

JOHN MAXWELL
Chairman

PHILIP AGLIETTI
Vice-Chair

TOWN OF CARMEL
ZONING BOARD OF APPEALS



60 McAlpin Avenue
Mahopac, New York 10541
Tel. (845) 628-1500 – Ext 187
www.ci.carmel.ny.us

MICHAEL
CARNAZZA
Director of Code
Enforcement

BOARD MEMBERS
ROSE FABIANO
SILVIO BALZANO
JOHN STARACE
JULIE MCKEON
WILLIAM SANTINI

LEGAL NOTICE

By the Zoning Board of Appeals of the Town of Carmel pursuant to Section 267 Town Law, notice is hereby given that a hearing will be held on:

MAY 30, 2024 – 7:30 P.M.

To hear the following applications:

HOLD OVER APPLICATIONS:

1. Application of **JOHN TYNDAL** for a Variation of Section 156-10A seeking a Use Variance for permission to retain shed (no main building). The property is located at 717 South Lake Blvd., Mahopac NY and is known as Tax Map #75.42-1-3.

Code Requires/Allows	Provided	Variance Required
Shed as Accessory	No Principal Use	To allow shed on lot without principal use (main building)
40' front	20'	20'
20' side	3' & 10'	17' & 10'
20' rear	14'	6'

2. Application of **ROBERT ALTERO** for a Variation of Section 156-15 seeking a Variance for permission to retain gazebo and legalize room above garage. The property is located at 3 Curry Spur, Mahopac NY and is known as Tax Map #53.12-1-7

Code Requires/Allows	Provided	Variance Required
10' rear (gazebo)	2'	8'

25' front (garage)	0' (over property line. Easement agreement needed.)	25'
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NEW APPLICATIONS:

3. Application of **MAREK KAZMIEROWSKI** for a Variation of Section 156-15 seeking a Variance for permission to construct a carport that will encroach on side yard. The property is located at 162 Lake Drive, Mahopac NY and is known as Tax Map #65.11-1-27.

Code Requires/Allows	Provided	Variance Required
Side yard 20'	2.3'	17.7'

4. Application of **2 CLARK PLACE, LLC** for a Variation of Section 156-15 seeking a Use Variance for permission to retain 2 apartments to exist in commercial building in a commercial (c) zone. The property is located at 2 Clark Place, Mahopac NY and is known as Tax Map #75.12-1-42.

Code Requires/Allows	Provided	Variance Required
Lot Area – 40,000 s.f.	12,875 s.f.	27,125 s.f.
Front Yard – 40'	6.2' & 4.7'	33.8' & 35.3'
Lot Depth – 200'	65.2'	134.8'
Bldg. Area – 5,000 s.f.	4,238 s.f.	762 s.f.
Parking Spaces – 20	12	8
Loading Zone – 1 on prop.	1 not fully on prop.	1
Use Variance to allow apartments in Commercial Zone		

5. Application of **KNIGHTS of COLUMBUS (6318 ASSOCIATES INC.)** for a Variation of Section 156-15 seeking an Area Variance for permission to add addition to rear of building. The property is located at 10 Fair Street, Carmel NY and is known as Tax Map #44.18-1-20.

Code Requires/Allows	Provided	Variance Required
Area: 40,000 s.f.	16,832 s.f.	23,168 s.f.
Frontage: 100'	89.10'	10.9'
Width: 200'	85'	115'
Depth: 200'	90'	110'

Front: 40'	21.5'	18.5'
Side: 25'	8.7'	16.3'
Rear: 30'	1.4'	28.6'

6. Application of **TTSHR LLC** for a Variation of Section 156-15 seeking a Use Variance to permit the continuation of 12 residential rental units, 11 of which have existed since the sixties and the twelfth since 1970. Applicant further seeks the following area variances for existing conditions in place for over 50 years. The property is located at 27 Seminary Hill Road, Carmel NY and is known as Tax Map #55.6-1-70.

Code Requires/Allows	Provided	Variance Required
2 Story: Front Yard – 40'	38.7'	1.3'
3 Story: Front Yard – 40'	33.6'	6.4'
2 Story: Side – 25'	10.4'	14.6'
Garage: Rear – 20'	6.6'	13.4'
Garage: Side – 20'	4'	16'
2 family deck: Rear 40'	5'	35'

7. Application of **AARON KASS** for a Variation of Section 156-15 seeking a Variance for permission to subdivide lot into two lots. The property is located at 90 Mexico Lane, Mahopac NY and is known as Tax Map #53.-2-17.

Code Requires/Allows	Provided	Variance Required
Lot 1 area - 120,000 s.f.	67,953.65 s.f.	52,046.35 s.f.
Lot 2 area - 120,000 s.f.	64,468.80 s.f.	55,531.20 s.f.
Lot 1 rear yard setback -40 ft.	7.3 ft. existing	32.7 ft.

8. Application of **ANTHONY NANETTI** for a Variation of Section 156-15 seeking a Use Variance to legalize a two-family structure in a single-family zone. The property is located at 7 Indian Avenue, Mahopac NY and is known as Tax Map #75.12-1-32.

Code Requires/Allows	Provided	Variance Required
Single Family Use	Two Family	To permit two-family in a single-family zone

9. Application of **PAULA NIGRI** for a Variation of Section 156-15 seeking a Use Variance for permission to retain existing tent storage structure on lot without a principal use. The property is located at 101 Drewville Rd., Carmel NY and is known as Tax Map #65.8-1-6.

Code Requires/Allows	Provided	Variance Required
Front 40' (Drewville)	26'	14'
Front 40' (Crafts)	21'	19'
Side 20'	16'	4'

10. Application of **625 REALTY GROUP LLC** for a Variation of Section 156-15 seeking permission to remove condition from 1997 Decision & Order: Requires only the business (insurance & real estate) and not for other rental uses; cannot be rented or leased. The property is located at 625 Route 6, Mahopac NY and is known as Tax Map #76.9-1-8.

11. Application of **EVANS SEPTIC TANK SERVICE (Liberty Bell Trucking Co – owner)** for a Variation of Section 156-15 seeking a Variance for permission to pursue site plan approval on existing lot with nonconforming lot width. The property is located at 53 Old Route 6, Carmel NY and is known as Tax Map #55.11-1-18.

Code Requires/Allows	Provided	Variance Required
Minimum Lot Width – 200'	125'	75'

MISCELLANEOUS:

MINUTES: March 28, 2024

By Order of the Chairman,

John Maxwell



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

ML

71

4/30/24
Revised
ORIGINAL

IN THE MATTER OF THE APPEAL
OF
TINDAL
TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: 3/12/24, 2024

Application For (circle applicable): Area Variance 156 to A Use Variance Interpretation 280A
Name of Property Owner: JOHN TINDAL Address: 717 SO LAKE BLVD, MAHOPAC N.Y.
Mailing Address: 848 FAIRFIELD CT, YORKTOWN HEIGHTS Phone Number(s): ACT 10598
Zoning District: R Tax Map: 75.42 1 - 3
Applicant is: (circle one) Owner (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]
E-Mail Address: _____

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
	<u>NO previous ZBA appearances</u>	<u>Dma</u>

List all improvements (1 family dwelling, pool, etc.) SHED

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: SURVEY PHOTO

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO
Explain: YES - SO LAKE BLVD + LAKE MAHOPAC

I, the applicant, am seeking permission to: Retain SHED (NO MAIN BLVD)

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
<u>SHED requires 40' min setback</u>	<u>NO PRINCIPAL USE</u>	<u>To allow SHED on lot without principal use</u>
<u>Shed as accessory</u>		<u>(main Blvd)</u>
<u>40</u>	<u>20</u>	<u>20'</u>
<u>20 Side</u>	<u>3 + 10</u>	<u>17 + 10'</u>
<u>20 Rear</u>	<u>14'</u>	<u>6'</u>

State of New York)
ss:
County of Putnam)
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this 21 day of March 2024
Dale J Gross
Notary Public

DALE J GROSS
Notary Public - State of New York
NO. 01GR6142788
Qualified in Westchester County
My Commission Expires 3/20/26

Petitioner John Tindal Date 3/21/24

RECEIVED
MAR 28 2024
TOWN OF CARMEL



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

me

IN THE MATTER OF THE APPEAL
OF
Altero
TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: **August 14**, 20**23**

Application For (circle applicable): Area Variance () Use Variance Interpretation 280A
Name of Property Owner: **Robert Altero** Address: **3 Curry Spur**
Mailing Address: **3 Curry Spur, Mahopac, NY** Phone Number(s):
Zoning District: **R-120** Tax Map: **53.12 - 1 - 7**
Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]
E-Mail Address: **rayexdesign@gmail.com**

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
2014	retain existing deck	granted
2006	side and rear yards for enlarging BR	granted

List all improvements (1 family dwelling, pool, etc.) **house remains, shed, garage, pool gazebo**

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: **survey and pictures**

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO
Explain: **yes Loma Pon Rd**

I, the applicant, am seeking permission to: **retain gazebo, legalize room above garage**

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
10' rear (gazebo)	2' and 6'	8'
25' front (garage)	0'	25'
	<i>(Over Property Line, Easement agreement needed)</i>	

State of New York)
County of Putnam)
The undersigned petitioner, being duly sworn, deposes and says that he (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters he (she) believes to be true

Sworn to before me this **15** day of **August** 20**23**
Alice Daly
Notary Public

ALICE DALY
Notary Public, State of New York
No. 01DA6345218
Qualified in Putnam County
Commission Expires July 25, 2024

Petitioner *William Behrend* Date **8/15/23**



AUTHORIZATION FORM

RE: Property of: Robert Altero
(Owner)
Located at: 3 Curry Spur, Mahopac, NY 10541
(Address) (City, Town, Village)
Tax Map #: 53.12-1-7
In the matter of: Altero front and rear yard variance
(Variance Request)

To whom it may concern:

This letter is to authorize William Besharat

a/an (check one) Attorney Engineer Architect Other (Agent)

to apply for the required variance(s) on the above noted property and to sign all necessary papers and make all necessary representations on my behalf in connection with the above-mentioned matter.

Countersigned: *William Besharat*
(Representative)
William Besharat
(Print Name)

Signed: *Robert Altero*
(Owner/Property)
Robert Altero
(Print Name)

Mailing Address: 266 Shear Hill Rd
Mahopac
State: NY Zip: 10541
Telephone # 914-330-4999
Date: 8/14/2023
E-mail: Rayexdesign@gmail.com

Mailing Address: 3 Curry Spur
Mahopac
State: NY Zip: 10541
Telephone # _____

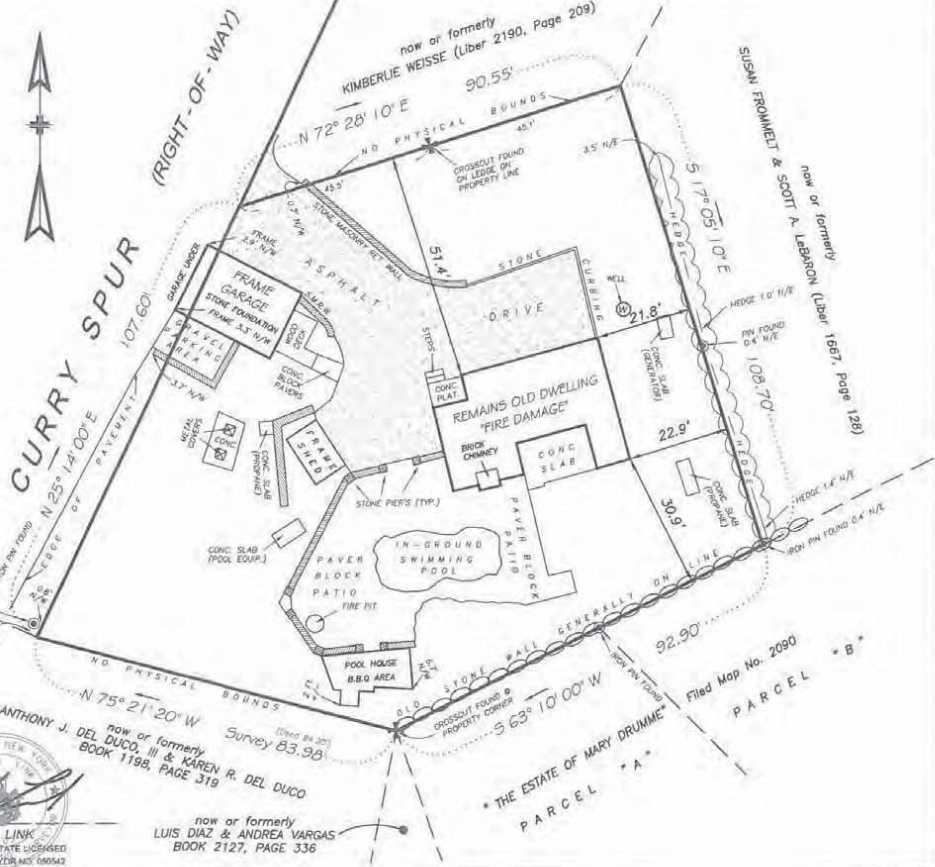
NOTE: The willful submission of false or inaccurate information on this application may result in the dismissal of the application, or the revocation of any action taken on the application, or both.

SURVEY OF PROPERTY
SITUATE IN THE
TOWN of CARMEL
PUTNAM COUNTY
NEW YORK

SCALE: 1" = 20'
SURVEYED: AUGUST 7, 2023

- THE PREMISES SHOWN HEREON DESCRIBED IN DEED RECORDED IN BOOK 1864 PAGE 283 ON OCTOBER 13, 2014, IN THE PUTNAM COUNTY CLERK'S OFFICE.
- PREMISES ARE DESIGNATED ON THE TAX MAPS FOR THE TOWN OF CARMEL as:
SECTION: 53.12 BLOCK: 1 LOT: 7
STREET ADDRESS: 3 CURRY SPUR
PROPERTY AREA: 15,019 Sq. Ft. / 0.3448 Acre
- THIS MAP IS BASED UPON THE INFORMATION SUPPLIED BY THE CLIENT AND/OR HIS REPRESENTATIVE AND SUBJECT TO THE FINDINGS THAT A COMPLETE ABSTRACT OF TITLE MAY UNCOVER.
- THE OFFSETS SHOWN HEREON ARE NOT INTENDED TO ESTABLISH PROPERTY LINES FOR THE ERECTION OF FENCES, STRUCTURES OR ANY OTHER IMPROVEMENTS.
- ENCROACHMENTS BELOW GRADE AND/OR SUBSURFACE FEATURES, IF ANY, NOT LOCATED OR SHOWN HEREON.
- UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAWS.
- THE INFORMATION DEPICTED HEREON IS BASED UPON AN ACTUAL FIELD SURVEY AND IS AN OPINION BASED UPON SAID SURVEY. VARIATIONS IN OFFSETS FROM THAT OF THE OTHERS CAN AND MAY EXIST.
- ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S SEAL SHALL BE CONSIDERED TO BE TRUE VALID COPIES.
- THIS MAP WAS PREPARED FROM AN ACTUAL FIELD SURVEY CONDUCTED ON THE DATE SHOWN AND THAT SAID SURVEY WAS PERFORMED IN ACCORDANCE WITH THE EXISTING * CODE OF PRACTICE FOR LAND SURVEYS * ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.

PREPARED FOR: ROBERT ALTERO



Link
Land Surveyors P.C.
21 Clark Place, Suite 1-B Marquette, NY 10541
Phone 845-828-5857

ERIK J. LINK
NEW YORK STATE LICENSED
LAND SURVEYOR, NO. 050542

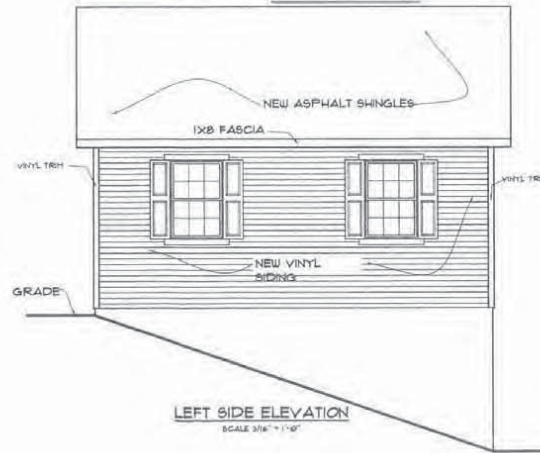
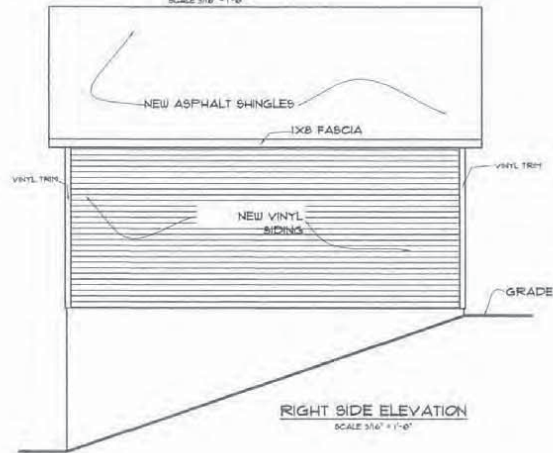
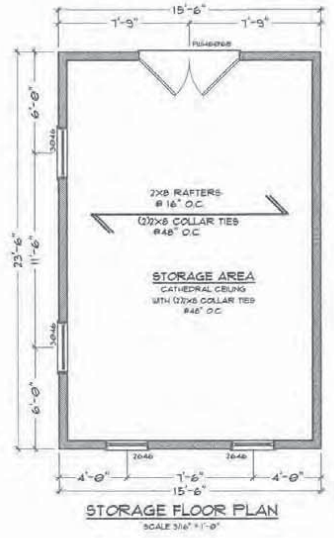
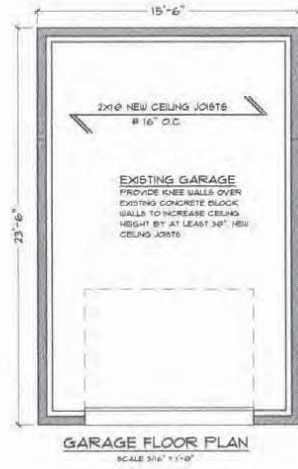
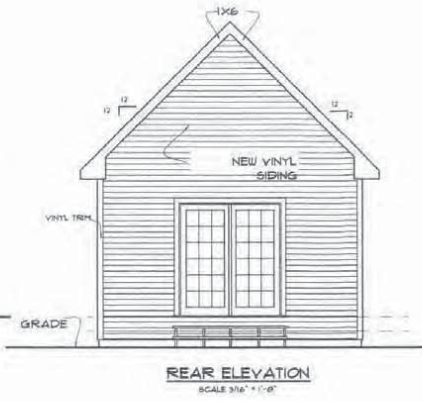
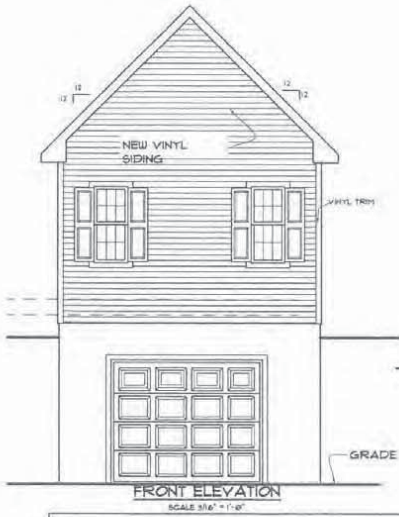
now or formerly
ANTHONY J. DEL DUCCO, III & KAREN R. DEL DUCCO
Survey 83,98
BOOK 1198, PAGE 319

now or formerly
LUIS DIAZ & ANDREA VARGAS
BOOK 2127, PAGE 336

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Filed Map No. 2090
PARCEL * B *

* THE ESTATE OF MARY DRUMME *
PARCEL * A *



RAYEX
DESIGN PLANNING CONSTRUCTION

OWNER: ROBERT ALTERO	JOB #
	DRN BY:
	CHKD BY:
PROJECT: ADDITION TO EXISTING DETACHED GARAGE LOCATED AT 3 CARRY SPR IN MAHOPAC, TOWN OF GARFIELD, NJ	TAX MAP #

SHEET TITLE: FLOOR PLANS & ELEVATIONS
1 OF 1

REVISIONS: DATE: 8/11/2023





ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

MP

IN THE MATTER OF THE APPEAL
OF
KAZMIEROWSKI

Application Date: 5/6/2024

TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application For (circle applicable): Area Variance (156-15) Use Variance Interpretation 280A
Name of Property Owner: MAREK KAZMIEROWSKI Address: 162 LAKE DR, MAHOPAC, NY 10541

Mailing Address: 162 LAKE DR, MAHOPAC, NY 10541 Phone Number(s): -

Zoning District: R-120 Tax Map: 65.11 - 1 - 27

Applicant is: (circle one) Owner (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]

E-Mail Address: 1

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
<u>1986</u>	<u>Return to original lot lines</u>	<u>[Signature]</u>
	<u>granted</u>	

List all improvements (1 family dwelling, pool, etc.) HOUSE AND DRIVEWAY

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: SURVEY, PLAN AND PICTURES

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO
Explain: YES, LAKE CASSE

I, the applicant, am seeking permission to: CONSTRUCT A CAR PORT THAT WILL ENCROACH ON SIDE YARD

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
<u>SIDE YARD 20'</u>	<u>2.3'</u>	<u>17.7'</u>

State of New York)
 SS:
County of Putnam)
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this 6 day of May 2024
[Signature]
Notary Public

ALICE DALY
Notary Public, State of New York
No. 81DA6345218
Qualified in Putnam County
Commission Expires July 25, 2024

Petitioner William Berhart Date 5/6/24



AUTHORIZATION FORM

RE: Property of: Marek Kazmierowski (Owner)
Located at: 162 Lake Dr, Mahopac
(Address) (City, Town, Village)
Tax Map #: 65.11-1-27

In the matter of: side yard variance for carport
(Variance Request)

To whom it may concern:

This letter is to authorize William Besharat,
a/an (check one) Attorney Engineer Architect Other (Agent _____)

to apply for the required variance(s) on the above noted property and to sign all necessary papers and make all necessary representations on my behalf in connection with the above-mentioned matter.

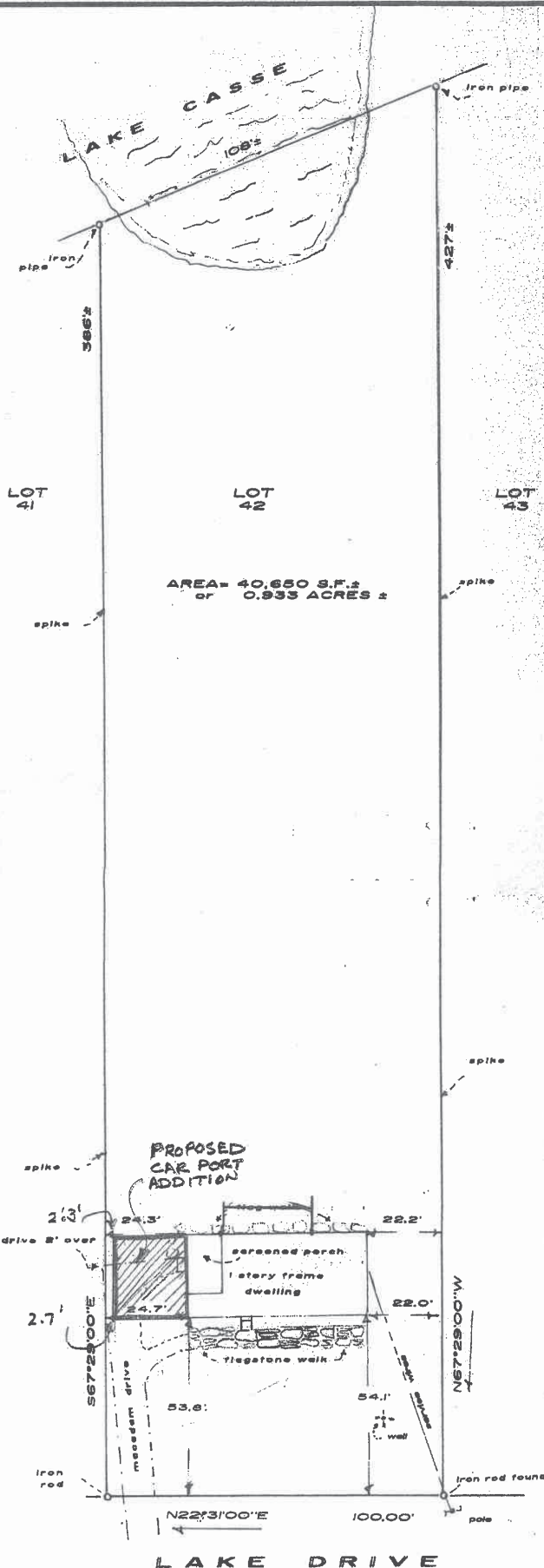
Countersigned: William Besharat
(Representative)
William Besharat
(Print Name)

Signed: Marek Kazmierowski
(Owner of Property)
Marek Kazmierowski
(Print Name)

Mailing Address: 266 Shear Hill rd
Mahopac
State: NY Zip: 10541
Telephone # 914-330-4999
Date: 5/3/2024
E-mail: Rayexdesign@gmail.com

Mailing Address: 162 Lake Dr
Mahopac
State: NY Zip: 10541
Telephone # _____

NOTE: The willful submission of false or inaccurate information on this application may result in the dismissal of the application, or the revocation of any action taken on the application, or both.



SURVEY OF PROPEI
 PREPARED FOR
EXPROP REAL ESTATE
CORPORATE PROFIT SHARI
 SITUATE IN THE
 TOWN OF CARMEL
 PUTNAM COUNTY
 NEW YORK
 SCALE 1" = 30'

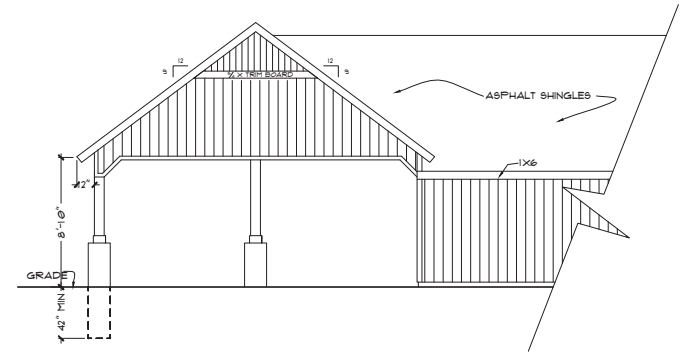
NOTES:

1. All certifications are valid for this map or thereof only if said map or copies bear pressed seal of the surveyor whose name
2. Alteration of this document, except by a land surveyor, is illegal and is a violation of Section 7209, Subdivision 2, of the New York State Real Property Law.
3. The location of underground improvements or encroachments hereon, if any exist, are not shown.
4. This map and copies thereon are certified to be true and correct to the owners, title company and institution(s) shown hereon and to those persons who may hereafter acquire title.
5. Being LOT 42 as shown on a certain map of Section A 8 Section A-1, LAKE CASSE, filed in the Putnam County Clerk's office in 1954 as filed map no. 724-A.

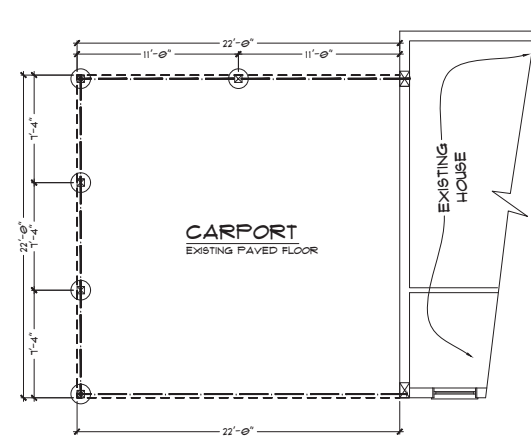
I, RICHARD H. GORR, the surveyor who made hereby certify that this survey was complete on March 21, 1995 and that this map was copy by me on March 23, 1995 and that this survey prepared in accordance with the existing Code for Land Surveys adopted by the New York Association of Professional Land Surveyors.

Richard H. Gorr
 RICHARD H. GORR, P.L.S., N.Y.S. Lic. No. 40,
 ROUTE 6, P.O. Box 916, MAHOPAC, N.Y. 10541

CERTIFIED TO:
 EXPROP REAL ESTATE, INC. - CORPORATE PROFIT SHARI



FRONT ELEVATION
SCALE 1/4" = 1'-0"



CARPORT FLOOR PLAN (484 SF)
SCALE 1/4" = 1'-0"



ROY A. FREDRIKSEN, PE
DESIGN, PLANNING, CONSULTING ENGINEERING
266 SHEAR HILL RD. • MAHOPAC, NY 10541 • 845-621-4000
RAYEXDESIGN@GMAIL.COM

OWNER:	KAZMIEROWSKI RESIDENCE	JOB #	
		DRN BY:	
		CHKD BY:	
PROJECT:	CARPORT ADDITION TO EXISTING HOUSE LOCATED AT 162 LAKE DRIVE IN MAHOPAC, TOWN OF CARMEL, NY	TAX MAP #:	

SHEET TITLE: PLANS AND
ELEVATIONS
1 OF 1

REVISIONS:

DATE: 5/5/2024





ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

me

IN THE MATTER OF THE APPEAL
OF
2 CLARK PLACE, LLC

Application Date: MAY 10, 2024

TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application For (circle applicable): Area Variance (156.15) Use Variance Interpretation 280A
Name of Property Owner: 2 CLARK PLACE, LLC Address: 2 CLARK PL, MAHOPAC, NY 10541

Mailing Address: 466 US-6, MAHOPAC, NY 10541 Phone Number(s): _____

Zoning District: C Tax Map: 75.12 - 1 - 42

Applicant is: (circle one) Owner (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]

E-Mail Address _____

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
1972	VARIANCE FOR ADDITION TO WARE REG. LOADING ZONE.	Granted

List all improvements (1 family dwelling, pool, etc.) BUILDING AND PARKING LOT

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: Site Plan + Pictures + Floor Plan.

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO
Explain: YES, ROUTE SIX

I, the applicant, am seeking permission to: RETAIN 2 APARTMENTS TO EXIST IN COMMERCIAL BUILDING IN A COMMERCIAL (C) ZONE

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
LOT AREA 40,000	12,875	27,125
FRONT YARD 40'	6.2 AND 4.7	33.8 AND 35.3
LOT DEPTH 200'	65.2'	134.8'
BLDG AREA 5,000	4,238	762
PARKING SPACES 20	12	8
LOADING ZONE 1 ON PROPERTY	1 NOT FULLY ON PROPERTY	1
USE VARIANCE TO ALLOW APARTMENTS IN	COMMERCIAL ZONE.....	

State of New York)

SS:

County of Putnam)

The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this 10th day of May, 2024

Kelly Puccio
Notary Public

KELLY PUCCIO
Notary Public, State of New York
No. 01PU6088070
Qualified in Putnam County
Commission Expires March 03, 2027

Petitioner [Signature] Date 5/10/24



AUTHORIZATION FORM

RE: Property of: 2 CLARK PLACE LLC
Located at: 2 CLARK PLACE (Owner) _____, MAHOPAC
(Address) (City, Town, Village)
Tax Map #: 75.12-1-42

In the matter of: ALLOW 2 APARTMENTS TO EXIST IN COMERCIAL BLDG IN C ZONE
(Variance Request)

To whom it may concern:

This letter is to authorize WILLIAM BESHARAT

a/an (check one) Attorney Engineer Architect Other (AGENT)

to apply for the required variance(s) on the above noted property and to sign all necessary papers and make all necessary representations on my behalf in connection with the above-mentioned matter.

Countersigned: William Besharat
(Representative)
William Besharat
(Print Name)

Signed: Nick Grecco
(Owner of Property)
NICK GRECCO
(Print Name)

Mailing Address: 266 SHEAR HILL RD, MAHOPAC

Mailing Address: 466 US-6 MAHOPAC

State: NY Zip: 10541

State: NY Zip: 10541

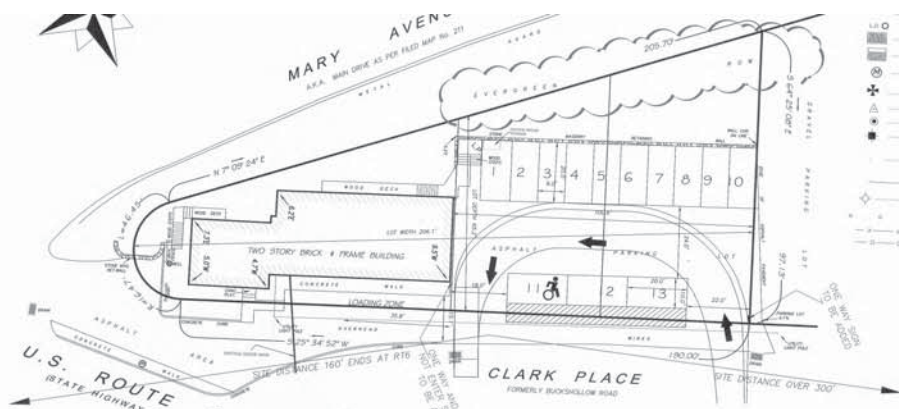
Telephone # 914-330-4999

Telephone # _____

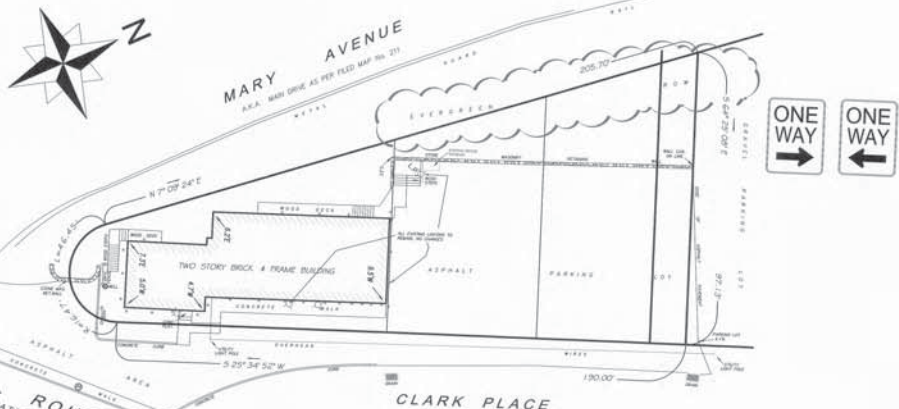
Date: 5/10/2024

E-mail: RAYEXDESIGN@GMAIL.COM

NOTE: The willful submission of false or inaccurate information on this application may result in the dismissal of the application, or the revocation of any action taken on the application, or both.

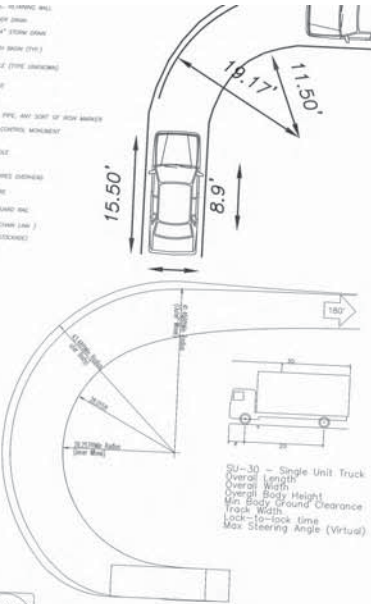


PROPOSED SITE PLAN
SCALE 1" = 20'

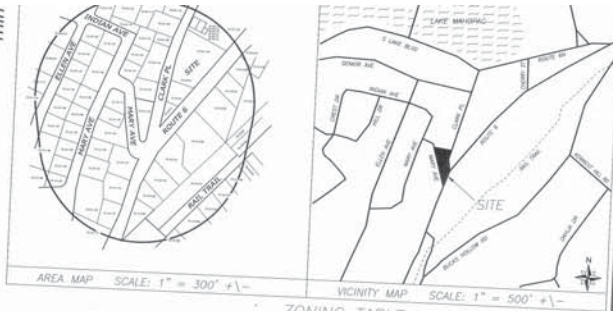


EXISTING SITE PLAN
SCALE 1" = 20'

- CONCRETE WALL
- LEADER LINE
- 2 1/2" STYRE FOAM
- WOOD BALK (ON)
- WOOD BALK (OFF)
- WINDSTOP
- STONE
- SEWER - PIPE ANY SIZE OF ANY MATERIAL
- SURVEY CONTROL MONUMENT
- UTILITY POLE
- SEWER AND/OR DRAINAGE
- UTILITY STRUCTURE
- METAL SIGNAGE
- POLE SIGNAGE (ON)
- TRUCK (DIMENSIONS)



CAR AND TRUCK TURNING RADII
NOT TO SCALE



COMMERCIAL		
MIN. LOT AREA	REQUIRED	PROVIDED
MIN. YARDS	40,000 SQ. FT.	12,875 SQ. FT.
FRONT SETBACK	40 FT.	6.5 FT. AND 4.7 FT.
REAR SETBACK	25 FT.	33.8 FT. AND 35.3 FT.
MIN. FRONTAGE	50 FT.	100.6 FT.
MAX. BLDG. HEIGHT	200 FT.	44.2 FT.
MIN. LOT WIDTH	35 FT.	34 FT.
MIN. LOT DEPTH	200 FT.	208.1 FT.
MIN. REG. FLOOR AREA	5000 SQ. FT.	65.2 FT.
MAX. BLDG. COVERAGE	30%	42.58 %
		19.5 %

PARKING REQ. FOR:

2 SPACES PER APARTMENT	2
1 SPACE/2000 SQ. FT.	1
4 SPACES PER DOCTOR AND 1 PER EMPLOYEE	4
1 SP. = 5	5
TOTAL SPACES REQUIRED 20	20

VAR. VARIANCE REQUIRED FOR:

1 SPACE/2000 SQ. FT.	1
4 SPACES PER DOCTOR AND 1 PER EMPLOYEE	4
1 SP. = 5	5
TOTAL SPACES REQUIRED 20	20

VAR. VARIANCE IS REQUIRED FOR:

1 SPACE/2000 SQ. FT.	1
4 SPACES PER DOCTOR AND 1 PER EMPLOYEE	4
1 SP. = 5	5
TOTAL SPACES REQUIRED 20	20

TOTAL PROVIDED 13

NOTE: NO CONSTRUCTION IS PROPOSED THEREFOR NO SITE DISTURBANCE WILL OCCUR.

Approval hereby granted this _____ day of _____, 2024.
If building permit is not issued within 12 months from the above date, this approval becomes null and void.

Signed this _____ day of _____, 2024 by _____
Town of Carmel Planning Board

Chairman

Secretary

- 75.12-1-44 William Villanova
PO BOX 480
Mahopac, NY 10541
- 75.44-1-68 Filippo Caronzo
80 Longdale Rd
Mahopac, NY 10541
- 75.44-1-69 Joseph Duffy
16 Clark Pl
Mahopac, NY 10541
- 75.12-1-28 Youth Family Inev Trust
17 May Ave
Mahopac, NY 10541
- 75.12-1-41 Maria Carreras
19 May Ave
Mahopac, NY 10541
- 75.44-1-75 Neofmed Scioc
2 May Ave
Mahopac, NY 10541
- 75.12-1-19 Paul Shiochi
29 May Ave
Mahopac, NY 10541
- 75.44-1-55-3 Link Family Inev Trust
16 Spring Brook Cr
Mahopac, NY 10541
- 75.44-1-55-2 Link Family Inev Trust
21 Clark Pl
Mahopac, NY 10541
- 75.44-1-55-5 William Englishman
21 Clark Pl 2b-2b
Mahopac, NY 10541
- 75.11-1-17 William Adams
23 Ellen Ave
Mahopac, NY 10541
- 75.12-1-20 Rosemarie Sull
25 May Ave
Mahopac, NY 10541
- 75.12-2-34 Centralco North LLC
2 Street Ln
Mahopac, NY 10541
- 75.44-1-72 Diane Henry
PO BOX 306
Baldwins Plains, NY 10505
- 75.12-1-17 Anthony Azadian
14 May Ave
Mahopac, NY 10541
- 75.12-1-33 Andre Ryeal
18 Ellen Ave
Mahopac, NY 10541
- 75.44-1-70 19 Clark Pl
Mahopac, NY 10541
- 75.12-1-34 Michael Tuzzi
20 Ellen Ave
Mahopac, NY 10541
- 75.44-1-55-4 The Group Corp LLC
PO BOX 201
Mahopac, NY 10542
- 75.44-1-55-6 RSC Steady Holdings LLC
21 Clark Place Unit 4
Mahopac, NY 10541
- 75.12-1-27 Ronald Sola
21 May Ave
Mahopac, NY 10541
- 75.12-2-32 Jay Weissberg Beins
25 Buckshollow Rd
Mahopac, NY 10541
- 75.12-2-35 Orla Digerjansson
280 Buckshollow Rd
Mahopac, NY 10541
- 75.12-2-36 Zucca Inevocable Living Trust
23 Ellen Ave
Mahopac, NY 10541
- 75.12-1-29 Richard Beas
13 May Ave
Mahopac, NY 10541
- 75.45-2-10 Melissa Musella
15 Indian Ave
Mahopac, NY 10541
- 75.12-1-18 Philip Caronzo
50 Longdale Rd
Mahopac, NY 10541
- 75.43-2-9 Debra Conroy
19 Ellen Ave
Mahopac, NY 10541
- 75.44-1-74 Christopher Palco
44 Ellen Ave
Mahopac, NY 10541
- 75.12-1-19 Emily Shiono
20 May Ave
Mahopac, NY 10541
- 75.12-1-18 North Lakes Estates Prop Mgmt
483 North Lake Blvd
Mahopac, NY 10541
- 75.12-1-1 The Group Corp LLC
PO BOX 201
Mahopac, NY 10542
- 75.12-2-1 Luminant Mazzola Holding Co
PO BOX 24
Mahopac, NY 10541
- 75.12-2-2 Luminant Mazzola Holding Co
PO BOX 24
Mahopac, NY 10541
- 75.12-1-27 Nicole Sporn
188 B16
Mahopac, NY 10541
- 75.12-1-43 Anna Givorno
25 Sunset Shore Dr
Narragansett, RI 02882
- 75.12-1-32 Anthony Harelli
PO BOX 656
Mahopac, NY 10541
- 75.12-1-36 Richard Mbar
8 Indian Ave
Mahopac, NY 10541
- 75.12-1-25 Anthony Mirano
29 May Ave
Mahopac, NY 10541
- 75.12-1-24 Natalie Wilson Anandilli
33 May Ave
Mahopac, NY 10541
- 75.12-1-13 Gross Family Realty, LLC
330 Route 8
Mahopac, NY 10541
- 75.12-1-15 Mahopac, NY 10541
- 540 R6
Mahopac, NY 10541
- 75.12-2-30 Dunwell Associates
30 Virginia Rd
North White Plains, NY 10602
- 75.12-1-18 North Lakes Estates Prop Mgmt
483 North Lake Blvd
Mahopac, NY 10541
- 75.12-2-25 565 Route 8 Partners LLC
565 Route 8
Mahopac, NY 10541
- 75.12-2-21 Dunwell Associates
30 Virginia Rd
North White Plains, NY 10602
- 75.12-2-23 565 Route 8 Partners LLC
565 Route 8
Mahopac, NY 10541
- 75.44-1-54 Fire Seventy Two, LLC
580 Commerce St
Thermon, NY 10568
- 75.12-1-40 Stronghold Acquisitions LLC
324 Essex Circle
Yorktown Heights, NY 10588
- 75.12-1-30 Jeremiah Sheahan
7 May Ave
Mahopac, NY 10541
- 75.12-1-23 Mark Hays
7 May Ave
Mahopac, NY 10541
- 75.12-1-16 Rowley Development Corp Inc
616 Thomson Road
Houston, TX 77056
- 75.12-1-21 29 May Ave
Mahopac, NY 10541
- 75.12-1-31 Cassandra Cordoba
3 Indian Ave
Mahopac, NY 10541
- 75.12-1-38 Stone Otis
38 Ellen Ave
Mahopac, NY 10541
- 75.12-1-14 Mistoneau Family Realty
11 Gables Ln
Hopewell Junction, NY 12533
- 75.12-2-29 Dunwell Associates
30 Virginia Rd
North White Plains, NY 10602
- 75.12-2-21 Dunwell Associates
30 Virginia Rd
North White Plains, NY 10602
- 75.12-2-20 Downtown Mahopac Properties
23 Ridge Rd
Mahopac, NY 10541
- 75.12-2-23 Tyrone Real Estate LLC
575 Route 8
Mahopac, NY 10541
- 75.12-2-42 Rowley Development Corp Inc
616 Thomson Road
Houston, TX 77056
- 75.44-1-71 Ananya Orla Corneo
7 May Ave
Mahopac, NY 10541
- 75.12-2-9 Rowley Development Corp Inc
616 Thomson Road
Houston, TX 77056



ROY A. FREDRIKSEN, PE
DESIGN • PLANNING • CONSULTING ENGINEER
286 SHEAR HILL RD • MAHOPAC, NY 10541 • 845-621-4000

OWNER:
2 CLARK PLACE, LLC

JOB #:
CRD BY:
CHD BY:

PROJECT: SITE PLAN FOR THE PURPOSE OF LEGALIZING EXISTING 2 APARTMENTS LOCATED AT 2 CLARK PL, MAHOPAC, NY

TAX MAP #: SECTION 75.12 BLOCK 1 LOT 4

SHEET TITLE: SITE PLAN AND DETAILS

DATE: 02/12/2024

APRIL 26 2024

REVISIONS: FEBRUARY 12, 2024







ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

IN THE MATTER OF THE APPEAL
OF

Knights of Columbus / LEON ASSOCIATES INC
TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: April 18 2024

Application For (circle applicable): Area Variance (156.15) Use Variance Interpretation 280A

Name of Property Owner: LEON ASSOCIATES INC/KOC Address: 6510 FAIR ST Carmel N.Y.
(Address) (City) (State)

Mailing Address: SAME Phone Number(s): _____
(Address) (City) (State)

Zoning District: C-COMMERCIAL Tax Map: 44.18 - 1 - 20
(R-120, Commercial, C BP, or Conservation) (Section) (Block) (Lot)

Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]

E-Mail Address: _____

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
<u>Sep 1980</u>	<u>Sign on side of building facing Rt 62</u> <u>Granted</u>	<u>(Signature)</u>

List all improvements (1 family dwelling, pool, etc.) COMMUNITY CENTER

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: Site Plan, Elevation

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO
Explain: FAIR STREET

I, the applicant, am seeking permission to: ADD ADDITION TO REAR OF BUILDING

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
<u>Area 40,000</u>	<u>16,832</u>	<u>23168</u>
<u>FRONTAGE 100</u>	<u>89.10</u>	<u>11.9</u>
<u>Width 200</u>	<u>85</u>	<u>115</u>
<u>DEPTH 200</u>	<u>90</u>	<u>110</u>
<u>FRONT 40</u>	<u>21.5</u>	<u>18.5</u>
<u>Side 25</u>	<u>8.7</u>	<u>16.3</u>
<u>REAR 30</u>	<u>1.4</u>	<u>28.6</u>

State of New York)

County of Putnam)

The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this 18TH day of April 2024

(Signature)
Notary Public

ROBERT P. FERRIOLLO
Notary Public - State of New York
No. 02F14990802
Qualified in Putnam County
My Commission Expires Jan 21, 2026

Petitioner (Signature) Date 4/18/24

**RESOLUTION
OF
DIRECTORS
OF
6318 ASSOCIATES, INC.**

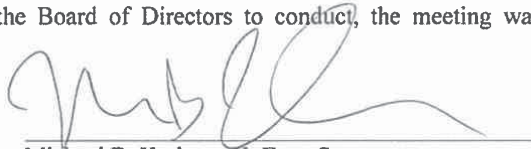
At a Special Meeting of the Directors of 6318 ASSOCIATES, INC. (the "Corporation") at which all of the Directors were present and participated by Electronic Media, notice of said meeting having been waived, held on the 18TH day of April, 2024, by motion duly made and seconded, by majority vote of 7 for, 0 against, and 2 non-votes, it was:

RESOLVED that the Corporation, in furtherance of its proposed project for improvement of premises situated at 10 Fair Street in the Town of Carmel, having applied for necessary permits and variances, as applicable, with the Town of Carmel Building Department, Planning Board, and any other municipal entity having jurisdiction over, or whose approval such project is dependent, hereby resolves to appoint Vice President ANTHONY FALCO as Agent of the Corporation to represent the Corporation at any meetings or hearings of the aforesaid municipal entities, and

IT WAS FURTHER RESOLVED that Vice President ANTHONY FALCO, be and hereby is authorized to execute any applications or instruments required in furtherance of the aforesaid property improvement project on behalf of the Corporation.

THERE being no further business for the Board of Directors to conduct, the meeting was thereupon closed.

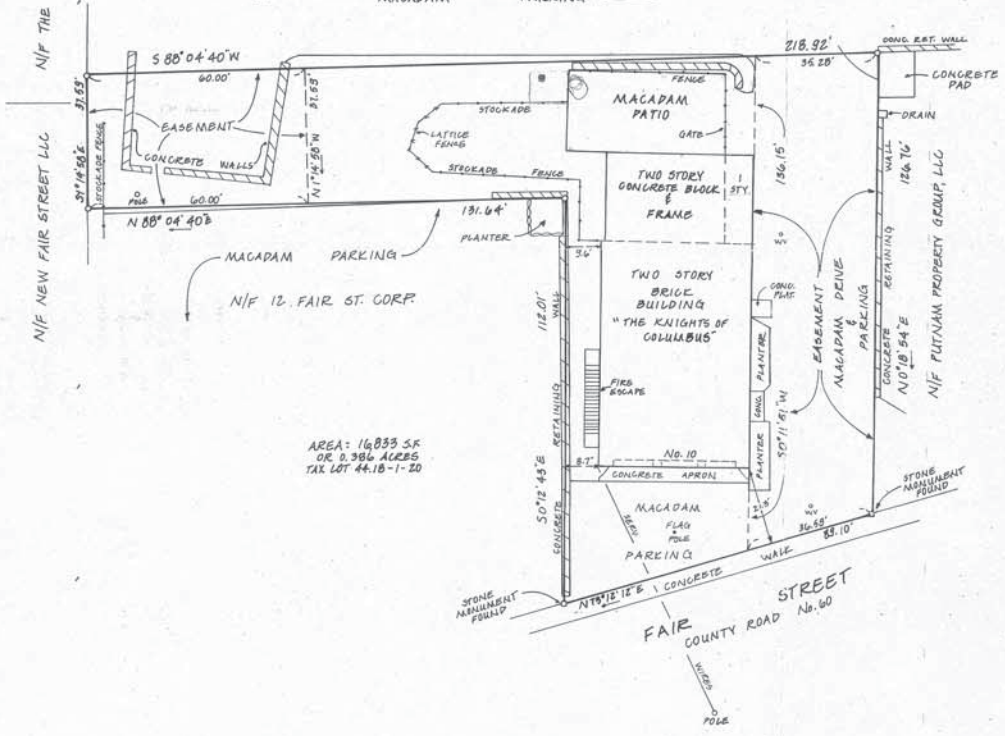
Dated: April 18, 2024



Michael B. Karlsson II, Esq., Secretary
6318 ASSOCIATES, INC.

N/12 NEW FAIR STREET LLC
N/12 THE COUNTY OF PUTNAM

N/12 THE COUNTY OF PUTNAM
MACADAM PARKING



AREA: 16,833 SF
OR 0.386 ACRES
TAX LOT 44.1B-1-20

Certifications indicated herein signify that this survey was prepared in accordance with the existing code of practice for Land Surveys as adopted by the New York State Association of Professional Land Surveyors. Said certifications shall be valid only to the party for whom the survey was prepared, and on that party's behalf to the title company, governmental agency and/or lending institution listed hereon, and to the assignees of the lending institution, for mortgage purposes for said party or whom this survey was prepared. Certifications are not transmissible to additional institutions or subsequent owners. Only copies from the original of this survey map bearing the signature and an original of this Land Surveyor's linked or hot embossed seal shall be considered to be true and valid copies. In addition, unauthorized alteration or addition to a survey map bearing a licensed Land Surveyor's seal is a violation of Section 7209, Sub-division 2, of the New York State Education Law. The location of underground improvements or encroachments hereon, if any exist, are not certified.

Certified to: 6318 ASSOCIATES, INC.

Field survey performed: JUNE 28, 2022
and map prepared: DECEMBER 3, 2022

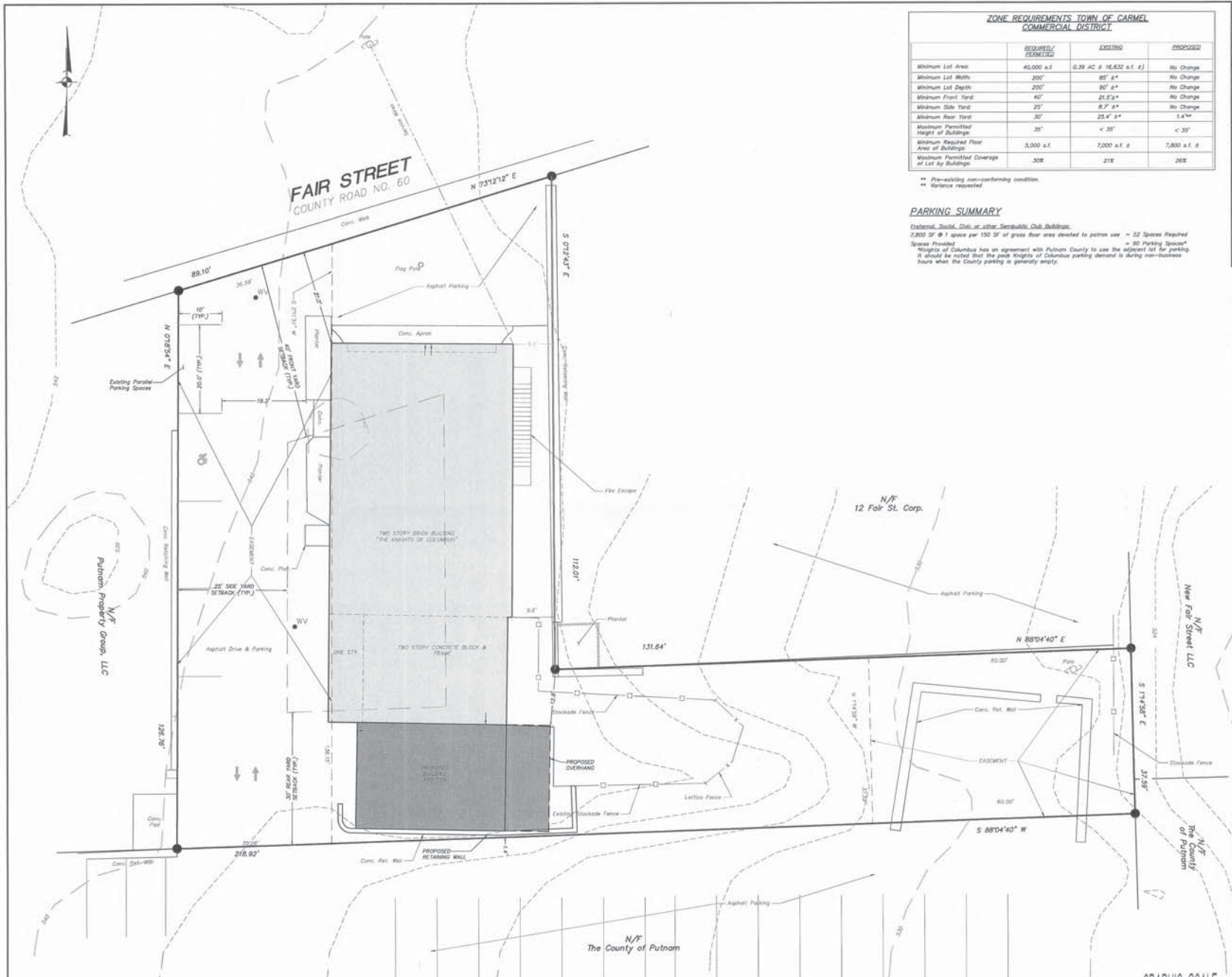
David L. Odell
David L. Odell, P.L.S., N.Y. State Licensed Land Surveyor No. 050074



SURVEY OF PROPERTY
PREPARED FOR
6318 ASSOCIATES, INC.
SITUATE IN THE
TOWN OF CARMEL
PUTNAM COUNTY, NEW YORK
SCALE: 1" = 20'

© 2022. Copyright by David L. Odell, P.L.S.,
Land Surveying Company
123 Cushman Road
Patterson, N.Y. 12563
(914) 226-0104

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ZONE REQUIREMENTS TOWN OF CARMEL COMMERCIAL DISTRICT

	REQUIRED/ PERMITTED	EXISTING	PROPOSED
Minimum Lot Area:	40,000 s.f.	0.39 AC ± 16,832 s.f. ± 1	No Change
Minimum Lot Width:	200'	85' ±	No Change
Minimum Lot Depth:	200'	90' ±	No Change
Minimum Front Yard:	40'	23.2' ±	No Change
Minimum Side Yard:	25'	8.7' ±	No Change
Minimum Rear Yard:	30'	25.4' ±	1.4' ±
Maximum Permitted Height of Buildings:	35'	< 35'	< 35'
Minimum Required Floor Area of Buildings:	5,000 s.f.	7,000 s.f. ±	7,800 s.f. ±
Maximum Permitted Coverage of Lot by Buildings:	30%	21%	26%

** Pre-existing non-conforming condition.
** Variance requested.

PARKING SUMMARY

Restaurant, Social, Club, or other Semi-public Club Buildings:
7,800 SF @ 1 space per 150 SF of gross floor area devoted to patron use = 52 Spaces Required
Spaces Provided
Knights of Columbus has an agreement with Putnam County to use the adjacent lot for parking. It should be noted that the peak Knights of Columbus parking demand is during non-business hours when the County parking is generally empty.



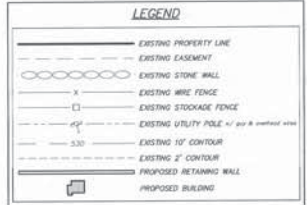
LOCATION MAP SCALE: 1" = 500'

OWNER:
6318 Associates - Knights of Columbus
10 Fair Street
Carmel, NY 10512

SITE DATA:
Zone: C Commercial
Total Area: 0.39 AC ±
Tax Map No.: 44-15-1-20

GENERAL NOTES:

- Property lines and locations shown herein is taken from a survey entitled "Survey of Property Proposed for 6318 Associates, Inc." prepared by David L. Gann, P.E., dated December 8, 2012.
- Topography shown herein is taken from the Westchester County Z' contour, 1" = 100' scale GIS dataset dated April 2004. Elevations reference the North American Vertical Datum of 1988 (NAVD 88).
- This site plan is to be used only for site planning purposes related to the building addition.



DENIED
BY TOWN OF CARMEL PLANNING BOARD
DATE: 4/12/16
CHAIRMAN: [Signature]

NO.	DATE	REVISION	BY
1	4-1-24	REVISED PER TOWN ENGINEER'S COMMENTS	DMR

INSITE
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.
3 Garrett Place
Carmel, NY 10512
(845) 225-9690
(845) 225-9777 fax
www.insite-nyc.com

PROJECT: **KNIGHTS OF COLUMBUS BUILDING ADDITION**
10 FAIR STREET, TOWN OF CARMEL, PUTNAM COUNTY, NEW YORK
DRAWING: **SITE PLAN**



CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA												
Ground Snow Load	Wind Design			Wink-borne Debris Zone	Seismic Design Category (RCHY Only)	Subject to Damage From			Ice Barrier Underlayment Req'd	Flood Hazards Firm S1/1284	Air Freezing Index	Mean Annual Temp
	Speed (mph)	Topo Effects	Special Wind Region			Weathering	Frost Line Depth	Termites				
30	120 mph	No	Yes	No	B	Severe	42"	To Heavy	1"	YES	1500 or less	48.5°

BUILDING CODE NOTE:
 THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK ENERGY CONSERVATION CONSTRUCTION CODE AS CURRENTLY IN EFFECT, 2020 RESIDENTIAL CODE OF NEW YORK STATE CURRENT NYPEA 70 IS THE 2017 NEC

DESIGN LOADS	
DEAD LOAD	12 PSF
LIVE LOAD	40 PSF
SMOK LOAD	30 PSF
DEFLECTION	L/360
GUARD POST & SCREENING	200 LBS

GENERAL NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, OMISSIONS AND/OR CONFLICTS BEFORE PROCEEDING WITH THE WORK. ARCHITECT IS NOT ENGAGED FOR SUPERVISION.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF HE CANNOT COMPLY WITH ALL REQUIREMENTS. "DO NOT SCALE DRAWINGS" DIMENSIONS GOVERN. LARGER SCALE DRAWINGS GOVERN OVER SMALLER SCALED DRAWINGS.
- CONTRACTOR MUST COMPLY WITH THE RULES AND REGULATIONS OF AGENCIES HAVING JURISDICTION AND SHALL COMPLY WITH THE NEW YORK STATE RESIDENTIAL CODE AND THE TOWN OF CARMEL.
- THE CONTRACTOR SHALL MAINTAIN A SOUND CURRENT AND COMPLETE SET OF CONTRACT DOCUMENTS ON THE PREMISES FOR ALL TRADES TO USE.
- THE OWNER SHALL RELEASE, HOLD HARMLESS AND INDEMNIFY THE ARCHITECT WITH RESPECT TO ANY CHANGES MADE TO THE CONSTRUCTION DOCUMENTS BY ANYONE OTHER THAN THE ARCHITECT, OR CHANGES IN ANY ASPECT OF THE WORK, OR FAILURE BY THE CONTRACTOR TO BUILD IN ACCORDANCE WITH THESE CONSTRUCTION DOCUMENTS.
- UPON SUBSTANTIAL COMPLETION AND BEFORE FINAL PAYMENT, THE CONTRACTOR SHALL SURVEY SHOWN LINES HAVING FROM ALL SUB CONTRACTORS AND PLUMB SUPPLIERS IN CONNECTION WITH THIS PROJECT TO OWNER.

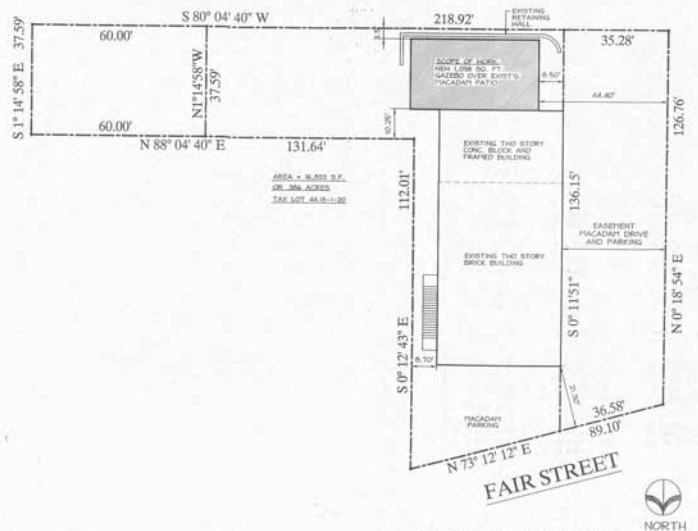
MANUAL J DESIGN CRITERIA							
Elevation	Latitude	Winter heating	Summer cooling	Altitude correction factor	Indoor design temperature	Design temperature cooling	Heating temperature reference
451-484'	42° north	6"	88"	1	70°	75°	64°
Wind velocity heating	Wind velocity cooling	Coincident wet bulb	Daily range	Winter humidity	Summer humidity		
13'	20.4	7.5	73°	M	60%		

ELECTRICAL NOTES

- ELECTRICAL EQUIPMENT SHOWN ON DRAWINGS IS DIAGNOSTIC WITH NO ATTENTION MADE TO SHOW EVERY RACEWAY, FITTING, JUNCTION BOX, ETC.
- ALL WORK TO BE PERFORMED UNDER SUPERVISION OF A LICENSED ELECTRICAL CONTRACTOR LICENSED BY THE STATE OF NEW YORK AND THE TOWN OF CARMEL.
- ALL WORK TO COMPLY WITH NFPA 70-NATIONAL ELECTRICAL CODE AND ALL APPLICABLE STATE AND LOCAL CODES.
- CONTRACTOR TO OBTAIN ALL PERMITS REQUIRED TO COMPLETE WORK AND SCHEDULE ALL REQUIRED INSPECTIONS WITH LOCAL AUTHORITIES.
- ALL NEW EQUIPMENT TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.
- THE ELECTRICIAN SHALL FURNISH LAPS FOR ALL NEW LIGHT FIXTURES PROVIDED BY THE ELECTRICAL AND SHALL REPLACE ANY SUCH LAPS WHICH BURN OUT UNITS. THE PROJECT IS COMPLETE AND THE OWNERS HAVE RECEIVED THE CERTIFICATE OF OCCUPANCY.
- THE CONTRACTOR SHALL LOOSELY SET ALL BOXES FOR ALL SWITCHES, CONDUIT ENDS, OUTLETS, AND LIGHT FIXTURES PRIOR TO WIRING. THE OWNER IS TO APPROVE ALL LOCATIONS BEFORE BOXES ARE PERMANENTLY SET AND WIRING COMMENCES.
- NO SUBSTITUTIONS OF LIGHT FIXTURES, LAMPS, SWITCHES, OR OUTLETS SPECIFIED SHALL BE MADE WITHOUT THE APPROVAL OF THE OWNER.
- PROVIDE GASKET (ASTM F88) AT ALL PENETRATIONS FOR WIRES AND PIPES THROUGH HORIZONTAL FIRE BLOCKING AND PLATES BETWEEN FLOORS.
- THE ELECTRICAL CONTRACTOR TO EXAMINE EXISTING SERVICE TO DETERMINE IF IT IS ADEQUATE TO SUPPORT THE ADDITIONAL LIGHTING LOADS.

CONSTRUCTION NOTES

- INFORMATION SHOWN ON THESE DRAWINGS IS FOR DESIGN INTENT ONLY. VERIFY EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD. COORDINATE DISCREPANCIES WITH THE ARCHITECT.
- PROVIDE PROOF OF HOMEOWNERS COMPENSATION INSURANCE AND DISABILITY INSURANCE COVERAGE REQUIRED BY GOVERNING STATE LAW PRIOR TO START OF WORK.
- ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE, TRUE AND IN PROPER ALIGNMENT.
- ALL MATERIALS AND ASSEMBLIES REQUIRED TO HAVE A FIRE RESISTANCE RATING SHALL COMPLY WITH NFPA 703 "ASTM E 119" RATING AND HAVE BEEN TESTED IN ACCORDANCE WITH ASTM "STANDARD METHODS OF FIRE TESTS".
- WHERE PIPES OR CABLES PENETRATE HALL OR FLOOR JOISTS PROVIDE PRESTRESS DETERMINED AS REQUIRED TO INSURE CERTAINTY OF RATING PER NEW YORK STATE BUILDING CODE OR LOCAL CODE.
- FOOTINGS SHALL BEAR ON UNDISTURBED SOIL HAVING A SAFE BEARING CAPACITY OF 3000 LB PER SQ FT.
- ALL CONCRETE WORK SHALL CONFORM TO THE ACI BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE.
- ALL CONCRETE SHALL BE NORMAL WEIGHT (STONE) CONCRETE HAVING A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
- ALL BAR REINFORCING SHALL BE DEFORMED BARS OF #1 BULLET STEEL CONFORMING TO ASTM A618, GRADE 60.
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
- ALL CONCRETE MASONRY UNITS TO BE SILICIOUS AGGREGATE TYPE OF THICKNESS INDICATED ON DRAWINGS.
- STRUCTURAL LUMBER TO BE DOUGLAS FIR, F#1000 P#1 ALL LUMBER TO BE GRADE MARKED.
- INSTALL WINDOWS, DOORS AND ALL OTHER EQUIPMENT 3 PER MANUFACTURERS' SPECIFICATIONS.
- PAINTING OR INTERIOR FINISH SHALL BE DONE UNDER CONDITIONS WHICH WILL NOT IMPAIR THE QUALITY OR APPEARANCE OF WORK WORK.
- ALL DIMENSIONS ARE TO FACE OF FRAMING UNLESS OTHERWISE NOTED.
- ELECTRICAL WORK TO COMPLY WITH U.S. REQUIREMENTS AND WITH THE NATIONAL ELECTRIC CODE.
- THE CONTRACTOR SHALL PROTECT ALL ITEMS TO BE RELOCATED. ANY ITEMS REQUIRED TO BE RELOCATED SHALL BE REPLACED AT HIS/HER EXPENSE.
- ALL EXISTING FLOORS REVEALED FROM DEMOLITION OF EXISTING PARTITIONS SHALL BE PATCHED TO PROVIDE ADEQUATE SURFACE FOR NEW FLOORING.
- ALL PARTITIONS PARTIALLY DEMOLISHED SHALL BE PATCHED AND REFINISHED TO MATCH EXISTING.
- ALL PLUMBING, ELECTRICAL OR OTHER EXISTING UTILITIES SERVING ITEMS TO BE RELOCATED SHALL HAVE CAPS, FACE PLATE, ETC. TO MATCH EXISTING.
- "AREA OF NO WORK" DELINEATES ARCHITECTURAL WORK IT DOES NOT EXCLUDE WORK FOR MECHANICAL, ELECTRICAL, PLUMBING OR ANY OTHER TRADE.
- PARTITIONS SHOWN ALIGNED WITH BASE BUILDING STRUCTURE SHALL BE FLOOR AND BROOM WITH BASE BUILDING STRUCTURE OTHERWISE NOTED.
- ALL DOORS IN PARTIAL PARTITIONS SHALL BE SET A JOINT CLEAR OPENING OF FRAME TO PREVENT ADJACENT WALLS COLLAPSE OTHERWISE NOTED.
- ALL DOORS SHALL HAVE AN UNDERCUT TO CLEAR FINISH FLOOR BY 1/2" UNLESS OTHERWISE NOTED.



PROPOSED SITE PLAN
 1" = 20.00'
 SITE PLAN BASED ON A SURVEY BY:
 DAVID L. ODELL N.Y.S. LAND SURVEYOR



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 Steven Grecco Architect's
 1902 Route 201 Carmel, NY 10512
 Carmel, N.Y. 10512 845-661-8808



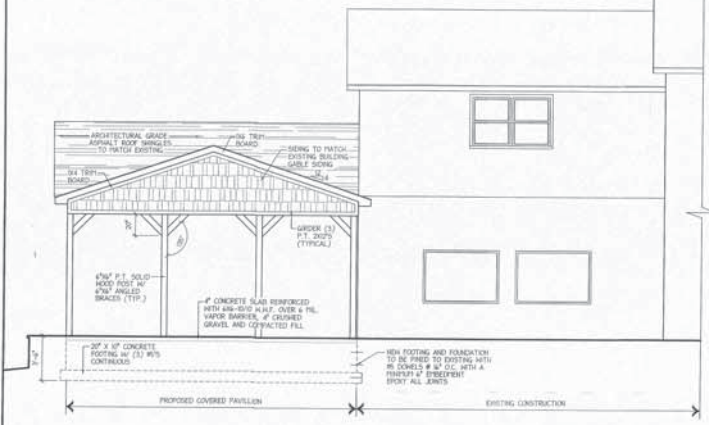
STEVEN A. GRECCO
 NYS LIC. NO. 03297

NO.	DATE	REVISION

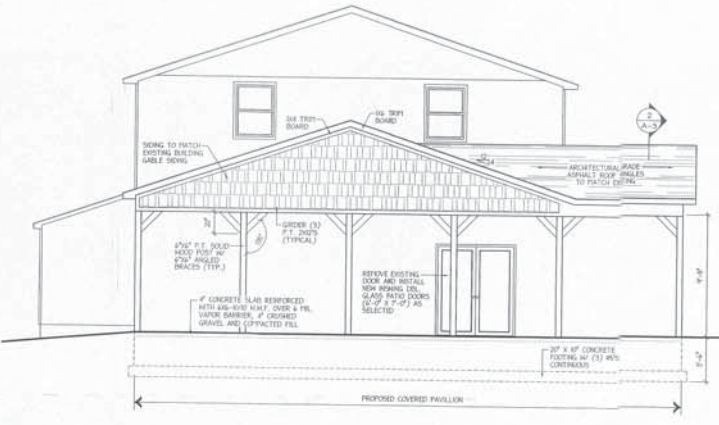
PROJECT NAME
KNIGHTS OF COLUMBUS HALL
NEW REAR GAZEBO
 BUILDING ADDRESS
 10 FAIR STREET
 CARMEL, NY 10512
 PROJECT NUMBER

DRAWING TITLE
SITE PLAN SPECIFICATIONS AND NOTES
 DRAWN BY

5/16/2023



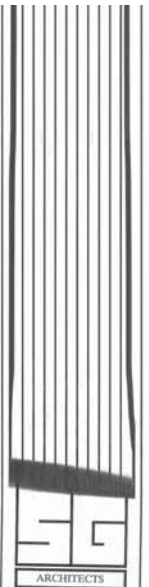
1 PROPOSED EAST ELEVATION
1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"



3 PROPOSED WEST ELEVATION
1/4" = 1'-0"



ARCHITECTS
STEVEN GREGORC ARCHITECTS PLLC
100 ROUTE 302 CARMEL, N.Y. 10513
(845) 652-0906
EMAIL: SGARCH@STEVENGREGORC.COM

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STEVEN A. GREGORC
NYS LIC. NO. 63267

NO.	DATE	REVISION

PROJECT NAME
**KNIGHTS OF COLUMBUS HALL
NEW REAR GAZEBO**

BUILDING ADDRESS
10 FAIR STREET
CARMEL, NY 10512

PROJECT NUMBER

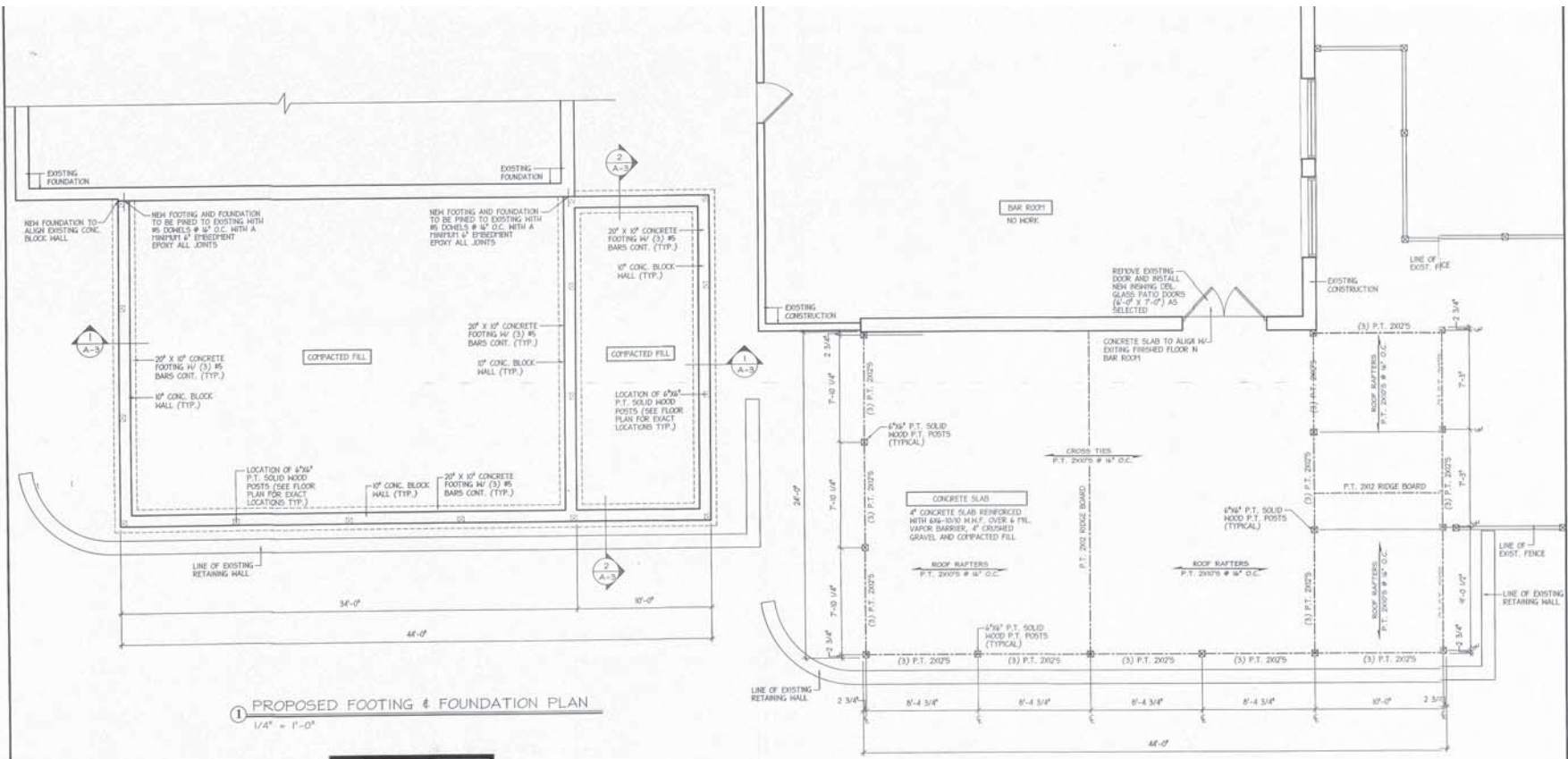
DRAWING TITLE
PROPOSED EXTERIOR ELEVATIONS AND DETAILS

DRAWN BY
SG

SCALE
AS NOTED

DATE
1/18/24

A-2



1 PROPOSED FOOTING & FOUNDATION PLAN
 1/4" = 1'-0"

SLAB NOTE:
 PROVIDE CONTROL JOINTS
 IN SLAB AT EVERY 12 - 15
 FEET APART.

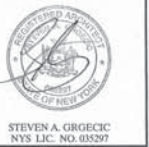
2 PROPOSED FIRST FLOOR PLAN
 1/4" = 1'-0"

GIRDER POST NOTE:
 ALL POSTS & GIRDERS
 ASSEMBLED W/ #10 HD.
 SCREWS 5' LONG @ 16' O.C.
 STAGGERED (2) @ EACH END.
 MIN. EDGE DISTANCE 2".

ARCHITECTS
 STEVEN GERGIC ARCHITECTS PLLC
 1900 ROUTE 301 CARMEL, N.Y. 10512
 845-861-8808
 EMAIL: SGARCHITECTS@YAHOO.COM

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NO.	DATE	REVISION
ISSUE/REVISION		

PROJECT NAME
**KNIGHTS OF COLUMBUS HALL
 NEW REAR GAZEBO**

BUILDING ADDRESS
 10 FAIR STREET
 CARMEL, NY 10512

PROJECT NUMBER

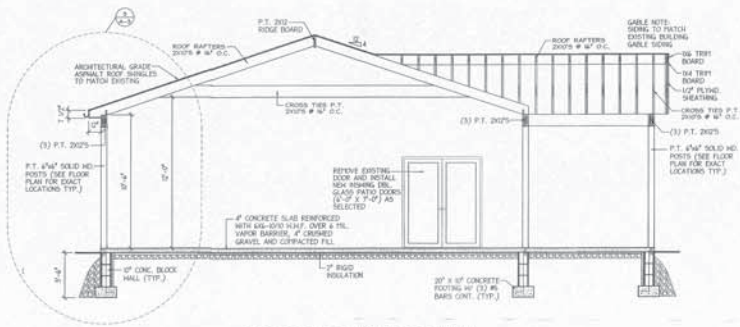
DRAWING TITLE
PROPOSED FLOOR PLANS

DRAWN BY
 SG

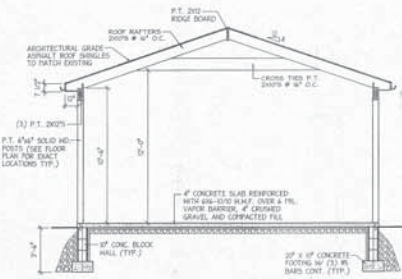
SCALE
 AS NOTED

DATE
 1/18/24

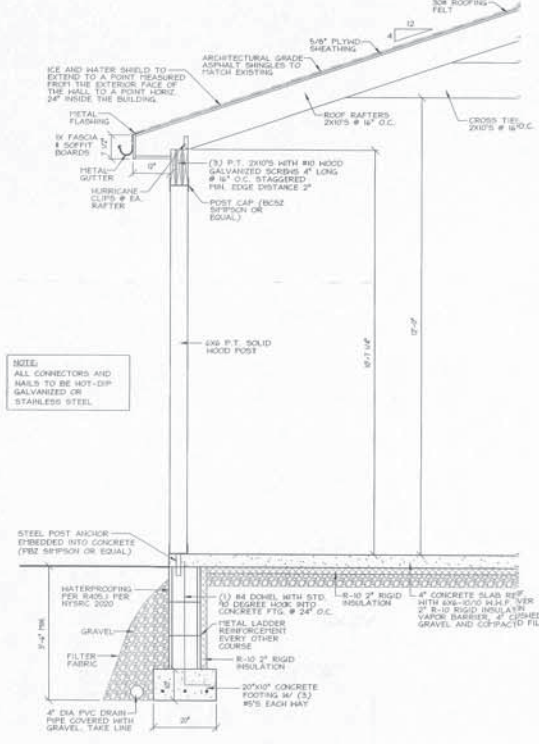
A-1



1 PROPOSED BUILDING SECTION
1/4\"/>



2 PROPOSED BUILDING SECTION
1/4\"/>



3 TYPICAL WALL SECTION
3/4\"/>

NOTE:
ALL CONNECTORS AND
NAILS TO BE HOT-DIP
GALVANIZED OR
STAINLESS STEEL



ARCHITECTS
STEVEN GREIG ARCHITECTS P.C.
100 SOUTH 300 CARMEL, N.Y. 10512
914-881-1800
EMAIL: SGA@RECTECTORSIGNAL.COM

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STEVEN A. GREIG
NYS LIC. NO. 033297

NO.	DATE	REVISION

PROJECT NAME
**KNIGHTS OF COLUMBUS HALL
NEW REAR GAZEBO**

BUILDING ADDRESS
10 FAIR STREET
CARMEL, NY 10512
PROJECT NUMBER

DRAWING TITLE
PROPOSED BUILDING SECTIONS AND DETAILS

DRAWN BY
SO
SCALE
AS NOTED
DATE
1/18/24

A-3











ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

me

IN THE MATTER OF THE APPEAL
OF
TTSHR LLC
TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application For (circle applicable): Area Variance 156.15 Use Variance Interpretation 280A
Name of Property Owner: TTSHR LLC Address: 25 & 27 Seminary Hill Road, Carmel, NY
Mailing Address: 418 Broadway, Suite N, Albany, NY 12207 Phone Number(s): _____
Zoning District: Res Tax Map: 55.6 - 1 - 65&70
Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]
E-Mail Address: _____

properties have been legally merged

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
	N/A	

List all improvements (1 family dwelling, pool, etc.) 2 multifamily house (7 units & 4 units), garage apartment
The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: affidavit of applicant, memorandum of law, site plan

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO
Explain: Seminary Hill Road is a Town Road

I, the applicant, am seeking permission to: see attached

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED

State of New York)
ss: County of Putnam)
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this 27 day of April 2024

Notary Public
[Signature]
WILLIAM A. SHILLING JR.
Notary Public, State of New York
Reg. No. 02SH4763423
Qualified in Putnam County
Commission Expires 07/31/2026

Petitioner *[Signature]* Date _____

Applicant seeks a use variance to permit the continuation of 12 residential rental units, 11 of which have existed since the sixties and the twelfth since 1970. Applicant further seeks the following area variances for existing conditions in place for over 50 years.

(2 story)	Frontage ^{yd} 40'	Provided 38.7'	Variance required 1.3'	<i>MC</i>
(3 story)	Frontage ^{yd} 40'	Provided 33.6'	Variance required 6.4'	<i>MC</i>
(2 story)	Side 24' ^{25'}	Provided 10.4'	Variance required 14.6'	
(garage)	Rear 20'	Provided 6.6'	Variance required 13.4'	<i>MC</i>
(garage)	Side 20'	Provided 4'	Variance required 16'	
2 family deck	Rear 40'	Provided 5'	Variance required 35'	



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

AUTHORIZATION FORM

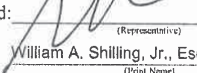
RE: Property of: TTSHR LLC
Located at: 25 & 27 Seminary Hill Road ^(Owner), Carmel
_(Address) _(City, Town, Village)
Tax Map #: 55.6-1-69 & 70
In the matter of: Use Variance
_(Variance Request)

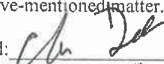
To whom it may concern:

This letter is to authorize Shilling & Smith, P.C.

a/an (check one) Attorney Engineer Architect Other ()

to apply for the required variance(s) on the above noted property and to sign all necessary papers and make all necessary representations on my behalf in connection with the above-mentioned matter.

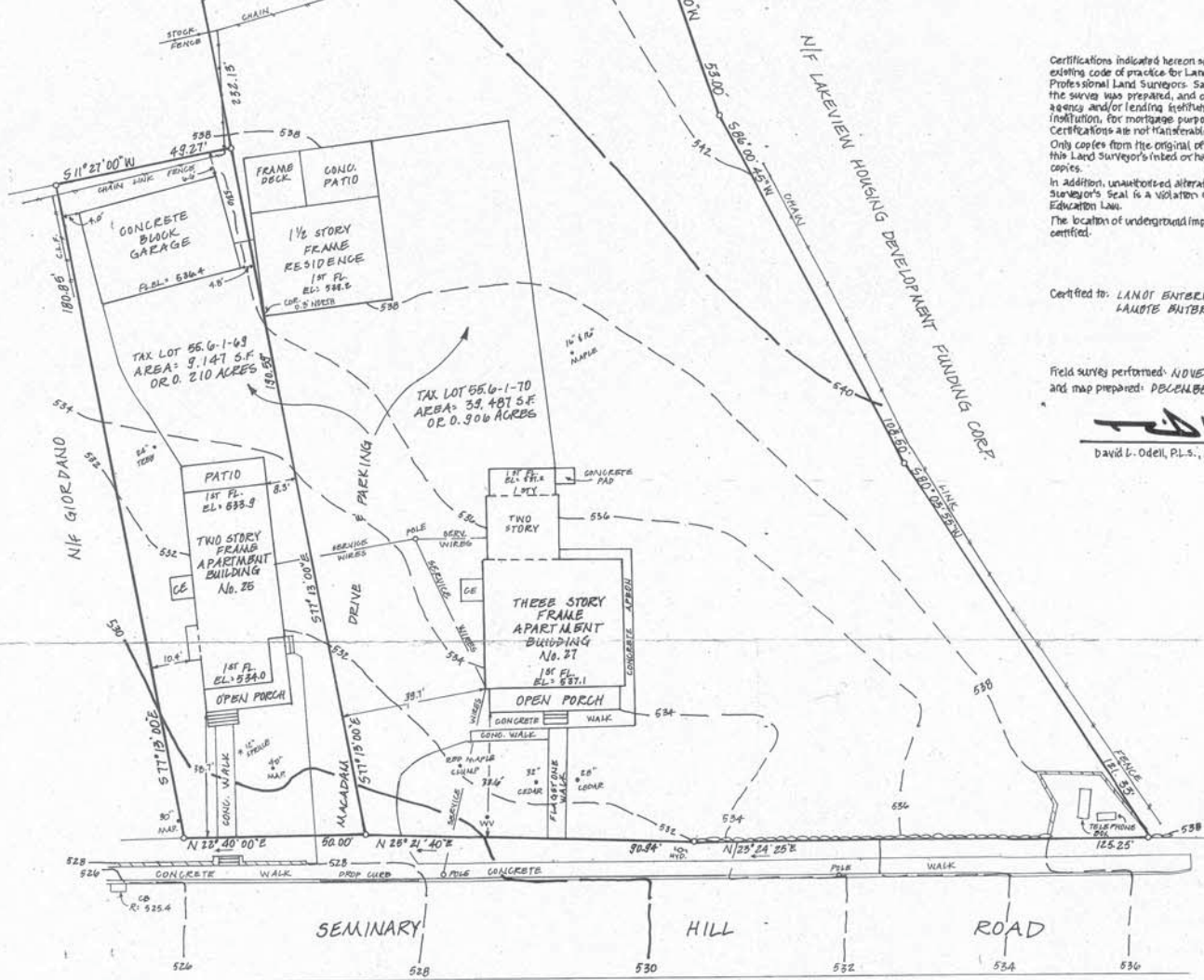
Countersigned: 
_(Representative)
William A. Shilling, Jr., Esq.
_(Print Name)

Signed: 
_(Owner of Property)
Chris Dimilia
_(Print Name)

Mailing Address: 1961 Route 6, Suite U3
Carmel
State: NY Zip: 12207
Telephone # 845-225-7500
Date: _____
E-mail: wastaw@shillinglegal.com

Mailing Address: 418 Broadway, Suite N
Albany
State: NY Zip: 12207
Telephone # _____

NOTE: The willful submission of false or inaccurate information on this application may result in the dismissal of the application, or the revocation of any action taken on the application, or both.



Certifications indicated hereon signify that this survey was prepared in accordance with the existing code of practice for Land Surveys as adopted by the New York State Association of Professional Land Surveyors. Said certifications shall be valid only to the party for whom the survey was prepared, and on that party's behalf to the title company, governmental agency and/or lending institution listed hereon, and to the assignees of the lending institution, for mortgage purposes for said party for whom this survey was prepared. Certifications are not transferable to additional institutions or subsequent owners. Only copies from the original of this survey map bearing the signature and an original of this Land Surveyor's indented or embossed seal shall be considered to be true and valid copies.

In addition, unauthorized alteration or addition to a survey map bearing a licensed Land Surveyor's Seal is a violation of Section 1209, Sub-Division 2, of the New York State Education Law. The location of underground improvements or encroachments hereon, if any exist, are not certified.

Certified to: LAMOT ENTERPRISES, LLC & LAMOTE ENTERPRISES, LLC

Field survey performed: NOVEMBER 2, 2022
and map prepared: DECEMBER 3, 2022

D.L. Odell

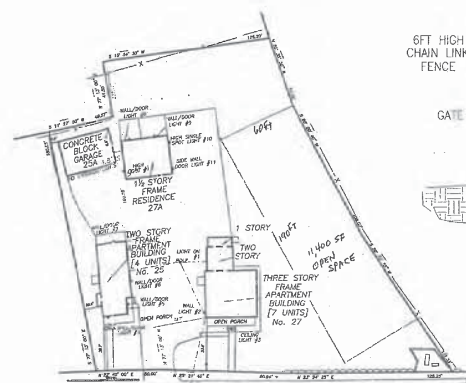
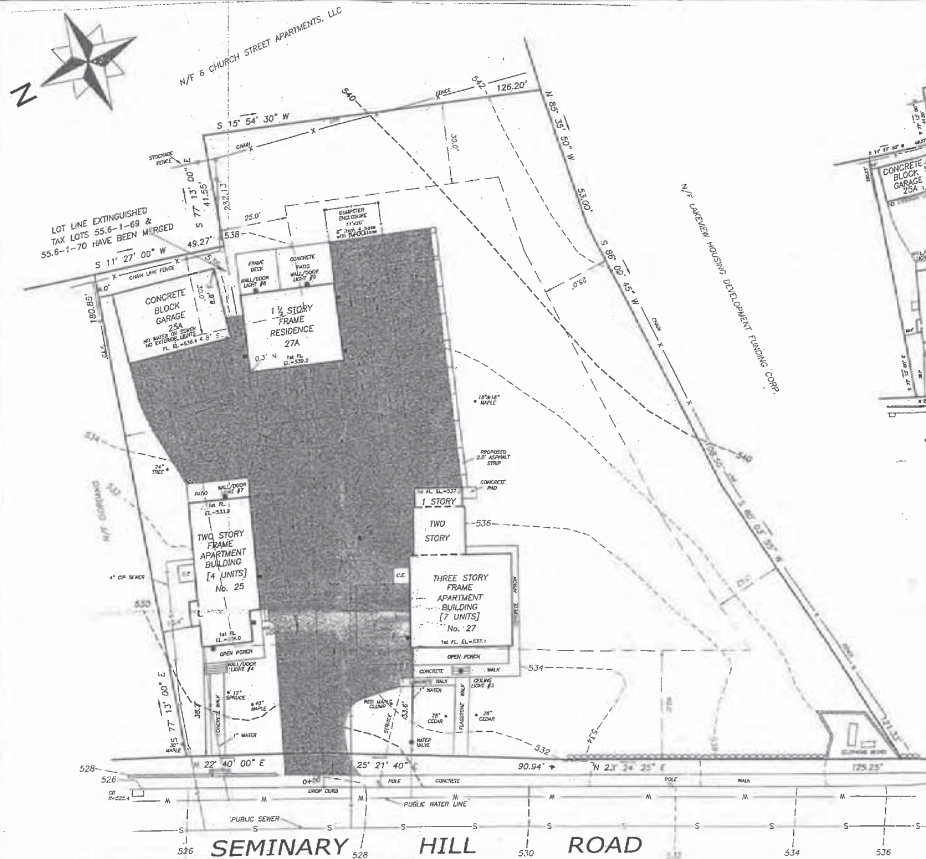
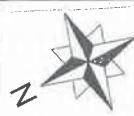
David L. Odell, P.L.S., N.Y. State Licensed Land Surveyor No. 080074

SURVEY OF PROPERTY
PREPARED FOR
LAMOT ENTERPRISES, LLC
&
LAMOTE ENTERPRISES, LLC
SITUATE IN THE
TOWN OF CARMEL
PUTNAM COUNTY, NEW YORK
SCALE: 1" = 20'



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Land Surveying Company
123 Cushman Road
Putnam, NY 12563
(949) 228-0100

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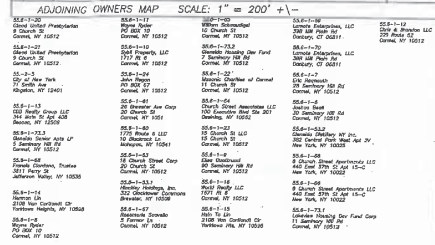
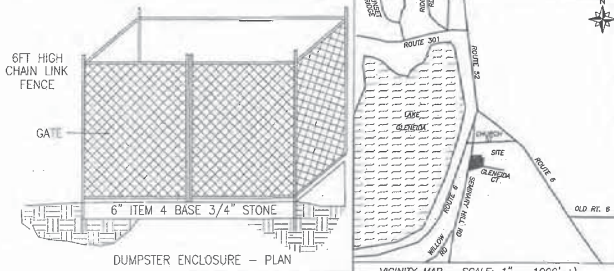


SEMINARY HILL ROAD LIGHTING PLAN

EXISTING EXTERIOR LIGHTING

UNIT #	FIXTURE	WATTAGE
1	1	100 W
2	1	100 W
3	1	100 W
4	1	100 W
5	1	100 W
6	1	100 W
7	1	100 W
8	1	100 W
9	1	100 W
10	1	100 W
11	1	100 W
12	1	100 W
13	1	100 W
14	1	100 W
15	1	100 W
16	1	100 W
17	1	100 W
18	1	100 W
19	1	100 W
20	1	100 W
21	1	100 W
22	1	100 W
23	1	100 W
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26	1	100 W
27	1	100 W
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88	1	100 W
89	1	100 W
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91	1	100 W
92	1	100 W
93	1	100 W
94	1	100 W
95	1	100 W
96	1	100 W
97	1	100 W
98	1	100 W
99	1	100 W
100	1	100 W

The complex has been in existence since the 1960's. Currently there are eleven units which date back from the early 1960's and a residential unit above the former commercial building which has been in existence since 1971. This applicant seeks to legalize the twelve units. The two tax lots have been merged into one lot.



ZONING SCHEDULE

R - RESIDENTIAL	REQUIRED	PROPOSED			
		4 APTS	7 APTS	1 APT	GARAGE
MIN LOT AREA (SF)	40,000	48,684			
MIN LOT WIDTH (FT)	200	200.2			
MIN LOT DEPTH (FT)	200	232.13			
MIN YARD DIMENSIONS (FT)			PRINCIPAL / ACCESSORY		
FRONT	40 40	38.3' 33.6'	140	148	
SIDE	25 20	10.4' 9'	50	4'	
REAR	30 20	82 140 15'	7'		
MAX BUILDING HEIGHT (FT)	35	22.8 31 18.5	17.5		
MIN FRONTAGE (FT)	100	266.19			
MAX LOT COVERAGE (%)	30	12			

SITE PLAN
1" = 20'

Variances required:
Parking required. Apartment - Two spaces per apartment, 12 apartments 24 spaces Proposed 22 spaces

1. Variances are required as follows:
a. Rear 40 ft, 2 story 36.7 ft, 1.3 ft variance needed
b. from 40 ft, 3 story 39.4 ft, 1.4 ft variance needed
c. Side 24 ft, 1 story 30.4 ft, 16.4 ft variance needed
d. Rear 20 ft, garage 6.0 ft, 13.6 ft variance needed
e. Side 20 ft, Garage 4 ft, 16 ft variance needed
f. Rear 40 ft, 2 family (deck) 5 ft, 35 ft variance needed.

Lot coverage:
Building 27 - 2024 SF Building 27A 932 SF
Building 25 - 1339 SF Garage 952 SF
TOTAL 5285 / 4360 = 12%

UNIT AND BEDROOM COUNT

BUILDING	UNIT	BEDROOMS
27	1	2
27	2	1
27	3	2
27	4	2
27	5	1
27	6	1
27	7	2
25	1	2
25	2	1
25	3	2
25	4	2
27A	1	1
27A	2	1
Garage		No bedrooms



SIGHT DISTANCE CALCULATIONS:
Seminary Hill Road Slope 4.2%
DOWNHILL TO THE DRIVEWAY
4.0% downhill adjustment plus 10%
200 + 200 = 400 feet
UPHILL TO THE DRIVEWAY
4.0% uphill adjustment plus 10%
200 + 20 = 220 feet



TOPOGRAPHIC SURVEY PREPARED BY DAVID ORILL PLS, DATED NOVEMBER 2, 2022.
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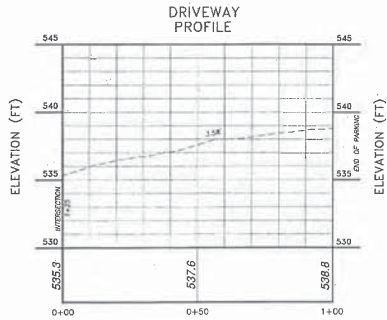
JOHN KURRELL, JR. P.E.
121 CUSHMAN ROAD
PATTERSON, NEW YORK 12563

OWNER: TTSH LLC
25 & 27 SEMINARY HILL RD
CARMEL (T)

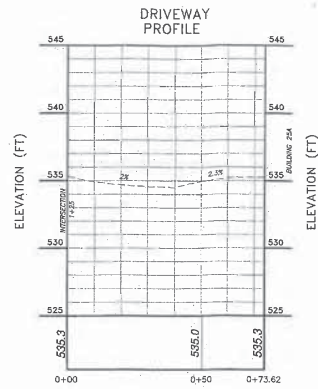
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DATED: DECEMBER 7, 2022
TAX MAP: 55-8-1-93 & 70

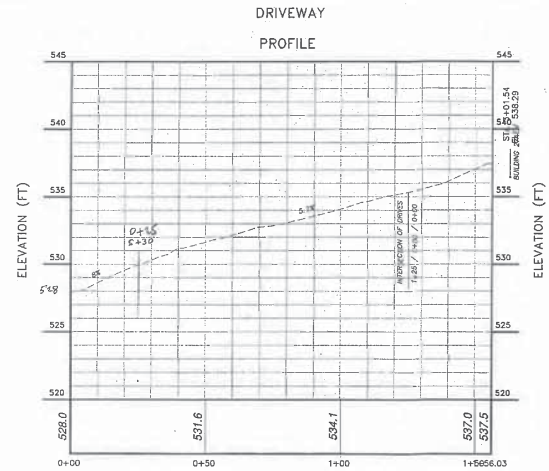
LATEST REVISION:
SHEET No. S-1



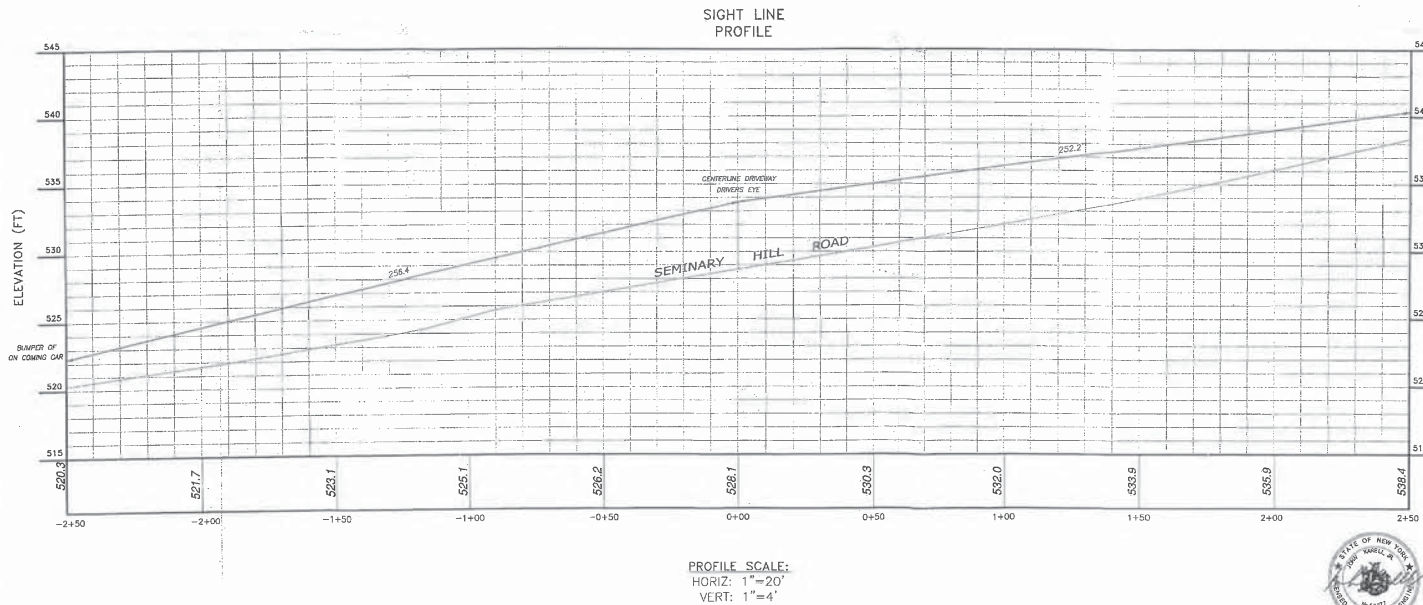
TO BLOCK GARAGE
 PROFILE SCALE:
 HORIZ: 1"=20'
 VERT: 1"=4'



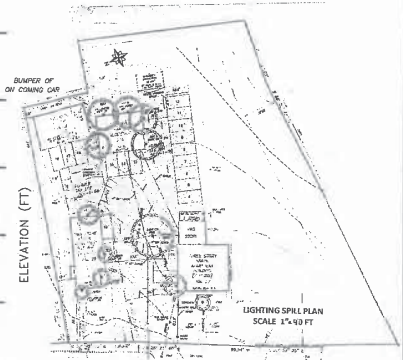
TO DUMPSTER AREA
 PROFILE SCALE:
 HORIZ: 1"=20'
 VERT: 1"=4'



0+100- BLDG 27A
 PROFILE SCALE:
 HORIZ: 1"=20'
 VERT: 1"=4'



PROFILE SCALE:
 HORIZ: 1"=20'
 VERT: 1"=4'



SEMINARY HILL ROAD
 TOPOGRAPHIC SURVEY PREPARED BY DAVID DOELL P.E., DATED NOVEMBER 8, 2022.
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6	1-15-2024	REVISED
5	12-18-2023	EXISTING CONDITION PLAN ADDED
4	03-16-2023	REVISED
3	3-13-2023	LIGHTING PLAN
2	1-14-2023	SHOW & HATCH LINES ADDED
1		DATE

JOHN KARELL, JR. P.E.
 121 CUSHMAN ROAD
 PATTERSON, NEW YORK 12563

OWNER: TTSR LLC
 25 & 27 SEMINARY HILL RD
 CARMEL (NY)

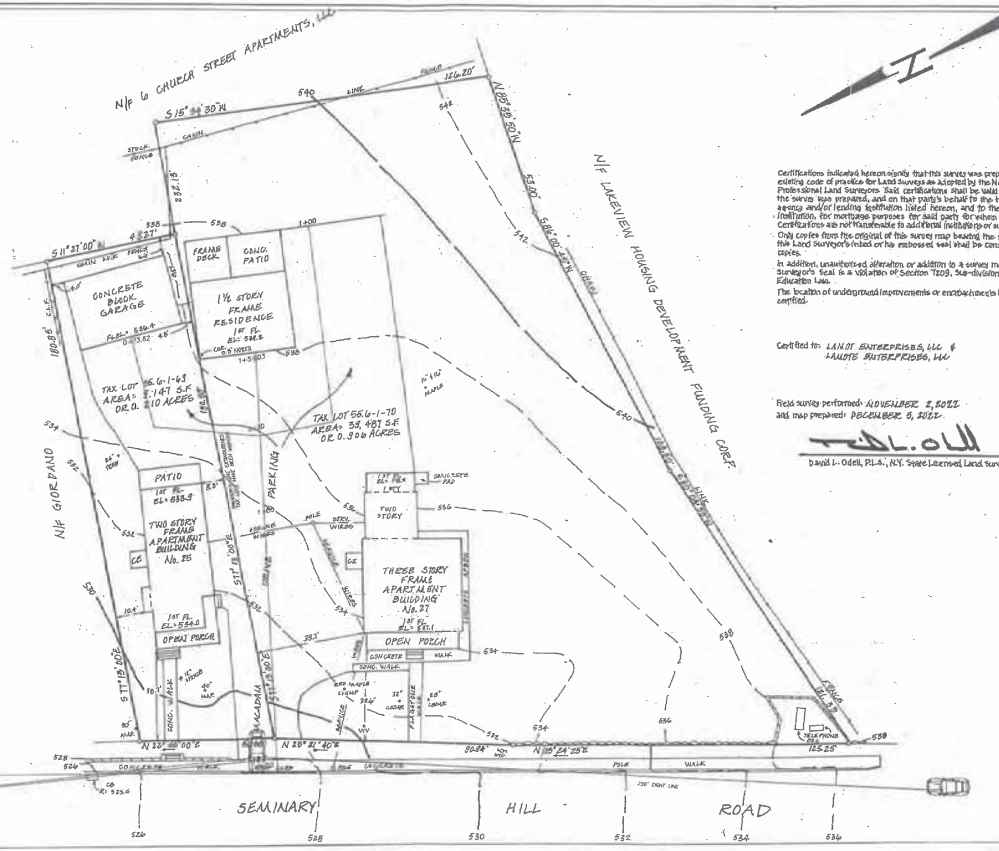
SCALE: 1" = 20'

DATED: DECEMBER 7, 2022
 TAX MAP: 55.6-1-69 & 70

LATEST REVISION:
 SHEET No. P-1

PROFILES





Certification indicated hereon signifies that this survey was prepared in accordance with the existing code of practice for Land Surveyors as adopted by the New York State Association of Professional Land Surveyors. Such certification shall be valid only in the hands of whom the survey was prepared, and on that party's behalf to the title company, governmental agency and/or lending institution listed herein, and to the assignees of the lending institution, for mortgage purposes, for said party for whom this survey was prepared. Certifications are not transferrable to additional institutions or subsequent owners. Only copies from the original of this survey made bearing the signature and seal of the original of the Land Surveyor or initial or the embosser seal shall be considered to be the true and valid copies. In addition, unauthorized alterations or additions to a survey map bearing a Licensed Land Surveyor's Seal is a violation of Section 1209, Sub-division 2, of the New York State Education Law. The location of underground improvements or encroachments hereon if any exist, are not certified.

Certified to: **LAMOT ENTERPRISES, LLC**
LAMOTE ENTERPRISES, LLC

Field survey performed: **NOVEMBER 2, 2022**
 and map prepared: **DECEMBER 5, 2022**

David L. Ocell
 David L. Ocell, P.L.S., N.Y. State Licensed Land Surveyor No. 00014



SURVEY OF PROPERTY
 PREPARED FOR
LAMOT ENTERPRISES, LLC
LAMOTE ENTERPRISES, LLC
 SITUATE IN THE
TOWN OF CARMEL
PUTNAM COUNTY, NEW YORK
 SCALE: 1" = 20'

TOPOGRAPHIC SURVEY PREPARED BY DAVID OCELL, P.L.S., DATED NOVEMBER 2, 2022.
 ALTERATION OF THE DRAWING EXCEPT BY A LICENSED P.E. OR ARCHITECT OR LICENSED LAND SURVEYOR IS ILLEGAL.
 ANY ALTERATION BY A P.E. OR ARCHITECT OR SURVEYOR MUST BE INDICATED AND BEAR HIS SEAL, SIGNATURE AND DATE OF ALTERATION.

1	5-18-2024	REVISIONS
2	12-10-2022	EXISTING CONDITIONS PLAIN ADDED
3	10-10-2022	PERIODIC
4	2-13-2022	LIGHTING PLAN
5	1-4-2022	EXISTING UTILITIES ADDED
6		

JOHN KARELL, JR. P.E.
 121 CUSHMAN ROAD
 PATTERSON, NEW YORK 12563

OWNER:	TISHR LLC 25 & 27 SEMINARY HILL RD CARMEL (7)	SCALE:	1" = 20'	LATEST REVISION:	
EXISTING CONDITIONS & SIGHT DISTANCE PLAN		DATE:	DECEMBER 7, 2022	SHEET NO.:	EC-1
		TAX MAP:	55-9-1-68 & 70		



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 Land Surveying Company
 10 Cushman Road
 Patterson, NY 12563
 (518) 238-0100

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ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

IN THE MATTER OF THE APPEAL
OF
Aaron Kass
TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: _____, 20____

Application For (circle applicable): Area Variance () Use Variance Interpretation 280A
Name of Property Owner: Aaron Kass Address: 90 Mexico Lane, Mahopac, NY

Mailing Address: 25 Carolyn Road, Mahopac, NY Phone Number(s): 914-906-3345

Zoning District: Res Tax Map: 53 - 2 - 17

Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]

E-Mail Address: waslaw@shillinglegal.com

Previous Appeals regarding the subject premises:

Table with 3 columns: DATE, REQUEST, RESULTS. Row 1: N/A

List all improvements (I family dwelling, pool, etc.) single family residence with patio, enclosed porch

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: engineer plans, affidavit of applicant, memorandum of law

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO
Explain: Mexico Lane is a Town Road

I, the applicant, am seeking permission to: subdivide lot into two lots

Table with 3 columns: CODE REQUIRES / ALLOWS, PROVIDED, VARIANCE REQUIRED. Row 1: see attached

State of New York)
ss:
County of Putnam)
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this 29 day of Apr 20 24

Notary Public signature line

WILLIAM A. SHILLING JR.
Notary Public, State of New York
Reg. No. 02SH4766423
Qualified in Putnam County
Commission Expires 07/31/20 26

Petitioner signature line and Date

CODE REQUIRES/ALLOWS

PROVIDED

VARIANCE REQUIRED

Lot 1 area 120,000 sq.ft.

67,953.65 sq.ft.

52,046.40 sq.ft.

Lot 2 area 120,000 sq.ft.

64,468.80 sq.ft.

55,531.20 sq.ft.

Lot 1 rear yard setback 40 ft.

7.3 ft. existing

32.7 ft.



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

AUTHORIZATION FORM

RE: Property of: Aaron Kass
Located at: 90 Mexico Lane (Address), Mahopac (City, Town, Village)
Tax Map #: 53-2-17
In the matter of: Area Variance (Variance Request)

To whom it may concern:

This letter is to authorize Shilling & Smith, P.C.

a/an (check one) Attorney Engineer Architect Other _____

to apply for the required variance(s) on the above noted property and to sign all necessary papers and make all necessary representations on my behalf in connection with the above-mentioned matter.

Countersigned: [Signature]
(Representative)
William A. Shilling, Jr., Esq.
(Print Name)

Signed: [Signature]
(Owner of Property)
Aaron Kass
(Print Name)

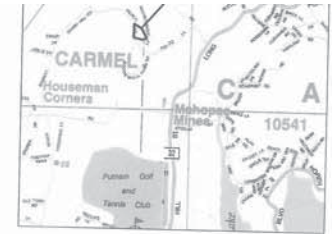
Mailing Address: 1961 Route 6, Suite U3
Carmel
State: NY Zip: 10541
Telephone # 845-225-7500
Date: _____
E-mail: waslaw@shillinglegal.com

Mailing Address: 25 Carolyn Road
Mahopac
State: NY Zip: 10541
Telephone # 914-906-3345

NOTE: The willful submission of false or inaccurate information on this application may result in the dismissal of the application, or the revocation of any action taken on the application, or both.



AREA MAP
SCALE 1"=1000'



LOCATION MAP
SCALE 1"=2000'

ADJOINERS:

TAX MAP #	OWNER	TAX MAP #	OWNER
53B-1-24	HAGST, RICHARD HAGST, JODY	53-2-8	LARA, JEAN PAUL LARA, DJAHAR
53B-1-25	FORSBAND, CHRISTOPHER FORSBAND, CATHERINE	53-2-16	DIAPOND, COREY DIAPOND, LUANNE
53B-1-26	ZANE, GLENN ZANE, MADELINE	53-2-18	NORMAN, BALTER NORMAN, SHARON
53B-1-27	GRANGER, CHRISTOPHER GRANGER, DANETTE	53-2-20	GARDIELLA, FILIZZO REVOCABLE TRUST
53B-1-28	CORBELLI, ALBERT CORBELLI, ELAINE	53-2-21	CHIL, EDWARD T. TAYLOR, LAM
53-2-1	FRITZAGALLA, MAURINA PALUTTI FRITZAGALLA, RENEEA DEEPIKA	53-2-22	KAPFER, GABRIEL G. KAPFER, STEVEN G.
53-2-2	FORSBAND, CHRISTOPHER FORSBAND, CATHERINE	53-2-23	IGCI, TONY H. IGCI, LOUANE J.
53-2-24	SCOLLEY, ROBIN SCOLLEY, BRUCE L.	53-2-24J	GALLICCHIO, ALAN A.

ZONING SCHEDULE

R - RESIDENTIAL	REQUIRED	LOT 1	LOT 2
MIN LOT DIMENSIONS			
MIN AREA (SQ. FT.)	20,000	67,933.6	44,488.8
MIN FRONT (FT.)	300	240	20 (30)
MIN DEPTH (FT.)	300	202.8	264.7
MIN YARD DIMENSIONS			
FRONT (FT.)	40	35	30.5
SIDE (FT.)	20	42.4	43
REAR (FT.)	40	130	145
MAX HEIGHT OF BUILDING (FT.)	30	30	30
MAX LOT COVERAGE (%)	0	15.4	4.8
MIN ROAD FRONTAGE (FT.)	100	204.0	446.58

CODE REQUIRED	REQUIRED	BILL COST	VARIANCE REQUESTED
LOT 1 AREA -	20,000 SF.	67,933.6 SF.	52,048.4 SF.
LOT 2 AREA -	20,000 SF.	44,488.8 SF.	16,532 SF.

TABLE OF AREAS:

LOT 1*	67,933.6 SF.	1.56 AC
LOT 2*	44,488.8 SF.	1.02 AC
TOTAL SITE	112,422.4 SF.	2.58 AC
AREA		
LOT 1 NEEDS REAR YARD SETBACK VARIANCE OF 32.70 FEET.		



SKETCH SUBDIVISION MAP



LEGEND

- PERCOLATION TEST HOLE
- ⊕ DEEP TEST HOLE
- ⊗ EXISTING WELL
- ⊙ SOIL GROUP
- ⊠ STONE WALL
- ⊡ WATERCOURSE

DENIED
BY TOWN OF CARMEL
PLANNING BOARD ON
DATE 2/18/2017
Vice-Chairman *[Signature]*



4 OLD ROUTE 6, BREWSTER, NEW YORK 10509
(845) 275-6189 FAX (845) 275-6169
©PUTNAM ENGINEERING, PLLC 2002

PURSUANT TO NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 2209 SUBDIVISION 2, IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER AN ITEM IN ANY WAY, IF AN ITEM BEARING THE SEAL OF AN ENGINEER IS ALTERED. THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

PROJECT
PLAN PREPARED FOR:
AARON KASS
80 MEXICO LANE
TOWN OF CARMEL
PUTNAM COUNTY, NEW YORK
TAX MAP No. 83, BLOCK 2, LOT 11

DATE	DRAWN BY	CHECKED BY	SCALE	AS NOTED
JUN 30 2013	PKL	PKL		

PROJECT NUMBER	DRAWING NUMBER
8443	C-110

SKETCH SUBDIVISION MAP

SHEET 1 OF 2

SUBDIVISION PLAN NOTES:

- OWNER/APPLICANT: AARON KASS
38 CAROLAN ROAD EAST
CARMEL, NY 10509
- PROJECT LOCATION: 80 MEXICO LANE
TOWN OF CARMEL,
TAX MAP 83-2-11
- TOPOGRAPHIC AND BOUNDARY INFORMATION BASED UPON A SURVEY KNOWN AS "SURVEY OF PROPERTY PREPARED FOR ALBERT F. CORBELLI" PREPARED BY RICHARD H. GORR, PLS DATED JANUARY 21, 1988.
- LOT AREA - 112,422.4 SF (2.58 ACRES)
NUMBER OF PROPOSED LOTS - 2
- VERTICAL DATUMS - 3 FOOT CONTOUR INTERVAL, NAVD 83, NORTH AMERICAN VERTICAL DATUM 1983.
- THERE ARE NO WATERCOURSES, WETLANDS OR FLOODPLAINS WITHIN 100 FEET, EXCEPT AS NOTED.
- THE APPLICANT SHALL NOTIFY THE TOWN OF CARMEL ENGINEERING DEPARTMENT AT LEAST 3 DAYS PRIOR TO THE COMMENCEMENT OF ANY WORK ON THE SITE. CONTACT NUMBER IS 845-426-3000 EXTENSION 81.
- PROPOSED LOTS ARE TO BE SERVED BY ON SITE DRILLED WELLS AND INDIVIDUAL SUB SURFACE SANITARY TREATMENT SYSTEMS.
- ALL PROPOSED UTILITIES FROM THE LATEST EXISTING POLE ON SITE, SHALL BE INSTALLED IN ACCORDANCE WITH THE UTILITY COMPANY AND TOWN REQUIREMENTS.
- THERE ARE NO AREAS TO BE RESERVED FOR RECREATION OPEN SPACE.

OWNER/APPLICANT APPROVAL
THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THESE DRAWINGS, THEIR CONTENTS AND THEIR LEGAL EFFECTS AND HEREBY CONSENTS TO ALL THEIR SAID TERMS AND CONDITIONS AS STATED HEREON. FURTHER, THE OWNER CONSENTS TO THE FILING OF THIS MAP.
SIGNED THIS _____ DAY OF _____ 20____

PLANNING BOARD APPROVAL
APPROVAL HEREBY GRANTED THIS _____ DAY OF _____ 20____.
IF SIGNING POINT IS NOT SOLED WITHIN 12 MONTHS FROM THE ABOVE DATE, THE APPROVAL BECOMES NULL AND VOID.
TOWN OF CARMEL PLANNING BOARD
SIGNED THIS _____ DAY OF _____ 20____ BY _____
CHAIRMAN _____



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

*Not
Approved
02/24*

IN THE MATTER OF THE APPEAL
OF
Anthony Nanetti

Application Date: _____, 20__

TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application For (circle applicable): Area Variance () Use Variance Interpretation 280A
Name of Property Owner: Anthony Nanetti Address: 7 Indian Avenue, Mahopac, NY
Mailing Address: 6 Brook Avenue, Mahopac, NY Phone Number(s): 914-260-6336
Zoning District: Res Tax Map: 75.12 - 1 - 32
Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]
E-Mail Address: waslaw@shillinglegal.com

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
	NONE	

List all improvements (1 family dwelling, pool, etc.) two story residential structure

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: assessment card, applicant's affidavit, memorandum of law

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO
Explain: Indian Avenue is a Town Road

I, the applicant, am seeking permission to: legalize a two family structure in a single family zone

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
single family use	two family	to permit two family in a single family zone

State of New York)
 ss:
County of Putnam)
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this 29 day of April, 2024
[Signature]
Notary Public

WILLIAM A. SHILLING JR.
Notary Public, State of New York
Reg. No. 02SH4768423
Qualified in Putnam County
Commission Expires 07/31/2026

Petitioner *[Signature]* Date 4-29-24



AUTHORIZATION FORM

RE: Property of: Anthony Nanetti
Located at: 7 Indian Avenue (Owner) _____, Mahopac
(Address) _____ (City, Town, Village)
Tax Map #: 75.12-1-32
In the matter of: Use Variance
(Variance Request)

To whom it may concern:

This letter is to authorize Shilling & Smith, P.C.

a/an (check one) Attorney Engineer Architect Other _____

to apply for the required variance(s) on the above noted property and to sign all necessary papers and make all necessary representations on my behalf in connection with the above-mentioned matter.

Countersigned: _____
(Representative)
William A. Shilling, Jr., Esq.
(Print Name)

Signed: _____
(Owner of Property)
Anthony Nanetti
(Print Name)

Mailing Address: 1961 Route 6, Suite U3
Carmel
State: NY Zip: 10541
Telephone # 845-225-7500
Date: _____
E-mail: waslaw@shillinglegal.com

Mailing Address: 6 Brook Avenue
Mahopac
State: NY Zip: 10541
Telephone # 914-260-6336

NOTE: The willful submission of false or inaccurate information on this application may result in the dismissal of the application, or the revocation of any action taken on the application, or both.

Inquiries should be directed to the

office.

Title No. 7910-11246

18

3

FORMERLY CASAGRANDE

95.00

FORMERLY CASAGRANDE

N 52° 15' 40" W →

FENCE 10' CLEAR

clear 0.47'

ARCADIA IRON

4.722
0.30 C. 4.5 W.P.

100.00
96.97

2

75.41
80.00

FILED MAP
DEED
ELLEN

deed
FILED MAP

S 37° 44' 20" W →
clear 0.09'

blk. garage

wall

wall

planter

row

1 1/2 story
frame
dwelling

conc.

hedge

macadam drive

porch

walk

N 37° 44' 20" E →
N 37° 44' 20" E →
ELLEN

553° 27' 00" E →
552° 15' 40" E →

FILED MAP
DEED

75.43
75.00

R. 20.00
L. 31.00' FILED MAP

R. 20.00
L. 31.42' DEED

HEDGE 10' CLEAR

INDIAN

AVE.

319.49 to Northern corner of lands of Ellen Newsbarn
in DEED 237 PAGE 297

SURVEY OF PROPERTY

PREPARED FOR

CLARENCE E. & LOUISE C. LEWIS

SITUATE IN THE

TOWN OF CARMEL

PUTNAM COUNTY

NEW YORK

SCALE 1 in. = 20 ft.

1979

IT IS HEREBY CERTIFIED THAT THIS SURVEY WAS PREPARED BY [unclear]



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

MAA

IN THE MATTER OF THE APPEAL

OF
Nigri, Paula

TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: *4/3*, 20*24*

Application For (circle applicable): Area Variance () Use Variance Interpretation 280A

Name of Property Owner: *Paula Nigri* Address: *11 CRAFT Rd / 101 Drewville*

Mailing Address: *11 CRAFTS Rd CARMEL* Phone Number(s): *84*

Zoning District: *R120* Tax Map: *65.8 - 1 - 6*

Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]

E-Mail Address: _____

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
<i>NO previous ZBA appearances</i>		<i>(Dma)</i>

List all improvements (1 family dwelling, pool, etc.) _____

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: *prop survey, photographs*

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES/NO

Explain: *NYC Property*

I, the applicant, am seeking permission to: *Retain Existing Tent Storage Structure on Lot Without a principal use*

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
<i>Front 40 Drewville</i>	<i>26</i>	<i>14</i>
<i>Front 40 Crafts</i>	<i>21</i>	<i>19</i>
<i>Side 20</i>	<i>16</i>	<i>4</i>

State of New York)

ss: _____

County of Putnam)

The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this *12* day of *April* 20*24*.

Denise Viola
Notary Public

DENISE VIOLA
Notary Public, State of New York
Reg. No. 01V16334593 Putnam
Qualified in Dutchess County
Commission Expires 12/21/*2027*

Petitioner *[Signature]*

Date *4/12/24*

(12) + original



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

B

AUTHORIZATION FORM

RE: Property of: PAULA NIGRI
(Owner)
Located at: 101 Drewville Rd, Carmel NY 10512
(Address) (City, Town, Village)
Tax Map #: _____

In the matter of: putting Portable outdoor Shelter on property
(Variance Request)

To whom it may concern:

This letter is to authorize Remo Lisi Jr
a/an (check one) Attorney _____ Engineer _____ Architect _____ Other (Boyfriend)

to apply for the required variance(s) on the above noted property and to sign all necessary papers and make all necessary representations on my behalf in connection with the above-mentioned matter.

Countersigned: [Signature]
(Representative)
Remo Lisi Jr
(Print Name)

Signed: [Signature]
(Owner of Property)
Remo Lisi Jr
(Print Name)

Mailing Address: 11 CRAFTS RD
Carmel NY
State: NY Zip: 10512
Telephone # 845-656-2800
Date: 4/7/24
E-mail: _____

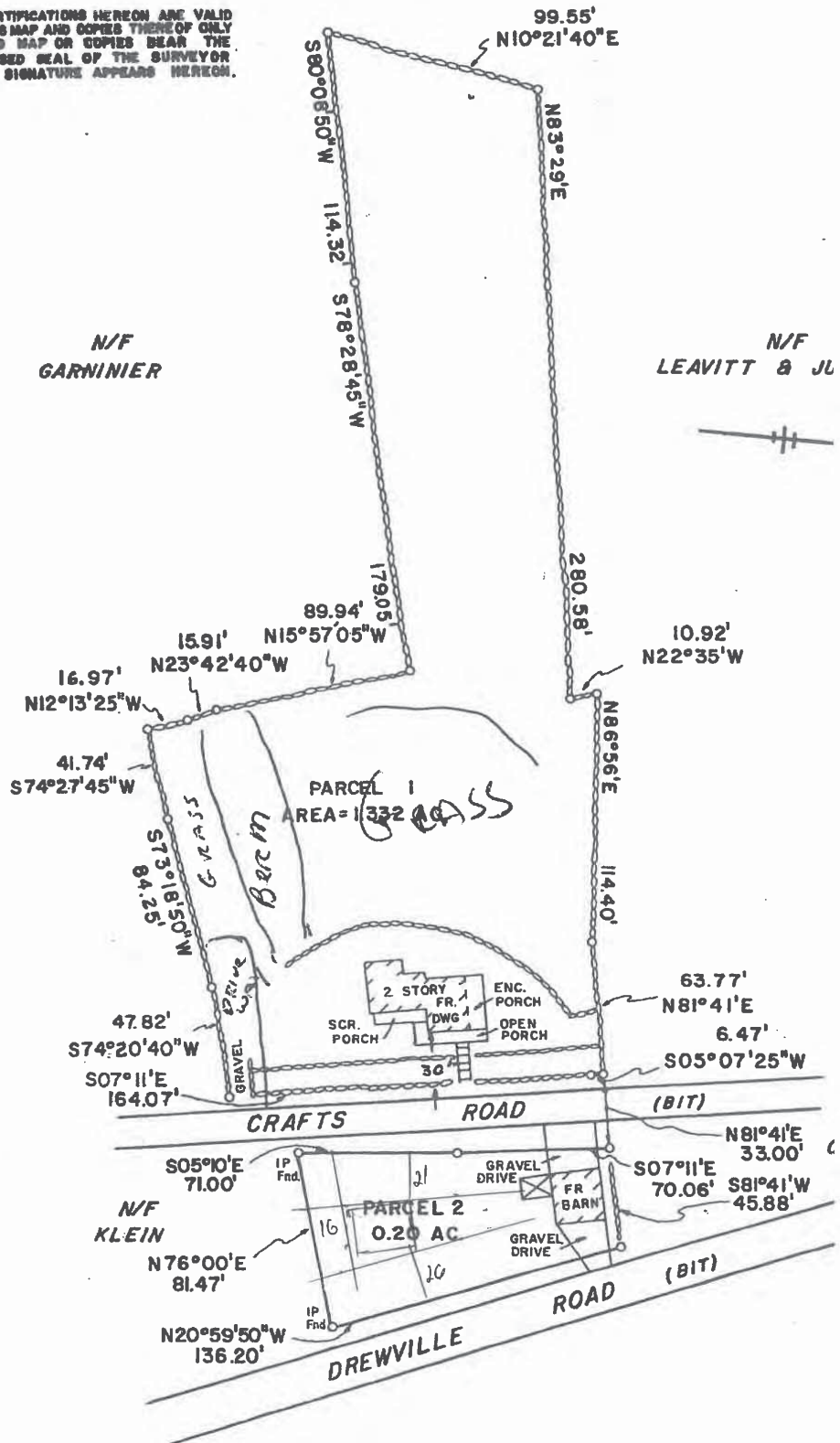
Mailing Address: 11 CRAFTS RD
Carmel
State: NY Zip: 10512
Telephone # _____

NOTE: The willful submission of false or inaccurate information on this application may result in the dismissal of the application, or the revocation of any action taken on the application, or both.

ALL CERTIFICATIONS HEREON ARE VALID FOR THIS MAP AND COPIES THEREOF ONLY IF SAID MAP OR COPIES BEAR THE IMPRESSED SEAL OF THE SURVEYOR WHOSE SIGNATURE APPEARS HEREON.

N/F
GARNINIER

N/F
LEAVITT & JU



I HEREBY CERTIFY TO

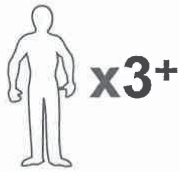
ETHEL McHUGH
TIMELY TITLE SERVICES
CITIBANK, N.A.

THIS SURVEY IS ACCURATE
AND CORRECT BY:

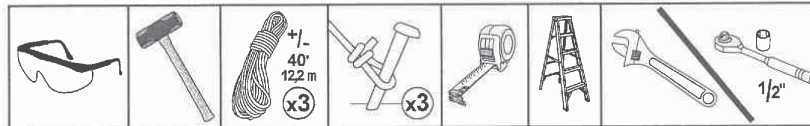
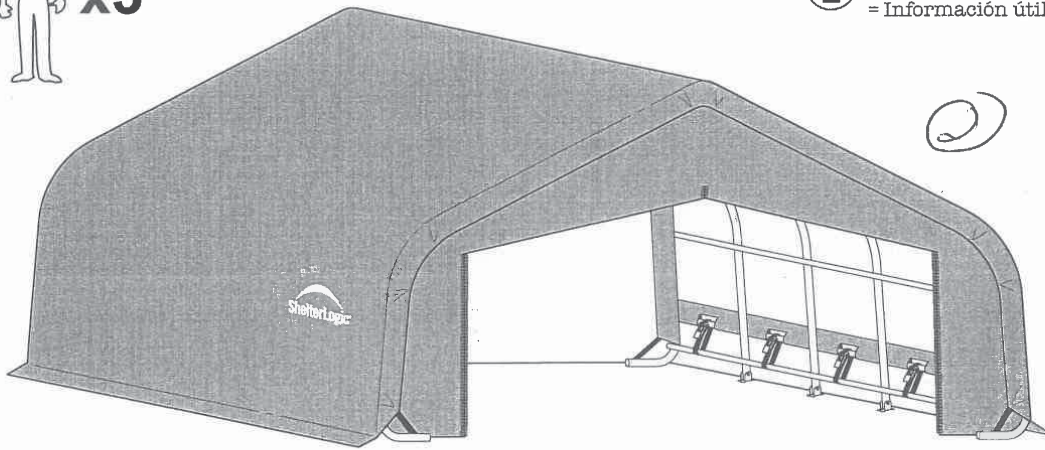
Gerald L. Lynn
GERALD L. LYNN

SURVEY FOR/TO
ETHEL McHUGH
TOWN OF CARMEL
PUTNAM COUNTY
NEW YORK

22'W x 12'H / 6,7 x 3,7 m



i = Helpful information
= Informations utiles
= Información útil



NOTE: 22' x 20' x 12' is the BASE frame dimension. Your model may have more middle ribs than shown in the illustrations. You will receive one additional rib for every additional 4 ft. of building length that you purchase. The basic frame assembly remains the same. The cover will be the correct size for the length of the building you purchased. Approximate Assembly Time: About 3 hours plus 15 minutes for every additional 4 ft. of building length.

REMARQUE: L'armature de base mesure 6,7 x 6,1 x 3,7 m. Votre abri peut comporter davantage de nervures centrales que l'illustrations. Vous recevez une nervure additionnelle pour chaque section supplémentaire de 1,2 m. L'assemblage de l'armature de base reste le même. La taille de la toile correspondra à la longueur de l'abri. Temps de montage approximatif: Environ 3 heures plus 15 minutes pour chaque supplémentaire de 4 pieds (1,2 m) de longueur du bâtiment.

NOTA: 22' x 20' x 12' es la dimensión bancada. Su modelo podrá contar con más costillas medias que se muestran en las ilustraciones. Usted recibirá una costilla adicional por cada adicional de 4 pies de longitud edificio que usted compra. El conjunto de bastidor básico sigue siendo el mismo. La cubierta será el tamaño correcto de la longitud del edificio que ha adquirido. Tiempo de montaje aproximado: Alrededor de 3 horas más 15 minutos adicionales por cada 4 pies (1,2 m) de longitud edificio.



by
ShelterLogic®
150 Callender Road
Watertown, CT 06795
www.shelterlogic.com

1-800-524-9970

Canada:
1-800-559-6175



ATTENTION: ShelterLogic® Corp. Shelters offer storage and protection from debris, sun, rain, tree sap, animal/livestock excrement and light snow. Please insure this ShelterLogic® Corp. structure is properly anchored, the cover is kept tight and free of snow and debris. (See manual for more anchoring details.) Not following these guidelines can greatly shorten the life of the structure, result in damage to stored contents, surrounding equipment or structures or result in bodily injury. ShelterLogic® Corp. is not responsible for damage to the unit, the stored contents or injury to temporary inhabitants as a result of acts of nature, improper installation or use. Please read and understand the installation details, warnings and cautions prior to beginning installation. If you have any questions call the customer service number listed below. Failure to follow the guidelines may result in denial of warranty claims. Please refer to the warranty card inside this package for details.

DANGER: Prior to installation, consult with all local municipal codes regarding installation of temporary shelters. Choose the location of your shelter carefully. **Keep away from electrical wires.** Check for overhead utility lines, tree branches or other structures. Check for underground utilities before you place shelter anchorage. Contact your local utilities or dial 811 for utility location services. **DO NOT** install near roof lines or other structures that could result in excessive accumulation of snow, ice or water onto your structure. **DO NOT** hang objects other than approved ShelterLogic® Corp. accessories from the roof or support cables.

WARNING: Risk of fire. **DO NOT** smoke, use open flame or electrical heating devices (including grills, fire pits, deep fryers, smokers or lanterns, radiant heaters etc.) in or around the shelter. **DO NOT** store flammable liquids (gasoline, kerosene, propane, etc.) in or around your shelter.

CAUTION: Use CAUTION when erecting the frame and rib structure. Use proper tethering and anchoring during build process as denoted in this manual. Use safety goggles during installation. Secure and bolt together overhead poles during assembly. Be aware of exposed pole ends.

PROPER ANCHORING AND INSTALLATION OF FRAME:
- PROPER ANCHORING OF THE FRAME IS THE RESPONSIBILITY OF THE CONSUMER -

Any shelter that is not anchored securely has the potential to be blown away or collapse, resulting in damage or bodily injury. Periodically check the anchors to ensure stability of the shelter. ShelterLogic® Corp. is not responsible for any shelter that blows away or collapses. **NOTE:** If strong winds or severe weather is forecast in your area, we recommend removal of the cover. The shelter cover can be quickly removed and stored prior to severe weather conditions. Failure to follow the guidelines may result in denial of warranty claims. Check for underground utilities before you begin anchor installation. Contact your local utilities or dial 811 for utility location services.

REPLACEMENT PARTS, ASSEMBLY, and SPECIAL ORDERS: Genuine ShelterLogic® Corp. replacement parts and accessories are available from the factory, including anchoring kits for nearly any application, replacement covers, wall and enclosure kits, vent kits, light kits, frame parts, zippered doors and other accessories. All items are shipped factory direct to your door.

QUESTIONS - CLAIMS - REPLACEMENT PARTS?

CALL OUR CUSTOMER SERVICE HOTLINE:
U.S.A: 1-800-524-9970
INTERNATIONAL: 001-860-945-6442
CANADA: 1-800-559-6175
U.S.A. HOURS OF OPERATION:
MON-FRI 8:00AM-8:00PM ET,
SAT-SUN 8:00AM-4:30PM ET.

CARE AND CLEANING: A tight cover ensures longer life and performance. Always maintain a tight cover. Loose fabric can accelerate deterioration of cover fabric. Immediately remove any accumulated snow or ice from the roof structure with a broom, mop or other soft-sided instrument. Use extreme caution when removing snow and ice from cover: always remove snow and ice from outside the structure. **DO NOT** use hard-edged tools or instruments like rakes or shovels to remove snow. This could result in punctures to the cover. **DO NOT** use bleach or harsh abrasive products to clean the fabric cover. Cover is easily cleaned with mild soap and water. Failure to follow these guidelines may result in denial of warranty claims.

AVIS : Les abris ShelterLogic® Corp. offrent un espace d'entreposage et une protection contre les débris, le soleil, la pluie, la sève des arbres, les excréments d'oiseaux et d'animaux, et la neige fine. Veuillez vous assurer que la structure du ShelterLogic® Corp. est bien assemblée, que la couverture est tendue et qu'elle est exempte de neige et de débris (voir le guide pour plus de détails sur l'assemblage). Le non-respect de ces directives peut considérablement raccourcir la durée de vie de la structure, endommager les articles entreposés, le matériel environnant ou la structure, ou encore causer des blessures physiques. ShelterLogic® Corp. n'est pas responsable des dommages causés à la structure, aux articles entreposés ou aux individus qui s'y trouvent, qui seraient provoqués par des causes naturelles, une mauvaise installation ou une mauvaise utilisation. Veuillez lire et comprendre les détails d'installation, ainsi que les avis « mise en garde » et « attention » avant de commencer l'installation. Si vous avez des questions, appelez le service à la clientèle au numéro indiqué ci-dessous. Le non-respect des directives peut s'ensuivre d'un refus de réclamation de garantie. Pour de plus amples renseignements, veuillez vous référer à la carte de garantie à l'intérieur de cet emballage.

DANGER : Avant de procéder à l'installation, consultez tous les règlements locaux et municipaux concernant l'installation d'abris temporaires. Choisissez prudemment l'emplacement de votre abri. **Tenez loin des fils électriques.** Vérifiez s'il y a des câbles de services publics aériens, des branches d'arbre ou d'autres structures. Vérifiez s'il y a des installations souterraines de services publics avant d'assembler l'abri. Appelez les services publics de votre région ou composez le 811 pour l'emplacement des services publics. **N'INSTALLEZ PAS** près des lignes de toits ou d'autres structures pouvant causer une accumulation excessive de neige, de glace ou d'eau sur la structure. **NE SUSPENDEZ** aucun objet au toit ou aux câbles porteurs autres que les accessoires approuvés par ShelterLogic® Corp.

MISE EN GARDE : Risque d'incendie. **NE FUMEZ PAS, N'UTILISEZ PAS** de flamme nue ou d'appareils de chauffage électrique (tels que grils, friteuses, fumoirs ou lanternes, poêles à chaleur rayonnante, etc.) à l'intérieur ou près de l'abri. **N'ENTREPOSEZ PAS** des liquides inflammables (essence, kérosène, propane, etc.) à l'intérieur ou près de l'abri.

ATTENTION : Soyez ATTENTIFS lors de l'installation du support de la structure. Utilisez les méthodes d'ancrage et de fixation appropriées pendant l'assemblage, comme indiquées dans ce guide. Attachez et fixez à l'aide de boulons les poteaux au-dessus de votre tête pendant l'assemblage. Prenez garde aux extrémités de poteaux à découvert.

INSTALLATION ET ANCRAGE APPROPRIÉS DU SUPPORT :
- LE CONSOMMATEUR EST RESPONSABLE DU BON ANCRAGE DU SUPPORT -

Tout abri n'étant pas assemblé correctement risque d'être balayé par le vent ou de s'effondrer, causant ainsi des bris ou des blessures physiques. Vérifiez régulièrement les pièces d'ancrage pour assurer la stabilité de l'abri. ShelterLogic® Corp. n'est pas responsable des abris balayés par le vent ou de ceux qui s'effondrent. **REMARQUE :** En cas de prévisions de forts vents ou de phénomènes météorologiques extrêmes dans votre région, nous recommandons d'enlever la couverture. La couverture de l'abri peut être enlevée rapidement et entreposée en prévision de conditions météorologiques extrêmes. Le non-respect des directives peut s'ensuivre d'un refus de réclamation de garantie. Vérifiez s'il y a des installations souterraines de services publics avant d'assembler l'abri. Appelez les services publics de votre région ou composez le 811 pour l'emplacement des services publics.

PIÈCES DE RECHANGE, ASSEMBLAGE ET COMMANDES SPÉCIALES : Les pièces d'origine et les accessoires ShelterLogic® Corp. sont disponibles auprès de l'usine, notamment des trousseaux de pièces d'ancrage pour presque toute demande, des couvertures de rechange, des trousseaux de mur et de clôture, des trousseaux d'évent, des trousseaux de lumière, des pièces pour le support, des portes à fermeture éclair et d'autres accessoires. Tous les articles sont directement expédiés de l'usine à votre maison.

QUESTIONS - RÉCLAMATIONS - PIÈCES DE RECHANGE? COMPOSEZ LA LIGNE DIRECTE DE NOTRE SERVICE À LA CLIENTÈLE :
E.-U. : 1 800 524-9970
INTERNATIONAL : 001 860 945-6442
CANADA : 1 800 559-6175
HEURES D'OUVERTURE AUX É.-U. :
LUN AU VEN 8 H À 20 H (HÉ),
SAM ET DIM 8 H À 16 H 30 (HÉ).

ENTRETIEN ET NETTOYAGE : Une couverture tendue assure une longue durée de vie et une excellente qualité. Maintenez la tension de la couverture. Une toile flasque peut accélérer la détérioration de la couverture. À l'aide d'un balai, d'une brosse ou de tout autre objet à bord souple, retirez immédiatement tout amas de neige ou de glace de la toiture. Soyez extrêmement prudent lorsque vous retirez la neige et la glace de la toiture. Retirez la neige et la glace à partir de l'extérieur de la structure en tout temps. **N'UTILISEZ PAS** d'outils aux contours nets ou d'instruments tels qu'un râteau ou une pelle pour retirer la neige. Ces outils pourraient percer la couverture. **N'UTILISEZ PAS** de décolorant ou de produits chimiques pour nettoyer la couverture de toile. La couverture se nettoie facilement avec de l'eau et un savon doux. Le non-respect des directives peut s'ensuivre d'un refus de réclamation de garantie.

ATENCIÓN: ShelterLogic® Corp. Shelters ofrece almacenamiento y protección de escombros, del sol, la lluvia, savia de árboles, excremento de animales/aves y nieve liviana. Asegúrese de que esta estructura de ShelterLogic® Corp. esté debidamente fijada al suelo, que la cubierta se mantenga tirante y libre de nieve y escombros. (Consulte el manual para mayores detalles sobre la fijación al suelo). El no seguimiento de estas pautas puede reducir significativamente la vida útil de la estructura, causar daños al contenido almacenado, a los equipos o estructuras que la rodean o provocar lesiones corporales. ShelterLogic® Corp. no es responsable de los daños sobre la unidad, los contenidos almacenados ni los daños a los habitantes temporales que surjan de hechos de la naturaleza, instalación o uso inadecuados. Lea y asegúrese de entender los detalles sobre instalación, las advertencias y precauciones antes de comenzar con la instalación. En caso de duda, llame al número de servicio de atención al cliente que se indica más abajo. El no seguimiento de las pautas podría provocar el rechazo de los reclamos sobre la garantía. Consulte la tarjeta de garantía que se encuentra en el interior de este envase para mayores detalles.

CUIDADO: Antes de la instalación, consulte los códigos municipales locales sobre la instalación de refugios temporales. Elija cuidadosamente la ubicación de su refugio. Manténgase alejado de cables eléctricos. Revise que no pasen líneas de servicios públicos por arriba, ramas de árboles ni otras estructuras. Verifique los servicios públicos que pasan por debajo del suelo antes de fijar el refugio al suelo. Contáctese con su servicio público o marque 811 para servicios públicos del lugar. **NO** instale cerca de líneas de techos u otras estructuras que podrían generar una acumulación excesiva de nieve, hielo o agua sobre su estructura. **NO** cuelgue objetos que no sean accesorios aprobados por ShelterLogic® Corp. del techo y los cables de soporte.

ADVERTENCIA: Riesgo de incendio: **NO** fume ni use dispositivos de llama al aire libre o eléctricos (incluidas las parrillas, sillas para hogueras, freidoras profundas, ahumadoras ni faroles, calentadores radiantes, etc.) adentro del refugio ni cerca de él. **NO** guarde líquidos inflamables (gasolina, kerosén, propano, etc.) adentro ni alrededor de su refugio.

PRECAUCIÓN: Tenga CUIDADO al levantar el armazón y la estructura nevada. Fije al suelo y ale adecuadamente durante el proceso de construcción, como se explica en este manual. Use gafas de seguridad durante la instalación. Asegure y una con tornillos los polos superiores durante el ensamble. Tenga cuidado con los extremos de los polos que estén expuestos.

FIJACIÓN E INSTALACIÓN ADECUADA DEL ARMAZÓN:
- LA FIJACIÓN ADECUADA DEL ARMAZÓN ES RESPONSABILIDAD DEL CONSUMIDOR -

Los refugios que no se fijen adecuadamente al suelo podrían volarse o colapsar y causar daños o lesiones corporales. Verifique periódicamente la fijación al suelo para garantizar la estabilidad del refugio. ShelterLogic® Corp. no será responsable si el refugio se vuelva o colapsa. **NOTA:** Si se pronostican vientos o condiciones climáticas severas en su zona, le recomendamos que retire la cubierta. La cubierta del refugio puede retirarse rápidamente y guardarse antes de condiciones climáticas severas. El no seguimiento de las pautas podría provocar el rechazo de los reclamos sobre la garantía. Verifique los servicios públicos que pasan por debajo del suelo antes de colocar la sujeción al suelo. Contáctese con su servicio público o marque 811 para servicios públicos del lugar.

PARTES DE REEMPLAZO, ENSAMBLE Y PEDIDOS ESPECIALES: Las partes de reemplazo y accesorios Genuine ShelterLogic® Corp. pueden ser encontradas disponibles en la fábrica, entre ellos se incluyen los kits de fijación en el suelo para casi cualquier aplicación, las cubiertas de reemplazo, kits de paredes y cercas, kits de ventilación, kits de iluminación, partes del armazón, puertas con cremallera y otros accesorios. Todos los artículos se envían desde la fábrica directamente hasta su puerta.

¿PREGUNTAS - RECLAMOS - PARTES DE REEMPLAZO? LLÁME A NUESTRA LÍNEA DE ATENCIÓN AL CLIENTE: EE. UU. : 1-800-524-9970
INTERNACIONAL: 001-860-945-6442
CANADA: 1-800-559-6175
HORARIO DE ATENCIÓN EN LOS EE. UU. : LU-VIE 8:00AM-8:00PM
HORARIO DEL ESTE,
SÁB-DOM 8:00AM-4:30PM HORARIO DEL ESTE.

CUIDADO Y LIMPIEZA: Una cubierta tirante asegura una vida útil y un rendimiento más largos. Siempre mantenga la cubierta tirante. La tela suelta puede acelerar el deterioro de la tela de la cubierta. Retire inmediatamente la nieve o el hielo acumulados de la estructura del techo con una escoba, mopa u otro instrumento con lados suaves. Retire la nieve y el hielo que se encuentran fuera de la estructura. **NO** use herramientas ni instrumentos con bordes duros ni palas para retirar la nieve. Esto podría causar pinchaduras en la cubierta. **NO** use blanqueador ni productos abrasivos fuertes para limpiar la cubierta de tela. La cubierta se limpia fácilmente con jabón suave y agua. El no seguimiento de las pautas podría provocar el rechazo de los reclamos sobre la garantía.

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Attention: This general warranty statement outlines the basics of the limited warranty coverage.
PLEASE VISIT WWW.SHELTERLOGIC.COM OR CALL 800-932-9344 FOR SPECIFIC DETAILS.

WARRANTY: ShelterLogic® Corp. provides a limited warranty through the designated Limited Warranty period that this product, components, hardware and parts are free from manufacturer's defect. This warranty is extended to the original purchaser of the structure and may not be transferred. The Limited Warranty Period varies based on the product purchased. The table below outlines the coverage for various product types and associated hardware. The start of the warranty period is determined by the date of shipment from ShelterLogic® Corp. for all factory direct purchases or the date of purchase for any product obtained from an authorized reseller. Claims for products purchased from an authorized reseller must include a copy of the original receipt.

If this product or any associated parts are found to be defective or missing at the time of receipt, ShelterLogic® Corp. will repair or replace, at its option, the product, defective parts or missing parts at no charge to the original purchaser. The replaced or repaired parts shall be covered for the remainder of the Limited Warranty Period. All shipping costs for these parts are the responsibility of the customer. All products must be returned in the original packaging where possible. This warranty gives you specific legal rights, and you may also have other rights which vary from state to state.

Please fill out and return the warranty card to properly register the product with ShelterLogic® Corp.

Avis : Cette déclaration générale de garantie résume les grandes lignes de la garantie limitée.

POUR DE PLUS AMPLES RENSEIGNEMENTS, VEUILLEZ VISITER LE WWW.SHELTERLOGIC.COM OU APPELER AU 800 932-9344.

GARANTIE : ShelterLogic® Corp. fournit une garantie limitée, pour une durée déterminée par la garantie limitée, que ce produit, ses composants, son matériel et ses pièces sont exempts de défaut de fabrication. Cette garantie ne s'applique qu'à l'acheteur initial de la structure et n'est pas transférable. La durée de garantie limitée varie selon le produit acheté. Le tableau ci-dessous résume la couverture de divers produits et de leur matériel connexe. Le début de la durée de la garantie est déterminé par la date de livraison de la ShelterLogic® Corp. pour tous les achats effectués directement auprès de l'usine, ou la date d'achat pour tous les produits obtenus auprès d'un revendeur autorisé. Les réclamations des produits achetés auprès d'un revendeur autorisé doivent inclure une copie de la facture originale.

SOMMAIRE DE LA DURÉE DE LA GARANTIE	
Produit	Durée
Service standard - Couverture de toile du toit	1 An, réparation complète ou remplacement
Service important - Coupe-feu de la couverture de toile du toit	10 ans au prorata, réparation complète ou remplacement la première année
Service ultra - Coupe-feu de la couverture de toile du toit	15 ans au prorata, réparation complète ou remplacement la première année
Service standard - Panneaux latéraux de la toile	1 An, réparation complète ou remplacement
Service important - Coupe-feu des panneaux latéraux de la toile	3 ans au prorata, réparation complète ou remplacement la première année
Service ultra - Coupe-feu des panneaux latéraux de la toile	3 ans au prorata, réparation complète ou remplacement la première année
Structure en Acier Galvanisé	3 ans au prorata, réparation complète ou remplacement la première année
Matériel et accessoires	1 An, réparation complète ou remplacement

Au moment de la réception, si ce produit ou tout élément associé est défectueux ou manquant, ShelterLogic® Corp. réparera ou remplacera, à sa discrétion, le produit ou les éléments défectueux ou manquants, et aucuns frais ne seront imposés à l'acheteur initial. Les éléments remplacés ou réparés seront garantis pour le reste de la durée de la garantie limitée. Le client est responsable de tous les frais de livraison de ces éléments. Tous les produits doivent être retournés dans leur emballage original si possible. Cette garantie vous donne des droits juridiques spécifiques, et vous pouvez également avoir d'autres droits qui varient d'un état à état.

Veillez remplir et retourner la carte de garantie afin d'enregistrer le produit auprès de ShelterLogic® Corp.

Atención: Esta declaración de garantía general detalla los puntos básicos de la cobertura de la garantía limitada.

VISITE WWW.SHELTERLOGIC.COM O LLAME AL 800-932-9344 PARA CONOCER DETALLES ESPECÍFICOS.

GARANTÍA: ShelterLogic® Corp. ofrece una garantía limitada durante el período de Garantía Limitada de que este producto, componentes, herramientas y partes están libres de defectos de fabricación. Esta garantía se extiende al comprador original de la estructura y no puede transferirse. El Período de Garantía Limitada varía según el producto adquirido. La siguiente tabla detalla la cobertura para varios tipos de productos y herramientas relacionados. El período de garantía comienza en la fecha de envío desde ShelterLogic® Corp. para todas las compras directas de fábrica o la fecha de compra de cualquier producto adquirido de un revendedor autorizado. Los reclamos por productos adquiridos de un revendedor autorizado deben incluir una copia de la factura original.

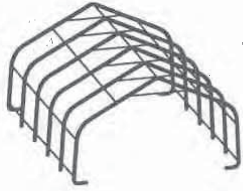
RESUMEN DEL PERÍODO DE COBERTURA DE LA GARANTÍA	
Producto	Plazo
Cubierta de techo de tela de resistencia estándar	1 Año, reparación completa o reemplazo
Cubierta de techo de tela de resistencia pesada contra incendios	10 Años prorrateados, 1 Año de Reparación Completa o Reemplazo
Cubierta de techo de tela de ultraresistencia contra incendios	15 Años prorrateados, 1 Año de Reparación Completa o Reemplazo
Paneles frontales de tela de resistencia estándar	1 Año, reparación completa o reemplazo
Paneles frontales de tela de resistencia pesada contra incendios	3 Años prorrateados, 1 Año de Reparación Completa o Reemplazo
Paneles frontales de tela de ultra resistencia contra incendios	3 Años prorrateados, 1 Año de Reparación Completa o Reemplazo
Estructura de acero galvanizado	3 Años prorrateados, 1 Año de Reparación Completa o Reemplazo
Herramientas y Accesorios	1 Año, reparación completa o reemplazo

En caso de detectar algún defecto en este producto o en sus partes relacionadas o algún faltante al momento de la recepción, ShelterLogic® Corp. reparará o reemplazará, según decida, el producto, las partes defectuosas o faltantes sin cargo para el comprador original. Las partes reemplazadas o reparadas quedarán cubiertas por el resto del Período de Garantía Limitada. Todos los costos de envío de esas partes son responsabilidad del cliente. Todos los productos deben devolverse en su envase original, cuando sea posible. Esta garantía le otorga derechos legales específicos, y usted también puede tener otros derechos que varían de estado a estado.

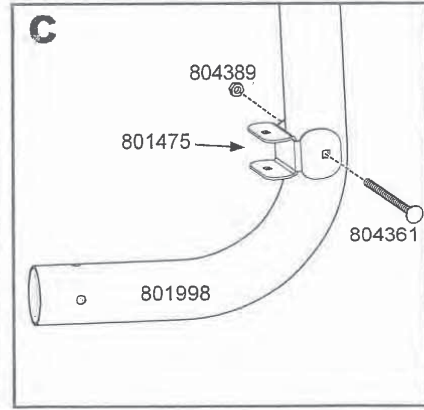
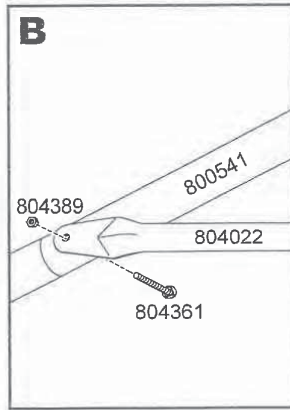
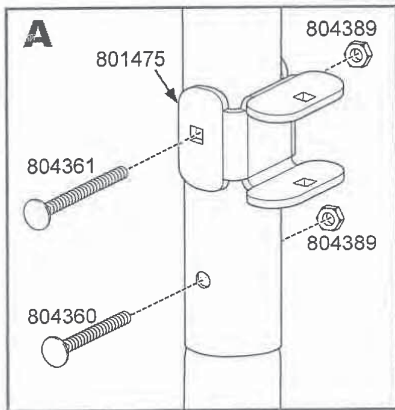
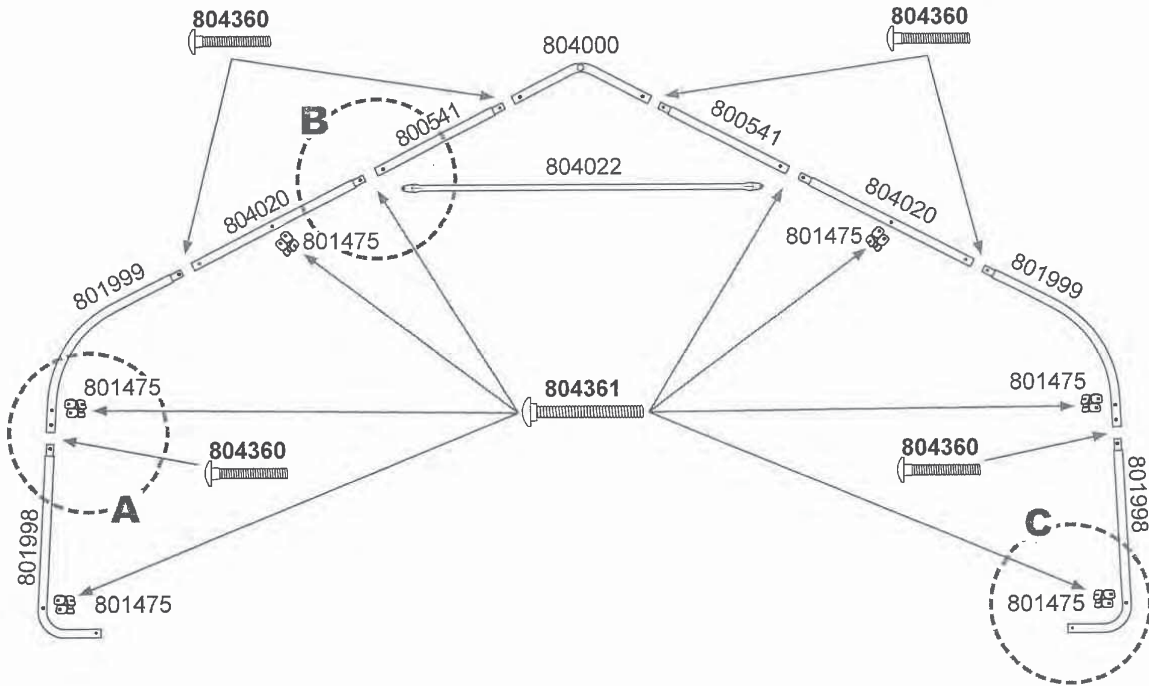
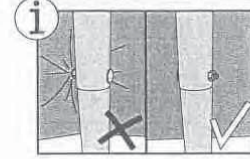
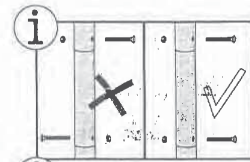
Complete y entregue la tarjeta de garantía para registrar adecuadamente el producto en ShelterLogic® Corp.

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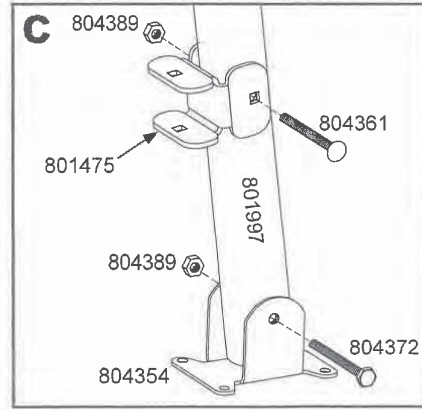
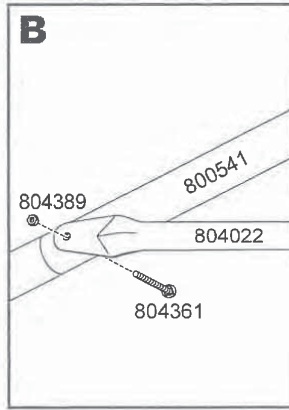
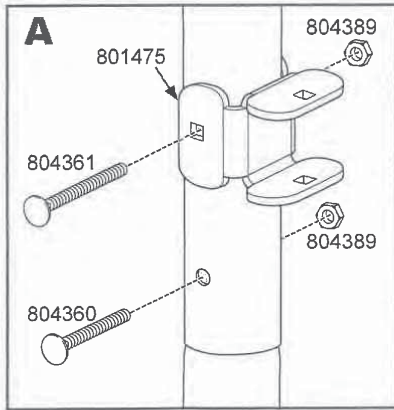
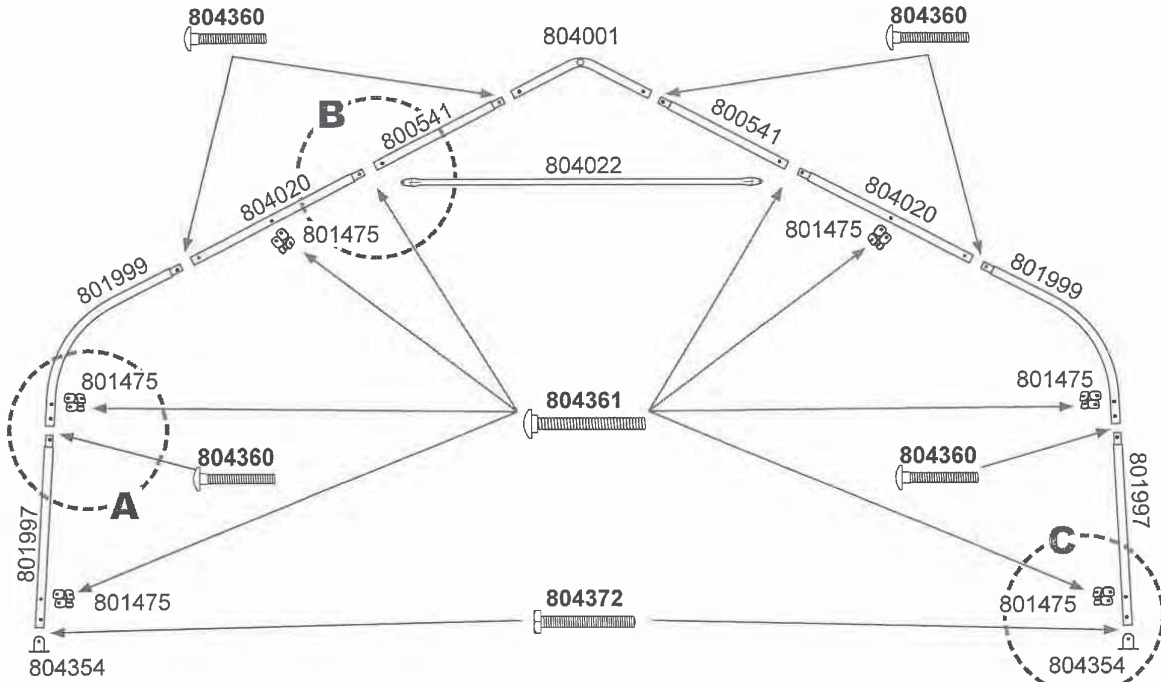
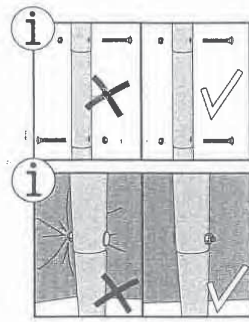
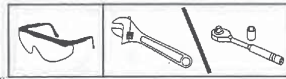
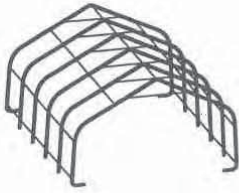
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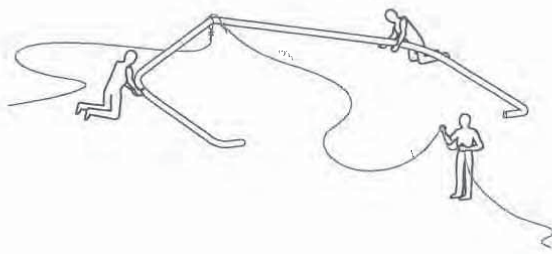
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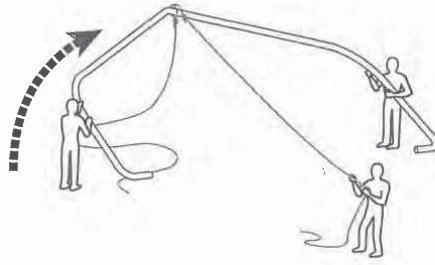
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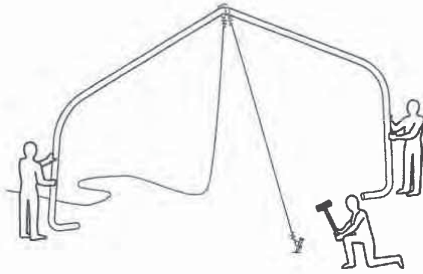
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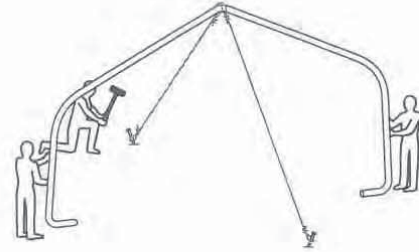
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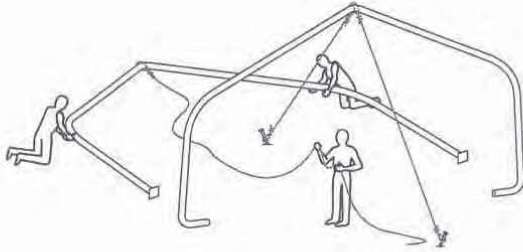
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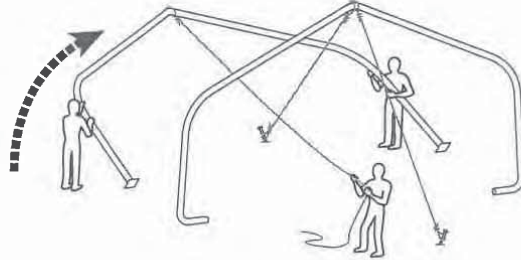
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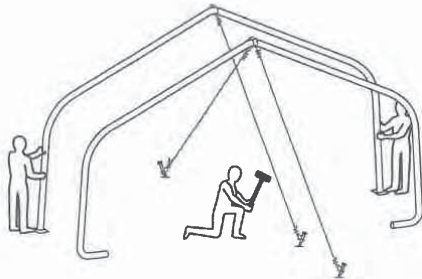
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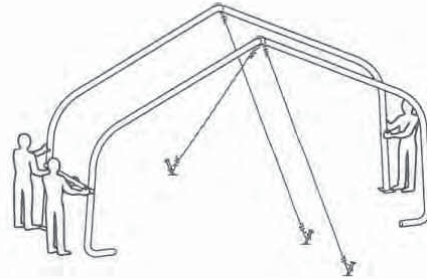
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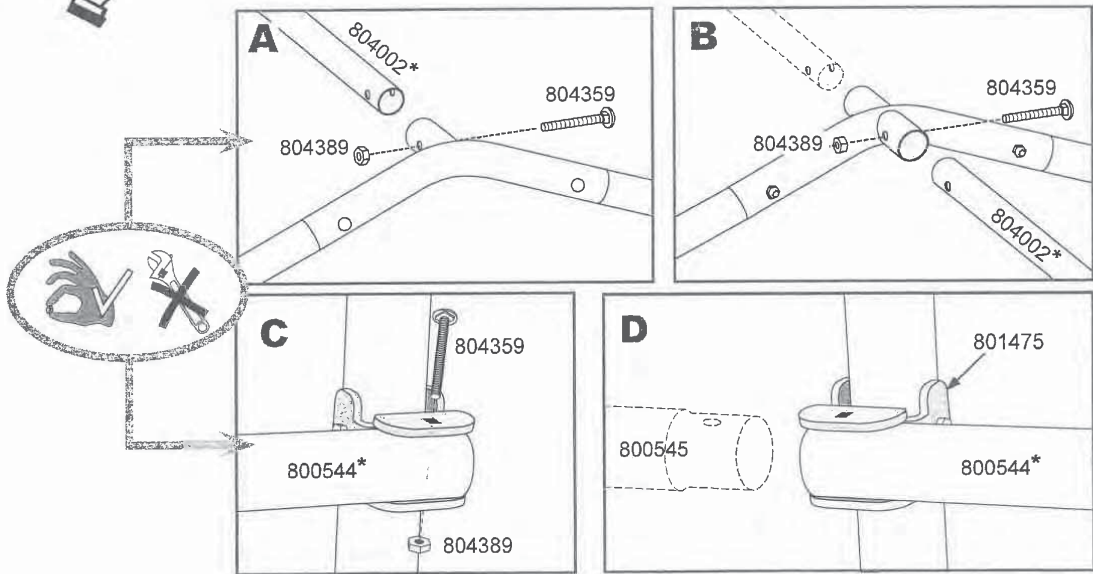
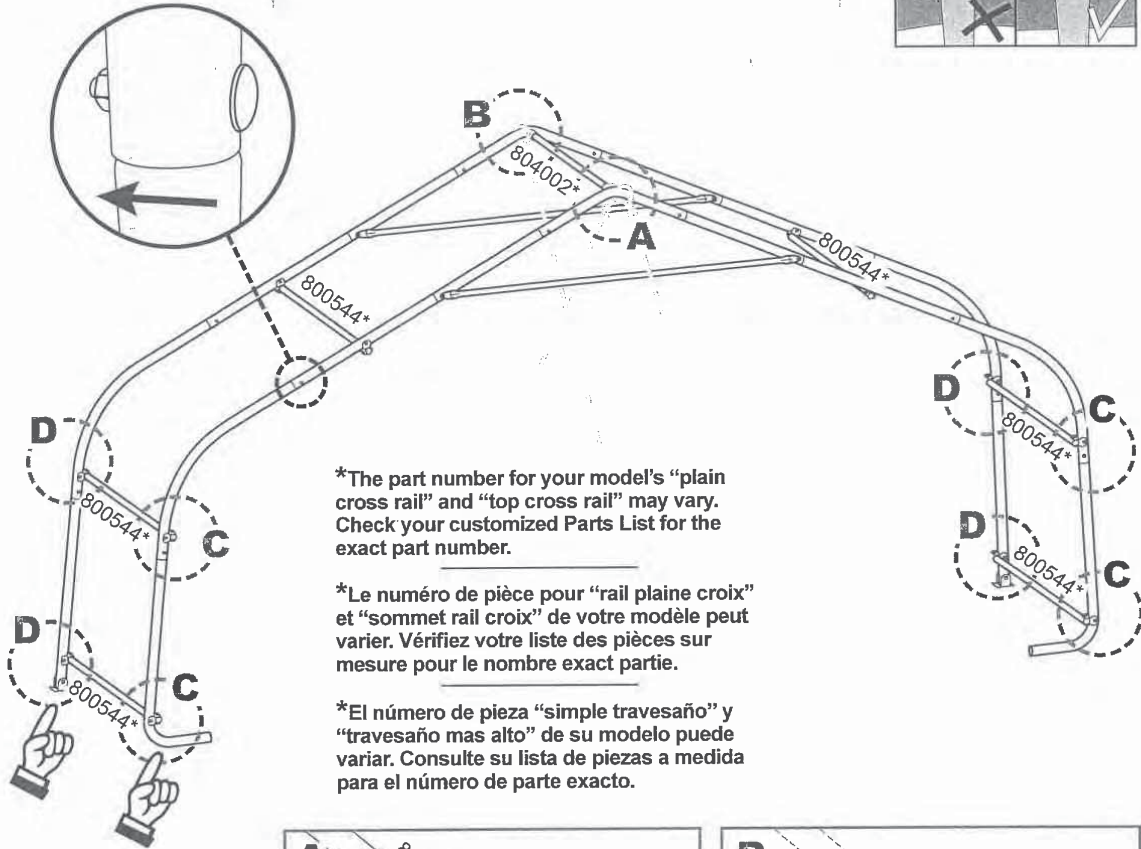
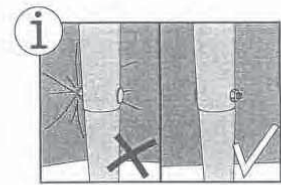
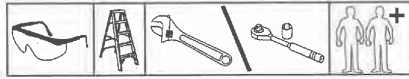
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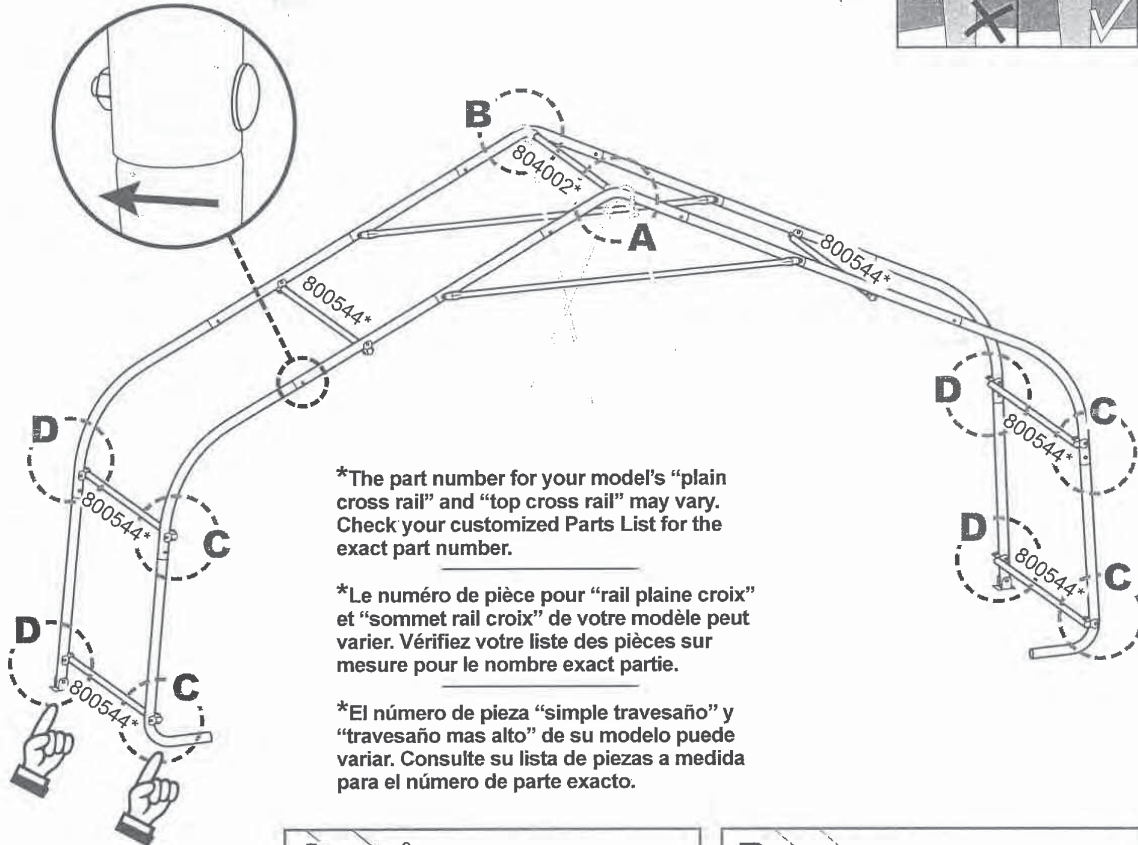
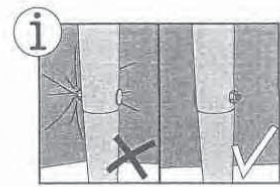
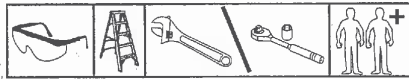
h.



4.



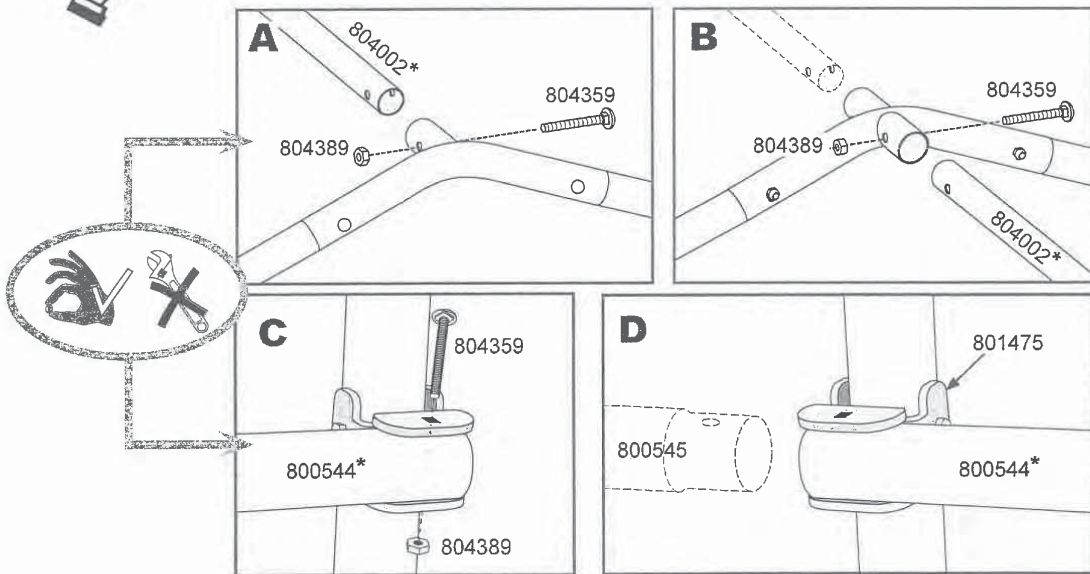
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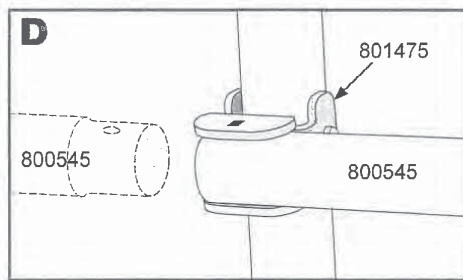
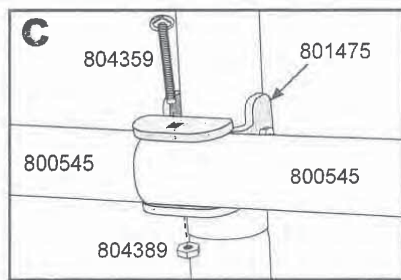
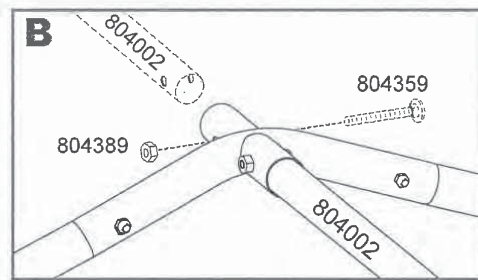
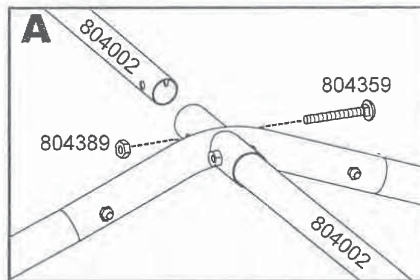
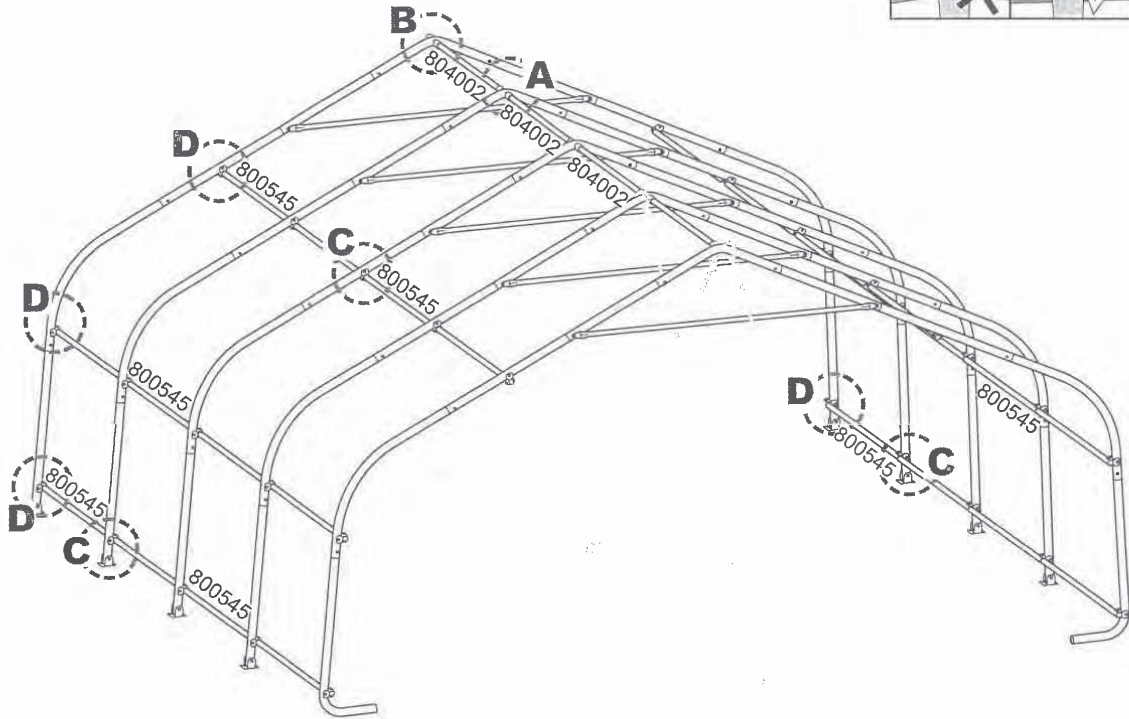
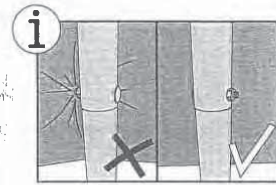
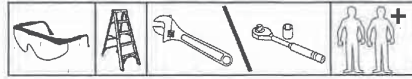
*The part number for your model's "plain cross rail" and "top cross rail" may vary. Check your customized Parts List for the exact part number.

*Le numéro de pièce pour "rail plane croix" et "somet rail croix" de votre modèle peut varier. Vérifiez votre liste des pièces sur mesure pour le nombre exact partie.

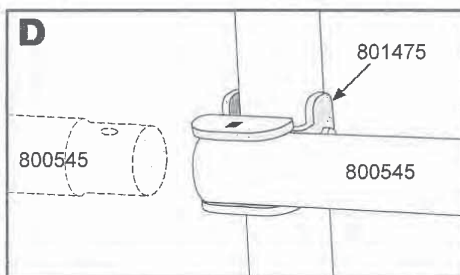
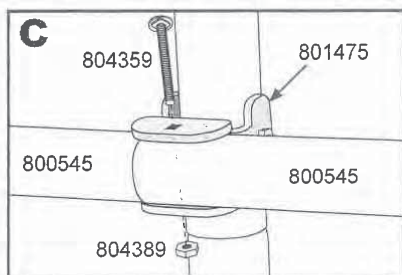
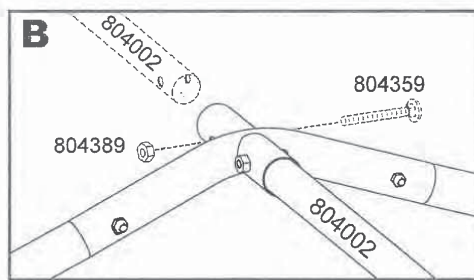
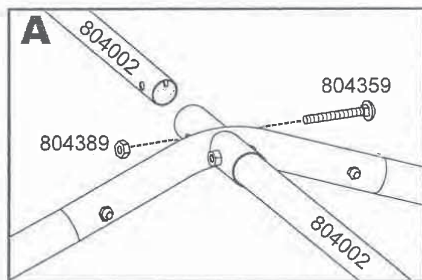
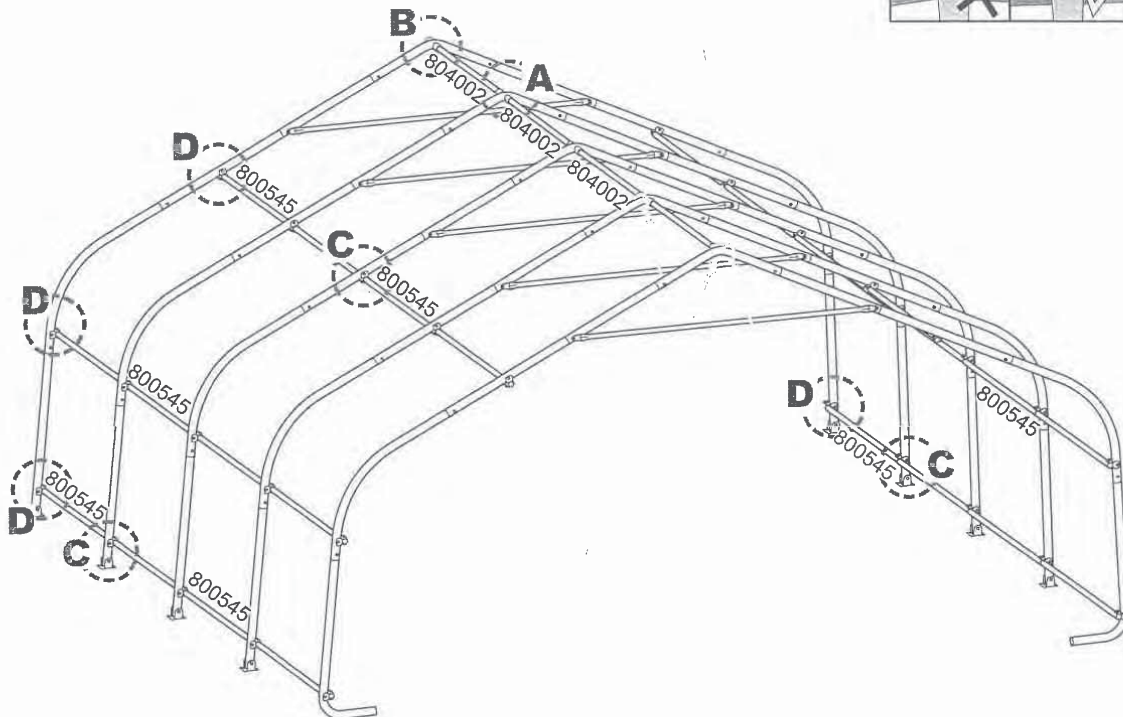
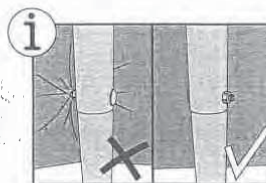
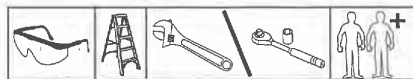
*El número de pieza "simple travesaño" y "travesaño mas alto" de su modelo puede variar. Consulte su lista de piezas a medida para el número de parte exacto.



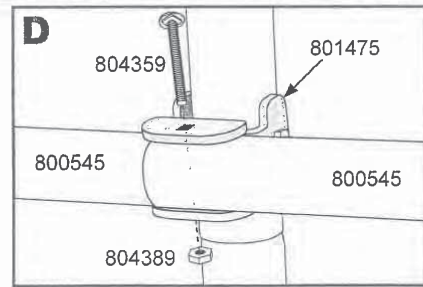
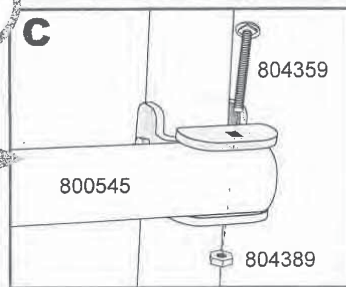
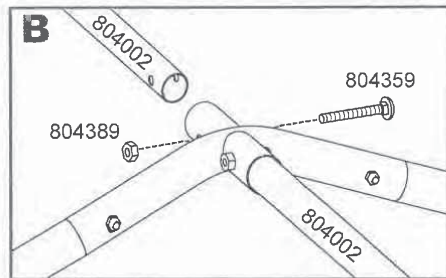
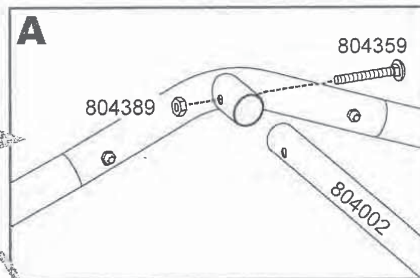
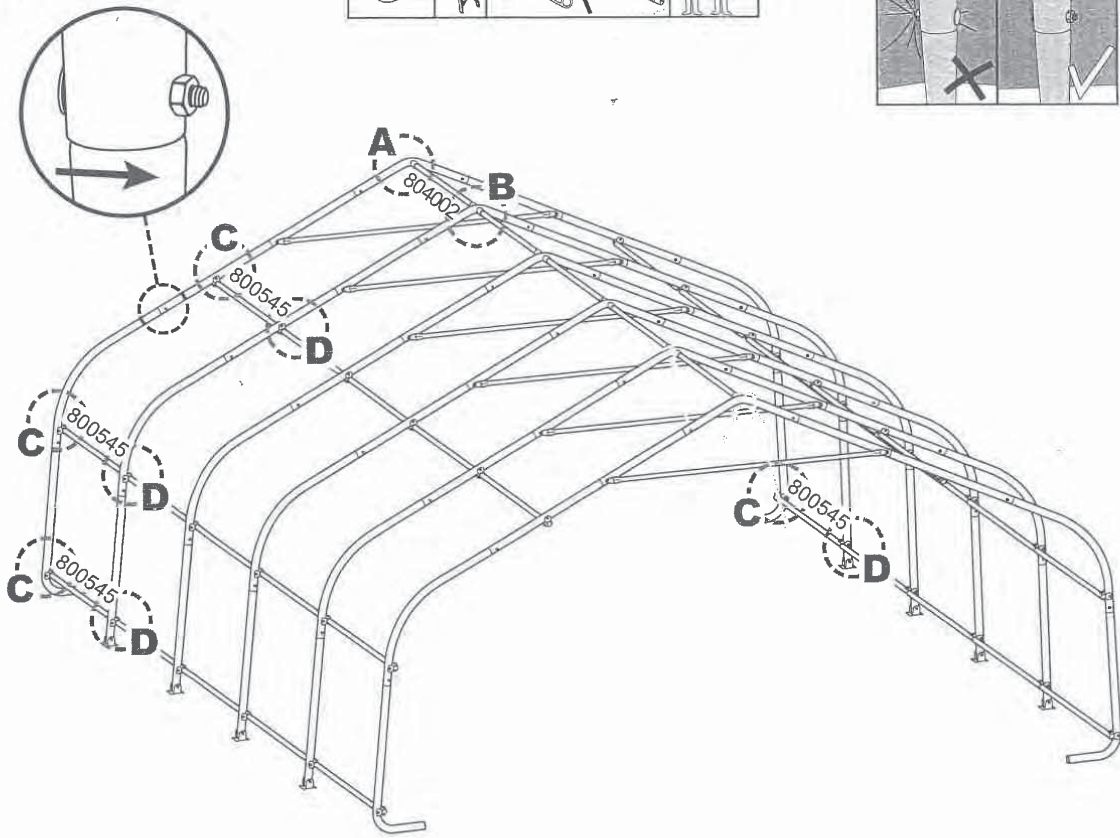
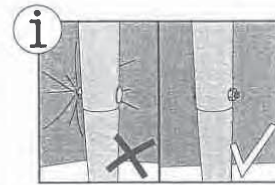
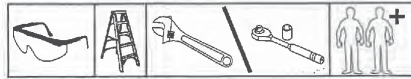
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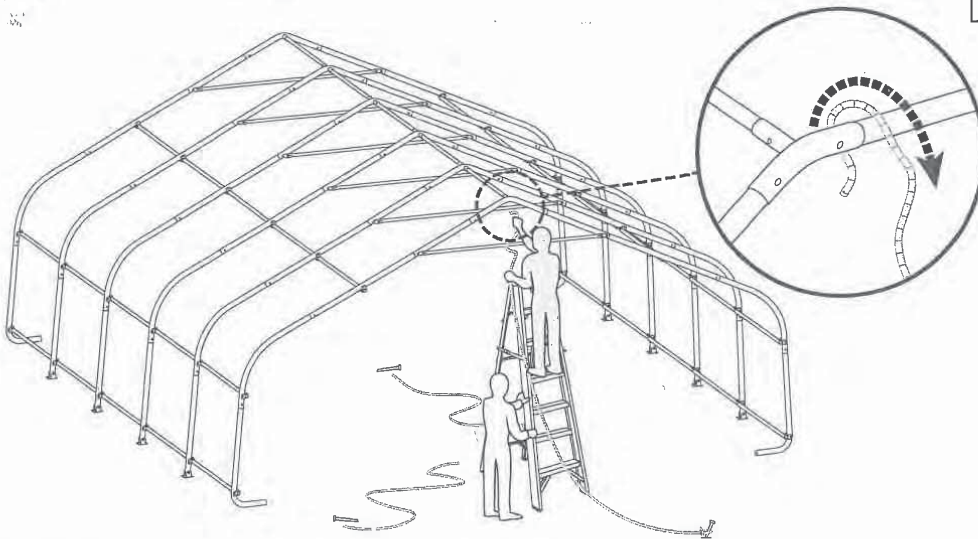
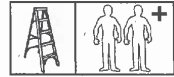
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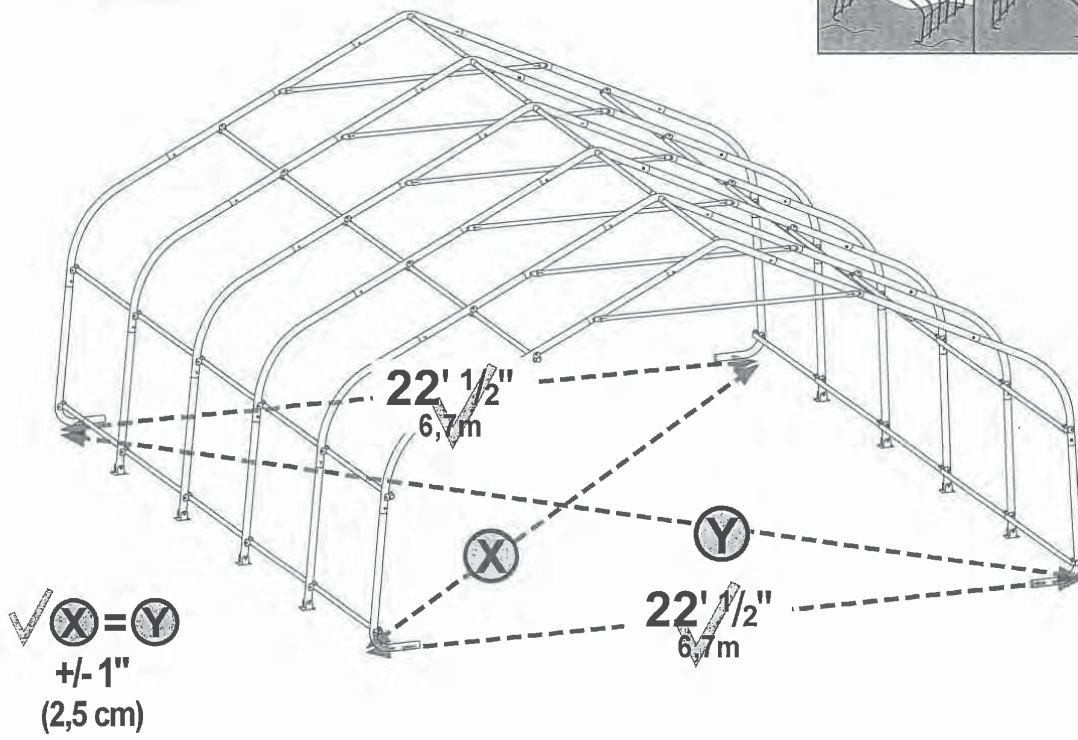
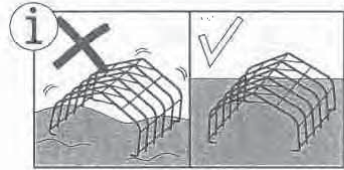
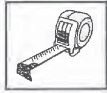
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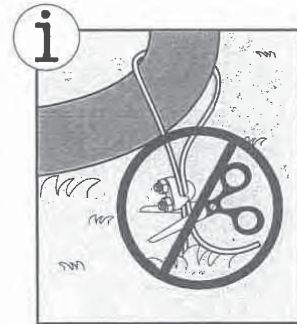
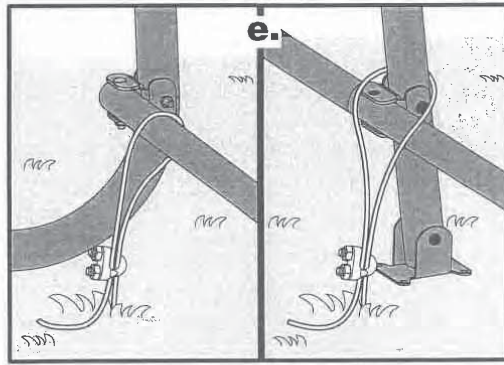
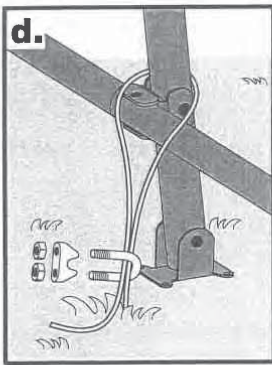
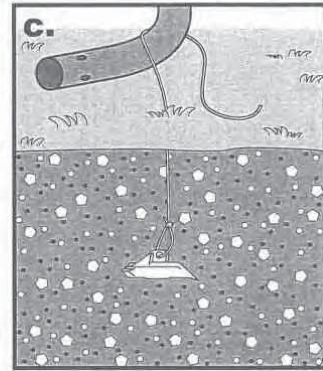
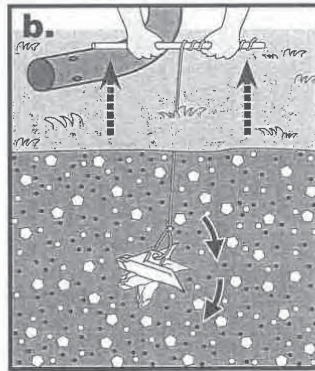
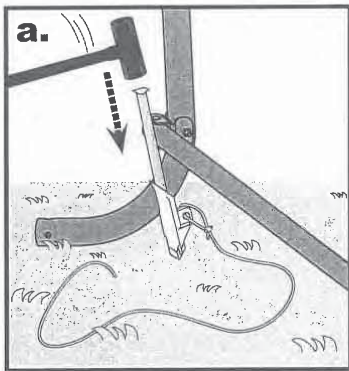
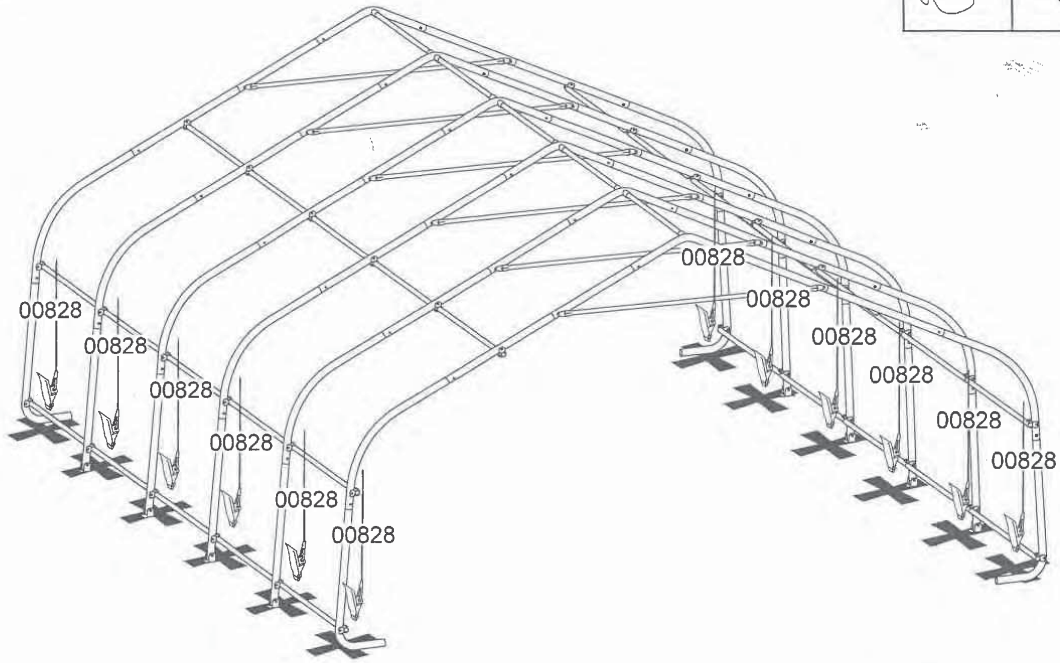
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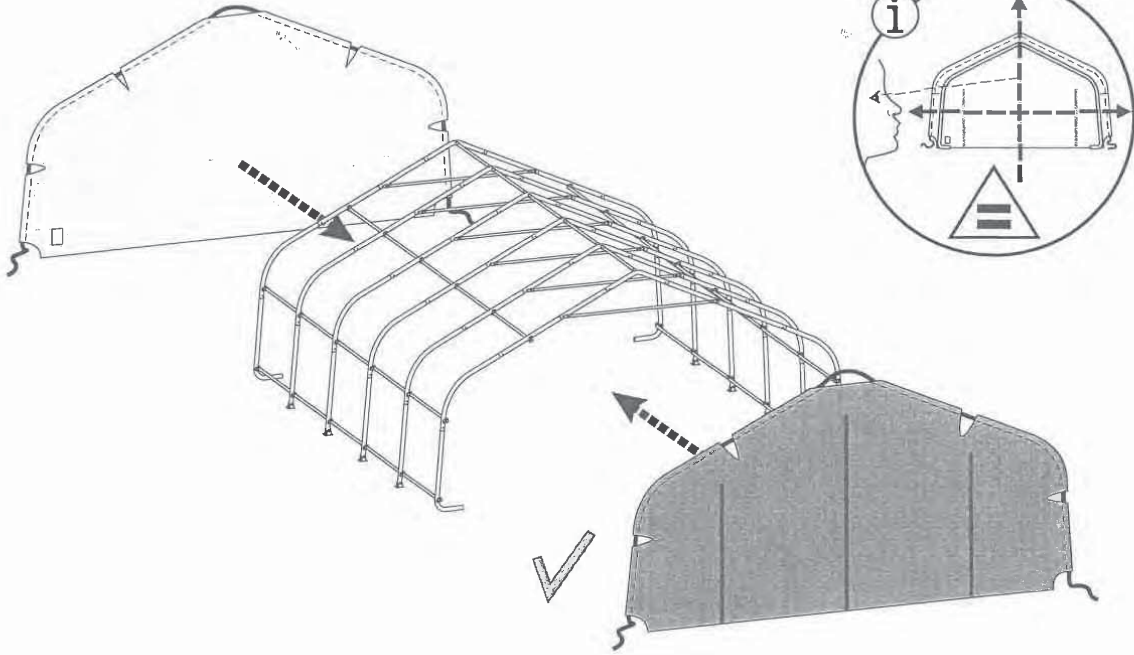
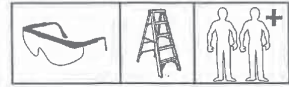
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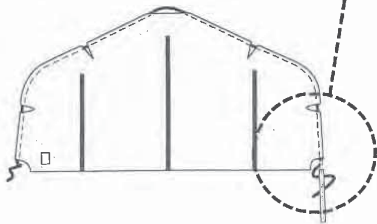
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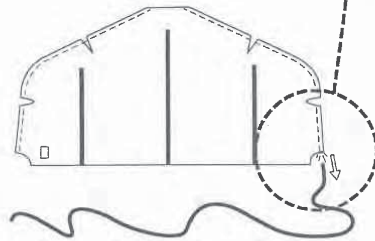
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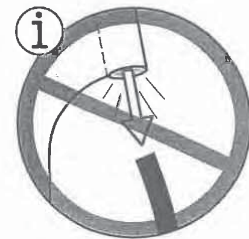
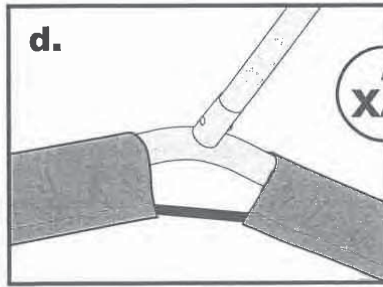
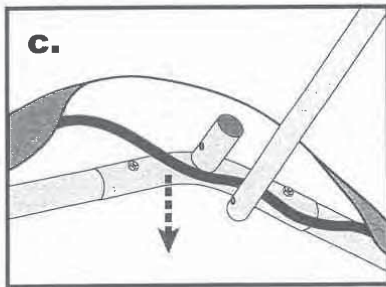
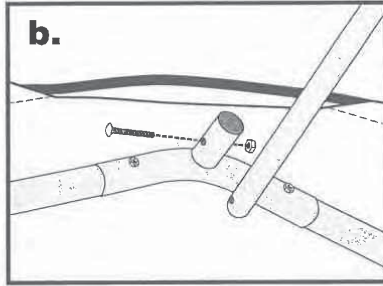
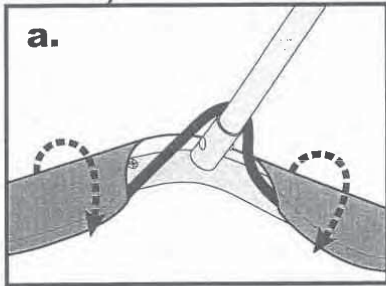
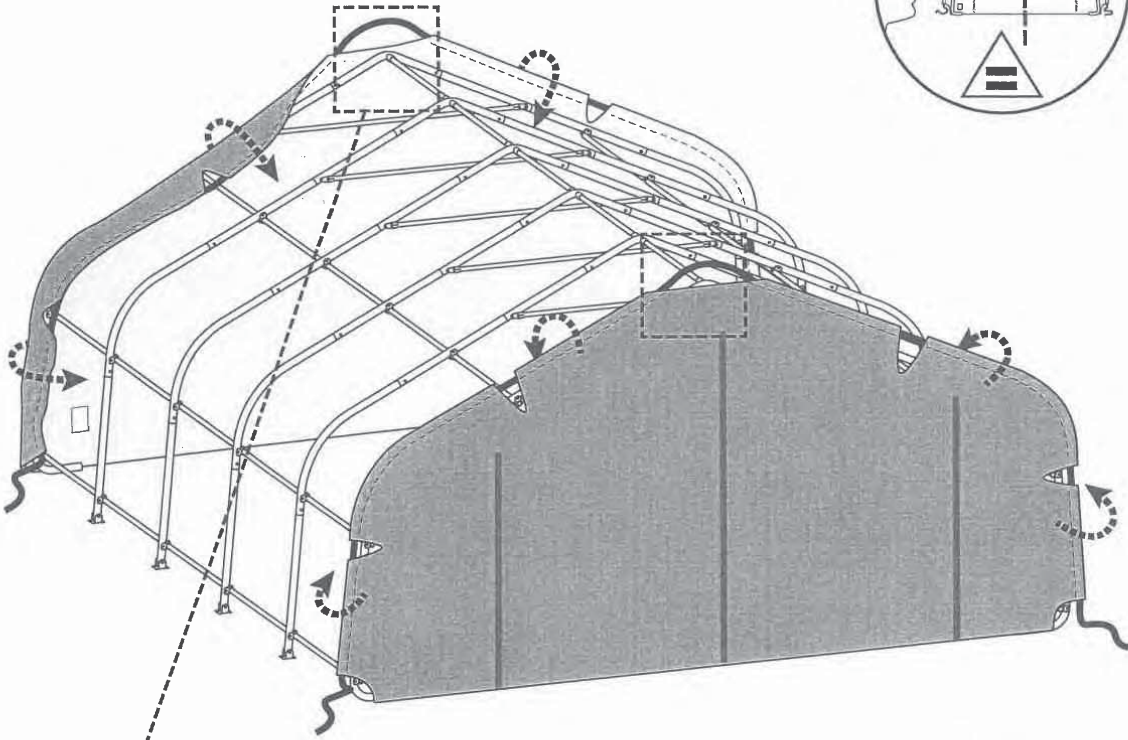
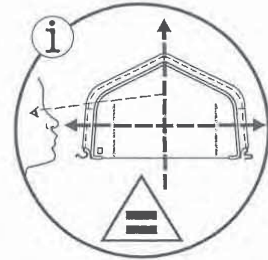
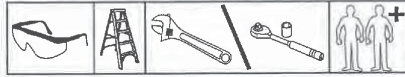
i



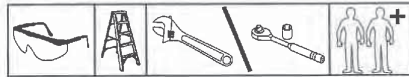
i



11.



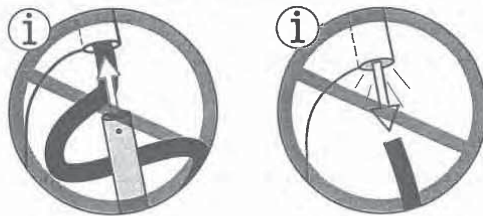
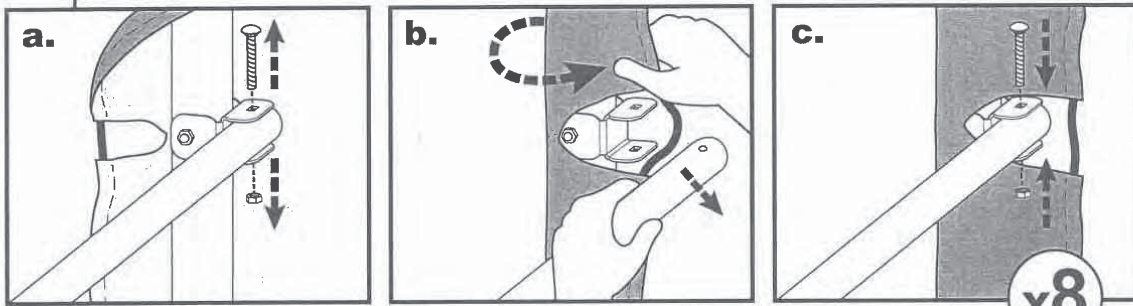
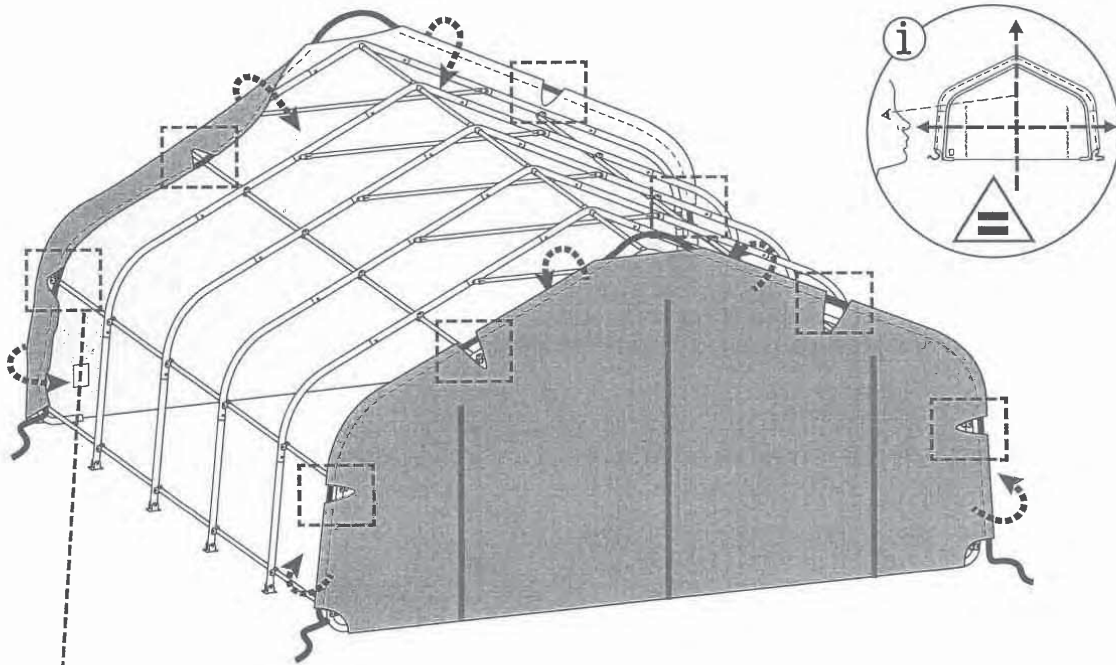
12.



Tool-tighten all connections after the installation of end panels.

Outil serrer toutes les connexions après l'installation de panneaux d'extrémité.

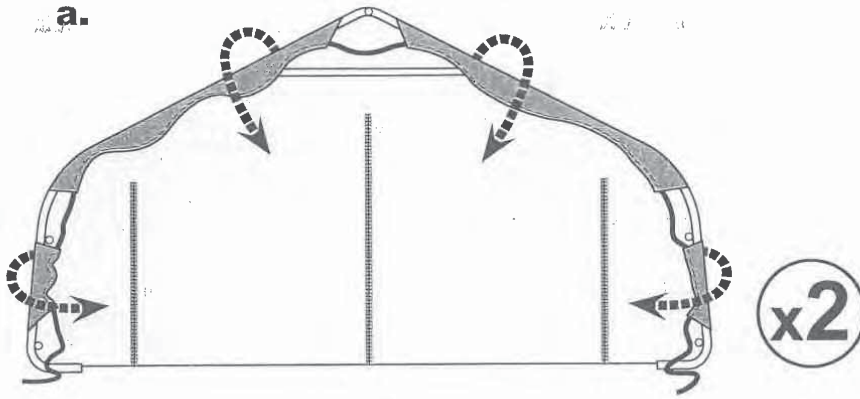
Herramienta a apretar todas las conexiones después de instalar paneles de los extremos.



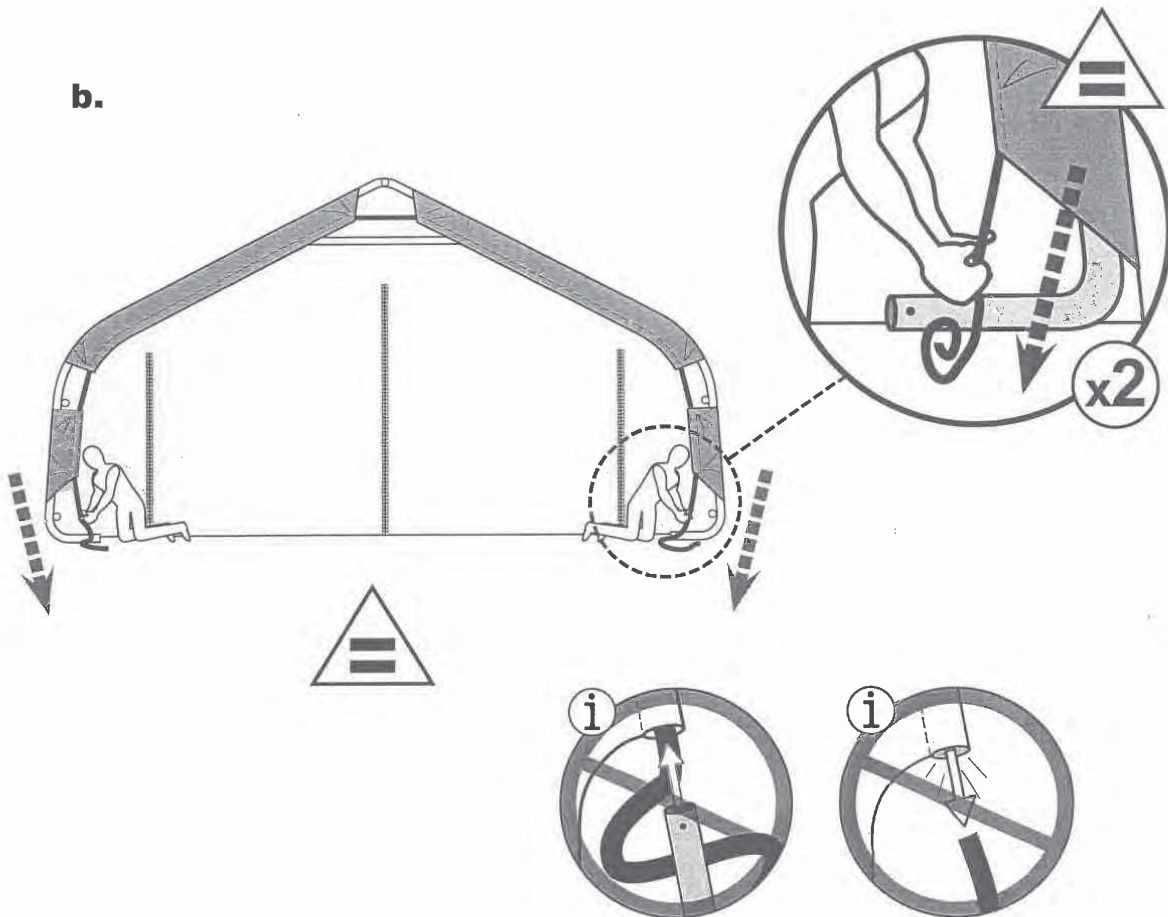
13.



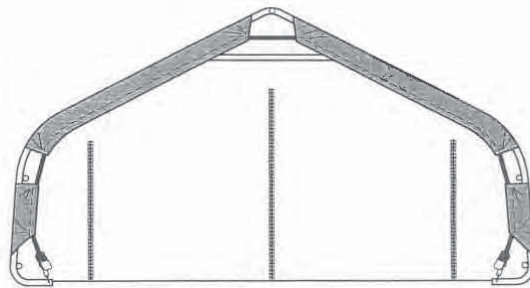
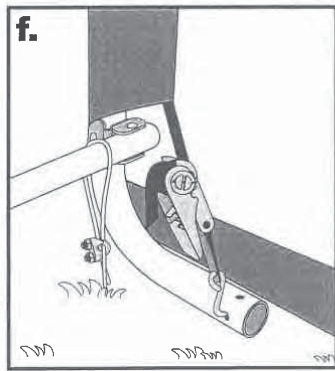
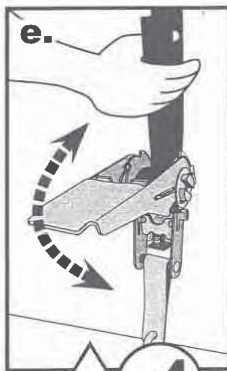
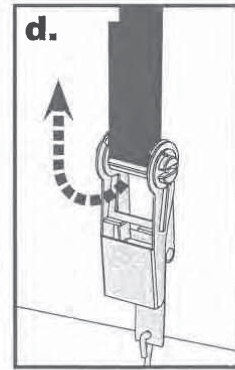
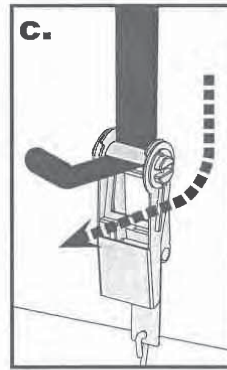
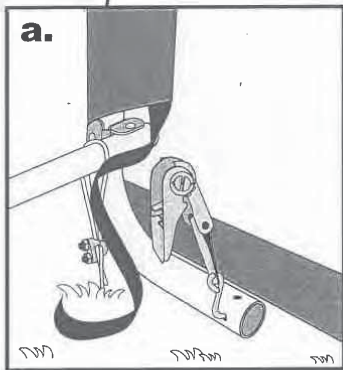
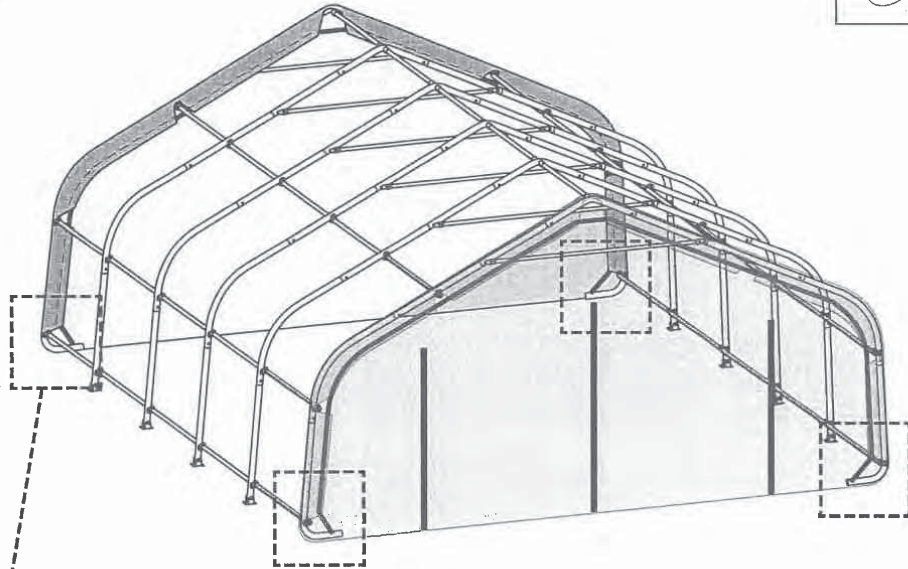
a.



b.



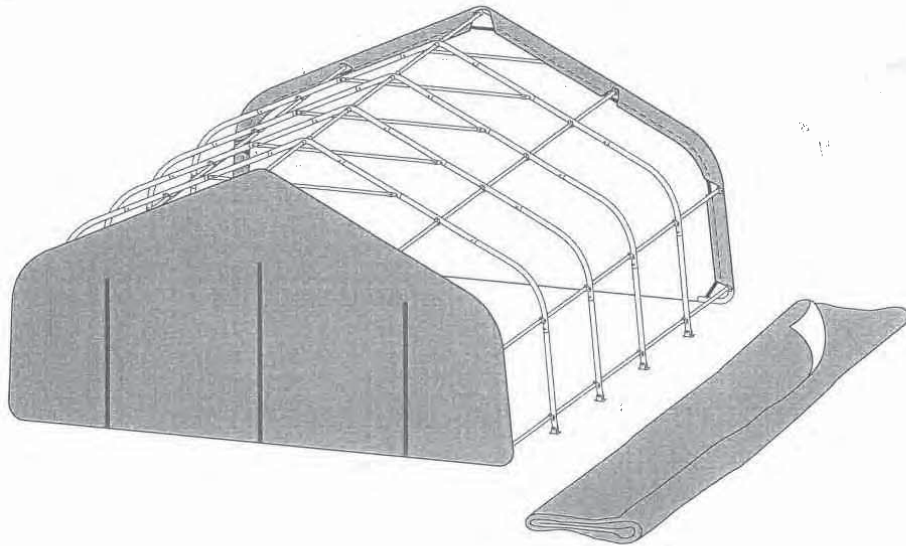
14.



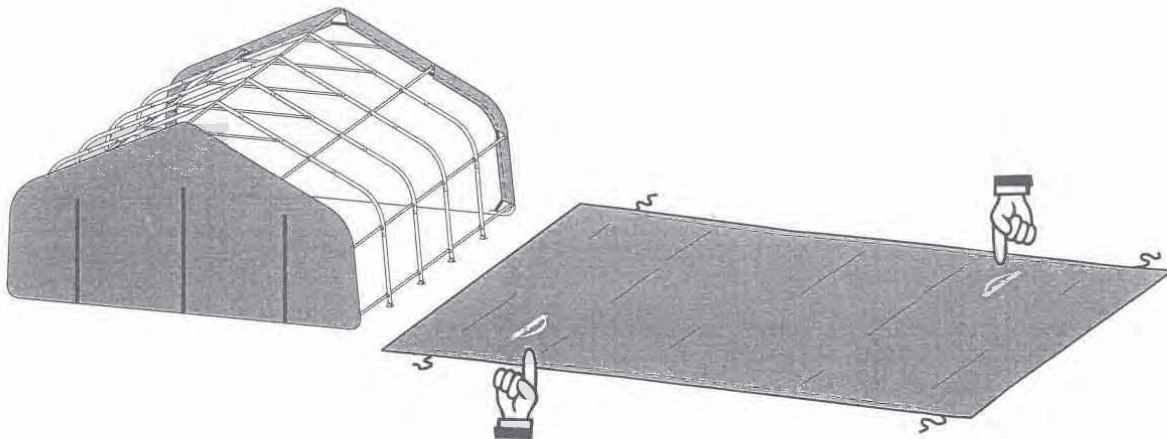
15.



a.

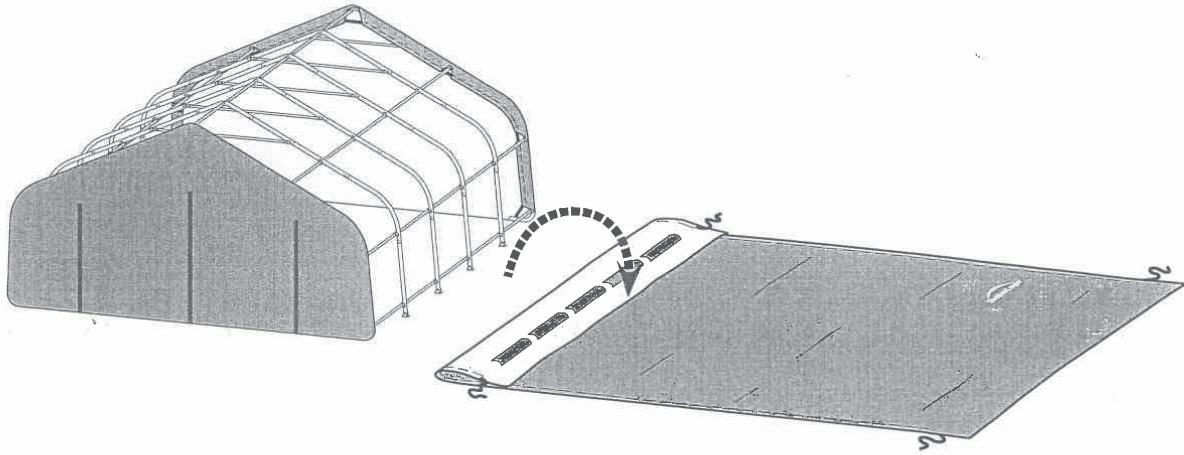


b.



15.

c.



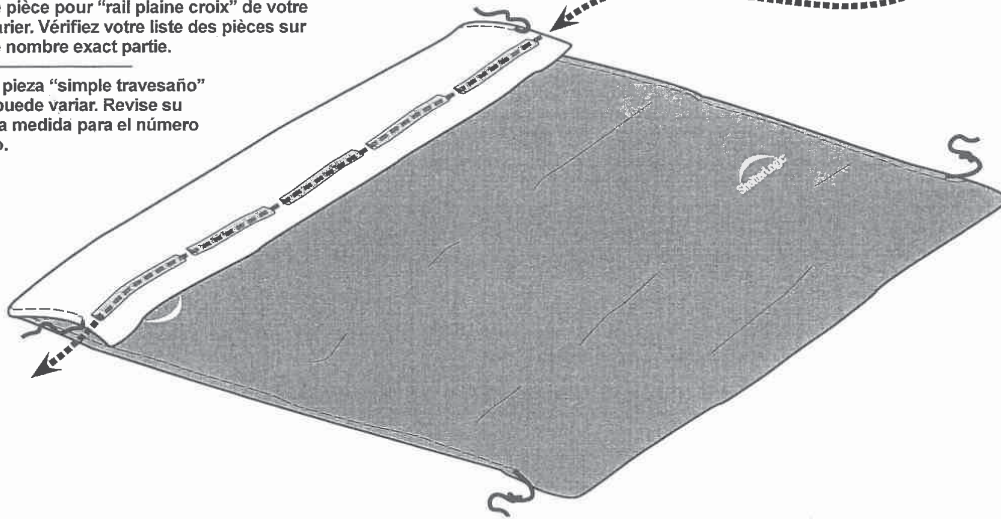
16.



*The part number for your model's "plain cross rail" may vary. Check your customized Parts List for the exact part number.

*Le numéro de pièce pour "rail plaine croix" de votre modèle peut varier. Vérifiez votre liste des pièces sur mesure pour le nombre exact partie.

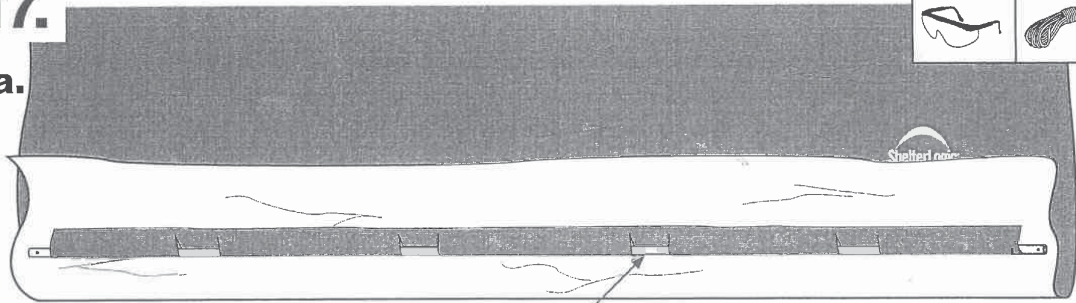
*El número de pieza "simple travesaño" de su modelo puede variar. Revise su lista de piezas a medida para el número de parte exacto.



17.

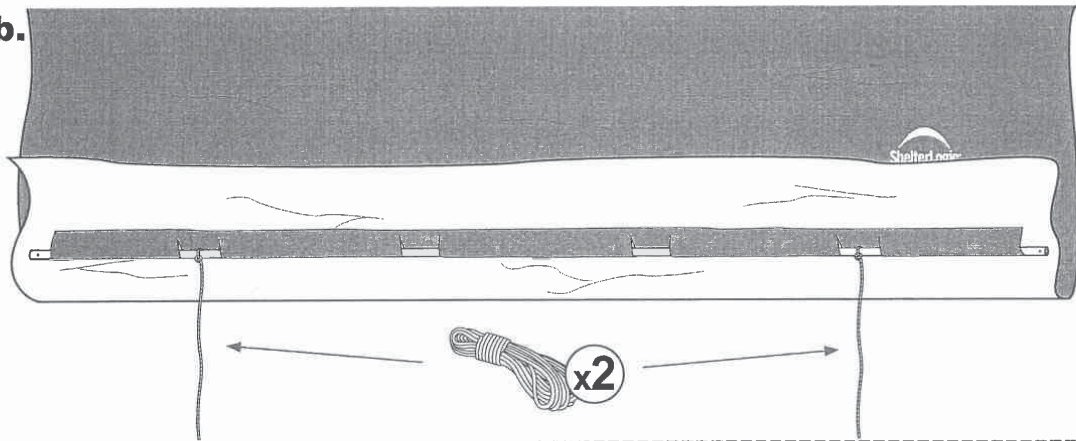


a.

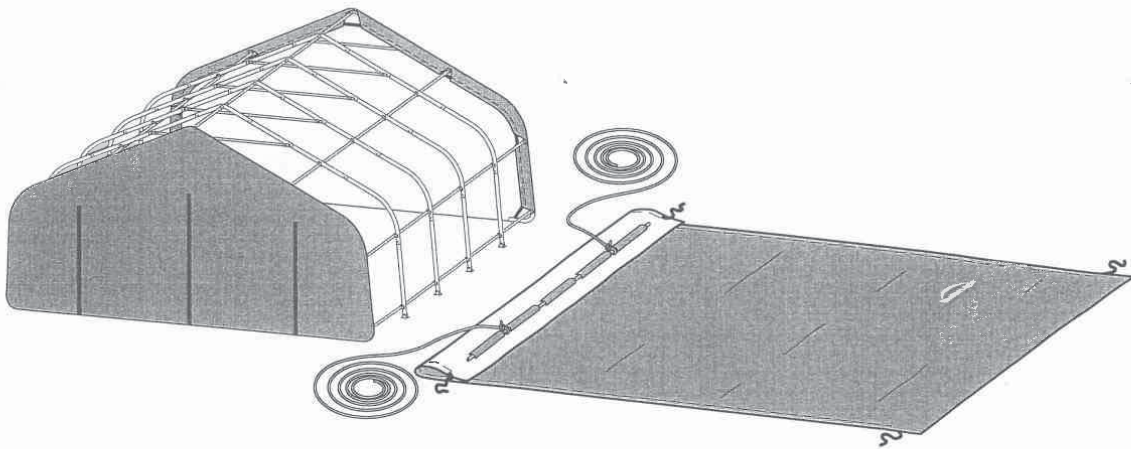


800544* + 800545 + 800545 + 800545 + 800545

b.

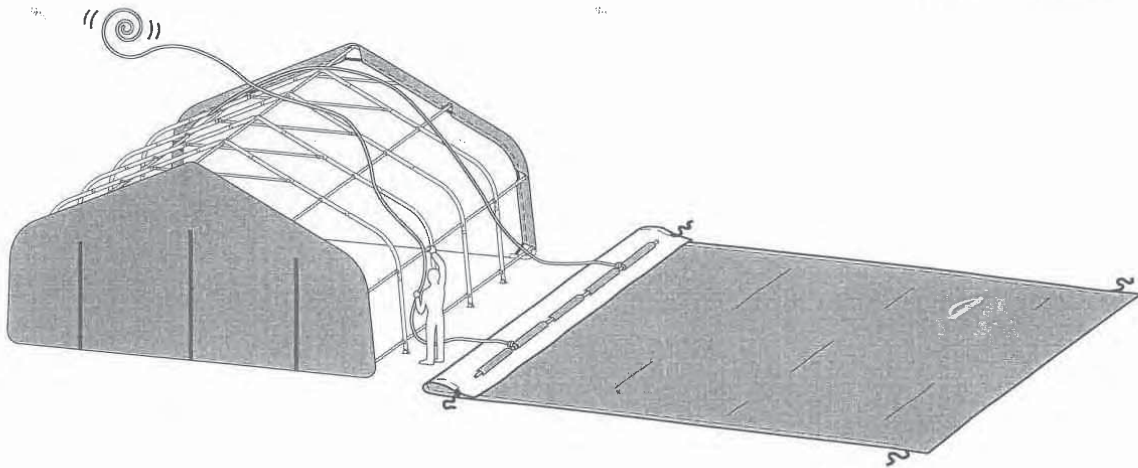
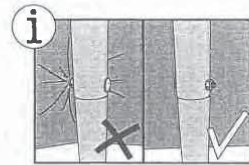
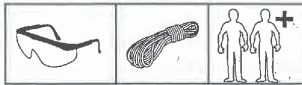


c.

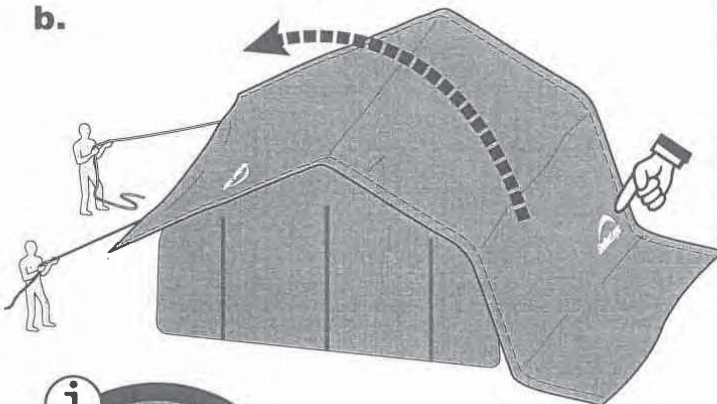


18.

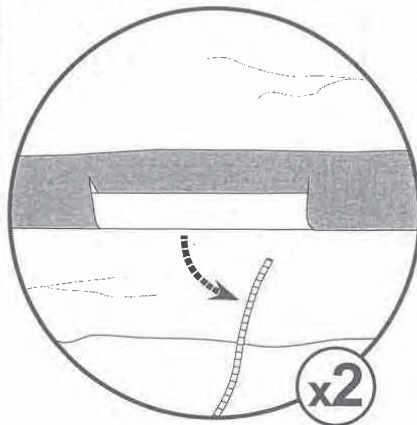
a.



b.

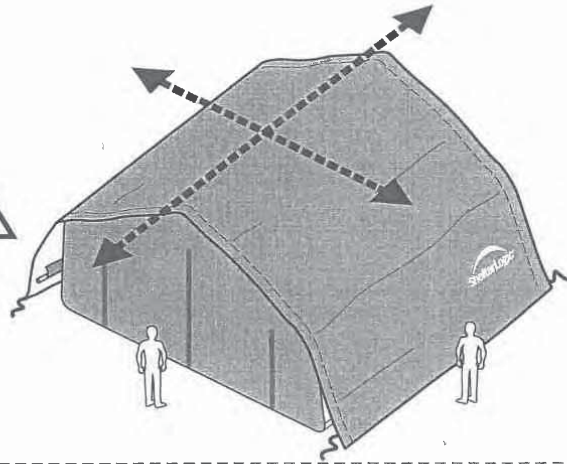
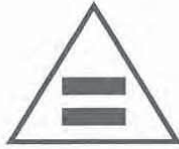


c.

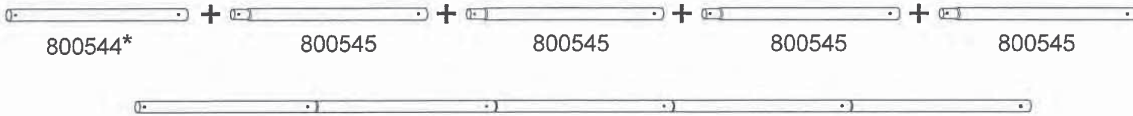


19.

a.



b.



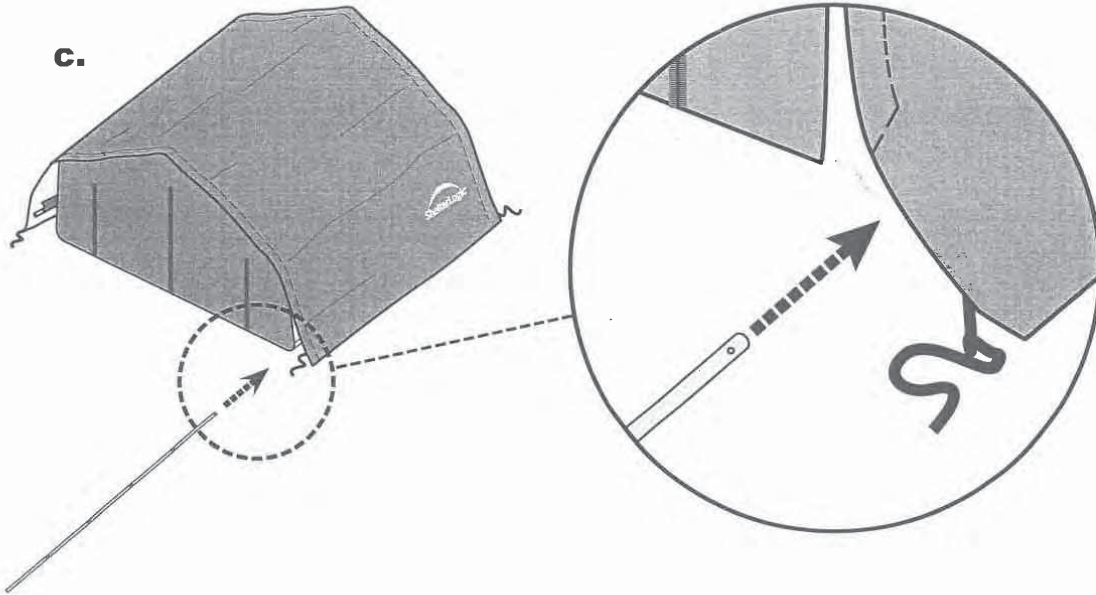
*The part number for your model's "plain cross rail" may vary. Check your customized Parts List for the exact part number.

*Le numéro de pièce pour "rail plaine croix" de votre modèle peut varier. Vérifiez votre liste des pièces sur mesure pour le nombre exact partie.

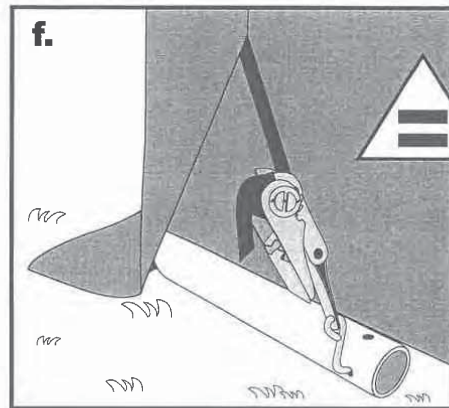
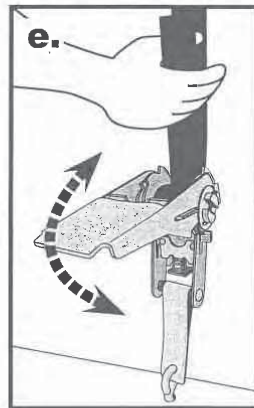
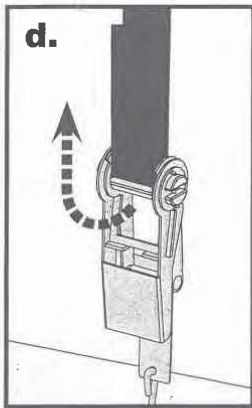
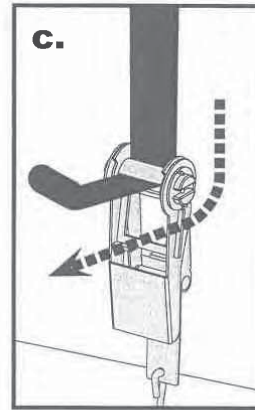
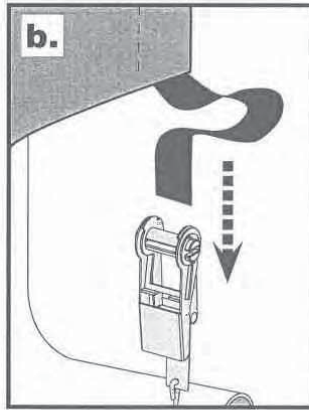
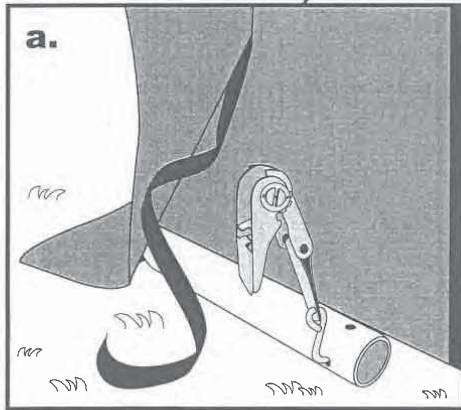
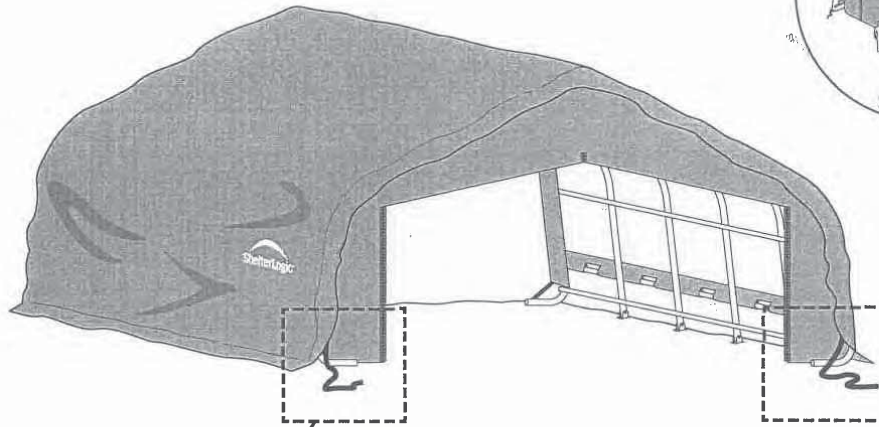
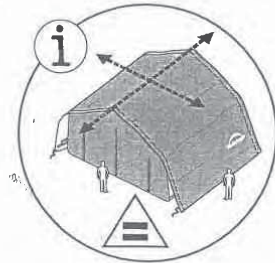
*El número de pieza "simple travesaño" de su modelo puede variar. Revise su lista de piezas a medida para el número de parte exacto.



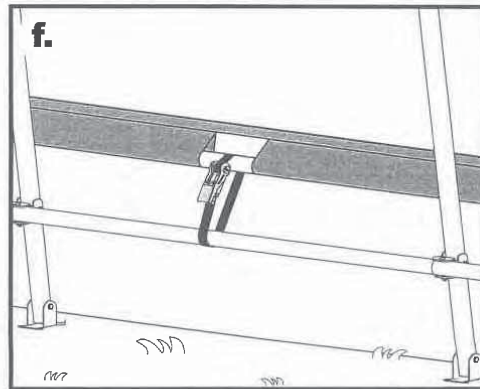
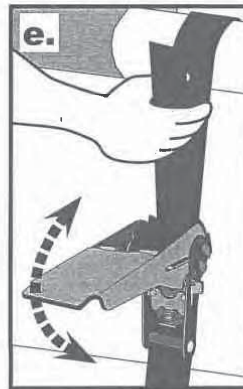
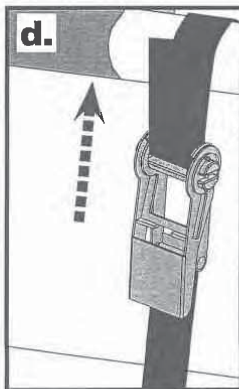
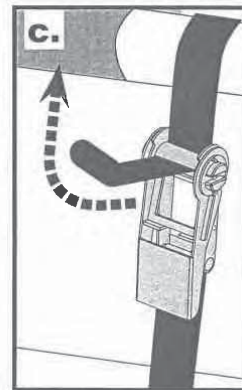
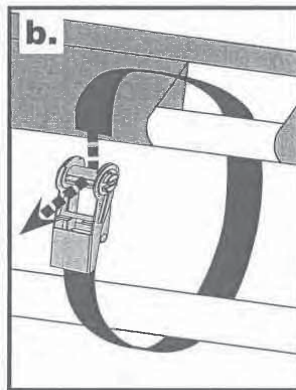
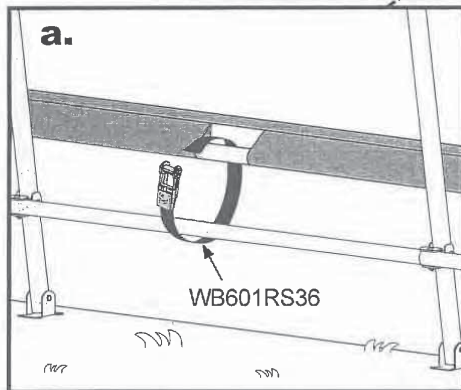
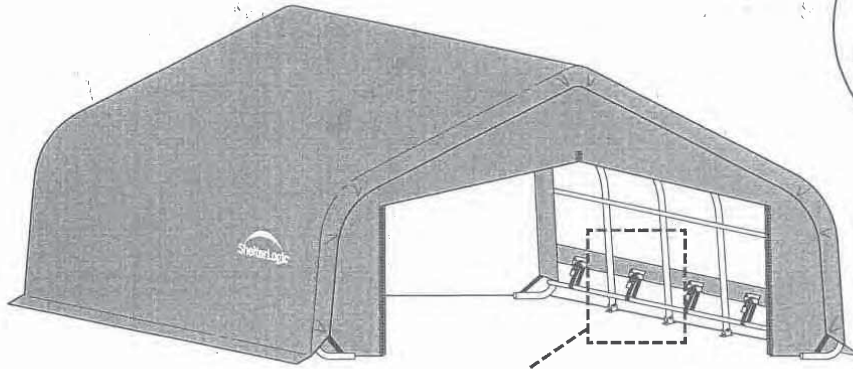
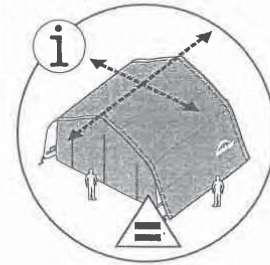
c.



20.



21.



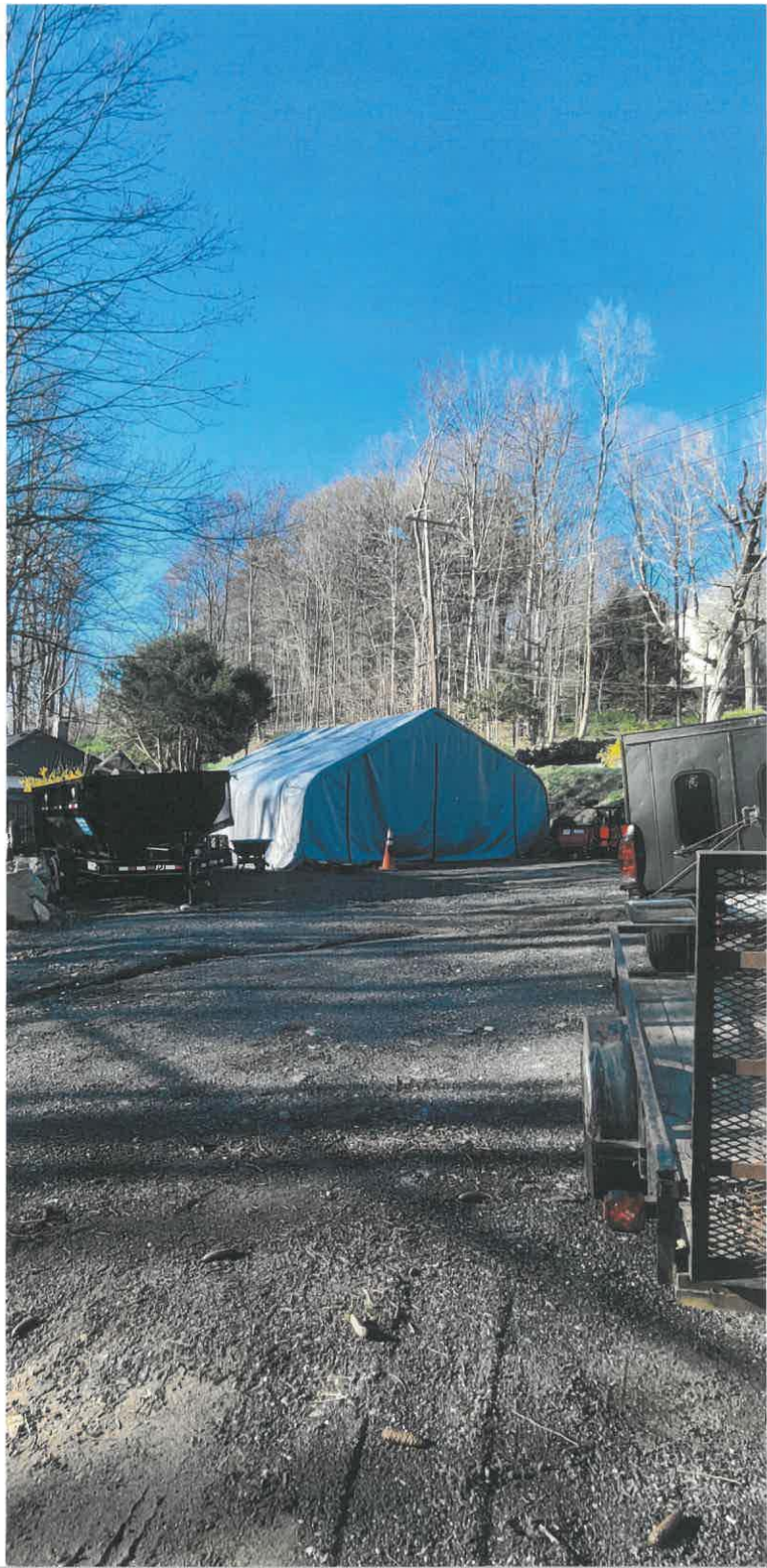
To ensure longer cover life, check and retighten the cover and end panels every month.

Pour prolonger la durée utile de la toile et panneaux, vérifiez son serrage chaque mois.

Para asegurar una larga vida de la cubierta, revise y vuelva a apretar la cubierta y paneles extremos cada mes.









ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

IN THE MATTER OF THE APPEAL
OF
625 Realty Group LLC
TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: 4-26, 2024

Amendment to Varnue Conditions

Application For (circle applicable): Area Variance (156-15) Use Variance Interpretation 280A
Name of Property Owner: 625 Realty Group LLC Address: _____
Mailing Address: 625 Rt 6 Mahopac NY Phone Number(s): _____
Zoning District: C. Commercial Tax Map: 76.9 - 1 - 8
Applicant is: (circle one) (Owner) (Lessee) (Contract Vendor) intent of sale or lease agreement
E-Mail Address: L

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
<u>1997</u>	<u>Add 2nd + 3rd story to office bldg.</u>	<u>granted w/ condition</u>

List all improvements (1 family dwelling, pool, etc.) 2 Story Commercial Bldg over Basement

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: Decision + Ordn

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES
Explain: Rt 6

I, the applicant, am seeking permission to: Remove Condition from 1997 Decision + Ordn
Require only the Business (Insurance + Real Estate) and not for other permitted
uses + can not be rented or leased

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
/	/	/

State of New York)
ss:
County of Putnam)
The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this 26th day of April, 2024
Bella Cimadomo
Notary Public

BELLA CIMADOMO
Notary Public, State of New York
No. 01CI0019423
Qualified in Putnam County
Commission Expires January 4, 2028

Petitioner [Signature] Date 4-26-24

DECISION AND ORDER

NAME OF PETITIONER: Michael Spain c/o Spain Agency
ADDRESS OF PETITIONER: 625 Route 6, Mahopac, NY 10541
LOCATION OF PROPERTY: 625 Route 6, Mahopac, NY 10541
TAX MAP NUMBER: 76.9-1-8
NATURE OF PETITION Variation of Section 63-12(A)
PRESENT AT THE MEETING: William Spain, Lorraine Mariani, Morris Koblenz,
Mark Fraser, Vito Capiello.

THE ABOVE REFERRED TO PETITION, HAVING BEEN DULY ADVERTISED FOR A PUBLIC HEARING IN THE Trader-Courier, THE OFFICIAL PAPER OF THE TOWN OF CARMEL, IN THE ISSUE PUBLISHED ON July 17, 1997 AND THE MATTER HAVING DULY COME ON TO BE HEARD BEFORE A DULY CONVENED MEETING OF THE BOARD ON July 24, 1997 AT THE TOWN HALL, MAHOPAC, NEW YORK, AND ALL THE FACTS, MATTERS AND EVIDENCE PRODUCED BY THE PETITIONER, BY THE ADMINISTRATIVE OFFICIAL CONCERNED, AND BY INTERESTED PARTIES HAVING BEEN DULY HEARD, RECEIVED AND CONSIDERED, AND DUE DELIBERATION HAVING BEEN HAD, THE FOLLOWING DECISION IS HEREBY MADE:

FINDINGS OF FACT

Application concerns property located at 625 Route 6, Mahopac, NY in the CB zone. and is known by tax map #76.9-1-8.

The parcel is approximately 0.175 acres and is improved with a single story office building. The applicant (petitioner) is owner of the property as per a recorded deed dated September 21, 1993. Applicant is appealing a determination made by the Town of Carmel Zoning Inspector. The matter was heard before the Town of Carmel Zoning Board of Appeals on July 24, 1997.

Applicant seeks a use variance of Section 63-12 (A) of the Town of Carmel Zoning Code for permission to add a second and third story to the existing one story building. Code requires 40,000 sq. ft.; 7,617 sq. ft. exists; variance required of 32,383 sq.

ORDERED THAT THE PETITION BE AND SAME HEREBY IS

DATED, MAHOPAC, N.Y.
ON December 4, 19 97
FILED IN THE OFFICE OF THE TOWN CLERK,
MAHOPAC, N.Y. ON December 4 19 97
SUBMITTED TO PUTNAM COUNTY DIVISION
OF PLANNING ON July 14 19 97
APPROVED BY PUTNAM COUNTY DIVISION
OF PLANNING ON August 6 19 97

RECEIVED
TOWN OF CARMEL
MAY 15 2024
Alice Daly
TOWN CLERK

Morris Koblenz
CHAIRMAN
Margaret Moore
CLERK

ft.

The existing building has housed the Spain Agency since 1953 involved in insurance and real estate. Since the early 1980's the business has grown from five to fourteen employees. As a result, severe overcrowding has resulted, adversely affecting business operations. A floor plan demonstrated how the hallways, meeting room, etc. are being used to house employees. Further, no space is available for record storage mandated by law necessitating the use of outside locations at excessive expense and lengthy retrieval time.

The applicant considered relocating to other sites in Mahopac but those that met his requirements were cost prohibitive.

Parking and ingress/egress needs were satisfactorily accounted for.

Conclusion

Members of the board are familiar with the subject premises and the conditions in the immediate neighborhood. The Board has taken into consideration the benefit to the applicant if the variance is granted as weighed against the detriment to the health, safety and welfare of the neighborhood and community.

The Board also considered those criteria set forth at Town Law Section 267-b(2) and determined that applicant has met the criteria for a use variance.

This activity is a Type II action requiring no determination as set forth at 6 N.Y.C.R.R. 617.13 (d)(8).

The subject application was forwarded to the Putnam County Division of Planning and Development under Section 239M of the General Municipal Law, said property within 500 feet of Route 6, a State road.

Said application was approved by the Putnam County Division of Planning and Development on August 6, 1997.



Decision

Request for a variation of Section 63-12(A) for a use variance to permit the addition of a second and third story to the existing one story building is granted with the following conditions:

The additional space is to be utilized for the business presently occupying the building which is insurance and real estate and is not to be used for other permitted uses in that zone and is not to be rented or leased out. If the applicant wants to use the space for something other than listed above, the applicant must seek approval from the Town of Carmel Zoning Board of Appeals.

TO TOWN OF CARMEL
RECEIVED
MAY 15 2024
Alice Daly
KJRMTC ZSOH



SWIS: 372000

Print Key: 76.9-1-8

Comment: 5/20/05



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

lee

IN THE MATTER OF THE APPEAL
OF

TO THE ZONING BOARD OF APPEALS
OF THE TOWN OF CARMEL

Application Date: May 15, 202024

Application For (circle applicable): Area Variance (156-15) Use Variance Interpretation 280A
Name of Property Owner: Liberty Bell Trucking Co, Inc Address: 53 Old Route 6, Carmel, NY 10512
(Address) (City) (State)
Mailing Address: 200 S. White Rock Rd, Holmes, NY Phone Number(s): 845-878-929*4
(Address) (City) (State)
Zoning District: Commercial Tax Map: 55.11 - 1 - 18
(R-120, Commercial, C DP, or Conservation) (Section) (Block) (Lot)
Applicant is: (circle one) (Owner) (Lessee) (Contract Vendee) [Attach deed, contract of sale or lease agreement]
E-Mail Address: charles729@aol.com

Previous Appeals regarding the subject premises:

DATE	REQUEST	RESULTS
	None	

List all improvements (1 family dwelling, pool, etc.) None

The owner shall submit with this application supporting materials including plans, elevations, landscaping diagrams, traffic circulation diagrams, neighborhood land use maps, property survey, photographs of property and any other materials that will assist the Board to understand the request. List attachments here: Site Plan, Architectural Plans, Property Survey

Is any portion of the property within 500 ft. of any state or county highway, town boundary, parkway or public lands? YES NO
Explain: Adjoins Putnam Trailway

I, the applicant, am seeking permission to: Pursue site plan approval on existing lot with nonconforming lot width.

CODE REQUIRES / ALLOWS	PROVIDED	VARIANCE REQUIRED
Minimum Lot Width / 200'	125'	75'

State of New York)

ss:

County of Putnam)

The undersigned petitioner, being duly sworn, deposes and says that (he) (she) has read the foregoing petition and knows the content thereof, and that the same is true to (his) (her) knowledge except as to the matters therein stated to be on information and belief, and as to those matters (he) (she) believes to be true.

Sworn to before me this 14th day of May 202024

Notary Public

CHRISTIAN B. JERAN
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01JE6158492
Qualified in Putnam County
Commission Expires 5/11/2027

Petitioner Lee / Shultz Date _____



ZONING BOARD OF APPEALS
TOWN OF CARMEL
PUTNAM COUNTY

Town Hall, Town of Carmel
60 McAlpin Ave.
Mahopac, N.Y. 10541
(845)628-1500

AUTHORIZATION FORM

RE: Property of: Liberty Bell Trucking Co, Inc.
Located at: 53 Old Route 6 (Address) (Owner) Carmel, NY (City, Town, Village)
Tax Map #: 55.11-1-18
In the matter of: Evan's Septic Lot Width Variance (Variance Request)

To whom it may concern:

This letter is to authorize Insite Engineering, Surveying & Landscape Architecture, P.C.

a/an (check one) Attorney Engineer Architect Other _____

to apply for the required variance(s) on the above noted property and to sign all necessary papers and make all necessary representations on my behalf in connection with the above-mentioned matter.

Countersigned: [Signature]
(Representative)
Richard D. Williams, Jr., P.E. (Insite Engineering)
(Print Name)

Signed: [Signature]
(Owner of Property)
Lee Schultz (Liberty Trucking)
(Print Name)

Mailing Address: 3 Garrett Place, Carmel

Mailing Address: 200 S. White Rock Road, Holmes

State: NY Zip: 10512

State: NY Zip: 12531

Telephone # 845-225-9690

Telephone # 845-878-9294

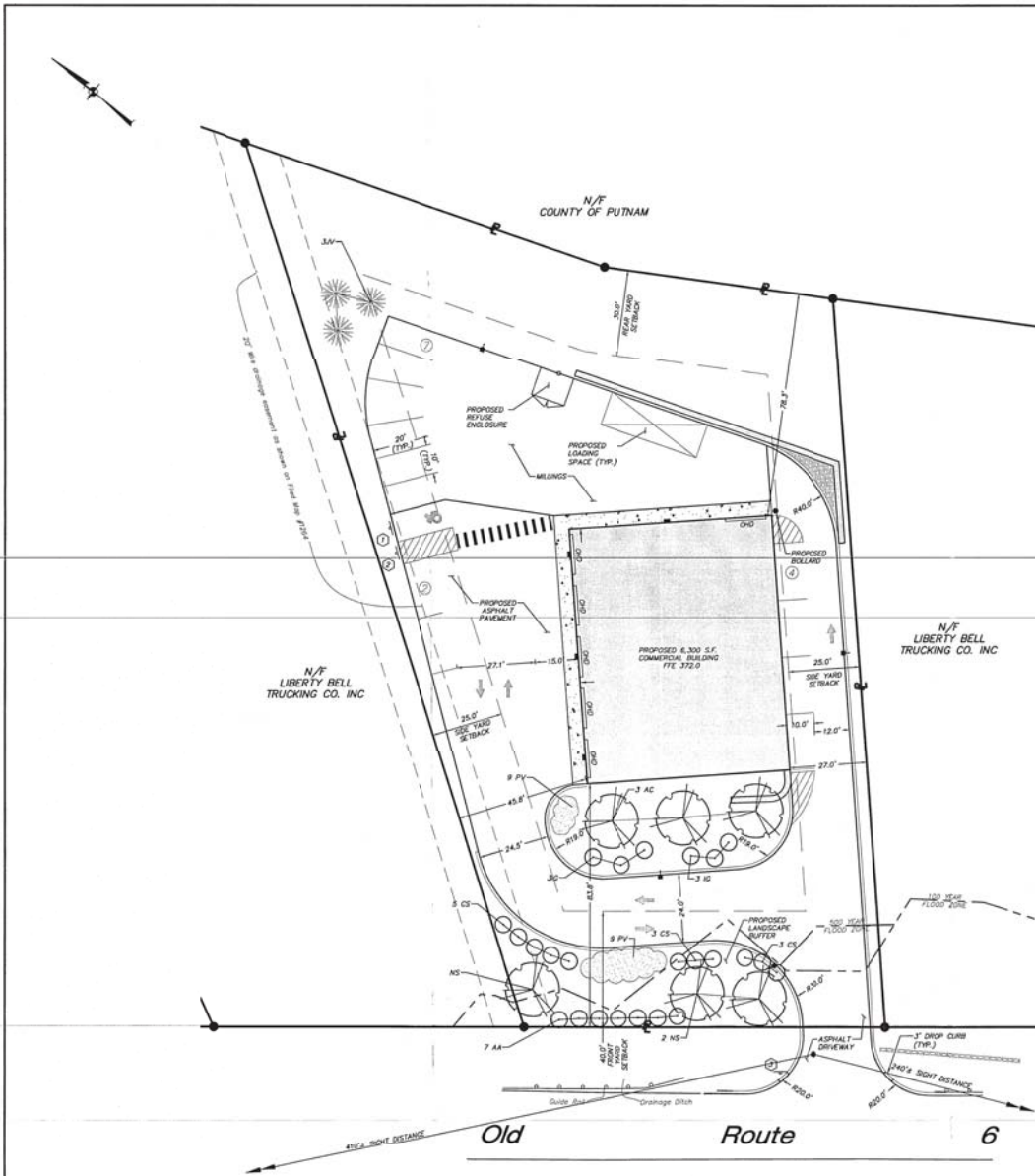
Date: 5/15/24

E-mail: rwilliams@insite-eng.com

NOTE: The willful submission of false or inaccurate information on this application may result in the dismissal of the application, or the revocation of any action taken on the application, or both.

CHRISTIAN B. JERAN
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01JE6158492
Qualified in Putnam County
Commission Expires 5/11/2027

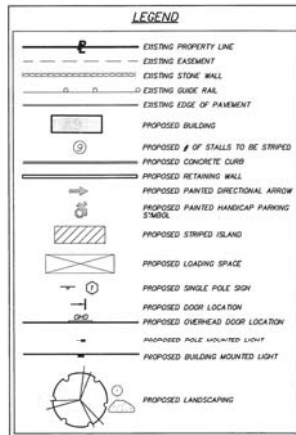
[Signature]
5/14/24



KEY	QTY	BOTANICAL/COMMON NAME	SIZE	ROOT/SPACING
SHADE TREE				
NS	3	Nyssa sylvatica/ Black Tupelo	1 1/2" CAL	8'x8'
FLOWERING TREES				
AC	3	Ameletchier arborea/ Serviceberry	1 1/4" CAL	8'x8'
EVERGREEN TREES				
JV	3	Juniperus sp./ Eastern Red Cedar	6"-8"	8'x8'
SHRUBS				
IC	6	Ilex glabra compacta / Compact Hollyherry		#3 CONT.
AA	7	Aronic arbuticola / Red Chokeberry		#7 CONT.
CS	11	Cornus stolonifera "Saxile Fire" / Arctic Fire Red Twig Dogwood		#5 CONT.
PV	18	Fernium virginicum "Shanadoo" / Shanadoo Switchgrass		#1 CONT.

NOTES:
 1. The Town of Carmel Wetland Inspector to verify all plantings.
 2. All planting shall be installed in accordance with Chapter 142 of the Town of Carmel Code.

- PLANTING NOTES**
- All proposed planting beds to receive a 12" min. depth of topsoil. Soil amendments and fertilizer application rates shall be determined based on specific testing of topsoil material.
 - Any new soils added will be amended as required by results of soil testing and placed using a method that will not cause compaction.
 - No fertilizer shall be added in alternative basin plantings. Nutrient requirements to be met by incorporation of acceptable organic matter.
 - All plant material to be nursery grown.
 - Plants shall conform with ANSI Z60.1 American Standard for Nursery Stock in all ways including dimensions.
 - Plant material shall be taken from healthy nursery stock.
 - All plants shall be grown under climate conditions similar to those in the locality of the project.
 - Plants shall be planted in all locations designed on the plan or as staked in the field by the Landscape Architect.
 - The location and types of landscape plants shown on the site plan shall take precedence in any discrepancies between the quantities of plants shown on the plan and the quantity of plants in the Plant List.
 - Provide a 3" layer of shredded pine bark mulch (or as specified) over entire watering saucer of all tree pits or over entire planting bed. Do not place mulch within 3" of tree or shrub stems.
 - All landscape plantings shall be maintained in a healthy condition at all times. Any dead or diseased plants shall immediately be replaced "in kind" by the contractor during warranty period or project owner.



ZONE REQUIREMENTS TOWN OF CARMEL COMMERCIAL DISTRICT

	REQUIRED / EXISTING	PROPOSED
Minimum Lot Area:	40,000 s.f.	1.00 AC ± (43,676 s.f. ±)
Minimum Lot Width:	200'	*125' ±
Minimum Lot Depth:	200'	255' ±
Minimum Front Yard:	40'	83.8' ±
Minimum Side Yard:	25'	27' ±
Minimum Rear Yard:	30'	78.3' ±
Maximum Permitted Height of Buildings:	30'	< 25'
Minimum Required Floor Area of Buildings:	5,000 s.f.	6,300 s.f.
Maximum Permitted Coverage of Lot by Buildings:	30%	14.4%

* VARIANCE REQUIRED

PARKING SUMMARY

Light Industrial Use
 6,300 sq ft @ 1 space per 500 sq ft = 13 Spaces Required
 Spaces Provided = 13 Parking Spaces

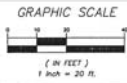
SIGN DATA TABLE

LOCATION NO.	TEXT	M.U.T.C.D. NUMBER	SIZE OF SIGN (E.L.)	DESCRIPTION
1	FRONT SIGN	87-8	12' x 18'	Blue on White
2	NO PARKING	87-1	12' x 18'	Red on White
3	STOP	81-1C	30" x 30"	White on Red

DENIED
 BY TOWN OF CARMEL PLANNING BOARD ON DATE 5/22/24
 CHAIRMAN: [Signature]

USE TABLE TOWN OF CARMEL COMMERCIAL ZONE

USE	DENSITY/ OCCUPANCY	MAXIMUM PERMITTED SIGN	MAXIMUM SIGN AREA
Light Impact Industry	1-3 Intermittent	1-3 Employees / Day 1-1 Service / Day	100 SQD



ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7208 OF ARTICLE 145 OF THE EDUCATION LAW.

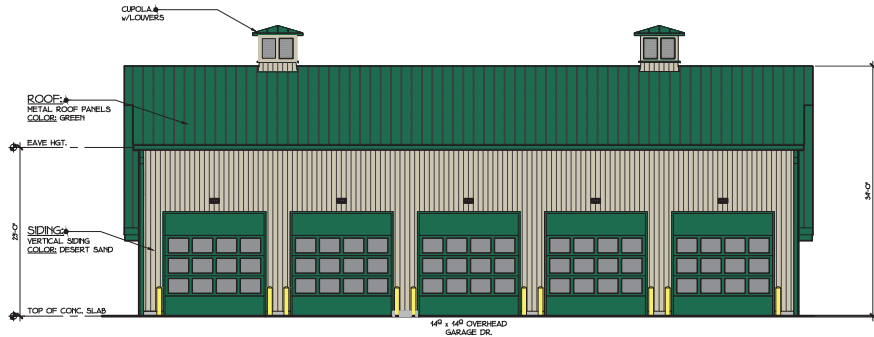
1 4/29/24 REVISED PER TOWN BOARD COMMENTS NFB

INSITE
 ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.
 3 Carmel Place
 Carmel, NY 10512
 (845) 225-8858
 (845) 225-8772 fax
 www.insite-eng.com

PROJECT:
EVANS SEPTIC TANK SERVICE
 53 OLD ROUTE 6, HANSETT OF CARMEL, PUTNAM COUNTY, NEW YORK

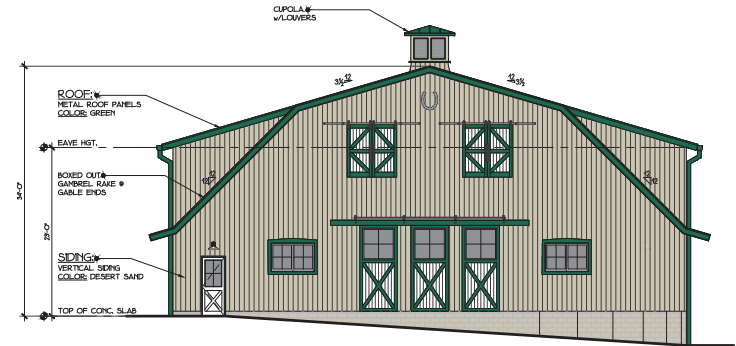
DRAWING:
LAYOUT AND LANDSCAPE PLAN

PROJECT NUMBER: 21174.100 PROJECT MANAGER: J.J.C. DRAWING NO.: SP-1 SHEET: 2/7
 DATE: 9-27-23 DRAWN BY: D.S.W.
 SCALE: 1" = 20' CHECKED BY: A.D.T.



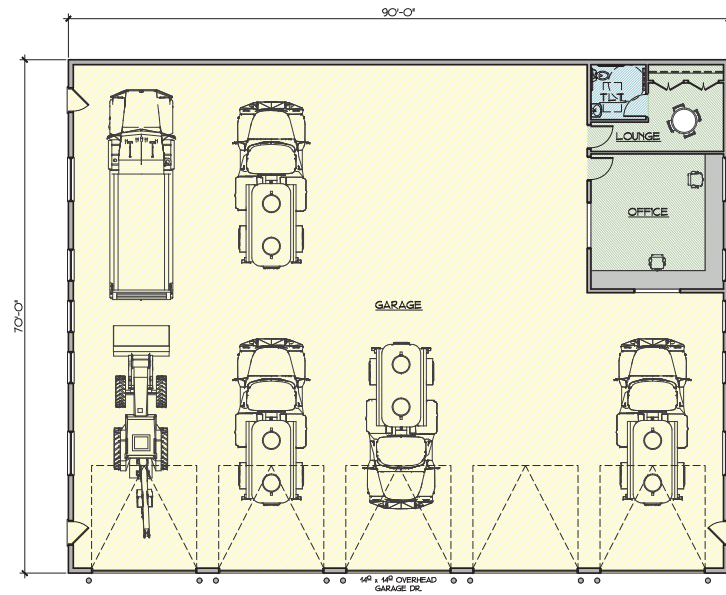
PROPOSED (WEST) ELEVATION

SCALE: 1/8" = 1'-0"



PROPOSED (SOUTH) ELEVATION

SCALE: 1/8" = 1'-0"



PROPOSED FLOOR PLAN

SCALE: 1/8" = 1'-0"

BUILDING FOOTPRINT AREA = 6,300 G.S.F.

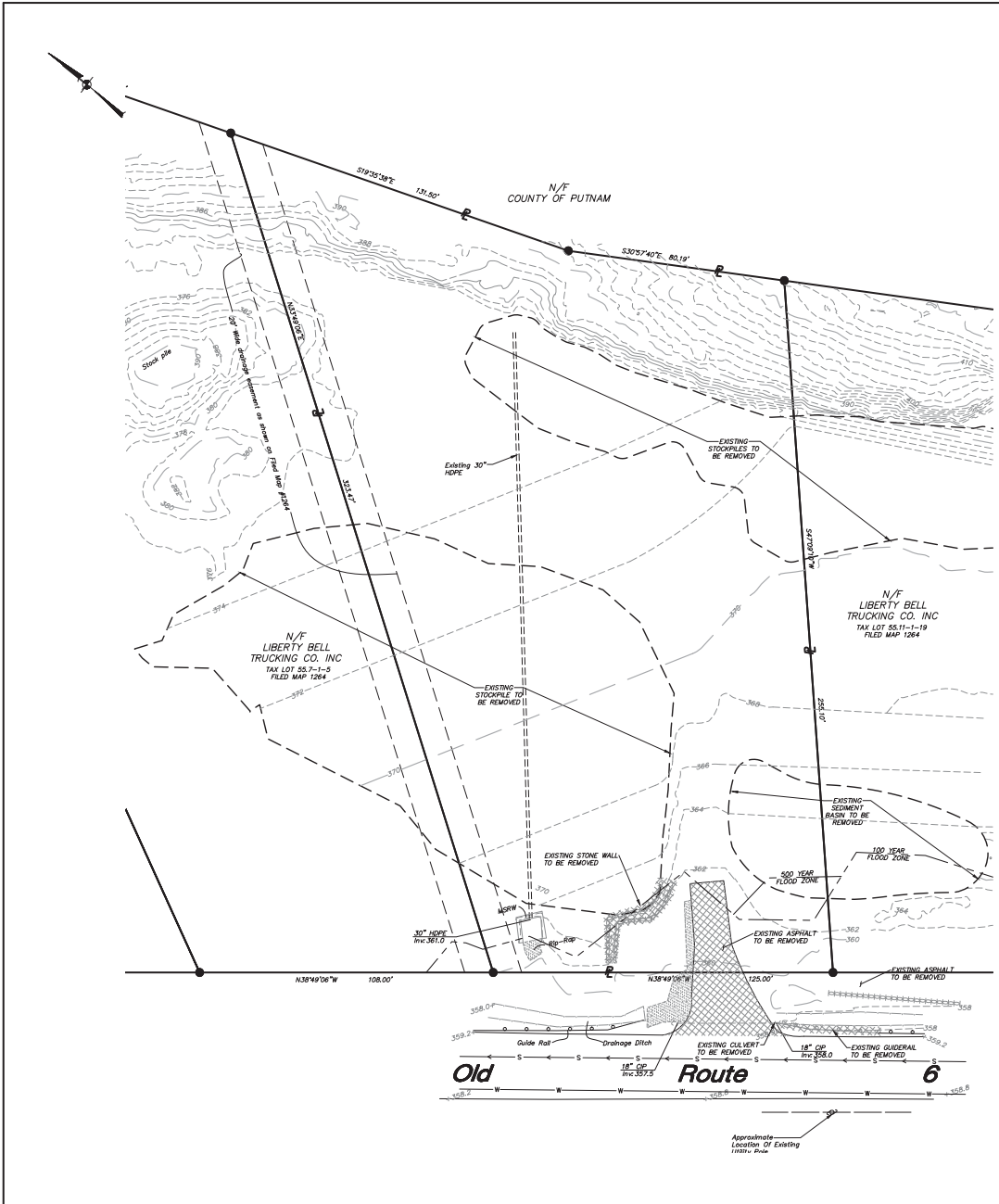


ARCHITECTURAL RENDERING

SCALE: NOT TO SCALE



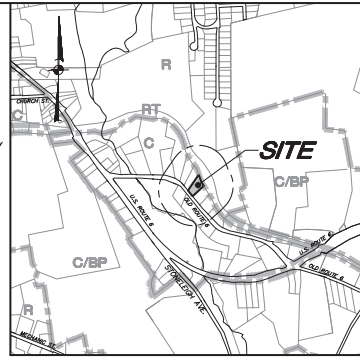
ISSUE DATES:	53 OLD RT. 6	PROPOSED COMMERCIAL BUILDING FOR: EVANS SEPTIC TANK SERVICE, INC.	HAMLET OF CARMEL, NY
		PRELIMINARY PLAN/ELEVATIONS & ARCHITECTURAL RENDERING	DRAWN BY: GVA
		SCALE: AS NOTED	CHECKED BY: SCH
			DRAWING NO:
		THE HELMES GROUP, LLP ARCHITECTURE & ENGINEERING PROJECT MANAGEMENT 184 KATONAH AVENUE, KATONAH, NY 10836 TEL: (914) 232-4653 FAX: (914) 232-6708 EMAIL: thg@thehelmesgroup.com	1 OF 1
DRAWN FOR PLANNING BOARD FILE CONFORM CREDIT REVIEW			



LEGEND

	EXISTING PROPERTY LINE
	EXISTING UNDERGROUND DRAINAGE PIPE
	EXISTING WATERCOURSE
	EXISTING STREAM BUFFER
	EXISTING 10' CONTOUR
	EXISTING 2' CONTOUR
	100 YR./500 YR. FLOOD ZONES

- County Of Putnam
- Putnam Plaza LLC
- Putnam Plaza LLC
- DP 53 LLC
- County Of Putnam
- Liberty Bell Trucking Co., Inc
- Liberty Bell Trucking Co., Inc
- Liberty Bell Trucking Co., Inc
- 162 Baldwins Rd
- Liberty Bell Trucking Co., Inc
- Town of Carmel
- Liberty Bell Trucking Co., Inc
- Liberty Bell Trucking Co., Inc
- Putnam Co Humane Soc
- 70 Old Route 6, LLC
- Town of Carmel
- 70 Old Route 6, LLC
- Putnam County Humane Society



LOCATION MAP SCALE: 1" = 1000'±

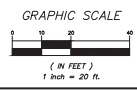
OWNER:
 Liberty Bell Trucking Co. Inc
 200 South White Rock Road
 Holmes NY 12531

SITE DATA:
 Zone: C
 Total Acreage: 1.02 AC
 Tax Map No.: 55.11-1-18

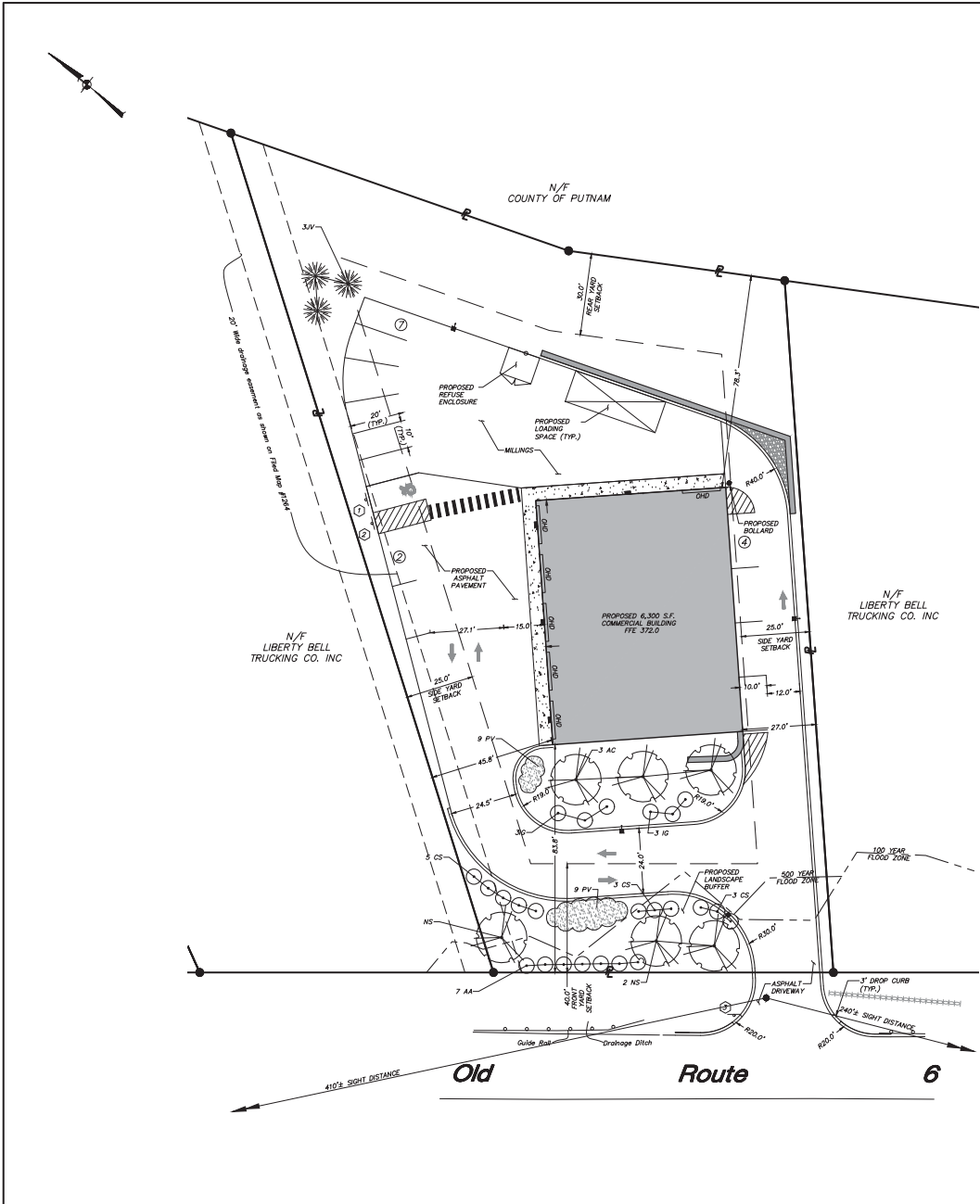
APPLICANT:
 Evans Septic Tank Service
 162 Barrett Hill Road
 Mohonas NY 12541

- GENERAL NOTES:**
- Boundary and topographic information shown hereon is taken from survey field work by Insite Engineering, Surveying, and Landscape Architecture, P.C. conducted August 31, 2021.
 - Existing grades shown within existing stockpile and sediment basin to be removed are shown as anticipated at the completion of the mining operation in this area.
 - The site is proposed to be occupied by the applicant's septic service business. It will house approximately 3-8 employees Monday - Saturday.
 - Water and sewer mains taken from Carmel mapping and should be field verified.
 - Flood zones shown hereon are approximated from FEMA FIRM Panel 36079C041E.
 - Note it is anticipated that 0-4 employees will be regularly working on site during business hours and an additional 1-4 will visit the site intermittently through the week.
 - Sidewalks, manholes and guardrails shall be installed to meet the standards of the Town of Carmel Code §126.
 - The proposed sewer service line will meet the standards of the Town of Carmel Code §107-20.

1	4/29/24	REVISED PER TOWN BOARD COMMENTS	NFB
NO.	DATE	REVISION	BY
PROJECT: EVANS SEPTIC TANK SERVICE 53 OLD ROUTE 6, HARBET OF CARMEL, PUTNAM COUNTY, NEW YORK			3 Garrett Place Carmel, NY 12512 (845) 225-9690 (845) 225-9717 fax www.insite-emp.com
DRAWING: EXISTING CONDITIONS AND REMOVALS PLAN			
PROJECT NUMBER	21174.100	PROJECT MANAGER	J.J.C.
DATE	9-27-23	DRAWN BY	D.S.W.
SCALE	1" = 20'	CHECKED BY	A.D.T.
			DRAWING NO. J.J.C. SHEET EX-1 / 7



ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

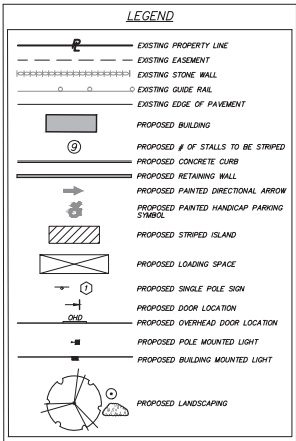


KEY	QTY.	BOTANICAL/Common NAME	SIZE	ROOT/SPACING
SHADE TREES				
NS	3	Nyssa sylvatica / Black Tupelo	1 1/2" CAL	B&B
FLOWERING TREES				
AC	3	Ameiobachlar arboreae / Serviceberry	1 1/4" CAL	B&B
EVERGREEN TREES				
JV	3	Juniperus virginiana / Eastern Red Cedar	6"-8"	B&B
SHRUBS				
IC	6	Ilex glabra compacta / Compact Highberry		#3 CONT.
AA	7	Azalea canadensis / Red Chokeberry	#7 CONT.	
CS	11	Cornus stolonifera "Arctic Fire" / Arctic Fire Red Twig Dogwood	#8 CONT.	
PV	18	Panicum virgatum "Shenandoah" / Shenandoah Switchgrass	#1 CONT.	

- NOTES:
- The Town of Carmel Wetland Inspector to verify all plantings.
 - All plantings shall be installed in accordance with Chapter 142 of the Town of Carmel Code.

PLANTING NOTES

- All proposed planting beds to receive a 12" min. depth of topsoil. Soil amendments and fertilizer application rates shall be determined based on specific testing of topsoil material.
- Any new soils added will be amended as required by results of soil testing and placed using a method that will not cause compaction.
- No fertilizer shall be added in stormwater basin plantings. Nutrient requirements to be met by incorporation of acceptable organic matter.
- All plant material to be nursery grown.
- Plants shall conform with ANSI Z60.1 American Standard for Nursery Stock in all ways including dimensions.
- Plant material shall be taken from healthy nursery stock.
- All plants shall be grown under climate conditions similar to those in the locality of the project.
- Plants shall be planted in all locations designed on the plan or as staked in the field by the Landscape Architect.
- The location and layout of landscape plants shown on the site plan shall take precedence in any discrepancies between the quantities of plants shown on the plans and the quantity of plants in the Plant List.
- Provide a 3" layer of shredded pine bark mulch (or as specified) over entire watering source of all tree pits or over entire planting bed. Do not place mulch within 3" of tree or shrub trunks.
- All landscape plantings shall be maintained in a healthy condition at all times. Any dead or otherwise plants shall immediately be replaced "in kind" by the contractor (during warranty period) or project owner.



ZONE REQUIREMENTS TOWN OF CARMEL COMMERCIAL DISTRICT

	REQUIRED/PERMITTED	PROPOSED
Minimum Lot Area:	40,000 s.f.	1.00 AC ± (43,676 s.f. ±)
Minimum Lot Width:	200'	125' ±
Minimum Lot Depth:	200'	255' ±
Minimum Front Yard:	40'	83.8' ±
Minimum Side Yard:	25'	27' ±
Minimum Rear Yard:	30'	78.1' ±
Maximum Permitted Height of Buildings:	35'	< 35'
Minimum Required Floor Area of Buildings:	5,000 s.f.	6,300 s.f.
Maximum Permitted Coverage of Lot by Buildings:	30%	14.4%

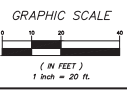
PARKING SUMMARY

Light Industrial Use
 6,300 SF @ 81 space per 500 SF = 13 Spaces Required
 Spaces Provided = 13 Parking Spaces

SIGN DATA TABLE

LOCATION NO.	TEXT	M.U.T.C.D. NUMBER	SIZE OF SIGN (s.f.)	DESCRIPTION
1	PLANE SIGN	R7-8	12" x 18"	Blue on White
2	PLANE SIGN	R7-1	12" x 18"	Red on White
3	STOP SIGN	R1-1C	30" x 30"	White on Red

USE TABLE TOWN OF CARMEL COMMERCIAL ZONE			
USE	TENANTS/EMPLOYEES	ANTICIPATED TRAFFIC	WATER/WASTEWATER USE
Light Impact Industry	1-3 Intermittent	1-3 Employee / Day 1-3 Service / Day	100 GPD



ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

1	4/29/24	REVISED PER TOWN BOARD COMMENTS	NFB
NO.	DATE	REVISION	BY

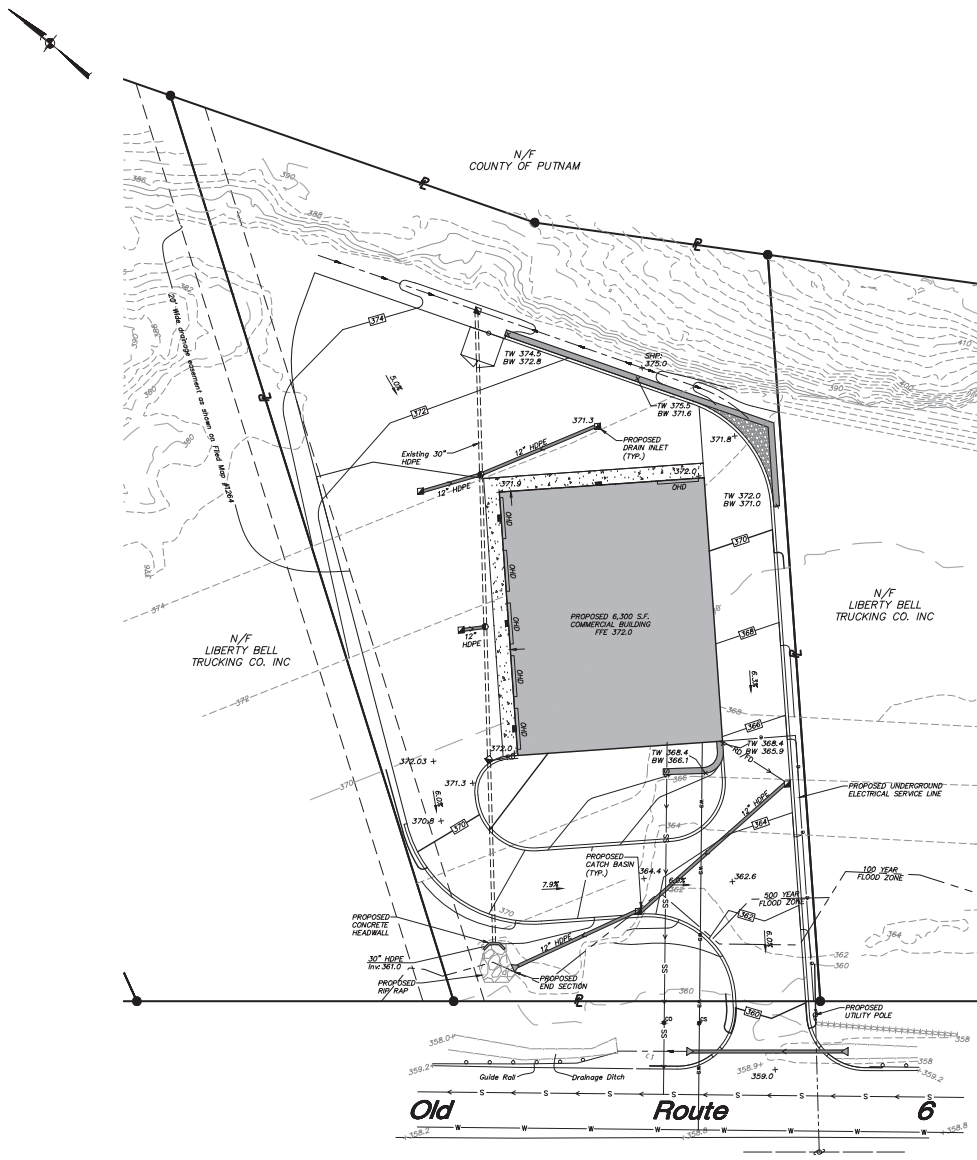
3 Corbett Place
 Carmel, NY 12052
 (845) 225-9690
 (845) 225-9717 fax
 www.insite-eng.com

PROJECT:
EVANS SEPTIC TANK SERVICE

53 OLD ROUTE 6, HAMLET OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING:
LAYOUT AND LANDSCAPE PLAN

PROJECT NUMBER	21174.100	PROJECT MANAGER	J.J.C.	DRAWING NO.	SHEET
DATE	9-27-23	DRAWN BY	D.S.W	SP-1	2
SCALE	1" = 20'	CHECKED BY	A.D.T.		7



LEGEND

	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	EXISTING STONE WALL
	EXISTING EDGE OF PAVEMENT
	EXISTING 10' CONTOUR
	EXISTING 2' CONTOUR
	EXISTING SPOT GRADE
	EXISTING UTILITY POLE WITH OVERHEAD WIRES
	PROPOSED 10' CONTOUR
	PROPOSED 2' CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED DRAINAGE STRUCTURE
	PROPOSED DRAINAGE PIPE
	PROPOSED ROOF DRAIN
	PROPOSED GRASS SWALE
	PROPOSED SEWER SERVICE LINE
	PROPOSED WATER SERVICE LINE
	PROPOSED SEWER CLEAN OUT
	PROPOSED CURB STOP
	PROPOSED UTILITY POLE
	PROPOSED OVERHEAD WIRE
	PROPOSED UNDERGROUND ELECTRICAL SERVICE LINE

1	4/29/24	REVISED PER TOWN BOARD COMMENTS	NFB
NO.	DATE	REVISION	BY

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ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

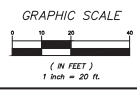
3 Garrett Place
Corral, NY 10512
(845) 225-9690
(845) 225-9717 fax
www.insite-ny.com

PROJECT:
EVANS SEPTIC TANK SERVICE

51 OLD ROUTE 6, HARBET OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING:
GRADING AND UTILITIES PLAN

PROJECT NUMBER	21174.100	PROJECT MANAGER	J.J.C.	DRAWING NO.	SHEET
DATE	9-27-23	DRAWN BY	P.J.M.	SP-2	3
SCALE	1" = 20'	CHECKED BY	A.D.T.		7



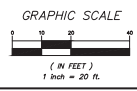
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LEGEND	
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	EXISTING EASEMENT
	EXISTING STONE WALL
	EXISTING EDGE OF PAVEMENT
	EXISTING 10' CONTOUR
	EXISTING 2' CONTOUR
	EXISTING SPOT GRADE
	PROPOSED 10' CONTOUR
	PROPOSED 2' CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED GRASS SWALE
	PROPOSED CATCH BASIN W/ INLET PROTECTION
	PROPOSED SILT FENCE
	PROPOSED TEMPORARY SOIL STOCKPILE
	PROPOSED STABILIZED CONSTRUCTION ENTRANCE

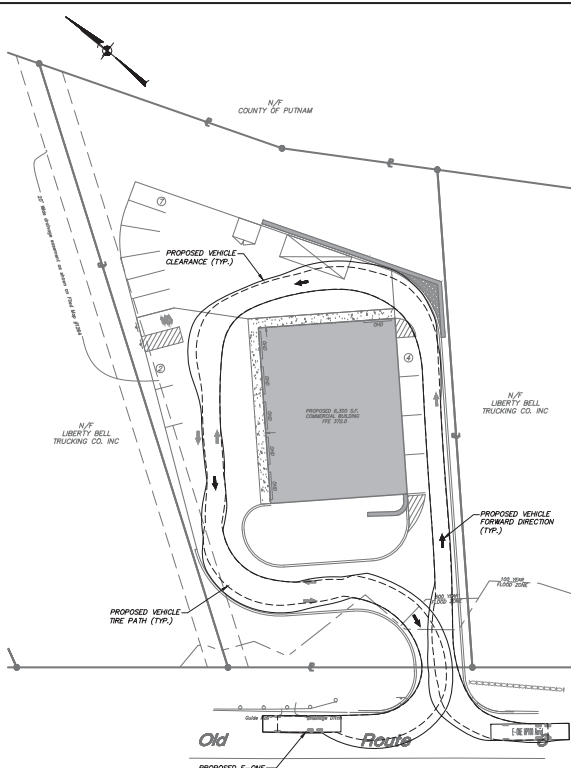
Old Route 6



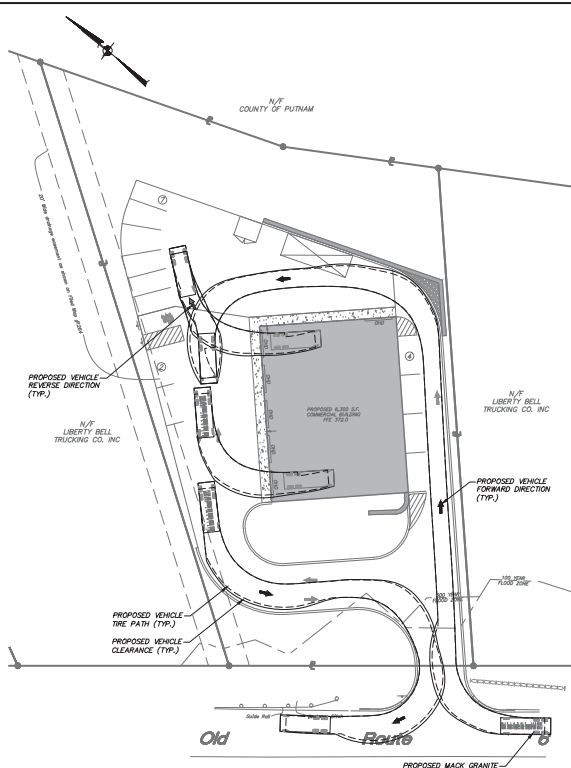
ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

1	4/29/24	REVISED PER TOWN BOARD COMMENTS	NFB
NO.	DATE	REVISION	BY
PROJECT: EVANS SEPTIC TANK SERVICE			
53 OLD ROUTE 6, HAMLET OF CAMEL, PUTNAM COUNTY, NEW YORK			
DRAWING: EROSION AND SEDIMENT CONTROL PLAN			
PROJECT NUMBER	21174.100	PROJECT MANAGER	J.J.C.
DATE	9-27-23	DRAWN BY	P.J.M.
SCALE	1" = 20'	CHECKED BY	A.D.T.
			DRAWING NO. SHEET SP-3 4 / 7

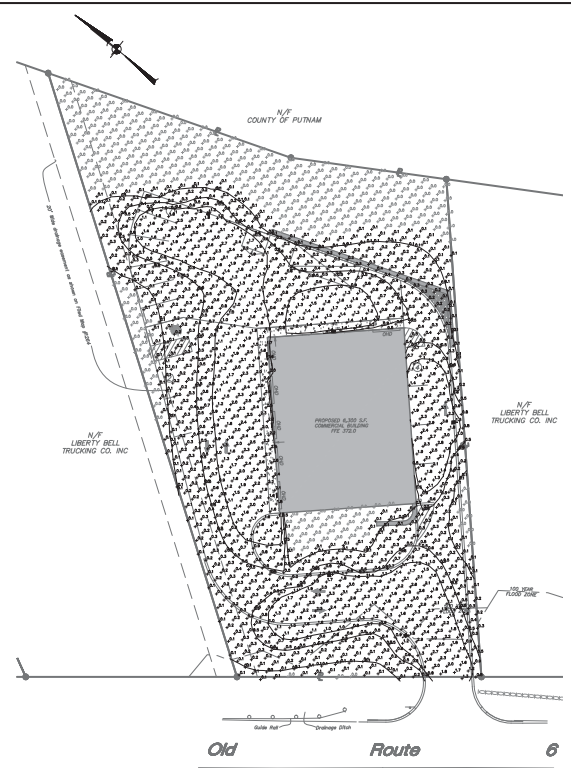
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E-ONE HP100 FIRE TRUCK MANEUVER
SCALE: 1" = 30'



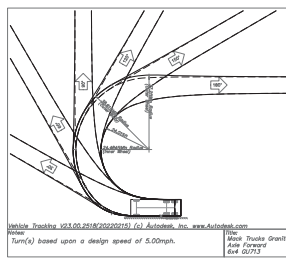
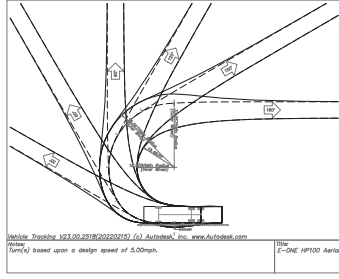
MACK GRANITE DUMP TRUCK MANEUVER
SCALE: 1" = 30'



PHOTOMETRIC LIGHTING PLAN
SCALE: 1" = 30'

LEGEND

	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	EXISTING STONE WALL
	EXISTING GUIDE RAIL
	EXISTING EDGE OF PAVEMENT
	PROPOSED BUILDING
	PROPOSED # OF STALLS TO BE STRIPED
	PROPOSED CONCRETE CURB
	PROPOSED RETAINING WALL
	PROPOSED PAINTED DIRECTIONAL ARROW STRIPE
	PROPOSED PAINTED HANDICAP PARKING STRIPE
	PROPOSED STRIPED ISLAND
	PROPOSED LOADING SPACE
	PROPOSED SINGLE POLE SIGN
	PROPOSED DOOR LOCATION
	PROPOSED OVERHEAD DOOR LOCATION
	PROPOSED POLE MOUNTED LIGHT
	PROPOSED BUILDING MOUNTED LIGHT
	PROPOSED LANDSCAPING



FIXTURE A:



FIXTURE B:

LUMINAIRE SCHEDULE

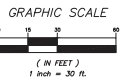
Sym	Qty	Catalog Number	Description	Lamp	Mounting Height	Watts
-R	4	RSX1 LED P2 30K R3 HS	LITHONIA LIGHTING LED POLE MOUNTED LIGHT TYPE 3 DISTRIBUTION WITH HOUSE-SIDE SHIELD	LED	16'-0"	72
-W	4	LDMW-FC-30 ED-7040	LUMARK FULL CUTOFF WALL-PAK	LED	10'-0"	27

- LIGHTING NOTES:**
- All lighting shall be as noted on the plan or approved equal.
 - Style and finish of all luminaires to be selected by owner.
 - Proposed lights will run on photocells during regular business hours, and will run on motion sensors after hours.
 - Type, location, and shading of all proposed lighting shall prevent the spillage of light onto adjacent residential properties.
 - All light fixtures to be full cutoff to comply with dark sky guidelines.

LIGHT CONTOUR LEGEND

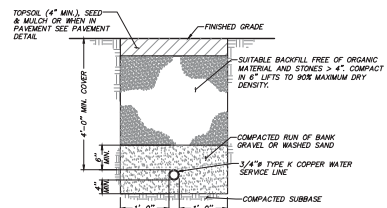
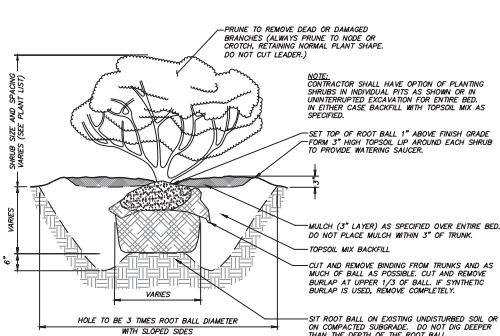
0.1	0.10 Foot Candles
0.5	0.50 Foot Candles
1	1.00 Foot Candles

* Photometric calculations shown on plan are in foot candles.

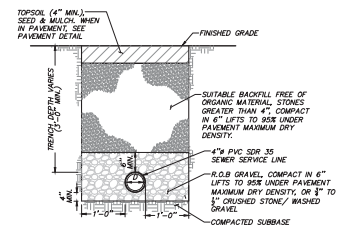


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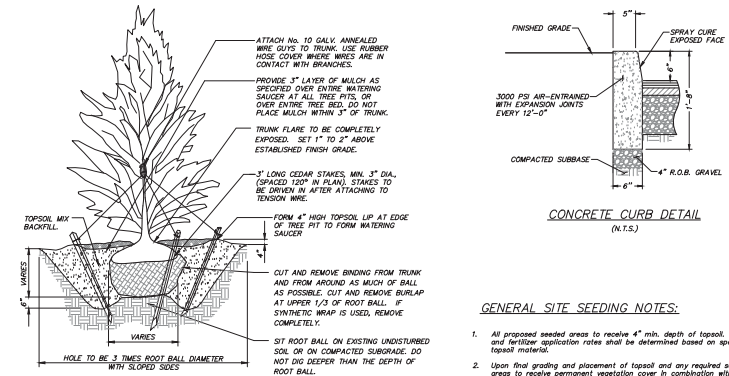
NO.	DATE	REVISION	BY
INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.			
PROJECT: EVANS SEPTIC TANK SERVICE			
53 OLD ROUTE 6, MARKET OF CAMEL, PUTNAM COUNTY, NEW YORK			
DRAWING: SITE PLAN			
PROJECT NUMBER	21174.100	PROJECT MANAGER	J.J.C.
DATE	4-29-24	DRAWN BY	N.F.B.
SCALE	1" = 30'	CHECKED BY	A.D.T.
			DRAWING NO. SP-4
			SHEET 5 OF 7



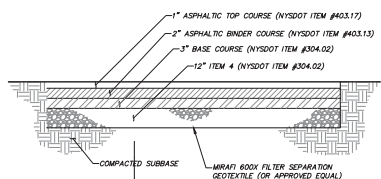
WATER SERVICE LINE TRENCH DETAIL
(N.T.S.)



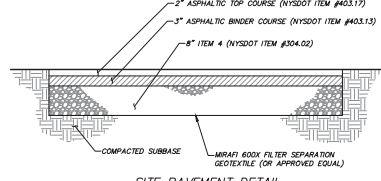
SEWER SERVICE LINE TRENCH DETAIL
(N.T.S.)



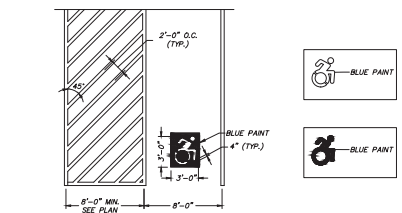
EVERGREEN TREE PLANTING DETAIL
(N.T.S.)



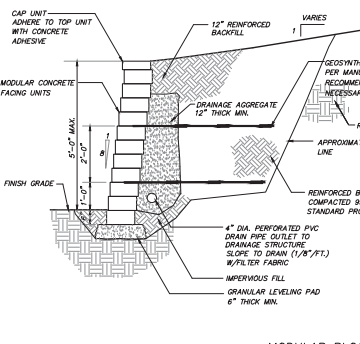
TOWN OF CARMEL ROADWAY SPECIFICATION DETAIL
(N.T.S.)



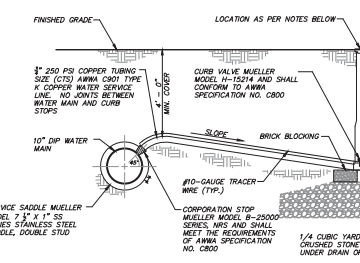
SITE PAVEMENT DETAIL
(N.T.S.)



PAINTED NYCP ACCESSIBLE PARKING DETAIL
(N.T.S.)

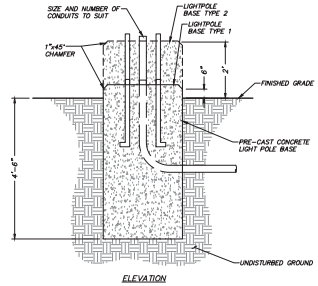
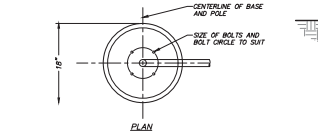


MODULAR BLOCK RETAINING WALL DETAIL
(N.T.S.)



TYPE "K" COPPER WATER SERVICE LINE CONNECTION TO DIP WATER MAIN DETAIL
(N.T.S.)

- NOTES**
1. STRIP VEGETATION AND ORGANIC SOIL FROM WALL AND GEOSYNTHETIC ALIGNMENT.
 2. BENCH OUT ALL EXCAVATED SLOPES.
 3. DO NOT OVER EXCAVATE UNLESS DIRECTED BY SITE ENGINEER TO REMOVE UNSATURABLE SOIL.
 4. SITE ENGINEER SHALL VERIFY FOUNDATION SOILS AS BEING COMPETENT PER THE RECOMMENDATIONS OF THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND WRITTEN SPECIFICATIONS.
 5. LEVelling PAD SHALL CONSIST OF COMPACTED COARSE SAND OR CRUSHED GRAVEL. 4" THICK MIN.
 6. CONTRACTOR MAY OPT FOR A LEAN CONCRETE PAD. CONCRETE PAD SHALL BE UNREINFORCED, 3" THICK MAXIMUM.
 7. MINIMUM EMBEDEDMENT OF WALL BELOW FINISH GRADE SHALL BE 6".
 8. FOR UNITS TO BE EMBEDDED, COMPACT FILL IN FRONT OF UNITS AT THE SAME TIME FILL BEHIND UNITS IS COMPACTED.
 9. DRAINAGE AGGREGATE SHALL BE INSTALLED DIRECTLY BEHIND THE WALL WITHIN 12" OF THE TOP OF THE WALL. DRAINAGE AGGREGATE SHALL NOT EXTEND BELOW FINISH GRADE IN FRONT OF WALL.
 10. COMPACTION SHALL BE TO 95% OF MAXIMUM STANDARD PROCTOR DENSITY (ASTM D-698)
 11. DRAINAGE AGGREGATE SHALL BE INSTALLED DIRECTLY BEHIND THE WALL WITHIN 12" OF THE TOP OF THE WALL. DRAINAGE AGGREGATE SHALL NOT EXTEND BELOW FINISH GRADE IN FRONT OF WALL.
 12. COMPACTION WITHIN 3 FT. OF WALL SHALL BE LIMITED TO HAND OPERATED EQUIPMENT.
 13. GEOSYNTHETIC SHALL BE PLACED WITH STRONGEST DIRECTION PERPENDICULAR TO WALL. FOLLOW GEOSYNTHETIC MANUFACTURER'S INSTALLATION INSTRUCTIONS AND WRITTEN SPECIFICATIONS.
 14. CONTRACTOR SHALL DIRECT SURFACE RUNOFF TO AVOID DAMAGING WALL WHILE UNDER CONSTRUCTION.
 15. ANY SURFACE DRAINAGE FEATURES, FINISH GRADING, PAVEMENT, OR TURF SHALL BE INSTALLED IMMEDIATELY AFTER WALL IS COMPLETED.
 16. FOLLOW APPLICABLE PROVISIONS OF THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND WRITTEN SPECIFICATIONS.
 17. MODULAR BLOCK RETAINING WALL AT STEPS TO BE INSTALLED VERTICALLY (NO BATTER).
 18. MODULAR BLOCK RETAINING WALL MANUFACTURER TO SUPPLY CONSTRUCTION DETAILS OF WALL SIGNED AND SEALED BY AN ENGINEER LICENSED IN THE STATE OF NEW YORK.



LIGHT POLE BASE DETAIL
(N.T.S.)

- GENERAL SITE SEEDING NOTES:**
1. All proposed seeded areas to receive 4" min. depth of topsoil. Soil amendments and fertilizer application rates shall be determined based on specific testing of topsoil moisture.
 2. Upon final grading and placement of topsoil and any required soil amendments, grass to receive permanent vegetation cover in combination with suitable mulch as follows:
 - select seed mixture per drawings and seeding notes.
 - fertilizer applied at the manufacturer's recommended rate using Lesco 10-10-10 (no phosphorus) fertilizer or equivalent.
 - mulch: soft hay or small grain straw applied at a rate of 80 lbs./1000 S.F. or 2 tons/acre, to be applied and anchored according to Item 706. State Standards and Specifications for Erosion and Sediment Control, August 2005. If the season prevents the establishment of a permanent vegetation cover, the disturbed areas will be mulched with straw or equivalent.
 3. Seed Mix for all disturbed areas at a rate of 100 lbs. per acre:
 - Kentucky Bluegrass 20%
 - Crested Red Fescue 20%
 - Pennell Ryegrass 20%
 - Annual Ryegrass 20%
 4. Seeding to be planted between March 31 and May 30, or between August 15 and October 15 or as directed by project representative.
 5. Mulch: Soft hay or small grain straw applied at a rate of 80 lbs./1000 S.F. or 2 tons/acre, to be applied and anchored according to New York Standards and Specifications for Erosion and Sediment Control, latest edition.
 6. Grass seed mix may be applied by either mechanical or hydroseeding methods. Seeding shall be performed in accordance with the current edition of the "NYSDOT Standard Specification, Construction and Materials, Section 610-4.02, Method No. 1". Hydroseeding shall be performed using materials and methods as approved by the site engineer.

1	4/29/24	REVISED PER TOWN BOARD COMMENTS	NFB
NO.	DATE	REVISION	BY

INSITE
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

3 Corbett Place
Corvett, NY 10822
(845) 225-8690
(845) 225-9177 fax
www.insite-emp.com

PROJECT:
EVANS SEPTIC TANK SERVICE

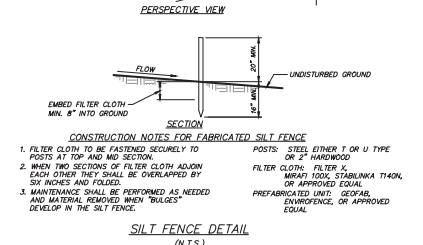
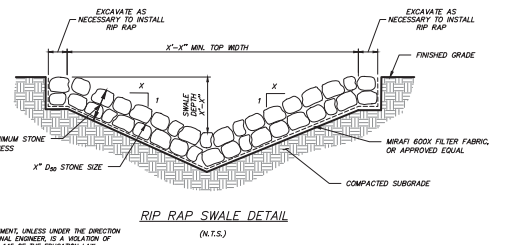
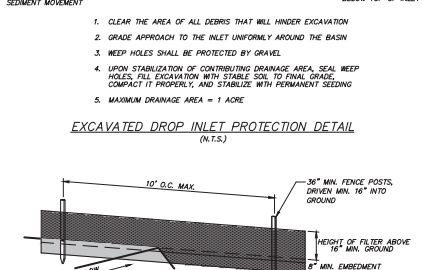
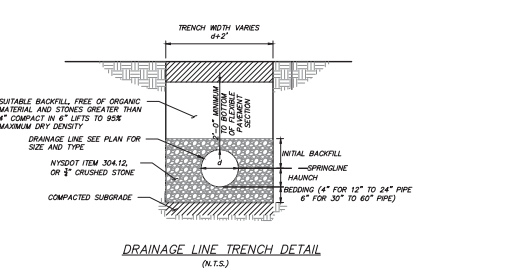
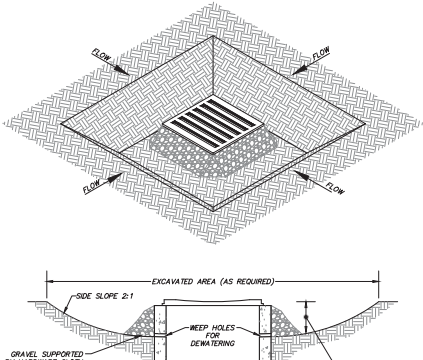
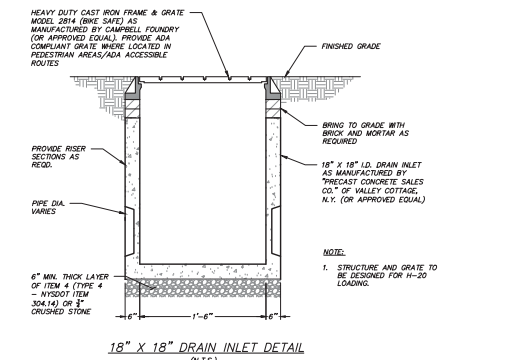
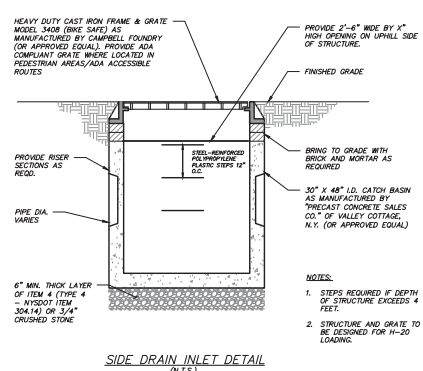
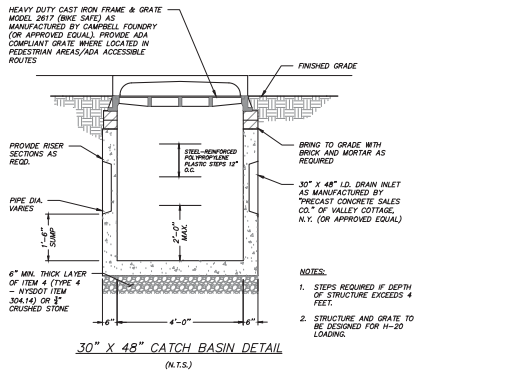
53 OLD ROUTE 6, HALEET OF CARMEL, PUTNAM COUNTY, NEW YORK

DRAWING:

PROJECT NUMBER	21174.100	PROJECT MANAGER	J.J.C.	DRAWING NO.		SHEET	
DATE	9-27-23	DRAWN BY	P.J.M.	CHECKED BY			
SCALE	AS SHOWN	CHECKED BY	A.D.T.				

D-1 6/7

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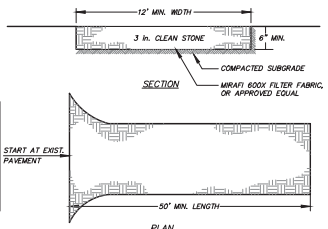


EROSION & SEDIMENT CONTROL NOTES:

- The contractor will be responsible for the implementation and maintenance of erosion and sediment control measures on this prior to and during construction.
- All construction activities involving the removal or disposition of soil are to be provided with appropriate protective measures to minimize erosion and contain sediment disposition within. Minimum soil erosion and sediment control measures shall be implemented as shown on the plans and shall be installed in accordance with "New York Standards and Specifications For Erosion and Sediment Control," latest edition.
- Wherever feasible, natural vegetation shall be retained and protected. Disturbance shall be minimized in the areas required to perform construction. No more than 5 acres of unprotected soil shall be exposed at any one time.
- When land is exposed during excavation, the exposure shall be kept to the shortest practical period of time. In the areas where soil disturbance activity has temporarily or permanently ceased, the application of soil stabilization measures must be initiated by the end of the next business day and completed within seven (7) days from the date the current soil disturbance activity ceased. Disturbance shall be minimized to the areas required to perform construction.
- Silt fence shall be installed as shown on the plans prior to beginning any clearing, grading or earthwork.
- All topsoil to be stripped from the area being developed shall be stockpiled and immediately seeded for temporary stabilization. Ryegrass (annual or perennial) at a rate of 50 lbs. per acre shall be used for temporary seeding in spring, summer or early fall. "Antico" Winter Rye (cereal rye) shall be used for temporary seeding in late fall and winter.
- Any disturbed areas not subject to further disturbance or construction traffic, permanent or temporary, shall have soil stabilization measures initiated for permanent vegetation cover in combination with a suitable mulch within 1 business day of final grading. All seeded areas to receive a minimum 4" sownseed topsoil from stockpile areas. Seed mixes as noted in General Site Seeding Notes on drawing 20-1 are to be planted between March 21 and May 20, or between August 15 and October 15 or as directed by project representatives.
- Cut or fill slopes 3:1 and steeper shall be stabilized immediately after grading with Cutex Single Net Erosion Control Blanket, or approved equal.
- Paved roadways shall be kept clean at all times.
- The site shall at all times be graded and maintained such that all stormwater runoff is directed to soil erosion and sediment control facilities.
- All storm drainage outlets shall be stabilized, as required, before the discharge points become operational.
- Stormwater from disturbed areas must be passed through erosion control barriers before discharge beyond disturbed areas or discharged into other drainage systems.
- Erosion and sediment control measures shall be inspected and maintained on a daily basis to ensure that channels, temporary and permanent ditches and pipes are clear of debris, that embankments and berms have not been breached and that all erosion and sediment control facilities are inspected and maintained during construction. Erosion and sediment control measures shall be immediately repaired by the contractor and inspected for approval by the O.P.R. and/or site engineer.
- Dust shall be controlled by spraying or other approved methods as necessary, or as directed by the O.P.R.
- Cut and fill shall not endanger adjoining property, nor divert water onto the property of others.
- All sites shall be placed and compacted in 6" lifts to provide stability of material and to prevent settlement.
- The contractor shall inspect downstream conditions for evidence of sedimentation on a weekly basis and other measures shall be taken to prevent sedimentation.
- As warranted by field conditions, special additional erosion and sediment control measures, as specified by the site engineer and/or the Town Engineer shall be installed by the contractor.
- Erosion and sediment control measures shall remain in place until all disturbed areas are suitably stabilized.

REQUIRED SWPPP CONTENTS PER GP-0-20-001:

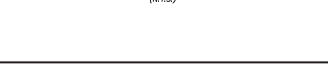
- Pursuant to the NYSDOT Special Permit for Stormwater Discharges from Construction Activity" (GP-0-20-001), all Stormwater Pollution Prevention Plan's (SWPPP) shall include erosion and sediment control practices designed in conformance with the most current version of the technical standard, "New York Standards and Specifications for Erosion and Sediment Control." Where erosion and sediment control practices are not designed in conformance with the technical standard, the owner or generator must demonstrate compliance to the technical standard. The following list of required SWPPP components is provided in accordance with Part 116.1-a-1 of General Permit GP-0-20-001:
Background information: The subject project consists of the development of an existing quarry with the construction of a 6,300 s.f. commercial building and associated driveway/parking.
a. Site map / construction drawings: These plans serve to satisfy this SWPPP requirement.
b. Description of the soils present at the site: Onsite soils located within the proposed limits of disturbance consist of Chateaufort complex (C4d) and Udenhorsts (U2) as identified on the Soil Conservation Service Web Soil Survey. These soils belong to Hydrologic Soil Groups "B" & "D".
c. Construction sequence of operations: The Construction Sequence and phasing found on these plans provide the required phasing. A Construction Sequence and Erosion and Sediment Control Maintenance Schedule has been provided. The Sedimentation and Erosion Control Notes contained herein outline a general sequence of operations for the proposed project. In general all erosion and sediment control facilities shall be installed prior to commencement with land disturbing activities, and areas of disturbance shall be limited to the shortest period of time as practicable.
d. Description of erosion and sediment control practices: This plan, and details / notes shown herein, serve to satisfy this SWPPP requirement.
e. Temporary and permanent soil stabilization plans: The Sedimentation and Erosion Control Notes and Details provided herein identify temporary and permanent stabilization measures to be installed in accordance with specific elements of the project, and at all various stages of development.
f. Site map / construction drawings: This plan serves to satisfy this SWPPP requirement.
g. The dimensions, material specifications, installation details, and operation and maintenance requirements for all erosion and sediment control practices: The details, Erosion and Sediment Control Notes, and Erosion and Sediment Control Maintenance Schedule serve to satisfy this SWPPP requirement.
h. An inspection schedule: Inspections are not required per the General Permit GP-0-20-001.
i. A description of pollution prevention measures that will be used to control erosion, construction chemicals and construction debris: In general, all construction litter / debris shall be collected and removed from the site. The general contractor shall supply either waste barrels or dumpster for proper waste disposal. The contractor shall be responsible for ensuring that construction site shall be removed from site daily by the contractor or stored in a structurally sound and weatherproof building. No hazardous waste shall be disposed of onsite, and shall immediately be disposed of in accordance with all federal, state and local regulations. Material Safety Data Sheets (MSDS), material inventory, and emergency contact numbers shall be maintained by the general contractor for all construction chemicals utilized onsite. Finally, temporary sanitary facilities (portable toilets) shall be provided onsite during the entire length of construction, and inspected weekly for evidence of leaking holding tanks.
j. A description and location of any stormwater discharges associated with industrial activity other than construction at the site: There are no known industrial stormwater discharges present or proposed at the site.
k. Identification of any elements of the design that are not in conformance with the technical standard, "New York Standards and Specifications for Erosion and Sediment Control." All proposed elements of this SWPPP have been designed in accordance with the "New York Standards and Specifications for Erosion and Sediment Control."



INSTALLATION NOTES

- STONE SIZE - USE 1" STONE
- LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.)
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INCREASE OR DECREASE OCCUR.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE RIPPED ACROSS THE ENTRANCE. IF RIPPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANUP OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SKIPPED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
- MARKING - WHISLS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN MARKING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE DETAIL (N.T.S.)



ALLOCATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

1	4/29/24	REVISED PER TOWN BOARD COMMENTS	MFB
NO.	DATE	REVISION	BY

INSITE
ENGINEERING, SURVEYING &
LANDSCAPE ARCHITECTURE, P.C.

3 Corbett Place
Corbett, NY 10512
(845) 225-8690
(845) 225-9717 fax
www.insite-eng.com

PROJECT:
EVANS SEPTIC TANK SERVICE

53 OLD ROUTE 4, HALEET OF CARROLL, PUTNAM COUNTY, NEW YORK

DRAWING:
DETAILS

PROJECT NUMBER	21174.100	PROJECT MANAGER	J.J.C.
DATE	9-27-23	DRAWN BY	P.J.M.
SCALE	AS SHOWN	CHECKED BY	A.D.T.

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