

JOHN MAXWELL  
Chairman

PHILIP AGLIETTI  
Vice-Chair

**TOWN OF CARMEL**  
**ZONING BOARD OF APPEALS**



60 McAlpin Avenue  
Mahopac, New York 10541  
Tel. (845) 628-1500 – Ext 187  
[www.ci.carmel.ny.us](http://www.ci.carmel.ny.us)

MICHAEL  
CARNAZZA  
Director of Code  
Enforcement

**BOARD MEMBERS**

ROSE FABIANO  
SILVIO BALZANO  
WILLIAM ROSSITER  
JOHN STARACE  
JULIE MCKEON

**LEGAL NOTICE**

**By the Zoning Board of Appeals of the Town of Carmel pursuant to Section 267 Town Law, notice is hereby given that a hearing will be held on:**

**APRIL 22, 2021 – 7:30 P.M.**

**To hear the following applications:**

**NEW APPLICATIONS:**

1. Application of **THE HAMLET AT CARMEL ASSOCIATES, LLC** for an Interpretation seeking permission for construction of a multi-family residential development as per plans. The property is located on Stoneleigh Avenue, Carmel NY and is known as Tax Map #66.-2-58.
2. Application of **THOMAS TUTTLEMONDO** for a Variation of Section 156-15 seeking permission to construct detached garage. The property is located at 146 Crane Road, Carmel NY and is known as Tax Map #54.14-1-39.

Code Requires/Allows	Provided	Variance Required
Side Yard: 15'	7'	8'

3. Application of **JOAO & FILOMENA GOMES** for a Variation of Section 156-15 seeking permission to retain shed, construct addition, retain/rebuild deck. The property is located at 23 Hickory Drive, Mahopac NY and is known as Tax Map #86.47-1-29.

Code Requires/Allows	Provided	Variance Required
Addition: Rear Yard – 15'	10'	5'
Shed: Rear Yard Shore – 10'	.95'	9.05'
Shed: Rear Yard Hickory – 10'	1.55'	8.45'
Deck: Rear Yard - 15'	7.13'	7.87'

4. Application of **ADAM BRANDT** for a variation of section 156-15/Use Variance seeking permission to add a second floor to 6 Mechanic Street to accommodate an increase in family size. The property is located at 6 Mechanic Street, Carmel NY and is known as Tax Map #55.14-1-32.
5. Application of **JEFF FARRELL** for a Variation of Section 156-15 seeking permission to build an addition. The property is located at 20 Friendly Road, Mahopac NY and is known as Tax Map #85.12-2-2.

Code Requires/Allows	Provided	Variance Required
20 feet	15 feet	5 feet

6. Application of **MICHAEL VANDERWALKER** for a Variation of Section 156-15 seeking permission to install a 15' x 24' above-ground pool. The property is located at 144 Watermelon Hill Road, Mahopac NY and is known as Tax Map #76.15-1-3.2.

Code Requires/Allows	Provided	Variance Required
Side: 25 feet	15 feet	10 feet

7. Application of **TERENCE MCINERNEY** for a Variation of Section 156-15 seeking permission to construct detached garage. The property is located at 48 Tamarack Road, Mahopac NY and is known as Tax Map #75.8-2-27.

Code Requires/Allows	Provided	Variance Required
Rear: 10 feet	5 feet	5 feet

## **MISCELLANEOUS:**

**Minutes:** February 25, 2021

### **IMPORTANT NOTE:**

**All persons in attendance of the ZBA Meetings MUST adhere to the CDC guidelines for social distancing while in the meeting rooms. The wearing of face coverings are required if maintaining the 6 ft. social distancing cannot be achieved; no exceptions!!**

By Order of the Chairman,

John Maxwell





ZONING BOARD OF APPEALS  
TOWN OF CARMEL  
PUTNAM COUNTY

Town Hall, Town of Carmel  
60 McAlpin Ave.  
Mahopac, N.Y. 10541  
(845)628-1500

**AUTHORIZATION FORM**

RE: Property of: The Hamlet at Carmel Associates, LLC  
Located at: Stoneleigh Avenue, Carmel  
Tax Map #: 66.-2-58  
In the matter of: Construction of a multifamily residential development

To whom it may concern:

This letter is to authorize Charles Martabano

as/an (check one) Attorney  Engineer  Architect  Other ( )

to apply for the required variance(s) on the above noted property and to sign all necessary papers and make all necessary representations on my behalf in connection with the above-mentioned matter.

Countersigned: [Signature]  
Charles Martabano

Signed: [Signature]  
The Hamlet at Carmel Associates, LLC-Ken Kearney

Mailing Address: 9 Mckeel Street  
Katonah  
State: New York Zip: 10536  
Telephone # 914-242-6200  
Date: March 11, 2021  
E-mail: cmartabano@gmail.com

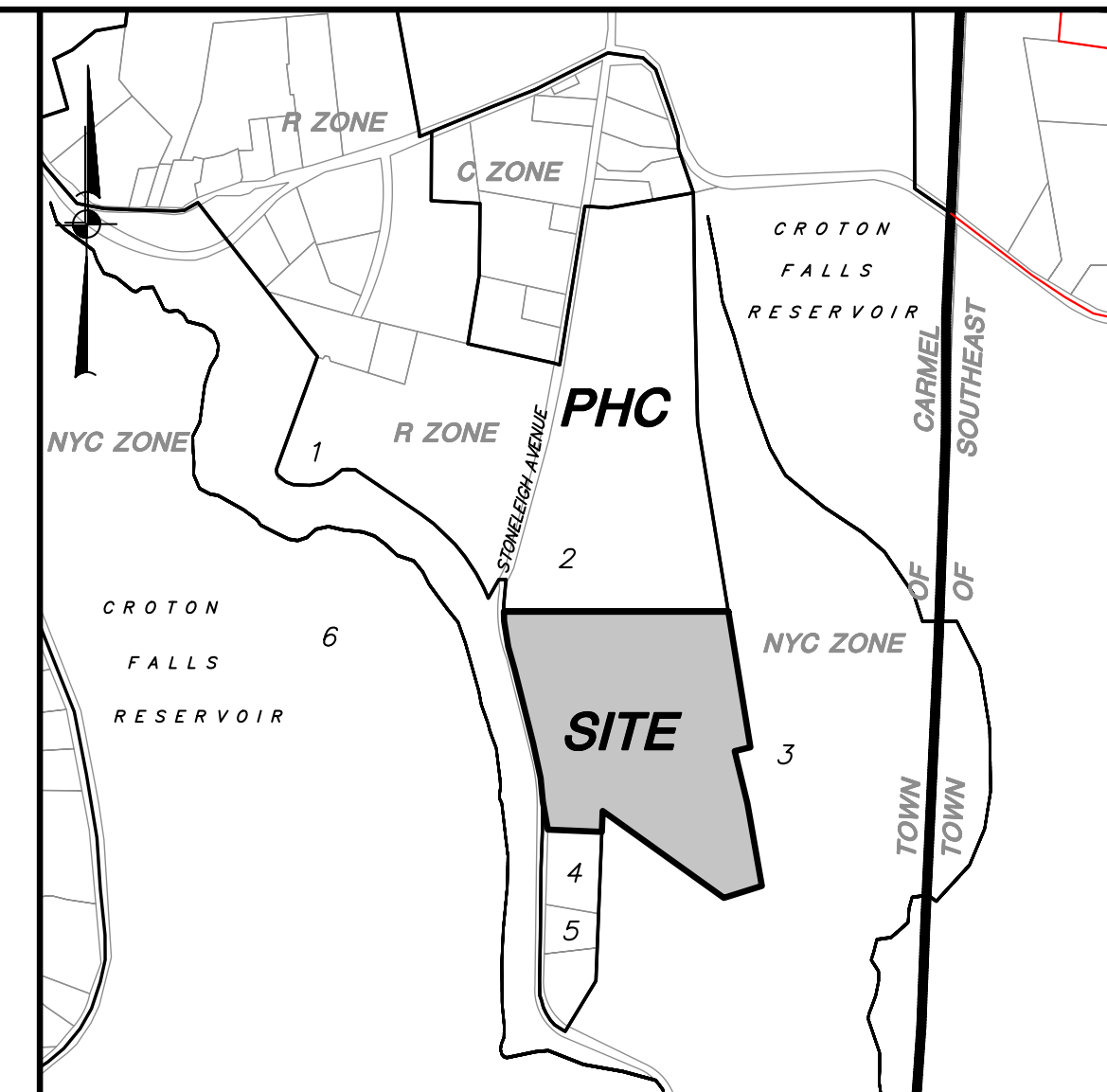
Mailing Address: 57 Route 6, Suite 207  
Baldwin Place  
State: New York Zip: 10505  
Telephone # 845-306-7705

NOTE: The willful submission of false or inaccurate information on this application may result in the dismissal of the application, or the revocation of any action taken on the application, or both.

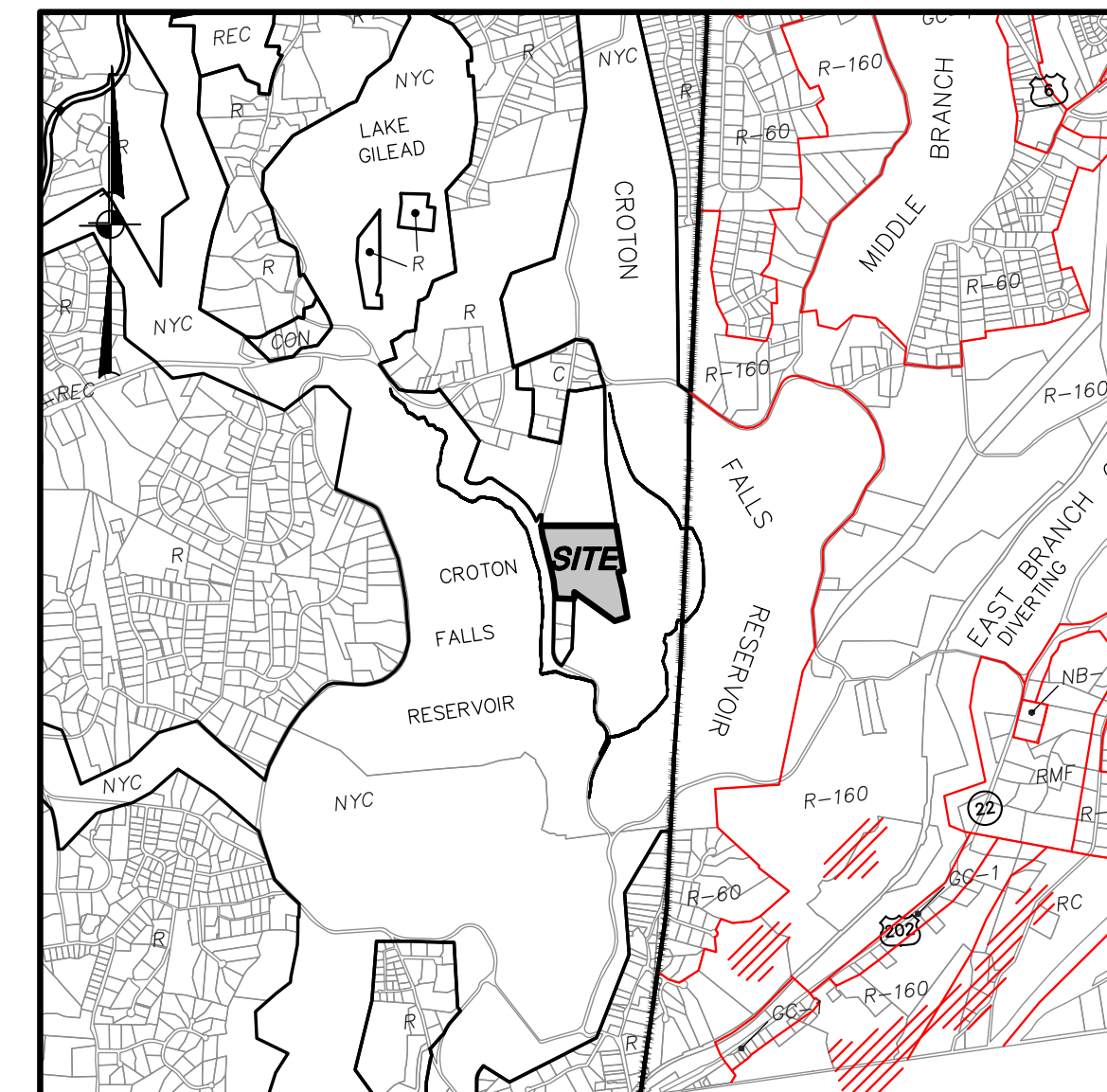


**500' ADJOINERS**

1. N/F VISTA ON THE LAKES, INC
2. N/F PUTNAM HOSPITAL CENTER
3. N/F CITY OF NEW YORK
4. N/F PUTNAM HOSPITAL CENTER
5. N/F SAIKI, A. & KAORU, N.
6. N/F CITY OF NEW YORK



AREA MAP SCALE: 1" = 1000'

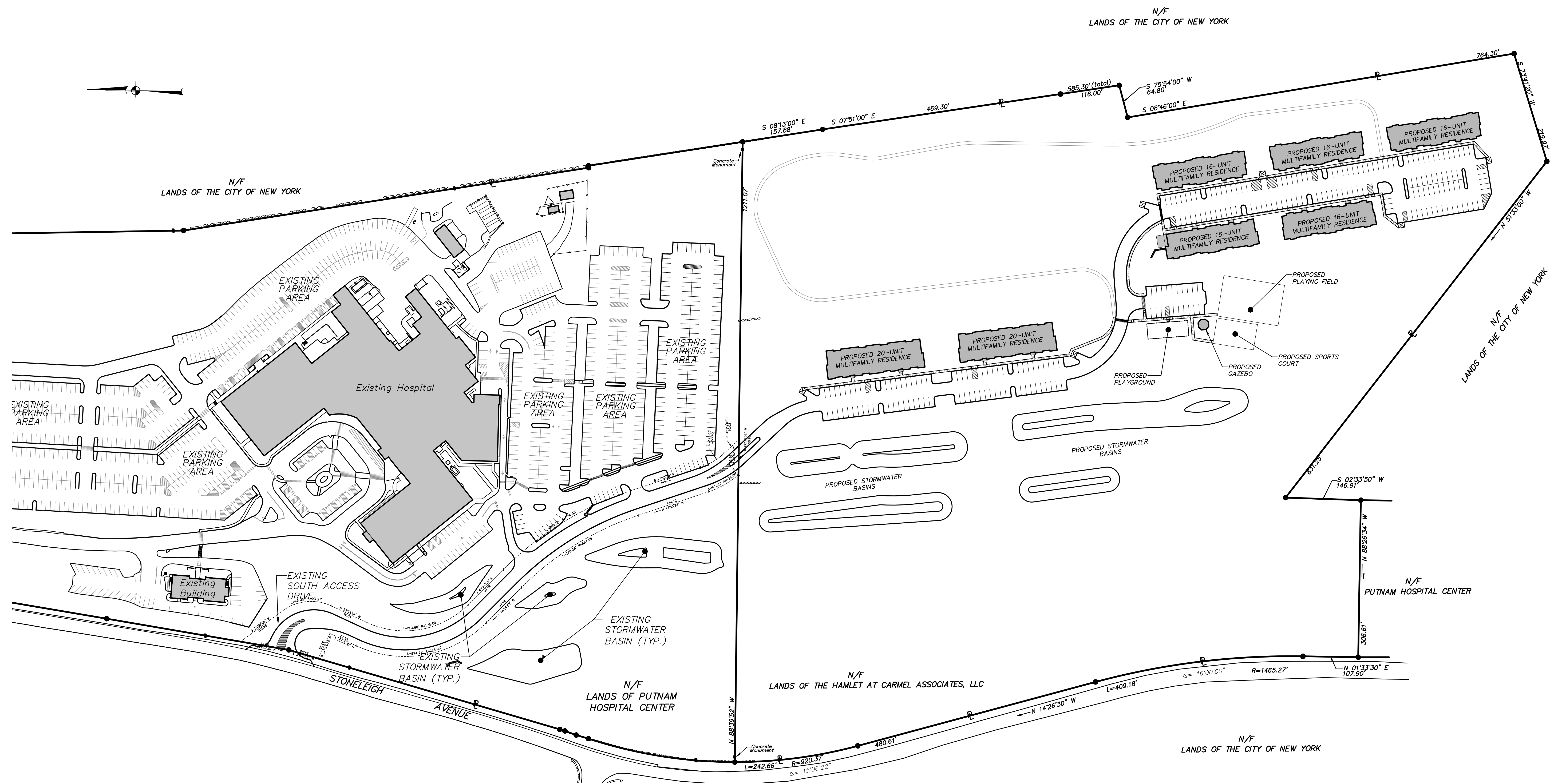


LOCATION MAP SCALE: 1" = 3000'

**RECORD OWNER/APPLICANT:** The Hamlet of Carmel Associates, LLC  
 1777 Route 6  
 Carmel, NY 10152

**SITE DATA:**  
 Total Area: 35.28 AC. ±  
 Tax Map No.: 66-2-58  
 Zoning District: R (Residential)  
 Multifamily  
 Proposed Use: Residential

**GENERAL NOTES:**  
 1. Property boundary shown herein taken from subdivision plot entitled 'Boundary Line Adjustment Map prepared for Putnam Community Foundation and Putnam Hospital Center.' filed January 4, 2006 as map no. 3008.



**R - ZONE REQUIREMENTS:**

	Required:	Provided:
Min. Lot Area:	120,000 SF	1,536,611 SF ±
Min. Lot Width:	200'	1,170' ±
Min. Lot Depth:	200'	1,161' ±
Min. Yard Setbacks:		
Front:	40'	652'
Side:	25'	100'
Rear:	40'	100'
Max. Building Height:	35'	<35'
Max. Building Coverage:	15 %	4%

\* See §156-28 Multi-Family Dwellings Zoning Requirements below.

**PARKING REQUIREMENTS:\***

2.0 spaces per unit x 120 units - Required	= 240 spaces
Total spaces Provided	= 240 spaces

\* Per §156-28 of the Town of Carmel Zoning Code.

**§156-28 MULTI-FAMILY DWELLINGS ZONING REQUIREMENTS:\***

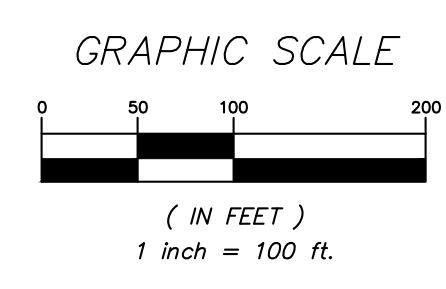
	Required/Permitted:	Provided:
Min. Lot Area	217,800 SF (10.0 AC)	1,536,611 SF ± (35.28 AC)
Max. Density (Units/Acre)	5.0	3.4
Max. Dwelling Units	150	120
Max. Building Coverage	30%	4%
Min. Property Line Setback	100'	100'
Max. Building Height	35'	less than 35'
Distance Between Buildings	50'	50'
Max. Building Length	200'	190'
Min. Recreation Space	300 SF / unit	322 SF / unit

**RECREATION REQUIREMENTS:**

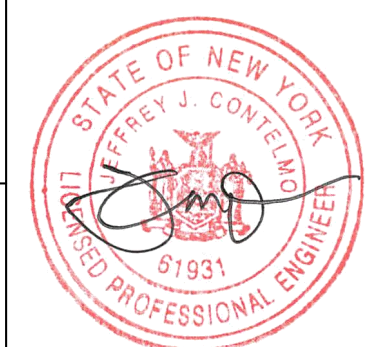
1. Indoor Common Space:	1,150 SF±
2. Patio Area:	470 SF±
3. Active Recreation Area: (Playground, Sports Court, Playing Field)	23,500 SF±
3. Walking Path Area:	13,500 SF±
TOTAL RECREATION PROVIDED:	36,620 SF
TOTAL RECREATION REQUIRED: (300 SF/Unit x 120 Units)	36,000 SF

**LIST OF DRAWINGS**

DRAWING NO.	DRAWING NAME	SHEET
SP-1	Overall Site Plan	1
SP-2	Layout, Landscape, & Lighting Plan	2
SP-3	Grading & Utilities Plan	3
SP-4	Erosion Control & Phasing Plan	4
D-1	Site Details	5
D-2	Site Details	6
D-3	Site Details	7
D-4	Stormwater Pond Details	8
D-5	Stormwater Pond Details	9



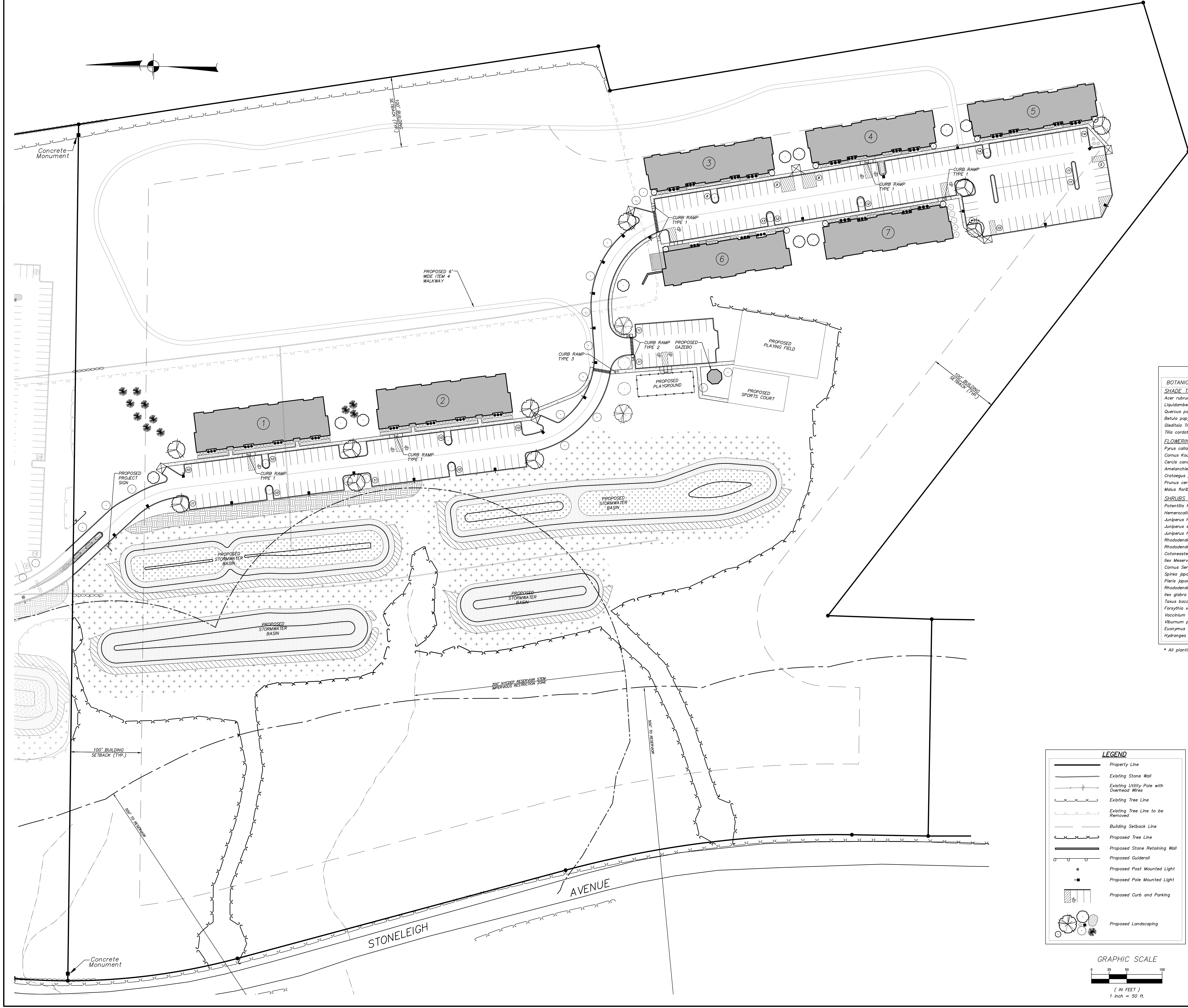
NO.	DATE	REVISION	BY
PROJECT:		3 Garrett Place Carmel, NY 10152 (845) 225-9690 (845) 225-9717 fax www.insite-eng.com	
<b>THE HAMLET AT CARMEL</b> MULTI-FAMILY HOUSING DEVELOPMENT STONELEIGH AVENUE, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK			
DRAWING: <b>OVERALL SITE PLAN</b>			
PROJECT NO.	14211.100	PROJECT MANAGER	J.J.C.
DATE	2-10-21	DRAWN BY	M.E.U.
SCALE	1" = 100'	CHECKED BY	J.J.C.
			DRAWING NO. SHEET <b>SP-1</b> 1 9





**General Notes:**

1. Property boundary shown hereon taken from subdivision plot entitled "Boundary Line Adjustment Map prepared for Putnam Community Foundation and Putnam Hospital Center," filed January 4, 2008 as map no. 3008.
2. Existing conditions and topography shown hereon taken from survey entitled "Topographic Survey prepared for The Putnam Community Foundation," prepared by Terry Begendorf Collins, L.S., last revised April 25, 2007.



PLANT LIST			
BOTANICAL/COMMON NAME	SIZE	ROOT	REMARKS
<b>SHADE TREES</b>			
<i>Acer rubrum</i> 'October Glory' / October Glory Red Maple	2 1/2" - 3" CAL.	B & B	
<i>Liquidambar styraciflua</i> / Sweetgum	2 1/2" - 3" CAL.	B & B	
<i>Quercus palustris</i> / Pin Oak	2 1/2" - 3" CAL.	B & B	
<i>Betula papyrifera</i> / Paper Birch	8' - 10' HT.	B & B	Multi-stem
<i>Gleditsia tricanthos</i> / Honey Locust	8' - 10' HT.	B & B	
<i>Tilia cordata</i> / Little Leaf Linden	8' - 10' HT.	B & B	
<b>FLOWERING TREES</b>			
<i>Pyrus calleryana</i> 'Bradford' / Bradford Pear	2" - 2 1/2" CAL.	B & B	
<i>Cornus Kousa</i> / Kousa Dogwood	7' - 8' HT.	B & B	
<i>Cercis canadensis</i> / Eastern Redbud	8' - 10' HT.	B & B	
<i>Amelanchier canadensis</i> / Shadblow Serviceberry	8' - 10' HT.	B & B	Multi-stem
<i>Crotaegus phoenopyrum</i> / Washington Hawthorn	2" - 2 1/2" CAL.	B & B	
<i>Prunus cerasifera</i> / Purple Leaf Plum	2" - 2 1/2" CAL.	B & B	
<i>Malus floribunda</i> / Japanese Flowering Crabapple	2" - 2 1/2" CAL.	B & B	
<b>SHRUBS &amp; GROUNDCOVERS</b>			
<i>Potentilla fruticosa</i> 'Sunset' / Sunset Potentilla	2 GAL.	CONT.	
<i>Hemerocallis</i> 'Stella D'Oro' / Miniature Daylilies	2 GAL.	CONT.	
<i>Juniperus horizontalis</i> 'Plumosa Nano' / Dwarf Andorra Juniper	3 GAL.	CONT.	
<i>Juniperus sargentii</i> / Sargent's Juniper	3 GAL.	CONT.	
<i>Juniperus horizontalis</i> 'Blue Rug' / Blue Rug Juniper	2 GAL.	CONT.	
<i>Rhododendron</i> 'PJM' / PJM Rhododendron	2" - 2 1/2" HT.	B & B	
<i>Rhododendron</i> 'Purple Gem' / Purple Gem Rhododendron	3 GAL.	CONT.	
<i>Cotoneaster spiculata</i> / Cranberry Cotoneaster	3 GAL.	CONT.	
<i>Ilex meserveae</i> / Holly	4" - 5" HT.	B & B	
<i>Cornus Sericea</i> / Red Twig Dogwood	4" - 5" HT.	B & B	
<i>Spiraea japonica</i> 'Anthony Waterer' / Anthony Waterer Spiraea	3" - 4" HT.	CONT.	
<i>Pieris japonica</i> 'Mt. Fire' / Mt. Fire Andromeda	2" - 2 1/2" HT.	CONT.	
<i>Rhododendron catawbiense</i> / Catawba Rhododendron	2 1/2" - 3" HT.	CONT.	
<i>Ilex glabra compacta</i> / Dwarf Inkberry	18" - 24" HT.	CONT.	
<i>Taxus baccata</i> 'repensdens' / English Yew	18" - 24" HT.	CONT.	
<i>Forsythia x intermedia</i> / Barde's Forsythia	4" - 5" HT.	CONT.	
<i>Vaccinium angustifolium</i> / Lowbush Blueberry	3 GAL.	CONT.	
<i>Viburnum prunifolium</i> / Blackhaw Viburnum	2 1/2" - 3" HT.	B & B	
<i>Euonymus alatus</i> 'compacta' / Dwarf Burning Bush	2 1/2" - 3" HT.	CONT.	
<i>Hydrangea arborescens</i> 'Annabelle' / Hydrangea	5 GAL.	CONT.	

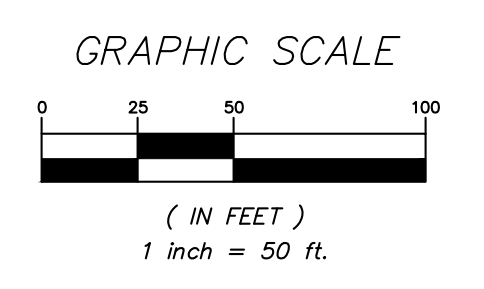
\* All plantings to be verified by the Town of Carmel Wetland Inspector.

**Planting Notes:**

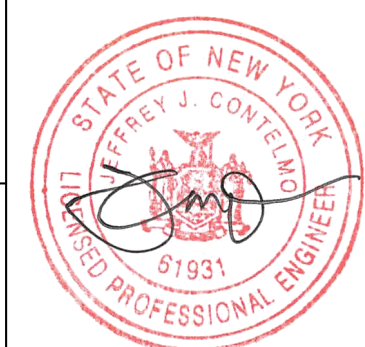
1. All plant material to be nursery grown.
2. Plants shall conform with the American Association of Nurseryman Standards in all ways including dimensions.
3. Plants shall be planted in all locations designed on the plan or as staked in the field by the project Landscape Architect.
4. All plants shall be hardy under climate conditions similar to those in the locality of the project.
5. 4" pine bark mulch shall be spread over all landscaped areas.
6. All proposed seeded areas to receive 4" min. depth of topsoil and all proposed planting beds to receive a 12" min. depth of topsoil.
7. For all additional notes see detail sheets.
8. In addition to these standards, all plantings will be installed per §142 of the Town of Carmel Code.

**LEGEND**

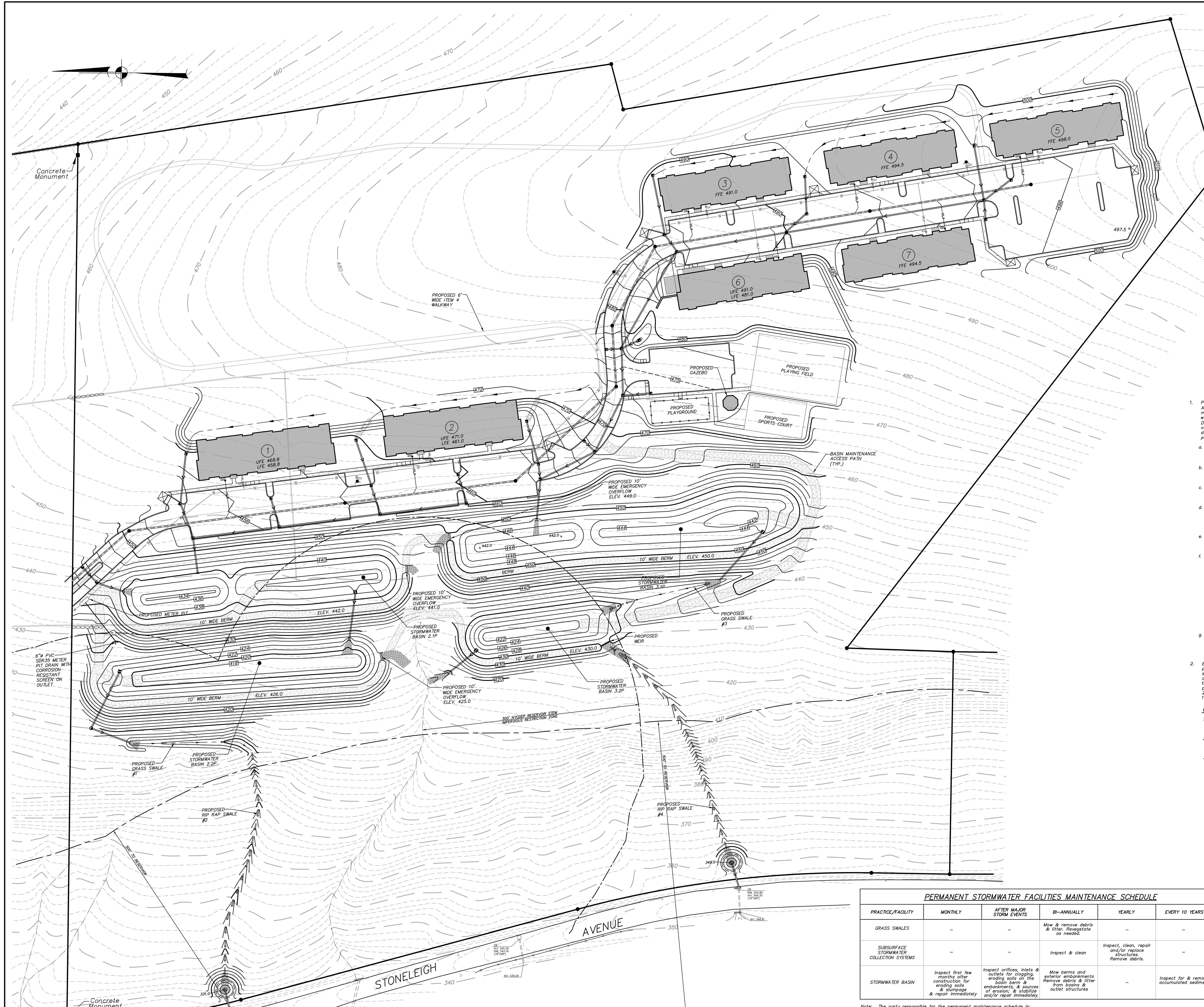
- Property Line
- Existing Stone Wall
- Existing Utility Pole with Overhead Wires
- Existing Tree Line
- - - Existing Tree Line to be Removed
- - - Building Setback Line
- - - Proposed Tree Line
- Proposed Stone Retaining Wall
- Proposed Guiderail
- Proposed Post Mounted Light
- Proposed Pole Mounted Light
- ▨ Proposed Curb and Parking
- Proposed Landscaping



NO.	DATE	REVISION	BY
<b>INSITE</b>			
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.			
PROJECT: <b>THE HAMLET AT CARMEL MULTI-FAMILY HOUSING DEVELOPMENT</b>			
DRAWING: <b>LAYOUT, LANDSCAPING, &amp; LIGHTING PLAN</b>			
PROJECT NO.	14211.100	PROJECT MANAGER	J.J.C.
DATE	2-10-21	DRAWN BY	M.E.U.
SCALE	1" = 50'	CHECKED BY	J.J.C.
			DRAWING NO. <b>SP-2</b>
			SHEET <b>2</b> OF <b>9</b>







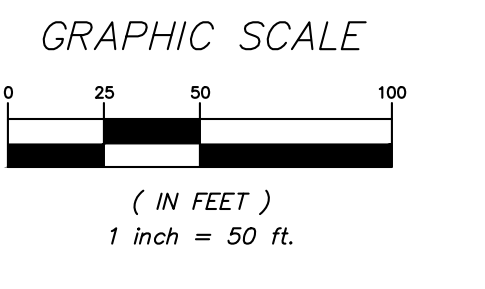
LEGEND	
	Property Line
	Existing 2' Contour
	Existing 10' Contour
	Existing Spot Grade
	Existing Drain Inlet and Drainage Pipe
	Proposed 2' Contour
	Proposed 10' Contour
	Existing Stone Wall
	Existing Stone Wall to be Removed
	Proposed Retaining Wall
	Proposed 8" PVC SDR 35 Sewer Main With Sewer Manhole
	Proposed HDPE Drainage Pipe
	Proposed Sewer Manhole
	Proposed Catch Basin/Drain Inlet
	Proposed Drainage Manhole
	Proposed Outlet Structure
	Proposed End Section With Rip Rap Apron
	Proposed Grass Swale
	Proposed Riprap Swale
	Proposed 8" PVC Class 200 DR 14 Water Main
	Proposed Fire Hydrant and Gate Valve
	Proposed 1/2" (Final Size Per Fire Protection System Requirements) Polyethylene Water Service Line W/Curb Stop
	Proposed 4" PVC SDR 35 Sewer Service Line W/Clean Out
	Proposed 6" PVC SDR 35 Sewer Service Line W/Clean Out
	Proposed 4" PVC Class 200 DR 14 Water Service Line (Final Size Per Fire Protection System Requirements)
	Proposed Gate Valve
	Proposed Roof Drain Discharge
	Proposed Limits of Disturbance

**REQUIRED POST-CONSTRUCTION STORMWATER MANAGEMENT PRACTICE COMPONENTS:**

- Pursuant to the NYSDEC "SPDES General Permit for Stormwater Discharges from Construction Activity" (09-0-20-001), all construction projects needing post-construction stormwater management practices shall prepare a SWPPP that also includes practices designed in conformance with the most current version of the technical standard, New York State Stormwater Management Design Manual ("Design Manual"). Where post-construction stormwater management practices are not designed in conformance with this technical standard, the owner or operator must demonstrate equivalence to the technical standard. The following list of SWPPP components is provided in accordance with Part III.B.2a-g and III.B.3:
  - Identification of all post-construction stormwater management practices to be constructed as part of the project. This plan, and details/notes shown herein serve to satisfy this SWPPP requirement.
  - A site map/construction drawing(s) showing the specific location and size of each post-construction stormwater management practice. This plan, and details/notes shown herein serve to satisfy this SWPPP requirement.
  - The dimensions, material specifications and installation details for each post-construction stormwater management practice. This plan, and details/notes shown herein serve to satisfy this SWPPP requirement.
  - Identification of any elements of the design that are not in conformance with the Design Manual, include the reason for the deviation or alternative design and provide information which demonstrates that the deviation or alternative design is equivalent to the technical standard. All post-construction stormwater management practices are in conformance with the Design Manual.
  - A hydraulic and hydraulic analysis for all structural components of the stormwater management control system; The required analysis is provided in the report titled Stormwater Pollution Prevention Plan for The Putnam Community Foundation.
- A detailed summary (including calculations) of the sizing criteria that was used to design all post-construction stormwater management practices. At a minimum, the summary shall address the required design criteria from the applicable chapter of the Design Manual, including the identification and justification for any deviations from the Design Manual, and identification of any design criteria that are not required based on the redesignment criteria or waiver criteria included in the Design Manual. The stormwater practices are sized in accordance with the Design Manual, specifically chapters 4, 6, and 10. The stormwater facilities have been designed to provide water quality volume treatment (treatment of the 1 year 24-hour design storm per the Enhanced Phosphorus Removal Standards). Channel Protection Volume is provided through 24-hour center of mass detention of the 1 year 24-hour design storm. Overbank Flood Control and Extreme Flood Control are provided by attenuating post-development peak stormwater discharges to below pre-development levels for the 10-year and 100-year 24-hour design storm. Calculations are provided in report entitled Stormwater Pollution Prevention Plan for Putnam Community Foundation. All practices are designed in accordance with the Design Manual.
- An operations and maintenance plan that includes inspection and maintenance schedules and actions to ensure continuous and effective operation of each post-construction stormwater management practice. The plan shall identify the entity that will be responsible for the long term operation and maintenance of each practice. The Permanent Stormwater Facilities Maintenance Schedule provided on these plans serves to satisfy this requirement.

**General Notes:**

- Property boundary shown herein taken from subdivision plot entitled "Boundary Line Adjustment Map prepared for Putnam Community Foundation and Putnam Hospital Center," filed January 4, 2006 as map no. 3008.
- Existing conditions and topography shown herein taken from survey entitled "Topographic Survey prepared for The Putnam Community Foundation," prepared by Terry Eganor & Collins, L.L.C., last revised April 25, 2007.
- Cleaning of existing drainage structures along Stoneleigh Avenue shall be accomplished as part of the required Highway Work Permit for the connection to the existing drainage structure.
- Due to high pressures in the water main, pressure reducing valves shall be installed to protect domestic plumbing fixtures.

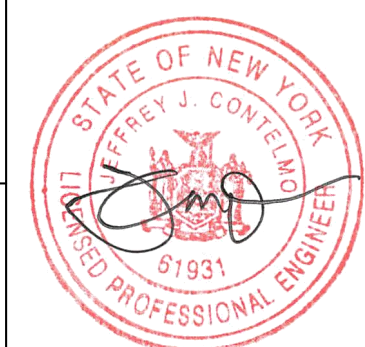


PERMANENT STORMWATER FACILITIES MAINTENANCE SCHEDULE					
PRACTICE/FACILITY	MONTHLY	AFTER MAJOR STORM EVENTS	BI-ANNUALLY	YEARLY	EVERY 10 YEARS
GRASS SWALES	-	-	Mow & remove debris & litter, Rerograde as needed.	-	-
SUBSURFACE STORMWATER COLLECTION SYSTEMS	-	-	Inspect & clean	Inspect, clean, repair and/or replace structures. Remove debris.	-
STORMWATER BASIN	Inspect first few months after construction for eroding soils & slumping & repair immediately	Inspect orifices, inlets & outlets for clogging, eroding soils on the embankments, & sources of erosion; & stabilize and/or repair immediately.	Mow berms and exterior embankments. Remove debris & litter from basins & outlet structures	-	Inspect for & remove accumulated sediment

Note: The party responsible for the permanent maintenance schedule is: The Hamlet at Carmel Associates, LLC, 57 Route 6, Suite 207, Carmel, NY 10505 and/or the current owner(s) of the subject property.

NO.	DATE	REVISION	BY
PROJECT: THE HAMLET AT CARMEL MULTI-FAMILY HOUSING DEVELOPMENT STONELEIGH AVENUE, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK			
DRAWING: GRADING & UTILITIES PLAN			
PROJECT NO.	14211.100	PROJECT MANAGER	J.J.C.
DATE	2-10-21	DRAWN BY	M.E.U.
SCALE	1" = 50'	CHECKED BY	J.J.C.
DRAWING NO.			SHEET
SP-3			3
			9

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2209 OF ARTICLE 146 OF THE EDUCATION LAW.







ZONING BOARD OF APPEALS  
TOWN OF CARMEL  
PUTNAM COUNTY

Town Hall, Town of Carmel  
60 McAlpin Ave.  
Mahopac, N.Y. 10541  
(845)628-1500

IN THE MATTER OF THE APPEAL  
OF  
**TUTTLEMONDO**

TO THE ZONING BOARD OF APPEALS  
OF THE TOWN OF CARMEL

Application Date: March, 8, 2021

Application For (circle applicable): Area Variance (156-15) Use Variance Interpretation 280A

Name of Property Owner: THOMAS TUTTLEMONDO Address: 146 CRANE ROAD

Mailing Address: 146 CRANE RD. CARMEL, NY 10512 Phone Number(s): 914-618-2064

Zoning District: R-120 Tax Map: 54.14 - 1 - 39

Applicant is: (circle one) (Owner) (~~Lessee~~) (~~Contract Vendee~~) [Attach deed, contract of sale or lease agreement]

E-Mail Address: ttuttle2441@gmail.com

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
N/A	N/A	N/A

List all improvements (1 family dwelling, pool, etc.) 1 Family HOUSE AND SHED

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: GARAGE PLAN, SURVEY AND APPLICATIONS

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO  
Explain: YES, CRANE ROAD

I, the applicant, am seeking permission to: SIDE YARD VARIANCE FOR PROPOSED DETACHED GARAGE

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
<u>SIDE YARD 15'</u>	<u>7'</u>	<u>8'</u>

State of New York )  
                          SS:

County of Putnam )

The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this 9th day of March 2021

Alice Daly  
Notary Public

**ALICE DALY**  
Notary Public, State of New York  
No. 01DA6345218  
Qualified in Putnam County  
Commission Expires July 25, 2024

Petitioner Thomas Tuttlemondo Date 03-09-2021









"NEW"

ZONING BOARD OF APPEALS  
TOWN OF CARMEL  
PUTNAM COUNTY

Town Hall, Town of Carmel  
60 McAlpin Ave.  
Mahopac, N.Y. 10541  
(845)628-1500

ME

IN THE MATTER OF THE APPEAL  
OF

JOAO & Filomena Gomes

TO THE ZONING BOARD OF APPEALS  
OF THE TOWN OF CARMEL

Application Date: March 5, 20 21

Application For (circle applicable): Area Variance 150-15 Use Variance Interpretation 280A

Name of Property Owner: JOAO & Filomena Gomes Address: 23 Hickory Dr. Mahopac, NY

Mailing Address: 23 Hickory Dr. Mahopac, NY Phone Number(s): 845-746-6211

Zoning District: Res. Tax Map: 86.47 - 1 - 29

Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]

E-Mail Address: Fgomes67@aol.com

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
<u>11/2013</u>	<u>5' variance requested in different location</u>	<u>denied</u>

List all improvements (1 family dwelling, pool, etc.) 1 family dwelling, shed

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: survey, building plans

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES Shore  
Explain: LAKE BALDWIN

I, the applicant, am seeking permission to: retain shed, construct Addition, Retain / Rebuild Deck

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
<u>1. Addition:</u>		
<u>Rear Yard 15'</u>	<u>10'</u>	<u>5'</u>
<u>2. Shed: 10'</u>		
<u>Rear Yard: Shore Dr.</u>	<u>0.95'</u>	<u>9.05'</u>
<u>Rear Yard: Hickory Dr</u>	<u>1.55'</u>	<u>8.45'</u>
<u>3. Deck: Rear 15'</u>	<u>7.13'</u>	<u>7.87'</u>

State of New York )  
                                  ss:  
County of Putnam )  
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this 5 day of March 2021

Alice Daly  
Notary Public

**ALICE DALY**  
Notary Public, State of New York  
No. 01DA6345218  
Qualified in Putnam County  
Commission Expires July 25, 2024

Petitioner: Filomena Gomes Date 3/5/2021





**AUTHORIZATION FORM**

RE: Property of: Joao Gomes + Filomena Gomes  
Located at: 23 Hickory Drive, Mahopac NY  
Tax Map #: 86.47-1-29

In the matter of: \_\_\_\_\_  
(Variance Request)

To whom it may concern:

This letter is to authorize William A. Shilling, Jr.

a/an (check one) Attorney  Engineer  Architect  Other \_\_\_\_\_

to apply for the required variance(s) on the above noted property and to sign all necessary papers and make all necessary representations on my behalf in connection with the above-mentioned matter.

Countersigned: [Signature]  
William A. Shilling, Jr., Esq.  
(Print Name)

Signed: [Signature]  
Filomena Gomes  
(Print Name)

Mailing Address: Shilling + Smith, P.C.  
122 Old Route 6 Carmel  
State: NY Zip: 10512  
Telephone # 845-225-7500  
Date: 2/26/2001  
E-mail: waslaw@shillinglegal.com

Mailing Address: 23 Hickory Drive  
Mahopac  
State: NY Zip: 10541  
Telephone # 746-6211

NOTE: The willful submission of false or inaccurate information on this application may result in the dismissal of the application, or the revocation of any action taken on the application, or both.





ZONING BOARD OF APPEALS  
TOWN OF CARMEL  
PUTNAM COUNTY

Town Hall, Town of Carmel  
60 McAlpin Ave.  
Mahopac, N.Y. 10541  
(845)628-1500

*MC*

IN THE MATTER OF THE APPEAL  
OF  
Brandt Addition  
TO THE ZONING BOARD OF APPEALS  
OF THE TOWN OF CARMEL

Application Date: March 30, 20 21

Application For (circle applicable): Area Variance ( ) Use Variance Interpretation 280A  
Name of Property Owner: Adam Brandt Address: 6 Mechanic St. Carmel NY  
Mailing Address: 6 Mechanic St. Carmel NY Phone Number(s): 646 208 6780  
Zoning District: R-120 Tax Map: 55.14 - 1 - 32

Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]  
E-Mail Address: ajbrandt1981@yahoo.com

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
<u>April 1968</u>	<u>Repair and sales of garden Equip.</u>	<u>Granted</u>
<u>April 1968</u>	<u>Sale of campers and/or trailers</u>	<u>Denied</u>

List all improvements (1 family dwelling, pool, etc.) 1-2 family - 1-1 family - + one garage

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: Survey, photos, plans

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES (NO)  
Explain: \_\_\_\_\_

I, the applicant, am seeking permission to: add a second floor to 6 Mechanic St. to accommodate an increase in family size

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED

State of New York )  
ss:  
County of Putnam )  
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this 30 day of March 2021  
Alice Daly  
Notary Public

**ALICE DALY**  
Notary Public, State of New York  
No. 01DA6345218  
Qualified in Putnam County  
Commission Expires July 25, 2024

Petitioner [Signature] Date 3-30-21





ZONING BOARD OF APPEALS  
TOWN OF CARMEL  
PUTNAM COUNTY


Town Hall, Town of Carmel  
60 McAlpin Ave.  
Mahopac, N.Y. 10541  
(845)628-1500

*MC*

IN THE MATTER OF THE APPEAL  
OF  
Farrell Addition  
TO THE ZONING BOARD OF APPEALS  
OF THE TOWN OF CARMEL

Application Date: 3/30, 2021

Application For (circle applicable): Area Variance (156-15) Use Variance Interpretation 280A  
Name of Property Owner: Jeff Farrell Address: 20 Friendly Rd. Mahopac, NY  
Mailing Address: 20 Friendly Rd. Mahopac, NY Phone Number(s): (914)906-9407  
Zoning District: R-120 Tax Map: 85.12 - 2 - 2  
Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]  
E-Mail Address: Handyguyjf@gmail.com

Previous Appeals regarding the subject premises: Per: Dawn Andren 

DATE	REQUEST	RESULTS
	<u>NO previous appearances</u>	

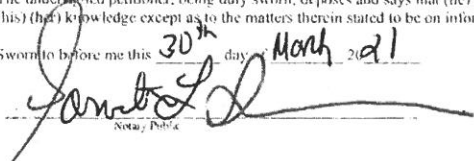
List all improvements (I family dwelling, pool, etc.) shed, deck

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here:

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES  
Explain: Rt. 6n

I, the applicant, am seeking permission to: Build an addition

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
<u>20 feet</u>	<u>15 ft</u>	<u>5 ft</u>

State of New York )  
                          ) ss:  
County of Putnam )  
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the contents thereof and (this) (that) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.  
Sworn to before me this 30<sup>th</sup> day of March, 2021  
  
Notary Public

**SAMANTHA L INCLEDON**  
Notary Public - State of New York  
No. 011N6304669  
Qualified In Westchester County  
My Commission Expires June 2, 2022  
N/4

Petitioner:  Date 3/30/21





ZONING BOARD OF APPEALS  
TOWN OF CARMEL  
PUTNAM COUNTY

Town Hall, Town of Carmel  
60 McAlpin Ave.  
Mahopac, N.Y. 10541  
(845)628-1500

*WR*

IN THE MATTER OF THE APPEAL  
OF  
Vandewalker  
TO THE ZONING BOARD OF APPEALS  
OF THE TOWN OF CARMEL

Application Date: 3/22, 2021

Application For (circle applicable): Area Variance (156-15) Use Variance Interpretation 280A  
Name of Property Owner: Michael VANDERWALKER Address: 144 WATERMELON HILL RD MAHOPAC NY 10541  
Mailing Address: 144 WATERMELON HILL RD MAHOPAC NY 10541 Phone Number(s): (914) 804-1389  
Zoning District: R-120 Tax Map: 76.15 - 1 - 3.2  
Applicant is: (circle one) Owner (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]  
E-Mail Address: VNDMICHAEL5.7 @ GMAIL . COM

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
	<u>No previous board appearances</u>	<u>RT</u>

List all improvements (1 family dwelling, pool, etc.) 1 family house, sked

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: Survey

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO  
Explain: NO

I, the applicant, am seeking permission to: INSTALL A 15' x 24' ABOVE GROUND POOL

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
<u>25' Side</u>	<u>15</u>	<u>10'</u>

State of New York )  
ss:  
County of Putnam )  
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.  
Sworn to before me this 6<sup>th</sup> day of APRIL 20 21

MICHAEL A. SHREN  
Notary Public, State of New York  
Reg. No. 01SU6377064  
Qualified in Westchester County  
Commission Expires 6/25/2022

Petitioner [Signature] Date 04/06/2021





ZONING BOARD OF APPEALS  
TOWN OF CARMEL  
PUTNAM COUNTY

Town Hall, Town of Carmel  
60 McAlpin Ave.  
Mahopac, N.Y. 10541  
(845)628-1500

*1/10*

A

IN THE MATTER OF THE APPEAL  
OF

*McInerney*

TO THE ZONING BOARD OF APPEALS  
OF THE TOWN OF CARMEL

Application Date: \_\_\_\_\_, 20\_\_\_\_

Application For (circle applicable): Area Variance (15615) Use Variance Interpretation 280A  
CODE SECTION

Name of Property Owner: Terence McInerney Address: 48 Tamarack Rd Mahopac NY  
(Address) (City) (State)

Mailing Address: 48 Tamarack Rd Mahopac NY Phone Number(s): 914 450 5162  
(Address) (City) (State)

Zoning District: R-120 Tax Map: 75.8 - 2 - 27  
(R-120, Commercial, C/BP, or Conservation) (section) (Block) (Lot)

Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]

E-Mail Address: tjmcinerney@hotmail.com

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
<u>1983</u>	<u>2nd story addition - granted</u>	<u>(Dma)</u>

List all improvements (1 family dwelling, pool, etc.) 1 family dwelly w/ accessory apt. + Shed (Being Reroofed)

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here:

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO  
Explain: LAKE MAHOPAC

I, the applicant, am seeking permission to: Construct Detached Garage

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
<u>10' Rear</u>	<u>5'</u>	<u>5'</u>

MC

State of New York )  
ss:  
County of Putnam )  
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this 11<sup>th</sup> day of March 2021

Alice Daly  
Notary Public

**ALICE DALY**  
Notary Public, State of New York  
No. 01DA6345218  
Qualified in Putnam County  
Commission Expires July 25, 2024

Petitioner *[Signature]* Date 3.11.21