION MAP
SCALE: 1"=1,000'



SUBDIVISION PLAN
GRAPHIC SCALE
1 INCH = 50 FEET

SUBDIVISION PLAN NOTES:

- OWNER/APPLICANT: SHLLAKU DEVELOPMENT, INC.
RICHARD SHLLAKU
817 NORTH PLACE
YONKERS, NY 10704
- PROJECT LOCATION: 345 AUSTIN ROAD
TOWN OF CARMEL
TAX MAP 845-1-3
- TOPOGRAPHIC AND BOUNDARY INFORMATION BASED UPON A SURVEY KNOWN AS "SURVEY OF PROPERTY SITUATE IN THE TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK" PREPARED BY LANCE LAND SURVEYORS, 31 CLARK PLACE, FAHOPAC, NY 10964, LAST REVISED JULY 28, 2020.
- LOT AREA: 384,364 SQ. FT. (8.8394 ACRES)
NUMBER OF PROPOSED LOTS: 2
- VERTICAL DATUM: 7 FOOT CONTOUR INTERVAL, NAVD 83 (NORTH AMERICAN VERTICAL DATUM 1988)
- THERE ARE NO WATERCOURSES, WETLANDS OR FLOODPLAINS WITHIN 100 FEET, EXCEPT AS NOTED.
- THE APPLICANT SHALL NOTIFY THE TOWN OF CARMEL ENGINEERING DEPARTMENT AT LEAST 3 DAYS PRIOR TO THE COMMENCEMENT OF ANY WORK ON THE SITE. CONTACT NUMBER IS 848-428-800 (EXTENSION 8).
- PROPOSED LOTS ARE TO BE SERVED BY ON SITE DRILLED WELLS AND INDIVIDUAL SUB SURFACE SANITARY TREATMENT SYSTEMS.
- ALL PROPOSED UTILITIES FROM THE LAST EXISTING POLE ON SITE SHALL BE INSTALLED UNDERGROUND AND IN CONFORMANCE WITH THE UTILITY COMPANY AND TOWN REQUIREMENTS.
- THERE ARE NO AREAS TO BE RESERVED FOR RECREATION OPEN SPACE.

OWNER/APPLICANT APPROVAL

THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THESE DRAWINGS, THEIR CONTENTS AND THEIR LEGACY AND HEREBY CONSENTS TO ALL THEIR SAID TERMS AND CONDITIONS AS STATED HEREON. FURTHER, THE OWNER CONSENTS TO THE FILING OF THIS MAP.

SIGNED THIS _____ DAY OF _____, 20____

PLANNING BOARD APPROVAL

APPROVAL HEREBY GRANTED THIS _____ DAY OF _____, 20____ IF BUILDING POINTS IS NOT FORCED WITHIN 12 MONTHS FROM THE ABOVE DATE, THE APPROVAL BECOMES NULL AND VOID.

TOWN OF CARMEL PLANNING BOARD
SIGNED THIS _____ DAY OF _____, 20____ BY _____
CHAIRMAN _____

TABLE OF AREAS:

LOT #	216.83 AC
LOT #2	3.8791 AC
TOTAL SITE AREA	5.8394 AC

DENIED
BY TOWN OF CARMEL
PLANNING BOARD ON
DATE 2/18/2024
Ucc-CHAIRMAN *[Signature]*

PUTNAM ENGINEERING, PLLC
ENGINEERS - ARCHITECTS
4 OLD ROUTE 6, BREWSTER, NEW YORK 10509
(845) 278-6789 FAX (845) 278-6785
© PUTNAM ENGINEERING, PLLC 2024

PURSUANT TO NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209 SUBDIVISION 2, "IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER AN ITEM IN ANY WAY, IF AN ITEM BEARING THE SEAL OF AN ENGINEER IS ALTERED. THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL, AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

NO.	DATE	DESCRIPTION
1	1/28/2024	DRIVEWAY LAYOUT & NEW TOPOGRAPHY

INTEGRATED PLOT PLAN PREPARED FOR
SHLLAKU DEVELOPMENT, INC.
PROPERTY LOCATION:
345 AUSTIN ROAD, FAHOPAC, NY
(TOWN OF CARMEL)
PUTNAM COUNTY, NEW YORK
TAX MAP NO. 845, BLOCK 1 LOT 3

DATE	30 JUNE 2023
PROJECT MANAGER	RPL
DRAWN BY	EDB
CHECKED BY	RPL
SCALE	AS NOTED

SKETCH
SUBDIVISION PLAN
2 LOT SUBDIVISION
PROJECT NUMBER: 8450
DRAWING NUMBER: C-110
SHEET 1 OF 3



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

MA

IN THE MATTER OF THE APPEAL
OF
Scarfone Fence
TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: 2/27, 20 24

Application For (circle applicable): Area Variance (150-15) Use Variance Interpretation 280A
Name of Property Owner: Vincent Scarfone Address: 799 S. Lake Blvd Mahopac NY
Mailing Address: same Phone Number(s): _____
Zoning District: R120 Tax Map: 75.43 - 1 - 17
Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]
E-Mail Address: _____

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
	<u>addition balena roof porch cover</u>	<u>Dma</u>

List all improvements (1 family dwelling, pool, etc.) _____

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: survey, photos

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public land? YES/NO
Explain: Lake Mahopac, Route 60

I, the applicant, am seeking permission to: replace/repair front wall + fence

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
<u>4' Fence (Front)</u>	<u>4' 6" 6' 2"</u>	<u>4' 0" 2' 2"</u>

State of New York)
 ss:
County of Putnam)
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this 27th day of Feb, 20 24

Alice Daly
Notary Public

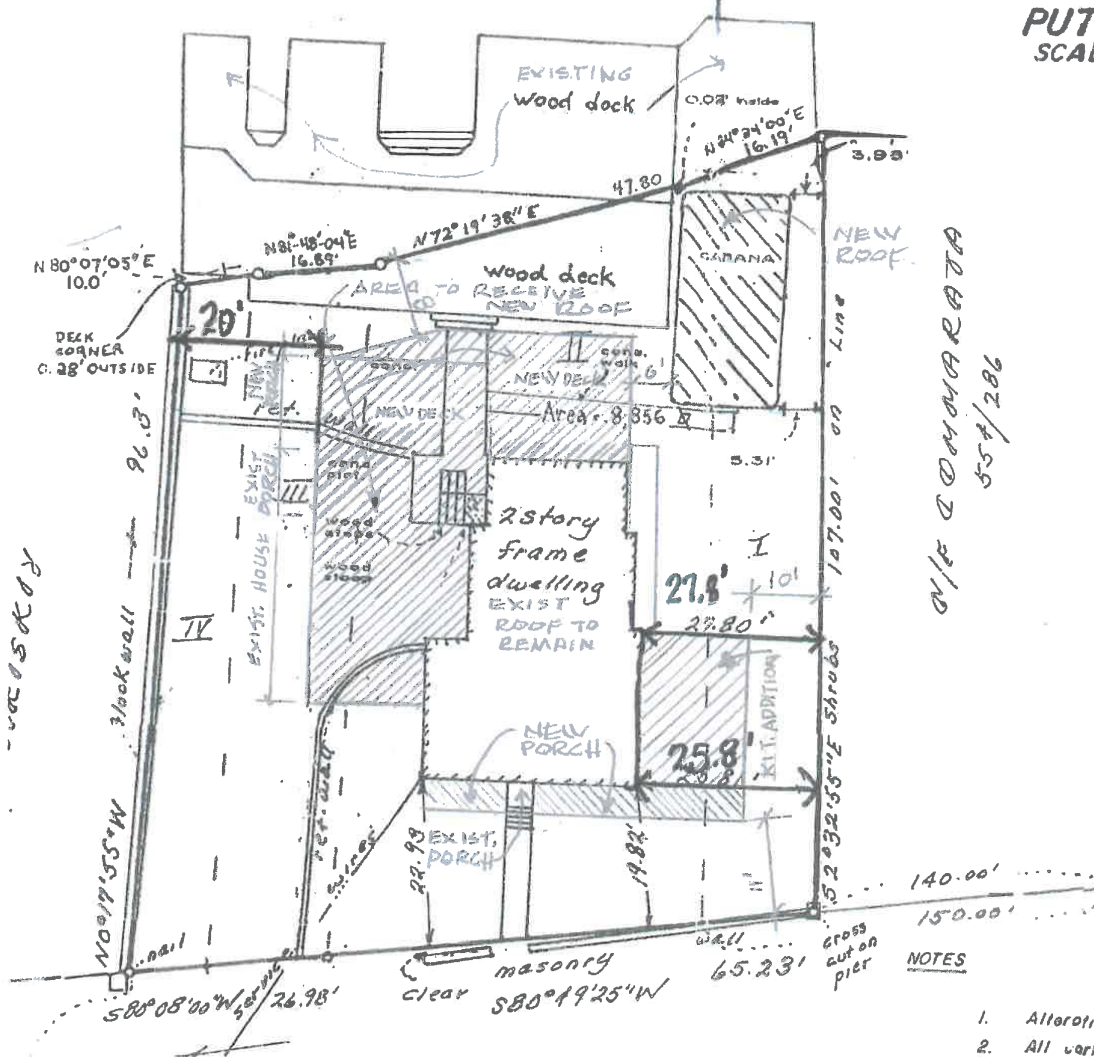
ALICE DALY
Notary Public, State of New York
No. 01DA6345218
Qualified in Putnam County
Commission Expires July 25, 2024

Petitioner Vincent Scarfone Date 2/27/2024

LAKE MADONNA

SU
DR. BERT...

FOR
PUTNAM
SCALE 1 IN.



O/E COMMARATA
554/286

CERTIFIED
Putnam

I, R.
surveyor
survey shown
June 1
plotted by
this survey
the existing
adopted by
Professionals

RICI
by
JACOBUS

NOTES

1. Alteration of this a
2. All verifications of
said map or copies
there appears hereon
3. Map brought to date
4. Map revised 6/30,

east face
of wall

ROUTE 6N
(SOUTH LAKE BOULEVARD)

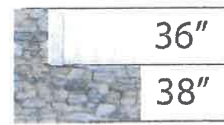
EXISTING height



36"

44"

NEW height



36"

38"

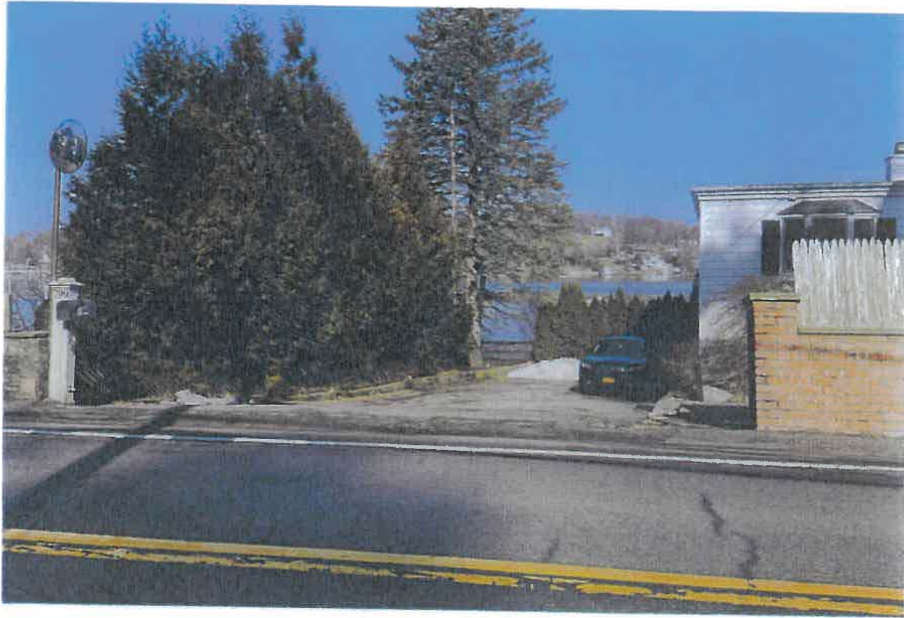
overall length 68 ft

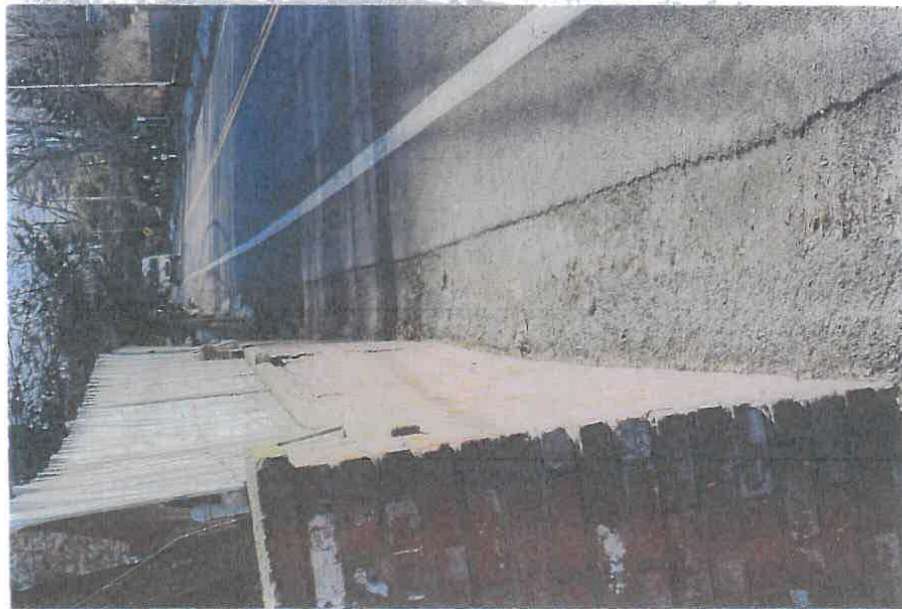


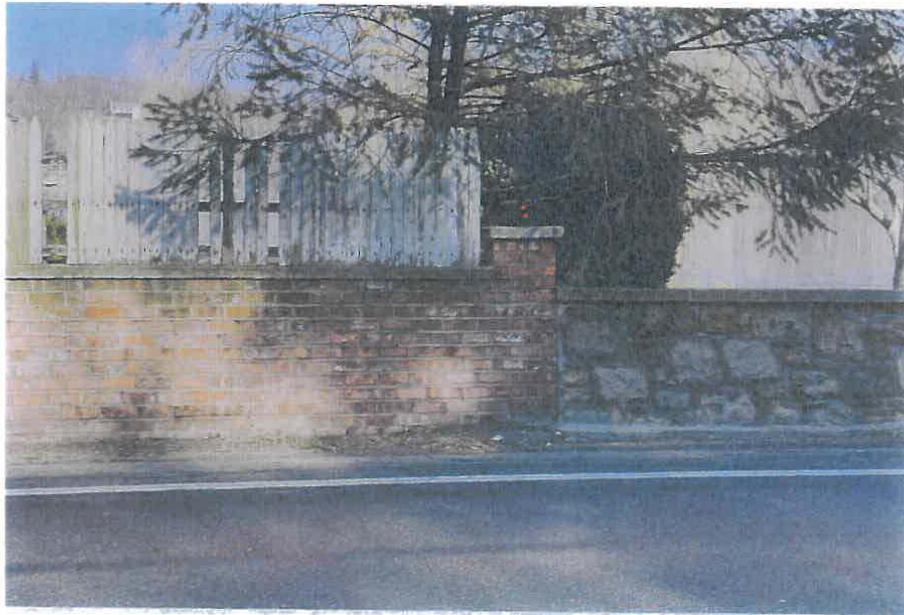
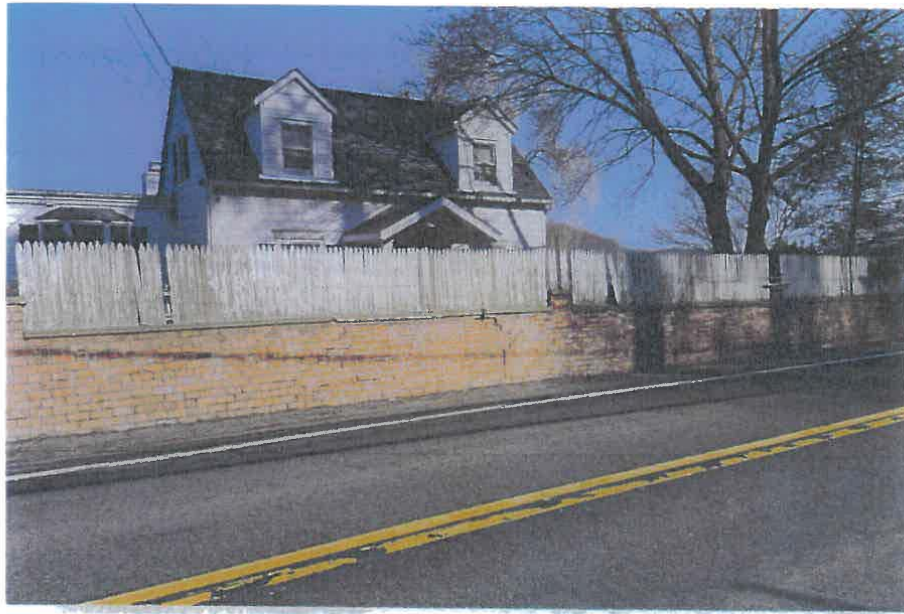
















ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

me A

IN THE MATTER OF THE APPEAL
OF
Morgado
TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: 3/7, 2024

Application For (circle applicable): Area Variance (156.15) Use Variance Interpretation 280A
 Name of Property Owner: Luis Morgado Address: 14 Foxi St. Carmel, NY 10572
 Mailing Address: 29 Duke Dr. Carmel, NY Phone Number(s): _____
 Zoning District: C Tax Map: 44.18 - 1 - 18
 Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]
 E-Mail Address: _____

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
1990	Interpretation - off-site pkg -	<u>Done</u>
	Variance granted w/ conditions	

List all improvements (1 family dwelling, pool, etc.) Commercial Building (2 story over basement)

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: Survey, Site Plan, Plans

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? NO
 Explain: Foxi St + Rt 52

I, the applicant, am seeking permission to: Add front porch to commercial Bldg (ADA access)

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
<u>40' Front</u>	<u>10'</u>	<u>30'</u>
<u>25 Side</u>	<u>18.08'</u>	<u>6.92'</u>

State of New York)
 ss:)

County of Putnam)

The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this 7th day of March 2024

Alice Daly
 Notary Public

ALICE DALY
 Notary Public, State of New York
 No. 01DA6345218
 Qualified in Putnam County
 Commission Expires July 25, 2024

Petitioner [Signature] Date 3/7/24

TM: 4418-1-18

On 2-9-2024

Checked by SWM

Drawn by MEY

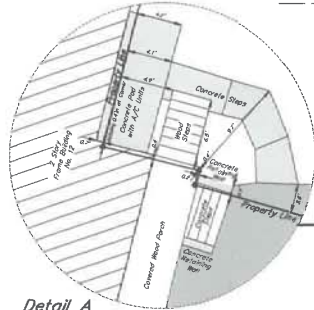
Spall checked by MEY

Checked by SWM

W.G. No. 27164

Layout: SURVEY

Drawing Name: L527164_01_022.DWG



Detail A
Scale: 1"=5'

Area = 6,712 Sq. Ft.

This map was prepared for the exclusive use of and is certified only for:
MORGADO & MATEUS PROPERTIES, LLC.



- Notes
1. COPYRIGHT "2024" by BADEY & WATSON Surveying & Engineering, D.P.C. All Rights Reserved. Unauthorized duplication is a violation of applicable laws.
 2. Unauthorized alteration or addition to a document prepared by a licensed land surveyor is a violation of Section 2209, Subsection 2 of the New York State Education Law.
 3. All certifications are valid for this map and copies thereof only if said map or copies bear the embossed seal of the surveyor whose signature appears hereon.
 4. If underground improvements, easements, or encroachments exist and are neither visible during normal field survey operations nor described in instruments provided to these surveyors, they may not be shown on this map.
 5. This property may be affected by instruments which have not been provided to these surveyors. Users of this map should verify title with their attorney or a qualified title examiner.
 6. This survey is of property described in the Putnam County Clerk's Liber 2214 of deeds of page 132 (Fair Street Properties to Morgado & Mateus Properties, LLC).

SURVEY OF PROPERTY
PREPARED FOR
MORGADO & MATEUS PROPERTIES, LLC.

SITUATE IN THE
**TOWN OF CARMEL
PUTNAM COUNTY
NEW YORK**

SCALE 1 in. = 10 ft. JANUARY 15, 2024

We hereby certify that the survey shown hereon was completed by us on January 15, 2024 that this map was completed on February 8, 2024 and that this survey has been prepared in accordance with the existing Code of Practice for Land Surveys adopted by The New York State Association of Professional Land Surveyors, Inc.



BADEY & WATSON
Surveying & Engineering, D.P.C.
NEW YORK STATE LICENSED LAND SURVEYOR
LICENSE No. 49789

PRINTED
February 8, 2024

BADEY & WATSON
Surveying & Engineering, D.P.C.

New Covered Porch

LOCATED AT:

14 Fair Street Carmel, New York

OWNER:
MORGADO PROPERTY

LIST OF ABBREVIATIONS

A/C	AIR CONDITIONING	LC	LEAD COATED
ACT	ACOUSTICAL TILE	ME	MEMENTO
ADJ	ADJUSTABLE	MISC	MISCELLANEOUS
AFP	ABOVE FINISHED FLOOR	MO	MOUNTED
ARCT	ARCHITECTURAL/ARCHITECT	MTD	METAL
BD	BOARD	MTL	MASONRY OPENING
BIT	BITUMINOUS	NC	NOT IN CONTRACT
BLDG	BUILDING	NS	NOT TO SCALE
BLK	BLACK	OP	OPENING
BM	BEAM	OPNG	PROPERTY LINE
BTM	BOTTOM	PLY	PLYWOOD
CB	CABINET	PSF	POUNDS PER SQUARE FOOT
CLD	CORNER	PSI	POUNDS PER SQUARE INCH
CLO	CLOSET	PT	PAINTED
CLO HT	CLOSET HEIGHT	PTC	PINK VINYL CHLORIDE
CT	CERAMIC TILE	QTY	QUANTITY
CLO	CLOSET	REN	REINFORCED
CMU	CONCRETE MASONRY UNIT	REQD	REQUIRED
COL	COLUMN	RM	ROOM
CONC	CONCRETE	RO	ROOFING OPENING
CONT	CONTINUOUS	SAV	STAIN AND VARNISH
CONTR	CONTRACTOR	SET	SET
CPT	CARPET	SM	SIMILAR
CTR	CENTER	SPCS	SPECIFICATIONS
DN	DOWN	SQ FT	SQUARE FOOT/FEET
DR	DOOR	STD	STANDARD
DWG	DRAWING	STR	STREET
ELEV	ELEVATION	STOR	STORAGE
EQ	EQUAL	STRUC	STRUCTURAL
EQUIP	EQUIPMENT	SUB FLR	SUB FLOOR
EXTD	EXTENDING	T&G	TONGUE AND GROOVE
EXT	EXTERIOR	TER	TERAZZO
FIN	FINISH	THK	THICKNESS
FLTR	FILTER	TYP	TYPICAL
FT	FOOT/FEET	UNL	UNLESS OTHERWISE NOTED
FTG	FOOTING	VENT	VENTILATION
GA	GAGE	VERT	VERTICAL
GLV	GALVANIZED	VOL	VOLUME
GC	GENERAL CONTRACTOR	W	WHITE
OWB	OVEN WALL BOARD	WO	WETBET
QTY	QUANTITY	WD	WOOD
IB	IRON BRASS	WTF	WETBET FLOOR
HWER	HEAVY WARE		
HORZ	HORIZONTAL		
HVAC	HEATING VENTILATING & A/C		
INSUL	INSULATION		
INT	INTERIOR		

CODE REVIEW

PROJECT:	NEW COVERED PORCH
USE & OCCUPANCY CLASSIFICATION:	COMMERCIAL
CONSTRUCTION TYPE:	SB
MIN. CEILING HEIGHT REQUIRED:	7'-0" THROUGHOUT INCLUDING MEANS OF EGRESS WITH EXCEPTIONS ACCORDING TO SECTION BUILDING CODE OF NYS
SCOPE OF WORK:	SEE SCOPE OF WORK ON THIS PAGE

SCOPE OF WORK

1. NEW COVERED PORCH
2. NEW WINDOW AND ALTERATION OF EXISTING ENTRIES

ISSUED FOR BUILDING PERMIT 03-04-2024



AREA OF WORK

Zoning Data

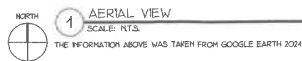
Owner: MORGADO AND NATELUS PROPERTIES			
Parcel Address:	14 FAIR STREET CARMEL, NY	Survey at:	
Zone District:	COMMERCIAL SECTION 44-B BLOCK 1 LOT-8	Survey Date:	
Presently Conforming:	NO	Municipality:	FUTNAM COUNTY, NY
Use	Permitted COMMERCIAL	Existing COMMERCIAL	Proposed NO CHANGE
Minimum Lot Size			
LOT AREA	961.0000 SQ. FT.	5702 SF.	NO CHANGE
LOT WIDTH	99.1000 FT.	875 SF.	NO CHANGE
Minimum Building Setbacks (minimum)			
FRONT YARD	40 FT.	4508 FT.	4508 FT.
REAR YARD	25 FT.	926 FT.	NO CHANGE
REAR YARD	30.0 FT.	975 FT.	NO CHANGE
Development (permitted)			
COVERAGE BUILDING	30% OF 6,710 SF. = 2,013.00 SF	12645 SF	14729 SF
MAX. BUILDING HEIGHT	35 FT.	35 FT.	NO CHANGE
** DENOTES PRE-EXISTING NON-CONFORMING CONDITION *** DENOTES NON-CONFORMING CONDITION			

LIST OF DRAWINGS

NUMBER	TITLE	DATE
T-100	TITLE SHEET	
GN-100	GENERAL NOTES AND SPECIFICATIONS	
GN-101	GENERAL NOTES AND SPECIFICATIONS	
SP-100	PROPOSED SITE PLAN AND EROSION CONTROL DETAILS	
A-100	DEMOLITION AND CONSTRUCTION PLANS	

Energy Code Compliance

I DO HEREBY CERTIFY THAT THE PLANS AND SPECIFICATIONS CONTAINED HEREWITH IN, TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT COMPLY WITH 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NYS AND 2020 NYS STRETCH ENERGY CODE.



THE INFORMATION ABOVE WAS TAKEN FROM GOOGLE EARTH 2024

APPLICABLE CODES:

DRAWINGS PREPARED TO CONFORM TO THE FOLLOWING CODES AND STANDARDS.

- 2020 BUILDING CODE OF NYS
- 2020 EXISTING BUILDING CODE OF NYS
- 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NYS

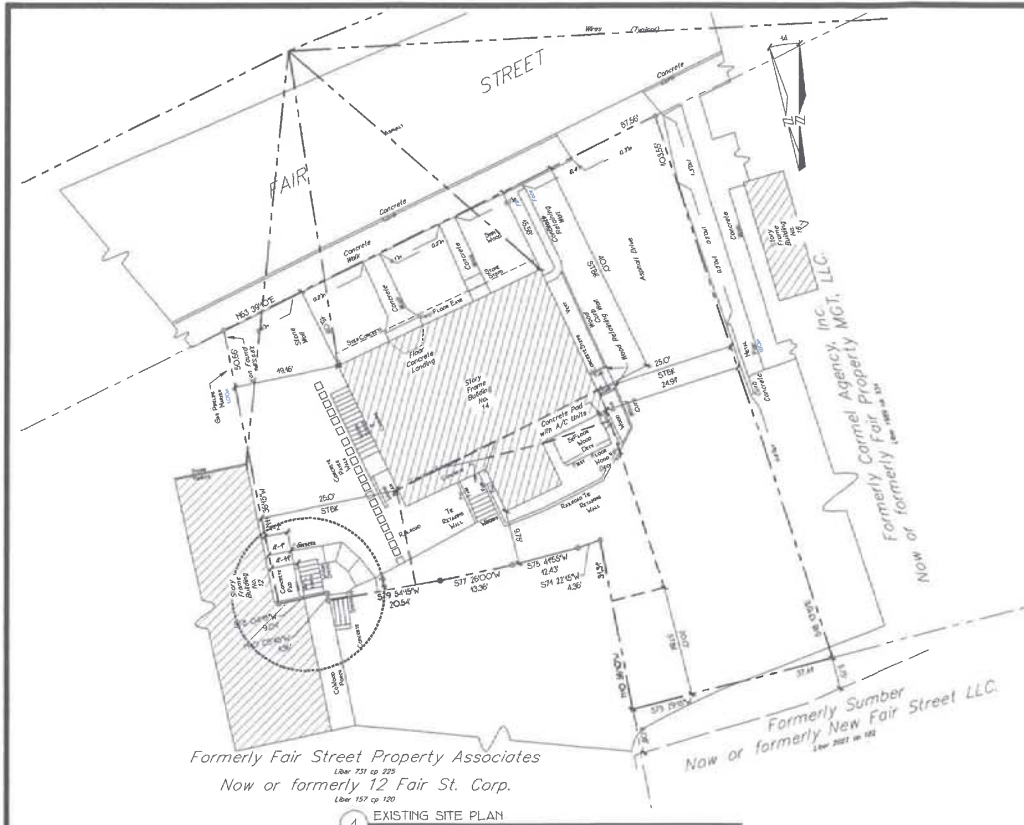
No. Date Description
Revisions:

Date Issued For
Submissions:

Project:
**NEW COVERED PORCH TO:
MORGADO PROPERTY
14 FAIR STREET
CARMEL, NEW YORK**

Title: TITLE SHEET
AND
GENERAL NOTES
Date: 03-06-2024
Scale: As Noted
Drawn by: —

T-100



1 EXISTING SITE PLAN
SCALE: 1" = 40'-0"

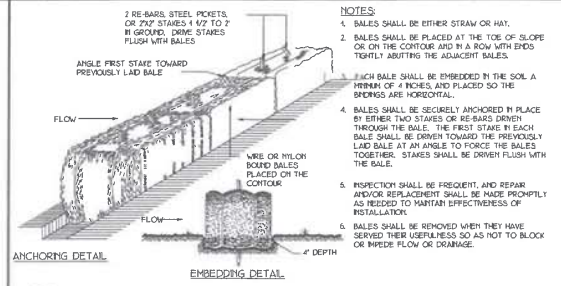
THE INFORMATION ABOVE WAS TAKEN FROM AN OWNER PROVIDED SURVEY BY BADER & WATSON, SURVEYING AND ENGINEERS, D.P.C. DATED JANUARY 18, 2004. ACCURACY IS LIMITED TO THE DATA PROVIDED THEREIN. ARCHITECT IS NOT RESPONSIBLE FOR INFORMATION PROVIDED BY OTHERS.

EROSION AND SEDIMENT CONTROL NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES. THE SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE AND MAINTAINED UNTIL SITE IS STABILIZED.
- THE MAINTENANCE OF SEDIMENT CONTROL MEASURES IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL SEDIMENT MEASURES SHALL BE MAINTAINED IN GOOD WORKING ORDER. SEDIMENT LEVEL SHALL BE CLOSELY MONITORED AND SEDIMENT REMOVED PROMPTLY WHEN MAXIMUM LEVELS ARE REACHED AND/OR AS DIRECTED BY ARCHITECT. ALL SEDIMENT CONTROL MEASURES SHALL BE INSPECTED WEEKLY, PRIOR TO ANY EXPECTED RAIN EVENTS, AND AFTER EACH HEAVY RAINFALL TO ENSURE PROPER OPERATION AS DESIRED. AN INSPECTION LOG SHALL BE MAINTAINED BY CONTRACTOR.
- THE LOCATION AND INSTALLATION TIMES OF SEDIMENT MEASURES SHALL BE AS ORDERED BY ARCHITECT AND IN ACCORDANCE WITH ACCEPTED STANDARDS.
- ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND PLACED IN A STABILIZED STOCKPILE. ALL TOPSOIL REQUIRED FOR FINAL GRADING AND TO BE STORED ON SITE SHALL BE LIMED, FERTILIZED AND TEMPORARILY SEEDED AND MULCHED WITHIN 14 DAYS.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 21 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING. MULCH SHALL BE USED IF THE SEASON PREVENTS ESTABLISHMENT OF A TEMPORARY COVER. DISTURBED AREAS SHALL BE LIMED AND FERTILIZED PRIOR TO TEMPORARY SEEDING.
- ALL DISTURBED AREAS CLOSE TO DWELLINGS SHALL BE NETTED AS NECESSARY TO PROVIDE DUST CONTROL.
- THE CONTRACTOR SHALL KEEP ROADWAY, DRIVEWAY WITHIN THE PROJECT CLEAR OF SOIL AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.
- SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED WHEN THE AREA AS PROPERLY BEING STABILIZED BY PERMANENT MEASURES.
- SOIL SEEDING AND FERTILIZING SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL".
- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL".

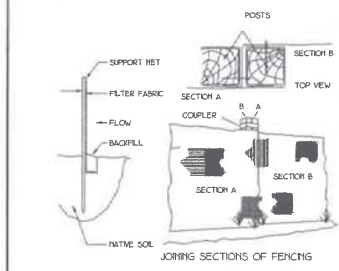
SITE PLAN LEGEND:

SYMBOL	DESCRIPTION
	EXISTING BUILDINGS
	EXIST. GENERAL SITE
	EXIST. FENCE
	PROPERTY LINE
	TO BE DEVELOPED
	PROPOSED GENERAL SITE
	SILT FENCE
	STRAWBALES
	HAY BALES



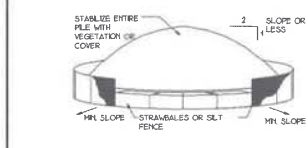
2 STRAWBALE SEDIMENT BARRIER
SCALE: 1/4" = 1'-0"

- NOTES:**
- BALES SHALL BE EITHER STRAW OR HAY.
 - BALES SHALL BE PLACED AT THE TOE OF SLOPE OR ON THE CONTIGUOUS AND IN A ROW WITH ENDS TIGHTLY BUTTING THE ADJACENT BALES.
 - EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 4 INCHES AND PLACED SO THE BROWNS ARE HORIZONTAL.
 - BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAD BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE BALE.
 - INSPECTION SHALL BE FREQUENT, AND REPAIR AND/OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED TO MAINTAIN EFFECTIVENESS OF INSTALLATION.
 - BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPIDE FLOW OR DRAINAGE.



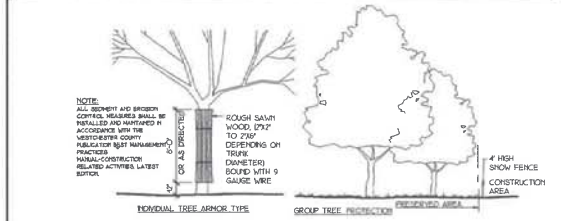
3 SILT FENCE DETAIL
SCALE: 1/4" = 1'-0"

- INSTALLATION NOTES:**
- EXCAVATE A 2x4" TRENCH ALONG THE LOWER PERIMETER OF THE SITE.
 - UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK DOWNSTREAM WALL OF THE TRENCH NET. SEE AHEAD FROM DIRECTION OF FLOW.
 - DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS APPROXIMATELY 7 INCHES FROM THE TRENCH BOTTOM.
 - LAY THE TOE IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL STEEPER SLOPES. REMOVE AN INTERCEPT TRENCH.
 - JOIN SECTIONS AS SHOWN ABOVE.
- NOTE:** ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE WESTCHESTER COUNTY PUBLICATION BEST MANAGEMENT PRACTICES MANUAL-CONSTRUCTION RELATED ACTIVITIES, LATEST EDITION.



4 SOIL STOCKPIPING DETAIL
SCALE: 1/4" = 1'-0"

- SOIL STOCKPIPING NOTES:**
- AREA CHOSEN FOR STOCKPIPING OPERATIONS SHALL BE DRY AND STABLE.
 - MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:1.
 - UPON COMPLETION OF SOIL STOCKPIPING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES THEN STABILIZED WITH VEGETATION OR COVERED.
 - SEE DETAIL FOR INSTALLATION OF SILT FENCE.



5 TREE PROTECTION DETAILS
SCALE: 1/4" = 1'-0"

No. Date Description

Revisions:

Date Issued Per

Submissions:

Project:

NEW COVERED PORCH TO:
MORGADO PROPERTY
14 FAIR STREET
CARMEL, NEW YORK

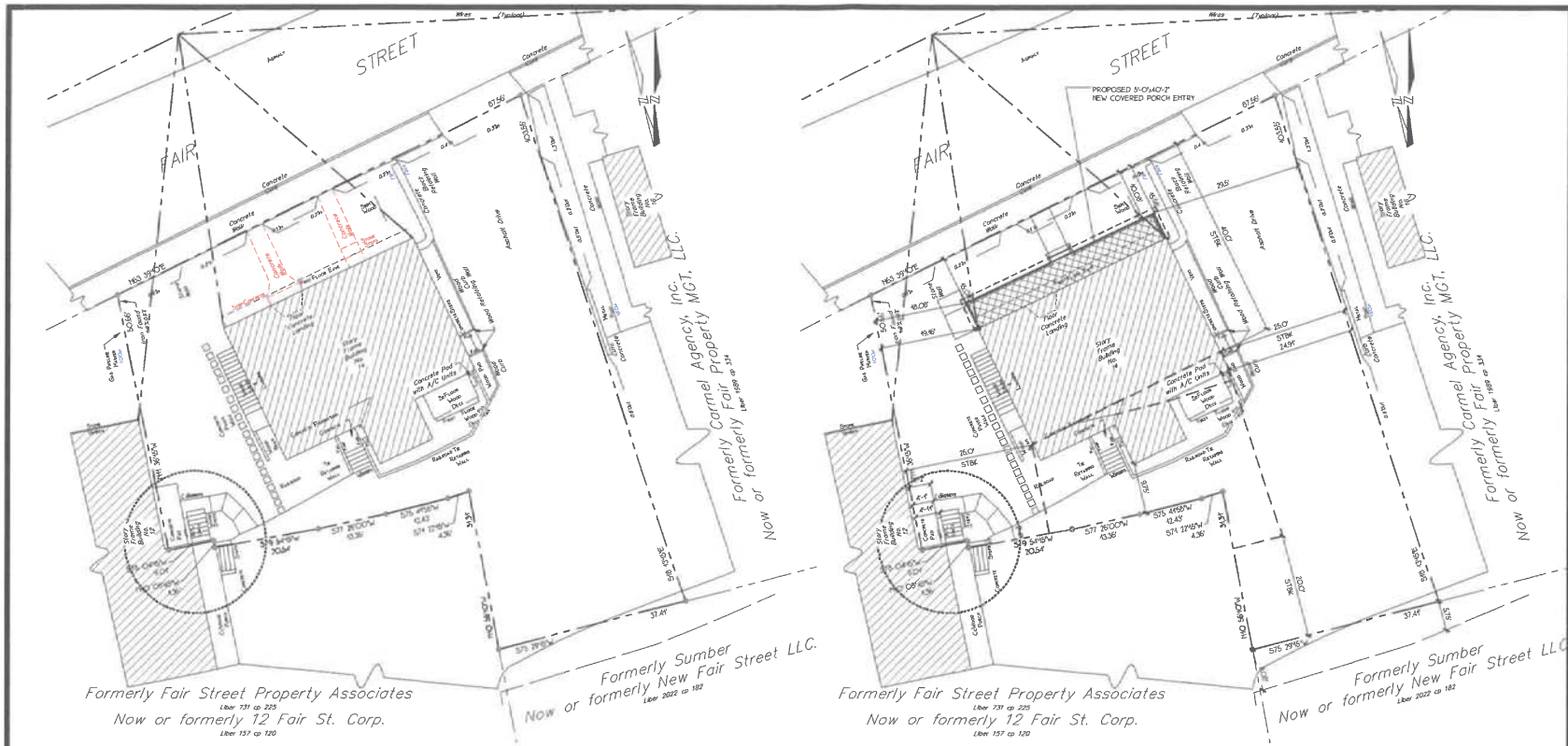
Title: SITE PLAN AND EROSION CONTROL DETAILS

Date: 03-06-2024

Scale: As Noted

Drawn by: ---

SP-100



1 SITE DEMOLITION PLAN
SCALE: 1" = 10'-0"

THE INFORMATION ABOVE WAS TAKEN FROM AN OWNER PROVIDED SURVEY BY BADET & WATSON SURVEYS AND ENGINEERS, D.P.C. DATED JANUARY 03, 2024. ACCURACY IS LIMITED TO THE DATA PROVIDED THEREIN. ARCHITECT IS NOT RESPONSIBLE FOR INFORMATION PROVIDED BY OTHERS.

2 SITE CONSTRUCTION PLAN
SCALE: 1" = 10'-0"

THE INFORMATION ABOVE WAS TAKEN FROM AN OWNER PROVIDED SURVEY BY BADET & WATSON SURVEYS AND ENGINEERS, D.P.C. DATED JANUARY 03, 2024. ACCURACY IS LIMITED TO THE DATA PROVIDED THEREIN. ARCHITECT IS NOT RESPONSIBLE FOR INFORMATION PROVIDED BY OTHERS.

NOTE

DURING DEMOLITION CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DIFFERENCE FROM DRAWINGS TO ACTUAL CONDITIONS IN FIELD. CONTRACTOR SHALL NOT REQUEST ADDITIONAL FEE FOR INFORMATION NOT PROVIDED ON DRAWINGS.

SITE PLAN LEGEND:	
SYMBOL	DESCRIPTION
	EXISTING BUILDINGS
	PROPOSED BUILDING
	EXISTING GENERAL SITE
	EXT. FENCE
	PROPERTY LINE
	TO BE DEMOLISHED
	PROPOSED GENERAL SITE
	SILT FENCE
	HAY BALES

- GENERAL DEMOLITION NOTES:**
1. PRIOR TO DEMOLITION, DISCONNECT AND CAP ALL EXISTING UTILITIES AS REQUIRED. COORDINATE SHUT OFF AND REMOVALS WITH UTILITY COMPANIES AS REQUIRED.
 2. ALL ELECTRICAL DISCONNECTS AND REMOVALS MUST BE DONE BY AN ELECTRICAL CONTRACTOR LICENSED IN WESTCHESTER COUNTY.
 3. ALL PLUMBING DISCONNECTS AND REMOVALS MUST BE DONE BY A PLUMBING CONTRACTOR LICENSED IN WESTCHESTER COUNTY.
 4. DEMOLISH AS REQUIRED TO ACCOMPLISH WORK INDICATED IN THESE DOCUMENTS. ALL REQUIRED REMEDIATION WORK SHALL BE INCLUDED IN THE BASE BID PACKAGE SUBMITTED BY THE CONTRACTOR.
 5. DO NOT ALLOW MATERIALS AND DEBRIS GENERATED BY DEMOLITION ACTIVITIES TO ACCUMULATE ON THE JOB SITE. REMOVE DIRT AND DEBRIS OF IN A LEGAL MANNER TO A LEGAL DISPOSAL FACILITY. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY DUMPSTER AND CARTING FEES. NO ON SITE SALE OR BURNING OF REMOVED ITEMS IS PERMITTED.
 6. THIS PLAN IS TO BE USED IN CONJUNCTION WITH THE ENTIRE SET OF CONSTRUCTION DRAWINGS. DO NOT REMOVE ANY ITEMS WITHOUT VERIFYING AND COORDINATING WITH ALL GENERAL TRADES AS TO HOW THEY RELATE TO THE OVERALL PROJECT.
 7. THE CONTRACTOR MUST TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE PUBLIC AND/OR WORKERS ON THE SITE TO PREVENT ACCIDENTS OR HARM TO ANY PERSON OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES AND REGULATIONS PERTAINING TO SAFETY AND THE PREVENTION OF ACCIDENTS.
 8. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING WEATHER TIGHTNESS OF FACILITY DURING CONSTRUCTION.
 9. CONTRACTOR SHALL PATCH AND/OR LEVEL EXISTING SURFACES AS REQUIRED TO RECEIVE NEW FINISH FLOOR.

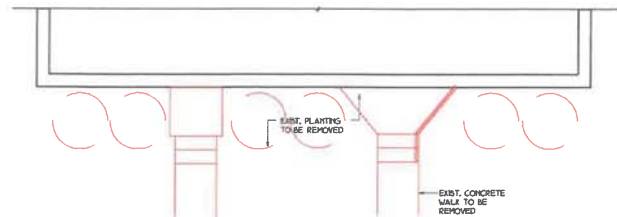
No. Desc. Description
Revisions:

Date Issued For
Submission:

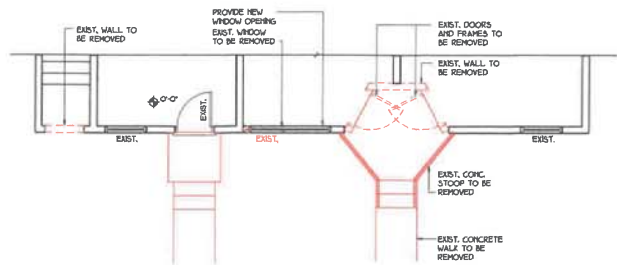
Project:
**NEW COVERED PORCH TO:
MORGADO PROPERTY
14 FAIR STREET
CARMEL, NEW YORK**

Title: SITE DEMOLITION AND
CONSTRUCTION PLANS
Date: 03-06-2024
Scale: As Noted
Drawn by: —

SP-101



1 DEMOLITION FOUNDATION STAIRS
SCALE: 1/4" = 1'-0"



2 DEMOLITION ENTRY STOOP
SCALE: 1/4" = 1'-0"

TABLE R507.2.1
PLACEMENT OF LAG SCREWS AND BOLTS IN DECK LEDGERS AND BAND JOISTS

	MINIMUM END AND EDGE DISTANCES AND SPACING BETWEEN ROWS			
	TOP EDGE	BOTTOM EDGE	ENDS	ROW SPACING
Ledger ^a	2 inches ^d	3/4 inch	2 inches ^b	1.58 inches ^c
Band Joist ^c	3/4 inch	2 inches	2 inches ^b	1.58 inches ^c

- a. Lag screws or bolts shall be staggered from the top to the bottom along the horizontal run of the deck ledger.
 b. Maximum 5 inches.
 c. For engineered rim joists, the manufacturer's recommendations shall govern.
 d. The minimum distance from bottom row of lag screws or bolts to the top edge of the ledger shall be 5.5" min. for 2x8, 6.5" min. for 2x10 and 7.5" min. for 2x12.

General notes:

- The Architect is not contracted for supervision and so is not responsible for methods of construction or materials used.
- Contractor shall verify all existing conditions in the field and shall notify the Architect of any discrepancies before starting work.
- Contractor shall obtain all permits, certificates, inspections, etc. required by law or code. Owner shall pay for same.
- All work is to be done in accordance with all applicable codes. In the absence of other standards, the 2020 Residential Code of New York State, and 2020 Energy Conservation Construction Code of New York State shall govern.
- Contractor shall maintain Workmen's Compensation and liability insurance in adequate amounts to render the owner harmless in case of an accident to person or property involved in this project.
- Contractor shall perform all work required for the total completion of the project, weather or not indicated on the drawings. The intention of the drawings is to produce a complete and proper functioning project.
- Contractor shall remove all existing material and construction interfering with the proposed new work whether or not shown on the drawings.
- In some cases, the existing structure has been assumed in so far as the directions of framing, size, etc. New structure has been designed based on this assumption. During demolition or any other phase of work, if there is any discrepancies in the assumed condition, which is actually in place, notify the Architect at once.
- All sections and details shall be considered typical and apply for the same, and similar conditions, unless otherwise specifically noted.
- Contractor shall furnish and be solely responsible for all temporary bracing and shoring required to maintain stability of the structure during construction.
- All required shop drawings shall be submitted to Architect for approval prior to fabrication.
- All surfaces, new existing areas disturbed by construction to be prepared for proper finishing.
- Substitutions of material and/or methods of construction shall be approved by Architect and owner prior to signing construction contract.
- All work shall be guaranteed for one year.
- Construction not to commence pending approval of plans.
- General notes to be strictly adhered to unless otherwise noted on drawings.

Demolition:

- All debris shall be removed from the construction site daily.
- The contractor shall take all precautions to maintain protected access through the areas involved.
- Remove all debris from site to a legal disposal facility. contractor shall pay for all necessary dumpsters and carting fees.

Wood Framing:

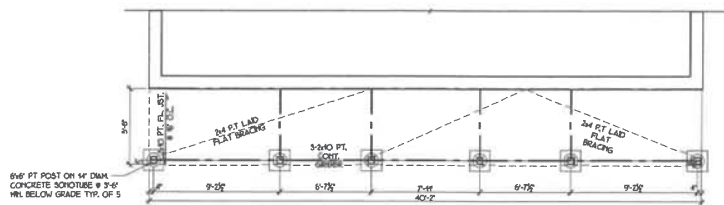
- All lumber to have min. stress grade of #50 PSF. Lumber exposed to exterior shall be pressure treated brackets as required. Contractor to apply where required.
- Min. Bearing of all framing members to be 3 1/2".
- All framing to be erected plumb, level and true.
- Use metal joist hangers at all discontinuous or flush framing.
- All exterior metal fasteners shall be galvanized, rated for p.t. construction

Deck Notes:

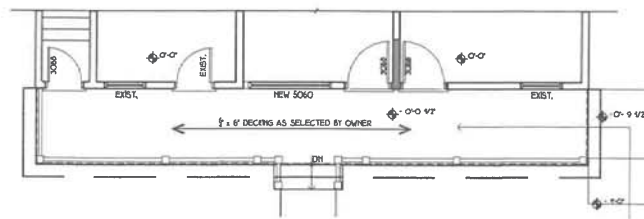
- All wood posts shall be secured to piers and framing above using galvanized metal post brackets as required. Contractor to apply where required.
- All metal fasteners, brackets, braces, hangers etc. shall be galvanized.
- Provide proper flashing and/or sealing at all connections to house.

Applicable Codes:

2020 Residential Code of New York State
 2020 Energy Conservation Code of New York State
 Local Code - Town of Greenburgh



3 FRAMING DECK PLAN
SCALE: 1/4" = 1'-0"



4 DECK FLOOR PLAN
SCALE: 1/4" = 1'-0"



5 ROOF PLAN
SCALE: 1/4" = 1'-0"

MARK	SIZE	TOP CONNECTION	USE
P1	4x4 OR 2x6 OR 3x4	2 - SIMPSON 'AS3' FRAMING ANCHORS	USE
P2	4x4 OR 2x6 OR 3x4	2 - SIMPSON 'AS3' FRAMING ANCHORS	USE
P3	6x6 OR 4x6	4 - SIMPSON 'AS3' FRAMING ANCHORS	USE

PSL = PARALLEL TO TRUSS JOISTS MACWILLIAN POSTS SHALL REST ON GRADE, FOUNDATION OR APPROVED SOLID BLOCKING

OPENING WIDTH	FLOOR	SIZE
UP TO 4'-0"	FIRST	2x8 10 OR 2x12 7 1/2 LVL-5
4'-0" TO 6'-0"	FIRST	2x12 10 OR 2x12 9 1/2 LVL-5
6'-0" TO 8'-0"	FIRST	2x12 14 1/2 LVL-5 OR 2x12 17 1/2 LVL-5
UP TO 4'-0"	SECOND	2x8 8 OR 2x12 7 1/2 LVL-5
4'-0" TO 6'-0"	SECOND	2x12 9 OR 2x12 11 LVL-5
6'-0" TO 8'-0"	SECOND	2x12 14 1/2 LVL-5 OR 2x12 17 1/2 LVL-5

GC. TO DETERMINE IN FIELD AVAILABLE ROOM FOR HEADER, AS INDICATED PRIOR TO FRAMING ROUGH OPENING. SEE FLOOR FOR HEADERS WITH SPANS GREATER THAN 6'-0" OR WITH LARGE POINT LOADS.

No. Date Description
 Revisions:

Date Issued For
 Submitted for:

Project
 NEW COVERED PORCH TO:
 MORGADO PROPERTY
 14 FAIR STREET
 CARMEL, NEW YORK

Title:
 DEMOLITION AND CONSTRUCTION
 FLOOR PLANS

Date: 03-06-2024

Scale: As Noted

Drawn by: —

A-100

14 Fair St. Carmel – Front View



14 Fair St. Carmel – Front Left Angle View



14 Fair St. Carmel – Front Right Angle View



14 Fair St. Carmel – Front Right Angle View



16 Fair St. Carmel – Front Angle View



16 Fair St. Carmel – Front Close Up Angle View



17 Fair St. Carmel – Front Angle View





ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

me

IN THE MATTER OF THE APPEAL
OF
Cresco
TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: _____, 20__

Application For (circle applicable): Area Variance (¹⁵⁸⁻¹⁵) Use Variance Interpretation 280A
Name of Property Owner: DAG ROUTE SIX LLC Address: 395 ROUTE 6 CARMEL NY
Mailing Address: PO Box 636 Mahopac NY Phone Number(s):
Zoning District: C Tax Map: 75 20 2 5
Applicant is: (circle one) Owner (Lessee) (Contract Vendee) | Attach deed, contract of sale or lease agreement|
E-Mail Address: _____

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
<u>Jan 2005</u>	<u>OUTDOOR DISHWASH + STORAGE</u>	<u>GRANTED</u>

List all improvements (1 family dwelling, pool, etc.) 12,300sf commercial building & 14,000 sf ± associated outdoor enclosure, 2,800 sf dwelling, parking, drive aisles
The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: site plan set dated 2-19-24, property deed, photos of site, property survey.

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES NO
Explain: Route 6, Putnam Trailway

I, the applicant, am seeking permission to: Construct a 3,240 sf light impact industry use building 7' from the property lines to the north and east. The code requires 25'.

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
<u>25' side yard setback</u>	<u>7'</u>	<u>18'</u>

State of New York)
) ss.
County of Putnam)
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true

Sworn to before me this 12th day of March, 2024
Diane Tarantelli
Notary Public

DIANE TARANTELLI
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01TA6312337
Filed in Putnam County
Commission Expires September 29 2026

Petitioner [Signature] Date 3/12/24



AUTHORIZATION FORM

RE: Property of: DAG Route Six, LLC c/o Nick Crecco
Located at: 395 Route 6 (Address), Mahopac, NY 10541 (City, Town, Village)
Tax Map #: 75.20-2-5
In the matter of: §156-11 side yard setback variance (Variance Request)

To whom it may concern:

This letter is to authorize Richard D. Williams, Jr., P.E., Insite Engineering, Surveying & Landscape Architecture, P.C.,
a/an (check one) Attorney Engineer Architect Other _____ (_____)
to apply for the required variance(s) on the above noted property and to sign all necessary papers and make all
necessary representations on my behalf in connection with the above-mentioned matter.

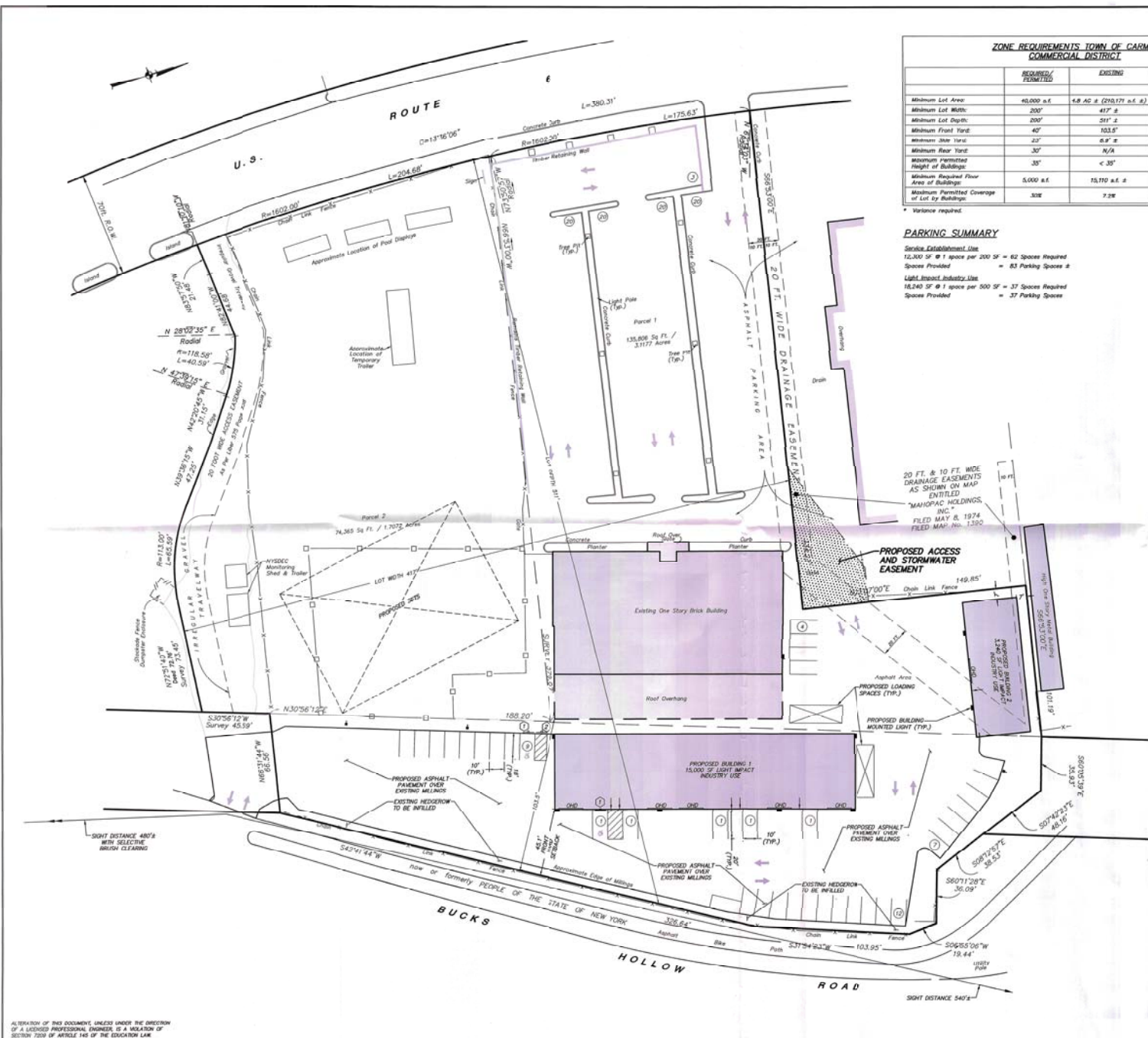
Countersigned: *R Williams*
Richard D. Williams, Jr., P.E.
(Print Name)

Signed: *Nick Crecco*
Nick Crecco
(Print Name)

Mailing Address: 3 Garrett Place
Carmel
State: NY Zip: 10512
Telephone # 845-225-9690
Date: _____
E-mail: williams@insite-eng.com

Mailing Address: P.O. Box 636
Mahopac
State: NY Zip: 10541
Telephone # 845-628-6600

NOTE: The willful submission of false or inaccurate information on this application may result in the dismissal of the application, or the revocation of any action taken on the application, or both.



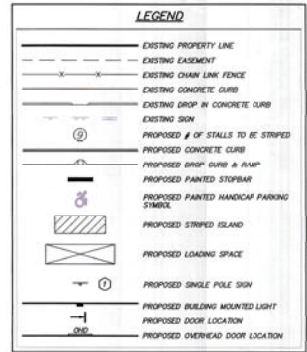
ZONE REQUIREMENTS TOWN OF CARMEL COMMERCIAL DISTRICT

	REQUIRED / PERMITTED	EXISTING	PROPOSED
Minimum Lot Area	40,000 s.f.	4.8 AC ± (210,171 s.f. ±)	4.8 AC ± (208,773 s.f. ±)
Minimum Lot Width	200'	417' ±	417' ±
Minimum Lot Depth	200'	211' ±	211' ±
Minimum Front Yard	40'	103.5'	45.1'
Minimum Side Yard	25'	6.8' ±	7' ±
Minimum Rear Yard	30'	N/A	N/A
Maximum Permitted Height of Buildings	35'	< 35'	< 35'
Minimum Required Floor Area of Buildings	5,000 s.f.	15,110 s.f. ±	31,540 s.f. ±
Maximum Permitted Coverage of Lot by Buildings	30%	7.2%	13.2%

PARKING SUMMARY

Service Establishment Use
 12,800 SF @ 1 space per 200 SF = 64 Spaces Required
 Spaces Provided = 83 Parking Spaces ±

Light Impact Industry Use
 18,240 SF @ 1 space per 500 SF = 37 Spaces Required
 Spaces Provided = 37 Parking Spaces



SIGN DATA TABLE

LOCATION NO.	TEXT	M.U.T.C.D. NUMBER	SIZE OF SIGN (S.I.)	DESCRIPTION
1	NO PARKING	R7-1	12" x 18"	Red on White
2	NO PARKING	R7-8	12" x 18"	Blue on White

USE TABLE TOWN OF CARMEL COMMERCIAL ZONE

BUILDING #	USE	AREA	PERMITS / EMPLOYEES	AVOIDED USE
Building 1	Office	5,000 SQA	3 Units Fulltime	0-10 Service / Day
	Warehouse	10,000 SQA	1-2 Unit	5-10 Employees / Day
	TOTAL	15,000 SQA		
Building 2	Warehouse	3,240 SF	0-2 Intermittent	0-2 / Day

DENIED
 BY TOWN OF CARMEL
 PLANNING BOARD ON
 DATE 2-27-24
 CHAIRMAN *[Signature]*

1	2-10-24	REVISED PER TOWN COMMENTS	KJK
NO.	DATE	REVISION	BY

INSITE
 ENGINEERING, SURVEYING &
 LANDSCAPE ARCHITECTURE, P.C.

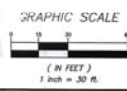
3 Garrett Place
 Carmel, NY 12012
 (845) 225-8800
 (845) 225-8917 fax
 www.insite-ny.com

PROJECT: **GRECCO DRL RT 6**

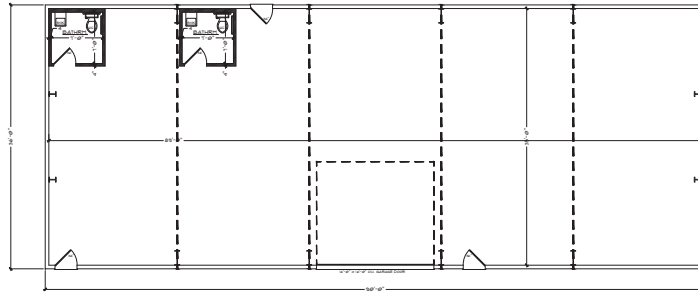
DRAWING: **LAYOUT & LANDSCAPE PLAN**

PROJECT NUMBER: 16230.100 PROJECT MANAGER: R.D.W.
 DATE: 1-17-24 DRAWN BY: K.J.K.
 SCALE: 1" = 30' CHECKED BY: A.D.T.

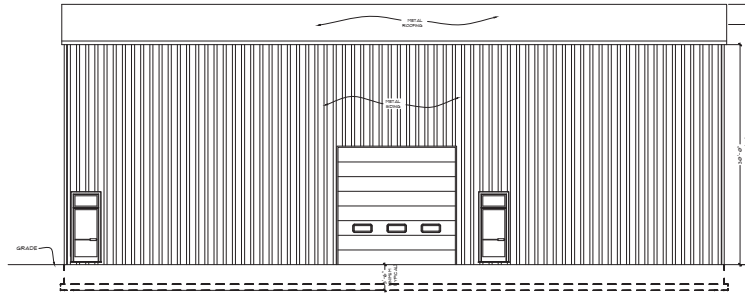
DRAWING NO.: **SP-1** SHEET: **2** OF **5**



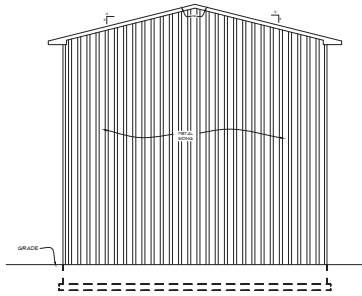
ALTERATION OF THIS DOCUMENT UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW



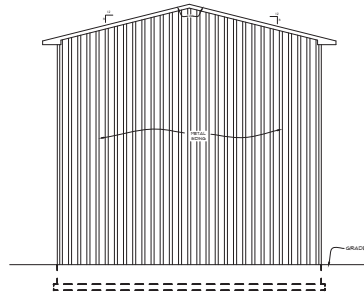
FIRST FLOOR PLAN
SCALE 1/8" = 1'-0"



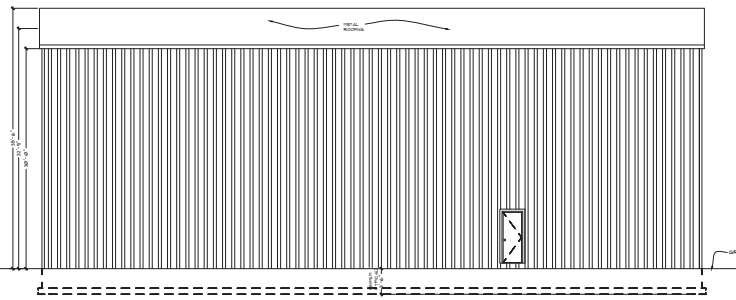
FRONT ELEVATION
SCALE 1/8" = 1'-0"



RIGHT SIDE ELEVATION
SCALE 1/8" = 1'-0"



LEFT SIDE ELEVATION
SCALE 1/8" = 1'-0"



REAR ELEVATION
SCALE 1/8" = 1'-0"



ROY A. FREDRIKSEN, PE
DESIGN • PLANNING • CONSULTING ENGINEERING
286 SHEAR HILL RD. • MAHOPAC, NY 10541 • 845-621-4000
RAYEXDESIGN@GMAIL.COM

OWNER: DAG ROUTE SIX, LLC (BUILDING 2)	JOB #
PROJECT: NEW INDUSTRIAL BUILDING TO BE BUILT ON 385 ROUTE 6 IN MAHOPAC, TOWN OF GARHIL NY.	DRN BY:
	CHKD BY:
	TAX MAP #:

SHEET TITLE: FLOOR PLAN AND ELEVATIONS
2 OF 2

REVISIONS: _____ DATE: 1/16/2024









